



REVISED AGENDA - COMMITTEE OF THE WHOLE

Thursday, May 3, 2018, 9:00 A.M.

COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

Located on the traditional territory of the Esquimalt and Songhees People

Pages

- A. APPROVAL OF AGENDA
- B. CONSENT AGENDA
- C. READING OF MINUTES
- D. UNFINISHED BUSINESS
- E. LAND USE MATTERS
- F. STAFF REPORTS

***F.1 Cash in Lieu of Community Space, Roundhouse Master Development Agreement**

1

A report providing information and recommendations regarding a request from Bayview Place and Focus Equities to amend the Roundhouse Master Development Agreement to defer the required "cash-in-lieu of community space" payment.

Addenda: Presentation

***F.2 Cecelia Ravine Park Improvement Plan**

22

A report providing information and recommendations regarding park improvements and a proposed budget for an expansion to Cecelia Ravine Park.

Addenda: Presentation

F.3 Direction for 2019 Financial Planning

135

A report providing information and recommendations regarding a draft 2019 Financial Plan.

F.4 Proclamation - "Tap Dance Day" - May 25, 2018

137

***F.5 Addenda: Draft Esquimalt Official Community Plan Referral**

140

A report providing Council with a summary of the draft Esquimalt Official

Community Plan and an opportunity to provide comments to the Township of Esquimalt for their consideration.

Addenda: Presentation

F.6 2017 Financial Statement and Audit Findings Report

307

A report providing information and recommendations regarding the 2017 Financial Statements.

G. RECESS Committee of the Whole - Convene Council Meeting

H. NOTICE OF MOTIONS

I. NEW BUSINESS

J. ADJOURNMENT OF COMMITTEE OF THE WHOLE

K. Note of Technical Issue with the Video Recording

Due to a technical issue, the first hour of the meeting was not recorded. The video starts in the middle of the discussion on item F.2. Cecelia Ravine Park Improvement Plan.



Committee of the Whole Report

For the Meeting of May 3, 2018

To: Committee of the Whole **Date:** April 19, 2018

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: **Cash in Lieu of Community Space, Roundhouse Master Development Agreement**

RECOMMENDATION

That Council:

1. Direct staff to prepare an amendment to the Roundhouse Master Development Agreement (MDA) deferring the "cash-in-lieu of community space payment" to the time of submission of the first Building Permit Application for the Roundhouse development to the satisfaction of the Director of Sustainable Planning and Community Development and the City Solicitor.
2. Authorize the Mayor and City Clerk to execute the MDA amendment and any other instruments necessary to effect its registration in the Land Title Office in the form satisfactory to the City Solicitor.

LEGISLATIVE AUTHORITY

The City has the statutory authority to hold covenants that are registered against title to land under section 219 of the *Land Title Act*.

EXECUTIVE SUMMARY

The purpose of this report is to provide Council with information, analysis and recommendations in response to a request from Bayview Place and Focus Equities to amend the Roundhouse Master Development Agreement to defer the required "cash-in-lieu of community space payment" (the payment).

BACKGROUND

Relevant History

Section 15 of the Roundhouse Master Development (MDA) required that the Developer provide, at the option of the City, an area for community space (either on-site or a mutually agreeable location off-site) or cash-in-lieu. In response to this requirement, on July 24, 2014, Council passed the following motion:

"That Council direct:

- 1. Staff to prepare an amendment to Section 15 of the Roundhouse Master Development Agreement requiring that the Developer pays cash in lieu of community space prior to submitting a Development Permit Application for the first building constructed in Development Area 3, 4 or 5 of the CD-12 Zone, Roundhouse District, to the satisfaction of the Director of Sustainable Planning and Community Development and the City Solicitor.*
- 2. The Mayor and Corporate Administrator to execute the MDA Amendment and other instruments necessary to effect its registration in the Land Title Office.*
- 3. Staff to consult with community groups with respect to how cash in lieu of community space could be reinvested back into the Victoria West community and report back to Council with the feedback received."*

The Roundhouse MDA was subsequently amended in accordance with the above Council motion.

On November 30, 2017, a Development Permit Application was submitted to the City proposing a 26-storey, mixed-use building at 210 Kimta Road which is located within Development Area 3 of the CD-12 Zone, Roundhouse District; however, the applicant did not make the necessary cash-in-lieu payment prior to their submission and, therefore, they are currently in breach of the MDA and the application has been placed on hold until the monies are received. In response, the applicant has submitted a letter requesting deferral of the cash-in-lieu payment. Today, the payment stands at approximately \$725,000.00 and it is subject to an annual financial adjustment based on the Consumer Price Index.

Staff note that the applicant has indicated in their letter that they may pursue a further amendment to the MDA, prior to making the cash-in-lieu payment, to provide the community space on-site; however, in July 2014, when Council previously considered this matter, staff provided an analysis of options for Council's consideration and Council chose the cash-in-lieu option. Staff recommend to Council that the cash-in-lieu payment is still the preferred option.

Analysis

The applicant provides their rationale for deferral of the payment in their letter dated April 12, 2018 (attached). The applicant originally requested deferral of the payment to the Occupancy Permit stage (i.e. after it is built but before people can move in) of the third residential tower; however, it was communicated to the applicant that this would not be supported by staff and the applicant subsequently revised their request. Based on the financial rationale provided, staff recommend that Council consider accepting the request to defer the payment of the cash-in-lieu from prior to submission of the Development Permit, to at the time of submission of the first Building Permit Application for the Roundhouse development.

It should be noted that deferral of the payment to the Building Permit stage does present a minor risk, in that there is no guarantee that the applicant would move forward with a Building Permit Application upon receiving Development Permit approval.

Finally, staff note that the applicant has suggested that the MDA was "accidentally" amended to require the payment at the time of a Development Permit Application. Staff wish to clarify that the MDA amendment was in fact entirely consistent with the Council motion dated July 24, 2014.

CONCLUSIONS

Staff recommend that Council consider approving the request to amend the Roundhouse MDA in order to defer receipt of the payment to the time of the Building Permit Application submission.

ALTERNATE MOTION

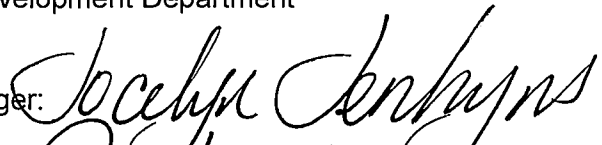
That Council decline the request to defer receipt of the payment to a later stage in the process.

Respectfully submitted,


Jim Handy
Senior Planner - Development Agreements
Development Services Division


Jonathan Tinney
Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:


Date: April 26, 2018

List of Attachments:

- Attachment A: Letter from Bayview Place and Focus Equities dated April 12, 2018
- Attachment B: Staff report to Planning and Land Use Committee dated July 16, 2014

BAYVIEW PLACE

Re: Cash-in-lieu required under Section 15 of the Master Development Agreement (MDA) for the Roundhouse Development

Attn: Mayor Lisa Helps and members of Victoria City Council

We hereby request that the cash-in-lieu required under Section 15 of the MDA payment to be submitted with the Development Permit Application (DP) for 210 Kimta Road be postponed to the Occupancy Permit Application (OP) phase for our third condominium building in the Roundhouse Development. This phase will have considerable heritage, retail, professional, cultural, and performing arts spaces that could provide additional opportunities and options for a community facility if, at that time, suitable space instead of cash is preferred.

The original MDA from 2008 had the option of cash or community space as part of the public amenity. This contribution was scheduled to occur prior to issuance of an OP for any building in the Commercial Heritage Roundhouse phase. The community space was originally planned to be included in the heritage Roundhouse portion of the development instead of the new development area. Unfortunately, community space does not work within the heritage Roundhouse space.

When considering the restoration of the heritage buildings as the first phase in 2014, the MDA was accidentally changed so that a cash-in-lieu amount was to be paid when we applied for a DP for the first condominium building. From our perspective, the deferral was actually intended to be on the second tower.

The reasons to change the cash-in-lieu payment/community space from the DP phase for 210 Kimta Road to the OP phase for the third tower in the Roundhouse development are as follows:

1. The 2014 change was originally intended to have the payment made at occupancy of the second building, not at the DP stage of the first building (and, never at the development permit stage at all).



BAYVIEW PLACE

2. The change of payment at the DP application was an oversight by our group because the change from payment at occupancy to the DP application was overlooked by a designated signatory in the absence of the owner, Mr. Kenneth Mariash. The substitute person did not notice the one-page letter from Mr. Jim Handy that suggested payment at the DP stage rather than at occupancy, which was later inserted into the MDA.
3. Paying the cash at the DP phase is uneconomic and impractical because, among other things, the development permit application does not necessarily lead directly to an approval or any progress towards completion of a building..
4. The heritage building renovations have not proceeded because of the poor economics due primarily to the very limited surface parking that was allowed by the City's planning staff. Based on this situation, we must increase surface parking and build some residences for walk-in market support and seek subsidies and tax relief to keep the rental rates and sales potential for the Roundhouse feasible for the tenants.
5. The original masterplan is currently conceptual for the 10-acre property with only 1-2 buildings to be built in the near future. A more specific and advanced plan will be available and agreed upon prior to the approval of development of the third and future towers in order to accommodate more suitable community space or the City can choose cash-in-lieu at that time if necessary.
6. The Vic West community is reviewing their facility needs and the issues around the walking distance to their current YMCA location. The distance is problematic, especially in the evenings. Also, the YMCA facility capacity is very limited. Many residents in the Songhees area are concerned about the distance to the old YMCA building at the very north end of the community. The residents would prefer a second facility that is closer to where the main population is, where the action is, and where the space is more suited to their current and future needs.

BAYVIEW PLACE

So far, each of our Bayview buildings have taken between 3-5 years for development permit approval, or longer, and over 10 years for zoning, making it very uneconomic to try to do a 12-building masterplanned project like Bayview Place/Roundhouse.

Based upon the developmental delays (20+ years so far), the current uncertainty of the masterplan resolution, and all of the above considerations, it would be more practical to reschedule the payment, and/or the decision on community space versus cash-in-lieu, to occupancy of the 3rd tower in the Roundhouse development.

Thank you for your consideration. We are working towards the completion of the remaining buildings on the 20-acre Bayview and Roundhouse lands. It has been a slow process getting to this point considering we started working on this project in 1998. This 30 to 40-year project schedule is very uneconomic and unfeasible compared to the original 10 years that was expected for projects this size. Our much larger projects are typically finished in 7-8 years. We hope to work closely with the city to expedite the completion of this site. The tax revenues generated from this property will be significant to the sustainability of the City of Victoria's financial interests.

A decision by Council on this matter is required quickly as our Development Permit for 210 Kimta Road cannot proceed to Council for approval until this matter has been resolved. It is our hope to have the DP approved by Council no later than July 2018 so that we can proceed with its development as soon as possible. We can no longer afford any delays.

Please help us,



Kenneth Wm. Mariash, Sr.

For Bayview Place and Focus Equities

BAYVIEW PLACE

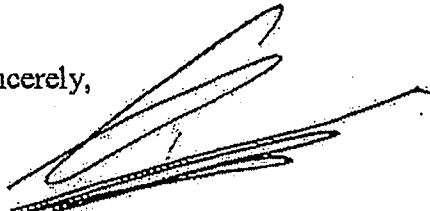
Re: Cash-in-lieu required under Section 15 of the Master Development Agreement (MDA) for the Roundhouse Development

Attn: Mayor Lisa Helps and members of Victoria City Council

We originally requested that the cash-in-lieu required under Section 15 of the MDA payment to be submitted with the Development Permit Application (DP) for 210 Kimta Road be postponed to the Occupancy Permit Application (OP) phase for our third condominium building (DA-3) in the Roundhouse Development. After hearing from City Staff in the planning department, we are willing to accept the City's position to defer the cash in lieu provision to the Building Permit phase of DA-3 which we understand staff would support in their recommendation to Council. During the intervening time, we intend to continue to consult with the community to understand what their preferences for community space might be. Should they conclude that community space within the Bayview Place development be their preference, we will return to Council to further amend the MDA.

Attached please find the original letter addressed to the attention of Mayor Lisa Helps and members of Victoria City Council.

Sincerely,



Kenneth Wm. Mariash, Sr.

For Bayview Place and Focus Equities

c.c. Mr. J. Tinney, Director, Sustainable Development and Community Planning



Planning and Land Use Committee Report

For the Meeting on July 17, 2014

Date: July 16, 2014 **From:** Jim Handy, Senior Planner - Development Agreements

Subject: Provision of Community Space at 253 and 259 Esquimalt Road (Roundhouse)

Purpose

The purpose of this report is to present Council with information, analysis and recommendations regarding the provision of community space in association with a proposed development at 253 and 259 Esquimalt Road, also known as the Roundhouse.

Background

Section 15 of the Roundhouse Master Development Agreement (MDA) requires that the Developer provide, at the option of the City, an area for community space or cash in lieu. The Developer must give to the City notice, in writing, requiring the City to elect one of the following options within six months of that notice:

- a) to have the Developer provide, as the community space within the Commercial Heritage Roundhouse Phase, an area of 300 m² in floor area; or
- b) to have the Developer provide as the community space an area having less than 300 m² in floor area in a location mutually agreed by the Developer and the City; or
- c) to have the Developer pay cash in lieu of community space in the amount of \$660,000 (subject to a financial adjustment).

Under the terms of the MDA, if the City fails to provide written notice to the Developer of the City's election of one of the options by August 5, 2014, the City shall be deemed to have elected the cash in lieu option. It should be noted that the cash in lieu sum is subject to a financial adjustment based on the Consumer Price Index and is currently valued at \$690,134.

In accordance with the MDA, the applicant provided the required notice relating to the provision of the community space on February 7, 2014. The Developer submitted a further letter dated June 6, 2014, requesting the deferment of any community space contribution to a later phase of the project. The rationale for the proposed deferment is based on offsetting the significant costs associated with developing the Commercial Heritage Roundhouse Phase (Phase 1). Such costs are cited as being attributable to environmental remediation work, the provision of other required public amenities and the rehabilitation of the Heritage-Designated buildings. If deferred, the value of the cash in lieu option would be further adjusted based on the Consumer Price Index at the time the Developer would eventually be required to make the necessary payment.

Staff subsequently provided advice on this matter to Planning and Land Use Standing Committee (PLUC) in a closed meeting. Following this meeting the Developer submitted a letter to the City, dated July 16, 2014, confirming that they would be willing to extend the deadline for Council to choose one of the community space options, but only if Council agree that they will either elect option b or c. The reason for excluding option a is that they are well into the process of leasing

space within the Commercial Roundhouse Heritage Phase and it would present a challenge to put that program on hold.

Options for Council Consideration

In light of the above, Council are presented with the following choices:

1. Council may choose option a, b or c and notify the Developer of this choice before August 5, 2014. If option c (cash in lieu) is chosen, then Council must also decide whether they wish to receive the monies in accordance with the MDA (prior to the occupancy of any building within the Commercial Heritage Roundhouse Phase) or alternatively, agree to the Developer's request and direct staff to prepare an amendment to Section 15 of the Roundhouse Master Development Agreement requiring that the Developer pays cash in lieu of community space.
2. Council direct staff to prepare an amendment to the MDA extending the deadline in relation to electing a community space option by a further six months. Following consultation with the community Council may then choose either option b or c. Again, if Council chooses option c (cash in lieu), then Council must also decide whether they wish to receive the monies in accordance with the MDA (prior to the occupancy of any building within the Commercial Heritage Roundhouse Phase) or alternatively, agree to the Developer's request and direct staff to prepare an amendment to Section 15 of the Roundhouse Master Development Agreement requiring that the Developer pays cash in lieu of community space at a later stage.
3. Council may direct staff to negotiate a further option, not considered above, with the Developer.

As outlined above, in the event that Council have not chosen a community space option by August 5, 2014, or the MDA has not been amended to extend the deadline in relation to Council electing a community space option, the MDA states that the City shall be deemed to have elected the cash in lieu option.

Analysis

The Developer has indicated that they are willing to agree to an MDA amendment to extend the deadline in relation to Council electing a community space option but only if Council agree that they will either elect option b or c. As this would limit the choice available to Council, staff recommend that Council do not agree to amend the MDA on this basis.

Staff have reviewed these provisions of the MDA as well as considerations relevant to the needs, provision, operation and maintenance of recreational space in the Victoria West neighbourhood and recommend option c (cash in lieu). The City currently has a community centre in Victoria West, operated by the Victoria West Community Association and supported with grants through the Neighbourhood Development Program. If the City acquired community space in the Roundhouse development, there would be additional maintenance and operating costs not covered in the current financial plan.

It is important to plan effective community spaces to continue to meet current and future needs of the community. To this end, it is important that future planning for community space be undertaken with community consultation and research into trends and best practices. This type of exercise would need to occur at a later date as part of a work program item with the Parks, Recreation and Culture Department. It is anticipated that any community consultation would assess community needs with a view to establishing appropriate community amenities with the financial contribution.

In light of the stated preference of the Developer with regard to the possibility of deferring the decision to a later date, electing the cash in lieu option would still allow for City consultation with the community to determine the best use of these financial resources and would also achieve to some extent the desire of Council to engage the community on this matter. For these reasons staff recommend that Council choose the cash in lieu option.

Should Council approve the Developer's request to defer the community space contribution to a later stage, an amendment to the MDA will be necessary and staff recommends to Council that the amendment require the Developer to pay the cash in lieu of community space prior the submitting a Development Permit Application for the first building constructed in Development Area 3, 4 or 5 of the CD-12 Zone, Roundhouse District.

Although the Developer has withdrawn the option of providing community space within the Commercial Heritage Roundhouse Phase in association with any deadline extension to allow the City additional time to consider a community space option, staff recommend that Council agree to the request to defer the payment of the cash in lieu. However, Council should note that a deferral on these terms would mean that there would be no fixed date for the payment of the cash in lieu, as the Developer has not provided any timelines with respect to the commencement of construction on these Development Areas and it is anticipated that this will largely be dictated by market forces. Therefore, an alternative recommendation has been provided should Council decide to request the cash in lieu option under the current terms of the MDA. This would require that the Developer pay the cash in lieu option before the occupancy of any building within the Commercial Heritage Roundhouse Phase and may facilitate earlier consultation with the community.

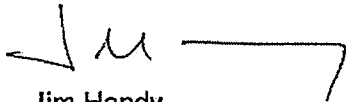
Recommendation

1. That Council direct staff to prepare an amendment to Section 15 of the Roundhouse Master Development Agreement requiring that the Developer pays cash in lieu of community space prior to submitting a Development Permit Application for the first building constructed in Development Area 3, 4 or 5 of the CD-12 Zone, Roundhouse District, to the satisfaction of the Director of Sustainable Planning and Community Development and the City Solicitor.
2. That Council direct the Mayor and Corporate Administrator to execute the MDA Amendment and other instruments necessary to effect its registration in the Land Title Office.
3. That Council direct staff to consult with community groups with respect to how the cash in lieu of community space could be reinvested back into the community and report back to Council with the feedback received.
4. That Council Rise and Report on this resolution should it be adopted at the July 10, 2014, Council Meeting.

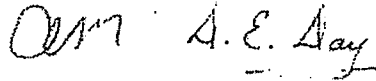
Alternate Recommendation

That Council decline the request to amend the Roundhouse Master Development Agreement and, in accordance with Section 15 of that Agreement, elect that the Developer pays cash in lieu of community space at the adjusted amount.

Respectfully submitted,

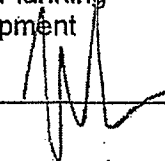


Jim Handy
Senior Planner – Development Agreements
Development Services Division



Deb Day
Director of Sustainable Planning
and Community Development

Report accepted and recommended by the City Manager:


Jason Johnson

Date: July 16, 2014

JH:aw

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Attachments

- Letter from Developer dated February 5, 2014
- Letter from Developer dated June 6, 2014
- Letter from Developer dated July 16, 2014
- Section 15.0 of the Roundhouse Master Development Agreement
- Plan identifying Development Areas 1, 2 and 3
- Aerial map.

BAYVIEW PLACE

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Received
City of Victoria

FEB 07 2014

Planning & Development Department
Development Services Division

February 5, 2014

City of Victoria
Sustainable Planning and Community Development Dept.
1 Centennial Square
Victoria BC V8W 1P6

Attn: Deb Day, Director

RE: Bayview Place, Roundhouse: Community Space

Dear Ms. Day:

Per the terms of the Master Development Agreement ("MDA"), Section 15.2, as applicable to the Commercial Heritage Roundhouse Phase, this letter shall serve as notice to the City of Victoria of its option under the MDA to select Community Space within the project or cash in lieu.

At the request of the City, we would be pleased to present various Community Space options available within Bayview Place for discussion purposes.

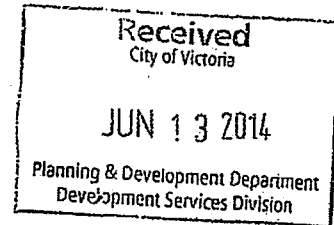
We trust that this letter meets the requirements of the MDA and request that this letter be directed to the appropriate Department or to Mayor or Council as may be required to advance the process forward.

Sincerely,

David Fullbrook
Bayview Place

June 6, 2014

City of Victoria
Sustainable Planning and Community Development Dept.
1 Centennial Square
Victoria BC V8W 1P6



Attn: Deb Day, Director

RE: Bayview Place, Roundhouse: Community Space

Dear Ms. Day:

Per our discussion of June 4, 2014 regarding Community Space for the Commercial Heritage Roundhouse Phase, we are writing to request that Section 15 of the Master Development Agreement be amended to defer the requirements under this Section to a later phase in the project.

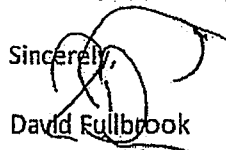
As was suggested in the meeting, the original phasing plan for the Roundhouse Lands anticipated the construction of up to two towers before the completion of the National Historic Roundhouse precinct. This strategy was in recognition of the significant costs associated with environmental remediation, heritage building revitalization and public amenity contributions inherent in the Roundhouse phase, while also recognizing the City's interest in seeing the revitalization realized in a timely manner.

As a result of changing market conditions, however, we have since elected to proceed now with the revitalization of the heritage Roundhouse buildings as a first phase and have embarked on an ambitious plan to deliver the completed Roundhouse by summer of 2016. The project will now bring a significant neighbourhood and community amenity on stream much earlier in the development sequencing than anticipated. Deferral of the Community Space contribution to a later phase of the project helps by offsetting this cost from the already heavily-burdened Commercial Heritage Roundhouse Phase and supports the greater viability of the project.

We are also continuing to explore other ways that might improve the viability of the Roundhouse as the build-out of the remaining residential towers proceeds; however, market constraints will limit the pace of development.

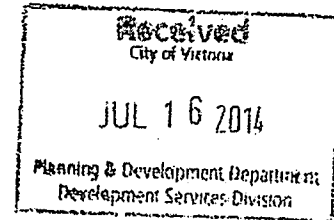
In our meeting we identified other potential changes to our development plan to reinforce and improve the financial viability of the Roundhouse phase of the project, to include: exploration of heritage tax abatement and interim rezoning of the South Roundhouse lands to allow for temporary commercial, retail and artisan use of the existing warehouse buildings, furthering the objective of animating the site. It will be our intention in the coming weeks to formally introduce these items to the City and we sincerely appreciate your time and expertise in examining them with us earlier this week.

Sincerely,


David Fullbrook
Focus Equities



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July 16, 2014

City of Victoria
Sustainable Planning and Community Development Dept.
1 Centennial Square
Victoria, BC V8W 1P6

Attn: Alison Meyer, Assistant Director, Development Services via email: ameyer@victoria.ca

**Re: ROUNDHOUSE AT BAYVIEW PLACE – MASTER DEVELOPMENT AGREEMENT /
COMMUNITY SPACE**

Dear Ms. Meyer,

Roundhouse Properties Limited Partnership and 0771279 B.C. LTD. (collectively, the "Developer") of the above referenced property is amenable to the City's request for a 6-month deferral of its decision to elect Community Space, as defined in the Master Development Agreement dated July 26th, 2008 (the "Agreement"), or cash in lieu of Community Space, under the terms of Sections 15.2 (b) and 15.2 (c), but not 15.2 (a) of said Agreement, outlined as follows:

15.2 (b) to have the Developer provide as the Community Space an area having less than three hundred (300) square meters in floor area, finished to plans and specifications provided by the City in a location mutually agreed to by the Developer and the City (the "Alternate Space"), provided that the cost to the Developer of providing the Alternate Space finished as required by the City must not exceed Six Hundred and Sixty Thousand (\$660,000.00) Dollars, as adjusted pursuant to section 15.7;

15.2 (c) cash in lieu of Community Space in the amount of Six Hundred and Sixty Thousand (\$660,000.00) Dollars, as adjusted pursuant to section 15.7, to be paid by the Developer to the City prior to the issuance of an occupancy permit for any building within the Commercial Heritage Roundhouse Phase.

Section 15.2 (a) has been explicitly excluded as the Developer has already advanced leasing negotiations of the areas within the Roundhouse. A 6-month hold on the leasing initiative would jeopardize months of progress as well as representations made to prospective anchor tenants, not to mention the financial implications at stake.



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In addition, the Developer had requested as per a letter dated June 6, 2014, that should the City elect option 15.2 (c) following the 6-month deferral, the provision of cash in lieu be paid by the Developer to the City prior to the issuance of an occupancy permit for a later Phase of Development. The basis for the request was a change in the phasing schedule that will effectively accelerate the completion of the Commercial Heritage Roundhouse Phase together with most of the Public Amenities that were originally planned for a later Phase. Deferring the payment to a future Phase supports the economic viability of the Commercial Heritage Roundhouse Phase, which is heavily burdened with significant capital costs associated with the heritage building revitalization, environmental remediation, and provision of significant community amenities.

Capitalized terms used but not defined herein have the meanings assigned to them in the Agreement.

Thank you for your continued support. If there are any questions or concerns, please do not hesitate to contact me.

Warm Regards,

A handwritten signature in black ink, appearing to read "George D. Kallergis". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

George D. Kallergis
Focus Equities

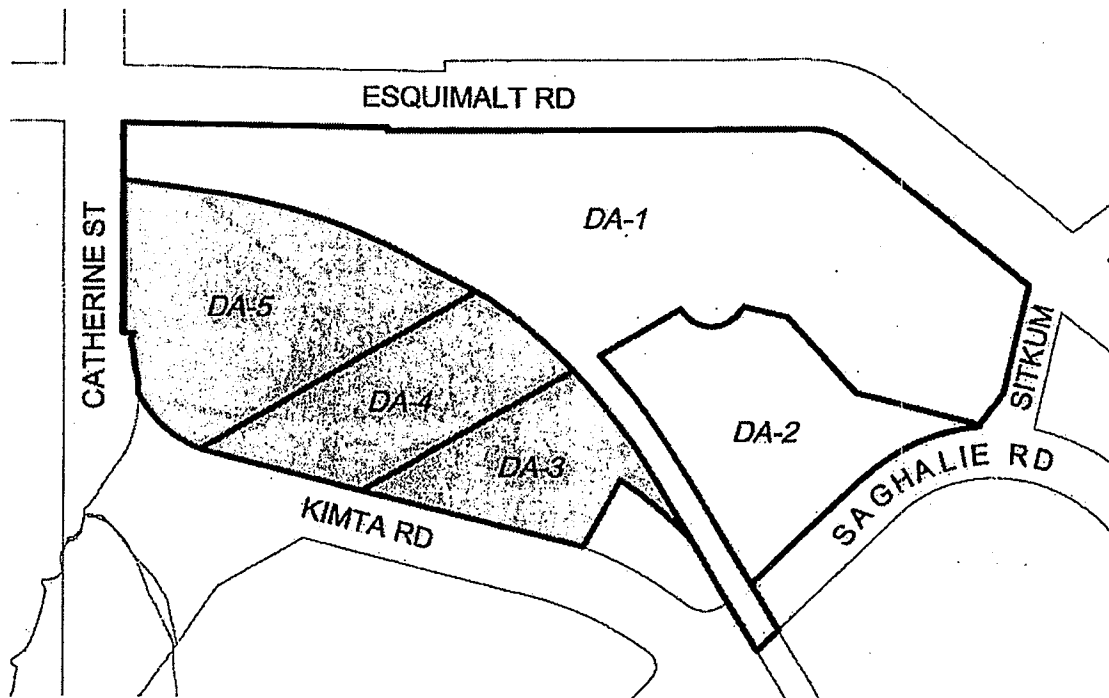
the Development and other related development activities on the Development Lands strictly in accordance with the City's Tree Preservation Bylaw No. 05-106, as it may be amended or replaced from time to time.

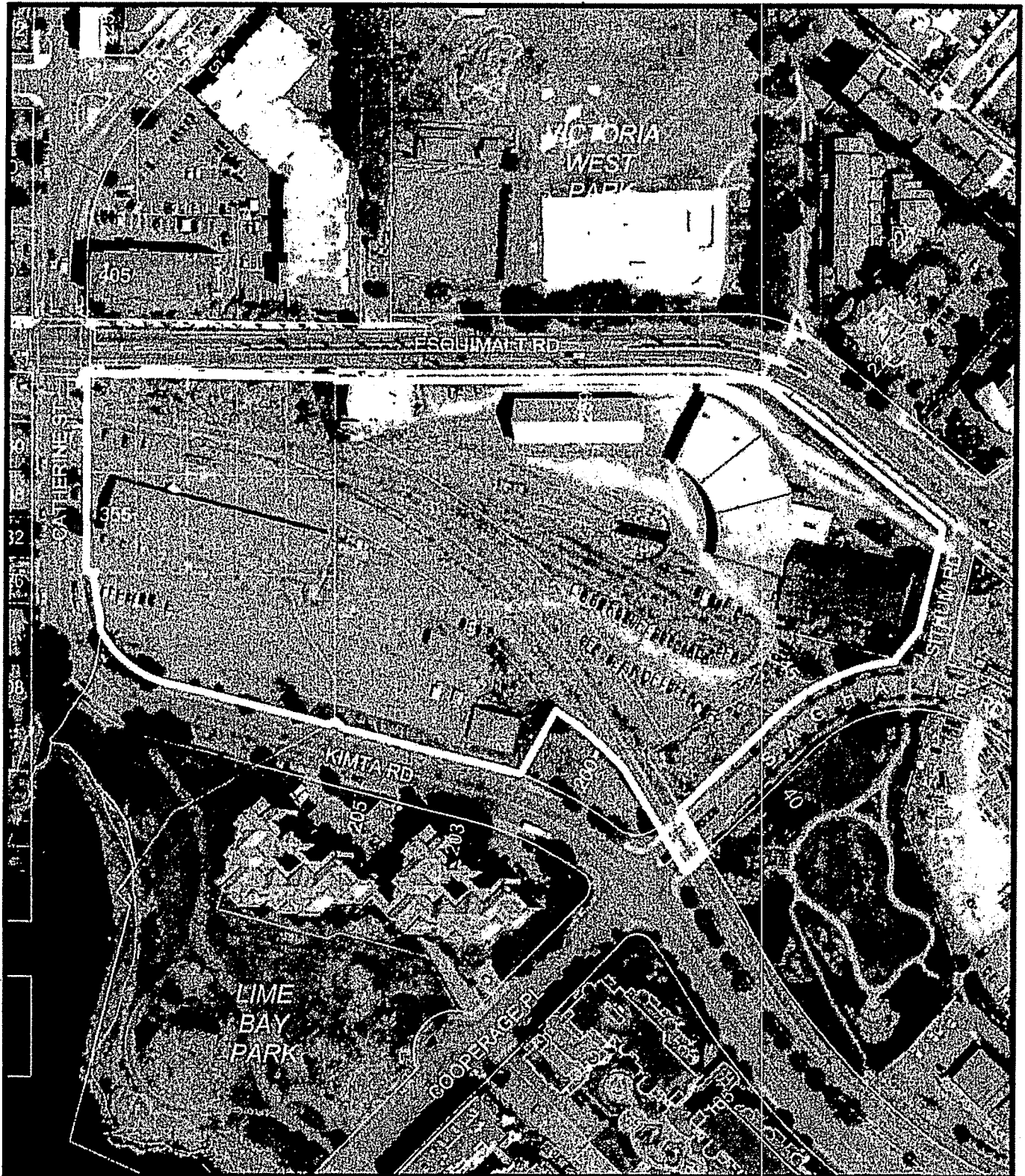
15.0 COMMUNITY SPACE

- 15.1 The Developer must provide, at the option of the City, an area within the Development as a Community Space (the "Community Space"), or cash in lieu, in accordance with this Part 15.0.
- 15.2 Prior to the submission of an application for a development permit for the Commercial Heritage Roundhouse Phase, the Developer must give to the City notice in writing requiring the City to elect one of the following options within six (6) months of that notice (the "Notice Period"):
- (a) to have the Developer provide as the Community Space within the Commercial Heritage Roundhouse Phase an area of three hundred (300) square metres in floor area and finished to the shell condition described in Schedule "L" hereto so as to permit the City to construct "tenant improvements". In the event the City selects this option, the Developer shall, during the construction of the Commercial Heritage Roundhouse Phase, finish the Community Space to the basic standards described in Schedule "L";
 - (b) to have the Developer provide as the Community Space an area having less than three hundred (300) square metres in floor area, finished to plans and specifications provided by the City in a location mutually agreed to by the Developer and the City (the "Alternate Space"); provided that the cost to the Developer of providing the Alternate Space finished as required by the City must not exceed Six Hundred and Sixty Thousand (\$660,000.00) Dollars, as adjusted pursuant to section 15.7;
 - (c) cash in lieu of Community Space in the amount of Six Hundred and Sixty Thousand (\$660,000.00) Dollars, as adjusted pursuant to section 15.7, to be paid by the Developer to the City prior to the issuance of an occupancy permit for any building within the Commercial Heritage Roundhouse Phase.
- 15.3 If the City fails to provide written notice to the Developer of the City's election of one of the options referred to in section 15.2, within the Notice Period, the City shall be deemed to have elected the cash in lieu option under section 15.2 (c).
- 15.4 If the Developer does not give notice under section 15.2 within five (5) years of the date of this Agreement, the City may in its sole discretion elect the cash in lieu option under section 15.2(c), by providing written notice of that election to the Developer, in which case the Developer must pay the cash in lieu amount under section 15.2(c) (as adjusted pursuant to section 15.7) within six (6) months of receipt of notice of the City's election.

- 15.5 In the event the City elects to have the Developer provide the Community Space or Alternate Space, the Developer shall lease the Community Space or Alternate Space to the City for a period of ninety-nine (99) years commencing upon the issuance of an occupancy permit for the Community Space. The Lease:
- (a) shall provide for total rent payable for the term in the amount of Ten (\$10.00) Dollars;
 - (b) shall provide that the City is not obliged to pay any strata fees or property taxes for the use or occupancy of the Community Space;
 - (c) shall impose no liabilities of a capital nature upon the City;
 - (d) shall limit the uses of the Community Space to the uses described in Schedule "L".
 - (e) shall provide that the City is responsible for all non-capital operating and maintenance costs, other than those for which a landlord of commercial property is generally responsible.
- 15.6 If the City and the Developer both agree, the Developer may instead transfer the fee simple title to the Community Space or Alternate Space to the City, for nominal consideration, on terms and conditions that are agreeable to both parties.
- 15.7 The Six Hundred and Sixty Thousand (\$660,000.00) Dollar amount referred to in sections 15.2 (b) and (c), and the financial limit of the Developer's obligation under these provisions, shall be increased on the first anniversary date of this Agreement, and on each anniversary date thereafter, by an amount that is equal to the percentage increase in the Consumer Price Index for the Greater Victoria Region over the twelve (12) months preceding that anniversary date, as determined by Statistics Canada or its successor in function.
- 16.0 RESTRICTIVE COVENANTS**
- 16.1 Prior to the final adoption of the Rezoning Bylaw, the Developer shall provide an executed restrictive covenant to be registered against title to the Development Lands, pursuant to Section 219 of the Land Title Act, which incorporates the terms of this Master Development Agreement and is in the form attached as Part 1 of Schedule "J" to this Agreement.
- 16.2 Prior to the final adoption of the Rezoning Bylaw, the Developer shall provide an executed restrictive covenant to be registered against title to the Development Lands, pursuant to Section 219 of the Land Title Act, in the form attached as Part 2 of Schedule "J", which restricts the use of the existing E & N Railway Corridor

Development Area's (DA) 3, 4 and 5





251-259 Esquimalt Road, 355 Catherine Street,
200 E&N Rail Line and 210 Kimta Road



Cash in Lieu of Community Space

Roundhouse Master Development Agreement

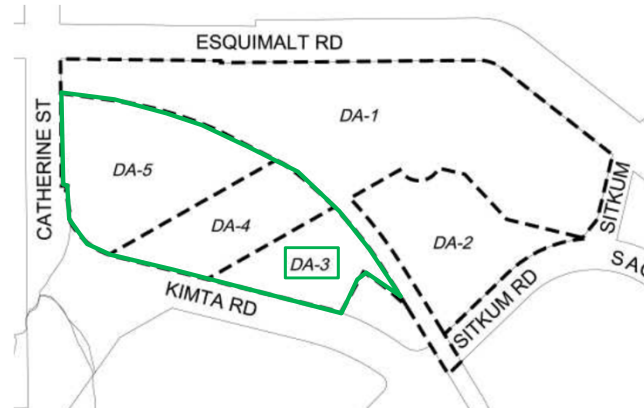


Background

- Roundhouse MDA registered in October 2008
- Option for community space on-site, off-site or cash in lieu of community space
- Council elected the cash-in-lieu option in July 2014
- Payment stands at approximately \$725,000.



Payment required prior to submitting a Development Permit Application for the first building constructed in **Development Area 3, 4 or 5** of the CD-12 Zone, Roundhouse District.



Request from Developer:

To defer payment to Building Permit Stage





Committee of the Whole Report

For the Meeting of May 3rd, 2018

To: Committee of the Whole **Date:** March 26, 2018
From: Thomas Soulliere, Director of Parks, Recreation, and Facilities
Subject: Cecelia Ravine Park Improvement Plan

RECOMMENDATION

That Council:

1. Approve the Park Improvement Plan for Cecelia Ravine Park (Appendix A); and
2. Amend the 2018 Financial Plan to increase the project budget by \$600,000, with funding from the Parks and Greenways Acquisition Reserve.
3. Direct staff to include \$49,000 for ongoing operating costs within the 2019 Financial Plan to be funded from general property tax revenue.

EXECUTIVE SUMMARY

Cecelia Ravine Park is the largest park in the Burnside-Gorge neighbourhood. The park provides a variety of recreational opportunities, along with one of the largest natural areas in the City park system.

In 2016, the City purchased property next to the western portion of the park, with funds in a reserve established through the sale of Ellis Street Park (2009). The new property is located on Cecelia Road and Washington Avenue, totalling 0.22 hectares (0.5 acres), and expanding Cecelia Ravine Park to 4.07 hectares.

Throughout 2017, staff worked closely with the community to develop a design for the newly acquired property that aligns with key objectives outlined in the Parks and Open Spaces Master Plan, Burnside Gorge Neighbourhood Plan, Cecelia Ravine Park Management Plan, and Urban Forest Master Plan. The proposed Park Improvement Plan is attached as Appendix A.

The park design consists of:

- A larger, more accessible, playground;
- Community gathering areas, picnic facilities and open green space;
- An improved outdoor fitness area;
- A new parking lot for vehicles;
- Enhanced furnishings, including bike racks, shade structure, pathway lighting, and seating;
- New public washroom;
- An upgraded, accessible pathway connecting the western area of the park to the Galloping Goose Regional Trail and eastern area of Cecelia Ravine Park; and,
- Enhanced tree canopy coverage and native planting areas.

The estimated cost to complete the park upgrades is \$1,568,700 Class D (preliminary) cost estimate with 25% contingency. A total of \$968,000 is available through the reserve fund previously set aside for the purchase and development of new parkland within the Burnside neighbourhood. Staff recommend the acquiring the remaining funds (\$600,000) necessary to implement the Plan from the Parks and Greenways Acquisition Reserve Fund, which currently contains approximately \$2,700,000.

The project timeline below illustrates the current schedule and anticipated future phases, pending Council approval.



With Council approval, staff will complete the necessary detailed design work and prepare for construction to commence in the summer of 2018. The Plan is anticipated to be implemented by the end of 2018.

PURPOSE

The purpose of this report is to seek Council approval for park improvements and associated budget for an expansion to Cecelia Ravine Park.

BACKGROUND

Cecelia Ravine Park is the largest park in in the Burnside-Gorge Neighbourhood and contains one of the largest natural areas in the City park system, featuring a creek, woodland areas, open meadows, and steep sided ravines. The park also offers a number of community amenities, including a bike skills park, basketball court, playground, community garden, fitness equipment, and numerous secondary trails. The park is bisected by the Galloping Goose Regional Trail, which is maintained by the Capital Regional District.

In 2016, the City acquired new property adjacent to the western portion of Cecelia Ravine Park, expanding the park space by 0.5 acres. This new parkland was acquired using funds from the disposition of the Ellice Street Park. The location of this parcel of land is considered strategically valuable from the perspective of parks and recreation in this neighbourhood. This quality green space is adjacent to the popular Galloping Goose Trail, close to the Burnside Gorge Community Centre, and offers an opportunity to deliver expanded public spaces and amenities within Cecelia Ravine Park.

The western portion of park is physically separated from the remainder of Cecelia Ravine Park by the Galloping Goose Regional Trail and the steep ravine topography. There is currently a trail connecting these areas; however, it is steep and particularly difficult to navigate for individuals in wheelchairs or those with mobility challenges.

ISSUES & ANALYSIS

Design Process

A cross-departmental working group, led by the Parks team, developed the Park Improvement Plan. The team consulted with residents as well as multiple experts to ensure the Plan meets community needs and is achievable within available resources. The proposed features are drawn from three sources: guiding City policy documents, public engagement feedback, and a review of existing conditions and operational impacts.

1. Guiding Documents

Staff reviewed a variety of guiding documents, including the Parks and Open Spaces Master Plan, Burnside Gorge Neighbourhood Plan, Cecelia Ravine Park Management Plan, and the Urban Forest Master Plan.

The documents contain multiple recommendations relevant to Cecelia Ravine Park. Common themes include creating safe and accessible amenities and infrastructure, refreshing the existing amenities and infrastructure with a focus on respect for and restoration of natural spaces, and attracting citizens via accessibility improvements and a variety of aesthetic changes.

2. Public Engagement

The City hosted two rounds of public engagement in 2017. The first round collected general feedback and ideas about improvements to Cecelia Ravine Park and the new property. The second solicited input on a proposed draft design that had been developed based on the feedback from the first phase of engagement. Overall, the plan received widespread support through the engagement. Items noted as important by the community included updating the playground and including natural play elements and updating pathways as a priority. The public felt strongly that the improvements should feel safe for everyone and include multiple access points, good lighting and clear sightlines. A full engagement summary report is attached as Appendix B.

3. Review of Existing Conditions

Several potential constraints were identified over the past several months, allowing for solution development and risk mitigation in advance of detailed design. Some of the key challenges which must be addressed include underground utilities, multiple grade changes, and encroachment on CRD property.

Park Improvement Plan

The objective of the Cecelia Ravine Park Improvement Plan is to accommodate the park expansion in a manner that benefits the community, offers engaging and inclusive experiences, and complements existing park features. The Plan consists of both new and improved elements:

- Playground Improvement: A larger, more accessible playground with a mix of natural and structured play opportunities and accessible surfacing. Drawing inspiration from the nearby Cecelia Creek, a "creek-themed" play area is planned, which may include elements such as creek inspired imaginative play, or a water play channel and pump.
- Outdoor Fitness Area Improvement: An updated outdoor fitness area with a wider range of equipment and rubber surfacing to complement the activities provided at the community

- centre.
- Improved Amenities: Improvements to internal pathways, bicycle racks, lighting, a community picnic area with a shade structure, new furnishings, and an open grass area will facilitate social gathering and informal recreation.
- Accessible Public Washroom: A new washroom adjacent will serve visitors to the western portion of the park.
- Cecelia Road Pathway Improvement: An accessible pathway will add a significant enhancement to the existing connection between Cecelia Road and the Galloping Goose Regional Trail.
- Enhanced canopy coverage and native planting areas: New tree planting locations will expand canopy coverage and provide shade to the playground and seating areas. Native planting areas will be used to enhance park edges and provide habitat value.
- Parking: A small parking area with space for 4-5 cars will serve the expanded park and improve accessibility.

Further detail on the Park Improvement Plan for the western portion of Cecelia Ravine Park is attached as Appendix A.

Project Budget

As shown in the table below, the total cost estimate for the proposed park improvements outlined in the Plan is \$1,568,700. Council has already approved \$968,000 as noted in the 2018 Financial Plan, which represents the remainder of the \$2 million originally allocated to acquire and develop additional parkland in the Burnside neighbourhood. The remaining \$600,000 required for implementation may be allocated from within the Parks and Greenways Acquisition Reserve Fund, which currently has approximately \$2,700,000 available.

Cecelia Ravine Park Improvements – Class D (Preliminary) Cost Estimate	Cost Estimate
Hard and Soft Landscaping (paving, fencing, bollards, plantings)	\$167,000
Park Amenities (furnishings, playground/fitness equipment)	\$290,000
Lighting	\$70,000
Washroom (including servicing)	\$250,000
Cecelia Road Pathway	\$384,000
Construction Cost	\$1,162,000
Design Services (10%)	\$116,200
Construction Contingency (25%)	\$290,500
TOTAL 2018 Estimated Costs	\$1,568,700

Operating Impacts

As a result of the increased size and amenities the future park will offer, staff have estimated a slight increase to the operational budget. The table below provides a summary of these incremental costs, which will take effect following completion of construction, in 2019.

Cecelia Ravine Park Incremental Operating Costs	Cost
Landscaping Maintenance	\$10,000
Maintenance of Assets and Amenities (furnishings, playground/fitness equipment, lighting, pathway maintenance)	\$15,000
Washroom Maintenance	\$24,000
Impact to Operating Budget (2019)	\$49,000

OPTIONS & IMPACTS

With Council's approval of the improvement plan and associated budget, staff will begin detailed design work, with construction anticipated to take place from August until the end of 2018.

Implementation Timeline	
Detailed design and procurement	March – July 2018
Construction	August – December 2018
Community celebration	Spring 2019

Accessibility Impact Statement

Site accessibility has been a primary consideration of this design exercise. The proposed improvements include pathways and adjacent parking, accessible play opportunities, lighting, seating, and shade. Updating the Cecelia Road pathway will result in a new accessible entry point between the eastern and western park areas, addressing the obstacle posed by the steep ravine.

2015 – 2018 Strategic Plan

The recommended option is consistent with Objective 8: Enhance and Steward Public Spaces, Green Spaces, and Food Systems.

Impacts to Financial Plan

As noted above the cost estimate for the park and pathway upgrades requires funds not currently approved in the 2018 Financial Plan. Staff recommend allocating the additional \$600,000 from the Parks and Greenways Acquisition Reserve Fund.

The operational budget increase will be included in the 2019 Financial Plan.

Official Community Plan Consistency Statement

The proposed park improvements supports actions in the Official Community Plan under Goal 9 – Parks and Recreation

CONCLUSIONS

The proposed plan described above will provide the residents of this community with a high-quality park expansion that is accessible, inclusive, and aligns with the priorities of recent City policies. Staff recommend that Council approve the Park Improvement Plan for Cecelia Ravine Park.

Respectfully submitted,



Leigh Campbell
Manager

Parks Planning, Design and Development




Thomas Soulliere
Director

Parks, Recreation and Facilities

Report accepted and recommended by the City Manager:

Date:


April 26, 2018

List of Attachments

Appendix A: Cecelia Ravine Park Improvement Plan

Appendix B: Engagement Summary



Cecelia Ravine Park Improvement Plan

Summary Report

April 2018

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Purpose & Objectives

Purpose of this Project

The objective of this project is to develop a plan to incorporate an expansion of Cecelia Ravine Park to serve the needs of the community, to offer engaging and inclusive experiences, and to complement and integrate with existing park features.

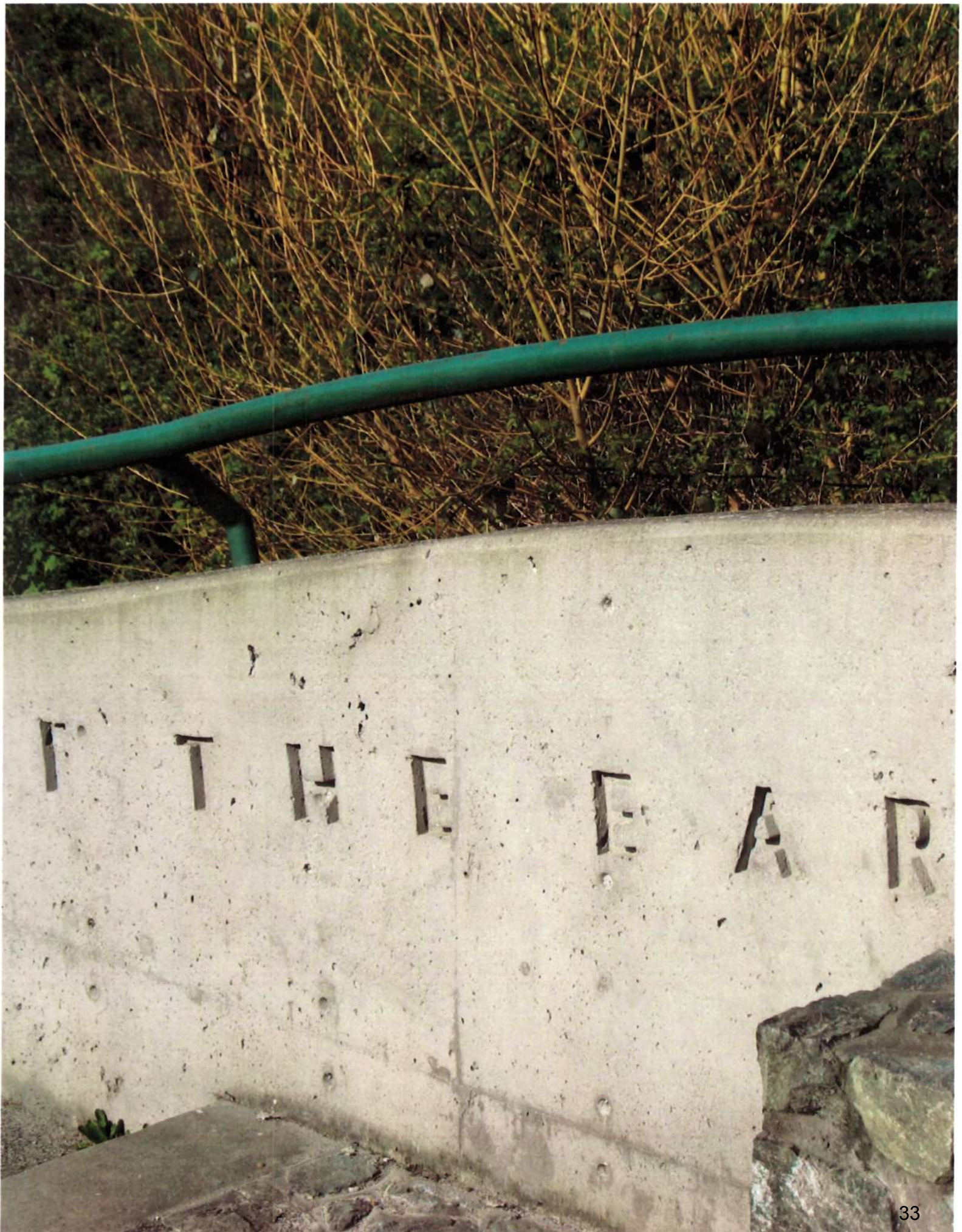
In 2016, the City of Victoria purchased new properties to add 0.22 hectares (0.5 acres) to Cecelia Ravine Park. This new parkland was acquired using reserved funds from the disposition of the Ellice Street Playlot. The location of this parcel of land offers the opportunity to deliver expanded public spaces and amenities for the Burnside Gorge neighbourhood.

In 2017, City of Victoria worked closely with the community to create a design for the new properties. The elements included in the design address key goals and guiding principles in City strategic documents as well as responding to community feedback from two phases of public engagement.

This report outlines the project background, site conditions, public engagement process, and the final proposed design for this park improvement.

"Cecelia Ravine Park provides a safe and unique natural green space. The busy Galloping Goose Regional Trail corridor is a key public amenity adjacent to the west side of the park. People return to the park to enjoy its restored natural areas and to participate in active outdoor recreation. Others visit the park to meet their neighbours, tend garden plots and watch their children play with friends. There is a variety of activities and facilities that keep park visitors interested and engaged and encourage them to visit the park throughout the year."

Vision for Cecelia Ravine Park (Cecelia Ravine Management Plan, 2011)



Project Background

Neighbourhood Context

Burnside Gorge is a diverse neighbourhood unique in its mix of residential, commercial, and industrial areas. This neighbourhood is home to approximately 6,000 residents in 2,800 households.

Most residents in the Burnside Gorge neighbourhood live within walking distance (400 metres) of at least one park, but the neighbourhood overall lacks a broad variety of easily accessible, quality green spaces. With 75% of housing units in multi-family buildings, access to a variety of open space and activities is essential.

The block pattern in Burnside Gorge does not easily facilitate pedestrian access to the Galloping Goose, urban villages, and parks. The steep-sided ravine of Cecelia Ravine Park separates a primarily residential neighbourhood to the east from the mixed use village areas to the west, making accessibility through, across and around this park an issue of key importance not only for park users, but also for the sustainable transportation goals of this neighbourhood. (See Fig. 1)



Fig 1: Priority cycling routes through the Burnside Gorge neighbourhood (Burnside Gorge Neighbourhood Plan, Map 5)

Land Acquisition

In May 2009, the City entered into a long term lease agreement with BC Housing and the Victoria Cool Aid Society to enable the construction of the Rock Bay Landing shelter on Ellice Street Park in the Burnside Gorge neighbourhood. In response to the loss of this green space, Council authorized staff to pursue a 'no net loss' of park space for this neighbourhood. A total of \$2,000,000 for land acquisition and park development in this neighbourhood was approved by Council.

In 2016, Council authorized staff to proceed with the purchase of 416 Cecelia, 3119 Washington and a portion of 3103 Washington, located adjacent to Cecelia Ravine Park for \$950,000. The location of this parcel of land was considered strategically valuable from the perspective of parks and recreation in this neighbourhood. This quality green space is adjacent to the popular Galloping Goose Trail, close to the Burnside Gorge Community Centre, and offers an opportunity to deliver expanded public spaces and amenities for this community within Cecelia Ravine Park. Acquiring additional land adjacent to this park to expand the park boundary was also a recommendation of the Cecelia Ravine Management Plan.

Cecelia Ravine Park: Existing Features

At 3.85 hectares, Cecelia Ravine Park is the largest park in the Burnside Gorge Neighbourhood. The park offers a variety of leisure opportunities for surrounding residents, and also contains one of the largest natural areas in the City of Victoria park system. Cecelia Ravine Park has several key features which include steep sided ravines, woodland areas, open meadows, a creek, numerous secondary trails and stairs, a playground and a busy community centre. The Galloping Goose Regional Trail (GGRT) which is managed by the Capital Regional District (CRD) traverses through the park.

The Burnside Gorge Community Centre opened in the park in 2007 and today offers a wide variety of programming and community support.

In 2011, the City of Victoria approved the Cecelia Ravine Park Management Plan to guide continued investment in to the park. Since that time, the City has made ongoing investment into the park including the addition of a bike skills area, basketball court, a community garden, and ongoing work to restore the natural areas within the park. (See Fig. 2)

Key park access points include:

- Galloping Goose Regional Trail (pedestrians/cyclists)
- Cecelia Road West (steep paved trail, pedestrians/cyclists)
- Stairs from Burnside Gorge Community Centre (pedestrians)
- Paved pathway off Napier Lane (pedestrians/cyclists)
- Gravel parking lot off Burnside Rd (vehicles/pedestrians/cyclists)



Fig 2: Cecelia Ravine Park existing amenities



Bike Skills Park



Community Garden



Burnside Gorge Community Centre



View from community centre stairs to Cecelia Road



Cecelia Creek



Existing condition of new properties



Existing condition of new properties



Existing Cecelia Road pathway connection



Existing playground and fitness equipment

Cecelia Ravine Park: New Properties

The additional lands are 0.22 hectares (0.5 acres) and expand the total size of Cecelia Ravine Park to 4.07 hectares. The new property is predominantly flat and consists of an old driveway. There are a few small fruiting trees. The house that used to sit on the site was demolished after the city took possession of the property. There are several properties that do not currently have perimeter fencing. (See Fig. 3)

Site Opportunities:

- **Playground upgrade:** The existing playground is 30 years old and has exceeded its service life. The new properties offer the opportunity to replace and modernize the play equipment, improve accessible play opportunities, include natural play elements, and provide high quality and creative play features.
- **Improve health and wellness activities:** Two outdoor fitness stations were installed in this park in 2014 to support the use of this park for circuit training and other fitness activities. The new properties provide the opportunity to expand the fitness area with new types of equipment and further strengthen the opportunity to use this space for fitness circuits.
- **Improve site amenities:** The new properties offer the opportunity to consider new types of site amenities within this park, including a public washroom, improved furnishings, bike parking, perimeter fencing, and pathway lighting.
- **Improve accessibility:** The new properties offer multiple opportunities to improve accessibility for the park and neighbourhood, including offering more accessible site amenities and improving site access. Upgrading the Cecelia Road pathway would remove a large accessibility barrier for this park, and also improve overall neighbourhood connectiveness.

Site Challenges:

- **Location of service utilities:** There are a number of service utilities running along and across the ravine embankment that must be accommodated in an upgraded Cecelia Road pathway connection.
- **Pathway encroachment:** Achieving a more accessible grade on the Cecelia Road pathway connection will require encroaching on land owned by Transport Canada and operated by the CRD. A right-of-way agreement with the CRD has been initiated.



Fig. 3: Existing Conditions of New Properties

Design Process

Guiding Documents

In developing the preliminary materials for this project, staff reviewed a variety of guiding documents. The following is a summary of some of the guiding principles or objectives that have helped frame the proposed improvements to the new lots.

Parks and Open Spaces Master Plan (2017)

- Identify opportunities to daylight or celebrate culverted streams (1.2.3);
- Identify opportunities to incorporate more support amenities such as washrooms, drinking fountains, lighting and food services at select parks (2.1.5);
- Incorporate a variety of spaces for socializing and group gathering into park spaces (2.2.2);
- Identify new health and fitness cluster locations where outdoor fitness amenities, walking areas, playgrounds, and sports amenities are located near each other (2.3.1);
- Establish a target for the provision of play spaces within an 800 meter walking distance of 99% of households (2.3.2);
- Establish and maintain standards of care to ensure safe, high quality and creative play features (2.3.3); and,
- Prioritize the development of active transportation linkages and infrastructure that connects residents and visitors to parks (2.6.4).

Burnside Gorge Neighbourhood Plan (2017)

- Improve the connection of Cecelia Ravine and Cecelia Road through pathway improvements (e.g. grade, signage and lighting) (*Sections 14.7.1(d), 12.10.6*)
- Work to remove invasive species and to improve native habitats in the ravine. Continue restoration of the creek and watershed. In addition, opportunities to make the mouth of Cecelia Creek more fish-friendly should be explored (*Sections 13.7.1(a), 12.17.1*)
- Enhance the park's function for events through improvements to the amphitheatre function, collaboration with the Burnside Gorge Community Association on programming, and consideration of a shelter, seating, or other features to support music performances, block parties, live theatre, or casual neighbourhood gathering (*Sections 13.7.1(b), 12.13.2*)

Urban Forest Master Plan (2013)

- Maximize community benefits from the urban forest in all neighbourhoods (*Goal 4*)
- The urban forest contributes significantly to the beautification and local character of the public realm
- The urban forest is part of the social fabric of the city, providing a safe place for festivals, smaller social gatherings and the enjoyment of nature
- Residents enjoy significant health and recreational benefits from the public urban forest
- Favour the planting of larger growing tree species wherever practical
- Expand and enhance the urban forest on public and private lands

Cecelia Ravine Park Management Plan (2011)

- Consider acquisition of additional park lands to expand the park boundaries (*Recommendation 5*)
- Create new facilities and amenities to attract more destination users who visit for longer periods of time (*Goal 3*)
- Improve secondary trail safety with better intersections and connections to the Galloping Goose Regional Trail (*Goal 4*)
- Consider location of outdoor fitness equipment (*Recommendations 14, 16*)

- Upgrade the playground at 400 Cecelia Road (*Recommendation 17*)
- Conduct trail improvements to connect 400 block of Cecelia to the Galloping Goose Regional Trail (*Recommendation 20, Appendix 5*)

Public Engagement Process

In development of the improvement plan, the City hosted two rounds of public engagement in 2017. The first round was to collect general feedback and ideas about improvements to Cecelia Ravine Park and the new lots. The second was to solicit input on a proposed draft plan that had been developed based on the input from the first round of engagement. The summary of all engagement is included as Appendix A of this design report.

Phase One Public Engagement

From July 20 – August 20, 2017, the City hosted the first phase of public engagement to collect general feedback and ideas about improvements to Cecelia Ravine Park. Through a variety of mechanisms including an online survey and in-person events, the City heard feedback from over 200 residents including:

- Over 60 local residents attended an open house in Cecelia Ravine Park
- 122 residents completed the online survey
- 30 seniors, and over 100 parents and children attended events at the Burnside Gorge Community Centre during three ‘pop up engagement stations’
- 40 people stopped by the ‘pop up engagement station’ at the Selkirk Waterfront.

Building on the results of public engagement from neighbourhood planning and the Parks and Open Spaces Master Plan, residents were asked to provide feedback on proposed improvements including a renovated playground, community gathering space, small parking area, relocated outdoor fitness area, and a new perimeter fence. In addition, they were asked to prioritize potential new park activities, with the results from engagement from highest to lowest, an expanded fitness area, community garden, picnic area and an open, grassy area.

Common feedback received on the improvement plan included:

- Support for all proposed improvements, especially a bigger, better playground.
- Safety for visitors of all ages, including multiple access points, lighting and clear views.
- Playground should offer a combination of play structures and natural play areas. Climbing was the most requested type of play feature.
- Consider a public washroom at this location.
- An expanded fitness area, new community garden space, and open grassy areas for picnicking and informal recreation were all popular potential new amenities for this park space.
- Improvements are needed to make the Cecelia Road pathway connection more accessible.

Residents were also asked to help prioritize the types of play equipment they would like to see in the park. In order of selected priority these included:

- Things to climb on
- A zipline
- A natural play area
- Water play
- Swings
- Slides
- Things that spin

Phase 2 Public Engagement

In conjunction with the guiding principles, site analysis and feedback received in Phase 1, staff prepared a proposed improvement plan for the park. During October 2017, the City hosted the second phase of public engagement to collect feedback on the proposed park improvement plan. In all, the City collected feedback during this phase from approximately 80 residents, through an online survey and an open house hosted at the Burnside Gorge Community Centre.

Overall, feedback received indicated widespread support for the improvements included in this plan. Community feedback included:

- Strong support for natural play elements and water/creek

themed play elements

- Strong support for outdoor fitness equipment
- Improvements should feel safe for everyone with multiple access points, good lighting and clear sightlines
- Strong desire to complete the Cecelia Road right-of-way pathway as a priority



Park Concept Plan

The final proposed park concept plan is based on feedback received during the community consultation process, as well as key deliverables and objectives in City planning documents. An illustrative plan is shown in Fig. 4.

The park concept plan includes the following key park components:

- Larger, more accessible, playground
- An improved outdoor fitness area
- A new parking lot for vehicles
- Enhanced furnishings including bike racks, shade structure, pathway lighting and seating
- Community gathering areas, picnic facilities and open green space
- New public washroom
- An upgraded, accessible pathway connecting the western area of the park to the Galloping Goose Regional Trail and eastern Cecelia Ravine Park
- Enhanced tree canopy coverage and native planting areas

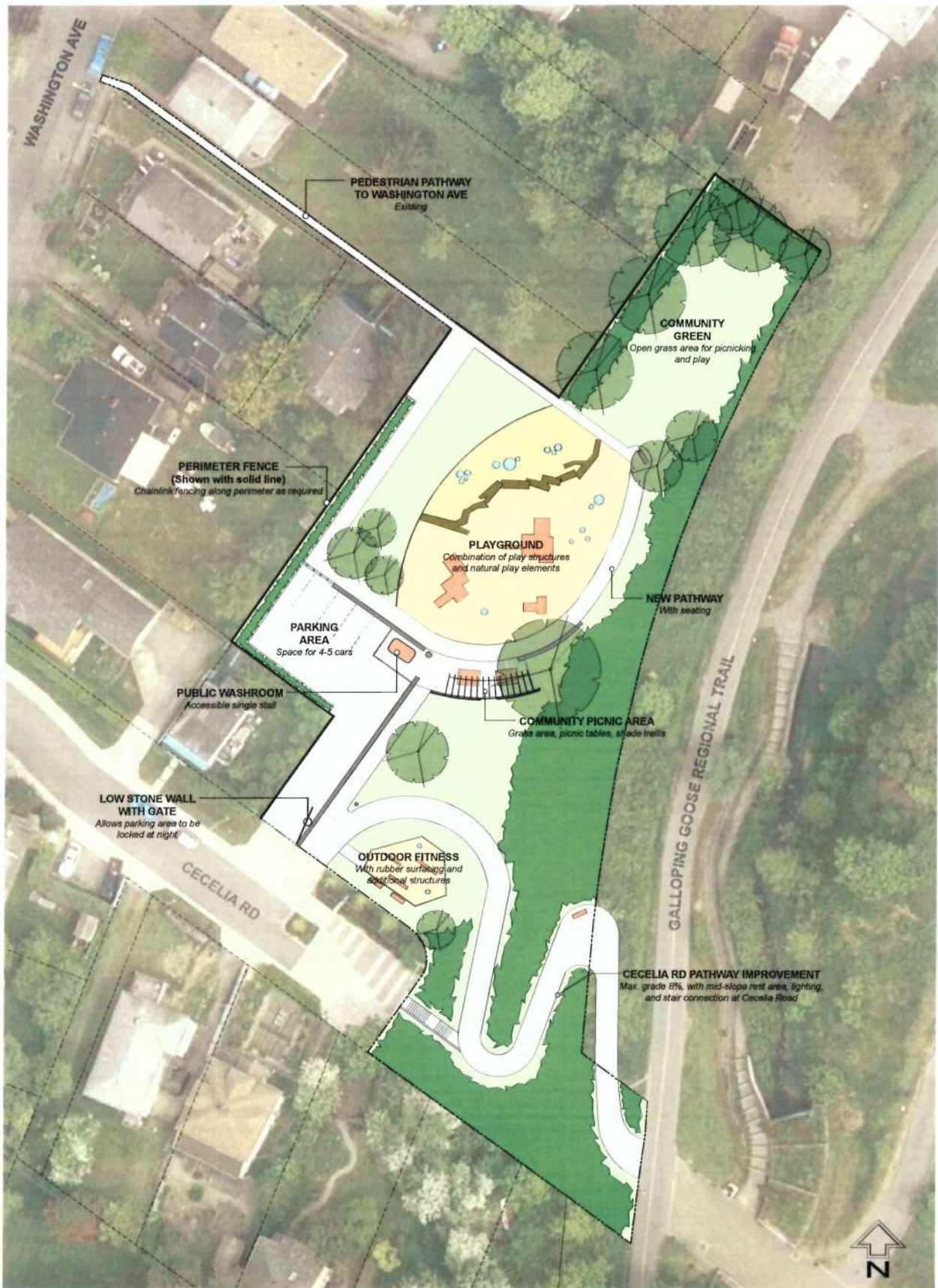


Fig 4: Park Concept Plan

Park Components

Playground



Key Plan: Playground

A larger, more accessible playground with a mix of natural and structured play opportunities is envisioned. Drawing inspiration from the nearby Cecelia Creek, the play area includes “creek-themed” play opportunities, which may include elements such as creek-inspired imaginative play, or a play water channel and pump. Structured play will include climbing opportunities and accessible surfacing. Natural play opportunities and climbing were both high priorities from the public engagement. A zipline was also frequently requested, however a review of available space and siting requirements for play equipment determined this would not be feasible.



Playground Examples



Key Plan: Outdoor Fitness Equipment

Outdoor Fitness Equipment

An expanded outdoor fitness area is located adjacent to the Cecelia Road pathway in order to allow for continued use of the ravine slopes and existing equipment within the park to continue as a fitness circuit. The area will include a wider range of equipment and rubber surfacing to complement the activities provided at the community centre. Rubber surfacing and a greater range of equipment (especially stationary equipment such as horizontal and parallel bars) were both requests that were recieved during public consultation.



Outdoor Fitness Equipment Examples





Key Plan: Community Amenities

Community Amenities

The concept plan includes a variety of community amenities including new internal pathways linking to Cecelia Road and the existing Washington Avenue connection; a community picnic area with a shade structure, new furnishings, an enhanced urban canopy and native planting areas, and an open grass area for community gathering and informal recreation. This new land provides the only opportunity within Cecelia Ravine Park for a flat lawn area for unstructured play. Providing opportunities for community gathering was an important consideration received from residents through public engagement for this project, and also through the Burnside Gorge Neighbourhood Planning process. Retaining an existing apple tree (near where the existing playground sits) was also important to the community. This tree is planned to be retained and will enhance the nearby picnic area.



Example of seating elements



Example of shade structure



Example of community green



Key Plan: Parking

Parking

Making use of the existing driveway, the concept plan includes a small parking area with space for 4-5 cars to serve the expanded park and to improve accessibility to the site.

Bicycle parking facilities will also be provided on-site.



Example of parking area





Key Plan: Public Washroom

Accessible Public Washroom

Public feedback indicated that the City should consider including a public washroom adjacent to the improved playground site. The design of this facility would be contemplated during detailed design but would be a small built structure. Exterior walls could be animated with mural painting.



Examples of public washrooms



Key Plan: Cecelia Road Pathway



Existing pathway conditions
(Top: from GGRT; Bottom: from Cecelia Rd.)

Cecelia Road Pathway

The block pattern in Burnside Gorge does not easily facilitate pedestrian access to the Galloping Goose, urban villages and parks, making neighbourhood cohesion a key concern for residents of this neighbourhood.

A cycling and pedestrian connection through Cecelia Ravine Park connecting the western side of Cecelia Road to the Galloping Goose and the Burnside Gorge Community Centre was identified as a priority active transportation improvement for this neighbourhood through the Burnside Gorge Neighbourhood Plan (5.4.2). This connection is also identified as part of the City's Greenways Plan and the Cecelia Ravine Park Management Plan.

The existing pathway at this location is steep, narrow and difficult to navigate for those with mobility challenges, on bicycles, or pushing strollers. The priority for this improvement was reiterated by the neighbourhood through public engagement for this project.

The redesigned pathway included in this project will be wider and less steep (with a maximum grade of 8%), making this pathway connection more accessible, and greatly improving east-west active transportation connections through the Burnside-Gorge neighbourhood. Completion of a pathway that meets accessible grades will require agreement from the Capital Regional District as a portion of the pathway would fall outside lands owned by the City. Preliminary conversations with CRD staff indicate support for this approach as it would also help improve sightlines from the pathway onto the Galloping Goose Regional Trail.



Implementation

Budget

The City of Victoria has worked with an external costing consultant to prepare a preliminary (Class D) cost estimate for the proposed park improvements. The total anticipated construction budget for this project, including 10% design costs and 25% contingency, is \$1,568,700.

CLASS D (PRELIMINARY) COST ESTIMATE	
Park Hard and Soft Landscaping (paving, fencing, bollards, plantings, etc.)	\$167,000
Park Amenities (furnishings, playground/fitness equipment)	\$290,000
Lighting	\$70,000
Washroom (including servicing)	\$250,000
Cecelia Road Pathway	\$384,000
Construction Cost	\$1,162,000
Design Services (10%)	\$116,200
Construction contingency (25%)	\$290,500
TOTAL 2018 Estimated Costs	\$1,568,700

Timeline

This project is being presented to Council for approval at the beginning of the detailed design phase. Construction is scheduled to start in the third quarter of 2018 and is anticipated to be completed by December 2018.





Cecelia Ravine Park: Phase 1 and Phase 2 Engagement Summary

July – October 2017



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- A. Engagement Feedback: Phase 1
- B. Engagement Feedback: Phase 2
- C. Survey: Phase 1
- D. Survey: Phase 2



Cecelia Ravine Park Improvements Overview

In 2016, the City of Victoria purchased new properties to add an additional 0.5 acres of parkland to Cecelia Ravine Park, providing the opportunity to provide new and improved amenities to this park. The City is developing an improvement plan to guide the park renovation. Two rounds of community engagement in the summer and fall of 2017 contributed to the creation of the park improvement plan. Construction of park improvements is scheduled to begin in 2018.

Phase 1

From July 20 to August 20, 2017 residents in the Burnside Gorge neighbourhood were asked for feedback regarding a new playground and other park amenities at Cecelia Ravine Park. The feedback received was used to inform a draft improvement plan that was shared with the community during the second round of engagement.

- Over 60 local residents attended an open house in Cecelia Ravine Park
- 122 residents completed the online survey
- 30 seniors, and over 100 parents and children attended events at the Burnside Gorge Community Centre during three 'pop up engagement stations'
- 40 people stopped by the 'pop up engagement station' at the Selkirk Waterfront.
- One email was submitted.

Phase 2

In October the draft park improvement plan was shared with the community. The draft plan included a new, more accessible playground, pathway improvements, lighting, a picnic area and an improved fitness area. Residents were invited to share feedback through an online survey and an open house on October 24.

- Approximately 35 people attended the open house
- 49 residents completed the survey
- 4 emails were submitted

What We Heard

Phase 1

This is a summary of what we heard about the new land at Cecelia Ravine Park:

- Support for all proposed improvements, especially a bigger, better playground.
- New property should feel safe for visitors of all ages, including multiple access points, lighting, and clear views.
- Playground should offer a combination of play structures and natural play areas. Climbing was the most requested type of play feature.
- The City should consider a public washroom at this location.
- An expanded fitness area, new community garden space, and open grassy areas for picnicking and informal recreation were all popular potential new amenities for this park space.

Here's a summary of what we heard about future improvements to the rest of Cecelia Ravine Park:

- Improvements are needed to make the Cecelia Road pathway connection more accessible for people walking and on bikes.
- Other pathway improvements are needed throughout the park, including improving the Tom Arkell trail, adding a bike gutter to the staircase connecting the Community Centre, and adding additional pathway lighting (especially along the Galloping Goose).
- Strategies to improve the health of Cecelia Creek, including structural changes to improve creek function and raising watershed awareness, should be explored.
- Park maintenance should focus on keeping natural areas pruned and feeling safe.
- More wayfinding signage to and within the park would make navigating the park easier.

Phase 2

This is a summary of what we heard about the proposed improvement plan:

- General support for all proposed improvements in the new park area.
 - Strong support for natural play elements and water/ creek themed elements
 - Strong support for outdoor adult fitness equipment, affordable fitness popular
 - Concerns that open green space and washroom could attract more sheltering
 - Some concerns about keeping sand in play areas safe (free of needles)
 - New spaces should feel safe for everyone- multiple access points, good lighting and sight lines
 - good maintenance
 - Interest in having a rain shelter for picnic area
 - Please also include bike parking, including some that provides space for bikes with trailers for families
 - Please consider limited hours for washroom- don't want to attract more campers
 - Addition of a mural would add life to the area
 - Wheelchair accessible washroom and pathways please
- Comments about other areas of the park included:
 - Many requests for improvements to Cecelia Ravine pathway proceed as a priority in 2018, important safety improvement. Neighbourhood cycling connections also need attention.
 - Tom Arkell Trail not seen as a top priority, but it does need to be improved and cleaned, needs better lighting
 - General support for native plants, wild spaces, improvements to creek, removing invasive species
 - Needs a good maintenance plan to address current amount of sheltering

Appendix A: Engagement Feedback- Phase 1

What We Heard

In-Person Events

Sounding boards were used to collect feedback at all in-person events. This is what we heard.



PROPOSED PARK IMPROVEMENTS

Based on the results of public engagement from neighbourhood planning and the Parks and Open Spaces Master Plan, residents were asked to provide feedback on proposed improvements including a renovated playground, community gathering space, small parking area, relocated outdoor fitness area, and a new perimeter fence. Feedback we heard:

- 1) Please put a bench at top of path (end of Cecilia Rd) for seniors to rest on at the top of the hill. Access for 3115 Washington (dump bin, etc).
- 2) No more parking lots (2)
- 3) Need path to access from Balfour
- 4) Please keep apple tree. Don't remove for parking

NEW PARK ACTIVITIES

Residents voted for their first, second third choices for potential new park activities. Three points were awarded for first place votes, two for second and one for third.

- 1) Expanded Fitness Area (101 points)
- 2) Community Garden (73 points)
- 3) Picnic area (65 points)
- 4) Open Grassy area (38 points)

PLAYGROUND EQUIPMENT

Residents voted for their first, second third choices for potential types of play activities. Three points were awarded for first place votes, two for second and one for third.

- 1) Things to Climb On (100 points)
- 2) Zipline (66 points)
- 3) Natural Play Area (56 points)
- 4) Water Play (54 points)
- 5) Swings (24)
- 6) Slides (20)
- Things that Spin (16)

OTHER FUTURE PARK IMPROVEMENTS

Residents were asked to prioritize other future improvements for Cecilia Ravine Park identified through the Burnside-Gorge Neighbourhood Plan and Cecilia Ravine Park Management Plan.

- 1) Explore opportunities to make the mouth of Cecilia Creek more fish friendly
(High/Medium: 27, Low/Not a Priority: 0)
- 2) Improve the Cecilia Road pathway connection for walking & cycling
(High/Medium: 22, Low/Not a Priority: 4)
- 3) Enhance the park's function for community events through improvements to the amphitheater
(High/Medium: 16, Low/Not a Priority: 3)
- 4) Install staircase on Gorge Rd Overpass (NW side)
(High/Medium: 13, Low/Not a Priority: 6)
- 5) Install staircase on Gorge Rd Overpass (NW side)
(High/Medium: 13, Low/Not a Priority: 6)
- 6) Develop a woodland interpretive area
(High/Medium: 8, Low/Not a Priority: 6)
- 7) Improve wayfinding signage to and within the park
(High/Medium: 7, Low/Not a Priority: 9)
- 8) Decommission the Tom Arkell Trail & move to woodland interpretive area
(High/Medium: 2, Low/Not a Priority: 14)

ARE THERE OTHER IMPROVEMENTS YOU WOULD LIKE TO SEE AT CECILIA RAVINE PARK IN THE FUTURE, OR DO YOU HAVE OTHER COMMENTS ON THIS PARK?

- Keep & improve Arkell trail (thin out and make safer) (3)
- Cecilia Creek
 - o Keep the water clean please!
 - o Get to the meat and potatoes problem with Cecilia Creek. Clean up the silt and contaminants in the water. It's polluting the Gorge Waterway big time.

- Fix cross – contamination issues from sanitary sewer which still has not been solved (odour)
- cleaning of the stream
- The small stream is really polluted. I hope that will be fixed.
- Cecilia creek still needs a massive overhaul – update infrastructure that is no doubt contributing to the stench
- The creek is an odd colour I've never seen in nature and I think there must be a broken sewer pipe dumping raw sewage into the Gorge. Love to see / smell some clean up improvements.
- Clean the creek and expand the paths beside the creek. Natural fresh water is needed.
- Let's see a public sandy beach extending from creek mouth out to middle of trestle. Two barge loads should do it!
- Playground
 - Splash park would be nice
 - Water park, pool, orchards
 - Make a giant metal car for people to climb.
 - Larger play equipment
 - A playground expansion would be better
 - Zipline for kids and small splash pad or water park
- Park Maintenance
 - Smelly sewage smell needs to be addressed
 - Fix drainage on south side.
 - More garbage pick-up and
 - Hire 2 more staff (double!) for CoV natural areas maintenance and do more work – parties with volunteers
 - Brown grass & overgrown bushes are not a good look.
 - Work on making Area 3 more useable and attractive before entertaining an interpretive area.
 - Make the “plaza” in the center attractive and colourful. Hanging flower baskets throughout would be nice. More planters.
- Bike Park
 - Expand the bike park or add skate park.
 - Bike park is great, but could use some additional trails (multi-way) would be great
- Fitness equipment
 - stationary bike
 - stepper
 - Relocate outdoor fitness
 - pull up bars, parallel bars
- Food Production
 - More community gardens (2)
 - Plant food bearing trees and shrubbery herbs etc. within or along the boundaries of the park

- Cut pathways into the blackberries for easier picking.
- Facilities
 - Replace the chain link fence along Burnside with something attractive that doesn't scream "ghetto"
 - Washrooms would be great (3)
 - Any plan for a play / picnic area where people actually are expected to spend time makes no sense without a washroom
- Sheltering
 - Build a trail network through south side on both sides of the Goose to make camping impossible.
 - Any changes or developments that minimize "campers / overnights"
 - Deter camping in park
 - #5 improvement not necessary and will only increase access for campers.
 - Hire 2 staff for cleaning up garbage and donate-able items from abandoned campsites
- Bike friendly / pedestrian improvements
 - #5 on "other future park improvements" add a bike rail to the stairs
 - Bike push rail on the staircase
 - Would love to see walkway / bikeway between Washington & Balfour. Walkers & cyclists can then avoid Gorge & W. Burnside. Walkers are the priority.
 - Our kids can't access the park safely. We live on Maddock Ave East and there's no path between Balfour & Washington. Not safe to walk on Gorge or Burnside. Path is #1 priority.
 - Pedestrian & bicycle bridge to connect East & West sides and out of the path of the Goose.
 - Expand (widen) Galloping Goose trail as too congested and unsafe.
 - Open up the trail for better visibility between path & Goose.
 - Improve signage to have cyclist slow down through the Ravine.
 - Traffic calming needed on Cecilia Rd (between Jutland & Burnside)
- Safety
 - More police presence
 - People keep safe when there's lots of activity around. Lighting & changes that encourage more people to be in the park later in the day would be great.
 - Open up the flat meadow, increase visibility so that people enter & use it.
- Amphitheatre
 - Build an amphitheater in the designated area or reassign that area and put a bandshell in Area 3 for events.
 - Amphitheatre with seating and cool benches
 - Take down shrubs blocking sight lines to amphitheater. Make it feel safe.
- Wayfinding
 - Create an obvious entrance to the park. Signage, something grander!
 - The park has no signs with maps to tell people what is here and where.

Social Media

We reached approximately 1,872 people through social media and had 2 comments and 3 shares. 51 people were interested in the Facebook event.

Letters/Emails

One email was received during the first phase.

From: Jacques Sirois [<mailto:Personal info>]

Sent: Friday, July 28, 2017 5:12 PM

To: Engagement <engage@victoria.ca>

Subject: Plan for Cecelia Ravine Park

Dear Victoria Parks,

Please take this opportunity to highlight historic Victoria Harbour Bird Sanctuary (est. Oct. 27, 1923) and the new (July 12, 2107) Greater Victoria NatureHood. Two great assets and stories rooted in history.

Cecelia Creek estuary and mud flats provide great urban, wildlife habitat, feeding into the Gorge Waterway and the bird sanctuary.

NatureHoods are meant to connect urban Canadian to "Nearby Nature" - where they live - already happening there informally. Please help this make formal.

For example, we need bird blinds along the bike trail where Cecelia Cr. enters the Gorge Waterway. Good birding there all the time.

More details available if interested.

Thanks,

Jacques Sirois
chair, Friends of Victoria Harbour Bird Sanctuary
rep., Greater Victoria NatureHood
member, Victoria Natural History Society

Appendix B: Engagement Feedback- Phase 2



What We Heard

In-Person Events

Open House

PROPOSED PARK IMPROVEMENT PLAN

Residents were asked to provide feedback on the proposed park improvement plan. Feedback received:

- Priority – put the stairs in on pathway to the Galloping Goose. Too many people have slipped/complained
- Please improve the path to the Goose to make it less dangerous in the winter.
- I love the natural play idea, especially incorporating Creekside-style structures. Educational or interpretive components could be included in this too!
- Love the natural play and river themed structure
- The secluded lawn in the back is going to be highly attractive as a campground, whether it's legal or not. It doesn't matter how nice the playground is if it isn't safe for our kids to play.
- No outdoor camping
- I would love to see an adult outdoor fitness equipment area, similar to those in Toronto/Montreal (but not circuit equipment)
- Leaving fences around our property and planting a 5ft max cedar hedge along fence. Thank you
- Love the parking
- An amphitheater for events would bring people to this area at all times of day and night, which would improve the overall feeling of safety in this park
- Please cut back the vegetation so we can see out from the park. It will feel so much safer
- Can we have a community garden in the (2) position – it will help the community to better connect with nature and maybe prevent having campers in here.
- Continue to support parks volunteers to remove invasive vegetation ivy, blackberry, etc.

OTHER FUTURE PARK IMPROVEMENTS

Residents were asked to provide feedback on proposed changes to the Cecelia Ravine Park Management Plan.

	I support this change	I do not support this change
Improve Cecelia Ravine Pathway connection for walking and cycling (as shown in proposed improvement plan)	8	0
Add a public washroom to Cecelia Ravine Park near the playground (as shown in proposed improvement plan)	7	1
Enhance the park's function for community events through improvements to the amphitheatre (e.g. by removing vegetation and opening up views)	7	0
Make improvements to the Tom Arkell Trail, including widening the trail, improving the trail surface, and installing better signage	9	0
Develop an action plan to improve water quality in Cecelia Creek, including enhancements to improve creek habitat and opportunities to further daylight the northern-most portion of the creek	9	0
Improve wayfinding signage to and within the park	7	0

Social Media

We reached approximately 7,584 people through social media and had 4 comments and 4 shares. 27 people were interested in the Facebook event.

Letters/ Emails

Four emails were received.

Hi Alia,

I'll just say like we discussed, our fences are fine as they are. But could we please have a row of yew (like you suggested because of the shade and dryness in the summer.) Also I am very concerned about leaving adequate roots for our trees on the park side of the fence when the parking lot is put in. I'm sure the new plantings will have a drip system till they get established.

Thank you and I hope everything works out well.

I remember one thing please pass the path improvements down to the Goose to another department if there is no money for it in your budget. Please. A pregnant lady fell there last winter. It's too high risk. Putting up signs (always seems to be money for that) isn't going to save me from another fall. You said it was one of the biggest concerns so why is it being totally blocked? Please pass it on so it can get done. Even some sort of hand railing on one side. Please.

Sincerely, Judy Aldridge

-----Original Message-----

From: Kym

Sent: October 4, 2017 10:26 PM

To: Victoria Mayor and Council <mayorandcouncil@victoria.ca>

Subject: Thanks! Bike park and mural

Dear mayor and council,

Thanks to the City of Victoria for investing in recreation and placemaking! My family enjoyed both Cecelia ravine bike park and the new mural nearby this evening!

From: Personal info

Sent: Monday, October 16, 2017 4:31 PM

To: Engagement <engage@victoria.ca>

Subject: Cecilia Ravine Park

Hello!

I just wanted to ask when the path improvement from Cecilia road to the Galloping Goose will be completed. I see that it's not included in the plan for 2018 but I think it should be done as soon as possible as the current path is too steep and can be a hazard in the rain. The current path intersects the Goose where traffic can be quite heavy and the possibility of a collision seems much higher here given the steep grade.

Thanks!

Personal info

From: Personal info

Sent: Friday, October 13, 2017 10:27 AM

To: Engagement <engage@victoria.ca>

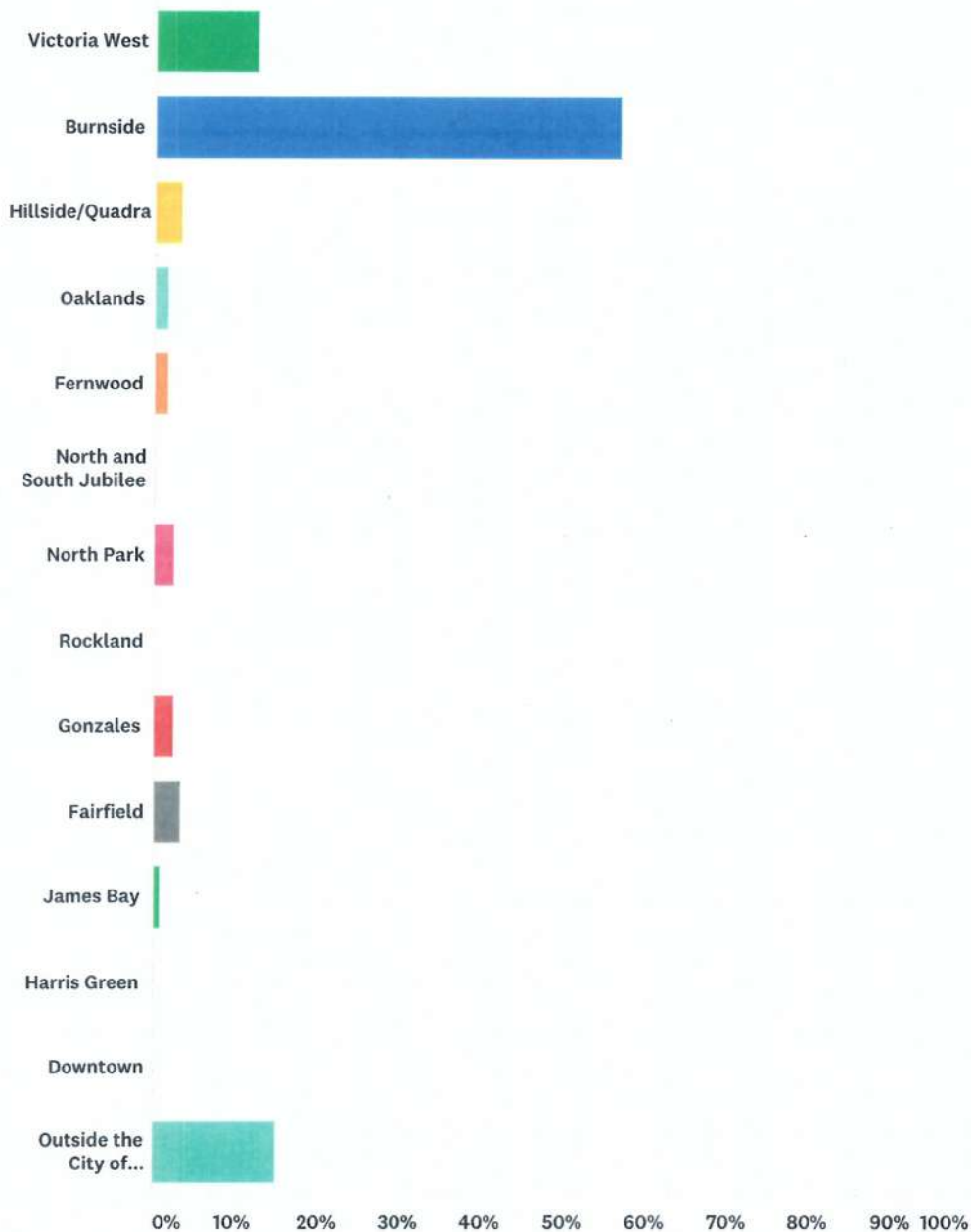
Subject: CECELIA RAVINE

Given the amount of people currently using Vic West skate park I feel Victoria needs more footage dedicated to roller blade/skateboard/scooter/bmx parks.

Appendix C: Survey: Phase 1

Q1 Which neighbourhood do you live in?

Answered: 120 Skipped: 2



ANSWER CHOICES

Victoria West
Burnside
Hillside/Quadra
Oaklands
Fernwood

RESPONSES

12.50%	15
56.67%	68
3.33%	4
1.67%	2
1.67%	2

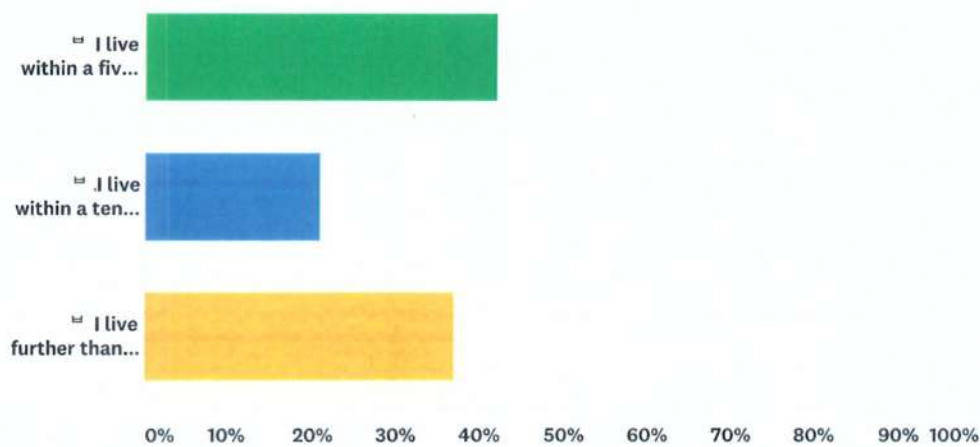
Cecelia Ravine Park - Improvement Survey

North and South Jubilee	0.00%	0
North Park	2.50%	3
Rockland	0.00%	0
Gonzales	2.50%	3
Fairfield	3.33%	4
James Bay	0.83%	1
Harris Green	0.00%	0
Downtown	0.00%	0
Outside the City of Victoria. Please tell us where?	15.00%	18
TOTAL		120

#	OUTSIDE THE CITY OF VICTORIA. PLEASE TELL US WHERE?	DATE
1	View royal	8/19/2017 6:27 AM
2	Strawberry Vale	8/16/2017 9:16 PM
3	Saanich, just north of Burnside	8/10/2017 2:58 PM
4	Saanich	8/4/2017 11:53 AM
5	Broadmead	8/3/2017 5:34 PM
6	North Saanich	7/28/2017 6:08 AM
7	Langford	7/27/2017 11:24 PM
8	Saanich, Marigold neighborhood.	7/27/2017 11:55 AM
9	ViewRoyal, but I work in Selkirk and have a community garden plot in Cecelia park	7/26/2017 6:17 PM
10	SAANICH, STRAWBERRY VALE	7/26/2017 12:49 PM
11	Saanich, adjacent to Oaklands; please note that I work in the Burnside area (5 min walk from the park) and therefore visit the park frequently - the questions below unfortunately only ask about residence	7/26/2017 9:35 AM
12	Esquimalt	7/25/2017 11:55 PM
13	Saanich	7/25/2017 7:55 PM
14	Langford	7/25/2017 6:47 PM
15	View Royal	7/25/2017 3:36 PM
16	Gorge and Qu'apelle	7/24/2017 3:41 PM
17	saanich. border of victoria and saanich.	7/21/2017 7:57 PM
18	Esquimalt	7/21/2017 11:09 AM

Q2 How close do you live to Cecelia Ravine Park?

Answered: 119 Skipped: 3



ANSWER CHOICES

- I live within a five minute walk to the park
- I live within a ten minute walk to the park
- I live further than a 10 minute walk to the park

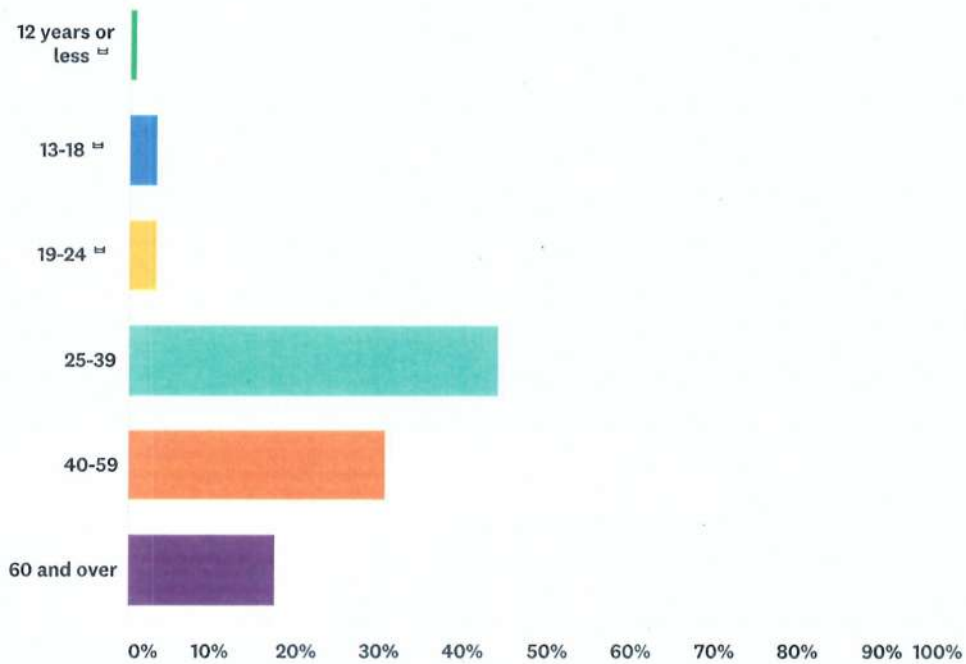
TOTAL

RESPONSES

42.02%	50
21.01%	25
36.97%	44
	119

Q3 What is your age?

Answered: 120 Skipped: 2



ANSWER CHOICES

12 years or less ☐

13-18 ☐

19-24 ☐

25-39

40-59

60 and over

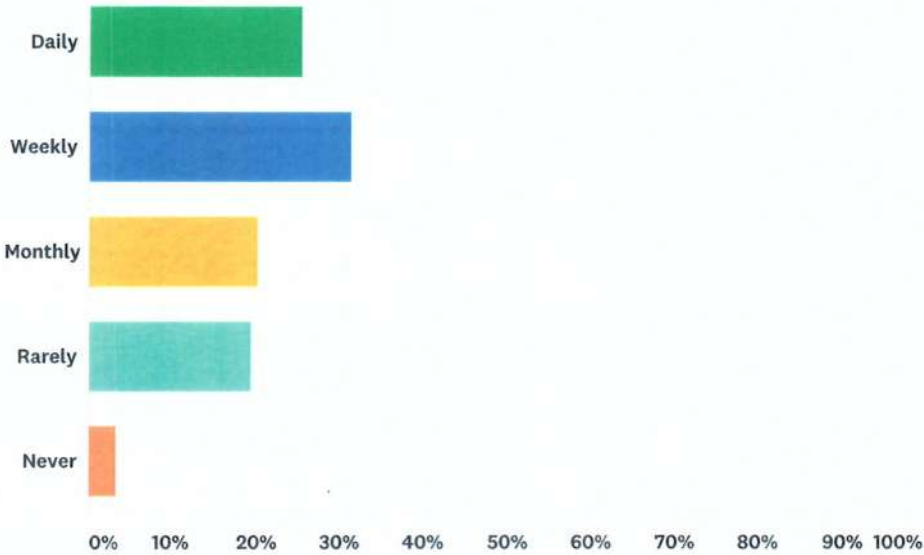
TOTAL

RESPONSES

0.83%	1
3.33%	4
3.33%	4
44.17%	53
30.83%	37
17.50%	21
	120

Q4 How often do you visit Cecelia Ravine Park?

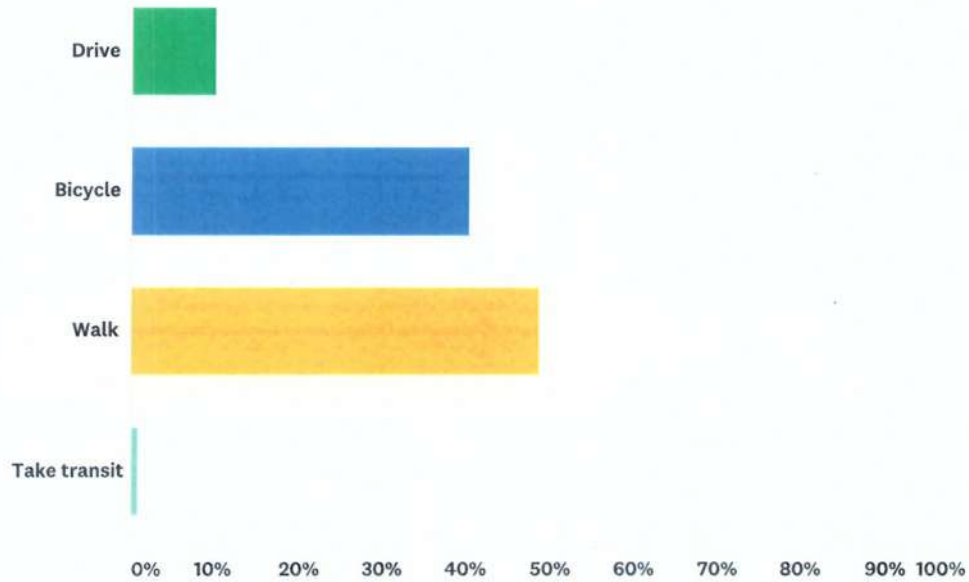
Answered: 118 Skipped: 4



ANSWER CHOICES	RESPONSES	
Daily	25.42%	30
Weekly	31.36%	37
Monthly	20.34%	24
Rarely	19.49%	23
Never	3.39%	4
TOTAL		118

Q5 How do you most often travel to Cecelia Ravine Park?

Answered: 119 Skipped: 3



ANSWER CHOICES

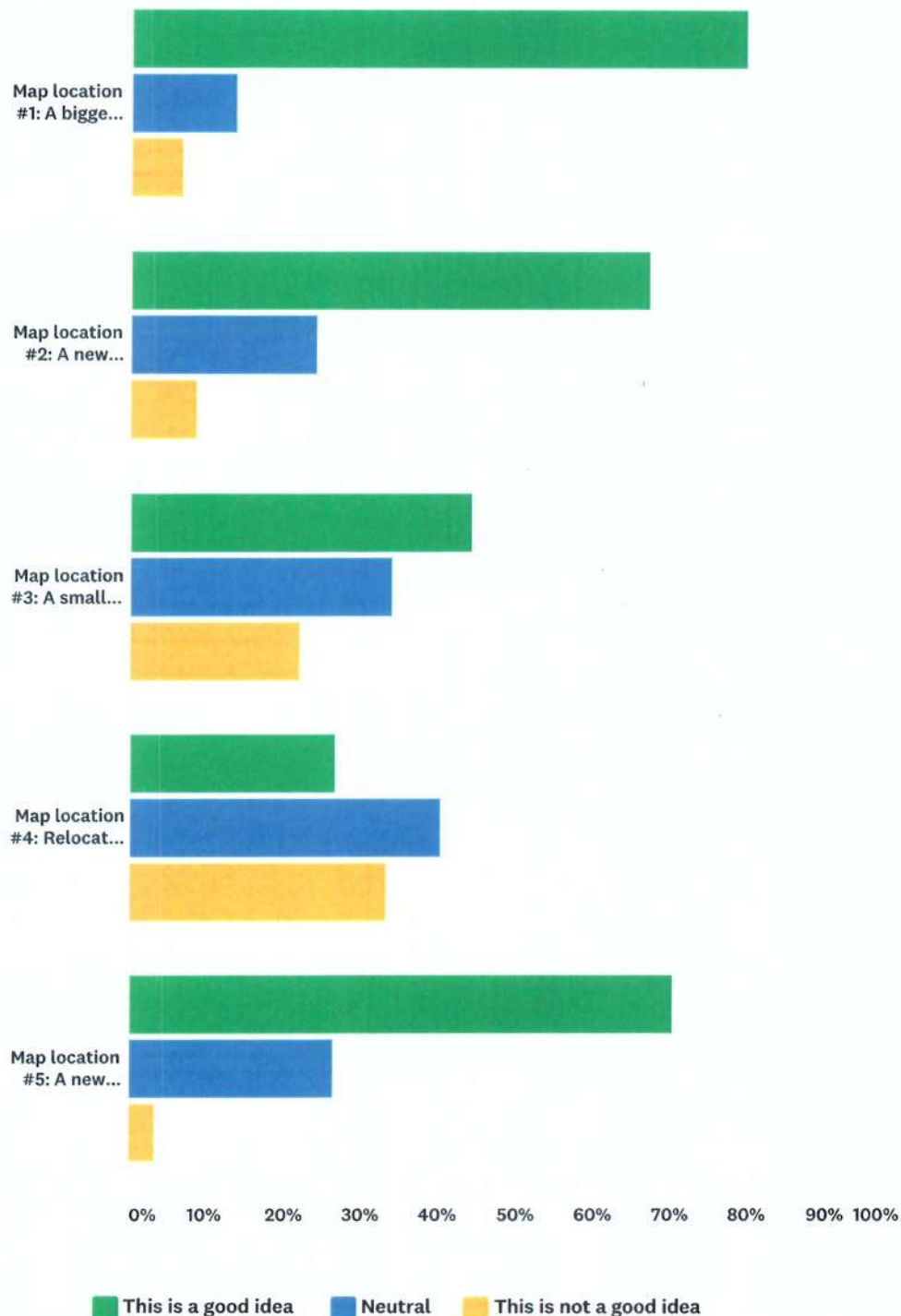
Drive
Bicycle
Walk
Take transit
TOTAL

RESPONSES

10.08%	12
40.34%	48
48.74%	58
0.84%	1
	119

Q6 The improvements being proposed for the new property at Cecelia Ravine Park are based on previous feedback from the Burnside Gorge Neighbourhood Plan and the Parks and Open Spaces Master Plan. What do you think about these proposed improvements?

Answered: 119 Skipped: 3



Cecelia Ravine Park - Improvement Survey

	THIS IS A GOOD IDEA	NEUTRAL	THIS IS NOT A GOOD IDEA	TOTAL
Map location #1: A bigger, better playground that appeals to a wider age range	79.66% 94	13.56% 16	6.78% 8	118
Map location #2: A new community gathering space (seating, garbage can, etc.)	67.24% 78	24.14% 28	8.62% 10	116
Map location #3: A small parking lot off Cecelia Road to serve the expanded park area	44.07% 52	33.90% 40	22.03% 26	118
Map location #4: Relocate the existing outdoor fitness equipment station to make room for new parking area	26.50% 31	40.17% 47	33.33% 39	117
Map location #5: A new perimeter fence to separate the park from neighbouring backyards	70.34% 83	26.27% 31	3.39% 4	118

#	PLEASE SHARE ANY ADDITIONAL FEEDBACK TO FURTHER EXPLAIN YOUR ANSWERS:	DATE
1	Add a slide with spinning and bars and a Roundabout	8/20/2017 8:01 AM
2	Improve safety of this area - I will only use the park when other people are there. I ride through here daily and up through the bike park and have become increasingly scared. I've noticed the people who used to be there using the stairs and exercise equipment are no longer there - several people - I'd be happy with just cleaning the area up... some shrubs are really overgrown, especially around the bottom of the park. A larger community garden would be nice as well.	8/19/2017 6:27 AM
3	The area defined by space 1 would be wonderful if developed as an additional and supplementary community garden. Current demand for the existing community garden of the park far exceeds supply. Community gardens are sources of pride and create active presence and care for and by residents of the neighbourhood. The result of this is vibrancy, engagement and encounter with passersby and even the more marginalized element of the area provided proven troublemakers are identified and prevented from causing harm. The benefits of another community garden would be more significant than any other proposed use for the new space.	8/18/2017 4:33 PM
4	The area does not need a playground, but it could use a park for people, youths, families to picnic and socialize. Well designed greenspace that isn't full of giant pieces of play gym equipment. Playgrounds exclude persons without children. The current community garden is regularly vandalized. The community garden on the Gorge is unfenced, has publicly available water, and has colour-coded its plots as "private" (orange: do not pick) and "public" (green: anyone may pick). This better model would alleviate theft and vandalism in the current garden and communicate inclusivity.	8/18/2017 4:23 PM
5	Include a mechanism (security presence or other) to deal with/reduce the drug users who hang out by the creek	8/16/2017 7:26 PM
6	gardens	8/16/2017 2:05 PM
7	the fitness equipment is a great use of space and it makes it easier for community members to exercise and stay fit. There should be more fitness equipment (ie pull up and dip stations) throughout the City.	8/16/2017 1:52 PM
8	encourage walking and biking rather than driving/parking	8/16/2017 1:47 PM
9	Warer park like Esquimalt but bigger	8/16/2017 12:37 PM
10	I like the bigger area for the playground. I hope there will be an open field area so that kids can run and play their own games. I think parking should be limited as there is already a lot of street parking and the current lot.	8/16/2017 9:37 AM
11	Although in location #1a better playground is needed by the neighbourhood I would like to see a more natural parklike setting there.	8/15/2017 11:18 AM
12	This is a great opportunity to add to the existing outdoor fitness for adults. For example include outdoor metal pullup bars and dip/parallel bars for adults.	8/15/2017 10:35 AM
13	I'd like to see improvements that deter camping, drug activity and dumping of garbage. Cecelia creek park is unlit at night, making it unsafe to travel at night, torn Arkell trail being cut off and with no sight lines invites illegal activities, unsafe for young children to use. I'd light up the goose in this area, do a better job to deter drug activity and make this a more kid friendly, community space.	8/2/2017 8:43 PM

Cecelia Ravine Park - Improvement Survey

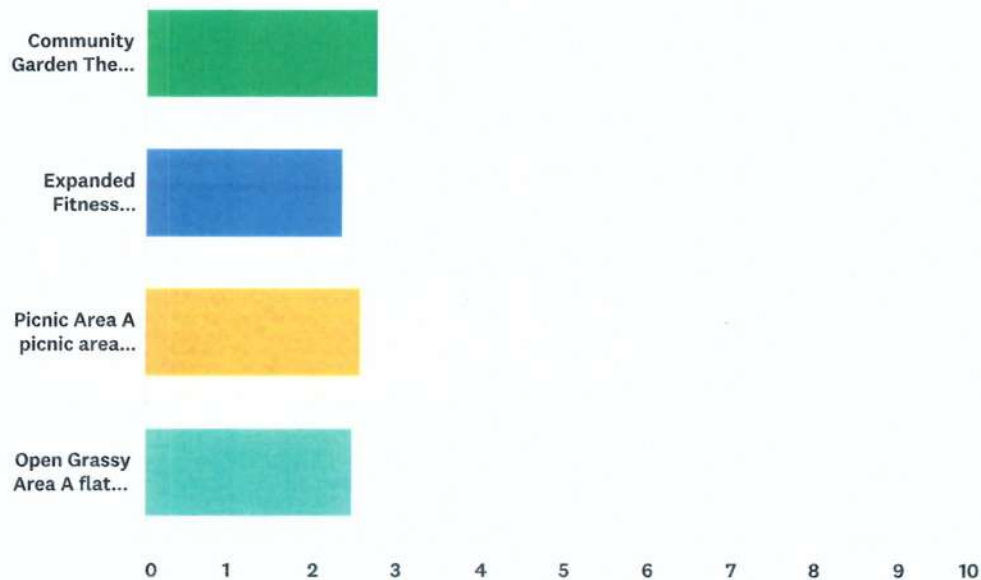
14	This is all contingent on inclusion of a washroom -- it makes no sense to expect human beings to eat, play, and spend time in a space where there's no washroom!	8/2/2017 4:55 PM
15	Right now, the park is shared with many people who are currently homeless. How do you plan to work with these people as part of the development plan? Also, the walkway is very dark at night and having additional lighting along the walkway, especially towards the underpass, would improve safety at night.	8/2/2017 11:28 AM
16	This park is already crowded, To invite more users from outside the area, would denigrate the existing facility.	8/1/2017 9:15 AM
17	I used to ask the previous owner's permission to use 'now city's property' for my house's renovations since the only access to my house is only 2 feet wide (no driveway). It makes it quite hard when large or heavy items (e.g. dump bin) need to be accessed to my property when I can't get help anymore from my previous neighbour. For the future projects, I hope there is some flexibility for neighbours to temporarily use the city property to access their properties when it is necessary.	7/31/2017 7:30 PM
18	No vehicles down in the ravine please, it's dangerous enough with the bikers	7/31/2017 1:59 PM
19	cecelia ravine park needs to connect to burnside neighbourhood through proposed doric street connector so its a safer quieter walk with children (currently only way there is by walking on busy noisy streets from quiet neighbourhood)	7/31/2017 8:31 AM
20	map is hard to see context - no street names, etc	7/30/2017 7:05 AM
21	As this park is on the Goose and embedded in a residential neighbourhood, it is used primarily by people who live in the neighbourhood or who come on their bikes. Losing the existing fitness equipment to make room for an unnecessary parking lot is not an "improvement" to the park!	7/29/2017 6:43 PM
22	Additional garden space would be much more appropriate than parking. The current parking is usually used as 'free' parking by adjacent businesses, not by park users. (Go there during 'business' hours and see for yourself.) We have much more need of garden space. And PLEASE leave the current garden where it is (and - please note, the publicly accessible berry bushes and fruit trees, at either end of the fenced in area - almost equal in size the garden itself.) - volunteers and community members, through donations and direct labour, have installed fencing, and fruit trees, a tool shed and digester. We have mature fruit trees and berry plantings, and a mature herb spiral - many of us have put YEARS of work into developing our soil. Please do NOT destroy our precious garden.	7/28/2017 10:58 AM
23	I am afraid that people with mental health issues might move in to the area once this place is complete because it is near the main trail	7/28/2017 6:08 AM
24	My children could use more play area and soccer area	7/27/2017 10:32 PM
25	Any new areas need to be regularly maintained. This park suffers from neglect.	7/26/2017 9:56 PM
26	Additional parking is definitely needed because street parking on Washington Ave is already at full use.	7/26/2017 2:54 PM
27	I would like to see a playground exactly like the one behind the court-house with lawn that is always fresh and green. No sand please.	7/26/2017 12:55 PM
28	SECURITY & RAVINE CLEANLINESS IS IMPORTANT CONSIDERING THE INCREASED TRANSITIONAL HOUSING THATS COMING TO THE AREA	7/26/2017 12:49 PM
29	Don't add parking to this space	7/26/2017 10:15 AM
30	Area 1 would be a good location for tennis or multipurpose courts	7/26/2017 9:47 AM
31	The city bought and is knocking down houses for this during a housing crisis? True?	7/26/2017 9:40 AM
32	this map is very confusing, hard to locate already built areas. where is BGCommunity Centre. where is skateboard park?????	7/26/2017 9:16 AM
33	Re: #1, natural play spaces and a shade structure would be good parts of the playground. Re: #5, keep eyes on the park	7/25/2017 11:55 PM
34	A water park would be amazing!!!!	7/25/2017 7:29 PM
35	Nothing to encourage more antisocial behaviors and campers (no additional benches and seating) less secluded areas for drug use	7/25/2017 3:36 PM

Cecelia Ravine Park - Improvement Survey

36	First. Please leave existing trees, esp. larger ones and all fruit bearing trees. It looks like there is no consideration for wild life or nature in this plan. Second. Leave exercise equipment where it is and expand it along existing lane way. Third. Put parking where the play ground climbing equipment is. As it is a small parking lot. Probably four stalls. Fourth. Put playground in area two. Closer to parking lot and quieter from traffic along Burnside Road. Fifth. In area three more fruit tree and bushes. Lots of space for kids to run and play away from road. Maybe some picnic and seating here also. Though all picnic tables were taken away from other side of ravine because of dope and bike stealing stuff. All this still happens at the base of Cecelia Rd. on the G.Goose on a daily basis and we don't want it moved up the hill to the kids area. Basically we are concerned about security and campers in the park. We'd like it an open area with shade trees throughout. Please nothing that attracts camping. No water supply or toilets. Regarding the fencing. Some fence that is already in place should be left if the land owners are okay with it. Cuts down on cost and damage to landscape and trees. Thank you. This is the first time we have heard about being able to give our views. We like this park of the park to be family area with kids. Sports are on the other side. Plus entertainment is down on the Goose.	7/25/2017 11:25 AM
37	An expanded playground with better surfaces would be appreciated. I would prefer not to see parking provided in this location. There is ample on-street parking in the area and this parking could likely become a cycling access to the Galloping Goose vs use for the playground.	7/25/2017 8:51 AM
38	The park is used daily by children and families- keep it this way!	7/23/2017 5:26 PM
39	I would like to see more being done to remove the invasive species chocking the creek itself and re-establish the natural area. Also something done about the horrific smell of sewage that lingers there.	7/23/2017 3:05 PM
40	It would be nice to get another access path to the north end of the playground, from the Goose and from Washington. Resuscitation a path that's less steep.	7/22/2017 12:04 PM
41	The council needs to stop taking away parking and making doing things to benefit people that don't pay taxes.	7/22/2017 10:21 AM
42	Currently the area does not feel safe. Changes should ensure that the area is as safe as possible.	7/22/2017 8:01 AM
43	I would like to see the community garden space either moved or added to this plan .	7/22/2017 6:24 AM
44	I would like to see a fenced in dog park area as well. Lot's of people use this area to walk their dogs. I am not a big fan of upgrading the play ground. Their are several playgrounds in the area and I rarely see them utilized.	7/20/2017 11:56 PM
45	There should be clear and easy access to/from the park and the galloping goose trail because from the galloping goose trail it's easy to not even be aware of the park since it's on much higher ground than the galloping goose trail.	7/20/2017 7:23 PM
46	I seriously DO NOT want the existing playground\ exercise equipment to be inaccessible during this upgrade.	7/20/2017 5:53 PM
47	Unique play feature - funky swings etc	7/20/2017 9:05 AM

Q7 If there is an opportunity to add additional park activities to this new area in the park , what type of activity would you most like to see? (Please rank these four options. 1 being your favourite, 4 being your last choice.)

Answered: 118 Skipped: 4



	1	2	3	4	TOTAL	SCORE
Community Garden The existing community garden consistently has a long waitlist for garden plots. A second community garden would provide additional garden space.	33.33% 35	29.52% 31	18.10% 19	19.05% 20	105	2.77
Expanded Fitness Area Circuit training is a popular activity in Cecelia Ravine Park and an expanded fitness area would include a greater range of fitness equipment to support this existing activity.	25.45% 28	18.18% 20	20.91% 23	35.45% 39	110	2.34
Picnic Area A picnic area would provide an opportunity for community and family gatherings in the park.	26.17% 28	23.36% 25	31.78% 34	18.69% 20	107	2.57
Open Grassy Area A flat grassy area would provide the opportunity for flexible recreation space (e.g. pick up sports) and neighbourhood gathering. There is currently a lack of flat, flexible green space for casual recreation in this park.	20.87% 24	31.30% 36	20.87% 24	26.96% 31	115	2.46

Cecelia Ravine Park - Improvement Survey

Q8 If you have an additional idea for a park activity for the new space in this park, please share it with us here.

Answered: 49 Skipped: 73

#	RESPONSES	DATE
1	Slide with rolling bars and roundabout	8/20/2017 8:01 AM
2	Tennis courts and a piano!	8/19/2017 6:08 AM
3	In a new community garden space, include publicly accessible water and even fruit trees and simple vegetable crops (peas, beans, strawberries).	8/18/2017 4:23 PM
4	Fenced dog park, similar to the new one in Vic West	8/17/2017 5:35 AM
5	Expand bikepark	8/16/2017 4:34 PM
6	washrooms please! splash park would be good, that pace isn't windy and it's good for that purpose.	8/16/2017 1:57 PM
7	parkour/free running course (like at the Navy Base)	8/16/2017 1:52 PM
8	Water park	8/16/2017 12:37 PM
9	Open grassy space is great! A covered bike lock up area would encourage more cyclists!	8/16/2017 9:37 AM
10	waterpark	8/15/2017 2:57 PM
11	Expanded fitness area is a great idea.	8/15/2017 10:35 AM
12	There was a garden in the old park and it was lovely. The old apple tree was great. There was no seating or shaded areas, though.	8/14/2017 9:27 PM
13	Natural play space: real trees, rocks, stumps, bushes, but maintain it by removing damaged branches, weak unclimbable trees, and removing just enough shrubbery to keep it supervisable and avoid hidden pockets of trash among plants.	8/11/2017 11:59 AM
14	Expand the bike park.	8/8/2017 10:06 AM
15	Fenced in dog park.	8/4/2017 11:53 AM
16	Enhanced cycling options for off road ... cyclocross & bmx	8/3/2017 5:34 PM
17	Splash pad	8/2/2017 8:47 PM
18	Splash pad would be fantastic use of space.	8/2/2017 8:43 PM
19	Washroom facilities!	8/2/2017 4:55 PM
20	Additional lighting on the pathway. It's very dark at night and safety is an issue.	8/2/2017 11:28 AM
21	Better preservation of water and wilderness areas.	8/1/2017 9:15 AM
22	As long as this becomes a children's park, I would be happy.	7/31/2017 7:30 PM
23	more community gathering events	7/31/2017 1:59 PM
24	Good spot for bike in/out activities like disc golf, picnics, slacklining etc	7/31/2017 1:06 PM
25	waterpark :)	7/31/2017 11:37 AM
26	enclosed dog area	7/30/2017 6:06 AM
27	A tennis court would be fabulous! Hampton just demolished their two courts so there are no courts in walking distance of the neighbourhood. Tennis is a great sport for all ages that doesn't cost a lot to play. In our climate, we can play just about year round and the Cecelia Ravine park site has the advantage of some natural protection from the wind!	7/29/2017 6:43 PM

Cecelia Ravine Park - Improvement Survey

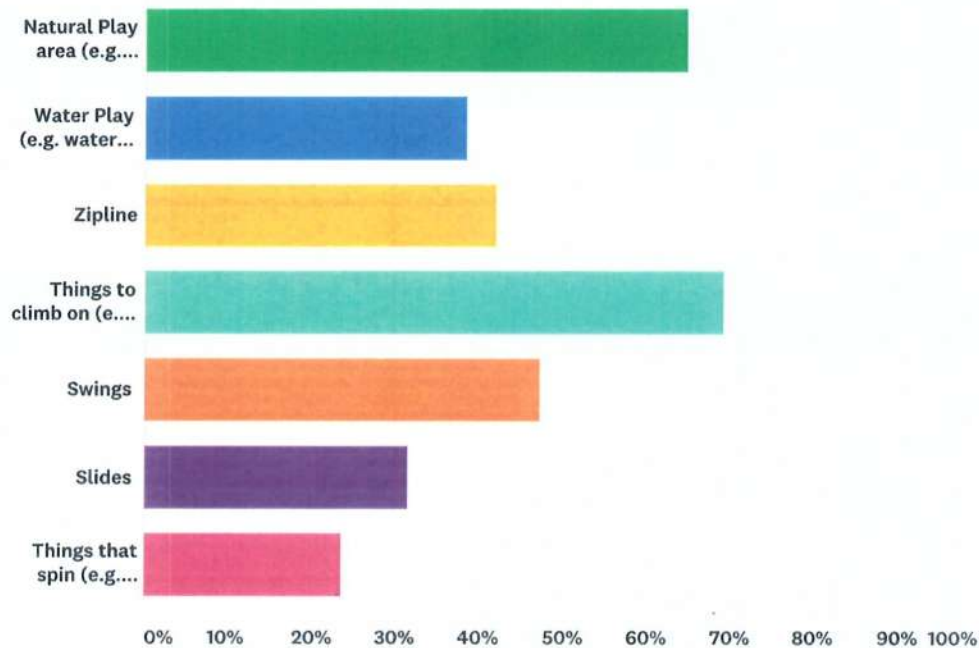
28	The open space would just serve as additional campgrounds for the homeless population. There used to be a playing field close by - the City took it and turned it into a City Yard. It was near the school - which the City also took. People don't DO pickup sports anymore - they just sit and text. Additional garden space would be more to the point. The soil up there is of high enough quality that you could actually use REAL SOIL - instead of raised beds filled with nutrient free mulch.	7/28/2017 10:58 AM
29	Would like to see more biking trail connections among other users in this park	7/28/2017 6:08 AM
30	Activities geared for children like a water park or zip line	7/27/2017 10:32 PM
31	An extension of bike trails around and between other spaces would make the park attractive for circuit type training, as well as skill training in the bike park.	7/27/2017 11:09 AM
32	Just a bigger better playground for all ages of children	7/26/2017 4:22 PM
33	No parking for cars. Bicycle rack only. Parents and children ride their bikes to the park to play in the playground, enjoy the green lawn and lots of flowers please.	7/26/2017 12:55 PM
34	Amenities for Pets	7/26/2017 10:44 AM
35	Consider tennis or multipurpose courts	7/26/2017 9:47 AM
36	Orchard trees; climbing area and/or zipline for adults	7/25/2017 11:55 PM
37	Water park lol the new Esquimalt one is so busy with two it could be spread out a little :)	7/25/2017 7:29 PM
38	water park!	7/25/2017 6:47 PM
39	Water park features	7/25/2017 3:36 PM
40	I shared them in # 6. Please reread. Thank you.	7/25/2017 11:25 AM
41	larger expanded climber	7/23/2017 5:26 PM
42	Increased city involvement and investment in natural restoration.	7/23/2017 3:05 PM
43	power source for band performances	7/22/2017 10:18 AM
44	The natural green spaces are not working , they render the park useless to all except the homeless who gether there . There is no place fro wildlife to reside because the campers have taken over almost every natural space in the Ravine . The area next to the allotment gardens has people living in the bushes , the Ravine next to Burnside Rd has people camping in it and leaving behind their filthy garbage and drug paraphenelia . This area needs to be daylighted around it's entire border so that everyone can feel safe when visiting the park and have an opportunity to use the space . The long grass needs to be kept cut and the Rocky area next to the Goose trail below Burnside rd needs to have all of the underbrush and blackberries removed to create clear sight lines . in my opinion this is a very dangerous space and from what I can see no one uses this area besides drug dealers and the homeless . i have not walked through there in at least 10 years . The allotment gardens are constantly being vandalized , I know because I've rented one for the past 5 years . The berm between the Gardens and Burnside Rd need to be removed as it blocks all sight lines from the street and has created a space for people to hide in while they cut the fences down to enter the garden , the bank next to the garden needs to be daylighted as well to prevent people from making there home there . I do not feel comfortable using the garden even with the fence around it , this ares is becoming very run down and dangerous . I'd also like to see the grass between Burnside Rd and the Allotment garden replaced with a Friendly type of low maitenance lawn grass or natural turf . This area is used by many dog owners in the area and it is entirely made up on Spear Grass which renders it useless to everyone . The entire area is poorly maintained and looks run down . The Sports Court gate has been broken and so have the side rails that run along the base of it , they have been left broken for months . The bike skills park needs it perimeter cleaned up and maintained , I often see parents walking the track to check it for needles and other garbage before allowing their kids to ride there bikes there . I think maintenance and safety must come first or none of these ideas will be as successful as they should be .	7/22/2017 6:24 AM
45	We would love to see a fully fenced off leash dog area installed. There is currently a lack of fully fenced dog parks in the greater Victoria area, with the only three being in Sidney (Cy Hampson), Gordon Head (UVic Dog Park), and Vic West. There are many dog owners in the Burnside neighbourhood, and there is a lack of safe, dedicated green space for our canine companions.	7/21/2017 6:25 PM
46	Add lighting to the Galloping Goose and widen it	7/21/2017 11:09 AM
47	Please keep the homeless campers out, or at least clean up after them. I am tired of overflowing garbage, junk left on ground, tents set up in the bushes, needles in grass.	7/20/2017 11:56 PM

Cecelia Ravine Park - Improvement Survey

48	Waterplay feature ex, "splash park"	7/20/2017 10:00 PM
49	Would be great to have a bike friendly space for families biking on the Goose- bike parking, bike kitchen, something else unique for bikes	7/20/2017 9:05 AM

Q9 The playground at Cecelia Ravine Park was last updated in 1993, and is due for replacement. What kinds of play features would you most like to see in a larger, improved playground at Cecelia Ravine Park? (Please select your top three choices.)

Answered: 114 Skipped: 8



ANSWER CHOICES

RESPONSES

Natural Play area (e.g. logs, boulders, sand play)	64.91%	74
Water Play (e.g. water pumps, water channels)	38.60%	44
Zipline	42.11%	48
Things to climb on (e.g. climbing nets, rope courses)	69.30%	79
Swings	47.37%	54
Slides	31.58%	36
Things that spin (e.g. spinning discs, spinning nets)	23.68%	27

Total Respondents: 114

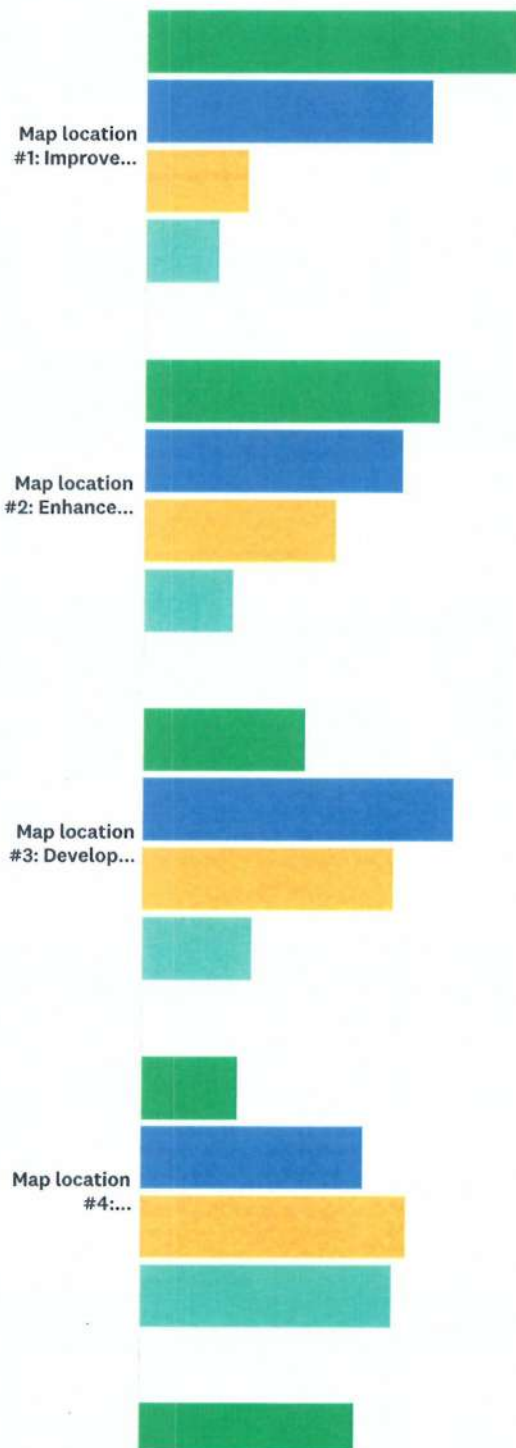
#	OTHER (PLEASE SPECIFY)	DATE
1	Accessible	8/20/2017 10:36 AM
2	Slide with spinning bars and roundabout	8/20/2017 8:01 AM
3	Please try to fit in with the environment - wood, ropes, etc. There's no need for everything to be plastic and bright primary colours. Studies show that this increases children's respect for the environment and steers them away from simple consumerism.	8/18/2017 4:23 PM
4	more equipment for body weight exercises, especially basic bars of varoius heights for pull ups and dips	8/16/2017 1:52 PM

Cecelia Ravine Park - Improvement Survey

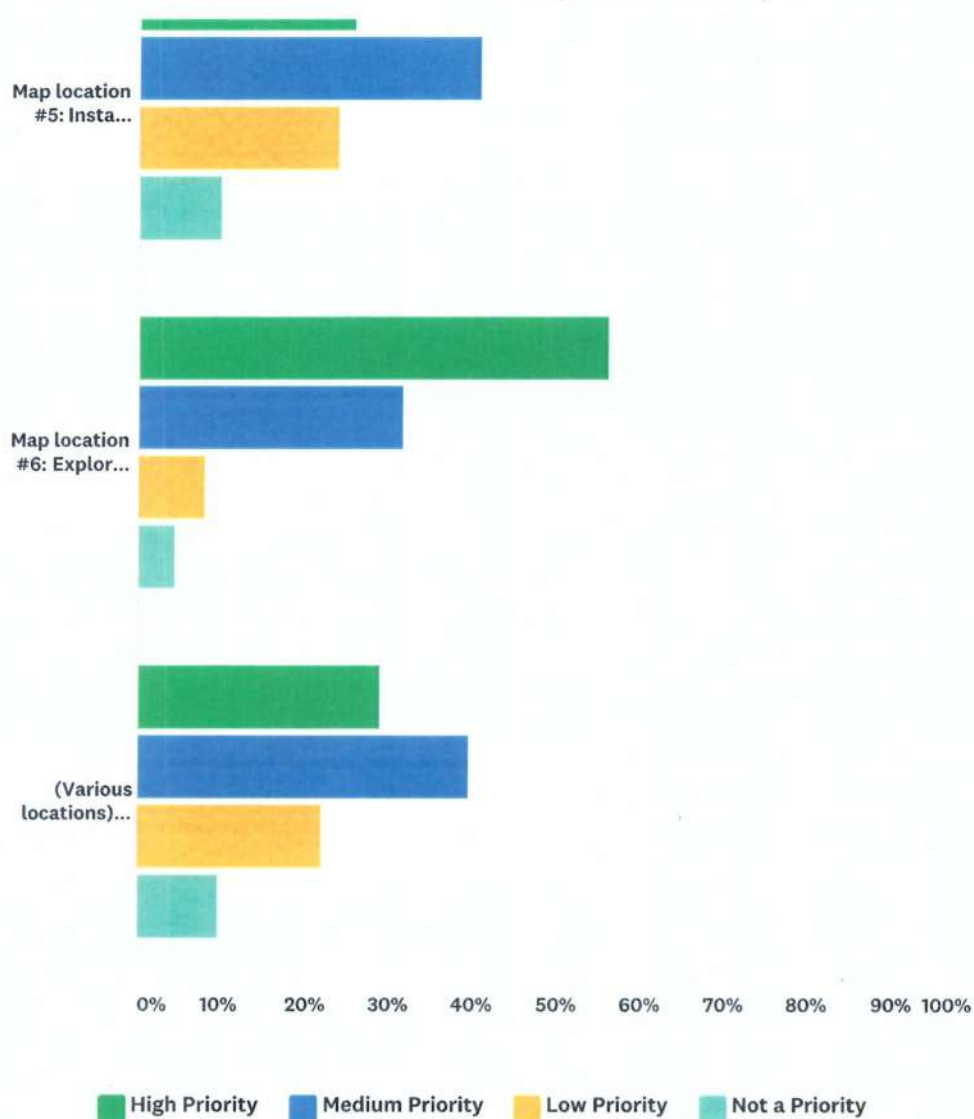
5	I say keep it simple! Encourage our youth to use their imaginations!	8/16/2017 9:37 AM
6	fountains	8/15/2017 9:30 PM
7	Garden - keep the garden, or plant a new one.	8/14/2017 9:27 PM
8	Would just like to add that swing sets seem to be a dying breed but when i take my summer camps to a park that has them, they are always fighting over the swings!	8/11/2017 11:59 AM
9	Expanded cycling jumps/features	8/3/2017 5:34 PM
10	Stuff that will be unique to Cecelia Ravine. Stuff you can't find anywhere else.	8/3/2017 4:10 AM
11	Tennis court would also be great	8/2/2017 8:43 PM
12	Lots of natural features and focus seems ideal for the location. This would differentiate the playground enough to make it more of a destination. ie: climbing/bouldering wall, natural play features, flatter beginner bike loop (easier than the existing beginner loop at the existing bike park)	7/31/2017 1:06 PM
13	Yes please to all!!	7/27/2017 10:32 PM
14	trails that connect to bike park, with safe separation from other playground users	7/27/2017 11:09 AM
15	Flying saucer swings (multiple kids can play)	7/27/2017 9:21 AM
16	A playground exactly the same size as the one behind the court-house. No sand or logs please. Water fountains only for people to drink water.	7/26/2017 12:55 PM
17	Accessibility for wheelchair people.	7/26/2017 9:40 AM
18	Shade structure (for adults); fort and bridges (our toddler loves the playground at Beacon Hill Park). Keep a natural theme - wood and stone.	7/25/2017 11:55 PM
19	plenty of seating for parents, including picnic tables. I'd bring my kids and work from a park if I knew there was a place for me to sit with my computer.	7/25/2017 6:47 PM
20	I have 3 kids 13 7 and 4 and they all are into different things. So wide age range would be great NO WOOD CHIPS PLEASE	7/25/2017 5:26 PM
21	Please no water sources.	7/25/2017 11:25 AM
22	Similar to gyro children's 'themed' pay park.	7/23/2017 5:26 PM
23	There are several areas in the park where kids can enjoy playing in nature with out having to build something . If only they were made safe .	7/22/2017 6:24 AM
24	Tall play structures (3 meters) usually make parks stand out as impressive and fun to children of all ages (and some adults too!).	7/20/2017 7:23 PM
25	Fish and water theme playground please	7/20/2017 9:05 AM

Q10 A number of other future improvements for Cecelia Ravine Park have been identified through the Burnside Gorge Neighbourhood Plan (2017) and the Cecelia Ravine Park Management Plan (2011). Which of these improvements are a priority for you?

Answered: 116 Skipped: 6



Cecelia Ravine Park - Improvement Survey



	HIGH PRIORITY	MEDIUM PRIORITY	LOW PRIORITY	NOT A PRIORITY	TOTAL
Map location #1: Improve the Cecelia Road pathway connection for walking and cycling	44.74% 51	34.21% 39	12.28% 14	8.77% 10	114
Map location #2: Enhance the park's function for community events through improvements to the amphitheatre (e.g. by removing vegetation and opening up views)	35.40% 40	30.97% 35	23.01% 26	10.62% 12	113
Map location #3: Develop a woodland interpretive area	19.47% 22	37.17% 42	30.09% 34	13.27% 15	113
Map location #4: Decommission the Tom Arkell Trail and move trail to the woodland interpretive area	11.50% 13	26.55% 30	31.86% 36	30.09% 34	113
Map location #5: Install a staircase on Gorge Road overpass (NW side)	25.66% 29	40.71% 46	23.89% 27	9.73% 11	113
Map location #6: Explore opportunities to make the mouth of Cecelia Creek more fish-friendly	56.14% 64	31.58% 36	7.89% 9	4.39% 5	114
(Various locations) Improve wayfinding signage to and within the park	28.95% 33	39.47% 45	21.93% 25	9.65% 11	114

Cecelia Ravine Park - Improvement Survey

Q11 Please provide any other comments or ideas you have about how Cecelia Ravine Park can be improved.

Answered: 59 Skipped: 63

#	RESPONSES	DATE
1	Slide with spinning bars and roundabout	8/20/2017 8:01 AM
2	Improving the utility of the park and increasing the attractiveness of the space so people want to spend time there will increase the presence of people of the neighbourhood, which would be expected to simultaneously reduce the issues associated with camping and vandalism that are the consequence of the park being as unfrequented as it is. It's currently really a thoroughfare for the most part, with the exception of those who play or spend time there frequently for quite specific reasons (e.g. bike park, garden, etc.).	8/18/2017 4:33 PM
3	I'm only interested in fully fenced spaces for dogs.	8/17/2017 5:35 AM
4	Refresh certain areas of the park and expand the bikepark	8/16/2017 4:34 PM
5	doggie bag stations	8/16/2017 2:05 PM
6	that place needs public washrooms. the water in the stream is polluted and dangerous for the birds, dogs, and children. I hope that problem is solved.	8/16/2017 1:57 PM
7	It could be turned into a top class "activity park" empasizing fitness - parkour, calisthenic stations etc.	8/16/2017 1:52 PM
8	access so it is safe for kids to walk or bike here from Balfour. It is not safe to ride on Balfour or Gorge Rd for kids or adults.	8/16/2017 1:47 PM
9	Lots of Lighting solar or otherwise to keep it safe	8/16/2017 12:37 PM
10	Although I love the natural vegetation in the ravine, more often than not there are people sleeping in the bushes and condoms, garbage and needles along the trail. Even creating a nice napping area for those who don't have a home, might encourage friendlier use? Just an idea!	8/16/2017 9:37 AM
11	improve lighting, make park more safe and secure to come to	8/15/2017 9:30 PM
12	Please add lighting. The trail is not well lit and doesn't feel very safe when walking in the dark. Please don't get rid of all the blackberry bushes.	8/15/2017 6:00 PM
13	Please improve the bike park. It needs more seating, the jumps have been erroded down. It needs more shade added. As a pregnant morher and a mother of small children it's not very comfortable to breastfeed or give out snacks there. I wish there was running water, bathrooms. There should be signage telling users parked on Napier Lane about the parking below the SPCA. My family loves the bike park. I was 3 families visiting from Colorado last weekend. They did a day trip from Port Angeles! They saw the bike park on Trail Forks mobile app! Cool right? More should be done to promote Cecelia Bike Park to young families. It's a fantastic park!	8/15/2017 2:57 PM
14	Please find a way to eliminate or at least reduce the odour of sewage from the waste pipes	8/15/2017 11:18 AM
15	WTF is a woodland interpretive area?! Why create yet another space for creeps to hang out and smoke pot and leave needles instead of maintaining what's there? How is the Tom Arkell Trail not already decommissioned? It sure as hell looks like it.	8/14/2017 9:27 PM
16	LOVE LOVE LOVE the bike skills park and if there is any opportunity to expand it ever I am so in support. It's a super close-to-home way to get some fun exercise in and learn some skills, especially for youth wihtout transport to Hartland or those who are not ready to risk the full mountain. Also I love natural green spaces, but removing shrubbery and low tree branches opens up the area and reduces opportunities for dangerous garbage, needles, or people to hide...I write this the day that a man was arrested in the park for throwing rocks and pulling a knife on Goose cyclists. Fewer places to hide might have reduced his ability to camp out in the area.	8/11/2017 11:59 AM
17	The bike park has shown itself to be very successful. It is time for an update and expansion.	8/8/2017 10:06 AM

Cecelia Ravine Park - Improvement Survey

18	This is my favourite park in town. I visit here 3 times a week. I would love to see a fenced dog park. There are only 2 in all of greater victoria and both far away from this location.	8/4/2017 11:53 AM
19	Light up the goose	8/2/2017 8:53 PM
20	Light up the trail	8/2/2017 8:51 PM
21	Stop camping and drug activity	8/2/2017 8:47 PM
22	I really want to see the issue of drug activity, camping, drinking, safety addressed. The trail is not adequately lit up there are several areas that are masked by bushes, trees - the tom Arkell trail could be beautiful and clean and a wonderful place to visit but it is currently polluted,used mostly for drug activity, dark and poorly lit, unsafe. There is so much potential in Cecelia Creek for community events, families, physical activity. I'd like to see it become safer and more attractive for families, children and communities to make use of and gather.	8/2/2017 8:43 PM
23	Installing washrooms (and more drinking fountains)	8/2/2017 4:55 PM
24	We generally just walk through the park right now because it's not welcoming to stop and enjoy. The park seems to be mostly inhabited by people who are down on their luck. What if we incorporate their needs into this plan and create spaces for all of us to enjoy the space?	8/2/2017 11:28 AM
25	I hope it becomes an open area where can be a safe place for children without any drug use problem or pervert to hide to target children.	7/31/2017 7:30 PM
26	more police patrols, to prevent the homeless people from leaving there garbage all strewn about	7/31/2017 1:59 PM
27	It feels nice and wild, and then suddenly there are these weird mixed use spaces along the goose. It would be nice to keep the lush wild feel while incorporating the park better with those spaces (less contrast). Also a little more development along the creek, wild spaces to make the area feel like an intentional wilderness/treed park.	7/31/2017 1:06 PM
28	Even with the many new homeless shelters in the area, there is still significant drug use occuring down along the Tom Arkell trail, which is unfortunate as it is a very nice natural trail. Could anything be done to discourage drug use down there? I worry because syringes are easily lost/hidden in the underbrush and pose a significant safety hazard. Perhaps more visible needle drop boxes on the entrances to the trail?	7/31/2017 10:19 AM
29	cecelia park feels cut off from "Burnside neighbourhood", walking there with kids means walking on noisy busy streets/sidwalks. When walking is not enjoyable we choose to drive and if we are getting in car we are more likely to go to a different park. Make cecelia walkable for those in nearby neighbourhoods	7/31/2017 8:31 AM
30	continue removing invasive species - not so much grass area, more native plants	7/30/2017 7:05 AM
31	a plan to manage the fairly ,regular camping population is needed	7/30/2017 6:06 AM
32	At present, some areas of the park, including the Tom Arkell Trail, are sort of dodgy. Many local residents feel uncomfortable having their kids explore and play in the park unsupervised because they worry about drug paraphernalia and criminal activity (e.g., bike-based drug dealers/users). Families go to the bike park, maybe to the playground if they have very young children, or use the multi-sport fenced court area. These peripheral areas of the park (e.g., Tom Arkell trail) need to be welcoming so that the public - esp. local children - will take advantage of them to explore and play!	7/29/2017 6:43 PM

Cecelia Ravine Park - Improvement Survey

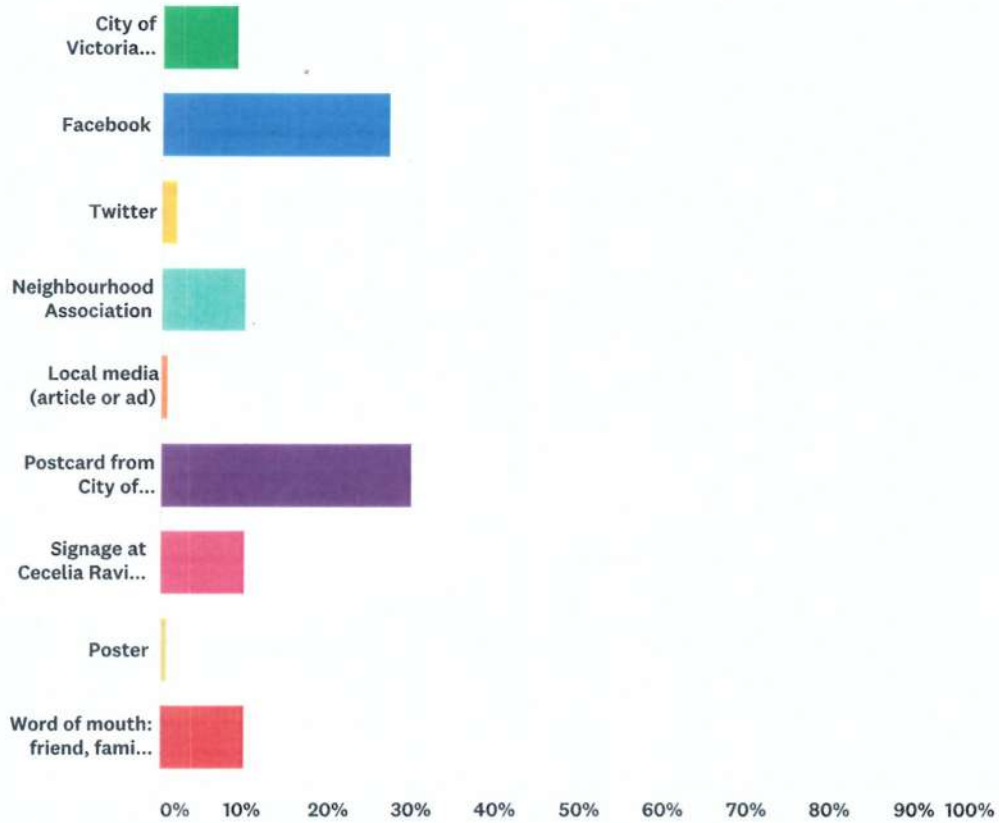
33	<p>Not only do you appear to want to put 'lipstick on the bull' more signs, when the Cecelia Ravine Park sign at the entrance to the park has not been cleaned or repainted in 20 years - and then castration of the bull, by putting a freaking THEATRE in what should be a green space. The homeless population are busy hollowing out all natural areas, and turning them into thin shells of trees, concealing a nest of stolen goods and discarded needles. Some more effective policing and occasionally cutting the grass, would make the area near the bottom of the Ravine more pleasant. More signs, and more stairs, will just ruin the natural character that does exist - even if it does provide funds to various contractors, it doesn't do much for the park. Tracking down the people (like autobody shops in Saanich) that dump their waste into Cecelia Creek, might also be more useful. 'Interpretive Centres' are a joke, when the creek stinks of toluene and benzene. Just another excuse for another contract for another ugly and useless building in a natural area. And this survey - it would be nice to have a large text field, so you could SEE AND EDIT what you have written. Where funds need to go is in 'invisible' things, like grass cutting, police patrols, maybe nature walks led by people (volunteers or staff) based in the community centre. The one type of sign that WOULD be useful, would be an illustrated map board near the entrance, so people can see what, is where. Cluttering up an already small park with more ugly signage is just visual blight, and a distraction from what is natural. The Tom Arkell Trail is a nice trail - it is only dangerous because of the infestation of homeless bike and wire thieves and drug dealers, and only rank because of the pollution of the creek. Solve the root problems, and leave the Trail. And, I know you can enumerate, for your 'masters', the number of ugly signs, and amount ugly worse-than-useless 'infrastructure' you have added, but they don't seem impressed by mere maintenance, by cleaning up of water, by de-lousing of the woods, by kids learning how to make cord out of stinging nettles, and jam out of raspberries, and looking for coho fry in the creek. But the latter things are the essence of parkland/agricultural land. Please spare us the signs, and for GODS SAKE, don't inflict a freaking theatre on us. We need greenspace in this community - not another venue to pull in the Gordon Head Crowd to park all over our greenspace. There are areas where there were once flowerbeds ... now overgrown. The only sign is a filthy travesty - just start CARING for things, so it is a more pleasant place. Fighting entropy is what caring for parkland is all about. STOP cluttering it up with useless B.S., and start nurturing the environment. And, for God's sake, allow the gardeners in the community garden to organize the garden themselves - the current arm's length system, where someone from the community centre occasionally issues a directive from 'on high' is a cause of frustration - basically through disenfranchisement - for the gardeners.</p>	7/28/2017 10:58 AM
34	Please return the shared trail signs, along the Goose.	7/28/2017 9:00 AM
35	The more play equipment, the better!	7/27/2017 10:32 PM
36	Increased maintenance of the bike skills park. It is currently under-maintained.	7/27/2017 11:55 AM
37	Cecelia is one of the few places cycling is permitted off road. Trails can be made around other uses, to extend this, with little space or risk.	7/27/2017 11:09 AM
38	The vandalism of the existing community garden is heart-breaking to those of us who grow there. We need a fence that can't be cut through.	7/27/2017 7:25 AM
39	I visit this park at least 3 times per week as I work nearby. There are always homeless camps and drug users in the park. Piles of garbage, drug and biological waste are common. I feel unsafe at times and regularly disgusted. No camping regulations needs to be enforced and frequent clean-ups.	7/26/2017 9:56 PM
40	Better garbage clean up	7/26/2017 4:22 PM
41	Place a bench at the top of the Cecelia Road pathway, seniors need a place to rest after climbing up the steep path, the benches at the playground are too far!!	7/26/2017 2:54 PM
42	the stream beside the Tom Arkell trail is horrible. Can we do something about it?	7/26/2017 12:55 PM
43	LIGHTING ALONG THE GOOSE TRAIL NEEDS IMPROVEMENT.	7/26/2017 12:49 PM
44	Make improvements to Arbutus Park and make each park complementary to one another.	7/26/2017 10:44 AM
45	Stop treating Gorge-Burnside as "The other side of the tracks" you public servants.	7/26/2017 9:40 AM
46	It needs to not smell of sewage in order for any of these improvements to be useful. Currently it frequently smells of sewage, and any improvements will be useless if it continues to smell unappealing.	7/26/2017 9:35 AM

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47	As a cyclist and walker, there are several site lines around the Cecelia Ravine area that could be improved by widening the Galloping Goose a bit. I would separate the cycling access from the walking path when accessing the GG from Cecelia Road. The current switchback approach works for cycling until there is a pedestrian/cycle "conflict" with both using the path at the same time.	7/25/2017 8:51 AM
48	Improve lighting & access along the Goose for security, better patrolling of the area, deal with the ongoing issue of entrenched campers	7/24/2017 1:37 PM
49	I already completed the survey but wanted to add something. Please don't create anything that will encourage tent cities etc. I would like to see more police presence on the Goose area to keep it more family friendly. I don't feel safe alone as a 50ish female.	7/22/2017 10:28 AM
50	Whatever is done, cost should be the biggest consideration	7/22/2017 10:21 AM
51	keep invasive plants at bay EG: blackberries & broom	7/22/2017 10:18 AM
52	Currently there are people often tenting under the Gorge Bridge. This is not a good situation and that camping area needs to be de-commissioned by making it difficult to camp in. THIS IS A SAFETY ISSUE AND NEEDS TO BE SOLVED FIRST AND FOREMOST.	7/22/2017 8:01 AM
53	I provided many of my thoughts in answer # 9 (oops) I use this park a lot and care about the neighbourhood . I've lived in the area for over 25years and plan to stay . The park jis very rundown and over grown, not at all well maintained . It needs a good clean up and it's greenspaces need to be made safe so all can use them , including the wildlife . There is no point in having natural areas when they are being lived in by the homeless and used by thieves and drug dealers . They have ruined the natural spaces by trampling them down and littering them with filth . The area around the allotment gardens especially along the bank and in the Ravine next to Burnside rd , needs to be daylighted and maintained in order for the park to become safe again . The "natural " areas just aren't working in our favour .	7/22/2017 6:24 AM
54	Widen the Galloping Goose and add lighting to it	7/21/2017 11:09 AM
55	How about making it safer for pedestrians- define the paths more clearly as being for multi use not just bikes. I hate having to walk in same direction as bikes and have them come up behind me unseen. I think pedestrians should walk facing bike traffic so we can avoid danger. Footnote: bike bells scare dogs so having biker alert pedestrians with a bell or shouting is not a win!	7/20/2017 11:56 PM
56	It is awkward and sometimes dangerous for cyclists to turn onto the north (westbound) side of Gorge road from the Galloping Goose trail. Currently during rush hour, there is often a short lineup of cyclists waiting to dash across Gorge road at this location because there is no crosswalk there. Ideally there should be some kind of ramp to directly connect the North side of Gorge road to the Galloping Goose trail.	7/20/2017 7:23 PM
57	Bicycle and stroller accessibility from North side of Gorge Road to existing bike trail	7/20/2017 6:46 PM
58	Please turn the steep hill at the end of Cecilia Rd (the hill that accesses the Galloping Goose) into a staircase or less steep hill.	7/20/2017 5:53 PM
59	Trim or remove some shrubs to increase safety/ visibility	7/20/2017 9:05 AM

Q12 How did you hear about this survey?

Answered: 110 Skipped: 12



ANSWER CHOICES

City of Victoria Website
Facebook
Twitter
Neighbourhood Association
Local media (article or ad)
Postcard from City of Victoria
Signage at Cecelia Ravine Park
Poster
Word of mouth: friend, family member, neighbour
TOTAL

RESPONSES

9.09%	10
27.27%	30
1.82%	2
10.00%	11
0.91%	1
30.00%	33
10.00%	11
0.91%	1
10.00%	11
110	

#	OTHER (PLEASE SPECIFY)
1	I hold a plot at the current community garden.
2	City of Victoria email

DATE
8/18/2017 4:23 PM
8/16/2017 1:54 PM

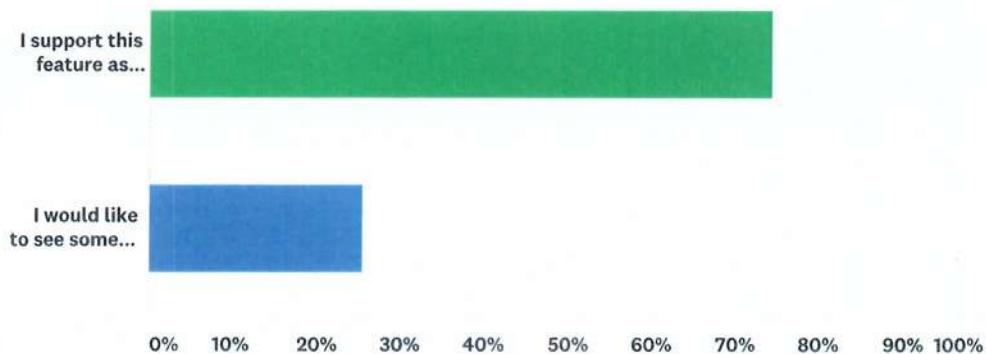
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3	All of the above	8/15/2017 2:57 PM
4	Jawl Properties	8/10/2017 12:47 PM
5	e-mail about engagement event	8/2/2017 4:55 PM
6	City Engagement email	8/1/2017 9:29 AM
7	a poster was left at our bldg	7/31/2017 1:59 PM
8	email	7/31/2017 8:31 AM
9	city of victoria restoration group	7/30/2017 7:05 AM
10	email	7/28/2017 9:00 AM
11	cycling club facebook page	7/27/2017 11:09 AM
12	Email	7/26/2017 5:34 PM
13	Thank you for all your hard work.	7/26/2017 12:55 PM
14	Email	7/26/2017 10:15 AM
15	email	7/26/2017 9:47 AM
16	Email	7/26/2017 9:40 AM

Appendix D: Survey: Phase 2

Q1 (#1) Bigger, More Accessible Playground: Planned playground improvements include a mix of natural play opportunities and play equipment that appeals to a wide range of ages and abilities. A creek themed water play channel with water pump, playground equipment with climbing opportunities and a natural play area with sand, boulders and logs are being considered.

Answered: 47 Skipped: 2



ANSWER CHOICES

RESPONSES

I support this feature as shown.	74.47%	35
I would like to see some changes to this feature.	25.53%	12
TOTAL		47

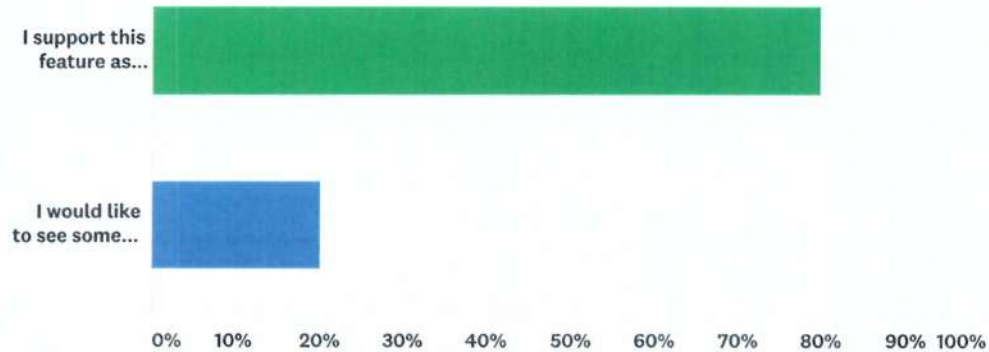
#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	I love the idea of a natural playground, very exciting. But as a parent with young children in the neighbourhood, please don't put a water feature in the park. For the youngest ones, it's so hard to stop them from sitting in the water or getting totally wet. For the older ones, it's a fun play for a few minutes, and then they're cold and wet and want to go home. This park is on our way to and from activities, meaning we stop here for a break on our way to go places or on our way back home. If the kids get wet every time we go there, it becomes no fun for anyone - I have to monitor and restrict their play so they can remain comfortable for the rest of the day, and they hate being restricted from playing with something they want. So please make it easy on us parents, and include the other play elements, but take out the water feature. Please?????	11/1/2017 9:33 AM
2	We need adult-oriented fitness equipment. Basically an adult sized monkey bar/parallel lattes; rubberized mat surface.	10/30/2017 12:57 PM
3	I would love to see a dedicated spot for adult outdoor fitness equipment. Similar to fitness parks in Toronto and Montreal.	10/30/2017 12:47 PM
4	I would be concerned about having play sand available, just because it could be difficult to detect syringes left there.	10/28/2017 8:07 PM
5	There were many creek/water features shown, some of which were more natural looking. Would be cool to have a variety, but especially not just restricted to more concrete! My 8-yr old says: "More danger things [more challenging, he means], Yes to the crow's nest climbing thingy, what about trees to climb? What about the soccer court like in Germany?" We will send photos. This was a very small play court with metal mesh soccer nets and a cool welded art-like structure that was actually a soccer practice shot target.	10/28/2017 7:14 PM

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6	I am not a huge fan of the water themed play area. My concern is water usage. Water conservation is especially important on an island, in particular as we see longer drought periods in the summer.	10/28/2017 10:26 AM
7	no woodchips, dried up corn ! (that look like corn nuts) not sure how that will be with crows tho, if not, then the same as the new courthouse playground on quadra	10/26/2017 7:43 PM
8	I thought I'd just note that I prefer not having any stagnant water in the park to not encourage mosquitos in the area. (As long as it's not stagnant, I am ok)	10/26/2017 3:29 PM
9	Things to climb on are good for the kids. Climbing web and or climbing rocks.	10/23/2017 10:07 PM
10	I would like accessible outdoor fitness equipment for adults of all abilities such as stationary recumbent bicycles that would allow parents to exercise while their children play.	10/23/2017 4:12 PM
11	Eliminate water feature. It would be used primarily during summer when water restrictions are in place. It's a waste of water. And a bad example for the City to create.	10/21/2017 9:25 PM
12	I love the idea of a natural play area that includes landscaped water features. Water is such an important element in children's play and there are so few playgrounds that incorporate such an opportunity. The photo with the big slices of log is also amazing and would love to see boulders, logs, and log slices included too!	10/19/2017 5:11 PM
13	Please include some swings, and make sure all play elements will be equally enjoyable in the rain as in the sun. That is, water play is fun when it's warm out, but not so fun in winter. We'd like this to be a year-round playground, please.	10/19/2017 9:01 AM
14	A water park for children to play in	10/18/2017 7:04 PM
15	Water channel would be a great play focus.	10/18/2017 3:21 PM
16	Sand is a big mistake. Dirty, messy and increased monitoring costs for needles.	10/17/2017 3:46 PM
17	No sand please..	10/16/2017 8:37 PM
18	I wonder if the water feature is going to waste water. When we used the current playground this summer, wasps were starting to nest in the sand. I like the natural elements but they do seem to need more maintenance or checking to ensure they remain safe.	10/16/2017 5:54 PM
19	Love the creek theme. Would be great to have a water theme throughout the park- in concrete pathways etc	10/13/2017 9:17 AM

Q2 (#2) Community Green: Provides grassy open space for gathering, celebrating, and pick-up sports.

Answered: 45 Skipped: 4



ANSWER CHOICES

I support this feature as shown.

I would like to see some changes to this feature.

TOTAL

RESPONSES

80.00% 36

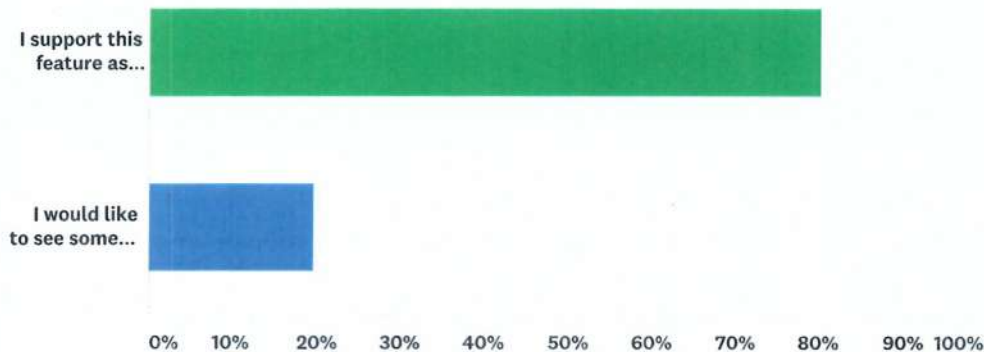
20.00% 9

45

#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	A grassy area looks great. My concern is that it would become a camper central and feel unsafe, especially if we keep the tall hedges that restrict views out over the ridge. In the context of our neighbourhood, which has the highest percentage of supportive housing (and growing), feelings of safety are paramount.	11/1/2017 9:33 AM
2	I would prefer to have a community gardening place even if it will be hard for access with cars.	10/30/2017 9:48 AM
3	Native species vegetation surrounding.	10/28/2017 7:14 PM
4	fenced seperate space for dogs would be nice	10/26/2017 7:43 PM
5	This is an area with a lot of drug addicts so hiring a student or some subsidized worker during the summer to rake and keep the grounds clear of needles and drug paraphernalia would be realistic and responsible.	10/23/2017 4:12 PM
6	Not sure I have suggestions for changes and I think open green space is good but the worry would be it woud turn into a camping area with garbage and evidence of drug use left around for children to find. If there isn't a plan as to how to prevent this from happening, I would prefer the entire space be natural and structured paly space for children	10/23/2017 10:37 AM
7	Benches, picnic tables, and restrooms around the perimeter.	10/22/2017 8:12 PM
8	Grass is high maintenance requiring water and mowing. Use a native plant meadow instead, that only needs mowing once or twice a season.	10/21/2017 9:25 PM
9	The community green area is fine, but as it stands, it looks like this area will be camping central; a secluded, grassy area hidden away at the back will not make this space feel safe or inviting. According to your engagement summary, "New property should feel safe for visitors of all ages, including multiple access points, lighting, and clear views." I'm concerned that the current design doesn't look like it will achieve this goal, especially since the stairs and access at the north-east corner of the park to the trail are not part of this plan. Would it help if the playground and community green locations were swapped? Perhaps a green space in between the fitness area and playground wouldn't feel so secluded?	10/19/2017 9:01 AM

Q3 (#3) Picnic Area: Paved community picnic area with a grass area, picnic tables and shade trellis.

Answered: 46 Skipped: 3



ANSWER CHOICES

RESPONSES

I support this feature as shown.	80.43%	37
I would like to see some changes to this feature.	19.57%	9
TOTAL		46

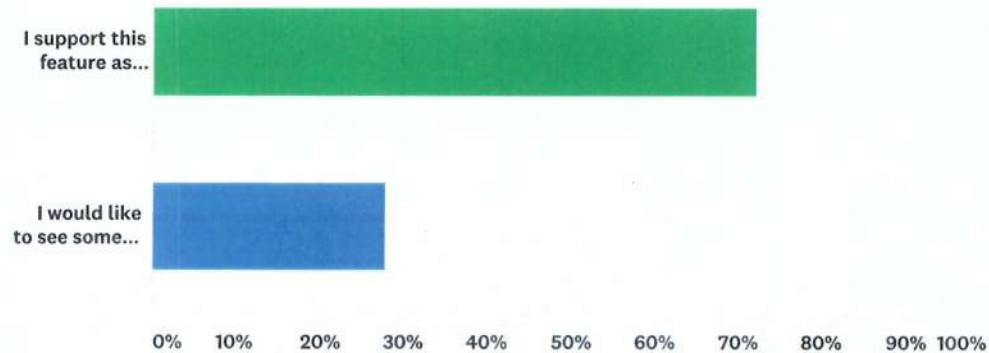
#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	Permeable pavement.	10/30/2017 12:47 PM
2	I would prefer non paved picnic area. Paved areas seem to become much more unsightly due to spills and can also be a target for graffiti	10/28/2017 10:26 AM
3	don't forget wheelchair accessible tables !	10/26/2017 7:43 PM
4	I would prefer a covered area with a roof over a trellis. It would be nice to have a dry spot to gather.	10/25/2017 12:39 PM
5	Ensure there is some subtle lighting in the picnic area.	10/23/2017 11:10 AM
6	Love it, but again same fear that it will be used by campers	10/23/2017 10:37 AM
7	Using cedar chips throughout instead of paving would be kinder to children falling off those benches and less costly.	10/21/2017 9:25 PM
8	Would love to see a structure over the top that promotes year-round use of the structure. A shade trellis won't provide too much protection from winter rain storms, and this looks like the only part of the plan that includes a structure that provides cover. Park might get more use from families and preschoolers if there is a bit of shelter for inclement weather.	10/19/2017 5:11 PM
9	Any plantings should be done with native plant species to provide less maintenance requirements and better habitat for wildlife.	10/18/2017 7:04 PM
10	My concern would be the use of the shelter area by the homeless community rather than the intended neighbourhood users. I am not certain what you could do to make that less likely.	10/18/2017 3:21 PM
11	more space between paths and tables	10/17/2017 7:52 PM
12	providing it is maintained, kept clean and garbage removed regularly.	10/16/2017 8:37 PM

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13	Make the cover rain proof so that the area can be enjoyed better year round. Homeless people may gather there, but should we avoid building nice things simply because the "wrong" people might make use of them? Address housing as a separate issue and build a full roof over the picnicking zone. If you want it to be really cool, rather than simple picnic tables try a small amphitheatre style sitting area or some non-traditional styles of sitting area. These are more interesting and appeal to youth more than boring old tables.	10/16/2017 8:25 AM
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Q4 (#4) Small Parking Area: Gravel parking area with space for 4-5 cars, to serve expanded playground and park area. Includes a gate to be closed at night. (Please refer to the plan above.)

Answered: 43 Skipped: 6



ANSWER CHOICES

I support this feature as shown.

I would like to see some changes to this feature.

TOTAL

RESPONSES

72.09% 31

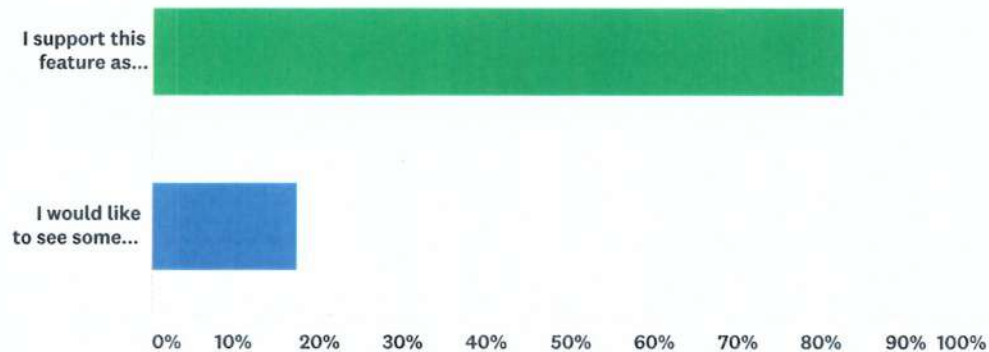
27.91% 12

43

#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	Parking not necessary	10/29/2017 6:57 PM
2	Have TWO automobile spaces for ONLY car-share vehicles. Use the remaining space for covered bicycle parking, including bicycles with trailers.	10/28/2017 10:19 PM
3	gravel parking but with raingarden swale consisting of all native vegetation.	10/28/2017 7:14 PM
4	It would be great if you can provide a number (by-law?) at the site or to the neighbour where we can contact in case people park there for not the park use purpose.	10/26/2017 3:29 PM
5	I'm unsure if additional parking is necessary. Add the parking if it's necessary.	10/25/2017 12:39 PM
6	Putting up signs that state that the parking is only for those using the park and all other vehicles will be towed. Energy saving street lights to light up the parking lot.	10/23/2017 4:12 PM
7	More parking stalls needed, also bike rack.	10/22/2017 8:12 PM
8	Include an EV charging station	10/22/2017 10:57 AM
9	I don't see the point of the gate to be closed at night. Are we going to pay a city worker to come out at dusk on overtime?	10/21/2017 9:25 PM
10	Undecided on how I feel about this feature.	10/19/2017 5:11 PM
11	I can't tell from the picture, but would appreciate a small fence or guard rail between the playground and the parking lot, to keep fast-moving children out of there. thank-you!	10/19/2017 9:01 AM
12	Is there a bicycle rack?	10/18/2017 3:39 PM
13	I don't know that this is essential. It's a neighbourhood park; mostly we walk or cycle to it.	10/18/2017 3:21 PM
14	would prefer expanded streetparking in hammerhead cul-de-sac	10/17/2017 7:52 PM
15	Not gravel. Paved.	10/17/2017 3:46 PM

Q5 (#5) Expanded Outdoor Fitness Area: Larger fitness area with rubber surfacing and additional fitness equipment

Answered: 46 Skipped: 3



ANSWER CHOICES

I support this feature as shown.

I would like to see some changes to this feature.

TOTAL

RESPONSES

82.61% 38

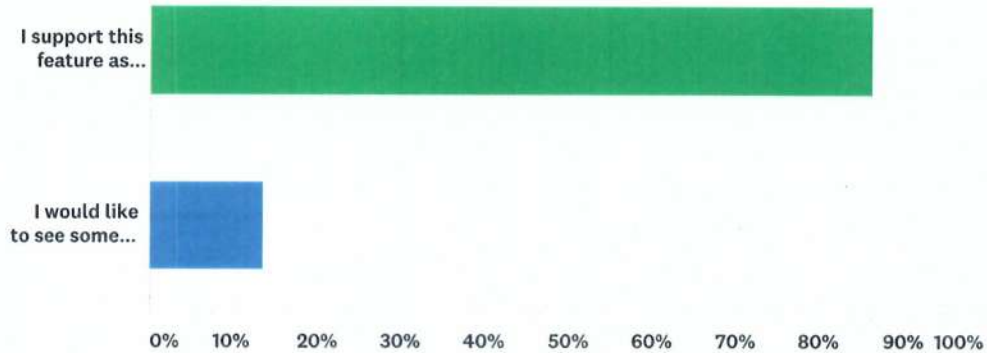
17.39% 8

46

#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	Can we put the fitness area farther back? I think it would attract a fair number of people, so it might be a good candidate for the back area of the park, increasing traffic through the park, and keep children and grassy areas closer to the road where it feels safer to be out in the open.	11/1/2017 9:33 AM
2	Rubber surfacing is awesome. - especially Trek company work. Multiple level horizontal bars, paralettes. Calisthenics bars complete with multiple heights. Rubberized mat very important.	10/30/2017 12:57 PM
3	I would love to see an outdoor fitness area like the Toronto Riverdale Park East. It was designed by Trekfit. I am not wedded to Trek - they just have great example of what I'm describing. LOVE the rubber surfacing!	10/30/2017 12:47 PM
4	As long as it doesn't take up too much of the space ...	10/28/2017 7:14 PM
5	As long as this feature doesn't make people stare at my property, which is the next lot, I would support the feature.	10/26/2017 3:29 PM
6	Not a priority for me personally. Would prefer to see some biking obstacles instead.	10/25/2017 12:39 PM
7	Very supportive of this idea. Also integrate some fitness equipment that can be used by kids and adults - so parents can visit the area with their kids and exercise together. When/if near playground it is also nice so play and exercise can be combined.	10/23/2017 10:07 PM
8	I did my very first pull up because of the current fitness equipment in this park; I practiced while my daughter played at the playground! Thanks! Also, I like the integration of fitness area in this spot and down the hill / on the stairs. Hopefully it will mean more traffic for this park.	10/19/2017 9:01 AM
9	I would not use these kinds of equipment.	10/18/2017 7:04 PM
10	I am uncertain about the health of the rubber surfacing. I prefer it not include recycled tires. More exercise equipment will be happily received by the community.	10/18/2017 3:21 PM
11	Strongly support.	10/17/2017 3:46 PM
12	Do these really see a lot of use? With such a tiny area and only one or two structures, will it attract enough use to be worthwhile? I'm no expert, but based on my experiences I'm not sure it will.	10/16/2017 8:25 AM

Q6 (#6) New Asphalt Pathways: New pathways provide connections from Cecelia Road and Washington Avenue. Main park pathway includes lighting.

Answered: 44 Skipped: 5



ANSWER CHOICES

I support this feature as shown.

I would like to see some changes to this feature.

TOTAL

RESPONSES

86.36% 38

13.64% 6

44

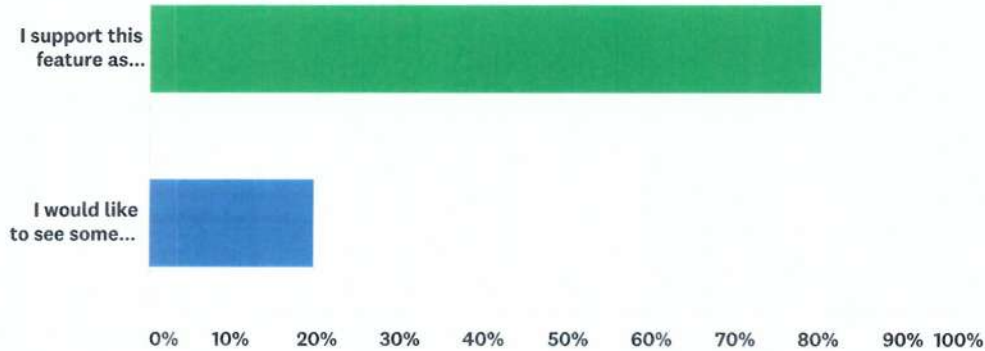
#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	An improved pathway between the park and the Goose is my #1 priority. The current pathway is dangerous and a daily problem, lugging two kids up that gosh-darned hill!	11/1/2017 9:33 AM
2	More lighting on goose around the area along with or instead of the extra pathway?	10/28/2017 10:40 AM
3	I do not see this as necessary and would rather see lighting improvements to existing pathways in the area.	10/28/2017 10:26 AM
4	I am not sure whether the width of Washington Ave pathway will change, but if not, I prefer less traffic through that way especially who are not neighbours of the park. It is very tiny, and that is my pathway to access my house. Also, I do not want to encourage people to park on Washington Ave residential parking, which is always full, so I prefer less signage for Washington Ave access. (I support the access through Cecelia Road and Washington Ave. I just think the pathway to Washington is too tiny for the public access. Neighbours who know the area are ok)	10/26/2017 3:29 PM
5	Can you paint some hopscotch or interesting kids designs on the pathway?	10/25/2017 12:39 PM
6	Should be garbage cans by the benches to avoid littering.	10/23/2017 4:12 PM
7	Lighting this area will be very important.	10/23/2017 10:37 AM
8	Put in the extended pathway from the north end of the park addition down to the Galloping Goose ASAP	10/22/2017 10:57 AM
9	The map says the pathway already exists, from Washington Ave to the park between two houses. I've never seen this pathway? I hope that means the city owns the land and that you're going to pave it. LOVE the lights, thank-you very much!	10/19/2017 9:01 AM
10	Yes to lighting and wider path, with good flow-through to the neighbourhood.	10/18/2017 3:21 PM
11	The connection to the CRD trail should not be postponed. There should be a stair and/or ramp connection to the GG Trail to the east constructed along with the initial improvements, to avoid making the new expanded public park, a 'dead end'.	10/18/2017 11:02 AM

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12	space between path and playground	10/17/2017 7:52 PM
13	providing it is maintained and kept clean at all times.	10/16/2017 8:37 PM
14	lighting is very important here	10/13/2017 9:17 AM

Q7 (#7) Future Public Washroom: Provide space for a future single-stall public washroom to be installed at this park (outside of budget for 2018 park improvements).

Answered: 46 Skipped: 3



ANSWER CHOICES

I support this feature as shown.

I would like to see some changes to this feature.

TOTAL

RESPONSES

80.43% 37

19.57% 9

46

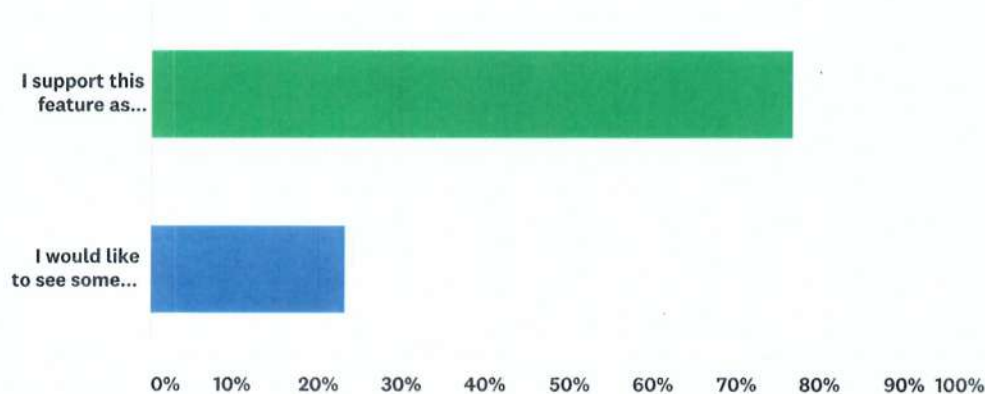
#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	I would love to see a bathroom, of course, but not if it encourages more camping in the park.	11/1/2017 9:33 AM
2	We should arrange an opening and closing time.	10/30/2017 12:38 PM
3	We should arrange an opening and closing time.	10/30/2017 9:48 AM
4	Need some way to keep it safe and useable. Unfortunately some people sleeping rough and with various challenges could make this and other Very important Community amenities unsafe	10/29/2017 7:06 PM
5	Please don't include a urinal in that tiny space. In port-a-pottys that have urinals, women using the bathroom have the urinals right at face level, and it is disgusting.	10/28/2017 8:07 PM
6	I am afraid that this will bring more squatters to the area. Is it possible to have this by Galloping goose? (Between the community centre and the park?) Also, I am a little worried about the smell.	10/26/2017 3:29 PM
7	Please add more than one washroom so that if one breaks down you have a second option. These changes need to support the growing population for many years. 1 toilet might suffice for now but think of the next 20-30 years. Please make them as practical and difficult to break as possible. I love cinderblock and rough cut pine/westcoast look. Something durable and practical, inexpensive compared to what's shown.	10/25/2017 12:39 PM
8	I appreciate and support a public washroom that includes a sink. The park has challenges with drug use and any washroom would need to be maintained for cleanliness and excellent lighting.	10/23/2017 8:30 PM
9	It needs to be big enough to put strollers and multiple children in. Also needs to be locked at night	10/23/2017 10:37 AM
10	Add a temporary portable if no other facilities exist.	10/22/2017 8:12 PM
11	Good start, but it would be better to have more stalls in a larger building.	10/22/2017 10:57 AM
12	I think this is a higher priority and would support spending less on the other improvements to have this done in 2018.	10/21/2017 9:25 PM

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13	I really like the idea of having a washroom here (have had to make my potty-training toddler pee on the grass more than a few times, sorry!). But I'm surprised to see this here, because when I mentioned the idea at the pop-up consultation, the city staffer (don't remember her name) mentioned that it's unlikely at this park because there are so many campers, and a washroom would encourage even more and be difficult to keep clean and safe. So yes I'd love to have a washroom, assuming you have ideas about keeping the park safe and clean for all users.	10/19/2017 9:01 AM
14	I only support this if it is locked dawn to dusk. Otherwise it will be used for drug activity and likely become unsafe for children's use.	10/18/2017 7:04 PM
15	I really support there being lots more public bathrooms available.	10/18/2017 3:21 PM
16	Will this attract camping to the grassy green area and become a problem?	10/16/2017 5:54 PM
17	Build this instead of the fitness area so you can budget it in sooner. If the budget for this remains a question mark, who knows if we will ever get it?	10/16/2017 8:25 AM
18	Love this design	10/13/2017 9:17 AM

Q8 (#8) Future Cecelia Road Pathway Improvement: Provide space for future pathway improvements, including more gradual grades, a wider pathway to better accommodate people riding bikes and people walking, and a mid-point flat rest area (outside of budget for 2018 park improvements) (Please refer to the proposed plan above.)

Answered: 43 Skipped: 6



ANSWER CHOICES

RESPONSES

I support this feature as shown.	76.74%	33
I would like to see some changes with this feature.	23.26%	10
TOTAL		43

#	MY SUGGESTED CHANGES INCLUDE:	DATE
1	The improved pathway between this park and the goose is my #1 priority, and I'm so sad to see this isn't part of the current plan. it's the part I was most excited about. Even as a parents of two small children who use the playground weekly (if more more often), this pathway is the most important feature that will make the park more accessible and more pleasant.	11/1/2017 9:33 AM
2	Making sure to leave any native vegetation and trees (not there is much there). Plant more native species, especially fruit-bearing ones. Plant lots of native trees for shade, nesting and future climbing. But leave any existing fruit trees, even those not native.	10/28/2017 7:14 PM
3	I do not think there are enough benefits to this to be worth the cost. If traffic becomes much higher with the new facilities, perhaps it would make sense but I do not think it is necessary for the time being.	10/28/2017 10:26 AM
4	for bikes have a line just like the roads do, but put the symbol bikes only in this lane, other side would be pedestrian's only, so it's clear which side is which, just in case :p	10/26/2017 7:43 PM
5	Remember that wider paths = faster travel. I support more interesting biking features in the park.	10/25/2017 12:39 PM
6	Making this park easier and safer to get to (walking and biking) is a key consideration. See comment below.	10/23/2017 10:07 PM
7	Paint grades in the pathways for visually impaired. Have signs indicating traffic flow for bicycles and people walking or in wheelchairs such as the Galloping Goose has.	10/23/2017 4:12 PM
8	Why are you waiting on this? Why not include it now?	10/22/2017 10:57 AM

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- | | | |
|----|--|---------------------|
| 9 | I don't understand. When I spoke to the people at the pop-up consultation, they said that improving this pathway so it's safer was their #1 priority? I fell on the ice here when I was pregnant, it's impossible to ride up with my kid in her bike trailer (too steep). Also, it looks like some of the brush beside the trail has been mowed away to make room for a new trail. So why isn't this in the 2018 budget, if it's such a high priority? | 10/19/2017 9:01 AM |
| 10 | It already is connected to the galloping goose..there is no need for additional bike pathes | 10/18/2017 7:04 PM |
| 11 | I have no opinion on this feature- that wasn't an option. | 10/18/2017 3:21 PM |
| 12 | The connection to the CRD trail should not be postponed. There should be a stair and/or ramp connection to the GG Trail to the east constructed along with the initial improvements, to avoid making the new expanded public park, a 'dead end'. | 10/18/2017 11:02 AM |

Q9 Please share any additional feedback about the proposed park improvements for the new park land.

Answered: 16 Skipped: 33

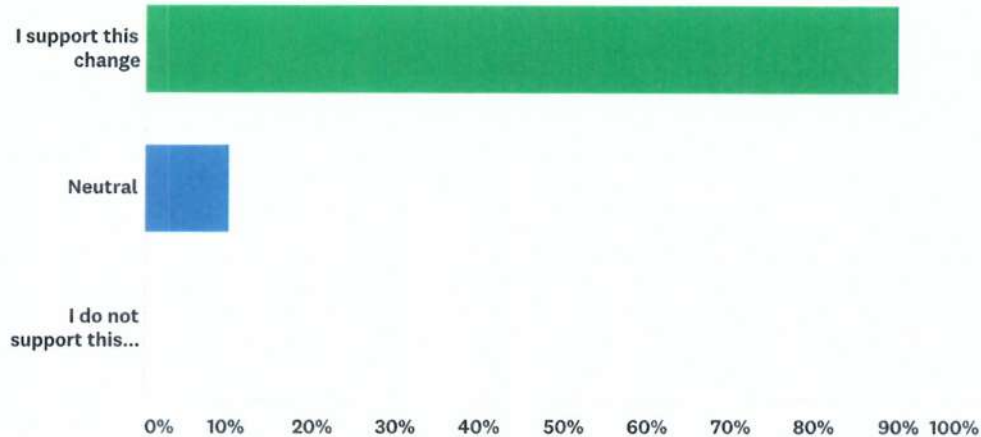
#	RESPONSES	DATE
1	I am really excited about the possibility of creating something similar to what is so common out East - Adult calisthenic workout areas that provide a serious alternative to paying for a gym or something. Many people cannot afford a gym. Options include parallellettes (?) - multiple heights of rocks, rocks/benches to jump up onto. Rubberized mat to promote safety when learning new (health-promoting) movement patterns.	10/30/2017 12:57 PM
2	I am so excited about these park improvements - wonderful for the community. I am passionate about seeing expanded, affordable, opportunities for adult outdoor fitness equipment that is not a mimic of what is in the gym, but more like bars for pull ups, rope walls, bars low to the ground (for chest pulls - pieces that support functional fitness movement. I think this park is an ideal place for this. Plus - rubberized surfaces are so good for joints when practicing bodyweight exercises. Thank you for all your great work!	10/30/2017 12:47 PM
3	My child uses the Cecelia Ravine bike park frequently. I hope you will not remove anything from that, and I hope that it can even be expanded in the future.	10/28/2017 8:07 PM
4	The improvements that are needed for creek water quality and ecosystem health are mainly watershed-wide major changes, including water storage (increase lag time for the discharge curve and reduce overall surges), and repairing cross-connections with sewer. On going efforts include removing invasive species.	10/28/2017 7:14 PM
5	please make sure the playground equipment is friendly looking, pictures above looked good, bright and colourful, a welcoming is wut catches the human eye ^.^!	10/26/2017 7:43 PM
6	Did you know that Cecelia is on TrailForks and that tourists from the US are going there because they saw the park online? I wish we could have a seating area by the bike park entrance. It's often hot in the full sunshine and not comfortable for pregnant mamas and small children. I would like to see wooden biking structures available for borrowing (locked up with a passcode) near the basketball courts. Thanks for your hard work on this. The images in question 1 are all squished/not easy to view.	10/25/2017 12:39 PM
7	Thank you for all the engagement work and planning being put into the development of this park. It is much appreciated and needed in this neighborhood. However, as a family living in the area who wants their kids to be able to walk or ride their bikes to parks on their own - this is not a park we will be sending our kids to. It is just not safe for kids to ride their bikes on Burnside or Gorge Road. Both roads are very busy with fast driving traffic. Rarely do people drive the 40km limit on Gorge road and i have never see any tickets being issued. There are no bike lanes on Burnside and the bike lanes on Gorge road are much to narrow. After a neighbor was almost killed walking on a Gorge road sidewalk (hit by a car) - it is not a road that families will be sending their kids walking down to get to a park. Most importantly there is no pedestrian/bike connector path between Balfour and Washington - this has been a community priority for a very long time. The fantastic bike park is already under utilized by kids in the neighborhood as it is just not safe for them to ride their bikes unsupervised along those busy roads. Our family is very supportive of the new park - but if we were to say where budget should go the pathway between Balfour and Washington would be a priority so people in the neighborhood could be connected to the Galloping Goose train, the Selkirk community, the water way and the rest of Victoria.	10/23/2017 10:07 PM
8	Make the playground equipment colourful using primary colours. Paint a mural that will promote children's imagination and learning by their counting the number of rabbits in the mural or finding all the fairies and the mural could be tactile where children would have to move flowers or branches to find them. It could be made of wood.	10/23/2017 4:12 PM
9	Great plan. Looking forward to using the park.	10/23/2017 11:10 AM
10	We're excited to see improvements, and agree that bushes should be maintained, and the paths made safer and more accessible. ALSO, that sewage pipe needs dealing with!!	10/22/2017 10:57 AM

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11	Please try to stick with a reasonable budget overall for park improvements. It seems as if the City is doing them constantly. Try to distinguish between needs and wants.	10/21/2017 9:25 PM
12	I'd love to see more natural landscaped features outside of just the playground. I would love for certain areas (perhaps along pathways?) to be either landscaped mindfully with nature play in mind, or left in a more natural state. I think it would be nice if children could play in a playground, but felt welcome (and set up for success) to play in nature, as well. A small space in a public park could be the best foot forward to make the connection between kids and play in nature. There are not enough places left where kids are allowed to climb trees, slide down muddy hills, etc. I think your playground design mimics nature in this respect, but would love to see more opportunities within wild spaces.	10/19/2017 5:11 PM
13	Thank-you for all your hard work. We're all looking forward to using the new park when it's done. I don't see anything in the plan that talks about improving sightlines. Right now the hedges at the top of the cliff make this park feel secluded. If there's a way to keep the foliage cut closer to the ground, people at the park would be able to see out and see the goose, making both the park and the goose feel safer.	10/19/2017 9:01 AM
14	Please do something about the stench of sewage that permeates the park and remove invasive species that blanket the creekside. That is more important than any of this.	10/18/2017 7:04 PM
15	Please develop a plan for Arbutus Park.	10/18/2017 3:39 PM
16	While greenery is important to help the space feel natural and inviting, it's very important there are plenty of sight lines and few places for illicit activity that could result in an unsafe environment.	10/18/2017 7:36 AM

Q10 (Feature #1) Improve the Cecelia Road pathway connection for walking and cycling

Answered: 40 Skipped: 9



ANSWER CHOICES

I support this change

Neutral

I do not support this change

TOTAL

RESPONSES

90.00% 36

10.00% 4

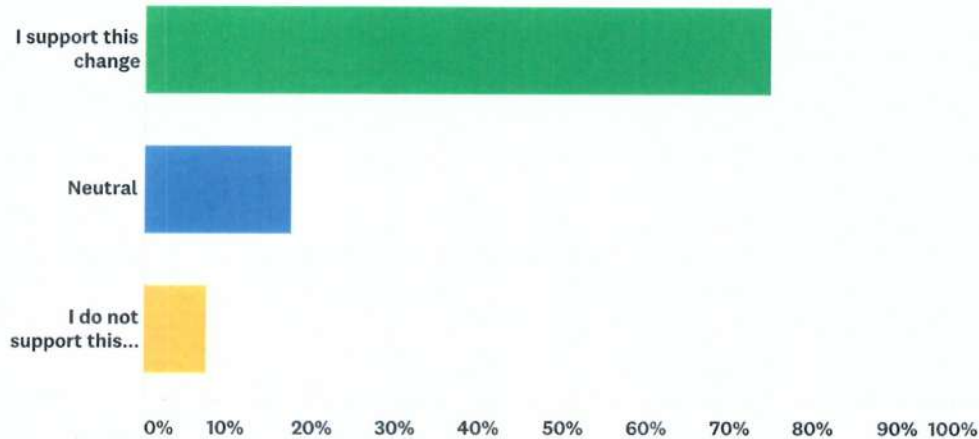
0.00% 0

40

#	PLEASE PROVIDE YOUR COMMENTS HERE:	DATE
1	Improving this pathway is the #1 most important thing I hope to see in this park, making all of our lives easier. The current path is dangerous for anyone with mobility issues. The rest of the plan matters less than this improvement right here.	11/1/2017 9:37 AM
2	Support really depends on the improvements.	10/28/2017 10:27 PM
3	YES!!	10/28/2017 7:20 PM
4	Support this change. It is important to remember the larger community priority of a pathway between Washington and Balfour.	10/23/2017 10:11 PM
5	Also make sure it is wheelchair accessible and accessible for the visually impaired.	10/23/2017 4:33 PM
6	It sounded like this was one of the top priorities for improving this park, so I'm surprised that this is slated for a "future" improvement, and not part of the current plan. This path is too steep to be safe, for anyone with mobility issues (I fell on this path while I was pregnant in the winter and ripped my jacket), and it's a feat to get up the path every time I have the kids on the back of the bike or in the stroller. Please help, I see this as the #1 thing that will improve the Cecelia Ravine park!	10/19/2017 9:17 AM

Q11 (Feature #2) Add a public washroom to Cecelia Ravine Park near the playground.

Answered: 40 Skipped: 9



ANSWER CHOICES

I support this change

Neutral

I do not support this change

TOTAL

RESPONSES

75.00%

17.50%

7.50%

30

7

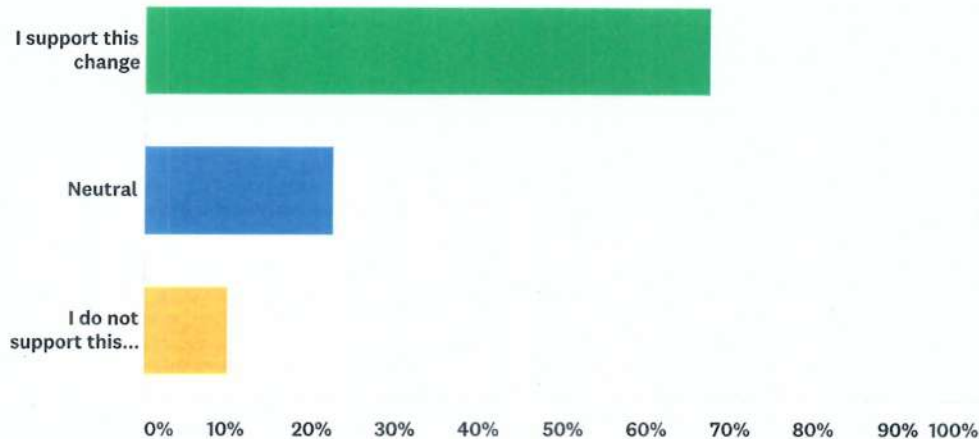
3

40

#	PLEASE PROVIDE YOUR COMMENTS HERE:	DATE
1	This is a nice to have feature, but I'm not convinced it would be clean enough for kids to use, and would be a location for more drug use or campers in the park, making it less desirable to take our kids to play here.	11/1/2017 9:37 AM
2	I don't want to encourage squatters to the area.	10/26/2017 3:36 PM
3	Yes please!! Hard to come here with little ones.	10/25/2017 1:02 PM
4	Strongly support!	10/25/2017 12:44 PM
5	Definitely support this. Parents shouldn't have to end their child's fun because someone has to go to the bathroom so they all end up going home because there's no washroom in the park. There should be a Wheelchair Accessible washroom.	10/23/2017 4:33 PM
6	Needs to lock and be big enough for families	10/23/2017 10:40 AM
7	Yes, I would love to have a public washroom. At the same time, I'm concerned it will encourage more camping in this park, compared to the high level of campers already here. If there is a washroom, I'm suspicious that it won't be clean or safe enough to let my kids use it.	10/19/2017 9:17 AM

Q12 (Feature #3) Enhance the park's function for community events through improvements to the amphitheater (e.g. by removing vegetation and opening up views)

Answered: 40 Skipped: 9



ANSWER CHOICES

I support this change
Neutral
I do not support this change
TOTAL

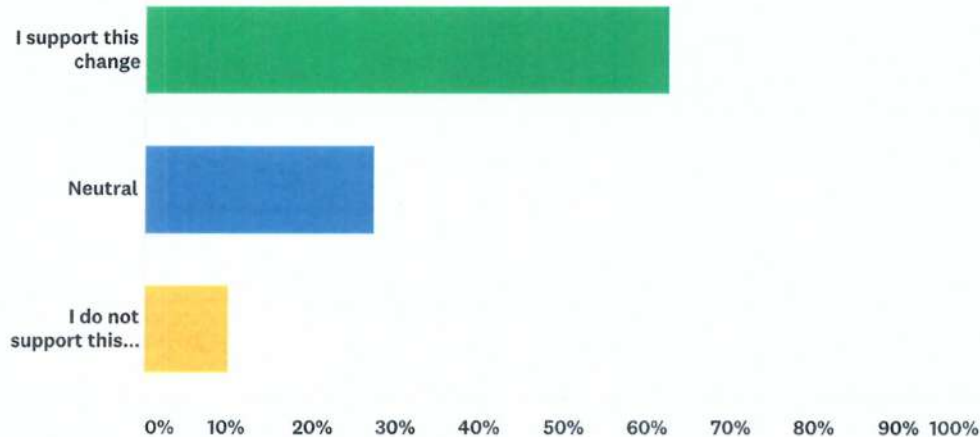
RESPONSES

67.50% 27
22.50% 9
10.00% 4
40

#	PLEASE PROVIDE YOUR COMMENTS HERE:	DATE
1	Yes, especially to opening up views!!! This could be such a beautiful location with expansive views to make it feel so much safer. I'd love to see that!!!	11/1/2017 9:37 AM
2	The amphitheater is underutilized; I'm not convinced this is a desirable amenity to improve (more money at awkward and not that useful amenity...?)	10/29/2017 7:14 PM
3	Support really depends on the improvements.	10/28/2017 10:27 PM
4	I wasn't aware of an ampitheatre being there, but I would like that area available for future development of the bike park. Cecelia Ravine is the only bike park in Victoria, and it is very good, but quite small.	10/28/2017 8:11 PM
5	But mind you don't remove so much native vegetation. The amphitheater was originally designed with the intent that the whole area behind it would be native vegetation and natural. Then it was cleared and the bike park was constructed. Don't take out too much of the ecosystem.	10/28/2017 7:20 PM
6	I prefer being able to have parks where i can go to appreciate nature, especially when living in the city. Opening views and removing vegetation to put in an ampitheatre would take away from why I go to parks.	10/28/2017 10:30 AM
7	Outdoor covered amphitheatre with power hook up for music speakers/sound yes.	10/25/2017 12:44 PM
8	This sounds wonderful!!! I love a good view, and it sounds like it could help make this area feel more welcoming.	10/19/2017 9:17 AM
9	The only vegetation that should be cleared is the invasive species population choking the creek. We need our urban greenspaces, do not remove other vegetation.	10/18/2017 7:06 PM

Q13 (Feature #4) Make improvements to the Tom Arkell Trail, including widening the trail, improving the trail surface, and installing better signage.

Answered: 40 Skipped: 9



ANSWER CHOICES

I support this change
Neutral
I do not support this change
TOTAL

RESPONSES

62.50% 25
27.50% 11
10.00% 4
40

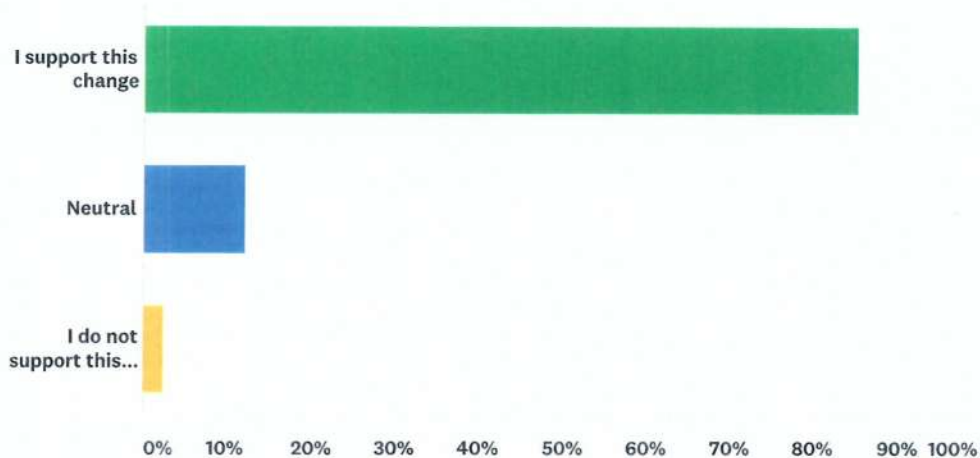
#	PLEASE PROVIDE YOUR COMMENTS HERE:	DATE
1	Of all the places to spend money in this park, I see this as the least important use. I'd rather see the money used to widen the goose, or (most importantly) improve the trail from the goose to Cecelia Road.	11/1/2017 9:37 AM
2	The main issue is that venturing off the goose here there is lots of debris from campers. There is a lot of work to make this area safe and for it to feel safe. I suggest a major overhaul or don't bother touching it	10/29/2017 7:14 PM
3	All long as this is not at the expense of trees, etc. (NOT like the new Lindsay Trail in Saanich along the Colquitz!!) Remember, this is a riparian area. Streamside vegetation is extremely important for water temperatures and benthic invertebrates.	10/28/2017 7:20 PM
4	The trail needs visible access to the main path at regular intervals, so that it feels safer and usage increases.	10/23/2017 8:31 PM
5	Install good lighting too.	10/23/2017 4:33 PM
6	Please try to control sewage smell coming from waste water pipes. Better/ higher venting if required. Steps need repair. Open up th overgrowth to provide views of water.	10/23/2017 11:15 AM
7	I'm not sure if it makes sense to put more money into this trail, instead of using that money to improve the higher-usage areas of the park (amphitheatre, a walking path next to the biking path on the goose?). My rationale is that even with a wider, better signed Tom Arkell trail, it will still be a prime location for campers and drug use, meaning that other residents are unlikely to use it. Instead of investing more in the trail, I would love to see a walking path next to the goose, to encourage more pedestrians and improve safety.	10/19/2017 9:17 AM

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- | | | |
|----|---|--------------------|
| 8 | Better lighting is also needed | 10/18/2017 3:41 PM |
| 9 | It's extremely important that Tom Arkell Trail is thinned out and sight lines created. This trail is currently used by transients for camping, drug use, drinking and prostitution. If the park improvements are going to focus on bringing more families and children to the area (where older children may be unsupervised at times) it is imperative that the entire area be safe. | 10/18/2017 7:42 AM |
| 10 | wilderness style trail in the city is nice | 10/17/2017 7:53 PM |

Q14 (Feature #5) Develop an action plan to improve water quality in Cecelia Creek, including enhancements to improve creek habitat and opportunities to further daylight the northern-most portion of the creek

Answered: 41 Skipped: 8



ANSWER CHOICES

I support this change
Neutral
I do not support this change
TOTAL

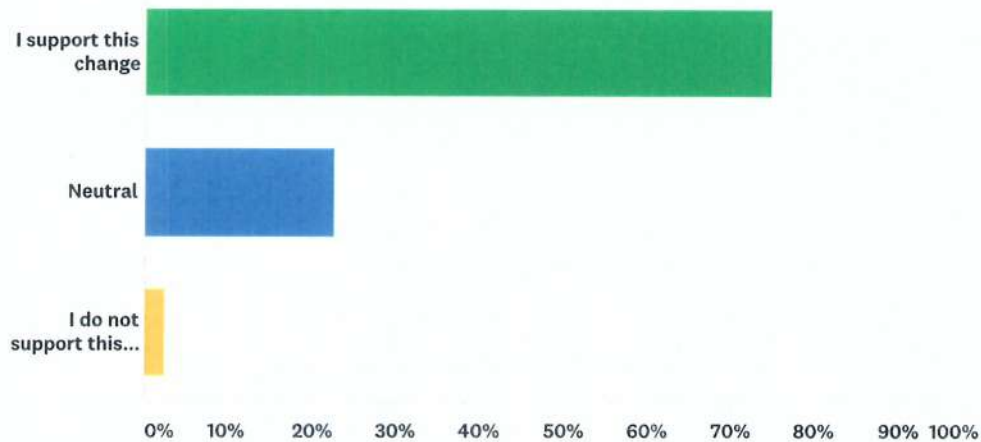
RESPONSES

85.37% 35
12.20% 5
2.44% 1
41

#	PLEASE PROVIDE YOUR COMMENTS HERE.	DATE
1	Point source control would be a better use of funds than day lighting. I'm not sure what is gained by daylighting this small section since it goes under burnside road	10/29/2017 7:14 PM
2	See previous notes in playground section. Water quality here is largely dependent on factors outside of the park that need major attention.	10/28/2017 7:20 PM
3	Engage teachers and students to help keep the creek clean and learn about the creek's natural flora and fauna. Put up an informational sign describing the creek's habitat and any special flora or fauna that inhabit it.	10/23/2017 4:33 PM
4	This is really needed.	10/23/2017 11:15 AM
5	I don't know what you mean by "daylighting" the creek. I support having more creek above ground, generally but not removal of vegetation.	10/21/2017 9:29 PM
6	Great. Thank-you!	10/19/2017 9:17 AM
7	Interpretive Signage would be appreciated	10/18/2017 3:41 PM
8	The creek is in shocking state- it was stagnant and cluttered with garbage and powdery residue from construction sites when I visited it last (summer 2017).	10/18/2017 3:23 PM

Q15 (Various Locations) Improve wayfinding signage to and within the park

Answered: 40 Skipped: 9



ANSWER CHOICES

I support this change
Neutral
I do not support this change
TOTAL

RESPONSES

75.00% 30
22.50% 9
2.50% 1
40

#	PLEASE PROVIDE YOUR COMMENTS HERE.	DATE
1	I worked here for years and had no idea about the bike park; a real shame since it is a great facility but it is hidden and there is no signage. That park is awesome but so hidden - a hidden gem!!	10/29/2017 7:14 PM
2	It's really not that big of a park.	10/28/2017 10:27 PM
3	I prefer to build a strong neighbourhood community here than inviting people from outside, so it's hard to say.	10/26/2017 3:36 PM
4	It's important to remind cyclists to slow down through the park. This may require signage that clearly indicates that cyclists are entering a high traffic, multi-use park with pedestrians and children and they need to slow down through the park. They also need to be reminded that pedestrians actually have the right of way.	10/18/2017 7:42 AM

Q16 Please share any additional feedback to further explain your answers:

Answered: 8 Skipped: 41

#	RESPONSES	DATE
1	Thank you for doing this. I have attached some TREK information for your perusal (although I think you are already aware).	10/30/2017 12:59 PM
2	Making Tom Arkell Trail safer is a great idea. I would like to enjoy it without feeling afraid.	10/30/2017 12:49 PM
3	The area is a bit rough so design, maintenance and services for those that need it all need to be part of the "park plan". A lot of potential for the park but I think it could be abused or stigmatized if it was not well designed and managed	10/29/2017 7:14 PM
4	Bike park improvements!	10/25/2017 1:02 PM
5	Tai Chi and yoga classes should be encouraged to help create more community and better mental and physical health.	10/23/2017 4:33 PM
6	The creek daylighting, improved wayfinding, and improved ampitheatre are all exciting. Improving the Cecelia Rd pathway is so important that I'm disappointed it's not in the current plan; I assumed it would be at the top of the list of priorities. A washroom is a nice to have, as long as there's enough budget to keep it clean and safe for all users. Finally, I would rather see the money allocated to the Tom Arkell trail used to improve the higher-use areas of the park (i.e. widening the Goose to include a walking path). This is more likely to increase foot traffic and help everyone feel safer in the park.	10/19/2017 9:17 AM
7	Increase community awareness (and thereby use) of the park and pathways. Encourage local and regional public agencies and private organizations to program events in the park, to increase use by more people at more times of the day and week.	10/18/2017 11:05 AM
8	Improve lighting, especially under the Burnside overpass	10/16/2017 10:27 AM

Q17 Which neighbourhood do you live in?

Answered: 41 Skipped: 8



ANSWER CHOICES

Burnside Gorge
Downtown
Fairfield
Fernwood
Gonzales

RESPONSES

58.54%	24
2.44%	1
2.44%	1
2.44%	1
2.44%	1

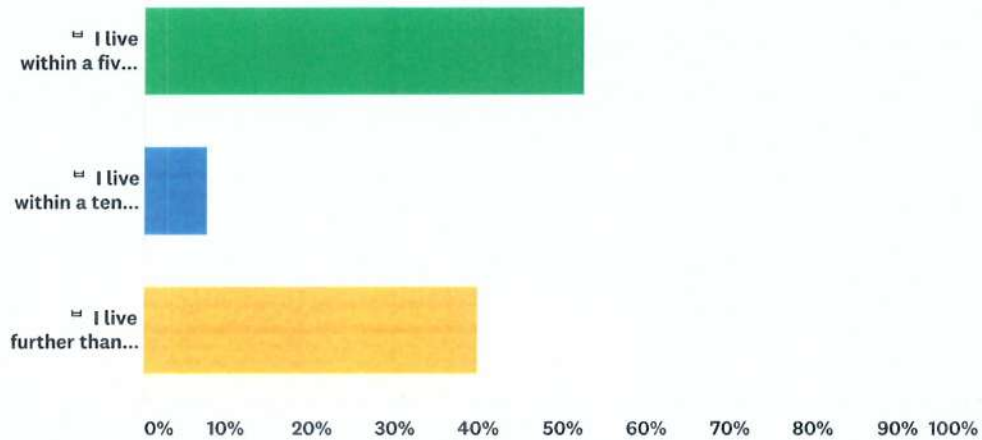
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Harris Green	0.00%	0
Hillside/ Quadra	7.32%	3
James Bay	0.00%	0
North and South Jubilee	0.00%	0
North Park	0.00%	0
Oaklands	0.00%	0
Rockland	0.00%	0
Vic West	4.88%	2
Outside the City of Victoria. Please tell us where?	19.51%	8
TOTAL		41

#	OUTSIDE THE CITY OF VICTORIA. PLEASE TELL US WHERE?	DATE
1	Esquimalt but worked at Jutland for 8 years (I know area)	10/29/2017 7:15 PM
2	Saanich, near Hyacinth Park	10/28/2017 10:30 PM
3	Saanich	10/28/2017 12:18 AM
4	Saanich	10/25/2017 1:03 PM
5	Langford	10/22/2017 8:14 PM
6	Strawberry Vale	10/19/2017 10:43 AM
7	cedar hill	10/17/2017 7:54 PM
8	Oak Bay	10/16/2017 8:47 AM

Q18 How close do you live to Cecelia Ravine Park?

Answered: 40 Skipped: 9



ANSWER CHOICES

- ☐ I live within a five minute walk to the park
- ☐ I live within a ten minute walk to the park
- ☐ I live further than a 10 minute walk to the park

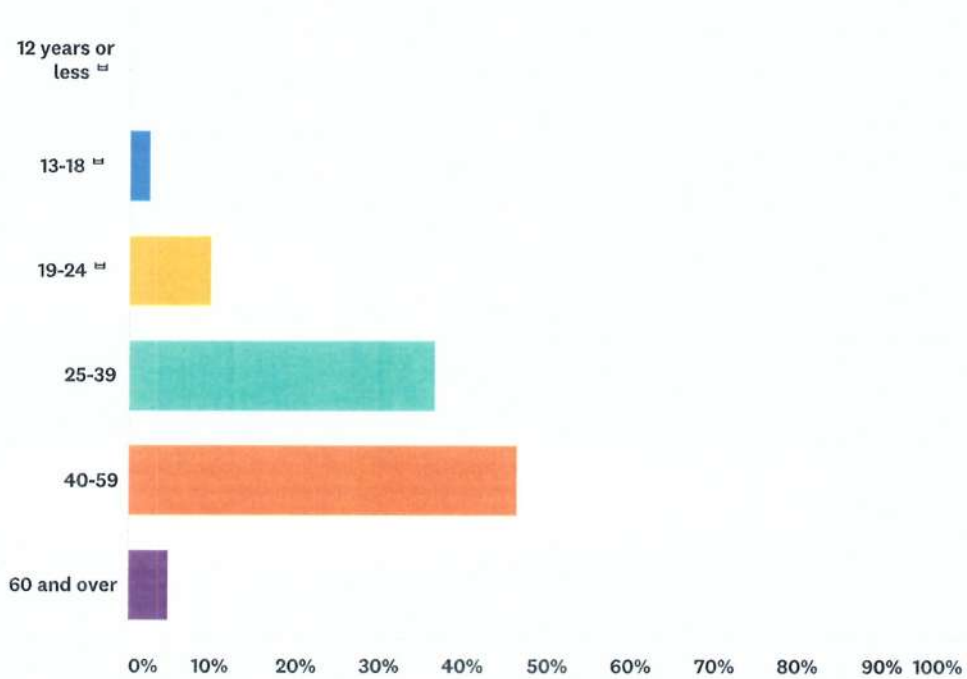
TOTAL

RESPONSES

52.50%	21
7.50%	3
40.00%	16
	40

Q19 What is your age?

Answered: 41 Skipped: 8



ANSWER CHOICES

12 years or less ☐

13-18 ☐

19-24 ☐

25-39 ☐

40-59 ☐

60 and over ☐

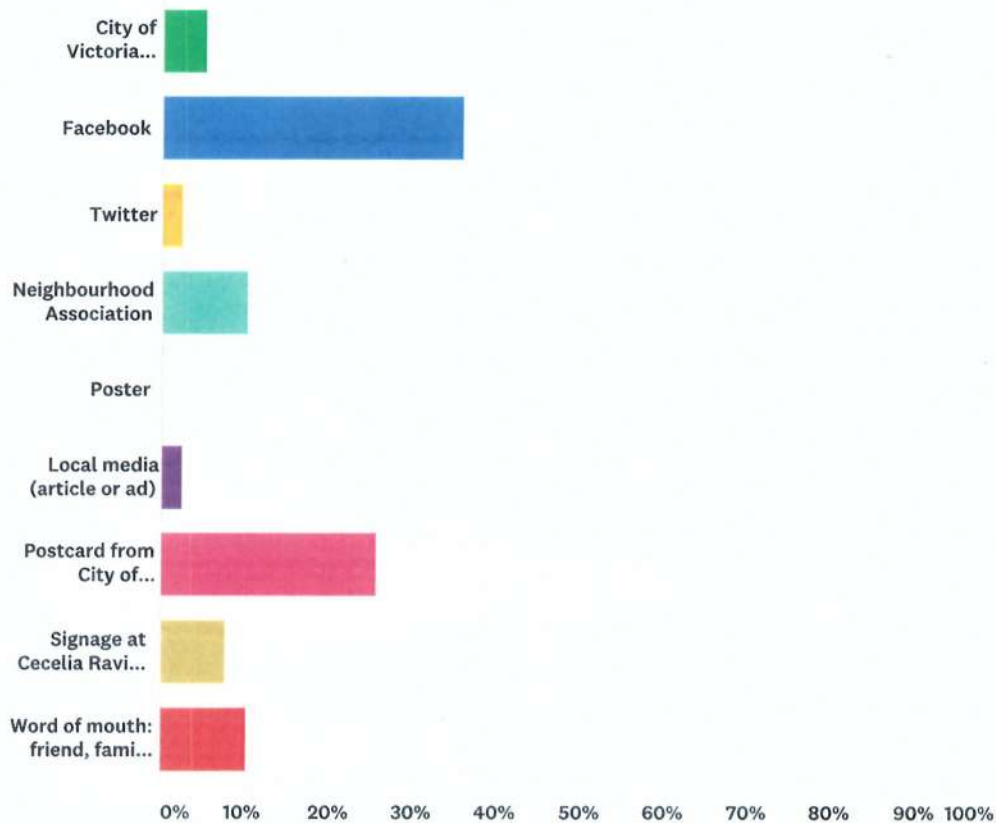
TOTAL

RESPONSES

0.00%	0
2.44%	1
9.76%	4
36.59%	15
46.34%	19
4.88%	2
	41

Q20 How did you hear about this survey?

Answered: 39 Skipped: 10



ANSWER CHOICES

RESPONSES

City of Victoria Website	5.13%	2
Facebook	35.90%	14
Twitter	2.56%	1
Neighbourhood Association	10.26%	4
Poster	0.00%	0
Local media (article or ad)	2.56%	1
Postcard from City of Victoria	25.64%	10
Signage at Cecelia Ravine Park	7.69%	3
Word of mouth: friend, family member, neighbour	10.26%	4
TOTAL		39

#	OTHER (PLEASE SPECIFY)	DATE
1	Email	10/29/2017 6:59 PM
2	Interesting that the survey does not allow for multiple answers for this question. I heard about this plan/survey from Facebook, friends, local media, Victoria staff, and Victoria website	10/28/2017 7:22 PM

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3	email from the city	10/23/2017 8:32 PM
4	Email from City	10/21/2017 9:30 PM
5	I am a board member of BGCA	10/19/2017 10:43 AM



Outline

- Project Objective
- Background
- Planning Process
- Park Concept Plan
- Budget
- Next Steps



To incorporate an expansion of Cecelia Ravine Park to serve the needs of the community, offer engaging and inclusive experiences, and complement existing park features.



2018-05-03_Cecelia Ravine Park Improvement Plan



2018-05-03_Cecelia Ravine Park Improvement Plan

Planning Process



Design Considerations

- Safe and Accessible Amenities
- Prioritize Active Transportation Linkages
- Enhance Natural Areas and Tree Canopy



2018-05-03_Cecelia Ravine Park Improvement Plan

Public Feedback

- Natural Play Elements
- Outdoor Fitness Equipment
- Multiple Access Points
- Lighting and Clear Sightlines
- Upgrade Cecelia Road Pathway



2018-05-03_Cecelia Ravine Park Improvement Plan

Existing Site Conditions



2018-05-03_Cecelia Ravine Park Improvement Plan

Park Improvement Plan



- ❶ Playground Upgrades
- ❷ Improved Outdoor Fitness Area
- ❸ Picnic Tables and Shade Trellis
- ❹ New Public Washroom
- ❺ Enhanced Tree Canopy
- ❻ Open Green Space
- ❼ New Parking Lot
- ❽ Accessible Pathways



2018-05-03_Cecelia Ravine Park Improvement Plan

Park Components



2018-05-03_Cecelia Ravine Park Improvement Plan

Cecelia Road Pathway



- Traveling from east side to west side of park for those with mobility aids currently requires use of Burnside Rd
- Upgraded pathway will provide direct, accessible connection



2018-05-03_Cecelia Ravine Park Improvement Plan

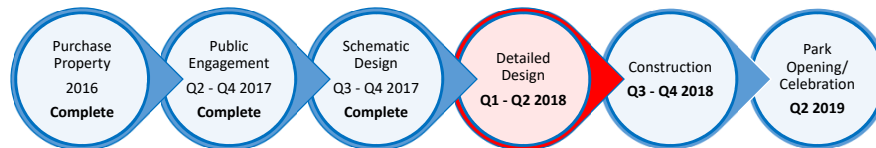
Budget

Cost Estimate (Class D)	Total
Landscaping and Furnishings	\$ 527,000
Washroom	\$ 250,000
Cecelia Road Pathway	\$ 384,000
Construction Cost	\$1,162,000
Design Services (10%)	\$ 116,200
Construction Contingency (25%)	\$ 290,500
TOTAL 2018 Estimated Costs	\$1,568,700
Approved Budget	\$ 968,000
Additional Funds Required	\$ 600,000



2018-05-03_Cecelia Ravine Park Improvement Plan

Next Steps



2018-05-03_Cecelia Ravine Park Improvement Plan

Recommendation

That Council:

1. Approve the Park Improvement Plan for Cecelia Ravine Park; and
2. Amend the 2018 Financial Plan to increase the project budget by \$600,000, with funding from the Parks and Greenways Reserve.
3. Direct staff to include \$49,000 for ongoing operating costs within the 2019 Financial Plan to be funded from general property tax revenue.



2018-05-03_Cecelia Ravine Park Improvement Plan



Committee of the Whole Report For the Meeting of May 3, 2018

To: Committee of the Whole **Date:** April 23, 2018
From: Susanne Thompson, Director of Finance
Subject: Direction for 2019 Financial Plan

RECOMMENDATION

That Council direct staff to:

1. Prepare a draft 2019 Financial Plan for Council's consideration that:
 - a. maintains existing services and service levels
 - b. continues the in-progress initiatives within the 2015-2018 Strategic Plan
 - c. provides for the tax increase to maintain existing services and service levels, plus the impact of the new health tax to be imposed by the Province of BC
 - d. factors in \$200,000 in savings from the reduction in 2018 Medical Services Plan premiums to fund a portion of the premiums in 2019
2. Bring forward the draft 2019 Financial Plan in the late fall 2018 to accommodate Council's orientation and strategic planning sessions

EXECUTIVE SUMMARY

Council sets objectives for the City through the Strategic Plan and aligns service levels and allocates funding through the annual financial planning process to achieve those objectives and to provide a wide range of services throughout the City. The current Strategic Plan ends in 2018 in alignment with Council's term in office. As a result, direction for financial planning for 2019, which for the last four years has been given through the current Strategic Plan, has yet to be provided. This report seeks that direction recognizing that the general local election in October 2018 will result in a new strategic planning process as well as a likely delay to the standard timelines established for the financial planning process.

As Council is aware, the Province of BC will be introducing a new health tax starting in 2019. This new tax will eventually replace Medical Services Plan (MSP) premiums in 2020. The Province has yet to announce the details of how the tax will be applied (for example definition of taxable earnings and maximum taxable amounts have not been specified.) The tax will apply to all employers whose payroll exceeds \$500,000 annually. For the City, whose payroll exceeds \$1.5 million, the tax rate will be 1.95%. The estimated impact to the City is \$2.3 million, including an estimated \$400,000 for the MSP premiums that will remain in effect for 2019. This equates to an approximate tax increase of 2%.

Through the 2015-2018 Strategic Plan, Council provided direction for a maximum tax increase of inflation plus 1%. Should Council provide the same direction for 2019, the cost of the new health

tax cannot be accommodated without impacting service levels. Staff could prepare a draft budget to maintain existing services and increase property taxes to fund the impact of the new health tax (estimated overall tax increase ranging 4.5-5%). Bringing forward a draft financial plan on this basis does not prevent Council's consideration of using new assessment property tax revenue from new construction to lessen the tax impact. Alternatively, staff could bring forward options for service level reductions to accommodate the new health tax. In order to develop budgets that meet Council's expectations, staff are requesting Council's direction for 2019.

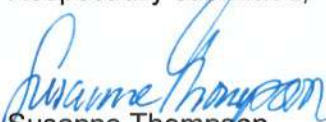
MSP premiums will remain in effect in 2019 resulting in additional one-time costs for that year. The Province did reduce the premiums by 50% starting in 2018 (approximately \$400,000 in savings compared to 2017.) However, the 2018 budget was prepared based on estimates for cost changes to all benefits and employer costs, including the reduction in MSP. Council had previously inquired whether any savings could be used to offset the additional cost that will be incurred in 2019. Now that actual rates are known, staff have re-calculated the net impact and confirm that approximately \$200,000 of savings are included in the 2018 budget and could be used to fund a portion of the 2019 MSP costs.

For Council's consideration, staff propose to prepare a draft financial plan that continues to provide current services at current service levels, as well as incorporates all incomplete Strategic Plan initiatives and capital projects that are underway.


One of the objectives of the new financial planning process introduced in 2015 was shifting the timeline. Now, draft budgets are introduced to Council and the community in the fall to enable deliberations and consultation, and ultimately approval by Council, before the fiscal year starts in January. This timeline enables staff to start implementing the direction of Council early each year. To continue to achieve that objective while accommodating Council's orientation and strategic planning sessions, it is proposed that the draft financial plan be introduced in late November or early December.

Staff recognize that, after the fall election, the newly elected Council will provide additional direction for 2019 and beyond through its strategic planning sessions. This timeline provides the opportunity for Council to first familiarize itself with the already established services as well as initiatives underway (through Council orientation and the introduction of the draft financial plan), and to provide further direction before the financial plan is finalized in early 2019.

Respectfully submitted,


Susanne Thompson
Director of Finance

Report accepted and recommended by the City Manager:


Date: April 24, 2018



Committee of the Whole Report For the Meeting of May 3, 2018

To: Committee of the Whole **Date:** April 25, 2018
From: Chris Coates, City Clerk
Subject: Proclamation "Tap Dance Day" May 25, 2018

RECOMMENDATION

That the *Tap Dance Day Proclamation* be forwarded to the May 10, 2018 Council meeting for Council's consideration.

EXECUTIVE SUMMARY

Attached as Appendix A is the requested *Tap Dance Day Proclamation*. Council has established policy addressing Proclamation requests. The policy provides for:

- A staff report to Committee of the Whole.
- Each Proclamation request requiring a motion approved at Committee of the Whole prior to forwarding it to Council for their consideration.
- Staff providing Council with a list of Proclamations made in the previous year.
- Council voting on each Proclamation individually.
- Council's consideration of Proclamations is to fulfil a request rather than taking a position.

A list of the 2017 Proclamations is provided as Appendix B in accordance with the policy. Consistent with City Policy, Proclamations issued are established as fulfilling a request and does not represent an endorsement of the content of the Proclamation.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Chris Coates".

Chris Coates
City Clerk

Appendix A: Proclamation "Tap Dance Day"
Appendix B: List of Previously Approved Proclamations

“TAP DANCE DAY”

WHEREAS *the Art of Tap Dance is enjoyed by millions worldwide; and*

WHEREAS *the Art of Tap Dance is part of the cultural heritage of People across the globe; and*

WHEREAS *the study of Tap Dance has proven beneficial in the Health and personal development of thousands of Canadians; and*

WHEREAS *the City of Victoria recognizes the cultural importance and the historical significance of the Art of Tap Dance; and*

WHEREAS *the birthdate of the father of modern Tap Dance Bill Bojangles Robinson is May 25th, 1878; and*

WHEREAS *communities across North America will be celebrating the joy of this unique art form May 25th, 2018; and*

WHEREAS *the City of Victoria wishes to join the West Coast Tap Dance Collective and all the citizens of the City of Victoria in honouring the icons past and present of Tap Dance, their legacies and continuing contributions to the Art Form.*

NOW, THEREFORE *I do hereby proclaim the day May 25th, 2018 as “TAP DANCE DAY” on the TRADITIONAL TERRITORIES of the ESQUIMALT AND SONGHEES FIRST NATIONS in the CITY OF VICTORIA, CAPITAL CITY of the PROVINCE of BRITISH COLUMBIA.*

IN WITNESS WHEREOF, *I hereunto set my hand this 10th day of May, Two Thousand and Eighteen.*

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored by:
Kristen Low
West Coast Tap Collective

Appendix B

Council Meetings	Proclamations
11-Jan-18	none
25-Jan-18	Eating Disorder Awareness Week - February 1 to 7, 2018
08-Feb-18	Rare Disease Day - February 28, 2018 International Development Week - February 4 - 10, 2018 Chamber of Commerce Week - February 19 - 23, 2018
22-Feb-18	Victoria Co-op Day - March 10, 2018 Tibet Day - March 10, 2018
08-Mar-18	Revised World Water Day - March 22, 2018 Purple Day for Epilepsy Awareness - March 26, 2018
22-Mar-18	Parkinson's Awareness Month - April 2018 Barbershop Harmony Quartet Week - April 8-14, 2018 Autism Awareness Day - April 2, 2018
12-Apr-18	St. George Day - April 23, 2018 Human Values Day - April 24, 2018
26-Apr-18	Huntington Awareness Month - May 2018 Neighbour Day - May 8, 2018 Earth Day - April 22, 2018 International Internal Audit Awareness Month - May 2018 MS Awareness Month - May 2018 Highland Games Week - May 14-21, 2018



Committee of the Whole Report

For the Meeting of May 3, 2018

To: Committee of the Whole **Date:** April 27, 2018
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: Draft Esquimalt Official Community Plan Referral

RECOMMENDATION

That Council consider the draft Esquimalt Official Community Plan and direct staff to provide the following comments to the Township of Esquimalt:

1. Consider additional Development Permit Area guidelines for sensitive transitions and context-sensitive design where more intensive land uses are considered on the Esquimalt side of the shared municipal boundary, for compatibility with adjacent development in Victoria.
2. Correct the proposed land use map (Schedule B of the Township of Esquimalt Draft Official Community Plan) to maintain the Parks and Open Space designation for the part of Victoria's Barnard Park which falls within Esquimalt's municipal boundary.

EXECUTIVE SUMMARY

The purpose of this report is to provide Council with a summary of the draft Esquimalt Official Community Plan (OCP) and an opportunity to provide comments to the Township of Esquimalt for their consideration. Staff have reviewed the draft Esquimalt OCP and have found it to be largely compatible with Victoria's goals in land use and transportation. Staff have specific comments regarding the strength of the Development Permit Area guidelines for development, in how they support appropriate transition from lower-intensity uses on the Victoria side of the shared municipal boundary, to higher-intensity uses on the Esquimalt side.

PURPOSE

The purpose of this report is to provide Council with a summary of the draft Esquimalt OCP and an opportunity to provide comments to the Township of Esquimalt for their consideration.

BACKGROUND

The draft Esquimalt OCP was presented for first reading on March 26, 2018 and has been referred to the City of Victoria for comment. It is scheduled for second reading at the May 7, 2018 meeting of the Esquimalt Council, at which time comments from interested nations, public corporations and agencies will be presented.

ISSUES & ANALYSIS

The draft Esquimalt OCP includes a number of policies that support affordable housing, multi-modal transportation, diversity of housing choices, planning for accessibility in parks, recreation facilities and housing, and sensitivity to the shoreline ecosystems and urban forest. The draft Esquimalt OCP also includes development permit areas and guidelines.

In particular, the Esquimalt OCP includes objectives that are similar to Victoria's OCP regarding preparing a multi-modal transportation plan, and staff anticipate working with Esquimalt at that time to consider connectivity and integration of bicycle and pedestrian systems and frequent transit route improvements.

The Esquimalt OCP policies regarding protecting waterfront ecosystems and seeking opportunities for public access and pathways are also aligned with City of Victoria policies. The proposed Victoria West Neighbourhood Plan anticipates a process in the coming years to evaluate the desirability of further public access between Banfield Park and Arm Street Park, and staff would encourage the Township of Esquimalt to coordinate with Victoria at that time.

Key areas that may impact Victoria are related to the compatibility of land use and urban design at the shared municipal boundary. These concerns include:

1. Several areas along Arm Street and Dominion Road are designated for multi-unit residential development on the western (Esquimalt) side and lower-scale development on the east (Victoria) side. Transitions to lower-scale areas and design which responds to context are important and have been reinforced by recent consultation with Victoria West. However, Esquimalt development permit area guidelines in this area are much more cursory than either Victoria's general form and character (DPA 16) guidelines or other Esquimalt DPAs such as the West Bay guidelines. Staff recommend enhancing guidelines for transitions, considering the following strategies: architectural design which creates pedestrian interest, with individual entries, porches or patios facing streets encouraged for at-grade units; street trees; landscaped front setbacks; and variations in massing, roof forms or other features.
2. Likewise, several areas along this transition zone allow townhouses on the west (Esquimalt) side, providing important opportunities for "missing middle" housing. Staff have identified context-sensitive design as important for townhouses in Victoria, with pedestrian-friendly design, modulation of individual units, quality materials, street trees, and front-yard landscaping as important considerations, and recommend forwarding the proposed *Design Guidelines for Attached Residential* for Victoria West to the Township of Esquimalt.
3. Other areas along the shared municipal boundary allow for employment uses in Esquimalt, adjacent to residential uses in Victoria. The retention of employment lands is important to the region and consistent with needs within the core cities. Staff recommend ensuring that any future developments minimize impacts on adjacent residential development. Esquimalt's *DPA 5 – Industrial* provides guidance with regard to shading, screening and noise attenuation. Staff recommend forwarding the proposed amendments to Victoria's *Revitalization Guidelines for Corridors, Villages and Town Centres* for light industrial uses in Victoria West to determine if additional guidelines would be valuable.
4. A small parcel within the boundaries of the Township of Esquimalt is part of Victoria's Barnard Park. This parcel is currently designated and zoned for park use. The proposed land use map (Schedule B) would change this designation to Medium Density Residential. This appears to be a mapping error and staff recommend resolving this prior to adoption.

OPTIONS & IMPACTS

Accessibility Impact Statement

The draft Esquimalt OCP includes policies supporting universal access or design for accessibility in parks, public spaces, recreation facilities and housing, compatible with the goals of Victoria's OCP.

2015 – 2018 Strategic Plan

The draft Esquimalt OCP and comments outlined in this report are compatible with and reinforce Victoria's efforts to meet many objectives in the Strategic Plan.

Impacts to Financial Plan

There are no impacts anticipated to Victoria's Financial Plan.

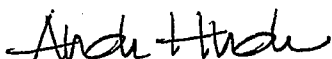
Official Community Plan Consistency Statement

The draft Esquimalt OCP and proposed comments are compatible with and reinforce the goals and objectives of Victoria's OCP.

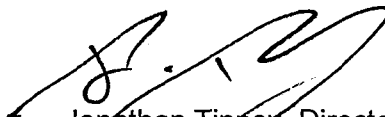
CONCLUSION

Staff have reviewed the draft Esquimalt OCP and finds it largely compatible with Victoria's goals in land use and transportation. Staff have specific concerns regarding the strength of Development Permit Area guidelines for development, which may transition from lower-intensity uses on the Victoria side of the shared municipal boundary to higher-intensity uses on the Esquimalt Side. Council may provide these comments to the Township of Esquimalt in addition to any other comments that Council may have.

Respectfully submitted,


for

Marc Cittone
Senior Planner
Community Planning



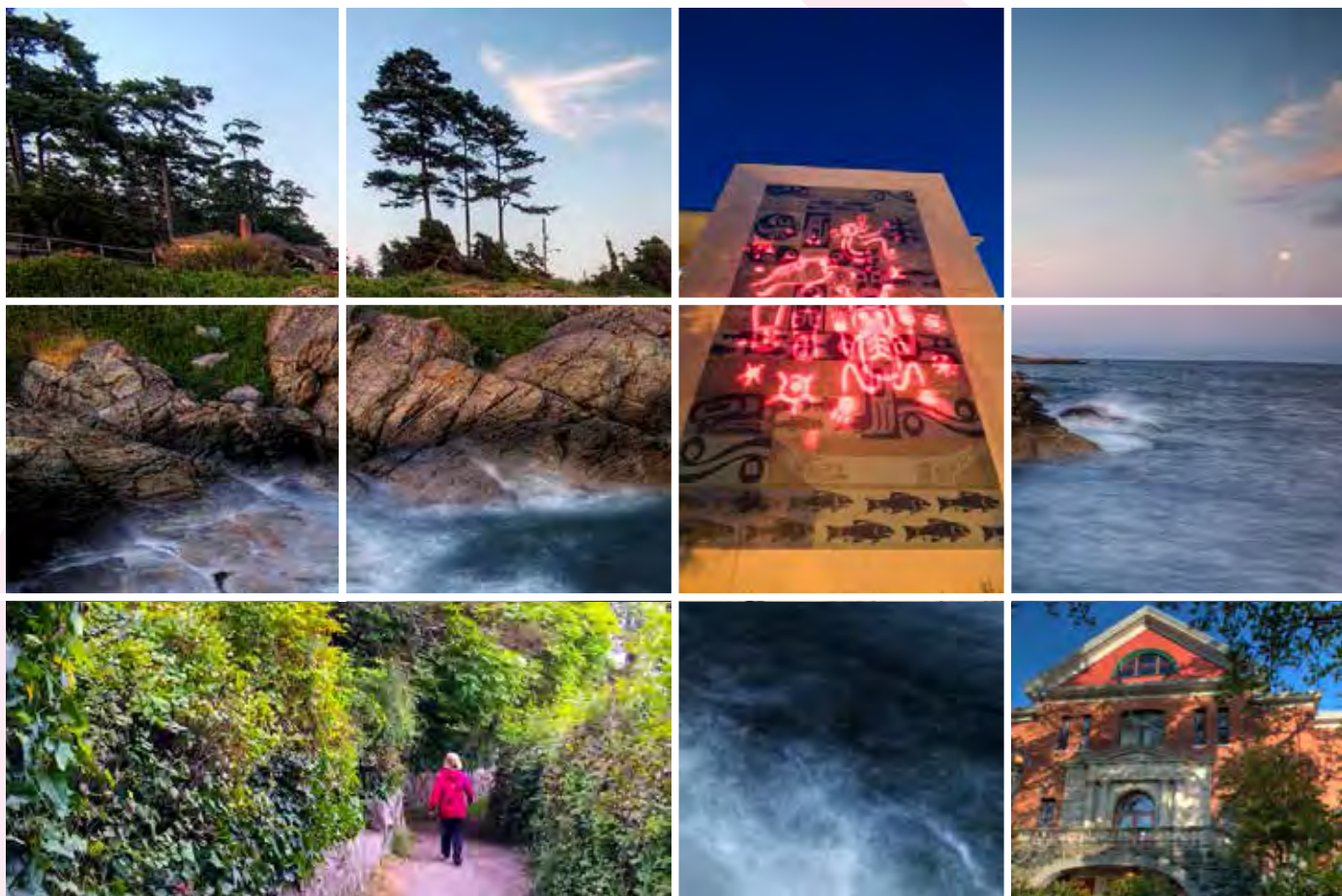
Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager: 

Date: 

List of Attachments:

Attachment A: Township of Esquimalt Draft Official Community Plan.



Township of Esquimalt

Official Community Plan

First Reading March 26, 2018

Working Copy April 2018

Council April 23, 2018





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PART 1 INTRODUCTION



1 INTRODUCTION



1.1 Overview

This Official Community Plan [OCP or the Plan] provides a framework to guide future growth and change in Esquimalt in a sustainable manner. The Plan's statements, goals, objectives, policies, targets, actions, and map designations promote the long-term economic, environmental, social and cultural sustainability of the community.

The Plan is the legal vehicle that Council uses in establishing growth and development control tools such as development permit areas and providing the broad policy framework within which future zoning bylaws and amendments must align. The Plan also provides anyone with interest in the community, including residents, land and business owners, investors and developers, with a vision of the future of the community and a framework for their own decision making.

An OCP is not a static document, it should respond to changes in the community, including its values and social, economic and environmental conditions and changing regulations and authorities. Plan changes are required to be undertaken through bylaw amendments after consultation, as required under the Local Government Act which includes a Public Hearing process, to ensure that the public's input on significant land use decisions and policy changes are considered for approval.

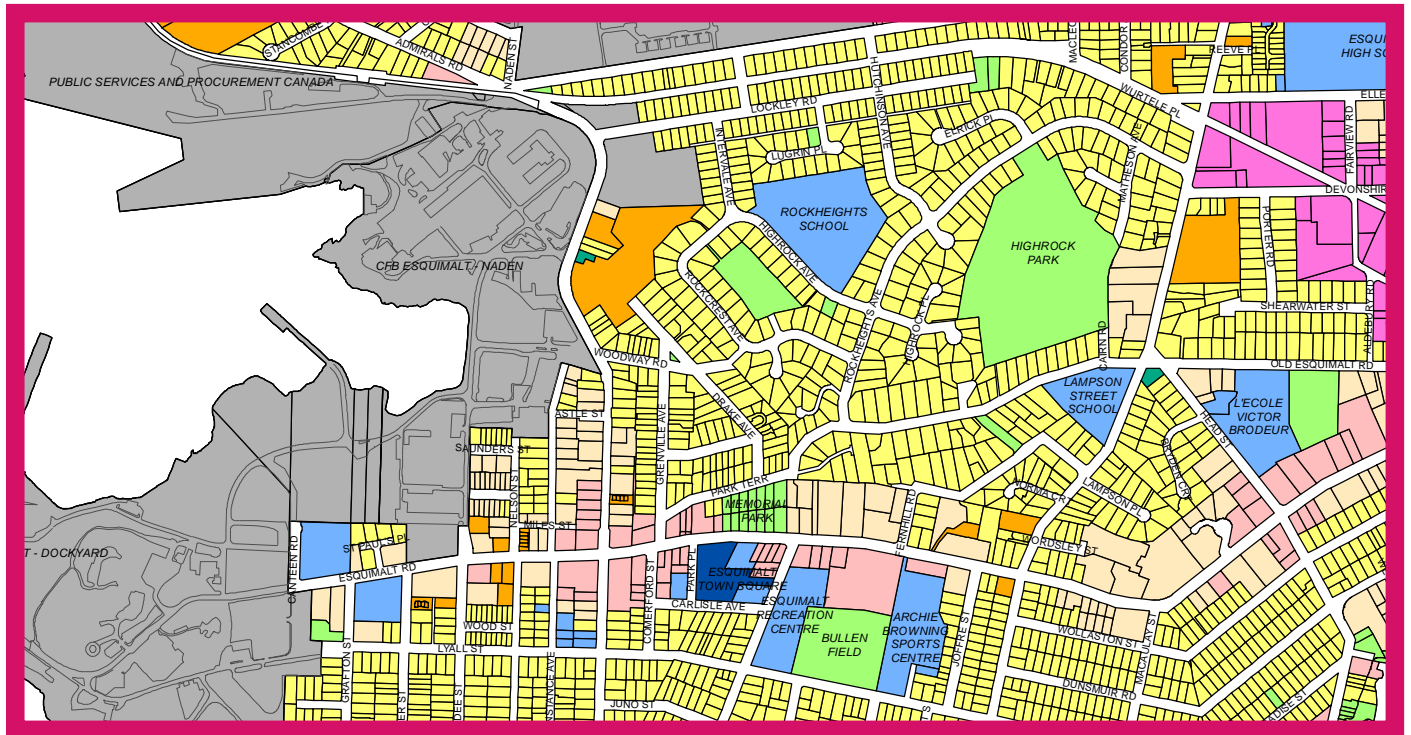
1.2 Purpose of an Official Community Plan

The Local Government Act sets out mandatory and optional topics to be included in an OCP and provides a range of tools that allow municipalities to implement their plans. Where a topic is not within the jurisdiction of the local government, an OCP may only state the broad objectives related to that matter. Once adopted, the OCP does not commit the Township to carry out the projects in the Plan but it does require that works undertaken and bylaws enacted by Council are consistent with it.

In addition to local interests, the OCP takes into account the policies and regulations of the Capital Region, provincial and federal ministries and regulating bodies that are involved in the management of land and natural resources. Land that is owned by the Federal Government is immune from municipal land use regulations. Furthermore, the Provincial Government is not bound by municipal land use regulations in relation to the use or development of land, or in the planning, construction, alteration, servicing, maintenance or use of improvements – although that immunity does not extend to tenants or occupiers of Provincial Crown land.

1.3 Plan Area

The area covered by this OCP includes all water and land areas within the boundaries of the Township of Esquimalt, as shown on the “Present Land Use Designation Map.”



2

TOWNSHIP OF ESQUIMALT



2.1 General

Section 2 provides highlights of the Township of Esquimalt as it is in the present day and where it is envisioned to go in the future. In this section you will find the community's vision, mission and values statements, as well as community and regional profiles.

2.2 Vision, Mission and Values

The Township's vision, mission and values statements provide the context for this Official Community Plan and guide the decision making of Council and staff in the provision and delivery of works and services.

Our Vision

- Esquimalt is a caring and welcoming community that has strong relationships with our neighbours, the Esquimalt and Songhees Nations, regional municipalities, and the naval base.
- Our vibrant economy is supported by an engaged community.
- As a coastal community, we are stewards of our environment and value our past, present and future.

Our Mission

Focusing on community priorities, the Township of Esquimalt works to make our community and environment a better place for today and the future.

Our Values

- **Accountability** – we acknowledge and take responsibility for our actions, decisions and policies.
- **Integrity** – we practice high standards of ethical behaviour and open communication that inspire trust.
- **Respect** – we foster an environment of fairness where people are valued and treated with dignity.
- **Service** – we strive to meet community needs and achieve high-quality results through teamwork, innovation and creativity.

2.3 Community Profile

The Township of Esquimalt is a closely knit caring community whose citizens represent a wide socio-economic and demographic spectrum. It is also a community that embraces newcomers to Canada and strives to be more diverse and inclusive by providing a range of multicultural services and programs. A key goal of the OCP is to put into place a land use policy framework that will promote a vibrant community for all of its residents.

2.2.1 Population and Age Profile

After years of virtually no growth, Esquimalt’s population showed an 8.9 percent increase in growth between 2006 and 2011 (Figure 1).

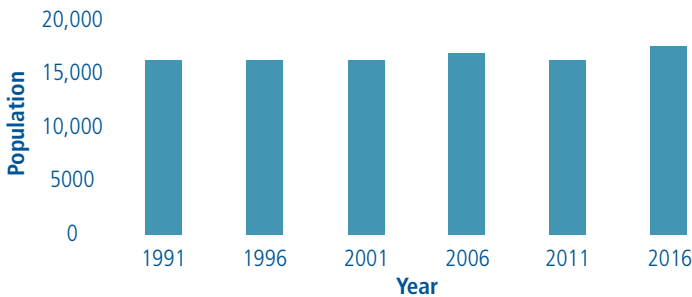


Figure 1. In 2016, Esquimalt had a population of 17,655, an increase of 8.9 percent from its 2011 population of 16,209.

Esquimalt’s population exhibits a classic demographic distribution with a large bulge of baby boomers between the ages of 50 and 69 and another bulge corresponding to the children of baby boomers, also known as Generation Y, between the ages of 25 and 39 (Figure 2). Sandwiched between the two bulges is Generation X. Also evident from the data is an upward trend in the young cohorts representing perhaps the grandchildren of the baby boomers. This has implications for day cares and schools as the current 0-4 cohort is the biggest such cohort in the past 20 years. This may signal a school capacity issue starting with the elementary school and working its way up as the cohort ages. The data also suggests that there will be a need for more housing that can accommodate families with young children.

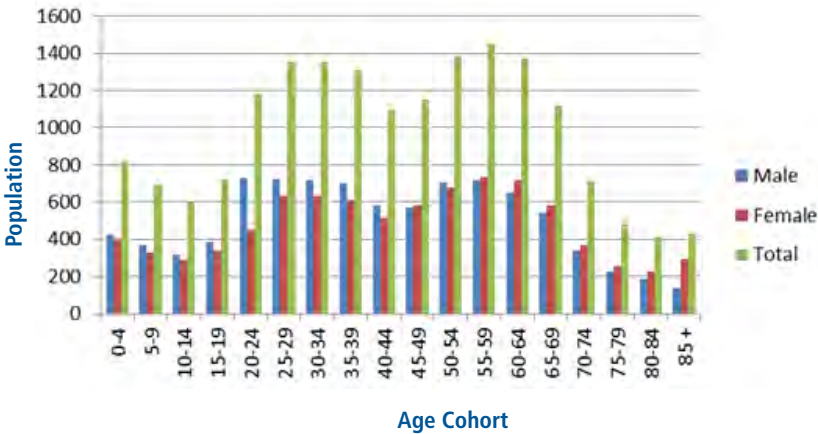


Figure 2. Population by age cohort based on 2016 Federal Census data. Draft figure.



Figure 3. Median age of Esquimalt's population based on Federal Census data.

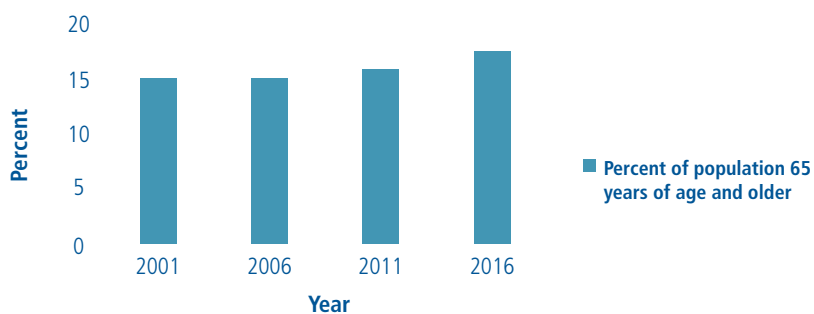


Figure 4. Percent of Esquimalt's population over 65 years of age from 2001 to 2016 based on Federal Census data.

Figures 3 and 4 demonstrate the trend in Esquimalt's aging population as both the median age and the percent of the population over 65 years of age slowly increase. This has implications in terms of everything from the types of housing required to the design of streets.

2.2.2 Income

The total household income by income bracket for the approximately 8480 households in Esquimalt is shown in Figure 5. The largest number of households is found in the \$100,000 to \$124,999 income bracket. The median total income of households in 2015 for Esquimalt was \$60,424 compared to \$69,665 for the Capital Regional District. The average total income of households in 2015 for Esquimalt was \$72,453 compared to \$88,438 for the Capital Regional District.

An important issue addressed by this plan relates to affordable housing. Figure 6 shows the benchmark housing values for Esquimalt as of February, 2018. There are a myriad of variables that affect the ability of an individual or a household to purchase a home, however, under normal circumstances it would not be possible for a household earning the average household income in Esquimalt to purchase a single family home. They could however, probably purchase a condo apartment. This has direct policy implications related to the type of housing that should be built in order to allow residents to purchase a home.

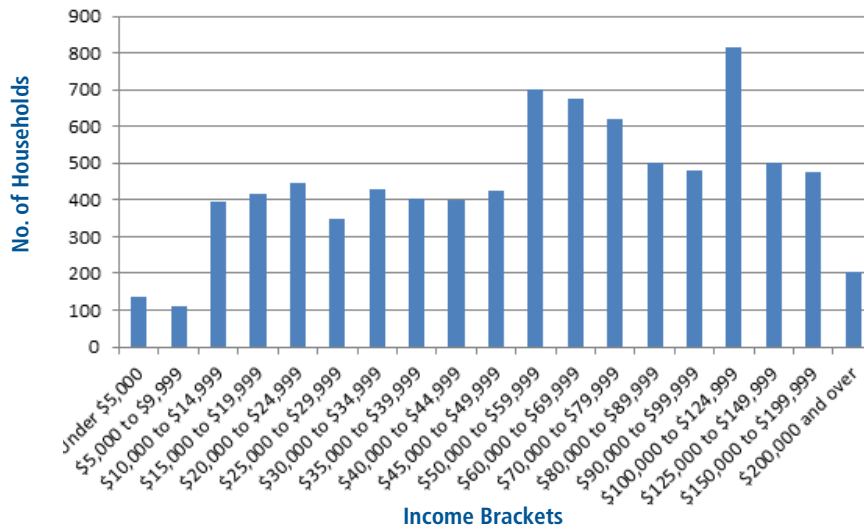


Figure 5. Total household income in 2015 by income bracket. Draft figure..

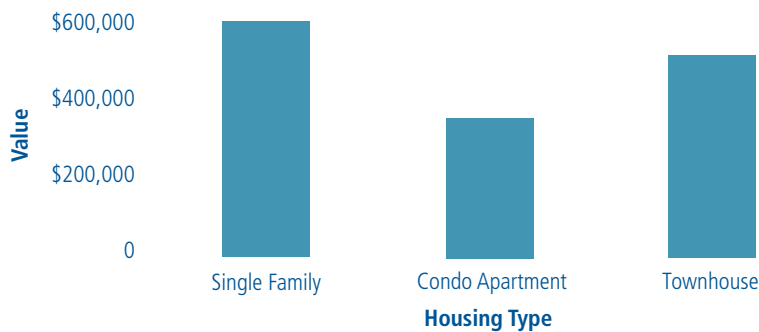


Figure 6. Benchmark housing values for Esquimalt, February 2018 (source: Victoria Real Estate Board)



2.4 Regional Profile

Esquimalt, with a population of approximately 17,655, is one of four “core municipalities” within the Capital Region. The municipality has one of the highest ratios of jobs to residents. CFB Esquimalt, located primarily in Esquimalt, is one of the region’s largest employers.

Through the Capital Regional District, residents of Esquimalt have access to services such as regional parks, recycling, an affordable housing portfolio, water supply and waste disposal systems.

2.5 Planning Context

The area that forms the Township of Esquimalt was settled by two First Nations — the Esquimalt and the Songhees. Members of these Nations reside on lands adjacent to Esquimalt's north-western boundary.

The name Esquimalt reflects its maritime setting. In the language of the native Coast Salish peoples, Es-woy-malth means "place of shoaling waters."

Looking into the foreseeable future, Esquimalt is likely to become a focus of renewed growth and redevelopment. The reasons for this include:

- Proximity and easy access to the main employment areas in the Capital Region;
- Established and attractive community amenities — schools, parks, trails, services, shopping;
- More than ten kilometres of saltwater shoreline and expansive water and mountain views from higher elevations;
- Affordable housing in comparison with many other areas of Greater Victoria, both rental and home ownership;
- Significant areas for potential redevelopment, particularly areas that may be surplus to the Department of National Defence. (Almost 30 percent of Esquimalt's land base is under the jurisdiction of the Federal Government); and
- Mature residential character areas and many features of significant heritage interest.



3 REGIONAL CONTEXT STATEMENT



3.1 General

Housing, transportation, regional district services, parks and natural areas, and economic development within the Township are inextricably linked to the same matters in the region. Through its acceptance of the Regional Growth Strategy (RGS), Council acknowledges its responsibility to support the goals and aspirations of the Regional Growth Strategy through its Official Community Plan. To this end, the following relationships between the Regional Growth Strategy and the Official Community Plan are specifically identified as being mutually supportive:

3.2 Housing

The RGS seeks to provide for an adequate, accessible and diverse supply of affordable housing across the housing spectrum. The OCP responds to this policy by providing for increased densification through provisions for suites in duplexes, detached accessory dwelling units, and increased height and density for medium density residential housing and local commercial mixed-use designated land. The Plan also supports the provision a variety of housing types and tenures delivered by both market and non-market developers to support the housing needs of a diverse demographic.

3.3 Transportation

The OCP responds to the RGS related to transportation by encouraging denser development along transit routes, encouraging the provision of bicycle related facilities in new developments, providing for the provision of more bicycle infrastructure on the public road right of way where it can be demonstrated through proper transportation studies that it is justified, by encouraging development adjacent to public transit routes to incorporate bus shelters into their design, and by supporting parking reductions where supported by a parking study. In addition, the Official Community Plan encourages multi-modal street design.

3.4 Regional District Services

The Township is host to the Core Area Waste Water Treatment Plant and the Macaulay Point Pump Station, two vital components to the Core Area's waste water treatment system. The OCP identifies McLoughlin Point as the location of the Core Area Waste Water Treatment Plant and Macaulay Point as the location of the Macaulay Point Pump Station.

3.5 Parks and Natural Areas

Congruent with the RGS the protection of the natural environment is embedded in the Township's Vision Statement which is located at the beginning of the OCP. Although bereft of any regionally significant parks, the Township is blessed with abundant parkland, some of which contains significant natural areas. In addition, the OCP supports the continued development of Esquimalt's network of parks and open spaces to meet the needs of users. It also promotes the development of a multi-functional network of greenways.

Further, the Plan promotes a balanced approach between recreational use and protection and enhancement of areas of natural foreshore habitat for fish, birds and other wildlife.

3.6 Economic Development

As the home of two of the region's major employers, the Township is cognizant of the importance that it plays in the region's economy as outlined in the RGS. These employers have attracted global corporations which have located offices in the region. Through its densification policies, the OCP strives to house employees closer to the employment centres thereby helping to create compact communities and reducing greenhouse gas emissions by reducing the need to commute. In addition, the OCP supports the attraction of a wide range of business types including advanced-technology, green economy, and knowledge based.

3.7 Greenhouse Gas Emissions Reduction

The RGS contains targets to reduce community greenhouse gas emissions by 33 percent (from 2007 levels) by 2020, and by 61 percent by 2038. The OCP contains a target to reduce greenhouse gas emissions by at least 38 percent by 2030 and to become carbon neutral by realizing zero net community greenhouse gas emissions by 2050. From encouraging better infrastructure for walking and cycling to promoting the use of current best management practices - policies related to the reduction of greenhouse gas emission are located throughout the Plan including designating the entire Township as a development permit area for "Energy Conservation and Greenhouse Gas Reduction."

3.8 Population Projections

The RGS projects that by 2038, Esquimalt will have a population of 18,300, an increase of 10.2 percent from 2011. Between 2011 and 2016 Esquimalt's population increased by 8.9 percent to 17,655. Based on past trends, the Township's population could exceed the 2038 projection by the year 2021. This reflects that the Township is working well to achieve regional interests of densification and being a complete compact community. It is noted that the RGS states that the CRD will update the projections using the most recent census data at the time of the first update to the 2018 RGS. Pursuant to Section 447 (1) (b), the Township will make the OCP consistent with the Regional Growth Strategy at the time that the Regional Growth Strategy is amended to reflect the revised projections.

3.9 Additional Matters

3.6.1 Compact Complete Communities

As per the direction of the RGS, the OCP is replete with policies supporting the development of Esquimalt as a compact complete community. These include recognizing the Esquimalt Town Centre as the principle commercial area within Esquimalt as well as the main civic and recreational area. The Esquimalt Town Square is supported by a series of Neighbourhood Commercial Mixed – Use areas spread throughout the community. In addition, multi-modal transportation is supported as is a range of housing types.

3.10 Summary

The OCP brings the land use and transportation aspirations of the Regional Growth Strategy to the local scale. To the degree to which the criteria, principles, and policies of the Regional Growth Strategy apply to the Township, the Official Community Plan efficiently and effectively translates them to a local governance scale which will guide the decisions of Council with respect to the matters covered by both documents.



PART 2 POLICIES



4

LAND USE PLANNING



4.1 Land Use Designations

The existing land uses and development patterns are shown on the “Present Land Use Designation Map.” This map provides a framework for the detailed regulations contained in the Zoning Bylaw. Future land use, development and redevelopment will be in accordance with the land use designations shown on the “Proposed Land Use Designation Map,” together with the guidelines set out in Development Permit Areas. Owners of land may choose to develop or redevelop their land in accordance with either the “Present Land Use Designation Map” or the “Future Land Use Designation Map” as long as the zoning of the land allows for the proposed development or redevelopment.

4.2 General Development

GOAL: To knit together urban pattern, use, and form into a cohesive land use fabric that enhances community and protects the environment.

Policy

To consider and implement (as appropriate) the full breadth of statutory planning tools under the Local Government Act and Community Charter, as well as any other authority or agreements, to further enhance development within Esquimalt, including to achieve high quality design for the community.

Policy

Encourage development proponents to demonstrate how the design of a new development addresses crime prevention principles.

Policy

Encourage universal design in all new developments.

Policy

Encourage owners to locate new buildings in order to retain protected trees, as well as healthy and mature trees, existing on the property.

Policy

Encourage new developments that are sited and designed to maintain or enhance public view corridors. Public view corridors are shown on the “Public Views Corridors Map” (Schedule “G”).

4.3 Temporary Use Permits

OBJECTIVE: To allow for the temporary use of a parcel of land for a use that is not permitted on the parcel under current zoning.

Policy

The entire Township is designated as an area where temporary uses may be allowed.

Policy

Temporary Use Permits may be approved and issued for residential, commercial, industrial, recreational, public utility, agricultural, and institutional uses, including any combination of the foregoing uses, that do not conform to the permitted uses for a parcel as prescribed in the Zoning Bylaw.

Policy

Temporary Use Permits may be issued for a period in accordance with the Local Government Act, presently of up to three-years and may be renewed for up to an additional three-year period.

Policy

In considering an application for a Temporary Use Permit, Council may consider the following:

1. Suitability of the site for the proposed use;
2. Compatibility with adjacent land uses;
3. Potential environmental impacts, and
4. Potential economic impacts.

Policy

Temporary Use Permits may be issued with conditions, including with respect to the following:

1. Requirement for security deposits in order to ensure removal of the use and related buildings and structures on termination or expiry of the permit, rectification of unsafe conditions and/or damage to the environment as a result of the temporary use and/or compliance with any conditions associated with the approval and issuance of a Temporary Use Permit;
2. Restrictions on duration and timing of use;
3. Restrictions on the intensity of use;
4. Provision of adequate parking;
5. Provision of landscaping and buffering;
6. Provisions related to the structures and buildings associated with the temporary use;
7. Provisions for traffic management;
8. Provisions for control of nuisances including but not limited to: noise, dust, fumes, odour, glare, vibration, and light; and
9. To allow for the better integration of the temporary use with the surrounding neighbourhood and the community of Esquimalt as a whole.

4.4 Development Approval Information Area

4.4.1 Background

Pursuant to Section 485 of the Local Government Act, Statutes of BC, an OCP may do one or more of the following:

1. Specify circumstance in which development approval information may be required;
2. Designate areas for which development approval information may be required;
3. Designate areas for which, in specified circumstances, development approval information may be required.

The purpose of Development Approval Information is to provide information on the anticipated impact of a proposed activity or development on the community, including, without limiting this, information regarding impact on such matters as the following:

1. Transportation patterns including traffic flow;
2. Local infrastructure;
3. Public facilities including schools and parks;
4. Community services; and
5. The natural environment of the area affected.

4.4.2 Designated Area

The entire area within the Township of Esquimalt municipal boundary is designated as a Development Approval Information Area.

4.4.3 Justification – Special Conditions and Objectives

Special Conditions

As outlined throughout this Plan, there are many special conditions and features of the Township to justify the designation of the entire Township for which development approval information may be required. These include but are not limited to the following:

- The Township is surrounded by sensitive shoreline with high ecological values and biological diversity, abuts a National Migratory Bird Sanctuary, is located in a rare Garry Oak Ecosystem, is a home of rare plant and animal species, and has other important environmental values and considerations.
- On September 1st, 2012, Historic Esquimalt celebrated 100 years as an incorporated Township. First Nations people of the Coast Salish linguistic group had used the area now known as Esquimalt for approximately 4000 years before the advent of European settlement. Cultural and Heritage resources are a significant component of the Township's history and urban fabric, with many examples of high aesthetic values and other significance.
- Esquimalt possesses two of the finest natural harbours on the west coast of the Americas: Esquimalt Harbour is the headquarters of the Royal Navy's Pacific Squadron, complete with graving dock and ship repair and fitting, and West Bay is a thriving, attractive and walkable harbour front neighbourhood.

- The Township is largely developed and/or urbanized with few (if any) greenfield development sites, and undergoing significant redevelopment and renewal. Infrastructure is, in some cases, old, and assessing and allocating capacity for new development and redevelopment can be challenging without appropriate assessment information including with respect to highways, fire protection systems, water supply systems, sewage systems, solid waste disposal and recycling facilities, energy and communications utilities, and local parking facilities. Municipal infrastructure represents a fundamental component of the efficient and effective functioning of the Township.
- The Township has numerous local facilities, including schools, parks, health care services, local transportation services including public transit, that may be impacted by medium and high density residential development.
- The Township is located in one of the most earthquake prone areas in Canada, and must contend with tsunamis, land slip, erosion and other natural hazardous conditions.

Township objectives

- To protect the ecological integrity of Esquimalt's shorelines.
- To protect the habitat of Migratory Birds from disturbances related to development.
- To protect the ecological integrity of Esquimalt's remaining Garry Oak Ecosystem.
- To conserve energy and water.
- To protect existing municipal infrastructure and properly plan for future infrastructure needs.
- To understand, mitigate and otherwise plan for potential impacts of traffic generated by proposed developments and redevelopments on the Township's road system. Understanding potential traffic impacts of development that involves significant vehicle traffic is crucial to making sound land use and development decisions.
- To ensure that existing local facilities can adequately service new residents and properly plan for future service needs.
- To protect the integrity of the Township's economy, which is critical to the well being of its residents.
- To protect the integrity of the Township's tax base, as that base is fundamental to ensuring that the Township can provide the necessary services and infrastructure to its residents.
- To plan for earthquake preparedness and resiliency, including to preserve life and reduce property damage.
- To avoid approving land uses and developments that may negatively impact near-by developments or land uses or may be negatively impacted by existing land uses or developments, considering that nuisances such as noise, dust, glare, and odour can negatively impact the quality of life for the Township's residents and business owners.
- To protect, where feasible, the Township's significant cultural and heritage resources.
- To maintain a high quality built environment, including aesthetic values, as this contributes to the vibrancy of the community.
- To facilitate the implementation of Development Permit purposes and guidelines.

In accordance with the Local Government Act, the Township identifies additional policies and procedures in a separate bylaw for the implementation of Development Approval Information requirements.

4.5 Sand and Gravel

There are no lands within the Township suitable for sand and gravel extraction.

4.6 Restriction on Land that is Subject to Hazardous Conditions

All lands abutting any body of water connected to the Pacific Ocean are in a potential Tsunami Hazard Area. Prior to rezoning, subdividing, or developing these lands a landowner may be required to submit a Tsunami Report with their application.

5

HOUSING & RESIDENTIAL LAND USE



5.1 General: Anticipated Housing Needs in the Next Five Years

Table 1 and Figure 7 show the housing statistics for Esquimalt based on the 2011 and 2016 Federal Censuses. Note that there are significant differences in the trends for each housing type. Single detached houses decreased by 1.7 percent while apartments in buildings that have five or more stories increased by 23.1 percent. Table 1 clearly shows a trend toward multi-family dwellings and away from single detached dwellings.

TABLE 1. PERCENT CHANGE IN HOUSING TYPES BETWEEN 2011 AND 2016.

Dwelling Type	Number of Dwelling Units - 2011 Census	Number of Dwelling Units - 2016 Census	Percent Change 2011 to 2016
Single Detached House	2030	1995	-1.7
Apartment in building that has five or more stories	455	560	23.1
Semi-detached house	665	690	3.8
Row house	385	405	5.2
Apartment or flat in duplex	795	910	14.5
Apartment in a building that has fewer than five storeys	3695	3910	5.8
Other single - attached house	15	15	0.0
Total	8040	8485	5.5

Table 2 contains simple arithmetic population projection estimates based on various growth rate scenarios. The net increase in population under each scenario is then used to estimate the number of new housing units that will be required in the next five years based on an average household size of 2.0 as per the 2016 Federal Census.

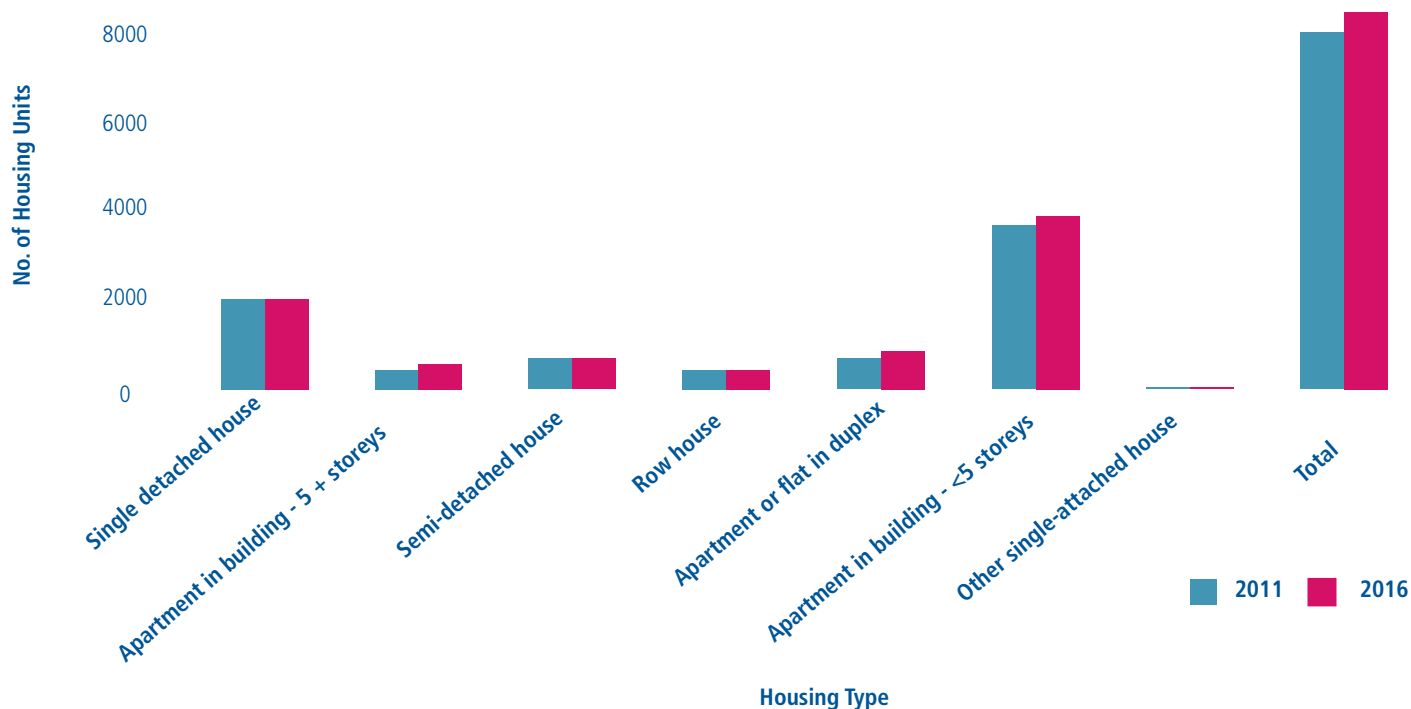


Figure 7. Percent change in housing types between 2011 and 2016

TABLE 2 POPULATION GROWTH SCENARIOS FOR THE NEXT FIVE YEARS AND ESTIMATED NUMBER OF NEW HOUSING UNITS REQUIRED.

2016 Population	Rate of Growth Over Five Years (%)	Estimated 2021 Population	Increase in Population	Estimated Number of New Housing Units Required at an Average of 2.0 People Per Unit
17,665	2.5	18107	442	221
17,665	5	18548	883	442
17,665	7.5	18990	1325	662
17,665	10	19432	1767	883

Table 3 summarizes the number of units in all developments where Council has approved the zoning but the developments have not received an occupancy permit. The data in the table indicates that 664 housing units of various forms and tenures have been approved but have not yet receive an occupancy permit. The current approvals would be sufficient to accommodate a population increase of approximately 7.5 percent over the next five years based on an average household size of 2.0. Given the amount of land designated for multi-unit development as indicated in the Future Land Use Designation Map that is not yet yielding it maximum potential number of dwelling units, the Township has more than adequate land to accommodate its housing needs for the next five years at growth rates beyond 10 percent.

TABLE 3. ESTIMATED NUMBER OF HOUSING UNITS THAT HAVE RECEIVED ZONING APPROVAL BUT NOT AN OCCUPANCY PERMIT.

Dwelling Type	Location	Number of Proposed Units - Rental	Number of Proposed Units - Owner	Density (units per net ha.)	Status
Single Detached House (Infill)	Various (infill)		7	21.6	
Apartment in building that has five or more stories	Esquimalt Town Square	34	68	130	Development permit approved
	Legion	152		415	Zoning approved
	English Inn		173	165	Development permit approved
	856 Esquimalt Road		168	230	Zoning approved
Semi-detached house	Various		4	29.5	Ongoing
	English Inn		6	40	Development permit approved
Apartment or flat in duplex	Various				
Apartment in a building that has fewer than five storeys	615 Fernhill		10	130	Zoning approved
	Triangle Lands			160	Zoning approved
	826 Esquimalt Road		30	330	Under construction
Other single - attached house	West Bay				
Total		186	478		

OBJECTIVE: Support expansion of housing types within Esquimalt while addressing concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character.

Policy

Support the inclusion of secondary suites within present and proposed low density residential land use designated areas.

Policy

Support the inclusion of detached accessory dwelling units on appropriate low density residential land use designated areas where only one principal dwelling unit exists.

Policy

Consider new townhouse residential proposals with a Floor Area Ratio of up to 0.70, and up to three storeys in height, in areas designated Townhouse Residential on the "Proposed Land Use Designation Map," provided the design responds effectively to both its site and surrounding land uses.

Policy

Recognize that float homes provide an alternative housing choice, and support the continued existence of Esquimalt's only float home community located in West Bay, as designated on the "Present Land Use Designation Map" and "Proposed Land Use Designation Map."

Policy

Support the inclusion of live/work units on residential parcels located outside of areas designated commercial on the "Proposed Land Use Designation Map" and on Major Roads as designated on the "Road Network Map" (Schedule "C").

Policy

Recognize short-term accommodation use as appropriate within designated residential land use areas only where appropriate zoning has been sought and secured.

Policy

Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

Policy

Encourage the development of rental accommodation designed for a variety of demographic household types, including young families.

5.2 Low Density Residential Redevelopment

OBJECTIVE: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

Policy

Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

Policy

Consider the inclusion of secondary suites in infill developments where it is demonstrated that neighbourhood impacts can be mitigated.

Policy

Discourage new applications for infill housing, including rezoning and subdivision, for panhandle lots in the 1100 and 1200 blocks of Old Esquimalt Road and the 600 block of Fernhill Road.

5.3 Medium and High Density Residential Development

OBJECTIVE: Support compact, efficient medium density and high density residential development that integrates with existing and proposed adjacent uses.

Policy

Encourage new medium density and high density residential development with high quality design standards for building and landscaping and which enhance existing neighbourhoods.

Policy

Prioritize medium density and high density residential development in proposed land use designated areas that:

1. reduce single occupancy vehicle use;
2. support transit service; or
3. are located within close proximity to employment centres.

Policy

Consider new medium density residential development proposals with a Floor Area Ratio of up to 2.0, and up to six storeys in height, in areas designated on the “Proposed Land Use Designation Map.”

Policy

Consider new high density residential development proposals with a Floor Area Ratio of up to 3.0, and up to 12 storeys in height, in areas designated on the “Proposed Land Use Designation Map.”

Policy

Notwithstanding other policies set out in this OCP, maximum heights in medium density and high density residential land use designated areas in West Bay are limited to those parcel heights identified in the West Bay Development Permit Area.

Policy

Consider, where appropriate, development proposals with densities greater than those set out in the OCP through density bonus of floor-space provided that the additional density results in the provision of community amenities deemed appropriate by Council for the benefit of the community.

Policy

Recognize, for the purposes of density bonuses, “amenities” may include but are not limited to:

1. Privately-owned, publicly-accessible open space;
2. Public art;
3. Contributions towards the enhancement of public recreation facilities;
4. Contributions towards street and boulevard enhancements, including street furniture and decorative lighting;
5. Building to a higher step of the BC Energy Step Code than required under the Building Bylaw;
6. Group daycare and respite facilities for children and adults;
7. Preservation of heritage structures, features or assets;
8. Affordable housing units;
9. Special needs housing units;
10. Community gardens;
11. Enhanced green family play space for residents; and
12. Other as may be appropriate to the development proposal or surrounding community as deemed appropriate by Council.

Policy

A mix of dwelling unit sizes should be provided in medium density and high-rise residential land use designated areas in order to meet the varying housing needs of Esquimalt residents.

Policy

Buildings with shallow setbacks must step down to no more than three storeys at street level in order to provide an appropriate human scale along the sidewalk.

Policy

Encourage the installation of electric vehicle charging infrastructure in medium and high density residential developments.

5.4 Affordable Housing

OBJECTIVE: To encourage a range of housing by type, tenure and price so that people of all ages, household types, abilities and incomes have a diversity of housing choice in Esquimalt.

Policy

Encourage the provision of affordable housing by the private market and the non-profit housing sector. Partnerships between private, public or non-market housing providers may be supported. These might include innovative approaches such as limited equity, rent-to-own, co-op, mixed market and non-market projects.

Policy

Encourage the placement of new rental, affordable, special needs, and seniors housing in accordance with designated residential land use areas as they are integral components of inclusive neighbourhoods.

Policy

Avoid the spatial concentration of affordable and special needs housing in neighbourhoods.

Policy

Promote housing agreements to ensure that all strata units have the opportunity to be used as long-term residential rentals within strata buildings.

Policy

Consider offering a Revitalization Tax Exemption to all new or renovated purpose-built multi-unit rental buildings within the Township.

Policy

Consider bonus density, parking relaxations or other development variances where a development proposal includes affordable, special needs or seniors housing. This may apply to both market and non-market housing, and mixed-use proposals. A housing agreement may be entered into between the Township and the owner.

Policy

Work in co-operation with the provincial and federal governments, the real estate community, social service agencies, faith-based organizations, service clubs and other community resources to provide affordable housing and support services for seniors, the frail elderly and other special needs groups.

Policy

Encourage the provision of missing middle housing types such as two-unit dwellings (duplexes), townhouses and small lot infill as one avenue to address housing affordability.

5.5 Age-friendly Housing

OBJECTIVE: To expand and protect seniors housing in Esquimalt to enable citizens to “age in place.”

Policy

Support and facilitate development of multi-generational housing, including in medium and high density residential developments.

Policy

Encourage child friendly developments that provide appropriate amenities such as outdoor play areas for young children that are well-separated from traffic circulation and parking areas.

Policy

Encourage adaptable design for all dwellings created through rezoning.

Policy

Encourage more accessible housing for people with mobility limitations on the ground floor of medium and high density residential buildings.

Policy

Support aging-at-home through means such as low or no fee permits for modifications.

Policy

Encourage development of more assisted living residences.

Policy

Promote the development of a complex care facility within Esquimalt.

Policy

Promote modifying homes to enable shared housing for seniors.

Policy

Encourage the development of seniors housing that is within close proximity and accessible to services and amenities.

Policy

Recognize that the provision of bicycle storage may be waived or varied if, in the opinion of Council, there is no demonstrated need, such as in a congregate care facility.

6

COMMERCIAL & COMMERCIAL MIXED-USE LAND USE



6.1 General

The neighbourhood commercial mixed use and Commercial/Commercial Mixed-use Areas are designated on the “Present and Proposed Land Use Designation Maps” (Schedules “A” and “B”).

OBJECTIVE: Esquimalt is a complete community where commercial enterprises serve the needs of area residents, local businesses, and visitors.

Policy

Encourage a mix of uses in the commercial/commercial mixed-use areas.

Policy

Exclusive commercial development is appropriate in commercial/commercial mixed-use areas.

Policy

All commercial/commercial mixed-use areas are designated Development Permit Areas, in order to ensure that future development and infill contributes positively to the visual and aesthetic character of its site, setting and surrounding properties.

Policy

Lands outside the Commercial/Commercial Mixed-use designation on the “Proposed Land Use Designation Map” should not be considered for commercial zoning unless the following criteria are met:

1. The project is desirable to the community and cannot be appropriately located within established commercial areas;
2. The density and scale of the project is sensitive to the prevailing character of surrounding lands;
3. The project, through its exterior finishes enhances the aesthetics of the neighbourhood;
4. The project’s parking requirements can be satisfied on-site; and
5. The project’s parking requirements should not unduly affect neighbouring land uses.

Policy

In commercial mixed-use areas, buildings with a floor area ratio of up to 3.0 for the residential portion of the building may be acceptable.

Policy:

Consider, where appropriate, development proposals with densities greater than those set out in the OCP through density bonus of floor-space provided that the additional density results in the provision of community amenities deemed appropriate by Council for the benefit of the community.

Policy

Recognize, for the purposes of density bonuses, “amenities” may include but are not limited to:

1. Privately-owned, publicly-accessible open space;
2. Public art;
3. Contributions towards the enhancement of public recreation facilities;
4. Contributions towards street and boulevard enhancements, including street furniture and decorative lighting;
5. Building to a higher step of the BC Energy Step Code than required under the Building Bylaw;
6. Group daycare and respite facilities for children and adults;
7. Preservation of heritage structures, features or assets;
8. Affordable housing units;
9. Special needs housing units;
10. Community gardens;
11. Enhanced green family play space for residents; and
12. Other as may be appropriate to the development proposal or surrounding community as deemed appropriate by Council.

Policy

The majority of the frontage for commercial mixed-use buildings at the ground floor, should be commercial.

Policy

On corner sites, the ground floor commercial use in mixed-use buildings should wrap around the corner.

Policy

In commercial/commercial mixed-use developments, parking should be located behind or under the building.

Policy

The installation of electric vehicle charging infrastructure in commercial/commercial mixed-use developments is encouraged.

Policy

Encourage the provision of amenities such as mini parks/plazas, street furniture, public art and decorative lighting on private lands in all commercial areas.

Policy

To encourage the use of bicycles, provision should be made in all commercial/commercial mixed-use developments for bicycle parking for employees and visitors.

6.2 Revitalization

OBJECTIVE: To encourage growth through revitalization and redevelopment of commercial areas.

Policy

Encourage public and private sector initiatives to improve streetscapes and accessibility for pedestrians and cyclists to all commercial areas.

Policy

Design and install entrance signage at key street locations, including entrances to Esquimalt.

6.3 Esquimalt Town Centre

OBJECTIVE: To foster the creation of an Esquimalt Town Centre that successfully integrates commercial, institutional and residential activity.

Policy

Esquimalt Town Centre is located along Esquimalt Road, between Constance Avenue and Joffre Street.

Policy

Esquimalt Town Centre will continue to be the principal commercial area within Esquimalt.

Policy

Encourage a range of retail stores, services, professional offices, community services, recreation, institutional, educational, and arts / cultural uses that encourage activity throughout the day and evening.

Policy

Encourage high quality development that supports and reinforces Esquimalt Town Centre as the main commercial, civic and recreational service centre. Designs are encouraged which incorporate a pedestrian orientation and include such features as sidewalk cafes, attractive landscaping, public art and other amenities.

Policy

Encourage high density mixed-use commercial/residential complexes in Esquimalt Town Centre.

Policy

Esquimalt Town Centre should continue to provide opportunities for Esquimalt's young people, including places for activities and programs.



Policy

Improvements to the Esquimalt Road frontage within Esquimalt Town Centre should encourage pedestrian use and facilitate connections to nearby public facilities and open spaces.

Policy

Create a clearly defined, well-landscaped, and well-lit pedestrian network throughout the Esquimalt Town Centre.

6.4 Neighbourhood Commercial Mixed-Use

OBJECTIVE: To encourage the development of a series of neighbourhood commercial mixed-use nodes throughout Esquimalt that will primarily serve the daily needs of the surrounding neighbourhood but may also include destination uses.

Policy

The Neighbourhood Commercial Mixed-Use areas are shown on the “Present and Proposed Land Use Designation Maps” (Schedules “A” and “B”).

Policy

In areas designated as Neighbourhood Commercial Mixed-Use on the “Present and Proposed Land Use Designation Maps” consider proposals with a height up to six storeys and a Floor Area Ratio of up to 1.5 for the residential portion.

Policy

In areas designated as Neighbourhood Commercial Mixed-Use on the “Present and Proposed Land Use Designation Maps,” developments containing exclusively residential uses are acceptable.

Policy

In areas designated as “Neighbourhood Commercial Mixed-Use” on the “Present and Proposed Land Use Designation Maps” a building height of up to six storeys and a Floor Area Ratio of up to 2.0 is acceptable when the use of the building is exclusively residential.

Policy

Consider, where appropriate, development proposals with densities greater than those set out in the OCP through density bonus of floor-space provided that the additional density results in the provision of community amenities deemed appropriate by Council for the benefit of the community.

Policy

For the purposes of density bonuses, “amenities” may include but are not limited to:

1. Privately-owned, publicly-accessible open space;
2. Public art;
3. Contributions towards the enhancement of public recreation facilities;
4. Contributions towards street and boulevard enhancements, including street furniture and decorative lighting;
5. Building to a higher step of the BC Energy Step Code than required under the Building Bylaw;
6. Group daycare and respite facilities for children and adults;
7. Preservation of heritage structures, features or assets;
8. Affordable housing units;
9. Special needs housing units;
10. Community gardens;
11. Enhanced green family play space for residents; and
12. Other as may be appropriate to the development proposal or surrounded community as deemed appropriate by Council.

6.4.1 Head Street and Esquimalt Road

OBJECTIVE: To create a vibrant commercial mixed-use node centred around the intersection of Esquimalt Road and Head Street.

Policy

Esquimalt’s secondary commercial area is located along Esquimalt Road at Head Street.

Policy

Encourage redevelopment in the Head Street/Esquimalt Road Neighbourhood Commercial Mixed-use Area.

Policy

Redevelopment should occur at a neighbourhood scale.

6.4.2 West Bay

West Bay is a thriving, attractive and walkable harbour front neighbourhood. Its unique identity and sense of place is shaped by the natural and human history of its marine environment. A diverse mix of local, pedestrian-oriented shops, businesses and housing, together with active and attractive streets, harbour front recreation, and sunny open spaces with strong connections to the harbour, make this a truly livable neighbourhood and a popular destination for locals and visitors. The built, historical and natural environments are sensitively integrated to ensure a healthy shoreline and up-land ecology.

Policy

Encourage the West Bay commercial area be oriented to pedestrians and boat traffic.

Policy

Notwithstanding other policies set out in this OCP, maximum heights in Neighbourhood Commercial/Neighbourhood Commercial Mixed-Use land use designated areas in West Bay are limited to those heights identified in the West Bay development permit area.



6.4.3 Tillicum Road/Craigflower Road

OBJECTIVE: To encourage the development of new services that meet the needs of the residents of the Panhandle, Gorge Vale Golf Course and the area east of Tillicum Road.

Policy

As the nearby residential areas intensify and population grows, redevelopment of this commercial area is encouraged as a mix of small shops and services, potentially with residential above.

6.4.4 Mixed-Use: English Inn

The English Inn consists of a 1.8-hectare parcel of land as shown on the “Present and Proposed Land Use Designation Maps” (Schedules “A” and “B”). The English Inn Mixed-Use land use designation is a variation of the Commercial/Commercial Mixed-Use designation intended to achieve heritage protection of the significant features and trees on the property and the main building.

OBJECTIVE: To create a vibrant mixed use development that integrates within the existing neighbourhood.

Policy

The English Inn Mixed-Use designation permits and encourages a mixture of commercial (tourist accommodation), residential and institutional uses (congregate care senior citizens apartments and similar), but it also allows the possibility of only residential uses.

Policy

Subdivision, covenants and variances to parking and zoning regulations may be considered to further facilitate protection and maintenance of the main Maclure House building concomitant with redevelopment of the remainder of the property.

Policy:

Given the land contours and existing trees and vegetation, the uses in the main heritage building itself may require some parking spaces to be provided on adjacent lands if/when the original parcel is subdivided.

7

BUSINESS LAND USE



7.1 General

Lands designated Business on the “Present and Proposed Land Use Designation Maps” (Schedules “A” and “B”) will be used for industrial and accessory uses. The lands are very valuable as employment and wealth generating lands and should be protected as such.

All business areas are designated a Development Permit Area.

7.2 Esquimalt Business Park

OBJECTIVE: To encourage the maintenance and viability of the business sector within Esquimalt to provide for local employment and a diversified tax base.

Policy

Consider innovative proposals that intensify the light industrial uses.

Policy

Industrial and business uses associated with clean technology are strongly encouraged to locate in the industrial park in order to take advantage of the proximity to the regions high tech sector.

Policy

Industrial and business uses associated with ship repair and fitting are strongly encouraged to locate in the industrial park in order to take advantage of its proximity to the federal graving dock.

Policy

Support public and private initiatives that enhance the aesthetics and identity of the Esquimalt Business Park.

Policy

Encourage the use of bicycles in new industrial and business developments with the provision of secure bicycle parking and shower facilities for employees and visitors.

Policy:

Reductions in off-street parking requirements may be considered in new industrial and business developments where the following are provided:

1. an appropriate number of secure bicycle storage spaces;
2. shower and change rooms;
3. visitor bicycle parking spaces; and
4. building location within short walking distance of a regional bus route.

7.3 Public Services and Procurement Canada Land

OBJECTIVE: To support the economic viability of the graving dock through the provision of workforce housing and the provision of land in the industrial park for allied industries.

Policy

Encourage the continued use of the Public Services and Procurement Canada's drydock for industrial purposes.

Note: In the event that Public Services and Procurement Canada lands are disposed of or privatized, the lands will remain industrial and be subject to local government bylaws and development permit guidelines. Until such time, the Township respects the Federal prerogative to use its lands for federal purposes and respectfully requests the Government of Canada and its departments and agencies to respect the OCP if the property is not used for Federal purposes.

7.4 McLoughlin Point Special Use

The Capital Regional District included McLoughlin Point in the regional Liquid Waste Management Plan for purposes of a sewage treatment plant, a public facility as shown on Schedule F. This Plan recognizes the provincial prerogative under the Environmental Management Act, and seeks to facilitate a variety of high technology, industrial, institutional, business and professional mixed-uses of impeccable design and cohesive operation, preferably with public access primarily for educational purposes, to showcase the development and proposed sewage treatment plant to the community and world, particularly given the prominence of McLoughlin Point as the entrance to Victoria Harbour.

OBJECTIVE: To encourage the development of the site for a variety of uses in a manner that reflects its prominent location and the ecology of the area.

Policy

At the time of redevelopment for other uses that do not include the sewage treatment plant, any plan should be prepared in consideration of the surrounding DND lands, and to alternative uses for this site that complement and support a mixed-use (including high-tech, clean industrial) redevelopment plan of impeccable design with public access.

8

INSTITUTIONAL & PUBLIC FACILITIES LAND USE



8.1 General

Institutional lands are identified on the “Present and Proposed Land Use Designation Maps” (Schedules “A” and “B”).

OBJECTIVE: To encourage the retention of Esquimalt’s civic, faith-based and educational institutions as important components of the social fabric of the community.

Policy

Institutional uses are generally considered to be appropriate within any land use designation and need not be specifically designated on the “Proposed Land Use Designation Map” (Schedule “B”). However, any proposal for new institutional zoning will be reviewed in detail and assessed on its own merits.

8.2 Federal Land

8.2.1 Federal Land: General

The Township acknowledges that the Federal Government’s divestment policy generally gives priority to other government departments and First Nations when land is divested.

OBJECTIVE: To ensure that any divested federal lands are subject to appropriate land use planning prior to development.

Policy

Future land use on any lands divested by the Federal Government will be consistent with the general goals and objectives of this or any future OCP.

Policy

A comprehensive area redevelopment plan will be developed for any lands divested by the Federal Government. The plan is to be sympathetic to adjacent neighbourhoods and respectful of the heritage assets and values of the site.

8.2.2 Federal Land: CFB Esquimalt – Work Point

OBJECTIVE: To encourage future owners of any divested federal lands in the Work Point area to appropriately integrate new developments into adjacent neighbourhoods in a manner that is compatible with nearby land uses.

Policy

If divested by the Federal Government, it is envisaged that parts of the CFB Esquimalt - Work Point area could be redeveloped to a mix of townhouse and medium density residential developments surrounded by greenspace.

Policy

Continuous public waterfront access linking Macaulay Point Park with the West Bay Walkway and downtown Victoria will be a key planning principle in any future concept plan.

8.2.3 Federal Land: CFB Esquimalt – North Naden

OBJECTIVE: To ensure that any divested federal lands in the North Naden area are appropriately integrated into adjacent neighbourhoods and compatible with nearby land uses.

Policy

If the CFB Esquimalt – North Naden area is developed, natural greenspaces and a local neighbourhood park should be negotiated as part of any development proposal.

8.3 Public and Private Service Facilities

There is a range of public and private service-oriented institutional facilities, such as health services, schools and child care facilities, seniors and youth services and emergency services, library services and places of worship and civic uses that contribute to the amenities and social fabric of Esquimalt. Established public facilities are shown on the “Public Parks and Facilities Map” (Schedule “F”).

OBJECTIVE: To encourage public and private service facilities that serve the needs of residents to locate in Esquimalt.

Policy

Encourage health services and wellness-related businesses to locate in Esquimalt.

Policy

Encourage a senior-friendly community environment, including medical and support services, pedestrian system, public transit service and facilities, and recreational opportunities that are designed with accessibility in-mind.

Policy

Recognize the value of maintaining the Esquimalt Municipal Hall as the primary emergency operations centre and Esquimalt Public Works Yard as a secondary site.

Policy

Recognize the important role the library plays in the community to provide education and learning opportunities and as a community gathering space.

Policy

Support the development of library services within the community as needed in a fiscally responsible manner.

Policy

Recognize the valuable role places of worship play in the community and continue to support the development of facilities in accordance with local community needs.

Policy

Encourage multiple uses in places of worship, including but not limited to, daycares, emergency centres, non-profit organizational and assembly uses.

8.4 Schools

OBJECTIVE: To encourage the integration of schools into the community.

Policy

During the next five years it is not anticipated that additional school sites will be needed by School District No. 61 within Esquimalt. Esquimalt would support an expansion of School District No. 61 school facilities if a need were identified in the future.

Policy

Support opportunities for L'école Victor-Brodeur to expand their school facility in Esquimalt.

Policy

Recognize L'école Victor-Brodeur as a centre for the francophone community in Esquimalt and the region.

Policy

Support multiple uses in schools, including but not limited to, daycares, emergency centres, non-profit organizational and assembly uses.

Policy

Consider partnering with local schools to provide improved and new community facilities such as sports fields and theatre space.

Policy

Encourage walking and cycling by improving the safety of walking and cycling routes to schools.

Policy

Encourage our family of schools to become community schools.

9

PARKS, RECREATION & TRAILS



9.1 General

The delivery of parks and recreation services in Esquimalt will aim to provide benefits, either direct or indirect, to all citizens in the community. There will be a strong focus on promoting health and wellness, arts, culture and preserving and enhancing the Township's parks, open spaces and public facilities.

9.2 Parks

OBJECTIVE: To balance the multiple purposes and uses of parks, such as cultural events, recreation, sports, ecosystem services, commemoration and aesthetic enjoyment, so that they contribute positively to the quality of life of residents.

Policy

Continue to strategically manage and enhance our urban forest, creating a thriving and sustainable mix of tree species and ages, resulting in a healthy ecosystem that is valued and cared for by the Township and its residents.

Policy

Continue to develop a network of parks and open spaces that meet Township wide and local area user needs.

Policy

Develop a well-connected, clearly identifiable, and multi-functional network of greenways.

Policy

Consider including universal accessibility principles in the construction of new park facilities.

Policy

Investigate the feasibility of artificial turf playing fields in Esquimalt.

Policy

Actively plan for the integration of passive recreational opportunities throughout the urban forest in the public realm.

Policy

Develop plans for infrastructure upgrades to enhance access and public use at Saxe Point Park.

Policy

Develop plans for new facilities and park infrastructure at Esquimalt Gorge Park.

Policy

Balance recreational use of the waterfront with the protection and enhancement of areas of natural foreshore habitat for fish, birds and other wildlife.

Policy

Protect the sensitive habitat found in the Gorge Park estuary.

9.3 Recreation

9.3.1 Facilities

OBJECTIVE: To ensure that recreation and wellness services, programs, spaces and places meet diverse community needs

Policy

Support existing and future demographics by incorporating flexibility into the design of recreation, wellness, and cultural facilities.

Policy

Design new spaces to: eliminate physical access barriers, encourage programmed and unstructured activity, support flexibility of use and space that can be altered at a later date to accommodate changing demands from users.

9.3.2 Active Living

OBJECTIVE: To encourage people to make healthy, active lifestyle choices throughout their lives.

Policy

Develop facilities so that children and youth have an opportunity to build healthy habits through physical activity – both through unstructured play and organized activities and programs.

Policy

Reduce design barriers to living a physically active life.

Policy

Utilize design solutions to support active lifestyles for aging populations and programs.

Policy

Design the built environment to support and promote opportunities for people of all ages to be active for life and achieve one's highest potential.

9.3.3 Community Connections

OBJECTIVE: To provide opportunities to connect with neighbors and feel a sense of belonging.

Policy

Promote opportunities for people to connect with the physical environment through the design of parks and public spaces.

Policy

Continue to maintain and enhance our multi-use trail network to provide connections and access to waterfront areas, parks and open space, regional trails and residential neighbourhoods.

Policy

Create a network of trail and sidewalk infrastructure connecting Saxe Point Park to Esquimalt Gorge Park.

9.3.4 Partnerships

OBJECTIVE: To collaborate with others so that there is a coordinated efficient response to quality of life, recreation, and community wellness needs.

Policy

Support the co-planning and co-delivery of sport hosting, festivals, community and neighborhood events within the Township.

Policy

In consultation with stakeholders and residents, guide the future planning of recreation and wellness facilities to meet community needs.

9.4 Trails and Waterfront Walkways

OBJECTIVE: Increase public waterfront access throughout the Township while protecting our vital ecosystem.

Policy

If a subdivision of land adjacent to a waterfront requires the dedication of parkland, the Township will require the dedication of land adjacent to the waterfront.

Policy

Enhance physical and visual public access to our marine waterfront throughout the Township while minimizing disturbance to waterfront vegetation and environmental features.

Policy

Consider construction of a networked waterfront trail along the Gorge Waterway from Admirals Road to Tillicum Road.

Policy

Endeavour to obtain right-of-way agreements with landowners to allow for public access to the waterfront.

Policy

Waterfront lands will be considered in future park land acquisition.

Policy

Maintain or create, as the case may be, waterfront access in the design of waterfront development where possible.

Policy

Enhance public access points to the Gorge Waterway.

Policy

Investigate marine access facilities for recreational users including kayaks, rowboats, kite surfers, paddle boarders, canoes and other water sports.

Policy

As opportunities arise, the Township will seek to develop a continuous walkway around West Bay and connecting to Head Street.



10 TRANSPORTATION



10.1 General

Esquimalt's transportation system provides the means that allows residents and visitors to move between their homes, places of work, commercial and recreation activities. It connects the community with itself and other communities.

10.2 Walking

Walking is an alternative mode of transportation that shares the road corridor cross section with motor vehicle and cycling traffic.

OBJECTIVE: To develop the pedestrian network into the road corridor infrastructure that provides a safe, enjoyable and continuous network to promote its use.

Policy

Encourage the inclusion of pathways and laneways that promote safe pedestrian travel, in new private developments and in the public realm.

Policy

Improve existing sidewalks, street furniture, crosswalks and other street amenities to make walking a safer and more enjoyable choice for people of all ages and abilities.

Policy

Develop pedestrian movement plans that will encourage pedestrians to use transit from their homes and major facilities in a manner that encourages this movement.

Policy

Plant trees along the public boulevards to reinforce the role and value of sidewalks as well as provide shade.

Policy

Sidewalks should be well lit, free from obstructions and wide enough for their busiest use.

10.3 Cycling

Cycling is an alternative mode of transportation that shares the road cross section with motor vehicles and pedestrians.

10.3.1 Public Cycling Infrastructure

OBJECTIVE: To encourage increased use of cycling for recreational and commuting purposes.

Policy

Consider providing a variety of end of trip facilities by transit stops, parks and institutional facilities. Encourage the provision of end of trip facilities for cyclists such as secure bicycle parking/storage, lockers, change rooms and showers to encourage cycling as a viable form of transportation.

Policy

Where feasible and supported by reliable data, enhance infrastructure to encourage cycling as a healthy form of transportation.

Policy

Consider best management practices to provide guidance on decisions regarding the expansion and improvement of Esquimalt's cycling infrastructure.

10.3.2 New Development

OBJECTIVE: To encourage the inclusion of bicycle facilities in new developments.

Policy

Encourage developers to provide a variety of end of trip facilities for active transportation.

Policy

Encourage bike lockers in multi-unit residential and commercial/commercial mixed-use developments.

10.4 Public Transit

OBJECTIVE: To encourage transit orientated development that takes advantage of the transit system and increases use of the transit system.

Policy

Strive to increase the number of shelters and street furniture to encourage the use of public transit.

Policy

Encourage the incorporation of transit shelters into new developments along transit routes.



Policy

Encourage the provision of handyDART accessible transit service for people with disabilities.

Policy

Support densification along frequent and regional transit routes.

10.5 E & N Rail Corridor

The Esquimalt and Nanaimo (E & N) Railway is a railway between Victoria and Courtenay. In its past life the corridor utilized to a great degree. With additional transportation corridors and mechanisms this usage has declined. The Island Corridor Foundation (ICF) has been assigned control of the right-of-way.

OBJECTIVE: To encourage multi-use of the E & N rail right-of-way.

Policy

Support the use of the rail line right-of-way for multi-modal transportation use and technology.

Policy

Continue to support further enhancements to the multi-use of the rail line right-of-way as part of the regional system to accommodate walking and cycling.

Policy

Where appropriate, consider residential densification in areas in close proximity to the E & N rail right-of-way.



10.6 Roads

Roads function is to provide a surface that allows for the safe and smooth movement of pedestrians, bicycles and motor vehicles from origin to destination. In addition roads are people places providing social space that allows for convivial interaction. The major road network is shown on "Roads Networks Map" (Schedule "C"). No new major phasing of extensions to the existing road system are planned.

OBJECTIVE: To encourage the design and maintenance of a road network that provides, where possible, a satisfactory level of service to all users.

10.6.1 Major Road System

OBJECTIVE: To improve mobility and access for local and regional travel and reduce intrusion on local streets.

Policy

Admirals Road, Craigflower Road, Esquimalt Road, Lampson Street, and Tillicum Road, will continue to serve as the municipality's principal through-traffic routes. Through-traffic will be encouraged to use these routes rather than local streets.

Policy

Work with DND and Shipyards/Graving Dock on developing a Transportation Demand Management Strategy that promotes alternatives to single occupancy vehicles .

10.6.2 Roadway Upgrades

OBJECTIVE: To maintain road infrastructure to an acceptable level of service.

Policy

Encourage multi-modal street design and accessibility for pedestrians, cyclists, transit users, goods and services providers, and motorists where supported by research based analysis.

Policy

Recognize roads as a community resource benefiting all users. Roads increase opportunities for personal communication and interaction among residents and businesses of the community and are not simply conduits for motor vehicle travel.

Policy

Pedestrians' and cyclists' needs and neighbourhood amenities will be taken into consideration in designing road improvements and road safety.

Policy

When rebuilding or improving roads, consideration will be given to accommodating pedestrians, cyclists, and motorists in the interest of road safety and community needs.

Policy

Consider development of a transportation management plan if a neighbourhood or corridor develops significant traffic issues. This plan will be neighbourhood or stakeholder driven and include their input in its formation.

10.7 Public Parking

OBJECTIVE: To encourage on-site parking with all land use.

Policy

New developments should meet the needs of the land use designation and bylaws to achieve onsite parking or have variances supported by a parking study.

Policy

Where appropriate, consider using public parking areas for parking of bicycles and electric vehicles.

11 INFRASTRUCTURE



11.1 General

Within the Township a number of different types of infrastructure are maintained. There are three primary groups of providers of infrastructure. They are:

- The Township, responsible for:
 - Local sanitary sewer collection system
 - Stormwater collection system
 - Street lighting systems
 - Traffic signals and signage
 - Bus shelters
- Other local governments, responsible for:
 - Local potable water distribution network (City of Victoria)
 - Trunk potable water distribution network (CRD)
 - Sanitary sewer trunk collection system (CRD)
 - Waste water treatment plant (CRD)
- Other providers: Crown corporations (electricity) or private service providers (gas, fibre optic cable, cable)

The various types of infrastructure are provided throughout the Township and are located within the road right-of-way, utility lanes or rights-of-way on private property, and on Federal property.

11.2 Sanitary Sewer Collection Systems

The sanitary sewer collection system collects and transports sanitary flows. It is an older system that has had upgrades performed on it periodically. The Township is actively making improvements to the system to address issues of cross connection of services and inflow/infiltration (II) that reduces the system's capacity and ability to manage flows. The capacity of the system is sufficient for today's needs but may require modification as densification of the land types occur in the future. The approximate

location of the sanitary sewer system is shown on the Sewer Network Map (Schedule “D”). A new trunk main to transport sludge from the sewage treatment plant to the Hartland Landfill is planned to start construction in 2018. The main will be built and owned by the Capital Regional District (CRD).

OBJECTIVE: To provide a sanitary sewer collection system that can respond to the demands of growth and manage the system to minimize disruptions due to failure in the system.

Policy

Monitor capacity of the collection system vis a vis the capacity to address the requirements of new development.

Policy

Continue as a partner in the CRD Core Area Liquid Waste Management Plan to address issues of source control, watershed management, harbours health and the wastewater treatment plant.

11.3 Stormwater Collection Systems

The stormwater collection system provides the means for the collection of stormwater through the Township and transports the stormwater to receiving water bodies. The Township is actively making improvements to the system to address issues of water quality and cross connections. The capacity of the system is sufficient for today’s needs but may require modification as changing weather conditions evolve and densification occurs.

OBJECTIVE: To provide a stormwater collection system that can respond to the requirements of the environment and manage the system to minimize disruptions due to failures in the system.

Policy

Endeavour to provide a stormwater collection system that has the capacity to service new development and anticipated climate change.

Policy

Consider the review and development of best management practices related to stormwater management to reduce the potential for pollution into the regions receiving water bodies.

Policy

Strive for the reduction of soil, hydrocarbons, and other pollutants through the use of mechanical and natural based stormwater treatment systems.

Policy

Where appropriate, support rain water collection systems on private property for rain water harvesting as a strategy to deal with increased rainfall due to climate change.

Policy

Encourage developers and home owners to use stormwater management techniques to maximize the management and control of rainfall on their property in order to slow and treat stormwater before it enters local waterways.

11.4 Street Lighting Systems

The Township owns the street light system with it being located on either stand-alone poles or BC Hydro poles. This system provides light to road right of way to assist in the movement of people, motor vehicles, bicycles and goods throughout the Township and the region.

OBJECTIVE: To promote the use of energy efficient street lights that enhance public safety and street-scape aesthetics.

Policy

Incorporate best management practices for street lights.

Policy

Street light design for new developments should consider pedestrian safety.

Policy

Where required, street lights should incorporate cut-offs to prevent light spillage on to private property, waterways, and into the night sky.

Policy

Where practical, consider the use of appropriately designed street light stanchions.

11.5 Regional Sanitary Collection and Distribution Systems (Potable Water)

The ownership and management of several collection and distribution systems are operated within the Township by the CRD and the City of Victoria. These systems deal with potable water and sanitary wastewater conveyance.

OBJECTIVE: To work with owners of these systems to encourage upgrading of the system..

Policy

Coordinate with partners in the planning and execution of projects on the collection and distribution systems in order to minimize the impact on the road right of ways and existing infrastructure.

OBJECTIVE: To protect property owners and residents from incompatible uses.

Policy

A regional wastewater treatment facility at McLoughlin Point is supported. Sludge treatment in proximity to residential uses is strongly discouraged, as an affront to an established residential community, nearby businesses and schools, due to the potential negative health, safety, risk, nuisance and other considerations

11.6 Utilities Distribution Systems

The ownership and management of several distribution systems are operated within the Township by a variety of private corporations or a crown corporation. These systems deal with telecommunications, fibre optics, gas and power.

OBJECTIVE: To work with owners of the systems to encourage upgrading.

Policy

Support coordination with utility owners for the planning and execution of projects on the various systems in order to minimize the impact on the road right of ways and existing infrastructure.

Policy

Encourage various utilities owners to locate utilities be underground for new developments and upgrade projects.

12 ENVIRONMENT, ENERGY & CLIMATE CHANGE



12.1 Natural Areas

OBJECTIVE: To protect and enhance natural areas.

Policy

Encourage the protection of natural areas when properties are developed or redeveloped.

Policy

As an estuarine environment, the Gorge Waterway is recognized as a valuable natural asset providing specialized habitat and ecological functions for a variety of species.

Policy

The naturalization of the riparian area of the Gorge Waterway is recognized as being critical to maintaining its proper ecological functioning.

12.2 Solid Waste Management

The collection and management of solid waste has evolved from a single stream activity to four major streams. The four streams are: solid waste, kitchen scraps, recycling and yard and garden waste. For solid waste and kitchen scraps the Township is responsible for the collection of these streams. The CRD manages the Hartland Landfill where they are processed and disposed of. Recycling is a region wide initiative that is managed by the CRD. Yard and garden waste is a joint venture that the Township and Town of View Royal which together operate the collection and disposal of this stream.

12.2.1 Landfill Waste

OBJECTIVE: To reduce tonnage entering the garbage waste stream.

Policy

Work with the CRD to extend the capacity of Hartland Landfill by the identification and implementation of alternative processing technologies.

12.2.2 Waste Reduction

OBJECTIVE: To increase tonnage associated with recycling, kitchen scraps and yard and garden waste streams.

Policy

Promote an increase in residents' usage of the recycling, kitchen scraps, and yard and garden streams through education.

Policy

Work with the CRD for the identification and implementation of alternative processing technology for all three streams.

Policy

Work with the CRD to increase the number of material types that can be recycled and reused.

Policy

Encourage new and redeveloped properties to incorporate facilities to divert solid waste collection into the following streams: kitchen scraps, recycling, and yard and garden waste.

Policy

Encourage the use of on-site composting through building and landscape design.

Policy

Consider the use of integrated resource management technologies to reduce the volumes of waste transported to the Hartland Landfill and utilize the by-products of such technology within the built environment.

12.3 Reduction of Greenhouse Gas Emissions

OBJECTIVE: To continue to take action on stabilizing GHG concentrations in the atmosphere by reducing emissions.

12.3.1 Targets

- Take action to reduce community greenhouse gas emissions by at least 38% by 2030, compared to 2007 levels.
- Strive for the ultimate objective of carbon neutrality by realizing zero net community GHG emissions by 2050.

12.3.2 Actions

1. Continue as a signatory to the Climate Action Charter and continue to make progress towards corporate carbon neutrality.
2. Develop plans to reduce both corporate and community-wide energy consumption and greenhouse gas emissions.
3. Encourage contractors who deliver municipal services to work towards reducing the energy use and greenhouse gas emissions associated with those operations.
4. Where feasible, adopt fuel-efficient and low carbon vehicles and equipment in the municipal fleet.

5. Implement a corporate green buildings policy that sets an energy efficiency standard for new corporate buildings and for improving the energy efficiency of existing buildings.
6. Protect and enhance the carbon sequestration value of natural systems by enhancing the urban forest and protecting local soil.
7. Report annually on corporate energy and emissions, as well as actions taken to reduce both corporate and community-wide energy consumption and greenhouse gas emissions.
8. Identify an appropriate site for the installation of a public Level 3 fast charging station.
9. Educate developers and home owners on the future need for shading and cooling of buildings in the summer.

12.3.3 Building Energy Efficiency

OBJECTIVE: To reduce building emissions by increasing energy efficiency in new buildings.

Policy

Adopt best practices based on evolving building technologies and materials.

Policy

Encourage the adoption of passive, efficient, and renewable energy systems in new buildings and during building retrofits.

Policy

Investigate options for encouraging developers to achieve high energy performance in new developments through such tools as density bonusing, expedited permit approval process, rebate of development fees, revitalization tax exemption, and other incentives.

Policy

Pursue higher energy-efficiency performance in new developments, through the achievement of higher steps in the BC Energy Step Code as an amenity associated with rezoning.

Policy

Encourage heritage preservation and the re-use of existing buildings where possible.

12.3.4 Low Carbon Transportation

OBJECTIVE: To Increase the number of trips made by walking, cycling, or transit.

Policy

Adopt best practices based on evolving transportation technologies.

Policy:

Prioritize walking, cycling and public transit as preferred modes of transportation in infrastructure improvements.

Policy

Develop a multi-modal transportation plan to identify future policy and infrastructure changes to increase mode share in active transportation.

Policy

Where feasible, plan for cycling-only routes, or cycling routes on less-travelled local roads with traffic-calming devices, which are proven to be the safest and most popular types of routes for cyclists.

Policy

Where feasible, improve the continuity of the bike network by linking existing and future bike-ways and trails.

Policy

Where feasible, increase the amount and diversity of infrastructure available to cyclists, such as public bike racks and public bike repair stations.

Policy

Invest in public bike parking in public parks and facilities, such as parks and beach access points, to encourage cycling.

Policy

Increase the minimum requirements, and set design guidelines, for bicycle parking facilities in all new developments for residents, workers, and visitors.

12.3.5 Ferries

OBJECTIVE: To promote the use of ferries where they can be used to reduce traffic congestion.

Policy

Encourage dialogue between the major employers to ensure that, should a ferry become viable between the West Shore and CFB Esquimalt, that there are provisions to allow non-military personnel to transit through the base with limited security requirements.

12.3.6 Passenger Vehicle Alternatives

OBJECTIVE: To reduce impact of motor vehicles that derive energy from fossil fuels by increasing capacity for alternative fueling, car sharing and ferries.

Policy

Investigate the potential for increasing the capacity for alternative fuelling in the Township, including but not limited to electric and bio-diesel.

Policy

Encourage the installation of electric vehicle charging infrastructure in all new multi-unit developments.

Policy

Pursue the installation of electric vehicle charging capacity in new developments during the re-zoning process.

Policy

Encourage the inclusion of car share in new multi-unit residential developments.

Policy

Support the reservation of on-street parking for car share vehicles.

12.3.7 Advocacy and Partnerships

OBJECTIVE: To strive to reduce energy and emissions through partnerships and advocacy.

Policy

Seek partners in piloting innovative approaches and technologies to reduce energy consumption and greenhouse gas emissions.

Policy

Collaborate with major employers on developing transportation demand management strategies for workers.

Policy

Promote energy saving programs and initiatives administered by third parties.

12.4 Climate Change Adaptation

OBJECTIVE: To prepare the community to be adaptable and resilient to the impacts of climate change.

Policy

Consider including climate change projections, risks, and measures for dealing with more frequent and severe weather events in Township strategies, plans and policies.

Policy

Consider information on climate change risk and vulnerabilities when evaluating new development proposals.



13 URBAN AGRICULTURE



13.1 Agricultural Land Use

Agricultural Land Reserve (ALR) are shown on the "Present and Proposed Land Use Designation Maps." (Schedules "A" and "B")

OBJECTIVE: To support the essence of the ALR in order to enhance food security.

Policy

Support innovative ideas and opportunities that promote and enhance community well-being.

Policy

Support modern urban food production and distribution methods that enhance regional food security.

13.2 Urban Food Production

OBJECTIVE: To support the establishment of allotment gardens, community gardens, edible landscapes, food bearing trees and other types of food production activities.

Policy

Allow for community gardens as a accessory use in all zones.

Policy

Support expansion of community gardens on public, private and institutional lands.

Policy

Encourage developers to consider the provision of garden space in commercial developments and in particular food services.

Policy

Encourage developments in food production gardens in all multi-unit residential developments including rooftop gardens.



OBJECTIVE: To promote local food production as a means to mitigate climate change and support food resiliency in an emergency.

Policy

Reduce restrictions to encourage placement of food producing plants on private property.

Policy

Support small scale greenhouses, aquaponics, and aquaculture as an accessory use on private property.

Policy

Continue to support a public launch to the marine environment at Fleming Beach for food harvesting.

Policy

Support the development of commissary kitchens that provide space for small scale commercial food production.

Policy

Support urban food production and related sales as a home based business.

Policy

Support farmers markets in appropriate park, institutional, commercial, and industrial land use designated areas.

14 ARTS, CULTURE & HERITAGE



14.1 Arts and Culture

OBJECTIVE: To encourage and develop a mosaic of appealing, lively and distinctive areas, vibrant public spaces, festivals, events and activities.

Policy

Promote an animated public realm where people can gather, connect and celebrate through art friendly public spaces and facilities.

Policy

Build on the strengths of public art so that it is a key element in shaping, animating and enriching the public realm, civic pride and community identity.

Policy

Recognize the importance of community festivals in the community's cultural development.

Policy

Encourage new developments to incorporate public art into their design.

Policy

Create opportunities for people to experience art in everyday life and for artists and communities to participate in the design, look and feel of the Township through public art initiatives.

Policy

Promote opportunities to interpret Esquimalt's foreshore and natural environment through the arts.



14.2 Heritage

14.2.1 Heritage Values

OBJECTIVE: To ensure that community heritage values are considered in all land use decisions.

Policy

Use the Heritage Values provided in Appendix __ as a guiding document when considering the impact of land use decisions on the community's heritage.

Policy

Properties identified with community heritage value or character will be considered for addition to Esquimalt's Community Heritage Register.

Policy

Consider Statements of Significance for formally recognized heritage properties when rendering land use decisions.

Policy

Consideration will be given to the 'Significant Tree' list, [Schedule 'D' of Tree Protection Bylaw, 2015, No. 2837 as amended from time to time], when making land use decisions.

Policy

Consider impacts to potential heritage resources when making land use decisions.

Policy

Identify places within the community for placement of signage that celebrates local heritage and history.



Celebrate Esquimalt's Heritage

OBJECTIVE: To respect the Township's proud history by celebrating and thereby enhancing community member's connections to the past.

Policy

Work with local First Nations through a meaningful dialogue about shared heritage values.

Policy

Support educational efforts and community events that recognize and celebrate the community's heritage including navy, army, ship building and repair industry, and connection to nature and sea shore.

Policy

Develop signage that celebrates Esquimalt history and heritage at key locations.

Policy

Work with local First Nations to incorporate more Lekwungen place names within the Township of Esquimalt.

Policy

Continue to support well maintained private properties, having heritage value or character through the application of various land use tools.

Policy

Continue to use historic photos to wrap utility boxes, reflecting the interesting history and beauty of this area.

Policy

Find bold, innovative means to celebrate the community's heritage assets.

Policy

Support the relocation of the Municipal Archives to the first floor of Municipal Hall when the library relocates.

14.2.2 Heritage Preservation and Conservation

OBJECTIVE: To create a highly desired urban environment and strong sense of place.

Policy

Maintain or enhance public view corridors, focal points, pedestrian links, view points, and landmarks at a community wide and neighbourhood level. Public view corridors are shown on the "Public View Corridors Map" (Schedule "G").

Policy

Wherever possible, preserve character buildings in their original location. Where this is not possible for recognized heritage buildings, encourage relocation and restoration on-site, or on an appropriate alternative site.

Policy

Support new additions to heritage property that conserve and enhance that property, as consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada.

Policy

Work with property owners to develop Heritage Designation Bylaws, Conservation Covenants and Heritage Revitalization Agreements during redevelopment.

Policy

Consider using the provisions of the Community Charter and Local Government Act to promote the conservation, rehabilitation and maintenance of heritage resources.

14.2.3 Neighbourhood Design

OBJECTIVE: To ensure that opportunities exist for new developments to build on existing neighbourhood and street features, to foster the sense of consistency over time and celebrate areas with unique character.

Policy

Determine neighbourhood character defining elements through a consultation process that identifies values of a neighbourhood.

Policy

Where character defining elements have been identified through a neighbourhood consultation process, consider developing new or revised design guidelines.

Policy

Reinforce landscaping as a character defining element. Retain and augment mature landscaping and trees where possible.



15 ECONOMIC DEVELOPMENT



15.1 General

OBJECTIVE: To encourage a diversity of knowledge based businesses to locate in Esquimalt.

Policy

Support economic development that:

1. Fosters investment and growth in local businesses, services and facilities that cater to the community;
2. Encourages a wide range of marine-oriented businesses (e.g., ship fitting, repair and maintenance, marine-related science and technology);
3. Encourages businesses that provide goods and services to the military sector;
4. Attracts a wider range of business types, including advanced-technology, green economy and knowledge-based businesses;
5. Expands tourism-related businesses that promote Esquimalt's unique regional offerings, including sports facilities, First Nations, military history, and saltwater recreational opportunities;
6. Expands the sport, arts and culture sector, promoting Esquimalt's sports facilities, arts and cultural heritage;
7. Continues to build relationships with the film industry and use of Esquimalt locations to attract more film productions; and
8. Works towards creating a complete community for families and seniors, including banking, medical and support services, daycare, an accessible trail system, public transit and recreational opportunities.

Policy

Pursue opportunities to bring advanced educational institutions into Esquimalt.

Policy

Support local food production, including local markets in Esquimalt and home based businesses.

15.2 Commercial & Industrial

OBJECTIVE: To encourage the upgrading of commercial and industrial areas.

Policy

Encourage revitalization of underdeveloped commercial and industrial areas that have been in decline.

Policy

Encourage the creation of new office space, cafes, restaurants and pubs in commercial areas.

Policy

Foster the revitalization of Esquimalt Road to give it more of a vibrant and pedestrian friendly downtown core with welcoming public spaces for residents and visitors.

Policy

Encourage revitalization of commercial areas along Admirals Road, Esquimalt Road, corner of Tillicum and Craigflower Roads, and Head Street.

Policy

Encourage the redevelopment and expansion of commercial areas along Craigflower Road at Dominion, Tillicum, and Old Island Highway.

Policy

Recognize the value of the E&N Rail Trail as a competitive advantage to Esquimalt's Business Park and Dockyard. The railway can move people and goods to the area. The rail trail provides alternative travel options for employees.

Policy

Encourage enhancements to the public realm in the business area, such as the development of public spaces or publicly available private spaces, for the local workforce, residents and users of the E&N Rail Trail.

15.3 West Bay

OBJECTIVE: To support land use initiatives that contribute to the economic development of West Bay.

Policy

Support expansion and commercial waterfront development around West Bay, provided it is planned to be compatible with the adjacent residential areas.

Policy

Continue to work with the Greater Victoria Harbour Authority to promote economic opportunities for West Bay.

Policy

Support the development of new tourism opportunities at West Bay.

Policy

Support the continued usage of the West Bay (Westsong) Walkway as a scenic waterfront trail that links downtown Victoria via Victoria West to West Bay.



15.4 Tourism

OBJECTIVE: To consider land use decisions that help promote tourism.

Policy

Working with other organizations, the Township will continue to promote Esquimalt's visitor attractions, including community parks, the Gorge Waterway, West Bay and Esquimalt Harbour, the CFB Esquimalt Naval Base and Military Museum including Fort Macaulay and Work Point, sports facilities, and community events.

Policy

Continue to support sports facilities as an important component of Esquimalt's economic diversity.

Policy

Encourage development of compatible commercial opportunities along the E&N Rail Trail.

Policy

Consider short-term vacation rentals within legal dwelling units, where the dwelling unit is an owner or tenant's principal residence, for up to 60 days per year.



PART 3 DEVELOPMENT PERMIT AREAS



16 DEVELOPMENT PERMIT AREAS



16.1 General

Development permit areas are designated in order to promote appropriate development through the use of guidelines.

16.2 Regulations

16.2.1 Designated Development Permit Areas

Development permits are required for development proposals in the areas designated in “Development Permit Areas Map” (Schedule “H”), or as otherwise designated in narrative form in specific Development Permit Areas. This plan designates Development Permit Areas for:

- Protection of the natural environment;
 - Protection of development from hazardous conditions;
 - Establishment of objectives for the form and character of intensive residential development;
 - Establishment of objectives for the form and character of commercial, industrial or multi-family residential development;
 - Establishment of objectives to promote energy conservation;
 - Establishment of objectives to promote water conservation; and
 - Establishment of objectives to promote the reduction of greenhouse gas emissions.
1. Where land is subject to more than one Development Permit Areas, development will be subject to the requirements of all applicable development permit guidelines. It may be possible to deal with all guidelines under one permit. The feasibility of this will be determined on a case-by-case basis.
 2. Although compliance with any specific guideline may not necessarily be required, general and substantial compliance with the intent of all guidelines is expected by the Township.

16.3 Exemptions

Except for development within 20 m of the Gorge Waterway high watermark, a development permit is not required in the case of:

1. An internal alteration to an existing building that does not increase its footprint;
2. A minor alteration to the exterior of a building that does not change the architectural character of the development. For the purpose of this section, “minor” is defined as a change which does not do any of the following:
 - Increase site coverage more than 5% of the approved coverage;
 - Increase any bylaw non-conformities; or
 - Comprise more than 10 m² of floor area as defined in the Zoning Bylaw.
3. A minor alteration to the exterior of a building for building envelope maintenance purposes (e.g. replacement of siding and/or windows), that does not change the form and character.
4. Temporary buildings or structures that are erected either for offices for construction or marketing purposes for a period that does not exceed the duration of such construction, or two years, whichever is less.
5. A fence less than 2.0 m in height;
6. The following types of subdivision:
 - Subdivisions resulting in three or fewer fee simple or bare land strata parcels;
 - Subdivisions for lot line adjustments;
 - Strata subdivision of buildings; and
 - Subdivisions as a result of leases.

For greater certainty, buildings and land alterations associated with subdivision continue to require a development permit.

7. Park or trail improvements within a dedicated park excluding new buildings with a floor area of greater than 100 m²;
8. Road or utility works within a dedicated highway;
9. Minor changes to design and finish of buildings, or landscaping.
10. Removal of trees with a valid tree cutting permit.
11. Emergency repairs to property where a safety hazard exists subject however to a post repair development permit if temporary measures exceed three months.
12. Replacement of sign faces with no change in the location, size or type of signage.
13. Signage approved by the Director of Engineering and Public Works.
14. Erection of temporary tent structures, provided that:
 - A building permit has been issued with respect to the tent structure;
 - The tent structure is accessory to a commercial, business park, or industrial use occurring on the same property;
 - The structure does not remain in use for a period of more than 14 days.

15. Utility buildings (e.g. pump stations, electrical and telephone kiosks) with a floor area of less than 10 m².
16. Accessory buildings with a floor area of less than 10 m².
17. A suite in a residential building provided that a building permit has been issued.
18. Alterations to landscaping where there is an approved landscape plan provided that there is no net loss of landscaping area and function as per the approved landscape plan.
19. Single detached dwellings except infill housing.

17 DPA NO. 1: NATURAL ENVIRONMENT



17.1 Area

Land within the municipal boundaries of the Corporation of the Township of Esquimalt.

17.2 Designation

Development Permit Area No. 1 is designated for the purpose of establishing objectives for:

- Section 488 (1) (a) – protection of the natural environment, its ecosystems and biological diversity.

17.3 Justification

- The gradual erosion of the natural environment incrementally degrades the value and function of local and global ecosystem services. The average person owns a parcel of land for a relatively short time period of time (10-15 years); care can be taken to ensure larger trees and natural areas are available for the next generation.
- Landscapes and ecosystems are composed of patches of diverse habitats that may include 'species at risk', 'environmentally sensitive areas', and micro-ecosystems containing 'ecological memory'. Even small patches of native soil and vegetation support indigenous species; therefore, all areas can contribute to regional biodiversity and support ecosystem services.
- Protecting Esquimalt's natural environmental features [including but not limited to: local Garry Oak and Douglas-fir ecosystems, rock outcrops, hilly terrain, and rugged clean shorelines] contributes to natural ecosystem functioning and protection of biodiversity; distinguishing this area from other areas of the world.
- Esquimalt has over 20 kilometres of shoreline that serves industrial, commercial and residential purposes, recreation enjoyment, and is vital habitat for numerous plants and animals (e.g. otters, whales, seal, oyster catchers, gulls, various species of waterfowl, and eagles). Shoreline ecology and fish habitat can be protected and enhanced by regulating development near shorelines, and by mitigating the impacts of stormwater entering local waterways. Keeping the urban environment absorbent helps lessen marine ecosystem damage from: introduced pollutants, sudden changes in water salinity and temperature, and shoreline erosion from surges in volume at stormwater pipe outfalls.

- The Gorge waterway is a sensitive, tidal-influenced watercourse that connects the fish-bearing fresh water of Craigflower and Colquitz Creeks with the salt waters of Victoria Harbour. Over the past few decades, significant public expenditures and efforts have gone into removing sources of pollution and contamination that once plagued this waterway. However, the removal of native shoreline vegetation and the construction of extensive seawalls have substantially diminished the quality of the shoreline as supportive habitat for fish and wildlife. Both private and public land-owners are responsible for this loss of habitat, often through well meaning and beneficial projects such as shoreline walkways.
- Protecting and maintaining current wave energy patterns and natural patterns of erosion along Esquimalt's shorelines will contribute to the protection of natural features and dynamic processes.
- Invasive alien plant species pose a significant threat to regional biodiversity. Managing and reducing the introduction and spread of these species protects local ecosystem structure and function and biodiversity.
- Esquimalt has several natural area parks of varying sizes distributed across the municipality. These pieces of fragmented natural habitat can be better connected through the use of native plant landscaping along roadways and in private yards; thereby supporting regional biodiversity.
- Biodiversity can be enhanced in an urban region through the thoughtful selection of building methods and landscape design. Siting buildings to provide space for trees of varying species and sizes provides vertical habitat for birds, pollinators and other creatures. In addition, the plants of a traditional Garry Oak meadow ecosystem are well adapted for the seasonally dry conditions found on local building roofs, and therefore can be effectively used in a 'living roof' system (a green roof with enhanced ecosystem services). A living roof will moderate stormwater discharge while providing habitat for indigenous plants, invertebrates, and ground feeding and nesting birds.
- Food security has been identified as an important resiliency objective in this OCP. Many Esquimalt residents enjoy growing their own food or sourcing their food from local farmers; protecting pollinator biodiversity contributes to successful local food cultivation.
- Native birds are an important component of urban biodiversity and provide important ecosystem services that contribute to human health. Esquimalt is located within the 'Pacific Flyway' (A chain of habitats used by at least one billion birds biannually as their migratory route along the west coast of North and South America, from Alaska to Patagonia.) and much of Esquimalt's shoreline is part of the 'Victoria Harbour Migratory Bird Sanctuary'. Reasonable actions can be taken to enhance bird habitat in an urban setting; including providing vertical habitat through protection and enhancement of the urban forest, and protecting local shorelines and waterways.
- Habitat corridors for pollinators and other wildlife will be enhanced; linking natural areas within and through the urban matrix to support biodiversity and local food gardens

17.4 Exemptions

17.4.1 Properties

For all properties:

1. Interior renovations or alterations of existing buildings where residential density is not being increased.
2. Municipal public works, undertaken or authorized by the Township of Esquimalt, provided that activity does not disturb natural areas.
3. Ecological restoration projects undertaken or approved by the Township of Esquimalt.
4. Routine planting and maintenance of gardens and landscaping where areas of native vegetation are conserved and restored.
5. Removal of invasive alien plants [noxious weeds] [as identified by the BC Forest, Lands and Natural Resource Operations – Invasive Plant Program], where extensive disturbance of the soil is avoided.
6. Installation of unpaved paths or walking trails that are less than 1 m in width and covered in naturally permeable materials [wood chips, bark mulch, sand or loose gravel] where the soil remains undisturbed.
7. Farm uses within the Agricultural Land Reserve.

17.4.2 Gorge Waterway

For all lands located more than 7.5 m from the high watermark of the Gorge Waterway:

1. Repair, maintenance or reconstruction of existing legal or legally non-conforming buildings, patios, driveways, parking areas and utilities, provided there is no alteration to natural soil or native vegetation.
2. Construction of fencing where no native trees are removed and disturbance to native vegetation is negligible.
3. The addition of small temporary landscape amenities including; benches, tables, garden ornaments, playground equipment, raised garden beds (not including retaining walls).

17.4.3 High Watermark

For lands located more than 20 m from the high watermark of the Gorge Waterway, and more than 15 m from the high watermark of the Strait of Juan de Fuca:

1. Minor additions [less than 10 m² in area] to an existing legal or legally non-conforming building or structure.
2. Construction of buildings and structures less than 10 m² in area.
3. Installation of seasonal recreation equipment such as children's play equipment, patio furniture, temporary above natural ground level pools/hot tubs.
4. Temporary tent/carport structures.

17.5 Guidelines

The expertise of qualified environmental professionals (retained by applicants), is strongly encouraged and may be required in certain circumstances.

17.5.1 Lands Free of Development

Lands to remain free of development, with conditions:

1. Lands within 7.5 m of the high watermark of the Gorge Waterway shall be retained in as natural a state as possible. Where the land has been previously altered, the area shall be restored with native trees and plants.
2. New buildings/ structures shall not be located within 20 m of the high watermark of the Gorge Waterway.
3. New buildings/ structures shall not be located within 10 m the high watermark of the Strait of Juan de Fuca.
4. Replacement of, expansion of, densification and intensification of the use of existing buildings within 20 m of the high watermark of the Gorge Waterway is discouraged; detached accessory dwelling units are strongly discouraged in this location.
5. Replacement of, expansion of, densification and intensification of the use of existing buildings within 15 m of the high watermark of the Strait of Juan de Fuca is discouraged and detached accessory dwelling units are strongly discouraged in this location.
6. Variances to 'Building Height' and 'Siting Requirements' will be considered where natural areas and trees are being protected.
7. Consider the use of conservation covenants for areas having high ecosystem conservation values. Property owners are encouraged to work with local land trusts to protect natural features and valuable habitat areas through land covenants.

17.5.2 Natural Features

Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
2. Preserve and enhance native tree and shrub clusters that overhang the waters edge as these provide shade, protection and feeding habitat for fish and wildlife.
3. Preservation of natural topography is favoured over blasting or building of retaining walls.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.
5. Design new development and landscaping to frame rather than block public views.
6. Avoid disturbing, compacting and removing areas of natural soil as this can lead to invasion by unwanted plant species, poor water absorption and poor establishment of new plantings. Use of local natural soil in disturbed and restored areas will support re-establishment of ecosystem functions.

17.5.3 Biodiversity

Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

1. New landscaping shall consist predominantly of native plant and tree species. Plants that are native to the Coastal Douglas-fir biogeoclimatic zone are preferred in landscape treatments as they provide habitat for threatened indigenous flora and fauna. Drought tolerant plants native to western North America, that are known to be non-invasive, are a good alternative choice for landscaped areas.
2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.
3. Choose trees and plants for site conditions; consider shade, sunlight, heat, wind-exposure, sea spray tolerance, and year round moisture requirements in their placement.
4. Consider the habitat and food needs of birds, pollinators, and humans in tree and plant species selection and placement; native plantings and food gardens compliment each other.
5. Encourage native plant and food gardens to spill from private land into boulevards.
6. Avoid monoculture plantings, especially expanses of turf grass outside of playing field sites.
7. Snags, logs, driftwood and rock cairns may be used as interesting landscaping features that also provide habitat for native flora and fauna.
8. Include a thick layer of natural leaf mulch in landscaped areas to help re-establish natural soil structure [layers] in disturbed areas.
9. Avoid using fast-growing non-native plants to cover and retain soils as they may become invasive and a constraint to the establishment of other plants.
10. Locate civil servicing pipes/lines under driveways or other paved areas to minimize tree root damage. (Note that the majority of trees have their roots in the top 0.6 m of the soil).
11. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings (eg. provide larger spaces for trees).
12. Support the daylighting of portions of the stormwater system for enhanced habitat.
13. Aim to meet the Canadian Landscape Standards in all landscaping installations.

17.5.4 Natural Environment

Measures to protect, restore and enhance the natural environment (limit noise, light and air pollution). Where it is reasonable:

1. Strategically locate leafy trees/ hedges and water features to mask urban noises such as traffic, garbage collection and delivery locations. Consider that leafy rough barked trees, vine covered walls and natural ground cover materials (mulch, soil) will help dampen urban noise.
2. Use International Dark-Sky Association approved lighting fixtures in outdoor locations. Outdoor lighting shall be no brighter than necessary, be fully shielded (directed downward and designed to serve pedestrian needs), have minimal blue light emissions and only be on when needed. Avoid vanity lighting, and lighting directed into the night sky and trees tops.
3. Light spillage on to waterways is strongly discouraged.
4. Place trees and vegetation near sources of air pollution including busy roadways, to assist in reduction of air pollution through the collection of particulate matter on leaves and needles, and

absorption of toxic gases, including but not limited to: ozone, nitrogen dioxide, sulfur dioxide, carbon monoxide, carbon dioxide, cadmium, chromium, nickel and lead.

5. Install a 'living roof' (a green roof of native species) on commercial, institutional and public buildings to lessen the local heat island effect, cool and insulate buildings, mitigate stormwater surges, and conserve and enhance regional biodiversity.

17.5.5 Drainage and Erosion

Measures to control drainage and shoreline erosion. Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
3. Consider using shared private/ public rain gardens. Direct a portion of stormwater to adjacent public open spaces, when deemed appropriate by the Director of Engineering and Public Works.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.
5. Use porous surfaces to enhance stormwater infiltration, permeable paving is preferable for all open air parking areas. Ensure installation methods contribute to sustained permeability and retention of stormwater on the site.
6. Choose absorbent landscaping materials; leaf mulches, wood chips and good quality top soil, over gravel, pavers and concrete. Provide mulch of organic, locally derived materials; leaf mulch from local tree leaves is most desirable.
7. Incorporation of rain gardens, bio-swales, rain barrels, and even small depressions (puddles) into landscaping will help reduce surges of stormwater entering local waterways.
8. Planting densities should ensure that vegetated areas will have near 100% plant coverage after two full growing seasons.

17.5.6 Protect, Restore and Enhance Shorelines

Measures to protect, restore and enhance local shorelines (reducing shoreline hardening and dock development). When it is feasible:

1. Waterfront property owners are encouraged to become familiar with and adopt a 'soft shore' restoration approach to the care of their foreshore property (i.e. Green Shores for Homes).
2. Remove structures known to contain creosote from local waters.
3. Avoid the expansion of dock area, bulkheads, groins or other shoreline hardening structures. Removal or reductions in the surface area of existing private docks is encouraged.
4. Where shoring methods are required to prevent erosion or the sloughing of the shoreline, choose bio-engineering methods over the use of sea-walls or retaining walls. Where sea-walls or retaining walls are the only means of effectively preventing erosion, design in consultation with qualified environmental professionals, as well as engineering professionals.

17.5.7 Native Bird Biodiversity

Measures to protect, restore and enhance native bird biodiversity. Where it is reasonable:

1. Protect and enhance habitat features like mature trees, shrub clusters, native fruit bearing shrubs, fresh water ponds and ephemeral damp areas (puddles).
2. Encourage increased front yard habitat along quieter streets to reduce bird vehicle conflicts and enhance the pedestrian experience through native plantings.
3. Sustain a mix of habitat types; including forest, shrub-land, meadow, riparian wetland and coastal shoreline ecosystems in landscaping.
4. Incorporate a vertical vegetation structure [vertical habitat] including layers of ground cover, shrub, understorey and canopy in landscape design.
5. Choose a range of native plant species and sizes; a mix of coniferous and deciduous trees will enhance bird species diversity.
6. Incorporate architectural features that limit collisions between birds and windows: including patterned, frosted or tinted glass, exterior louvers, blinds, sun shades and canopies.
7. Cap and screen all ventilation pipes and grates, avoid openings greater than 2.0 x 2.0 cm.

18 DPA NO. 2: PROTECTION OF DEVELOPMENT FROM HAZARDOUS CONDITIONS



- 18.1 Area**
- 18.2 Designation**
- 18.3 Justification**
- 18.4 Requirements**
- 18.5 Exemptions**
- 18.6 Objectives**
- 18.7 Guidelines**

19 DPA NO. 3: ENHANCED DESIGN CONTROL RESIDENTIAL



19.1 Area

All lands zoned for two-unit dwellings or zoned as Comprehensive Development Districts for residential developments only are designated as part of Development Permit Area No. 3 — Enhanced Design Control — Residential as shown on “Development Permit Areas Map” (Schedule “H”) of this Plan.

19.2 Designation

Development Permit Area No. 3 is designated for the purpose of establishing objectives for:

- Section 488(1) (e) – establishment of objectives for the form and character of intensive residential development.

19.3 Justification

The following guidelines were developed to allow for the better utilization and redevelopment of parcels within residential neighbourhoods and ensure that development occurs in a manner that retains the desirable physical characteristics of a neighbourhood.

Infill housing represents an important component of the housing spectrum. Because infill housing represents new development that is located within the context of an existing residential neighbourhood, it is important that there is harmonious compatibility between the form and character of the new development and the existing development

19.4 Exemptions

The following do not require a development permit:

1. Additions or renovations to, or the construction of, one single-unit dwelling (excluding infill units) situated on a fee simple parcel where the floor area of the addition does not exceed 10 percent of the ground floor area of the dwelling;
2. Additions or renovations to any two-unit dwelling where the floor area of the addition does not exceed 10 percent of the ground floor area of the dwelling; and
3. Construction of buildings or structures less than 10 square meters in area.

19.5 Guidelines - Duplex Housing

1. Design to be consistent with and preserve the proportions and patterns of existing residential buildings in the immediate vicinity, including the wall-to-window area ratios and the amount and type of open space provided.
2. Where it is not possible to achieve buildings of similar size and proportion to the surrounding residential buildings, the fronts of the buildings should be designed to create the appearance of smaller structures either by staggering the dwelling units or visually breaking up the façade with architectural detailing.
3. Innovative and creative site-specific two-unit dwellings are encouraged where yard space is maintained either on the ground or as rooftop gardens. Setbacks to the street may be reduced to maximize property use.
4. Front to back duplexes are generally discouraged unless they can be designed to eliminate negative impacts to the immediate neighbours such as shading of gardens, overlook of outdoor amenity areas and violation of privacy.
5. Side by side, up and down, or staggered unit configurations are preferred as these result in a greater number of units facing the street, less disruption of privacy, and a more equitable division of outdoor amenity areas between the two dwelling units.
6. The use of exterior building materials similar to those used in older residential neighbourhoods (i.e. combinations of wood, brick, stucco, and stone) is encouraged.
7. Rooflines of new development should relate in height, shape and pitch to existing residential buildings in the immediate area. For corner sites, the building design should avoid having large unbroken sloped roof areas facing the street.
8. To create interest in the façade of the buildings facing the street, the incorporation of architectural elements such as bay windows, covered porches, verandas and prominent front doors is encouraged.
9. Buildings should be designed to minimize visual intrusion on to the privacy of surrounding homes. Some overlook of adjoining yards and neighbouring decks may be unavoidable; however, additional privacy should be achieved by inseting balconies, decks and patios into the building or by screening them with latticework or landscaping. Windows should be spaced so that they do not align directly with those of other buildings.
10. The height and massing of new two-unit dwellings should be designed to minimize the casting of shadows on to the private outdoor space of adjacent residential dwellings
11. A landscaping plan showing ground cover areas, planting beds, shrubbery and trees (both existing and proposed) is required. Landscaping should add to the aesthetic appeal of the streetscape as well as provide privacy between dwelling units.
12. The provision of private open space should be part of an overall site development and landscape plan and should take into consideration general site circulation patterns (including parking), existing landscape features, sun access, privacy and usability.
13. Retention and protection of trees and the natural habitat is encouraged where possible.

14. Parking areas, garages and driveways should appear as a minor component of the site when viewed from the street. The building of curving access roads and driveways helps to avoid views from the street of large expanses of paving. The use of shared driveways is encouraged.
15. The use of permeable and decorative surfacing materials, such as brick, concrete pavers, textured concrete, coloured paving or grasscrete is encouraged in place of solid expanses of asphalt or concrete.
16. Where possible, hydro meters should not be placed on the front façade of a building and, if placed in a manner which is visible from the street, will be appropriately screened by the owner in a manner not inconsistent with BC Hydro requirements.
17. Where an existing single-unit dwelling is being converted to a two-unit dwelling both the original structure and the addition shall be in the same architectural style and constructed of the same exterior finishes including roofing material, window treatments, exterior finishes, door styles and trims.
18. Roof styles and pitches of the original and new portions of the building must be complimentary.
19. For new or converted two unit dwellings, garages and parking areas are encouraged to be located in the rear yard. Shared driveways are preferred to access the rear yard.
20. Where two single lane driveways serve a two unit lot, landscaping features are encouraged between the driveways.

19.6 Guidelines - Single-unit Infill Housing

19.6.1 Relationship to Existing Houses

1. Where an existing single-unit residence is to be retained and a second residence placed on the parcel, the existing dwelling is to be upgraded and made to blend with the new construction.
2. Where two or more new separate dwellings are situated within a comprehensive development zone, the buildings shall be designed as part of a comprehensive scheme with all buildings being finished in complementary materials and incorporating similar architectural details.
3. Where new infill single houses are proposed, the design of the new houses should be complementary in scale, size, exterior finishes, rooflines, and colours to the predominant styles of housing in the neighbourhood. It is important to ensure that the new construction fits with the overall scale and character of existing houses.

The intent of this guideline is not to encourage the replication or imitation of surrounding buildings but rather the design of structures that complement the streetscape.

19.6.2 Massing

1. New structures should be designed so that the overall massing is in keeping with other single-unit residences in the immediate area. New structures for lots other than corner or double frontage lots should be limited to one and one half storeys.
2. New structures, which are two storeys in height, should be designed so that the second storey is partially concealed within the slope of the roof to minimize the height of the building. The use of dormers set into the roof is preferred to a flat roof or a peaked roof set over the second storey.

19.6.3 Privacy/Screening/Shadowing

1. Proposed infill dwellings should have only a minimal impact on adjacent homes and be separated from neighbouring residences by vegetation, screening, natural elevation differences, or a combination of these features.
2. Windows, decks and patios should be located so as to minimize intrusion on to the privacy of adjacent properties.
3. Infill dwellings should be sited to minimize the casting of shadows on to the private outdoor space of adjacent residential dwellings.

19.6.4 Landscaping

1. Proposals for single-unit infill housing must include a landscape plan showing hard landscaping (i.e., parking areas, fences, and patios) as well as lawns, trees, shrubs, planting areas and proposed plant species.
2. Retention and protection of trees and the natural habitat is encouraged wherever possible.

19.6.5 Private Open/Yard Space

1. Any proposal for single-unit infill housing should provide for usable, private outdoor areas for each dwelling, at grade.

20 DPA NO. 4: COMMERCIAL



20.1 Area

All lands designated Commercial on “Development Permit Areas Map” (Schedule “H”) are part of DPA No. 4.

20.2 Designation

Development Permit Area No. 4 is designated for the purpose of establishing objectives for:

- Section 488 (1)(d) – revitalization of an area in which commercial use is permitted; and
- Section 488(1)(f) – form and character of commercial development.

20.3 Justification

Traditionally, Esquimalt’s commercial areas have not been developed on the basis of a particular theme or concept. The design and form of commercial development has been rather haphazard and, as a result, the Esquimalt Village and other local commercial areas do not have the cohesiveness nor the attractiveness they could have.

When asked in a recent questionnaire to identify what they disliked most about Esquimalt, an overwhelming number of respondents identified the lack of a downtown commercial area, with appropriate shops and services, and the appearance of Esquimalt Road in the village core.

20.4 Exemptions

The following do not require a development permit:

1. Construction of buildings or structures less than 10 m² in area; and
2. Minor additions to existing structures where the floor area of the addition does not exceed 10 percent of the ground floor area of the structure.

20.5 Guidelines

1. Facades should be appropriate to a pedestrian shopping area with windows facing the street and doors opening on to the street rather than on to a courtyard or laneway.
2. Ornamental lighting that not only highlights the building but also increases the amount of light falling on to pedestrian areas should be used wherever possible. However, lighting should not create unnecessary glare or shine directly into neighbouring residential properties.
3. Buildings should be designed and sited to minimize the creation of shadows on public spaces.
4. Where possible, weather protection (i.e. awnings and canopies) should be provided above all pedestrian walkways including walkways to on-site parking areas.
5. Off-street parking areas should be located either at the rear of commercial buildings or underground. Surface parking should be screened with landscaping. Large parking areas should contain additional islands of landscaping.
6. The design of new commercial buildings, including areas used for parking, should incorporate Crime Prevention Through Environmental Design (CPTED) principles.
7. Buildings may be located at the front property line in order to create a pedestrian-oriented environment, except where vehicle visibility is affected and on those streets that have been identified as requiring future road widening.
8. Landscape screening and fencing should be located around outdoor storage areas and garbage and recycling receptacles.
9. Retention and protection of trees and the natural habitat is encouraged wherever possible.
10. Where new development is to occur within Esquimalt's commercial core, that development should add to the pedestrian appeal and overall appearance of the street through features such as easily accessible entrances, street furniture and public art, landscaping and attractive exterior finishing materials.



21 DPA NO. 5: BUSINESS



21.1 Area

All lands designated Industrial on “Development Permit Areas Map” (Schedule “H”) are part of DPA No. 5.

21.2 Designations

Development Permit Area No. 5 is designated for the purpose of establishing objectives for the form and character of:

- Section 488.1(1)(f) – form and character of industrial development.

21.3 Justification

The Devonshire/Viewfield Road Business area is surrounded by residential neighbourhoods. In order to ensure that any future development in this area is undertaken in a manner that will be compatible with the surrounding residential uses, it is desirable that new development incorporates a sympathetic form and character.

1. To encourage environmentally friendly light industry in the Devonshire/Viewfield business park; and
2. To encourage revitalization and enhancement of the existing business areas.

21.4 Exemptions

The following do not require a development permit:

1. Construction of buildings or structures less than 10 square meters in area; and
2. Minor additions to existing buildings where the floor area of the addition does not exceed 10 percent of the ground floor area of the building.

21.5 Guidelines

1. Buildings should be designed to minimize the intrusion into the privacy of existing surrounding homes.
2. Buildings should be located to avoid casting shadows on to adjacent residential properties.
3. Outdoor storage and parking areas will be screened by berms, fences, landscaping or solid noise-absorbing barriers or a combination of these methods. Landscaping should also be incorporated within the parking areas to “break up” large expanses of pavement.
4. Retention and protection of trees and the natural habitat is encouraged wherever possible.

22 DPA NO. 6: MULTI-FAMILY RESIDENTIAL



22.1 Area

All land designated Multi-Unit Residential on “Development Permit Areas Map” (Schedule “H”) are part of DPA No. 6

22.2 Designation

Development Permit Area No. 6 is designated for the purpose of:

- Section 488(1)(e) – establishment of objectives for the form and character of intensive residential development; and
- Section 488(1)(f) – establishment of objectives for the form and character of multi-family residential development.

22.3 Justification

This Plan emphasizes the importance of protecting residential neighbourhoods and encouraging a high quality of construction for new development. It is essential that new multi-unit residential development not have a negative impact on, or be out of character with, existing residential neighbourhoods. The primary objective of Development Permit Area No. 6 is to ensure that the development of multi-unit residential sites is compatible with surrounding uses.

22.4 Exemptions

The following do not require a development permit:

1. Construction of buildings or structures less than 10 m²;
2. Minor additions to existing dwellings where the floor area of the addition does not exceed 10 percent of the ground floor area of the dwelling; and
3. Placement of signs less than 1.5 m² in size.

22.6 Guidelines

The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.

1. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.
2. High-density multi-unit residential buildings or mixed commercial/residential buildings in commercial areas should be designed so that the upper storeys are stepped back from the building footprint, with lower building heights along the street front.
3. Landscaping should emphasize the creation of an attractive streetscape, as well as provide privacy between individual buildings and dwellings, screen parking areas and break up large expanses of paving.
4. Surface parking areas in developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.
5. Underground parking will be provided for any multi-unit residential buildings exceeding four storeys.
6. The retention of public view corridors, particularly views to the water, should be encouraged wherever possible.
7. To preserve view corridors and complement natural topography, stepped-down building designs are encouraged for sloping sites.
8. Retention and protection of trees and the natural habitat is encouraged wherever possible.
9. Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.
10. Site lighting should provide personal safety for residents and visitors and be of the type that reduces glare and does not cause the spillover of light on to adjacent residential sites.

23 DPA NO. 7: ENERGY CONSERVATION & GREENHOUSE GAS REDUCTION



23.1 Area

Land within the municipal boundaries of the Corporation of the Township of Esquimalt.

23.2 Designation

Development Permit Area No. 7 – is designated for:

- Section 488 (1)(h) – energy conservation; and
- Section 488 (1)(j) – GHG emissions reduction.

23.3 Justification

The Province of British Columbia has legislated greenhouse gas targets and requires the cooperation of local governments to achieve them. As part of its pledge to the Community Climate Action Charter, Esquimalt set its own target to reduce greenhouse gas emissions by 38% of 2007 levels by 2030; with the eventual goal of progressing towards carbon neutrality.

The objectives in this DPA will:

- Encourage a shift in practice and behavior to accelerate a reduction in fossil fuel dependence;
- Support reductions in energy consumption in buildings, and reduced maintenance costs through the use of durable building materials; support the best use of existing infrastructure and minimizing the need for system capacity expansion and extension;
- Encourage and support innovation in redevelopment, siting and design;
- Deliver neighbourhoods that support residents physical and mental health with long-term livability, including walkability;
- Consider the long-term comfort of building occupants in design decisions;
- Create neighbourhoods and buildings that respect, serve, and support the needs of all economic classes;
- Build neighbourhoods that support transit, walking and other forms of active transportation;

- Support the construction of new buildings that contribute to those neighbourhoods where people are delighted to live, work, walk and play;
- Support development to have a positive impact on the biosphere, community resilience and residents' health.

*"The average Canadian tree will sequester 200 kg of carbon in an 80 year period, in an urban environment".
(Tree Canada Foundation)*

23.4 Exemptions

1. Minor alteration/ addition to the exterior of a building. For the purpose of this section, "minor" is defined as a change which does not:
 - Increase the lot coverage by the lessor of 5% of the parcel or 50 m² (based on the site coverage of all buildings and structures);
 - Increase any bylaw non-conformities;
 - Comprise an addition of more than 50 m² of gross floor area; or
 - Require a Development Permit for 'Form and Character.'
2. Landscaping.
3. Installation of temporary tent/carport structures intended to be used for less than one year.

23.5 Guidelines

The expertise of qualified environmental professionals (retained by applicants), is strongly encouraged and may be required in certain circumstances.

23.5.1 Siting of buildings and structures

Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent to usable outdoor open spaces.
3. In commercial/residential designated areas with taller developments, vary building heights to strategically reduce the shading on to adjacent buildings.
4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.
7. Provide intuitive pedestrian access to storefronts and businesses with site connectivity to nearby amenities and services to help promote walking and the use of other active transportation modes.

8. Provide usable outdoor amenities such as seating, food gardens, mini-libraries, and play spaces in semi-public areas to enhance the experience of walking and recreating in the neighbourhood.
9. In residential neighbourhoods, provide space for larger trees and a second row of street trees as this will enhance the pedestrian experience by lowering wind velocity at street level, reducing excessive heating at ground level and absorbing vehicle and other urban noises.

23.5.2 Form and exterior design of buildings and structures.

Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.
3. Place more windows on the south side of buildings to increase solar gain, and fewer/ smaller windows on the north side to minimize heat loss.
4. Use roof over-hangs, fixed-fins or other solar shading devices on south and west facing windows to reduce peak summer heat gain while enabling sunlight penetration in winter months.
5. Install adjustable overhangs above windows that can help control the amount of sun exposure in warmer months thereby reducing need for cooling.
6. Provide building occupants with control of ventilation; i.e. windows that open.
7. Skylights are discouraged as they decrease insulating values and can interfere with solar panel installation.
8. Use green (living) roofing to decrease heat island effect, improve insulation and reduced cooling costs for buildings – consider a 'biosolar' roof that combines a green (living) roof with solar power.
9. Install photo-voltaic roofing materials where the location is appropriate.
10. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.
11. Install greenhouses for growing food on rooftops where neighbourhood privacy and light intrusion concerns are mitigated.
12. Avoid heavily tinted windows or reflective glass which will diminish the natural daylighting of interior spaces, thereby requiring increased energy requirements for interior lighting.
13. In exposed marine locations select durable materials that will withstand weather and sea spray, to ensure low maintenance costs and infrequent replacement needs.

23.5.3 Landscaping

Where it is feasible:

1. Develop a front yard landscape design that is natural and delightful so residents do not need to leave the neighbourhood to experience nature.
2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

4. Use deciduous trees for landscaping along southern exposures, as they provide shade in the summer and allow more sunlight through in the winter.
5. Strategically place taller trees and vegetation on the south and west sides of buildings where there is more direct sun exposure.
6. Strategically place coniferous trees such that they can buffer winter winds.
7. As context and space allow, plant trees that will attain a greater mature size, for greater carbon storage; removal of healthy trees is discouraged as the loss of the ecosystem services provided by larger trees will take many years to recover.
8. Plant trees with a larger canopy cover along roadways and sidewalks, thereby providing shading of paved areas, lowering the heating of paved surfaces and reducing the wind velocities in these pedestrian areas.
9. Plant shorter and sturdier vegetation closer to buildings and other structures, and taller vegetation further away to avoid potential damage from strong winds blowing vegetation against buildings.
10. For commercial areas, strategically increase green space between buildings, allowing room for landscaped pathways to improve the pedestrian experience, promote walking, and provide for improved light penetration on to sidewalks.
11. For parking areas and along boulevard/ sidewalk edges; plant trees to provide shade, store carbon and reduce the heat island effect.
12. Install layers of compost and mulch to protect and improve soil health, nourish plant and tree growth and help sequester carbon dioxide on site, in the soil – avoid disturbing areas of natural soil.

23.5.4 Machinery, equipment and systems external to buildings and other structures.

Where it is feasible:

1. For external lighting:
 - Choose efficient low-energy and long life technologies;
 - Design lighting to reinforce and compliment existing street lighting;
 - Use motion-sensitive or solar-powered lights whenever possible;
 - Layer lighting for varying outdoor needs; and
 - Provide lighting systems that are easily controlled by building occupants.
2. Use heat pumps, solar panels, green (living) roofing or an innovative system to improve a building's energy performance.
3. Use durable, vandalism and graffiti resistant materials where neighbourhood surveillance may be limited.
4. Design for on-site heat recovery and re-use of water.
5. In commercial and industrial areas: design bicycle parking facilities to be inviting for cyclists. Locate bike racks near the main building entrance, with adequate lighting and weather protection.
6. In commercial areas, provide fast charge electric vehicle charging stations near locations that have quick customer turnover, and ensure the station is easily accessible, well lit, and visible from the public street.

7. Provide car sharing facilities that are well lit, available for residents, and easily accessed from the public street.

23.5.5 Special Features

Where it is feasible:

1. Select building materials that have been shown to have a high level of durability for the use intended.
2. Use wood for construction as a means to sequester carbon dioxide - North American grown and sustainably harvested wood is preferable for building construction.
3. Select local and regionally manufactured building products whenever possible to reduce transportation energy costs.
4. Reuse of existing buildings and building materials is encouraged.
5. Choose materials that have a high likelihood of reuse or recycling at end of life.

24 DPA NO. 8: WATER CONSERVATION



24.1 Area

Land within the municipal boundaries of the Corporation of the Township of Esquimalt.

24.2 Designation

Development Permit Area No. 8 is designated for:

- Section 488(1)(i) – water conservation.

24.3 Justification

Guidelines that conserve water also reduce energy use from treating and distributing potable water and treating wastewater, and help communities prepare for expected water shortages from climate change.

Urban areas have high water demands. Landscaping uses a considerable quantity of potable water. Stormwater can be either a burden on municipal infrastructure and local shorelines, or a resource used within the community to lessen water demand for landscaping.

The guidelines in this section are intended to implement the Township's sustainability objectives to develop a green economy and reduce the overall risks and impacts of climate change through:

- Reduced per capita water consumption in new developments;
- Better use of existing water system infrastructure and reduced need for system capacity expansion; create a positive impact on the natural environment and hydrological systems;
- Innovation in the use of stormwater to reduce landscaping water requirements; and
- Reduced impact on the stormwater management system from the over use of potable water for landscaping.
- Wise use of potable and stormwater to reduce energy consumption and costs associated with the treating and distribution of potable water;
- By making the best use of existing infrastructure, the need for system capacity expansion and extension can be reduced;

- Reduced potable water consumption which leads to reduced energy consumption associated with the treating of wastewater;
- The best use of existing infrastructure so that the need for system capacity expansion and extension can be reduced;
- Use of stormwater for landscaping to assist in the conservation of local water reserves; and
- Rain gardens, retention ponds, and bioswales that can provide value as an urban design element and provide a source of delight in a passive recreation environment, and enhanced wildlife habitat and biodiversity.

24.4 Exemptions

The following do not require a development permit:

1. Changes to landscaping that does not decrease the permeability of a property
2. A minor alteration/ addition to the exterior of a building. For the purpose of this section, “minor” is defined as a change which does not do any of the following:
 - Increase the lot coverage by the lessor of 5% of the parcel or 50 m² (based on the site coverage of all buildings and structures);
 - Increase any bylaw non-conformities; or
 - Comprise an addition of more than 50 m² of gross floor area.
3. Installation of temporary tent/carport structures to be used for less than one year.

24.5 Guidelines

The expertise of qualified environmental professionals (retained by applicants), is strongly encouraged and may be required in certain situations.

24.5.1 Building and Landscape Design

Where it is feasible:

1. Reduce the burden on built stormwater infrastructure by designing on-site retention systems to retain the first three centimetres (1.25”) of stormwater on site, per precipitation event.
2. Provide space for absorbent landscaping, including significantly sized trees on the site and by not allowing underground parking structures to extend beyond building walls.
3. Incorporate rainwater collection systems into roof design; consider using living roofs and walls as part of a rainwater collection system.
4. Incorporate rain gardens into landscaping and direct rainwater towards vegetated areas.
5. Intersperse paved surfaces with drought resistant vegetation that will provide shade on those surfaces and design the paved surfaces to drain into the vegetation.
6. Design landscaping with more planted and pervious surfaces than solid surfaces.
7. Direct stormwater towards adjacent public spaces, with rain gardens/ bioswales located on public property where it would benefit both the new development and the municipality and where it is deemed appropriate by municipal staff.

24.5.2 Landscaping - Select Plantings for Site and Local Conditions

Where it is feasible:

1. Retain existing native trees vegetation, and soil on site.
2. Plant species native to the Coastal Douglas-fir biogeoclimatic zone, as they are most suited to our climate and require little additional irrigation once established.
3. Consider shade, sunlight, heat, wind-exposure and sea spray, as well as water needs in the selection and placement of plant species.
4. Group plants with similar water needs into hydro-zones.

24.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Use pervious landscaping materials to enhance stormwater infiltration; permeable paving is preferable for surface parking areas.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.
4. Locate civil servicing lines along driveways and other paved areas, to lessen the disturbance of natural soils and loss of their natural absorption qualities.
5. Include a thick layer of leaf mulch in planted areas as a means to improve soil health and absorbency, and reduce evaporation.
6. Use good quality top soil and compost for the finish grading of disturbed areas to contribute to the water holding capacity of newly landscaped areas.
7. Choose bark mulches or woodchips for walking paths for enhanced absorption.
8. Plant at densities that will ensure vegetated areas have 100% plant canopy coverage after two full growing seasons. Consider that understory native plants are adapted to local climates, absorb seasonal soil moisture and reduce compaction due to foot traffic.

24.5.4 Landscaping - Water Features and Irrigation Systems

Where it is feasible:

1. Use automated high efficiency irrigation systems where irrigation is required.
2. Incorporate stormwater retention features into irrigation system design.
3. Use recirculated water systems for water features such as pools and fountains.
4. Install plantings and irrigation systems to the Canadian Landscape Standard.

25 DPA NO. 9: ENGLISH INN



25.1 Area

Lands legally described as PID: 023-009-331 Lot B Section 11 Esquimalt District Plan VIP60066 are designated as Development Permit Area No. 9 – English Inn.

25.2 Designations

Development Permit Area No. 9 is designated for the purpose of establishing objectives for:

- Section 488 (1)(d) – revitalization of an area in which a commercial use is permitted;
- Section 488 (1)(e) – form and character of intensive residential development;
- Section 488 (1)(h) – promoting energy conservation;
- Section 488 (1)(i) – promoting water conservation; and
- Section 488 (1)(j) – GHG emissions reduction.

25.3 Justification

These guidelines were developed to steward the design of development on the property known as the “English Inn” site at 429 Lampson Street in Esquimalt. The intent is to encourage new development to be sympathetic with, and a good neighbour to, both the existing heritage Samuel Maclure designed Manor House, known as Rosemead and the surrounding neighbourhood context, while providing opportunity for alternative massing solutions to accommodate market and building programmes. A key objective is a harmonious and sensitive development respectful of the Protected Property under Heritage Designation Bylaw 2807, including as described in the schedules thereto.

As a significant development project within the community this signature site has the potential to support Esquimalt’s target to reduce greenhouse gas emissions by 38% of 2007 levels by 2020; with the eventual goal of progressing towards carbon neutrality. Therefore, the guidelines support reductions in energy consumption in new buildings, and reduced long-term maintenance costs through the use of durable building materials.

Landscaping uses a considerable quantity of potable water. Stormwater can be a either a burden on municipal infrastructure and local shorelines; or a resource used on the property to lessen water de-

mand for landscaping. The intent is for the strategic retention of stormwater on this site.

The guidelines in this section are intended to support the Township's sustainability objectives to develop a 'green economy' and reduce the overall risks and impacts of climate change.

25.4 Exemptions

The following do not require a Development Permit:

1. Construction of buildings or structures less than 10 m² in area.

25.5 Guidelines

These guidelines are not intended to slavishly replicate the mock Tudor vocabulary of the original house, but rather listen to its basic form, texture, proportions and composition of elements on site. The guidelines are descriptive and are intended to be feasible to execute. The guidelines incorporate features to encourage the promotion of energy and water conservation and the reduction of greenhouse gases.

25.5.1 Landscape and Significant Features

Where it is feasible:

1. Respect the qualities of the existing topography, natural rock outcrops and related significant trees (especially in the southeast corner).
2. Respect significant trees through appropriate building siting and design.
3. Landscape designs should reflect the character defining elements of the Manor House site and should use plant species suited to local climate and incorporate drought-tolerant, native species and other xeriscaping techniques that minimize the need for landscape irrigation.
4. Any use of the site should respect the existing landscape features. The hard landscaping of the Manor House site (including but not limited to the pavilion, fountain, stonework and retaining walls) represent the formal landscaped gardens characteristic of a home of this stature and era.
5. All building siting and design should respect the site lines from outdoor spaces. Landscaping at the rear of the Manor House site has been developed to form a courtyard for use by the buildings occupants and guests, and forms an integral part of the building context.
6. Use of materials should reflect the high quality already established on the site. The landscaped areas of the Manor House site, including the formal gardens, fountains, pavilions, hardscaping and courtyards are an important part of the character of the site and any proposed design should be sympathetic to these elements and this character.
7. The property has many unique and mature plants and trees and any proposal should endeavour to reuse and incorporate this material on the site to the extent possible.
8. Fences as a part of the landscape should be of high quality material and the use of chain link fences should be avoided.

25.5.2 Access and Parking

Where it is feasible:

1. Retain and simplify the existing driveway from Lampson Street to access the heritage property and lands beyond. Widen the north driveway judiciously around significant trees.
2. Maintain the domestic scale and character of the driveway on to Lampson Street including unobtrusive low level lighting ; retain the existing stone gate posts.
3. Any surface parking, especially on the Manor House site, should be appropriately screened with landscaping and be designed not to detract from the character of the landscaping of the site. The use of permeable paving materials for parking areas is encouraged.
4. Incorporate appropriate stormwater management measures to ensure stormwater from the driveway infiltrates back into the ground to ensure no net runoff offsite.
5. Incorporate below grade parking, for the development site, to take advantage of the approximately one storey north/south cross fall across the site.
6. Avoid long open cut parking access ramps by accessing underground parking from the lower levels of the existing grade.
7. Appropriate bicycle and scooter storage should be provided in commercial and multiple-family buildings.
8. Commercial and multiple-family buildings should include provision for charging stations for electric vehicles where appropriate.

25.5.3 Energy and Water Conservation

Where it is feasible

1. Use green building standards and technology to reduce the environmental/ ecological footprint of development.
2. Use natural stormwater management techniques and measures to ensure that all stormwater is managed on the site with no net increase off site. It is a fundamental municipal requirement that all stormwater runoff be managed on site. This will substantially improve the existing condition.
3. Use of outdoor lighting on buildings or in the landscape should be designed to minimize light pollution and spillover on to neighbouring properties. All outdoor lighting should minimize wattage and be directed downward. Use of motion detectors and timers is encouraged.

25.5.4 Building Form and Character

Where it is feasible:

1. Break down building volumes into domestic sized increments.
2. Incorporate pitch roof language with dormers sympathetic to the heritage Maclure manor, reducing apparent building height and volume.
3. Consider relaxation of building setbacks where it can be shown that it is advantageous to building design and distribution of building mass and volume in relation to adjacent properties.
4. Respect significant trees through appropriate building siting and design.

25.5.5 Distribution of Building Volume

Where it is feasible:

1. Concentrate higher building volume towards the middle of the site and towards the easterly portions adjacent to the neighbouring DND property.
2. Keep building volumes lower towards the edges and composed as if made up of individual dwelling units, particularly towards the south. Massing towards the northern edges can typically accommodate another storey, since the English Inn site is a nominal level below the neighbours to the north.

25.5.6 Basic Building Volume and Roof Forms

Where it is feasible:

1. Employ basic building elements not much more than twice the bulk of the Manor House proper to create an overall composition whereby the whole reads as an assemblage of these parts.
2. Compose building elements to shape and define spaces between and within; not to exist as objects in space.
3. Employ a language of roof pitch typically to reflect that of the Manor House; to be inhabited within, not simply sit on top of habitable space.
4. Figuratively, pull the roof forms down around the occupied spaces.
5. Utilize dormers – pitched or single slope – to provide light and views from habitable space within the roof.
6. Utilize stepped down gables, or single pitch runoffs to further break down scale and create more intimate relationships with the ground. These elements can be used in succession.
7. Roof overhangs and window placement should be coordinated to provide cooling and shade during summer and solar access for passive heating in the winter.
8. Roof surfaces should be designed to accommodate solar energy collection devices. Skylights are discouraged, as a benefit of natural daylight penetration is not sufficient from an energy perspective, to outweigh their heat loss due to low insulation value.

25.5.7 Building Orientation and Access to Sunlight

Where it is feasible:

1. Buildings should be located, oriented and designed to facilitate the retention of passive solar heat (e.g. south facing windows), reduce heat loss and support natural ventilation.
2. Reduce energy consumption of electric lighting by maximizing opportunities for the distribution of natural daylight into a building's interior spaces (excluding the use of skylights).
3. Avoid the use of heavily tinted or reflective glazing that reduces solar heat gain but also reduces the penetration of light.
4. Placement and retention of deciduous trees is encouraged such that these trees provide summer-season shading, and winter-season solar access.
5. While respecting the importance of the existing character of the site's landscape character design of on-site landscaping should minimize shading impacts and the potential for solar thermal or photo-voltaic systems on the site and surrounding properties.

25.5.8 Windows – Types and Proportions

Where it is feasible:

1. Employ bay windows, bracketed in upper storeys, or stepped out on lower storeys to form decks off upper stories, to break down scale of end walls.
2. Employ basic window element having a vertical proportion – 1:1.4 – 1:2.2.
3. Vary size from floor to ceiling to vary small openings for secondary spaces.
4. Increase amount of transparency by stringing multiple units or by employing basic units at regular intervals.
5. Create horizontal strip glazing condition by exploring recurrent smaller units.
6. Break down scale and texture where appropriate with divided light muntins or zinc cam in double glazed units.
7. Large single well-proportioned sheets can be employed in conjunction with divided lites to capture views.

25.5.9 Renewable and Alternative Energy

Where it is feasible:

1. Support on-site renewable energy systems and technologies such as solar hot water, solar photo-voltaic, micro wind turbines and heat pumps.
2. Encourage on-site resource recovery through technologies where possible such as heat exchangers on ventilation and domestic water supply.

25.5.10 Materials Management

Where it is feasible:

1. Recycling infrastructure and facilities especially for organics is encouraged.
2. Building materials which are durable for the use intended should be sourced locally or regionally to reduce transportation requirements whenever possible and economic.
3. Reuse existing building and landscape materials on site where practical and economic.
4. Encourage construction waste diversion planning as part of the development process, including the identification of designated areas for the collection of recyclable materials.

26 DPA NO. 10: ESQUIMALT TOWN SQUARE



26.1 Area

Lands legally described as Lot 1, Section 11, Suburban Lot 40, Esquimalt District, Plan EPP32782 (PID: 029-349-311) are designated as Development Permit Area No. 10 - Esquimalt Town Square.

26.2 Designations

Development Permit Area No. 10 is designated for the purpose of:

- Section 488(1)(a) – protection of the natural environment, its ecosystems and biological diversity;
- Section 488(1)(d) – revitalization of an area in which a commercial use is permitted;
- Section 488(1)(e) - establishment of objectives for the form and character of intensive residential development;
- Section 488(1)(f) – establishment of objectives for the form and character of commercial and multi-family residential development;
- Section 488(1)(h) – establishment of objectives to promote energy conservation;
- Section 919.1(1)(i) – establishment of objectives to promote water conservation; and
- Section 919.1(1)(j) – establishment of objectives to promote the reduction of greenhouse gas emissions.

26.3 Justification

These guidelines were developed to steward the design of a mixed use development known as Esquimalt Town Square. The development needs to promote the revitalization of the Township's core area while being sympathetic to the surrounding land uses and built form and offering exemplary site and building design that incorporates the principles of urban ecology. In order to conserve energy and resources, the development should incorporate features that contribute to reduced consumption of water and energy.

26.4 Exemptions

The following do not require a Development Permit:

1. Alterations to landscaping as long as the form and character of the landscaping remains the same; and
2. Installation of public art.

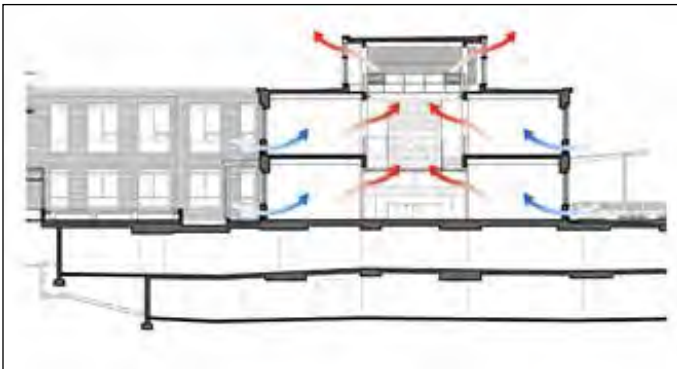
26.5 Guidelines



1. Buildings should be designed to capture passive solar energy.



2. Sun shading should be considered to control heat gain in the summer.



3. Design for on-site heat recovery, and plan for future, long-term neighbourhood heat-resource opportunities.



4. Manage rainwater on the site including reduction of burden on stormwater sewer infrastructure and cleaning for down-stream use.



5. Pollution management protocols (including sedimentation and oil- removal), as well as recycling programs should be followed during demolition, excavation and construction of the project.



6. Prioritize use of high quality, regionally sourced products & materials.



7. Where appropriate, make building uses visible from the outside.



8. Avoid mirrored or tinted glazing at the street level.



9. Locate clearly identified and weather-protected entrances to be accessible from public streets and squares.



10. Integrate pedestrian-oriented signage with frontages and facades.



11. Way-finding and commercial signage, lighting and weather protection (canopies, etc) should be part of the architectural design.



12. Orient upper-storey windows and balconies to overlook adjoining streets and public space.



13. Use architectural emphasis to define street corners.



14. Locate on-street parking, where possible, in front of shops.



15. Maximize glazing at grade along commercial streets. Provide sight-lines from inside buildings to allow for casual surveillance of open public spaces, streets and sidewalks.



16. Avoid excessively long blank walls adjacent to public streets.



17. Follow green building practices in energy and water conservation, greenhouse gas production, indoor air quality and material durability in all aspects of building and site design.



18. Provide for building occupants to overlook public streets, parks, walkways and spaces, considering security and privacy of residents.



19. Provide for slightly raised entrances to ground floor residences along with private yards that are accessible from the fronting street or lane to encourage community interaction.



20. Use of indigenous plant species is encouraged.



21. All buildings should be bird friendly.



22. All exterior lighting should avoid excessive stray light pollution and should meet International Dark-Sky standards.



23. Wherever possible, outdoor storage and parking areas should be screened from view.

27 DPA NO. 11: WEST BAY



27.1 Area

All lands outlined and indicated as “West Bay” (Schedule “H”) are part of DPA No. 11.

27.2 Designations

Development Permit Area No. 11 is designated for the purpose of establishing objectives for:

- Section 488(1)(a) – protection of the natural environment, its ecosystems and biological diversity;
- Section 488(1)(b) – protection of development from hazardous conditions;
- Section 488(1)(d) – revitalization of an area in which a commercial use is permitted;
- Section 488(1)(e) - establishment of objectives for the form and character of intensive residential development;
- Section 488(1)(f) – establishment of objectives for the form and character of commercial and multi-family residential development;
- Section 488(1)(h) – establishment of objectives to promote energy conservation;
- Section 919.1(1)(i) – establishment of objectives to promote water conservation; and
- Section 919.1(1)(j) – establishment of objectives to promote the reduction of greenhouse gas emissions.

27.3 Justification

The West Bay Neighbourhood is a neighbourhood with unique characteristics that is under increasing development pressure. In order to retain the form and character of the neighbourhood while at the same time allowing redevelopment to occur, a set of robust design guidelines is required. In addition, the neighbourhood’s coastal location means that there is potential harm to ecosystems which can be mitigated through the judicious use of guidelines. Redevelopment also offers opportunities to conserve energy and water and reduce greenhouse gas emissions. Finally, due to its adjacency to a marine environment, it is subject to hazards associated with tsunamis and sea level rise.

27.4 Exemptions

All exemptions in underlying development permit areas apply.

27.5 Guidelines

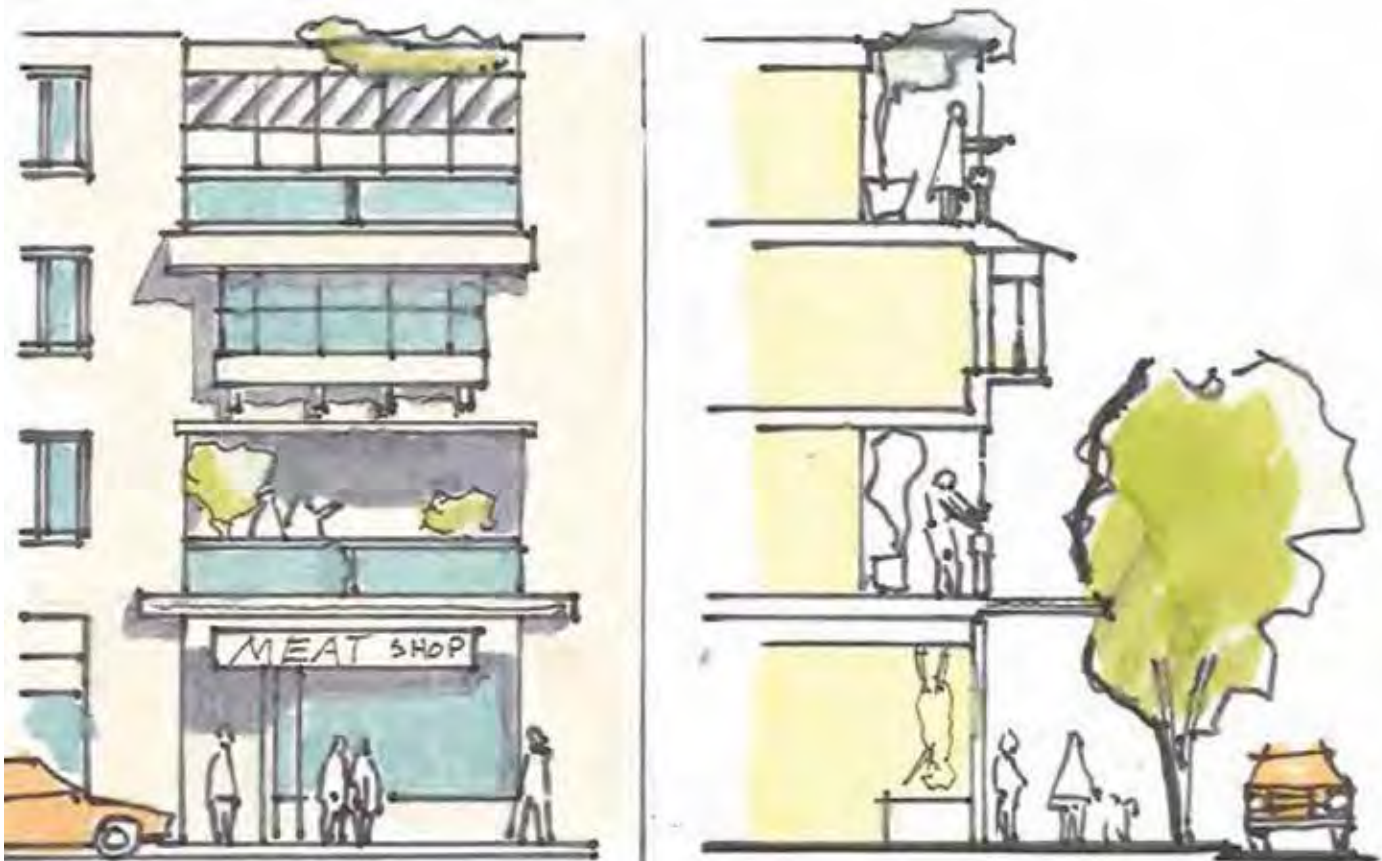
Commercial and Mixed-Use Buildings

1. Locate publicly oriented active uses at grade and at or near the sidewalk edge.
2. Incorporate transparent shop-front windows, frequent entrances, weather protection and pedestrian oriented signage into ground floor facades.
3. A signage and lighting program for any commercial development should be designed as a totality with signs, lighting, and weather protection architecturally integrated from the outset.
4. Provide pedestrian access to storefronts and businesses from the adjacent public street and orient upper-storey windows and balconies to overlook adjoining public open spaces.

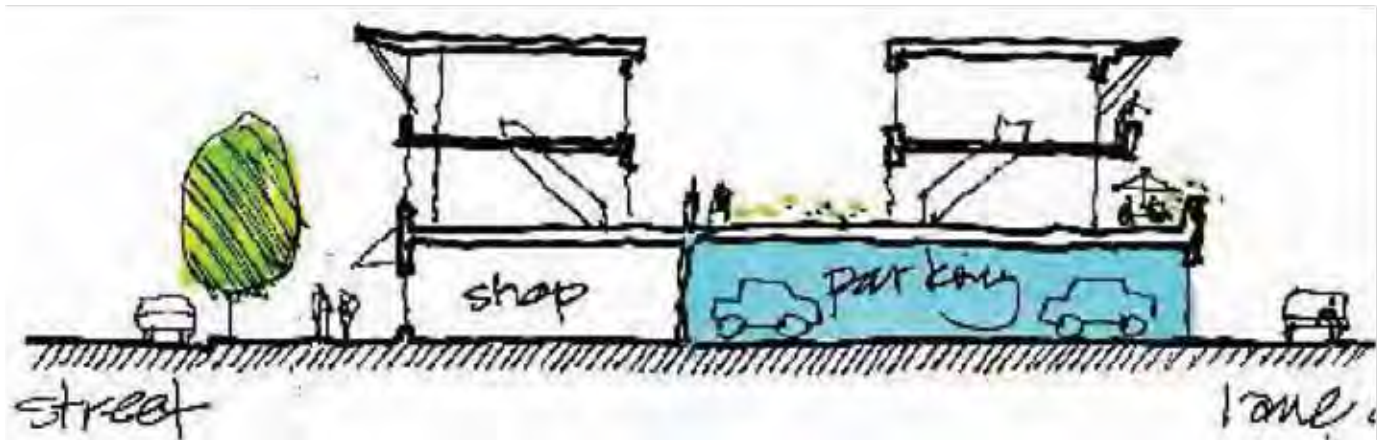


Active uses oriented to public streets and open spaces creates vibrant and attractive neighbourhoods (above).

5. On corner sites, develop street-facing façades for both streets. Design front elevations with pronounced entrances oriented to the corner and/or primary streets.
6. Avoid locating off-street surface or structured parking adjacent to active public streets and open spaces. Locate off-street parking behind or underneath buildings. Laminate or wrap any above ground structured parking with active (residential or commercial) uses to buffer structured parking from public open spaces.
7. Achieve a minimum glazing area of 75% for frontages at grade along all commercial streets. Clear site lines from inside buildings to open public spaces should allow for casual surveillance of the street and sidewalk, and store interiors should be visible from the street.
8. Incorporate frequent entrances into commercial frontages facing public streets with a desired maximum spacing of 10 m.



Frequent entrances along the street and upper storey balconies overlooking public open spaces adds to street vitality.



A shop front buffers public space from above ground structured parking.



Orient active frontages towards streets.



On corner sites, develop street-facing façades for both streets.

Photo: Joaquin Karakas

9. Recessed entrances to buildings from the sidewalk or property line are encouraged in order to provide for door swings, to protect the entrance from rain or snow, and to emphasize building entrances.
10. Incorporate plantings, attractive lighting, signage, paving details, furnishings, street trees and other landscape details to create a comfortable, attractive, unique and well defined public realm.



Transparent shop fronts with lots of glazing and frequent entrances help create a welcoming and attractive streetscape.



Paving details, pedestrian oriented signage, furnishings and other landscape details add character.

11. Avoid expansive blank walls (over 5 m in length) and retaining walls adjacent to public streets. When blank walls and retaining walls are unavoidable, use an appropriate design treatment, such as the following:

- Install a vertical trellis in front of the wall with climbing vines or other plant material.
- Set the wall back slightly to provide room for evergreens and conifers to provide year-round screening.
- Provide art (a mosaic, mural, relief, etc.) over a substantial portion of the wall surface.
- Employ quality materials of different textures and colours to make the wall more interesting visually.
- Provide special lighting, canopies, awnings, horizontal trellises or other human-scale features that break up the size of the blank wall surface and add visual interest.
- Incorporate walls into a patio or sidewalk café space.
- Terrace (step down) retaining walls.



Incorporate plantings and other landscape details such as banners.



When unavoidable, blank walls should be screened with landscaping or through incorporation of a patio cafe or special materials to make it visually more interesting.



Residential Buildings

1. Site and orient multi-plex, townhouse and apartment buildings to overlook public streets, parks, walkways and communal spaces, while ensuring the security and privacy of residents.
2. Incorporate individual entrances to ground floor units in residential buildings that are accessible from the fronting street. This provides easy pedestrian connections to buildings, encourages street activity and walking, and enhances safety.
3. Residential entries should be clearly visible and identifiable from the fronting public street to make the project more approachable and create a sense of association amongst neighbours.
4. Emphasize front doors by incorporating a front patio or stoop and orienting front entryways prominently towards public streets and open spaces.
5. Incorporation of a semi-elevated front entry way (1 m - 1.5 m) is encouraged to create a semi-private entry or transition zone to individual ground floor units. For these units, ensure an alternate access point that is accessible by wheelchair.



Incorporate a front patio or stoop to create street activity and association among neighbours.

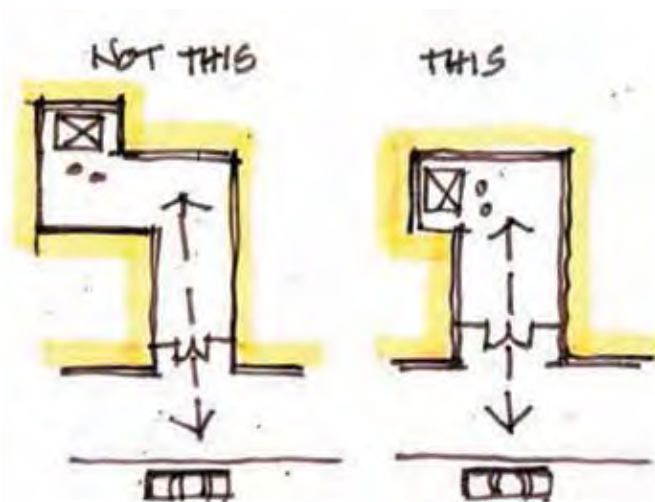
6. Locate off-street surface parking behind or underneath buildings. Off-street surface parking located between the front of the building and the public sidewalk or adjacent to other public open spaces is strongly discouraged and should be avoided. When parking is accessed from the fronting public street, recess parking garages and entrances from the front face of buildings.
7. A landscaped transition zone in between the entryway and public sidewalk should be considered on streets with high traffic volumes.
8. Apartment lobbies and main building entries should be clearly visible from the fronting street with direct sight lines into them. Where possible, apartment lobbies should have multiple accesspoints to enhance building access and connectivity with adjacent open spaces.



Locate off-street parking behind or underneath buildings, but never between the front face of a building and the fronting public street.



Consider using landscape transition zone between entryways and public sidewalks.



Direct sight lines into elevator lobbies are safer.

Visual & Physical Connections to the Harbour

1. Physical and visual connections to landmark buildings, landscape features, the harbour, seascape, and other surrounding natural features are important components of West Bay's character and identity and therefore should be preserved and enhanced.
2. New development and landscaping should frame rather than block public views of parks and openspaces, natural features, prominent buildings, public art and the harbour.
3. Locate and design buildings to preserve public street-end views (and where possible private views) to the harbour.
4. Where possible, create new public connections to harbourfront uses and activities at the waters edge, specifically Sailor's Cove, Hidden Harbour, and West Bay Marina.
5. Mark/celebrate corners and street-end views through building and open space design.
6. Water access and views to the West Bay harbourfront and upland neighbourhood from the water are equally important elements of West Bay's identity. Therefore future development must consider visual and physical connections to the neighbourhood from the water in considering future development.
7. New development adjacent or near to the harbourfront should respond to relevant sections of the the provincial "Flood Hazard Area Land Use Management Guidelines."



Maintain street-end views to the harbour-front



Create new public connections to harbour front uses and activities.

Neighbourliness

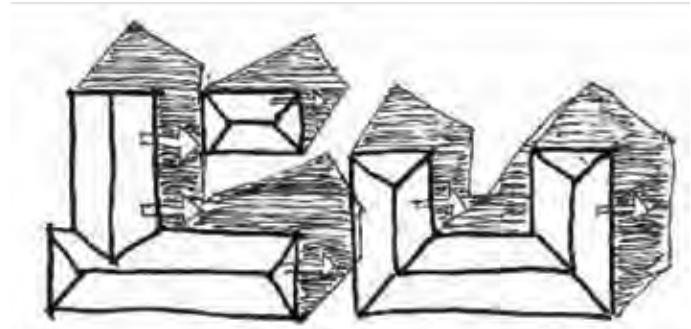
Buildings should respect adjacent properties by siting and designing new development to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings, and by ensuring buildings are sited to compliment the type, scale and use of adjacent buildings.

1. New projects should provide a sensitive transition to nearby, less intensive zones or areas with different uses. Projects on zone edges should be developed in a manner that creates a step in actual or perceived height, bulk and scale between the anticipated development potential of adjacent zones.
2. Buildings and groups of buildings should step down to be similar in height to adjacent buildings. This allows for an effective transition in scale and adequate sunlight penetration into open spaces and adjacent properties.
3. In a mixed use project adjacent to a less intensive zone, the more compatible use and building type should be sited near the zone edge.

4. Face similar uses across the street and at compatible scales; avoid building scale differences of more than 2 storeys across streets.
5. Locate development to minimize view impacts on existing and planned future development.
6. Buildings should be positioned and scaled to minimize the impact of shadows on adjacent open spaces, buildings, and within the project.

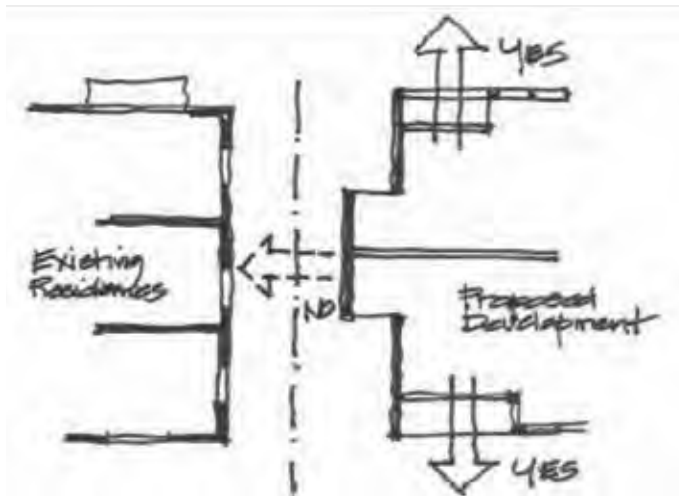


Transition in scale to existing context.



Sun shade analysis and diagrams help determine the siting of buildings to minimize overshadowing of adjacent open spaces and building.

7. Locate open space (plazas, parks, patios, cafes, etc.) south of permanently shading structures.
8. Locating off-street surface parking in front of buildings, at prominent corners or intersections, immediately adjacent to public sidewalks and open spaces, and other public oriented active open spaces is strongly discouraged and should be avoided.
9. Minimize impacts from sloping sites on neighbouring development. Examples of treatments to minimize impacts include using terraced retaining walls of natural materials, or stepping a building to respond to the slope.
10. Views from upper stories of new buildings should minimize overlook into adjacent private yards, especially in less intensive areas. Following are some strategies which can be used to achieve this guideline:
 1. Increase building separation so that the face of the building and hence the windows are setback farther from the property line.
 2. Take advantage of site design that reduces impacts by using, for example, an adjacent ground floor area for an entry court.
 3. Stagger windows to not align with adjacent, facing windows.
 4. Primary windows into habitable spaces should not face interior side-yards.



Protect privacy by placing primary (view) windows towards front and rear yards rather than interior side yards.



This building steps down to the slope to reduce the visual impact from its massing.



Minimize overlook into adjacent private yards.

Architectural Concept: Achieving a Human Scale

Overview and Intent

These are general guidelines for architecture and are not intended to be prescriptive, but rather to encourage flexibility and innovation in building design and character. The overall intent is to create buildings and other structural elements that are scaled to the pedestrian, encourage pedestrian activity and welcome users.

Human Scale

Achieving human scale refers to the use of architectural features, details and site design elements that are of human proportion and clearly oriented for pedestrian activity. A building has good human scale if its details, elements and materials allow people to feel comfortable using and approaching it.

Building Articulation

Many street frontage design elements, both horizontal and vertical, help to create an interesting and welcoming streetscape. These include building materials, special ground floor design treatments, façade modulation, corner treatments, building step-backs for upper storeys and façade elements such as window treatments, building entries and other architectural details. All of these help define the public realm as a welcoming place.



Human scale elements and building articulation arranged in modern composition.

General Guidelines

1. The design of new buildings and renovated existing buildings should express a unified architectural concept that incorporates both variation and consistency in façade treatments (for example, by articulating façades into a series of intervals).
2. Design buildings to express their internal function and use.
3. Incorporate into building façades a range of architectural features and design details that are rich and varied to create visual interest when approached by pedestrians. Examples of architectural features include:
 1. Building height, massing, articulation and modulation;
 2. Bay windows and balconies;
 3. Corner features accent, such as turrets or cupolas;
 4. Decorative rooflines and cornices;
 5. Building entries; or
 6. Canopies and overhangs.

Examples of architectural details include:

1. Treatment of masonry (ceramic tile, paving stones, brick patterns, etc.);
2. Treatment of siding (for example, the use of score lines, textures, and different materials or patterning to distinguish between different floors);
3. Articulation of columns and pilasters;
4. Ornament or integrated artwork;
5. Integrated architectural lighting;
6. Detailed grilles and railings;
7. Substantial trim details and moldings; or
8. Trellises and arbors.



Incorporation of a range of architectural details and features make this mixed-use building attractive when approached by pedestrians.

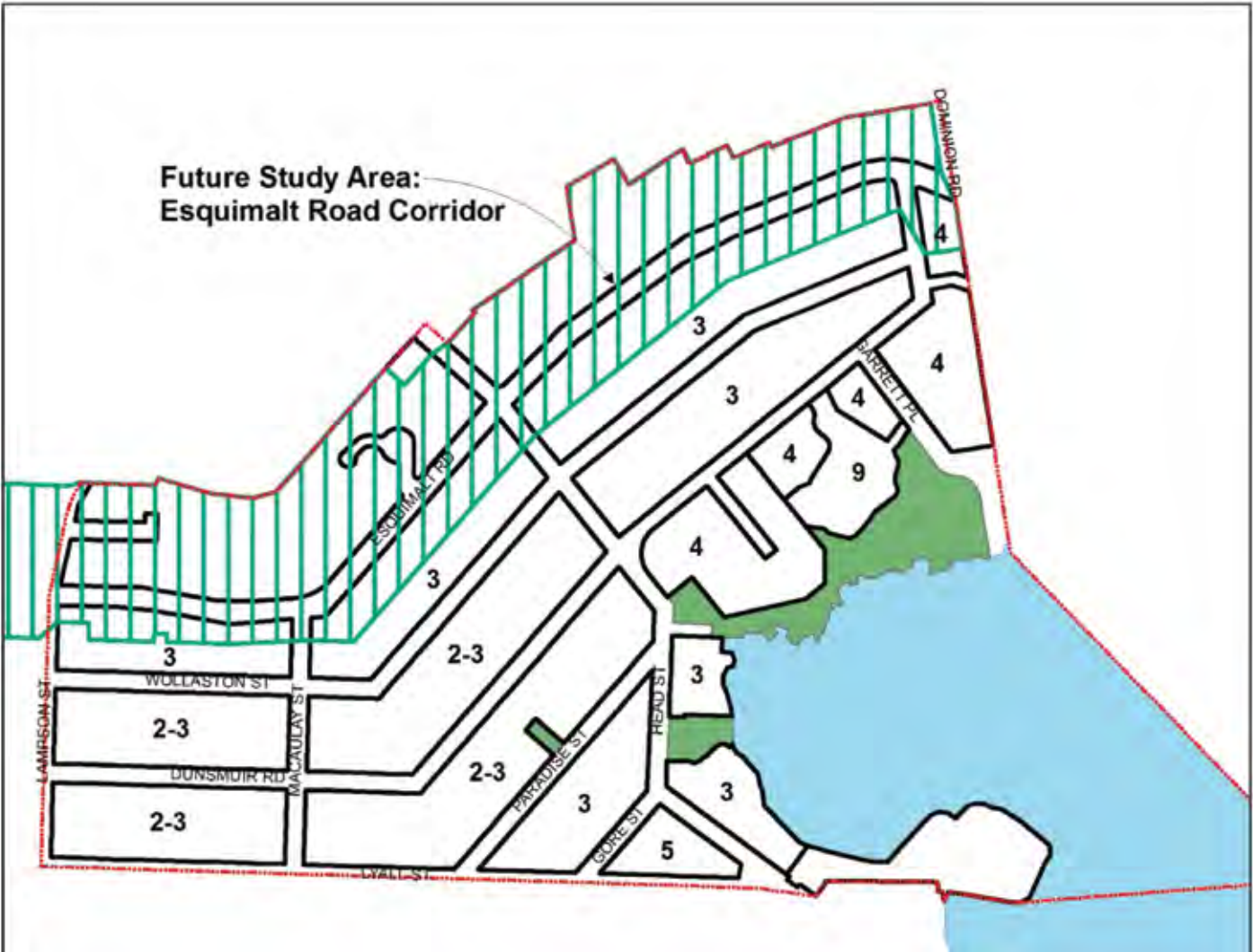
4. Locate and design entrances to create building identity and to distinguish between individual commercial and residential ground floor units. Use a high level of architectural detail and, where appropriate, landscape treatment to emphasize primary entrances and to provide “punctuation” in the overall streetscape treatment.
5. Design balconies as integral parts of buildings and to maximize daylight access into dwellings through the use of glazed or narrow metal spindle guardrails.
6. Clearly distinguish the roofline from the walls of buildings (for example, through the use of a cornice, overhang, or decorative motif).
7. Windows can be used to reinforce the human scale of architecture by incorporating individual windows in upper storeys that:
 1. Are vertically proportioned and approximately the size and proportion of a traditional window;
 2. Include substantial trim or molding;
 3. Are separated from adjacent windows by a vertical element;
 4. Are made up of small panes of glass; or
 5. Are separated with moldings or jambs but grouped together to form larger areas of glazing.
8. The use of figured or frosted glass or tinted glazing is discouraged for windows facing the street except for compatible use of stained glass or where figured or frosted glass comprises a maximum 20% of the glazing. This creates a welcoming, visually interesting and transparent street frontage.
9. In general, new buildings should incorporate natural building materials into façades to avoid a “thin veneer” look and feel, and combined with more modern treatments, such as glass, concrete, and steel.
10. Vinyl siding, large expanses of stucco, swirl type stucco, and vinyl for window frames are generally discouraged.



Design entrances to distinguish between individual commercial and residential.

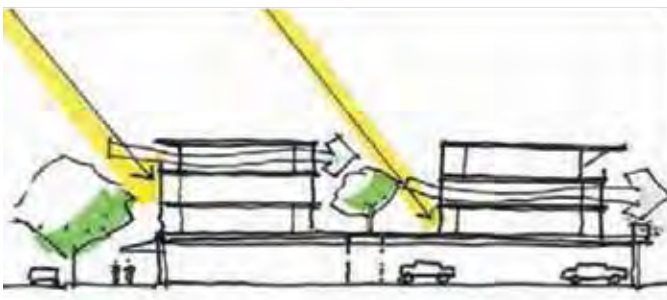
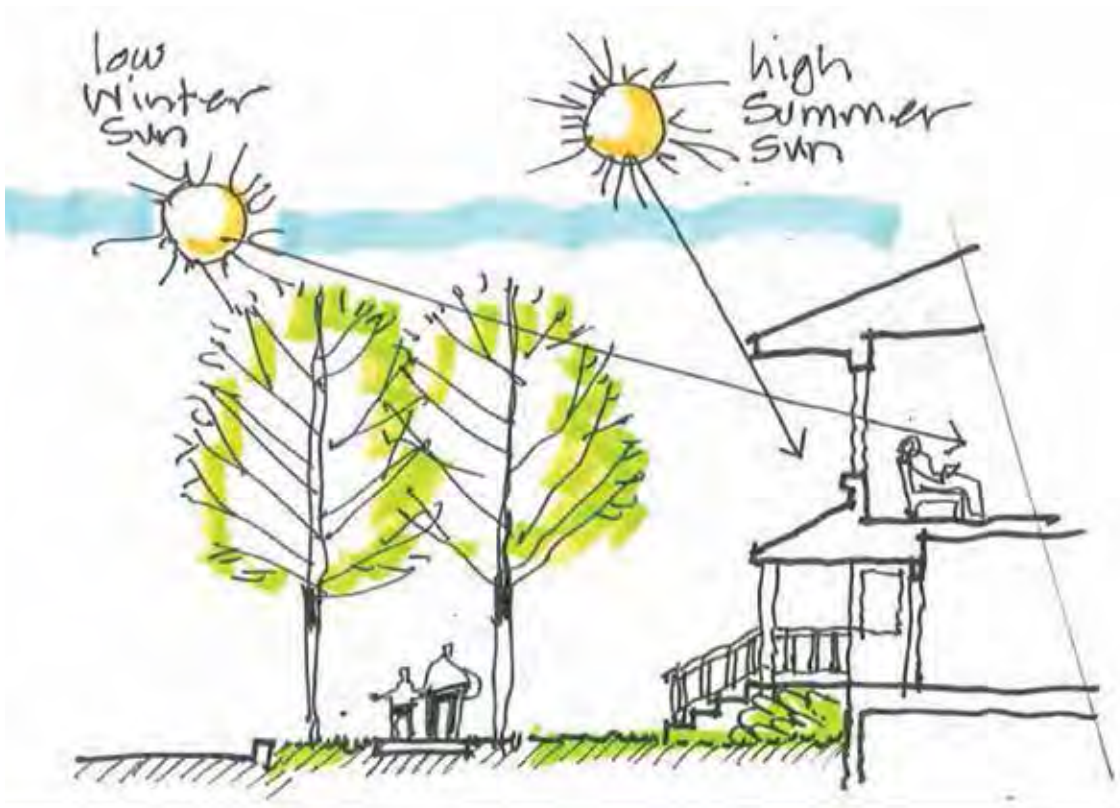
Height

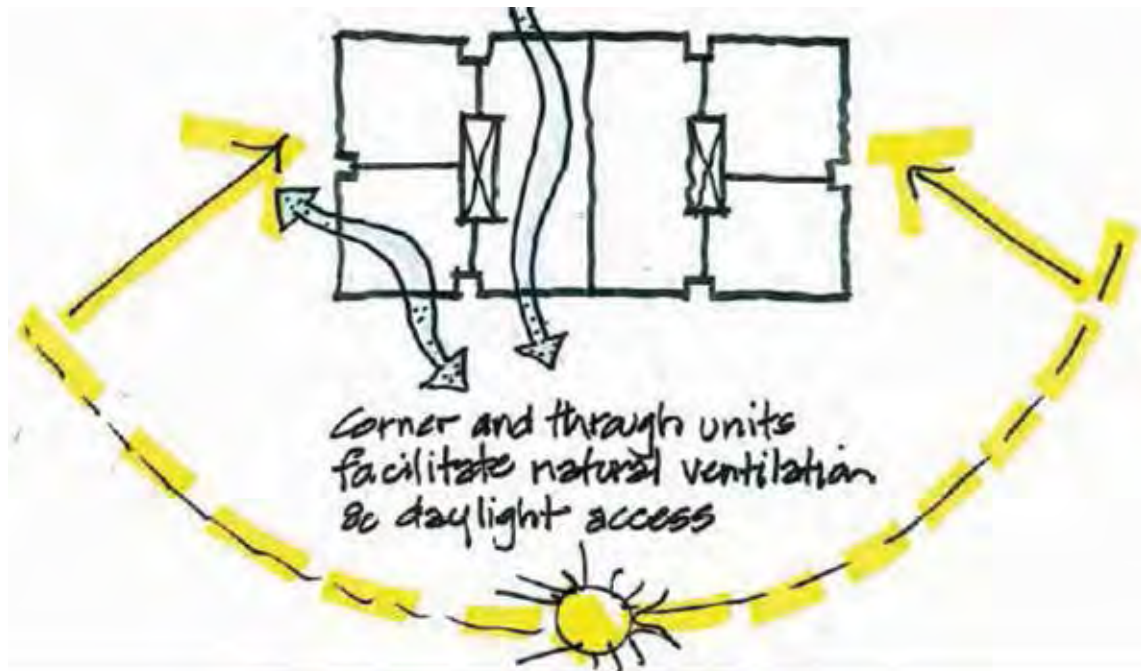
Note that the heights shown are storeys and are guidelines. They are not height regulations.



Green Healthy Buildings and Open Spaces

1. Building design and site planning should reduce the overall “ecological footprint” (energy use, waste, and pollution) of new development while also maximizing livability. This can be achieved by maximizing passive lighting, heating and cooling, providing usable outdoor amenity spaces and being responsive to the existing ecosystems and natural context.
2. Design residential buildings to receive daylight and natural ventilation from at least two sides of the building, or from one side and a roof. Where possible, dwellings should have a choice of aspect: front and back, or on two sides (for corner units).
3. Dwelling units with exterior access on only one side should always face a good view or the direction of the sun (ideally both) and are most suitable as wide frontages with shallow floor plans to allow adequate penetration of daylight.



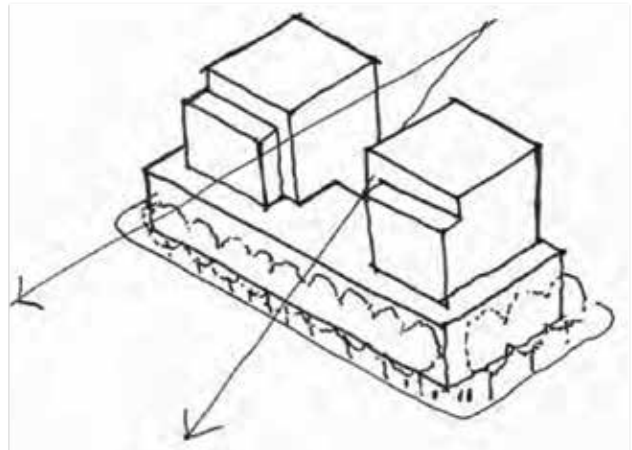


Incorporate common areas as defining elements of projects.

4. New buildings should not block significant views or solar access to adjacent buildings and open spaces.
5. Incorporate courtyards, greenways, gardens and other common areas as defining elements of projects.
6. Where at-grade space is limited, rooftop patios, gardens and courtyards are encouraged.
7. Retention and infiltration best management practices for rainwater should be used as appropriate.
8. Residential buildings should incorporate direct access to a usable private outdoor space such as a patio, balcony, or upper level terrace.

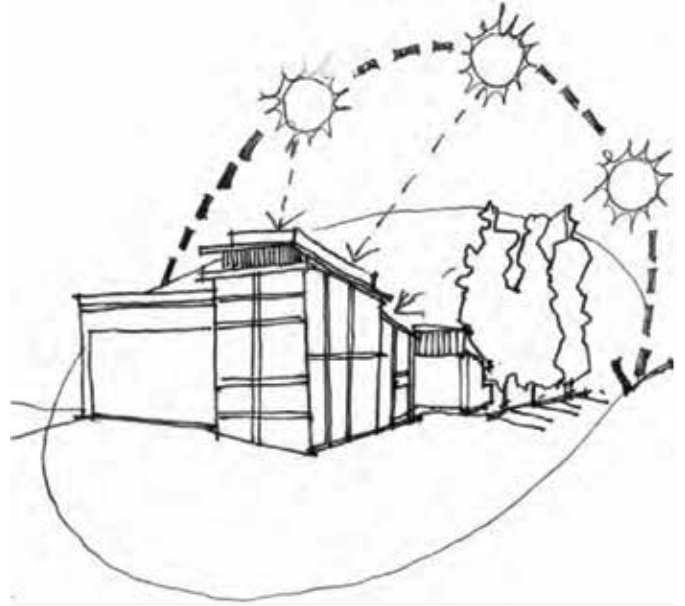


A landscaped pathway located adjacent to this residential building partially screens the lower floor units from the park (foreground) while also softening the building's appearance, helping to integrate it into the landscape.





Use best management practices for rainwater where appropriate.



Urban village High Street looking north-west at corner of Head and Lyall Street.



Urban village High Steet (Head Street South) looking south.



Looking north to harbour and urban village High Street



View towards urban village High Street from the harbour looking west.



View from future building looking south-east to harbour across urban village High Street and Captain Jacobson Park.



Head Street looking south towards Gore and Lyall.



Urban village High Street: conceptual siting, form and massing.



Urban village High Street: conceptual siting, form and massing.



Urban village High Street: conceptual siting, form and massing.

28 DPA NO 12: MCLOUGHLIN POINT



28.1 Area

Development Permit Area No. 15 applies only to Lot 1, Section 11, Plan EPP36468. PID 030-006-813.

28.2 Designation

Development Permit Area No. 15 is designated for the purpose of establishing objectives for:

- Section 488(1)(a) – natural environment, its ecosystems and biological diversity;
- Section 488(1)(b) – protection of development from hazardous conditions;
- Section 488(1)(d) – form and character, revitalization of area in which commercial use permitted;
- Section 488(1)(f) – form and character of industrial development;
- Section 488(1)(h) – energy conservation;
- Section 488(1)(i) – water conservation; and
- Section 488(1)(j) – GHG emissions reduction.

28.3 Justification

Site of a former oil storage facility, McLoughlin Point is an oceanfront site and a prominent entrance to Victoria Harbour. An objective is redevelopment of mixed uses, including revitalization when commercial uses are permitted, of impeccable design and cohesive operation, respecting adjacent DND lands as well as the broader communities. Public access from land and the water is encouraged, primarily for educational purposes. Water access recognizes the historic use of the land. Public access by land may be limited by DND.

As an oceanfront site, there are nearby natural habitat considerations worthy of protection and preservation, as well as enhancement of the subject property itself given the history of heavy industrial use. The subject property is susceptible to high winds, and high tides, including risk of tsunami and therefore development on the site must occur in a manner to protect it from these natural hazards, while respecting the need to do so in a manner that does not increase risks for other properties or harm the natural environment. The report “Modelling of Potential Tsunami Inundation Limits and

Run-up” for the Capital Region was completed by the Capital Regional District’s Local Government Emergency Program Advisory Commission; it identified risks for McLoughlin Point that the CRD has indicated it has been considering to date in its proposal for this site.

The CRD has also prepared and submitted a number of professional reports which identify special conditions at McLoughlin Point, including for a sewage treatment plant, and further justify designation to achieve objective both the CRD’s and Township’s objectives. These include but are not limited to the reports entitled:

“Core Area Wastewater Treatment Program McLoughlin Point Zoning Application, Township of Esquimalt McLoughlin Point Risk Assessment,” dated December 18, 2012 prepared by Stantec Consulting Ltd;

“Archaeological Review of the Proposed Capital Regional District McLoughlin Point Wastewater Treatment Facility,” dated January 2013 prepared by Tera Environmental Consultants;

“Capital Regional District Core Area Wastewater Treatment Program McLoughlin Point Wastewater Treatment Facility Traffic Considerations,” dated January 23, 2013 prepared by Bunt & Associates;

“Terrestrial Environmental Effects of the Proposed Capital Regional District McLoughlin Point Wastewater Treatment Facility,” dated January 2013 prepared by Tera Environmental Consultants; and

“Community Impact and Mitigation Report,” dated January 2013 and prepared by CitySpaces Consulting Ltd.

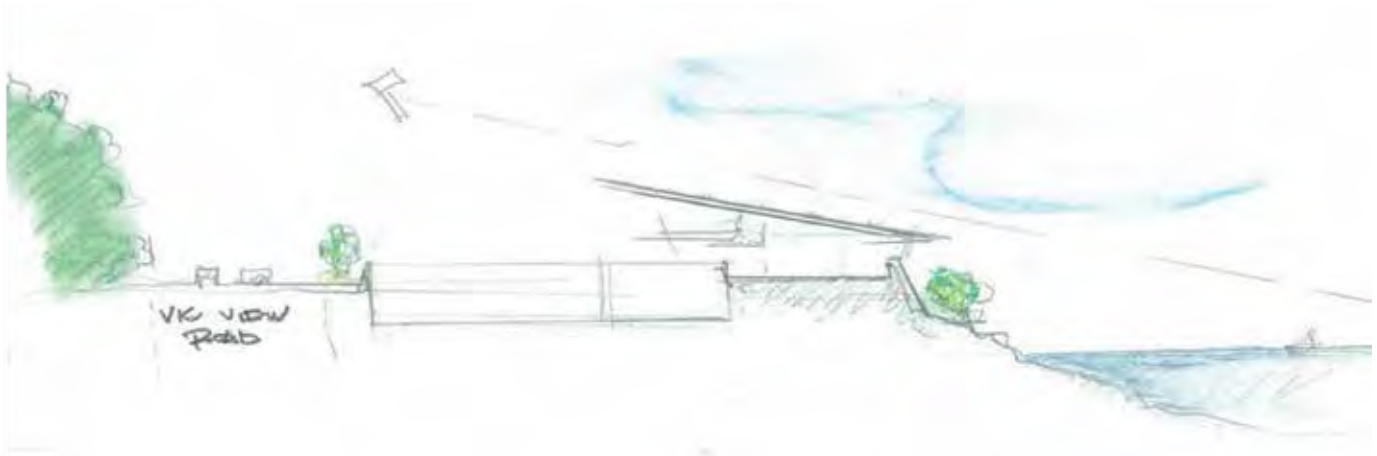
Prominent regional facilities should be models of energy and water efficiency and reduction of greenhouse gas emissions, and such is an objective of this development permit area. This is supported and/or required under the goals established pursuant to the 2007 Capital Region Community Energy Planning process.

28.4 Exemptions

There are no exemptions for McLoughlin Point except for 9.5.4(b)(iii).

28.5 Guidelines

1. Consider the establishment of an 8.0 m buffer from the high watermark.
2. Consider the establishment of a 4.0 m heavily landscaped buffer within the 8.0 m buffer to hide the building(s) on the site.
3. Consider stepping buildings back on the site with the lowest buildings (the tanks) located closest to the shore.
4. Consider the establishment of a seawall using as its design precedent, the convention centre in Seattle.
5. Consider the establishment of an historical interpretation program.
6. Consider the establishment of public access to the 8.0 m buffer area via a public dock.
7. Consider the incorporation of water features as public art within the design of the building.
8. Consider design and construction in a manner that mitigates environmental and human health impacts (in particular those related to odour and noise), and contributes to the visual quality and scenic beauty of the harbour entrance.
9. Any proposed buildings or structures must incorporate the findings of the “Modelling of Potential Tsunami Inundation Limits and Run-up” for the Capital Region that has been completed by the Capital Regional District’s Local Government Emergency Program Advisory Commission.



10. The treatment system will support environmental, social and economic sustainability, and be considered part of CRD climate action initiatives.
11. Wastewater should be treated as a resource and, wherever possible and practical, provide opportunities for resource recovery and reuse.
12. The McLoughlin Point facility should meet, or exceed the CRD's and the Township of Esquimalt's policies on sustainability and building excellence.
13. Acknowledge and plan for major tsunami events, climate warming effects, and post-disaster resiliency.
14. Incorporate durable, long-lasting, and timeless materials and design strategies.
15. Respect view impacts from all sides, and from above.
16. Incorporate designs that, while respecting the site, ensure the highest standards of materials and workmanship, and are aesthetically pleasing.
17. Incorporate public art into the design.
18. Where feasible, design for on-site heat recovery, and plan for future, long-term, neighbourhood, heat-resource opportunities.
19. Incorporate a green roof system into the Operations and Controls building and other buildings, where appropriate.
20. While much of the site is impervious rocky shoreline, where possible, introduce methods to clean and reduce stormwater runoff, incorporate rain gardens, and consider practical ways to re-use water.
21. Restrict impact on the shoreline, except for those areas where wastewater lines enter or exit the treatment plant.
22. Building forms should respect the site.
23. Wall elements, relating to tsunami and associated catastrophic event protection, such as stepped walls that incorporate angled features, projections, wall terraces, and textures, should reflect the character of the rocky shoreline.

24. The design must demonstrate how the buildings and structures will fit into the site, responding to the shoreline in the forefront, and the evergreen treeline and rocky knoll backdrop.
25. Building heights should vary, but not exceed 15 m, from the finished grade.
26. Design aesthetics should be optimized with the use of appropriate, high quality materials.
27. Exterior building materials, including exterior details, must be selected to withstand intense weather and sea conditions, and must be of a high standard to ensure low maintenance.
28. Doors, overhead doors, and other closures (including hatches, grilles, and louvres) should be durable, thermally resistant, and suitably finished for the marine environment.
29. Windows should have high performance glazing, and be capable of providing natural ventilation, where appropriate.
30. Roof areas must consider views from above.
31. Clarifiers and aerated filters must be covered to meet noise and odour principles.



Lighting

1. Light fixtures should provide no more than the minimum lighting needed for their intended purposes, and not exceed levels recommended by the Illuminating Engineering Society for North America Recommended Practice Manual: Lighting for Exterior Environments.
2. Light fixture shields should be specified to reduce impacts on other properties, and when seen from the designated viewpoints.
3. All lighting should be directed downward, and not into the night sky.
4. Energy efficient fixtures should be specified, with consistent colour for all lighting.

Landscape Elements

1. The design concept is based on site conditions, views from the harbour, and a windswept rocky shoreline. With this in mind, landscape elements should include:
 - Use of plant species that are designated hardy to harsh, and for sea spray environments - situate plants such that the force of the wind shapes their future forms;
 - A retaining wall system designed to reflect the rugged and rough-textured surface of boulders and exposed-rock shorelines; and
 - Outdoor storage and parking areas screened through the use of berms, fences, landscaping and/or solid noise-absorbing barriers.



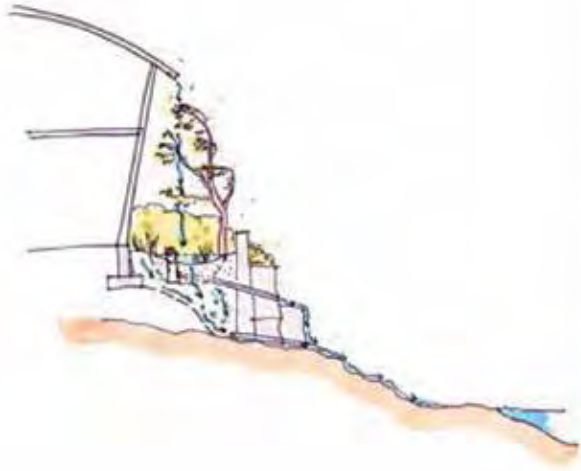
Guidelines for Seawalls and Walls

The retaining wall system should be designed to reflect the rugged and textured surface of the exposed-rock shorelines. To reduce view impacts for neighbouring communities and water/air traffic, the mass of the wall (combined height and width) will be broken up visually with features such as board form relief, wall projections, vertical elements, and wall protrusions. It should feature both rounded, smooth and angular surfaces to reflect the natural shoreline.

Walls are divided into two types: 1) primary walls, which are prominent perimeter retaining walls, and feature walls within the plant; and 2) secondary walls, which serve as infill between the primary walls.



1. Walls must not protrude beyond the high watermark (HWM 1.804m geodetic).
2. The site must be protected by a continuous tsunami protection wall that has a top elevation of not less than 6.5 m above the high watermark.
3. The appearance of wall heights greater than 4.0 m must be minimized by placing step walls in the tsunami protection wall.
4. Planted stepped walls should be a minimum depth of 1.0 m horizontally to allow for landscape elements to be introduced. Where this is not possible, shallower multiple steps may be used.
5. All surfaces of the primary perimeter retaining walls must be finished with random board- formed recesses or other suitable architectural treatment. Vertical recesses should be spaced randomly. A smooth finish should be considered for secondary walls.
6. The design should plan for development of a pedestrian pathway along the waterfront side of the site.

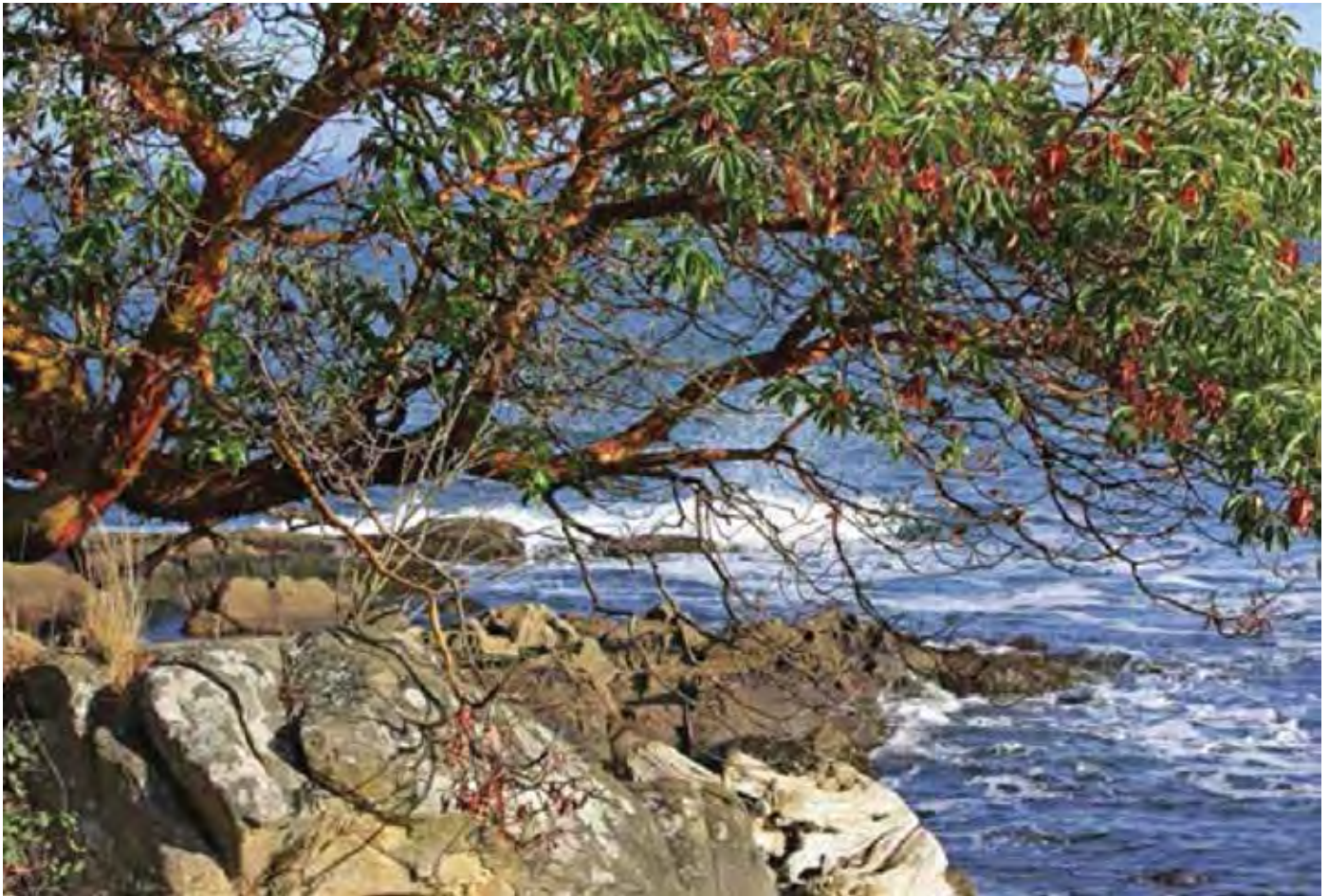


Guidelines for Planting - General

1. Distribution of plants will be limited due to sea spray and wind exposure, particularly on the south side of the site
2. Planting will exclude lawns.
3. Mature plant heights must be at least 60 cm tall for all planted areas to shade undesirable weed species.
4. Planting densities must ensure that vegetated areas will have 100% plant coverage after two full growing seasons.
5. Planted areas will be irrigated with a high efficiency irrigation system.
6. Plants should be drought tolerant and require minimal water after the two-year establishment period.
7. Green roofs must be installed fully established to minimize wind erosion and maintenance.
8. All planting will be to BCNLA/BCSLA Landscape Standards.

Guidelines for Planting Along Seawalls

1. Distribution of plants will be limited due to sea spray and wind exposure.
2. Trees must be situated more than 10 m from the south facing wall, as this will be a high wind velocity area.
3. The following species are considered appropriate for use along the waterfront:
 - *Pinus contorta* var. *Contorta* (Shore Pine);
 - *Arbutus menzesii* (Pacific Madrone);
 - *Rosa nutkana* (Nootka Rose);
 - *Symphoricarpus albus* (Snowberry);
 - *Arbutus unedo* (Strawberry Tree);
 - *Myrica californica* (Sweet Gale);
 - *Lonicera pileata* (Privet Honeysuckle); and
 - *Mahonia aquifolium* (Oregon Grape)

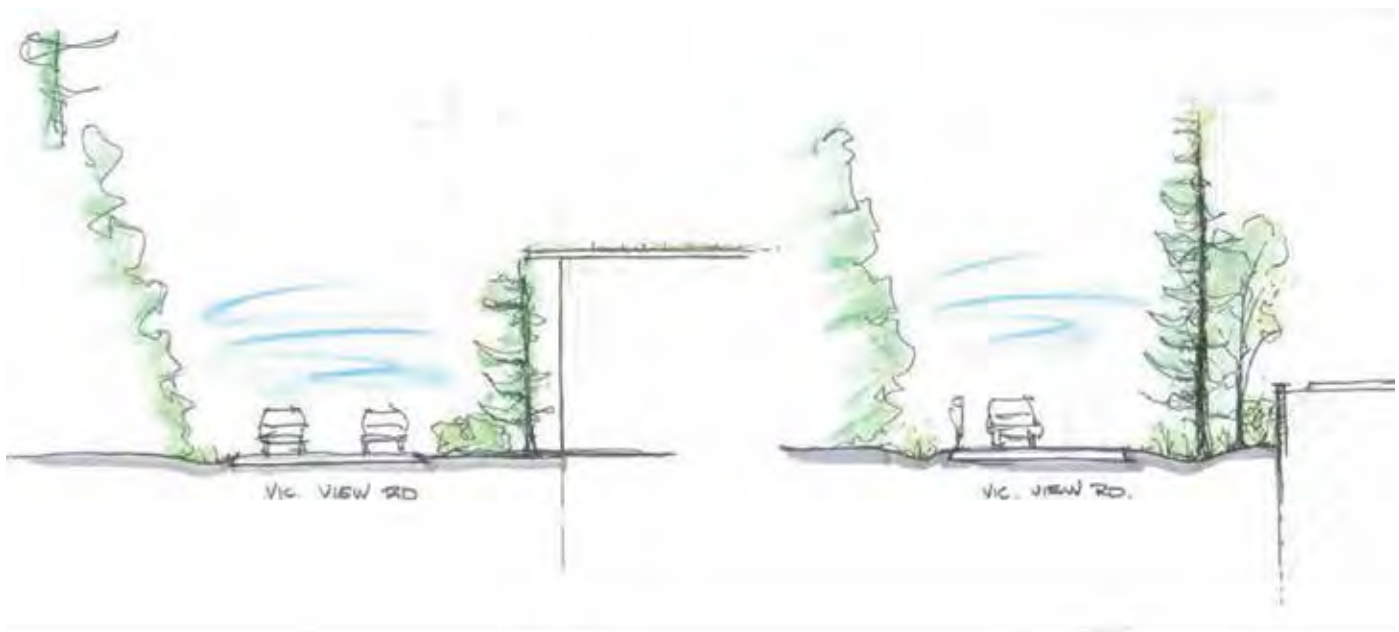


Guidelines for Planting Adjacent to Building Entrances

Planting around the building entrances can be more design driven, and specific hard and soft landscaping should complement the building architecture.

Guidelines for Screening on Victoria View Road

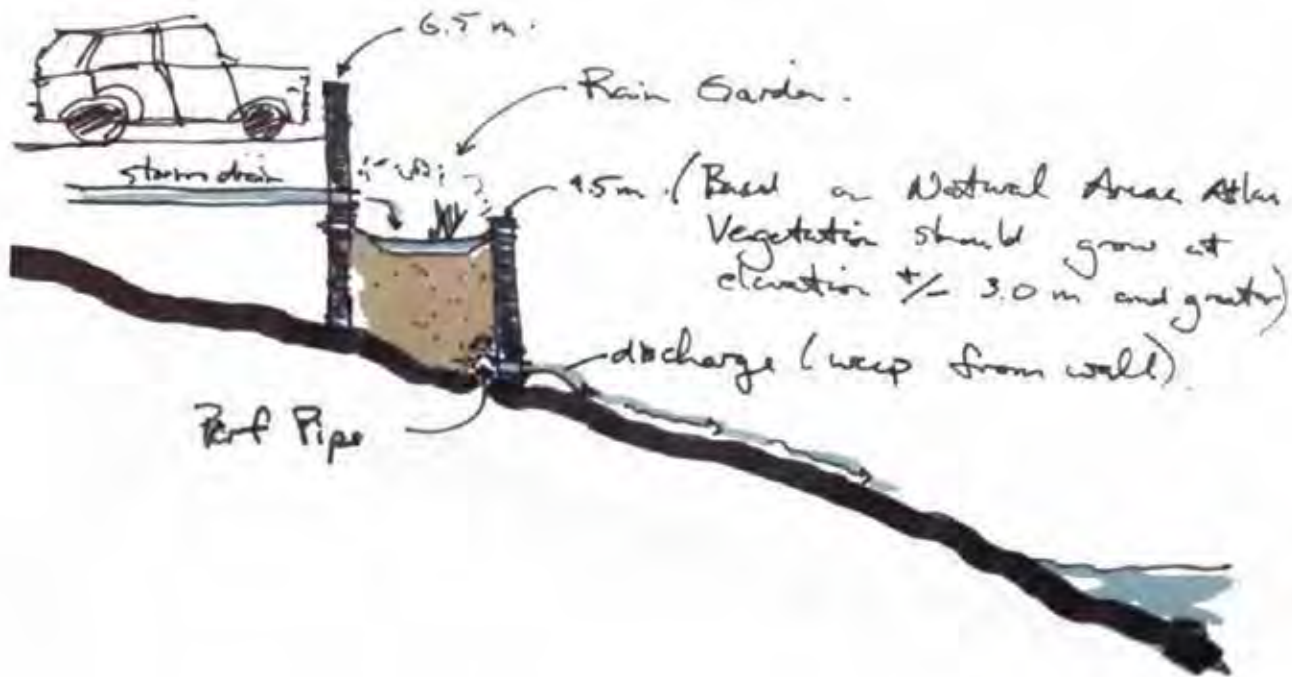
1. To break up the mass of concrete walls, introduce screening (mostly of coniferous tree plantings) along the road frontage and adjacent property lines. The CRD should work with the Department of National Defence to allow for landscaping along the road frontage adjacent to the site. Cluster trees to provide clear 8 m wide gaps to allow for future maintenance access (from a crane).
2. A continuous shrub border will be required at the base of the wall to screen the lower retaining wall and reduce the risk of vandalism. Shrubs in this area are to be native species only, with the exception of those adjacent to the two entrances, where lower evergreen screening is desirable.
3. In situations with larger retaining walls, vines can be considered, but must be supported by cable systems.
4. The following species are considered appropriate for use in screening applications:
 - *Pseudotsuga menziesii* (Douglas Fir);
 - *Rosa nutkana* (Nootka Rose);
 - *Symphoricarpus albus* (Snowberry); and
 - *Parthenocissus tricuspidata* (Boston Ivy).



Stormwater Management

The following stormwater management measures should be considered for the site:

1. Stormwater from the internal roadways and parking areas will be treated to remove 80% of TSS from a 6-month rain event prior to discharge.
2. Treatment of roadway and parking run-off can come in the form of:
 - A combination of rain gardens and bioswales adjacent to the parking and roadways, complete with raised overflow basins, and under drains connected to the storm drain system;
 - Aqua-pave permeable paving, complete with an under drain system in discrete areas where direction of run-off to a bioswale is not feasible; or
 - A combination of these.
3. A conventional storm drain will be installed with an outfall to the ocean. All drainage from the site will eventually be discharged through this pipe.
4. The buildings will connect directly to the piped storm drain system. Building drainage will bypass the treatment system. However, a rain garden, stormceptor, or similar end-of-pipe treatment device could be installed if treatment of roof drainage is required.



Parking and Services

Parking for visitors, plant and system operation staff, and CRD maintenance vehicles should be suitably screened through the use of berms, fences, landscaping and/or solid noise-absorbing barriers to minimize visual impact.

Signage

Limit signage to directional and identification as required for wayfinding.

Public Art and Education

1. Public art shall be provided. The CRD and Township of Esquimalt will work together to confirm the process and requirements.
2. Plans should include capacity for organized, educational site visits to learn about the functioning of the treatment system, the regional liquid waste management program, resource recovery, etc.



PART 4 MAPS



OFFICIAL COMMUNITY PLAN: MAPS



Schedule A

Present Land Use Designations

Schedule B

Proposed Land Use Designations

Schedule C

Roads Network

Schedule D

Sewer Network

Schedule E

Water Network

Schedule F

Public Parks and Facilities

Schedule G

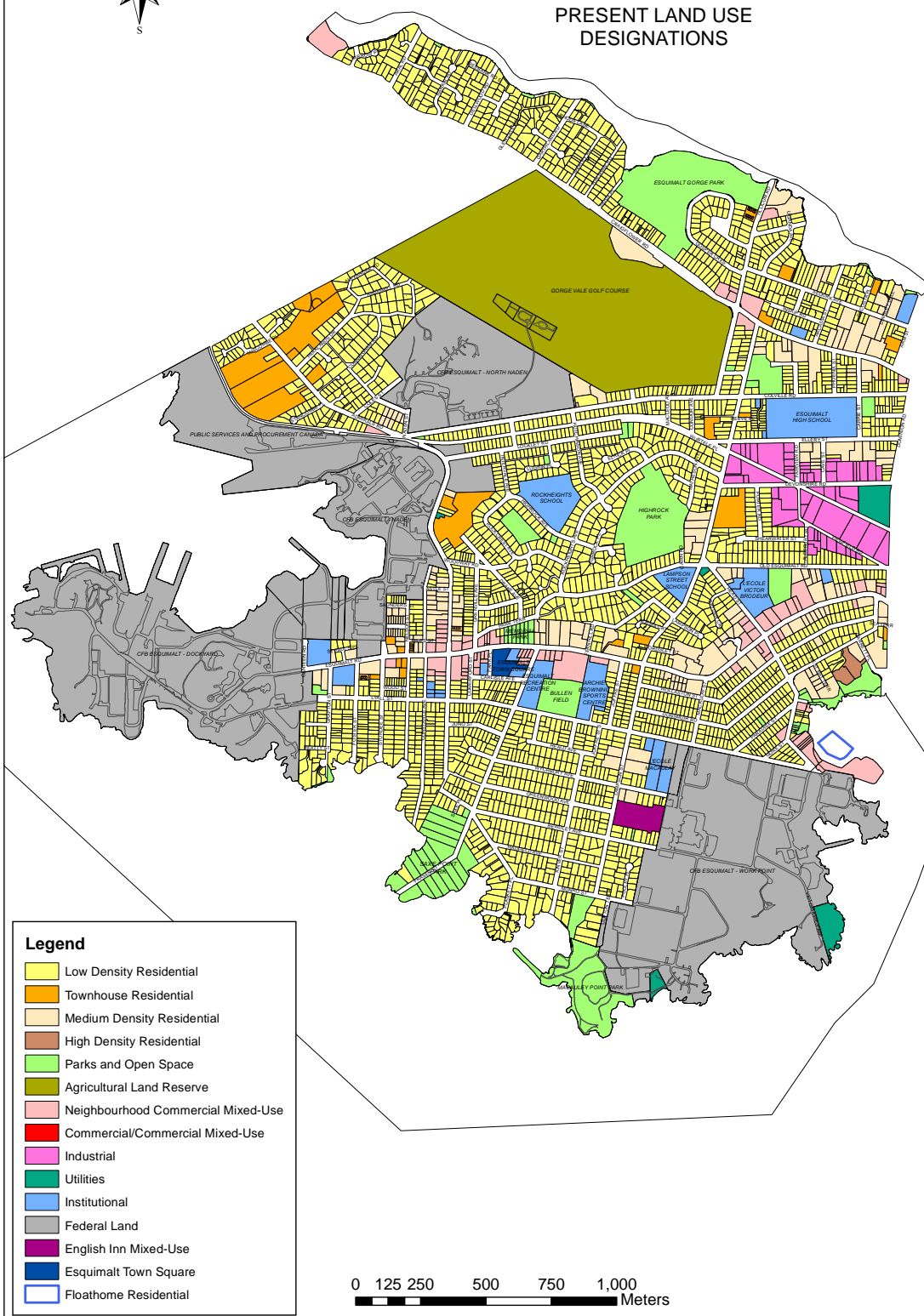
Public View Corridors

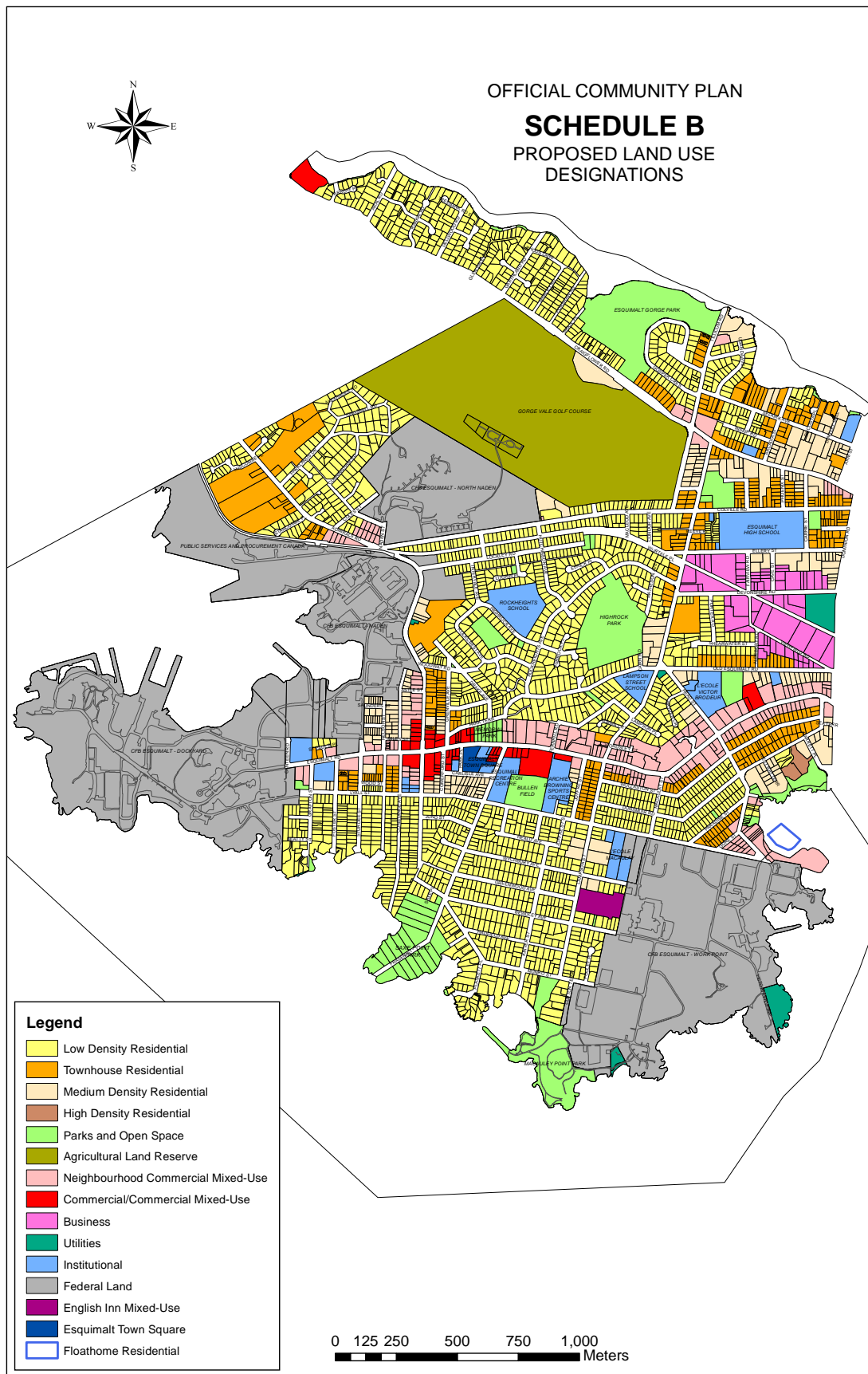
Schedule H

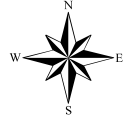
Development Permit Areas

SCHEDULE A

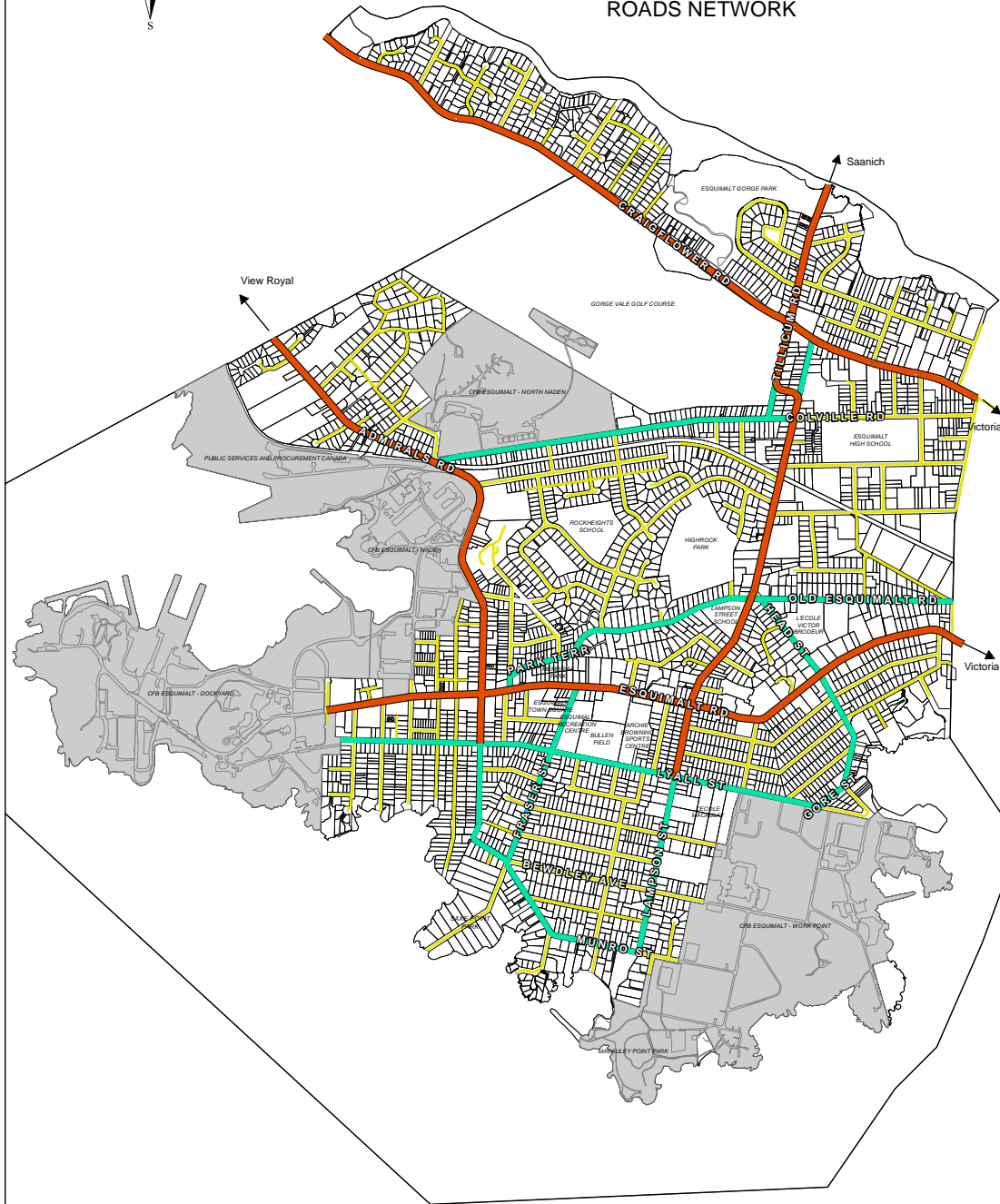
PRESENT LAND USE DESIGNATIONS







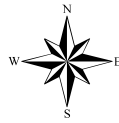
OFFICIAL COMMUNITY PLAN
SCHEDULE C
ROADS NETWORK



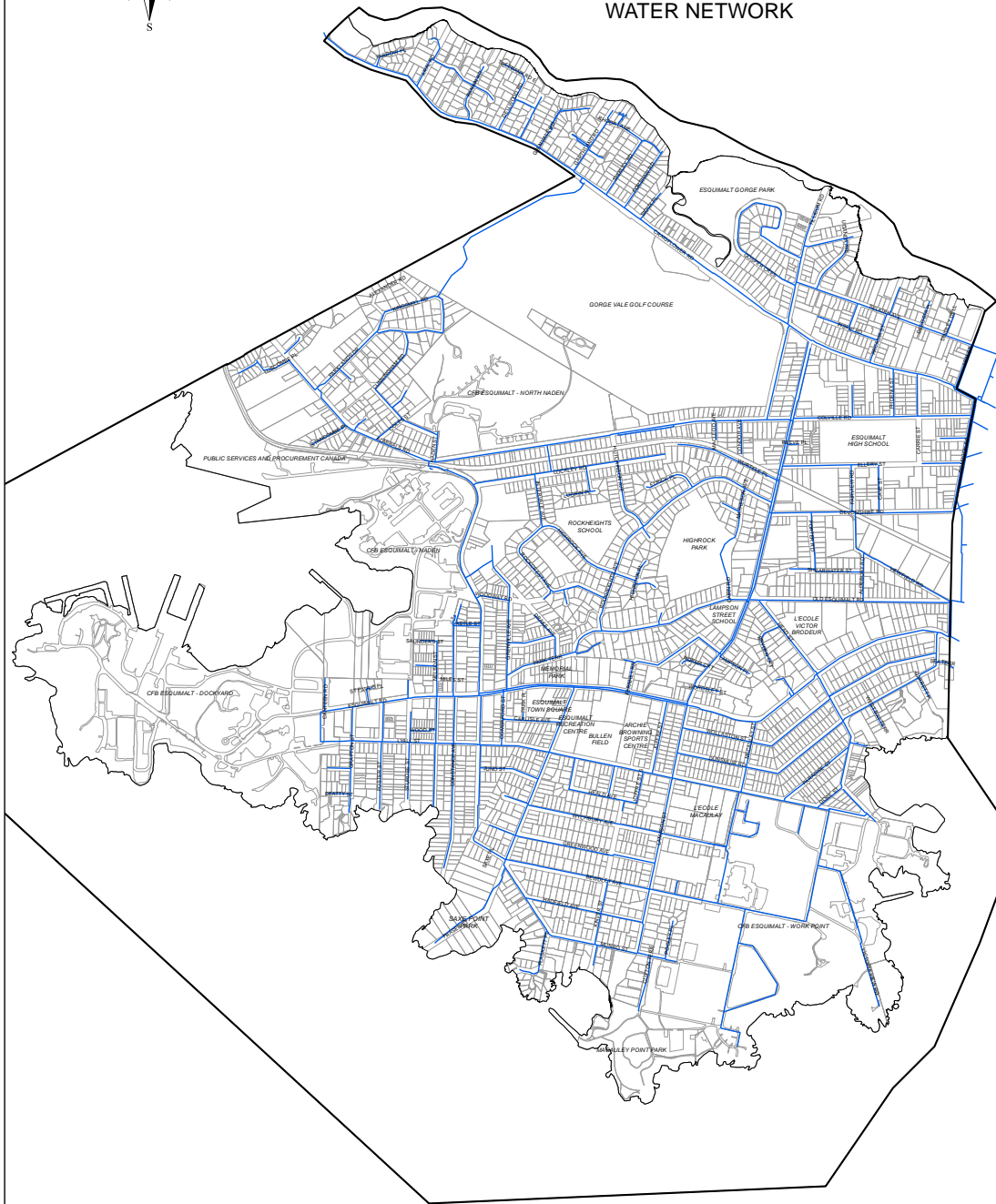
Legend

- Major Roads
- Residential Collector Roads
- Roads (Built)
- Township of Esquimalt Boundary

0 125 250 500 750 1,000
Meters



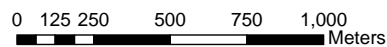
OFFICIAL COMMUNITY PLAN
SCHEDULE E
 WATER NETWORK

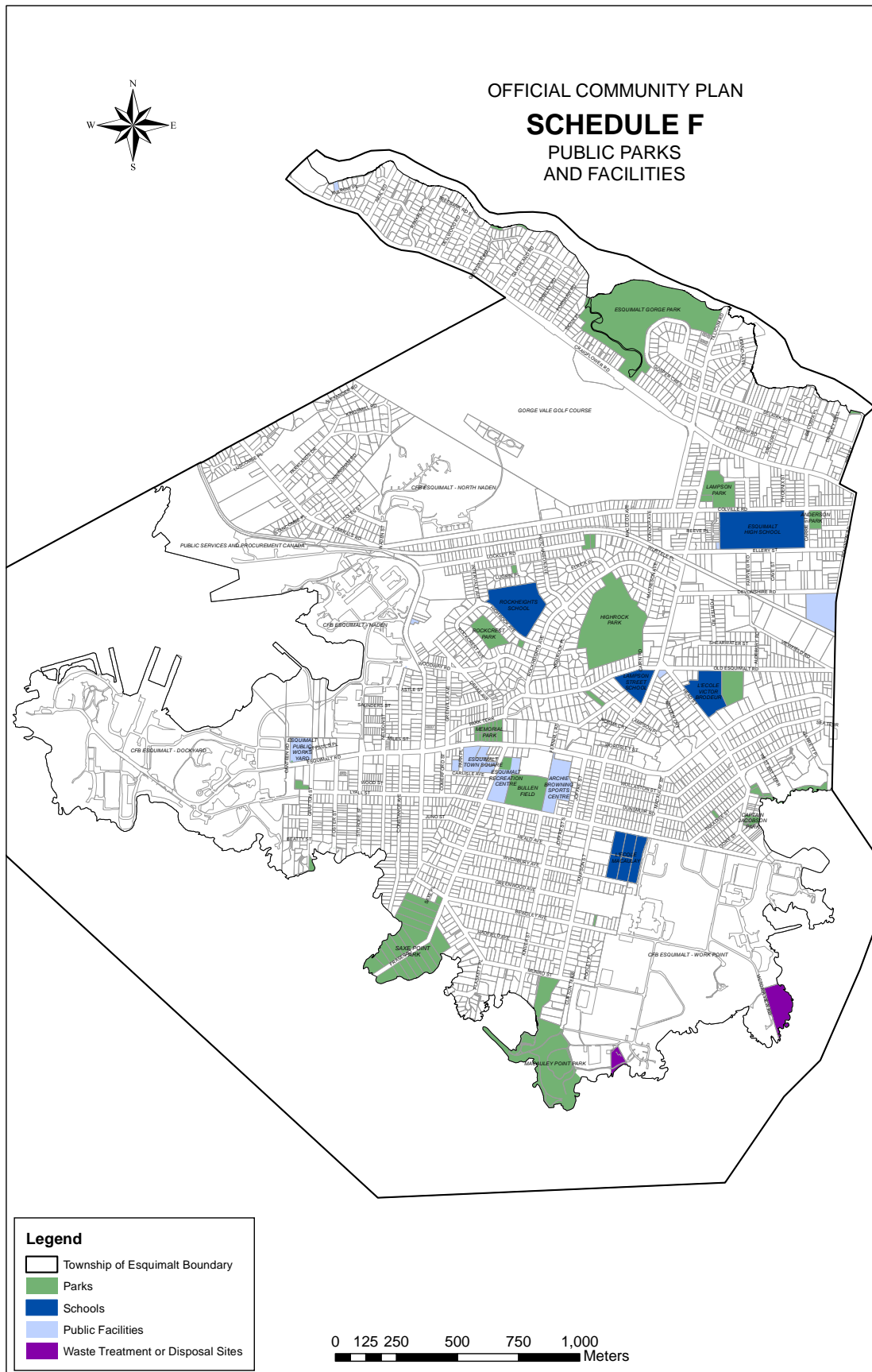


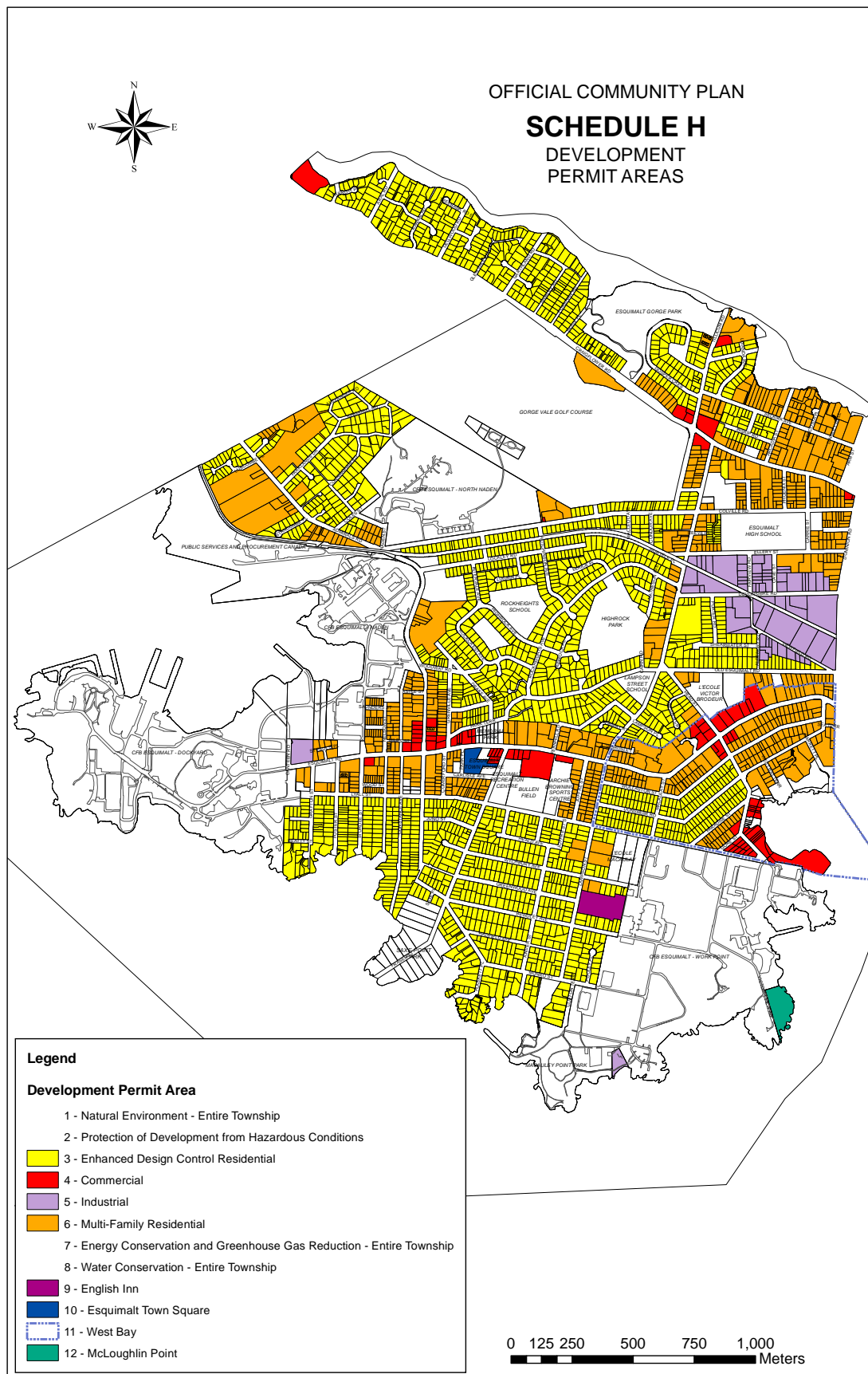
Legend

- Township of Esquimalt Boundary
- Water Mains

No new major water systems are proposed by the Township of Esquimalt. The City of Victoria provides and operates the water services in the Township of Esquimalt.









REFERRAL OF DRAFT

Esquimalt Official Community Plan



Esquimalt Draft Official Community Plan Referral

Purpose

- Provide brief summary of draft Esquimalt OCP and chance for Council to comment
- Comments will be provided to Esquimalt Town Council at second reading (May 7)
- Staff find the draft OCP compatible with Victoria's goals, policies and land use pattern
- Specific comments regarding development permit guidelines at the municipal boundary



Title of powerpoint presentation – access on master slide

Esquimalt Draft Official Community Plan Referral

Generally compatible with Victoria's OCP, strategic directions & proposed Victoria West Neighbourhood Plan:

- Land use:
 - Housing diversity
 - Location of commercial nodes
 - Maintenance of employment lands
 - Form and character of Esquimalt Road
- Affordable housing
- Accessibility in parks, recreation and housing
- Urban forest
- Multi-modal transportation plan
- Protection of waterfront ecosystems and expansion of public access



Title of powerpoint presentation – access on master slide

Esquimalt Draft Official Community Plan Referral

Specific comments:

- Recommend enhancement of development permit guidelines at the municipal boundary:
 - Medium-density to low density transition
 - Employment to residential transition
 - Character/compatibility of townhouses
- Mapping error – Barnard Park



Title of powerpoint presentation – access on master slide



Committee of the Whole Report

For the Meeting of May 3, 2018

To: Committee of the Whole
From: Susanne Thompson, Director of Finance
Subject: 2017 Financial Statements

Date: April 20, 2018

RECOMMENDATION

That Council approve the 2017 Financial Statements.

EXECUTIVE SUMMARY

Under section 167 of the Community Charter, a municipality's financial statements must be prepared by its Financial Officer and presented to Council for its acceptance. The 2017 financial statements are the responsibility of management and have been prepared in accordance with "generally accepted accounting principles" for local governments established by the Public Sector Accounting Board.

Under section 171 of the Community Charter, the City's Municipal Auditor (BDO) must report to Council on the annual financial statements. The report must be in accordance with the form and the reporting standards recommended by CPA Canada.

As outlined in their audit plan, the focus areas for this year's audit included risk of management overrides; revenue recognition; capital assets; employee future benefits; salaries and benefits; and cash and investments. All testing was executed as planned and no errors were noted.

BDO has also reviewed a number of financial policies and procedures primarily related to the focus areas listed above and have provided their observations for improvements in the management letter. The suggestions include monitoring new software after its recent implementation to identify and address concerns quickly, further development of the City's environmental sustainability strategies regarding public transparency and reporting of metrics, and review of the City's lease agreements to consider if alternate reporting standards apply. As pointed out by the auditors, the City already has processes in place and undertakes many of the suggested components, however improvements are underway to incorporate recommended actions going forward. Staff appreciate the suggestions provided by the external auditors and embrace opportunities to refine our operations in the spirit of continuous improvement.

Once accepted by Council, BDO will issue an Auditor's Report expressing that in their opinion the financial statements present fairly, in all material aspects, the financial position of the City as at December 31, 2017.

PURPOSE

To provide Council with an overview of the City's 2017 audited Financial Statements and request Council's acceptance of the Financial Statements as required by Section 167 of the Community Charter.

BACKGROUND

Section 167 of the Community Charter requires that annual audited financial statements be prepared and presented to Council for acceptance. The City's audited consolidated financial statements for 2017 have been prepared by management in accordance with the generally accepted accounting principles for local governments, as prescribed by the Public Sector Accounting Board (PSAB) of CPA Canada.

Under PSAB reporting requirements, the following statements are presented for Council's review: (page references to Appendix A)

1. **Statement of Financial Position** (pg.3) – provides a summary of the City's economic resources (assets net of liability balances) available to meet its obligations and provide services. By continuing to grow its net financial asset position, the City strengthens its capacity to meet financial obligations.
2. **Statement of Operations and Accumulated Surplus** (pg.4) – identifies the current year contribution to the Accumulated Surplus balance from revenue and expenses
3. **Statement of Changes in Net Financial Assets** (pg.5) – supplementary detail of the changes in assets and liabilities that explain the change to the Net Financial Assets balance on the Statement of Financial Position
4. **Statement of Cash Flows** (pg.6)– supplementary detail to support the change to Cash and Cash Equivalents balance on the Statement of Financial Position
5. **Notes to the Financial Statements** (pgs.7-31) - additional detail to disclose relevant reporting information and support significant balances in the Financial Statements.

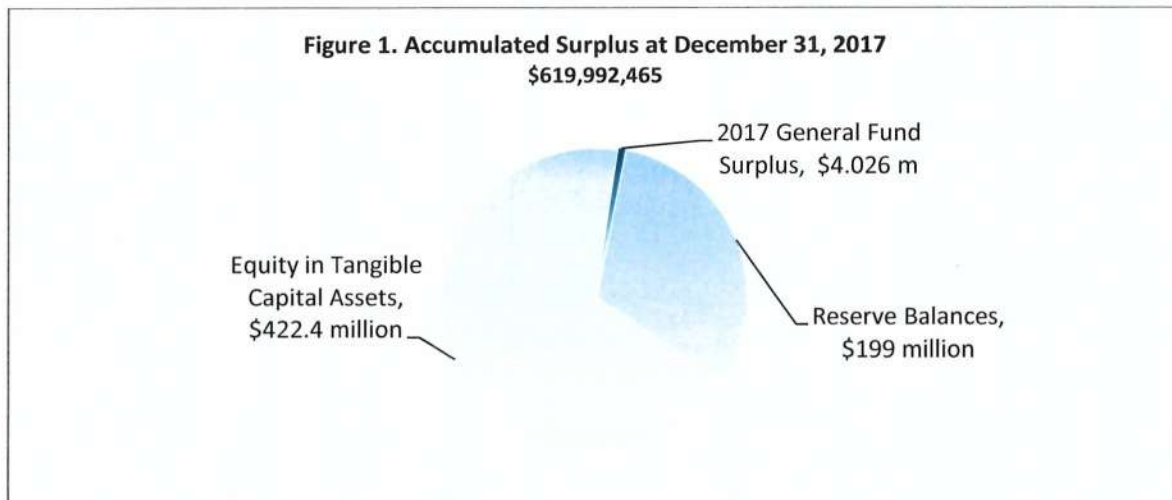
ISSUES & ANALYSIS

Accumulated Surplus

The Accumulated Surplus balance at December 31, 2017, as reported on the Statement of Financial Position, is \$619.9 million. This is the accumulation of the City's increases in equity in capital assets and reserve balances since its inception. The balance represents the total economic resources available to the City and indicates how much the City's assets exceed its liabilities.

Of the economic resources available, equity in capital assets makes up the most significant portion of the accumulated surplus balance, followed by reserve balances (Figure 1). The current year General Fund Surplus of \$4.026 million makes up a small portion of the Accumulated Surplus balance.

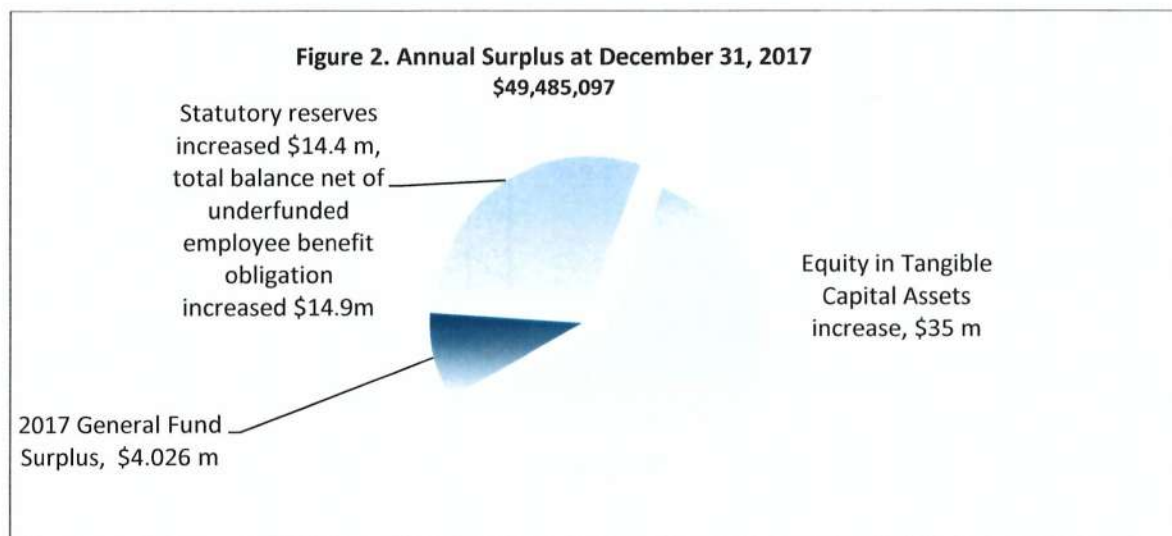
This means that the majority of the \$619.9 million accumulated surplus consists of the City's tangible capital assets, such as roads, underground infrastructure, land, buildings, and equipment, along with funds set aside in reserves for future spending.



Annual Surplus

The annual surplus represents the economic resources gained by the City during the year and is reported on the Statement of Operations. The City's annual surplus for 2017 is \$49.5 million. Most of this surplus is comprised of increased equity in capital assets and growth in reserve balances (Figure 2). Of the total annual surplus balance, \$4.026 million is the General Fund surplus which is available for future spending.

The primary contributions to the 2017 General Fund surplus of \$4.026 million are revenue from parking and expenditures less than budgeted including reduced costs due to staff vacancies, lower than expected assessment appeals and unspent contingency. Council makes a decision annually on the use of the current year General Fund surplus which is incorporated into the following year's budget.



Reserves

All of the City reserve funds were established by bylaw under section 188 of the Community Charter. Funding from these reserves can only be used for the specific purposes outlined in the bylaw.

In 2017 the City's reserves grew by \$14.4 million (Table 1). The reserve balance total includes funding for capital projects in progress. Funding is only drawn down from reserves as capital projects are completed; fewer projects than planned were completed by December 31; and some projects experienced schedule adjustments to begin at a later date.

Specific to 2017, Capital projects that are underway include:

- Burnside Gorge New Park
- Topaz Park – Park Improvement Plan
- Bicycle Master Plan Implementation
- David Foster Harbour Pathway
- Belleville Street
- Johnson Street Bridge
- Ship Point Pier
- Douglas Street Bus Lanes Phase 2B
- Parkade Repairs and Rehabilitation
- Crystal Pool Replacement
- Vehicle and Heavy Equipment Replacement
- Sewer inflow and infiltration projects
- Water, sewer, and storm water mains replacement projects

Table 1. Reserve Balances

Reserve Fund Description	Dec 31, 2016	Transfer To	Transfer From	Interest	Dec 31, 2017
Financial Stability Reserves	\$ 48,259,590	\$ 5,762,616		\$ 772,178	\$ 54,794,384
Equipment & Infrastructure Replacement Fund	123,129,773	37,671,111	(31,341,029)	1,970,052	131,429,907
Tax Sale Lands Fund	5,865,775	50,000	(220,038)	93,852	5,789,588
Parks and Greenways Acquisition Fund	2,346,203	340,553	-	37,539	2,724,295
Local Amenities	637,198	242,713	(135,667)	10,195	754,439
Affordable Housing	2,882,724	257,508	(1,234,803)	44,902	1,950,332
Climate Action	765,867	120,461	(47,891)	12,254	850,691
Art in public places	579,639	135,000	(127,578)	9,274	596,335
Downtown Core Area Public Realm Improvements	151,034	-	-	2,417	153,451
Heritage Building Seismic Upgrades	87,709	-	-	1,403	89,112
Total Reserve Funds Balance	\$ 184,705,512	\$44,579,962	\$ (33,107,006)	\$2,954,066	\$ 199,132,534

DCCs

Development Cost Charges (DCCs) are contributions from developers collected under bylaw to provide funds to assist the City to pay the capital costs of providing, constructing, altering or expanding transportation, water, drainage, and sewage facilities, and of providing and improving parkland related to population growth.

DCC balances (Table 2) increased in 2017 by \$216,357 in interest revenue allocated and \$2.47 million in charges, compared to \$2.12 million in charges collected in 2016. A total of \$251,814 was used to fund the capital budget in 2017, compared to no capital activity funded from the DCC balances in 2016.

A review of DCCs was completed in early 2017, and the City's current DCC bylaw and rates were updated in the spring of 2017. Parks DCC projects and Sewer DCC projects were only partially updated due to the pending completion of the Parks and Open Spaces Master Plan and the update of the Sewer Master Plan. At that time, Council also approved a DCC Policy, which contemplates annual inflationary updates to fees as well as a full review of the Bylaw and fees every five years.

In early 2018 Council directed staff to initiate the process for amending the DCC bylaw to update DCC rates for parks and sewage to reflect newly available engineering and planning information, and to combine the Parkland Acquisition Fund and Parkland Development Fund and replace the previous existing rates with a new rate for the combined Parkland Acquisition and Development Fund.

Table 2. DCC Balances

DEVELOPMENT COST CHARGES	Dec 31, 2016	Transfer To	Transfer From	Interest	Dec 31, 2017
Water and Environment	\$ 930,730	\$ -	\$ 196,815	\$ 14,892	\$ 748,807
Streets	20,390	-	20,716	326	-
Transportation	5,257,232	1,307,473	34,283	84,116	6,614,538
Water	546,774	120,939	-	8,748	676,461
Drainage	316,614	71,456	-	5,066	393,136
Sewage	2,150,145	535,625	-	34,402	2,720,172
Parkland Acquisition	3,138,906	207,597	-	50,022	3,396,525
Parkland Development	1,174,071	231,267	-	18,785	1,424,122
TOTAL DEVELOPMENT COST CHARGES	\$ 13,534,862	\$ 2,474,356	\$ 251,814	\$ 216,357	\$ 15,973,761

Capital Assets

The City's inventory of capital assets (Table 3), cost before accumulated amortization, increased by \$51.7 million with the most significant increases resulting from:

- \$17 million of bridge infrastructure
- \$12.55 million of water/sewer/storm drain infrastructure
- \$ 3.8 million of bicycle master plan implementation
- \$ 3.38 million for vehicle and heavy equipment replacement
- \$ 2.1 million of street rehabilitation
- \$ 1.3 million James Bay Library Branch

Table 3. Capital Assets

CAPITAL ASSETS (Historical Costs)	2017	2016
Land	\$ 138,382,972	\$ 137,530,840
Buildings	112,096,953	109,126,378
Furniture, Equip, Tech & Vehicles	75,414,390	69,907,147
Roads, Bridges and Highways	109,137,764	100,656,555
Water Infrastructure	68,644,720	64,055,844
Sewer Infrastructure	24,210,056	22,775,608
Drainage Infrastructure	23,725,459	21,111,427
Assets under Construction	115,308,436	89,970,372
Total Capital Assets	666,920,750	615,134,171
Accumulated Amortization	(171,136,014)	(160,371,742)
TOTAL CAPITAL ASSETS (Net Book Value)	495,784,736	454,762,429

Debt

The City's outstanding debt (Table 4) increased in the year by \$6.13 million. New debt of \$9.6 million was issued in 2017 for the Johnson Street Bridge.

Table 4. Debt

DEBT ISSUES (in millions)	EXPIRY DATE	2017	2016
Issue 79, 80, 81 – Multipurpose Facility (Arena)	2033 / 2034	21.22	22.08
Issue 102 – City Hall Upgrades & Burnside Gorge Community Centre	2022	1.80	2.12
Issue 105 – Crystal Gardens	2024	1.82	2.05
Issue 103, 105, 110 – Parkades Upgrades	2023 / 2023 / 2025	4.86	5.45
Issue 115, 130, 139, 142 – Johnson Street Bridge	2031 / 2034 / 2036/ 2037	43.55	35.42
TOTAL DEBT		\$73.25 m	\$67.12 m

Portfolio Investments

The City's investment portfolio (Table 5) returned \$3.43 million in 2017, an increase of \$719,600 as compared to 2016. The actual investment portfolio rate of return was 1.60%:

- 63% greater than the return of the MFA money market fund
- 14% greater than the City's average bank account interest rate

The investment portfolio is governed by the City's Investment Policy which is designed to invest public funds in a prudent manner, to yield the highest returns within the limits prescribed by Community Charter s.183, Investment of Municipal Funds.

The majority of investment revenue is allocated to reserves, as per the City's Reserve Fund Policy.

Table 5. Investments

INVESTMENT PORTFOLIO	2017	2016
Investment Returns	3,433,384	2,713,627
Actual Rate of Return	1.60%	1.40%
MFA Money Market Return	0.98%	0.79%
Average Bank Interest Rate	1.20%	1.05%

Revenues and expenses

The Financial Statements are presented in accordance with PSAB reporting standards to ensure comparability between government organizations across Canada. The budget information in the Statement of Operations was developed for the purpose of the Financial Plan, which is customized to the operations of individual government organizations. The format of the financial statements does not provide an effective comparison of budget to actual performance as the budget process does not take into account adjustments made for PSAB reporting standards.

In order to provide a meaningful comparison of budget to actual performance, additional schedules are attached to this report providing 2017 comparison of budget to actual for operating revenues and expenses (Appendix C), and capital expenditures (Appendix D). These comparisons are provided in the format used to approve budget decisions for the year.

CONCLUSION

BDO conducted the City's 2017 audit and have stated in the Auditor's Report their opinion is that these consolidated financial statements present fairly the City's financial position as of December 31, 2017, and its results of operations and changes in net financial assets and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Respectfully submitted,




Laurel Westinghouse
Manager, Accounting



Susanne Thompson
Director of Finance

Report accepted and recommended by the City Manager:


 Date: April 24, 2018

List of Appendices

Appendix A – Draft Audited Financial Statements for the year ended December 31, 2017
Appendix B – Audit Findings Report
Appendix C – Budget to Actual Operating Revenues and Expenses
Appendix D – Budget to Actual Capital Expenditures

The Corporation of the City of Victoria
Financial Statements
For the year ended December 31, 2017

The Corporation of the City of Victoria
Financial Statements
For the year ended December 31, 2017

	Contents
Management's Responsibility for the Financial Statements	1
Independent Auditor's Report	2
Financial Statements	
Statement of Financial Position	3
Statement of Operations	4
Statement of Change in Net Financial Assets	5
Statement of Cash Flows	6
Notes to the Financial Statements	7 - 31

Management's Responsibility for the Financial Statements

The accompanying financial statements of The Corporation of the City of Victoria (the "City") are the responsibility of management and have been prepared in accordance with Canadian public sector accounting standards as recommended by the Public Sector Accounting Board of Chartered Professional Accountants Canada. A summary of the significant accounting policies are described in the financial statements. The preparation of financial statements necessarily involves the use of estimates based on management's judgment, particularly when transactions affecting the current accounting period cannot be finalized with certainty until future periods.

The City's management maintains a system of internal controls designed to provide reasonable assurance that assets are safeguarded, transactions are properly authorized and recorded in compliance with legislative and regulatory requirements, and reliable financial information is available on a timely basis for preparation of the financial statements. These systems are monitored and evaluated by management.

Mayor and Council meet with management and the external auditors to review the financial statements and discuss any significant financial reporting or internal control matters prior to their approval of the financial statements.

The financial statements have been audited by BDO Canada LLP, independent external auditors appointed by the City. The accompanying Independent Auditor's Report outlines their responsibilities, the scope of their examination and their opinion on the City's financial statements.

Chief Administrative Officer

Director of Finance

April 26, 2018

Independent Auditor's Report

To the Mayor and Councillors of The Corporation of the City of Victoria

We have audited the accompanying financial statements of The Corporation of the City of Victoria, which comprise the Statement of Financial Position as at December 31, 2017, the Statements of Operations, Change in Net Financial Assets and Cash Flows for the year then ended, and a summary of significant accounting policies and other explanatory information.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

Auditor's Responsibility

Our responsibility is to express an opinion on these financial statements based on our audit. We conducted our audit in accordance with Canadian generally accepted auditing standards. Those standards require that we comply with ethical requirements and plan and perform the audit to obtain reasonable assurance about whether the financial statements are free from material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the financial statements. The procedures selected depend on the auditor's judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the entity's preparation and fair presentation of the financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of accounting estimates made by management, as well as evaluating the overall presentation of the financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

Opinion

In our opinion, the financial statements present fairly, in all material respects, the financial position of The Corporation of the City of Victoria as at December 31, 2017 and its results of operations, changes in net financial assets and cash flows for the year then ended, in accordance with Canadian public sector accounting standards.

Chartered Professional Accountants
Victoria, British Columbia
April 26, 2018

December 31	2017	2016
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Director of Finance

The Corporation of the City of Victoria
Statement of Operations

For the year ended December 31	Financial Plan 2017 (Note 18)	2017	2016
Revenue			
Taxation (Note 12)	\$ 127,667,268	\$ 127,697,471	\$ 126,112,506
Net grants in lieu of taxes	5,984,140	6,328,534	5,864,539
Sale of goods and services	46,372,942	51,152,653	48,788,424
Sale of water	19,158,507	20,516,753	19,687,181
Licences and permits	4,123,000	4,417,980	5,117,573
Fines	3,295,000	3,399,598	3,393,807
Rentals and leases	1,470,000	1,489,176	1,348,593
Other penalties and interest	1,790,000	658,474	738,026
Investment income	1,700,000	3,493,023	2,743,165
Government transfers (Note 13)	15,651,000	10,464,097	9,845,760
Actuarial adjustment on debt	-	781,729	663,669
Miscellaneous (Note 14)	4,522,218	8,337,747	6,246,349
	<u>231,734,075</u>	<u>238,737,235</u>	<u>230,549,592</u>
Expenses			
General government	17,536,822	16,868,104	17,476,596
Protective services	74,857,124	75,128,184	72,407,533
Transportation services	24,798,238	25,980,557	24,381,515
Environmental and public health services	8,152,793	7,614,739	8,050,402
Social Services and housing	1,566,802	1,550,606	711,508
Planning and development	15,625,106	15,353,385	17,059,341
Parks recreation and culture	27,121,857	28,937,509	29,419,773
Water utility	14,205,822	14,257,562	14,405,615
Sewer utility	4,179,886	3,561,492	4,104,322
	<u>188,044,450</u>	<u>189,252,138</u>	<u>188,016,605</u>
Annual Surplus	43,689,625	49,485,097	42,532,987
Accumulated Surplus, beginning of year	570,437,368	570,437,368	527,904,381
Accumulated Surplus, end of year	<u>\$ 614,126,993</u>	<u>\$ 619,922,465</u>	<u>\$ 570,437,368</u>

The Corporation of the City of Victoria
Statement of Change in Net Financial Assets

For the year ended December 31	Financial Plan 2017 (Note 18)	2017	2016
Annual Surplus	\$ 43,689,625	\$ 49,485,097	\$ 42,532,987
Net acquisition of tangible capital assets	(95,744,000)	(52,894,881)	(39,488,467)
Amortization of tangible capital assets	10,000,000	11,872,574	11,282,374
Gain on disposal of tangible capital assets	-	(112,225)	(73,940)
Proceeds on disposal of tangible capital assets	-	112,225	84,900
	(42,054,375)	8,462,790	14,337,854
Net consumption of inventory of supplies	-	(81,378)	(123,225)
Net acquisition (use) of prepaid expenses and deposits	-	34,051	(330,793)
Change in Net Financial Assets	(42,054,375)	8,415,463	13,883,836
Net Financial Assets, beginning of year	113,531,151	113,531,151	99,647,315
Net Financial Assets, end of year	\$ 71,476,776	\$ 121,946,614	\$ 113,531,151

The Corporation of the City of Victoria
Statement of Cash Flows

For the year ended December 31 **2017** **2016**

Cash provided by (used in):

Operating Transactions

Annual surplus	\$ 49,485,097	\$ 42,532,987
Items not involving cash		
Amortization of tangible capital assets	11,872,574	11,282,374
Gain on disposal of tangible capital assets	(112,225)	(73,940)
Change in future employee benefits and other liability	637,064	1,415,128
Actuarial adjustment on debt	(781,729)	(663,669)
Changes in non-cash operating assets and liabilities		
Accounts receivable other	(3,035,800)	2,304,315
Property taxes receivable	862,924	10,144
Mortgage receivable	(26,680)	(26,163)
Other assets	466	(349)
Restricted cash	(118,426)	(77,564)
Accounts payable and accrued liabilities	2,330,293	(54,366)
Deposits and prepayments	2,057,026	1,344,907
Deferred revenue	5,539,233	3,536,473
Inventory of supplies	(81,378)	(123,225)
Prepaid expenses and deposits	34,051	(330,793)

68,662,490 **61,076,259**

Capital Transactions

Acquisition of tangible capital assets	(52,894,881)	(39,488,467)
Proceeds on disposal of tangible capital assets	112,225	84,900
	(52,782,656)	(39,403,567)

Investing Transactions

Net increase in portfolio investments	(1,000,000)	(35,199,753)
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Financing Transactions

Debt issued	9,600,000	5,500,000
Debt repayments	(2,691,090)	(2,470,703)
Capital lease repayments	-	(137,175)
	6,908,910	2,892,122

Increase (decrease) in Cash and Cash Equivalents **21,788,744** **(10,634,939)**

Cash and Cash Equivalents, beginning of year **88,214,735** **98,849,674**

Cash and Cash Equivalents, end of year **\$ 110,003,479** **\$ 88,214,735**

The Corporation of the City of Victoria

Notes to the Financial Statements

December 31, 2017

The Corporation of the City of Victoria (the "City") is incorporated and operates under the provisions of the Local Government Act and the Community Charter of British Columbia. The City provides municipal services such as: protective services, transportation services, environmental and public health services, community planning, parks, recreation and community development, water utility, sewer utility and other general government operations.

The financial statements of The Corporation of the City of Victoria (the "City") are prepared by management in accordance with Canadian generally accepted accounting principles as recommended by the Public Sector Accounting Board of the Chartered Professional Accountants Canada. Significant accounting policies adopted by the City are as follows:

1. Significant Accounting Policies

(a) Reporting Entity

The financial statements include a combination of all the assets, liabilities, accumulated surplus, revenues and expenses of all of the City's activities and funds. Inter-departmental balances and organizational transactions have been eliminated.

The financial statements exclude trust assets that are administered for the benefit of external parties (Note 15).

(b) Basis of Accounting

The City follows the accrual method of accounting for revenues and expenses. Revenues are accounted for in the year in which they are earned and measurable. Expenses are recognized as they are incurred and measurable as a result of receipt of goods or services and/or the creation of a legal obligation to pay.

(c) Government Transfers

Government transfers are recognized in the financial statements as revenues in the period the transfers are authorized and any eligibility criteria have been met, except when and to the extent that the transfer gives rise to an obligation that meets the definition of a liability for the recipient government. Transfers received which meet the definition of a liability are included in deferred revenue and are recognized over the period that the liability is settled.

(d) Deferred Revenue

Certain user charges and fees are collected for which the related services have yet to be performed. Revenue is recognized in the period when the related expenses are incurred or the services are performed.

(e) Deposits and Prepayments

Receipts restricted by third parties for future services or repayment are deferred and reported as deposits and are refundable under certain circumstances. Deposits and prepayments are recognized as revenue when qualifying expenditures are incurred.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

1. Significant Accounting Policies (Continued)

(f) Taxation Revenue

Taxes are recorded at estimated amounts when they meet the definition of an asset, have been authorized and the taxable event occurs. Annual levies for non-optional municipal services and general administrative services are recorded as taxes for municipal services in the year they are levied. Taxes receivable are recognized net of an allowance for anticipated uncollectible amounts. Levies imposed by other taxing authorities are not included as taxes for municipal purposes.

Through the British Columbia Assessment's appeal process, taxes may be adjusted by way of supplementary roll adjustments. The effects of these adjustments on taxes are recognized at the time they are awarded.

(g) Investment Income

Investment income is reported as revenue in the period earned. When required by the funding agreement, investment income earned on deferred revenue is deferred and forms part of the deferred revenue balance.

(h) Cash and Cash Equivalents

Cash equivalents include short term highly liquid investments with a term to maturity of 90 days or less at acquisition. Cash equivalents also include investments in the Municipal Finance Authority of British Columbia ("MFA") Money Market Funds which are recorded at cost plus earnings reinvested in the funds.

(i) Long-Term Debt

Long-term debt is recorded net of related sinking fund balances and actuarial earnings.

(j) Employee Future Benefits

(i) The City and its employees make contributions to the GVLRA- CUPE Long Term Disability Trust and Municipal Pension Plan. As these are multi-employer pension plans, contributions are expensed as incurred.

(ii) Sick leave and other retirement benefits are also available to the City's employees. The costs of these benefits are actuarially determined based on years of service and best estimates of retirement ages and expected future salary and wage increases. The obligations under these benefit plans are accrued based on projected benefits as the employees render services necessary to earn the future benefits.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

1. Significant Accounting Policies (Continued)

(k) Non-Financial Assets

Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They have useful lives extending beyond the current year and are not intended for sale in the ordinary course of operations.

(i) Tangible Capital Assets

Tangible capital assets are recorded at cost which includes amounts that are directly attributable to acquisition, construction, development or betterment of the asset. The costs, less residual value, of the tangible capital assets, excluding land, are amortized on a straight line basis over their estimated useful lives as follows:

	Useful life in years
Land improvements	15-50
Buildings	20-50
Furniture, equipment, technology and motor vehicles	5-25
Roads, bridges and highways	10-80
Water infrastructure	20-125
Sewer infrastructure	50-100
Drainage infrastructure	50-100

Tangible capital assets are written down when conditions indicate that they no longer contribute to the City's ability to provide goods and services, or when the value of future economic benefits associated with the asset are less than the book value of the asset. Assets under construction are not amortized until the asset is available for service. The City does not capitalize interest costs associated with the acquisition or construction of a tangible capital asset.

(ii) Contributions of Tangible Capital Assets

Tangible capital assets received as contributions are recorded at their fair value at the date of receipt and also are recorded as revenue.

(iii) Natural Resources

Natural resources are not recognized as assets in the financial statements.

(iv) Works of Art and Cultural and Historic Assets

Works of art and cultural and historic assets are not recorded as assets in these financial statements.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

1. Significant Accounting Policies (Continued)

(k) Non-Financial Assets (Continued)

(v) Leased Tangible Capital Assets

Leases which transfer substantially all of the benefits and risks incidental to ownership of property are accounted for as leased tangible capital assets. All other leases are accounted for as operating leases and the related payments are charged to expenses as incurred.

(vi) Inventories of Supplies

Inventories of supplies held for consumption are recorded at the lower of cost and replacement cost.

(vii) Tangible Capital Assets Disclosed at Nominal Values

Where an estimate of fair value could not be made upon adoption of accounting standard PSAS 3150 - Tangible Capital Assets, the tangible capital asset was recognized at a nominal value.

(l) Use of Estimates

The preparation of financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities, and disclosure of contingent assets and liabilities at the date of the financial statements, and the reported amounts of revenues and expenses during the period. Significant estimates include assumptions used in estimating useful lives of tangible capital assets, estimating provisions for accrued liabilities, estimates related to contaminated sites and in performing actuarial valuations of employee future benefits. Actual results could differ from these estimates.

(m) Contaminated Sites

Contaminated sites are a result of contamination being introduced into air, soil water or sediment of a chemical, organic or radioactive material or live organism that exceeds an environmental standard. Liabilities are recorded net of any expected recoveries. A liability for remediation of contaminated sites is recognized when all the following criteria are met:

- (i) an environmental standard exists;
- (ii) contamination exceeds the environmental standard;
- (iii) the Authority is directly responsible or accepts responsibility;
- (iv) It is expected that future economic benefits will be given up; and
- (v) a reasonable estimate of the amount can be made.

The liability is recognized as management's estimate of the cost of post-remediation including operation, maintenance and monitoring that are an integral part of the remediation strategy for a contaminated site. No liability for contaminated sites exists as at December 31, 2016 or 2017.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

2. Cash and Cash Equivalents

	<u>2017</u>	<u>2016</u>
Cash	\$ 25,475,696	\$ 10,227,662
MFA Money Market Funds	69,527,783	59,987,073
Guaranteed investment certificate	15,000,000	18,000,000
	<u>\$ 110,003,479</u>	<u>\$ 88,214,735</u>

Guaranteed investment certificates have interest rates of 1.70% to 1.80% (2016 - 1.25% to 1.45%) and are redeemable after 90 days.

3. Accounts Receivable

	<u>2017</u>	<u>2016</u>
Sewer	\$ 3,468,768	\$ 2,936,348
Water	14,800,754	12,540,291
Grants	4,741,274	4,175,509
GST and carbon tax	772,560	628,642
Investment interest income	923,120	986,209
Parks, recreation and community development	2,304,463	1,980,307
Municipal tickets	1,411,054	1,326,350
Victoria police department	875,504	1,024,764
Rental properties	69,053	61,172
Permits	334,811	946,014
Garbage	505,837	455,098
Third party billing	406,507	230,066
Miscellaneous	1,182,507	1,359,823
Valuation allowance	(795,405)	(685,586)
	<u>\$ 31,000,807</u>	<u>\$ 27,965,007</u>

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

4. Portfolio Investments

Portfolio investments are comprised of Guranteed Investment Certificates of Canadian Banks and Credit Unions with yields of 1.88% to 2.25% (2016 - 1.28% to 1.95%), and maturity date of December 17, 2018.

5. Mortgage Receivable

In 2011, the Federal Government of Canada entered into an agreement with the Capital Regional District to provide a financial contribution for new permanent, safe, transitional and supportive housing. Subsequently, the Capital Regional District entered into a sub project funding agreement in which \$1,200,000 was contributed to the City towards the purchase of two properties within the City. The agreement states that if the properties are not operated for their intended purpose or are sold and the proceeds of disposition are not applied to providing similar services then the City will be required to repay the contribution amount. The amount of the required repayment is dependent on the length of time that the intended purpose of the contribution is met and extends to March 31, 2026 at which point no further repayment is required.

In 2013, one of the properties was purchased by Provincial Rental Housing Corporation. In 2015, the remaining property was purchased by a not-for-profit housing society and a mortgage of \$1,300,000 was issued by the City. The mortgage bears no interest and is secured by the property. Payment is not due until the mortgage matures on September 15, 2029. The balance represents the present value of the payment, using the City's estimated cost of borrowing.

Both purchases include transfer of the funding agreement repayment obligation applicable to each property.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

6. Accounts Payable and Accrued Liabilities

	2017	2016
Trade account payable	\$ 10,800,926	\$ 11,031,714
Capital projects	3,366,062	1,945,350
Payroll accounts payable	6,572,255	6,592,566
Contract holdbacks	6,192,934	4,816,003
School authorities	686,706	1,056,181
Capital Regional District	445,004	412,995
Legal settlements	1,003,683	880,762
Integrated recreation	81,830	79,455
BC Transit	140,112	145,697
Regional Hospital District	96,469	94,842
BC Assessment Authority	20,162	20,285
	<u>\$ 29,406,143</u>	<u>\$ 27,075,850</u>

7. Deferred Revenue

	2017	2016
Building permit fees	\$ 5,612,043	\$ 3,958,073
Development cost charges	15,973,761	13,534,862
General operating deferred revenue	3,290,377	1,844,013
	<u>\$ 24,876,181</u>	<u>\$ 19,336,948</u>

Building permit fees

	2017	2016
Opening balance of building permit fees	\$ 3,958,073	\$ 2,867,315
Add: fees and contributions received	3,666,196	3,847,440
Less: revenue earned and/or fees refunded	(2,012,226)	(2,756,682)
	<u>\$ 5,612,043</u>	<u>\$ 3,958,073</u>

Development cost charges

	2017	2016
Opening balance of unspent funds	\$ 13,534,862	\$ 11,337,517
Add: development cost charges received during year	2,474,357	2,117,491
Add: interest earned	216,357	79,854
Less: amount spent on projects and recorded as revenue	(251,815)	-
	<u>\$ 15,973,761</u>	<u>\$ 13,534,862</u>

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

7. Deferred Revenue (Continued)

Development cost charges include the following:

	2017	2016
Water and environment	\$ 748,809	\$ 930,730
Streets	-	20,391
Transportation	6,614,537	5,257,231
Water	676,462	546,774
Drainage	393,136	316,614
Sewage	2,720,171	2,150,145
Parkland acquisition	3,396,524	3,138,906
Parkland development	1,424,122	1,174,071
	\$ 15,973,761	\$ 13,534,862

There are no waivers and/or reductions in development cost charges during 2017 or 2016.

8. Long-Term Debt

The City issues debt instruments through the Municipal Finance Authority ("MFA"), pursuant to security issuing bylaws under authority of the Local Government Act, to finance certain capital expenditures. Sinking fund balances, managed by the MFA, are used to reduce long-term debt. Interest rates on long-term debt range from 2.10% to 4.90%. The weighted average interest rate for 2017 was 3.03% (2016 - 3.10%).

(a) Gross amount of debt and the repayment and actuarial earnings to retire the debt are as follows:

	Rate	Gross debt	Repayment & actuarial earnings	Net debt 2017	Net debt 2016	Year of Maturity
Issue 79	2.10%	10,000,000	(3,035,139)	6,964,861	7,256,882	2033
Issue 80	2.40%	10,000,000	(2,985,840)	7,014,160	7,301,438	2033
Issue 81	2.40%	10,000,000	(2,758,457)	7,241,543	7,521,213	2034
Issue 102	2.25%	4,509,000	(2,712,477)	1,796,523	2,118,084	2022
Issue 103	4.65%	1,800,000	(977,602)	822,398	948,822	2023
Issue 105	4.90%	5,240,015	(2,467,047)	2,772,968	3,125,300	2024
Issue 110	4.50%	5,200,000	(2,111,154)	3,088,846	3,427,056	2025
Issue 115	3.89%	10,200,000	(2,291,726)	7,908,274	8,327,573	2031
Issue 130	3.00%	23,200,000	(2,452,817)	20,747,183	21,597,057	2034
Issue 139	2.10%	5,500,000	(206,150)	5,293,850	5,500,000	2036
Issue 142	3.15%	9,600,000	-	9,600,000	-	2037
		\$ 95,249,015	\$ (21,998,409)	\$ 73,250,606	\$ 67,123,425	

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

8. Long-Term Debt (Continued)

- (b) Future aggregate payments of net outstanding debenture debt, including sinking fund payments, over the next five years and thereafter are as follows:

2018	\$ 3,936,716
2019	4,096,716
2020	4,263,363
2021	4,436,940
2022	4,617,740
Thereafter	<u>51,899,131</u>
Total	<u>\$ 73,250,606</u>

- (c) Scheduled debt repayments may be suspended in the event of excess sinking fund earnings within the MFA. Principal paid during the year was \$2,691,090 (2016 - \$2,470,703). Interest paid during the year was \$2,668,366 (2016 - \$2,528,197).

9. Employee Future Benefit Liability

Information about liabilities for the City's employee obligation is as follows:

	<u>2017</u>	<u>2016</u>
Accrued benefit obligation		
Balance, beginning of year	\$ 18,093,001	\$ 17,729,501
Service cost	1,389,300	1,387,100
Interest cost	618,700	571,400
Benefits payments	(1,364,400)	(884,600)
Immediate recognition loss/(gain) for event driven liabilities	(167,700)	37,400
Actuarial gain (loss)	<u>(298,800)</u>	<u>(747,800)</u>
Accrued benefit obligation, end of year	18,270,101	18,093,001
Less unamortized net actuarial loss	(1,022,577)	(1,516,802)
Add pension over contributions due to staff	<u>440,663</u>	<u>474,924</u>
Accrued benefit liability, end of year	<u>\$ 17,688,187</u>	<u>\$ 17,051,123</u>

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

9. Employee Future Benefit Liability (Continued)

The accrued benefit obligation and the benefit costs for the year were estimated by actuarial valuation as of December 31, 2017 by an independent actuarial firm. Key estimates were used in the valuation including the following:

	2017	2016
Discount rates	2.90%	3.30%
Expected future inflation rates	2.25%	2.25%
Expected wage and salary increases	2.33% to 4.38%	2.33% to 4.38%
Estimated average remaining service life of employees	11 years	12 years

The accrued benefit liability includes both vested and non-vested amounts as follows:

	City	Police	2017	2016
Vested benefits	\$ 4,340,418	\$ 7,844,705	\$ 12,185,123	\$ 10,918,198
Non-vested benefits	4,429,577	1,073,487	5,503,064	6,132,925
Total accrued benefit liabilities	8,769,995	8,918,192	17,688,187	17,051,123
Charged to operating fund surplus in current and past years	(4,593,334)	(7,129,432)	(11,722,766)	(11,244,205)
Portion of benefits charged against reserves	\$ 4,176,661	\$ 1,788,760	\$ 5,965,421	\$ 5,806,918

Vested benefits include lump sum payments, death benefits, and certain sick leave and vacation in the year of retirement benefits. Vested benefits are contractually required to be paid to an employee regardless of their future employment. Non-vested benefits include long service leave, personal leave program and certain sick leave programs. Non-vested benefits are conditional upon future employment.

GVLRA - CUPE Long Term Disability Trust

The Trust was established January 1, 1987 as a result of negotiations between the Greater Victoria Labour Relations Association representing a number of employers and the Canadian Union of Public Employees representing a number of CUPE locals. The Trust's sole purpose is to provide a long term disability income benefit plan. The City and its employees each contribute equal amounts into the Trust. The total plan provision for approved and unreported claims was actuarially determined as of December 31, 2014. At December 31, 2016, the total plan provision for approved and unreported claims was \$18,937,267 with an accumulated surplus of \$392,313. The total plan provision for approved and unreported claims and net surplus or deficit at December 31, 2017 will be available later in 2018.

The City paid \$584,709 (2016 - \$585,900) for employer contributions and City employees paid \$584,709 (2016 - \$585,900) for employee contributions to the Plan in fiscal 2017.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

9. Employee Future Benefit Liability (continued)

Municipal Pension Plan

The municipality and its employees contribute to the Municipal Pension Plan (the "Plan"), a jointly trustee pension plan. The Board of Trustees, representing plan members and employers, is responsible for overseeing the management of the Plan, including investment of the assets and administration of benefits. The Plan is a multi-employer defined benefit pension plan. Basic pension benefits provided are based on a formula. As at December 31, 2016, the Plan has about 193,000 active members and approximately 90,000 retired members. Active members include approximately 38,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the Plan and adequacy of the funding. The actuary determines an appropriate combined employer and member contribution rate to fund the Plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the Plan. This rate is then adjusted to the extent there is amortization of any funding deficit.

The most recent valuation for the Municipal Pension Plan as of December 31, 2015, indicated a \$2,224 million funding surplus for basic pension benefits on a going concern basis. The next valuation will be as at December 31, 2018, with results available 2019.

Employers participating in the Plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the Plan records accrued liabilities and accrued assets for the Plan in aggregate, with the result that there is no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the Plan.

The City of Victoria paid \$11,428,849 (2016 - \$10,910,603) for employer contributions and City of Victoria employees paid \$8,964,286 (2016 - \$8,585,600) for the Plan in fiscal 2017.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

10. Tangible Capital Assets

	Land & land improvements	Buildings	Furniture, equipment, technology, motor vehicles	Roads, bridges, highways	Water infrastructure	Sewer infrastructure	Drainage infrastructure	Assets under construction	2017 Total	2016 Total
Cost, beginning of year	\$ 137,530,840	\$ 109,126,378	\$ 69,887,575	\$ 100,656,555	\$ 64,055,844	\$ 22,775,608	\$ 21,111,427	\$ 89,970,372	\$ 615,114,599	\$ 575,980,931
Additions	852,132	2,970,575	6,615,545	8,481,209	4,588,876	1,434,448	2,614,032	30,831,888	58,388,705	45,952,676
Disposals/transfers	-	-	(1,088,730)	-	-	-	-	(5,493,824)	(6,582,554)	(6,799,436)
Cost, end of year	138,382,972	112,096,953	75,414,390	109,137,764	68,644,720	24,210,056	23,725,459	115,308,436	666,920,750	615,134,171
Accumulated amortization, beginning of year	277,846	42,974,579	47,327,226	51,304,972	9,551,441	5,771,412	3,144,694	-	160,352,170	149,413,635
Disposals	-	-	(1,088,730)	-	-	-	-	-	(1,088,730)	(324,267)
Amortization	87,000	2,850,276	5,151,777	2,685,383	605,238	267,677	225,223	-	11,872,574	11,282,374
Accumulated amortization, end of year	364,846	45,824,855	51,390,273	53,990,355	10,156,679	6,039,089	3,369,917	-	171,136,014	160,371,742
Net carrying amount, end of year	\$ 138,018,126	\$ 66,272,098	\$ 24,024,117	\$ 55,147,409	\$ 58,488,041	\$ 18,170,967	\$ 20,355,542	\$ 115,308,436	\$ 495,784,736	\$ 454,762,429

- a.) Work in Progress - Assets under construction having a value of \$115,308,436 (2016 - 89,970,371) have not been amortized. Amortization of these assets will commence when the asset is put into service.
- b.) Contributed Assets - No contributed assets have been recognized in 2017 or 2016
- c.) Write down of Tangible Capital Assets - No write down of tangible capital assets occurred during 2017 or 2016.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

11. Accumulated Surplus

Accumulated surplus consists of individual fund surplus and reserve funds as follows:

	<u>2017</u>	<u>2016</u>
Surplus		
Equity in tangible capital assets	<u>\$ 422,401,080</u>	<u>\$ 387,505,952</u>
Non-Statutory Reserve Accounts		
Development Stabilization Reserve Account	<u>327,846</u>	-
Reserves		
Operating Fund	4,026,427	4,032,822
Financial Stability Reserves	54,794,382	48,259,590
Equipment and Infrastructure Replacement Fund	131,429,908	123,129,773
Tax Sale Lands Fund	5,789,588	5,865,775
Parks and Greenways Acquisition Fund	2,724,295	2,346,203
Local Amenities	754,439	637,198
Victoria Housing Fund	1,950,332	2,882,724
Climate Action	850,691	765,867
Art in Public Places	596,335	579,639
Downtown Core Area Public Realm Improvements	153,451	151,034
Downtown Heritage Building Seismic Upgrades	89,112	87,709
Less:		
Underfunded employee benefit obligation (Note 9)	<u>(5,965,421)</u>	<u>(5,806,918)</u>
Total reserves	<u>197,521,385</u>	<u>182,931,416</u>
	<u><u>\$ 619,922,465</u></u>	<u><u>\$ 570,437,368</u></u>

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

12. Taxation

Taxation revenue, reported on the Statement of Operations is made up of the following:

	Financial Plan 2017	2017	2016
General taxation			
General municipal purposes	\$ 124,911,268	\$ 124,916,051	\$ 120,139,530
Utility 1% tax	1,351,000	1,300,830	1,345,600
Collections for other governments			
Capital Regional District	-	21,072,574	19,149,615
School Authorities	-	48,471,680	49,222,779
Regional Hospital District	-	7,681,732	7,452,081
Municipal Finance Authority	-	5,971	5,157
BC Assessment Authority	-	1,463,498	1,515,385
BC Transit	-	8,673,719	9,065,133
Business Improvement Association	-	1,035,314	1,024,171
Special assessments			
Boulevard frontage	535,000	538,235	539,330
Specified area improvement	81,000	150,370	158,847
Sewer frontage	789,000	791,985	790,517
Hotel tax			
Tourism Victoria	-	-	2,542,861
Victoria Conference Centre	-	-	595,821
	<u>127,667,268</u>	<u>216,101,959</u>	<u>213,546,827</u>
Less taxes levied for other authorities			
Capital Regional District	-	21,072,574	19,149,615
School Authorities	-	48,471,680	49,222,779
Regional Hospital District	-	7,681,732	7,452,081
Municipal Finance Authority	-	5,971	5,157
BC Assessment Authority	-	1,463,498	1,515,385
BC Transit	-	8,673,719	9,065,133
Business Improvement Association	-	1,035,314	1,024,171
	<u>-</u>	<u>88,404,488</u>	<u>87,434,321</u>
Net taxes available for municipal purposes	<u>\$ 127,667,268</u>	<u>\$ 127,697,471</u>	<u>\$ 126,112,506</u>

The Corporation of the City of Victoria

Notes to the Financial Statements

December 31, 2017

13. Government Transfers

The City recognizes the transfer of government funding as revenues in the period that the events giving rise to the transfer occurred. The Government transfers reported on the Statement of Operations are:

	Financial Plan 2017	2017	2016
Unconditional transfers			
Traffic fine revenue sharing	\$ 1,973,000	\$ 1,755,723	\$ 1,972,322
Conditional transfers			
Jail	34,000	38,884	33,180
Gas tax	3,428,000	3,474,900	3,427,988
Infrastructure grants:			
General capital	2,292,000	1,019,492	-
Johnson Street Bridge	4,229,000	3,550,355	4,285,926
Cost-sharing agreements:			
General capital	3,695,000	624,743	126,344
	13,678,000	8,708,374	7,873,438
	\$ 15,651,000	\$ 10,464,097	\$ 9,845,760

Traffic Fine Revenue Sharing program is an unconditional grant provided to municipalities to assist in ensuring community safety and addressing community specific strategic priorities. The program returns 100% of net revenues from traffic violations to municipalities that are directly responsible for paying for policing.

Gas Tax is provided by the Government of Canada. The use of the funding is established by a funding agreement between the City and the Union of British Columbia Municipalities. These funds may be used towards designated infrastructure projects that achieve positive environmental results.

Infrastructure grants related to the Johnson Street Bridge Replacement Project are restricted to eligible expenses as defined by the funding agreement established between the City, Union of British Columbia Municipalities and The Government of Canada's Building Canada Fund Program.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

14. Miscellaneous Revenue

	Financial Plan 2017	2017	2016
Third party billing, cost sharing and recoveries	\$ 1,062,645	\$ 3,658,808	\$ 3,103,378
Arena lease equivalent, share of naming rights and ticket surcharge	622,500	504,133	543,958
CREST levy	400,000	338,395	365,632
Rezoning applications	367,500	984,657	396,485
Dog licences and fines	212,350	355,476	233,505
Bus shelter advertising	150,000	188,264	132,283
Tax certificates	125,000	145,585	154,185
Bonus density	-	-	100,000
Traffic and sidewalk permits	135,900	118,203	88,569
Fortis franchise fee	500,000	542,359	-
Development cost charges	55,000	251,815	-
Other: administrative fees, lease fees, information sales and asset disposals	891,323	1,250,052	1,128,354
	<u>\$ 4,522,218</u>	<u>\$ 8,337,747</u>	<u>\$ 6,246,349</u>

Third party billing and CREST levy are offset by expenses therefore budget variance has no impact on the City's operating surplus. Ticket surcharge revenue from the arena is impacted by arena annual operational activity. Amounts for bonus density are not determinable in advance, and do not impact operating surplus as balances are transferred to reserves, therefore no budget amount is provided in the Financial Plan.

15. Trust Funds

Trust funds administered by the City have not been included in the Statement of Financial Position nor have their operations been included in the Statement of Operations .

	2017	2016
Ross Bay Cemetery	\$ 972,181	\$ 933,714
Nature Interpretation Centre	618,928	609,181
Bastion Square Revitalization	237,256	233,520
	<u>\$ 1,828,365</u>	<u>\$ 1,776,415</u>

The Ross Bay Cemetery Trust is a fund for the non-commercial Ross Bay Cemetery and is used for perpetual maintenance.

The Nature Interpretation Centre is a trust for the construction of a nature interpretation centre in Beacon Hill Park.

The Bastion Square Revitalization Trust is a trust received from the Bastion Square Association Society for the sole purpose of improving Bastion Square.

The Corporation of the City of Victoria

Notes to the Financial Statements

December 31, 2017

16. Commitments

In the normal course of business, the City enters into commitments for both capital and operational expenses. These commitments have been budgeted for within the appropriate annual budget and have been approved by Council.

In 2010, residents authorized the City, by referendum, to borrow up to \$49.2 million for the planning, study, design, and construction of a bridge to replace the Johnson Street Bridge and to decommission the existing bridge. The City has loans totaling \$33.4 million from the MFA under the Municipal Infrastructure Lending Program in respect of the authorized borrowing for this project (Note 8). The estimated total cost for the Johnson Street Bridge is \$105.6 million and completion is expected by June 2018. At December 31, 2017, major construction contracts of \$63.5 million were in process with estimated costs to complete of \$4.5 million.

On March 23, 2011, the City signed a contribution agreement with the Federal Government agreeing to financial assistance towards the project of \$21 million through the Building Canada Fund. On March 3, 2012, the Federal Government announced an additional commitment of \$16.5 million towards the project through the Federal Gas Tax Fund.

17. Contingent Liabilities

The City is a defendant in various lawsuits. The City records an accrual in respect of legal claims that are likely to be successful and for which a liability amount is reasonably determinable. The remaining claims, should they be successful as a result of litigation, will be recorded when a liability is likely and determinable. Included in reserve funds is an insurance reserve of \$3,916,744 (2016 - \$3,855,063), maintained to offset settlements and insurance coverage is maintained to provide for insurable claims should they exceed the liability deductible of \$1,000,000 in any year. As of November 2008, the City joined the Municipal Insurance Association and all insurable claims from that date forward will be subject to a liability deductible of \$250,000 in any year.

The Corporation of the City of Victoria

Notes to the Financial Statements

December 31, 2017

17. Contingent Liabilities (Continued)

Under borrowing arrangements with the Municipal Finance Authority, the City is required to lodge security by means of demand notes and interest bearing cash deposits based on the amount of the borrowing. As a condition of these borrowings, a portion of the debenture proceeds is withheld by the MFA as a debt reserve fund. These deposits are included in the City's financial assets as restricted cash and are held by the MFA as security against the possibility of debt repayment default. If the debt is repaid without default, the deposits are refunded to the City. At December 31, 2017 the balance of the deposits was \$1,243,414 (2016 - \$1,124,988). At December 31, 2017 there were contingent demand notes of \$2,490,784 (2016 - \$2,256,949) which are not included in the financial statements of the City.

Capital Regional District debt, under provisions of the Local Government Act, is a direct, joint and several liability of the Capital Regional District and each member municipality within the Capital Regional District, including the City.

The City is reviewing environmental objectives and potential liabilities for its activities and properties including potential site reclamation obligations. The amount of any such obligations is not presently determinable.

The City is a shareholder and member of Capital Regional Emergency Service Telecommunications (CREST) Incorporated, which provides centralized emergency communications and related public safety information services to municipalities, regional districts, the provincial and federal governments and their agencies, and emergency service organizations throughout the Greater Victoria region and the Gulf Islands. Members' obligations to share in funding ongoing operations and any additional costs relating to capital assets are to be contributed pursuant to a Members' Agreement.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

18. Financial Plan Data

The financial plan data presented in these financial statements is based upon the 2017 operating and capital financial plan approved by Council on April 27, 2017. The table below reconciles the approved financial plan to the financial plan figures reported in these financial statements.

	Financial plan bylaw	Financial statement budget
Revenues		
Taxation	\$ 133,651,408	\$ 133,651,408
User fees and other revenue	65,531,449	65,531,449
Other	32,551,218	32,551,218
	<u>231,734,075</u>	<u>231,734,075</u>
Expenses		
General government	15,833,678	17,536,822
Protective services	73,457,050	74,857,124
Transportation services	21,015,426	24,798,238
Environmental and public health services	7,724,007	8,152,793
Social services and housing	1,566,802	1,566,802
Community planning	15,034,615	15,625,106
Parks, recreation and cultural services	25,762,872	27,121,857
Water utility	13,980,506	14,205,822
Sewer utility	3,669,494	4,179,886
Amortization	10,000,000	-
	<u>188,044,450</u>	<u>188,044,450</u>
	43,689,625	43,689,625
Less:		
Capital expenditures	(95,744,000)	-
Debt repayment	(2,691,090)	-
Add:		
Interfund transfers	54,745,465	-
Annual surplus	<u>\$ -</u>	<u>\$ 43,689,625</u>

The Corporation of the City of Victoria

Notes to the Financial Statements

December 31, 2017

19. Segmented Information

The City of Victoria is a diversified municipal organization that provides a wide range of services to its citizens. For management reporting purposes, the City's operations and activities are organized and reported by Fund. Funds were created for the purpose of recording specific activities to attain certain objectives in accordance with special regulations, restrictions or limitations. City services are provided by departments and their activities reported within these funds. Certain functions that have been separately disclosed in the segmented information, along with the services they provide, are as follows:

(i) General Government

The General Government operations provide the functions of Corporate Administration, Finance, Human Resources, Legislative Services and any other functions categorized as non-departmental.

(ii) Protective Services

Protective Services is comprised of four different functions, including the City's Emergency Management Agency, Fire, Police and the permits and inspections function of the Sustainable Planning and Community Development department. The Emergency Management Agency prepares the City to be more prepared and able to respond to, recover from, and be aware of, the devastating effects of a disaster or major catastrophic event that will impact the community. The Fire Department is responsible for providing critical, life saving services in preventing or minimizing the loss of life and property from fire and natural or man made emergencies. The Police Department ensures the safety of the lives and property of Victoria as well as Esquimalt citizens through the enforcement of municipal bylaws, criminal laws and the laws of British Columbia, the maintenance of law and order, and the prevention of crime. The Sustainable Planning and Community Development department has a broad range of policy, regulatory and program responsibilities including processing undertakings related to permits and inspections for Building Permits, Plumbing Permits, Electrical Permits, and signs.

(iii) Transportation Services

Transportation Services is responsible for a wide variety of transportation functions such as Parking, Engineering Operations and Streets. As well, providing services around infrastructure, traffic control, transportation planning, review of land development impacts on transportation, traffic management, pedestrian and cycling issues, on-street parking regulations, including street signs and painting as well as traffic signal timing.

(iv) Environmental and Public Health Services

The Environmental and Public Health Services is comprised of three sections in the areas of Solid Waste Services, Storm Drains, and Street Cleaning. The Solid Waste Collection and Recycling Operations section is responsible for the collection of household garbage. The Storm Drains section provides the design, inspection and technical supervision of civil engineering projects related to the construction and maintenance of the storm drain collection systems to protect public health. The Street cleaning section is responsible for the collection and disposal of litter and debris from streets, sidewalks and squares.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

19. Segmented Information (Continued)

(v) Social Services and Housing

Social Services and Housing includes grants to non-profit organizations for the purpose of facilitating social inclusion and community wellness, and to support affordable housing initiatives.

(vi) Parks, Recreation and Cultural Services

Parks is responsible for the maintenance, planning and development of all park facilities such as ornamental gardens, natural ecosystems, sport and entertainment venues and playgrounds for recreational and cultural enjoyment in a beautiful and safe environment; preserves and enhances green spaces on public lands. Recreation Services facilitates the provision of recreation and wellness programs and services through the Crystal Pool, Save-On Foods Memorial Arena, Royal Athletic Park, and Community and Seniors Centers. The Arts and Culture function supports community vibrancy and economic impact through tourism and visitor attraction.

(vii) Planning and Development

This segment is composed of four departments:

Sustainable Planning and Community Development: Supports quality development and economic health of the City. This function includes regulatory and program responsibilities including: community and city-wide land use planning; urban design; planning applications including zoning, development and variance permits, demographic and other planning information services.

Real Estate: Administers the City's portfolio of commercial properties; in particular, negotiating leases and lease renewals with tenants (lease-outs) and landlords (lease-ins).

Economic Development: This function is guided by six primary "engines" to drive Victoria's businesses, generate jobs, raise household incomes, and increase well-being. The six engines include: advance education and research and development; the ocean and marine sector; experimental tourism; government; technology; and entrepreneurship, start-ups and social enterprise.

Victoria Conference Centre: Responsible for strengthening the City's economy through the implementation of a vision and action plan for economic sustainability and growth in Victoria. Economic development in Victoria focuses on the prospects for the future as a city with high quality of life which supports the building of a vibrant, prosperous, fiscally sound and economically robust community.

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

19. Segmented Information (Continued)

(viii) Water and Sewer Utilities

The Sewer Utility protects the environment and human health from the impacts of liquid wastes generated as a result of human occupation and development in the City. The Water Utility delivers clean, safe and aesthetically pleasing potable water, in accordance with the Provincial Drinking Water Protection Act, to the citizens of the City of Victoria and Township of Esquimalt. The water is for the purpose of domestic consumption and firefighting.

Certain allocation methodologies have been employed in the preparation of the segmented financial information. The General Fund reports on municipal services that are funded primarily by taxation such as property taxes and other tax revenues. Taxation and payments in lieu of taxes are apportioned to the General Fund services based on budgeted taxation revenue as presented in the 2017-2021 consolidated financial plan.

The accounting policies used in these segments are consistent with those followed in the preparation of the financial statements as disclosed in Note 1.

The Corporation of the City of Victoria
Notes to the Financial Statements

For the year ended December 31, 2017

19. Segmented Information (Continued)

	General Fund							Water Fund	Sewer Fund	
	General Government	Protective Services	Transportation Services	Environmental and Public Health Services	Social Services and Housing	Parks Recreation Cultural Services	Planning and Development	Water Utility	Sewer Utility	Total
2017										
Revenues										
Taxation	\$ 24,610,419	\$ 61,848,820	\$ 10,676,307	\$ 2,389,623	\$ 1,593,061	\$ 27,223,195	\$ 4,892,595	\$ -	\$ 791,985	\$134,026,005
Goods & services	41,494	8,567,115	14,185,281	8,437,761	-	2,258,821	9,123,463	21,290,240	7,765,231	71,669,406
Government transfers	-	1,794,608	7,117,460	1,220,657	-	331,372	-	-	-	10,464,097
Other	5,746,429	4,400,195	5,319,295	47,778	-	1,498,809	4,396,100	719,181	449,940	22,577,727
	<u>30,398,342</u>	<u>76,610,738</u>	<u>37,298,343</u>	<u>12,095,819</u>	<u>1,593,061</u>	<u>31,312,197</u>	<u>18,412,158</u>	<u>22,009,421</u>	<u>9,007,156</u>	<u>238,737,235</u>
Expenses										
Salaries & wages	10,338,994	64,787,852	13,579,528	4,470,817	-	13,009,336	5,496,687	3,430,490	2,357,179	117,470,883
Materials, supplies, & services	4,681,704	8,508,105	6,125,816	2,359,011	53,106	11,082,294	8,478,953	10,210,006	798,938	52,297,933
Interests, & Foreign Exchange	127,146	-	1,601,996	-	-	794,112	168,561	-	-	2,691,815
Grants	-	-	-	-	1,497,500	1,978,055	319,031	-	-	3,794,586
Other	(315,285)	-	-	-	-	27,059	-	-	-	(288,226)
Capital expenditure not meeting tangible capital asset criteria	19,475	168,933	179,219	275,511	-	432,372	188,647	10,718	137,698	1,412,573
Amortization	2,016,070	1,663,294	4,493,998	509,400	-	1,614,281	701,506	606,348	267,677	11,872,574
	<u>16,868,104</u>	<u>75,128,184</u>	<u>25,980,557</u>	<u>7,614,739</u>	<u>1,550,606</u>	<u>28,937,509</u>	<u>15,353,385</u>	<u>14,257,562</u>	<u>3,561,492</u>	<u>189,252,138</u>
Annual surplus	<u>\$ 13,530,238</u>	<u>\$ 1,482,554</u>	<u>\$ 11,317,786</u>	<u>\$ 4,481,080</u>	<u>\$ 42,455</u>	<u>\$ 2,374,688</u>	<u>\$ 3,058,773</u>	<u>\$ 7,751,859</u>	<u>\$ 5,445,664</u>	<u>\$ 49,485,097</u>

The Corporation of the City of Victoria
Notes to the Financial Statements

For the year ended December 31, 2016

19. Segmented Information (Continued)

	General Fund							Water Fund	Sewer Fund	
	General Government	Protective Services	Transportation Services	Environmental and Public Health Services	Social Services and Housing	Parks Recreation Cultural Services	Planning and Development	Water Utility	Sewer Utility	Total
2016										
Revenues										
Taxation	\$ 25,814,908	\$ 60,557,702	\$ 11,404,876	\$ 1,250,000	\$ 564,822	\$ 27,849,065	\$ 3,745,154	\$ -	\$ 790,517	\$131,977,044
Goods & services	41,978	8,445,837	13,569,183	8,049,930	-	2,407,089	7,956,666	20,420,772	7,584,150	68,475,605
Government transfers	-	2,005,504	5,848,013	1,801,878	-	190,365	-	-	-	9,845,760
Other	4,757,187	4,885,511	4,932,373	-	-	1,141,121	3,582,336	558,086	394,569	20,251,183
	30,614,073	75,894,554	35,754,445	11,101,808	564,822	31,587,640	15,284,156	20,978,858	8,769,236	230,549,592
Expenses										
Salaries & wages	10,533,130	62,564,396	13,092,970	4,488,712	-	12,891,801	5,041,128	3,486,865	2,412,184	114,511,186
Materials, supplies, & services	3,346,425	8,197,329	5,481,153	2,458,738	-	11,194,500	10,863,776	10,299,244	859,943	52,701,108
Interests, & Foreign exchange	122,222	-	1,457,234	-	-	798,884	168,561	-	-	2,546,901
Grants	-	-	-	-	711,508	2,002,534	284,295	-	-	2,998,337
Other	1,135,442	-	-	-	-	-	-	-	-	1,135,442
Loss (gain) on disposition of capital assets	-	-	-	-	-	-	-	-	-	-
Capital expenditure not meeting tangible capital asset criteria	29,677	144,511	358,803	621,536	-	976,657	62,901	50,965	596,207	2,841,257
Amortization	2,309,700	1,501,297	3,991,355	481,416	-	1,555,397	638,680	568,541	235,988	11,282,374
	17,476,596	72,407,533	24,381,515	8,050,402	711,508	29,419,773	17,059,341	14,405,615	4,104,322	188,016,605
Annual surplus	\$ 13,137,477	\$ 3,487,021	\$ 11,372,930	\$ 3,051,406	\$ (146,686)	\$ 2,167,867	\$ (1,775,185)	\$ 6,573,243	\$ 4,664,914	\$ 42,532,987

The Corporation of the City of Victoria
Notes to the Financial Statements

December 31, 2017

20. Comparative Figures

Certain figures in the comparative information have been reclassified to conform with the current year presentation.

The Corporation of the City of Victoria

Final Report to the Committee of the Whole

For the year ended December 31, 2017

Dated April 11, 2018 for presentation on April 26, 2018



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April 11, 2018

Mayor and Council
The Corporation of the City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Dear Members of Council:

We are pleased to present the report on the results of our audit of the financial statements of The Corporation of the City of Victoria (the "City") for the year ended December 31, 2017. The purpose of this report is to summarize certain aspects of the audit that we believe to be of interest to the Council and should be read in conjunction with the draft financial statements and our draft audit report which is included as Appendix A.

We would like to bring to your attention that our audit and therefore this report will not necessarily identify all matters that may be of interest to the Council in fulfilling its responsibilities.

This report has been prepared solely for the use of the Council and should not be distributed without our prior consent. Consequently, we accept no responsibility to a third party that uses this communication.

We wish to express our sincere appreciation for the co-operation we received during the audit from the City's management and staff who have assisted us in carrying out our work. We look forward to connecting with you to discuss the contents of this report and any other matters that you consider appropriate.

Yours truly,

Bill Cox, FCPA, FCA
Partner through a corporation
BDO Canada LLP
Chartered Professional Accountants

BC/mkn

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EXECUTIVE SUMMARY

Audit Findings	<p>Our audit of the financial statements was designed to obtain reasonable, rather than absolute, assurance as to whether the financial statements are free of material misstatement.</p> <p>We conducted our audit in accordance with Canadian generally accepted auditing standards. The objective of our audit was to obtain reasonable, not absolute, assurance about whether the financial statements are free from material misstatement. The scope of the work performed was substantially the same as that described in our Planning Report to Council dated September 25, 2017.</p> <p>A detailed description of our audit findings has been detailed in this report.</p>
Status of Audit	<p>As of the date of this report, we have substantially completed our audit of the year-end financial statements pending the completion of the items highlighted below. These items will need to be completed prior to issuance of our audit report on the financial statements:</p> <ul style="list-style-type: none"> • Receipt of the signed management representation letter • Receipt of certain outstanding legal confirmations • Subsequent events review through to financial statement approval date • Approval of financial statements by Council
Audit Risks	<p>In accordance with our audit plan, our procedures focused on the following areas that we identified as containing risks of material misstatements:</p> <ul style="list-style-type: none"> • Risk of Management Override • Revenue Recognition • Tangible Capital Assets and Accumulated Amortization • Employee Future Benefits • Salaries and Benefits • Cash and Investments <p>We have summarized the results of our audit procedures for each of these risk areas in the body of this report.</p>
Internal Control Over Financial Reporting	<p>We did not identify any significant deficiencies in internal controls over financial reporting during the year ended December 31, 2017 that we considered to be material weaknesses.</p>
Fraud and Illegal Activities	<p>We developed procedures within our audit plan as recommended by CAS 240 - The Auditor's Responsibilities Relating to Fraud in an Audit of Financial Statements. Based on these procedures, we have not encountered any illegal activities or fraudulent events with respect to the City.</p>
Significant Events	<p>As of the date of this letter, we have not identified any significant events which we believe should be brought to your attention.</p>

Significant Accounting Policies	The client's significant accounting policies are listed in the financial statements. We believe management's selection of accounting policies is appropriate under Canadian public sector accounting standards.
Estimates	<p>Accounting estimates are an integral part of the financial statements and are based on management's current judgments. These judgments are based on knowledge and experience about past and current events, assumptions about future events and interpretations of the financial reporting standards.</p> <p>Our comments on the significant estimates included in the financial statements are included on page 9 of this report.</p>
Materiality, Audit Adjustments and Unadjusted Differences	<p>Our final materiality level of \$3,400,000 did not change from our planning materiality in our audit planning letter dated September 25, 2017.</p> <p>There were no adjusted or unadjusted audit misstatements for the year ended December 31, 2017 as disclosed in Appendix C.</p>
Disclosures	There are no material omissions with respect to the disclosures in the financial statements for the year ended December 31, 2017 that we have noted.
Independence	We confirm that we are still independent as of the date of this letter.
Representation Letter	A draft version of the representation letter to be signed by management is included in Appendix D.
Conclusion	We intend to issue an unmodified audit report on the financial statements for the year ended December 31, 2017 prepared in accordance with Public Sector Accounting Standards once the outstanding items referred to above are satisfactorily resolved and the financial statements are approved by Council.

INDEPENDENCE

At the core of the provision of external audit services is the concept of independence. Canadian generally accepted auditing standards require us to communicate to the Council at least annually, all relationships between BDO Canada LLP and its related entities and the City, that, in our professional judgment, may reasonably be thought to bear on our independence with respect to the audit of the City.

Our annual letter confirming our independence was previously provided to you. We know of no circumstances that would cause us to amend the previously provided letter.

MATERIALITY

Misstatements, including omitted financial statement disclosures, are considered to be material if they, individually or in aggregate, could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As communicated to you in our Planning Report to the Council, preliminary materiality was \$3,400,000. Final materiality remained unchanged from our preliminary assessment.

AUDIT FINDINGS

Based on our knowledge of the operations of the City, our past experience, and knowledge gained from management and Council, we have identified the following areas of focus that, in our judgment, require special audit consideration.

Significant risks arise mainly because of the complexity of the accounting rules, the extent of estimation and judgment involved in the valuation of these financial statement areas, and the existence of new accounting pronouncements that affect them.

As part of our ongoing communications with you, we are required to have a discussion on our views about significant qualitative aspects of the City's accounting practices, including accounting policies, accounting estimates and financial statement disclosures. In order to have a frank and open discussion, these matters will be discussed verbally with you. A summary of the key discussion points are as follows:

KEY AUDIT AREAS

Risk of Management Override

Key audit area	Approach	Results
<p>Management is in a unique position to perpetrate fraud because of management's ability to directly or indirectly manipulate accounting records, and prepare fraudulent financial statements by overriding controls that otherwise appear to be operating effectively.</p> <p>This risk is required for all audits pursuant to Canadian audit standards.</p>	<p>We tested the appropriateness of journal entries recorded in the general ledger and other adjustments made in the preparation of the financial statements.</p> <p>We also obtained an understanding of the rationale for significant transactions that we became aware of that were outside the normal course of operations for the City, or that otherwise appear to be unusual given our understanding of the entities and their environment. We reviewed accounting estimates for biases and evaluated whether the circumstances producing the bias, if any, represented a risk of material misstatement due to fraud.</p>	<p>All audit testing in this area was executed as planned and no issues were noted.</p>

OTHER ACCOUNTING AND AUDIT MATTERS

Revenue Recognition

Key Audit Area	Approach	Results
Accounting standards in this area are complex and open to interpretation. There is a risk that revenue may be incorrectly deferred into future periods.	<p>We reviewed grant agreements to ensure that revenue is being recognized in accordance with the latest revenue recognition standards.</p> <p>We reviewed grant expenditures to ensure that they meet the requirements per the grant agreement.</p> <p>Other revenues streams were reviewed in accordance with latest revenue recognition standards.</p>	All audit testing in this area was executed as planned and no issues were noted.

Tangible Capital Assets and Accumulated Amortization

Key audit area	Approach	Results
Useful life estimates will need to be re-evaluated to determine if they are still accurate. This involves a high level of estimation and coordination of the finance department with other departments.	<p>Performed tests of controls for appropriate authorization of purchases combined with substantive testing of additions and disposals in the year and amortization calculations.</p> <p>Reviewed policies on procurement for major projects and perform review of actual expenditures to approved budgets. Considered impairment for existing assets that are being replaced by new capital projects.</p> <p>Reviewed for changes in estimates of useful lives of existing assets.</p>	All audit testing in this area was executed as planned and no issues were noted.

Employee Future Benefits

Key audit area	Approach	Results
A complex area that requires a great degree of estimation and reliance on actuarial experts.	<p>We have reviewed the actuarial report for the current year and audited the significant assumptions and employee inputs provided by the City to the actuary.</p> <p>We communicated directly with the external actuaries.</p> <p>As part of our audit, we reviewed the appropriateness of disclosure of employee future benefits in the notes to the financial statements.</p>	All audit testing in this area was executed as planned and no issues were noted.

Salaries and Benefits

Key audit area	Approach	Results
A significant single type of expenditure that covers many employees and departments.	Applied computer audit testing to analyze all payroll transactions in the year.	All audit testing in this area was executed as planned and no issues were noted.
As a local government, this figure is often of particular interest to financial statement users.	Performed systems testing, tests of controls and analytical review of staff salary and levels.	

Cash and Investments

Risk	Approach	Results
Due to its nature, cash and investments are almost always considered to be a risk area in any audit.	We reviewed the yearend reconciliations and obtained third party confirmations.	All audit testing in this area was executed as planned and no issues were noted.

SIGNIFICANT ACCOUNTING ESTIMATES

Management is responsible for determining the City's significant accounting policies. The choice between accounting policy alternatives can have a significant effect on the financial position and results of the organization. The application of those policies often involves significant estimates and judgments by management. Based on the audit work that we have performed, it is our opinion that the estimates in the financial statements are reasonable and the disclosures relating to accounting estimates are in accordance with Canadian public sector accounting standards.

ADJUSTED AND UNADJUSTED DIFFERENCES

We have disclosed all significant adjusted and unadjusted differences and disclosure omissions identified through the course of our audit engagement. Each of these items has been discussed with Management.

For purposes of our discussion, a summary of adjusted and unadjusted differences and disclosure omissions has been presented in Appendix C. No adjusted or unadjusted differences were noted for the year ended December 31, 2017.

MANAGEMENT REPRESENTATIONS

During the course of our audit, management made certain representations to us. These representations were verbal or written and therefore explicit, or they were implied through the financial statements. Management provided representations in response to specific queries from us, as well as unsolicited representations. Such representations were part of the evidence gathered by us to be able to draw reasonable conclusions on which to base our audit opinion. These representations were documented by including in the audit working papers memoranda of discussions with management and written representations received from management.

A summary of the representation we have requested from management is set out in the management representation letter included in Appendix D to the report.

FRAUD DISCUSSION

Canadian generally accepted auditing standards require us to discuss fraud risk with the Council on an annual basis. Further to the discussion held with the Council during the planning of our audit, we have prepared the following comments:

Required Discussion	BDO Response	Question to Council
Details of existing oversight processes with regards to fraud.	Based on our discussions during the planning of our audit, the Council's oversight processes include: <ul style="list-style-type: none"> • Council and Committee charters; • Discussions at Council meetings; • Review of related party transactions; and • Consideration of tone at the top. 	Are there any new processes or changes in existing processes relating to fraud since the date of our previous discussions, that we should be aware of?
Knowledge of actual, suspected or alleged fraud.	Currently, we are not aware of any actual, suspected or alleged fraud.	Are you aware of any instances of actual, suspected or alleged fraud affecting the City?

AUDITOR'S RESPONSIBILITIES FOR DETECTING FRAUD

We are responsible for planning and performing the audit to obtain reasonable assurance that the financial statements are free of material misstatements, whether caused by error or fraud.

The likelihood of not detecting a material misstatement resulting from fraud is higher than the likelihood of not detecting a material misstatement resulting from error, because fraud may involve collusion as well as sophisticated and carefully organized schemes designed to conceal it.

The scope of the work performed was substantially the same as that described in our Planning Report to Council dated September 25, 2017.

INTERNAL CONTROL MATTERS

During the course of our audit, we performed the following procedures with respect to the City's internal control environment:

- Documented operating systems to assess the design and implementation of control activities that were relevant to the audit.
- Discussed and considered potential audit risks with management.

The results of these procedures were considered in determining the extent and nature of substantive audit testing required.

We are required to report to you in writing, significant deficiencies in internal control that we have identified during the audit. A significant deficiency is defined as a deficiency or combination of deficiencies in internal control that, in the auditor's professional judgment, is of sufficient importance to merit the attention of those charged with governance.

As the purpose of the audit is for us to express an opinion on the City's financial statements, our audit cannot be expected to disclose all matters that may be of interest to you. As part of our work, we considered internal control relevant to the preparation of the financial statements such that we were able to design appropriate audit procedures. This work was not for the purpose of expressing an opinion on the effectiveness of internal control.

We have not identified any significant deficiencies in internal controls. Please see the attached Management Letter in Appendix E for operational improvement observations.

OTHER REQUIRED COMMUNICATIONS

Professional standards require independent auditors to communicate with those charged with governance certain matters in relation to an audit. In addition to the points communicated within this letter, the table below summarizes these additional required communications.

Required Communication	Audit Planning Presentation	Audit Results Presentation	Auditor Comments
1. Our responsibilities under Canadian Auditing Standards (CAS)	✓		Included in our engagement letter dated October 31, 2016
2. Our audit strategy and audit scope	✓		Included in our Planning Report dated September 25, 2017
3. Fraud risk factors	✓		Included in our Planning Report dated September 25, 2017
4. Going concern matters		✓	None.
5. Significant estimates or judgments		✓	See Page 9
6. Audit adjustments		✓	See Appendix C.
7. Unadjusted differences		✓	See Appendix C.
8. Omitted disclosures		✓	None noted.
9. Disagreements with management		✓	There were no disagreements with management.
10. Consultations with other accountants or experts		✓	No external experts were consulted during this engagement.
11. Major issues discussed with management in regards to retention		✓	None.
12. Significant difficulties encountered during the audit		✓	No significant difficulties were encountered during our audit.
13. Significant deficiencies in internal control		✓	No significant deficiencies were noted.
14. Material written communication between BDO and management		✓	No material written communications were noted.
15. Any relationships which may affect our independence	✓	✓	No independence issues noted.

Required Communication	Audit Planning Presentation	Audit Results Presentation	Auditor Comments
16. Any illegal acts identified during the audit		✓	No illegal activities identified through the audit process.
17. Any fraud or possible fraudulent acts identified during the audit	✓	✓	No fraud identified through the audit process.
18. Significant transactions with related parties not consistent with ordinary business operations		✓	None noted.
19. Non-compliance with laws or regulations identified during the audit		✓	No legal or regulatory non-compliance matters were noted as part of our audit.
20. Limitations of scope over our audit, if any		✓	None.
21. Written representations made by management		✓	See Appendix D.
22. Any modifications to our opinion, if required		✓	Please see our draft independent auditor's report included in Appendix A.



BDO RESOURCES

BDO is one of Canada's largest accounting services firms providing assurance and accounting, taxation, financial advisory, risk advisory, financial recovery and consulting services to a variety of publicly traded and privately held companies.

BDO serves its clients through 105 offices across Canada. As a member firm of BDO International Limited, BDO serves its multinational clients through a global network of over 1,100 offices in more than 100 countries. Commitment to knowledge and best practice sharing ensures that expertise is easily shared across our global network and common methodologies and information technology ensures efficient and effective service delivery to our clients.

Outlined below is a summary of certain BDO resources which may be of interest to the Audit Committee.

PUBLICATIONS

- [Local and Municipal Governments - BDO Insights](#)

TAX BULLETINS, ALERTS AND NEWSLETTERS

BDO's national tax department issues a number of bulletins, alerts and newsletters relating to corporate federal, personal, commodity, transfer pricing and international tax matters.

For additional information on tax matters and links to archived tax publications, please refer to the following link: [Tax Library | BDO Canada](#).

APPENDIX A - Draft Independent Auditor's Report

INDEPENDENT AUDITOR'S REPORT

To the Mayor and Council of The Corporation of the City of Victoria

We have audited the accompanying financial statements of The Corporation of the City of Victoria, which comprise the Statement of Financial Position as at December 31, 2017, and the Statements of Operations, Change in Net Financial Assets and Cash Flow for the year then ended, and a summary of significant accounting policies and other explanatory information.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

Auditor's Responsibility

Our responsibility is to express an opinion on these financial statements based on our audit. We conducted our audit in accordance with Canadian generally accepted auditing standards. Those standards require that we comply with ethical requirements and plan and perform the audit to obtain reasonable assurance about whether the financial statements are free from material Misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the consolidated financial statements. The procedures selected depend on the Auditor's judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the entity's preparation and fair presentation of the consolidated financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of accounting estimates made by management, as well as evaluating the overall presentation of the financial statements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

Opinion

In our opinion, the financial statements present fairly in all material respects, the financial position of The Corporation of the City of Victoria as at December 31, 2017 and its results of operations, cash flows and changes in net financial assets for the year then ended, in accordance with Canadian public sector accounting standards.

Chartered Professional Accountants
Victoria, British Columbia
DATE

APPENDIX B - Independence Update

April 11, 2018

Mayor and Council
The Corporation of the City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Dear Members of Council:

We have been engaged to audit the financial statements of The Corporation of the City of Victoria (the "City") for the year ended December 31, 2017.

Canadian generally accepted auditing standards (GAAS) require that we communicate at least annually with you regarding all relationships between the City and our firm that, in our professional judgment, may reasonably be thought to bear on our independence.

In determining which relationships to report, these standards require us to consider relevant rules and related interpretations prescribed by the Chartered Professional Accountants BC and applicable legislation, covering such matters as:

- Holding a financial interest, either directly or indirectly in a client;
- Holding a position, either directly or indirectly, that gives the right or responsibility to exert significant influence over the financial or accounting policies of a client;
- Personal or business relationships of immediate family, close relatives, partners or retired partners, either directly or indirectly, with a client;
- Economic dependence on a client; and
- Provision of services in addition to the audit engagement.

We have prepared the following comments to facilitate our discussion with you regarding independence matters arising since September 25, 2017, the date of our last letter.

We are not aware of any relationships between the City and our firm that, in our professional judgment may reasonably be thought to bear on independence that have occurred from September 25, 2017 to the date of this letter.

We hereby confirm that we are independent with respect to the City within the meaning of the Rules of Professional Conduct of the Chartered Professional Accountants of British Columbia as of the date of this letter.



This letter is intended solely for the use of the Council, Management and others within the City and should not be used for any other purposes.

Yours truly,

A handwritten signature in black ink, appearing to read "Bill Cox".

Bill Cox, FCPA, FCA
Partner through a corporation
BDO Canada LLP
Chartered Professional Accountants

BC/mkn

APPENDIX C - Adjusted and Unadjusted Differences

SUMMARY OF UNADJUSTED DIFFERENCES

The following is a summary of uncorrected misstatements noted during the course of our audit engagement:

- There were no uncorrected misstatements found for the year ended December 31, 2017.

SUMMARY OF ADJUSTED DIFFERENCES

The following is a summary of differences that were corrected by management during the course of our audit engagement:

- There were no corrected misstatements found for the year ended December 31, 2017.

SUMMARY OF DISCLOSURE OMISSIONS

The following is a summary of disclosures that have not been made within the financial statements:

Disclosure Omission	Management's Response
No omissions of disclosure noted.	N/A

APPENDIX D - Representation Letter

[DATE OF FINANCIAL STATEMENT APPROVAL]

BDO Canada LLP
Chartered Professional Accountants
500 - 1803 Douglas Street
Victoria, BC V8T 5C3

This representation letter is provided in connection with your audit of the financial statements of The Corporation of the City of Victoria for the year ended December 31, 2017, for the purpose of expressing an opinion as to whether the financial statements are presented fairly, in all material respects, in accordance with Canadian public sector accounting standards.

We confirm that to the best of our knowledge and belief, having made such inquiries as we considered necessary for the purpose of appropriately informing ourselves:

Financial Statements

- We have fulfilled our responsibilities, as set out in the terms of the audit engagement dated October 31, 2016, for the preparation of the financial statements in accordance with Canadian public sector accounting standards; in particular, the financial statements are fairly presented in accordance therewith.
- Significant assumptions used by us in making accounting estimates, including those measured at fair value, are reasonable.
- Related party relationships and transactions have been appropriately accounted for and disclosed in accordance with the requirements of Canadian public sector accounting standards.
- All events subsequent to the date of the financial statements and for which Canadian public sector accounting standards require adjustment or disclosure have been adjusted or disclosed.
- The financial statements of the entity use appropriate accounting policies that have been properly disclosed and consistently applied.
- We have reviewed and approved all journal entries recommended by the auditors during the audit.

Information Provided

- We have provided you with:
 - access to all information of which we are aware that is relevant to the preparation of the financial statements, such as records, documentation and other matters;
 - additional information that you have requested from us for the purpose of the audit; and
 - unrestricted access to persons within the entity from whom you determined it necessary to obtain audit evidence.
- We are responsible for the design, implementation and maintenance of internal controls to prevent, detect and correct fraud and error, and have communicated to you all deficiencies in internal control of which we are aware.
- All transactions have been recorded in the accounting records and are reflected in the financial statements.
- We have disclosed to you all known instances of non-compliance or suspected non-compliance with laws and regulations whose effects should be considered when preparing the financial statements.
- We have disclosed to you the identity of the entity's related parties and all the related party relationships and transactions of which we are aware.

Fraud and Error

- We have disclosed to you the results of our assessment of the risk that the financial statements may be materially misstated as a result of fraud.
- We have disclosed to you all information in relation to fraud or suspected fraud that we are aware of and that affects the entity and involves:
 - management;
 - employees who have significant roles in internal control; or
 - others where the fraud could have a material effect on the financial statements.
- We have disclosed to you all information in relation to allegations of fraud, or suspected fraud, affecting the entity's financial statements communicated by employees, former employees, analysts, regulators, or others.

Existence, Completeness and Valuation of Specific Financial Statement Balances

- There are no pledges or assignments of assets as security for liabilities except as disclosed in the financial statements.
- All financial instruments have been appropriately recognized and measured in accordance with Public sector accounting standards. Significant assumptions used in arriving at fair value of financial instruments are reasonable and appropriate in the circumstances.
- Where the value of any asset has been impaired, an appropriate provision has been made in the financial statements or has otherwise been disclosed to you.

- The employee future benefit costs, assets and obligation have been determined, accounted for and disclosed in accordance with Canadian public sector accounting standards. The source data and plan provisions provided are complete and accurate. The plans included in the valuation are complete. The determination of the discount rate and the use of specific actuarial assumptions are our best estimate assumptions. We feel that the extrapolations are accurate and have properly reflected the effects of changes and events occurring subsequent to the most recent valuation that had a material effect on the extrapolation.

General Representations

- The nature of all material uncertainties have been appropriately measured and disclosed in the financial statements, including all estimates where it is reasonably possible that the estimate will change in the near term and the effect of the change could be material to the financial statements.
- There were no direct contingencies or provisions (including those associated with guarantees or indemnification provisions), unusual contractual obligations nor any substantial commitments, whether oral or written, other than in the ordinary course of business, which would materially affect the financial statements or financial position of the City, except as disclosed in the financial statements.
- We have informed you of all outstanding and possible claims, whether or not they have been discussed with legal counsel. Since there are no outstanding or possible claims, no disclosure is required in the financial statements.
- We confirm that there are no derivatives or off-balance sheet financial instruments held at year end that have not been properly recorded or disclosed in the financial statements.
- We have disclosed to you all significant customers and/or suppliers of the organization who individually represent a significant volume of business with the organization. We are of the opinion that the volume of business (sales, services, purchases, borrowing and lending) done by the City with any one party is not of sufficient magnitude that discontinuance would have a material negative effect on the ongoing operations of the organization.
- There have been no plans or intentions that may materially affect the carrying value or classification of assets and liabilities.
- We confirm that operating segments are appropriately identified and disclosed in accordance with Canadian public sector accounting standards.
- No significant matters, other than those disclosed in the financial statements, have arisen that would require a restatement of the comparative financial statements.

We have disclosed to you all information related to current and historical properties owned by the City and confirm that there is no material liability to remediate properties to environmental standards.

Yours truly,

Signature

Position

Signature

Position

APPENDIX E - Management Letter

E-mail: bcox@bdo.ca

April 11, 2018

Susanne Thompson, CPA, CGA, Director of Finance
The Corporation of the City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Dear Ms. Thompson:

RE: Auditor's Management Letter

As your external auditors we are engaged to provide an audit opinion on your year-end financial statements. An external audit requires testing of transactions and balances and review of those internal control systems upon which we may place reliance. A positive opinion on the financial statements does not necessarily mean that your internal control systems are all operating effectively. This is because we review only those internal control systems where we feel that failure in those systems could result in a material error on the financial statements. With those systems that we do review, our focus is on the assertions necessary to meet our financial statement audit objectives.

Our review of systems, transactions and balances as well as discussions with staff at various levels throughout the City gives us a unique insight into your operations. While conducting this work we make note of items that come to our attention where we feel that improvement could be made or alternatives could be considered. We are fortunate in that we work with a great number of clients and observe a wide variety of processes. We see firsthand any procedures that are emerging as best practices.

We are required to report to you in writing, significant deficiencies in internal control that we have identified during the audit. A significant deficiency is defined as a deficiency or combination of deficiencies in internal control that, in the auditor's professional judgment, is of sufficient importance to merit the attention of those charged with governance.

As matters come to our attention we make note of these for subsequent follow-up. For minor matters, we discuss directly with the staff involved. More important matters are brought forward in this letter (known as a management letter).

It is always worth noting that we almost always come up with points for all clients. The existence of points does not mean that there are significant problems with your systems or staff. They are just recommendations to make good systems better.

Current Year Recommendations

1. PerfectMind

In November 2017, the City completed the replacement of its recreation management system CLASS to PerfectMind, a project which required approximately one year to plan and implement. PerfectMind is a cloud based platform that tracks registrations and bookings, records revenues for financial reporting purposes, and is a point of sales system at City recreation centres. The City pays an annual fee for the right to use the platform.

Subsequent to implementation, it was noted that information summarized from PerfectMind was not suitable for financial reporting purposes, there was difficulties with credit card clearings, and other issues which have led to inefficiencies within the City. During our audit, we reviewed the implementation process and performed work over recreation revenues and did not note material errors or issues.

Management has been working hard to identify and remedy these issues as quickly as possible. We recommend that situation be monitored carefully to ensure implementation hiccups continue to be identified and resolved.

Management comments

Through a collaborative effort between Finance and Recreation, as part of a monitoring and feedback stage of the software implementation project, City staff have an ongoing process of reviewing the software functionality and procedures put in place and developing process enhancements to address issues identified. City staff continue to work with PerfectMind to put forward suggestions for service enhancements and fixes to address deficiencies of the reports being produced by the software. Additionally, City staff are communicating with other municipalities in BC that have implemented PerfectMind or are in the process of implementation, to benefit from shared learnings.

2. Environmental Sustainability

The topic of sustainability is top of mind for many organizations and stakeholders. As a publically accountable organization, residents of Victoria will be interested in the City's impact to the environment and its long-term sustainability goals. Communication about sustainability can include topics such as visions, goals, policies, and mandates over environmental activities, infrastructure plans, and emission volumes.

Being transparent about sustainability can lead to public buy-in for environmental capital initiatives as well as foster new relationships when it comes to public and private initiatives. Further, it creates accountability for the City to achieve and maintain sustainability goals and long-term targets.

We noted the City is actively engaged in topic of sustainability through its Climate Leadership Plan, Victoria Sustainability Framework, and Community Workshops. We recommend management consider further developing strategies in line with other local governments over public transparency and reporting of sustainability activities and metrics.

Management comments

The City is committed to being a global leader on sustainability and climate action. Recent achievements in this area include the creation of two new positions: Manager of Sustainability, Assets and Support Services, and Manager of Energy and Climate Action.

Our ongoing efforts include our draft Climate Leadership Plan (currently out for public comment). In addition, we are working on immediate upgrades to electric vehicle infrastructure in City parkades, and the development of Sustainable Waste Management and Sustainable Mobility strategies.

3. Rate increases in rental agreements

The City has multiple long-term rental agreements with external tenants. Certain agreements call for increases in rent during the term of the lease. We noted that the City accounts for rental revenue based on cash collected. Accounting standards require that rent revenues be recorded evenly during the life of the lease. Though this did not create a significant difference in the current year, incorrect accounting for large rental agreements in the future may result in material misstatements in revenue and deferred lease revenue.

Recommendation

We recommend the City review future lease agreements for step-increases in rent revenue and to account for revenues evenly over the term of the lease.

Management response

The amount currently reported matches the actual lease conditions and recognizes revenues in the year they are funding the related costs. Management believes the amount being reported is of more use to the financial statement users and, given the lack of material difference, the resources required to adjust the amounts would outweigh the value added to the financial statements. Management will review lease agreements and in the event that lease conditions include discounted amounts, Management will consider recording revenue evenly throughout the term of the lease.

Status of Prior Year Recommendations

1. Business Intelligence Reports

In our letter last year we noted that "Data analytics" are a much talked about new area in accounting and auditing. We were pleased to observe that the City has also brought in use of these tools and noted that staff have developed reports using Microsoft's Business Intelligence tools that will provide additional methods of controlling expenditures and commitments on a timely basis.

We applauded the use to date and recommended expanding use of this type of information in future.

2017 Update

In early 2017 the City continued to build on its Project Management Framework to incorporate the use of Business Intelligence for monthly and quarterly reporting for all key initiatives in the Operational Plan. This tool is open to both senior leadership and members of Council to provide regular updates on projects status. In late 2017, City staff rolled out plans to expand the reporting tool in 2018 to also include major capital programs as well as corporate initiatives that are underway to improve the efficiency and effectiveness of internal operations.

Permits and Inspections has a BI Dashboard which presents all active demolition permits requiring staff attention and identifies tasks in priority order so that staff know which tasks to address first in order to meet published service levels. This dashboard gives management and staff an overview of the entire division workload which is used to provide greater efficiency to better meet Service Level Objectives (SLO's).

The city is also launching a new open data platform and alongside that a BI Dashboard to help visualize the data in a way that's easier to understand allowing for quicker, more insightful interpretation of permit data and their trends.

2. Succession Planning

Last year we commented on the demographic shifts caused by "Baby Boomers" aging out of employment in the local government sector in British Columbia. We commented that the City is fortunate in that it does have experienced, but still reasonably young, staff in many key positions. Nevertheless, we felt that it was still important that succession planning be given a high priority.

We noted the following as key points for succession planning:

- identify at as early a stage as possible in their career, those staff with potential to both stay with the City and to grow into more senior roles;
- plan as to how to assign greater responsibilities to those individuals;
- keep those staff engaged by providing them experience in key decisions; and
- ensure that leaders at the City have employee development as one of their top goals.

Management agrees with the audit recommendation. Currently there are no formal procedures, however succession planning considerations are informally part of operational planning and incorporated when any position is being posted. Development of formal succession plans across the organization is underway.

2017 Update

Succession planning continues to be incorporated as part of operational planning considerations and Management in all departments are supported by HR in this area.

3. Department approval of purchases

During our review of the purchase processes last year we noted that any employee can submit a request to a buyer to initiate a Request for Offer (RFO). RFO's are used for purchases between \$10,000 and \$50,000.

We recommended that any RFO's initiated by an employee be authorized in writing from an appropriate department manager before a buyer starts the RFO process, unless that employee already has purchasing authority and further that this authorization should be retained for further reference.

2017 Update

Management approval is now included as part of the COV requisition process.

4. Review of budget before purchases are made

As part of the RFO process, buyers will ensure there is appropriate authorization before initiating purchases. In addition, the buyers will ensure there is sufficient budget to make the purchase based on information received from financial analysts. However, we noted last year that there was no process in place to document the review of the budget by the financial analysts. Without formal documentation of the financial analyst's review of the budget, there is a risk that the RFO process is started without sufficient funding to pay for purchases.

2017 Update

Currently, there is a budget sign-off box that indicates budget review and acceptance - this is to be completed prior to RFO being posted. Budget is confirmed prior to the purchase being awarded.

A written recommendation (usually e-mail) from the department is used as an award recommendation letter. The City currently has a formal budget worksheet that is signed off before awarding RFPs and tenders. Budgets are now confirmed prior to issuing all competitions.

This communication is prepared solely for the information of management and those charged with governance and is not intended for any other purposes. We accept no responsibility to a third party who uses this communication.

We would like to express our appreciation for the co-operation and assistance which we received from the City's management during the course of the audit.

We are pleased to discuss with you further any matters mentioned in this letter at your convenience.

Yours truly,



Bill Cox, FCPA, FCA
Partner through a corporation
BDO Canada LLP
Chartered Professional Accountants

BC/mkn

cc: Council

APPENDIX C

City of Victoria - Operating Budget Revenues/Funding Sources
For the Twelve Months Ending December 31, 2017

	Q4 2016 Actual	Q4 2017 Actual	2017 Budget	Variance	%	Explanation
Deputy City Manager						
Deputy City Manager	3,000	3,000	3,000	-	100%	Bastion Square Market fee
Arts, Culture and Events	412,482	697,299	397,800	(299,499)	175%	Additional revenue from Canada 150 grant not budgeted but has offsetting expenses; offset by reduced transfer from the Public Art Reserve for Neighbourhood Projects and Johnson Street Parkade Woven Together
Special Events Third Party Billings	35,262	59,734	-	(59,734)		Full cost recovery of related expenses
Economic Development	35,545	-	-	-		
Engagement	7,400	4,825	-	(4,825)		Downtown Late Night Strategy contributions; offsetting expenses
Legislative and Regulatory Services	275,709	442,679	287,350	(155,329)	154%	Increased revenues due to rezoning hearing fees, dog licenses, animal control fines and bylaw fines
Bylaw Enforcement Third Party Billing	25,502	24,009	-	(24,009)		Full cost recovery of related expenses
Real Estate	1,603,118	1,759,237	1,786,750	27,513	98%	Reduced transfer from 2015 surplus for Real Estate consulting support
Victoria Conference Centre (VCC)	4,148,744	4,218,524	3,739,138	(479,386)	113%	Increased revenues due to conference sales, audio, electrical, display, equipment, food and parking
VCC Event Costs Paid by Clients	4,449,137	4,934,878	3,460,000	(1,474,878)	143%	Full cost recovery of related expenses
Engineering and Public Works						
Engineering and Public Works	343,740	495,485	967,439	471,954	51%	Lower revenue due to encroachment fees and sidewalk café fees and lower transfer for the Sustainable Mobility Strategy and NTMP projects
Third Party Billings	922,964	861,505	528,400	(333,105)	163%	Full cost recovery of related expenses
Solid Waste and Recycling	3,015,036	3,066,603	3,050,454	(16,149)	101%	Increased revenue due to increase in bins and an increased shift to larger bins from smaller bins
Sewer Utility	7,998,191	8,252,745	7,982,200	(270,545)	103%	Higher consumption resulted in overall greater revenue
Water Utility	19,950,777	20,814,841	19,402,507	(1,412,334)	107%	Actual consumption was higher than estimated resulting in more revenue
Storm Drain Utility	6,026,058	6,529,973	6,294,511	(235,462)	104%	Uptake of the Rainwater rewards program lower than projected
Finance						
	-	600	-	(600)		
Parking Services	16,962,990	17,584,878	16,042,800	(1,542,078)	110%	Total parkade transactions increased by 7%; 1.5m transactions compared to 1.4m in 2016 and ParkVictoria transactions increased by 45%; 605,800 from 418,200 2016
Parks, Recreation and Facilities	2,886,698	2,919,428	2,986,966	67,538	98%	Increased revenues in arena programs, facility rentals and summer camps, outdoor recreation and RAP food and beverages; though offsetting expenses. Offset by lower transfers from reserves to match project expenses for Parks and Open Spaces Master Plan initiatives carried forward into 2018.
Sustainable Planning and Community Development	4,581,362	4,195,466	3,519,552	(675,914)	119%	Building permits, electrical and plumbing permits and rezoning revenues are higher than budgeted; net amount transferred to Development Stabilization Reserve account
Victoria Fire Department	171,202	432,477	159,700	(272,777)	271%	Fire safety plan reviews and oil burner permits, higher than expected and Wildfire recovery from the Province for related expenses
Corporate						
Payment in Lieu of Taxes/Special Assessments	7,368,987	7,779,735	7,416,140	(363,595)	105%	Increase to Province of BC and Federal PILT revenue
Fees and Interest	3,481,191	4,151,498	3,490,000	(661,498)	119%	Increased investment revenue offset by lower revenue from tax penalties
Business and Other Licences	1,507,717	1,532,216	1,499,500	(32,716)	102%	Increased business licences due to Cannabis retailers
Overhead Recoveries	3,196,589	3,310,160	3,310,160	(0)	100%	
Hotel Tax	2,542,861	-	-	-		
Miscellaneous	7,931,003	9,124,666	8,000,192	(1,124,474)	114%	Gas Tax revenue higher than budget by \$47,000, Fortis franchise revenue higher than budget by \$42,000, sale of surplus assets of \$112,000 and Traffic Fine Revenue \$217,000 less than budget. Victoria Housing Grant revenue of \$970,000 is recognized from the Victoria Housing Reserve; offset against matching expenditures
Prior Year's Surplus	1,818,421	3,827,930	3,827,909	(21)	100%	
Victoria Police Department	8,908,648	9,125,757	8,736,916	(388,841)	104%	Recoveries from Special Events are higher; though offset against higher expenditures
Property Taxes	120,139,530	124,916,053	124,911,268	(4,785)	100%	
Total	230,749,864	241,066,201	231,800,652	(9,265,549)	104%	

APPENDIX C
**City of Victoria - Operating Budget Expenditures/Transfers to Reserves
For the Year Ending December 31, 2017**

	Q4 2018 Actual	Q4 2017 Actual	2017 Budget	Variance	%	Explanation
City Manager's Office	687,679	801,455	838,230	36,775	96%	
Council	564,004	616,391	589,875	(26,516)	104%	
Deputy City Manager	396,356	432,287	421,470	(10,817)	103%	
Arts, Culture and Events	1,653,242	2,065,004	1,801,469	(263,535)	115%	Canada 150 expenses of \$500,000; offsetting revenues. Offset by reduced expenses for Artist in Residence and Art in Neighbourhood projects; carried forward to 2018
Third Party Billing - Special Events	31,287	57,339	-	(57,339)		Full cost recovery; offsetting revenues
Economic Development	284,900	422,530	496,410	73,880	85%	Reduced expenses for trade mission
Engagement	1,518,948	1,563,330	1,558,063	(5,267)	100%	
Downtown Late Night Strategy	353,224	363,584	344,161	(19,423)	106%	
Legislative and Regulatory Services	2,831,543	3,059,644	3,098,790	39,146	99%	
Third Party Billing - Bylaw Enforcement	25,502	24,009	-	(24,009)		Full cost recovery; offsetting revenues
Real Estate	1,282,821	1,488,389	1,616,111	127,722	92%	Vacancies and reduced rental property costs
Victoria Conference Centre (VCC)	3,693,604	3,514,735	3,512,100	(2,635)	100%	
VCC Event Costs Paid by Clients	4,449,137	4,934,878	3,460,000	(1,474,878)	143%	Full cost recovery; offsetting revenues
Engineering and Public Works						
Engineering and Public Works	13,292,457	14,429,788	14,426,900	(2,888)	100%	Increased expenses for snow clearing offset partially with vacancies
Third Party Billings	669,855	1,057,557	428,400	(629,157)	247%	Full cost recovery; offsetting revenues
Solid Waste & Recycling	2,749,542	2,913,473	3,050,454	136,981	96%	
Water Utility	19,923,570	20,806,748	19,402,507	(1,404,241)	107%	Surplus from higher revenue transferred to reserves
Sewer Utility	7,998,191	8,252,745	7,982,200	(270,545)	103%	Surplus from higher revenue transferred to reserves
Stormwater Utility	6,026,058	6,529,973	6,294,511	(235,462)	104%	Surplus from higher revenue transferred to reserves
Finance						
Finance	7,043,567	7,218,740	7,436,546	217,806	97%	Reduced expenses in software license agreements
Parking Services	7,005,044	7,704,030	7,589,535	(114,495)	102%	Increased payment to the Province under lease agreement due increased revenue at Broughton Parkade
Human Resources	1,660,390	1,810,510	1,911,871	101,361	95%	Vacancies
Legal Services	691,438	738,479	738,684	205	100%	
Parks, Recreation and Facilities						
Parks	10,092,962	10,703,562	11,260,581	557,019	95%	Vacancies and the Parks Master Plan and Downtown Tree Planting projects carried forward to 2017
Recreation	4,353,907	4,514,630	4,327,156	(187,474)	104%	Increased expenses due to seasonal programs: Summer Camps, Outdoor Recreation and RAP food and beverage and administration. Increased expenses offset with increased revenues
Facilities	5,565,563	5,325,470	5,634,550	309,080	95%	
Sustainable Planning and Community Development	5,246,893	6,021,802	6,031,032	9,230	100%	
Victoria Fire Department	15,723,293	16,738,894	16,666,651	(72,243)	100%	Increased salary expenses due to the BC Wildfires; offsetting revenue recovery
Corporate						
Contingencies	-	-	1,429,010	1,429,010	0%	
Debt Principal, Interest and Reserve Transfer	7,827,580	7,864,557	7,827,583	(36,974)	100%	Increased transfer to reserves due to lower interest payments and surplus cash payment received
Grants	2,861,462	3,762,535	2,834,294	(928,241)	133%	Payment of Victoria Housing Fund Grant offset by transfer from reserve
Hotel Tax	2,542,861	-	-	-		
Miscellaneous	4,165,795	2,768,396	3,057,700	289,304	91%	Reduced tax appeal expenses offset by increase in claim expenses
Transfer to VCC	300,000	300,000	300,000	-	100%	
Transfers to Reserve	16,268,387	19,551,030	17,139,369	(2,411,661)	114%	Increased transfers to affordable housing reserves for bonus density, debt reduction reserve for debt budget room and interest allocated to reserves

APPENDIX C

City of Victoria - Operating Budget Expenditures/Transfers to Reserves For the Year Ending Ending December 31, 2017

	Q4 2016 Actual	Q4 2017 Actual	2017 Budget	Variance	%	Explanation
Transfer to Capital Budget	10,298,706	10,161,000	10,161,000	-	100%	
Greater Victoria Public Library	4,718,574	4,879,695	4,879,695	-	100%	
Victoria Police Department	51,918,721	53,642,585	53,253,744	(388,841)	101%	Increased expenses due to Special Events; offsetting recovery revenue
Total	235,717,963	237,898,774	231,808,642	(5,239,122)	102%	

APPENDIX D

City of Victoria - Capital Budget Expenditures For the Year Ending December 31, 2017

	Actual	Budget	Variance	%	Explanation
Active Transportation	5,591,185	14,411,000	8,819,815	39%	Projects in progress: Bicycle Master Plan Implementation, David Foster Harbour Pathway
Complete Streets	2,531,890	5,784,000	3,252,110	44%	Projects in progress: Belleville Street; Cook Street from Pandora to Caledonia paving, Douglas paving project in conjunction with BC Transit bus lane project and Meares Street from Cook to East End
Neighbourhoods	246,425	338,000	91,575	73%	Projects in progress: Wayfinding
Parks	603,949	2,049,000	1,445,051	29%	Projects in progress: Burnside Gorge New Park, Topaz Park Improvement Plan, Outdoor Sport Court Improvement and Parks Furnishing Replacement program
Street Infrastructure	3,104,531	3,459,000	354,469	90%	Projects in progress: Beacon Hill Park and Raynor Park lighting upgrades, Selkirk Development Street light replacement, Gate of Harmonious Interest, Traffic Signal Fibre Optic Upgrades and Surface Infrastructure program
Retaining Walls and Railings	669,097	1,085,000	415,903	62%	Projects in progress: Dallas Road Seawall Rehabilitation, Dallas Road Seawall Ballustrade, Clover Point Shoreline Remediation and Dallas Road Bluff Study deferred pending outcome of CRD geotechnical drilling on Dallas Road and the Ship Point Retaining Wall and Pier is pending and scope of project will be defined as part of the Ship Point Master Plan
Bridges	17,024,057	21,740,000	4,715,943	78%	Projects in progress: Johnson Street Bridge
Facilities	4,539,172	76,742,000	72,202,828	6%	Projects in progress: Crystal Pool Replacement, VCC Safety Upgrades, VCC Upgrades and Repairs, Parkade Repairs, Firehall #3 Heating System Replacement and Parks Public Washroom Rehabilitation Plan
Equipment	5,596,174	10,176,000	4,579,826	55%	Purchases/Projects in progress: Vehicles, Telematics and Data Improvements, Asset Management/GIS System Development, Emergency Management and Parking Equipment Upgrades. Underground Fuel Storage Tank Replacement deferred to align with the Public Works Master Plan
Environmental Remediation	199,901	1,058,000	858,099	19%	Budget only spent if needed
Sanitary Sewers	2,351,349	3,840,000	1,488,651	61%	Deferred some of sewer mains replacement, system planning and inflow and infiltration projects to 2018
Stormwater	5,591,182	7,121,000	1,529,818	79%	Deferred some of stormwater mains replacement, brick main rehabilitation and system planning and assessment projects to 2018
Waterworks	5,130,498	5,957,000	826,502	86%	Deferred some of water mains replacement and water meter replacement projects to 2018
Contingency	-	357,000	357,000	0%	
Victoria Police	1,190,567	1,277,000	86,433	93%	Projects in progress: Computer equipment
Total	24,398,877	188,394,000	164,024,823	30%	

2017 FINANCIAL STATEMENTS

City of Victoria Draft Audited Financial Statements
For the year ended December 31, 2017

Committee of the Whole May 3, 2018



2017 Financial Statements
May 3, 2018 Committee of the Whole

Overview

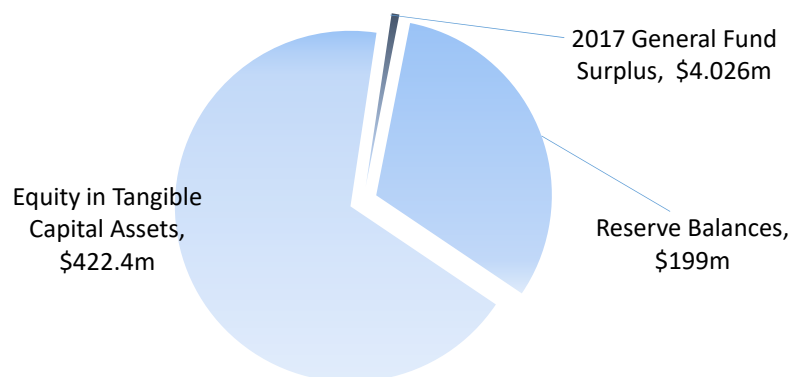
- 2017 Financial Statement Highlights
- Auditors Report



2017 Financial Statements
May 3, 2018 Committee of the Whole

Accumulated Surplus

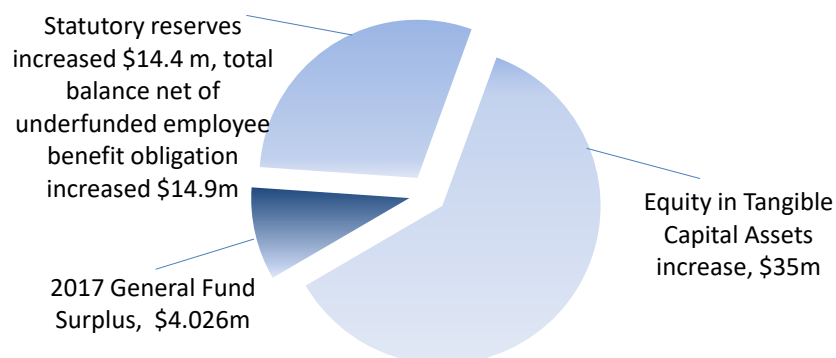
At December 31, 2017 - \$619,992,465



2017 Financial Statements
May 3, 2018 Committee of the Whole

Annual Surplus

For the year ended December 31, 2017 - \$49,485,097



2017 Financial Statements
May 3, 2018 Committee of the Whole

Reserve Balances

Reserve Fund Description	Dec 31, 2016	Transfer To	Transfer From	Interest	Dec 31, 2017
Financial Stability Reserves	\$ 48,259,590	\$ 5,762,616		\$ 772,178	\$ 54,794,384
Equipment & Infrastructure Replacement Fund	123,129,773	37,671,111	(31,341,029)	1,970,052	131,429,907
Tax Sale Lands Fund	5,865,775	50,000	(220,038)	93,852	5,789,588
Parks and Greenways Acquisition Fund	2,346,203	340,553	-	37,539	2,724,295
Local Amenities	637,198	242,713	(135,667)	10,195	754,439
Affordable Housing	2,882,724	257,508	(1,234,803)	44,902	1,950,332
Climate Action	765,867	120,461	(47,891)	12,254	850,691
Art in public places	579,639	135,000	(127,578)	9,274	596,335
Downtown Core Area Public Realm Improvements	151,034	-	-	2,417	153,451
Heritage Building Seismic Upgrades	87,709	-	-	1,403	89,112
Total Reserve Funds Balance	\$ 184,705,512	\$44,579,962	\$ (33,107,006)	\$2,954,066	\$ 199,132,534



2017 Financial Statements
May 3, 2018 Committee of the Whole

Financial Plan Comparison of Revenues & Expenses

- Financial Statements presented in PSAB format
- Budget comparison not effective in this format
- Meaningful comparison of budget to actual provided in the following:
 - Appendix C – Operating Revenues & Expenses
 - Appendix D – Capital Expenditures



2017 Financial Statements
May 3, 2018 Committee of the Whole

Audit Management Letter Observations

Current year:

- Recreation replacement software
- Environmental sustainability strategies regarding transparency and reporting of activities and metrics
- Future lease agreements for step-increases in rent revenue and consider applicable reporting standards



2017 Financial Statements
May 3, 2018 Committee of the Whole

Audit Management Letter Observations

Prior year:

- 3 observations were provided
- All items have been actioned by staff
- Status update: Appendix E, pages 25 – 27



2017 Financial Statements
May 3, 2018 Committee of the Whole

Recommendation

That Council approve the 2017 Financial Statements.



2017 Financial Statements
May 3, 2018 Committee of the Whole