



REVISED AGENDA - VICTORIA CITY COUNCIL

Thursday, June 14, 2018, 6:30 P.M.

Council Chambers, City Hall, 1 Centennial Square

Located on the traditional territory of the Esquimalt and Songhees People

Council is committed to ensuring that all people who speak in this chamber are treated in a fair and respectful manner. No form of discrimination is acceptable or tolerated. This includes discrimination because of race, colour, ancestry, place of origin, religion, marital status, family status, physical or mental disability, sex, sexual orientation, gender identity or expression, or economic status. This Council chamber is a place where all human rights are respected and where we all take responsibility to create a safe, inclusive environment for everyone to participate.

Pages

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B. READING OF MINUTES

C. REQUESTS TO ADDRESS COUNCIL

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C.2 Rajinder Sahota: 953 Balmoral Rezoning/ DP Application

C.3 Ric Houle: Water Safety in the Cold Atlantic Ocean, Cycling, and Marginalization

C.4 Chris Zmuda: Negligent of City Management

C.5 Ted Smith: Safe Inhalation Room and City Role in Legislation

C.6 Lincoln Stroller: Overnight Use of Public Parks

1

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3

Council is considering a development permit with variances application to relocate the existing liquor retail store to a different building located within the same site with larger floor area.

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- *Motion to adopt:*
 - Zoning Regulation Bylaw, Amendment Bylaw (No. 1127) No. 18-060

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I. NOTICE OF MOTIONS

J. BYLAWS

J.1 Bylaw for Rezoning Application No. 00612 for 63 Boyd Street 284

- A report recommending first and second readings of Zoning Regulation Bylaw, Amendment Bylaw (No. 1151) No. 18-039

The purpose of the bylaw is to rezone the land known as 63 Boyd Street to the R1-S2 Zone, Restricted Small Lot (Two Storey) District to create two small lot single family dwellings.

J.2 Bylaw for Rezoning Application No. 00573 for 2816 Shelbourne Street 287

- A report recommending first and second readings of Zoning Regulation Bylaw, Amendment Bylaw (No. 1138) No. 18-012

The purpose of the bylaw is to rezone the land known as 2816 Shelbourne Street to the RT Zone, Traditional Residential Attached Dwelling District to permit the construction of a five unit townhouse development.

J.3 Bylaw for Five Year Financial Plan 2018 Amendment 290

- A report recommending first, second, and third readings of Five Year Financial Plan Bylaw, 2018, Amendment Bylaw (No. 1) No. 18-073

The purpose of this bylaw is to amend schedules 2, 3, and 4 of the Five Year Financial Plan Bylaw, 2018.

J.4 Bylaw for Animal Responsibility Amendments 300

- First, second, and third readings of Animal Responsibility Bylaw, Amendment Bylaw (No. 1) No. 18-077

The purpose of the bylaw is to clarify regulations related to the keeping of poultry, including regulations related to the storage of poultry manure, and to provide discretion for Council to exempt persons or property from certain parts

of the Bylaw in cases of undue hardship.

(Pending approval at the June 14, 2018 COTW Meeting)

J.5 Bylaw for Election Procedures Amendments 302

- Adoption of Election Procedures Bylaw, Amendment Bylaw (No. 4) No. 18-070

The purpose of the bylaw is to amend the *Election Procedures Bylaw* regarding repeal of voting divisions, updating to reflect the four year term of Council, establish additional special voting opportunities, and establish campaign signage requirements.

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The purpose of the bylaw is to authorize an agreement for rental housing for the lands known as 515 Chatham Street.

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K.2 Letter from the Mayor of the City of Edmonton 315

A letter dated May 23, 2018 from the Mayor of the City of Edmonton, regarding the Edmonton Declaration regarding climate change.

L. NEW BUSINESS

M. QUESTION PERIOD

N. ADJOURNMENT

Victoria City Council By-Law Amendment Proposal

Lincoln Stoller, PhD, CHt, June 1, 2018



Summary

The city Bylaws don't allow a person to sleep in any park unless they are homeless. This also applies to wilderness parks throughout the peninsula. I would like the Council to consider amending the bylaws to allow residents to sleep in our parks.

History

Victoria has a large number of people interested in outdoor activities. Many lack cars and, or access to open land. City parks and services limit nighttime use of parks, and explicitly prohibit camping.

Camping and sleeping are different, but are equated in the current Bylaws. Camping establishes a day and night-time presence, a structure, equipment, preparation, investment, and duration. It is visible, includes eating, drinking, recreation and socializing, usually involves vehicles, an extended presence, and other activities.

Sleeping out involves nothing but sleeping. It has no daytime presence, no vehicles, is instantly engaged or removed. It requires a blanket or sleeping bag but takes no space, leaves no trace, can be invisible, attracts no attention, and causes no disturbance.

Proposal

Amending the parks-use Bylaws to permit sleeping in public parks under the limited and specified conditions detailed below. The council request the park commissioner consider this proposal, for the purpose of improving it.

Benefits

Public Service: Involving people in sharing of the commons is essential for an involvement and awareness. Opening park resources a night extends involvement and awareness.

Custodianship: Involving people in caring for shared resources creates co-creative neighbors. People involved in night-time use will agree to greater custodianship.

Health: The benefits of exposure to fresh air include gaining a more robust constitution, an improvement of memory, pulmonary function, and better sleep. Sleep deprivation affects 30% of the population, causes a high percentage of traffic accidents, is implicated low immune function, stress, poor job performance, and contributes to many physical diseases and psychiatric dysfunctions. People who sleep outdoors get better sleep, and raising awareness of this issue will have some impact.

Victoria City Council By-Law Amendment Proposal

Lincoln Stoller, PhD, CHt, June 1, 2018

Details of the Proposal

I suggest amending the Bylaws to allow sleeping in parks under these conditions:

- 1- a permit application is made between 1 and 3 weeks ahead of time
- 2- the application is considered, approval at the discretion of the parks department
- 3- if approved, a permit is issued
- 4- a single overnight period, and single location must be specified
- 5- permission granted is for only that date and location
- 6- there must be a group leader who carries the permit at the event
- 7- the group leader represents the group to citizens and officials
- 8- names and addresses of all participants are listed on the application and permit
- 9- groups enter after dark and exit before dawn
- 10- no tents or other structures are erected
- 11- no cooking, open flame, fire, smoking, or alcohol is allowed
- 12- no littering, loud noise, or public disturbance
- 13- group members remain within easy sight and quiet speaking distance of each other
- 14- no sleeping or lying within 5 meters of any path or road
- 15- no sleeping or lying in playgrounds, sports fields, flower beds, long grass, areas being used for an event, cemeteries, or anywhere that is considered environmentally sensitive
- 16- participants pick up any liter in their area, taking it with them when they leave
- 17- group leader submits an event review to the park department within 10 days of the event

If this proposal is approved I believe it will benefit individuals with more access, neighborhoods with greater security, parks with better attention, the Parks Department with better information, the city with greater services, and the City Council with good publicity.

Who We Are

In December 2017 I created a Meetup group called the "Sleeping Outdoors As Much As Possible" group. The online service Meetup provides a meeting space for like-minded people. Within the following six months 145 people joined this group. Our purpose is to facilitate sleeping out of doors.

Respectfully,
Lincoln Stoller
June 1, 2018

G. REPORTS OF COMMITTEES

G.1 Committee of the Whole

G.1.b Report from the April 26, 2018 COTW Meeting

Moved By Councillor Loveday

Seconded By Councillor Coleman

2670 Fifth Street and 2625-2637 Quadra Street – Development Permit with Variance Application No. 00070

An application to relocate the existing liquor retail store from a retail unit located towards the centre of the property, to a different unit located in the northeast portion of the property.

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00070 for 2670 Fifth Street and 2625-2637 Quadra Street in accordance with:

1. Plans date stamped March 21, 2018
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase the maximum floor area of a liquor store from 200m² to 594m²
3. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY

F.2 2670 Fifth Street and 2625-2637 Quadra Street - Development Permit with Variance Application No. 00070 (Hillside-Quadra)

Committee received a report dated April 12, 2018, from the Director of Sustainable Planning and Community Development regarding recommendations for a Development Permit with Variance Application for the property located at 2670 Fifth Street and 2625-2637 Quadra Street to relocate the existing liquor retail store and increase the floor area above the maximum floor area permitted in the current zone.

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00070 for 2670 Fifth Street and 2625-2637 Quadra Street in accordance with:

1. Plans date stamped March 21, 2018
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase the maximum floor area of a liquor store from 200m² to 594m²
3. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of April 26, 2018

To: Committee of the Whole **Date:** April 12, 2018

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variance Application No. 00070 for 2670 Fifth Street & 2625-2637 Quadra Street

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00070 for 2670 Fifth Street and 2625-2637 Quadra Street in accordance with:

1. Plans date stamped March 21, 2018.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase the maximum floor area of a liquor retail store from 200m² to 594m²
3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variance Application for the property located at 2670 Fifth Street and 2625-2637 Quadra Street. The proposal is to relocate the existing liquor retail store from a retail unit located towards the centre of the property, to a different unit located in the northeast portion of the property to allow for an increase in the floor area. The variance is related to increasing the floor area above the maximum floor area permitted in the current zone.

The following points were considered in assessing this Application:

- the proposal is generally consistent with the *Quadra Village Design Guidelines*
- the *Hillside-Quadra Neighbourhood Plan* identifies the property within Areas of Potential Change, within which the subject property is envisioned to have commercial uses

- fronting Quadra Street and residential uses fronting Fifth Street
- the proposal is generally consistent with the *Liquor Retail Stores Rezoning Policy*, which notes that stores larger than 275m² are to be considered on a case-by-case basis.

BACKGROUND

Description of Proposal

The proposal is to relocate the existing liquor retail store from a retail unit located towards the centre of the property to a different unit located in the northeast portion of the property, in order to increase the retail floor area. The exterior of the building will be refinished and new landscape planters will be installed. Associated signage will be approved at a later date as part of a Sign Permit.

The proposed variance is related to the increase in maximum floor area of a liquor retail store from 200m² to 594m².

Sustainability Features

The applicant has not identified any sustainability features associated with this proposal.

Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with this proposal.

Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit with Variance Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Existing Site Development and Development Potential

The site is presently a one-storey commercial building within an existing commercial plaza. Under the current C1-QV1 Zone, Quadra Village Commercial District, the property could be developed at a density of 1.4 to 1 floor space ratio (FSR) and a height of four storeys, with a variety of commercial uses, including commercial-residential.

Data Table

The following data table compares the proposal with the existing C1-QV1 Zone, Quadra Village Commercial District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria	Proposal	Existing C1-QV1 Zone
Liquor retail store floor area (m ²) - maximum	594*	200

Zoning Criteria	Proposal	Existing C1-QV1 Zone
Vehicle parking stalls - minimum	140	122

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on March 5, 2018 the application was referred for a 30-day comment period to the Hillside Quadra Neighbourhood Action Group CALUC. In addition, the applicant attended and presented at the January 8, 2018 CALUC meeting. The minutes from that meeting are attached to this report.

Consistent with the *Liquor Retail Stores Rezoning Policy*, the application was referred to School District No. 61 and the Victoria Police Department on April 4, 2018. No comments had been received at the time of writing this report.

Prior to submitting the Application, the applicant conducted additional methods of consulting the community, including circulating a petition and flyer, obtaining support from neighbouring businesses, holding a community open house, and publishing an article in the Hillside-Quadra News. More information about the consultation process can be found in Attachment F: Consultation Summary.

This Application proposes variances; therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variance.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 5, Large Urban Villages, within which the *Quadra Village Design Guidelines* are applicable. The proposal is generally consistent with the Guidelines. New lighting and a more permeable storefront will increase security, as well as make for a more pleasant pedestrian experience. The inclusion of planters will break up the large blank façade and increase green landscaping in the commercial plaza. Finally, relocating the existing liquor store to this location will bring increased activity to an unoccupied portion of the property.

Local Area Plans

The *Hillside-Quadra Neighbourhood Plan* identifies the subject property within Areas of Potential Change. The Plan envisions the subject property to be fully redeveloped with street retail facing onto Quadra Street with housing on upper storeys. Housing would be favoured along Fifth Street; however, at this time no redevelopment is occurring and the liquor retail store would be moving from one existing building to another existing building on-site.

Tree Preservation Bylaw and Urban Forest Master Plan

There are no Tree Preservation Bylaw impacts, and no impacts to public trees with this Application.

Liquor Retail Stores Rezoning Policy

Although not strictly applicable to a Development Permit with Variance Application, Staff used the *Liquor Retail Stores Rezoning Policy* to assess the Application. The Application meets most of the General Characteristics of the policy, including locating in an existing retail location, distance from a school, and minimum parking requirements. The Policy notes the most restrictive distance between liquor retail stores should be used, which in this case, is the Province of BC's one kilometre distance. The proposal is within one kilometre of another liquor retail store (337m); however, since the address of the proposal is the same as the existing liquor store, the Application has been given preliminary approval. Finally, the proposal notes that liquor retail stores in excess of 275m² are to be considered on a case-by-case basis. In this instance, the large store is within a Large Urban Village, which supports ground-oriented commercial uses including full-service grocery store, or equivalent combination of food retail uses and destination retail. Therefore, Staff believe a larger liquor retail store is supportable.

CONCLUSIONS

The proposal to relocate and expand the existing liquor store at 2670 Fifth Street and 2625-2637 Quadra Street would aesthetically improve an existing commercial building and bring activity to a vacant area of the property. In this instance, a liquor retail store larger than 275m² is acceptable by Staff due to the location of the property within an existing commercial plaza in the Large Urban Village designation and meeting the other characteristics found within the *Liquor Retail Stores Rezoning Policy*. Staff therefore recommend that Council consider supporting the Application.

ALTERNATE MOTION

That Council decline Development Permit with Variance Application No. 00070 for the property located at 2670 Fifth Street and 2625-2637 Quadra Street.

Respectfully submitted,



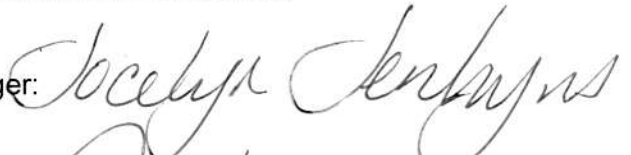
Michael Angrove
Planner
Development Services

JH



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date:

April 19, 2018

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans dated/date stamped March 21, 2018
- Attachment D: Letter from applicant to Mayor and Council dated February 16, 2018
- Attachment E: Community Association Land Use Committee Draft Minutes dated January 8, 2018
- Attachment F: Consultation Summary
- Attachment G: Preliminary Approval from the Liquor Control and Licensing Branch

ATTACHMENT A

10/54

1044

1042

1038

1034/36

2713

2707/09

1008
1002

1028

1020

HILLSIDE AV

1055

1031

1025

1019

2657

2639/41

2670

2637

2635

2631

2625

FIFTH ST

QUADRA ST

2714

980

2680

2656

2650-54

2646

2642/44

2634/38

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2618/20

2612

2608

2606

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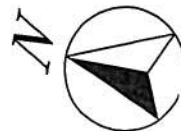
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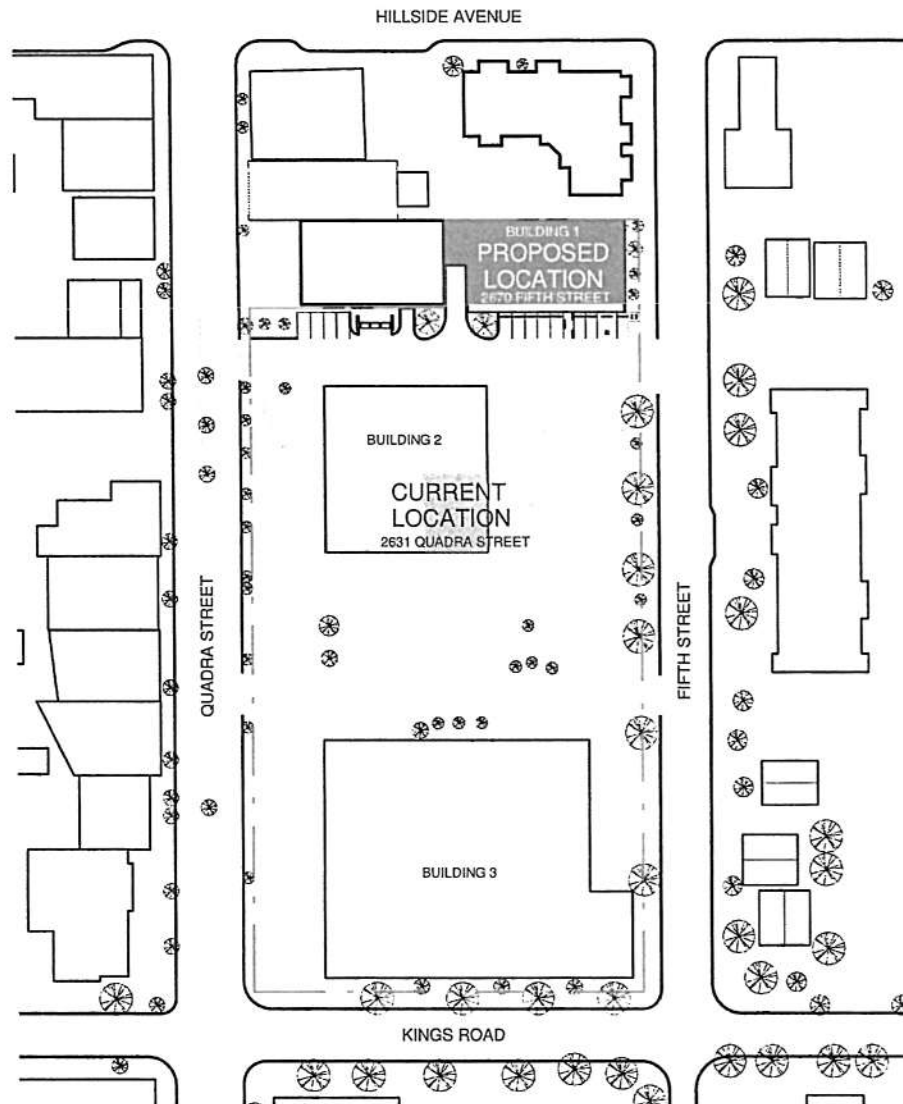
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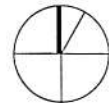
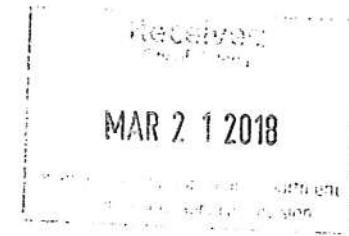
2670 Fifth Street

Development Permit with Variance #DPV00070





1 Site Plan
1 : 1000



PROJECT INFORMATION TABLE	
Zone (existing)	C1-QV1
Site area (m ²)	12,638
Total floor area (m ²) of Building 1	594
Commercial floor area (m ²) of Building 1	441
Floor space ratio	Existing unchanged
Site coverage %	Existing unchanged
Open site space %	Existing unchanged
Height of building (m)	4.9 (existing)
Number of storeys	1 (existing)
Parking stalls (number) on site	9 (existing)
Bicycle parking number (storage and rack)	4 (existing)
Building Setbacks (m)	
Front yard	Existing unchanged
Rear yard	0 (existing unchanged)
Side yard (indicate which side)	0 (existing unchanged)
Side yard (indicate which side)	2.7 m (existing unchanged)
Combined side yards	Existing unchanged



CASCADIA ARCHITECTS

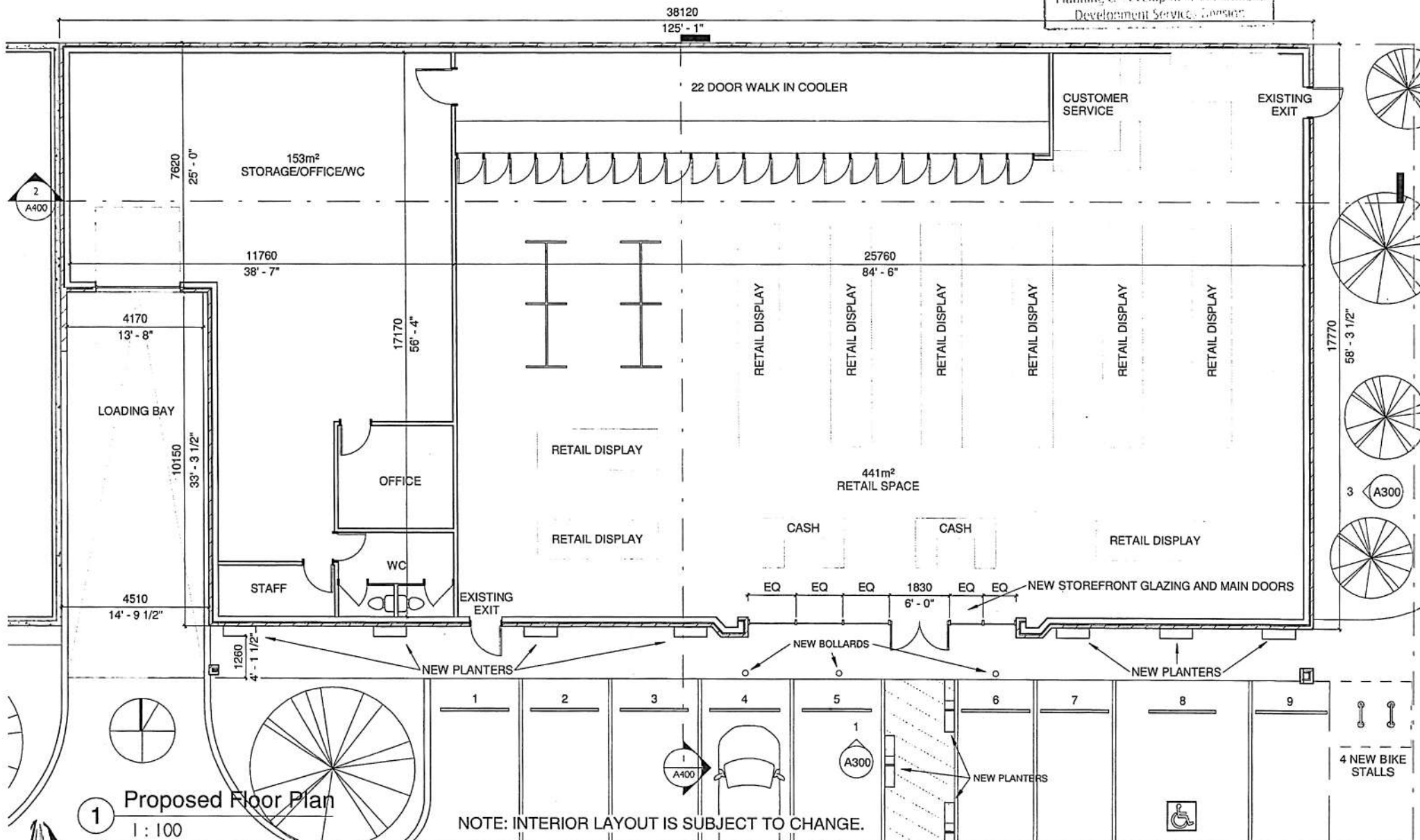
Site Plan

Cascadia Liquor
03/20/18

1 : 1000
A100

ATTACHMENT C

Planning, development, management Development Services Division	
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NOTE: INTERIOR LAYOUT IS SUBJECT TO CHANGE.



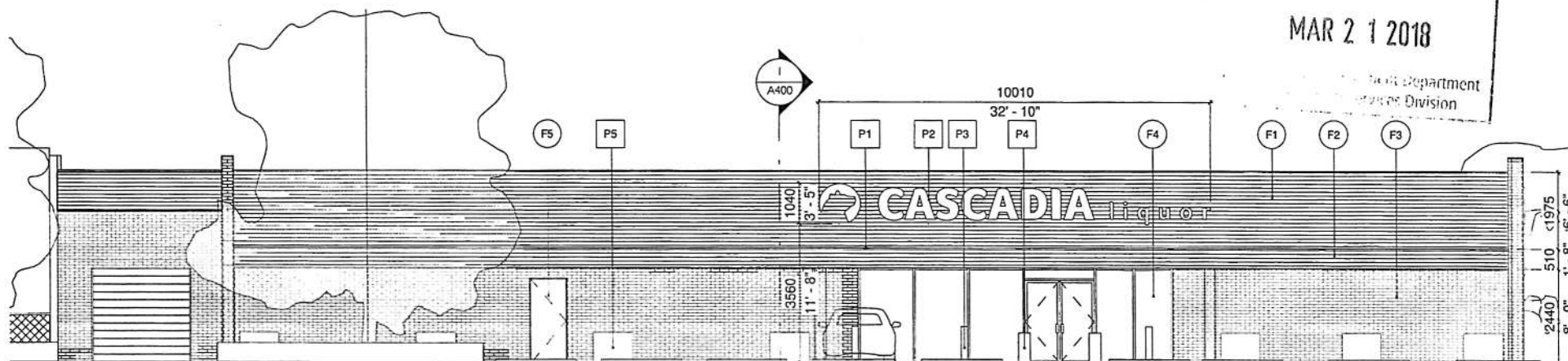
Cascadia Liquor
03/20/18

1 : 100
A200

Received

MAR 21 2018

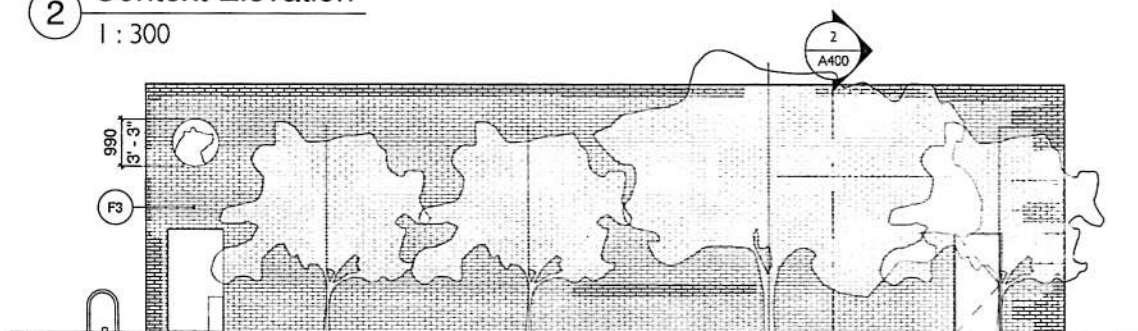
City Department
Public Works Division



1 South Elevation
1 : 100



2 Context Elevation
1 : 300



3 East Elevation
1 : 100

EXTERIOR FINISH SCHEDULE

- F1 **Replace existing fascia**
New tongue and groove clear cedar siding (colour: silver grey).
- F2 **Raise and replace existing soffit**
Tongue and groove clear cedar (colour: clear).
- F3 **Existing brick**
No change.
- F4 **New aluminum storefront glazing**
Clear anodized finish, double glazed.
- F5 **Existing door**
Refinish to match planters.
- P1 **Soffit lighting**
Recessed fixtures to illuminate walkway and entrance.
- P2 **Internally illuminated signage**
Surface mounted.
- P3 **New illuminated bollards**
ERCO Castor or similar.
- P4 **New planters**
Pot Inc. Geo 2 planter set or similar.
Powder coated aluminium (colour: gun metal), and corten finish.
- P5 **New planters**
Pot Inc. Bordo Dividing Planters or similar.
Steel corten finish.

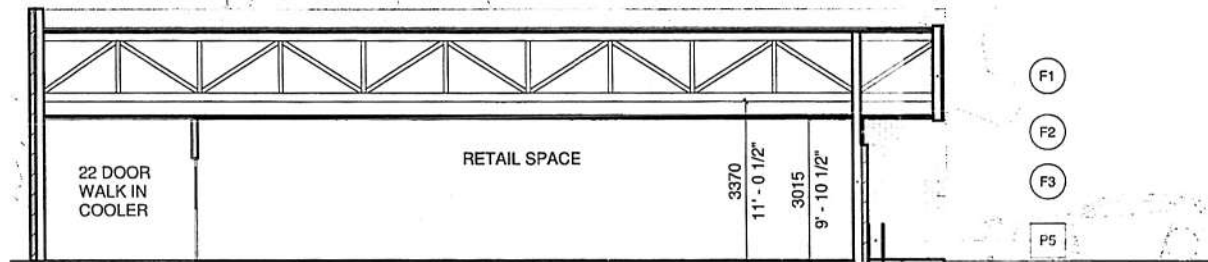


CASCADIA ARCHITECTS

Elevations

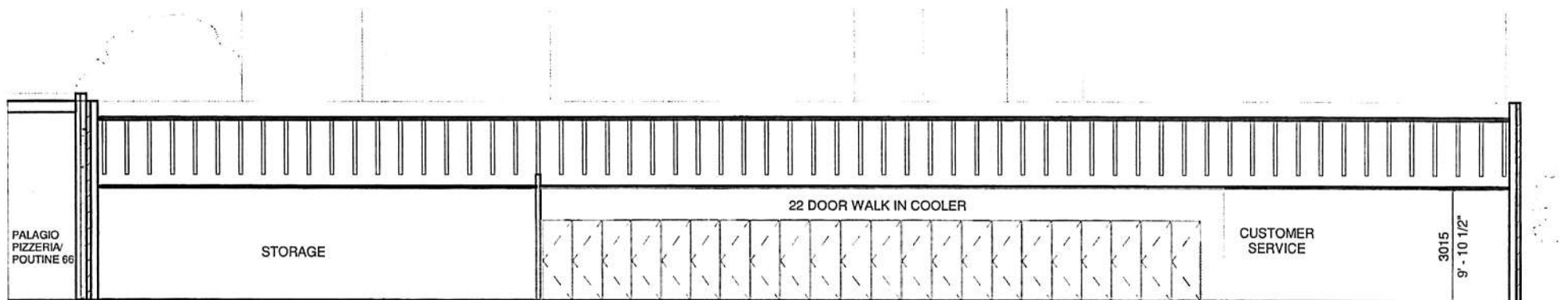
Cascadia Liquor
03/20/18

As indicated
A300



1 North/South Section
1 : 100

EXTERIOR FINISH SCHEDULE	
F1	<u>Replace existing fascia</u> New tongue and groove clear cedar siding (colour: silver grey).
F2	<u>Raise and replace existing soffit</u> Tongue and groove clear cedar (colour: clear).
F3	<u>Existing brick</u> No change.
F4	<u>New aluminum storefront glazing</u> Clear anodized finish, double glazed.
F5	<u>Existing door</u> Refinish to match planters.
P1	<u>Soffit lighting</u> Recessed fixtures to illuminate walkway and entrance.
P2	<u>Internally illuminated signage</u> Surface mounted.
P3	<u>New illuminated bollards</u> ERCO Castor or similar.
P4	<u>New planters</u> Pot Inc. Geo 2 planter set or similar. Powder coated aluminium (colour: gun metal), and corten finish.
P5	<u>New planters</u> Pot Inc. Bordo Dividing Planters or similar. Steel corten finish.



2 East/West Section
1 : 100



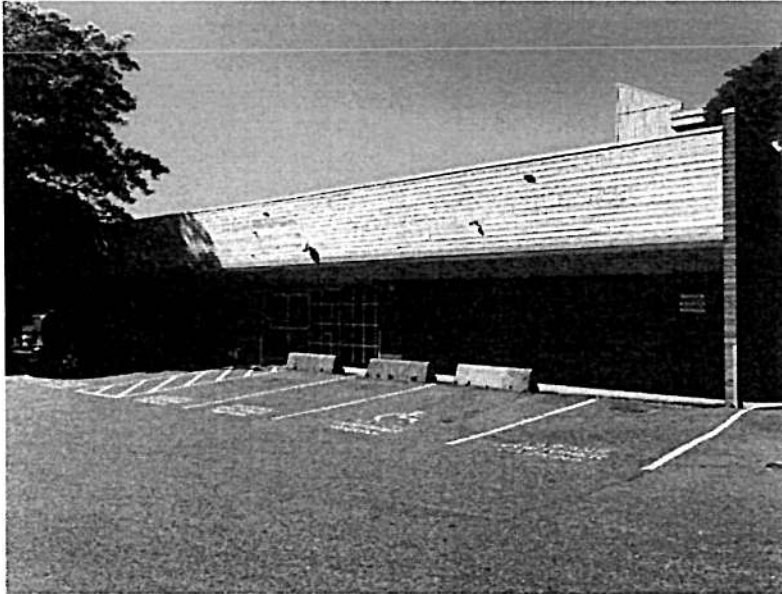
CASCADIA ARCHITECTS

Sections

Cascadia Liquor
03/20/18

1 : 100
A400

RECEIVED
City of Victoria
MAR 21 2018
Planning Department
Development Division



Existing



Proposed



CASCADIA ARCHITECTS

Rendering

Cascadia Liquor
03/20/18

A900



February 16, 2018

RE: Development Permit and Variance application – 2670 Fifth Street

Dear Mayor Helps and City of Victoria Council,

The Truffles Group is excited to submit the above noted application for relocation of the Cascadia Liquor retail store ("Cascadia") within the Quadra Village Shopping Centre.

Proposal:

The Development Permit application is to alter the exterior of the former BC Liquor Store building located at 2670 Fifth Street. Improvements will be made via replacement and redesign of the existing fascia, new glazing and door systems as well as hard and landscape improvements. A variance is required to alter the 200 square meter floor area detailed in the zoning bylaw. Although rezoning is not required, the proposal is consistent with the Liquor Retail Stores Rezoning Policy:

- The design addresses crime prevention principles via basic environment design with lighting and sightline improvements at the southern and eastern side of the building and property
- the proposed location has a retail area in excess of 275 square meters; however, the Liquor Retail Stores Rezoning Policy permits increased liquor retail areas on a case-by-case basis
- The proposed publicly accessible retail square footage is 440 square meters with storage and office space of 153 square meters (rationale for the increased size provided below)
- The store is in excess of 200m from any elementary or secondary school and in excess of 200m from another existing liquor retail store
- The application will improve the current building frontage and will be accessed via an adjacent street frontage and from within the existing shopping centre
- Quadra Village Shopping Centre is an established retail centre and is highly walkable and a bike friendly location. Nine (9) dedicated short term parking spaces and bike racks will be provided in front of the proposed location
- Preliminary approval for the relocation has been granted from the Provincial Liquor Control and Licensing Branch (LCLB)



- Residents and businesses of neighbouring lots have been polled regarding the acceptability of the application and we have received positive responses (see Consultation Summary)

Land Use:

- Quadra Village is identified as a Large Urban Village in the Official Community Plan, 2012 (OCP)
- Proposal is consistent with the strategic direction outlined in the OCP to further develop Quadra Village in the Hillside-Quadra area as a “complete village centre”
- Facility size rationale – size suitable for Large Urban Village environment with complimentary retail uses including large scale grocery and pharmacy. OCP states that “Large Urban Villages are to be anchored by a full-service grocery store or equivalent combination of food retail uses, serving either as a local, rapid or frequent transit service hub”
- Liquor retail stores identified in the OCP as a commercial element/use in the guidelines for complete Large Urban Villages
- The area is characterized by commercial and high density residential buildings on Quadra Street, Hillside Avenue, Kings and Fifth Street
- The site is presently developed as a retail shopping centre and the proposed building is currently vacant

Rationale:

- *Demand* – to support the vibrant growth of Quadra Village, including an increased demand for extended products and services. Cascadia Liquor Quadra Village is currently ranked 4th out of over 600 private liquor stores in BC for craft beer sales with 75% of these products being sourced from local and provincially based breweries. The relocation will assist in improving this ranking
- *Improved Customer Service* - to offer an elevated shopping experience. The store interior and exterior will be bright and modern, with wide aisles, inviting sightlines, and an extended product range with a focus on local producers, organic, and hard-to-find products from the Pacific Northwest and around the world.



CASCADIA liquor

- *Operational Improvements* - to facilitate efficient (and safer) product receiving which is currently handled on the exterior sidewalk causing disruption to neighbouring tenants and customers. The size of the current location requires smaller orders to be dropped on an almost daily basis. This requires on site or staff security to monitor product while it is transported manually from the sidewalk into the small storage area. The larger proposed location would also allow for bulk and discount-based buying opportunities. As previous home to a Provincially run liquor store the proposed location already has a loading bay, ramp and adequate storage in place to facilitate operational needs
- *Safety & Security* – to create a presence at the northern end of the Centre. The proposed location has been unoccupied for a significant period of time. The relocation would free up parking spaces for customers of Fairway Market, the expanded People's Pharmacy and walk in medical clinic. The proposed location would have more dedicated parking and would also better distribute traffic through increased use of the more northern ingress/egress locations on Fifth and Quadra Street. The building at the proposed location is unique, stand alone and designed for higher standard security requirements

Community

Cascadia Liquor Quadra Village ("Cascadia") is locally owned and has been operating at its current location in Quadra Village since 2009 and is grateful that the community has positively received our business.

Cascadia contributes monthly to a variety of charitable programs that raises funds for local non-profits through bottle donations, supplier partnerships and ice donations. This includes Quadra Village Day, SurfRider, Power to Be and many other local charities.

Cascadia has a longstanding positive relationship with the Quadra Village Neighbourhood Action Group and the Quadra Village Community Centre and has provided silent auction donations in support of neighbourhood community fundraising events.

A "Good Neighbour" policy is integrated into the landlord agreement to go above and beyond with commitments to the community including:

- That the use of the Premises shall not include the sale of single portion (bottle or can) of beer, coolers or ciders;
- that the closing time of the Premises will be limited to the same time as the closing time of Fairways Market, the adjacent grocery store, which is currently 11:00 p.m.
- that restrictive volume recycling program for bottles and cans is maintained



- that the Premises be operated in accordance with regulations imposed by the Liquor Control and Licensing Branch of the Ministry of Public Safety and Solicitor General and that the store will not operate in such a manner as to result in a nuisance or unreasonable disturbance to other tenants, neighbours or occupiers of the retail shopping complex
- that Cascadia Liquor shall meet at least once each calendar year with the Quadra Hillside Neighbourhood Action Group, or more frequently if required by them, to review compliance with the provisions of our agreement
- having extra security on site should the business be found to be attracting undesirable clientele

The proposed relocation will not negatively impact Quadra Village or the surrounding community. It brings many positives for the residents that shop in the area and alleviates some of the logistical challenges that are faced in Cascadia Liquor's current location.

Thank you for your consideration,

K. Barbon

Keith Barbon, CPA, C.A.
The Truffles Group of Companies



CASCADIA
liquor



**Hillside - Quadra Neighbourhood Action Committee Meeting
8 January 2018**

Minutes (draft)

1. Welcome and Introductions

In attendance: 13 community members plus City of Victoria staff and 2 representatives from Cascadia Liquor.

2. Approval of Agenda (Chair)

3. Approval of Previous Meeting Minutes (Chair)

4. Cascadia Liquor – Good Neighbour Agreement Annual Review – Ann Brydle, Manager, and Jeremy Pott, Regional Operations Manager.

- No major events at the Quadra Village location. Very busy holiday season.
- Jeremy Pott is relatively new to Cascadia (10 months), comes from a background in hospitality.
- Cascadia continues to expand, with their newest location in Nanoose Bay.

Development Variance Permit Application:

- DVP sought to support relocating the Quadra Village store to a new location within the same plaza.
- Planning to relocate to a larger space that was originally a BCLC location and most recently Aaron's. The new space is currently vacant.
- Current storefront location is very busy – larger space will allow for a wider range of services that are available at other Cascadia locations, including master classes and information/education sessions.
- Cascadia has partnered with Café Fantastico to provide similar information services in Quadra Village.
- An open house for the new space is planned for early February – no firm date yet.
- Cascadia is requesting letter of support from the NAC to support the application process.
- A variance is required to allow for liquor sales in a space greater than 200m² - rezoning is not required.
- The new space will provide a safer and more efficiency loading/unloading space. A formal loading bay, rather than unloading on the sidewalk, will be safer for employees and community members.
- The short term parking stalls in front of Cascadia will be relocated in front of the new location.
- The new location will offer new services, but the product offerings will not change (no single can sales).
- Plan to distribute flyers to nearby residential buildings regarding the plans and the open house.
- One resident at the meeting noted the positive impact Cascadia and their employees have on the plaza and community members visiting the plaza.
- No renovations planned other than cosmetic upgrades to interior and exterior.

Community member questions:

1. What about the incident log required as part of the original agreement with the community?
 - a. No increase to in-store incidents, but staff have observed that some activities have increased in the plaza (aggressive panhandling, other problematic activities)
 - b. It doesn't appear that the plaza security has changed.
 - c. The new location will increase exterior lighting to deter activities such as dumping, drug activities, etc.
2. How does Cascadia support the community?
 - a. Ben Isitt noted that charitable activities are not considered as part of development approval process.
 - b. Ice sales and bottle donations go directly to the community. For example, \$1000 to the Quadra Village Community Centre in 2017.
 - c. Staff is encouraged to volunteer for Quadra Village Day.

3. If Cascadia moves, will this open the door to second liquor store in the old location?
 - a. Only one liquor retailer is permitted in the plaza. This development will not allow for new liquor sales in the current location once Cascadia has moved.
4. Can a community notice board be included as part of the new location?
 - a. Cascadia will review options and report back.

5. City Hall Update (Councillor Isitt & City of Victoria staff liaison Gary Pemberton)

- "No Dumping" sign has been installed on the VISA building.
- January 20 – Topaz Park Session at L'Ecole Quadra
- **My Great Neighbourhood Grants** have been approved for:
 - Topaz bike music fest (activity category)
 - Mural on the CDI building (place making category)
 - Wark Street Commons revitalization (place making category)
- Topaz park survey is open until January 28th online. Survey and information available on the City of Victoria website: <http://www.victoria.ca/EN/main/residents/parks/improvements/topaz-park.html>
- 2018 Budget:
 - 180k traffic management plan with a focus on Hillside-Quadra, James Bay, and Oaklands.
 - 200k for Topaz Park improvements
 - 200k Summit Park playground
 - 50k for traffic bollards replacement – Kings @ Fifth
 - Pilot @ Haultain and Kings has been bumped to next year
 - QVCC funds have been renewed.
- Questions about the delays on the crosswalk at Cook and Haultain
 - Gary responded shortly after the meeting to confirm that work will be completed in the coming weeks.
- Community member asked Gary to send thanks to public work staff for quick work on a water main repair on a Saturday night. Positive comments about the quick action on Wark Street repairs as well, based on a request submitted online: <http://www.victoria.ca/EN/meta/contact/service-request-form.html>
- Community question about traffic planning for the Summit for vehicles entering and existing from Hillside
 - Ben Isitt requested an email reminder to look into this further and report back.
- "Speed reader" electronic notice boards will be available for each neighbourhood in the coming year.

6. NAC Priorities 2018 (All)

- Strong interest in cycle paths in the community – Graham could be developed into a "all ages and abilities (AAA)" cycle path, building on the new crossing lights at Hillside.
 - Ben Isitt – this can be done without separated lanes by reducing traffic to <2000 vehicles/day and <25 km/h through traffic calming measures.
- General discussion regarding the discourse on cycling in Victoria media and City Hall.
- LED streetlights have created some new dark spots at night
 - Ben suggests contacting public works directly.
- Bus stops and shelters could use attention. Some lack seating, some are in disrepair, and some are poorly located (#4 eastbound @ Graham).
- Interest expressed to get support and information for boulevard gardens.
 - Ben suggests reaching out to "street greens" website and seeking information.
 - Possible migrate neighbourhood grants
- Request for volunteer to apply for a grant for a neighbourhood garage sale
- Traffic signal timing Hillside @ Blanchard is too short for many community members to cross safely
 - Request to invite traffic engineers to upcoming NAC meeting.
- Leaves left on boulevards for collection are killing grass
- Garbage and furniture dumping in the neighbourhood continues to be a problem in some locations, including private property (plazas and apartment buildings).
- Tolmie is becoming a thoroughfare to avoid Quadra @ Finlayson
- General concern over loss of green space in the community

February 13, 2018

Cascadia Liquor Store Development Variance Permit Application for Relocation/Expansion COMMUNICATIONS & ENGAGEMENT RESULTS SUMMARY

THE GOAL

The goal of the Communications and Engagement Strategy was to assess and record community support for the relocation and expansion of the Cascadia Liquor Store in Quadra Village from 2631 Quadra Street to 2670 Fifth Street in support of the Development Variance Permit application to the City of Victoria.

THE APPROACH

This strategy, prepared by CitySpaces Consulting and implemented by Cascadia staff, comprised two main components:

1. Activities that focused on the wider community, and
2. Activities that focused on specific individuals, businesses, and organizations.

All communications were intended to clearly and openly explain the reason for the Development Variance Permit, why the larger location is needed, and how the new location will improve the Quadra Village shopping experience for consumers and neighbours alike.

THE ACTIVITIES & THEIR RESULTS

1) Petition & Community Information Flyer

- A petition was prepared and made available for signatures within the existing Cascadia Liquor location. The petition clearly explains what it supports and outlines the benefits of the project. Signers were asked to provide their names and addresses in addition to their signatures. As of the writing of this report approximately 1,200 signatures of support have been received.
- An information flyer was also available alongside the petition, and more thoroughly explained what Cascadia Liquor was intending to do with its application to the City. Information about the impending Open House event was also included. Cascadia staff were also always available to answer any questions about the project.
- See the Appendices for the full petition and flyer sample.

2) Immediate & Surrounding Business Neighbours

- Cascadia Liquor staff personally visited immediate and surrounding business neighbours to talk about the project. The information flyer, as well as project plans, were also part of these conversations. Individual forms for indicating support were left with these businesses, and more than 15 of them have been returned to Cascadia — all indicate support or indifference for the project.
- See the Appendices for returned forms of support.

3) Community Open House Event

- A community open house event was held on Saturday, February 3, 2018 from 1 pm to 4 pm in the proposed new store location. Almost 500 invitation flyers were hand delivered to

businesses and residents within a 100-metre radius of the Quadra Village Shopping Centre property line. These invitations were delivered 12 days in advance of the open house.

- At the event, the rationale, floorplans, and proposed timeline for the project were presented to the community, with several Cascadia staff members on hand to answer any questions. The petition was also available for signatures.
- The event was very successful. Of those who attended, 47 signed-in. Anecdotal feedback was very positive, and the only written comment form completed was also in support of the project.
- See the Appendices for the sign-in sheet, comment form, and invitation sample.

4) Other Opportunities

- Hillside Quadra Neighbourhood Action Group

Ann Brydle (Manager of Cascadia Quadra Village) and Jeremy Pott (Cascadia's Regional Operations Manager) attended the January 8, 2018 meeting of the Hillside Quadra Neighbourhood Action Group to address any comment or concerns related to the annual review of the existing location's Good Neighbour Agreement.

Ann and Jeremy also gave a presentation outlining the details of the Development Permit Application and variance. They were also able to answer questions regarding the existing Good Neighbour Agreement and how the new location will improve security for the shopping centre. They were also asked about how Cascadia supports the community, if another liquor retailer could take Cascadia's existing location and if it was possible to install a community message board in the new location. See the Appendices for the full meeting minutes.

- Hillside Quadra Community Association Land Use Committee (CALUC)

Members of the CALUC were present at the Quadra Neighbourhood Action Group meeting and Cascadia Liquor subsequently provided detailed information on the proposal to the chair.

- The Hillside-Quadra News

The Hillside-Quadra News is an online community news site for the neighbourhood. The Cascadia project was presented in a feature article, and information (including details of the open house) was also shared through the site's social media channels. See the Appendices for examples from Hillside-Quadra News.

- Victoria City Hall

Early on in the development of this project, Cascadia Architect and Cascadia staff members met with the City's Planner for Hillside-Quadra, Mike Angrove, to find out the best way to move forward within the City's development processes. Cascadia staff met with the Council representative for Hillside-Quadra, Ben Isitt at the Neighbourhood Action Group meeting to provide an overview of the project prior to submission of the final Development Permit Application.

CONCLUSION

From all the feedback received, both written and anecdotal from Cascadia staff, the residential and business communities within and surrounding Quadra Village Shopping Centre support the expansion of Cascadia Liquor to its proposed new space located at 2670 Fifth Street.

K. Barbon

Keith Barbon, CPA, C.A.

The Truffles Group of Companies

APPENDICES

- A. Petition for Support
- B. Flyer Sample
- C. Support from Business Neighbours
- D. Open House Sign-in Sheet, Comment Form & Invitation Sample
- E. Hillside Quadra Neighbourhood Action Group Meeting Minutes
(January 8, 2018)
- F. Hillside Quadra News Feature Story & Social Media Posting

APPENDIX A

Petition for Support

Help Support our Expansion!

The Cascadia Liquor Quadra store is applying to the City of Victoria for a **Development Variance Permit** to allow us to move to the larger location right next door in Quadra Village Shopping Centre (2670 Fifth Street).

The advantage of the new location will provide:





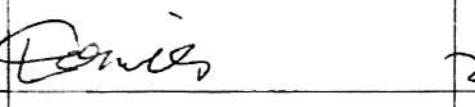
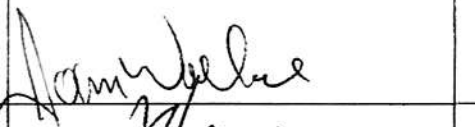

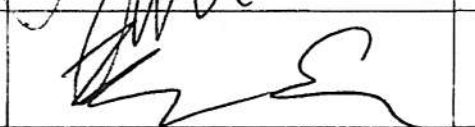
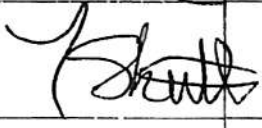
- A bright & modern interior with an expanded & enhanced product selection
- Less parking lot congestion for customers and other Quadra Village retailers.
- Better building security (no rear access, front door bollards, etc.), and better product security during deliveries (private loading dock).
- Meet demand from neighbourhood and improve customer experience.



CASCADIA
liquor

Please show your support for our proposed expansion by signing this petition.

Thank you!

Name (printed)	Signature	Address
Gregory Russell		Kerrwood, BC
Adam GERBER		VICTORIA, BC
Jeremy Tapp		2631 Pico St.
KEITH MILLS		1114 ORMOND ST.
Lucas		2561 Scott
John W		Saanich.
Michael Kelly		Saanich.
Brian Eagles		Fort
TAREZA SHUTTLEWORTH		VICTORIA

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CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
Shelly MacLeod	<i>Shelly MacLeod</i>	2860 Quadra
Colin MacLeod	<i>Colin MacLeod</i>	3249 Quadra
Ryan Murphy	<i>R Murphy</i>	1629 5th St.
Leah Richardson	<i>Leah Richardson</i>	863 Wild Ridge Way
Jeremy Brown	<i>Jeremy Brown</i>	2520 Clark St
Peter Tamnilebb	<i>Peter T.</i>	2622 Prior St.
Ashley Armstrong	<i>A Armstrong</i>	3568 Quadra
Sydney Chaz	<i>Sydney Chaz</i>	2157 - FIFTH
Christy James	<i>Christy James</i>	3101 Yew St.
Ashad Turtle	<i>Ashad Turtle</i>	1092 Clowreclark
T Thinnelstad	<i>T Thinnelstad</i>	2426 Clark St

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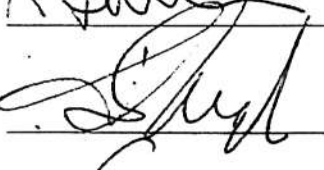
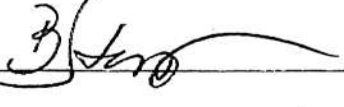



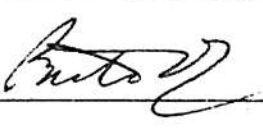
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CASCADIA
liquor

Please show your support for our proposed expansion by signing this petition.

Thank you!

Name (printed)	Signature	Address
Susan Reinson		2604 Blackwood St, Victoria
Ross Hughes		3151 5th St
A. Lawrence		#203 1116 Queens Ave
	J.S. LAND	1025 KINGS.
	Barb Staton	Black Creek Victoria!
Hannah K		
Nicole Nelson		602 Duredin St. Victoria
Sandy R		Victoria
Richard Olafson		V. & M.
WENDY ADAMS	W Adams	2717 PRIOR ST.
RAY YANYSHYN	R. Yanyshyn	2790 CEDAR HILL RD.

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CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
GORDON BEACK		1017 QUEENS
David Wolland		2850 fifth st
Sean Annable		1118 Bay St
Tyler Asnadok		2515 Fowler Pl
Ron Lou-Poy	R. Lou-Poy	2570 Vista Bay Rd
Marie Spicer	Wain Lin	3922 Carlhora Bay
Sam Wheeler		1002 n. park st
David Clifford	David Clifford	2536 Blackwood St.
S. Britton		Quon st

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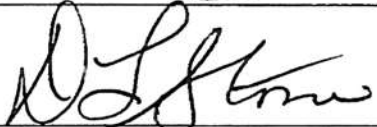








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CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
ALEX BIRD		2888 Quadra
DIXIE STONE		2315 Wark.
Lisa Cadeau		2644 Prior St
Glenn Wiley		2475 5th St
MO DAWSON		2556 EMPIRE ST
Kym Cyr		2556 Graham St
Doreen Simpson		2556 Graham St.
Paul Nystedt		2333 Dowler Place
Lordie MAXWELL		2680 Quadra
K. DONALDSON		2105 Cook

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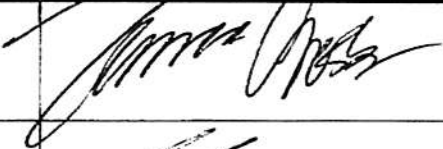
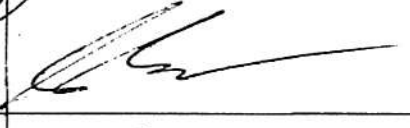
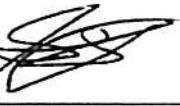





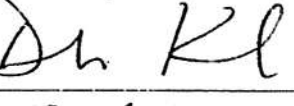

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CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
Tamara Crosby		1038 Vista Hts
SEAN NICHOLSON		1038 VISTA HTS
Simon Pinsky		1607 Chandler Ave.
Ceilidh Stubbs		2507 Wesley Pl.
Graham Plant		1199 Toke ave
Jeremy Dayman		1805 Newton
CLARK MANTIC		1055 HILLSIDE
TANJA LINDQVIST		1226 JOHNSON ST.
Danielle Kaardal		2589 Quadra St.
Charlie Garner		2876 Fifth St

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liquor

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Thank you!

Name (printed)	Signature	Address
Mark Wachin		799 Melody Place Victoria BC V9E2A2
Fake Miller		2598 Quadra Street Victoria B.C
Mr. Latour		908 market st
Allison morton		2610 Graham st
Martin Schut		2610 graham st.
Wong Bong		2540 Skelebourne
Anna Rasmussen		2540 Wesley Pl. V8T1V2
Andrea Radley		134580 W Saanich V8Z 3G4
Richard Brownlee		1430 Princess Ave V8T 1H1
James Murray		1253 Bast Ave

Help Support our Expansion!

The Cascadia Liquor Quadra store is applying to the City of Victoria for a Development Variance Permit to allow us to move to the larger location right next door in Quadra Village Shopping Centre (2670 Fifth Street).

The advantage of the new location will provide:







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CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
JASON FERDMAN		View Royal
RON WYNDELS		Blackwood St.
MICHELLE VERMETTE		Dunlevy St
W CHEETHAM		Finkelson/Quadra
C WILLIAMSON		Blackwood St.
Cherie Kerwin.		6285 Algonquin Place.
Ram Kwasnicki		205 2136 Ridge Rd.
Alexis Tivadar		Quadra St.
Sylvia Lister		Vista Hills
Ann Bryden		Fernwood.

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liquor

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Name (printed)	Signature	Address
Martin Wilken		2406 Wark
CHRIS MARMORCHIE		2320 QUADRA ST
DEAN H. HANSEN		1260 MATTHEW AVE
R GRAEME LOCKIE		865 QUADRA AVE
STEVE MURPHY		2512 WEBLEY PL
Alex Schwenhage		2511 Vancouver St
SANDRA KOLESNIAR		2425 Wark St.
Tommy Sampson		2425 Wark St.
	BRAD JONES	QUADRA VILLAGE
	James Grant	2515 VICTOR ST

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Name (printed)	Signature	Address
J.A. NAWL-SMITHSON	[Signature]	FERNWOOD
Robert Emmett	[Signature]	vanerue st
DUANE PEGLER.	D. Pegler.	1055 Hillside ave. Victoria.
JOHN CLARKIE	[Signature]	#8 HILBURN CREST VIC.
PAUL CLARK	[Signature]	QUADRA VILLAGE
JAMES BACON	[Signature]	QUADRA VILLAGE
Shane Esterbrook	[Signature]	Quadra Village
Sarah Caton	[Signature]	Pandora Ave
[Signature]		Est St.
Margine	[Signature]	Grenadier Rd.

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Name (printed)	Signature	Address
NELSON SALAHUB	[Signature]	2511 QUADRA
Edward Kaye	[Signature]	201-770 cormorant
Andrew Järvinen	[Signature]	2880 Quadra st.
Steve Boyd	[Signature]	2644 Quadra
Jodi BEZPALKO	[Signature]	924 Empress Ave
Michael Jackson	[Signature]	3240 Glasgow
Sarah Hughes	[Signature]	The Fernhead
MALCOLM M VALENTINE	Malcolm Valentine	VICTORIA 921 GREEN ST
GERTON FRIESEN	[Signature]	2860 QUADRA

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Name (printed)	Signature	Address
D. Adair		2530 Wark St. Vict. BC.
S. Provost		2630 Cook St V1Z BC
Lee Bernhorst		208-3234 Quadra St
Trinity Knoop		2314 Cook St.
RICK LISTER		1203 VISTANTHS
Tracey Gerton		2909 Fifth St.
FRANK MCILHE		919 Paudump
MARTIN GARDNER		1020 Porsnoke
Natalie Justin		720 Yates
Travis Green		732 Broughton

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Name (printed)	Signature	Address
Hannah Vanderbeek	<i>H Vanderbeek</i>	784 Burnside rd W.
Jordan Williams	<i>JW</i>	814 Pembroke St.
JACKIE DELARONDE	<i>Jacqueline Delaronde</i>	1345 Elford St.
Charlotte Aesee	<i>[Signature]</i>	3613 Quadra
Caytelyn Koelwyn	<i>C Koelwyn</i>	1310 Hillside ave.
<i>[Signature]</i>	<i>[Signature]</i>	1310 Hillside ave.
Billie Bergmo	<i>BB</i>	924 4145th St.
Margie Barrett	<i>[Signature]</i>	1751 England Ave.
Blair Medland	<i>Blair</i>	1007 Caledonia Ave
Travis MacDonell	<i>TM</i>	3001 Quadra

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Name (printed)	Signature	Address
Rosa Cutler	Rosa S Cutler	1012 Tolmie Ave
Miranda Benier	[Signature]	2608 Prior St
A. Hancock	[Signature]	2757 Quadra St.
L. Atkinson	[Signature]	4-1096 Stoe Ln, Vic. Bc
G. Scott	[Signature]	1235 Montrose Ave Vic.
Nick Van Ryn	[Signature]	1219 Hillside Ave
Simon Schmitt	[Signature]	205-1312 Hillside Ave
Jen Wurber	[Signature]	202-1145 Bay St.
Nicole Nicholas	[Signature]	1110 Queens Ave
Geena Wilson	[Signature]	2838 Prior St.

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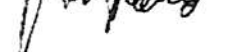
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Name (printed)	Signature	Address
Charlene Kerr		Vista Ht
Eric Markwart		Empress st
Mandy Wojcik		Quadra Street
Tony Burnett		Quadra
Roy Boynton		QUADRA ST.
Adam Hitchen		MARKET ST
Drew Penney		NICHOLSON ST.
Paul Harris		1055 HILLSIDE.
Opal MacMillan		2828 Blackwood.
Joshua Holland		2929 Quadra

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Name (printed)	Signature	Address
Jud Meckay		945 Empress Ave. Victoria
Jasmine Mather		3251 2560 Wark St.
Rhiannon Rozzau		1008 Hillside Ave.
GRAENE BAKER		120 DOUGLAS ST
SAMUELA DIXSON		2323 VANCOUVER.
David Lynch		202-1544 FIRIS
Dwayne FANERE		687 MANCHESTER
Thomas Guerrero		2578 Empire Street
Geneva Johnson		2745-17th St.
Tami Wolkowich		725 Market St.

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Name (printed)	Signature	Address
M. Gairbairn		56 Catherine St
N. Carriere		2438 Chambers St.
Amanda Ferrell-Lee		2529 Wark St
Denver Haddock		1495 Hillside Ave
Aisla Lochmanetz		2500 Quadra St.
Darren Ramkeeson		1124 Finlayson St.
Russ Wells		2726 Prior
Nicole Freeman		2536 Prior St.
BEN SMILLIE		2910 5th St
Natko Kokubun		@ "

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Name (printed)	Signature	Address
Casey Stainsby	<i>Casey Stainsby</i>	3505 Quadra St. Saanich BC.
Hazen Jeffries	<i>Hazen Jeffries</i>	2560 WARK
ANASTACIA Peterson	<i>A. Peterson</i>	2136 RIDGE RD
NICK RENKER	<i>N. Renker</i>	2511 BLANSHARD.
BOBBI JO	<i>Bobbi Jo</i>	2511 BLANSHARD.
LORND KERSEY	<i>L. Kersey</i>	689 Bay St
S. KILGUS	<i>S. Kilgus</i>	2604 BLANSHARD
REN NOUTA	<i>R. Nouta</i>	OAK BAY
KIM HAMMOND	<i>Kim Hammond</i>	Maywood Drive.
S Wells	<i>S WELLS</i>	QUADRA

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Name (printed)	Signature	Address
Aaron Bavington	ACB	Victoria Victoria
Aaron Gwillt	OG	Victoria
EM CAPRE	EM	PANDORA VICTORIA
Cathy Cudde	Cathy	2090 Rd E
Lois Bastien	Lois	290 Reginas
JASINTRILL	JASINTRILL	2558 Shakespeare
Allyson Miller	Allyson Miller	1035 Hillside
Rozlyn Robinson	RRobu	Victoria Victoria
Jenna Neil	Jenna	Hillside/Quadra

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Name (printed)	Signature	Address
Jamie Salek		310 Johnson Street
William Cole		3277 Quadra St
ALAN AITKEN		3245 COOK
Jim RABBS		2566 Prior
Lindsay Mower-William		2529 Wank
SEAN INNES		1135 KINGS RD 302-
Jen Harry		3010 WASHINGTON AVE
Marion Tom		2622 Prior St.
Samie Ferguson		3011 Quadra St.
Andrea Sanders-Cruch		3011 Quadra

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Name (printed)	Signature	Address
DARRYL	[Signature]	2504 SCOTT ST VICTORIA BC.
Liam	Liam Bunton	2705 Prior Street Victoria BC.
Jason	[Signature]	2542 Prior VICTORIA B.C.
Steph	[Signature]	3664 Blackwood Bl.
Mo LB.	[Signature]	1344 Pandora.
Nancy	[Signature]	12650 Buntan
Donald Appleton	[Signature]	Kings Road
Ashley Wojcik	A Wojcik	3462 Bethune Ave
Anita Kamann	A Kamann	JAMES BAY

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Name (printed)	Signature	Address
Donise Crawford	DM Crawford	113-2648 GRAHAM ST Victoria
C. du Vernet	C. du Vernet	1013 Queens Ave
C Burrows	C Burrows	1325 Johnson Stall Savannah Avenue
Erik Dixon	Erik D	924 Empress Ave.
Shaylyn Wright	SM	
P. Stuart	P. STUART	3683 BLENKINSOP
Bradford Johnson	RJ	3024 Jackson street
Fabrizio Cross	M	1234 Topaz
Reck Lee	Reck Lee	1525 BEERBIE
Tupac		Topaz

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Name (printed)	Signature	Address
Christian Thompson		3749 Harriet
Scott Smits		1102 Vista Hts.
Jordan White	JW	1002 bay street
Liam McShelley		2900 Washington Ave.
Brandon Smith		3749 Harriet Rd
SARA CHECKLEY		1051 SW MARLBOROUGH CRES.
Steve Castle		2625 Haultain
Louise Osborne		1238 Vista Heights
GREG HOLMAN		778-265-1643

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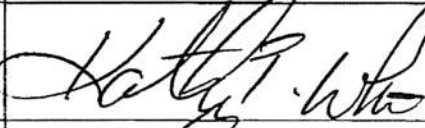

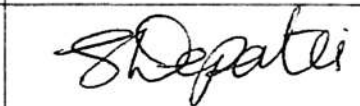
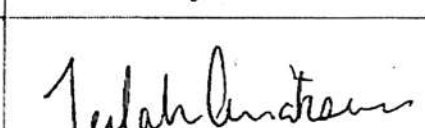
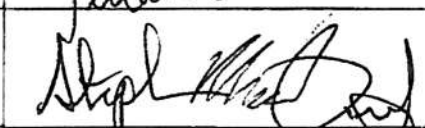
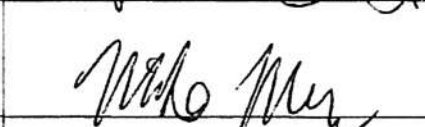


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Name (printed)	Signature	Address
STEVE SMITH		2561 SCOTT ST. VIC
Bryan Underwood		723 Field St.
KATHY WHITE		801 DARWIN
CAM WHITE		2801 BLACKWOOD ST.
Samantha Deflatre		2801 Blackwood St
Teilah Airaksinen		2524 #305 Quadra St.
Stephen MacDuff		
Mike Meyer		2929 The Esplanade
TOM CORCORAN		1413 FERNWOOD
KEORY SCHULTZ		2524 QUADRA

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Name (printed)	Signature	Address
Carol Wallace Simon Cherry	C Wallace	Aldwest Ranch. 2631 Prior St.
K.H. Stearns	[Signature]	1020 Buidette
Michael Humphreys	[Signature]	1150 Filbyer St.
Troy Barnaby	[Signature]	2650 QUADRA
Derry McDowell	[Signature]	2820 The Rise 209-907
Chris Miller	C Miller	Caledonia Ave.
Nick Schreger	[Signature]	250-588-5072
Sara Nicholson	[Signature]	250-382-8324
JANU MARGISON	[Signature]	250 843 0133.

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Name (printed)	Signature	Address
Rebecca Rowe		2405 Vancouver St.
DAVE MARROTTI		3001 Quadra St
Jenny Michaels		Fernwood
Karen Lightbody		Cat Bay
Taylor Aethons		Graham St
RYAN BROEKHUIZEN		Graham St
Daphne Bingley		Hillside ave
DAVID HENDRICKS		2644 PRIOR ST
Kaeley Jeffery		D-2580 Prior St. Victoria BC V8T3G6
Jamie Laine		3914 St. Peter's Rd Vil. Bl. V8P 2J8

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Name (printed)	Signature	Address
Barb Clausen		2940 Graham St. V8T 3Z6
Russ Smith		2334 DeMAMIEL PL. V9Z 0J4
Allen Cormack		970 King St
Karla Luedtke		2536 Prior St.
Ernie Legg		1103 CLAYTON RD.
Hannah Reid		2752 Prior St.
Gody B		2519 Fernwood Rd.
T. Jelle		1261 Vash.
D Petrie		3109 Fifth St.
Kevin Scquinowich		3109 5th st.

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Name (printed)	Signature	Address
Maxime Alarie		1025 Bay St
Sam Benson		414 craigflower ave
GREGG Chisholm		2695 McVinchard.
Mick Gorman		1150 Finlayson
Tricia Newell		1309 Mc Kenzie
Shaun Williamson		1500 Chambers St
Teemu Andersen		855 Steeles Xroad B.BAY
STANLEY ROBERT		1020 FIMMERS AVE
Adam Carly		5th St
S. Hathaway		209 2639 Fifth St

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Name (printed)	Signature	Address
Shae Anthony	<i>Shae Anthony</i>	2549 Dowler Place Victoria, BC
M. GODBOUT	<i>M. Godbout</i>	BOYAT AVE. VICTORIA
R. HOUNAN	<i>R. Hounan</i>	1165 1/2 ST
<i>G. GUISMA</i>	<i>G. Guisma</i>	3789 - QUADRA ST.
Graham Cole	<i>Graham Cole</i>	5th Street APT. Quadra
Martin Lingnan	<i>M. Lingnan</i>	3288 Bellevue Rd. V8X 1C1
Rayna Corner	<i>Rayna Corner</i>	1670 NORTH DAIRY V8P 1C4
Ash Jaffer	<i>Ash Jaffer</i>	2860 Quadra St H306
Seamus Hallier	<i>Seamus Hallier</i>	1630 Quadra St

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CASCADIA
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Name (printed)	Signature	Address
Emma Schram		830 Craigflower Rd.
Barren Kirkpatrick		900 Tolmie Ave
David Hesel		2963 Cedar Hill Rd.
Dale Strong		2630 Cook St
Gary Shumka		2641 - Blanshard St.
James Effa		2634 Mt Stephen Ave
Lyn Kimmett		2856 Fifth
David Hodgson		1311 McNair St
Holly Kenmare		203-2540 Quadra St
GARRY CONNOR		2648 - GRAHAM ST.

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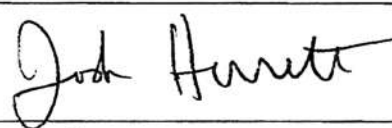

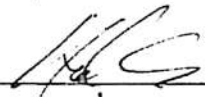
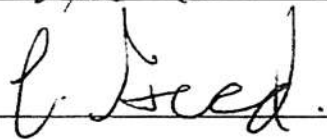



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Name (printed)	Signature	Address
Carry Tesdocks		2609 Fifth Street
Michael Scott		181 Burnside Rd West
A. Casley		360 Douglas St.
JOSH HERRETT		3631 QUADRA
Leif Erik Lassen		2854 Fifth St
Myke Tolan		25.11 Quadra St.
Von Good		1054 Hillside
Ashley Davidson		3498 Tattersall Ave
Kristin MacDonald		2845 QUADRA ST.
Darren Kelly		2875 Quadra St

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Name (printed)	Signature	Address
Sarah Wempe	<i>[Signature]</i>	675 Grenville Ave.
Brian Robbins	<i>[Signature]</i>	1100 Heald Ave
Randy Carter	<i>[Signature]</i>	970- King Rd
Thea Cochran	<i>[Signature]</i>	2912 Graham St.
C. Lamm	<i>[Signature]</i>	1045 Queens Ave
TAMARA	<i>[Signature]</i>	689- Bay Street.
Erin Pritchard	<i>[Signature]</i>	146 Pendrell St
COLLIN MASSIE	<i>[Signature]</i>	2586 COOK ST.
Emma Carter	<i>[Signature]</i>	970 1025 Hillside Ave
Sarah Thon	<i>[Signature]</i>	2570 Blackwood

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Name (printed)	Signature	Address
Brittany Onay		208-2680 Quadra St Victoria BC V8T 4E7
Kean Silverman		1140 Hillside
Julien Joubert		1612 Quadra
Caitie Meyerspie		2646 Cook St
Simon Elant		2830 F. St
Peter Wilson		1853 Graham
ERIC WALSH		301-2608 Prior St
Mark Thompson		1224 Balfour Road
Anita S		24 Hibernian Ave.
Greg Luczyk		15 Green Ln.

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Name (printed)	Signature	Address
Mike Soreen		2506 Blackwood
N. Barthelme		Dowler Pl.
Scott Russell		1020 EMERALD AVE
Tracey Thompson		1104 PLASWOOD TERRACE
Crista Formosa		64 Chase Ave.
Fred Gorman		2608 Main
Dave Williams		2582 Blackwood
Greg Smith		3332 COMMERCIAL
Frank Jewelling		2425 West St.

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Name (printed)	Signature	Address
TROY BROOKMAN		2831 GOSWORTH
Lisa Wills		Tolmie
Lacey Geary		3150 Somerset St.
Morgan Delaney		2631 PRIOR ST.
RAY CORMACK		GORGE RD W
MITCH KORY		1020 HILLSIDE
ROBERT GIBSON		3234 QUADRA
Kathy Lutz		3311 Linwood ave
Tyler Horvath		2125 WALK ST
Mike Randall		1417 Pembroke St

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Name (printed)	Signature	Address
CHELSEA WIGLE	CWigle	1204 QUEENS AVE.
Darryl Van Der Boven	[Signature]	Sidney
MICKY HEATING	[Signature]	LANGFORD
M. Hayes	[Signature]	2710 Cook ST Victoria
P. Buchanan	[Signature]	2021 Forbes St.
RYAN EMO	[Signature]	1525 Hillside
SHARON McVILLAN	[Signature]	4-1461 May St
Wanda Gux	[Signature]	2560 WARK
Geoff G	[Signature]	

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Name (printed)	Signature	Address
Chris Dunford		971 market st Apt 406
Tatiana Vassilieva		304-2425 Wark St.
Ian MALPHEE		2565 Prior St.
KATE CAMPBELL		2565 PRIOR ST
ALFONS FEAR		2560 Wark St.
Liam Collins		207 - 1536 Hillside Ave.
KATIE NELSON		Maddock Ave
Sebastien St Laurent		Prior Street
José Smeček		NFA
Garth Kerr		Kings Road

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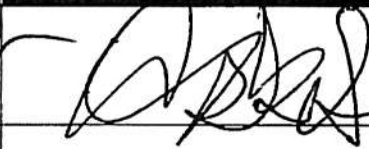
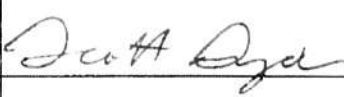
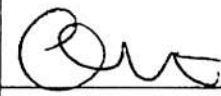



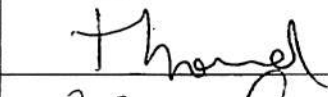
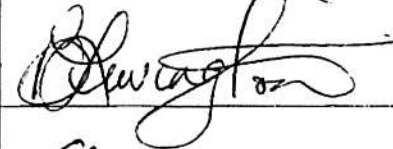
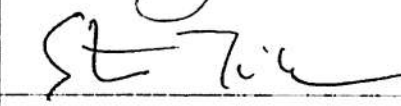
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Name (printed)	Signature	Address
Denayne Belcourt		1020 Pembroke
SCOTT SYDER		2710 MT. STERREN AVE VICTORIA
Chelsea Coulter		1124 BURDET
Steven Bos		2573 Empira
hori Chinko		1310 HILLSIDE
JEREMY TIMOSHIK		2925 COOK ST.
Tamara Bos		1151 Finlayson
Ben Lewington		1020 Pembroke
STEVE TICE		3127 QUADRA ST.

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Name (printed)	Signature	Address
Denise Ravenhill	Denise A. Ravenhill	2553 Vancouver St.
JOE KERSEY		689 BAY ST.
Harrison Nguyen		2529 WALK ST - 306
DAVID MENDRY		2529 WALK - 408
Chris Fisher		2674 DOWLER PL
Mike Lang		1234 Tolmie Ave
		603 Colborne
Emily Armstrong		2589 Cook St Victoria
Jennifer Sauter		3175 Mars Street Victoria

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Tyler Merritt		1008 Hillside Ave.
Jilaine Oton		Stanhope Place
Brittney Jette		2657 Fifth Street
Karen Myfield		993 Tolmie
WAYNE HENSON		2424 WARK ST
DEBBIE BLACK		2424 WARK ST.
Zach Alder		402-1015 Hillside Ave
Robin March		2421 Chambers
Marko		2533 Dowler,
Devon		3001 Quadra

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Name (printed)	Signature	Address
Lindsay Thompson		WILLIAM ST. VICTORIA BC
Tyrel Sookaviet		2529 Ward st, Victoria 2540 Quadra
Caleb Gordon		only if open till 11pm.
Jessica Clarkson		2572 Blackwood st.
Shailem Inrig		1050 queens ave.
Philip C. Cavanagh		Apt. 111-2639 FATH St.
RAY WALK		APT 101-2425 QUADRA ST
Brook Graham		1150 Queens ave.
JULIE SCARRO		Quadra St.
ALEX MADSEN		2346-201 QUADRA

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Name (printed)	Signature	Address
Sparky Boal		230-406 Asado
S.D		2501 COOK
Beet Vonnich		865 VIEW ST #13
Sandra Giesbrecht		2610 Graham
Hayley O'Hanley		3323 LINWOOD AVE
Jeffrey Olafson		2644 Prior
LISANN MORRIS		1045 Balmoral Rd
NICK Stofer		" "
JORDAN DAVIS		1830 Fern St
Andreas Holinski		1304 Topaz av

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Name (printed)	Signature	Address
Nik LaPrade	<i>N. LaPrade</i>	4354 Santa Fe Pl
CHRISTINA PROVENCER	<i>C. Provencer</i>	8591 Receptan Pl. NS
CHRIS HARTSHORN	<i>C. Hartshorn</i>	COBBLE HILL
LINDA HAMILTON	<i>L. Hamilton</i>	Gladstone Ave/Vic
RANDY STUBBS	<i>R. Stubbs</i>	2639 QUADRA
Sue Dillabaugh	<i>S. Dillabaugh</i>	3322 Duncan
Dillon Hall	<i>Dillon Hall</i>	1414 Hillside Ave. Apt. 206
David Thompson	<i>David Thompson</i>	1206-701 Esquimalt
Ron Erwin	<i>R. Erwin</i>	214 3420 Quadra St
Kerth Lane	<i>K. Lane</i>	105-1201 Hillside Ave

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Name (printed)	Signature	Address
Matthew Tai		VIC 303-2747 Quadra street
Cory Cox		250-885-3186 202-1111 HILLSIDE AVE
Jesse Wylie		250-415-2436
Andrew Willens		1417 Harrison St
Dave Westgeest		2581 Empire St.
CHRIS LOCKLEY		250 2543 EMPIRE ST.
Stephen Caulker		1025 Hillside
Robin Stanger		Belmont Island
Sue Hutchins		1060 Inverness
Clint Mydonick		2546 Quadra St.

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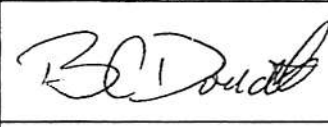
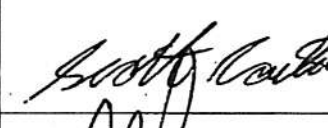


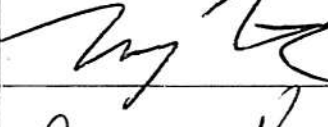
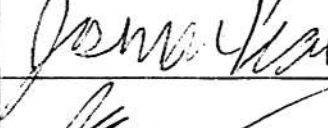
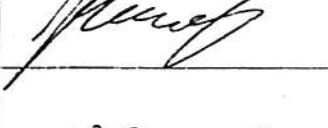
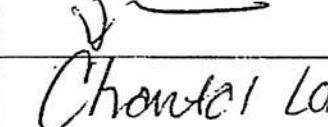

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Name (printed)	Signature	Address
Kirk Nicholas		2648 1/2 Prior St
BRIAN DOCKETT		2500 QUADRA ST
Scott Carter		1165 Yates St
James Campbell		Blenkinsop Rd.
Chris Cruise		3015 Quadra
Trey KLAS		2561 QUADRA
Jasmine Rachen		Graham St.
Josh Manning		Graham St.
Jones, Theobald		850 Quadra
Chantal Laseca		99 Crease Ave

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Amelia	[Signature]	1530 Sober Pl
Jesse	[Signature]	1030 Hillside Ave
MARCUS F.	[Signature]	3137 DONALD ST.
Jennifer	[Signature]	3137 Donald St.
Eric	[Signature]	2515 PRIOR ST.
David	[Signature]	3946 Hornbluff Rd.
Douglas	Douglas O'Connell	2808 GRAHAM ST.
ALY HANLEY	Aly Hanley	1115 COLLINSON ST
Jeff Heerm	[Signature]	13 3230 Rutledge St.

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Name (printed)	Signature	Address
SINCLAIR TESSIE		1049 VESPA HRS.
L. Vulliamy		1332 McPherson St
L. GINA		1708 Bay 8
John Bonn		3721 Winston C.
Ken K		1630 Quadra st
Elizabeth Maurer		1140 Vista Hs
Robert Wilson		2735 Asquith St.
Mark Lovett		2090 Cadboro Bay -
PJ Fawcett		Jackson

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Jolanda Hill	Jolanda Hill	418-3255 Glasgow Ave V8X 4S4
TERRY SANDERS	Terry Sanders	8775 W. Saanich Rd SIDNEY
DAVID NIELSEN	David Nielsen	2715 BLACKWOOD
DOANE Kuyilla	D. Kuyilla	2105 Dwyer
Robert Henderson	Robert Henderson	2945 Cedar Hill Rd
Ami Cheli	Ami Cheli	81-1124 May St Victoria BC
Chris Sullivan	Chris Sullivan	#2-1360 Hillside Ave
Iva Fancello	Iva Fancello	1360 Hillside
Clare Lannan	Clare Lannan	2529 Wark Street
Bridget Corners	Bridget Corners	919 Market Street

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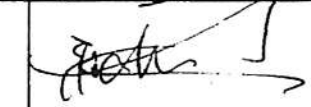
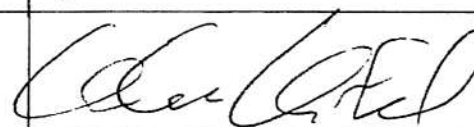

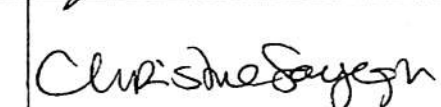
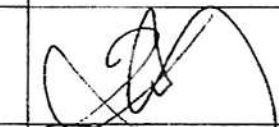
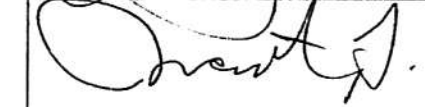
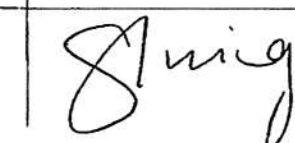
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CASCADIA
liquor

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Name (printed)	Signature	Address
JENNIFER TENNIANT		43 HIRSHSON CR. VICTORIA
Victoria Rudiger		3375 Maplewood Victoria.
Bailey Wilson		3375 Maplewood rd Victoria
Elodie Forest		815 QUEENS AVE
Adam Cleland		2370 Forbes St
Grant P.		1000 Inverness
CHRISTINE SAYEGH		1224 Hillside Ave.
Katherine Hiley		2747 Quadra St.
Marites Frazer		3112 Esson Rd.
Sandi Irving		919 Market St.

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Name (printed)	Signature	Address
KROUCH Catherine		3135 Somerset St,
Johanny Brecheer		301-2533 Downln.
Diane Cameron		12 CATHILTY CAME VIC
Sash U. 567		2559 Quadra
Aleesha Ventress		3255 Cook St.
Jeff Lorge		2726 Prior St
Jennifer Scam		2520 Dowler Place
Steve Smith		2561 Scott.
M Shannon		2757 Quadra

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Name (printed)	Signature	Address
Antonio Picornell		526 - 531 West Bay Terrace
Craig Carswell		104 505 Quadra
Jesse Scott		1125 Hillside Ave
David Barry		
Charlene Wilson		1055 Hillside Ave
Ryan Wilson		1055 Hillside Ave.
Jeremy Montford		2634 Quadra St.
Natasha John		
Adrian Kozitsky		2553 Plover St.
Anton Langford		1728 Foul Bay Rd

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Name (printed)	Signature	Address
Chantal Rabey		1025 Inverness Rd.
Lianna		948 Greer St
JAMES FORNER		2501 COOK ST
OMAR AZIM		1054 QUEENS AVE
IAN MORRIS		#205 909 MARKET ST.
R. S. [unclear]		3021 FARM ST.
	L Ehrich	986 Queens
K. [unclear]		1020 PONTAC ST.
M. [unclear]		Cook - Vic

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Name (printed)	Signature	Address
Chandler freeman-Orr		3-1913 Duchess St.
Jesse Howardson		4310 Peters Rd
Jen Robinson		2639 Fifth St.
Shardé Long		2724 Graham St.
CLINT HUTZLER		2540 EMPIRE ST.
Breton		2312 Wark St.
Bouch McWhie		1415 Grant
Robert Irvine		1029 Queens Ave Victoria
JUSTIN GRONDIN		2541 FERNWOOD RD VICTORIA BC
Tara Peters		3674 Dartmouth
Steph McIsaac		3674 Dartmouth

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Name (printed)	Signature	Address
TERRY WALLACE	Terry Wallace	2821 FIFTH ST VIC
Sammy Youkh	[Signature]	1020 pembroke st
Jacob de Sousa	[Signature]	3234 Quadra St.
BRAD CHATWIN	[Signature]	2720 FORD ST
BRUCE DACHITSKY	Bruce Dachitsky	2728 ST J
Alex Ruel	Alex Ruel	921 Bay St
Michael Tieferbeck	Mike Tie	2626 Cook St.
Royce Dartington	[Signature]	440 Empress
[Signature]	[Signature]	250 RUSSELL.
Don Bryden	[Signature]	1136 Empress Ave.

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Name (printed)	Signature	Address
PIDGE HENDRIE	P. Hendrie	Kings Rd.
Rebecca Manson	[Signature]	Pembroke
Allen Jones	Allen Jones	Victoria Inner
Alex Lesage	Alex Lesage	Victoria
Russell Huxton	[Signature]	Linwood Ave
PAUL GUERANNA	[Signature]	NORTH PARK ST.
MARCO Gagliardi	[Signature]	JACKSON ST.
Desiree Pearce	Desiree Pearce	15-1311 Hillside
John McIntosh	[Signature]	Victoria

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Name (printed)	Signature	Address
Manissa Reising		#402-755 Hillside ave V8T 5B3 Victoria B.C.
MORGAN BARON		309- 595 MANCHESTER ROAD
Jenna Hickman		2927 Quadra St.
R. Bourne		304 2636 Cook St. #206
David Allaire		2818 Fifth St.
Graeme Bernier		Asquith
Lisa Flassner		1122 Old Esplanade 1/2 rd
Alex Bailey		180 Clavelly Tr.
Neil Grant		

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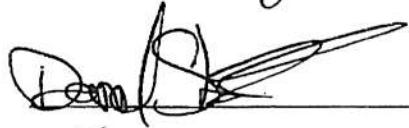
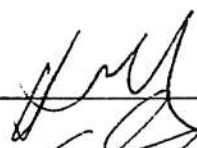



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Name (printed)	Signature	Address
ARunsby		Quadra
TRACY BYRNE		1052 TOPAZ AVE.
Allison Balabuch		1344 Pembroke st.
Kailem Inry		1050 queens ave
	Daniel Shrubbs	2855 Blackwood St.
Heather McMahon		2855 Fifth
CHERH MOULZE		2615 Fernwood Rd VICTORIA
laura casey		pender Island
KECKE SPITZ		HAVER GARDEN

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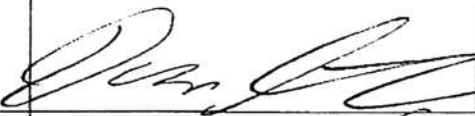
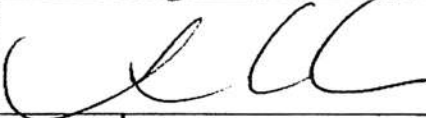
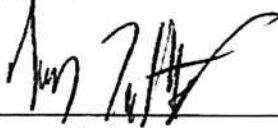

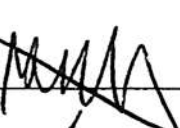

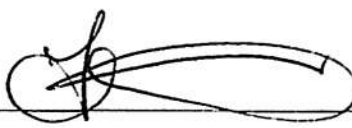
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Name (printed)	Signature	Address
Jesse Schermann		203-250 + Work St. Victoria, BC.
Carly Gendron		Victoria, BC.
Devlin Smith		2608-301 Prior St.
A. Morrow		2800 Thompson Victoria.
JASPER BUTTENHOFFER		2144 PRIOR STREET VICTORIA.
Martine Wright		2731 Higgins St.
Taryn Wright		" "
Jane Wright		1219 Basil Ave
Paul Wright		" "

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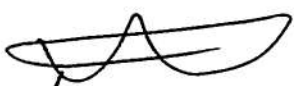






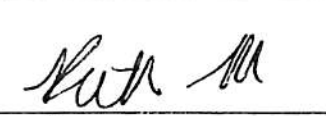
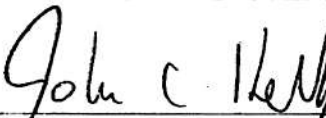
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Name (printed)	Signature	Address
Siamak Zohrenejad		303 Quadra
Zane Bount		2731 Higgins St.
Keenan Macartney		2527 Quadra
Brock Campbell		1520 Richmond.
Ernstine Morin		Victoria
LIAM NELIGAN		Victoria.
Gabe Curtis		3904 Wilkinson Rd.
Ruth McAllister		1128 Topaz Ave
John Kelly		861 Leslie St.

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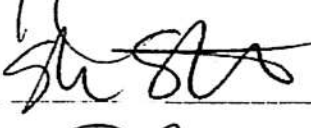


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Name (printed)	Signature	Address
LINDA NOBREGA.		VICTORIA. - Quadra Village.
Samantha Rupapart		Victoria - Fernwood 11 1114 Ormond St. ☺
RUSSELL ROBINSON		2871 Quadra St.
Dave Drohan		2710 Cook St
Rosanna		2657 Que West
GARETH EDWARDS		1240 Oakmount Rd
Sarah Statan		860 Princess Ave
Chrystal Lee		1020 Pembroke St
Tanya Bonell		830 pembroke

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Name (printed)	Signature	Address
Nicole Lucas		2560 Wark Street
Michelle Simon		1061 Fort St.
Yvette Jacklyn		2622 PRIOR ST
Louise Phelps	L. Phelps.	2520 Wark St.
Alicia Cable		3043 Washington Ave.
Cat Stamke		4020 Rain bow Street
Dave Pratt		11
Ashton Mouser		3198 Quadra
Travis Hubert		1025 INVERNESS
AUGA DEAN-DANLISH		3958 BAREY RD

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Name (printed)	Signature	Address
<i>[Signature]</i> DAVID GEE	<i>[Signature]</i>	2180 PRIOR ST TS
CYNTHIA JAMIESON	<i>[Signature]</i>	#304-2511 QUADRA ST VICTORIA BC V8T4E1
Sara-Lynn Myles	<i>[Signature]</i>	Quadra Village
Lauren Huppell	<i>[Signature]</i>	930 Market Street.
Chris Richards	<i>[Signature]</i>	2722 Forbes Street
ROBIN ELLIOTT	<i>[Signature]</i>	7076 SALISBURY ST
Chris Turner	<i>[Signature]</i>	1510 Pembroke.
Tasha Bray	<i>[Signature]</i>	2757 QUADRA
Rachel Goodman	<i>[Signature]</i>	2622 Quadra St.
Chris Zielonka	<i>[Signature]</i>	2650 Quadra St.

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[illegible]

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Name (printed)	Signature	Address
Elisabeth Zofmann		920 Pemberton Rd
Clark Brendon		2589 Graham St
Jacki Lees		2639 Constance
Therese Burton		1238 Graham St.
BRI Abercrom		1682 Beach Dr.
Brian McDougall		2527 Price St.
GARY IUIE		2650 QUADRA ST
BOB KARAGIANIS		Merveth St.
Cara Gard		2785 Grainger
Ashley Campbell		2814 5th St.
Candace Bates		250-516-1245
Green, K		280 735 3/65

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Name (printed)	Signature	Address
ROMINA MIRANDA	[Signature]	1241 BAINBRIDGE AVE. V8T-1B2
Randy McLennan	R. McLennan	1245 VISTAS HEIGHTS
DAVE PERCY	[Signature]	11-2502 DOWLER PLACE
T. London	[Signature]	2554 PRIOR
Brandon Moniz	[Signature]	3460 Quadra ST
Jesse Tracey	[Signature]	1286 CANROSE CRESENT
WILLIAM THOMPSON	[Signature]	214 - 2644 PRIOR ST.
Cassandra Quinn	[Signature]	2520 2520 Wark Street
CAROLYN THOMPSON Carolyn Thompson	[Signature]	1041 Bay St.
BRIELLE BOULANGER	[Signature]	303-2529 WARK
Janne Deben	[Signature]	2877 Quadra
Stefan Deben	[Signature]	2877 Quadra

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Name (printed)	Signature	Address
William Atwood	William Atwood	410-455 STIKUM RD VICTORIA B.C. V9A 7N9
Renay Turner	Renay Turner	3011 Bellevue Vico V8X1C2
P. Winter	P. Winter	302 2536 Wark St
B. Nevesque	B. Nevesque	401-2529 Wark St.
A. Maurais	A. Maurais	250-492968 951 Topaz Ave.
TERESA LANG	T. Lang	250-882-0639
Tree Lowrie	Tree Lowrie	250-588-8197
M. Olsen MLO	M. Olsen	250 383 5234

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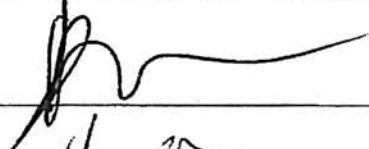
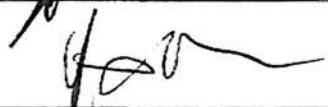


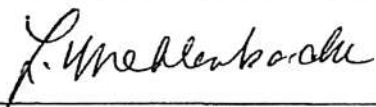


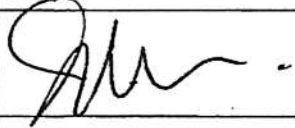
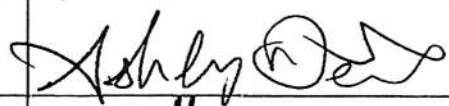
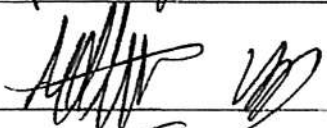

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Name (printed)	Signature	Address
Marc Waterman		1239 Basil ave
Joe Wade		1042 VISTA HTS.
Bronte Waterman		2ND GRACEM ST.
Julia To K		2880 QUADRA ST
Ally Margen		2241 Oregon Ave
Brittany Schanke		2814 Fifth Street.
L. Melkenbach		1315 Topaz Ave.
		1315 Topaz Ave
Jessica Hickey		830 Pembroke St.
Ashley Dexter		3220 Quadra St.
Matt Webb		1366 Hillside Ave
Chris Pender		4111 Vancouver St 95

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Name (printed)	Signature	Address
John Fitterer		1530 REEFERN STUK
Tom MacDonald		2717 PRIOR ST.
Juston Hayter		3230 - Glasgow Ave
Math Swiak		1248 Bay St.
Richard Ballay		2751 Graham St.
Mimi Chen		331 - 770 Fisgard St.
Shannon Crawford		3781 Winston Crescent
Martin Crawford		3781 Winston Crescent
Forest Greene		1343 Harrison St.
Megan Billings		1045 Queens.
Adrian Romanzen		951 Bay St.

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CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
Paul Schwam	Paul Schwam	3275 Eldan Place
Suneil Karod	Suneil Karod	7016 4036 Quadra
Justine Klein	Justine Klein	1018 Empress
Shona Winslow	Shona Winslow	1018 Empress Ave.
Ben Sullivan	Ben Sullivan	243 Gorge Rd East.
KEVIN PERRY	Kevin Perry	2761 Scott St
Carl Martinson	Carl Martinson	3235 Arbutus St
LOIS WILLIAMS	Lois Williams	1366 Hillside Ave.
Randy Adams	Randy Adams	Maplewood
Paul Jones	Paul Jones	Victoria

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Name (printed)	Signature	Address
Don Gordon		Victoria V8V 4K9
Jeremy R. Jones		1310 Hillside
C. Rares		1321 George Street
V. McKay		6633 Lombard Dr.
R. NASON		3230 Rutledge VIC
K. McQuarrie		1324 BURN AVE
MARK SAELE		525 JONES ST.
Rowan Hodge		1264 MONTROSE AVE
GAIL WEBER		1519 Hillside Ave
Ray Harkness		3252 GARDEN AVE
C. Young		453 Head St.

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Name (printed)	Signature	Address
Matt Thompson	M.T	735 Cook St.
G. Foster	[Signature]	2540 Quadra
Burt Munn	[Signature]	821 Princess.
Aaron Gray	[Signature]	3037 Islette pl.
Joseph [unclear]	[Signature]	2732 Princess -
Battany Olney	[Signature]	2880 Quadra.
MARIKA VEDINK	[Signature]	450 Hillside.
Kiefer Aland	[Signature]	2715 Hillside
Kyle Pawluk	[Signature]	1133 Empress Ave.
Candice Wheeler	[Signature]	2801 Cook Street
Luke Langstaff	[Signature]	3501 Savannah Ave
PRESTON [unclear]	[Signature]	3031 Jackson St

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Thank you!

Name (printed)	Signature	Address
yes! Christine Wade		1042 VISTA HTS.
Letter signed Dan Carhes		2533 Graham
Megan Bird		3932 CUMBERBAND
T.P. Smart		2460 Quadra Street
Naomi McKay		#3-2710 Cook St.
Jessie Pennington		2029 Goldsmith St.
Mona Beddon		108- VST 318
Sheridan Scott		2647 Graham St.
GARY CARMICHAEL		455 Cloverdale Ave
TRACEY WHITFIELD		1662 Hampshire Rd
		1014 Empress Ave
		1267 Royston Ct

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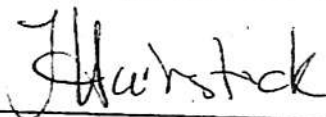

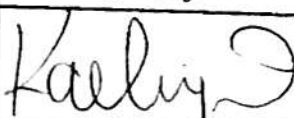
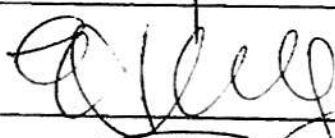
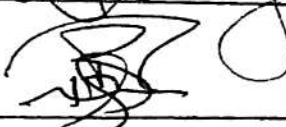

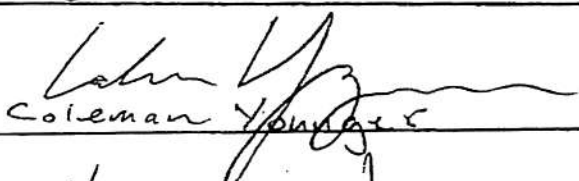
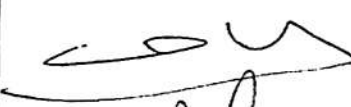
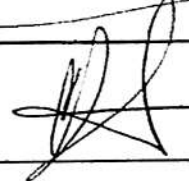

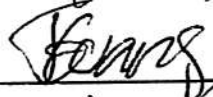

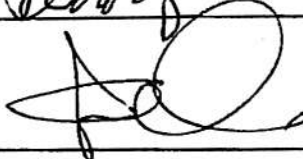





CASCADIA
liquor

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Thank you!

Name (printed)	Signature	Address
Amy Gaudet	<i>Amy Gaudet</i>	815 Rupert Tce.
Tia Maddaloni	<i>Tia Maddaloni</i>	2912 Quadra St.
R. MARSHALL	<i>R Marshall</i>	2556 Empire.
Rebecca Dunn-Krahn	<i>RDunn-Krahn</i>	2543 Kilgus Pl.
Kyle Garrow	<i>Kyle Garrow</i>	3180 Fifth St.
Lori Matheson	<i>Lori Matheson</i>	921 Tulip Ave
Nick Curran	<i>Nick Curran</i>	1029 HOMES STREET
Luke Gabel	<i>Luke Gabel</i>	1010 Exp Queens Ave
J. NUSSE	<i>J. NUSSE</i>	2648 Quadra St
Halay Findlay	<i>Halay Findlay</i>	2540 Quadra
C. Nixon	<i>C. Nixon</i>	254 QUADRA ST #103

Name (Printed)	Signature	Address
TAYLOR HAINSTOCK		1117 C BAY ST VICTORIA, BC
EZRA GRIFFIOEN		" "
Kaeley Jeffery		GET SINGLES #66 2580 Prior -
Erin Henneberry		6-1019 North Park
Bob Broughton		Tolmie Ave
Ann Cantner		1 Holmes St.
 Coleman Young		#40 - 2320 Quadra St
Alton O'Leary		2874 5 th St. V.I.C.
TRACY LONG		1121 NORMA COURT
Josh Evans		1210 Balmaral Rd
 Gary		Balmaral
Rob Charles		3299 Cook St,
Andrew Reesor		1015 Leeds Pl Victoria BC.
JASON PATRULLO		2830 SCOTT ST - VICTORIA, BC.

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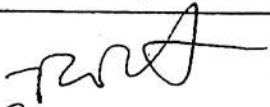
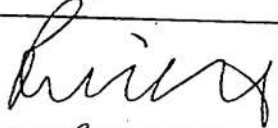
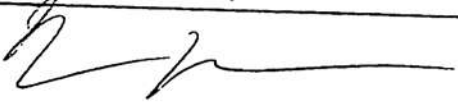




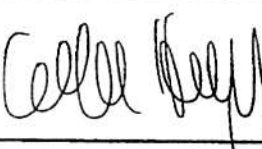






CASCADIA
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Thank you!

Name (printed)	Signature	Address
Larson-Dave Lind		1830 Fern St. V.I.C.
Jaellie Hiro P. & col.		2846 Quadra St V.I.C. V8T 4E2
Bryce Berkowitz		Queens St.
LORI SMART		3010 Quadra
Zack Mahony		401-10th St & 5th St
Lauren Impett		401- Government St.
Kandiza Miranda		3800 Quadra St.
Nikka Dykema		9108 MARKET ST
Kevin Diering		1224 Basil Ave.
Adam Brightman		230 Cook St.

Name (printed)	Signature	Address
Bill Staley		1054 Hillside Ave
Sylvia Spayne		1369 Rockwood Ave
R BAINBRIDGE		835 BAY ST
Patrick McBride		4006 Gerard place
Michael McCurrach		755 Caledonia Ave
DAN QUINTON		3007 Fifth St.
-Aaron Baird	Aaron Baird	2047 Pines St
Tyler McInroy		1290 Vista Heights
Andrew Kerr		821 Princess Ave
Gillian Kerr		12741 Hawthorn St.
Colin Harvey		2087 Pleas Rd Nanaimo
Josh Bunting		2854 Fifth Street
Aidan Carrad		2046 Blackwood St
Alix Robertson-Salsberg		2560 Graham St.
Dewaine		1020 106

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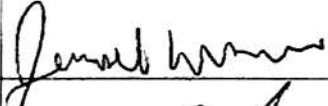

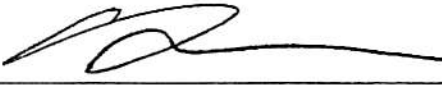
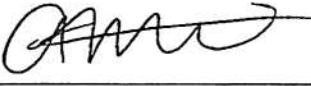
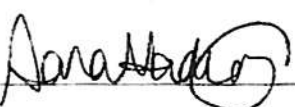

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Name (printed)	Signature	Address
Thai O'Neil		2548 Graham
Alex Carroll		Vancouver St
Breanne Payne		1156 Kings rd.
Fawn Lilly		2948 Scott St
Kyle Bolton		2880 Quadra st.
Jennifer Walraven		2675 Blanchard
ALIK TATARKIN		1404 PEMBROKE
WEI HE		970 KING
Amara		1308 Douglas
Sarah		823 Royal Oak ave
Alistair Ferguson		1054 Princess Ave

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Name (printed)	Signature	Address
Sascha-Rueben Weller		2657 Fifth St.
Quinn Kelly		102-3180 Albina St.
Lee Bauer		2320 Quadra Street
DARRY Hu		2502 SCOTT ST
Corwyn Hiebert		2536 Ward St
LESA Vella		2695 Blanshard St
Justin Pagan		1622 Camosun St
Laura Wallace		2743 Duncas St
Adam Boake		2959 Cedar Hill Rd
		1035 Telmic Ave
James Gibbs		113-2648- Ashken

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Name (printed)	Signature	Address
ROMAN GARNOMSKI	[Signature]	ROCKCREST PLACE
Hilda Smith	[Signature]	3360 Quadra St. #1.
Meghan MacIsaac	M. MacIsaac	1102 Kings rd.
	DAVE Foote	
NAJÈGE DUMONT	[Signature]	1223 BASIL AV.
MARGARET ANDERSON	[Signature]	1209 CAMROSE
Steve McBride	[Signature]	Victoria
JP Meldrum	[Signature]	2715 Blackwood
James Spier	[Signature]	2553 Prior St.
Meagan Foote	[Signature]	
Steve Ringma	[Signature]	1440 LANG ST.

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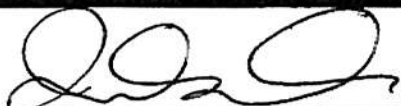

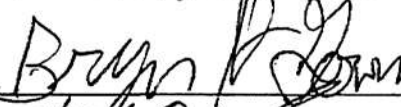




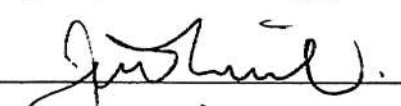

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Name (printed)	Signature	Address
IAN GEORGE		2534 GRAHAM ST.
Sasha Cektors		2631 Blackwood
Bryan St Germain		3067 Sannich Rd
Elijah Genosko		1520 Clawthorpe Ave
WARREN LEACH		2646 COOK ST.
Kerenee Smith		106 Finlayson
Jill Nerbe		Yen St.
Stefan		2877 Quadra
Jaclyn Emery		102a Empress Ave.

June 8, 2018

City of Victoria

1 Centennial Square

Victoria, BC

Dear Mayor and Council,

Re: Development Permit with Variances Application No. 00070 for 2670 Fifth Street and
2625-2637 Quadra Street

We manage the shopping centre known as Blanshard Square at 2680 Blanshard Street and 787-797 Hillside Avenue.

It is with grave concern that we heard about the proposed expansion of the private Cascadia Liquor store at 2631 Quadra Street to 2670 Fifth Street that could result in a liquor store of more than 6,300 square feet in size in an urban village centre.

We oppose this relocation and expansion for the following reasons:

- City of Victoria denied our own similar application to relocate and expand the publicly owned BC Liquor Store from 787 Hillside to 2680 Blanshard Street in 2015. Many argued at the time that if we were to have a large liquor store, Blanshard Street was a more appropriate location than an urban village centers such as Quadra Village in this situation. By approving this rezoning, the City of Victoria would be doing exactly what was not wanted in 2015, which was large liquors stores in the city's urban villages.
- In our opinion, should the City of Victoria approve this relocation and expansion, it may be overstepping its municipal powers by arbitrarily discriminating against one property owner over another and could open this decision to judicial review. Our similar application was denied a few years ago and now City would be approving exactly what it said no to a few years ago.
- Comments brought up in 2014 and 2015 when we tried to rezone 2680 Blanshard Street for a larger BC Liquor Store, indicated that liquor store size should correspond to their location and environment. Consequently, are larger liquor stores really what we want in Victoria's urban village centers? What effect does this have on immediate neighbouring communities? We feel the current Cascadia Liquor store is of a size suitable for an urban village. An expansion and move to 2670 Fifth Street in a space of 6,300 square feet would

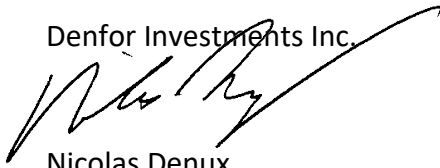
send the wrong signal to for urban villages. What's next, a large format liquor store of 6,000 sq.ft. in Cook Street village or urban villages?

- We believe that the proliferation of cannabis dispensaries and larger liquor stores in urban villages is not the best way to attract families to live in these urban villages and in the City of Victoria in general. What signal does this send our kids?
- By saying no to this arbitrary relocation and expansion, the City of Victoria is not hurting any business, Cascadia Liquor store can remain in its current location and continue to serve the Quadra-Hillside area from its current store with no loss of business.

In conclusion, all we ask is council to be fair with property owners, look at the immediate neighbourhood and context before approving larger liquor stores.

Yours truly,

Denfor Investments Inc.



Nicolas Denux

Vice-President

Pamela Martin

From: Ben Isitt (Councillor)
Sent: June 13, 2018 1:38 PM
To: [REDACTED] Michael Angrove; Public Hearings; Chris Coates
Cc: Jeremy Loveday (Councillor)
Subject: RE: Cascadia Liquor Application for enlarged liquor store footprint in Quadra Village

Thank you for providing this input, Robin.

I am copying staff in the Legislative Services division, to ensure that it is included with correspondence when this matter is considered by City Council.

All the best,

Ben

Ben Isitt
Victoria City Councillor and CRD Director
Email. bisitt@victoria.ca
Tel. 250.882.9302

From: [REDACTED]
Sent: June 13, 2018 11:08 AM
To: Michael Angrove
Cc: Jeremy Loveday (Councillor); Ben Isitt (Councillor)
Subject: Re: Cascadia Liquor Application for enlarged liquor store footprint in Quadra Village

Dear Michael Angrove,

CC: Councillors Ben Issit and Jeremy Loveday

We are the developers of the recently completed multi family rental building located at 2650 Quadra. We believe in the Quadra Village and in the plan the City has defined as an urban village.

However, it does have its share of issues and the proposal being brought forward to expand the current liquor store size will only exacerbate these issues and bring no benefits to the village.

There have been repeated break ins in the building during construction, it has been tagged with graffiti almost as immediately and drug paraphernalia is often found lying around.

A larger liquor store will not aid in obtaining more of a village feel (for example, Cook Street Village seems to focus on smaller stores) and there are no advantages for the Hillside/Quadra area to have a bigger liquor store in this location.

Our tenants would like more diversity in the shopping options in the Quadra Village. A bank or a hardware store are just a couple examples that tenants have mentioned to us. More alcohol, marijuana or methadone sales have not been mentioned.

[One additional note: the Truffles Catering Group dba Cascadia Liquor in the past has lobbied and spoken out vehemently against increased size of liquor stores in the area. In particular they were passionately opposed to increasing the size of the government liquor store at Blanshard and Hillside. A liquor store that would have served a regional clientele as opposed to a local one in Quadra Village. We would assume that the arguments Cascadia Liquor used against the expansion of this liquor store would be even more relevant to contest the application in question. It also would not be fair to other private and public liquor stores who are not able to expand due to current bylaw limitations.]

Warm regards,

Robin Kelley
Camargue Properties Inc.



Tel: [REDACTED]
Fax: [REDACTED]
3-772 Bay Street
Victoria, BC V8T 5E4
[REDACTED]

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REPORTS OF COMMITTEES

3. Committee of the Whole – March 8, 2018

5. Temporary Use Permit Application No. 00007 for 629 and 635 Chatham Street

Motion:

It was moved by Councillor Loveday, seconded by Councillor Thornton-Joe, That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, authorize the issuance of Temporary use Permit Application No. 00007 for 635 Chatham Street in accordance with:

1. Plans date stamped December 22, 2017
2. Development meeting all *Zoning Regulation Bylaw* requirements
3. The applicant providing a landscape cost estimate for the entire cost of the onsite landscaping in accordance with the Landscape Plan prepared by Murdoch de Greeff Landscape Architects dated December 22, 2017, and a landscape security deposit in the amount of 120% of the Landscape Cost Estimate payable to the City prior to the issuance of the building permit
4. The Temporary use Permit lapsing three years from the date of this resolution.

Carried Unanimously

5. LAND USE MATTERS

5.1 Temporary Use Permit Application No. 00007 for 629 and 635 Chatham Street

Committee received a report dated February 22, 2018, from the Director of Sustainable Planning and Community Development regarding recommendations for the Temporary Use Permit Application for the property located at 629 and 635 Chatham Street to allow for surface parking for up to 38 stalls for up to three years.

Motion: It was moved by Councillor Isitt, that Council decline Temporary Use Permit Application No. 00007 for the property located at 629 and 635 Chatham Street.

Failed due to no seconder 18/COTW

Motion: It was moved by Councillor Thornton-Joe, seconded by Councillor Lucas, that Council after giving notice and allowing an opportunity for public comment at a meeting of Council, authorize the issuance of Temporary use Permit Application No. 00007 for 635 Chatham Street in accordance with:

1. Plans date stamped December 22, 2017
2. Development meeting all *Zoning Regulation Bylaw* requirements
3. The applicant providing a landscape cost estimate for the entire cost of the onsite landscaping in accordance with the Landscape Plan prepared by Murdoch de Greeff Landscape Architects dated December 22, 2017, and a landscape security deposit in the amount of 120% of the Landscape Cost Estimate payable to the City prior to the issuance of the building permit.
4. The Temporary use Permit lapsing three years from the date of this resolution.

Committee discussed:

- The need for the retention of parking in the downtown.

CARRIED 18/COTW

For: Mayor Helps, Councillor Alto, Loveday, Lucas, Madoff, Thornton-Joe, and Young

Against: Councillor Isitt



Committee of the Whole Report

For the Meeting of March 8, 2018

To: Committee of the Whole **Date:** February 22, 2018

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Temporary Use Permit Application No. 00007 for 629 and 635 Chatham Street

RECOMMENDATION

That Council decline Temporary Use Permit Application No. 00007 for the property located at 629 and 635 Chatham Street.

LEGISLATIVE AUTHORITY

In accordance with Section 493 of the *Local Government Act*, Council may issue a Temporary Use Permit. A Temporary Use Permit may allow a use not permitted by zoning, may specify conditions under which the temporary use may be carried on, and may allow and regulate construction of buildings and structures in respect of the use of which the permit is issued.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Temporary use Permit may include requirements respecting the character of the development, including landscaping and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Temporary Use Permit Application (TUP) for the property located at 629 and 635 Chatham Street. The proposal is to allow a surface parking lot for up to 38 stalls with associated landscaping for a period of up to three years.

The following points were considered in assessing this Application:

- the *Official Community Plan* (OCP) identifies the property within the Core Historic Urban Place Designation, which does not support surface parking lots; however, TUPs are permitted in the OCP throughout the whole City
- the *Downtown Core Area Plan* (DCAP) designates the subject property in the Historic Commercial District, which supports a diverse range of active commercial uses and complementary uses such as multi-residential, hotels, public institutions and tourist services. The Historic Commercial District in the DCAP does not support surface parking lot uses, although it does support the provision of short-term on-street parking

- the landscaping is consistent with the DCAP guidelines and Crime Prevention Through Environmental Design (CPTED) principles, which include goals related to well-designed landscaping that demarcates public and private areas and does not obstruct sightlines
- the Old Town Guidelines designate the property within the Old Commercial District, which encourages designs for buildings and landscapes that are strongly contextual, visually interesting and uplifting to use. The proposal is inconsistent with these guidelines.

The Application is not supportable given that it is inconsistent with the policy as summarized above. However, the proposal is for the temporary use of a vacant site and would marginally improve the streetscape experience with the introduction of soft landscaping. An alternate motion is provided should Council wish to advance consideration of this Temporary Use Permit, particularly given present concerns regarding a shortage of parking downtown.

BACKGROUND

Description of Proposal

The proposal is for a Temporary Use Permit Application (TUP) for the property located at 629 and 635 Chatham Street to allow a surface parking lot for up to 38 stalls with associated landscaping for a period of up to three years. Specific details include:

- 38 new surface parking stalls
- removal of the existing barrier walls
- a landscaped raingarden adjacent to the sidewalk at the front of the property.

Sustainability Features

As indicated in the applicant's letter date stamped November 8, 2017, sustainability features include a landscaped rain garden adjacent to the sidewalk along Chatham Street to assist with stormwater management.

Active Transportation Impacts

The proposal is for a surface parking lot for vehicles; therefore, the applicant has not identified any active transportation impacts associated with this Application.

Public Realm Improvements

No public realm improvements are proposed in association with this Temporary Use Permit Application.

Accessibility Impact Statement

The proposed surface parking lot will be accessible as there are no changes to the grades between the sidewalk and the subject property.

Existing Site Development and Development Potential

The site is presently a vacant lot. Under the current CA-3 Zone, Central Area Commercial District, the property could be developed at a density of 3:1 Floor Space Ratio (FSR) up to 15m in height. The Zone permits a range of uses including commercial and residential.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on September 5, 2017, the Application was referred for a 30-day comment period to the Downtown Residents Association CALUC. At the time of writing this report, a letter from the CALUC had not been received. In accordance with the City's *Land Use Procedures Bylaw*, this Application requires notice, sign posting and a meeting of Council to consider the Application.

ANALYSIS

The *Official Community Plan (OCP)* identifies the property within the Core Historic Urban Place Designation, which does not support surface parking lots; however, TUPs are permitted in the OCP throughout the whole City. A TUP would allow a surface parking lot for a period of up to three years, with the ability to extend the permit for another three years subject to Council approval.

The OCP also identifies this property within Development Permit Area 1 (HC): Core Historic. With respect to onsite landscaping, the existing concrete area fronting Chatham Street would be converted into a rain garden to improve the visual appeal of the neighbourhood and reduce the impacts to the stormwater system through onsite rainwater management. The owner would be responsible for maintaining the raingarden. The proposed landscaping fronting onto Chatham Street would improve the visual appeal along the street.

Local Area Plans

The Downtown Core Area Plan (DCAP) designates the subject property within the Historic Commercial District (HCD), which supports a diverse range of active commercial uses and complementary uses such as multi-residential, hotels, public institutions and tourist services. The HCD does not support surface parking lot uses, although short-term on-street parking is supported to help maintain the HCD as a focus for active commercial uses including retail and entertainment. The proposed changes to the landscaping are consistent with the DCAP guidelines and Crime Prevention Through Environmental Design (CPTED) principles, which include well-designed landscaping that demarcates public and private areas and does not obstruct sightlines.

The Old Town Guidelines designate the property within the Old Commercial District, which encourages building and landscape designs that are strongly contextual, visually interesting and uplifting to use. The proposal is inconsistent with these guidelines; however, it is worth noting that the existing condition of the property (a vacant site) does not meet these objectives either, and the proposal includes the addition of landscaping and improved storm water management. Council may therefore wish to consider the alternate motion in this instance.

Resource Impacts

There are no resource impacts associated with this proposal, as the rain garden is located on private property.

CONCLUSIONS

The proposal to temporarily change the use to allow a surface parking lot for a period of up to three years at the property located at 629 and 635 Chatham Street is inconsistent with the OCP, DCAP and Old Town Guidelines that encourage active uses in Old Town. Staff recommend for Council's consideration that the Application be declined; however, the alternate motion provided below would be appropriate if Council wished to consider approving it.

ALTERNATE MOTION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, authorize the issuance of Temporary use Permit Application No. 00007 for 635 Chatham Street in accordance with:

1. Plans date stamped December 22, 2017
2. Development meeting all *Zoning Regulation Bylaw* requirements
3. The applicant providing a landscape cost estimate for the entire cost of the onsite landscaping in accordance with the Landscape Plan prepared by Murdoch de Greeff Landscape Architects dated December 22, 2017, and a landscape security deposit in the amount of 120% of the Landscape Cost Estimate payable to the City prior to the issuance of the building permit
4. The Temporary use Permit lapsing three years from the date of this resolution.

Respectfully submitted,



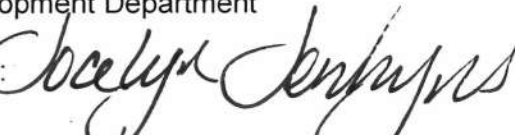
Miko Betanzo
Senior Planner – Urban Design
Development Services Division



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:

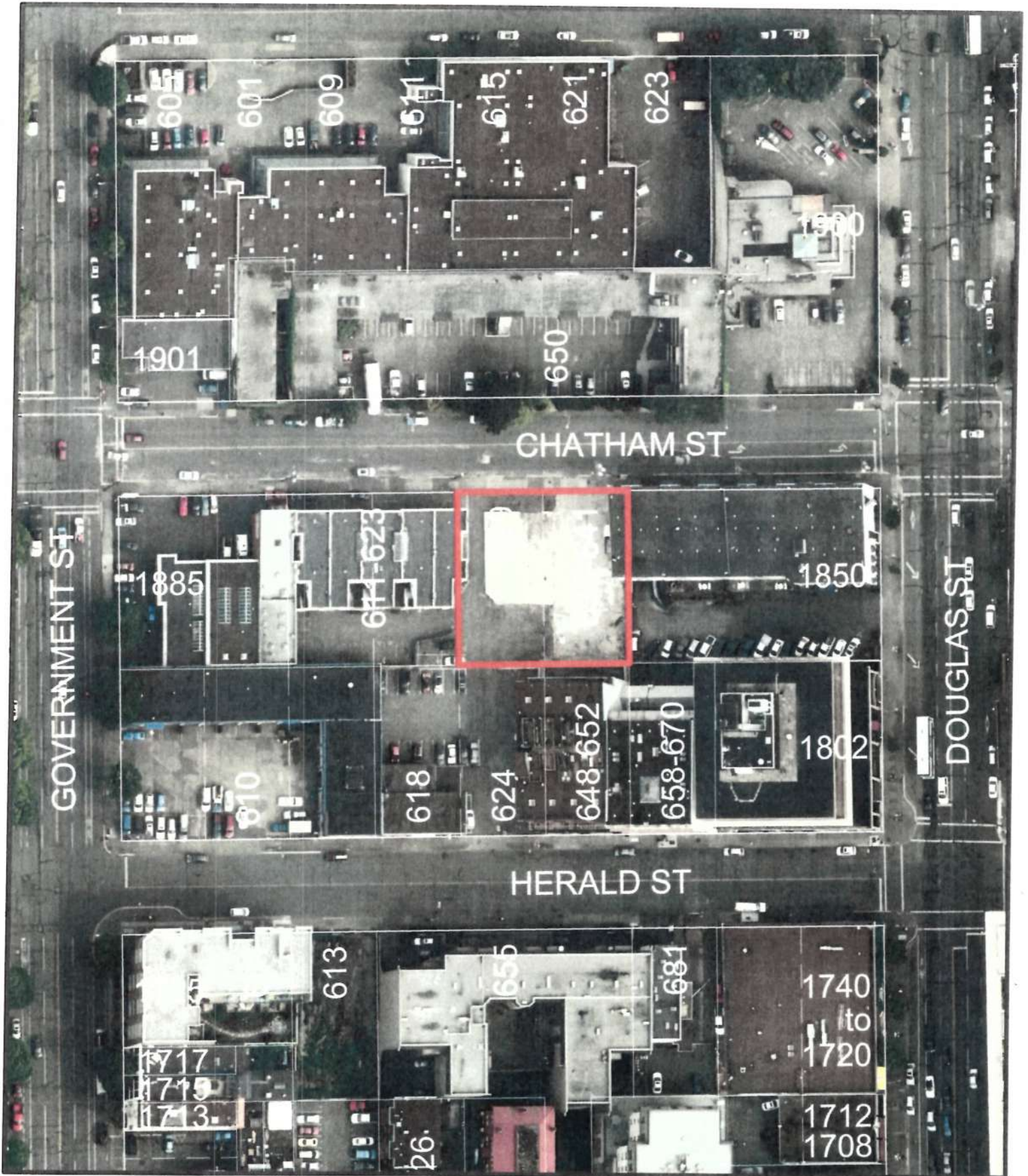
Date:



February 27, 2018

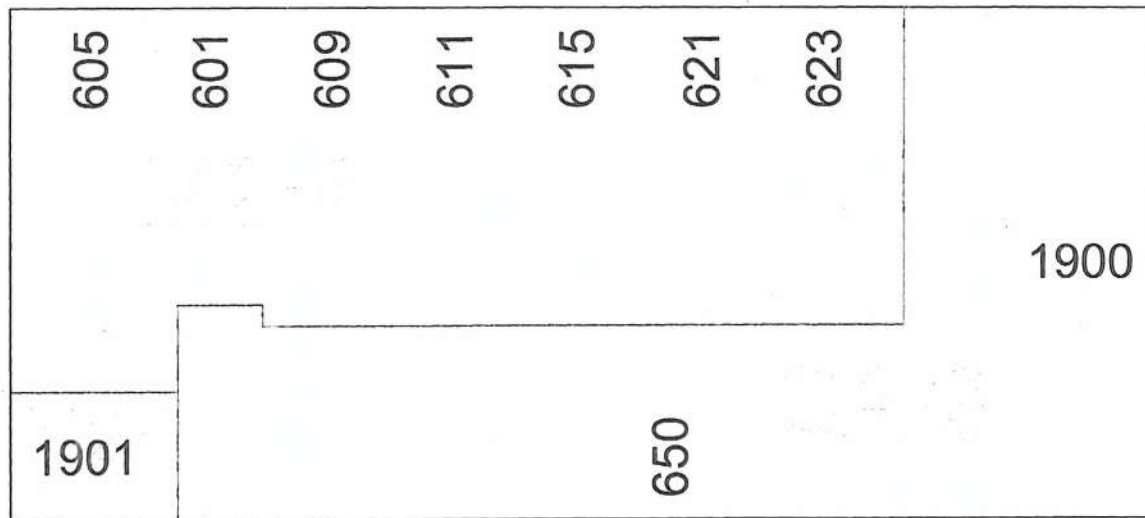
List of Attachments

- Attachment A: Aerial Map
- Attachment B: Subject Map
- Attachment C: Letter from applicant, date stamped November 8, 2017
- Attachment D: Plans date stamped December 22, 2017.



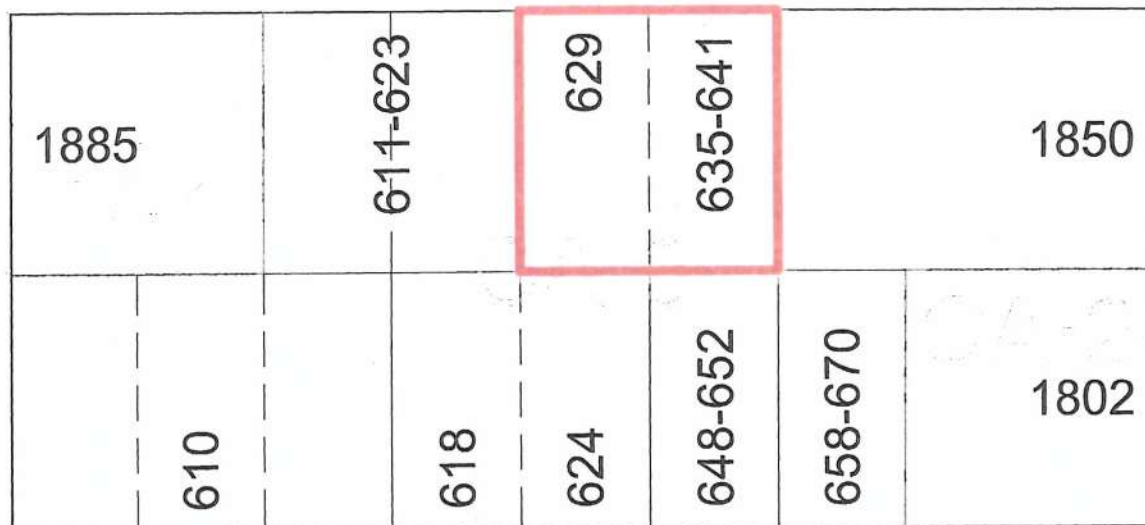
629 & 635 Chatham Street
Temporary Use Permit No. 00007





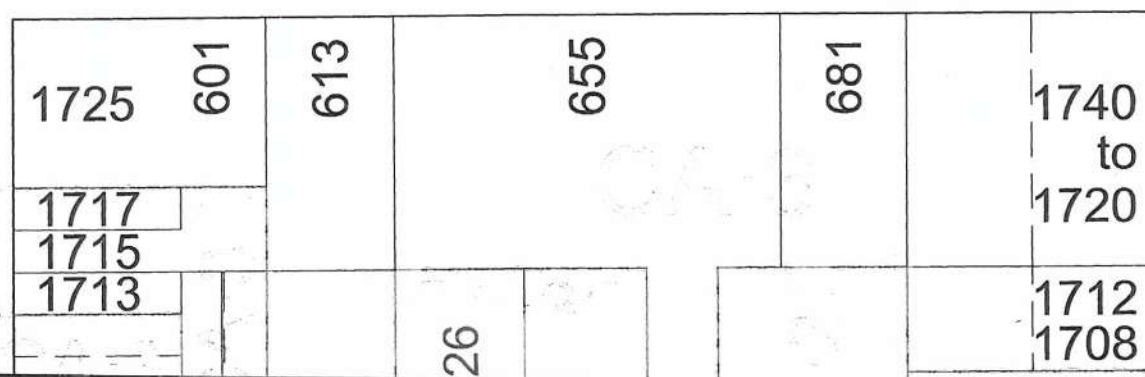
CHATHAM ST

GOVERNMENT ST



DOUGLAS ST

HERALD ST



629 & 635 Chatham Street
Temporary Use Permit No. 00007



Robbins Parking Service

Website: www.robbinparking.com
Email: park@robbinparking.com

ATTACHMENT C

Victoria, BC V8V 3K8
373 Albert Street
Nanaimo, BC V9R 2V8

Telephone (250) 382-4411
Facsimile (250) 380-7275
Telephone (250) 753-6789
Facsimile (250) 753-7858

Dear Mayor and Council,

Robbins Parking Service Ltd. is pleased to have the opportunity to submit a Temporary Use/Development Permit Application with the City of Victoria. We believe there is ample parking demand in the Downtown Victoria area to warrant the implementation of a temporary parking lot on the land of 635 Chatham Street. We feel this location is ideal for the many businesses in the area. The approval of this temporary permit would result in 38 additional parking spaces for commuters and visitors alike, as well as property improvements along the front facing side of the property, including landscaping.

The demand for further parking spaces in Downtown Victoria has never been greater, with the continuous closures of parking lots for housing development. In the next two years, the parking lot at 840 Yates Street and the parking lot at 525 Chatham Street will close. We anticipate with these closures that the downtown area will lose an additional 350 parking spaces due to the development boom. By adding the temporary lot at 635 Chatham Street, we will lessen the burden of this parking availability drought.

Upon approval of this application, we would add a rain garden to the front facing side of the property (along Chatham Street up to the driveway) this would require demolition of existing concrete and excavation/rough grading in the proposed rain garden area. A rain garden would increase the green urban appeal of the neighbourhood, as well as provide a storm water management solution to the property. There would be daylighting and reconfiguring of existing storm pipe on the property. We would utilize the existing driveway on far right facing the property, and make sidewalk repairs along the north property line where necessary.

We feel a temporary parking lot is an optimal and efficient use of the property of 635 Chatham Street, responding to current public concerns of parking availability and improving the appearance of the neighbourhood until further property development takes place.

Thank you for your consideration,

Dan Sawchuk

President

Robbins Parking Service Ltd.



Demolish redundant existing driveway crossings and replace with new full height curb gutter and sidewalk to City of Victoria standards.

Rain garden overflow drain. Concrete catch basin chamber with domed, beehive grate. Connect to existing storm system pipe as indicated.

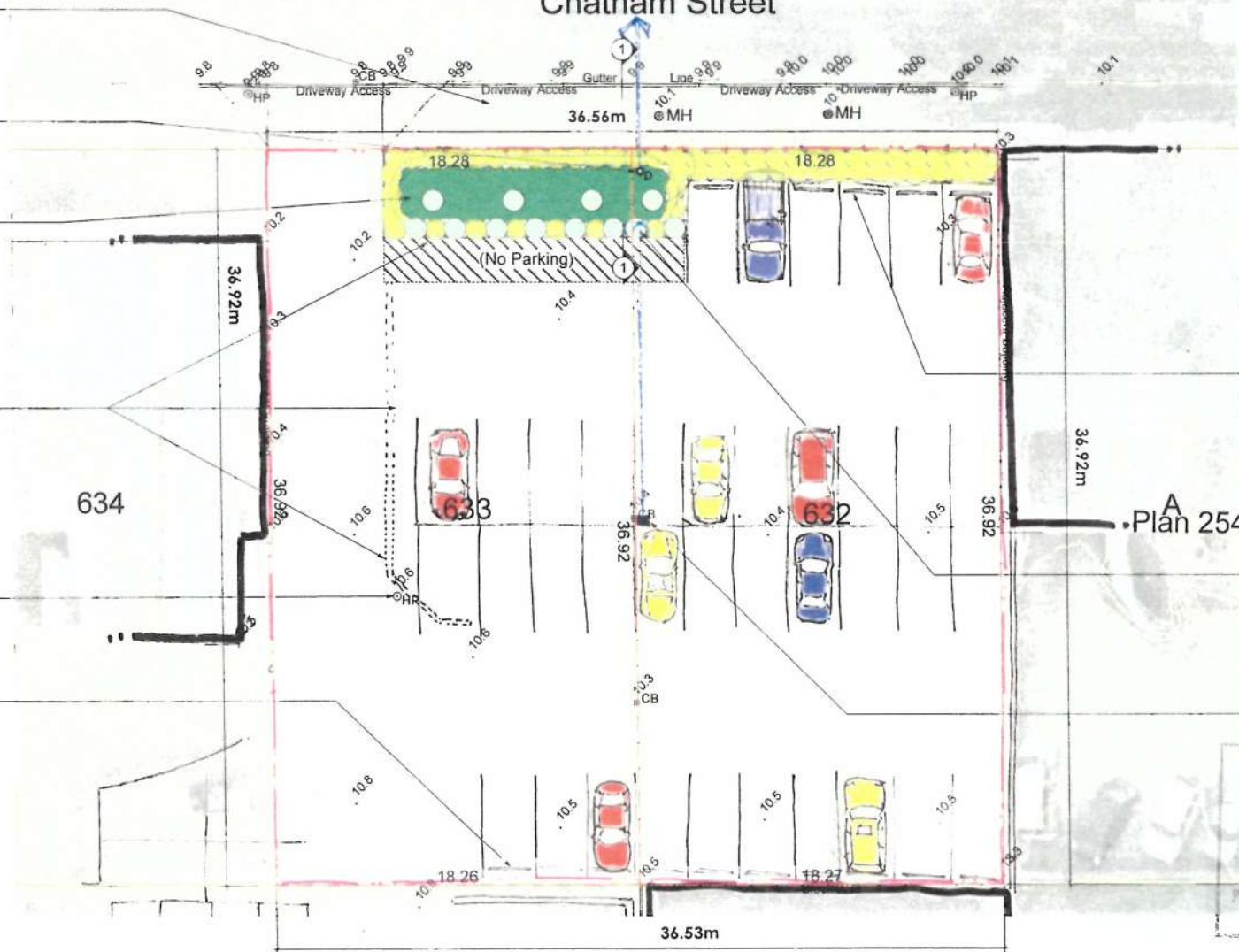
Rain garden treats existing hard surface runoff from the site by intercepting stormwater from existing catch basin as indicated.

All existing concrete walls to be demolished.

Existing hydro pole to remain.

Install wheel stops along this edge to the City of Victoria, Schedule C - Off Street Parking bylaw requirements. Not less than 1m from the front end of the parking space.

Chatham Street



GENERAL NOTES:

1. DO NOT SCALE DRAWING. Verify all property lines and existing structures to remain, prior to commencing work.
2. All plan dimensions are in metres.
3. Existing onsite pavement grades and drainage slopes to be maintained. Proposed parking stalls drain to existing catch basins as indicated. All drive aisles and parking stalls maintain a <3.5% slope.
4. All parking stalls, drive aisles and wheel stops proposed conform to the standard of the City of Victoria, Schedule C - Off Street Parking bylaw requirements. Refer Layout Plan for additional information.

Install wheel stops along this edge to the City of Victoria, Schedule C - Off Street Parking bylaw requirements. Not less than 1m from the front end of the parking space.

Daylight existing storm pipe to allow for interception and treatment of stormwater within rain garden.

Existing catch basin.

Received
City of Victoria

DEC 22 2017

Planning & Development Department
Development Services Division

629 & 635 Chatham Street LANDSCAPE CONCEPT PLAN

DATE : 22.12.2017

SCALE : 1:100 @ 24x36

PRELIMINARY
NOT FOR CONSTRUCTION

0 5 10 m

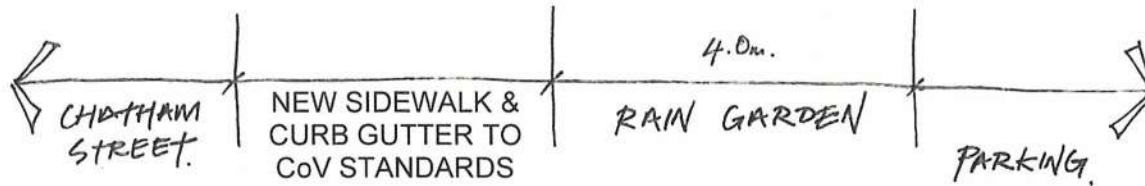
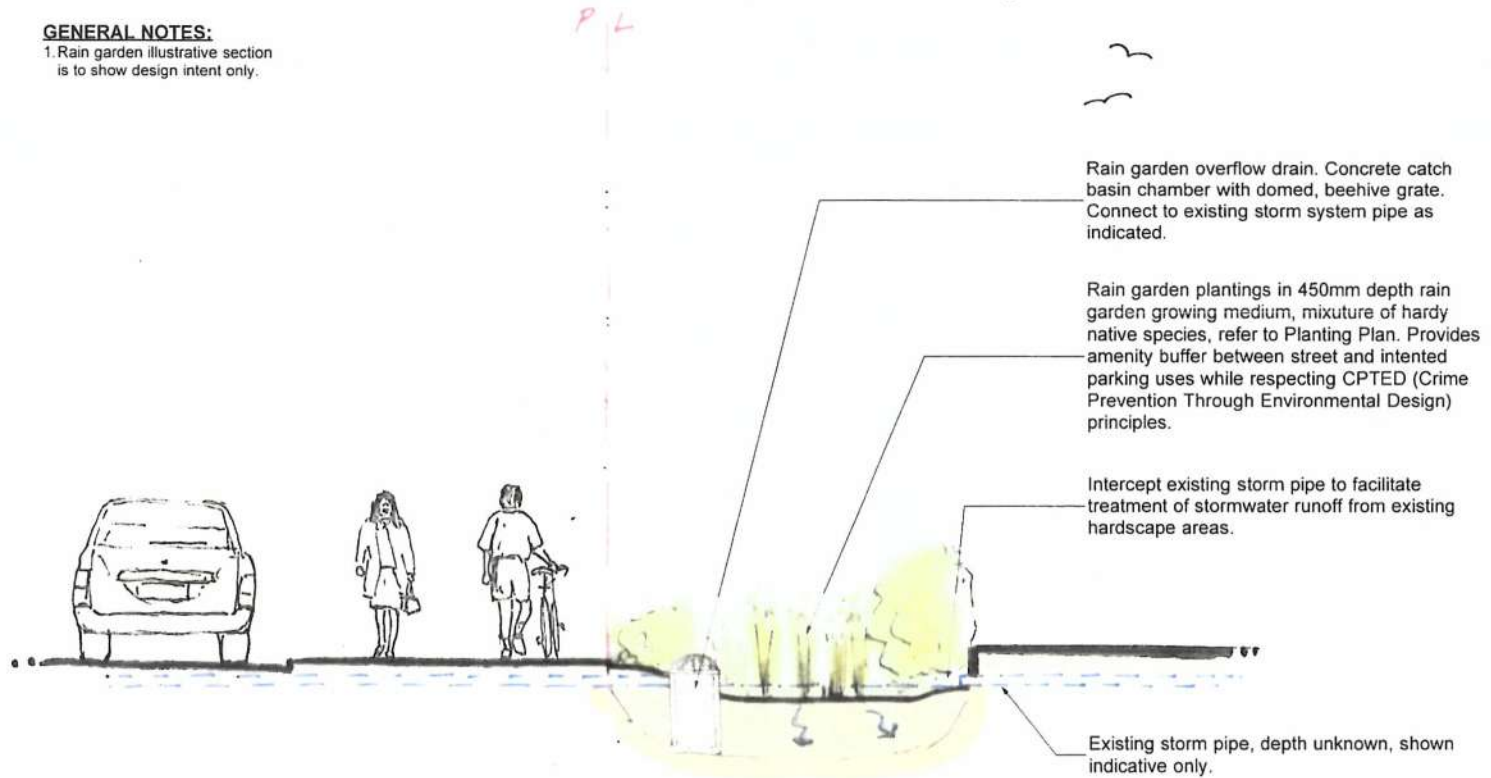


Murdoch
de Greeff INC
Landscape Planning & Design

200 - 524 Caledonia Road Phone: 250.412-2891
Victoria, BC V8Z 1G1 Fax: 250.412-2892

GENERAL NOTES:

1. Rain garden illustrative section is to show design intent only.



1 Rain Garden Illustrative Section



629 & 635 Chatham Street
LANDSCAPE ILLUSTRATIVE SECTION

DATE : 22.12.2017

SCALE : NTS

PRELIMINARY
NOT FOR CONSTRUCTION



200 - 524 Cuduhel Road Phone: 250.412.2891
Victoria, BC V8Z 1G1 Fax: 250.412.2892

Install wheel stops along this edge to the City of Victoria, Schedule C - Off Street Parking bylaw requirements. Not less than 1m from the front end of the parking space.

Install wheel stops along this edge to the City of Victoria, Schedule C - Off Street Parking bylaw requirements. Not less than 1m from the front end of the parking space.



1. **DO NOT SCALE DRAWING:** Verify all property lines and existing structures to remain, prior to commencing work.
2. All plan dimensions are in metres.
3. Existing pavement grades and drainage slopes to be maintained. Proposed parking stalls drain to existing catch basins as indicated. All drive aisles and parking stalls maintain a <3.5% slope.
4. All parking stalls, drive aisles and wheel stops proposed conform to the standard of the City of Victoria, Schedule C - Off Street Parking bylaw requirements. Refer Layout Plan for additional information.
5. **Typical Parkings Stall Dimensions as per City of Victoria-Schedule C.**
 90 degree stalls = 2.6m width typical.
 90 degrees stall adjacent to wall = 2.7m width typical.
6. All proposed wheel stops shall be installed as per City of Victoria, Schedule C - Off Street Parking bylaw requirements. Refer layout.

Received
City of Victoria

DEC 22 2017

Planning & Development Department
Development Services Division

DATE : 22.12.2017

SCALE : 1:100 @ 24x36

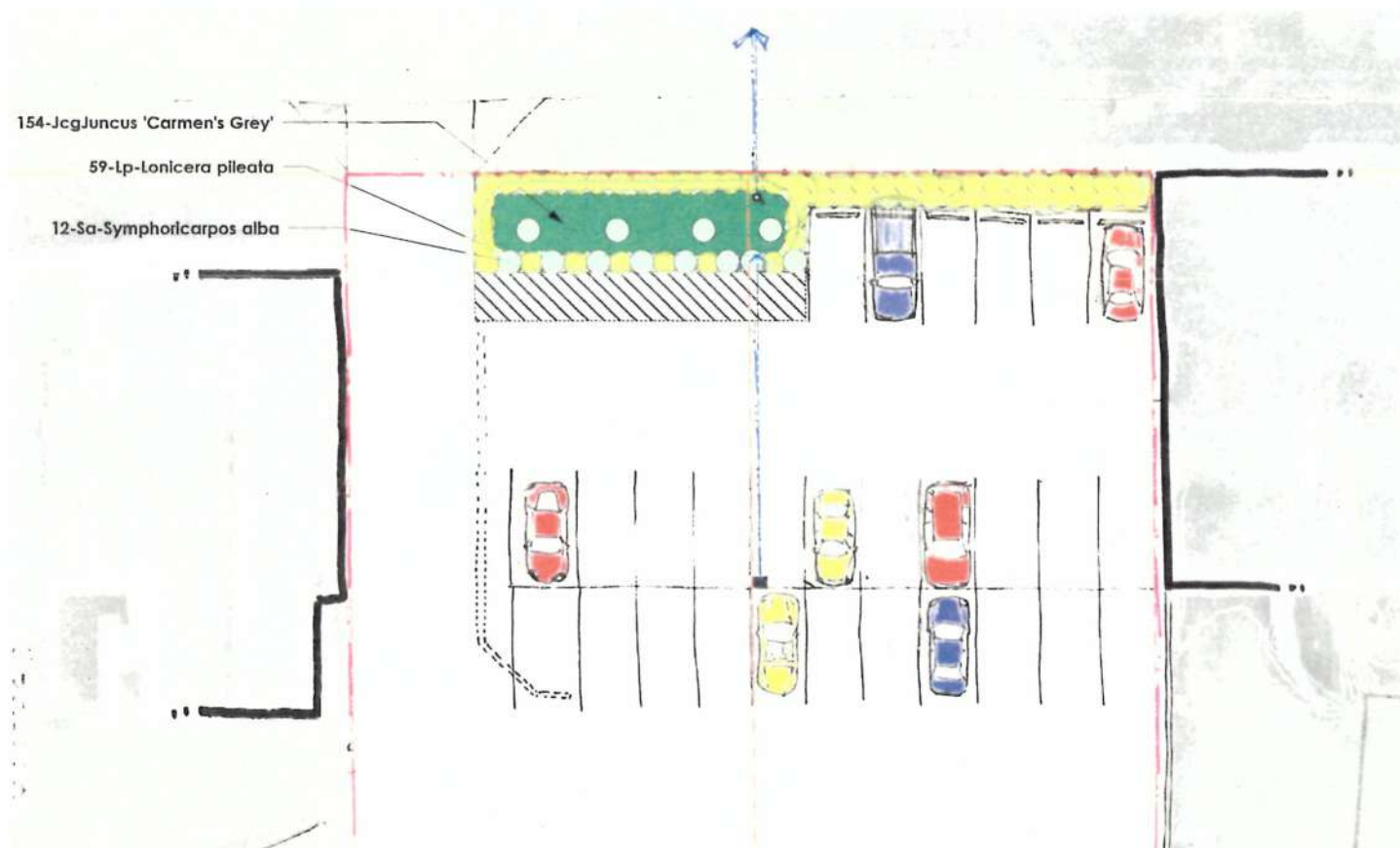
**PRELIMINARY
NOT FOR CONSTRUCTION**



200 - 524 Cuddeheh Road Phone: 250.412-2891
Victoria, BC V8Z 1G1 Fax: 250.412-2892

PLANTING NOTES

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
2. Irrigation of planting areas will be through hand watering at the owners responsibility.



PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
RAINGARDEN:				
Jcg	154	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Lp	59	Lonicera pileata	Privet Honeysuckle	#1 pot
Sa	12	Symphoricarpos alba	Snowberry	#1 pot
	0			

629 & 635 Chatham Street

SCHEMATIC PLANTING PLAN

DATE : 22.12.2017

SCALE : 1:100 @ 24x36

PRELIMINARY
NOT FOR CONSTRUCTION

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**Murdoch
de Greeff INC**
Landscape Planning & Design

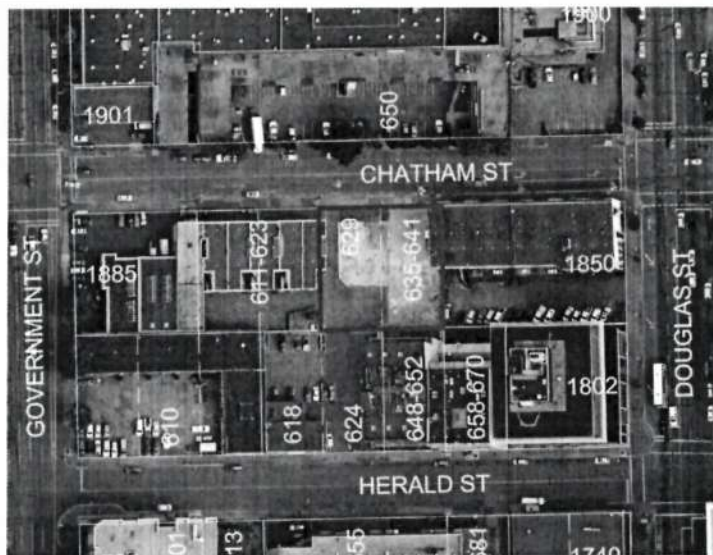
200 - 524 Cuddehol Road Phone: 250.412-2891
Victoria, BC V8T 1G1 Fax: 250.412-2892

Received
City of Victoria

DEC 22 2017

Planning & Development Department
Development Services Division

Temporary Use Permit
Application
for
629 and 635 Chatham St.



Existing Site



Existing Site



Context



Context

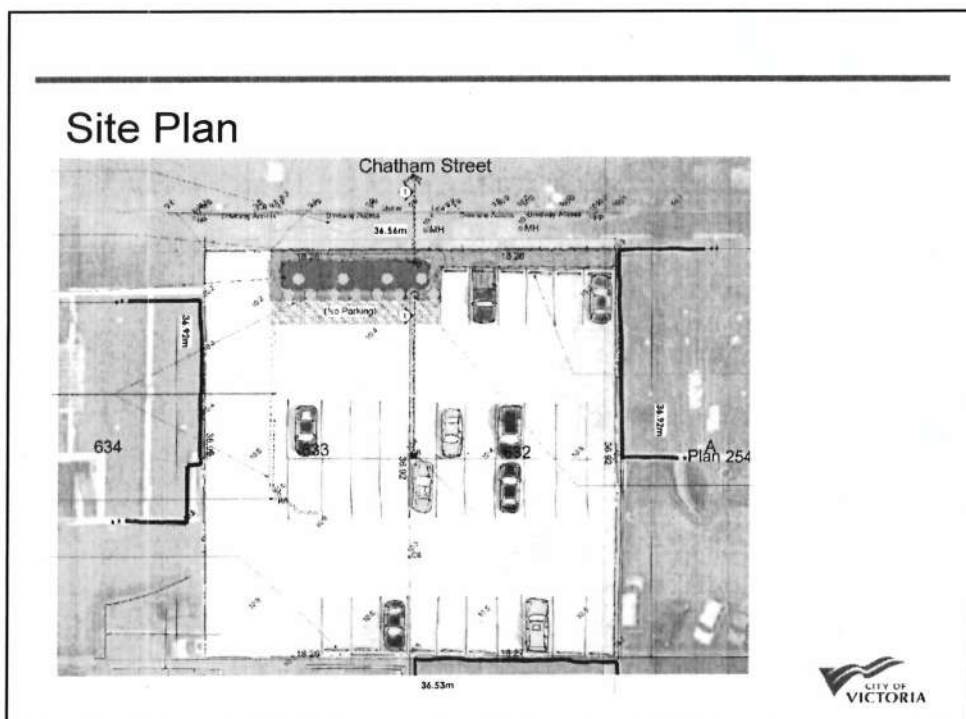
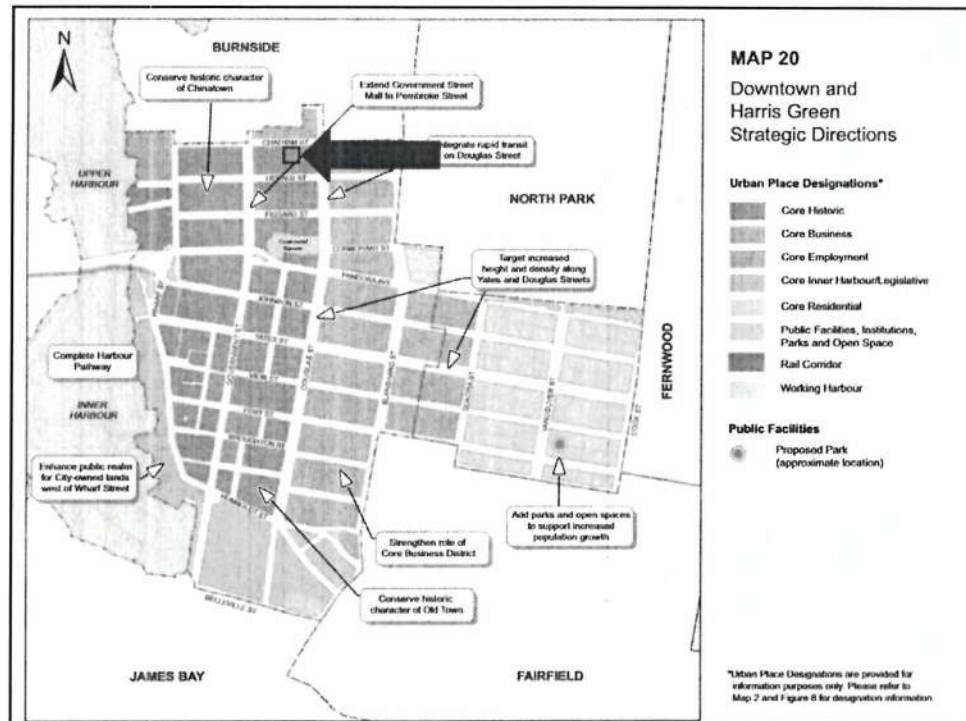


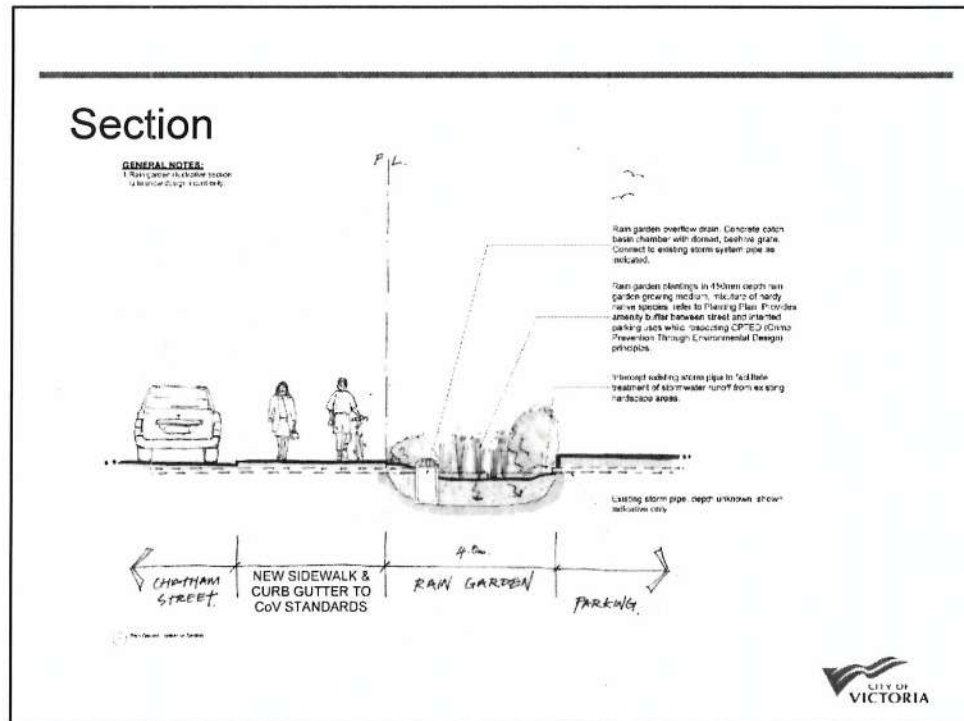
Context



Context









Council Report

For the Meeting of May 24, 2018

To: Council **Date:** May 10, 2018
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: Update Report for Rezoning Application No. 00556 and Development Permit with Variances Application No. 00028 for 1417 May Street

RECOMMENDATION

That Council receive this update report for information.

EXECUTIVE SUMMARY

The purpose of this report is to inform Council that, in accordance with Council's motion of September 21, 2017 (attached), the applicant has fulfilled the conditions set by Council in relation to Rezoning Application No. 00556:

- Preparation and execution of a Housing Agreement to ensure that a future strata cannot restrict the rental of units. Notice of the Housing Agreement will be registered on title should Council approve the associated Housing Agreement Bylaw (No. 18-069).
- Registration on title of a section 219 covenant ensuring the building is constructed to Passive House Standards.
- Submission of an onsite storm water management plan and registration of a 219 covenant for the design, inspection and long term maintenance requirements of the storm water system to the satisfaction of the City Solicitor and the Director of Engineering and Public Works.


Respectfully submitted,


Alec Johnston
Senior Planner
Development Services


Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:

Date:


May 17, 2018

List of Attachments:

- Attachment A – Council Minutes dated September 21, 2017

3. Rezoning and Development Permit with Variances Application No. 00544 for 1539 Pearl Street (Oaklands)

Motion:

It was moved by Councillor Alto, seconded by Councillor Coleman:

Rezoning Application No. 00544

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00544 for 1539 Pearl Street, that first and second reading of the *Zoning Regulation Bylaw* Amendment be considered by Council and a Public Hearing date be set.

Development Permit with Variances Application No. 00544

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00544 if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00544 for 1539 Pearl Moss Street, in accordance with:

1. Plans date stamped July 21, 2017
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Part 1.23.4(a): increase the maximum height of Lot A from 7.50m to 7.57m;
 - ii. Part 1.23.4(a): increase the maximum height of Lot A from 7.50m to 7.58m;
 - iii. Part 1.23.8(c): reduce the side yard (east) setback of Lot A from 2.40m to 1.50m to allow for a habitable room with a window;
 - iv. Part 1.23.8(c): reduce the side yard (west) setback of Lot B from 2.40m to 1.50m to allow for a habitable room with a window.
3. The Development Permit lapsing two years from the date of this resolution.

Carried Unanimously

4. Rezoning Application No. 00556 and Development Permit with Variances Application No. 00028 for 1417 May Street (Fairfield Gonzales)

Motion:

It was moved by Councillor Thornton-Joe, seconded by Councillor Alto:

Rezoning Application No. 00556

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00556 for 1417 May Street, that first and second reading of the *Zoning Regulation Bylaw* Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation of the following legal agreements to the satisfaction of the City Solicitor:
 - a. Housing Agreement to ensure a future strata cannot restrict the rental of units;
 - b. A Section 219 Covenant ensuring the building is constructed to Passive House standards, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation of a technical report to the satisfaction of the Director of Engineering and Public Works, identifying how the site will manage all storm water generated on site and, if necessary, preparation of legal agreements for the design, inspection and long term maintenance requirements of the storm water system to the satisfaction of the City Solicitor and the Director of Engineering and Public Works.

Development Permit with Variances Application No. 00028

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00556, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00556 for 1417 May Street, in accordance with:

1. Plans date stamped July 12, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the minimum vehicle parking requirements from six stalls to four stalls;
 - ii. reduce the minimum visitor parking from one stall to zero stalls.
3. The Development Permit lapsing two years from the date of this resolution."

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, and Thornton-Joe
Opposed: Councillors Madoff and Young

5. Development Permit with Variance Application No. 00003 for 944 Heywood Avenue (Fairfield Gonzales)

Motion:

It was moved by Councillor Isitt, seconded by Councillor Young, that Council direct staff to work with the applicant to address the following:

REPORTS OF COMMITTEES

1. Committee of the Whole – September 14, 2017

4. Rezoning Application No. 00556 and Development Permit with Variances Application No. 00028 for 1417 May Street (Fairfield Gonzales)

Motion:

It was moved by Councillor Thornton-Joe, seconded by Councillor Alto:

Rezoning Application No. 00556

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00556 for 1417 May Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation of the following legal agreements to the satisfaction of the City Solicitor:
 - a. Housing Agreement to ensure a future strata cannot restrict the rental of units;
 - b. A Section 219 Covenant ensuring the building is constructed to Passive House standards, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation of a technical report to the satisfaction of the Director of Engineering and Public Works, identifying how the site will manage all storm water generated on site and, if necessary, preparation of legal agreements for the design, inspection and long term maintenance requirements of the storm water system to the satisfaction of the City Solicitor and the Director of Engineering and Public Works.

Development Permit with Variances Application No. 00028

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00556, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00556 for 1417 May Street, in accordance with:

1. Plans date stamped July 12, 2017.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the minimum vehicle parking requirements from six stalls to four stalls;
 - ii. reduce the minimum visitor parking from one stall to zero stalls.
3. The Development Permit lapsing two years from the date of this resolution."

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, and Thornton-Joe
Opposed: Councillors Madoff and Young

6.3 Rezoning Application No. 00556 for 1417 May Street (Fairfield Gonzales)

Committee received a report dated August 31, 2017, from the Director of Sustainable Planning and Community Development regarding the proposal to rezone the property located at 1417 May Street to a new site-specific zone to allow for the construction of a two-storey residential building with four ground-oriented self-contained units.

Committee discussed:

- The impact of privacy and shading on the neighbouring properties.
- How the property respects the character of the neighbourhood.

Motion: It was moved by Councillor Thornton-Joe, seconded by Councillor Lucas, that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00556 for 1417 May Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by council and a Public Hearing date be set once the following conditions are met:

1. Preparation of the following legal agreements to the satisfaction of the City Solicitor:
 - a. Housing Agreement to ensure a future strata cannot restrict the rental of units;
 - b. A Section 219 Covenant ensuring the building is constructed to Passive House standards, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation of a technical report to the satisfaction of the Director of Engineering and Public Works, identifying how the site will manage all storm water generated on site and, if necessary, preparation of legal agreements for the design, inspection and long term maintenance requirements of the storm water system to the satisfaction of the City Solicitor and the Director of Engineering and Public Works.

Committee discussed:

- Concerns with the style of the building not fitting in with the surrounding neighbourhood.
- Encouraging tasteful design in neighbourhoods.

CARRIED 17/COTW

For: Acting Mayor Alto, Councillors Isitt, Loveday, Lucas, and Thornton-Joe
Against: Councillors Madoff and Young



Committee of the Whole Report

For the Meeting of September 14, 2017

To: Committee of the Whole Date: August 31, 2017

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Rezoning Application No. 00556 for 1417 May Street

RECOMMENDATION

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00556 for 1417 May Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation of the following legal agreements to the satisfaction of the City Solicitor:
 - a. Housing Agreement to ensure a future strata cannot restrict the rental of units;
 - b. A Section 219 Covenant ensuring the building is constructed to Passive House standards, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation of a technical report to the satisfaction of the Director of Engineering and Public Works, identifying how the site will manage all storm water generated on site and, if necessary, preparation of legal agreements for the design, inspection and long term maintenance requirements of the storm water system to the satisfaction of the City Solicitor and the Director of Engineering and Public Works.

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

In accordance with Section 483 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use of the density of the land from that permitted under the zoning bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1417 May Street. The proposal is to rezone from the R1-B Zone, Single Family Dwelling District, to a new site-specific zone in order to construct a two-storey residential building with four ground-oriented self-contained dwelling units.

The following points were considered in assessing this Application:

- the property is designated as Traditional Residential in the *Official Community Plan, 2012* (OCP). The proposed ground-oriented housing and density is consistent with the land designation and OCP policies related to sensitive infill in the Fairfield neighbourhood
- the proposal is consistent with the policies specified in *Suburban Neighbourhoods, 1984*
- one bylaw-protected tree is proposed for removal with this Application and the applicant has provided an arborist report outlining measures to mitigate the impact of development on the nearby trees
- the applicant is proposing Passive House certification with this proposal, which will be secured through a Section 219 Covenant.

BACKGROUND

Description of Proposal

This Application is to rezone the subject site from the R1-B Zone to a new site-specific zone in order to construct a two-storey ground-oriented residential building with four self-contained dwelling units at a floor space ratio of 0.33:1. The nearby property located at 1461 May Street is in the R-55 Zone, May Street Multiple Dwelling District, and is comparable in terms of density and height. The new zone would be similar to the R-55 Zone, but with the following differences:

- maximum floor space ratio (FSR) reduced from 0.5:1 to 0.33:1
- maximum of number of storeys reduced from three to two
- minimum side yard (west) reduced from 3.00m to 2.70m.

Variances related to parking are also being proposed and will be discussed in relation to the concurrent Development Permit with Variances Application:

- reduced vehicle parking from six stalls to four stalls
- reduced visitor parking from one stall to zero stalls.

The design aspects of this proposal are also reviewed in the concurrent Development Permit with Variances Application report.

Affordable Housing Impacts

The applicant proposes the creation of four new residential units which would increase the overall supply of housing in the area. A Housing Agreement is also being proposed which would ensure that future Strata Bylaws could not prohibit the rental of units to non-owners.

Sustainability Features

The applicant has identified a number of sustainability features which will be reviewed in association with the concurrent Development Permit with Variances Application for this property.

Active Transportation Impacts

The Application proposes four Class 1 bicycle parking stalls and one six-space Class 2 bicycle rack which supports active transportation.

Public Realm Improvements

No public realm improvements are proposed in association with this Rezoning Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Land Use Context

The area is characterized by single family dwellings, duplexes and multiple dwelling unit house conversions. Moss Rocks Park is located north of the property on the opposite side of May Street.

Existing Site Development and Development Potential

The site is presently developed as a single family dwelling.

Under the current R1-B Zone, the property could be developed as a single family dwelling with either a secondary suite or a garden suite, or converted to multiple dwelling units subject to the house conversion regulations under Schedule G of the *Zoning Regulation Bylaw*.

Data Table

The following data table compares the proposal with the existing R1-B Zone and the R-55 Zone, May Street Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the R-55 zone.

Zoning Criteria	Proposal	Zone Standard R-55	Existing Zone R1-B
Site area (m ²) - minimum	926.85	555.00	460.00
Number of units in an attached dwelling - maximum	4	4	1
Density (Floor Space Ratio) - maximum	0.33:1	0.55:1	N/A
Floor area of all floors (m ²) - maximum	445.76	N/A	420.00
Lot width (m) - minimum	15.22	15.00	15.00

Zoning Criteria	Proposal	Zone Standard R-55	Existing Zone R1-B
Height (m) - maximum	8.28	8.50	7.60
Storeys - maximum	2	3	2
Site coverage % - maximum	31.00	40.00	40.00
Open site space % - minimum	47.60	30.00	N/A
Rear yard open site space % - minimum	61.00	33.00	N/A
Setbacks (m) - minimum:			
Front	6.00	6.00	7.50
Rear	31.19	19.00	15.12
Side (east)	3.00	3.00	3.00
Side (west)	2.7*	3.00	1.52
Parking - minimum	4*	6	1
Visitor parking (minimum) included in the overall units	0*	1	N/A
Bicycle parking stalls (minimum)			
Class 1	4	4	N/A
Class 2	6	6	N/A

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applicant has consulted the Fairfield Gonzales CALUC at a Community Meeting held on December 19, 2017. A summary of the meeting is attached to this report.

ANALYSIS

Official Community Plan

The *Official Community Plan, 2012* (OCP) Urban Place Designation for the subject property is Traditional Residential, which supports ground-oriented residential uses. The OCP states that new development may have a density of generally up to 1:1 floor space ratio (FSR) and up to two storeys in height. The Application meets the place character features of the Traditional Residential urban place guidelines and housing policy in the OCP which supports a diversity of housing types to create more home ownership options such as ground-oriented multi-unit residential developments.

Local Area Plans

The land use policies of *Suburban Neighbourhoods, 1984* that relate to Fairfield identify the subject lands as suitable for residential development and encourages infill development of small scale townhouses, small lot houses and duplexes. The proposal for a ground-oriented multi-unit residential building is consistent with this policy.

Housing Agreement

The applicant is amenable to entering into a Housing Agreement with the City to ensure that a future strata corporation could not pass any bylaws that would prohibit or restrict the rental of units to non-owners.

Tree Preservation Bylaw and Urban Forest Master Plan

There is an existing Bylaw protected Maple tree on the subject property. The tree was reviewed by an ISA consulting arborist and it was determined that the tree is unhealthy and would not survive the amount of excavation work for the proposed landscape plan and as such the tree will be removed. As per the Bylaw, two replacement trees will be planted by the applicant on site. There is an existing large Maple tree on the property to the east which will be negatively affected by the proposed driveway. This tree will be explored further by the consulting arborist prior to construction and tree protection measures will be put in place. There is an existing boulevard tree in poor health that will be removed and replaced on the city boulevard.

CONCLUSIONS

The Application is consistent with the place character features of the Traditional Residential urban place guidelines, and housing policy in the OCP which supports the diversity of housing types to create more home ownership options such as ground-oriented multi-unit residential developments. Staff recommend that Council consider supporting the Application.

ALTERNATE MOTION

That Council decline Rezoning Application No. 00556 for the property located at 1417 May Street.

Respectfully submitted,



Alec Johnston
Senior Planner
Development Services

for



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:


Date: Sept 7, 2017

List of Attachments

- Attachment A - Subject Map
- Attachment B - Aerial Map
- Attachment C - Plans date stamped July 12, 2017
- Attachment D - Letters from applicant to Mayor and Council dated May 18, 2017 and December 26, 2016
- Attachment E - Community Association Land Use Committee Summary of December 19, 2016 Meeting
- Attachment F - Arborist Report dated August 20, 2017
- Attachment G - Neighbourhood Correspondence.





1417 May Street
Rezoning No.00556



ATTACHMENT C

MAY STREET PASSIVE HOUSE

1417 MAY STREET, VICTORIA

ISSUED FOR REZONING & DEVELOPMENT RESUBMISSION

JULY 05, 2017

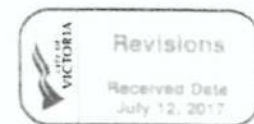
DRAWING LIST

CASCADIA ARCHITECTS INC.

Sheet No.	Sheet Title
A000	COVER
A001	GENERAL & PROJECT DATA
A101	SITE PLAN, DEMOLITION & PROPOSED
A201	PROPOSED FLOOR PLANS
A301	PROPOSED FLOOR PLANS
A401	PROPOSED FLOOR & ROOF PLAN
A501	SECTIONAL & BUILDING SECTION
A601	SECTIONAL
A602	EXTERIOR & MATERIAL BOARD

BIOPHILIA DESIGN COLLECTIVE LTD.

Sheet No.	Sheet Title
L001	PROPOSED LANDSCAPE PLAN



CLIENT

NILA HOLDINGS LTD.
185 - 911 Yates Street
Victoria BC V8Y 4Y9

Contact:
Howard Sparks
hsparks2@telus.net

ARCHITECT

CASCADIA ARCHITECTS
1060 Meares Street
Victoria BC V8W 1E4
250.590.3223

Contact:
Peter Johanniknecht Architect AIBC LEED AP
peter@cascadiaarchitects.ca

LANDSCAPE DESIGN

BIOPHILIA design collective ltd.
1719 Lee Avenue
Victoria BC V8K 4W7
250.589.8244

Contact:
Bianca Bodley
biancabodley@gmail.com

NILA HOLDINGS
MAY STREET PASSIVE HOUSE

DATE	PROJECT #	REV
12/12/17	1822	1



CASCADIA ARCHITECTS INC.
1880 Thetis Street
Victoria BC V8P 3B8 Canada



STARTING ZONE:	8.15
PROPOSED ZONE:	8.15
75% AREA:	75% 8.15
TOTAL KILDA AREA (sqm)	37 34 sqm
CHEMICAL FLOOR AREA (sqm)	0 sqm
FLOOR SPACE (sqm)	0.32
W/F COVER (sqm)	31%
COVER SPACE (%)	37%
HEIGHT OF BUILDING (m)	8.36 m
NUMBER OF FLOORS:	2
REMARKS: TRAILL AND ON SITE	4 CLASS 1 (ENCLOSURE) & 2 CLASS 1 (HATCH)
BY: C. M. J. (S. J. & S. J. & S. J. & S. J.)	
BUILDING STRUTS (m)	
ROOF TRAILL	0.80 m (2.00 m)
KILDA TRAILL	1.00 m (2.00 m)
YARD TRAILL	1.00 m (2.00 m)
YARD TRAILL	1.00 m (2.00 m)
CHIMNEY TRAILL	5.00 m
RESIDENTIAL USE DETAILS	
TOTAL RESIDENTIAL USE	1 BEDROOM
UNIT TYPE	1 BEDROOM
GROUNDING/CONCRETE UNITS	
RESIDENTIAL USE (S. J. & S. J. & S. J. & S. J.)	100 sqm
TOTAL RESIDENTIAL USE (S. J. & S. J. & S. J. & S. J.)	100 sqm

LOT AREA	PROPOSED 6,612 SQ. FT.
LOT AREA	128.81 AC. (5,538 SQ. FT.)
<hr/>	
FLOOR AREA	
FLOOR SPACE RATIO	0.21 : 1
TOTAL FLOOR AREA	390.34 SQ. FT.
<hr/>	
HEIGHT, FLOOR/HEIGHT	0.18 m/5.9 ft.
HEIGHT	1
<hr/>	
SETBACKS	
FRONT YARD SETBACK	0.90 m/2.95 ft.
REAR YARD SETBACK	1.10 m/3.61 ft.
SIDE YARD SETBACK (LEFT)	0.90 m/2.95 ft.
SIDE YARD SETBACK (RIGHT)	2.10 m/6.89 ft.
<hr/>	
W/TH COVERAGE, OPEN SITE	
SPACE, PARKING	75%
W/TH COVERAGE	75%
OPEN W/TH SPACE	40%
<hr/>	
VEHICLE PARKING	4 RESIDENT
<hr/>	
BICYCLE PARKING	4 CLASS 1 4 CLASS 2

LOCATION: Various

BUILDING HEIGHT (Ft.): 10 or below

DATA SOURCE:
Table C-10-1-1 Performance of Windload & Design in Part 8-1-1
Forming Part of Appendix C

CLIMATIC DATA (15 DEGREE): 125 Pa

CLIMATIC DATA (156-WIND): 157 Pa

SPECIFIED LOADS (MINIMUM): 125 Pa

SPECIFIED LOADS (MINIMUM LOAD - PWT): 113 Pa

SPECIFIED LOADS (MINIMUM LOAD - PWT): 241 Pa

RAJO PENETRATION PERFORMANCE (PWT): 120 Pa

RAJO PENETRATION PERFORMANCE (PWT): 15

RAJO PENETRATION PERFORMANCE (PWT RESIST.): 120 Pa

CALCULATION	
FLOOR AREA 1 (Open Included)	186.42 SQ
FLOOR AREA 2	184.42 SQ
FLOOR AREA 3	156.97 SQ
TOTAL (STRUCTURE)	527.81 SQ
LOT AREA	926.83 SQ
TOTAL (STRUCTURE)	527.81 SQ
LOT AREA	926.83 SQ
FLOOR SPACE RATIO	0.57

BUILDING + ACC	*200.00 = \$200.00	0
REAR YARD	180.00	0.00
TOTAL	380.00	0.00
LOT AREA	720.85	sq. ft.
BUILDING + PARKING	474.00	sq. ft.
OPEN SITE (20%)	415.85	sq. ft.
OPEN SITE SPACE	432.85	sq. ft.
LOT AREA	720.85	sq. ft.
	0.00	0.00
REAR YARD AREA	474.00	sq. ft.
REAR YARD PARKING + ACC	180.00 = \$180.00	0
REAR YARD OPEN SITE SPACE	294.00	sq. ft.
REAR YARD OPEN SITE SPACE	294.00	sq. ft.
REAR YARD AREA	474.00	sq. ft.

PLAY STREET FARMHOUSE

CIVIC ADDRESS:
1417 Play Street
Victoria BC V6C 1C3

LEGAL ADDRESS:
Lot 4, Block D
Fairfield Farm Estate, Parcel 140
Parcel Identification: 029-117-181

ZONING:
R38 - One Storey Single Detached Dwelling

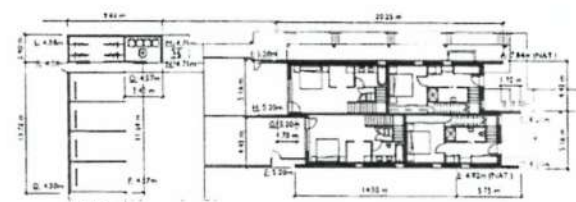
TYPE OF WORK:
New Four Bedroom Residence

REFERENCED DOCUMENT:
British Columbia Building Code 2012, Part 9

BUILDING AREA:
141.8 SQ. M.

PERMIT RESISTANCE RATING:

② PLAN - A



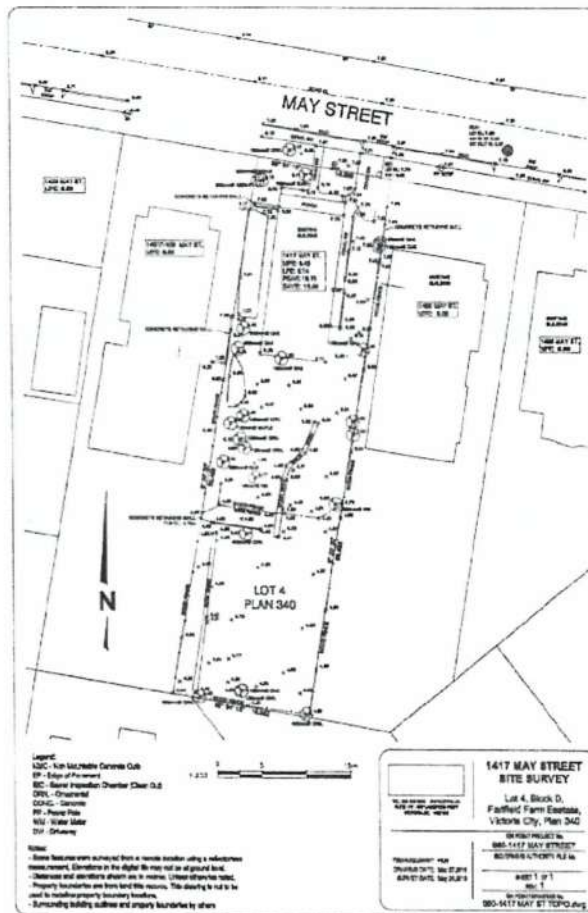
GRADE POINTS					
GRADE POINT A	4.00	GRADE POINT D	1.00	GRADE POINT F	0.00
GRADE POINT B	3.00	GRADE POINT E	0.50	GRADE POINT G	0.00
GRADE POINT C	2.00	GRADE POINT F	0.00		
CALCULATION					
GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN	TOTALS		
POINTS A & B	$(4.00 + 3.00) \div 2$	1.00	16.50		
POINTS A & C	$(4.00 + 2.00) \div 2$	1.00	14.75		
POINTS A & D	$(4.00 + 1.00) \div 2$	1.50	10.50		
POINTS A & E	$(4.00 + 0.50) \div 2$	1.75	6.75		
POINTS A & F	$(4.00 + 0.00) \div 2$	2.00	4.00		
POINTS A & G	$(4.00 + 0.00) \div 2$	2.00	2.50		
POINTS B & C	$(3.00 + 2.00) \div 2$	0.50	11.50		
POINTS B & D	$(3.00 + 1.00) \div 2$	1.00	7.50		
POINTS B & E	$(3.00 + 0.50) \div 2$	1.25	4.25		
POINTS B & F	$(3.00 + 0.00) \div 2$	1.50	2.50		
POINTS B & G	$(3.00 + 0.00) \div 2$	2.00	1.25		
			63.2500	41.2500	
AVERAGE GRADE					
			4.13	4.50	

GRADE POINTS			
GRADE POINT L	4.396	GRADE POINT P	4.576
GRADE POINT M	4.716	GRADE POINT R	4.576
GRADE POINT N	4.716	GRADE POINT Q	4.716
		GRADE POINT S	4.284

CALCULATION			
GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN	TOTALS
POINTS L & M	$(4.396 + 4.716) \div 2$	0.240	1.018
POINTS M & N	$(4.716 + 4.716) \div 2$	0.000	1.018
POINTS N & Q	$(4.716 + 4.716) \div 2$	0.000	1.018
POINTS Q & R	$(4.716 + 4.576) \div 2$	0.140	1.018
POINTS R & S	$(4.576 + 4.284) \div 2$	0.150	1.018
POINTS L & R	$(4.396 + 4.576) \div 2$	0.140	1.018
POINTS Q & S	$(4.716 + 4.284) \div 2$	0.240	1.018
AVERAGE GRADE	4.612		5.058

1011543 326 4.612

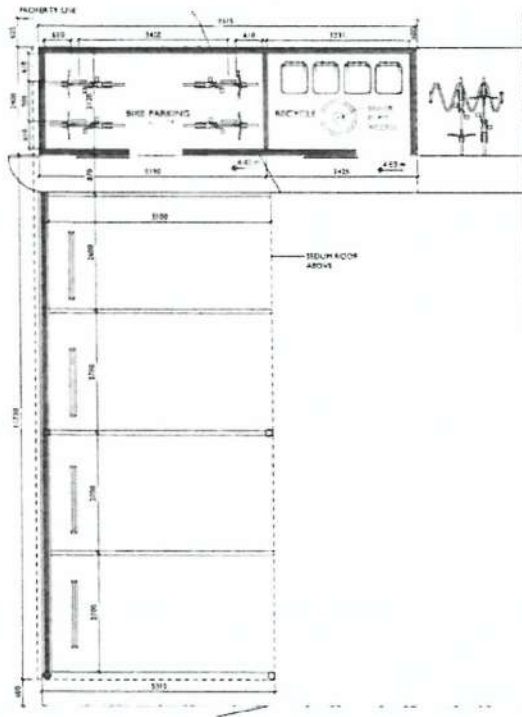
① PLAN - PP
SCALE: 1/2" = 1'-0"



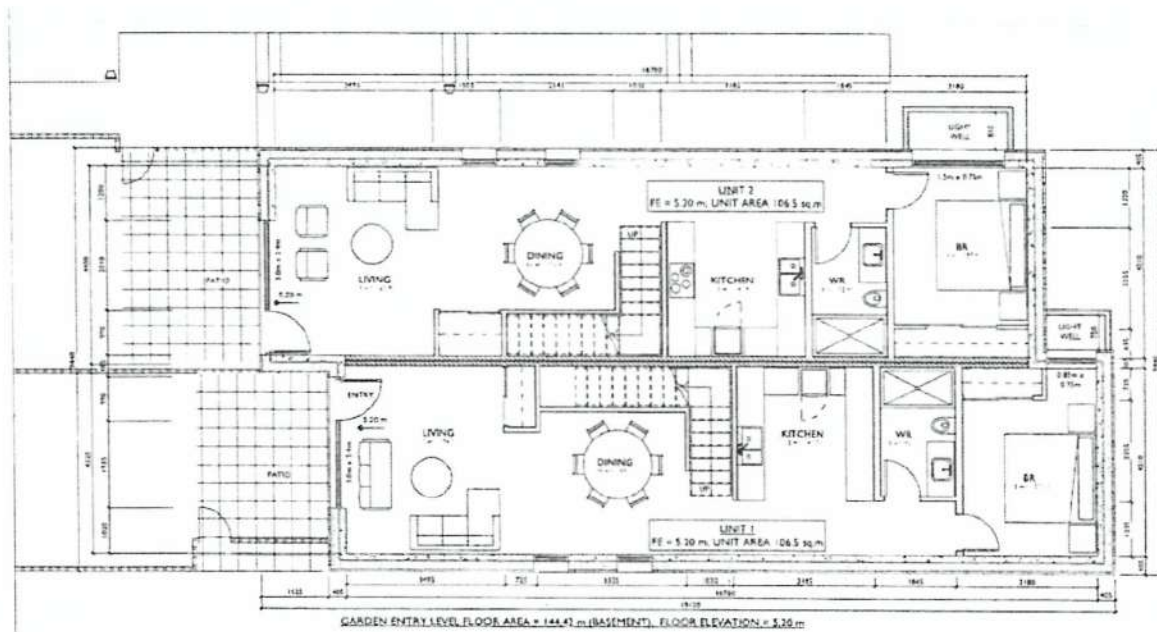
☐ EXISTING SURVEY



LOCATION PLAN
SCALE = 1:2000



⊕ 3 PROPOSED BIKE PARKING /
 RECYCLE AREA PLAN
 SCALE = 1:50



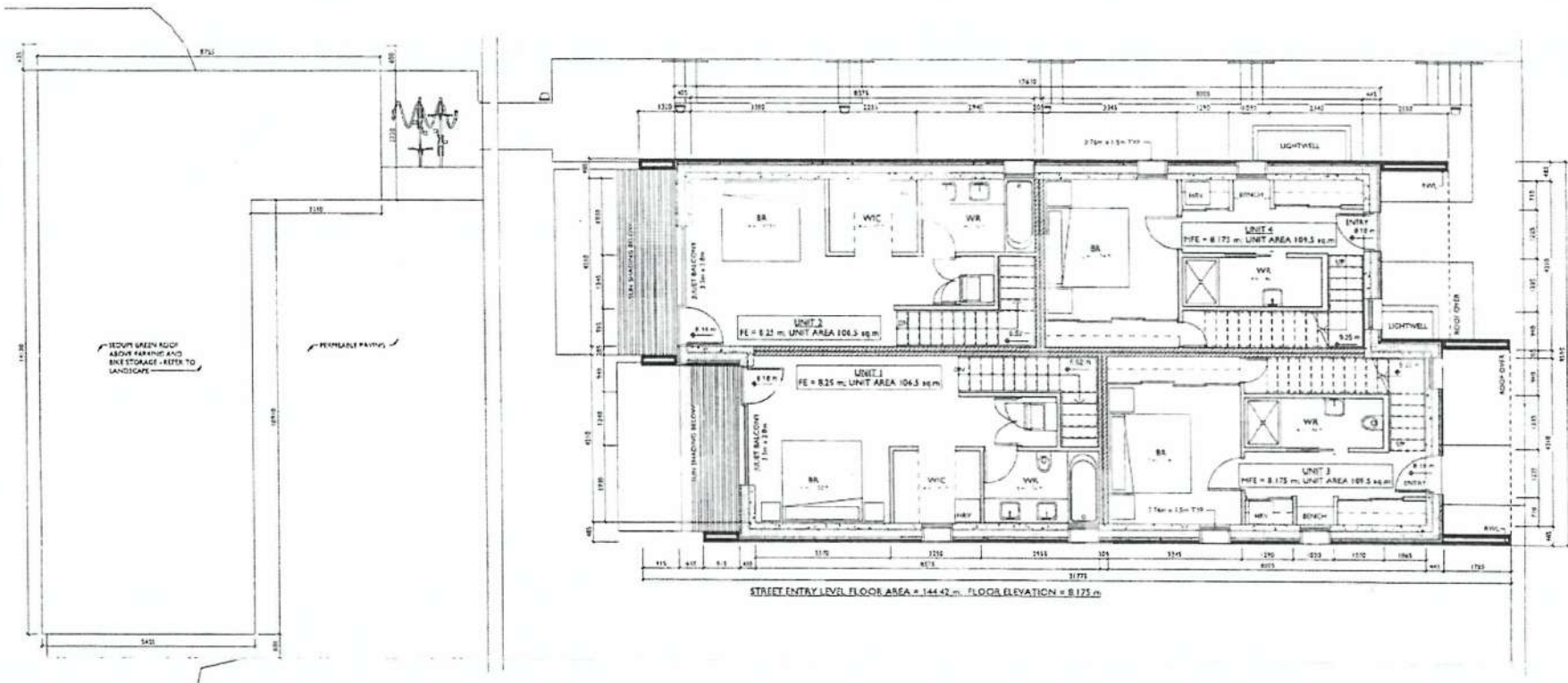
⊕ 1 PROPOSED GARDEN LEVEL PLAN
 SCALE = 1:50

NO.	DESCRIPTION
1	PROPOSED BIKE PARKING / RECYCLE AREA PLAN
2	PROPOSED GARDEN LEVEL PLAN

PROPOSED FLOOR PL

MAY STR
 PASSIVE HO
 NELA HO
 1417 MAY S
 VICTOR

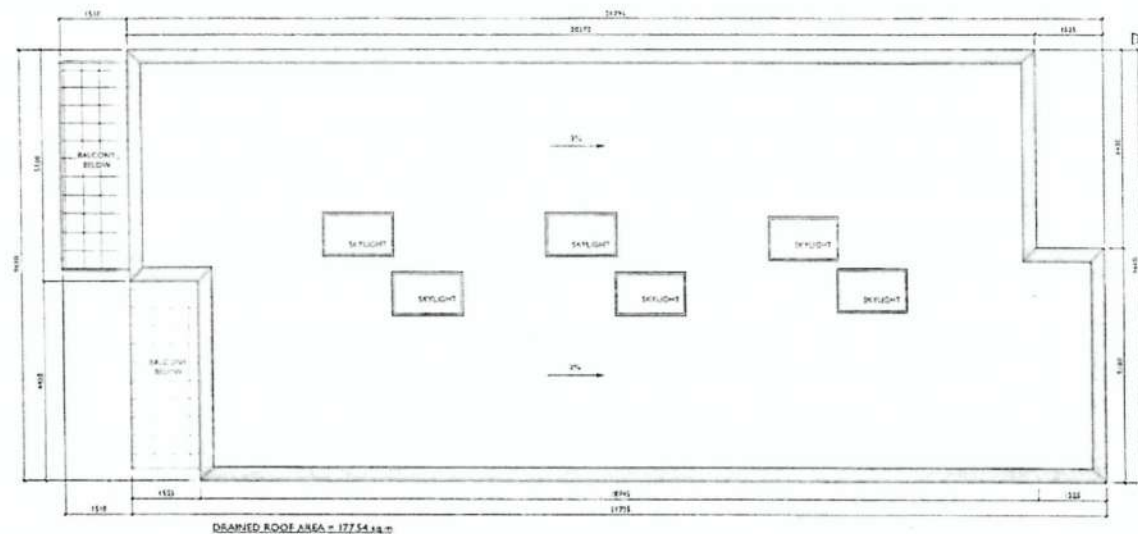
1:50
 JULY 01
 MAY 02
 A20



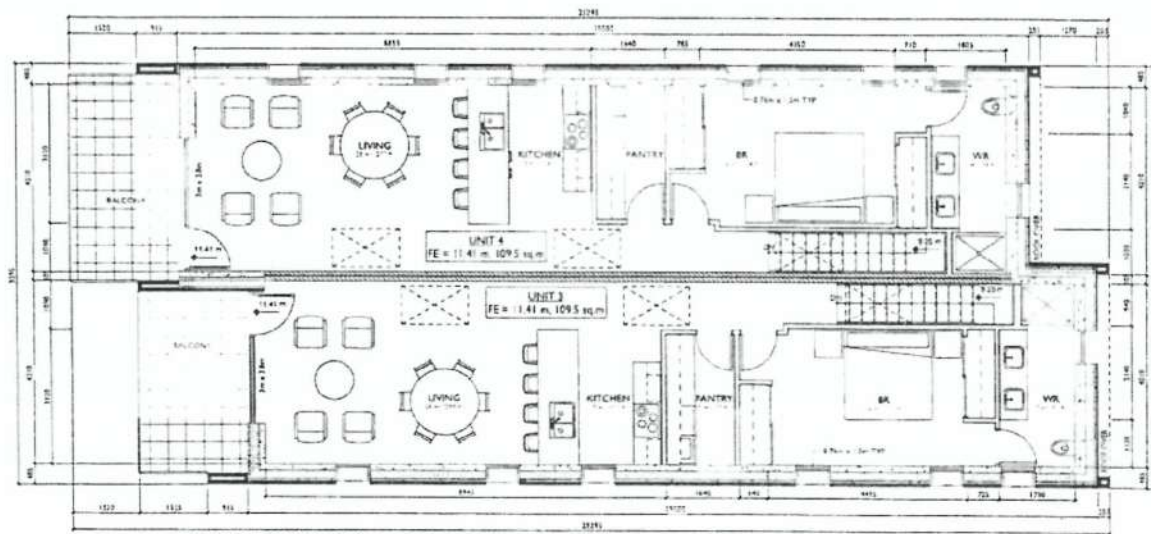
PROPOSED FLOOR PL

MAY STR
PASSIVE HO
 NELA-HOLE
 3417 MAY S
 VICTOR

1822 MAY 95
 1:30
 MAY 95
 A202



② PROPOSED ROOF PLAN
SCALE: 1:50



① PROPOSED UPPER LEVEL PLAN
SCALE: 1:50



PROPOSED FLOOR
ROOF PLAN

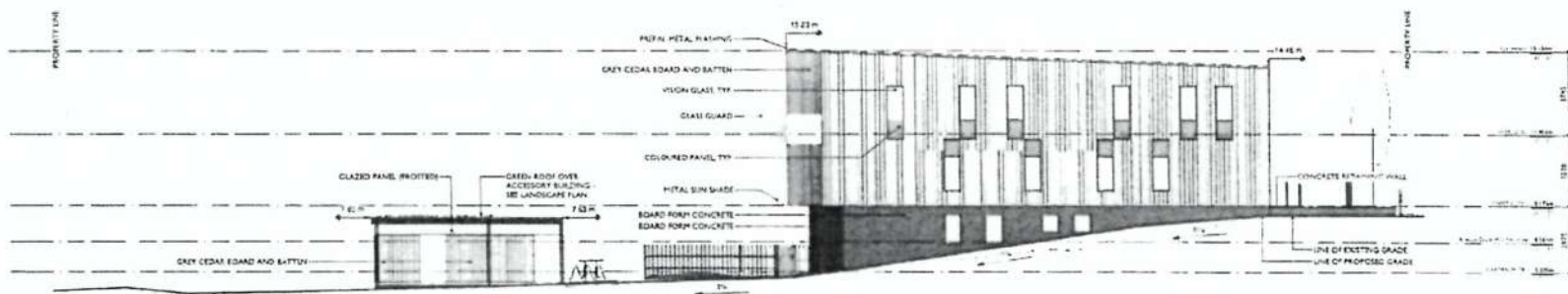
MAY STR
PASSIVE HO
N/A HO
BATT PASSIVE
VICTOR



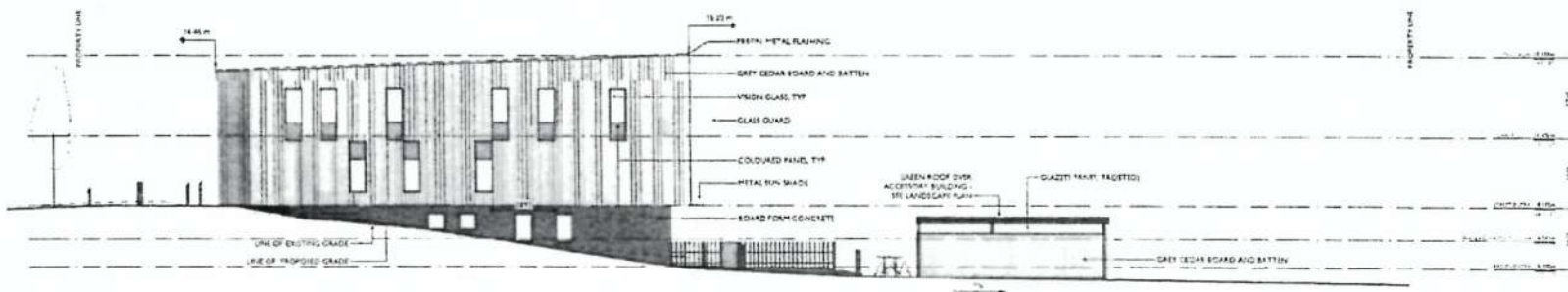


5 PROPOSED BUILDING SECTION
SCALE = 1/100

2 PROPOSED SOUTH ELEVATION
SCALE = 1/50



3 PROPOSED EAST ELEVATION
SCALE = 1/100



4 PROPOSED WEST ELEVATION
SCALE = 1/100

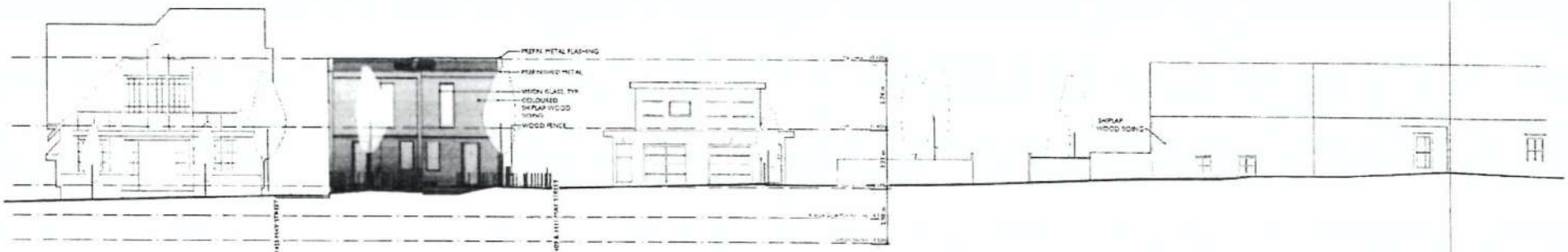


ELEVATIONS & BUILDING SECTION

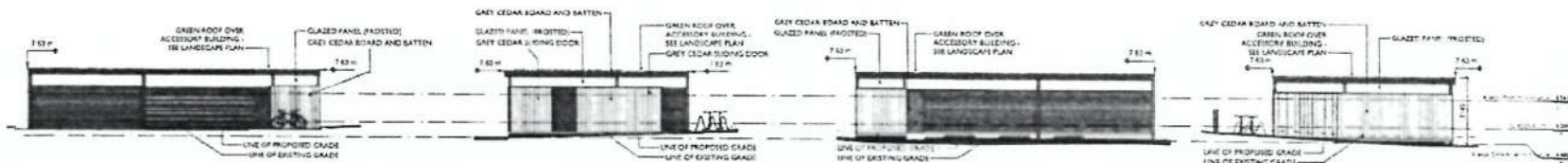
**MAY STR
PASSIVE HO
HOLA HOLE
1417 MAY S
VICTORIA**

DATE: 14.07.2015
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/100

14.07.2015
1/100
A300



1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION ACC. BUILDING
 SCALE: 1/4" = 1'-0"

3 PROPOSED EAST ELEVATION ACC. BUILDING
 SCALE: 1/4" = 1'-0"

4 PROPOSED SOUTH ELEVATION ACC. BUILDING
 SCALE: 1/4" = 1'-0"

5 PROPOSED WEST ELEVATION ACC. BUILDING
 SCALE: 1/4" = 1'-0"

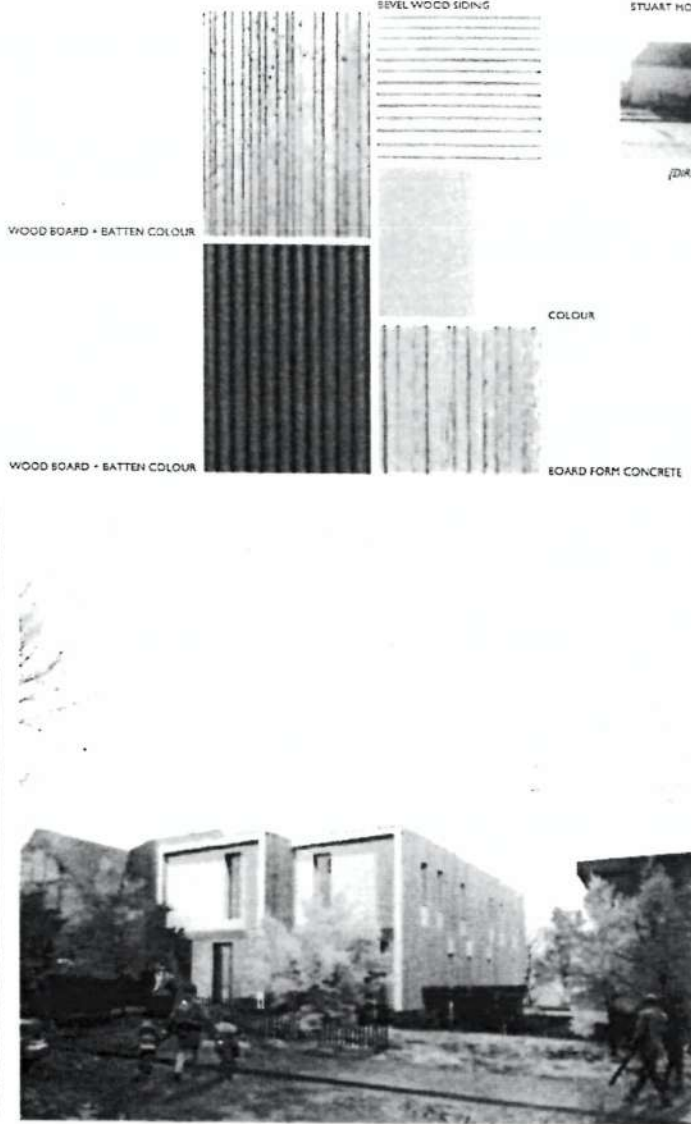
NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

ELEVATION

MAY STR
PASSIVE HOI
 1417 MAY ST
 VICTORIA
 BC
 JULY 05
 1/4" = 1'-0"
 C
 A301



○ 1417 MAY STREET - VIEW FROM YARD



○ 1417 MAY STREET - VIEW FROM STREET

WOOD BOARD + BATTEN COLOUR

WOOD BOARD + BATTEN COLOUR

BEVEL WOOD SIDING

STUART MONUMENTS BUILDING

[DIRECT REFERENCE]

COLOUR

BOARD FORM CONCRETE

RENDERINGS & MATERIAL BOARD

MAY STREET
 PASSIVE HOUSE
 1417 MAY STREET
 VICTORIA

May 18, 2017

City of Victoria
No.1 Centennial Square
Victoria BC
V8W 1P6

Attn.: Mayor & Council

Re: 1417 May Street - Rezoning and Development Resubmission

Cascadia Architects, on behalf of Nila Holdings, is pleased to submit this revised application for Rezoning and Development Permit for 1417 May Street in Victoria British Columbia. This letter to Mayor and Council describes the ways in which the project's architectural rationale meets a variety of items laid out in the City of Victoria Official Community Plan and Design Guidelines for Multi-Unit Residential, Commercial and Industrial.

These items can be summarized as follows:

1. In reference to Design Guidelines for Multi-Unit Residential, Commercial and Industrial, paragraph 1.1.1, 1.1.2, 1.1.3, 1.5, 1.6.1, 3.3.2:
 - i. The form, massing, building articulation, features, and materials incorporated into the project's architectural approach provide coherence and unity in relation to existing place character and patterns of development. It has been sensitively designed to respond to its contexts, and to respect the character of the area that it is situated in. The project is situated across the street from Moss Rocks Park, upon which there is no urban development to which the project must respond. The property (zoned R1-MS) to the east has an articulated gable and valley roof and symmetrical street facing façade. It has larger massing and a higher maximum roof height than the proposal. The duplex (zoned R-2) on the adjacent property to the west has a flat roof, and also presents a symmetrical street facing façade, dominated by two garages. Its maximum roof height is lower than the proposal's. The Stuart Monuments building located two properties west of the proposal, is a distinct building with placemaking value in the greater contexts of the neighbourhood, with ship lap siding and a gable roof oriented to Eberts Street.
 - a. The maximum height of 1417 May Street provides a transition in form and massing between the duplex to the west and the multi-unit residential housing to the east, relating the three buildings together in a natural and logical manner.
 - b. The roof, sloping gently from south to north, also provides a transition in form and massing between the two buildings on either side, complementing their character without replication or mimicry.



1060 Meares Street
Victoria BC V8V 3J6
Canada

T 250 590 3223
F 250 590 3226

www.cascadiaarchitects.ca
office@cascadiaarchitects.ca

A Corporate Partnership

Principals

GREGORY DAMANT
Architect AIBC, LEED AP

PETER JOHANNKNECHT
Architect AIBC, LEED AP,
Interior Architect AKNW Germany

- c. The project incorporates ship lap siding, a direct reference to the Stuart Monuments building, into its street facing façade, tying it materially to its contexts.
- 2. In reference to Design Guidelines for Multi-Unit Residential, Commercial and Industrial, paragraph 2.4, 2.5, 3.1.3, 3.3, 3.6:
 - ii. The architectural expression and internal layout of the proposal promotes interaction with the street, balanced access to natural light and ground floor access for its occupants, and a varied, human scale proportion to its public face.
 - a) Interaction with the street is promoted by a pathway which leads pedestrians directly from the sidewalk to the entryways facing the street, passing between two raingardens and the occupants' mailboxes, situated at the front property line.
 - b) Lit bollards augment this experience, while also guiding pedestrians along the east side of the building to the garden level units, bicycle storage, and parking in the rear yard.
 - c) The street facing entryways incorporate steps and alcoves as a means of providing a transition from the public realm of the street and sidewalk to the private realm of the residences, while their painted blue ship lap finish enhances their legibility and prominence.
 - d) The stepped site and internal organization of the units allow each to have a front door at grade and a large south facing patio or balcony overlooking the large backyard.
 - e) The mirrored floorplates of the units are offset from one another, creating rhythm and visual interest to the street facing façade, and reducing the perceived building mass of the proposal.
- 3. In reference to Design Guidelines for Multi-Unit Residential, Commercial and Industrial, paragraph 8.1, 8.3, 8.5:
 - iii. The proposal reduces the impact of parking on the streetscape appearance and the pedestrian experience of the site.
 - a) The parking is located entirely to the rear of the building.
 - b) High quality permeable paving materials are used for the parking area, while paver treatment creates pause points in the concrete and delineates suite entries and patios.
 - c) The bicycle storage is located in a freestanding accessory building in the rear yard, highly visible and secure.
- 4. In reference to the Official Community Plan, Section 12 Climate Change and Energy - Goals 12(B), paragraph 12.17, 12.17.2, 12.19:
 - iv. The applicant is committed to providing a building that is energy efficient, produces low greenhouse gas emissions, and creates energy resiliency.
 - a) The project will adhere to International Passive House standards, the world's leading standard in energy efficient construction. This rigorous standard requires that space heating demand does not exceed 15kWh annually per square meter of useable living space, that the primary energy demand does not exceed 120 kWh annually per square meter of usable living space, that there is a maximum of 0.6 air exchanges per hour at 50 Pascals pressure, and that thermal comfort must be met year round with not more than 10% of the hours in any given year over 25 degrees Celsius.
 - b) The landscaping elements, including a sedum green roof above the parking and bicycle storage area and correlating bioswale to filter its run-off, rain gardens which filter storm

- water from the main residence roof, and permeable pavers in the parking area which filter storm water from the driveway, allow the stormwater to be managed exclusively on-site.
- c) The low slope roof is designed to adapt to future sustainable technologies in photovoltaic energy.

This proposal carefully responds to key items laid out by the City as priorities for new multi-unit development in Victoria. Its relationship to both its surrounding contexts and to its site are methodical and considered, and are continually underscored by a commitment to sustainable building practice and a sensitivity to the existing character of the area.

Sincerely,

CASCADIA ARCHITECTS INC.

A handwritten signature in black ink, appearing to read 'P. Johannknecht', with a stylized flourish at the end.

Peter Johannknecht, Architect AIBC, LEED AP
Principal

Minutes for the application for 1417 May Street
From the FGCA CALUC meeting on Dec 19th

There were very few questions or comments about this application, however there were some specific concerns :

1. The adequacy of permeable surfaces
2. The adequacy of on site parking

There was also one comment concerning the lack of curbing on the north side of May St. which inhibits appropriate parking and drainage as well forces people to park on parkland. Resident J. Kell put it well when he said:

"I support the rezoning application, although I have **concerns about the parking**:

I do not see why the City of Victoria will not allow parking at the front, which was allowed for the duplex next door to the west, at 1407/1409 May Street. Having an enclosed garage or a carport at the front has two immediate benefits: it would remove the need for the long driveway, and provide more green space at the back.

I do not see why the City of Victoria continues to allow parking on the North side of May Street, on the public parkland of Moss Rock Park. May Street would really benefit from a curb on the North side, from Joseph Street to Memorial Crescent - perhaps with indented parking places to address the parking needs of the multi-family dwellings on May Street, and the weekend demands for parking at St. Sophia. A properly-cambered road with gutters and storm drains would help as well. May Street is a bus route, and deserves a bit of attention from City Engineering."



D. Clark Arboriculture
2741 The Rise Victoria B.C. V8T-3T4
(250)474-1552 (250)208-1568
clarkarbor@gmail.com
www.dclarkarboriculture.com
Certified Arborist PN-6523A
TRAQ Certified
ISA Tree Risk Assessor CTRA 459

Arborist Report for Development Purposes
Re: Proposed Demolition/Construction

Site Location: 1417 May St., Victoria BC
Darryl Clark PN-6253A TRAQ Certified
August 20, 2017

August 23, 2017

For Biophillia Design Collective Ltd.

813 Fort St. Victoria BC V8W 1H6

Re. Proposed Demolition/Construction

1417 May St. Victoria BC V8S 1C2

Scope of Work

D. Clark Arboriculture has been retained by Biophillia Design Collective Ltd. to provide comments on trees impacted by a potential house demolition, and a Tree Protection Plan for the property at 1417 May St. as per the requirements of the City of Victoria.

Summary

Demolition of a building, and construction of a new multi-unit dwelling at 1417 May St. will impact the Protected Root Zone of 1 bylaw protected tree on the property, 1 non-bylaw protected tree on the property to the east at 1425 May St. and 1 city owned boulevard tree. The tree at 1425 May requires tree protection measures for retention including tree protection fencing, root zone barriers and supervision of activities in the protected root zone the tree. 1 protected tree on the property at 1417 May will require removal. A city owned boulevard tree at the front of 1417 May will require removal. All other vegetation will be removed from the site during demolition, including a number of unprotected trees. Demolition and construction can proceed following the recommendations in this report.

Introduction and Methodology

I (Darryl Clark) visited the site on Aug. 21, 2017 at 11:30 to perform an assessment of protected trees on-property and off-property that could potentially be impacted by proposed development. Site conditions surrounding affected trees were dominated by overgrown grass at the front and the rear of the property. The yard is largely unmanaged and unmaintained. A design provided by our client indicates building and landscaping changes including modifications to the existing driveway on the east side of the residence, an addition of a covered parking area at the easterly midpoint of the property, and various landscaping elements in addition to a multi-unit dwelling. This report was completed on August 23, 2017.

Tasks performed include:

- An aerial site map was marked indicating tree locations
- visual inspection of (1) on-property and (1) off-property "protected" trees was performed, and notes were collected on health and structural condition
- Photos were taken to document the site and affected on-property and off-property trees
- Tree height was estimated to the nearest metre.
- Crown spread was measured to the nearest metre

Tree Inventory

Tree Inventory									
Tag #	Species	cm/DBH	Height/m	PRZ/m	Canopy/m	Structure	Health	Retain/Remove	Bylaw Protected
1	<i>Acer saccharinum</i>	83	20	10	14x14	Poor	Fair	Remove	Yes
2	<i>Acer saccharinum</i>	79	16	9	12x12	Fair	Fair	Retain	No
15105	<i>Prunus blireana</i>	14	4	2	1x1	Poor	Poor	Remove	City Owned

DBH-Diameter at Breast Height. Measured at 1.4m from the point of germination. Where the tree is multi-stemmed at 1.4m, the DBH shall be considered 100% of the largest stem and 60% of the sum of the remaining stems, rounded to the nearest cm.

PRZ-Protected Root Zone. The PRZ shall be considered 12x the DBH, rounded to the nearest whole meter.

N/I = not tagged

Impacts of Demolition and Construction



The proposed demolition is to clear the lot to make way for a new multi-unit dwelling. Demolition is not expected to have an overall negative impact on the tree marked for retention, or its health and vitality.

Equipment traffic in and out of the site is expected to impact the root zone of tree #2. Access to the site will be from the front of the property.

Excavation for capping of services is not anticipated to impact protected trees.

Excavation for the removal of the existing foundation may impact the protected root zone of tree #2.

Excavation for new foundations including the main dwelling and the parking garage will impact tree #2.

New water sewer and potentially storm water services will be brought in from the north side for the property and excavation will not impact tree #2. Electrical service is not currently identified but will be brought in from the north side of the property and is not expected to impact tree #2. There is not currently a natural gas service but lateral lines may be installed. They will likely follow other services in

from the north and are not expected to impact tree #2. A new driveway will impact the protected root zone of tree #2.

Tree Protection Plan

The Protected Root Zone (PRZ) of all protected trees recognized in this report shall be 12 times the diameter of the tree.¹

During construction protection fencing will be installed, the construction and location of which will be approved by the project arborist. Tree protection fencing must be anchored in the ground and made of 2x4 or similar material frame, paneled with securely affixed orange snow fence or plywood and clearly marked as TREE PROTECTION AREA- NO ENTRY (See appendix A for an example). The area inside the fence will be free of all traffic and storage of materials. Areas outside the tree protection fence but still within the protected root zone (PRZ) may be left open for access, as work areas and for storage of materials. These areas will be protected by vehicle traffic with either 3/4" plywood or a minimum 20cm of coarse wood chips (see Site Plan for suggested locations of each). Tree protection measures will not be amended in any way without approval from the project arborist. Any additional tree protection measures will be documented in a memo to Victoria and the developer. The existing fence between 1417 and 1425 May St. provides a reasonable barrier to tree #2. Orange snow fence should be affixed to the existing fence to make everyone aware that this is a tree protection area.

Excavation inside the Protected Root Zone of any tree identified in this plan for any reason will take place under the supervision of the project arborist or their designate. Working radially inward toward the tree, the excavator will remove the soil incrementally with a non-toothed shovel allowing any exposed roots to be pruned to acceptable standard by the project arborist. Any excavation of the stump of a tree inside a PRZ must be supervised by the project arborist. As well, any excavation for underground services inside a PRZ will be supervised by the project arborist. Where applicable, a hydro-vac or Airspade® may be employed to expose critical roots and services.

Demolition will involve the existing house. All areas exposed to possible compaction from machines and equipment as well as waste bins must be armoured by a minimum 20cm of woodchips or ¾" plywood. Any changes to the TPP layout or expectations must first be approved by the project arborist. Any changes will be documented in a memo to Victoria and the developer.

Any pruning of protected trees will be performed by an ISA (International Society of Arboriculture) certified arborist, to internationally recognised best management practices.

Excavation for two foundations, services and paved surfaces will be occurring in the PRZ of protected trees. Any excavation within or adjacent to the PRZ at any depth for any reason must be supervised by the project arborist. This includes excavation for all underground services, driveways and sidewalks, and structural foundations and the removal of any stumps in the PRZ by an excavator or similar machine. Working radially inward toward the tree, the excavator will remove the soil incrementally with a non-toothed shovel allowing any exposed roots to be pruned to acceptable standard by the project arborist.

¹Best Management Practices (BMP) - Managing Trees During Construction, Second Edition By Kelby Fite and E. Thomas Smiley

Roots that have been pruned are to be covered with a layer of burlap and kept damp for the duration of the project.

The excavation and construction of the garage will occur very close to tree #2. The garage impacts the southeast corner of the PRZ of this tree. The foundation will be slab on grade with a shallow excavation for base material. It is suggested that an exploratory non-invasive excavation with an Airspade® be undertaken prior to excavation to ensure that no critical structural roots are compromised. Should critical structural roots be discovered alternative construction methods (grade beam construction) or tree removal may be considered.

All paved surfaces that are new and inside the PRZ of protected trees will employ alternative construction methods including loadbearing geotextile fabric or a geogrid/geocell system (see Appendix B for examples). The current plan for the entire driveway area south of the proposed dwelling calls for a permeable paved surface. The materials used to achieve permeability may be acceptable inside the PRZ of tree #2, provided that excavation for base material does not negatively impact the PRZ.

Role of the Project Arborist

No aspect of this Tree Protection Plan will be amended in whole or in part without the permission of the project arborist. Any amendments to the plan must be documented in memorandums to the Municipality and the developer.

The project arborist must approve all tree protection measures before demolition and/or construction is to begin.

A site meeting including the project arborist, developer, project supervisor and any other related parties to review the tree protection plan will be held at the beginning of the project.

The developer may keep a copy of the tree protection plan on site to be reviewed and/or initialed by everyone working inside or around the PRZ of trees.

The project arborist is responsible for ensuring that all aspects of this plan, including violations, are documented in memorandums to the municipality and the developer.

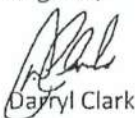
Replacement Trees

Victoria requires two replacement trees be planted for every bylaw protected tree removed. Replacement tree locations will be determined when a landscape plan is finalized, and a map of those locations will be submitted to Victoria and the developer in a memo before the completion of the project. Should suitable locations not be available, the developer may seek to donate the trees to a location determined by the municipality.

Thank you for the opportunity to comment on these trees.

Should any issues arise from this report, I am available to discuss them by phone, email or in person.

Regards,



Darryl Clark

Certified Arborist PN-6523A
TRAQ Certified
ISA Tree Risk Assessor CTRA 459

Disclosure Statement

An arborist uses their education, training and experience to assess trees and provide prescriptions that promote the health and wellbeing, and reduce the risk of trees.

The prescriptions set forth in this report are based on the documented indicators of risk and health noted at the time of the assessment and are not a guarantee against all potential symptoms and risks.

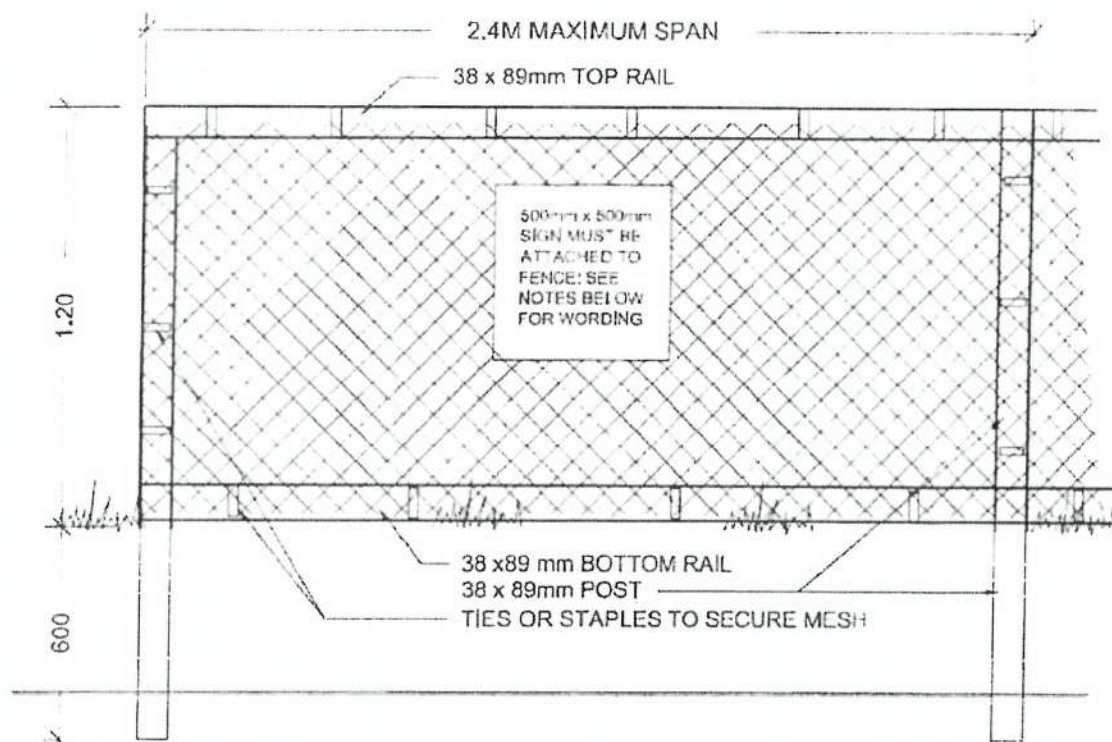
Trees are living organisms and subject to continual change from a variety of factors including but not limited to disease, weather and climate, and age. Disease and structural defects may be concealed in the tree or underground. It is impossible for an arborist to detect every flaw or condition that may result in failure, and an arborist cannot guarantee that a tree will remain healthy and free of risk.

To live near trees is to accept some degree of risk. The only way to eliminate the risks associated with trees is to eliminate all trees.

Assumptions and Limiting Conditions

- Altering this report in any way invalidates the entire report.
- The use of this report is intended solely for the addressed client and may not be used or reproduced for any reason without the consent of the author.
- The information in this report is limited to only the items that were examined and reported on and reflect only the visual conditions at the time of the assessment.
- The inspection is limited to a visual examination of the accessible components without dissection, excavation or probing, unless otherwise reported. There is no guarantee that problems or deficiencies may not arise in the future, or that they may have been present at the time of the assessment.
- Sketches, notes, diagrams, etc. included in this report are intended as visual aids, are not considered to scale except where noted and should not be considered surveys or architectural drawings.
- All information provided by owners and or managers of the property in question, or by agents acting on behalf of the aforementioned is assumed to be correct and submitted in good faith. The consultant cannot be responsible or guarantee the accuracy of information provided by others.
- It is assumed that the property is not in violation of any codes, covenants, ordinances or any other governmental regulations.
- The consultant shall not be required to attend court or give testimony unless subsequent contractual arrangements are made.
- The report and any values within are the opinion of the consultant, and fees collected are in no way contingent on the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, or any finding to be reported.

Appendix A



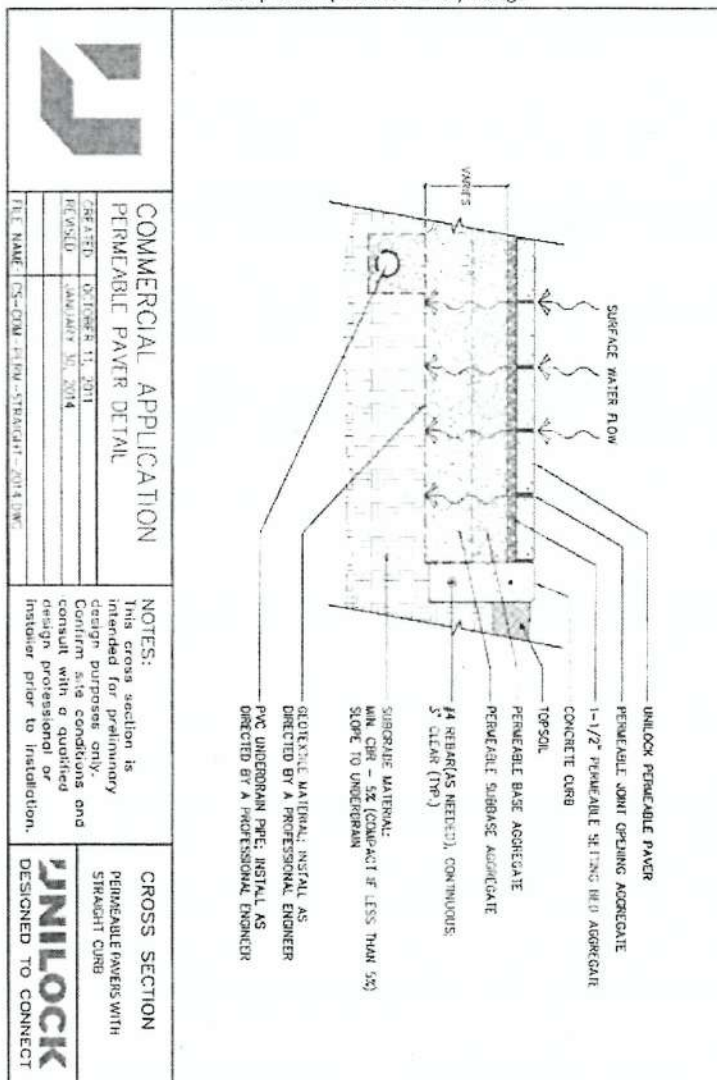
TREE PROTECTION FENCING

Tree Protection Fencing Specifications:

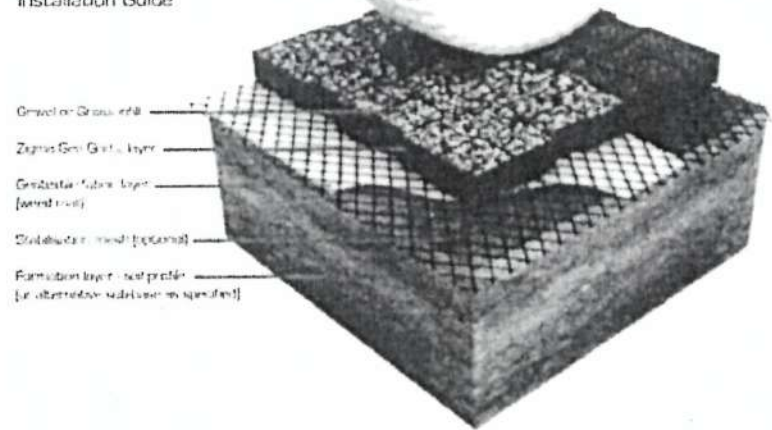
1. The fence will be constructed using 38 x 89 mm (2" x 4") wood frame:
 - Top, Bottom and Posts. In rocky areas, metal posts (t-bar or rebar) drilled into rock will be accepted
 - Use orange snow fencing mesh and secure to the wood frame with "zip" ties or galvanized staples. Painted plywood or galvanized fencing may be used in place of snow fence mesh.
2. Attach a roughly 500 mm x 500 mm sign with the following wording: **TREE PROTECTION AREA-NO ENTRY**. This sign must be affixed on every fence face or at least every 10 linear metres.

Appendix B

Examples of Special Driveway Design

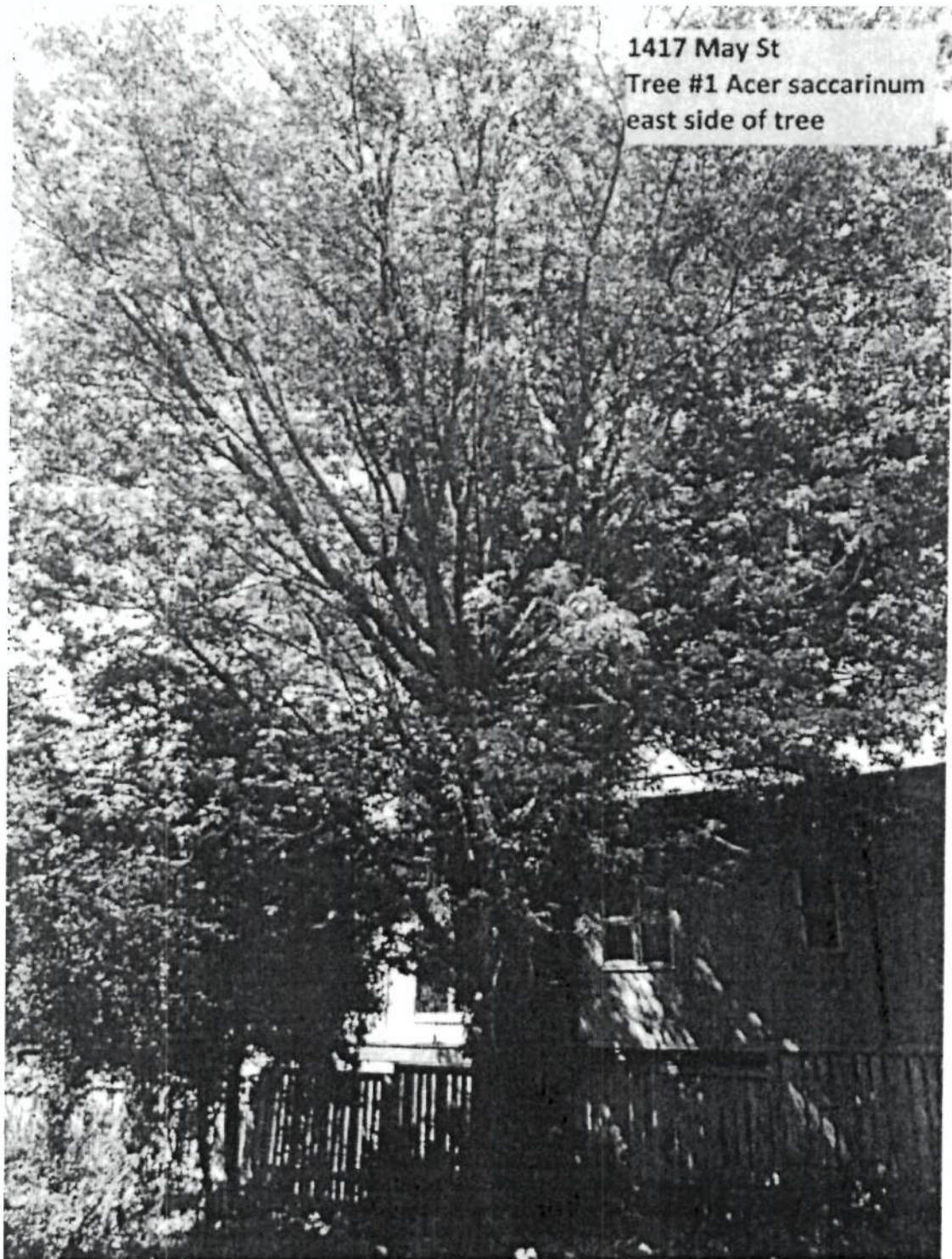


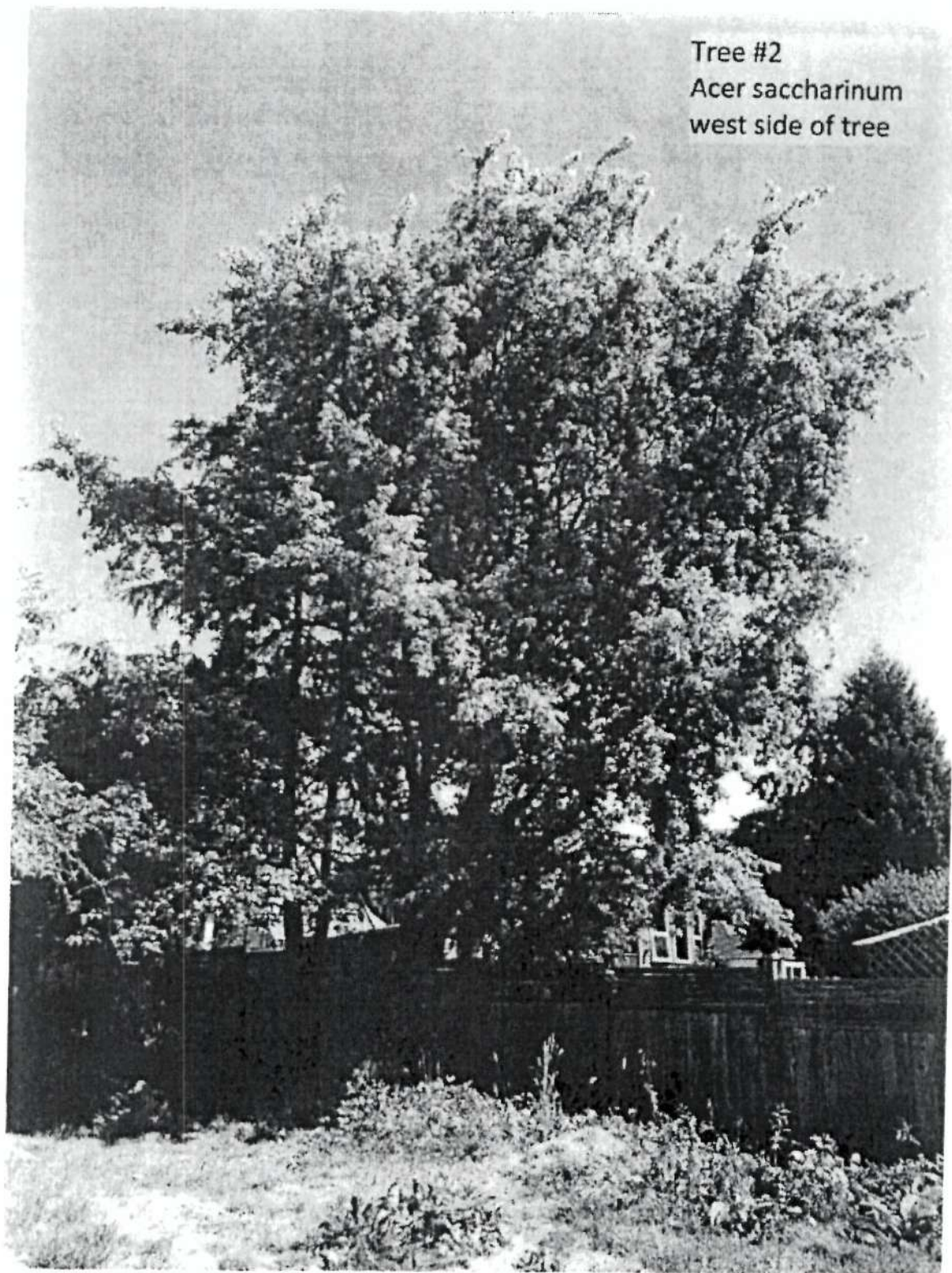
Installation Guide



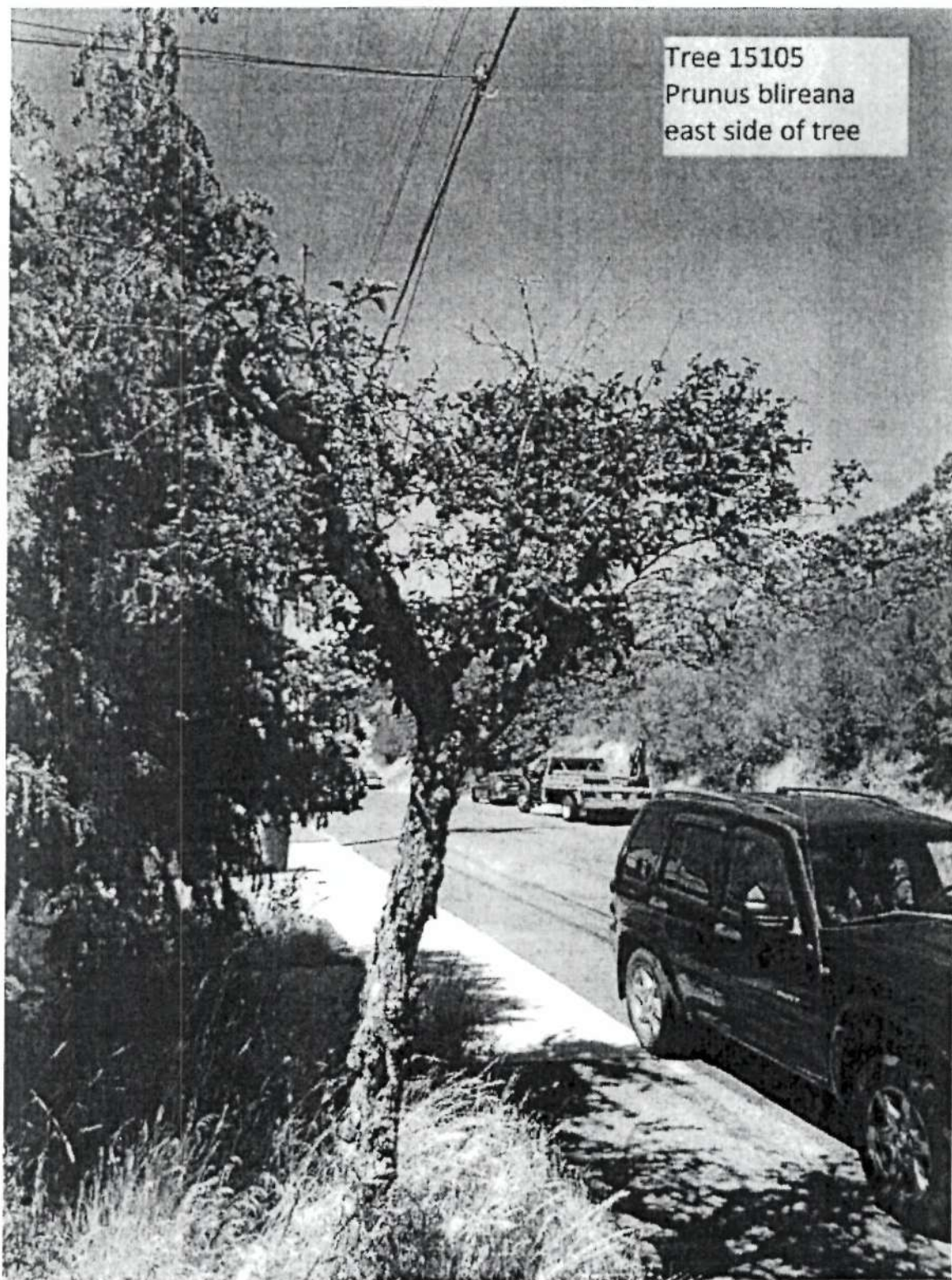
From <http://accessterrain.com/product/geo-grid/>

Images





Tree #2
Acer saccharinum
west side of tree



February 6, 2017

Heide Didzuhn and David R. Goldie
1409 May Street
Victoria, BC, V8S 1C2

City Hall
To the Mayor and Council
1 Centennial Square
Victoria, BC, V8W 1P6

Dear Madam/Sir:

Re: Rezoning of 1417 May Street

We are writing in regards to the development plans for 1417 May Street, Victoria. There is a request for rezoning the property from the status of single dwelling to fourplex. Our property at 1409 May Street will be greatly affected by a change in zoning.

We bought not long ago into the neighborhood in which we had hoped to find a calm, green and family oriented environment. In particular, we wanted to be around and close nature's beauty.

The increase to house four suites will have a major impact on light and noise pollution and loss of green space. We are very concerned by the disturbance we'll experience from increased activities, cars being parked, let alone air pollution. The proposed development includes garages for four vehicles in the middle of the property. The planned location of theses will be in direct view from our kitchen and dining room window and the deck. Car fumes will without doubt reach our open air space, creating a most unhealthy environment. Something, we did not expect when we purchased the property. There may also be a need for extra parking which will have to spill over to an already full road side.

We have contacted the owners and expressed our concerns. They gave us a sympathetic ear but also told us that the City of Victoria is given them little choice with their development plans.

We are opposed to a fourplex for reasons mentioned above. Please consider the negative impact the proposal has on the immediate neighborhood.

Thank you.

R. Goldie
Heide Didzuhn

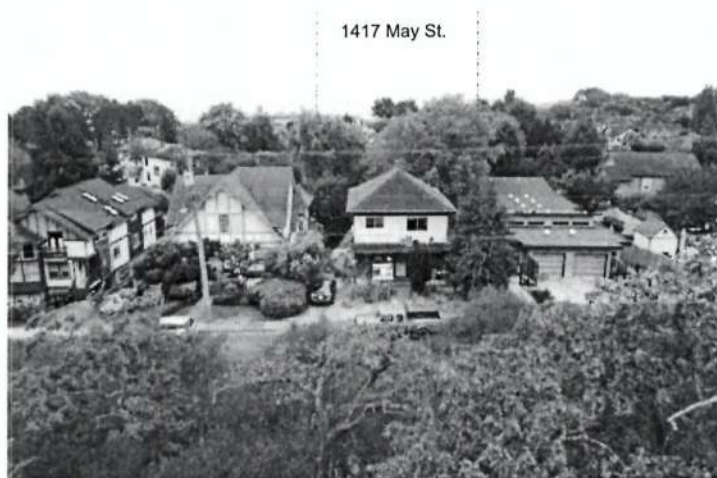
Rezoning & Development Permit
with Variances Application
for
1417 May Street



Subject Site



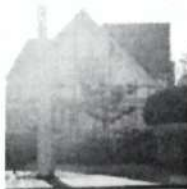
Neighbouring Properties



Neighbouring Properties



1461 May Street



1425 May Street



1417 May Street
(Subject Site)



1407 / 1409
May Street



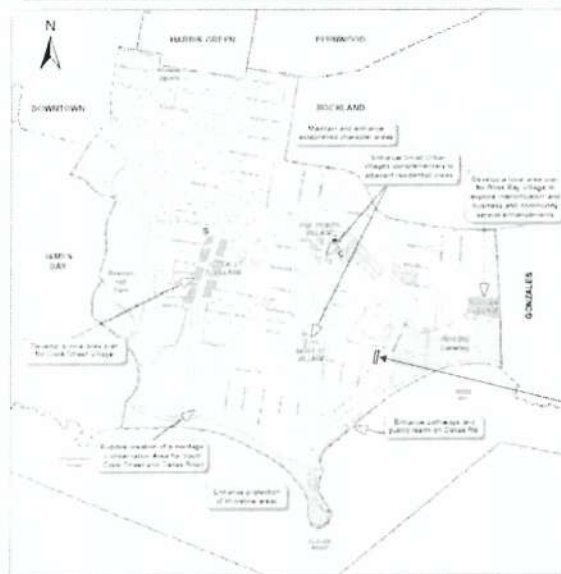
1403 May Street
(Stewart Monuments)



1403 May Street
(Stewart Monuments)



OCP Designation



MAP 21
Fairfield Strategic
Directions

Urban Place Designations*

- Large Residential
- Large Urban Village
- Small Urban Village
- Urban Residential
- Traditional Residential
- Public Facilities, Institutions, Parks and Open Space
- Marine

Public Facilities

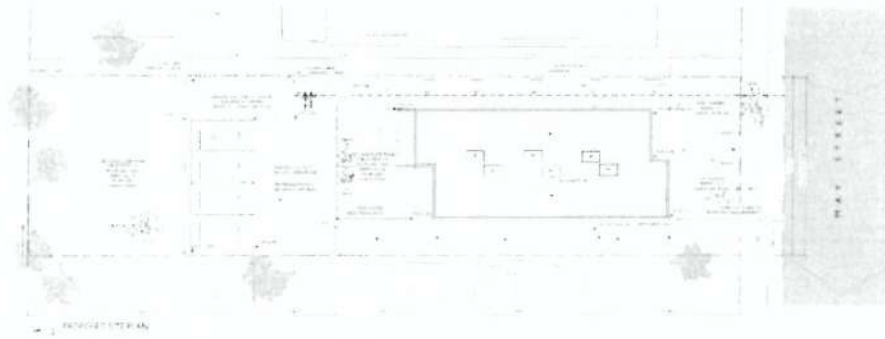
- 2 Existing Public School
- 6 Community Centre
- 3 Senior Centre

Subject Site

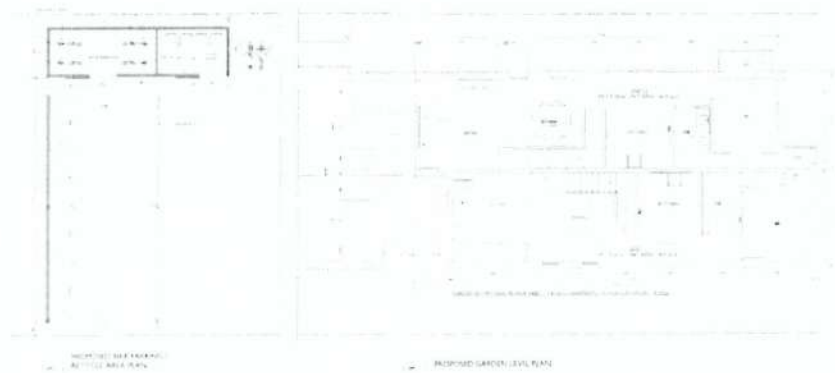
*Urban Place Designations are provided for information purposes only. Please refer to Maps 2 and 3 for designations information.



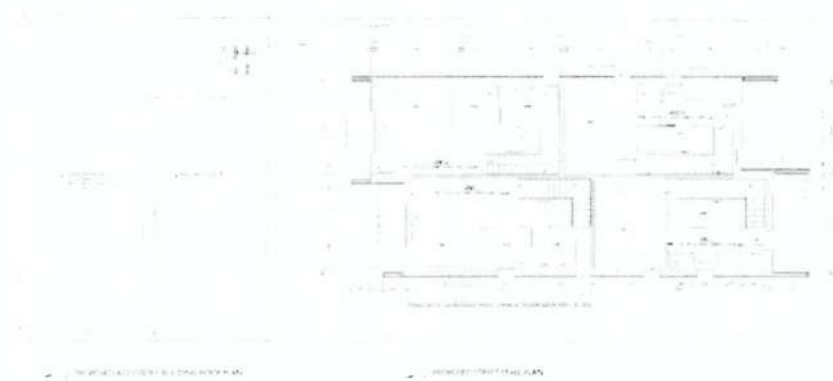
Site Plan



Garden Level & Parking Plan



Street Level Plan



Upper Level Plan



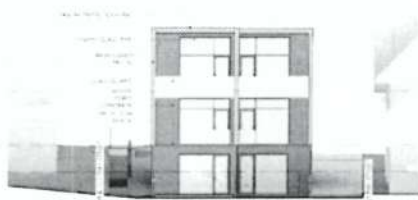
Front Elevation



107 MAY STREET - VIEW FROM STREET



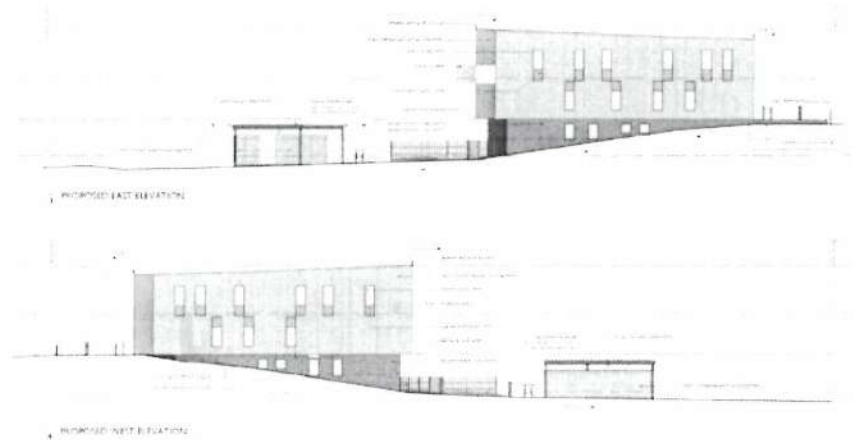
Rear Elevation



107 MAY STREET - VIEW FROM STREET



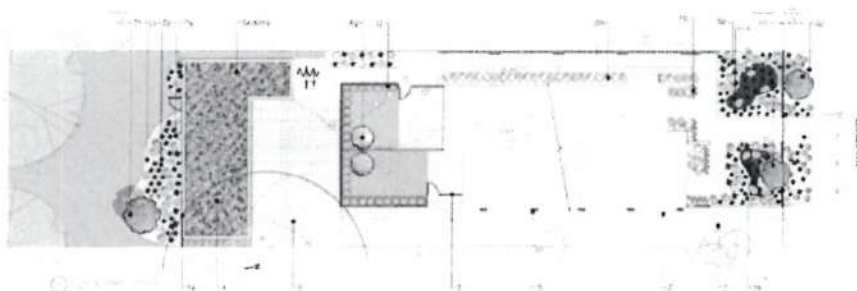
Side Elevations



Street Elevation



Landscape Plan



Materials & Colour

1. Exposure to the sun off from the green roof only.
2. Rain garden to the storm water from the main residential units.



3. The wall system to maintain the green roof in the main unit to the main unit and garden.



4. Privacy between the units and beside common paths.



5. Section green roof above parking and bike storage.



6. Views inside the units.



7. Formative parking area.



8. Concrete structure and paths.



9. A high fence.



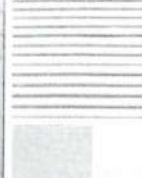
10. Materials.



WOOD BOARD + BATTEN



BEVEL WOOD SLING



WOOD BOARD + BATTEN

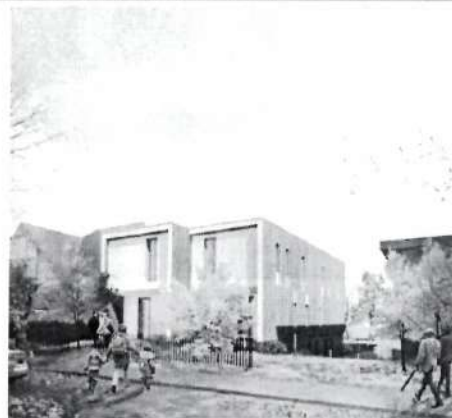
BOARD FORM CONCRETE



Renderings



View from Yard (South East)



View from Street (North West)



REPORTS OF COMMITTEES

1. Committee of the Whole – September 14, 2017

4. Rezoning Application No. 00556 and Development Permit with Variances Application No. 00028 for 1417 May Street (Fairfield Gonzales)

Motion:

It was moved by Councillor Thornton-Joe, seconded by Councillor Alto:

Rezoning Application No. 00556

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00556 for 1417 May Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation of the following legal agreements to the satisfaction of the City Solicitor:
 - a. Housing Agreement to ensure a future strata cannot restrict the rental of units;
 - b. A Section 219 Covenant ensuring the building is constructed to Passive House standards, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation of a technical report to the satisfaction of the Director of Engineering and Public Works, identifying how the site will manage all storm water generated on site and, if necessary, preparation of legal agreements for the design, inspection and long term maintenance requirements of the storm water system to the satisfaction of the City Solicitor and the Director of Engineering and Public Works.

Development Permit with Variances Application No. 00028

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00556, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00556 for 1417 May Street, in accordance with:

1. Plans date stamped July 12, 2017.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the minimum vehicle parking requirements from six stalls to four stalls;
 - ii. reduce the minimum visitor parking from one stall to zero stalls.
3. The Development Permit lapsing two years from the date of this resolution."

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, and Thornton-Joe
Opposed: Councillors Madoff and Young

6.4 Development Permit with Variances Application No. 00028 for 1417 May Street (Fairfield Gonzales)

Committee received a report dated August 31, 2017, from the Director of Sustainable Planning and Community Development regarding the proposal to construct a four unit ground-oriented residential building with variances related to reduced parking and visitor parking.

- Motion:** It was moved by Councillor Thornton-Joe, seconded by Councillor Lucas, that Council after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00556, if it is approved, consider the following motion:
"That Council authorize the issuance of Development Permit with Variances Application No. 00556 for 1417 May Street, in accordance with:
1. Plans date stamped July 12, 2017.
 2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the minimum vehicle parking requirements from six stalls to four stalls;
 - ii. reduce the minimum visitor parking from one stall to zero stalls.
 3. The Development Permit lapsing two years from the date of this resolution."

CARRIED 17/COTW

For: Acting Mayor Alto, Councillors Isitt, Loveday, Lucas, and Thornton-Joe
Against: Councillors Madoff and Young

Committee recessed at 10:57 a.m. and reconvened at 11:02 a.m.

Councillor Isitt was not present when the meeting reconvened.



Committee of the Whole Report For the Meeting of September 14, 2017

To: Committee of the Whole **Date:** August 31, 2017
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: Development Permit with Variances Application No. 00028 for 1417 May Street

RECOMMENDATION

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00556, if it is approved, consider the following motion:

- "That Council authorize the issuance of Development Permit with Variances Application No. 00556 for 1417 May Street, in accordance with:
1. Plans date stamped July 12, 2017.
 2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the minimum vehicle parking requirement from six stalls to four stalls;
 - ii. reduce the minimum visitor parking from one stall to zero stalls.
 3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 1417 May Street. The proposal is to construct a four unit ground-oriented residential building. The variances are related to reduced parking and visitor parking.

The following points were considered in assessing this Application:

- the proposal is generally consistent with the objectives of Development Permit Area 16: General Form and Character of the *Official Community Plan, 2012 (OCP)* and the *Multi-Unit Residential, Commercial and Industrial Design Guidelines*
- the proposal is generally consistent with the *Suburban Neighbourhoods, 1984* residential policies, which encourage redevelopment design that reinforces local character and scale
- the requested variances associated with parking are supportable given the supply of parking would meet the anticipated demand and there is sufficient space on May Street to accommodate visitor parking.

BACKGROUND

Description of Proposal

The proposal is to construct a four unit ground-oriented residential building. Each unit would have separated entrance at grade with two units oriented to the street and two units oriented to the rear yard. Specific details include:

Exterior building materials for the principal building include:

- blue shiplap wood siding for the front façade
- grey cedar board and batten siding for the side and rear facades
- board form concrete
- glass balcony guardrails
- prefinished metal flashing
- thermal windows and coloured panels
- metal sunshades above rear entrances.

Exterior building materials for the accessory building and carport include:

- grey cedar board and batten siding and sliding door
- frosted glass panels
- extensive green roof with sedum plantings.

Landscaping materials include:

- permeable pavers for the rear yard parking and courtyard area
- concrete pavers for pedestrian walkways and private patios
- rain gardens and various tree and shrub species
- trellised vines along the east building façade
- lit bollards along pedestrian walkways
- various tree and shrub species (noted on landscape plan).

The proposed variances are related to:

- reducing the vehicle parking from six stalls to four stalls
- reducing the visitor parking from one stall to zero stalls.

Sustainability Features

As indicated in the applicant's letters, dated May 18, 2017 and December 26, 2016, the following sustainability features are associated with this Application:

- passive house design and construction
- on-site stormwater management features, including: carport/accessory building green roof, bioswale, rain gardens and permeable pavers
- the low slope roof is designed to accommodate solar panels.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on December 19, 2017 the application was presented to the Fairfield Gonzales CALUC. A summary of the meeting is attached to this report.

This Application proposes variances; therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The OCP identifies the site within Development Permit Area (DPA) 16: General Form and Character where the *Design Guidelines for Multi-Unit Residential, Commercial and Industrial (2012)* are applicable. The proposal complies with the Guidelines as follows:

- the proposed contemporary design respects the character of the established area and responds to the diversity of building types through modern form and massing that provides coherence and unity in relation to the adjacent properties
- all of the entrances are ground-oriented and each of the units has access to at-grade open space
- landscaped planting areas are proposed along the street frontages to enhance the residential presence
- parking is provided at the rear of the building and screened from adjacent properties.

Local Area Plans

The proposal is in keeping with the housing policies of *Suburban Neighbourhoods, 1984* which give preference to redevelopment that reinforces the local character and scale of nearby buildings. A four unit ground-oriented residential building would contribute to the form and character of the neighbourhood and conform to the established density for the area.

Regulatory Considerations

Schedule C of the *Zoning Regulation Bylaw* requires a parking ratio of 1:4 stalls per residential unit. With the proposed four dwelling units on the site this would result in a requirement for six parking stalls with one stall allocated for visitor parking. The applicant proposes the provision of four vehicle parking spaces located in the rear yard with no stalls allocated for visitor parking.

Staff are currently reviewing the off-street parking regulations that are outlined in Schedule C of the *Zoning Regulation Bylaw*. Based on data collection and analysis of current parking demand, the proposed Schedule C would require four stalls (with no visitor parking) to be provided in conjunction with this development. In addition, there is sufficient street parking available to meet any additional parking demand generated with this proposal. Therefore, staff recommend Council consider supporting the reduced parking.

CONCLUSIONS

The proposal to construct a four unit ground-oriented residential building with the associated parking variances is consistent with the Design Guidelines prescribed in Development Permit Area 16: General Form and Character. Staff recommend that Council consider supporting this Application.

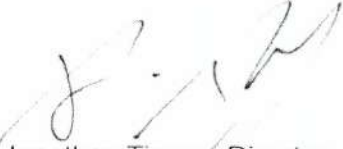
ALTERNATE MOTION

That Council decline Development Permit with Variances Application No. 00028 for the property located at 1417 May Street.

Respectfully submitted,


Alec Johnston
Senior Planner
Development Services Division

JH.


Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager

Date:


Sept 7, 2017

List of Attachments

- Attachment A - Subject Map
- Attachment B - Aerial Map
- Attachment C - Plans date stamped July 12, 2017
- Attachment D - Letters from applicant to Mayor and Council dated May 18, 2017 and December 26, 2016
- Attachment E - Community Association Land Use Committee Summary of December 19, 2016 Meeting
- Attachment F - Arborist Report dated August 20, 2017
- Attachment G - Neighbourhood Correspondence.

City Council Meeting
Thursday, June 14th, 2018
Attention: City Hall Ambassador



June 5th, 2018

Re: Rezoning land at 1417 May Street (No.1139) No.18-013

I am shocked and dismayed that you would even consider dramatically reducing the parking requirement at 1417 May Street. Anyone who has taken the time to view the parking situation on that end of May Street would realize that it is reduced to single lane traffic for the majority of the time, due to the crowded and oversubscribed street parking situation. The current situation results in traffic having to weave around, dodging oncoming traffic, cyclists, and transit busses.

A four unit building is far too dense for the neighborhood and is likely to result in the addition of up to 8 more cars that will need a place to park. Gone are the days that a single income can afford the rent or mortgage and city taxes of a unit. No matter what your utopian dreams may conjure, units today are predominantly housing 2 incomes, and those incomes mostly come with a vehicle for each wage earner. The preceding statement is likely to be further bolstered by the fact that these proposed units will not be affordable housing, but much more likely higher end luxury units.

In addition to the consideration of oversubscribed parking and traffic issues, I would like to call attention to the drainage issues that can be adversely affected by excessive site coverage caused by increased building size. These units will likely drain towards the lower levels of Bushby Street.

I urge you to reject the application for 4 units and allow only 2 units, and require full and appropriate on-site parking for those units. Permitting overbuilding, while diminishing parking requirements would be detrimental to the neighborhood. It would also represent bad traffic design and planning on an important artery that is used by transit buses, cyclist, and motorists.

I believe that the interests of the neighborhood and good design principals (including traffic and drainage) should trump the wishes of developers wishing to maximise their return on investment. I also believe that it is the mandate and fiduciary duty of city staff and council to act in the interest of the many.

Please support a lower density project with full on-site parking.

Lawrence Michaels
184 Bushby Street
Victoria, B.C.

A handwritten signature in blue ink, appearing to read "Lawrence Michaels", with a horizontal line underneath.

Amanda Ferguson

From: Public Hearings
Subject: FW: 1417 May St

From: David C Reid
Sent: June 9, 2018 3:54 PM
To: Public Hearings <PublicHearings@victoria.ca>
Subject: 1417 May St

Councillors I am writing regarding some inconsistencies in our experience with the proposed development at 1417 May St. We originally had a pleasant meeting with the developer and he showed us his proposed duplex for the site. The plans were much in keeping with a development at 1407/09 May, next door, a project which after many discussions and proposals reached a compromise which everyone was satisfied with. These discussions, proposals and construction have taken place during the current election term since 2014. The issue is that the proposal we were shown is not the proposal going to permit! The proposal going to permit is, based on hearsay evidence, a proposal that is being made after the original duplex proposal was turned away because the city wanted higher densification??!

We, the neighbourhood have listed with the city on previous occasions all of the factors concerning May St and we will be forced in this instance to again raise the issues. Some of the points being, May Street is an emergency vehicle corridor, there is designated parking on only one side of the street in this area. There is a bus stop, and a business with traffic immediately affected at 1403 May. The sight lines for traffic from Eberts St. onto May is critically compromised by the one sided parking. The city lot at 1425 has traffic at all hours, did i mention the church at 1401/195 May which fills the street twice a week with parked vehicles, there is also the annual fireworks and Moss Street market celebrations which clog the artery.

The frustrating point is that the acceptable duplex precedent was established in this election term is right next door, the same sized lot to the proposed site and the administration seems to have erased any memory of that fact judging by the voting that has taken place.

My personal feeling regarding the municipal administration is that they need to govern as though the city was a large moving ship and the direction and course corrections are anticipated and done methodically and consistently enabling a given generation time to have small manageable amounts of change occur. The current decision making seems to be like the driver of a dodg'um car at a circus arcade with a similar amount of excitement and upheaval, hopefully the fall elections will stabilise and bring some reliable consistency. Regarding the question of drainage control how does the city justify putting in an easement from Bushby to service their lot at 1425 May and omit the obvious pipe size design so that 1407/09 and 1417 could be gravity connected when they were developed. The logic of that decision would have been apparent to any civil engineer working for the city, eliminating the costly and unreliable pumped systems which now must be employed.

Thank you for your time,
sincerely
David C Reid
141 Eberts St.



Virus-free. www.avast.com

Amanda Ferguson

From: Public Hearings
Subject: FW: 1409/1417 May St. redevelopment proposal

From: Lisa Zezza
Sent: June 9, 2018 8:50 PM
To: Public Hearings <PublicHearings@victoria.ca>; ccoleman@victoria.com
Subject: FW: 1409/1417 May St. redevelopment proposal

Dear City Council,

I refer you to my previous email on the subject **Sent:** Tuesday, August 30, 2011 5:52 PM, **To:** 'mayor@victoria.ca', **Cc:** 'pmadoff@victoria.ca'; 'gyoung@victoria.ca'; 'lhunter@victoria.ca'; 'jluton@victoria.ca'; 'iscott@victoria.ca' which may or may not be on file.

I write today to reiterate my position concerning 1417 May Street and urge you to reconsider my previously submitted concerns. I am still the resident and owner at 176 Bushby Street, and have made this neighbourhood my home for over twenty-five years. I have had the distinct pleasure of raising our family in this primarily R1-B Zone Single Family Dwelling District and maintain my position concerning 1417 May Street.

It is true that this block has historically been the subject of at least three high density proposals in the past:

- Proposed four-plex at 1409 May Street was rejected in favour of a duplex in 2011 becoming 1407/1409 May Street.
- Proposed four-plex at 1417 May Street was rejected in favour of a duplex in 2011 but not developed
- Proposed 12 unit town house at 184/174 Bushby Street was rejected in favour of subdivision of the properties thereby retaining these two and building two more single-family homes. 1991

However, despite repeated attempts to increase the density, the single-family home (or low density dwelling) neighbourhood has been preserved as a well-established ground oriented area and its associated safety, security and ambiance.

This particular matter has been addressed and resolved to the neighbourhood satisfaction in the past. Please accept this a confirmation that I still oppose the rezoning of 1419 May Street for high-density four-dwelling use.

If you or your staff have any questions or would like to further discuss this matter, please do not hesitate to contact me directly at the coordinates below.

Thank you in advance, Sir, for your kind consideration and attention to this matter.

Sincerely,

Mrs. Lisa Zezza
176 Bushby Street,
Victoria, BC V8S 1B6

Pamela Martin

From: Dave and Anita [REDACTED]
Sent: June 11, 2018 3:01 PM
To: Public Hearings
Subject: Proposed changes to 1417 May Street, Amendment (#1139) #18-013

Dear Council,

We are writing this letter in "opposition" to possible zoning changes at 1417 May Street from R1-B Zone, Single Family Dwelling District, to R-86 Zone, Ground Oriented Dwelling District, to permit a multi-unit residential building with four ground oriented units. Legal description: Lot 4, Block D Fairfield Farm Estate. Victoria City Plan 340.

We are "adamantly opposed" to any changes to the zoning along this portion of May Street, as we, along with many other nearby residents, are expecting, "Gentle growth, with Low density" in this area of Fairfield. We, truly, and fully expected to see the zoning duplicate the duplex zoning as in the adjoining lot at 1407/09 May Street, which was approved a few years back.(see attached photo) That two family unit currently fits in very nicely along with "four off-street" vehicle parking spots, two inside and two outside. Most, if not all, single family homes in this area have at least two off-street parking spots. The proposed four unit building at 1417 May St. would not have adequate parking and would invariably lead to several on-street parking spots needed, not to mention visitor parking needed!

Changing the existing R1-B zone, single family to R-86 Zone multi unit would,undoubtedly, set a precedent for the rest of May Street, Eberts, Moss, Joseph, Bushby etc. East May St. is narrow, leading on to Memorial Cres., and the space is diminished by several cars, parking there on a daily basis throughout the day. There is no room on East May St. for more cars, period!

Council needs to understand, Fairfield is not for sale! Most Fairfield residents wish Fairfield to remain as a low profile housing area, with gentle growth and with low density. This is not a NIMBY situation, but rather a common sense approach to maintain this area as a mostly single family housing area , as it has been for the past 100 years and should continue so, for the next 100 years.

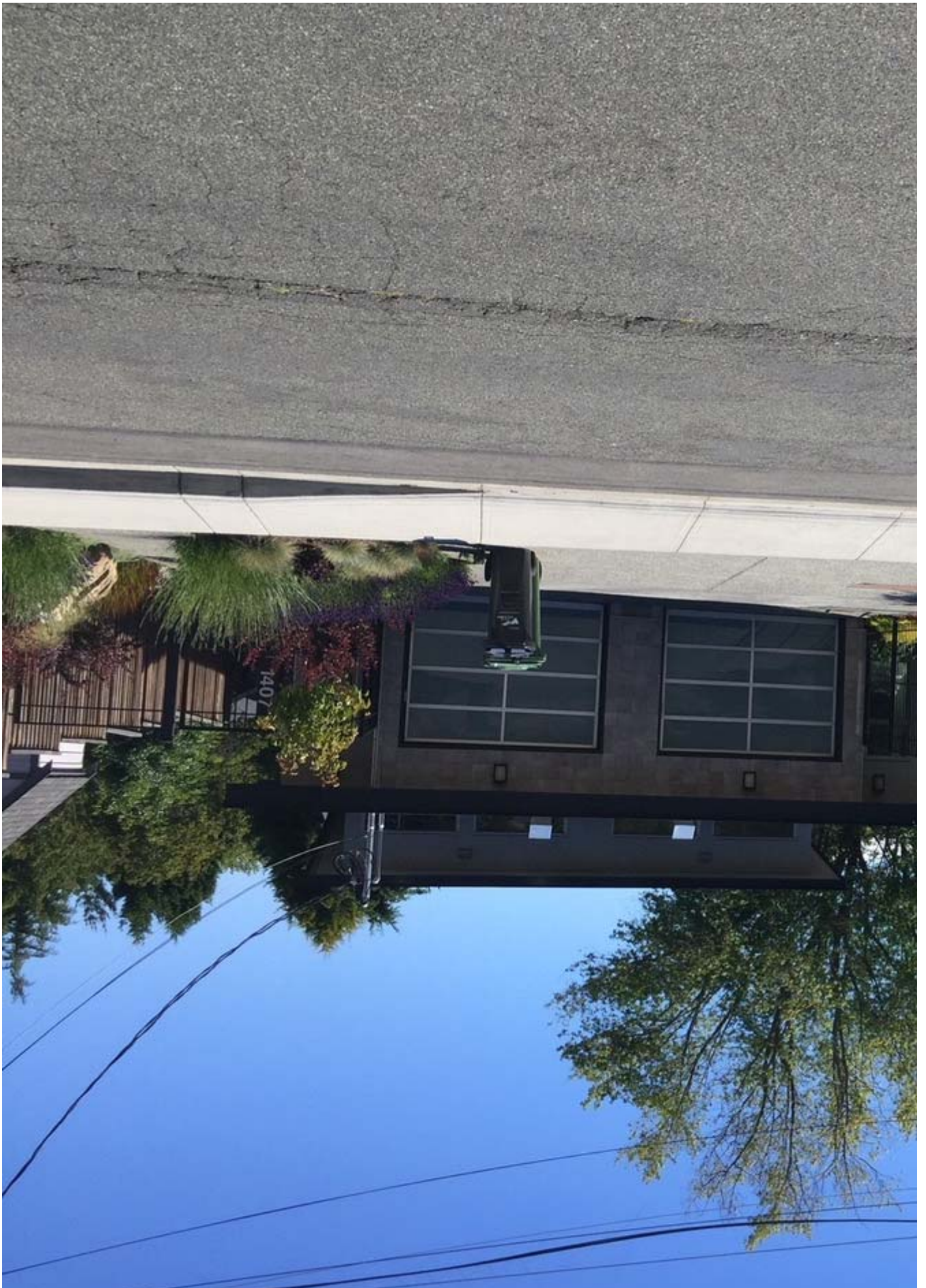
We appeal, to all council members, to vote "NO" to the R-86 Zone for 1417 May Street!!

David & Anita Paul

156 Eberts Street

****Please do not share my email address in public documents****

This photo was taken at 1407/09 May Street on the right, next to 1417 May Street
on the left



Pamela Martin

From: gudrun leys [REDACTED]
Sent: June 12, 2018 9:22 PM
To: Public Hearings
Subject: Re: Proposed Changes to 1417 May Street

To the Victoria City Council, Re: Public Hearing June 14th, 2018

I have received a notification which invites me to comment on the application for amendment to the zoning bylaw. No 1139. I am a neighbour who owns property nearby and I am totally in favour of changing the bylaw to permit a multi-unit, (four units), two storey residential building on 1417 May Street as applied for. We need more dwellings.

Personally I am NOT in favour of specifying street parking for these units. Instead, remove the street signs saying "residential parking only" and Open the parking to anyone, as no property tax is paid for the street.

Yours sincerely,

Gudrun Leys, 305-1433 Faircliff Lane, V8S 3J6

To: publichearings@victoria.ca
Cc: ccoleman@victoria.ca
Subject: Response to proposed development at 1417 May Street

June 13, 2018

Regarding proposed development of 1417 May Street

Please ensure that our phone number and email address remain confidential.

As neighbours at 135 Eberts Street, we wish to express that we do *not* support the proposed rezoning and parking variance. Our reasons are outlined below. We urge Council to take a step back, correct errors and inconsistencies in the process and documentation, and thoroughly consider community input before making a decision on this project.

We would like it on record that we were not consulted by Cascadia Architects although our property overlooks 1417 May Street and we, like everyone else in the area, are affected by traffic and development.

We are generally supportive of Passive House concepts; however, the implementation in this instance is not appropriate. Depending on the specifics and the process and documentation, we would consider supporting a Passive House duplex on this site.

The documents provided contain some inaccuracies and errors that make it difficult to follow what has been proposed and what changes have been made to the proposal. For example, current zoning is R1-B (per City of Victoria) but the developer states it is R-2. There's a much larger leap from R1-B to R55 than from R-2 to R-55 so this is misleading. In addition, "It's Your Neighbourhood" from the city dated June 1, 2018 refers to a new zone called R-86, Ground-Oriented Dwelling May Street District, which is not defined on the city's Zoning website: <http://www.victoria.ca/EN/main/residents/planning-development/development-services/zoning.html>

By way of justification of the proposal, there is reference to a fourplex at 1461 May Street. Below is a street view from Google Maps, showing 1461 May (left), 1425 May (centre), and the subject property 1417 May (right). Please note the differences in elevation. If you look at this street view and also go out and do a site visit, you'll notice how high 1417 May St. is compared to the other properties. The developer refers to the sloped site, "falling over 3m from the north property line (May Street) to the south property line". By comparison, 1461 May ("fourplex") is relatively flat and its four units are incorporated into a building that fits in well with the streetscape (it seems to be a "heritage" conversion). This is possible because of the layout of the units and the characteristics of the lot.



Another issue we have is with the proposed variances. The City's Development Tracker states:

1417 MAY ST

Application Contact:	PETER JOHANNKNECHT Telephone: 250.590.3223 Email: PETER@CASCADIAARCHITECTS.CA
Project Type:	Rezoning Application
Folder Number:	REZ00556
Application Date:	Jan 05, 2017
Addresses:	1417 MAY ST
City Contact:	ALEC JOHNSTON Email: ajohnston@victoria.ca Telephone: 250-361-0487
Purpose:	THE CITY IS CONSIDERING AN APPLICATION TO REZONE THIS PROPERTY TO ALLOW FOR A TWO STOREY MULTI FAMILY DWELLING. Variances: Schedule C - Section 12 (c) - reduction to the required parking from 6 spaces to 3. Schedule C - Section 7.2 (g) - a reduction to the required number of visitor spaces from 1 to 0 Part 3.75 Section 2 - an increase to maximum allowable total floor area from 380m2 to 444m2 Also see DVP00028

This representation of the variance (reduction in parking from 6 spaces to 3) is in conflict with the supplied documents, including the "It's Your Neighbourhood" letter dated June 1, 2018 which states "reduced vehicle parking from six stalls to four stalls; reduced visitor parking from one stall to zero stalls". There are many traffic and parking pressures in this neighbourhood including individuals and businesses parking cars and motorhomes long term by Moss Rocks Park, and buses, city vehicles, and cars going through the area at speed. **We urge you to do a traffic study on May Street and consider appropriate traffic calming measures.** A sidewalk and no parking by Moss Rocks Park should be considered, as should a traffic circle or two. The turns from Eberts onto May and from May onto Memorial Crescent are particularly concerning.

Furthermore, if the city is truly committed to a healthy environment including green space, landscaping plans and tree preservation must be monitored and controlled. Trees provide habitat for birds that we value in our neighbourhood. **For example, 1407 May featured a tree on the landscaping plans that was cut down very early in the building process with severe effects on us as neighbours.** What will be done to ensure that trees that are shown on the plans as being retained will actually be retained? What will the perimeter fence look like? What is the process for changing the plan? Landscaping in home construction is often overlooked—it's considered an add-on at the end which can be a problem if there have been construction cost overruns but it's critically important for the neighbourhood. There is mention of a green roof with sedum. What are the plans for maintaining/irrigating this feature? We have seen many well-intentioned green roofs, walls, and features go wrong (dry out, become unsightly and a fire hazard) because of inadequate maintenance.

Having been through the development of 1407/1409 May a few years ago, we are aware that there are often last-minute changes and variances, e.g. the sudden addition of balconies to 1407/1409 May Street without proper consultation when the building was virtually complete. **These issues point to the need for clear and accurate communications and plans up-front.**

Please do not approve this project as presented. Please do go back to the community for adequate consultation. Please provide accurate and non-conflicting information to the public.

Thank you,

Valentin Schaefer
135 Eberts Street

Do not publish my email address or phone number. Thank you.

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the R-86 Zone, Ground-Oriented Dwelling May Street District, and to rezone land known as 1417 May Street from the R1-B Zone, Single Family Dwelling District to the R-86 Zone, Ground-Oriented Dwelling May Street District.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1139)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of Schedule “B” under the caption PART 3 – MULTIPLE DWELLING ZONES by adding the following words:

“3.116 R-86 Zone, Ground-Oriented Dwelling May Street District”
- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 3.115 the provisions contained in Schedule 1 of this Bylaw.
- 4 The land known as 1417 May Street, legally described as PID 009-137-581, Lot 4, Block D, Fairfield Farm Estate, Victoria City, Plan 340 and shown hatched on the attached map, is removed from the R1-B Zone, Single Family Dwelling District, and placed in the R-86 Zone, Ground-Oriented Dwelling May Street District.

READ A FIRST TIME the **24th** day of **May** 2018

READ A SECOND TIME the **24th** day of **May** 2018

Public hearing held on the day of 2018

READ A THIRD TIME the day of 2018

ADOPTED on the day of 2018

CITY CLERK

MAYOR

PART 3.116 – R-86 ZONE, GROUND-ORIENTED MAY STREET DISTRICT**3.116.1 Definitions**

In this Part, “ground-oriented multiple dwelling” means a building containing three or more self-contained dwelling units, at least half of which have individual and direct access to the ground.

3.116.2 Permitted Uses in this Zone

The following uses are the only uses permitted in this Zone:

- a. Uses permitted in the R-2 Zone, Two Family Dwelling District, subject to the regulations set out in Part 2.1 of the Zoning Regulation Bylaw
- b. Ground-oriented multiple dwelling, subject to the regulations contained in this Part.
- c. Home occupation subject to the regulations in Schedule “D”
- d. Accessory Buildings subject to the regulations in Schedule “F”

3.116.3 Lot Area

- a. Lot area (minimum) 920.00m²
- b. Lot width (minimum) 15.00m average lot width

3.116.4 Floor Area, Floor Space Ratio

- a. Floor space ratio (maximum) 0.33:1

3.116.5 Height, Storeys

- a. Principal building height (maximum) 8.30m
- b. Storeys (maximum) 2
- c. Roof deck Not permitted

3.116.6 Setbacks, Projections

- a. Front yard setback (minimum) 6.00m
- b. Rear yard setback (minimum) 31.00m
- c. Side yard setback – from east interior lot line (minimum) 3.00m
- d. Side yard setback – from west interior lot line (minimum) 2.70m

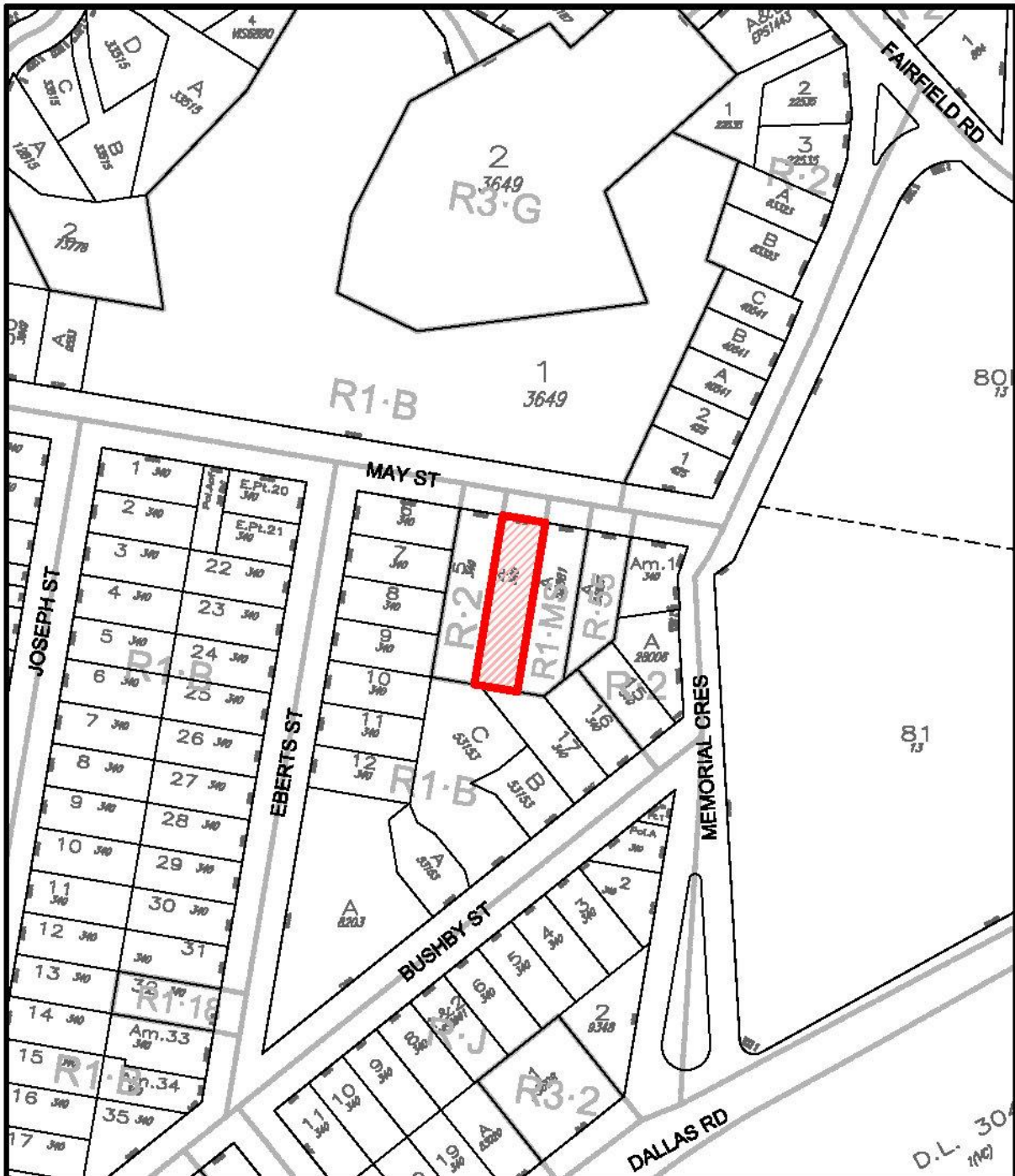
PART 3.116 – R-86 ZONE, GROUND-ORIENTED MAY STREET DISTRICT**3.116.7 Site Coverage, Open Site Space**

- | | |
|-------------------------------------|--------|
| a. <u>Site coverage</u> (maximum) | 31.00% |
| b. <u>Open site space</u> (minimum) | 45.00% |

3.116.8 Vehicle and Bicycle Parking

- | | |
|-------------------------------------|--|
| a. <u>Vehicle parking</u> (minimum) | Subject to the regulations in Schedule "C" |
| b. Bicycle parking (minimum) | Subject to the regulations in Schedule "C" |

Appendix 1 to Bylaw No. 16-



1417 May Street
Rezoning No.00556



NO. 18-069

HOUSING AGREEMENT (1417 MAY STREET) BYLAW
A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to authorize an agreement for rental housing for the lands known as 1417 May Street, Victoria, BC.

Under its statutory powers, including section 483 of the *Local Government Act*, the Council of The Corporation of the City of Victoria in an open meeting enacts the following provisions:

Title

- 1 This Bylaw may be cited as the "HOUSING AGREEMENT (1417 MAY STREET) BYLAW (2018)".**

Agreement authorized

- 2 The Mayor and the City Clerk are authorized to execute the Housing Agreement**
- (a) substantially in the form attached to this Bylaw as Schedule A;
 - (b) between the City and Nila Holdings Ltd. or other registered owners from time to time of the lands described in subsection (c); and
 - (c) that applies to the lands known as 1417 May Street, Victoria, BC, legally described as:
PID: 009-137-581, Lot 4, Block D, Fairfield Farm Estate, Victoria City, Plan 340

READ A FIRST TIME the **24th** day of **May** 2018

READ A SECOND TIME the **24th** day of **May** 2018

READ A THIRD TIME the **24th** day of **May** 2018

ADOPTED on the day of 2018

CITY CLERK

MAYOR

SCHEDULE A

HOUSING AGREEMENT (Pursuant to Section 483 of the *Local Government Act*)

BETWEEN:

THE CORPORATION OF THE CITY OF VICTORIA
#1 Centennial Square
Victoria, B.C.
V8W 1P6
(the "City")

OF THE FIRST PART

AND:

NILA HOLDINGS LTD. (INC. NO. BC0730195)
#185-911 Yates Street
Victoria, B.C.
V8V 4Y9

(the "Owner")

OF THE SECOND
PART

AND:

CANADIAN IMPERIAL BANK OF COMMERCE
1745 West 8th Avenue – Level B1
Vancouver, B.C.
V6J 4T3

(the "Existing Chargeholder")

OF THE THIRD
PART

WHEREAS

- A. Under section 483 of the *Local Government Act* the City may, by bylaw, enter into a Housing Agreement with an owner regarding the occupancy of the housing units identified in the agreement, including but not limited to terms and conditions referred to in section 483(2) of the *Local Government Act*.

- B. The Owner is the registered owner in fee simple of lands in the City of Victoria, British Columbia, with a civic address of 1417 May Street, Victoria, B.C. and legally described as:

PID 009-137-581

LOT 4 BLOCK D FAIRFIELD FARM ESTATE VICTORIA CITY PLAN 340

(the "Lands").

- C. The Owner has applied to rezone the Lands in order to construct a two-storey residential building with four self-contained dwelling units.
- D. The Dwelling Units are intended to be stratified and therefore will be subject to the *Strata Property Act* (British Columbia) and the bylaws of the Strata Corporation, but the intent of this Housing Agreement is to ensure the perpetual availability of rental units (in addition to owner-occupied units).
- E. The City and the Owner wish to enter into this Agreement, as a Housing Agreement pursuant to section 483 of the *Local Government Act*, to establish the terms and conditions regarding the occupancy of the residential units identified in this Housing Agreement.

NOW THIS AGREEMENT WITNESSES that pursuant to section 483 of the *Local Government Act*, and in consideration of the premises and covenants contained in this Agreement, the parties agree each with the other as follows:

1.0 Definitions

1.1 In this Agreement:

"**Development**" means the proposed two-storey residential building on the Lands to include four (4) Dwelling Units.

"**Dwelling Unit**" means a self-contained residential dwelling unit within the building that will be located on the Lands, and includes any dwelling unit that is developed on the Lands in future, whether as part of the Development or otherwise, and "Dwelling Units" means collectively all of such residential dwelling units located on the Lands.

"**Immediate family**" includes a person's husband, wife, child, mother, father, brother, sister, mother-in-law, father-in-law, grandparent, brother-in-law, sister-in-law, niece and nephew.

"**Non-owner**" means a person who occupies a Dwelling Unit for residential purposes, other than the Owner of that Dwelling Unit, and other than a member of the Owner's Immediate family.

"**Owner**" includes a person who acquires an interest in the Lands or any part of the Lands and is thereby bound by this Agreement, as referred to in section 7.3.

"Tenancy Agreement" means a tenancy agreement pursuant to the *Residential Tenancy Act* that is regulated by that Act.

"Strata Corporation" means, for the portions of the Lands or any building on the Lands that is subdivided under the *Strata Property Act*, a strata corporation as defined in that Act, including the Owner while in control of the strata corporation and subsequently the individual strata lot owners collectively acting as the strata corporation.

1.2 In this Agreement:

- (a) reference to any enactment includes any regulations, orders or directives made under the authority of that enactment; and
- (b) reference to any enactment is a reference to that enactment as consolidated, revised, amended, re-enacted or replaced, unless otherwise expressly provided.

2.0 **No Restrictions on Rentals**

- 2.1 The Owner covenants and agrees that the Owner shall not take any steps, or enter into any agreements, or impose any rules or regulations whatsoever, the effect of which would be to prevent or restrict the Owner of a Dwelling Unit from renting that Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.
- 2.2 Without limiting the generality of section 2.1, the Owner covenants and agrees that it will not make application to deposit a strata plan for or in respect of the Lands or a building on the Lands unless the strata bylaws in no way restrict rental of any Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.
- 2.3 For certainty, if the Lands or the Development on the Lands are subdivided under the *Strata Property Act*, the Dwelling Units within the Development may be occupied by the Owners of the strata lots.

3.0 **Reporting**

- 3.1 The Owner covenants and agrees to provide to the City, upon written request from the City's Director of Sustainability Planning and Community Development, a report in writing confirming:
 - (a) the number, type and location by suite or strata lot number, of Dwelling Units that are being rented to Non-owners; and
 - (b) any changes or proposed changes to the Strata Corporation's bylaws that may affect the terms of this Agreement.

3.2 The Owner covenants and agrees:

- (a) to exercise its voting rights in the Strata Corporation against the passage of any bylaws that would restrict the availability for rental of any Dwelling Unit under the terms of a Tenancy Agreement unless this Agreement is amended; and
- (b) to notify the City of any proposed amendments to its strata bylaws.

3.3 The Owner acknowledges that it is within the City's sole discretion to consent or not to consent to modifications to this Agreement and that such consent may be withheld for any reason.

4.0 Notice to be Registered in Land Title Office

- 4.1 Notice of this Agreement ("**Notice**") will be registered in the Land Title Office by the City at the cost of the Owner in accordance with section 483(5) of the *Local Government Act*, and this Agreement is binding on the parties to this Agreement as well as all persons who acquire an interest in the Lands after registration of the Notice.

5.0 Liability

- 5.1 The Owner agrees to indemnify and saves harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reason of or arising out of failure of the Owner to comply with the terms and conditions of this Agreement.
- 5.2 The Owner hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Owner now has or hereafter may have with respect to or by reason of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.

6.0 Priority Agreement

- 6.1 The Existing Chargeholder, as the registered holder of a charge by way of Mortgage against the Lands, which said charges are registered in the Land Title Office at Victoria, British Columbia, under numbers CA5307838, for and in consideration of the sum of One Dollar (\$1.00) paid by the City (the receipt whereof is hereby acknowledged), agrees with the City that upon filing of a Notice with the Land Title Office that the Lands are subject to this Agreement, pursuant to Section 483(5) of the *Local Government Act*, this Agreement shall be an encumbrance upon the Lands in priority to the said charges in the same manner and to the same effect as if Notice had been filed prior to the said charges.

7.0 General Provisions

Notice

7.1 If sent as follows, notice under this Agreement is considered to be received

- (a) seventy-two (72) hours after the time of its mailing (by registered mail) or faxing, and
- (b) on the date of delivery if hand-delivered,

to the City:

City of Victoria
 #1 Centennial Square
 Victoria, BC V8W 1P6
 Attention: Director of Sustainability Planning and
 Community Development
 Fax: 250-361-0386

to the Owner:

#185-911 Yates Street, Victoria, B.C. V8V 4Y9

or upon registration of a strata plan for the Lands, to the Strata Corporation, and to the Owner of any Dwelling Unit that is subject to the restrictions under section 2.1.

If a party identifies alternate contact information in writing to another party, notice is to be given to that alternate address.

If normal mail service or facsimile service is interrupted by strike, work slow-down, force majeure, or other cause,

- (a) notice sent by the impaired service is considered to be received on the date of delivery, and
- (b) the sending party must use its best efforts to ensure prompt receipt of a notice by using other uninterrupted services, or by hand-delivering the notice.

Time

7.2 Time is to be the essence of this Agreement.

Binding Effect

- 7.3 This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors, and permitted assignees. In accordance with section 483(6) of the *Local Government Act*, this Agreement and all obligations hereunder is binding on all who acquire an interest in the Lands, and the Owner only during the Owner's ownership of any interest in the Lands, and with respect only to that portion of the Lands of which the Owner has an interest.

Waiver

- 7.4 The waiver by a party of any failure on the part of the other party to perform in accordance with any of the terms or conditions of this Agreement is not to be construed as a waiver of any future or continuing failure, whether similar or dissimilar.

Headings

- 7.5 The headings in this Agreement are inserted for convenience and reference only and in no way define, limit or enlarge the scope or meaning of this Agreement or any provision of it.

Language

- 7.6 Wherever the singular, masculine and neuter are used throughout this Agreement, the same is to be construed as meaning the plural or the feminine or the body corporate or politic as the context so requires.

Equitable Remedies

- 7.7 The Owner acknowledges and agrees that damages would be an inadequate remedy for the City for breach of this Agreement and that the public interest strongly favours specific performance, injunctive relief (mandatory or otherwise), or other equitable relief, as the only adequate remedy for a default under this Agreement.

Cumulative Remedies

- 7.8 No remedy under this Agreement is to be deemed exclusive but will, where possible, be cumulative with all other remedies at law or in equity.

Entire Agreement

- 7.9 This Agreement when executed will set forth the entire agreement and understanding of the parties as at the date it is made.

Further Assurances

- 7.10 Each of the parties will do, execute, and deliver, or cause to be done, executed, and delivered all such further acts, documents and things as may be reasonably required from time to time to give effect to this Agreement.

Amendment

- 7.11 This Agreement may be amended from time to time, by consent of the Owner and a bylaw duly passed by the Council of the City and thereafter if it is signed by the City and the Owner.

Law Applicable

- 7.12 This Agreement is to be construed in accordance with and governed by the laws applicable in the Province of British Columbia.

No Derogation from Statutory Authority

- 7.13 Nothing in this Agreement shall:
- (a) limit, impair, fetter or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive bylaw enacted by the City, or permit, licence or approval, granted, made or issued thereunder, or pursuant to statute, by the City shall estop, limit or impair the City from relying upon and enforcing this Agreement; or
 - (b) relieve the Owner from complying with any enactment, including the City's bylaws, or any obligation of the Owner under any other agreement with the City.

Joint and Several

- 7.14 The Owner, if more than one, are jointly and severally obligated to perform and observe each and every of the covenants, warranties and agreements herein contained by the Owner to be observed and performed.

Counterpart

- 7.15 This Agreement may be executed in counterparts and delivered by facsimile or emailed PDF file, each of which will have the same effect as if all parties had signed the same document. Each counterpart shall be deemed to be an original. All counterparts shall be construed together and shall constitute one and the same Agreement.

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REPORTS OF COMMITTEES

4. Committee of the Whole – October 26, 2017

4. Rezoning Application No. 00540 for 608 Esquimalt Road (Victoria West)

Motion:

It was moved by Councillor Lucas, seconded by Councillor Alto, that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00540 for 608 Esquimalt Road, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council, and a Public Hearing date be set once staff receive proof of registration at the Land Titles Survey Authority of an executed Statutory Right-of-Way (SRW) of 2.03m on Esquimalt Road.

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Lucas, and Thornton-Joe
Opposed: Councillor Young

4.4 Rezoning Application No. 00540 for 608 Esquimalt Road (Victoria West)

Committee received a report dated October 12, 2017, from the Director of Sustainable Planning and Community Development providing information and recommendations regarding the proposal to rezone the property located at 608 Esquimalt Road to a site-specific zone in order to permit the use of a storefront cannabis retailer.

Motion: It was moved by Councillor Coleman, seconded by Councillor Alto, that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00540 for 608 Esquimalt Road, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council, and a Public Hearing date be set once staff receive proof of registration at the Land Titles Survey Authority of an executed Statutory Right-of-Way (SRW) of 2.03m on Esquimalt Road.

Committee discussed:

- The proposal being supportable as it is outside the downtown core.

For: Mayor Helps, Councillor Alto, Coleman, Lucas, Thornton-Joe, and Madoff
Against: Councillors Young

CARRIED 17/COTW



Committee of the Whole Report

For the Meeting of October 26, 2017

To: Committee of the Whole **Date:** October 12, 2017

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Rezoning Application No. 00540 for 608 Esquimalt Road

RECOMMENDATION

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00540 for 608 Esquimalt Road, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council, and a Public Hearing date be set once staff receive proof of registration at the Land Titles Survey Authority of an executed Statutory Right-of-Way (SRW) of 2.03m on Esquimalt Road.

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures; as well as, the uses that are permitted on the land, and the location of uses on the land and within buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 608 Esquimalt Road. The proposal is to rezone from the M-2 Zone, Light Industrial District, to a site-specific zone in order to permit the use of a storefront cannabis retailer.

The following points were considered in assessing this application:

- the proposal is consistent with the General Employment designation in the *Official Community Plan, 2012*
- the proposal is inconsistent with the William Street Industrial Estate designation in the *Victoria West Plan*; however, the proposal is consistent with the General Employment designation in the draft *Vic West Neighbourhood Plan*
- the proposal is consistent with the *Storefront Cannabis Retailer Rezoning Policy*, as there are no schools within 200m or permitted storefront cannabis retailers within 400m
- there is a parking shortfall of one stall; however, the property is on an arterial road with frequent transit service, the E&N Rail Trail is approximately 25m away, and the applicant has installed a five-stall bicycle rack on the property.

BACKGROUND

Description of Proposal

This Rezoning Application is to allow for the retail sale of cannabis in an existing building. The property is in the M-2 Zone, Light Industrial District. The following differences from the standard zone are being proposed and would be accommodated in the new zone:

- storefront cannabis retailer would be a permitted use
- only one storefront cannabis retailer would be permitted to operate on the property at a time
- storefront cannabis retailer would be restricted to the ground floor
- storefront cannabis retailer would require one parking stall per 52m² of floor area
- storefront cannabis retailer would be restricted to a maximum floor area of 104m², which is in keeping with the size of the existing operation

All other requirements within the M-2 Zone, Light Industrial District, would remain the same.

Sustainability Features

The applicant has not identified any sustainability features associated with this proposal.

Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with this Application.

Public Realm Improvements

No public realm improvements are proposed in association with this Rezoning Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Land Use Context

The area is characterized by one to four-storey buildings with uses that include light industrial, commercial and residential.

Existing Site Development and Development Potential

The site is presently a one-storey building that houses an automotive repair shop and the storefront cannabis retailer. Under the current M-2 Zone, Light Industrial District, the property could be developed for a variety of industrial and commercial uses, up to a maximum height of 15 metres and a density of 3.0 to 1.

Community Consultation

Consistent with the *Storefront Cannabis Retailer Rezoning Policy*, the requirement to arrange and participate in a Community Association Land Use Committee (CALUC) meeting is waived unless the Application involves construction of a new building; however, the Application was referred to the Victoria West Community Association CALUC. Also consistent with the Policy,

the Application has been referred to School District No. 61 and the Victoria Police Department (VicPD). The following table displays the number of VicPD service calls:

Calls for Service	2015	2016	2017 (July 24)
Calls to the immediate area	3	4	5
Calls to the block	92	69	44

ANALYSIS

Official Community Plan

The *Official Community Plan 2012* (OCP) identifies this property within the General Employment urban place designation, within which commercial uses, including retail, are envisioned.

Local Area Plans

The *Victoria West Plan*, 1986, identifies the property within the William Street Industrial Estate area, within which the industrial uses are envisioned to remain to ensure a balanced economy.

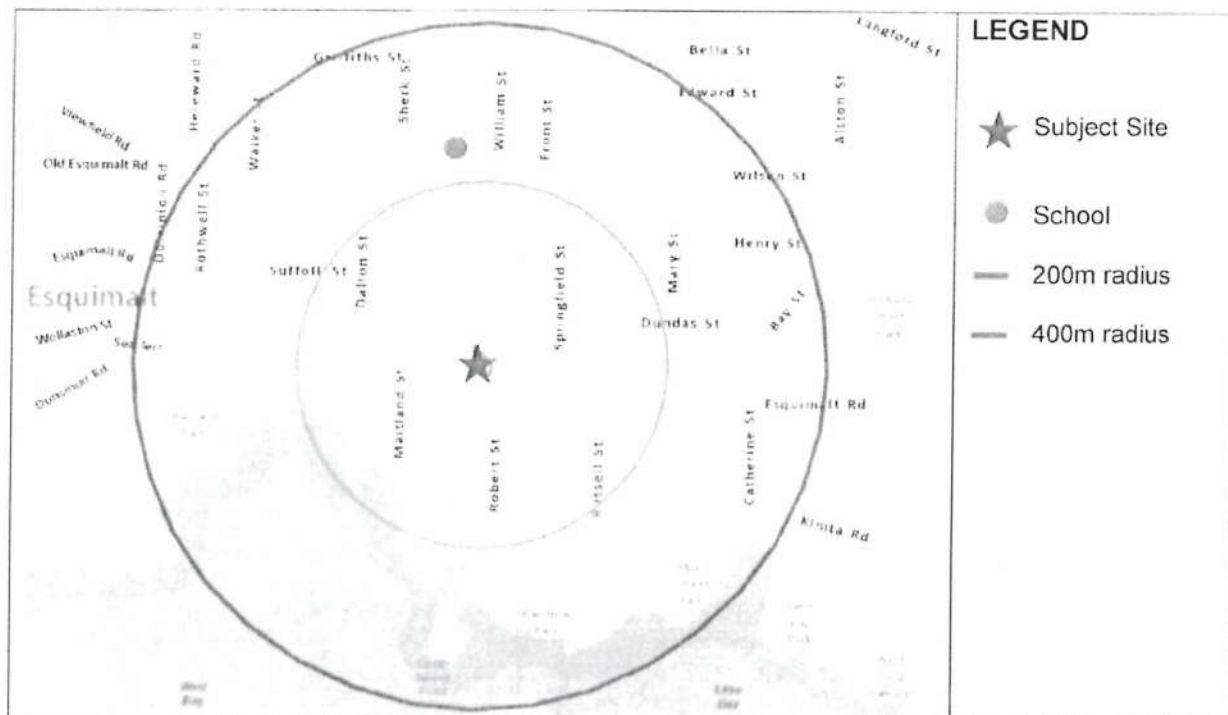
The draft *Victoria West Neighbourhood Plan* identifies the property in the General Employment designation, within which retail uses are supported on the ground floor along arterial roads. Esquimalt Road is classified as an arterial road.

Tree Preservation Bylaw and Urban Forest Master Plan

There are no Tree Preservation Bylaw impacts with this application and there are no impacts to public trees.

Storefront Cannabis Retailer Rezoning Policy

The Application complies with the *Storefront Cannabis Retailer Rezoning Policy* and was one of the sites identified as operating as a storefront cannabis retailer at the time of Council adopting the regulations and policy framework related to cannabis. No schools are within 200m and no permitted storefront cannabis retailers are within 400m of the property. The property is 212m from the Victoria West Elementary School playing fields.



Regulatory Considerations

Due to the change of use to retail there is a parking deficiency of one stall. Currently there are four stalls on-site and five stalls are required as per Schedule 'C'. Therefore, the site-specific zone will reduce the parking requirements for storefront cannabis retailer from one stall per 37.5m² of floor space to one stall per 52m² of floor space. To offset the deficiency, the applicant has installed a 5-stall bicycle rack on the property. The property is also located on an arterial road with frequent transit service and is approximately 25m from the E&N Rail Trail.

CONCLUSIONS

This proposal to permit the storefront cannabis retailer use is consistent with the *Official Community Plan* in accommodating ground floor retail. While the proposal is inconsistent with the current *Victoria West Plan*, the proposal is consistent with the draft *Victoria West Neighbourhood Plan*. The proposal does not have any schools within 200m or permitted storefront cannabis retailers within 400m of the property. The parking shortfall is minimal and is offset by frequent bus service, the E&N Rail Trail, and a bicycle rack provided on-site. Staff recommend Council consider supporting this application.

ALTERNATE MOTION

That Council decline Rezoning Application No. 00540 for the property located at 608 Esquimalt Road.

Respectfully submitted,




Michael Angrove
Planner
Development Services



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

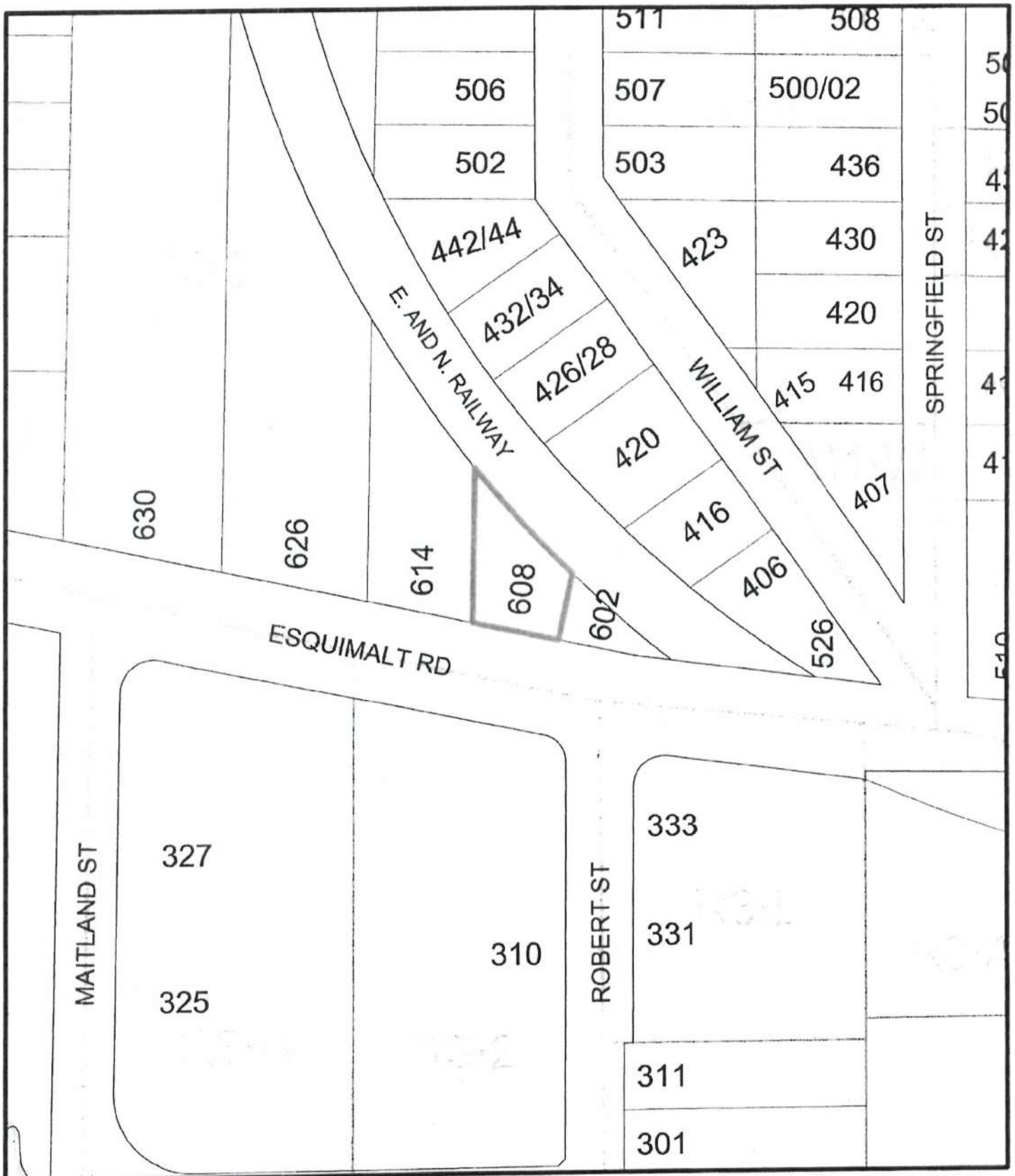
Report accepted and recommended by the City Manager:

Date:

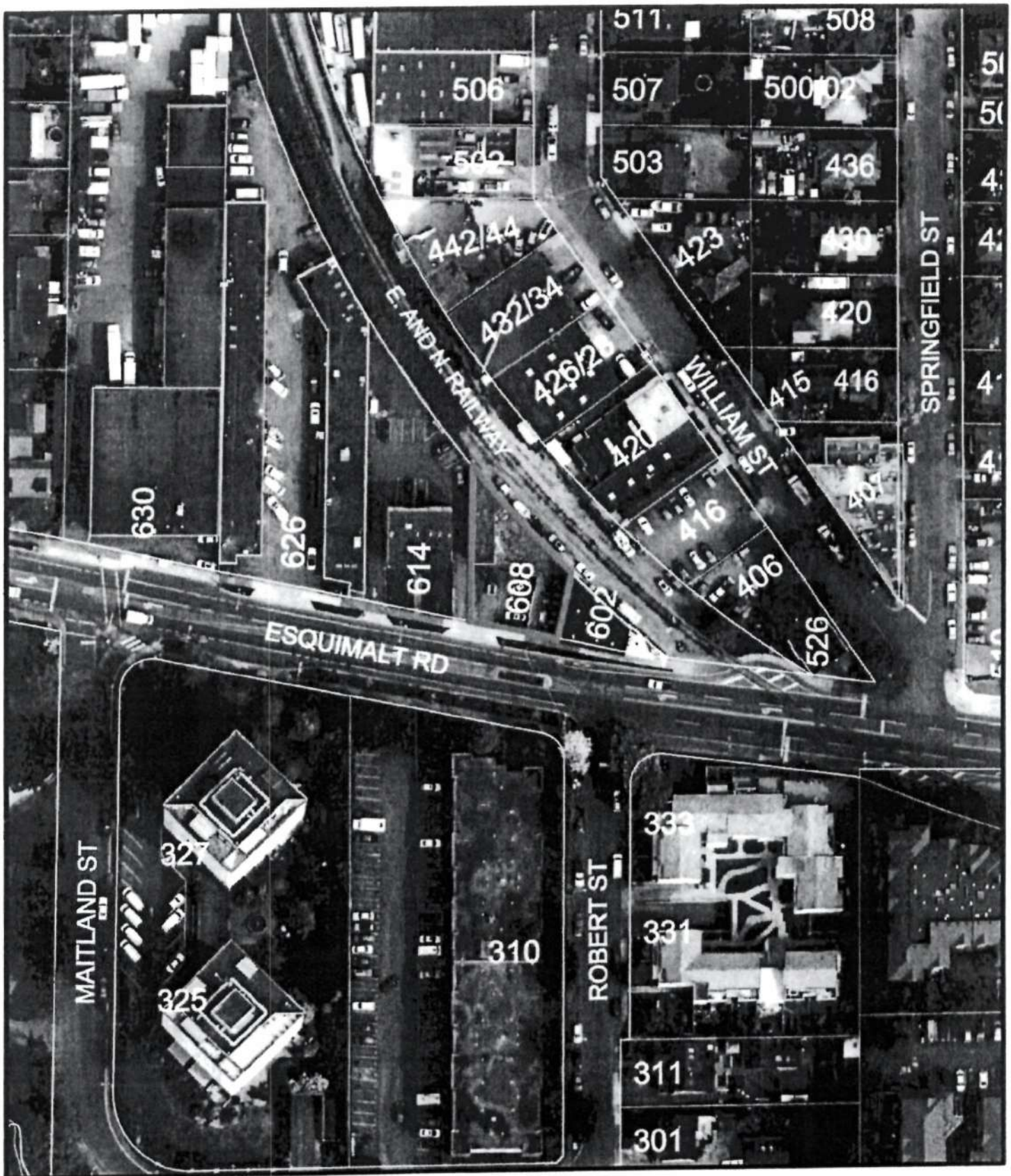

Oct. 17, 2017

List of Attachments:

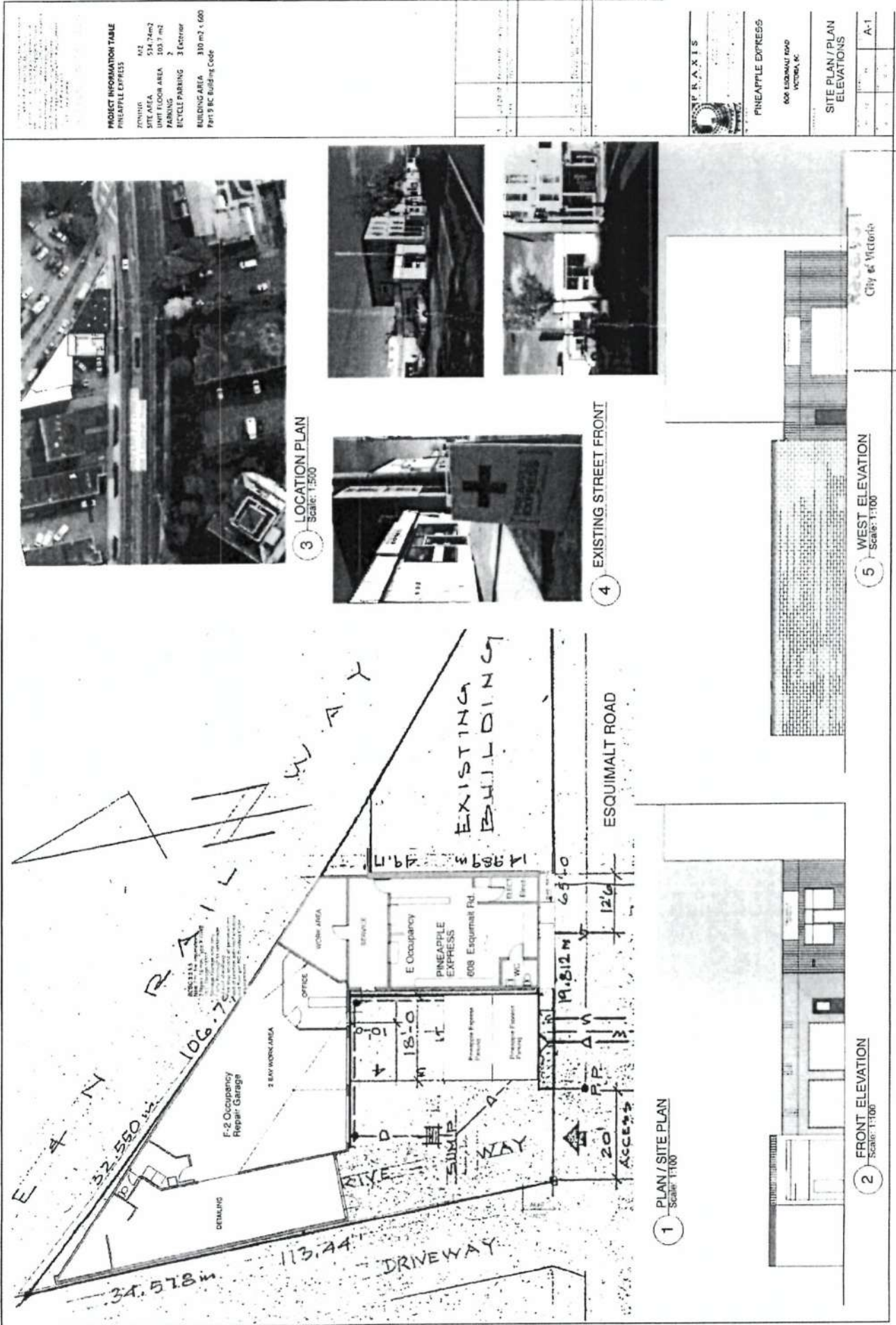
- Appendix A – Subject Map
- Appendix B – Aerial Map
- Appendix C – Plans date stamped September 18, 2017
- Appendix D – Letter from applicant to Mayor and Council dated September 27, 2017



608 Esquimalt Road
Rezoning No.00540



608 Esquimalt Road
Rezoning No.00540



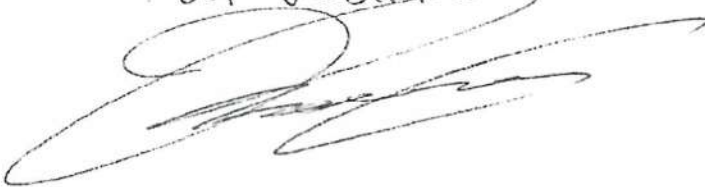
A Letter to Mayor and Council

September 27th, 2017

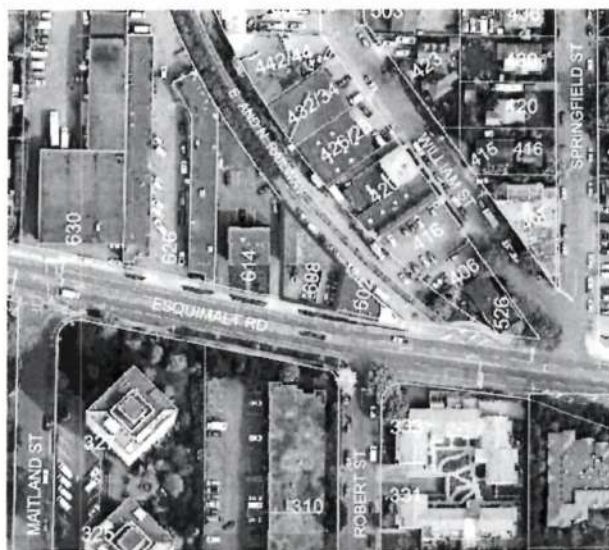
The Pineapple Express Cannabis Dispensary opened its doors on November 27th, 2015. Right from the very beginning, our focus has been to provide clean, safe, local medicinal cannabis products to our patients, at very affordable prices. Pineapple Express is located at 608 Esquimalt Road, in Victoria West. Setting up shop in Vic West has been a very positive experience for everyone involved, and we have gained tremendous support from the community in which we are established. Victoria West, bordering Esquimalt is a very different environment from the downtown Victoria area, where most of the other cannabis retailers are located. Many of our patients are of a lower income bracket, and that is why one of our main focuses has been to make sure to provide a wide variety of products from which everyone can receive a benefit, especially those less fortunate. We have brought specific attention to the CBD products and medicinal oils, keeping the cost very low to provide relief from inflammation, seizures and mood disorders, and THC products to provide relief from Pain and sleeping disorders. The team of Pineapple Express has grown, along with our customer base, and we now have 12 employees. We believe strongly in equal opportunity for employment and hiring locally and so have an equal team of 6 men and 6 women ranging from the ages of 24 to nearly 40, all of whom live in the Victoria area. Supporting the local community is just as important to us as well, and so we have developed positive relationships with many of the businesses in our neighbourhood, and help them advertise with business cards and our "Community Bulletin Board". We are a progressive employer with a starting wage of \$15 per hour after an initial 90 day probationary period. Health is also very important to our family, and so we provide medical and dental benefits for all of our employees. We have also been fortunate enough to add a few employees who have studied Cannabis at the post-secondary level to our team. Pineapple Express has worked with local testing companies to ensure the products we sell are safe, and of a high quality, and we are in the process of establishing a system where all of our products are tested for community safety, educational information and to increase awareness. In addition to rezoning, we are also seeking a parking variance for Pineapple Express. The dispensary shares a parking lot with the automotive shop, and though it has taken time to learn the flow of traffic, we both believe the available space is suitable for the area. We have 4 of the 5 required parking spaces for both businesses, however that does not include all of the parking inside the auto shop. Our store faces a main arterial road and we are very near multiple bus routes from every direction. A large percentage of our customer base is walking traffic, and we also have a bike rack for all of the customers that cycle to the shop via Esquimalt road and the many bike paths in the area, principally the Galloping Goose. The automotive shop now has access to off site lot parking for its salable cars, rendering their spots vacant throughout most of the day and making all of our spaces available for temporary customer parking. I have dealt with the city directly on this matter, and as there seems to be no safety concerns, or logistical issues, we hope that you will approve our Variance. My Partner Aaron and I, wanted to establish this company as a couple young entrepreneurs seeking to represent dispensaries in a positive light, knowing that we could build a business that helps the community, provides quality products, and can be affordable in

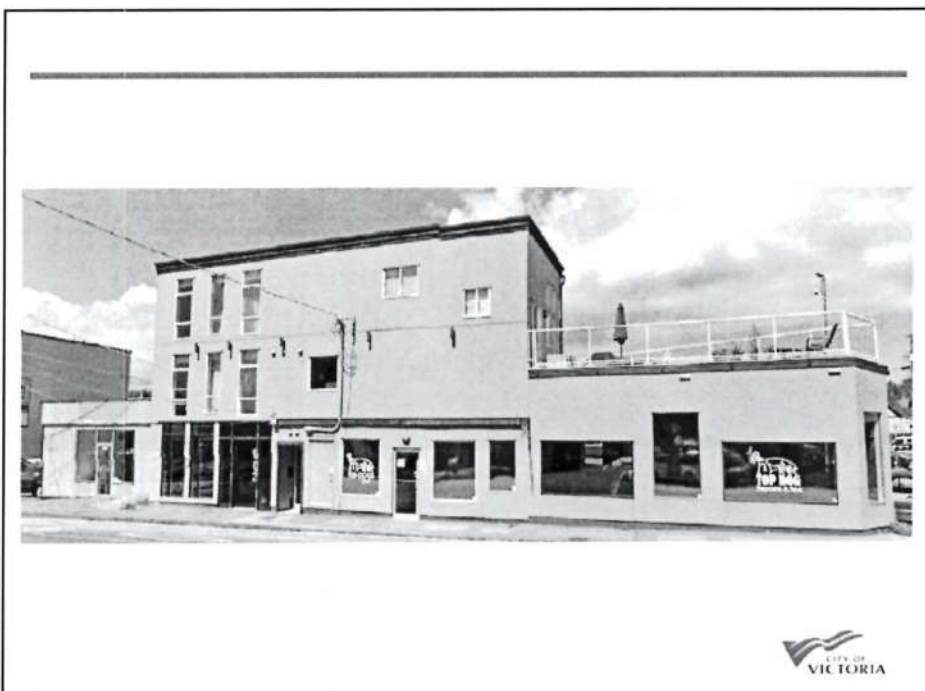
an area of lower means. From the moment that the city council started enforcing regulations, we have been proactive with full compliance. We have done everything that has been requested of us immediately i.e. the changing of our operating hours, removal of our sandwich board, removal of our logo from the signage and much more. We are an incorporated and tax paying company that is up to date on all GST and corporate taxes. We also have absolutely no criminal connections and no history of criminal activity and wanted to establish everything so as to move in a direction of legalization because we believe dispensaries are the way of the future for Canada, and we also believe that they should be represented in a beautiful manner. We love the community, the employees, the patients and this country and are proud to be here at the beginning of a beautiful change for Canada.

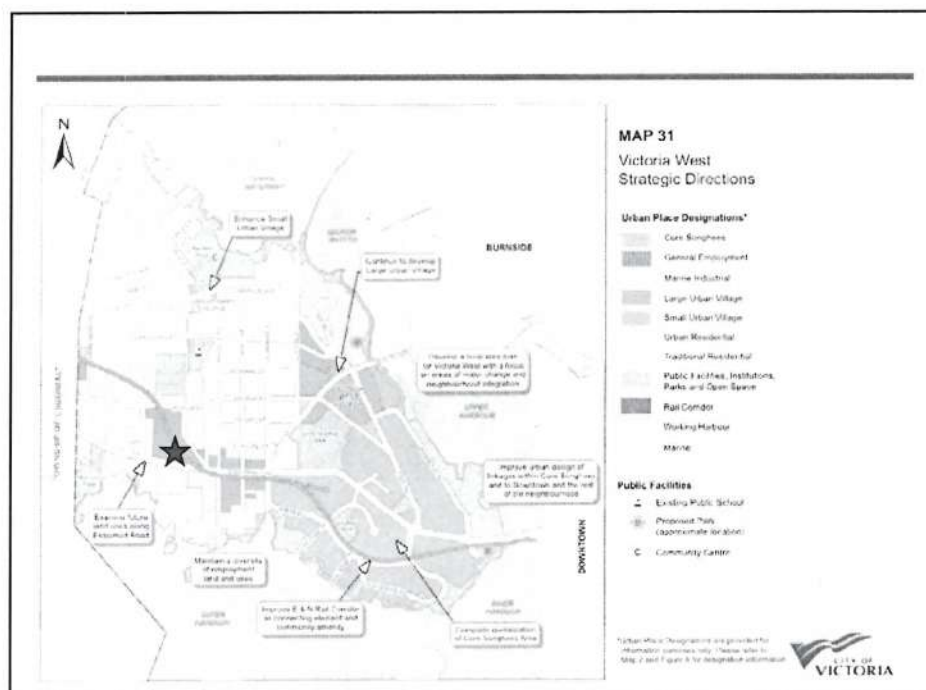
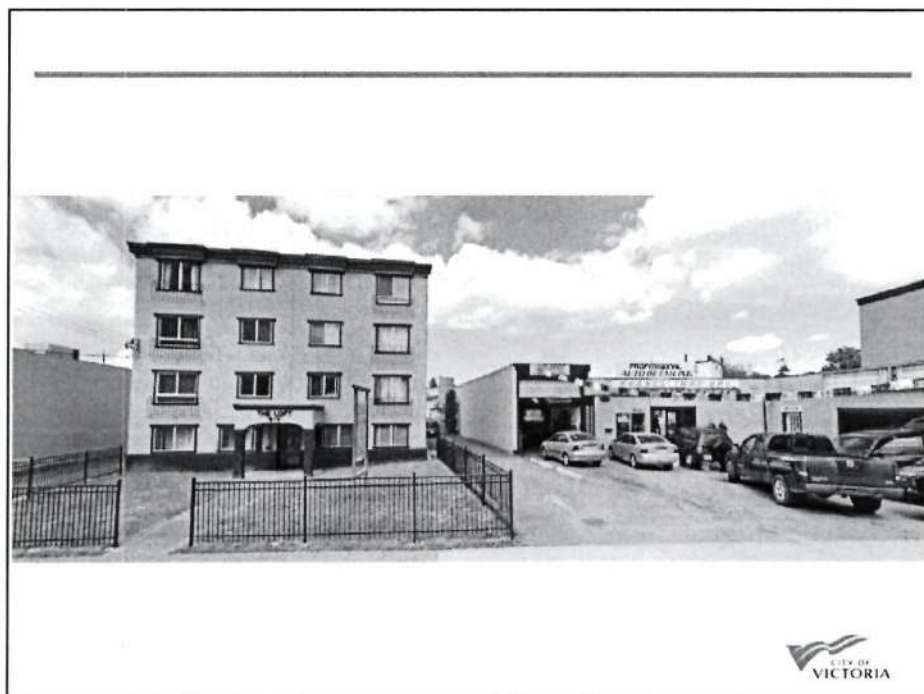
Pat Warren

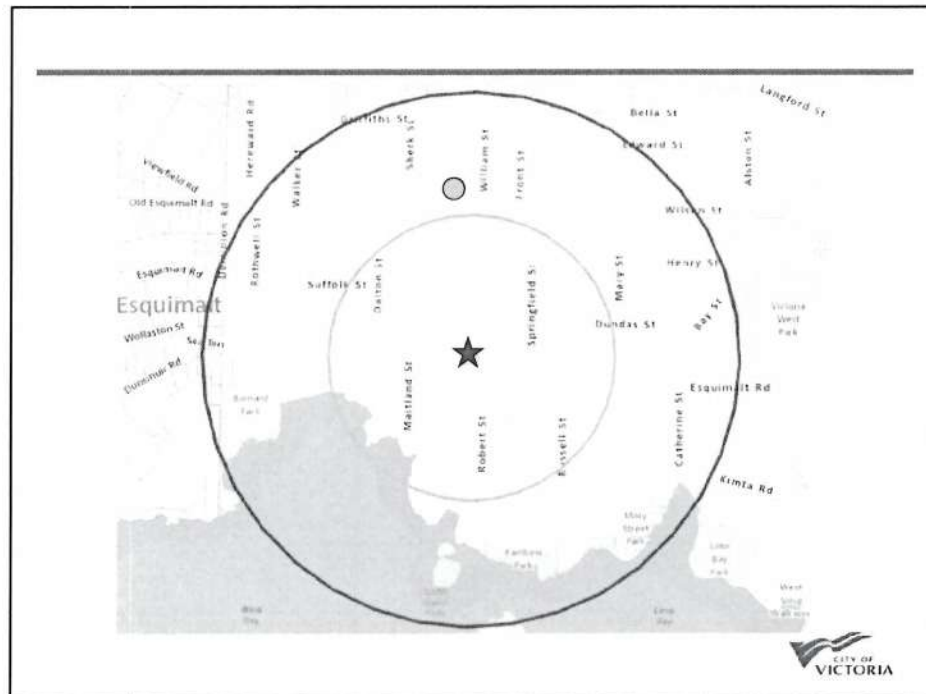
A handwritten signature in black ink, appearing to read 'Pat Warren', with a large, stylized flourish extending from the bottom of the name.

Rezoning Application for 608 Esquimalt Road









Pamela Martin

From: David Southern [REDACTED]
Sent: June 4, 2018 12:24 PM
To: Public Hearings
Subject: Zoning regulation bylaw, amendmen bylaw (no 1127) 18-060

Dear Council,

I wish to record my support for the zoning change for Lot A, Section 31, Esquimalt District Plan 40055 to permit a storefront cannabis retailer at 608 Esquimalt Rd.

This is an ideal location for such a business, being away from schools and in a mostly light-industrial area. The business is well-managed, responsive to the neighborhood and, as far as I'm aware, has created no problems since it has been opened.

Sincerely
David Southern
801-325 Maitland St, Victoria BC V9A 7E9

I'm happy to share my name & address, but would prefer my email address be kept confidential.

Pamela Martin

From: Joanne Robertson [REDACTED]
Sent: June 5, 2018 4:15 PM
To: Public Hearings
Subject: Zoning for 608 Esquimalt Road

Dear Madam or Sir,

Please allow the cannabis storefront to be re-zoned. It has been a pleasure having this business in the area and all the great people that are employed within.

Sincerely,

Joanne Robertson
703 Esquimalt Rd.

Pamela Martin

From: Joan [REDACTED]
Sent: June 5, 2018 4:33 PM
To: Public Hearings
Subject: RE zoning bylaw no 1127

RE: Zoning regulation Bylaw Amendment Bylaw No 1127 No.18-060

I live at 703 Esquimalt Rd., Princess Patricia Apts.

I do not want to see a Cannabis store put at 608 Esquimalt Rd., I do not like to see the Pineapple Express running there now, I DO NOT AGREE TO ANY CANNABIS SHOP BEING OPEN IN VICTORIA.

DO NOT APPROVE THIS.

Thank You
Joan Smith
[REDACTED]

Pamela Martin

From: Oliver Krupke [REDACTED]
Sent: June 5, 2018 9:49 PM
To: Public Hearings
Subject: Zoning Regulation Bylaw, Amendment Bylaw (No. 1127) No. 18-060

Regarding the application to rezone the land known as 608 Esquimalt Road.

I live at 23-333 Robert St and have lived here since 2006. I am across the street from this establishment and I have a balcony that overlooks the front door of 608 Esquimalt Rd.

Pineapple Express currently operates at this address and the establishment is well maintained and has a steady flow of clientele during their operating hours.

Retail success in this area has historically been difficult to achieve. Since Pineapple Express has been operating, there has been a noticeable increase in pedestrian traffic to the retailer. I feel that this provides a great benefit to nearby commercial operations, which include a dog-sitting establishment, a self-serve dog wash, a veterinarian, a catering business and automotive collision repair shop. I feel all these businesses stand to benefit from the increased consumer traffic that a marijuana establishment will bring to the area.

The clients that frequent Pineapple Express generally appear less troublesome and when compared to those at alcohol retailers in the area. I have never seen loiterers asking for handouts and only once did I witness a significant public disturbance at this location. I feel that the patrons who frequent 608 Esquimalt are generally less aggressive and more sober than those found around alcohol retail outlets in Vic West and Esquimalt.

I ask that my email address NOT be disclosed.

Thank you for taking the time to gather stakeholder perspective on this issue.

Oliver Krupke

Pamela Martin

From: louise potter [REDACTED]
Sent: June 6, 2018 3:08 PM
To: Public Hearings
Subject: Zoning RegulationBylaw,Amendment Bylaw (No. 1127) No. 18-060

Thank you for providing the opportunity for input on this proposal. I have an apartment at 325 Maitland and would not be in favor of having an Cannabis Store or Cannabis Zone in the area.

It's a nice quiet area with an lot of Seniors living all around the proposed location. I think it should not be located in a residential neighborhood. There are some other small business in the neighborhood but not any that might have an negative effect or add an detrimental element.

Thank you for your letter!!

Sincerely, Louise Potter

[REDACTED]

It's Your Neighbourhood



1 Centennial Square, Victoria, BC V8W 1P6 | 250.361.0571

June 1, 2018

The City of Victoria is seeking your input on the proposed changes to 608 Esquimalt Road:

Zoning Regulation Bylaw, Amendment Bylaw (No. 1127) No. 18-060

To rezone the land known as 608 Esquimalt Road from the M-2 Zone, Light Industrial District, to the M-2C Zone, Light Industrial (Cannabis) District, to permit a storefront cannabis retailer.

New Zone: M-2C Zone, Light Industrial (Cannabis) District

Legal description: Lot A, Section 31, Esquimalt District, Plan 40055

Existing Zone: M-2 Zone, Light Industrial District

NO
terminate

Anyone interested in the proposal is entitled to provide their comments at the Public Hearing which will be held at:

City Council Meeting

Date: Thursday, June 14, 2018

Time: 6:30 p.m.

Location: Council Chambers, Victoria City Hall, 1 Centennial Square, Victoria, BC

For those who are unable to attend, your input can be via mail, an email to publichearings@victoria.ca, or you can drop off your written feedback at Victoria City Hall to the City Hall Ambassador located to the left of the main entrance. Correspondence should be received by 11 a.m. the day before the Council meeting.

Please note that all correspondence submitted will form part of the public record and will be published in the meeting agenda. Your address is relevant to Council's consideration of this matter and will be included as part of the public record. If you choose to share your phone number and email address with us and wish that it not be disclosed, please let us know and we will ensure it remains confidential.

The online Council agenda, including relevant documents and information will be available on the City of Victoria's website at <http://www.victoria.ca/EN/main/city/mayor-council-committees/council-committee-meetings.html>. A paper copy of the Council agenda, including relevant documents and information may also be inspected at the Ambassador's Desk or Legislative Services, City Hall, 1 Centennial Square, Victoria, B.C. from the Monday prior to the meeting, up to and including the date of the Public Hearing, from 8 a.m. to 4:30 p.m., from Monday to Friday, excluding public holidays.

To follow the status of this application online, try our new Development Tracker at victoria.ca/devtracker. This tool will allow you to see milestones on the proposal, and view related documents and information.

I hope this is
the small form
is enough.

Turned Down.
The existing store
Sincerely,

J. Diane Huggins

Amanda Ferguson

From: Public Hearings
Subject: Re: Zoning change for 608 Esquimalt Road

From: Kenneth Mintz
Sent: June 11, 2018 9:50 AM
To: Public Hearings <PublicHearings@victoria.ca>
Subject: Re: Zoning change for 608 Esquimalt Road

Dear Mayor and City Council:

I wish to register my objection to the proposed amendment to allow a storefront cannabis operation.

As you well know, the selling of cannabis is illegal in Canada except for direct purchases from the manufacturer for medicinal purposes with approval from Health Canada.

This zoning amendment clearly violates the Canadian Criminal Code; by permitting the sale of cannabis makes the City of Victoria a party to the offence:

21. (1) Every one is a party to an offence who

- (a) actually commits it;*
- (b) does or omits to do anything for the purpose of aiding any person to commit it; or*
- (c) abets any person in committing it.*

Apart from this illegality, what message does the action of City Council give to the populace? No respect for the laws of the land, which can lead to a breakdown of civilized society.

I will not vote for any councillor (or mayor) who votes for this amendment and will encourage everyone I know to do likewise.

Sincerely,

Kenneth J. Mintz, Ph.D.

703-399 Tyee Rd.

Amanda Ferguson

From: Public Hearings
Subject: rezoning bylaw (no.1127) no 18-060 , 608 Esquimalt rd

From: Tom Deveau
Sent: Monday, June 11, 2018 7:20 AM
To: 'publichearings@victoria.ca'
Subject: rezoning bylaw (no.1127) no 18-060 , 608 Esquimalt rd

I am against this re-zoning, it is mostly surrounded by residences.
They must not be located within a 300 meter radius of a school.
Why does this rule not apply to where children live?

I wish my personal info to remain confidential
Thomas Deveau

Amanda Ferguson

From: Public Hearings
Subject: Zoning Regulation Bylaw. Amendment Bylaw (No 1127) No. 18-060

From: janko Shea
Sent: June 10, 2018 9:52 PM
To: Public Hearings <PublicHearings@victoria.ca>
Subject: Zoning Regulation Bylaw. Amendment Bylaw (No 1127) No. 18-060

We are the property owners for the following properties

5-626 Esquimalt Road, Victoria, BC
6-626 Esquimalt Road, Victoria, BC
11-626 Esquimalt Road, Victoria, BC

We are totally against the application from 608 Esquimalt road to change the zoning from M2 to M2C Light Industrial (cannabis) District

We would not like to share our email address or phone number and neither to disclose to others.

Regards

Property Owners:

Paul J. Hsieh
Cindy C. Hsieh

Pamela Martin

From: Shirley Halliday <shalliday@crd.bc.ca>
Sent: June 13, 2018 2:15 PM
To: Public Hearings
Subject: CRD Response - Referral - Zoning Regulation Bylaw, Amendment Bylaw (No. 1127) No. 18-060_Storefront Cannabis Retailer

Hello City of Victoria,

Please accept the attached as the CRD's response to Referral - Zoning Regulation Bylaw, Amendment Bylaw (No. 1127) No. 18-060_Storefront Cannabis Retailer. Let me know if you have any questions or concerns.

Here is Regional Parks' response to this referral:

The subject property is adjacent to the E&N Rail Trail which is one of the CRD's Regional Trails. The E&N Rail Trail corridor is owned by Island Corridor Foundation (ICF) and the ICF may have an interest in this rezoning proposal.

The CRD's Regional Trails Management Plan (RTMP), approved by the CRD Board in November 2016, provides policy direction regarding adjacent development to ensure any development enhances the trail corridor, or at a minimum, does not negatively impact the trail corridor. This direction is also considered in the case of rezoning. Prior to approving a rezoning, the CRD requests that the City of Victoria ensure that:

- Adequate setbacks from the property line and/or barriers to ensure that no encroachments could occur from the subject property to the regional trail corridor;
- No negative drainage impacts or new drainage flows should be directed from the subject property on to the regional trail corridor;
- No new/additional accesses will be developed from the subject property to the E&N Rail Trail corridor without the prior written approval of CRD Regional Parks and the ICF.

For reference and consideration, Section 2.4.7 (Adjacent Land Use) is provided below from the RTMP.

The CRD Clean Air Bylaw also prohibits the burning of any substances, including cannabis, in any public space including Regional Trails. Smoking is also prohibited within seven (7) metres of doorways, windows, and air intakes of publicly accessible buildings including businesses.

Section 2.4.7 – Adjacent Land Use

The CRD will work with municipalities and developers to ensure that adjacent developments enhance the trail corridor and/or do not negatively impact the trail corridor.

The following criteria, along with comments specific development, will be used to advise landowners, developers and municipalities about regional trail interests relating to development proposals on lands adjacent to the regional trails:

- Where regional trail corridors are owned by others (e.g. the Province, municipalities, Island Corridor Foundation), the CRD will recommend that the proponent also contact the corridor landowner regarding the proposed project;
- In the interests of public safety, no new road crossings of existing regional trails should be permitted;

- No negative drainage impacts or new drainage flows should be directed onto or be created within the trail corridor;
- Temporary property boundary fencing should be required prior to any construction occurring;
- During construction, no encroachments on the trail corridor should occur without prior written approval and permitting from the CRD and closure of the trail will not typically be permitted.
- No permanent encroachments on the trail corridor should occur without written approval and/or appropriate tenure from the trail corridor owner.
- Consideration should be given to whether the development provides opportunities to expand or enhance the regional trail system;
- No individual residential or commercial accesses should be developed to the trail without prior written approval of the trail corridor landowner and the CRD;
- Natural vegetative buffers on the adjacent lands should be maintained wherever possible. Where this is not possible, native vegetation or fencing along the property line should be required to maintain the greenway character of the trail corridor or to minimize potential for creation of individual accesses to the trail corridor;
- A CRD park use permit is required in advance if any work needs to be undertaken from/within the trail corridor.

Best regards,
Shirley

Shirley Halliday

Senior Administrative Secretary,
Real Estate Services

Capital Regional District

625 Fisgard Street, Victoria, BC, Canada V8W 2S6
T: 250.360.3176 | E: shalliday@crd.bc.ca

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Pamela Martin

From: Donald Weston [REDACTED]
Sent: June 13, 2018 10:43 AM
To: Public Hearings
Subject: Rezoning M-2C Zone, Light Industrial (Cannabis) District

I am NOT in favour of this rezoning. The area is populated with young families and just down the road is higher end Condos. I believe this establishment would bring in more crime into the area and with a Veterinary Clinic next door would invite break-ins looking for more drugs. There is enough Cannabis shops throughout Victoria, even though it is still illegal, that we DO NOT need another!
I wish my address and phone number remain confidential . Thank You.

Pastor Donald Weston MMM CD

[REDACTED]
[REDACTED]
[REDACTED]

Pamela Martin

From: [REDACTED]
Sent: June 13, 2018 3:09 AM
To: Public Hearings
Subject: Input on changes to 608 Esquimalt Road

This is the input on the proposed changes to 608 Esquimalt Road. Unfortunately, we are unable to attend the Public Hearing at City Council Meeting on Thursday, June 14, 2018, but we hope that our opinion does matter.

My family and I live at 310 Robert Street, right across Esquimalt Road from building 608. In the mornings, scary-looking individuals who have lost their decent appearance due to drugs/ alcohol consumption, gather near this cannabis retailer, making us feel unsafe and unsure that no heavy drugs are pushed there. We are categorically against the propaganda and sale of any drugs including marijuana, especially, in our neighborhood.

Sincerely,

[REDACTED]

P.S. Please, keep my name and email address confidential.

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the M-2C Zone, Light Industrial (Cannabis) District, and to rezone land known as 608 Esquimalt Road from the M-2 Zone, Light Industrial District to the M-2C Zone, Light Industrial (Cannabis) District.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1127)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of Schedule “B” under the caption PART 7 – INDUSTRIAL AND SERVICE ZONES by adding the following words:

“7.58 M-2C, Light Industrial (Cannabis) District”

- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 7.57 the provisions contained in Schedule 1 of this Bylaw.
- 4 The land known as 608 Esquimalt Road, legally described as Lot A, Section 31, Esquimalt District, Plan 40055 and shown hatched on the attached map, is removed from the M-2 Zone, Light Industrial District, and placed in the M-2C Zone, Light Industrial (Cannabis) District.

READ A FIRST TIME the **24th** day of **May** 2018

READ A SECOND TIME the **24th** day of **May** 2018

Public hearing held on the day of 2018

READ A THIRD TIME the day of 2018

ADOPTED on the day of 2018

CITY CLERK

MAYOR

PART 7.58 – M-2C ZONE, LIGHT INDUSTRIAL (CANNABIS) DISTRICT**7.58.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Uses permitted in the M-2 Zone, Light Industrial District; and
- b. Storefront cannabis retailer provided that only one storefront cannabis retailer is permitted to operate on a single lot.

7.58.2 Size & Location of Uses

A storefront cannabis retailer must:

- a. not occupy more than 105m²; and
- b. be located on the ground floor.

7.58.3 Parking

- a. One parking stall shall be provided for each 52m² of floor area for a storefront cannabis retailer.
- b. Except as provided in paragraph a., the parking requirements in Schedule “C” apply.

7.58.4 General Regulations

- a. Subject to the regulations in this Part 7.58, the regulations in the M-2 Zone, Light Industrial District apply in this Zone.

Dear Mayor and Council,

My name is Sheila Potter. I live at 931 Pembroke St, and I am part of a group called Victoria Friends of Central Park. We are concerned that Central Park users are not being properly accounted for in the project-planning for Crystal Pool, and the park itself is not being properly valued.

I want to start by saying that I am big fan of council and all the hard work you do. Also, we're excited for a new Crystal Pool and love the work that is being done to the design. Finally, we accept the downsides, like construction noise for years, extra traffic on our street, a bigger building, higher taxes and other needs that will go unmet because of the priority of the pool.

However, we are really loath to see destruction of green space in the core of the city go towards parking. And we are not convinced that it makes good sense to move the building over and destroy the current park. We are baffled that the cost of replacing the park and losing greenspace is not part of the calculation for moving the pool.

We believe that the planning and consultation has been too pool-centric. You've asked current pool users what they would like, and then built your plans around their requests without considering the full cost to the community.

Over the past 3 weeks, we've talked to about 325 people in the park. Most everyone was aware of the plans to rebuild, but only 5 people were aware that the pool was going to move over and the park destroyed. One of those people worked at the pool. When asked if losing green space is worth parking, people said no way. If you ask if non-interruption of service to swimmers is worth losing this particular park, they also said no. We have here 305 signatures of people who say they support saving the park in its current location, and do not support surface parking, and do not mind interruption of service to swimming. In fact, most people expected interruption of service, so that was not a hard sell.

On June 2, we joined the city of Victoria Parks and Recreation staff at the North Park Neighbourhood Association street party to begin engaging people about what they want as a priority for Central Park's potential re-build. To start the conversation about why we were seeking input to a new park, we had to explain that the Crystal Pool building was moving, and that the 1/3 of the current greenspace could become parking or subsidized housing. (I'm counting the portion from the basketball courts to the softball diamonds on the south side of the park, since the current plans call for up to 140 parking spaces to go in the hole created by the old pool) Some people told us they had joined the city's engagement sessions, but were frustrated because the city's questions were so constrained to the pool that they had no opportunity to voice concerns over land-use. People told us they feel patronized, like they were toddlers given the choice of choosing the colour of the medicine you want them to drink.

The conversation is more illuminating if instead of asking people what kind of a pool they want, you ask them to rank their priorities and what they'd be willing to lose: greenspace, 50-m pool, ease of parking, current park, interruption of service, subsidized housing. I'm here to report that you might be surprised at the public's views on this. First, people are incredulous about the parking. Next, they say if the city reduces green space, it will never come back. This was demonstrated by Mayor Lisa Helps comments in

the *Times Colonist* about her suggestion to build low-cost housing. She said that you might as well put a complex there, "Especially when that footprint would be for parking anyway." I'm not faulting the mayor for an interesting and laudable suggestion, but I think this shows the principle: The park is not even gone yet, and the impediment to development is diminished. Ask yourself, can you sell this if you say, "let's build housing on this playground."

I love the park. I can witness from my window that it is used from 6:30 in the morning all year round. The southern exposure invites families in the winter. I don't have to tell you it is vibrant, multicultural, and the mix of activities especially suits parents with small children. I estimate that at any time, there are about 10 people in it, so more than 43,000 people a year visit it. I can see user groups who you have not consulted: seniors doing Tai Chi and other martial arts, summer camps, daycare groups, local schools, boot-camps, tennis players and instructors, pick-up basketball and parents.

Finally, during the time you've been planning the pool, there has been a welcome influx of an Arab community. Years ago I travelled to Syria, and one of my fondest impressions of that country were these lovely public walkways in places like Damascus and Palmyra, where families with small children liked to go on a promenade in the early evening, seeing and being seen and greeting neighbours. I am beyond heart-warmed to see that developing here in our park.

I believe that you don't always luck out with a public space this way. City planners dream about and fail at designing the urban cool that you've achieved with the Steve Nash court, which is a ready-built youth zone. You can't just and fill in the hole on the back of the building (the North side) without the lovely trees and be able to re-create this, especially if you take most of it for parking.

The reason given for moving the building over seems short-sighted in the extreme – no interruption to swimming service. It is understandable that swimming clubs might request that, but I believe it is too much of a luxury to provide when it comes at the price of destroying this public space.

Where ever the building goes, the overall greenspace should not be diminished. We are talking millions of dollars of precious green space in an area slated for density. This is not planning for the future. I think the citizens I met on Saturday are right – once it is gone, it will never come back.

I truly feel bad that council has proceeded with much planning, and is maybe taken by surprise by this opposition, just as we were surprised at the park situation. However, this could have been avoided with direct mailing to neighbours and signage, like the kind you enforce for developers, which made the losses more clear to neighbours, and your planning de-risked. In the last week, the city staff has realized that this process was flawed and are beginning to put signage up in the park and solicit information about what people like about the park. However, like the open houses for the pool, citizens will be constrained. They can only have input to a process that will begin after the Crystal Pool is built. Council's decision to move the pool seems to have been made without an honest try at gauging public value of the park.

Given this oversight into the value of the park and true cost of the pool, I'm asking council to re-consider rebuilding the pool on its current site, with paid parking above or below the pool. I understand this

means interruption to pool user service, but this loss is offset with uninterrupted service to the park, and the value of the green space to the future generations when the new Crystal Pool is old and crumbling.

Yours sincerely,

Sheila Potter

Dear Mayor and council,

I support saving Central Park instead of building a new pool on top of it, and expanding a parking lot where the old pool was. I prefer saving the park as it is, even if that means no swimming here while the city tears down the old pool to build the new pool on its current site. I support the creation of a public consultation process that proactively engages all effected user groups.

Name	Neighbourhood	Email or phone (optional)
Anny Calunilo	Quadra	
Greg Kembail	Colwood	
Deirdre Gotto	Quadra	
ALLAN GALLUPE	Quadra	
David Rose	North Park	
Brandi Foster	North Park	
Laurena Jobe	Fernwood	
Sheana Jackson	Quadra	
Cassie Harker	North Park	
DARREN MARR	NORTH PARK	
Louise Negri	Quadra	
Jamila Cruz	Fernwood	
SHELLEY BAART-GAYLOR	FERNWOOD	
Brett Gaylor	Fernwood	
MARK VAN ARMAN	FERNWOOD	
TODD DOWD	N. PARK	
Mel Groves	North Park	
Felix Jensen	N. Park	
Tanya Ledue	North Park	
Jen Kyffin	North Park	

X 88
60

Dear Mayor and council,

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Name	Neighbourhood	Email or phone (optional)
Chris Fisher	Quadra Village	
Outreach Services	Gorge Rd	
Jen Thorndale	Cook St. Village	
Preston Bird	Fernwood	
Cliff Taylor	Fernwood	
Frank Stutler	Fernwood	
Mike Soper	Fairfield	
Carrie Parsons	Oak Bay	
Sheena Sommers	Vic West	
Lucy Paga	Seclan town	
Monika Lindgren	Shawnigan	
Gail Smith	Fairfield	
Curtis Smith	Victoria	
D. Maris Brix	Saanich	
Andrew Brix	Victoria	
Julie Berthiaume	Victoria	
Sophie Lalonde	Victoria	
Denise Ellen	Vernon	
Sebastien Michaud	North Park	
Kev Ram	Gordon Head	
MARUSSA CHAP	Downtown Victoria	
Elle Hall	Downtown Victoria	
Kevin Lee	Oak Bay	
GRANDE LE COCH	Oak Bay	
Chita Loring	280 FERGUSON	
Ken Chang	Victoria	
Roy Yang	Victoria	
Jack Wu	Victoria	
Wes Carroll	Victoria	
Jesse Siemann	Victoria	
Brett Schermann	Victoria	
Leshauna Ingram	Quadra Village	
Vanessa Bradley	Quadra Village	
Ilse Kilan	Quadra Village	
JESS KOSIATOK	QUADRA VILLAGE	
Julie Gennai	North Jubilee	
Miguel Gutierrez	Quadra	

Dear Mayor and council,

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name	Neighbourhood	Email or phone (optional)
DANIEL STRICKLAND	CRANW	
Olivia Sibianova	Fernwood	
Liliid Shlyter	Victoria	
MATTHEW Love	VICTORIA	
COLTON HYLAND	VICTORIA	
Maheen Arif	Victoria	
Hanadi Ponsford	Victoria	
Jafia Ponsford	Victoria	
Aleena Ponsford	Victoria	
TATIANA Shlyter	Victoria	
Evan Sinclair	Victoria	
Lauren Wright	Victoria	
Lucas Taylor	Fernwood	
Hannah DaSilva	Vic West	
Andrew Fortune	Victoria	
Irene Fischer	Pembroke St. Victoria	
Mark Hall	Pembroke St Vic	
Gwyneth M. Hall	Vancouver	
Dorothy Ghee	North Park	
Jessica Hallman	North park	

2

12

Dear Mayor and council,

I support saving Central Park instead of building a new pool on top of it, and expanding a parking lot where the old pool was. I prefer saving the park as it is, even if that means no swimming here while the city tears down the old pool to build the new pool on its current site.

name	Neighbourhood	Email or phone (optional)
Eric Hallman	North Park	
Andrew/Kincaid	North Park	
JODI SIGSWORTH	NORTH PARK	
David cardinal	vic west	
Tracey Cardin	vic west	
Wendy Macdonald	Fernwood	
Sandy Cagoco	Courtney	
Kent Mendez	Courtney	
Jason Chen	Cedar Hill	
Frank Ruckay	Downtown	
JARED WALSH	Downtown	
VIOLET VICE	Downtown	
Jon Belliveau	James Bay	
Alyssa Hansen	Langford	
Guangya Chen	Royal oak	
NESAR		
Jawad Abazid		
AlBaraa AlHamsi		
Qais Abase		
Amer Al Hasi		

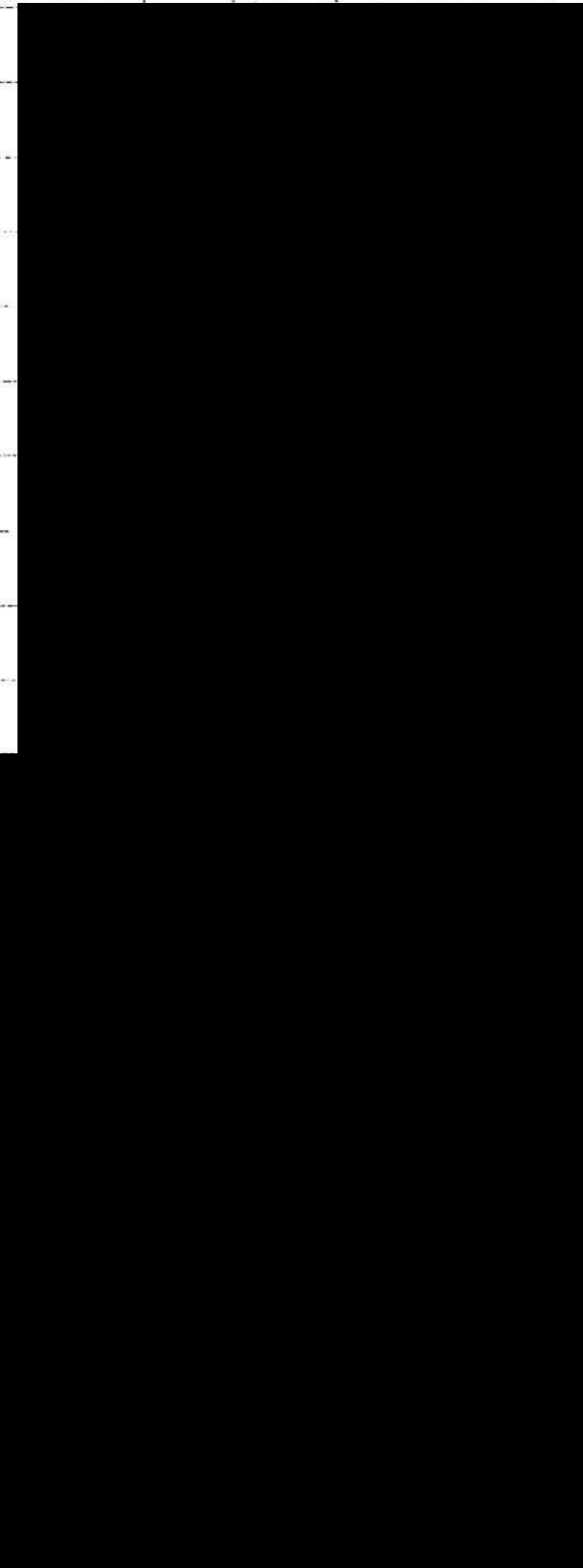
Dear Mayor and council,

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Name	Email or phone (optional)	Neighbourhood	Email or phone (optional)
Sydney Chan		Victoria	
Holly Smith		Fairfield	
Alea Miller		Quadra Village	
Lily Krantz		Quadra Village	
Zoe Bider		Quadra Vil	
Dalix Elder		Quadra vil	
Maurits Vos		Quadra Village	
Fahaci			
Eric Lowe		Quadra Village	
Eric Tindberg		Victoria	
Bob Mentzel		Victoria	
Peter Chan		Saanich	
Trl Mapanoo		Quadra	
Augustin Chew		Victoria	
Wigfried AKAKPOVI		Quadra	
Andrew Higgins		Quadra	
T/1/15 K. HOFER			
Daniel Delong		Saanich	
Joe Diaz		Victoria	
Dogs Agard		Victoria	
Mr. Rosales		Mr. Rosales	

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Name	Neighbourhood	Email or phone (optional)
Takumi Adachi	Esplanade Ave	
Jonathan McKenzie		
Michael Lopez		
Jeremy Speller		
Graydon Martin		
Muhammad Mawana	View Royal	
Hassan Mohamed		
Da House		
Dan Piacente		
Kirk Burger		
Marshall Teichrob		
MICHAEL CHERNOFF		
Tessa Ives		
Bryan Elder	Esquimalt	
Daniel	Downtown	
Ashton Meuser	Quadra	
Jen Brown		
Mantes Bonifacio	McKenzie	
PEYDALDO PINEDA	McKENZIE	
Caridad Pineda	-do-	
Pichmond Pineda	McKenzie	

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Name	Email or phone (optional)	Neighbourhood	Email or phone (optional)
JESSE GIBSON		NORTH PARK	
Brian Cameron		✓	
Jos Soto		✓	
ANARA A.		NORTH Park	
Rimma A		NORTH PARK	
Michael Moss		u u	
Kevin Widdrich		Saanich	
Emilia Frederich		Saanich	
BRYAN RINGHEIM		SAANICH	
Nick Fairbanks		Victoria	
Kurtis Ritchie		Victoria	
Alex		YU	
Kat Palmateer		Quadra	
Kara Taylor		Esquimalt	
Colin Roberts		LeKungen Esquimalt Victoria	
ALAN TURK		VICTORIA	
M. Dodd		Esquimalt	
WILLIAM ALBRESS		FERWOOD	
SABATIER Anthony		Victoria	
Gillian Jefferson		ferwood	
DALEEN BLEGGEN		VICTORIA WESTSIDE	

Dear Mayor and council,

I support saving Central Park instead of building a new pool on top of it, and expanding a parking lot where the old pool was. I prefer saving the park as it is; even if that means no swimming here while the city tears down the old pool to build the new pool on its current site. I support the creation of a public consultation process that proactively engages all effected user groups.

Name	Email or phone (optional)	Neighbourhood	Email or phone (optional)
Vest Arnoldo			
Danrelo Dominguez			
Alex Orona			
Kyle Cepilla			
Daniel Prieta			
Carlo Samson			
Seth Brooks		Quadrant + Hillside	
Gabriel Dault		Quadrant + McKenzie	
Ante Chu		Gordon Head	
FILIPPO		CALL BAY	
Leah Hunt		Gordon Head	
Hannah Deng			
AMIR HADJI		GORDON HEAD	
Fate			
Earl Velasco		Shelbourne	
daigo watanabe		Lunich	
Ryo Hagiwara		Sunich	
Bryan Lucas		North Park	
Almi Lucas		North Park	
Fulton Hagreen		Quadrant + Hillside	
Abdullah Khany		Quadrant Village	

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Name	Email or phone (optional)	Neighbourhood	Email or phone (optional)
Carolyn Barlee		Crystal Peak	
Tracey Hamm		James Bay	
Stacey Sinclair		Esquimalt	
Joel Hamm		James Bay	
Jeff Doyle		Terrwood	
Tyrone Tina		Pembroke	
Angel Liao		James Bay	
Primo Mergal		Victoria	
Niall Murphy		Saanich	
Nick Stewart		Saanich	
Brendan Smith		Victoria	
Ker			
Therese W.		Quadrant/hillside	
Yu Okazaki			
Risako Sugawara			
Yuli Kim			
Singh Sidh		Downtown	
Ben Pettit		Gordon Head	
Paul Michael Pelletier		Nikeville area	
Mia Angus.		Brentwood Bay	
Katsuko Angus		Brentwood Bay	

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Name	Neighbourhood	Email or phone (optional)
WILL OLSEN		
Camryn Chayer		
Melochy Baker		
Angela Campbell		
Peter Dowse		
Matt Sutherland		
Aurora Hernandez		
Max Stewart	Saanich	
Eylan Gayer	Saanich	
Connor Gayer	Saanich	
Akins Smith	Victoria	
Johan McLeah	Victoria	
LEO PINSONNAULT	SAANICH	
Adam Eardley	Victoria (Oceans)	
Taylor Chan	Victoria	
Aaron Wang	Victoria	
Joshua Smith	Victoria	
Nico Pogi	Victoria	
Jydes Maniebo	Victoria	
Scott Kwan	Victoria	

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Name	Email or phone (optional)	Neighbourhood	Email or phone (optional)
Sean Kahil		North Park	
Hawa Diallo		Quadra Village	
Gary Dawson & his		Caledonia mark st	
Sasha H		Quadra Village	
Robert W.		Quadra village	N/A
Eric W		Quadra Village	
Everlie		Quadra Village	
Nini Vega		" "	
Zhk Benjamin		" "	
Faye Blackburn		James bay	
Nicole Gagnon		Quadra Village	
Marnie Dangerfield		Saanich	
Anna Vashuraka		Fernwood	
Kelly McFinn		Quadra	
DAVE SPENCE		Langford	
Erica Fortado		Quadra	
Cheryl Salmon		Saanich	
K + Dence		" "	
Lisa Sahlas		Oak Bay	
Carolyn Gistome		North Park	

Dear Mayor and council,

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Name	Neighbourhood	Email or phone (optional)
Shakira K.		
Everli de Caballero		
Keir Pon		
Imen Kohn		
Gita John-Dyran		
Nabeela		
in 23		
Rafael		
h. 559		
Zino		
toufik		
MM	V8T 2J5	
AMIA L MASHA		
Jamie		
NE2 H2	V8X 1V2	
Jessica		
Matthew		
Kevin		
Jeff Elom	V8T 3Y6	
Steven Chau		
ALF		

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Name	Neighbourhood	Email or phone (optional)
Maya Cardinal	vic west BC	[REDACTED]
Sophia Kachil	North park	
Sheik Potter	North park	[REDACTED]
Brooke Gallupe	North Park	
Victor FEED	Vancouver	[REDACTED]
JENEMIAH ANUSMONG	NORTH PARK	
CHIARA ARRIGONI	NORTH PARK	[REDACTED]
Dennis Marchand	Bay Deeng	
Alam Sidhu		[REDACTED]
Raymarx Dalagu		
Ryan Conway	DT	[REDACTED]
James Bowen	Quarha St	
Channah Sandell	SAANICH	[REDACTED]
Rob Rao	NORTH Park	
Mohanta Ahnua	Brentwood Bay	[REDACTED]
Abdulmomin	Quadra village	
Jaamal Yusuf	Gordon Head	[REDACTED]
Keneto Andales	North Park	
Reilene Edwards	Gordon Park court	[REDACTED]
Sandra Dunkin	Downtown	
BILLY ALDPRESS	FERNWOOD	[REDACTED]
Victoria Lee	North Park	

Dear Mayor and council,

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Name	Neighbourhood	Email or phone (optional)
Jon Leney	Gorge	
Kris MacLellan	North Park	
Weggenkot.	North Park	
Chengjian Wen	Yafen Mu	
Nikici Moir	Quadra	
Justin Callasec	Quadra	
Candice Rausen	raysken	-
Kiozi Masala	James Bay	
Graeme Bernier	Quadra Village	
Georges Bernier	Quadra Village	
Charles A. Mafos	Cook Village	
Dax Bastillo	Fairview Rd	
MARKE BASTILLON	Essex St.	
Terod Lesosak	North Park	
Missy Pangan	Quadra Village	
Kylie Nelson	James Bay	
Stephen Mackay	Fairview	
Dana Nelson	Esquimalt	

Dear Mayor and council,

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[illegible]

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[illegible]

I support saving Central Park instead of building a new pool on top of it, and expanding a parking lot where the old pool was. I prefer saving the park as it is, even if that means no swimming here while the city tears down the old pool to build the new pool on its current site.

[illegible]



Council Report

For the Meeting of June 14, 2018

To: Council **Date:** May 15, 2018
From: Chris Coates, City Clerk
Subject: Correction of Minutes from the January 11, 2018 Meeting

RECOMMENDATION

That Council:

1. Correct the January 11, 2018 minutes as outlined in Attachment B; and
2. Adopt the January 11, 2018 minutes as corrected.

EXECUTIVE SUMMARY

The minutes from the January 11, 2018 Council Meeting were adopted by Council on March 22, 2018, but it has since come to staff's attention that there is an error that should be corrected to accurately reflect an approved motion.

The error occurred on pages 16 and 17 of the Council Minutes, with respect to the Committee of the Whole report from the January 4, 2018 meeting. Under *Proposed Adjustments to the Draft 2018-2022 Financial Plan*, and the topic of *Managing Green Spaces*, the additional direction: 'And direct staff to report back at the end of summer 2018 on the budget expenditure to date' was incorrectly added to points "b" through "d", as follows:

Managing Green Spaces:

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

- b. High Risk Tree Removal \$150,000

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

- c. Pioneer Square Archaeological Reporting \$37,000

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

- d. Downtown Public Realm Plan Implementation \$105,000

When it should have been assigned to point "a", as follows:

Managing Green Spaces:

- a. Overnight Sheltering – Support and Clean-up \$200,000

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

After investigating this issue, staff confirmed that the Committee of the Whole report to Council was correct, as follows:

14. Managing Green Spaces:

- a. Overnight Sheltering – Support and Clean-up \$200,000

And direct staff to report back at the end of summer 2018 on the budget expenditure to date.

- b. High Risk Tree Removal \$150,000

- c. Pioneer Square Archaeological Reporting \$37,000

- d. Downtown Public Realm Plan Implementation \$105,000

The intention being that staff report back only for item # 14a: 'Overnight Sheltering – Support and Clean-up \$200,000'.

The proposed, corrected minutes are included as Attachment B.

Respectfully submitted,



Christine Havelka
Deputy City Clerk



Chris Coates
City Clerk

Report accepted and recommended by the City Manager:

Date:


June 7, 2018

Attachment A: January 11, 2018 Minutes, as adopted

Attachment B: January 11, 2018 Minutes with proposed correction



MINUTES – VICTORIA CITY COUNCIL

REPORTS OF COMMITTEES

1. Committee of the Whole – January 4, 2017

1. Proposed Adjustments to the Draft 2018-2022 Financial Plan

Motion:

It was moved by Councillor Thornton-Joe, seconded by Councillor Lucas, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

- a. Overnight Sheltering – Support and Clean-up \$200,000

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, Lucas, Madoff, and Thornton-Joe
Opposed: Councillor Young

Motion:

It was moved by Councillor Alto, seconded by Councillor Coleman, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

- b. High Risk Tree Removal \$150,000

Carried Unanimously

Motion:

It was moved by Councillor Madoff, seconded by Councillor Coleman, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

- c. Pioneer Square Archaeological Reporting \$37,000

Carried Unanimously

Motion:

It was moved by Councillor Madoff, seconded by Councillor Thornton-Joe, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

- d. Downtown Public Realm Plan Implementation \$105,000

Carried Unanimously



MINUTES – VICTORIA CITY COUNCIL

REPORTS OF COMMITTEES

1. Committee of the Whole – January 4, 2018

1. Proposed Adjustments to the Draft 2018-2022 Financial Plan

Motion:

It was moved by Councillor Thornton-Joe, seconded by Councillor Lucas, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

- a. Overnight Sheltering – Support and Clean-up \$200,000

And direct staff to report back to report back at the end of summer 2018 on the budget expenditure to date.

Carried

For: Mayor Helps, Councillors Alto, Coleman, Isitt, Loveday, Lucas, Madoff, and Thornton-Joe
Opposed: Councillor Young

Motion:

It was moved by Councillor Alto, seconded by Councillor Coleman, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

- b. High Risk Tree Removal \$150,000

Carried Unanimously

Motion:

It was moved by Councillor Madoff, seconded by Councillor Coleman, that Council approve the following **one-time allocation** of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

- c. Pioneer Square Archaeological Reporting \$37,000

Carried Unanimously

Motion:

It was moved by Councillor Madoff, seconded by Councillor Thornton-Joe, that Council approve the following one-time allocation of the remaining estimated \$2.9 million 2017 surplus:

Managing Green Spaces:

- d. Downtown Public Realm Plan Implementation \$105,000

Carried Unanimously



May 11, 2018

Ref: 235596

Her Worship Mayor Lisa Helps
City of Victoria
1 Centennial Sq
Victoria BC V8W 1P6

MINORIS OFFICE

1000-1000-1000

VICTORIA, B.C.

Rick Hansen
Founder and Chief Executive Officer
Rick Hansen Foundation
300-3820 Cessna Dr
Richmond BC V7B 0A2

Dear Mayor Helps and Mr. Hansen:

Thank you for your letters of April 6, 2018, and April 18, 2018, providing an update on the City of Victoria's Crystal Pool and Wellness Centre Replacement Project. I am pleased to learn that the City is working closely with the Rick Hansen Foundation. Together, I am confident that you will be able to achieve your goal of creating an innovative project guided by barrier-free accessibility. I apologize for the delay in responding.

I also want to acknowledge and congratulate you on the success in securing conditional approval for \$6 million dollars through the Gas Tax Strategic Priorities Fund for this project.

As you are aware, the Province of British Columbia has recently signed the integrated bilateral agreement with the federal government for the Investing in Canada Plan (ICIP). The ICIP will provide opportunities for British Columbia communities to apply for new project funding, a valuable tool which will support long-term economic growth, the advancement of sustainable communities, and continued movement to a low carbon, green economy.

The ICIP is separated into multiple streams providing funding opportunities for green infrastructure, recreation facilities, cultural programs and projects in British Columbia's rural and northern communities.

The Crystal Pool and Wellness Centre Replacement Project will be eligible under the Community, Culture and Recreation stream (CCR). This funding stream supports projects that increase access to recreation and cultural facilities and that improve civic engagement. It is encouraging that the City's current plan has put such a strong emphasis on serving all members of the community, including vulnerable citizens.

.../2

Programs within the ICIP are currently under development, as such, project approvals are not expected to be finalized this fiscal year. Program specific information regarding funding options and criteria will be made available later this year. All local governments will be notified directly once timelines respecting the funding streams becomes available.

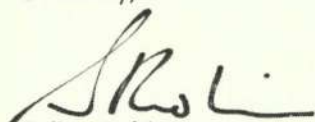
I appreciate that time is of the essence for this project as the City would like to commence construction in 2018; however, I must also emphasize that projects that award tender prior to funding approval are ineligible for program funding.

In your follow-up letter, you have indicated that the City has no plans to initiate a referendum on external borrowing. While the City has the authority to make such a decision, large-scale projects that demonstrate both public and financial support through a referendum (or some form of public approval process) are identified as lower risk under the program assessment.

I understand that City staff have already discussed this proposed project with the Ministry's Local Government Division. I encourage City staff to continue to contact Brian Bedford, Director, Infrastructure and Engineering, Local Government Division, by telephone at: 778 698-3232, or by email at: Brian.Bedford@gov.bc.ca.

Thank you again for writing.

Sincerely,

A handwritten signature in black ink, appearing to read 'SR', with a stylized flourish at the end.

Selina Robinson
Minister

pc: Brian Bedford, Director
Infrastructure and Engineering
Local Government Division
Ministry of Municipal Affairs and Housing



MAY 14 2018

MAYOR'S OFFICE

1109000

Her Worship Lisa Helps
Mayor of the City of Victoria
1 Centennial Sq
Victoria BC V8W 1P6

MAY 17 2018

VICTORIA, B.C.

Dear Mayor Helps: *Lisa*

Thank you for your letter of February 21, 2018, acknowledging the positive results of the British Columbia Farmers' Market Nutrition Coupon Program in Salmon Arm in 2017. Simply put, I could not agree with you more about the benefits of the Farmers Market Nutrition Coupon Program.

On that note, our government is not only continuing to support the program, but also expanding it. Specifically, we are increasing its budget by three quarters of million dollar to fund the first increase to the coupon's value since its inception, and to increase the number of participants.

As a result, the total amount of the BC Farmers' Market Nutrition Coupon will increase by nearly a hundred dollars, from \$240 per participant household to \$336, provided in weekly coupons for four months. By March 2020, the number of expectant mothers participating in the program will also increase by 450, and the number of participating households is expected to rise from 3708 to 4,158.

The Honourable Lana Popham, Minister of Agriculture, and myself are thrilled to increase its positive impact on families and local food producers and promote our agriculture sector. We know that this additional investment will pay off dividends in terms of promoting population health, food security and the local economy.

This decision reflects both our long time commitment to this program, and strong support for this program articulated by municipalities, farmers markets, participants and community partners across the province.

Yours sincerely

Adrian Dix
Minister

pc: Honourable Lana Popham, Minister of Agriculture
Ms. Wylie Bystedt, President, BC Association of Farmers' Markets



May 16, 2018

Ref: 235058

Her Worship Mayor Lisa Helps
City of Victoria
1 Centennial Square
Victoria BC V8W 1P6

VICTORIA, B.C.

Dear Mayor Helps:

Thank you for your letter regarding homelessness and affordable housing in Victoria. I apologize for the delay in responding.

I appreciate the work that the City of Victoria is doing to address homelessness, increase adequate housing supply and supports in the community. These issues are complex and require dedication, innovative thinking and partnership among governments and community groups.

The Province of British Columbia, through BC Housing, has been working closely with the City, non-profit housing partners, the Victoria Police Department, Island Health and members of the community to assist those struggling with homelessness. I am pleased that through these partnerships we have worked together to take action to create additional housing with supports and expand shelter access.

As you know, the former Tally Ho Inn on Douglas Street, operated by the Victoria Cool Aid Society, recently opened with 52 units of supportive housing. This housing is in addition to 50 new shelter beds that opened at PHS Community Service Society's Douglas Street Community and the new beds that opened at Our Place Society's My Place Shelter. The Province has also extended funding for one more year at the First Metropolitan Shelter.

In addition to shelters and supportive housing, the Province is collaborating with the Capital Regional District to redevelop Cedar Grove, a new purpose-built affordable rental housing development of 82 units for a mix of singles applicants including seniors, working adults and individuals experiencing homelessness.

Building the homes British Columbians need and addressing homelessness are top priorities for our government. Budget 2018 included a historic \$7 billion investment in affordable housing over a 10-year period and introduced *Homes for BC: A 30-Point Plan for Housing Affordability in British Columbia*.

...2

The Ministry of Municipal Affairs and Housing has a joint mandate with the Ministry of Social Development and Poverty Reduction to conduct a province-wide homeless count and develop a Homelessness Action Plan. This work is underway and it will provide a framework to address homelessness—including measures to help prevent people from becoming homeless, as well as immediate actions. The Plan, when combined with the Poverty Reduction, Housing, Mental Health and Addictions and Childcare plans and strategies, will form a larger vision to assist British Columbians in need.

I am confident the City will continue to be a key partner in creating more affordable housing and supports for our most vulnerable citizens. I look forward to your innovative ideas and collaborating with the City on future projects.

Thank you again for writing.

Sincerely,

A handwritten signature in black ink, appearing to read 'SR', with a stylized flourish at the end.

Selina Robinson
Minister

pc: Honourable John Horgan, Premier

Minister of Transport



Ministre des Transports

Ottawa, Canada K1A 0N5

MAY 23 2018

MAYOR'S OFFICE

MAY 30 2018

VICTORIA, B.C.

Her Worship Lisa Helps
Mayor
City of Victoria
Office of the Mayor
1 Centennial Square
Victoria BC V8W 1P6

Dear Madam Mayor:

Thank you for your correspondence of April 10, 2018, regarding Bill C-312 and urging the federal government to establish a national cycling strategy.

At the outset, I should note that while the Government of Canada recognizes the importance of a national cycling strategy, the issue of cycling generally falls under provincial, territorial and municipal—rather than federal—jurisdiction. Indeed, Transport Canada regulates modes of surface transportation that are typically inter-provincial (e.g. rail and bus), whereas cycling primarily occurs within local areas, mostly for commuting and recreational purposes.

Under the *Motor Vehicle Safety Act*, Transport Canada establishes safety requirements for newly manufactured and imported motor vehicles and for certain motor vehicle equipment. Recognizing the importance of an integrated, national approach, my department works closely with provinces/territories and a diverse stakeholder community on a number of road safety initiatives, including measures to better protect vulnerable road users, such as pedestrians and cyclists. For example, in September 2016, Transport Canada and Alberta established a task force to identify potential measures to protect pedestrians and cyclists around heavy vehicles. This task force includes members from all levels of government, industry, and organizations representing pedestrians and cyclists, and has recently completed extensive consultations. Based on these consultations, the task force will finalize a report in June 2018, describing measures to protect vulnerable road users, such as sensors and camera technologies on large vehicles to better detect nearby cyclists/pedestrians.

Nonetheless, the federal government supports cycling through various existing programs and initiatives. In Budget 2017, the Government of Canada announced a historic plan to invest more than \$180 billion in infrastructure over 12 years. Key areas of investment include public transit, green infrastructure, social infrastructure, and infrastructure in rural and northern communities.

Cycling infrastructure is eligible for funding under current Infrastructure Canada programs, which offer flexibility to the provinces and territories to determine priority projects that will make a difference in their respective regions. Cycling infrastructure projects funded through existing programs include the construction of bicycle lanes to support rapid transit extensions, the installation of bicycle racks on city buses to promote the use of sustainable transportation, and the construction and renovation of bicycle paths in many regions across Canada.

Furthermore, the Public Health Agency of Canada (PHAC) supports policy and programs that aim to increase physical activity opportunities for Canadians, including through active transportation. The PHAC is also working with provincial and territorial governments on a federal-provincial-territorial policy framework for physical activity that will include the importance of built environments to support physical activity and reduce sedentary behaviour.

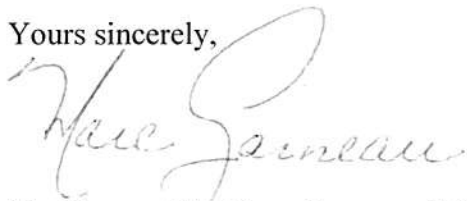
Finally, encouraging cycling as a mode of transportation is consistent with the objectives of the Pan-Canadian Framework on Clean Growth and Climate Change to support a shift from higher- to lower-emitting modes of transportation and investments in green infrastructure.

Due to provincial, territorial and municipal jurisdiction on this matter, if you have not already done so, you may wish to convey your support for an increased focus on active transport to the Honourable Claire Trevena, Minister of Transportation and Infrastructure for British Columbia, the Honourable George Heyman, Minister of Environment and Climate Change Strategy for British Columbia, and the Honourable Adrian Dix, Minister of Health for British Columbia.

I have taken the liberty of sharing our exchange of correspondence with my colleagues the Honourable Amarjeet Sohi, Minister of Infrastructure and Communities, and the Honourable Ginette Petitpas Taylor, Minister of Health, so they will be aware of your interest in a national cycling strategy.

Thank you again for writing.

Yours sincerely,

A handwritten signature in dark ink, appearing to read 'Marc Garneau', is written over a light blue horizontal line.

The Honourable Marc Garneau, P.C., M.P.
Minister of Transport

c.c. The Honourable Amarjeet Sohi, P.C., M.P.
Minister of Infrastructure and Communities

The Honourable Ginette Petitpas Taylor, P.C., M.P.
Minister of Health

The Honourable Catherine McKenna, P.C., M.P.
Minister of Environment and Climate Change

Ms. Elizabeth May, O.C., M.P.
Saanich–Gulf Islands

Mr. Murray Rankin, M.P.
Victoria

Mr. Randall Garrison, M.P.
Esquimalt–Saanich–Sooke

Ms. Rachel Blaney, M.P.
North Island–Powell River

Mr. Gord Johns, M.P.
Courtenay–Alberni

Mr. Alistair MacGregor, M.P.
Cowichan–Malahat–Langford

Ms. Sheila Malcolmson, M.P.
Nanaimo–Ladysmith

Minister of Sport
and Persons with Disabilities



Ministre des Sports
et des Personnes handicapées

Ottawa, Canada K1A 0M5

Her Worship Lisa Helps
Mayor of Victoria
City Hall
1 Centennial Square
Victoria BC V8W 1P6

MAY 24 2018

Mr. Rick Hansen
Founder and Chief Executive Officer
Rick Hansen Foundation
300-3820 Cessna Drive
Richmond BC V7B 0A2

MAYOR'S OFFICE

VICTORIA, B.C.

Dear Madam Mayor and Mr. Hansen:

Thank you for your letter of April 6, 2018, in which you informed me of the City of Victoria's Crystal Pool and Wellness Centre Replacement Project, with the primary focus on the redevelopment of the facility as a barrier-free and inclusive environment for community members of all ages and abilities.

I wish to assure you that the inclusion of Canadians with disabilities in society is of great importance to me. As you know, as Minister of Sport and Persons with Disabilities, one of my key priorities is to ensure greater accessibility and opportunities for Canadians with disabilities. To this end, the Government of Canada is committed to following through on its promise to develop legislation that will increase the inclusion and participation of Canadians with disabilities or functional limitations and promote equality of opportunity by increasing accessibility and removing barriers in areas of federal jurisdiction. I plan to table this legislation in Parliament this spring.

I have noted your reference to the Investing in Canada Plan. In that context, I am pleased to inform you of a funding opportunity that may be of interest to your organization. Until May 24, 2018, the Enabling Accessibility Fund is accepting concept applications for mid-sized projects that help improve and make Canadian facilities and venues more accessible for people with disabilities. For more information about this funding opportunity and its eligibility criteria, please consult www.canada.ca/en/employment-social-development/services/funding/enabling-accessibility-fund-mid-size.html.

.../2

- 2 -

Thank you for informing me about your planned barrier-free and inclusive recreation centre and for your continued leadership in supporting access and inclusion for all Canadians.

Please accept my best wishes.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'K. Duncan', with a stylized, cursive script.

The Honourable Kirsty Duncan, P.C., M.P.
Minister of Science and Minister of Sport
and Persons with Disabilities

Minister of Infrastructure
and Communities



Ministre de l'Infrastructure
et des Collectivités

Ottawa, Canada K1P 0B6

MAYOR'S OFFICE

MAY 30 2018

VICTORIA, B.C.

MAY 24 2018

Her Worship Lisa Helps
Mayor of Victoria
1 Centennial Square
Victoria, British Columbia V8W 1P6

Mr. Rick Hansen
Founder and Chief Executive Officer
Rick Hansen Foundation
300 – 3820 Cessna Drive
Richmond, British Columbia V7B 0A2

Dear Madam Mayor and Mr. Hansen:

Thank you for your letter of April 6, 2018, regarding the Crystal Pool and Wellness Centre Replacement Project in Victoria, British Columbia. Please accept my apologies for the delay in responding.

The Government of Canada has a long history of making strategic investments in a wide range of infrastructure categories. Infrastructure is the foundation of sustainable and inclusive communities—it removes barriers, brings people together and allows all Canadians to be active participants in their community. Moreover, good infrastructure fosters an environment where the best of Canadian innovation can grow.

The Government of Canada is investing more than \$180 billion under the long-term *Investing in Canada* plan. Our priority is to promote infrastructure that will create good, well-paying jobs that can help the middle class grow and prosper. Key areas for investment include public transit, green and social infrastructure, transportation infrastructure that supports trade, and infrastructure in rural and northern communities.

Under the Plan, the Government is investing \$28.7 billion over 12 years to improve public transit infrastructure throughout Canada, which will help build new urban transit networks and service extensions that will transform the way Canadians live, move and work. In addition, the Government is investing \$26.9 billion over 12 years towards green infrastructure to build sustainable and healthy communities.


...2

The Agreement in place with British Columbia will provide \$4.1 billion in federal funding dedicated to infrastructure projects in British Columbia over the next decade. This new funding will see the Government of Canada and the Province of British Columbia make unprecedented investments in public transit, green infrastructure, communities, recreational and cultural infrastructure, as well as rural and northern communities.

Under the new Agreement, proposed projects must first be prioritized by the province before they are submitted to Infrastructure Canada for consideration. I would encourage you to submit your proposal to the Province of British Columbia so that it may determine whether the project should be prioritized for funding consideration under the *Investing in Canada* plan.

Thank you for writing on this important matter.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'A. Sohi'.

Amarjeet Sohi, P.C., M.P.

COMMITTEE OF THE WHOLE REPORT
FROM THE MEETING HELD JUNE 7, 2018

For the Council Meeting of June 14, 2018, the Committee recommends the following:

1. **Development Permit Application No. 000524 for 330 Irving Road (Gonzales)**
For the Construction of a one-story single family dwelling with a secondary suite on an existing panhandle lot

That Council authorize the issuance of Development Permit Application No. 000524 for 330 Irving Road, in accordance with:

1. Plans date stamped May 2, 2018
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. Revised landscape plan to identify two replacement trees, as per the *Tree Preservation Bylaw*, to the satisfaction of the Director of Parks, Recreation and Facilities.
4. The Development Permit lapsing two years from the date of this resolution.

2. **Heritage Process Related Motions**

That Council direct staff to:

1. Provide a list of heritage-related applications that have, to date, been processed through a Delegated Authority process.
2. As part of the Delegated Authority Process of land use applications refer, heritage-related applications to the Heritage Advisory Panel for their consideration but do not require a further referral to Council.
3. Refer heritage-related land use applications to the Heritage Advisory Panel at an early stage in the process.

3. **First Quarter 2018 Update**

That Council receive the Quarterly update report from the Victoria Police Department for information.

That Council receive the Quarterly report for information.

4. **City of Victoria Youth Council**

That Council receive the presentation from the City of Victoria Youth Council for information.

5. **Rezoning Application No. 000598 and Development Permit with Variance Application No. 000506 (North Park)**

To rezone the property to a new zone to allow for the construction of a four-storey, multi-unit building

That Council postpone consideration of the following motion for 2 months and request the applicant to meet with the adjoining neighbours to explore possible consolidation of the adjoining lots:

That Council decline Rezoning Application No. 00598 and Development Permit with Variance Application No. 00506 for the property located at 953 Balmoral Road.

6. Motion Arising from the Motion to Postpone to the June 14, 2018 Committee of the Whole meeting the 1199 Government Street - Application for a Permanent Change to Hours of Service for a Food Primary License (0302087) Earl's Restaurant (Downtown)

That Council direct staff that all future liquor licence applications include a letter from the Police Department attached to the report.

7. 2018 My Great Neighbourhood Grants - Spring Intake

That Council:

1. Approve 21 applications received for the spring intake of the 2018 My Great Neighbourhood Grant program as outlined in Tables 1 and 2.
2. Approve the following changes to the My Great Neighbourhood Grant Policy (Appendix A)
 - a. Applicants are limited to one placemaking and one activity grant per annual intake.
 - b. At the discretion of the Neighbourhood Team, a three-month extension may be granted for placemaking projects; a second three-month extension may be granted under extenuating circumstances. If after eighteen months (one year to complete and six months of extension) the project is not complete, the City will ask for the grant funds to be returned.
 - c. At the discretion of the Neighbourhood Team, one three-month grant extension for an activity may be granted under extenuating circumstances.

8. Housing, Community Space and Underground Parking Adjacent to Crystal Pool

That Council direct staff to report back at the next quarterly update on the implications and timeline for implementing the following recommendations.

Direct staff to:

1. Work with residents of North Park and other interested stakeholders community to develop and issue an RFEOI or RFP for:
 - a. Provision of affordable housing (on the site currently set aside for a surface parking lot) to include underground parking and a community space on the ground floor that would be able to accommodate at a minimum, a welcome centre for newcomers to Canada (should this be identified by stakeholders as a need, child care facility, community kitchen, and additional that may not be able to be accommodated in the Crystal Pool project for sport and non-sport programming for youth, seniors and other underserved groups.
 - b. Operation one or more of the community centre, child care, and welcome centre.
2. Design and report back to Council on the process for engaging the community (North Park, Harris Green, Downtown residents and immigrant and indigenous communities from across the city/region) about the community centre/welcome centre space.
3. Apply for funding through Partners for Places (<https://www.fundersnetwork.org/partners-for-places/>) to undertake the process outlined in #2, with potential for matching funding from the United Way of Greater Victoria.
4. Design and report back to Council as part of the 2019 financial planning process on the process for engaging the neighbouring community and citywide residents about the Park Master Plan for Central park, including budget and timing. And direct staff to develop and communicate a plan through consultation with current park users, to ensure their continuing enjoyment and access to the park during construction of Crystal Pool.
5. Report back on the public approval process for having either surface parking or affordable housing in Central Park adjacent to the new Crystal Pool.

9. **Letter from BCSPCA regarding Horse Drawn Carriages**

That Council receive this correspondence and request that staff report back on any advice Council would need to consider the recommendations provided by the BC SPCA.



Council Report

For the Meeting of June 14, 2018

To: Council **Date:** June 8, 2018
From: C. Coates, City Clerk
Subject: Zoning Regulation Bylaw, Amendment Bylaw (No. 1151) No. 18-039

RECOMMENDATION

That Council consider first and second readings of Bylaw No. 18-039.

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 18-039.

The issue came before Council on March 22, 2018 where the following resolution was approved:

Rezoning Application No. 00612 for 63 Boyd Street

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00612 for 63 Boyd Street, that first and second reading of the *Zoning Regulation Bylaw* Amendment be considered by Council and a Public Hearing date be set.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Chris Coates'.

Chris Coates
City Clerk

Report accepted and recommended by the City Manager:

A handwritten signature in black ink, appearing to read 'Jocelyn Lenkay'.

Date:

A handwritten date in black ink, appearing to read 'June 8, 2018'.

List of Attachments:

- Bylaw No. 18-039

The Council of The Corporation of the City of Victoria enacts the following provisions:





Council Report

For the Meeting of June 14, 2018

To: Council **Date:** June 8, 2018
From: C. Coates, City Clerk
Subject: Zoning Regulation Bylaw, Amendment Bylaw (No. 1138) No. 18-012

RECOMMENDATION

That Council consider first and second readings of Bylaw No. 18-012.

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 18-012.


The issue came before Council on December 14, 2017 where the following resolution was approved:

Rezoning Application No. 00573 for 2816 Shelbourne Street

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00573 for 2816 Shelbourne Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once:

1. Staff are provided with a legal agreement securing the provision of one electric vehicle charging station per unit and one electric-assisted bicycle per initial purchaser for each of the five units as offered by the applicant to the satisfaction of the City Solicitor.
2. Staff receive proof of registration at the Land Title Survey Authority of an executed Statutory Right-of-Way (SRW) of 7.0m on Shelbourne Street.
3. The applicant works with Staff to mitigate the impact of the requested variance for the rear (west) setback.

Respectfully submitted,


Chris Coates
City Clerk

Report accepted and recommended by the City Manager:


Date: June 8, 2018

List of Attachments:

- Bylaw No. 18-012

A BYLAW OF THE CITY OF VICTORIA

The Council of The Corporation of the City of Victoria enacts the following provisions:

- | | | |
|----------------------------|--------|------|
| READ A FIRST TIME the | day of | 2018 |
| READ A SECOND TIME the | day of | 2018 |
| Public hearing held on the | day of | 2018 |
| READ A THIRD TIME the | day of | 2018 |
| ADOPTED on the | day of | 2018 |

MAYOR



2816 Shelbourne Street
Rezoning No.00573





Council

For the Meeting of June 14, 2018

To: Council **Date:** May 24, 2018
From: Susanne Thompson, Director of Finance
Subject: Amendment to the Five Year Financial Plan Bylaw, 2018

RECOMMENDATION

That Council

1. Give first, second and third reading to the amended Five Year Financial Plan Bylaw, 2018.
2. Direct staff to schedule an opportunity for public input prior to adoption of the bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to amend Schedules 2, 3 and 4 of the Five Year Financial Plan Bylaw, 2018 that received final adoption on April 26, 2018.

In accordance with section 165 of the *Community Charter*, Council approved the 2018 - 2022 five-year financial plan bylaw that authorizes the expenditure of funds and collection of revenues for the City's various programs. If unanticipated events occur during the year that impact the approved five-year financial plan, amendments to the financial plan bylaw may be made at anytime to authorize the changes. Public consultation on the amended financial plan is required under section 166 of the *Community Charter*.

At the May 3, 2018 Committee of the Whole meeting, staff brought forth the Ceceila Ravine Park Improvement report. This report introduced the Ceceila Ravine Park Improvement Plan that required an additional budget increase of \$600,000 to implement. Council approved an increase to the project budget of \$600,000 with funding from the Parks and Greenways Acquisition Reserve Fund. The 2018 capital budget for this project will increase from \$968,000 to \$1.568 million.

Additionally, staff introduced the Laurel Point Park Environmental Remediation report to the Committee of the Whole meeting on May 17, 2018. This report proposed to proceed with the remediation plan for the City owned Laurel Point Park in conjunction with Transport Canada remediation of adjacent federal lands. Council approved an increase of \$3.1 million for the remediation at Laurel Point Park with funding from the Tax Sale Lands Reserve and approved funding of \$50,000 from contingencies for the removal, storage and reinstallation of City assets on those lands.

As Council has approved these changes subsequent to the adoption of the Five Year Financial Plan Bylaw, 2018, an amendment is required. The Five Year Financial Plan Bylaw, 2018 Amendment

Bylaw (Appendix A) includes the following adjustment:

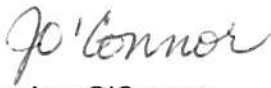
Operating Budget

1. Expenditures: General Government - \$50,000 decrease in the contingency expenditure budget offset by an increase in Engineering and Public Works.

Capital Budget

1. Parks: Ceceila Ravine New Park - \$600,000 increase in the expenditure budget offset by an increase in the transfer from the Parks and Greenways Acquisition Reserve Fund.
2. Environmental Remediation: Remediation/Capital Work City Owned Properties - \$3.1 million increase in expenditure budget offset by an increase in the transfer from the Tax Sale Lands Reserve.

Respectfully submitted,



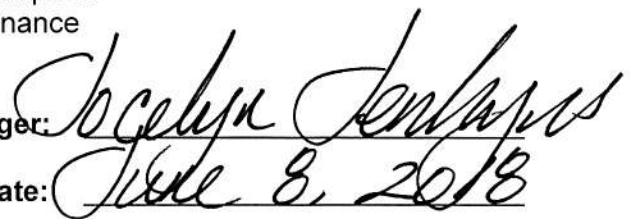
Jo-Ann O'Connor
Manager, Financial Planning



Susanne Thompson
Director of Finance

Report accepted and recommended by the City Manager:

Date:


June 8, 2018

List of Attachments

Appendix A - Amended Five Year Financial Plan Bylaw, 2018

NO. 18-073

A BYLAW OF THE CITY OF VICTORIA

The purpose of this bylaw is to amend Schedule 2, Schedule 3 and Schedule 4 of the Five Year Financial Plan Bylaw, 2018 by the following:

- Increase the Engineering and Public Works operating expenditures by \$50,000 and decrease the General Government operating expenditures by \$50,000 for the removal, storage and reinstallation of various City assets on Laurel Point federal lands
- Increase the Cecelia Ravine Park Capital Project budget by \$600,000 with funding from the Parks and Greenways Acquisition Reserve
- To add \$3.1 million for the Environmental Remediation at Laurel Point Park Capital Project with funding from the Tax Sale Lands Reserve

Under its statutory powers, including section 165 of the *Community Charter*, the Council of The Corporation of the City of Victoria, in an open meeting assembled, enacts the following provisions:

Title

- 1 This Bylaw may be cited as the "Five Year Financial Plan Bylaw, 2018, Amendment Bylaw (No. 1)".

Amendments

- 2 Bylaw No. 18-073, the Five Year Financial Plan Bylaw, 2018, is amended by:
- (a) repealing Schedule 2 and replacing it with the Schedule 2 attached to this Bylaw as Schedule A; and
 - (b) repealing Schedule 3 and replacing it with the Schedule 3 attached to this Bylaw as Schedule B; and
 - (c) repealing Schedule 4 and replacing it with the Schedule 4 attached to this Bylaw as Schedule C.

Commencement

- 3 This Bylaw comes in to force upon adoption.

READ A FIRST TIME the day of 2018.

READ A SECOND TIME the day of 2018.

READ A THIRD TIME the day of 2018.

ADOPTED the day of 2018.

CITY CLERK

MAYOR

**Bylaw No.18-073
Schedule 1 - June 14, 2018**

City of Victoria

2018 - 2022 Operating Financial Plan

	2018	2019	2020	2021	2022
REVENUES					
Property Value Taxes	128,178,783	133,556,836	137,267,841	140,713,605	144,262,480
Property Value Taxes from New Assessments	2,583,000	739,000	500,000	500,000	500,000
Parcel Taxes	1,405,200	1,415,904	1,426,822	1,437,958	1,449,317
Special Assessments	1,329,000	1,329,000	1,329,000	1,329,000	1,329,000
Grants in Lieu of Taxes	6,176,400	6,206,018	6,236,228	6,267,043	6,298,474
User Fees and Charges	5,338,596	5,433,004	5,529,304	5,627,534	5,727,733
Permits and Licences	4,903,590	4,914,202	4,925,008	4,936,011	4,947,217
Parking Services	16,962,663	17,234,160	17,511,088	17,793,554	18,081,669
Water Utility Fees and Charges	19,925,763	20,237,079	20,714,050	21,205,653	21,713,990
Sewer Utility Fees and Charges	7,085,200	7,085,200	7,134,066	7,382,845	7,843,034
Stormwater Utility Fees and Charges	5,338,491	5,764,453	6,066,274	6,275,972	6,495,256
Other Sources	35,017,611	34,734,567	35,184,127	35,643,716	36,113,567
	234,244,297	238,649,423	243,823,808	249,112,891	254,761,737
TRANSFERS FROM					
Accumulated Surplus	4,026,400	-	-	-	-
Reserves	-				
Art in Public Places	423,655	135,000	135,000	135,000	135,000
Financial Stability	2,332,239	234,403	-	-	234,000
Tree Replacement Reserve	145,290	46,196	47,120	48,062	49,023
Archives Equipment Reserve	33,575	-	-	-	-
Climate Action Reserve	535,000				
	3,469,759	415,599	182,120	183,062	418,023
	241,740,456	239,065,022	244,005,927	249,295,953	255,179,760

**Bylaw No.18-073
Schedule 2 - June 14, 2018**

City of Victoria

2018 - 2022 Operating Financial Plan

	2018	2019	2020	2021	2022
EXPENDITURES					
General Government	38,547,704	36,495,429	37,047,795	37,639,844	38,483,017
Police	53,254,286	54,222,227	55,577,095	56,965,821	58,389,253
Victoria Fire Department	17,118,173	17,485,507	17,912,847	18,350,698	18,799,318
Engineering and Public Works	19,380,020	18,113,250	18,506,655	18,851,242	19,231,863
Sustainable Planning and Community Development	6,452,772	5,249,041	5,181,145	5,284,553	5,390,094
Parks, Recreation and Facilities	21,727,632	21,500,342	21,960,557	22,430,903	22,912,200
Greater Victoria Public Library	5,387,720	5,451,900	5,560,938	5,672,157	5,785,600
Victoria Conference Centre	6,647,755	6,783,858	6,922,836	7,064,651	7,209,464
Water Utility	14,176,763	14,452,079	14,733,050	15,019,653	15,311,990
Sewer Utility	3,665,636	3,733,673	3,803,086	3,873,905	3,946,156
Stormwater Utility	3,421,491	3,489,953	3,559,784	3,631,012	3,703,357
	189,779,952	186,977,259	190,765,788	194,784,439	199,162,312
DEBT SERVICING					
Principal and Interest - General	4,802,237	4,839,628	4,839,628	4,839,628	4,839,628
Principal and Interest - Parking Services	845,382	845,382	845,382	845,382	845,382
Principal and Interest - Victoria Conference Centre	340,359	340,359	340,359	340,359	340,359
	5,987,978	6,025,369	6,025,369	6,025,369	6,025,369
TRANSFERS TO					
Capital Funds					
General	10,165,000	10,165,000	10,165,000	10,165,000	10,165,000
Water Utility	3,899,000	3,935,000	4,131,000	4,336,000	4,552,000
Sewer Utility	3,437,000	3,601,000	3,772,000	3,951,000	4,340,000
Stormwater Utility	3,192,000	3,475,000	3,633,000	3,798,000	3,972,000
Reserves	-	-	-	-	-
Equipment and Infrastructure	-	-	-	-	-
City Equipment	1,602,500	1,602,500	1,602,500	1,602,500	1,602,500
City Vehicles and Heavy Equipment	2,105,712	1,623,104	1,623,104	1,623,104	1,623,104
City Buildings and Infrastructure	8,348,264	8,615,063	9,125,671	9,636,481	10,147,500
Parking Services Equipment and Infrastructure	1,849,929	2,016,245	2,196,086	2,379,525	2,566,632
Parks and Greenways Acquisition	482,608	-	-	-	-
Multipurpose Arena Facility Equipment and Infrastructure	140,000	141,400	142,814	144,243	145,684
Gas Tax	3,591,000	3,591,000	3,591,000	3,591,000	3,591,000
Police Vehicles, Equipment and Infrastructure	1,056,000	1,082,400	1,109,460	1,137,197	1,165,626
Water Utility Equipment and Infrastructure	1,850,000	1,850,000	1,850,000	1,850,000	1,850,000
Sewer Utility Equipment and Infrastructure	771,564	539,527	347,980	346,940	345,878
Stormwater Utility Equipment and Infrastructure	-	100,000	200,000	200,000	200,000
Recreation Facilities Equipment and Infrastructure	25,500	25,500	25,500	25,500	25,500
Financial Stability	2,844,749	3,087,955	3,087,955	3,087,955	3,087,955
Tax Sale Lands	50,000	50,000	50,000	50,000	50,000
Victoria Housing	250,000	250,000	250,000	250,000	250,000
Art in Public Places	135,000	135,000	135,000	135,000	135,000
Climate Action	90,000	90,000	90,000	90,000	90,000
Artificial Turf	86,700	86,700	86,700	86,700	86,700
	45,972,526	46,062,394	47,214,770	48,486,145	49,992,079
	241,740,456	239,065,022	244,005,927	249,295,953	255,179,760

Bylaw No.18-073
Schedule 3 - June 14, 2018
City of Victoria
2018 - 2022 Capital Plan

	2018	2019	2020	2021	2022
REVENUES					
Utility Connection Fees	1,100,000	1,100,000	1,150,000	1,200,000	1,200,000
Grants and Partnerships	65,771,000	-		-	
TRANSFERS FROM					
Operating Funds					
General	10,165,000	10,165,000	10,165,000	10,165,000	10,165,000
Water Utility	3,899,000	3,935,000	4,131,000	4,336,000	4,552,000
Sewer Utility	3,437,000	3,601,000	3,772,000	3,951,000	4,340,000
Stormwater Utility	3,192,000	3,475,000	3,633,000	3,798,000	3,972,000
Reserves					
Equipment and Infrastructure					
City Equipment	2,112,000	1,428,000	1,628,000	1,402,000	1,232,000
City Vehicles and Heavy Equipment	5,149,000	-	-	-	-
City Buildings and Infrastructure	30,004,000	-	-	-	-
VCC Equipment & Infrastructure	3,000	-	-	-	-
Trf from Climate Action Reserve	25,000	-	-	-	-
Debt Reduction Reserve	3,900,000	1,700,000	-	30,300,000	-
Financial Stability Reserve	387,000	-	-	-	-
Accessibility Capital Reserve	296,000	-	-	-	-
Parking Services Equipment and Infrastructure	1,175,000	255,000	260,000	265,000	270,000
Gas Tax	9,944,000	1,189,000	1,055,000	1,076,000	1,097,000
Police Vehicles, Equipment and Infrastructure	2,043,000	1,652,000	1,644,000	1,458,000	1,500,000
Police Emergency Response Reserve	240,000	-	-	-	-
Water Utility Reserve	1,640,000				
Sewer Utility Reserve	3,952,000	2,081,000	2,123,000	2,165,000	2,208,000
Stormwater Utility Reserve	145,000				
Multipurpose Arena Equipment and Infrastructure	202,000	-	-	-	-
Tax Sale Lands	4,298,000	-	-	-	-
Parks and Greenways Acquisition	1,100,000	-	-	-	-
Development Cost Charges	671,000	-	-	-	-
DEBT PROCEEDS	-	-	-	-	-
	154,850,000	30,581,000	29,561,000	60,116,000	30,536,000

Bylaw No.18-073
Schedule 4 - June 14, 2018
City of Victoria
2018 - 2022 Capital Plan

	2018	2019	2020	2021	2022
EXPENDITURES					
Capital Equipment	9,363,000	1,583,000	1,688,000	1,667,000	1,502,000
Capital Programs and Projects					
Active Transportation	18,431,000	1,511,000	817,000	834,000	851,000
Complete Streets	6,347,000	2,947,000	3,001,000	3,055,000	3,111,000
Neighbourhoods	266,000	28,000	29,000	30,000	31,000
Parks	2,632,000	-	-	-	-
Street Infrastructure	1,884,000	1,025,000	1,052,000	868,000	942,000
Retaining Walls and Railings	1,312,000	200,000	-	-	-
Bridges	9,398,000	-	-	-	-
Facilities	78,325,000	1,700,000	-	30,300,000	-
Environmental Remediation	3,830,000	-	-	-	-
Sanitary Sewers	7,825,000	5,982,000	6,245,000	6,466,000	6,898,000
Stormwater	6,558,000	4,289,000	4,938,000	5,124,000	5,319,000
Waterworks	6,197,000	4,485,000	4,681,000	4,936,000	5,152,000
Contingency	364,000	371,000	378,000	386,000	394,000
Police	2,118,000	1,652,000	1,644,000	1,458,000	1,500,000
Projects to be determined (Facilities, Active Transportation, Parks, Fleet etc.)	-	4,808,000	5,088,000	4,992,000	4,836,000
	154,850,000	30,581,000	29,561,000	60,116,000	30,536,000

**Bylaw No. 18-073
Schedule 5 – June 14, 2018
Financial Plan Objectives and Policies**

Revenue and Tax Policy

Purpose

The purpose of the Revenue and Tax Policy is to outline the proportions of revenue sources, the distribution of property taxes among property classes and the use of permissive property tax exemptions.

Objectives

- To provide tax payers with stable, equitable and affordable property taxation while at the same time providing high quality services.
- To support the OCP and other City plans as well as complement the Regional Context Statement.

Policies

1. Revenue Proportions by Funding Sources

Property taxes are the main source of revenue for the City and pay for services such as police and fire protection, bylaw enforcement, and infrastructure maintenance. Property taxes provide a stable and consistent source of revenue for services that are difficult or undesirable to fund on a user pay basis. Therefore, property taxes will continue to be the City's major source of revenue.

However, it is the City's desire to charge user fees where feasible. Some programs, such as recreation, are partially funded by user fees. The City also has several self-financed programs that are fully funded by user fees. These include Water Utility, Sewer Utility, Stormwater Utility, and Garbage Utility.

Policy 1.0

User pay funding will be used for such services that are practical and desirable to fund on a user pay basis.

Services that are undesirable or impractical to fund on a user pay basis will be funded by property taxes.

Policy 1.1

The City will continue to explore alternative revenue sources to diversify its revenue base.

2018 Revenue Proportions by Funding Source

Revenue Source		% Total Revenue
Property Value Taxes	130,761,783	54.09%
Parcel Taxes	1,405,200	0.58%
Special Assessments	1,329,000	0.55%
Grants in Lieu Taxes	6,176,400	2.56%
User Fees and Charges	5,338,596	2.21%
Permits and Licences	4,903,590	2.03%
Parking Services	16,962,663	7.02%
Water and Sewer Utility Fees and Charges	27,010,963	11.18%
Stormwater Utility Fees and Charges	5,338,491	2.21%
Other Sources	42,513,770	17.57%
TOTAL	241,740,456	100.00%

2. Distribution of Property Taxes Among Property Classes

Market value changes that result in uneven assessment changes between property classes result in a tax burden shift to the class experiencing greater market value increases unless tax ratios are modified to mitigate the shift.

Until 2007, it was Council's practice to modify tax ratios to avoid such shifts. This equalization practice provided an effective tax increase that was equal for all classes. It is important to be aware that this practice only avoids shifts *between* property classes. There is still a potential for shifts within a property class where one property has experienced a market value change that is greater than the average for that class.

However, starting in 2007, business and industrial tax ratios have been held constant in recognition of the larger tax burden that has been placed on those classes. This resulted in higher tax increases being passed on to the residential class compared to business and industrial.

The pressure continues across the country to reduce the tax burden on the business and industrial classes. In recognition of this, and the desire to support a healthy business environment, Council's goal is to have a business class tax burden that is equitable.

In 2012, a comprehensive review of the Revenue and Tax Policy was conducted to determine if Council's objective of reducing the tax burden on the business class was appropriate and if so, that the mechanism of achieving the objective (reduction of tax ratio) was the most effective mechanism to achieve the goal. The review concluded that additional relief for the business tax class was warranted. However, the tax ratio was not the best mechanism of achieving that goal. As a result, Council approved the following policy objective: To reduce the business property tax class share of the total property tax levy to 48% over three years (2012-2014). The redistribution excludes impact of new assessment revenue. The total redistribution of the tax levy was \$1.51 million.

In 2015, an update review was completed and based on the findings, policy 2.0 was amended to maintain the current share of taxes among tax classes.

Policy 2.0

Maintain the current share of distribution of property taxes among property classes, excluding the impact of new assessment revenue, by allocating tax increases equally. Business and industrial classes will be grouped as outlined in Policy 2.1.

Policy 2.1

Tax rates for the light and major industrial tax classes will be equal to the business tax rate to support the City's desire to retain industrial businesses.

Policy 2.2

Farm Tax Rates will be set at a rate so taxes paid by properties achieving farm status will be comparable to what the property would have paid if it were assessed as residential.

2018 Distribution of Property Taxes Among Property Classes

Property Class		% Property Value Tax
Residential (1)	66,441,141	50.82%
Utilities (2)	583,585	0.45%
Supportive Housing (3)	0	0.00%
Major Industry (4)	135,715	0.10%
Light Industry (5)	891,657	0.68%
Business (6)	62,454,761	47.76%
Recreational (8)	254,924	0.19%
TOTAL	130,761,783	100.00%

3. Use of Permissive Property Tax Exemptions

The City continues to support local non-profit organizations through permissive tax exemptions. Each year, a list of these exemptions is included in the City's Annual Report.

In addition, the City offers a Tax Incentive Program to eligible owners of downtown heritage designated buildings to offset seismic upgrading costs for the purposes of residential conversion of existing upper storeys. The exemptions are for a period up to ten years.

The City encourages redevelopment of lands within the City and the use of environmentally sustainable energy systems for those developments through revitalization property tax exemptions.

Policy 3.0

Permissive property tax exemptions are governed by the City's Permissive Property Tax Exemption Policy, which outlines the criteria for which property tax exemptions may be granted.

Policy 3.1

Heritage property tax exemptions are governed by the City's Heritage Tax Incentive Program.

Policy 3.2

Revitalization property tax exemptions are governed by the City's Revitalization Tax Exemption (Green Power Facilities) bylaw.

ANIMAL RESPONSIBILITY BYLAW AMENDMENT BYLAW (NO. 1)
A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the *Animal Responsibility Bylaw* to clarify regulations related to the keeping of poultry, including regulations related to the storage of poultry manure, and to provide discretion for Council to exempt persons or property from certain parts of the Bylaw in cases of undue hardship.

Contents

- 1 Title
- 2 Amendments to the *Animal Responsibility Bylaw*
- 3 Effective Date

Under its statutory powers, including sections 8(3)(k) of the *Community Charter*, the Council of the Corporation of the City of Victoria, in an open meeting assembled, enacts the following provisions:

Title

- 1 This Bylaw may be cited as the "Animal Responsibility Bylaw Amendment Bylaw (No. 1)".

Amendments to the *Animal Responsibility Bylaw*

- 2 The *Animal Responsibility Bylaw No. 11-044* is amended

- (a) in section 2 by adding the following definition:

““poultry”

means any domesticated bird that is normally kept for its eggs, meat, or feathers, and includes chickens;”;

- (b) by adding a new section 3A as follows:

“3A (1) If, in the opinion of Council, application of any provision in Parts 4 or 7 of this Bylaw would result in undue hardship, Council may, by resolution, exempt a person or property from the application of that provision.

- (2) Council may impose terms and conditions as part of an exemption under subsection (1), including a time limit on the application of the exemption.”;

ELECTION PROCEDURES BYLAW AMENDMENT BYLAW (NO. 4)
A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the *Election Procedures Bylaw* regarding repeal of voting divisions, updating to reflect the four year term of Council, establish additional special voting opportunities and establish campaign signage requirements.

Under its statutory powers the Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the "ELECTION PROCEDURES BYLAW, AMENDMENT BYLAW (No. 4)
- 2 The *Election Procedures Bylaw No. 02-013* is amended as follows:
 - (a) in Section 2, Definitions & Interpretation by:
 - (i) deleting the definition of general local election and replacing it with:

"general local election"

means the election held **in 2014 and in every 4th year after 2014.**
 - (ii) Deleting the definition of general voting day and replacing it with:

"general voting day"

means

 - a) for a general local election, the **3rd Saturday of October** in the year of the election,
 - b) for elections other than a general local election, the date set under the provisions of the of **the Local Government Act.**
 - (b) By adding the following as section 3.3:

"Schedule B attached to this Bylaw establishes the requirements for placement, management and removal of election campaign signage".
 - (c) in section 4, deleting section 4.1 Voting Divisions.

(d) Deleting section 9 Special Voting opportunities and replacing it with:

“Special voting opportunities

9. (1) As authorized under the ***Local Government Act***, the chief election officer must establish the dates and voting hours when and the places where special voting opportunities will be conducted for each election or other voting.
- (2) The only electors who may vote at a special voting opportunity are electors who, on the date on which the special voting opportunity is held and before the end of the voting hours for that special voting opportunity, have been admitted as patients to the hospital at which the special voting opportunity is held, **or are residents at a care facility with at least 50 residents for a which a special voting opportunity is being conducted.**
- (3) The voting hours for a special voting opportunity must not be earlier than 9:00 a.m. or later than 4:00 p.m. of the day on which the special voting opportunity takes place.
- (4) Subject to the *Local Government Act*, the Council authorizes the chief election officer to limit the number of candidates' representatives who may be present at a special voting opportunity.”

(e) Deleting section 14 “Mail ballot voting and registration authorized” and replacing it with:

“Mail ballot voting and registration authorized

14. (1) Voting by mail ballot and elector registration by mail in conjunction with mail ballot voting are authorized.
- (2) In accordance with the provisions the *Local Government Act* the only electors who may vote by mail ballot are:
 - (a) persons who have a physical disability, illness or injury that affects their ability to vote at another voting opportunity;
 - (b) **residents of care facility where a special voting opportunity is not being conducted; and**
 - (c) persons who expect to be absent from the municipality on general voting day and at the times of all advance voting opportunities.
- (3) Once a mail ballot package has been accepted by the chief election officer, that voter may only vote by mail ballot.”

READ A FIRST TIME the **24th** day of **May** 2018.

READ A SECOND TIME the **24th** day of **May** 2018.

READ A THIRD TIME the **24th** day of **May** 2018.

ADOPTED on the day of 2018.

CITY CLERK

MAYOR

Election Procedures Bylaw - Schedule B

Election Signage

GENERAL REQUIREMENTS

- Sign permits are not required.
- Signs must not be visible from any voting place.
- Signs must not be illuminated, animated, rotating, flashing or have moving lights or other electrical features.
- Signs must meet the requirements of the *Local Election Campaign Financing Act*.
- Elections signs for municipal or school trustee elections or by-elections, or referenda are permitted only within the municipal election period, beginning with the first day of the nomination period.
- Signs must be removed with four (4) days after the election or referendum vote.

GENERAL PROHIBITIONS

- Signs are prohibited on:
 - Medians and traffic islands, and in planting beds;
 - Boulevard trees, or within one (1) metre of a boulevard tree;
 - All City facilities or structures, parks, and playing fields, including the adjoining boulevard area.
- Signs are prohibited on public or private property that:
 - Are within one (1) metre of a fire hydrant;
 - Obstruct or detract from any traffic control device or signage;
 - Obstruct the line of vision at an intersection; or
 - Are placed in a manner that may constitute a hazard to pedestrians, cyclists or vehicles.

GENERAL ENFORCEMENT

- Signs installed in prohibited areas will be removed by City staff if not removed or relocated within 24 hours notice to the applicable candidate or campaign office.
- Where there are immediate safety concerns or damage to municipal property, City staff will immediately remove the signs and then contact the candidate or campaign office.
- The City will assume no responsibility for any damage to election signs where they are removed by city staff in prohibited locations.

ADDITIONAL CANDIDATE RESPONSIBILITIES

- Persons installing signs on municipal property must be aware of the risk of damage to underground utilities. A call must be made by the candidate or their agent to the City at least 48 hours in advance of the installation in order to confirm that the location chosen is safe.
- Any damage to underground utilities or services as a result of election signs being placed on municipal property is the responsibility of the candidates and their agents.
- Candidates and their agents are liable for any damage done to City property in placement of election signs on municipal property.
- Candidates and their agents should also reference applicable Provincial and Federal statutes and regulations for additional requirements.

HOUSING AGREEMENT (515 CHATHAM STREET) BYLAW
A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to authorize an agreement for rental housing for the lands known as 515 Chatham Street, Victoria, BC.

Under its statutory powers, including section 483 of the *Local Government Act*, the Council of The Corporation of the City of Victoria in an open meeting enacts the following provisions:

Title

- 1 This Bylaw may be cited as the "HOUSING AGREEMENT (515 Chatham Street) BYLAW (2018)".**

Agreement authorized

- 2 The Mayor and the City's Corporate Administrators are authorized to execute the Housing Agreement**
- (a) substantially in the form attached to this Bylaw as Schedule A;
 - (b) between the City, 515 Chatham Street Inc., Inc. No. BC1096222 or other registered owners from time to time of the lands described in subsection (c); and
 - (c) that applies to the lands known as 515 Chatham Street, Victoria, BC, legally described as:
 - i. PID: 009-370-765
 Lot 483, Victoria City
 - ii. PID: 009-370-781
 Lot 484, Victoria City
 - iii. PID: 009-370-803
 Lot 485, Victoria City
 - iv. PID: 009-370-820
 Lot 486, Victoria City

READ A FIRST TIME the **24th** day of **May** 2018

READ A SECOND TIME the **24th** day of **May** 2018

READ A THIRD TIME the **24th** day of **May** 2018

ADOPTED on the day of 2018

CITY CLERK

MAYOR

HOUSING AGREEMENT

(Pursuant to Section 483 of the *Local Government Act*)

BETWEEN:

THE CORPORATION OF THE CITY OF VICTORIA

1 Centennial Square Victoria, B.C. V8W 1P6

(the "City")
OF THE FIRST PART

AND:

515 CHATHAM STREET INC.

530 Herald Street, Victoria, British Columbia V8W 1S6

(the "Owner")
OF THE SECOND PART

AND:

COAST CAPITAL SAVINGS CREDIT UNION

400 – 645 Tyee Road, Victoria, British Columbia V8A 6X5

(the "Chargeholder")
OF THE THIRD PART

WHEREAS:

- A. Under section 483 of the *Local Government Act* the City may, by bylaw, enter into a Housing Agreement with an owner regarding the occupancy of the housing units identified in the agreement, including but not limited to terms and conditions referred to in section 483(2) of the *Local Government Act*;
- B. The Owner is the registered owner in fee simple of lands in the City of Victoria, British Columbia, with a civic address of 515 Chatham Street, Victoria, British Columbia, and legally described as:

Parcel Identifier 009-370-765, Lot 483, Victoria City,
Parcel Identifier 009-370-781, Lot 484, Victoria City,
Parcel Identifier 009-370-803, Lot 485, Victoria City, and
Parcel Identifier 009-370-882, Lot 486, Victoria City

(collectively, the "Lands").

- C. The Owner has made application to the City for permits to subdivide and build the

Development.

- D. The Dwelling Units are intended to be stratified and therefore will be subject to the *Strata Property Act* (British Columbia) and the bylaws of the Strata Corporation, but the intent of this Housing Agreement is to ensure the perpetual availability of rental units (in addition to owner-occupied units);
- E. The City and the Owner wish to enter into this Agreement, as a Housing Agreement pursuant to section 483 of the *Local Government Act*, to establish the terms and conditions regarding the occupancy of the residential units identified in this Housing Agreement.

NOW THIS AGREEMENT WITNESSES that pursuant to section 483 of the *Local Government Act*, and in consideration of the premises and covenants contained in this Agreement, the parties agree each with the other as follows:

1.0 Definitions

1.1 In this Agreement:

"**Development**" means the proposed mixed commercial and residential strata development on the Lands to include eighty-eight (88) Dwelling Units.

"**Dwelling Unit**" means a self-contained residential dwelling unit within the building that *is/will be* located on the Lands and includes any dwelling unit that is developed on the Lands in future, whether as part of the Development or otherwise, and "Dwelling Units" means collectively all such residential dwelling units located on the Lands.

"**Immediate family**" includes a person's husband, wife, child, mother, father, brother, sister, mother-in-law, father-in-law, grandparent, brother-in-law, sister-in-law, niece and nephew.

"**Non-owner**" means a person who occupies a Dwelling Unit for residential purposes, other than the Owner of that Dwelling Unit, and other than a member of the Owner's Immediate family.

"**Owner**" includes a person who acquires an interest in the Lands or any part of the Lands and is thereby bound by this Agreement, as referred to in section 7.3.

"**Tenancy Agreement**" means a tenancy agreement pursuant to the *Residential Tenancy Act* that is regulated by that Act.

"**Strata Corporation**" means, for the portions of the Lands or any building on the Lands that is subdivided under the *Strata Property Act*, a strata corporation as defined in that Act, including the Owner while in control of the strata corporation and subsequently the individual strata lot owners collectively acting as the strata corporation.

1.2 In this Agreement:

- (a) reference to any enactment includes any regulations, orders or directives made under the authority of that enactment; and

- (b) reference to any enactment is a reference to that enactment as consolidated, revised, amended, re-enacted or replaced, unless otherwise expressly provided.

2.0 No Restrictions on Rentals

- 2.1 The Owner covenants and agrees that the Owner shall not take any steps, or enter into any agreements, or impose any rules or regulations whatsoever, the effect of which would be to prevent or restrict the Owner of a Dwelling Unit from renting that Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.
- 2.2 Without limiting the generality of section 2.1, the Owner covenants and agrees that it will not make application to deposit a strata plan for or in respect of the Lands or a building on the Lands unless the strata bylaws in no way restrict rental of any Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.
- 2.3 For certainty, if the Lands or the Development on the Lands are subdivided under the *Strata Property Act*, the Dwelling Units within the Development may be occupied by the Owners of the strata lots.

3.0 Reporting

- 3.1 The Owner covenants and agrees to provide to the City, upon written request from the City's Director of Sustainability Planning and Community Development, a report in writing confirming:
 - (a) the number, type and location by suite or strata lot number, of Dwelling Units that are being rented to Non-owners; and
 - (b) any changes or proposed changes to the Strata Corporation's bylaws that may affect the terms of this Agreement.
- 3.2 The Owner covenants and agrees:
 - (a) to exercise its voting rights in the Strata Corporation against the passage of any bylaws that would restrict the availability for rental of any Dwelling Unit under the terms of a Tenancy Agreement unless this Agreement is amended; and
 - (b) to notify the City of any proposed amendments to its strata bylaws.
- 3.3 The Owner acknowledges that it is within the City's sole discretion to consent or not to consent to modifications to this Agreement and that such consent may be withheld for any reason.

4.0 Notice to be Registered in Land Title Office

- 4.1 Notice of this Agreement ("**Notice**") will be registered in the Land Title Office by the City at the cost of the Owner in accordance with section 483(5) of the *Local Government Act*, and this Agreement is binding on the parties to this Agreement as well as all persons who acquire an interest in the Lands after registration of the Notice.

5.0 Liability

- 5.1 The Owner agrees to indemnify and saves harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reason of or arising out of failure of the Owner to comply with the terms and conditions of this Agreement.
- 5.2 The Owner hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Owner now has or hereafter may have with respect to or by reason of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.

6.0 Priority Agreement

- 6.1 The Chargeholder, as the registered holder of a charge by way of a mortgage and assignment of rents against the Lands, which said charges are registered in the Land Title Office at Victoria, British Columbia, under numbers CA5674534 and CA5674535 for and in consideration of the sum of One Dollar (\$1.00) paid by the City (the receipt whereof is hereby acknowledged), agrees with the City that upon filing of a Notice with the Land Title Office that the Lands are subject to this Agreement, pursuant to Section 483(5) of the *Local Government Act*, this Agreement shall be an encumbrance upon the Lands in priority to the said charges in the same manner and to the same effect as if Notice had been filed prior to the said charges.

7.0 General ProvisionsNotice

- 7.1 If sent as follows, notice under this Agreement is considered to be received
- (a) seventy-two (72) hours after the time of its mailing (by registered mail) or faxing, and
 - (b) on the date of delivery if hand-delivered,

to the City:

City of Victoria
 1 Centennial Square, Victoria, British Columbia V8W 1P6
 Attention: Director of Sustainability Planning and Community Development
 Facsimile: 250-361-0386

to the Owner:

515 Chatham Street Inc.
 530 Herald Street, Victoria, British Columbia V8W 1S6
 Attention: C. E. LeFevre

or upon registration of a strata plan for the Lands, to the Strata Corporation, and to the Owner of any Dwelling Unit that is subject to the restrictions under section 2.1.

If a party identifies alternate contact information in writing to another party, notice is to be given to that alternate address.

If normal mail service or facsimile service is interrupted by strike, work slow-down, force majeure, or other cause,

- (a) notice sent by the impaired service is considered to be received on the date of delivery, and
- (b) the sending party must use its best efforts to ensure prompt receipt of a notice by using other uninterrupted services, or by hand-delivering the notice.

Time

- 7.2 Time is to be the essence of this Agreement.

Binding Effect

- 7.3 This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors, and permitted assignees. In accordance with section 483(6) of the *Local Government Act*, this Agreement and all obligations hereunder is binding on all who acquire an interest in the Lands, and the Owner only during the Owner's ownership of any interest in the Lands, and with respect only to that portion of the Lands of which the Owner has an interest.

Waiver

- 7.4 The waiver by a party of any failure on the part of the other party to perform in accordance with any of the terms or conditions of this Agreement is not to be construed as a waiver of any future or continuing failure, whether similar or dissimilar.

Headings

- 7.5 The headings in this Agreement are inserted for convenience and reference only and in no way define, limit or enlarge the scope or meaning of this Agreement or any provision of it.

Language

- 7.6 Wherever the singular, masculine and neuter are used throughout this Agreement, the same is to be construed as meaning the plural or the feminine or the body corporate or politic as the context so requires.

Equitable Remedies

- 7.7 The Owner acknowledges and agrees that damages would be an inadequate remedy for the City for breach of this Agreement and that the public interest strongly favours specific performance, injunctive relief (mandatory or otherwise), or other equitable relief, as the only adequate remedy for a default under this Agreement.

Cumulative Remedies

- 7.8 No remedy under this Agreement is to be deemed exclusive but will, where possible, be cumulative with all other remedies at law or in equity.

Entire Agreement

- 7.9 This Agreement when executed will set forth the entire agreement and understanding of the parties as at the date it is made.

Further Assurances

- 7.10 Each of the parties will do, execute, and deliver, or cause to be done, executed, and delivered all such further acts, documents and things as may be reasonably required from time to time to give effect to this Agreement.

Amendment

- 7.11 This Agreement may be amended from time to time, by consent of the Owner and a bylaw duly passed by the Council of the City and thereafter if it is signed by the City and the Owner.

Law Applicable

- 7.12 This Agreement is to be construed in accordance with and governed by the laws applicable in the Province of British Columbia.

No Derogation from Statutory Authority

- 7.13 Nothing in this Agreement shall:
- (a) limit, impair, fetter or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive bylaw enacted by the City, or permit, licence or approval, granted, made or issued thereunder, or pursuant to statute, by the City shall estop, limit or impair the City from relying upon and enforcing this Agreement; or
 - (b) relieve the Owner from complying with any enactment, including the City's bylaws, or any obligation of the Owner under any other agreement with the City.

Joint and Several

- 7.14 The Owner, if more than one, are jointly and severally obligated to perform and observe each and every of the covenants, warranties and agreements herein contained by the Owner to be observed and performed.

Counterpart

- 7.15 This Agreement may be executed in counterparts and delivered by facsimile or emailed PDF file, each of which will have the same effect as if all parties had signed the same document. Each counterpart shall be deemed to be an original. All counterparts shall be construed together and shall constitute one and the same Agreement.

Effective Date

- 7.16 This Agreement is effective as of the date of the signature of the last party to sign.

IN WITNESS WHEREOF the parties have hereunto set their hands as of the dates inscribed at a place within British Columbia.

THE CORPORATION OF THE CITY OF VICTORIA
by its authorized signatories:

Mayor

City Clerk

Date Signed: _____

515 CHATHAM STREET INC.
by its authorized signatory:

C. E. LeFevre

Date Signed: 30 April 2018

COAST CAPITAL SAVINGS CREDIT UNION
by its authorized signatories:

Date Signed: _____



SAANICH POLICE

.....keeping Saanich safe since 1906

ROBERT A. DOWNIE
CHIEF CONSTABLE

April 15, 2018

Mayor Lisa Helps
Lead Co-Chair, Victoria Police Board
City of Victoria
1 Centennial Square
Victoria BC V8W 1P6

MAYOR'S OFFICE

MAY 07 2018

VICTORIA, B.C.

Dear Mayor Helps:

I am writing to you today on behalf of the Saanich Police Board to offer our condolences to Constable Ian Jordan's family and friends and to his Victoria family of police officers and colleagues at the time of his death. We were saddened to learn of his passing.

We offer our heartfelt thoughts and sympathy in the hope that they will help you through this difficult time.

Sincerely,

Mayor Richard Atwell
On behalf of the Saanich Police Board

RA/kbt



MAY 23 2018

Office of the Mayor

Don Iveson
Mayor

City of Edmonton
2nd Floor, City Hall
1 Sir Winston Churchill Square
Edmonton, Alberta, Canada
T5J 2R7
edmonton.ca

Mayor Lisa Helps
1 Centennial Square
Victoria, BC V8W 1P6

Dear Mayor Helps,

As leaders of cities, we cannot tackle the complexity of climate change individually; instead, we must work collectively towards solutions. This past March, we came together with global city networks and the science community in Edmonton for the Change for Climate Global Mayors Summit to begin to discuss these unique needs. I would like to take this opportunity to follow up with you to share its outcome.

The Edmonton Declaration

This summit was the first-ever opportunity for these three groups to meet and address the impacts of climate change, and the outcome was the commitment to advance the Edmonton Declaration for signature by global mayors. In brief, the Edmonton Declaration:

- Engages all levels of government to recognize the immediate and urgent need for action that will limit global warming to 1.5 degrees celsius,
- Recognizes that cities face some of the most significant impacts of rising GHG emissions and bear much of the costs for adaptation and mitigation,
- Reinforces the importance and role of cities in achieving the targets in the Paris Agreement,
- Calls on the scientific community and other levels of government to provide better data and tools for science-based decision-making,
- Asks cities to look beyond their borders at the impact of consumption on GHG emissions.

By signing the Edmonton Declaration, we are committing to taking the mantle of leadership on climate change, and amplifying the message that rising greenhouse gas emissions severely impact cities.

Using input provided at the summit in Edmonton, and further feedback gathered from United Cities and Local Governments, ICLEI – Local Governments for Sustainability and the Global Covenant of Mayors for Climate and Energy, we have made several changes to the original draft. The intent of these changes was to remove barriers and ensure inclusivity across geographic and socio-economic differences. Attached you will find the final version of the Edmonton Declaration along with a brief description.

Global Cities Research and Innovation Agenda

The Global Covenant of Mayors for Climate and Energy has taken the lead on developing a research and innovation agenda, which will address critical knowledge, data and innovation gaps that cities experience.

As they proceed with stakeholder engagement at city network and international gatherings, they will be using the Edmonton Declaration as a touchpoint to continue to gather global support to highlight the need for research and innovation that is specific to cities. Together, the research agenda and the Edmonton Declaration will be powerful tools to help cities create policy, form partnerships and build financial resources.

The Goal

Ultimately, the Edmonton Declaration and the research agenda will enable cities to take targeted, accelerated and ambitious climate action. Cities and city networks will be able to bring these documents to private industry, and national and subnational governments, in order to catalyze new research, build new data, provoke innovation and stimulate new funding sources for cities to combat climate change.

Next steps for the Declaration

Over the next four weeks, the Global Covenant of Mayors and I will be attending meetings of mayors around the world to help advance the Declaration with the aim of gathering support for the Declaration at the ICLEI World Congress in Montreal on June 19-22, 2018.

I will be formally presenting the Edmonton Declaration for consideration at the following events:

- Federation of Canadian Municipalities Big City Mayors Caucus – May 31 (Halifax, Canada)
- Federation of Canadian Municipalities Annual Conference – June 1-3 (Halifax, Canada)
- Boston Climate Summit – June 7 (Boston, USA)
- US Conference of Mayors Boston 86th Annual General Meeting – June 8-11 (Boston, USA)
- ICLEI - Local Governments for Sustainability World Congress – June 19-22 (Montreal, Canada)

I invite you to show your support and sign the Declaration. You can do so by contacting the Global Covenant of Mayors: ed_dec@globalcovenantofmayors.org. Ultimately, the two documents will be carried forward to the September Global Climate Action Summit in San Francisco, California Global Climate Action Summit on September 12-14, 2018.

Please do not hesitate to reach out with any questions. I hope to see you soon.

Yours truly,

A handwritten signature in black ink, appearing to read 'Don Iveson', with a stylized, flowing script.

Don Iveson
Mayor

Enclosure

CHANGE FOR CLIMATE – EDMONTON DECLARATION

Together, the Global Covenant of Mayors for Climate & Energy and Edmonton Mayor Don Iveson are asking global mayors to sign the Edmonton Declaration and amplify the message that cities urgently need the tools and data to address climate change.

Origins of the Edmonton Declaration

This past March, for the first-time ever, global city networks, mayors and the science community came together in Edmonton for the *Change for Climate Global Mayors Summit* to discuss the needs of cities. This summit was an unprecedented opportunity for these three groups to meet and the outcome was two-fold:

1. A commitment to advance the Edmonton Declaration – a call for and commitment to action on climate change – for signature by global mayors.
2. The development of a *Global Cities Research and Innovation Agenda* that will address critical knowledge, data and innovation gaps that cities experience, and that prevent cities from making science-based decisions.

Overview

In brief, the Edmonton Declaration:

- Engages all levels of government to recognize the immediate and urgent need for action that will limit global warming to 1.5 degrees celsius,
- Recognizes that cities face some of the most significant impacts of rising GHG emissions and bear much of the costs for adaptation and mitigation,
- Reinforces the importance and role of cities in achieving the targets in the Paris Agreement,
- Calls on the science community and other levels of government to provide better data and tools for science-based decision-making,
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The Goal

Ultimately, the Edmonton Declaration and research agenda will enable cities to take targeted, accelerated and ambitious climate action. Cities and city networks will be able to bring these documents to private industry and national and subnational governments in order to catalyze new research, build new data, provoke innovation and stimulate new funding sources for cities to combat climate change.

How to sign

To sign the Declaration, please contact the Global Covenant of Mayors:
ed_dec@globalcovenantofmayors.org

Technical and general inquiries

Seth Schultz, Global Covenant of Mayors
sschultz@globalcovenantofmayors.org