



REVISED AGENDA - COMMITTEE OF THE WHOLE

Thursday, February 28, 2019, 9:00 A.M.

COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

Located on the traditional territory of the Esquimalt and Songhees People

Pages

A. APPROVAL OF AGENDA

B. CONSENT AGENDA

Proposals for Consent Agenda:

F.1 - Emergency Operations Centre Training Grant

F.2 - Support for Bid to Host the 2022 Invictus Games

F.3 - Proclamation - Tibet Day

H.1 - Smart Cities Challenge, Letter of Support

C. READING OF MINUTES

*C.1 Minutes from the Committee of the Whole Meeting held January 31, 2019

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Addendum: Minutes

D. UNFINISHED BUSINESS

D.1 Letter from the Victoria & Esquimalt Police Board re: Employers Health Tax

26

A letter dated February 21, 2019 from the Victoria & Esquimalt Police Board regarding the Employers Health Tax and the Victoria Police Department 2019 Budget.

*D.2 Request of Director of Police Services Under Section 27(3) of the Police Act

28

A letter dated February 26, 2019 from the Acting Assistant Deputy Minister and Director of Police Services with the results of the review regarding the six additional police officers in the VicPD's 2018 provisional budget.

Addendum: Report

E. LAND USE MATTERS

*E.1 945 Pembroke Street - Rezoning Application No. 000642 and Development Permit with Variances Application No. 00078 (North Park)

94

A report with information regarding an application proposing to rezone, subdivide and increase the density to allow multi-unit residential uses at 945 Pembroke Street also a development permit to construct two, three-storey multi-unit residential buildings and recommending it move forward to a public hearing.

Addendum: Correspondence & Presentation

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| *E.2 | <u>1712 & 1720 Fairfield Road - Rezoning Application No. 00618 and Development Permit with Variance Application No.00098 (Gonzales)</u> | 184 |
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A report presenting Council with information on a Rezoning and a Development Permit with Variance application on three buildings containing 17 dwelling units up to 2.5 storeys in height and recommending it move forward to a public hearing.

Addendum: Report, Attachments, Presentation and additional correspondence

F. STAFF REPORTS

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| F.1 | <u>Emergency Operations Centre Training Grant</u> | 669 |
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A report seeking a Council resolution to support a City of Victoria application to the Union of BC Municipalities(UBCM) Community Emergency Preparedness Fund for \$25,000 towards Emergency Operations Centre training, through the Emergency Management Division of the Victoria Fire Department.

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| F.2 | <u>Support for Bid to Host the 2022 Invictus Games</u> | 678 |
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A report seeking approval for a letter of support and financial contribution of \$20,000 towards a bid to host the 2022 Invictus Games.

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| F.3 | <u>Proclamation - Tibet Day</u> | 682 |
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A report regarding the proclamation for "Tibet Day" on March 10, 2019.

G. NOTICE OF MOTIONS

H. NEW BUSINESS

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| *H.1 | <u>Smart Cities Challenge, Letter of Support</u> | 685 |
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A report seeking Council approval on the letter of support and aligned funding chart for the South Island Prosperity Project's submission to the Smart Cities Challenge.

Addenda: Attachment

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| H.2 | <u>Citizens' Assembly Council Committee</u> | 692 |
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A report seeking the City of Victoria to form a committee that mirrors the Saanich Districts Committee to work with Victoria Council to develop terms of reference for a Citizens Assembly and related processes such as a technical assessment.

H.3 Extended Hours for Our Place

693

A report seeking Council approval to allocate \$50,000 from surplus to partner with BC Housing and Island Health to increase the hours and services for Our Place to match winter hours from April 1 - October 31.

***H.4 Maintaining the City of Victoria's Cherry Blossom Heritage**

695

A report encouraging Council to include the historic importance and symbolic significance of cherry blossom trees when considering what trees to plant.

Addendum: Report

***H.5 Recommendations from the Accessibility Working Group**

697

A report providing recommendations from the Accessibility Working Group for Council's consideration.

Addendum: Report and Financial Plan Motion Responses

***H.6 Attendance at Federation of Canadian Municipalities Annual Meeting, May 30 - June 2, 2019**

705

A Council member motion providing recommendations regarding the attendance of Councillor Collins at the Federation of Canadian Municipalities Annual Meeting.

Addendum: Report

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE



MINUTES - COMMITTEE OF THE WHOLE

January 31, 2019, 9:00 A.M.

COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

Located on the traditional territory of the Esquimalt and Songhees People

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Isitt, Councillor Loveday, Councillor Thornton-Joe, Councillor Young, Councillor Dubow, Councillor Potts, Councillor Collins

STAFF PRESENT: J. Jenkyns - City Manager, C. Coates - City Clerk, P. Bruce - Fire Chief, S. Thompson - Deputy City Manager / Director of Finance, F. Work - Director of Engineering & Public Works, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, C. Havelka - Deputy City Clerk, A. Hudson - Acting Director of Sustainable Planning & Community Development, C. Mycroft - Manager of Executive Operations, T. Zworski - City Solicitor, L. Taylor - Senior Planner, R. Morhart - Manager, Permits & Inspections, K. Sidhu - Committee Secretary

A. APPROVAL OF AGENDA

Moved By Councillor Isitt
Seconded By Councillor Collins

That the agenda be approved.

Amendment:

Moved By Councillor Isitt
Seconded By Councillor Collins

That the Agenda of the January 31, 2019, Committee of the Whole meeting be amended as follows:

Consent Agenda:

E.1 – Rezoning Application No. 00654 for 700 Government Street

F.3 – Proclamation – Eating Disorder Awareness Week

F.4 – Proclamation – International Development Week

H.2 – Attendance at Higher Ground Governance Forum, March 2019

H.3 – Attendance at the Association of Vancouver Island and Coastal Communities Annual Meeting, April 2019

H.4 – Attendance at New Westminster Mayor's Housing Roundtable, February 16, 2019

H.6 – Resolution: Shifting Investment to Low-Emission Transportation Motion

H.7 – Resolution: Protection of Old Growth Forests on Vancouver Island Motion

CARRIED UNANIMOUSLY

Main motion as amended:

CARRIED UNANIMOUSLY

B. CONSENT AGENDA

That the following items be approved without further debate:

E.1 Rezoning Application No. 00654 for 700 Government Street

Committee received a report dated January 18, 2019 from the Acting Director of Sustainable Planning and Community Development to allow for a larger restaurant patio than is currently permitted.

Moved By Councillor Isitt

Seconded By Councillor Loveday

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00654 for 700 Government Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set.

CARRIED UNANIMOUSLY

F.3 Proclamation – Eating Disorder Awareness Week

Committee received a report dated January 28, 2019 from the City Clerk regarding a proclamation for an "Eating Disorder Awareness Week" from February 1st - February 7th, 2019.

Moved By Councillor Isitt

Seconded By Councillor Loveday

That the *Eating Disorder Awareness Week* Proclamation be forwarded to the January 31, 2019 Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

F.4 Proclamation – International Development Week

Committee received a report dated January 29, 2019 from the City Clerk regarding a proclamation for an "International Development Week" from February 3rd - February 9th, 2019.

Moved By Councillor Isitt
Seconded By Councillor Loveday

That the *International Development Week* Proclamation be forwarded to the January 31, 2019 Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

H.2 Attendance at Higher Ground Governance Forum, March 2019

Committee received a report dated January 28, 2019 from Councillor Laurel Collins requesting authorization for attendance and associated costs to attend the Higher Ground Governance Forum.

Moved By Councillor Isitt
Seconded By Councillor Loveday

That Council authorize the attendance and associated costs for Councillor Collins to attend the Higher Ground Governance Forum at Harrison Hot Springs, BC, from March 29-30, 2019, with estimated costs as follows:

Registration:	\$400
Transportation:	\$250
Accommodation:	\$300
Incidentals:	\$100
Estimated total costs:	\$1050

CARRIED UNANIMOUSLY

H.3 Attendance at the Association of Vancouver Island and Coastal Communities Annual Meeting, April 2019

Committee received a report dated January 28, 2019 from Councillor Laurel Collins requesting authorization for attendance and associated costs to attend the Association of Vancouver Island and Coastal Communities Annual Meeting.

Moved By Councillor Isitt
Seconded By Councillor Loveday

That Council authorize the attendance and associated costs for Councillor Collins to attend the Association of Vancouver Island and Coastal Communities annual meeting at Powell River, BC, from April 12-14, 2019, with estimated costs as follows:

Registration:	\$300
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Transportation:	\$250
Accommodation:	\$300
Incidentals:	\$150
Estimated total costs:	\$1000

CARRIED UNANIMOUSLY

H.4 Attendance at New Westminster Mayor's Housing Roundtable, February 16, 2019

Committee received a report dated January 28, 2019 from Councillor Laurel Collins requesting authorization for attendance and associated costs to attend the New Westminster Mayor's Housing Roundtable at New Westminster.

Moved By Councillor Isitt
Seconded By Councillor Loveday

That Council authorize the attendance and associated costs for Councillor Collins to attend the New Westminster Mayor's Housing Roundtable at New Westminster, BC, on February 16, 2019, with estimated costs as follows:

Transportation:	\$175
Incidentals:	\$25
Estimated total costs:	\$200

CARRIED UNANIMOUSLY

H.6 Resolution: Shifting Investment to Low-Emission Transportation

Committee received a Council motion dated January 30, 2019 from Councillor Jeremy Loveday and Councillor Ben Isitt recommending local governments call on the Governments of Canada and British Columbia to implement their commitment in the Pan-Canadian Framework on Clean Growth and Climate Change, to shift investments "from higher to lower-emitting types of transportation".

Moved By Councillor Isitt
Seconded By Councillor Loveday

THAT Council endorse the following resolution for consideration at the 2019 annual conventions of the Association of Vancouver Island and Coastal Communities and Union of BC Municipalities, and directs staff to forward this resolution to member local governments requesting favourable consideration and resolutions of support:

Resolution: Shifting Investment to Low-Emission Transportation

WHEREAS the Prime Minister of Canada and the Premiers of BC and most provinces signed the Pan-Canadian Framework on Clean Growth and Climate Change in 2016, endorsing a policy shift that could substantially reduce greenhouse gas (GHG) pollution from transportation while funding public transit improvements, including inter-city and commuter bus and rail service;

AND WHEREAS the transportation sector is the second-largest contributor of GHG pollution in Canada, representing 23% of total emissions;

THEREFORE BE IT RESOLVED that local governments call on the Governments of Canada and British Columbia to fully implement their commitment in the Pan-Canadian Framework on Clean Growth and Climate Change, to shift investments “from higher to lower-emitting types of transportation”.

CARRIED UNANIMOUSLY

H.7 Resolution: Protection of Old Growth Forests on Vancouver Island

Committee received a report dated January 29, 2019 from Councillor Jeremy Loveday and Councillor Ben Isitt recommending that the Provincial government amend the Vancouver Island Land Use Plan to protect all of Vancouver Island's remaining old growth forest on provincial crown land.

Moved By Councillor Isitt

Seconded By Councillor Loveday

THAT Council endorse the following resolution for consideration at the 2019 annual convention of the Association of Vancouver Island and Coastal Communities, and directs staff to forward this resolution to member local governments requesting favourable consideration and resolutions of support:

Resolution: Protection of Old Growth Forests

And whereas old-growth forest has significant economic, social and environmental value as wildlife habitat, tourism resource, carbon sink and much more;

And whereas old-growth forest is increasingly rare on Vancouver Island and current plans on provincial Crown land call for logging the remaining old-growth forest, outside of protected areas, Old-Growth Management Areas, and similar reserves, over the next 10-20 years:

Therefore be it resolved that the old-growth forest on provincial Crown Land on Vancouver Island be protected from logging;

And be it further resolved that the Provincial government amend the Vancouver Island Land Use Plan to protect all of Vancouver Island's remaining old growth forest on provincial Crown land.

CARRIED UNANIMOUSLY

C. Presentations

C.1 Downtown Victoria Business Association

Presentation by Jeff Bray, Executive Director of the Downtown Victoria Business Association providing highlights of its past year and seeking approval and reviewing the 2019 Budget.

Moved By Councillor Thornton-Joe

Seconded By Councillor Loveday

That Council receive the report for information.

CARRIED UNANIMOUSLY

C.2 South Island Prosperity Project Presentation on Smart Mobility

Presentation by Emilie De Rosenroll, CEO of South Island Prosperity Project and Bruce Williams, Director of Engagement of South Island Prosperity Project providing information on the Smart Cities Challenge initiative.

Moved By Mayor Helps

Seconded By Councillor Alto

That Council receive the report for information.

CARRIED UNANIMOUSLY

Councillor Isitt left the meeting at 9:46 a.m.

D. UNFINISHED BUSINESS

D.1 Letter from Employment and Social Development Canada

Council received a letter dated October 1, 2018, in which the City of Victoria was carbon-copied, regarding a redesigned federal homelessness program called Reaching Home: Canada's Homelessness Strategy

Moved By Mayor Helps

Seconded By Councillor Thornton-Joe

That the correspondence dated October 1, 2018 from Employment and Social Development Canada be received for information.

CARRIED UNANIMOUSLY

D.2 Youth Services Delivery Model

Committee received a report dated December 5, 2018 from the Director of Parks, Recreation and Facilities following up with Council on the implementation of youth-related initiatives, as well as outlining opportunities to enhance how investments are planned and implemented.

Moved By Mayor Helps

Seconded By Councillor Potts

That this item be postponed until later in the agenda.

CARRIED UNANIMOUSLY

E. LAND USE MATTERS

E.2 Development Permit with Variances Permit Application No. 00082 and Development Variance Permit Application No. 00218 for 931 Redfern Street (Gonzales)

Committee received a report dated January 17, 2019 from the Acting Director of Sustainable Planning and Community Development for the construction of a new single-family dwelling with a secondary suite on a regular lot and recommending it move forward for an opportunity for public comment.

Committee discussed:

- preservation of the garry oak trees on the property

Moved By Councillor Collins

Seconded By Councillor Dubow

1) That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00082 for 931 Redfern Street for the subdivision of the property to create a panhandle lot and renovate the existing house in accordance with:

1. Plans date stamped December 18, 2018.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase the maximum building height from 5.0m and 1 storey to 6.4m and 2 storeys
 - ii. reduce the minimum front setback from 7.5m to 0.0m
 - iii. reduce the minimum non-habitable south side building setback from 4.0m to 2.05m and the habitable south side building setback from 7.5m to 3.08m
 - iv. reduce the minimum habitable north side building setback from 7.5m to 4.24m

- v. increase the maximum eave projections into setbacks from 0.75m to 1.0m.
- 3. The Development Permit with Variances lapsing two years from the date of this resolution.

2) At the same meeting that Development Permit with Variances Application No. 00082 is considered, if it is approved, and subject to revisions to reduce the protrusion of the secondary suite stairwell and below-grade outdoor amenity area into the front yard setback to the satisfaction of the Director of Sustainable Planning and Community Development, that Council consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No. 00218 for 931 Redfern Street in accordance with:

- 1. Plans date stamped December 18, 2018.
- 2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the minimum front setback from 7.5m to 3.23m
 - ii. reduce the minimum rear setback from 9.1m to 3.64m
 - iii. reduce the minimum south side setback from 2.6m to 1.93m
 - iv. reduce the combined side yards setback from 5.4m to 4.53m
 - v. increase the maximum eave projections into setbacks from 0.75m to 1.1m.
- 3. The Development Variance Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY

Councillor Isitt returned to the meeting at 10:50 a.m.

E.3 Application for Lounge Endorsements to Manufacturer's Licenses Regarding Brewing and Distilling Manufacture Licenses, Hudson Brew Corp., o/a Hudson Taphouse and Grill Brewery and Distillery, 785 Caledonia Avenue

Committee received a report dated January 21, 2019 from the Acting Director of Sustainable Planning and Community Development regarding a lounge endorsement added to each of the two manufacturing licenses, having hours of operation from 9:00 a.m. to 12:00 a.m. daily with an occupant load of 358 persons.

Moved By Councillor Isitt
Seconded By Mayor Helps

That Council direct staff to provide the following response to the Liquor Licensing Agency:

1. Council, after conducting a review with respect to noise and community impacts, does support the application of Hudson Taphouse and Grill Brewery and Distillery, owned and operated by Hudson Brew Corp., located at 785 Caledonia Avenue, to have a lounge endorsement added to each of the two manufacturing licenses, having hours of operation from 9:00 am to 12:00 am daily with an occupant load of 358 persons.

Providing the following comments on the prescribed considerations:

- a. The impact of noise on the community in the vicinity of the establishment has been considered in relation to the request and assumptions are that the noise impacts would be proportional in comparison to existing licence capacity in the vicinity and its noise impacts. The applicant has demonstrated commitment to abide by the Noise Bylaw and has committed to operating a respectful and conscientious business and neighbour. The requested hours of operation are modest and support for the application is not expected to cause a trend of significant negative impacts to the community.
- b. If the application is approved, the impact on the community is expected to be economically positive as the approval supports the business plan and long-term viability of the establishment. The establishment is in close proximity to sporting and entertainment venues and so is thought to contribute to the vibrancy and diversity of offerings in the area.
- c. The views of residents were solicited via a mail out to neighbouring property owners and occupiers within 100 metres of the licensed location and a notice posted at the property. The City received nine letters in response to the request, two in support of the application and seven opposed.
- d. Council recommends the license endorsements be approved.

Moved By Mayor Helps
Seconded By Councillor Collins

Motion to postpone consideration of this item until additional information is received.

CARRIED UNANIMOUSLY

E.4 Application for a Lounge Endorsement to a Manufacturer's License (brewing) for Whistle Buoy Brewing Company, 63-560 Johnson Street

Committee received a report dated January 8, 2019 from the Acting Director of Sustainable Planning and Community Development regarding an application by Whistle Buoy Brewing Company to have a lounge endorsement added to their manufacturing license.

Moved By Councillor Isitt
Seconded By Mayor Helps

That Council direct staff to provide the following response to the Liquor Licensing Agency:

Council, after conducting a review with respect to noise and community impacts, does support the application of Whistle Buoy Brewing Company, located at 560 Johnson Street, to have a lounge endorsement added to their manufacturing license, having hours of operation from 11:00 am to 12:00 am Thursday- Sunday, 11:00 am to 11:00 pm Monday -Wednesday, and an occupant load of 112 persons.

Providing the following comments on the prescribed considerations:

- a. The impact of noise on the community in the vicinity of the establishment has been considered in relation to the request and assumptions are the noise impacts would be proportional to existing licence capacity in the vicinity. The applicant has committed to operating as a respectful and conscientious neighbour and to avoid disturbances to adjacent businesses and residences. The requested hours of operation are modest and support for the application is not expected to result in disproportionately high negative impacts to the community.
- b. If the application is approved, the impact on the community is expected to be positive economically as the approval supports the business plan and long term viability of the establishment. The business model is seen to align well with recent changes made to zoning bylaws which encourage this type of development. The establishment contributes to the richness, and diversity of offerings in the area.
- c. The views of residents were solicited via a mail out to neighbouring property owners and occupiers within 100 metres of the licensed location and a notice posted at the property. The City received eight letters in response to the request, six in support of the application and two opposed. The applicant has collected and submitted an additional 25 letters of support from residents in the area.
- d. Council recommends the license endorsements be approved.

CARRIED UNANIMOUSLY

E.5 Development Variance Permit No.00214 for 3147 Douglas Street (Burnside)

Committee received a report dated January 15, 2019 from the Acting Director of Sustainable Planning and Community Development proposing new signage on the exterior of Mayfair Mall located at 3147 Douglas Street.

Moved By Mayor Helps

Seconded By Councillor Dubow

That Council, after giving notice and allowing an Opportunity for Public Comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No.00214 for 3147 Douglas Street, in accordance with:

1. Plans date stamped September 17, 2018.
2. The following variances to the Sign Bylaw:
 - i. Vary the size of the maximum permitted sign area from 9m² to:
 - a. 36.9m² for "Mayfair" sign (fronts Douglas Street)
 - b. 21.71m² for "Indigo" sign (fronts Douglas Street)
 - c. 21.71m² for "Indigo" sign (fronts Finlayson Street)
 - d. 13.83m² for "Indigo Kids" sign (fronts Douglas Street)
 - e. 25.33m² for "SportChek" sign (fronts Douglas Street)
 - f. 14.73m² for "SportChek" sign (fronts Tolmie Avenue)
 - g. 26.52m² for future tenant sign (fronts Douglas Street)
 - ii. Vary the total sign allowance area from 73m² to 131m² along Douglas Street.
3. The Development Permit lapsing two years from the date of this resolution."

Amendment:

Moved By Councillor Collins

Seconded By Councillor Isitt

delete point b, c, d, e, f and g but leave point a: Mayfair Mall

FOR (7): Mayor Helps, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Thornton-Joe and Councillor Potts

OPPOSED (2): Councillor Alto and Councillor Young

CARRIED (7 to 2)

Amendment:

Moved By Mayor Helps

Seconded By Councillor Collins

that Council direct staff to amend point 2 accordingly

CARRIED UNANIMOUSLY

On main motion:

That Council, after giving notice and allowing an Opportunity for Public Comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No.00214 for 3147 Douglas Street, in accordance with:

1. Plans date stamped September 17, 2018.
 2. The following variances to the Sign Bylaw:
 - I. Vary the size of the maximum permitted sign area from 9m² to:
 - a. 36.9m² for "Mayfair" sign (fronts Douglas Street)
 - II. Vary the total sign allowance area from 73m² to 131m² along Douglas Street.
 3. That Council direct staff to amend point 2 accordingly.
 4. The Development Permit lapsing two years from the date of this resolution."
- FOR (6): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Loveday, Councillor Thornton-Joe and Councillor Young
- OPPOSED (3): Councillor Dubow, Councillor Isitt and Councillor Potts

CARRIED (6 to 3)

Committee recessed at 11:52 a.m. and returned at 12:25 p.m.

F. STAFF REPORTS

F.1 Climate Action Program Update and Planning Considerations

Committee received a report dated January 25, 2019 from the Director of Engineering & Public Works providing an overview of the CLP and the Climate Action Program (CAP) and responding to Council's recent queries related to climate action progress and present staff's recommended approach for CAP in 2019.

Moved By Councillor Collins
Seconded By Councillor Isitt

That Council:

1. Direct staff to proceed on the basis of option 2 outlined in this report (Enhanced Program);
2. Approve the Council Proposed Actions as follows:
 - a. Make available all ICBC municipal vehicle km/make/model/fuel economy information.
 - b. Continue the development and implementation of world-class low carbon fuel standards.
 - c. Fully invest in delivery of the zero-emission vehicles sales targets as established in the CleanBC Plan.
 - d. Continue progressive and direct funding programs and partnerships for municipal low-carbon initiatives, including building retrofit, transportation, waste management and other priority and shared GFIG reduction programs.

- e. Support transformational improvements to regional BC transit infrastructure to promote and enable rapid mode shift to transit in the region, including transitioning the BC Transit fleet to zero emissions as early in the 2020s as possible, and:
 - i. Completion of dedicated bus lanes on all connections between the West Shore and downtown.
 - ii. Installation of Traffic Signal Priority (TSP) sensors in all buses that operate in the City of Victoria.
 - iii. Installation of 'all door loading' capabilities for all busses in the Victoria regional transit system.
 - iv. Introduction of real-time, digital bus information to enable super convenient, accessible transit operational information.
 - v. Introduction of "tap" payment-systems common to multi-modal service providers, to support rapid loading of busses and align with Smart Mobility goals.
 - vi. Completion of the business-case to determine the most effective investments in public transportation to realize the highest potential modeshift and ridership in the south island, including but not limited assessing commuter ferry, public transit along the E&N rail corridor and Douglas Street / Highway 1 / Highway 99, bus rapid transit (BRT) or light-rail transit (LRT).
 - vii. Reporting of annual regional transit GHG and combustion pollutants, mitigation priorities, progress and business cases for investments,
- e. And that Council continue to advocate and engage with the CRD to prioritize the introduction of systems to minimize fugitive methane and capture all landfill GHGs.
- 3. Consider the 2019 Climate Action Program spending plan as part of the 2019 Financial Planning process.

Amendment:

Moved By Councillor Isitt

Seconded By Councillor Collins

add to Action 1:

Direct Staff to proceed on the basis of option 2, **while limiting the use of contracted services where possible.**

FOR (7): Mayor Helps, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts and Councillor Thornton-Joe

OPPOSED (2): Councillor Alto and Councillor Young

CARRIED (7 to 2)

Amendment:

Moved By Councillor Isitt
Seconded By Mayor Helps

That the motion be amended to add an additional action 4:

4. Undertake the necessary legal review and prepare a bylaw for first reading mandating "EV-Ready" capability in new buildings that provide on-site parking.

Amendment to the amendment:

Moved By Councillor Loveday
Seconded By Councillor Potts

Staff consider not including supportive housing in these requirements.

FOR (8): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (8 to 1)

Amendment to the amendment:

Moved By Councillor Collins
Seconded By Councillor Loveday

Staff consider a possible exemption for affordable housing

FOR (6): Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Loveday, Councillor Potts and Councillor Thornton-Joe

OPPOSED (3): Mayor Helps, Councillor Isitt and Councillor Young

CARRIED (6 to 3)

On the amendment:

FOR (7): Mayor Helps, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts and Councillor Thornton-Joe

OPPOSED (2): Councillor Alto and Councillor Young

CARRIED (7 to 2)

Amendment:

Moved By Mayor Helps
Seconded By Councillor Alto

That these priorities are the focus for staff's Climate Action Work in 2019:

1. **Building Retrofit Program** - Buildings represent the largest source of GHG emissions in Victoria.
2. **Oil Heat Elimination Project** - Oil tank elimination represents a single area with potential for one of the highest GHG reductions.
3. **Bike Master Plan** - Ongoing investments in mode shift through development of improved safe cycling network.
4. **Transit Improvements / Electrification** - Partnerships and incentives to transform regional public transit and drastically increase mode-shift to clean public transit system.
5. **Climate Outreach Program** - Developing strategy and plans for social programs to enable and promote progress in climate action at the personal, family, business and societal levels.
6. **Expert Consultant Advice (Policy Workshop)** - Comprehensive review of City programs, policy options, approach and priorities to reduce risks and guide staff and Council

CARRIED UNANIMOUSLY

Councillor Loveday left meeting at 1:56 p.m.

Amendment:

Moved By Mayor Helps
Seconded By Councillor Collins

Change #3 to:

- i) Include within the 2019 Financial Plan an allocation of \$369,700 from the Climate Action Reserve Fund to fund the one-time initiatives as outlined in this report.
- ii) Authorize the expenditure of \$223,000 for the two new positions outlined in the report funded from tax revenue from new development.

FOR (7): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Potts and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (7 to 1)

Moved By Councillor Alto
Seconded By Councillor Potts

Motion to extend meeting until 2:30 p.m.

CARRIED UNANIMOUSLY

On the main motion as amended:

Councillor Thornton-Joe recused herself from the meeting at 2:08 p.m. as her husband is employed with BC Transit.

On letter E:

- e. Support transformational improvements to regional BC transit infrastructure to promote and enable rapid mode shift to transit in the region, including transitioning the BC Transit fleet to zero emissions as early in the 2020s as possible, and:
 - I. Completion of dedicated bus lanes on all connections between the West Shore and downtown.
 - II. Installation of Traffic Signal Priority (TSP) sensors in all buses that operate in the City of Victoria.
 - III. Installation of 'all door loading' capabilities for all busses in the Victoria regional transit system.
 - IV. Introduction of real-time, digital bus information to enable super convenient, accessible transit operational information.
 - V. Introduction of "tap" payment-systems common to multi-modal service providers, to support rapid loading of busses and align with Smart Mobility goals.
 - VI. Completion of the business-case to determine the most effective investments in public transportation to realize the highest potential modeshift and ridership in the south island, including but not limited assessing commuter ferry, public transit along the E&N rail corridor and Douglas Street / Highway 1 / Highway 99, bus rapid transit (BRT) or light-rail transit (LRT).
 - VII. Reporting of annual regional transit GHG and combustion pollutants, mitigation priorities, progress and business cases for investments,

CARRIED UNANIMOUSLY

Councillor Thornton-Joe returned to meeting at 2:09 p.m.

On rest of motion:

That Council, after giving notice and allowing an Opportunity for Public Comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No.00214 for 3147 Douglas Street, in accordance with:

1. Plans date stamped September 17, 2018.
2. The following variances to the Sign Bylaw:
 - I. Vary the size of the maximum permitted sign area from 9m² to:
 - a. 36.9m² for "Mayfair" sign (fronts Douglas Street)
 - II. Vary the total sign allowance area from 73m² to 131m² along Douglas Street.
3. That Council direct staff to amend point 2 accordingly.
4. The Development Permit lapsing two years from the date of this resolution."

1. Climate Action Program Update and Planning Considerations

That Council:

1. Direct staff to proceed on the basis of option 2 outlined in this report (Enhanced Program); while limiting the use of contracted services where possible.
2. Approve the Council Proposed Actions to advocate to the Province for the following immediate actions:
 - a) Make available all ICBC municipal vehicle km/make/model/fuel economy information.
 - b) Continue the development and implementation of world-class low carbon fuel standards.
 - c) Continue progressive and direct funding programs and partnerships for municipal low-carbon initiatives, including building retrofit, transportation, waste management and other priority and shared GHG reduction programs.
 - d) Fully invest in delivery of the zero-emission vehicles sales targets as established in the CleanBC Plan.
 - e)
 - f) And that Council continue to advocate and engage with the CRD to prioritize the introduction of systems to minimize fugitive methane and capture all landfill GHGs.
3. Consider the 2019 Climate Action Program spending plan as part of the 2019 Financial Planning process
 - i) Include within the 2019 Financial Plan an allocation of \$369,700 from the Climate Action Reserve Fund to fund the one-time initiatives as outlined in this report.
 - ii) Authorize the expenditure of \$223,000 for two new positions outlined in the report funded from tax revenue from new development.
4. Undertake the necessary legal review and prepare a bylaw for first reading mandating "EV-Ready" capability in new buildings that provide on-site parking. Staff consider a possible exemption for affordable housing.

5. That these priorities are the focus for staff's Climate Action Work in 2019:

- 1) **Building Retrofit Program** - Buildings represent the largest source of GHG emissions in Victoria.
- 2) **Oil Heat Elimination Project** - Oil tank elimination represents a single area with potential for one of the highest GHG reductions.
- 3) **Bike Master Plan** - Ongoing investments in mode shift through development of improved safe cycling network.
- 4) **Transit Improvements / Electrification** - Partnerships and incentives to transform regional public transit and drastically increase mode-shift to clean public transit system.
- 5) **Climate Outreach Program** - Developing strategy and plans for social programs to enable and promote progress in climate action at the personal, family, business and societal levels.
- 6) **Expert Consultant Advice (Policy Workshop)** - Comprehensive review of City programs, policy options, approach and priorities to reduce risks and guide staff and Council.

FOR (7): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Potts and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (7 to 1)

Councillor Loveday returned to meeting at 2:08 p.m.

Motion arising:

Moved By Councillor Collins

Seconded By Councillor Isitt

Direct staff to review and analyze the considerations related to the latest IPCC 1.5°C report and report back to Council at a later date with additional considerations of the 1.5 vs 2.0 temperature rise.

FOR (8): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (8 to 1)

Motion arising:

Moved By Councillor Collins
Seconded By Councillor Dubow

Direct staff to report back with a plan for tracking and reporting of the city's progress on GHG emission reductions both for Council and for an accessible and engaging reporting function for the public, with reporting occurring at minimum on a quarterly basis.

Amendment:

Moved By Mayor Helps
Seconded By Councillor Thornton-Joe

add: In 2020 after "report back"

Councillor Dubow left meeting at 2:15 p.m.

FOR (7): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe and Councillor Young

OPPOSED (1): Councillor Isitt

CARRIED (7 to 1)

Amendment:

Moved By Councillor Alto
Seconded By Councillor Young

corporate after the word "city's"

FOR (2): Councillor Alto and Councillor Young

OPPOSED (6): Mayor Helps, Councillor Collins, Councillor Isitt, Councillor Loveday, Councillor Potts and Councillor Thornton-Joe

DEFEATED (2 to 6)

Amendment:

Moved By Mayor Helps
Seconded By Councillor Alto

strike out "with reporting..." and replace with "reporting occurring as data is available".

Amendment to the amendment:

Moved By Mayor Helps

Seconded By Councillor Alto

Reporting on community emissions as data is available and corporate emissions on a quarterly basis.

Councillor Dubow returned to the meeting at 2:32 p.m.

Motion to extend meeting until 3:00 p.m.

Moved By Councillor Collins

Seconded By Councillor Alto

CARRIED UNANIMOUSLY

On the amendment to the amendment:

FOR (6): Mayor Helps, Councillor Alto, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe and Councillor Young

OPPOSED (3): Councillor Collins, Councillor Dubow and Councillor Isitt

CARRIED (6 to 3)

On the amendment:

FOR (6): Mayor Helps, Councillor Alto, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe and Councillor Young

OPPOSED (3): Councillor Collins, Councillor Dubow and Councillor Isitt

CARRIED (6 to 3)

On the main motion:

Direct staff to report back in 2020 with a plan for tracking and reporting of the city's progress on GHG emission reductions both for Council and for an accessible and engaging reporting function for the public, with reporting on community emissions as data is available and corporate emissions on a quarterly basis

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Collins

Seconded By Mayor Helps

THAT Council endorse the following resolution for consideration at the 2019 annual convention of the Association of Vancouver Island and Coastal Communities, and directs staff to forward this resolution to member local governments requesting favourable consideration and resolutions of support:

Resolution: Promoting and Enabling GHG Reductions

WHEREAS the world's leading climate scientists have warned that we have less than 12 years to meet our climate targets, and early action is required to avoid significant costs and impacts to social and environmental well-being in our communities, and worldwide.

AND WHEREAS cities are uniquely positioned to enable this mobilisation effort, in a coordinated and integrated fashion across sectors, enabling individual action with timely and accurate information, incentives, directions, coordination, tools, targets and scalable, impactful programs.

AND WHEREAS local governments GHG reduction plans will be effectively and expeditiously realised through a dedicated focus on cutting the most impactful GHG sources, including: retrofitting existing buildings to high-efficiency standards; renewable electricity; elimination of fossil fuel heating sources; shifting people to transit, active transportation, and renewably powered mobility options; and the electrification of commercial and passenger vehicle fleets.

AND WHEREAS the complexity and pace/progress of GHG reductions in both local government and community require additional resources and planning to reduce risks of missing interim and longer GHG and renewable energy targets.

THEREFORE BE IT RESOLVED that local governments call on the Governments of Canada and British Columbia to pursue the following immediate sector actions to promote and enable GHG reductions and realize important social and economic co-benefits:

1. Make available all ICBC municipal vehicle km/make/model/fuel economy information.
2. Continue the development and implementation of world-class low carbon fuel standards.
3. Fully invest in delivery of the zero-emission vehicles sales targets as established in the CleanBC Plan.
4. Continue progressive and direct funding programs and partnerships for municipal low-carbon initiatives, including building retrofit, transportation, waste management and other priority and shared GHG reduction programs.

CARRIED UNANIMOUSLY

Councillor Thornton-Joe recused from meeting at 2:36 p.m. as her husband is employed with BC Transit.

Motion arising:

Moved By Councillor Collins

Seconded By Councillor Isitt

Resolution: Support Transformational Improvements to Regional BC Transit

THAT Council endorse the following resolution and direct staff to forward copies to the Premier of British Columbia, the Minister of Transportation, Members of the Legislative Assembly representing constituencies on Vancouver Island, the Association of Vancouver Island and Coastal Communities (AVICC) Annual Convention, and member local governments within the Capital Region and AVICC, requesting favourable consideration and resolutions of support:

Resolution: Support Transformational Improvements to Regional BC Transit

WHEREAS the transportation sector is the second-largest contributor of GHG

AND WHEREAS some of the largest reductions in GHGs are possible through facilitating a mode shift to low carbon mobility options, such as increased ridership of emissions-free transit.

AND WHEREAS transforming regional public transit could drastically increase mode-shift to clean public transit system.

THEREFORE BE IT RESOLVED that the Province of British Columbia and BC Transit take immediate actions to support and provide funding for transformational improvements to regional BC transit infrastructure to promote and enable rapid mode shift to transit, including transitioning the BC Transit fleet to zero emissions as early in the 2020s as possible, and:

1. Completion of dedicated bus lanes on all connections between the West Shore and downtown.
2. Installation of Traffic Signal Priority (TSP) sensors in all buses that operate in the City of Victoria.
3. Installation of 'all door loading' capabilities for all busses in the Victoria regional transit system.
4. Introduction of real-time, digital bus information to enable super-convenient, accessible transit operational information.
5. Introduction of "tap" payment-systems common to multi-modal service providers, to support rapid loading of busses and align with Smart Mobility goals.
6. Completion of the business-case to determine the most effective investments in public transportation to realize the highest potential mode-shift and ridership in the south island, including but not limited assessing commuter ferry, public transit along the E&N rail corridor and Douglas Street / Highway 1 / Highway 99, bus rapid transit (BRT) or light-rail transit (LRT).

7. Reporting of annual regional transit GHG and combustion pollutants, mitigation priorities, progress and business cases for investments.

Moved By Councillor Isitt

Seconded By Councillor Loveday

Motion to postpone this matter to Council.

CARRIED UNANIMOUSLY

Councillor Thornton-Joe returned to the meeting at 2:40 p.m.

Motion arising:

Moved By Councillor Isitt

Seconded By Councillor Young

That staff consider:

1. Doubling the capacity of secure bicycle storage for city employees in the Centennial Square parkade.

Moved By Councillor Isitt

Seconded By Mayor Helps

Motion to postpone indefinitely:

CARRIED UNANIMOUSLY

E.3 Application for Lounge Endorsements to Manufacturer's Licenses Regarding Brewing and Distilling Manufacture Licenses, Hudson Brew Corp., o/a Hudson Taphouse and Grill Brewery and Distillery, 785 Caledonia Avenue

Acting Director of Sustainable Planning and Community Development answered previously asked questions from Committee.

Moved By Councillor Isitt

Seconded By Mayor Helps

That Council direct staff to provide the following response to the Liquor Licensing Agency:

1. Council, after conducting a review with respect to noise and community impacts, does support the application of Hudson Taphouse and Grill Brewery and Distillery, owned and operated by Hudson Brew Corp., located at 785 Caledonia Avenue, to have a lounge endorsement added

to each of the two manufacturing licenses, having hours of operation from 9:00 am to 12:00 am daily with an occupant load of 358 persons.

Providing the following comments on the prescribed considerations:

- a. The impact of noise on the community in the vicinity of the establishment has been considered in relation to the request and assumptions are that the noise impacts would be proportional in comparison to existing licence capacity in the vicinity and its noise impacts. The applicant has demonstrated commitment to abide by the Noise Bylaw and has committed to operating a respectful and conscientious business and neighbour. The requested hours of operation are modest and support for the application is not expected to cause a trend of significant negative impacts to the community.
- b. If the application is approved, the impact on the community is expected to be economically positive as the approval supports the business plan and long-term viability of the establishment. The establishment is in close proximity to sporting and entertainment venues and so is thought to contribute to the vibrancy and diversity of offerings in the area.
- c. The views of residents were solicited via a mail out to neighbouring property owners and occupiers within 100 metres of the licensed location and a notice posted at the property. The City received nine letters in response to the request, two in support of the application and seven opposed.
- d. Council recommends the license endorsements be approved.

Amendment:

Moved By Councillor Collins

Seconded By Mayor Helps

request that both patios be closed at 10 p.m.

CARRIED UNANIMOUSLY

Amendment:

Moved By Councillor Young

Seconded By Councillor Thornton-Joe

change to the hours in the Police Report: 10pm Sunday to Thursday and 11pm Friday and Saturday

FOR (3): Councillor Isitt, Councillor Thornton-Joe and Councillor Young

OPPOSED (6): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Loveday and Councillor Potts

DEFEATED (3 to 6)

On main motion:

FOR (6): Mayor Helps, Councillor Alto, Councillor Collins, Councillor Dubow, Councillor Loveday and Councillor Potts

OPPOSED (3): Councillor Isitt, Councillor Thornton-Joe and Councillor Young

CARRIED (6 to 3)

Mayor Helps advised that the following items will be placed on February 7, 2019 Committee of the Whole Meeting:

F.2 – Renters Advisory Committee

H.1 – Observed Inhalation Sites for Overdose Prevention

H.5 – Resolution: Revitalizing Island Rail

H.8 – To Seek Council Support to Allow Permanent Residents to Vote in BC Municipal Elections

Mayor Helps advised that the following item be placed on the February 4, 2019 Special Committee of the Whole Meeting:

D.2 – Youth Services Delivery Model

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Alto

Seconded By Councillor Collins

That the Committee of the Whole Meeting be adjourned at 2:57 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



VICTORIA & ESQUIMALT POLICE BOARD

MAYOR BARBARA DESJARDINS, LEAD CO-CHAIR

MAYOR LISA HELPS, DEPUTY CO-CHAIR

February 21, 2019

City of Victoria Council
#1 Centennial Square
Victoria, BC V8W 1P6

Via email

Dear Councillors:

RE: Employers Health Tax – Victoria Police Department 2019 Budget

At the City of Victoria Committee of the Whole meeting on February 14, 2019, Council passed a series of motions with respect to the 2019 VicPD provisional budget:

- *That Council reaffirm its position limiting the increase in policing expenditures accounting for all items in the budget not to exceed the rate of inflation plus 1% tax increase related to the police budget.*
- *That Council does not approve the increase proposed for executive services, support services, or centralized corporate costs, unrelated to retirement benefits, in order to provide the Chief Constable with the maximum flexibility in order to determine how best to allocate the funding increase approved by Council.*
- *That Council invites the Chief Constable and/or the Police Board to submit a revised budget prior to final adoption of the City of Victoria's 2019 Financial Plan, proposing adjusted increases in these line items or other line items, with the total proposed increase for policing expenditures not to exceed the rate of inflation plus 1% tax increase related to the police budget.*

The Victoria and Esquimalt Police Board is in receipt of the motions of Council and are in the process of considering the impacts of the motions. We will respond to Council in due course.

In the interim, we note that Council's first resolution limits to the increase in police expenditures to the rate of inflation plus 1% inclusive of the \$690,000 for the Employers Health Tax. Requiring the Victoria Police Department to absorb the cost of the Employer's Health Tax without additional funding specifically for this purpose is inconsistent with the approach taken by Council with respect to all other city departments. In the case of the other departments, this expenditure has not been added as an additional cost to existing budgets or absorbed within authorized increases. Therefore, the Victoria and Esquimalt Police Board is requesting that Council consider revising their motion and cover this new expense in a manner consistent with the rest of the City's internal budgets.

Yours truly,



Mayor Barbara Desjardins
Lead Co-Chair



Mayor Lisa Helps
Deputy Co-Chair



February 26, 2019

Ref: 552283

Ms. Laurie Hurst
Chief Administrative Officer
Township of Esquimalt
1229 Esquimalt Road
Esquimalt BC V9A 3P1

Her Worship Barbara Desjardins
Lead Co-Chair, Victoria and Esquimalt Police Board
Her Worship Lisa Helps
Deputy Co-Chair, Victoria and Esquimalt Police Board
850 Caledonia Avenue
Victoria BC V8T 5J8

Dear Ms. Hurst, Mayor Desjardins and Mayor Helps:

Re: Request of Director of Police Services Under Section 27(3) of the *Police Act*

I write in my capacity as Acting Director of Police Services¹ to provide you with my decision regarding the February 1, 2018 and April 6, 2018 applications of the Township of Esquimalt (Esquimalt) and the Victoria & Esquimalt Police Board (Police Board) pursuant to section 27(3) of the *Police Act* (the Act).

Section 27(3) section states:

“If a council does not approve an item in the budget, the director, on application by the council or the municipal police board, must

- (a) determine whether the item or amount should be included in the budget, and
- (b) report the director’s findings to the municipal police board, the council, and the minister.”

Background

On December 19, 2017, the Police Board approved amendments to the 2018 Victoria Police Department (VicPD) provisional budget originally approved on September 19, 2017. The budget

.../2

¹ The Director’s powers in relation to this matter have been delegated to me as Acting Director of Police Services.

amendments included an increase of six additional police officers. The City of Victoria Council passed a resolution on January 11, 2018 approving its share of the cost for these positions under the Victoria-Esquimalt Framework Agreement dated April 17, 2014 (the Framework Agreement). On January 22, 2018, Esquimalt Council defeated a motion to approve the funding request for the six additional police officers.

Subsequently, Esquimalt Council and the Police Board made separate applications under section 27(3) for a determination of whether the addition of six police officers should be included in the VicPD's 2018 provisional budget. The applications were directed to, then Director of Police Services, Clayton Pecknold (the Director). The particulars of those applications are contained in the letters attached as Appendix A.

In preparation for making a determination, the Director initiated a review of the budget and expenditures of the VicPD from the date of the current Framework Agreement (April 17, 2014) to April 6, 2018. The review was conducted under section 27(3) and section 42 of the Act (the Review), which authorizes the Director of Police Services to study, investigate and prepare a report on matters concerning policing, law enforcement and crime prevention. Two experienced and neutral consultants were engaged to assist with the Review.

The parties were notified of the Review in a letter dated May 14, 2018 and attached as Appendix B.

The Review was conducted in two phases. Phase one focused on service delivery and gathering and analyzing information related to the Police Board's budget, estimates and expenditures from the date of the Framework Agreement. Chief Constable (Ret'd) Peter Lepine examined the VicPD deployment model and resource levels for Esquimalt and City of Victoria. Peter Lockie of Inverleith Consulting Inc. focused on the financial management of the VicPD, including examination of budget expenditures and deployment against the terms of the Framework Agreement. The consultants' reports are attached as Appendix C.

After the Review was initiated, a request was made by the Police Board on May 18, 2018 to engage the Administrative Committee established under section 12 of the Framework Agreement to provide a decision as to whether it is required by the Framework Agreement to allocate the six police officers between Esquimalt and City of Victoria Divisions. On June 8, 2018 the Director advised the Police Board Co-Chairs that, as the Review was in progress the Director could not participate in the Administrative Committee. The Director further advised that he would not initiate phase two of the Review if the Administrative Committee came to a determination on the budget request for six additional police officers and the request under section 27(3) was rescinded. On December 10, 2018, the Co-Chairs advised that after extensive discussion, the Administrative Committee was unable to reach a decision.

.../3

Accordingly, the Director undertook the second phase which focused specifically on whether the additional resources in the provisional budget request are required to provide adequate and effective policing under the Act.

On January 8, 2019, the Director provided copies of the consultants' reports to the parties seeking their comments on the reports or any other matter relevant to the Director's determination. On January 22 and 23, 2019 respectively, the Police Board and the Mayor of Esquimalt provided their response. Both letters point to the Framework Agreement and its interpretation as the source of many of the challenges the parties face in connection with deployment and resource allocation and, by extension the budget approval process.

Decision:

In making my decision, I have reviewed and considered the following documents:

- All relevant correspondence with the Police Board and Esquimalt;
- The *Police Act* (British Columbia) and its standards and regulations;
- Mr. Peter Lepine's August 13, 2018 report, Review of the Victoria Police Department's Resource Levels and Deployment Model Phase One;
- Mr. Peter Lockie's August 13, 2017 [*sic*] report, Review of the Victoria Police Department Phase One Report; and
- The Framework Agreement.

The core issue that I must determine under section 27(3) is whether the Police Board's request for six additional police officers, which was approved by the City of Victoria Council, but rejected by Esquimalt Council, should be included in the VicPD 2018 provisional budget.

The Act does not provide a test for this determination, so the Director of Police Services must look to the broader provisions and purpose of the Act. Broadly speaking the requirements on the different levels of government are to provide "adequate and effective policing" in their areas of responsibility. In the case of a municipality, section 15 states that a municipality with a population "greater than 5000 persons must bear the expenses necessary to generally maintain law and order in the municipality". Where a municipality fails to provide adequate policing, section 17 of the Act provides for corrective actions where there is a "failure" to police. I stress that this is not the case with the municipalities of Victoria and Esquimalt.

Successive studies and oversight of VicPD reveal that it is an effective police department.

On page 38 of his report, Mr. Lepine concluded that:

.../4

“It is our conclusion that from the information gleamed from the various interviews and reports; VicPD’s policing model is consistent with the manner in which most other leading-edge police agencies conduct their business.”

On page 9 of his report, Mr. Lockie made the following conclusions on the financial accountability framework of the VicPD:

“overall we think that VicPD has a reasonably strong financial accountability framework in place. We observed a culture of financial accountability that included sound financial policy and procedures, a clear delegation of individual financial responsibility, regular monthly financial reporting and appropriate governance oversight mechanisms. While the budget planning processes meet the needs of VicPD, their application is not currently meeting the needs and expectations of Victoria and Esquimalt and this may have contributed to the recent failure to gain acceptance of the proposed 2018 Budget. These concerns are rooted in perceptions of a lack of information sharing, insufficient collaboration and incomplete consideration of options.”

However, the consultants’ reports and the studies on which they rely, equally demonstrate that the VicPD struggles to meet the resource pressures associated with high violent crime caseloads, growing population and increasing complexity of crime². Additionally, there has not been a permanent increase in the VicPD’s authorized strength since 2010³.

The VicPD is unique in British Columbia among municipal police departments. It exists under an amalgamation order dated December 18, 2002, bringing forth the municipalities’ policing obligations under one structure and Police Board. This has not been without friction, but by and large has worked well over the last several years. At the heart of that agreement is an understanding that two independent and autonomous communities, while served by one police department, have different policing needs and expectations.

The intent of the Framework Agreement is to ensure that service-delivery and resourcing reflects those differences. Beyond what may best be described as “shared” common resources necessary to maintain policing structure, “dedicated” resources for each municipality are contemplated. Also contemplated, are accountability and reporting with respect to how those resources are utilized and deployed.

.../5

² See for example: excerpt from MNP report, Efficiency Review of Victoria Police Department, March 15, 2017 p. 32, in Review of the Victoria Police Department’s Resource Levels and Deployment Model Phase One, Peter Lepine. August 13, 2018, p. 13

³ Police Resources in British Columbia, 2015, Ministry of Public Safety and Solicitor General, Police Services Division

In this case, when one sifts through the deliberations that Esquimalt was required to make in response to the request for additional resources, there was not sufficient communication as to how those resources aligned with community needs, the Framework Agreement or what the value proposition was for the community. I have come to the conclusion that, despite considerable efforts undertaken by the Police Board and VicPD leadership, these matters were not effectively addressed. The reality is however, that police agencies can be challenged to demonstrate return on investment and value for money. Policing, by its nature, is driven by broader societal demands in responding to calls for service. As a 24/7 front line service, demand is highly driven by matters well beyond strict crime detection and prosecution. Matters related to public safety, mental health, addictions and other challenging societal concerns impact the demands for police time and resources; while innovative cross-disciplined teams such as Community Action Teams and outreach are attempts to put policing into the proactive and preventative place among health and social services responses, the fact remains that front-line policing will continue to be required for the maintenance of public safety and ensuring public confidence in police.

When resource pressures exceed available personnel, what greatly suffers first is the proactive and preventative work. In my view, such work is not a “nice to have” but is in fact a necessity⁴. Strategies that seek to engage the public, build relationships, reach out to vulnerable groups and thereby prevent crime are central to Canadian policing where the measure of any police agency’s effectiveness is the deterrence of crime and disorder, not the number of criminal charges or statistics. While related deployment decisions fall under the Chief Constable’s authority, the Police Board has a role in determining the priorities, objectives and policies of the police department that in some cases may include establishing such proactive or preventative programs necessary to safeguard the public and be responsive to its needs.

In light of the forgoing and in consideration of all the material put before me, I have concluded that the six police officers requested as part of the 2018 provisional budget request should be included in the VicPD Budget. I add however, one condition to this decision, that deployment of the six police officers must include allocation of dedicated resources to meet the service delivery needs of Esquimalt without regard to the demands driven by the downtown core and to ensure consistency with the Framework Agreement. While the Chief Constable is responsible for the operational decisions related to the day to day deployment of the six police officers, generally, the Police Board has a responsibility to uphold the Framework Agreement and its intent in this regard, including fair and equitable allocation and use of police resources.

While not part of my decision under section 27(3), I would like to address two other matters

.../6


⁴ *Police Act*, s. 26(2) states: “The duties and functions of a municipal police department are, under the direction of the municipal police board, to ... (c) prevent crime.”

related to this budget dispute which should, I hope, mitigate the recurrence of future budget disputes between the parties. First, it is clear by the material put before me that the intent and provisions of the Framework Agreement are not being upheld. In particular, and relevant to this case, there appears to have been insufficient information and data presented to Esquimalt to justify its contribution for the additional resources under the Framework Agreement. It is the Police Board's responsibility under the Framework Agreement to, among other things, ensure that sufficient and relevant information and data is provided to each municipality to enhance decision making under the Framework Agreement that will ensure adequate policing within their jurisdictions. This includes ensuring sufficient information and data is presented to the municipalities on the specific service or gaps and how any new resources will specifically address those services or gaps.

Second, I encourage the parties and the Chief Constable to give consideration to adopting and actioning the recommendations as applicable, on page 9 of Mr. Lockie's report.

I wish to thank the parties, the consultants and ministry staff for their patience and assistance during the Review.

Yours truly,



Tonia Enger
Acting Assistant Deputy Minister
and Director of Police Services
Policing and Security Branch

Attachments: 1) Appendix A – February 1, 2018 and April 6, 2018 letters to the Director of Police Services
2) Appendix B – May 14, 2018 letter to co-chairs of the Victoria and Esquimalt Police Board
3) Appendix C – Consultants' Reports

February 1, 2018

Ministry of Public Safety and Solicitor General
Policing and Security Branch
PO Box 9285 Stn Prov Govt
Victoria, BC
V8W 9J7

Attention: Clayton J.D. Pecknold, LLB, MOM
Assistant Deputy Minister and Director of Police Services
Policing and Security Branch

Dear Mr. Pecknold:

Re: VicPD Supplementary Budget Request

Please be advised that at their regular meeting of January 22, 2018, Mayor and Council resolved not to approve the supplementary budget request from VicPD for expenditures related to 6 additional officers.

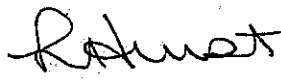
Mayor and Council believe that the Framework Agreement is not being interpreted or enacted as it was intended and as it is written. This conclusion is based on the presentation made by Chief Constable Manak at the meeting and the subsequent extensive question and answer period.

This request for additional officers has been presented such that the Township of Esquimalt would contribute to the expenditure as per the Budget Allocation Formula set out in the Victoria-Esquimalt Framework Agreement (the Agreement). Mayor and Council resolved not to approve the budget request due in part to the lack of evidence that these resources were required in order to adequately police the Township of Esquimalt.

The Township is requesting a review of this supplementary budget request and a determination of whether the amount should be included in the budget such that the Township is required to contribute as per the budget allocation formula.

The Township is also requesting that the Administrative Committee, under section 12 of the Agreement, provide clarification in regard to allocation of resources, cost sharing and dedicated resources under the Framework Agreement and specifically in regard to the 2018 supplementary budget request for additional officers.

Yours truly,



Laurie Hurst, CPA, CGA
Chief Administrative Officer

c.c. Mayor Lisa Helps, City of Victoria & co-Chair Victoria & Esquimalt Police Board
Mayor Barbara Desjardins, Township of Esquimalt & co-Chair, Victoria & Esquimalt Police Board



VICTORIA & ESQUIMALT POLICE BOARD

MAYOR LISA HELPS, LEAD CO-CHAIR

MAYOR BARBARA DESJARDINS, DEPUTY CO-CHAIR

April 6, 2018

Mr. Clayton Pecknold
ADM & Director of Police Services
Ministry of Public Safety
PO Box 9285 Stn Prov Govt
Victoria, BC V8W 9J7

Via email

Dear Mr. Pecknold:

RE: Request under 27(3) of the *Police Act*

On behalf of the Victoria & Esquimalt Police Board, we are making an application to you, as the Director of Police Services, to determine whether an item should be included in the Victoria Police Department budget, pursuant to 27(3) of the *Police Act*.

The 2019 provisional budget for the Victoria & Esquimalt Police Board includes the addition of six police officers and two civilians for an additional net cost of \$642,000. Originally the provisional budget, approved by the Victoria & Esquimalt Police Board on September 19, 2017, included an amount of \$870,000 for the additional positions. Subsequently, on December 19, 2017, the Police Board amended the provisional budget to reduce the net costs to \$642,000, recognizing potential offsetting cost savings of \$228,000.

The provisional budget and the subsequent amendment were presented to both Victoria and Esquimalt Councils in accordance with the requirements of section 27 of the *Police Act*. On January 11, 2018, Victoria Council passed a resolution "*that Council allocate \$548,000 from the new assessed revenue to add six new officers and accompanying civilian staff, subject to Esquimalt Council approval*", representing their share of the costs under the Framework Agreement.

On January 22, 2018, Esquimalt Council defeated a motion to deny the two additional civilians but carried a motion to deny the six additional police officers. On March 5, 2018, Esquimalt Council defeated a subsequent motion to "*approve the funding request from Victoria Police Department for 6 additional*

officers." Through these actions, the two additional civilians were approved by both Councils, but the six additional officers were not.

The Victoria and Esquimalt Police Board has determined that the six police officers are required in order to provide an adequate and effective level of policing and law enforcement within the City of Victoria and Township of Esquimalt. We respectfully request that you determine whether the budget item of six additional police officers should be included in the budget.

Yours truly,



Mayor Lisa Helps
Lead Co-Chair



Mayor Barbara Desjardins
Deputy Co-Chair

/ct

c. Chief Cst. Del Manak, Victoria Police Department

APPENDIX B



May 14, 2018
Ref: 544191

Her Worship Lisa Helps
Her Worship Barbara Desjardins
Co-Chairs, Victoria and Esquimalt Police Board
850 Caledonia Avenue
Victoria BC V8T 5J8

Dear Mayor Helps and Mayor Desjardins:

Re: Request of Director of Police Services Under Section 27(3) of the *Police Act*

I have been asked to make a determination under section 27(3) of the *Police Act* as to whether six additional officers should be included in the provisional budget as proposed by the Victoria and Esquimalt Police Board.

To assist in making this determination I am initiating a review of the Victoria Police Department including a review of the estimates and expenditures of the Victoria Police Department and the Victoria and Esquimalt Police Board. The review will be conducted under the authority of section 27 (3) and section 42 of the *Police Act*, which authorizes the Director to study, investigate and prepare a report on matters concerning policing, law enforcement and crime prevention in British Columbia.

The review will be conducted on my behalf by Policing and Security Branch staff and retained contracted services. In conducting the review, they will need to be informed of and have access to records, operations and systems relevant to the scope of the inspection which my office is authorized to inspect under section 40 (3). Please consider this letter as written notification of inspection as required by the *Police Act*.

Additional information about the review is available in the enclosed Terms of Reference.

At this time, I am asking that you request the Chief Constable to identify a primary contact person for the review. Please provide their name and contact information by Friday May 18, 2018. Additional information requests will follow. The primary contact person from my office is Ms. Jenni Bard, Director, Standards & Evaluation Unit who can be reached at 604-775-2364 or jenni.bard@gov.bc.ca

...2

Ministry of Public Safety and
Solicitor General

Policing and Security Branch

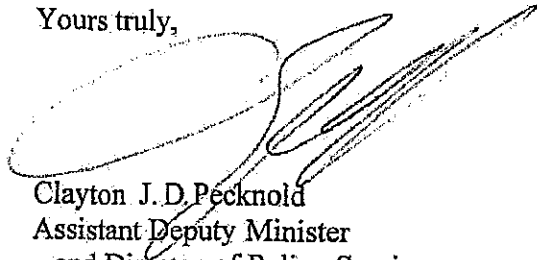
Mailing Address:
PO Box 9285 Stn Prov Govt
Victoria BC V8W 9J7

Telephone: 250 387-1100
Facsimile: 250 356-7747
Website: www.gov.bc.ca/pssg

Her Worship Lisa Helps and Her Worship Barb Desjardins
Page 2

Thank you in advance for your cooperation.

Yours truly,

A handwritten signature in black ink, appearing to read 'Clayton J. D. Pecknold', written over a large, faint oval shape.

Clayton J. D. Pecknold
Assistant Deputy Minister
and Director of Police Services
Policing and Security Branch

Enclosure

pc: Chief Constable Del Manak, Victoria Police Department
Chief Administrative Officer, Victoria City Council
Chief Administrative Officer, Esquimalt City Council

Terms of Reference: Review under sections 27 (3) and 42 of the *Police Act*, of the budget and expenditures of the Victoria Police Department April 17, 2014 to April 6, 2018

Section 27 of the *Police Act* provides for “Estimates and Expenditures” of a Municipal Police Board. The section outlines the obligations of both the Board and Municipal Council including a process related to budget disputes under sub-section 27 (3). This sub-section allows either the Board or Municipal Council to seek resolution of a dispute from the Director of Police Services. Further, sub-section 27 (6) provides that a Board must not make, or agree to make, an expenditure that is not specified in the budget approved by council.

The relevant sections of the Act are attached.

In addition to the provisions of the *Police Act*, the Victoria and Esquimalt Police Board budget process is also considered in a written agreement between the Victoria and Esquimalt Police Board, the City of Victoria and the Township of Esquimalt, signed April 17, 2014 (referred to in these Terms of Reference as “the Framework Agreement”).

On April 6, 2018, the co-chairs of the Victoria and Esquimalt Police Board made an application to the Director to exercise his authority under s. 27 (3) in relation to an item in the 2018 provisional budget for the Victoria and Esquimalt Police Board. The Director also received a letter dated February 1, 2018 from the Township of Esquimalt requesting a review of the supplementary budget request as per the Framework Agreement.

In consideration of the requests for the Director to exercise his authorities under the Act in relation to Victoria Police Department budgetary matters, the Director is initiating a review of the Victoria Police Department. The review will be conducted in two phases. The first phase will include a broader review of the estimates and expenditures of the Victoria Police Department and the Victoria and Esquimalt Police Board., covering the period from April 17, 2014 (the date of the Framework Agreement), to April 6, 2018 (the date of the Board’s application to the Director). This review will be conducted under the authority of s. 42 of the *Police Act*, which authorizes the Director to study, investigate and prepare a report on matters concerning policing, law enforcement and crime prevention in British Columbia. The second phase will relate to the 2018 provisional budget item in question, to assist the Director in carrying out his responsibilities under s. 27 (3).

Notice of the review has been provided to the Chief Constable and the co-chairs of the Board. In addition, as this matter includes an application under sub-section 27 (3) notice has also been provided to the City of Victoria and the Township of Esquimalt.

Background:

According to information provided to the Director by the co-chairs of the Victoria and Esquimalt Police Board in their April 6, 2018 letter, the Board’s 2019 provisional budget included the addition of six sworn officer positions and two civilian positions determined necessary by the Board. Victoria Council passed a resolution on January 11, 2018 approving its share of the cost for these positions under the

Framework Agreement, subject to Esquimalt Council approval. Actions of the Esquimalt Council on January 22, 2018 and March 5, 2018 effectively provided approval for the two civilian positions but not the six sworn officer positions.

A. The purpose of the review is to examine the following matters:

Phase One

The first phase will be focused on gathering and analyzing information related to Service Delivery, the Board's budget, estimates and expenditures since the April 17, 2014, including but not limited to:

- Forecast and actual spending each year;
- Analysis of budget expenditures against budgets approved by the respective municipal councils;
- Budget monitoring and reporting processes;
- Resource levels and metrics, statistical and other related information;
- Deployment model within the two municipalities;
- Examination of budget expenditures and deployment against the terms of the Framework Agreement; and
- Examination and analysis of any internal or external efficiency reviews.

Phase Two

The second phase will relate to the February 1, 2018 and April 6, 2018 requests of the Township of Esquimalt and the Victoria and Esquimalt Police Board, specifically whether the additional resources are required to provide adequate and effective policing under the *Police Act*. This will include, without limitation, consideration of the following:

- The intended use/deployment of the additional resources;
- The process used by the police department and the police board to identify and evaluate the need for the additional resources and their intended use/deployment;
- Metrics related to service levels and demands for service, broken down by community (i.e., Victoria and Esquimalt) including but not limited to crime rates, crime severity indexes, calls for service data, victimization rates and data, response times, unallocated time, and scheduling patterns;
- Service delivery expectations and priorities as identified by the Police Board, the City of Victoria and the Township of Esquimalt;
- Police Executive and Police Association views on health and safety, deployment and effectiveness of operations;
- Use of available mechanisms for community input into priority and budget setting;
- Emerging external influences on service delivery and expenditures including but not limited to judicial decisions, emerging socio-economic and crime trends; and
- Use of available integrated or specialised policing units or mutual aid arrangements.

- B. The review will consist of examining and considering written and electronic records and selected interviews.
- C. Records may include but are not limited to:
- Budget documents and financial records relevant to the scope of the review;
 - The Framework Agreement, dated 17 April 2014;
 - Any reports prepared by or on behalf of the Department or the police board relevant to the scope of the review, including the Facilitator's Report on the Victoria-Esquimalt Police Framework Agreement, dated August 30, 2013 and the March 2017, MNP Efficiency Review of Victoria Police Department;
 - Departmental and/or police board policies and procedures governing budget processes;
 - Minutes and agendas of police board meetings relevant to the scope of the review, including in camera minutes and agenda items;
 - Communication (e.g., emails, memos) relevant to the scope of the review;
 - Operational-related statistics, records, data or other information that may assist the review team to consider matters relevant to the scope of the review;
 - Relevant sections of the *Police Act*; and
 - Any other applicable documents.
- D. The review will not examine any records related to a criminal investigation or prosecution, criminal intelligence, police investigative records or other sensitive law enforcement information, or personnel records.
- E. Interviews will also be conducted with members of the Department, Board, and police association, representatives of the City of Victoria and the Township of Esquimalt, as well as other stakeholders.
- F. The review will be conducted in the manner specified below:
- Under the overall direction of the Director of Police Services, the review team will include two consultants and staff from the Policing and Security Branch.
 - The review team will develop a review plan, including the methodology to be used, for approval by the Director.
 - In conducting the review, the review team shall have access to the documents described under section C, above, and other documents as identified by the review team.
- G. The review team will submit a written report to the Director for each phase of the review. Each report will summarize the information gathered and considered during the review, and present the review team's analysis, findings, and recommendations to the Director.
- H. The Phase One report will summarize information gathered regarding the overall management of the Board's budget and must be submitted to the Director by August 16, 2018.

- I. The Phase Two report will summarize information regarding the request for additional resources, and provide factual findings to the Director in order to support the Director's consideration of the applications under section 27 (3). The Phase Two report must be submitted by October 19, 2018.

Estimates and expenditures

27 (1) On or before November 30 in each year, a municipal police board must prepare and submit to the council for its approval a provisional budget for the following year to provide policing and law enforcement in the municipality.

(1.1) If a municipality has entered into an agreement referred to in section 66.2 (1.1) (b) with a treaty first nation, or an agreement referred to in section 66.2 (1.11) (b) with the Nisga'a Nation, for the duration of the agreement, the reference in subsection (1) of this section to "municipality" must be read as including the treaty lands of the treaty first nation or Nisga'a Lands, as applicable.

(1.2) If a municipality is a specialized service provider, the reference in subsection (1) to "municipality" must be read as including areas within the specialized service area that are outside the municipality.

(2) Any changes to the provisional budget under subsection (1) must be submitted to council on or before March 1 of the year to which the provisional budget relates.

(3) If a council does not approve an item in the budget, the director, on application by the council or the municipal police board, must

(a) determine whether the item or amount should be included in the budget, and

(b) report the director's findings to the municipal police board, the council and the minister.

(4) Subject to subsection (3), a council must include in its budget the costs in the provisional budget prepared by the municipal police board.

(5) On certification by the municipal police board members that an expenditure is within the budget prepared by the municipal police board, the council must pay the amount of the expenditure.

(6) Unless the council otherwise approves, a municipal police board must not make an expenditure, or enter an agreement to make an expenditure, that is not specified in the board's budget and approved by the council.

APPENDIX C



Review of the Victoria Police Department's Resource Levels and Deployment Model Phase One



AUGUST 13, 2018

Authored & Submitted by: Peter Lepine A. Lepine, M.O.M.

Oversight by Ms. Jenni Bard, Ministry of Justice, Policing & Security Branch

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Executive Summary

On February 1, 2018, the Township of Esquimalt Council forwarded correspondence to the Assistant Deputy Minister and Director of Police Services (*the Director*) requesting that he conduct a review regarding the Victoria and Esquimalt Police Board's supplementary budget request for six additional police officers. They also requested that the *Director* make a determination of whether the amount should be included in the budget such that the Township is required to contribute as per the budget allocation formula.

On April 6, 2018 the Victoria & Esquimalt Police Board (*the Board*), made an application to the *Director* to determine whether this budget item should be included in the Victoria Police Department budget, pursuant to 27(3) of the Police Act. The *Board* further advised that on January 22, 2018, Esquimalt Council defeated a motion to deny the two additional civilians but carried a motion to deny the six additional police officers. On March 5, 2018, Esquimalt Council defeated a subsequent motion to "approve the funding request from Victoria Police Department for six additional officers."

The Victoria and Esquimalt Police Board continue to believe that the six police officers are required in order to provide an adequate and effective level of policing to the City of Victoria and Town of Esquimalt.

The Ministry of Public Safety and Solicitor General (the Ministry) contracted Peter Lepine of Peter Lepine Professional Services and Peter Lockie of Inverleith Consulting Inc. to assist him with any decisions that he would make regarding his intervention as authorized by the Police Act. After reaching consensus regarding the nature and scope of the work requested from us, an agreement was formalized and the Director's staff subsequently provided the relevant materials to us. The Director forwarded correspondence to the *Board* and to Council advising that he had sought the assistance of two Consultants to undertake a number of activities to assist him in his consideration of their request for additional resources.

In conducting this review, we interviewed a number of key stakeholders, and conducted an exhaustive review of materials provided to us, as well as materials sourced from various locations. After careful consideration to all of the information gathered, we are providing this Phase One report to the *Director*.

Terms of Reference

Scope: At the request of the Assistant Deputy Minister and Director of Police Services (*the Director*), our services were engaged to review and examine the following matters and broken down into two phases.

Phase One

This first Phase is focused on gathering and analyzing information related to Service Delivery, the *Board's* budget, estimates and expenditures since the April 17, 2014, including but not limited to:

1. Forecast and actual spending each year;
2. Analysis of budget expenditures against budgets approved by the respective municipal councils;
3. Budget monitoring and reporting processes;
4. Resource levels and metrics, statistical and other related information;
5. Deployment model within the two municipalities;
6. Examination of budget expenditures and deployment against the terms of the Framework Agreement; and
7. Examination and analysis of any internal or external efficiency reviews.

Phase Two

The second phase relates to the February 1, 2018 and April 6, 2018 requests from the Township of Esquimalt and the Victoria and Esquimalt Police Board, specifically whether the additional resources are required to provide adequate and effective policing under the Police Act.

The review will consist of examining and considering written and electronic records and selected interviews.

1. Records may include but are not limited to:
 - Budget documents and financial records relevant to the scope of the review;
 - The Framework Agreement, dated 17 April 2014;
 - Any reports prepared by or on behalf of the Department or the police board relevant to the scope of the review, including the Facilitator's Report on the Victoria-Esquimalt Police Framework Agreement, dated August 30, 2013 and the March 2017, MNP Efficiency Review of Victoria Police Department;
 - Departmental and/or police board policies and procedures governing budget processes;
 - Minutes and agendas of police board meetings relevant to the scope of the review, including in-camera minutes and agenda items;
 - Communication (e.g., emails, memos) relevant to the scope of the review;
 - Operational-related statistics, records, data or other information that may assist the review team to consider matters relevant to the scope of the review;
 - Relevant sections of the Police Act; and
 - Any other applicable documents.

2. Interviews are to be conducted with members of the Department, *Board*, and police association, representatives of the City of Victoria and the Township of Esquimalt, as well as other stakeholders.
3. The review will be conducted in the manner specified below:
 - Under the overall direction of the Director of Police Services, the review team will include two consultants and staff from the Policing and Security Branch.
 - The review team will develop a review plan, including the methodology to be used, for approval by the Director.
 - In conducting the review, the review team shall have access to the documents described under section C within the Terms of Reference, and other documents as identified by the review team.

Out-of-Scope: The Review is not:

1. Intended to be a detailed operational analysis; or
2. To be an audit or meant to repeat any annual audits conducted by the Ministry of Justice as part of an ongoing function of their work. However this report and information collected during the course of the review may be relied upon as part of these audits; or
3. Meant to provide detailed managerial or operational advice to the Victoria Police Department and its *Board*; or
4. Meant to replace or supplement the audit and inspection functions of the Victoria Police Department or any other government department(s); or
5. A review of the performance of either the Chief Constable or Deputy Chief Constable of the Victoria Police Department; and
6. The review will not examine any records related to a criminal investigation or prosecution, criminal intelligence, police investigative records or other sensitive law enforcement information, or personnel records.

Outcomes: Report to the Director of Police Services on the conclusions of our review and analysis regarding the activities requested specific to **Phase One only**.

Although this report is intended to report on our findings regarding items identified in Phase One only, it is important to note that in conducting the required relevant research to comment on those matters sought by *the Director* in Phase One, significant research and enquiries often delved into those matters that might be covered in Phase Two. This was necessary in order to

enable us to provide the necessary context and insight to those matters required for the *Director* as outlined in Phase One.

This report is focused solely on the following activities within Phase One *Terms of Reference* of this review with specific attention drawn to the following areas:

1. Examination and analysis of any internal or external efficiency reviews.
2. Resource levels and metrics, statistical and other related information;
3. Deployment model within the two municipalities;

The remaining items contained within the Phase One terms of reference will be reported upon in a separate report authored by Peter Lockie of Inverleith Consulting Inc. who is engaged by *the Director* to collaborate with this Consultant on this review.

Methodology

Written Materials

In conducting the various activities, we reviewed and considered information from several sources.

Interviews

With the assistance of Ministry staff, we conducted a number of face-to-face meetings. Key parties included the senior management and leadership team of the Victoria Police Department, the President of the VicPD Police Association, the Victoria & Esquimalt Police Board, and CAO's for both the City of Victoria and Township of Esquimalt.

Examination and Analysis of Various Internal or External Efficiency Reviews

As part of his review, we were provided with a number of documents from various sources including materials from ministry personnel by hand and from the Ministry's website. Materials were also provided by the Victoria Police Department directly by Deputy Chief Colin Watson, or retrieved from VicPD's web site. Materials were also retrieved from Stats Canada's website and analyzed to assist us with any comments regarding the appropriate deployment model as requested within this Phase of the *Terms of Reference*.

Documents examined that warranted a specific comment regarding our analysis are outlined individually. All other documents reviewed for information purposes are referenced in footnotes.

1. Setting the Stage for Police Budget Cuts by Improving Efficiency and Effectiveness¹ - A Review of Victoria Police Department Operations, University of the Fraser Valley, June 2012

This first of two major academic studies involved a large-scale review of almost every aspect of VicPD's front line operations. Taken directly from pages 4 and 5 of the report, the University of the Fraser Valley (UFV) review that led to a number of recommendations can be summarized as follows:

This report, which has the Victoria Police Department as its focus, purposely has an orientation towards the issue of police capacity to respond. The report provides an assessment of the workload handled by the Department and an evaluation of its apparent ability to handle that workload, and then recommends changes the Department might consider to handle that workload in a more efficient and effective manner. In this assessment, and because the issue of equality in service has been raised by the City of Esquimalt, specific attention is given to the level of service provided to Esquimalt residents relative to that provided to residents of Victoria.

In addition, from further within page 5 of this report:

Overall, the methodology employed in the assessment consisted of a review of the Victoria Police Department crime statistics, a comparison of those statistics to those of other jurisdictions, interviews with representatives from various sections within the Department, interviews with detectives and patrol officers, and a review of what police departments in other jurisdictions are doing that Victoria might consider doing. Finally, the methodology consisted of assessing the current level of resourcing in Victoria against a listing of factors Victoria needs to be attentive to in considering its capacity to respond. The report begins with a look at the level of crime in Victoria.

While the UFV review delved into a number of the standard statistical comparators widely used to gauge resource capacity, it primarily focused on VicPD's ability to implement and sustain an effective "Evidence-Based Crime Reduction Strategy". Essentially, the report's authors concluded that VicPD should reallocate six positions from units that were shown not to contribute to the department's capacity to handle calls for service, and moved them to their investigative, analytical, and IT divisions. It was their view that even if these changes were to occur, the department would require an additional six positions to be added to the overall resource pool.

¹ This report is commonly referred to as "The Plecas Review" by many stakeholders and is used interchangeably within this report.

The report's authors further predicted that given the trends that they were witnessing throughout most police jurisdictions within the Province of BC over the past five years prior to this review in 2012, crime rates, particularly as it relates to property crime were going down and would most likely continue on that track. However, they also felt that if VicPD did not do anything significant to drive down crime, the community would remain with a reputation of being a city with more violent crime when compared to others in the future. In fact, violent crime had risen by almost 10% in the 4-year period prior to the *Plecas Review* report's release.

UFV's Review of Crime Rates within Victoria and Esquimalt

It was the view of these authors that at the time of this report's creation, Victoria had a much higher per capita crime rate when compared directly to other BC cities of roughly equal population. Also important to note, is the fact that the Department also dealt with more violent offences than other cities in British Columbia.

When comparing crime rates between both communities the report authors commented that between 2008 and 2010, the proportion of calls for service between Victoria and Esquimalt was extremely consistent. Of the total calls for service year over year, approximately 10% of the calls for service could be attributed to the community of Esquimalt. They further noted that there does appear to be some difference in the nature and seriousness of the calls between Victoria and Esquimalt. Specifically, a slightly higher proportion of calls in Esquimalt compared to Victoria were priority 1 and 2 calls. Another interesting difference is that between 2008 and 2010 response times have consistently been shorter in Victoria.

The report also delved into areas of street-level supervision, the impact of technology and its influence on policing operations and officer discretionary time.

Analysis and Relevance to the Current Issue and Environment

By 2012, the policing strategy that focussed on an evidence-based crime reduction strategy had taken a solid foothold within the Province of British Columbia. Almost all police agencies within the Province of BC had invoked this strategy as the pillar in which to chart the direction of their respective police organizations. Therefore, the recommendations outlined in the *Plecas Review* are not only academically sound, but also operationally proven as demonstrated in a number of other studies and statistics tracked as far back as 2005.

Although this report was created and released over six years ago, the research methodology and conclusions should be viewed as particularly relevant in assisting the senior leadership team and their stakeholders as to not only how well VicPD was doing when it came to dealing with their issues at that time. Furthermore, this report should have also served as a framework to better enable the Department to reduce crime and overall general calls for service. It is also our view that the methodology used would be as relevant today as it was in 2012.

2. Improving Operational Effectiveness

VicPD's Action Plan to the *Plecas Review*, September 2012

In September 2012, VicPD responded to the *Plecas Review* recommendations with an action plan included the following initiatives:

1. VicPD increased the current four-member Street Crime Unit with five additional officers. Their mandate would be aligned with a strategy consistent to that presented by the UFV researchers within their report; and
2. VicPD would also augment their Investigative Services Division with an additional five investigators; and
3. While VicPD acknowledged the need to address concerns regarding the shortages within their FIS Unit outlined within the *Plecas Report*, VicPD chose not to action this recommendation; and
4. VicPD added an audit function to a current Staff Sergeant position as an "add-on" to his current duties within the K-9 Section.

In turn, VicPD decided to eliminate the following positions:

- 2 School Resource Officers
- 2 Youth Investigators
- 2 Dayshift Patrol Cars
- 1 Regional Domestic Violence Unit investigator
- 1 Focused Enforcement Team
- 1 Community Resource Officer
- 1 Crime Prevention Sergeant Position

Our Analysis of VicPD's Action Plan Report

We are unsure of what VicPD's Deployment Chart looked like in 2012. There are no records within VicPD that go back that far, nor can any of the current leadership team speak to the 2012 exact deployment model to any degree of detail.

It does appear that the positions that were redeployed as per the *Plecas Review* recommendations were currently in place up until April 2018. However, changes were made in April 2018 to remove three additional resources from the School Resource Officer program, one Intelligence Officer, one Beat Section officer and one Crime Prevention officer.

These resource reallocations may have aligned with a strategy suggested by the *Plecas Review* authors regarding the removal of resources from programs that may not add direct value to

reducing crime. However, they were not moved to positions focussed on crime reduction, but were instead placed within the Patrol Division to shore up the Department's ability to respond to calls for service.

3. Efficiency Review of Victoria Police Department

Prepared By: MNP LLP, March, 2017

MNP LLP was contracted by the *Province* to conduct a review of the Victoria Police Department to assess their operational capacities that existed within the Department, and make recommendations that might improve upon the current situation in 2016. MNP intended to focus upon VicPD's organizational structure, resources, workloads, service levels, deployment, and costs. MNP concentrated its analysis on 21 work-related activities and 13 functions associated with front line police services. Their focus was to answer questions related to the completion of matters of relevant task management, efficiency, and departmental effectiveness.

In summary, this second major research review of the VicPD noted the following:

Local Policing Environment Identified by MNP

1. The cost sharing formula to support the VicPD budget was at a rate of 85.3% for Victoria and 14.7% for Esquimalt.
2. Estimated combined population for Victoria and Esquimalt was 102,022, which is an increase of 3.2% since 2011.
3. A comprehensive community and business survey conducted in 2014 indicated a satisfaction rate of 87% with the VicPD.
4. The 2015 overall crime rate, violent crime offences, and property offences were excessively high in Victoria when compared to the communities of Saanich, Vancouver, and New Westminster.
5. Similar community comparisons were also made in the area of caseload per officer, crime severity index, weighted clearance rates, population per officer, and policing costs per capita.
6. MNP concluded, "Vic PD is generally addressing higher rates of crime, higher severity of crime, and higher caseloads than other municipal police agencies in B.C. At the same time, VicPD "clears" cases at a rate slightly higher than the provincial average. In short, due to a variety of factors that add to the unique demands on VicPD, there is a higher rate of officers to population because they are needed. The *MNP Review* suggests that

increased staffing in a variety of areas is necessary for the sustainability of current service levels.”²

7. From 2011 to 2015 there was a general upward trend of crime, and calls for service in both Victoria and Esquimalt, specifically:³

2012 - 2016 - 12.6% Increase in “total calls for service”

2012 - 2016 - 16.0% increase in “dispatched calls for service”

8. MNP analysis indicated that Esquimalt has a slightly higher proportion of Priority 1 and 2 type calls for service.⁴

MNP further noted that since its inception when the amalgamation of police services within the two communities took place in 2003, VicPD’s current staffing model remain dedicated primarily responding to calls for service despite the overall increase in dispatched calls, and the increased complexity in the investigations and file documentation that are required as these calls are managed.

9. Community Challenges – MNP research findings indicate that:

- 56% of all food primary licenses and 65% of all liquor primary licenses seats in Greater Victoria (Sooke to Sidney) are located within Vic PD’s jurisdiction.
- Victoria is also the home to a high percentage of the region’s social service support agencies and organizations providing a wide variety of community needs. Included among these are homeless shelters, mental health and substance use services, and government services.
- The community challenges require VicPD to provide policing services to a much larger population than local population statistics indicate, and contributes to an increased number of calls for service and an increased caseload.

10. Police Organization and Composition – MNP research findings:

- Of the 242 sworn members, 91% of these officers were delivering police services to the community with the remaining found within the management and/or training and recruiting.

² Page 10, Efficiency Review of Victoria Police Department, MNP LLP, March 15th, 2017

³ Page 11, ibid

⁴ Page 13, ibid

- With the exception of the two Assertive Community Treatment (ACT) Team members, there has not been an increase in police staffing since 2010.
- Sick time records for the Victoria Police Department indicate a 25% increase in sick time use by sworn officers between 2010 and 2015. Comparatively, there was a 16% increase for non-sworn staff during the same period. Other indicators suggest a gradually increased number of calls for service, and increased investigative and reporting standards.
- Staff shortages resulting from unanticipated illness or injury represent approximately 19% of overtime costs for sworn members.

MNP Conclusions and Recommendations

The analysis of the very detailed data provided by VicPD employees to MNP focussed on the 21 associated activities covering 13 functions. The MNP working group identified a list 18 opportunities for improvement. Ten items were identified for immediate adoption with eight requiring further analysis and potential business cases.

It was determined that the Department could do the following:

1. Work with Community to better understand service level expectations and set policing standards.
2. Optimizing call responses by exploring different response models for certain calls.
3. Increase front-line staffing levels by considering ways to increase staffing to front line policing positions without negatively affecting service delivery in other areas. This might require a general increase in staffing in these positions.
4. Civilian Support Staff Increases to compliment increases in front line staff.

MNP's Workload-based Assessment

MNP determined that the Department overall, and the Patrol Section in particular, spent a significant amount of their time responding to calls for service. Patrol staff also took fewer breaks, and given the high proportion of time spent on calls for service, they spent little time on proactive activities.

MNP commented that major detractors to proactive policing initiatives were in part due to the requirement to fulfill the following VicPD mandates:

- The need for police to conduct bail hearings on weekends and holidays;
- The need to assist parole and probation with curfew checks on offenders, and confirmation of residential addresses for sex offenders. Victoria is home to three halfway houses, one of which is the largest in Canada;
- The introduction of additional Provincial Policing Standards, including standards associated with domestic violence and missing person's investigations;

- The constant demand for ongoing police officer training. To be trained, officers must be away from their normal operational duties which results in their inability to respond to calls for service, continue with existing investigations, or perform their ordinary tasks;
- The growing need for all police agencies, including VicPD, to be mindful of the threat of extremist activities that may impact public events; and
- The growth is the increase in demand for information related to crime and calls for service from media and members of the public.

MNP Conclusions

The MNP consultants' general conclusion is summarized by the following paragraph:

The Department faces unique challenges related to its location, climate, and relative importance in the Greater Victoria region. It has also faced recent challenges with increased calls for service without a corresponding staff increase. It is evident from previous reviews and efficiency implementations that the Department is committed to continuous improvement. This drive towards consistent improvement can continue with the recommendations identified in this report. However, efficiency improvements can only go so far. In conjunction with the opportunities identified, the Department should also consider increasing its staff complement to meet calls for service and fulfill its obligations to the community.

Our Analysis of the MNP Review Report

The community survey referenced within the MNP report noted that within the Town of Esquimalt, matters of Violence, Property Crime, Drug activity, and speeding were of top concern. When it came to the City of Victoria, there seemed to be similar concerns as noted by the citizens of Esquimalt, but residents also expressed additional concerns with homelessness, and panhandling.

Of note, this issue was also noted during our interview with the VicPD Police Board. The Esquimalt representatives felt that matters of homelessness and panhandling in their view as primarily a "City of Victoria" problem, which in turn is best addressed with "Victoria-paid" resources.

Like other police-related resource studies, MNP conducted a review of the standard statistical databases that are common amongst other research organizations. We found that the communities that were used in their comparisons were a fair representation. However, with the exception of the city of Saanich, MNP used different communities than those used in the *Plecas Review* and those used in our review. This does not mean that MNP's comparators are irrelevant, as they chose to use communities that represent a similar size police service (New Westminster), similar population (Saanich), or a community with a very busy city core with a daytime population influx (Vancouver).

We concluded that although MNP recommended the need for additional officers, it tended to focus on front line patrol pressures. This is somewhat different from the *Plecas Review* wherein the latter focussed on resources that focussed on investigations and promoting a crime reduction strategy. The *MNP Review* was intentionally supported with VicPD resources throughout all research activities. The processes conducted by MNP were supposed to be the building blocks by which the Department and the *Board* could use to conduct future reviews of their own.

Following the *Plecas Review* in 2012, management undertook to restructure internally rather than seeking additional resources from the *Board*. Although the reorganization was seen by some as a positive move forward, VicPD management determined that it had not ameliorated the need to keep up with the growing demand for service. Additionally, VicPD management saw the need to invest further in emerging crime trends such as fraud, cybercrimes, and internet based child exploitation offences, but lacked the ability to divert resources to these areas without negatively affecting other police-related functions. The “do more with current resource” processes remained in place from 2010 until the *Board*’s most recent request contained within the 2018 Provisional Budget.

4. Policing Requirements to Support Growing Communities⁵

By Victoria Police Department, September 2017

At the August 15, 2017 *Board* meeting, VicPD presented a briefing note outlining growth in the region using various metrics. In turn, the *Board* directed staff to bring back a report outlining the required resources to matches this growth within the region. This “white paper” is the department’s response to the *Board*’s request.

Although not directly stated, this report also appears to be most likely the Department’s response to the *MNP Review* issued in March 2017 as conclusions reported upon in the *MNP Review* are mentioned throughout this VicPD report. The report was submitted to the *Board* with the following recommendations advanced by the department:⁶

- *The Board approve a sustainable growth strategy whereby increases in demands for policing services due to growth are funded by a share of tax revenue from non-market growth (development); and*
- *That this include minimum amounts of taxation revenue from non-market growth that represent the proportion of taxation that is represented by the cost of policing (e.g. 19% for Esquimalt, 23% for Victoria if using % of cost, 34% if using % of taxation)*

⁵ This report is also referred to as “VicPD’s Growth Strategy”

⁶ Page 8, POLICING REQUIREMENTS TO SUPPORT GROWING COMMUNITIES, RECOMMENDATIONS, September 2017

- *Based on an estimate of \$2 million in non-market taxation growth for the City of Victoria this would equate to \$460,000 based on 23%, and \$680,000 based on 34%*
- *Based on average non-market growth for the Township of Esquimalt, 19% would equate to \$30,275; and*
- *That discussions of the funding formula by the Administration Committee include discussions on sustainable funding formula for growth; and*
- *That the Board consider requesting a higher amount for the initial year(s) in order to address the issue of stagnant staffing increases. The total required to fund six new police positions and the association support is \$870,000*

The department further commented that they required a long-term funding strategy so that they might be in a better position to keep pace with demands for service resulting from normal community growth.

Finally, the report appears to be the Department's introduction for an immediate need for six additional police officers, and additional support staff.

What happens if there is no change?

Of particular note, VicPD also places the *Board* on notice if neither the growth plan nor the request for six additional officers is successful. Taken directly for the report, VicPD states:⁷

VicPD management believes that action must be taken in the short term to close the current resource gap in front line positions. Should the request for additional staffing not be approved, police management will need to reallocate resources to front line positions by reducing or eliminating other services currently being provided. Consideration must also be given to reducing services by not sending officers to certain call types. Changes will be done through an assessment of our staffing and services that take into account many factors including strategic priorities and risk mitigation. On initial review, units that are subject to elimination include one or more of the following: the Crime Reduction Unit, Police Dog services, School Resource Officers, Community Resource Officers, Beat/Bike Section, and Traffic Section. As most of these are shared resources, this will have an impact on both municipalities in noticeable ways.

VicPD further comment that although these are critical services might be highly sought after by the two communities, they represent a lower organizational risk should there be a need to reduce or eliminate positions to support front line service delivery.

Of note within this report, VicPD committed to undertaking a number of other strategies to mitigate the impact on services if faced with carrying on with current resource levels. These

⁷ Ibid, Page 7,

include actions such as attempting to reorganize where possible, explore further integration where possible, introduce appropriate service reductions, and to consider changes stemming from various review processes.

The Department report benchmarked statistics such as population and density, community development, calls for service, workload and top community concerns & priorities for both the communities of Victoria and Esquimalt. VicPD acknowledged that although not all of these factors related directly to crime activity, they did influence demands for additional police-related services.

The report concluded that from 2008 to 2016, that within both communities, the overall population was up, and calls for service had also increased. Yet police resources have remained stagnant. It was strongly suggested that there was sufficient exponential financial growth that that could come from the various economic drivers, hence the capacity for both the communities of Victoria and Esquimalt to consider a proportional increase in funding for the police service.

Our Analysis of the VicPD Growth Strategy Report

The report is comprehensively researched, complete with statistical data to support their conclusions. Specifically, with the exception of growth within the police service itself, all other comparative areas show an increase in growth including crime, police workload, population, density, and increases in tax revenue through non-market growth.

The report also makes specific references to police-related resource drivers in the area of homelessness, and tourism. Furthermore, the report comments upon the feedback that they received from their most recent community surveys which is complete with comments regarding community expectations on response times to certain crime types as well as where the community would like to see VicPD spend their time.

At first glance, this report appears to outline the VicPD management team's business case for a long-term strategy for creating growth capacity within the Department. The report further suggests that the two communities also support this request with support from the business sector.

The report further contends that VicPD firmly believes that the only strategy available to them in order to meet community expectations is to increase front line resources, specifically to the patrol division as it continues to focus to response times to calls for service. What is not included in this report is an analysis of how the department might meet these expectations through any sort of comprehensive approach similar to an evidence-based crime reduction strategy or promoting an alternative call response, or a different resourcing model other than acquiring fully sworn officers.

5. 2018 Police Provisional Budget

By the Victoria Police Board, presented to a joint meeting of Council October 10, 2017

This budget report commences with information regarding the constraints placed upon them by both municipal councils indicating that a target tax increase not exceed 3%. There is an acknowledgement that the two Mental Health Officers were funded from 2017 and 2018 budget surpluses, with intentions to seek permanent funding for these two positions in the 2019 budget if this project was shown to be successful.

The *Board* took this opportunity within this Provisional Budget to comment upon the VicPD's *Growth Strategy* report. Essentially, the *Board* advised both councils that they estimated an additional requirement of a further 1.5 sworn resources annually with a corresponding one additional support person for every three sworn staff increase.

Unlike the past practice of requesting additional resources within a supplemental budget request, the *Board* chose to include the request for an immediate increase of six members within their general police budget for comparison purposes only. Hence, as demonstrated with this approach, the *Board's* 2018 Provisional Budget request included an overall increase of 4.76%, which is 1.76% more than the guideline constraint imposed upon the *Board* by both councils.

The provisional *Board* budget was also supplemented with copies of the *VicPD's Growth Strategy* report. This information can be viewed as a "full disclosure account" as to how and why VicPD came to their conclusions to seek the resources requests contained in this provisional budget report.

It was noted that at this presentation, the *Board* stated that the requested six new officers would be deployed within patrol. Two of the officers were sought in order to offset expected growth for 2018, and the remaining four officers represented minimum increases to provide adequate front line policing for growth that had already occurred. This strategy changed in subsequent presentations. Of note at the March 2018 Esquimalt Council meeting, VicPD advised that two of the six requested resources would now go to an Alternate Call Response Unit, with the remaining four going to patrol.

6. 2018 Police Provisional Budget PowerPoint Presentation to Esquimalt Town Council - By VicPD, March 5, 2018

We reviewed a copy of the above noted PowerPoint slide presentation used by VicPD to the Town of Esquimalt Council. In addition to all of the other items generally contained within a police provisional budget, this presentation was the first attempt to put both councils "on notice" that they intended to secure additional funding for an additional six police resources.

The presentation focussed on much of the same information contained within the *VicPD Growth Strategy* report. At the October 2017 joint council meeting and the January 22, 2018 Esquimalt

council meeting, Council was advised that VicPD would deploy all six resources to patrol. It was noted that in our review of the *Board's* February in-camera meeting minutes, this had changed somewhat. Although not specifically documented, we learned through our interviews with the Esquimalt CAO, her Council's refusal to support this request at the January 2018 council meeting may have motivated a change in the *Board's* approach regarding a further request.

During the March 5, 2018 presentation to Esquimalt Council, VicPD further clarified their position by advising Council that the Department would be allocating two of the six resources to an Alternate Response Unit. Some council members may have noted that VicPD had changed their mind mid-stream. It is however, our view that the ARU is a patrol function in that they are first line responders, albeit to lower priority files.

Our Analysis of the 2018 VicPD Provisional Budget Presentation

This presentation combined with the very detailed information package provided to council at the joint council meeting in October 2017, provided all of the necessary information necessary for both council to make an informed decision regarding the request for the additional six police officers.

During our interviews with the *Board* and municipal stakeholders, comments were advanced that at the March 2018 council presentation, VicPD clearly identified that aside from the two resources to be deployed within a newly created ARU, the four remaining requested resources were being sought to respond to calls for service within the city of Victoria. The VicPD presenter's notes indicate that this was considered an investment in resources for Victoria, "but helps Esquimalt as well in that it would better deal with surge resourcing to critical calls." However, this point was lost on Council as they concluded that this was solely a benefit to the city of Victoria and that if so, Victoria should pay them at 100% of their costs.

What is also clear in this presentation, which speaks to the core of the ongoing issue that Esquimalt Council has with policing costs, is that the main benefit from these additional resources favours the city of Victoria. Given that the *Stakeholder Agreement* allows an alternative method to address this situation by way of 100% Victoria paid resources, Esquimalt council as a whole could not support the request.

While it might be considered to be viewed by some as a bit of "arm chair quarterbacking," this issue is widely known to be a consistent cause for disagreement with Esquimalt stakeholders. It was suggested that at the March 5, 2018 council meeting, had the VicPD presenter attempted to clarify or in some way further demonstrate how these six requested resources were a mutual benefit to both communities, there might have been a different outcome. This point was emphasized during our interview with the Esquimalt CAO.

This observation was also noted to be a relevant matter to the mayor of Esquimalt. In a CBC report dated March 7, 2018, Mayor Desjardin is quoted as saying "I was disappointed they didn't frame it in a way that Esquimalt council could say:

"Yes, there is the designation of one officer specific to Esquimalt doing these duties," Desjardins said. "That way there would be ownership and direct benefit to Esquimalt. But it wasn't portrayed that way."⁸

7. Patrol Deployment Practices PowerPoint Presentation to Police Board

By VicPD, April 17, 2018 Police Board meeting

We reviewed this PowerPoint presentation, which focuses on the current patrol deployment model versus one in which patrol resources are completely separated from each other as they serve the two communities.

The presentation material indicates that the current model ensures that there is always a minimum constant of police resources serving the community of Esquimalt regardless of issues such as annual leave, sick and training time or other police-related commitments. It was further pointed out that the pressures due to these absences are primarily levied upon the Victoria-deployed patrol resources.

The presentation further identifies those other units such as K-9, and a Community Resource Officer (CRO) and the Summer Action Plan (two resources) Officers that are attached to the Esquimalt Division.

We found that while this blended model might better suit the needs of the overall police operation, it does create issues with the Department's requirement to account for how they deliver their service. VicPD management advise that there is no practical way to identify which resources are in each community at any given point of their shift, or moment in time. This is in part due to the fact that during any specific work shift there are several instances where dedicated resources may have to cross over into another zone. Apparently, the PRIME-BC records management system is unable to provide this data in any reliable form.

The presentation concludes that while the current blended patrol model meets the intention of the current *Framework Agreement*, it does reduce efficiency. However, it increases community satisfaction, particularly in Esquimalt. While it does create challenges to VicPD's ability to collect appropriate and timely data, the overall blended policing model is less expensive and provides better efficiency.

⁸ <http://www.timescolonist.com/news/local/esquimalt-twice-snubs-funding-for-new-police-officers-services-might-be-cut-1.23193729>

8. VicPD 2017 Business and Community Survey Results PowerPoint Presentation - Completed by VicPD

We reviewed the results of two VicPD community surveys conducted in 2017. This is the second survey conducted in keeping with the *Framework Agreement* that requires that community surveys be conducted every three years. The rate of return for the 2017 surveys was viewed to be very high with a 42% return rate from the community survey and a 33% return rate from businesses.

Although reviewing these reports may not have a direct influence regarding the matters contained within this Phase One report, it is our view that it does reflect somewhat upon the department's overall efficiency when meeting community expectations, which may reflect upon the Department's current Patrol Division deployment model.

The overall support for the police noted within the 2017 survey has remained unchanged from the previous 2014 surveys, which was 88%. Additionally, responses to a large number of questions also remained unchanged from the previous survey, which for the most part was very positive.

However, we did note the following variances regarding responses to some of the survey questions.

1. The community response to whether they felt safe in their neighbourhoods at night drop from 83% to 64% in Victoria and from 74% to 63% in Esquimalt. This is significant drop. However, the opinions regarding the daytime hours remained unchanged in the mid to high 90% range.
2. Concerning the community response as to whether the Department is accountable to the community, the opinions dropped from 64% to 46% in Victoria and from 70% to 54% in Esquimalt. There are no qualifiers to explain this drop or what specific concerns the public had regarding this drop.
3. Businesses within both communities felt that the VicPD did a better job at understanding their needs. The 2017 results show an increase from 43% in the 2014 survey, to 62% in 2017.
4. More businesses are calling the police and more frequently too.
5. Business owners feel that their communities are a safe place to own a business. This opinion increased from 80% in 2014 to 92% in 2017.

Our Analysis of the 2017 Community Survey

Essentially, residents have a greater fear of crime in their communities, particularly at night and there are concerns by many that the police are less accountable to them. On the other hand, business owners in both communities feel the police are doing a better job at listening to them, which can also be viewed that they are being more accountable to this community group.

There does not appear to be any specific information contained within this survey that might influence the overall effectiveness of the current patrol model.

9. Facilitator's Report on the Victoria-Esquimalt Police Framework Agreement

By RLD Strategies Ltd., August 30, 2013; and

10. The Framework Agreement dated April 17th, 2014.

RLD Strategies Ltd was retained by the *Ministry* to facilitate the creation of a framework agreement that would assist the various stakeholders to move forward from a long period of difficulty post amalgamation of the police services in Victoria and Esquimalt. Areas covered in the agreement include how the various stakeholders manage a number of strategic issues that include a model for service delivery, funding, the budgeting process, and a mechanism for dispute resolution.

While a portion of the Facilitator's report delves into a number of issues involving the historical conflict that "poisoned" the collaborative environment when it comes to communities working with each other, the result of this facilitation process led to the creation of a *Framework Agreement* that was eventually approved by all parties.

Given how both of these documents are linked to each other, our comments regarding our review are related to both documents.

Although much of the *Facilitator's Report* and *Framework Agreement* examine areas that are outside of the *terms of reference* for our report, the *Framework Agreement* does set out parameters for a general deployment model for the sharing of VicPD resources.

Specific information that connects the reports to police deployment includes:

1. The establishment of a dedicated Division for each community, one being the Victoria Division for the City of Victoria, and one for the Esquimalt Division dedicated to serving the Town of Esquimalt and Victoria-West(VicWest); and
2. The initial composition of dedicated Municipal Divisions to include 24 sworn officers for the Town of Esquimalt (Esquimalt Division) and 110 sworn officers for the City of Victoria (Victoria Division); and

3. The manner in which the selection of the Officer in Charge of each Division would proceed; and
4. Processes for the acquisition of "Optional Resources"; and
5. The manner and processes in which "performance targets" are set for each community.

It is our view that the *Framework Agreement* does set out the general overarching manner in which sworn officer deployments should be facilitated. It does not delve into the operational responsibilities generally reserved for the Chief Constable, nor does it delve into any governance matters that are the responsibility of the *Board*. It does set out a clear mechanism that focusses on how both communities might become better engaged with their police service, and how they might alter their deployment if they so choose with the acquisition of additional resources.

We noticed a common thread or theme advanced by almost every group or person that we interviewed that strongly alluded to the fact that despite the stipulations laid out within the *Framework Agreement*, each thought that the other stakeholder was not adhering to some of the terms or spirit of the agreement. Specific to this Phase I review, it was suggested by some that the Department was not living up to its obligation to ensure that there were fair and equitable allocation and use of police resources. It was further suggested that VicPD failed to collaborate with the Town of Esquimalt regarding the selection of their "Officer in Charge."

11. Integrating Police Officers onto Assertive Community Treatment (ACT)

teams: Views of Clients and Staff - University of Victoria, Department of Psychology, March 1, 2018

This 58-page report outlines the findings of the author's research on the impact of police officers towards the overall work and effectiveness of the ACT teams. The researchers conducted this study at the request of both the Island Health Authority and Victoria Police Department. The goal of the report was to develop an initial understanding of the benefits and drawbacks of police office integration into the ACT teams.

While a VicPD officer had been assigned to work with one of Victoria's four ACT teams, two additional officers were eventually added in late 2016, which permitted for a much larger integration with all four ACT teams within the city.

The research consisted exclusively of interviews with 21 ACT clients and 22 ACT staff members with varying degrees of tenure. The overall outcomes of the review are noted to be very positive. Specifically, VicPD members attached to the ACT were viewed to have a positive influence on the program. The report outline specific benefits to include enhanced relationships with both ACT staff and their clients, enabling ACT teams to offer services to higher risk clients because staff felt safer, and having police involved facilitated better connections with the courts. However, both clients and ACT staff expressed some frustration with the fact that there were not

enough officers assigned to the unit to facilitate evening and weekend coverage, or to be more accessible to clients when needed.

Furthermore, the report mentions that ACT staff felt that the VicPD ACT members did share their knowledge with patrol officers, which may have encouraged these patrol members to refer clients to their program. However, there is no supplemental data to quantify this view.

Our Analysis of the ACT Team Review

While this report clearly outlined the tremendous benefit and few challenges that the officers presented to both ACT clients and staff, it does fall far short on describing to any degree the benefit to the Victoria Police Department on a number of fronts.

There were no interviews with VicPD management or other operational members. There were no statistics regarding the impact VicPD involvement in this collaboration has upon the effectiveness of the department, or if from the Department's perspective whether this is a good use of their resources.

We would view this report to provide little information for the VicPD to determine if there is any direct benefit to their resource pressures. Temporary funding from council on a trial basis supports funding for two of the three positions assigned to the ACT teams. However, there may be challenges to seeking permanent funding for the VicPD ACT positions beyond the pilot phase, which ends in 2018 if VicPD are unable to provide any evidence-based data regarding their overall impact to reducing calls for service or reducing workload upon the remaining staff within the Department.

12. VicPD Cybercrime Strategy 2018-2020 – by VicPD

This thirteen-page document recently released to the public outlines the Department's overall strategy to deal with criminal behaviour involving the use of cyberspace as a method for perpetrators to conduct their business. The extensive use of the internet to perpetrate crime is now having significant implications for VicPD who like other law enforcement agencies struggle to prevent, investigate, and report on cybercrime matters. VicPD advise that in 2017 there were 464 incident of cyber-fraud, which was an increase from 367 the year prior. The rate of reported cybercrimes in the Victoria area has more than doubled since 2014.

Further to the issue of cyber-fraud, VicPD advise that they must also contend with investigations where the internet is used to commit other crimes such as child sexual exploitation. Of note, of the 355 IP addresses used to trade child exploitation materials over the internet, 149 of these IP addresses were located within the Victoria area.

Taken directly from the report VicPD further comment:⁹

Locally, an increasing number of serious crimes investigated by the Victoria Police Department, including a wide range of criminal activity such as homicide, serious violent offences, domestic violence, and harassment, have a cyber component to them; and

The Victoria Police must ensure that cybercrimes can be adequately investigated and that the investigative infrastructure necessary to respond is in place and able to adapt to the rapidly changing cybercrime landscape.

Our Analysis of the VicPD Cybercrime Strategy

Given the growing frequency and seriousness of cybercrime-related activity, VicPD management have attempted to demonstrate a clear need for the Department to enhance the manner in which they are required to address this situation. As outlined in this document, VicPD has laid out a strategy that would include a collaborative approach at all levels whether internationally, nationally, regionally and locally.

While there is no mention within this document for the need for VicPD to seek additional resources in order to advance their cybercrime strategy, senior managers recently identified this as an up and coming pressure, which will need to be addressed at some point.

Metrics and Statistical Information Regarding the Victoria Police Department

In keeping with the research requirements set out within the *Terms of Reference* for this review, and to support conclusions and findings further contained within this report, we were requested by the *Director* to gather and analyze information related to resource levels, metrics, and other statistical data.

In keeping with a standard practice for commonly referenced police-related data, we retrieved specific information from a number of sources tasked with reporting-out such data on a yearly basis. All references to the data sources are referenced within footnotes contained within this report.

For reference purposes, we compared the various metrics within British Columbia communities of similar population to the combined population of the City of Victoria and Township of Esquimalt. Unless otherwise noted, any reference to the population served by the Victoria Police Department consists of the combined population for both communities.

⁹ Page 6, Victoria Police Department Cybercrime Strategy 2018-2020

Authorized Police Resource Workload and Community Statistics¹⁰

Police Resources - 2016									
	Population	Authorized Strength	Adjusted Strength	Pop. Per Officer	CCC Offences	Crime Rate	Case Load	Total Costs	Cost Per Capita
Victoria	102,022	245	245	416	10,833	106	44	\$50,273,629.00	\$493
Saanich	110,869	161	161	689	4,174	38	26	\$32,976,224.00	\$297
Delta	102,937	180	182	566	4,740	46	26	\$36,390,284.00	\$354
Kamloops	91,402	136	136	672	10,644	116	78	\$22,804,435.00	\$249
Chilliwack	93,355	110	121	772	11,069	119	91	\$22,078,831.00	\$237

This most recent information relates to the statistical data provided by Police Services for the year 2016. Stats Canada generally releases raw data from the previous year to the public in the month of July of each year, however any analysis of data related to 2017 calendar year was not completed by Police Services before the creation of this report.

The following conclusions can be drawn from the following information provided within this chart.

1. Of the three municipalities (Victoria, Saanich, and Delta):
 - Victoria/Esquimalt has a higher number of total criminal offences within their community of the three.
 - Victoria/Esquimalt has the highest crime rates per thousand people of the three.
 - VicPD has the highest criminal caseload per officer of the three.
 - VicPD has the highest total number of police officers and officers per capita than the three.
 - The cost of policing per capita is the highest for the VicPD of the three.
2. When compared to all five communities:
 - Victoria/Esquimalt has the second highest number of total criminal offences of the five communities.
 - Victoria/Esquimalt has the third highest crime rates per thousand people of the five comparable communities.
 - VicPD has the third highest criminal caseload per officer of the five communities.
 - VicPD has the highest number of police officers and officers per capita than the five comparable communities.
 - The cost of policing per capita is the highest for the VicPD of the five communities.

¹⁰ Source: Ministry of Public Safety and Solicitor General Police Services Division, Police Resource in BC, 2016

Population Variances and its Influence on Statistics

Of note, Stats Canada population statistics will vary from the population numbers quoted within the reports issued by Ministry of Public Safety and Solicitor General Police Services Division. Stats Canada consistently uses information provided from data collected from their 5-year census reports, while the *Ministry* will draw their numbers from a larger number of sources. This process permits the *Ministry* to better reflect influxes in population on a yearly basis.

The population numbers quoted within this chart represents only those numbers associated to people who are considered full-time residents of each community. It does not take into account any daytime or nighttime fluctuations that might occur based on things such as worksite location, tourism, sporting events, and nighttime entertainment.

The city of Victoria is purported to have a rather large non-residential population that consists of people who work and recreate within the city's core area. Furthermore, Victoria is also the centre for the vast majority of the tourism traffic on any given day. It is reported that Victoria's physical population is 375,000 consisting of people who regularly work and recreate in the city core, with an additional 3.2 million tourists who visit the downtown area every year.¹¹

Understandably, communities who are party to large transient population are also tasked with supplying services to support them. In addition to policing services, fire, ambulance, as well as capital infrastructure such as roadways, bus transportation amongst other things are also required to accommodate the presence of a population that occupy a certain space, and not set based on its full-time resident population.

For the Victoria Police Department, this means that many non-residents who are involved in a police-related incident will skew the Stats Canada crime statistics. While the total crimes numbers are real numbers, they do not reflect an accurate rate per capita as all crimes are measured only against the full-time resident population numbers. Simply put, the 2,437 report cases of violent crime committed were not just committed against the 102,000 full-time residents, but against the 345,000 people who found themselves within the city on any particular day. Unfortunately, for the Victoria Police Department, their workload is measured against the number of crimes and overall calls for service, and not against the number of people in town on a given day.

By similar comparison, the City of Vancouver is another community with a large influx of people into its core from the suburbs as well as tourism. By comparison, their crime rates are stated within this same report to be 83 crimes per 1000 population and a criminal caseload per member of 41 cases. Additionally, their police to population ratio is 1 to 494 residents. This comparison is made solely to portray the impact of a transient population and the workload that is placed upon the police agency that must serve them.

¹¹ *VicPD Management Action Plan to the Plecas Review*, page 2

Police Resource Increases from 2013 to 2016¹²

Police Officer Resources						
Year	2008	2010	2013	2014	2015	2016
Victoria	241	243	243	243	243	245
Saanich	149	152	156	156	157	161
Delta	160	165	170	173	173	180
Kamloops	124	124	124	124	136	136
Chilliwack	95	104	107	107	108	110

The above noted police resource chart indicates that all police agencies in the comparator group saw an overall increase in resources within this 4 year timeframe. Of note however, the two additional resources to the Victoria Police Department was and continues to be a temporary lift in order to accommodate the ACT project. We were advised that funding for these two positions is only temporary. Of further note, the Victoria Police Department has not seen a sworn-staff increase since 2010 and only by 2 additional officers from 2008 levels. With the exception of Kamloops Municipal RCMP, each of the other comparator agencies has seen a yearly sworn staff increment year over year, yet even Kamloops did come forth with what might be referred to as a dramatic increase in 2015.

Crime Rates amongst BC Communities with Similar Populations to Victoria¹³

Crime Rate Per 1000 Population					
Year	2013	2014	2015	2016	2017
BC	85.3	86.0	87.6	86.7	82.6
Victoria	92.3	102.0	112.4	102.9	100.7
Saanich	36.8	33.9	37.1	35.0	33.7
Delta	45.9	48.9	42.7	42.8	42.2
Kamloops	106.9	96.7	97.0	118.9	121.5
Chilliwack	98.8	103.9	113.2	122.9	115.5

Of the five-comparator communities, Victoria/Esquimalt sustains the third highest crime rates per 1000 population. Amongst the three communities served by an independent municipal police agency, Victoria/Esquimalt sustains the highest crime rates by at least twice as much per 1000 population. However, as previously stated in this report, we suggest that although crime numbers are divided by permanent resident population numbers, a significant portion of crime

¹² Ministry of Public Safety and Solicitor General Police Services Division, Police Resources in British Columbia, 2016

¹³ Stats Canada – Appendix B – Locator #1

victims are not residents of the communities of Victoria and Esquimalt. Also as previously stated, the work that comes with investigating each complaint regardless of the population rests with the Victoria Police Department.

Crime Severity Index amongst BC Communities with Similar Populations to Victoria ¹⁴

Crime Severity Index							
Year	2013	2014	2015	2016	2017	# of Reported Violent Crimes	
						2016	2017
Provincial Average	88.5	91.4	94.3	93.7	88.9		
Victoria	102.7	114.1	138.9	120.3	114.2	2456	2450
Saanich	41.1	40.5	42.6	39.0	37.4	797	899
Delta	56.7	57.2	53.9	53.6	50.9	559	441
Kamloops	112.6	103.3	102.3	128.1	124.0	1361	1420
Chilliwack	103.8	114.1	122.4	136.7	118.9	1190	988

The Canadian Crime Severity Index (CSI) enables someone to track changes in the severity of police-reported crime from year to year. The CSI takes in account not only the change in volume of crime within a community, but also the relative seriousness of a specific crime over others. The CSI brings clarity to whether or not criminal activity is becoming more or less serious over time within a community. Stats Canada assigns a value to various crime types. The more serious the crime, the higher the value attributed to it. For this reason, crimes such as murders and assaults are given a higher value than a theft or fraud.

As indicated in the above noted chart, the Victoria/Esquimalt Crime Severity Index is considerably higher than the Provincial average and has been so since at least 2013. It is also considerably higher when compared to the communities of Saanich and Delta, who are also served by an independent municipal police agency. However, when compared to the communities of Kamloops and Chilliwack, the Victoria/Esquimalt's CSI has been close year over year, with the exception of 2016.

The CSI for the Victoria/Esquimalt communities would indicate that the VicPD is required to deal with higher than normal levels of violent crime when compared to the Provincial average, and significantly more than the other four-comparator communities do. The above noted chart also indicates violent crime numbers for year 2016 and 2017. We have noted these numbers to be consistent by comparison for the previous five years. Given the degree of effort that must go into each of these investigations, it was suggested by the VicPD management team and unit commanders that the resources dedicated to these investigations are stretched to their limit.

¹⁴ Stats Canada – Appendix B – Locator #2

Deployment of VicPD Resources within the Department & Throughout the Communities

As part of this report, we were requested to review the deployment model for the Department and report on how resources are allocated within both communities. While most of this report focuses on the allocation of resources within the Patrol Division, there are references to the manner in which other units are also shared.

Community Makeup that Influence Policing Operations

While not reporting on an exhaustive list of issues and circumstances that influence the manner in which VicPD management are required to deploy their resources, there are unique characteristics found within each community that dramatically influence police operations.

The City of Victoria is the core of the Capital Region that also houses the Provincial Legislature. As previously reported in several studies, it is also the centre for nighttime entertainment and a vibrant entertainment centre with a large number of liquor seats. Victoria is the hub for the majority of agencies dedicated to providing assistance to many marginalized people in need. It has a large homeless population that requires significant support from many of these agencies including the police. Victoria is also the centre for tourism within the Capital Region as well as the recipient of many people who are employed within the city. As previously stated within this report, it is estimated that 375,000 people regularly work and recreate within the city core with an additional 3.2 million tourists who visit downtown Victoria every year.¹⁵ Unfortunately, the City of Victoria is also not immune to the fentanyl drug crisis that has plagued our cities within British Columbia. Related statistics indicate that Victoria is home to the third highest death rate from drug overdose of all cities in BC.

The Town of Esquimalt is largely viewed as a residential bedroom community with different policing requirements, none of which resemble the issues that are seen in Victoria. The community however is viewed to be a location that does have more than their fair share of violence-related criminal activity. For this reason, Esquimalt council members are largely of the view that their community receives a very adequate level of service from VicPD. The matter related to council discussions regarding their policing service is not delved into as part of this phase of this review.

Overall Resource Configuration within VicPD

Since at least 2010, the overall authorized strength of the department is set at 243 sworn officers. In 2016 with the approval of council, two additional sworn resources were added on a temporary basis and deployed to work with the ACT Team. These officers were added to accommodate a pilot project to assist community support units who work with higher risk community members suffering from mental illness. As previously mentioned within this report, for the last two years,

¹⁵ VicPD Management Action plan to the *Plecas Review*, page 2

the two ACT positions were funded on a yearly basis with a specific request for funding from council. We understand that the *Board* intends to seek permanent funding for these two positions in the 2019 Provisional Budget. This is largely based upon the fact that the full time client base is approximately 250 people, which coincidentally and according to VicPD is the same number of clients served by a similar ACT team in Vancouver.

As noted in Appendix A of this report, of the 245 positions that were in place in 2017, 118 positions are deployed to the Patrol Division with the remainder disbursed amongst a number of support units including Investigative Services, Community Services, Executive Services, and other specialized unit. The total numbers of Patrol Division sworn officer positions represent approximately 48% of the total authorized strength within the Department.

Of the total number of sworn staff positions, 25% of these resources are invested in supporting the Department in an investigational capacity. These resources are deployed to units dedicated to Major Crime, Crime Reduction, Strike Force, Domestic Violence, Financial Crimes, Sex Crime, Integrated Units, and Computer Forensics. The Investigative Services Section is responsible for serving both the City of Victoria and Town of Esquimalt.

It is this Consultant's experience that these units have traditionally garnered approximately 30-35% of most other police department's overall sworn staff. The disproportionate ratio of "investigative to total sworn staff" ratio was also noted within the 2013 *Plecas Review*. Subsequent to this review, the Department's response to addressing this gap was to bolster the Strike Force Unit and to create a Crime Reduction Unit. These adjustments provided a net increase to units responsible for investigations, raising the overall percentage from 11% in 2012 to approximately 25% currently. It was also noted that no resources were removed from the Patrol Division to facilitate these changes as they were taken from other units.

Analysis regarding the resource levels within the Investigative Units at VicPD

It is this Consultant's experience that a normal ratio of 1/3rd of a department's overall sworn staff resources dedicated to Investigative Services, and is a generally acceptable practice within most police agencies, including metropolitan RCMP detachments. Although the formula was enhanced within VicPD since the 2013 *Plecas Review*, it remains shy of this level.

As noted in an earlier section of this report, Victoria and Esquimalt sustain a higher level of violent crimes when compared to similar sized communities. As also noted, this is reflected within VicPD's Crime Severity Index (CSI). As a matter of note, the Major Crime Unit handles many of the more serious assaults.

Provincial Policing Standards associated to the manner in which missing persons cases and domestic violence cases are managed is a more recent pressure placed upon these units subsequent to the *Plecas Review*. With the pending Provincial Major Case Management Standard due to take effect in 2019, what may have required one investigator to oversee a major file will now require three. These standards are the "new normal" when it comes to police accountability in investigative excellence that affect all police agencies within British Columbia.

As previously noted, the Victoria Police Department and their *Board* have committed to providing dedicated resources to deal with pressures within the area of cybercrime, internet child exploitation. It is our view that this is a necessary service requirement from any police agency within British Columbia today.

It is our finding that with the Crime Reduction and Strike Force Units are extensively deployed to dealing with the fentanyl crises within the community. As a result, it would appear that these units' primary mandate have either been largely compromised or abandoned entirely, which will remain the case until this crises is mitigated. This will most likely impact the Department's ability to proactively manage their evidence-based crime reduction strategy.

Patrol Division Deployment

Currently, the Patrol Division is divided into four (4) separate shifts know as Watches, providing 24/7 coverage to both the City of Victoria and the Town of Esquimalt.

Each patrol shift is broken down in the following manner.

Vic PD Patrol Shift (A, B, C, D Watch) ¹⁶			
	HQ Operations	Victoria	Esquimalt
	1S/Sgt 1 Sgt. i/c Jail 1 Cst DVO		
Road Supervisor		1 Road Sgt	1 Road Sgt
Constables		20 Constables	3 Constables
% of Resources		84%	16%

Each shift is deployed to the street from the Victoria Headquarters building upon the completion of their shift briefing. For logistical purposes, the Esquimalt Division start their shift at VicPD HQ and deploy to the Esquimalt Division building for the duration of their shift. Patrol Division shift resources are responsible for policing both the Town of Esquimalt and the Victoria West (VicWest) zone.

Analysis of the Patrol Division Deployment

We reviewed a number of quarterly reports issued by VicPD to each of the two communities served by the Department. A review of the 4th quarter calls for service for each of the last three years would indicate that of the total calls for service, 10% of these calls emanate from the Town of Esquimalt. One might conclude that given that 16% of the total shift resources are responsible for 10% of the total call load, the Town of Esquimalt is deriving a net benefit from this current patrol ratio.

However, we were advised that although 16% of the total shift resources might be deployed to the Esquimalt Division, this group is also responsible for taking calls to Victoria West

¹⁶ Numbers taken from the VicPD Org Chart - Sworn - June 29th, 2018

(VicWest). The VicWest zone of the Esquimalt Division represents approximately 30% of the total the number of calls assigned to this Division. Even though it would appear to some that resources assigned to the Esquimalt Division are “spending time” outside of Esquimalt, it does not appear to us that there is a disproportional amount of movement between either communities.

Further statistical information gleaned from these quarterly reports would indicate that response times to Priority 1 and Priority 2 files are somewhat consistent for both communities, with the City of Victoria receiving slightly shorter response times than the Town of Esquimalt, sometimes by mere seconds.

Therefore, it is reasonable to conclude that the distribution of shift resources appears to be an equitable and appropriate deployment.

Minimum Resourcing Levels within the Patrol Division

Currently, VicPD management has set the minimum Patrol Division shift policing resources at fourteen Constables, three Sergeants, and one Staff Sergeant. If this number should drop below this level, additional resources are called in on overtime. We understand that a minimum level of 14 constables was set in 2003 when the Esquimalt Police Department and Victoria Police Department merged. Since then, there has been no adjustment to this level in over 15 years.

Analysis Regarding Minimum Shift Levels

As previously mentioned, the current complement of 24 members to the shift is also impacted by a vacancy pattern that must also be factored into the equation. With anywhere from six to eight resources consistently absent from regular duties, a typical VicPD patrol shift appears to be almost always operating at minimal levels. Given that this situation is further complicated by the fact that the Esquimalt Division will remain at full complement regardless of shifting pressures, the Victoria Division is most likely running at below operational minimums. It is for this reason why it is necessary to regularly supplement the Victoria Division Patrol with resources from the Beat Team, Bike, and Traffic Section.

Dedicated Community Resource Deployment to Operations

In addition to the above noted resources, both the City of Victoria and Township of Esquimalt are provided supplemental resources whose primary mandate is to focus on community-related issues as well as community engagement.

In addition to the 16 patrol officers assigned to the Esquimalt Division, an Inspector, a Sergeant, two Community Resource Officers (CRO), and one School Resource Officer (SRO) also supplement the Esquimalt Division itself. The six-member VicPD K-9 Unit is also entirely deployed from the Esquimalt Division building. Historically during the summer months, the School Resource Officer is redeployed to a community resource function, but remains attached to the Esquimalt Division.

Management Decision Affecting Patrol Operations

Focus on Response to Calls for Service

It is our view that the Victoria Police Department appears to be heavily invested in focussing on response to calls for service as their primary policing model. This was also noted to be the case during the 2013 *Plecas Review* and again with the 2017 MNP review.

VicPD management advised that after the *Plecas Review*, they took considerable steps to advance towards a more “crime reduction” and “proactive-policing” model. They also took considerable steps to address the issues found within their Investigative Services Section wherein they often found themselves challenged in their ability to solve criminal matters on their plate. They further stated that despite their efforts, and over time, they did not see any reduction in the number of calls for service. On the contrary, calls for service only increased year over year.

Furthermore, the “policing landscape” also changed since 2013 in a manner that was not predicted during the *Plecas Review*. As with all major communities in Canada, the fentanyl crises also fell upon Victoria with a vengeance. Given that for the Capital Regional District, the city of Victoria is the hub for agencies that provide all forms of social services, it draws the overwhelming share of those marginalized people who are dependent upon these services. Unfortunately, it is this group of people who are disproportionately represented when it comes to drug dependency, and subsequently affected by the proliferation of fentanyl-contaminated drugs on the street.

The fentanyl crises also required the VicPD to change the course on their planned crime reduction strategy, which was introduced subsequent to the *Plecas Review*. Specifically, while the Crime Reduction and Strike Force Units had focussed their past efforts to dealing with prolific offenders, and on crime hot spots, they were pressured to now redirect their attention to the importation of fentanyl-laced drugs into their community. These two units, whose efforts may have created an opportunity to reduce calls for service within Capital Region through evidence-based crime reduction, were now dealing with an entirely different and deadly community problem. The net result of these changes meant that calls for service continued to increase.

Throughout the various stakeholder surveys, it would appear that the communities consistently staked their needs on matters of community disorder. Police visibility and police-community engagement was noted to be very important to both the residential and business stakeholders over the past four years. Interestingly, the 2017 Community Survey indicated a dramatic increase in the number of people who felt less safe in their neighbourhoods at night. Because of these and other concerns, VicPD management continue to see that effective management to calls for service and their visibility as a top priority for the Department.

Accommodating Patrol Shift Resource Variances

Regardless of the agency, the total number of deployable resources at any given time is affected by numerous factors. These include things such as personal illness, holidays, court attendance, training requirements, or temporary reassignment. For these reasons, it is generally anticipated

that a unit's resource pool may be diminished by as much as 27% to 32% at any given time. This number is generally consistent within the Victoria Police Department.

Despite these pressures, VicPD management have chosen to ensure that notwithstanding the fact that a patrol shift may be reduced by these amounts, the Esquimalt Division remains topped up to full strength at all times. This means that the entirety of all work absences is levied upon the Victoria Division.

The manner in which the Esquimalt Division remains fully resourced may be viewed by some as being a net benefit to the Township of Esquimalt at the expense of the City of Victoria. It is not meant to say that the Esquimalt Division does not require this level of resources on any given shift, but the pressures associated to this gap within a patrol shift does come at the expense of those remaining resources who are tasked with handling 90% of the shift's call load.

Managing Calls for Service

As noted above, the VicPD Patrol Division is split between a Victoria Division and Esquimalt Division. While the workload does seem to appropriately disburse by geography, VicPD management are of the view that it would be unreasonable to restrict the movement of their resources and restrain those resources to their assigned location regardless of what may be occurring at any moment in time.

Therefore, while making every attempt to ensure that all areas have appropriate coverage, there will be times when resources from one Division may be required to assist or respond to calls for service in the other. If additional support is required to assist members on a call, or if there is a requirement to respond to a call in the "que" that needs attention, then resources from the other Division might be tasked to respond.

VicPD recently mitigated the requirement for a physical response to some calls for service with the introduction of a two-member Alternate Response Unit (ARU). This unit is tasked with reviewing the "complaint que" and responding to certain complaints by way of a telephone call instead of dispatching an officer to physically attend the complaint. This recent change is in keeping with a generally acceptable practice that has been in place for decades within other metropolitan police agencies in Canada and elsewhere. The ARU is a shared resource serving both Victoria and Esquimalt.

Analysis of the Manner in Which Calls for Services are Attended To

It is our view that the manner in which calls are responded to regardless of the officer's assigned deployment location is the most effective and widely-used method for police organizations to conduct street-level police operations. It is also a fundamental tenant of an effective crime reduction strategy. Essentially, if a department's crime analysts should produce a crime map indicating where the majority a community's crime and/or calls for service are located, then the department has an obligation to ensure that their police deployment emulates a similar coverage. As a comparator to the Capital Region, the West Shore RCMP is responsible for policing five communities. While this RCMP detachment may have resources routinely spread out amongst all of these communities, they are adjusted at a moment's notice to deal with a pressing policing matter without the need for any outside consultation, and is widely accepted by community

leaders that this may be necessary as part of a shared service. This obligation is, and should be left to the Chief Constable or Detachment Commander to manage so that he/she can best meet performance requirements and overall community expectations.

According to a requirement contained within the *Framework Agreement*, both communities are advised of the frequency in which resources may cross “the boundary” on a quarterly basis. Our review of these quarterly reports indicates that there is no real disparity between these “crossovers”.

It is also our view that any police agency responsible for policing multiple communities needs to deploy their resources in a manner that is consistent with meeting operational requirements. It is also our view and experience that while communities may seek an explanation as to why there may be an inordinate number of resources deployed to one community over another, the fact that this occurs is not generally of great concern. It is generally understood that when a community shares a single service, they are paying for “their share” of the service, and not intended to proportion a service to their own community needs based on what they are paying for.

While conducting the various interviews for this review, we often heard specific references that were not consistent with this widely accepted operational policing model. Unfortunately, this places undue pressure upon the VicPD management team to track and report on matters of little relevance to effective policing services to the communities.

Reallocation of Beat Team, Bike and Traffic Resources

A number of historical reviews including the *Plecas* and *MNP Reviews* have repeatedly indicated that the Victoria Police Department’s “calls for service” spike in the later afternoon and evenings, and particularly on Wednesday through Saturday. In an attempt to ensure that there is an effective and timely response to these increased calls for service, VicPD management have chosen to supplement their patrol resources with resources pulled from the Beat, Bike and Traffic Units. These units are primarily mandated to provide a proactive policing service to the communities. As many as four resources are reassigned from these units to take on patrol-related functions. As previously noted within this report, the majority of calls for service originate from within the City of Victoria. Consequently these supplemental patrol resources are usually assigned to the Victoria Division. From a deployment perspective, this may seem to be a net benefit to the City of Victoria. However, given that these resources are deployed to respond to calls for service to all locations, these supplemental resources are not confined to the Victoria Division only.

A negative impact to this strategy occurs with the requirement that these resources must also deal with patrol file investigations until the file is completed. If for some reason an investigation extends beyond their immediate shift, these resources will carry over to their next shift. As a result, Beat, Bike and Traffic resources assigned to supplement patrol may find themselves away from their primary proactive policing duties for days as they tend to an ongoing file that was assigned to them, thereby impacting their ability to tend to their primary mandates.

Management of Investigations

With the exception of a complaint of a major crime, which may be investigated by the Major Crime Unit, most all investigations are assigned to, and remain with a patrol officer until the case is concluded. This initial file assignment process is consistent with most all other police agencies within the Province of British Columbia.

Normally, once a patrol officer is assigned a file that requires an ongoing investigation, the majority of the preliminary tasks are completed before the officer will accept another call for service. For instance, a file might lead to an arrest and subsequent requirement to hold an individual to appear in court the next day. When this occurs, the investigating officer will manage the various interviews, exhibit processing, and court reports before returning to their patrol duties for the remainder of their shift.

However, in the case of the Victoria Police Department, officers will often lodge the arrested person in cells and immediately return to the road to answer calls for service. When the calls for service appear to slow down, only then will the patrol officer return to headquarters to complete the associated paperwork for the files that they have handled over the course of their shift.

For the nightshift officers, pressures to complete in-custody reports may often require members to remain after their regular shift on overtime. This is reported to affect the quality of the investigations, and contribute to negatively affect overall employee morale and contribute to employee burnout. This also leaves very little to no opportunity for patrol officers to conduct any form proactive policing patrols, which according to VicPD management and the President of the Victoria Police Association is reported to be a rare opportunity.

Analysis of How VicPD Assigns Responsibility for File Investigations

It is our view that the practice that requires patrol officers to handle file investigations assigned to them in the first instance is routinely implemented in most all police agencies in Canada. The adage that the officer who is initially assigned a file will have conduct of the investigation from beginning to end is an appropriate business practice that ensures that an efficient and effective service is provided to all citizens. Instances where investigations are held to be tended to by a "detective investigator" can sometimes lead to unnecessary delays and place additional risks to a victim if a perpetrator is not dealt with in a timely manner.

Unfortunately, when a department such as VicPD embrace a timely response to calls for service as paramount to their service standards, an officer is often conflicted by a requirement to balance the need to be "out there taking calls" and conducting a fair, impartial, and thorough investigation. More often than not, this usually means that a patrol officer is not being thoroughly effective at either. We would suggest this situation has an overall negative impact upon the well-being of all front-line personnel. With the compounding effect of overall increases in calls for service and increased complexity in most all investigations, VicPD has seen a 25% increase in sick time amongst their officers over a five year period from 2010 to 2015.¹⁷ A recent University of Victoria study focussed on employee well-being identified workload as

¹⁷ MNP LLP, March, 2017, *Efficiency Review of Victoria Police Department*

one of the major morale and stress-related issues to front-line personnel. Essentially, VicPD resources are saying that they are becoming more stressed which is contributing to exhaustion.¹⁸

Management of Special Events

In today's environment, the need for a visible police presence at most community events is viewed by many police agencies to be a necessity. As a capital city, Victoria is also a favourite location for provincially focussed protests and celebrations that have a tendency to draw large crowds. VicPD is also responsible to conduct security and crowd control for all crowd-related events on the Provincial Legislature grounds.

With very few exceptions, VicPD are prone to deal with special or community events such as community festivals, parades, and protests with on-shift patrol resources. They are also required to pay for any overtime expenditures related to these events from within their current operating budget. While it may be possible to pre-plan some of these events, many instances where a spontaneous protest erupts require police mobilization with little advance notice. When this occurs, resources are pulled from patrol duties and other areas within the Department and reassigned to deal with this event. VicPD management advise that as a result there is an immediate impact to the Department's ability to respond to other calls for service and to deal with ongoing investigations.

It is our conclusion that given the nature and frequency of these events, VicPD's ability to provide other services would be negatively impacted if patrol resources were frequently redeployed to manage special events. It is also this contractor's experience that other agencies tasked with these types of events will make it a practice to manage these special events with additional resources on an overtime basis.

¹⁸ Page 44 Karen Hira, MPA Candidate, School of Public Administration, University of Victoria, December 2018(sic), Victoria Police Department Mental Health Policies & Approaches: Evaluation of Existing Policies & Smart Practices

Concluding Remarks

The Victoria Police Department is the beneficiary of a large number of reviews and audits resulting in a number of recommendations to both the management team and the *Board*. It would appear that the Department has carefully considered these recommendations and have made an effort to implement them where possible. It was evident to us that the VicPD management team and *Board* proactively reach out to outside consultants and academia in order to seek their opinions on how they might adjust their approach to better serve their communities and employees.

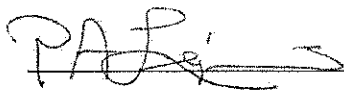
The statistical data reviewed does cover the most recent 5-year period from 2013 to 2017. It is our view that this period is sufficient to ensure that any anomalies that may be found within these statistics would be shown to be present. However, we noted that there were in fact no anomalies of note. These statistics do however indicate that VicPD's ranking is consistent when compared to the four other comparator agencies when viewed year over year.

It is our conclusion that from the information gleaned from the various interviews and reports; VicPD's policing model is consistent with the manner in which most other leading-edge police agencies conduct their business. Throughout our conversations with VicPD management and *Board*, they repeatedly emphasized that they continuously seek information and feedback that might assist them in providing a better level of service.

As extensively commented upon within this report as well as other reviews completed upon the Department, VicPD continues to view a timely response to calls for service as a way to best serve their communities. Even though other agencies may not particularly adhere to this strategy as their primary focus in today's environment, VicPD is led to continue with this strategy as they are of the view that their communities have identified issues and concerns that require this type of strategy.

Mr. Peter Lockie and I would like to express our appreciation to the entire membership of the Victoria Police Department for their forthright conversations with us as we proceeded with this review. It is obvious that the Victoria Police Department are very proud to serve all those who reside, work within, or visit the City of Victoria and Township of Esquimalt. It was also reassuring to us that all VicPD employees were comfortable enough to share their experiences and to comment on the various shortcomings that prevent them from offering the best service possible.

We would also like to express our appreciation to the Victoria & Esquimalt Police Board and all staff member for the City of Victoria and Township of Esquimalt for taking the time to speak with us regarding the matters at hand.



Peter A. Lepine, M.O.M.

Appendix A

VICTORIA POLICE DEPARTMENT - Staffing Levels - 2017¹⁹

Function	Jailers	Civilian	Police	Total	%
Patrol - Primary Response		2	118	120	34.6%
Corporate Support Services		40	6	46	13.3%
Investigative Services Division		5	34	39	11.2%
Communications - 911		31	0	31	8.9%
Operational Support Division		4	21	25	7.2%
Focused Enforcement Team		0	23	23	6.6%
Executive Services		8	12	20	5.8%
Traffic Enforcement		1	9	10	2.9%
Jail	8			8	2.3%
Integrated Units		1	7	8	2.3%
Crime Prevention		2	10	12	3.5%
K9		0	5	5	1.4%
	8	94	245	347	100.0%
Percentage	2.31%	27.09%	70.61%		

¹⁹ Budget 2017 - V6 FINAL Council Approved, VICPD,

Appendix B

Locator #1: Stats Canada Crime Rates 2017

<https://www150.statcan.gc.ca/t1/tbl1/en/tv.action?pid=3510018401&pickMembers%5B0%5D=1.1&pickMembers%5B1%5D=2.1>

Locator #2: Stats Canada Crime Severity Index 2017

<https://www150.statcan.gc.ca/t1/tbl1/en/tv.action?pid=3510006301&pickMembers%5B0%5D=1.48>



Management Consulting | Financial Management | Business Review

Review of Victoria Police Department
Phase One Report
13th August 2017

Introduction

Following requests to the Director of Police Services from the Co-Chairs of the Victoria and Esquimalt Police Board and the Township of Esquimalt to review certain budgetary matters; he initiated a review of the Victoria Police Department (VicPD).

The Ministry of Public Safety and Solicitor General (the Ministry) contracted Peter Lockie of Inverleith Consulting Inc. and Peter Lepine of Peter Lepine Professional Services to review the estimates and expenditures of the VicPD and the Victoria and Esquimalt Police Board covering the period from April 17, 2014 (the date of signing of the current Framework Agreement) to April 6, 2018 (the date of the Board's application to the Director) under s 42 of the Police Act.

Phase One of the review is dealt with in this report and is focused on gathering and analyzing information related to service delivery, the Board's budget, estimates and expenditures, including but not limited to:

- ✓ *Forecast and actual spending each year;*
- ✓ *Analysis of budget expenditures against budgets approved by the respective municipal councils;*
- ✓ *Budget monitoring and reporting processes;*
- ✓ Resource levels and metrics, statistical and other related information;
- ✓ Deployment model within the two municipalities
- ✓ *Examination of budget expenditures and deployment against the terms of the Framework Agreement; and*
- ✓ *Examination and analysis of any internal or external efficiency reviews*

The primary focus of this report is the items bolded and highlighted in italics above.

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Background

An Order in Council amalgamated the police forces of Victoria and Esquimalt effective January 1, 2003 and the current agreement that the three parties (Victoria and Esquimalt Police Board (the Board), the City of Victoria (Victoria) and the Township of Esquimalt (Esquimalt) operate under (the Framework Agreement) was signed on April 17, 2014 and is in effect for ten years commencing on January 1, 2014 and terminating on December 31, 2023.

Review Methodology

The review included an analysis and follow up questions from key documents and interviews with VicPD Senior Management Team, the Board, the President of the VicPD Association and the Chief Administrative Officers of the two Municipalities.

Additional documents were obtained and follow up questions identified and answered.

Budgeting and Financial Reporting

VicPD's summarized budgeted and actual operating results for the last four years were as follows:

Year	Total Net Budget	Surplus	Surplus as a per cent of total net budget
2014	\$45.0 M	\$472 K	1.0%
2015	\$48.9 M	\$936 K	1.9%
2016	\$50.4 M	\$200 K	0.4%
2017	\$52.4 M	\$346 K	0.7%

There is a consistent financial performance over the last four years that shows VicPD's actual financial results have been very close to, but always below, its annual budget.

The causes of the surpluses have usually arisen in personnel costs, from more retirements than anticipated and officers on various leaves coupled with an extended period required to recruit and train new officers, delays in the implementation time line of the CREST radio system and variations in annual professional service costs.

The actual surpluses would have been higher but for some extraordinary costs referred to later in the report that started in 2015. If these costs have not occurred, the actual surpluses would have been as follows:

2015 \$960K
2016 \$931K
2017 \$726K

Financial policies and procedures – VicPD has its own series of financial policies and procedures which were reviewed and since payroll and financial services are provided to them by Victoria operates with Victoria's policies and procedures where they do not conflict with the VicPD ones or its collective agreements.

We did not find anything within our review that was a concern and noted that proposed updated policies and procedures were currently in the process of review and adoption.

Budget Process – the timeline and overall objectives and process are summarized at a high level in a financial policy, the Framework Agreement and the Police Act.

VicPD's annual budget is reviewed and approved by its Board and tabled with Victoria and Esquimalt for their review and approval.

From the Board's perspective, the budget is reviewed in detail by its Board Finance Committee and then reviewed and approved by the Board. We noted that there is currently no Board member with a formal accounting background, which is a potential weakness in governance.

From Victoria and Esquimalt's perspective, the budget arrives in final form with limited opportunity for detailed review and discussion. Some councillors and senior municipal staff have concerns that an appropriate level of scrutiny may not have been carried out by the Board and a perception that options may not always have been provided or been fully considered and there has been a lack of sufficient engagement in its development

Financial Reporting – VicPD uses Victoria's financial system to record its transactions and generate monthly reports for ongoing monitoring purposes. Historically, the Board Finance Committee received quarterly financial reports, however, this has been changed for the time being to monthly financial reports because of an extraordinary expenditure situation referred to below.

We found the financial reports to be reasonable with monthly and year to date revenue and expenditure details including variances by account categories to enable appropriate review by management and the Board.

Framework Agreement – the Framework Agreement includes sections covering budget preparation, adoption and disputes, the funding formula between the two Municipalities, reserve funds, payments and accounting, insurance and liability as well as the establishment of an Administrative Committee and dispute resolution process.

Some Councillors and senior Municipal staff are disappointed by how the Framework Agreement is applied by VicPD and its Board. Esquimalt's letter to the Director of Police Services on Feb 1, 2018 states, "Mayor and Council believe that the Framework Agreement is not being interpreted or enacted as it was intended and as it is written". There was extensive work done initially by all parties to develop it and there is a concern from some people interviewed that key individuals that were not involved in its design are increasingly overlooking its underlying principles of collaboration and instead operating more autonomously than envisioned.

In terms of financial reporting to Victoria and Esquimalt, there is a very brief quarterly summary provided and a more detailed annual report.

An Administrative Committee exists to facilitate a collaborative approach to the handling of disputes, concerns and issues during the term of the agreement. Both Victoria and Esquimalt initially saw this as a positive sign of increased collaboration but its infrequent meeting, limited agenda and narrow focus on dispute resolution have disappointed some Councillors and senior Municipal staff.

The Administrative Committee has two significant issues facing it, resolution of the 2018 budget impasse situation and a review and potential adjustment of the budget allocation formula which essentially sets Victoria's and Esquimalt's share of the VicPD budget. We were unable to determine the current status of either of these tasks.

Reserve Funds – VicPD maintains the following three reserve funds that are defined in the Framework Agreement and held on its behalf by Victoria:

1. Equipment and Infrastructure – this is used to purchase capital assets including vehicles, computers equipment, communications equipment, building upgrades and furniture. Funding is provided by annual transfers from the operating budget and expenditures must be made according to the 20-year capital plan approved by the

Board. The current status of the reserve appears to be reasonable and it is working effectively with sufficient funding to meet annual objectives.

2. *Employment Benefit Obligation* – this is used to ensure future liabilities for employees' retirement payouts, vacation payouts and sick leave are fully funded. Once fully funded no further transfer will be made into this fund. The current status of the reserve is that there is an unfunded deficit of \$715K at 31 December 2017 based upon the most recent actuarial valuation. The reserve was \$7.1 million against a liability valuation of \$7.8 million.

3. *Financial Stability* – this is used to deal with any unanticipated event not contemplated at the time the budget was prepared. The fund shall be funded to the maximum of 2.5% of the net VicPD budget. Expenditures from this fund must be approved by the Board. The current status of the reserve is that it is fully funded at the level laid out in the Framework Agreement (2.5% of the net VicPD budget - \$1.25 million) and has not needed to be used in the last four years.

Each annual budget includes projected allocations of reserves and actual surpluses arising are allocated based upon the terms of the Framework Agreement.

Reporting on Reserve Funds – as part of the annual budget process, the Board reports to the Municipalities on the status of each reserve fund and all expenditures made from the reserve funds.

Annual Operating Surplus or Deficit – under the terms of the Framework Agreement,

Any *surplus* shall be:

1. Transferred to the Financial Stability reserve if the fund balance is less than the maximum amount established in effect for the year in which the surplus was generated;
2. Transferred to the Employee Benefit Obligation reserve until that fund is fully funded;
or
3. Transferred to the Municipalities in accordance with the budget allocation Formula in effect for the year in which the surplus is generated

If a *deficit* is incurred:

1. Any extraordinary expenditures or shortfall in revenue shall be funded from the Financial Stability reserve or through adjustment of the expenditures under the approved budget.
2. If there are still insufficient funds within the approved budget to meet the Department's obligations, the Municipalities shall cover any shortfall in accordance with the budget allocation formula in effect for the year in which the deficit was incurred.

Efficiency Reviews and Audits – In March 2017, MNP issued an efficiency review report of VicPD that assessed the operational strengths of the department and made several improvement opportunities aimed at identifying potential savings or efficiencies.

The review focuses on operations - with service case and staffing analysis recommendations - and has no specific financial management recommendations. There is mixed acceptance of the recommendations in the MNP review

Except for the annual financial audit of Victoria that includes VicPD, there have no other efficiency reviews or audits since 2014.

Extraordinary Expenditure – from December 2015 to July 2018, VicPD has provided us with details of extraordinary expenditure resulting from actions it has taken relating to its former Chief Constable Frank Elsner. A summary by year shows the following:

In \$000s	2015	2016	2017	2018	Total
Legal – Internal Investigation Report		\$77			\$77
Legal – Board	\$10	\$92	\$147	\$13	\$262
Legal - Department		\$15			\$15
Legal - Elsner		\$170			\$170
Consulting	\$2	\$24	\$10		\$36
Counseling		\$5	\$2		\$7
Investigation		\$97	\$127	\$1	\$225
Sub Total	\$12	\$480	\$286	\$14	\$792
Salary and benefits	\$12	\$251	\$94	\$0	\$358
Total	\$24	\$731	\$380	\$14	\$1,150

In addition, there are unpaid and or contested legal costs of \$48K and retirement allowances paid on resignation of \$32K.

The former Chief Constable resigned in May 2017.

The Board issued a press release after its June 2017 in camera meeting reporting that the total cost of the investigation to date was \$611K.

That number has now grown to \$792K and we also understand that there may be additional legal claims from the former Chief Constable amounting to \$240K and a possible wrongful dismissal suit, both of which remain as unknown but potential liabilities.

We obtained a copy of the former Chief Constable's employment contract and noted that indemnification of legal costs are included under Article 14 which states "the Board agrees to pay any independent legal fees and disbursements incurred and not recovered by the Chief if the Chief engages legal counsel to represent him with respect to any civil proceedings or proceedings under a Provincial or Federal statute that is brought against him in his capacity as Chief, whether brought during or after the Term, but this Article shall not apply to any substantiated disciplinary proceedings under the Police Act, unless approved by the Board in its sole discretion."

This has been a complex series of events that has not yet concluded. Further claims and related expenditure may occur and the Board's exposure to additional liability remains a question mark.

As noted earlier in this report, VicPD has not incurred a deficit in any of the years that the extraordinary costs have arisen. They have been funded through savings in other operational budget categories in each financial year so have had the financial effect of reducing what that year's actual surplus would have been.

The Board Finance Committee began in October 2016 and continues to meet on a monthly basis to monitor the financial aspects of this situation.

A Service or Policy complaint received in July 2016 essentially asserted that funds had been diverted from operational budgets to pay for the extraordinary expenditure detailed above in breach of the Police Act. VicPD and its Board have reviewed the matter and reported that no technical breaches of the Police Act occurred and that the complaint was without merit.

The key section of the Police Act is 27(6) which states

Unless the council otherwise approves, a municipal police board must not make an expenditure, or enter an agreement to make an expenditure, that is not specified in the board's budget and approved by the council

VicPD's position is that this does not restrict its Board from transferring funds from one account code to another account code as long as the account code is specified in the Board's budget that has been approved by Victoria and Esquimalt. In this case, the overspent account code "Arbitration and Litigation" was already specified in the Board's budget.

In addition, s 27(5) states:

On certification by the municipal police board members that an expenditure is within the budget prepared by the municipal police board, the council must pay the amount of the expenditure.

VicPD's position is that this in effect obligates Victoria and Esquimalt to only pay for expenditures up to the overall approved budget amount, thus requiring the Board to seek approval for any expenditures that would cause a deficit.

Concern from both Victoria and Esquimalt resulted in VicPD providing an in camera update to each Council in August 2016. The presentation included the forecast overage in the Litigation and Arbitration account code in 2016 and the forecast surplus in other account codes that would enable VicPD to absorb the extraordinary costs without going into an overall deficit position in that year.

It was determined that a follow up meeting with Victoria and Esquimalt was not required in 2016 since there was no overall deficit at the year-end.

Although 2017 had a similar set of financial issues, there have been no further updates from VicPD to Victoria and Esquimalt on this issue.

VicPD has insurance coverage through the Municipal Insurance Association but we were told that this coverage does not cover the extraordinary expenditure detailed above.

Conclusions

Financial Accountability Framework – overall we think that VicPD has a reasonably strong financial accountability framework in place. We observed a culture of financial accountability that included sound financial policy and procedures, a clear delegation of individual financial responsibility, regular monthly financial reporting and appropriate governance oversight mechanisms. While the budget planning processes meet the needs of VicPD, their application is not currently meeting the needs and expectations of Victoria and Esquimalt and this may have contributed to the recent failure to gain acceptance of the proposed 2018 Budget. These concerns are rooted in perceptions of a lack of information sharing, insufficient collaboration and incomplete consideration of options.

Framework Agreement – overall we think that the Framework Agreement is a reasonable working document to deal with the financial management issues that arise among the parties. It is governed and construed in accordance with the laws of BC, which includes the Police Act. No agreement is perfect but our assessment is that it can be made to work with a commitment from all parties and a more active role being played by the Administrative Committee.

Extraordinary Expenditure – overall we think that the initial approach taken in terms of communication and approval was reasonable but requires to be continued and updated.

Recommendations

- ✓ The Province should appoint an individual with financial management qualifications and a related skillset to the Board.
- ✓ All three parties to the Framework Agreement should be directed to work more collaboratively within its terms, amend it, if required and commit to increased sharing of information ahead of decision making in an effort to make it work more effectively for all parties.
- ✓ The Administration Committee should meet to agree on the key issues for all three parties and collaboratively plan to develop timely proposed solutions.
- ✓ The Board and VicPD should provide Victoria and Esquimalt with an up to date report on the extraordinary expenditure incurred since 2015.



Committee of the Whole Report For the Meeting of February 28, 2019

To: Committee of the Whole **Date:** February 14, 2019
From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development
Subject: Rezoning Application No. 000642 for 945 Pembroke Street

RECOMMENDATION

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 000642 for 945 Pembroke Street, that first and second reading of the Zoning Regulation Bylaw Amendment and bylaw to authorize a housing agreement be considered by Council and a Public Hearing date be set, subject to the applicant preparing and executing a housing agreement to ensure that future Strata Bylaws could not prohibit the rental of units.

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures; the density of the use of the land, building and other structures; the siting, size and dimensions of buildings and other structures; as well as, the uses that are permitted on the land, and the location of uses on the land and within buildings and other structures.

In accordance with Section 482 of the *Local Government Act*, a zoning bylaw may establish different density regulations for a zone, one generally applicable for the zone and the others to apply if certain conditions are met.

In accordance with Section 483 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use of the density of the land from that permitted under the zoning bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 945 Pembroke Street. The proposal is to rezone from the R-2 Zone, Two-Family Dwelling District, to a new zone in order to subdivide and increase the density on each lot to allow multi-unit residential uses at this location.

The following points were considered in assessing this application:

- the subject property is designated Core Residential in the *Official Community Plan*, 2012 (OCP), which supports a diverse range of housing types including low and mid-rise,

- multi-unit residential buildings
- the subject property is within the Residential Mixed-Use District in the *Downtown Core Area Plan* (DCAP), which supports multi-unit residential development up to five storeys and a floor space ratio (FSR) of up to 2:1. The applicant is proposing a smaller scale, ground-oriented residential development that includes two, three-storey, multi-unit residential buildings with densities ranging from 0.86 to 0.87:1 FSR
- the existing dwelling unit is not listed on the Heritage Register or located in a heritage conservation area; however, the applicant explored options to relocate the existing single-family dwelling. To transport the house along Pembroke Street, or through Royal Athletic Park, and relocate it to a different lot, several city trees would have to be significantly pruned or removed and BC Hydro/Telus poles would need to be removed and replaced. For these reasons, relocating the existing single-family dwelling is not feasible
- the applicant is willing to enter into a housing agreement to ensure that future Strata Bylaws could not prohibit the rental of units.

BACKGROUND

Description of Proposal

This Rezoning Application is to subdivide and increase the density to allow multi-unit residential uses at this location. The following differences from the standard zone (Two Family Dwelling District Zone) are being proposed and would be accommodated in the new zone:

- increasing the FSR and total floor area
- increasing the height of building
- reducing front, side and rear yard setbacks.

Affordable Housing Impacts

The applicant proposes the creation of 12 new residential units which would increase the overall supply of housing in the area. A Housing Agreement is also being proposed, which would ensure that future Strata Bylaws could not prohibit the rental of units.

Tenant Assistance Policy

The proposal is to demolish an existing single-family building which would result in a loss of one existing residential rental unit. The current tenant moved into the dwelling unit in November 2017 and the applicant applied for rezoning on April 3, 2018 and therefore, the tenant has not resided in the building long enough to be eligible for tenant assistance under the current Tenant Assistance Policy, which must be one year of tenancy or more. Additionally, the tenant was informed by the applicant of the redevelopment plans and the rezoning application prior to move-in, and in any case has voluntarily chosen to relocate because of personal reasons (letter attached).

Sustainability Features

The applicant has identified several sustainability features which will be reviewed in association with the concurrent Development Permit Application for this property.

Active Transportation Impacts

The applicant is providing 12 long-term and six short-term bicycle parking spaces for each building, which complies with the bicycle parking requirements in Schedule C: Off-street Parking Regulations.

Public Realm Improvements

No public realm improvements are proposed in association with this Rezoning Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Land Use Context

The area is characterized by mix of residential uses, a recreation centre, and public parks including Central Park and Royal Athletic Park.

Existing Site Development and Development Potential

The site is presently a single-family dwelling.

Under the current R-2 Zone, Two-Family Dwelling District, the property could be developed as a duplex or a single-family dwelling with a secondary suite or garden suite.

Data Table

The following data table compares the proposal with the existing R-2 Zone, Two Family Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing Zone.

Zoning Criteria	Proposal Lot A	Proposal Lot B	Existing Zone R-2
Site area (m ²) – minimum	533.29 *	528.41 *	555
Density (Floor Space Ratio) – maximum	0.86:1*	0.87:1*	0.50:1
Height (m) – maximum	9.71*	9.48*	7.60
Storeys – maximum	3*	3*	2
Site coverage (%) – maximum	35.40	35.80	40.00
Open site space (%) – minimum	32.50	31.60	30.00
Setbacks (m) – minimum			
Front (Pembroke Street)	5.65* / 3.20* (entry steps)	5.76* / 3.13* (entry steps)	7.50 / 3.00 (projections)
Rear (S)	12.98	12.79	13.63
Side (E)	2.21 *	1.56 *	3.00
Side (W)	1.56	2.17	1.50

Zoning Criteria	Proposal Lot A	Proposal Lot B	Existing Zone R-2
Vehicle parking – minimum	5 *	5 *	6
Visitor vehicle parking included in the overall units – minimum	0 *	0 *	1
Surface parking landscape screen	0.60 *	0.60 *	n/a
Bicycle parking stalls – minimum			
Class 1	12	12	n/a
Class 2	6	6	n/a

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, the applicant has consulted the North Park CALUC at a Community Meeting held on March 26, 2018. Meeting minutes dated March 26, 2018 are attached to this report.

ANALYSIS

Official Community Plan

The *Official Community Plan, 2012* (OCP) Urban Place Designation for the subject property is Core Residential, which supports low-rise, multi-unit residential uses. The applicant is proposing two, multi-unit residential buildings and each building would contain approximately six, two-bedroom units and private patio space, which would be suitable for families. The site is also directly across the street from Central Park and Crystal Pool and walking distance to George Jay Elementary School. The applicant is not proposing rental dwelling units with this application; however, they are willing to enter into a housing agreement to ensure that future Strata Bylaws do not prohibit rental; which would give home-owners the option to rent their dwelling units which could increase the rental supply of housing in the city.

The existing dwelling unit is not listed on the Heritage Register or located in a heritage conservation area; however, the applicant still explored options to relocate the existing single-family dwelling. To transport the house along Pembroke Street, or through Royal Athletic Park, and relocate it to a different lot, several city-owned trees would have to be significantly pruned or removed and BC Hydro/Telus poles would need to be removed and replaced. After reviewing the different options, it was determined that it was not feasible to relocate the existing house and it will have to be demolished to facilitate this development.

Local Area Plans

The subject properties are within the Residential Mixed-Use District in the *Downtown Core Area Plan* (DCAP), which supports multi-unit residential buildings with a density of 2:1 floor space ratio (FSR) and a maximum height of up to approximately five storeys. The applicant is proposing a lower density residential infill development that fits with the existing neighbourhood

context and built form, which is predominantly single-family dwellings that contain traditional-style architectural features.

Tree Preservation Bylaw and Urban Forest Master Plan

The applicant engaged Talbot Mackenzie & Associates to complete a Tree Preservation Plan. The arborist inventoried seven trees associated with this proposal, none of which are located on the subject property. The two public boulevard trees on Pembroke Street are to be retained, which include an American Sweetgum and Garry Oak tree. An exploratory dig was conducted by the arborist to evaluate the impacts of the proposed driveway and front yard patios on the public Sweetgum tree. The applicant has indicated on the site plan that the pathway and patio will be constructed in accordance with the recommendations in the Tree Preservation Plan with no excavation into the tree's roots.

Five non-bylaw protected trees, located on adjacent properties to the west and south, are to be retained. The arborist report states that the construction of the parking lot and patio for unit B6 of the proposal may impact the neighbour's Sweetgum Tree NT3 (non-bylaw protected). The arborist recommends that the applicant construct a floating patio and parking lot to protect the roots of the tree, and the applicant has made a note on the landscape plan that these two elements would be constructed in accordance with the Tree Preservation Plan.

Density Bonus Policy

The Rezoning Application was received April 3, 2018 and is subject to the City's Density Bonus Policy although the proposal is more consistent with a built form and density typically proposed for properties designated Traditional Residential in the OCP, which are exempt from the City's Density Bonus Policy. The applicant prefers a lower density and ground-oriented residential development at this location to fit the neighbourhood context from a site planning and architectural-perspective, with special attention to two neighbouring single-family dwellings to the east, as shown on the plans.

Staff discussed the current Density Bonus Policy and Council's interim direction on inclusionary housing with the applicant. In a letter addressed to Mayor and Council, dated February 13, 2018, the applicant explains the financial implications associated with providing an amenity contribution for this project. That said, the site is designated Core Residential in the OCP and subject to the current policy, which requires either a fixed-rate contribution or a land lift analysis. Staff have provided an alternate motion should Council choose to apply the policy to this development proposal.

CONCLUSIONS

The proposal to subdivide and create two lots and increase the density to allow multi-unit residential uses is consistent with the land use policies outlined in the OCP and DCAP. The applicant has considered the surrounding neighbourhood context, housing types and tenures, and the need for sensitive infill development on the site. Staff recommend for Council's consideration that the application proceed to a Public Hearing.

ALTERNATE MOTION

Option One

That the applicant complies with the City's Density Bonus Policy and report back to the Committee of the Whole.

Option Two

That Council decline Rezoning Application No. 000642 for the property located at 945 Pembroke Street.

Respectfully submitted,




Leanne Taylor
Senior Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department



Report accepted and recommended by the City Manager:


Date: Feb 15, 2019

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans dated/date stamped February 12, 2019
- Attachment D: Letter from applicant to Mayor and Council dated February 13, 2019
- Attachment E: Letter from applicant to Mayor and Council dated February 13, 2019
- Attachment F: Community Association Land Use Committee Comments dated March 26, 2018
- Attachment G: Arborist Report dated January 8, 2019.
- Attachment H: Letter from Tenant dated January 29, 2019



Committee of the Whole Report

For the Meeting of February 28, 2019

To: Committee of the Whole **Date:** February 14, 2019

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: Development Permit with Variances Application No. 00078 for 945 Pembroke Street

RECOMMENDATION

That Council, after giving notice and allowing an Opportunity for Public Comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 000642, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00078 for 945 Pembroke Street, in accordance with:

1. Plans date stamped February 12, 2019.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Lot A - reduce the required number of residential parking spaces from six to five and the number of visitor parking spaces from one to nil
 - ii. Lot B - reduce the required number of residential parking spaces from six to five and number of visitor parking spaces from one to nil
 - iii. Reduce the continuous landscaping screen between a surface vehicle parking area and an adjacent lot primarily for residential uses from 1m to 0.60m
3. Enter into an Agreement with a car share provider and purchase 12 car share membership (one car share membership per dwelling unit).
4. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 945 Pembroke

Street. The proposal is to construct two, three-storey multi-unit residential buildings. The variances are related to reducing the required number of parking spaces and the width of a continuous landscaping screen between a surface vehicle parking area and a residential lot.

The following points were considered in assessing this application:

- the subject properties are within Development Permit Area 3(HC): Core Mixed-Use Residential, which supports a “high-quality of architecture, landscape and urban design that reflects the function of a major residential centre on the edge of a central business district in scale, massing and character.” The proposal complies with the objectives outlined in this DP area
- the design guidelines for *Downtown Core Area Plan* (2011), *Guidelines for Fences, Gates and Shutters* (2010), and *Advisory Design Guidelines for Buildings, Signs and Awnings* (2006) apply to the development proposal. Overall, the proposal is consistent with the design guidelines
- the applicant is proposing to reduce the required number of residential parking spaces from six to five and visitor parking spaces from one to nil for each multi-unit residential building. The anticipated overall parking shortfall for this development is four stalls. To help offset some of this anticipated shortfall, the applicant has offered car-share memberships and a usage credit of \$100 for each of the 12 dwelling units. Currently, the closest Modo car-share vehicles are located on the 900 block of North Park Street and 800 block of Queens Avenue. The subject property is also within walking distance to the urban core and near frequent transit service and bicycle infrastructure. For these reasons, staff support the proposed parking variances
- the applicant is also proposing to reduce the continuous landscaping screen between a surface vehicle parking area and an adjacent lot used primarily for residential purposes. Under the old Schedule C: Off-Street Parking, the minimum width requirement for a landscaping screen was 0.6m; however, it has been increased to 1m in the new Schedule C. The variance is supportable given that the applicant designed the parking lot in accordance with the requirements at the time of application submission, and adequate landscaping is still being provided for screening purposes.

BACKGROUND

Description of Proposal

The proposal is to construct two, three-storey multi-unit residential buildings. Specific details include:

- two, three-storey buildings consisting of traditional architectural features, including pitched and gabled rooflines, dormers and traditional-style bay windows and materials
- exterior building materials of Building A consisting of lap siding, hardi-panels, asphalt shingles, Tudor batons and painted wood casing
- exterior building materials of Building B consisting of horizontal hardi-siding, hardi-shingle cladding and asphalt shingles
- individual private patio spaces
- upper-storey residential entryways facing the street and rear yard
- side entryways for the basement level residential units
- permeable pavers in the parking area and permeable surface treatment for the shared driveway
- planting beds to break-up the hard surface treatment
- twelve long-term (Class 1) bicycle parking spaces for each building to be located in a bicycle storage area in the basement level, and six short-term (Class 2) bicycle parking spaces to be located in the front yard of each lot.

The proposed variances are related to reducing the required number of residential and visitor parking spaces and the width of a continuous landscaping screen between a surface vehicle parking area and a residential lot.

Sustainability Features

As indicated in the applicant's letter dated January 10, 2019, the applicant confirmed that the buildings would meet new municipal StepCode 1 requirements, contain energy efficient appliances and the trusses would be designed to accommodate solar panels in the future.

Active Transportation Impacts

The applicant is providing twelve long-term and six short-term bicycle parking spaces for each building, which complies with the bicycle parking requirements in Schedule C: Off-Street Parking Regulations.

Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Existing Site Development and Development Potential

The site is presently a single-family dwelling.

Under the current R-2 Zone, Two-Family Dwelling District, the property could be developed as a duplex or a single-family dwelling with a secondary suite or garden suite.

Data Table

The following data table compares the proposal with the existing R-2 Zone, Two Family Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing Zone.

Zoning Criteria	Proposal Lot A	Proposal Lot B	Existing Zone R-2
Site area (m ²) – minimum	533.29 *	528.41 *	555
Density (Floor Space Ratio) – maximum	0.86:1*	0.87:1*	0.50:1
Height (m) – maximum	9.71*	9.48*	7.60
Storeys – maximum	3*	3*	2
Site coverage (%) – maximum	35.40	35.80	40.00

Zoning Criteria	Proposal Lot A	Proposal Lot B	Existing Zone R-2
Open site space (%) – minimum	32.50	31.60	30.00
Setbacks (m) – minimum			
Front (Pembroke Street)	5.65* / 3.20* (entry steps)	5.76* / 3.13* (entry steps)	7.50 / 3.00 (projections)
Rear (S)	12.98	12.79	13.63
Side (E)	2.21 *	1.56 *	3.00
Side (W)	1.56	2.17	1.50
Vehicle parking – minimum	5 *	5 *	6
Visitor vehicle parking included in the overall units – minimum	0 *	0 *	1
Surface parking landscape screen	0.60 *	0.60 *	n/a
Bicycle parking stalls – minimum			
Class 1	12	12	n/a
Class 2	6	6	n/a

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on April 16, 2018 the application was referred for a 30-day comment period to the North Park CALUC. Meeting minutes from the formal community meeting, dated March 26, 2018, are attached to this report.

This application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan, 2012 (OCP)* identifies the subject property within Development Permit Area 3 (HC): Core Mixed-Use Residential. This DPA identifies the Core Residential area as a major residential district on the edge of a regional commercial and employment district and anticipates residential growth in the form of intensified multi-unit, residential development. The applicant is proposing lower density residential infill development that fits with the existing

neighbourhood context and built form, which is predominantly single-family dwellings comprising of traditional-style architectural features.

Tudor architectural style and materials are being proposed for both buildings to complement the adjacent single-family dwellings, similarly to the existing single-family dwelling on the property. Each dwelling unit has a private entryway with direct exterior access. The applicant has provided a window overlay with neighbouring properties and between the two proposed buildings. Some of the windows on the east elevation of House A would line up with the existing side windows on the adjacent single-family dwelling. The windows on the west elevation of House B are off-set from the neighbouring windows. There would be some overlook between the proposed buildings, which would be mitigated by the proposed translucent rain glass for the bathroom windows.

With respect to landscaping, the applicant is proposing a permeable surface treatment for the parking area, patios and walkways and some planting beds to break up the hard surface. Five new trees would be planted in the rear yard adjacent to the parking spaces. Overall, this proposal is generally consistent with the policies and design guidelines outlined in the OCP.

Downtown Core Area Plan

The *Downtown Core Area Plan*, 2011 (DCAP) supports larger buildings at this location, and the design guidelines generally focus on multi-unit residential buildings greater than approximately four storeys; however, the proposal is consistent with several design guidelines pertaining to residential buildings, such as providing at-grade individual entrances with direct connections to a public sidewalk and landscaped front entryways, a shared driveway for residential uses and locating the parking in the rear yard, and private patio space for each dwelling unit.

Tree Preservation Bylaw and Urban Forest Master Plan

The applicant engaged Talbot Mackenzie & Associates to complete a Tree Preservation Plan. The arborist inventoried seven trees associated with this proposal and none of these trees are located on the subject property. The two public boulevard trees on Pembroke Street are to be retained, which include an American Sweetgum and Garry Oak tree. An exploratory dig was conducted by the arborist to evaluate the impacts of the proposed driveway and front yard patios on the public Sweetgum tree. The applicant has indicated on the site plan that the pathway and patio will be constructed in accordance with the recommendations in the Tree Preservation Plan with no excavation into the tree's roots.

Five non-bylaw protected trees located on adjacent properties to the west and south are to be retained. The arborist report states that the construction of the parking lot and patio for Unit B6 of the proposal may impact the neighbour's Sweetgum Tree NT3 (non-bylaw protected). The arborist recommends that the applicant construct a floating patio and parking lot to protect the roots of the tree, and the applicant has made a note on the landscape plan that these two elements would be constructed in accordance with the Tree Preservation Plan.

Regulatory Considerations

Parking Variance

The applicant is proposing to reduce the required number of residential parking spaces from six to five and visitor parking spaces from one to nil for each multi-unit residential building. At least one dwelling unit per building would not have a dedicated on-site parking space. Since there is no visitor parking on-site, this will result in visitors to the property seeking on-street parking in

the area, which will compete with neighbouring properties and public facilities such as the Crystal Pool, Royal Athletic Park and Memorial Arena. The anticipated overall parking shortfall for this development is four stalls. To help offset some of this anticipated shortfall, the applicant has offered car-share memberships and a usage credit of \$100 for each of the 12 dwelling units. Currently, the closest Modo car-share vehicles are located on the 900 block of North Park Street and the 800 block of Queens Avenue. A letter from MODO is attached to the report. The subject property is also within walking distance to the urban core and near frequent transit service and bicycle infrastructure. For these reasons, staff support the proposed parking variances.

Landscape Screen

The applicant is proposing to reduce the continuous landscaping screen between a surface vehicle parking area and an adjacent lot used primarily for residential purposes. Under the old Schedule C: Off-street Parking, the minimum width of a landscaping screen was 0.6m; however, it has been increased to 1m in new Schedule C. The variance is supportable given that the applicant designed the parking lot in accordance with the old Schedule C, which were the requirements at the time of application submission, and adequate landscaping is still being provided for screening purposes.

Advisory Design Panel Review

The Advisory Design Panel (ADP) reviewed the proposal at the meeting of November 28, 2018. The minutes from the meeting are attached for reference and the following motion was carried:

"It was moved that the Development Permit with Variances Application No. 00078 for 945 Pembroke Street does not sufficiently meet the applicable design guidelines and polices and should be declined, and that the key areas that should be revised include:

- *improvement of the overall livability of the proposal with particular attention to the interior and exterior site circulation and building separation distances*
- *reconsideration of the overall building expression to limit the replication of heritage façades."*

The applicant considered ADP's comments and wishes to move forward with no significant changes to the overall design of the buildings. The applicant prefers a lower density, ground-oriented residential development at this location that fits with the neighbourhood context from a site planning and architectural-perspective. The applicant has made some refinements to the proposal following the ADP meeting, which include improvements to the front yard circulation and landscaping, redesigning the bike room, reducing window overlap between buildings and removing the Juliet balconies on House A.

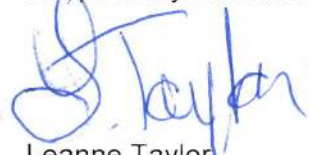
CONCLUSIONS

The proposal to construct two, three-storey multi-unit residential buildings is generally consistent with DPA 3(HC) and the applicable design guidelines. The parking variances are supportable given the car-share memberships and usage credits being offered by the applicant, and the site's close proximity to a frequent transit network and cycling infrastructure. The variance to reduce the landscape screen is also supportable as the applicant has demonstrated that a fence, shrubs and vines can be planted in the provided space. Staff recommend for Council's consideration that the application proceed to an Opportunity for Public Comment.

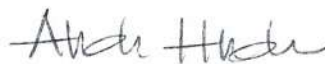
ALTERNATE MOTIONS

That Council decline Development Permit with Variance Application No. 000642 for the property located at 945 Pembroke Street.

Respectfully submitted,



Leanne Taylor
Senior Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.



Date:

Feb 15, 2019

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans dated/date stamped February 12, 2019
- Attachment D: Letter from applicant to Mayor and Council dated February 13, 2019
- Attachment E: Letter from applicant to Mayor and Council dated February 13, 2019
- Attachment F: Community Association Land Use Committee Comments dated March 26, 2018
- Attachment G: Arborist Report dated January 8, 2019
- Attachment I: Letter of support from Modo dated February 5, 2019
- Attachment J: ADP Report dated August 10, 2018
- Attachment K: Minutes from the ADP meeting dated August 22, 2018.

CENTRAL PARK

PB

PEMBROKE ST

VANCOUVER ST

2127
2123
2117/19

2109
1010

909

945

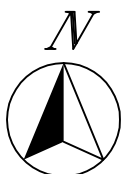
GREEN ST

ROYAL
ATHLETIC
PARK

920

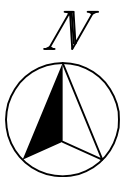
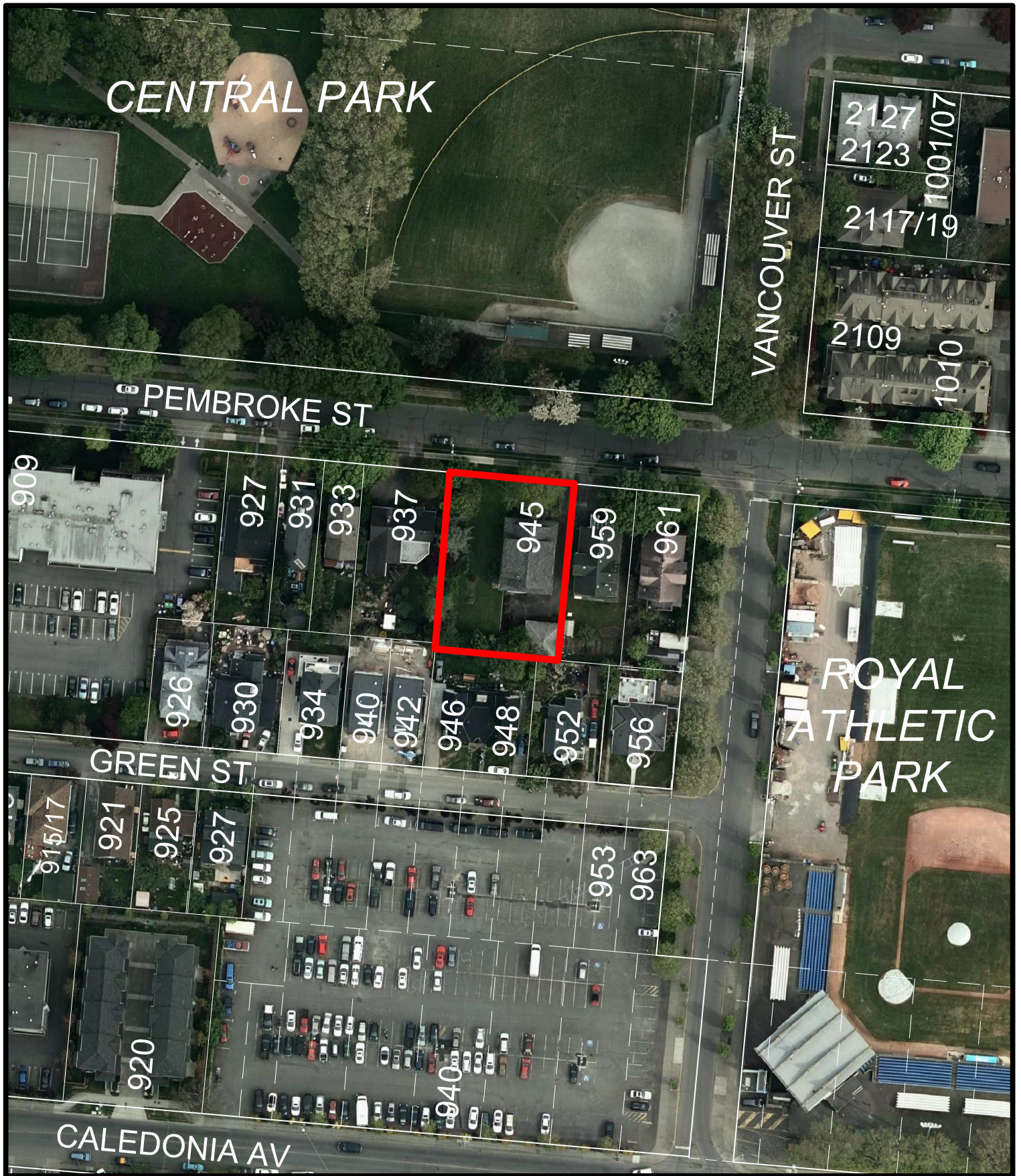
R-2

CALEDONIA AV



945 Pembroke Street
Rezoning No.00642





945 Pembroke Street
Rezoning No.00642



945 PEMBROKE STREET APPLICATION FOR REZONING

LEGAL DESCRIPTION: LOT A, SUBURBAN LOT 6, VICTORIA CITY, PLAN VIP83993



CONTACTS

APPLICANT

UNITE PROJECTS LTD
1187 NORTH FAIR STREET
VICTORIA, BC V8T 1C7
250-668-1371
CONTACT: JARON COLLINS
jaron@unite.com

ARCHITECT

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250-668-1371
CONTACT: JARON COLLINS
jaron@unite.com

SURVEYOR

J. ANKUS & ASSOCIATES
4212 GARDEN AVENUE
VICTORIA, BC V8T 4B7
250-727-2224
CONTACT: JARON COLLINS
jaron@unite.com

BUILDING CODE DATA

APPLICABLE BUILDING CODE:

BC BUILDING CODE 2018 EDITION
ALL WORK TO COMPLY WITH BCBC 2018 IN ALL INSTANCES
PART 9, GROUP 2 RESIDENTIAL OCCUPANCY CLASSIFICATION

BUILDING HEIGHT:

3.1.1.1 STORIES

Building Code 2018 DEFINITION OF STOREY:
THAT PORTION OF A BUILDING THAT IS DELIMITED BETWEEN THE TOP OF ANY FLOOR AND THE TOP OF THE NEXT FLOOR ABOVE IT, AND IF THERE IS NO FLOOR ABOVE IT, THAT PORTION BETWEEN THE TOP OF SUCH FLOOR AND THE CEILING ABOVE IT.

FLOOR SEPARATION:

FLOOR SEPARATION BETWEEN LOWER & MAIN LEVEL
AND SEPARATION BETWEEN MAIN LEVELS
AND BETWEEN MAIN LEVEL AND UPPER LEVELS

1 HOUR (ARTICLE 9.10.9.14.1)

OUTSTANDING PARTS THAT EXCEED 2.0 METRE SHALL BE REMOVED OR SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

FLOOR SEPARATION BETWEEN MAIN & UPPER LEVELS:

FLOOR SEPARATION BETWEEN MAIN & UPPER LEVELS SHALL BE SEPARATED BY A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

1 HOUR (ARTICLE 9.10.9.14.2)

CLASSIFICATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS
2.2.2.2.1 GROUP 2, UP TO 3 STOREYS
2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

FLOOR SEPARATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

FLOOR SEPARATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

FLOOR SEPARATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

FLOOR SEPARATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

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2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

FLOOR SEPARATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS

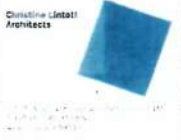
FLOOR SEPARATION:

2.2.2.2.1 GROUP 2, UP TO 3 STOREYS



RESUBMISSION NOTES

- 1) THE FOUR GROUND FLOOR UNIT ENTRANCES REMAIN LOCATED OFF THE SHARED DRIVEWAY INSTEAD OF THE FRONT OF THE BUILDING. THE INTENTION IS TO AVOID UNIT ACCESS TO THE MAIN ENTRANCE OF THE BUILDING IN ORDER TO MAINTAIN THE EXISTING BUILDING ENTRANCE FOR THE GROUND FLOOR UNIT.
- 2) TO ADDRESS STAFF CONCERNS FROM THE ADP REGARDING SIDE WIND WINDOW OVERLOOK, CORRIDOR LENGTH TO BIKES STORAGE AND FURNITURE OPEN SPACES THE FOLLOWING REVISIONS HAVE BEEN MADE:
 - A. REDUCED WINDOW HAVE BEEN REDUCED IN WIDTH BY 6" ON THE EAST AND WEST SIDE OF BUILDING 8 AND THE EAST SIDE OF BUILDING 9 TO PROVIDE MORE PRIVACY.
 - B. BIKES STORAGE HAVE BEEN SHORTENED AND FLARED TO CREATE A MORE OPEN SPACE, ALLOWING MORE NATURAL LIGHT AND AN IMPROVED VIEW FROM THE ADJACENT BUILDING.
 - C. NO FURNITURE IS TO BE EXPOSED OR ON THE SIDEWALK AND NO FURNITURE WINDOW OVERHANG BETWEEN BUILDINGS.
- 3) ADP IS UNAPPROVED OF THIS PROPOSAL, HOWEVER, THE PLANNING DEPARTMENT AND NEIGHBOURS ARE REQUESTING THE PROPERTY SUPPORT THIS CHARACTER STRIK, THREE LEVEL, TWO BUILDING ARRANGEMENT.
- 4) ADP CONCERNS AND COMMENTS HAVE BEEN REMOVED AND RETURNED TO THE ORIGINAL BUILDING DESIGN TO THAT THE BUILDING IS MORE EFFICIENT OF THE NEW STEP CODE.
- 5) ADJUSTMENTS HAVE BEEN MADE TO THE BIKES STORAGE ROOMS TO COMPLY WITH THE NEW BUILDING'S BIKES STORAGE REQUIREMENTS.
- 6) BUILDING LENGTHS WERE INCREASED BY 10' TO ACCOMMODATE THE NEW BUILDING'S HEAD REQUIREMENTS. THE DATA TABLE FOR BOTH BUILDINGS HAVE BEEN UPDATED TO REFLECT THE NEW BUILDING SIZE.
- 7) THE SPACES OF THE DRIVEWAY TREE HAVE BEEN CORRECTED FROM 10' TO 12' TO 14' ON BOTH SIDES AND LANDSCAPE PLANT. WALKWAYS CONSIDERING THE FRONT UNITS TO THE SIDEWALK SIDEWALK PLANT. THE ADPST EXPLOSION CONSIDERED THAT NO IMPACT TO THE TREE WILL OCCUR AS A RESULT OF THE PROPOSAL OF THE BUILDING CONSTRUCTION AND REMOVAL.
- 8) THE LOCATION OF THE BEST OF THE TREE HAS BEEN REQUESTED TO BE A CHANGE IN WALL ASSEMBLY. SPATIAL SEPARATION CHANGES HAVE BEEN UPDATED TO REFLECT ALL CHANGES TO THE BUILDING'S HEAD AND ADPST.
- 9) PATHWAYS FROM MAIN FLOOR UNITS ON THE STREET SIDE HAVE BEEN ADJUSTED TO BE A CHANGE IN WALL ASSEMBLY. SPATIAL SEPARATION CHANGES HAVE BEEN UPDATED TO REFLECT ALL CHANGES TO THE BUILDING'S HEAD AND ADPST.
- 10) SECOND FLOOR CLOSET SIZE HAVE BEEN REDUCED TO PROVIDE THE REQUIRED CLEAR HEIGHT OVER THE 6' SHIRT STAKE.



Issue	Date
CAUC Meeting	March 26-18
Rezoning Application	March 28-18
Rezoning Resubmission	June 22-18
Rezoning Resubmission 2	July 30, 2018
Rezoning Resubmission 3	Jan. 9, 2019

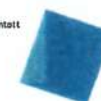
Revision	No.	Description	Date
11	Additional Revision	Notes	Jan 29-19

Consultant

945 Pembroke
Street
House A & B

Cover Sheet

Date	2019-02-06 12:45:42 PM
Drawn by	JA
Checked by	CL
Scale	A0.00



Issue	Date
CALUC Meeting	March 26-18
Rezoning Application	March 28-18
Rezoning Resubmission	June 22-18
Rezoning Resubmission 2	July 30, 2018
Rezoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
1	Revised Grade	Jan 9-19
2	Building Size Increased	Jan 9-19
5	Bike Parking	Jan 29-19
7	Project Data Corrected	Jan 9-19

Consultant

945 Pembroke
Street
House A & B

Project Data Tables

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Drawn by	LA
Checked by	CL
Scale	

A0.01

HOUSE A - PARKING CALCULATION - HOUSE A

A. CONDOMINIUM/RESIDENTIAL UNIT IN A BUILDING REGULATED BY THE STRATA PROPERTY ACT:
COSE AREA:
0.82 SPACES PER DWELLING UNIT THAT IS 45 M² OR MORE, BUT IS EQUAL TO OR LESS THAN 70 M²
1.22 SPACES PER DWELLING UNIT THAT IS MORE THAN 70 M²

VISOR:
0.1 SPACES PER DWELLING UNIT

CALCULATED STALLS $10.8 \times 2 + (3.30 \times 4) + (0.1 \times 4) = 7$
PROVIDED = 5

*ALL STRATA UNITS MUST BE KNOWN IN THE MIDDLE LANE SHARE PROGRAM

HOUSE B - PARKING CALCULATION - HOUSE B

A. CONDOMINIUM/RESIDENTIAL UNIT IN A BUILDING REGULATED BY THE STRATA PROPERTY ACT:
COSE AREA:
0.82 SPACES PER DWELLING UNIT THAT IS 45 M² OR MORE, BUT IS EQUAL TO OR LESS THAN 70 M²
1.22 SPACES PER DWELLING UNIT THAT IS MORE THAN 70 M²

VISOR:
0.1 SPACES PER DWELLING UNIT

CALCULATED STALLS $10.8 \times 2 + (3.30 \times 4) + (0.1 \times 4) = 7$
PROVIDED = 5

*ALL STRATA UNITS MUST BE KNOWN IN THE MIDDLE LANE SHARE PROGRAM

REZONING PROJECT INFORMATION TABLE - HOUSE A

	PROPOSED	EXISTING ZONING
ZONING	R3-A1, LOW PROFILE MULTIPLE DWELLING	R2, TWO FAMILY DWELLING
SITE AREA	533.29 m ² (VARIANCE: 920 m ² REQUIRED)	1061.7 m ²
TOTAL FLOOR AREA	532.50 m ²	313 m ²
COMMERCIAL FLOOR AREA	N/A	N/A
FLOOR SPACE RATIO	0.86:1 (DOES NOT INCL. ATTIC) 0.98:1 (INCL. ATTIC)	0.5:1
SITE COVERAGE	35.4% (VARIANCE: 33.33% ALLOWABLE)	38.8%
OPEN SITE SPACE	32.5%	63.1%
HEIGHT OF BUILDING	9.71 m	8.35 m
NUMBER OF STOREYS	3	2
PARKING STALLS ON SITE	5 (VARIANCE: 1.1 * 6 = 7 REQUIRED)	2
BICYCLE PARKING NUMBER (STORAGE & RACK)	LONG TERM: 8 SHORT TERM: 6	0
BUILDING SETBACKS		
FRONT YARD (NORTH)	5.45 m (VARIANCE: 7.5 m REQUIRED)	7.5 m
FRONT YARD (SOUTH)	3.20 m (VARIANCE: 4.5 m REQUIRED)	3.5 m
REAR YARD (EAST)	12.98 m	13.64 m
SIDE YARD (EAST)	2.21 m (VARIANCE: 4.88 m REQUIRED)	2.75 m
SIDE YARD (WEST)	1.70 m (VARIANCE: 4.88 m REQUIRED)	2.75 m
COMBINED SIDE YARDS	4.32 m	5.5 m

RESIDENTIAL USE DETAILS	PROPOSED
TOTAL NUMBER OF UNITS	6
UNIT TYPE	2 BDRM
GROUND ORIENTED UNITS	2
MINIMUM UNIT FLOOR AREA	65.53 m ²
TOTAL RESIDENTIAL FLOOR AREA	485.44 m ²

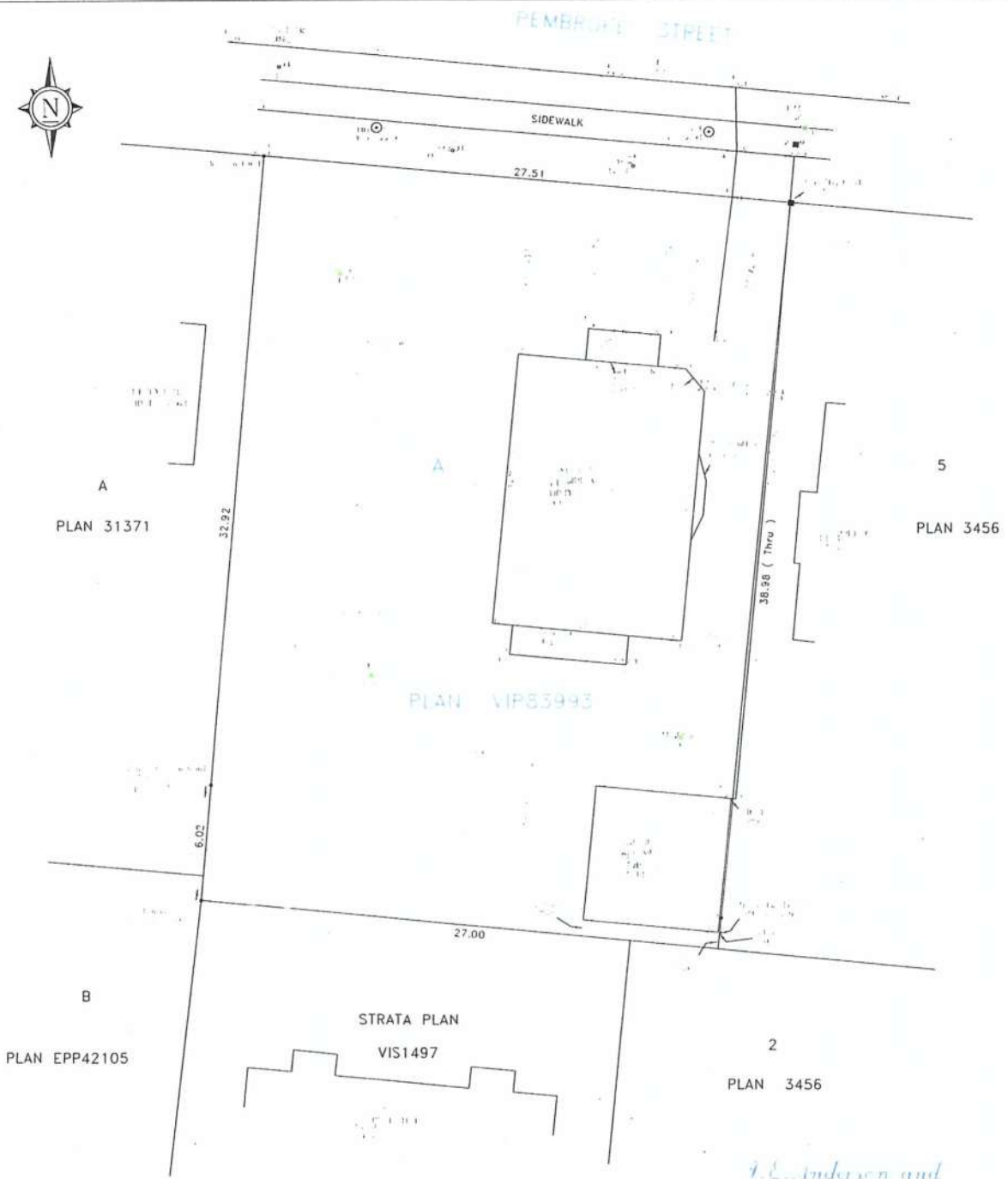
AVERAGE FRONT SETBACK
5.91 m x 4 = 23.64 m
5.91 m x 2 = 11.80 m
12.98 m x 1.1 = 14.28 m
TOTAL = 49.72 m
23.64 m / 7 = 3.40 m

REZONING PROJECT INFORMATION TABLE - HOUSE B

	PROPOSED	EXISTING ZONING
ZONING	R3-A1, LOW PROFILE MULTIPLE DWELLING	R2, TWO FAMILY DWELLING
SITE AREA	528.41 m ² (VARIANCE: 920 m ² REQUIRED)	1061.7 m ²
TOTAL FLOOR AREA	528.01 m ²	313 m ²
COMMERCIAL FLOOR AREA	N/A	N/A
FLOOR SPACE RATIO	0.87:1 (DOES NOT INCL. ATTIC) 1:1 (INCL. ATTIC)	0.5:1
SITE COVERAGE	35.6% (VARIANCE: 33.33% ALLOWABLE)	38.8%
OPEN SITE SPACE	31.6%	63.1%
HEIGHT OF BUILDING	9.48 m	8.35 m
NUMBER OF STOREYS	3	2
PARKING STALLS ON SITE	5 (VARIANCE: 1.1 * 6 = 7 REQUIRED)	2
BICYCLE PARKING NUMBER (STORAGE & RACK)	LONG TERM: 8 SHORT TERM: 6	0
BUILDING SETBACKS		
FRONT YARD (NORTH)	5.52 m (VARIANCE: 7.5 m REQUIRED)	7.5 m
FRONT YARD (SOUTH)	3.13 m (VARIANCE: 4.5 m REQUIRED)	3.5 m
REAR YARD (EAST)	12.79 m	13.64 m
SIDE YARD (EAST)	1.70 m (VARIANCE: 4.71 m REQUIRED)	2.75 m
SIDE YARD (WEST)	2.17 m (VARIANCE: 4.71 m REQUIRED)	2.75 m
COMBINED SIDE YARDS	4.27 m	5.5 m

RESIDENTIAL USE DETAILS	PROPOSED
TOTAL NUMBER OF UNITS	6
UNIT TYPE	2 BDRM
GROUND ORIENTED UNITS	2
MINIMUM UNIT FLOOR AREA	65.51 SQ.M.
TOTAL RESIDENTIAL FLOOR AREA	488.57 SQ.M.

AVERAGE FRONT SETBACK
6.06 m x 4 = 24.24 m
5.16 m x 2 = 10.32 m
12.79 m x 1.1 = 14.07 m
TOTAL = 48.63 m
10.65 m / 7 = 1.52 m



*J. C. Anderson and
Associates*

SUPERVISOR ENGINEER
J. C. ANDERSON J. C. ANDERSON

SITE PLAN

AT 945 PEMBROKE ST. PID 027-278-972

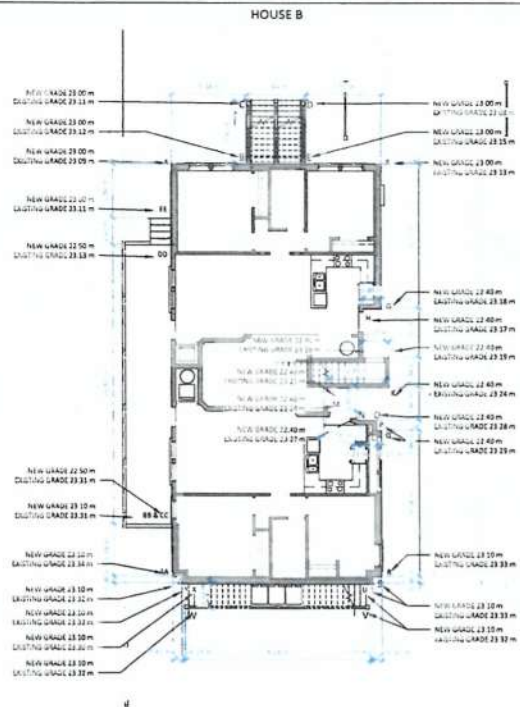
LOT A, SUBURBAN LOT 6,
VICTORIA CITY, PLAN VIP83993

LINHAR PROJECTS INC.

Received
City of Victoria
FEB 12 2019
Planning & Development Department
Development Services Division

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR THE CITY OF VICTORIA BY THE PLANNING & DEVELOPMENT DEPARTMENT. THE CITY OF VICTORIA DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS. THE CITY OF VICTORIA IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE PLANS.

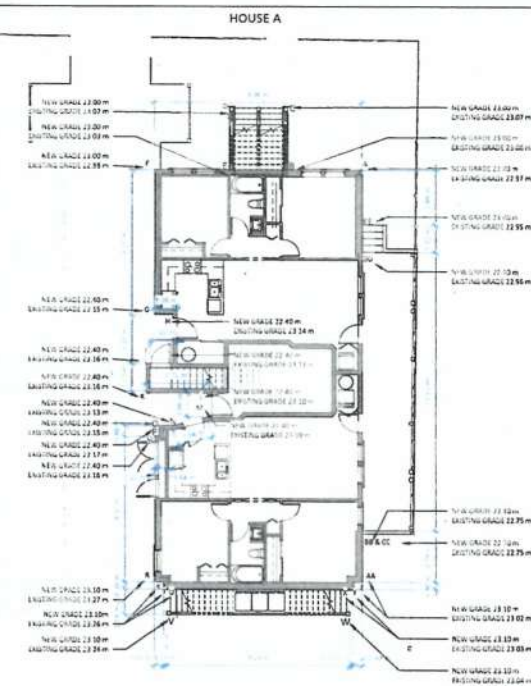
Client: Linhar Architects		Date: March 26, 18	
Issue: 1		Revised: March 26, 18	
Description: Existing Survey		Revised: June 23, 18	
Author: A0.02		Revised: Jan. 9, 2019	
Scale: 1:100		Revision: 1	
Project: 945 Pembroke Street House A & B		Revision: 2	
Drawing: Existing Survey		Revision: 3	
Sheet: A0.02		Revision: 4	



④ Grade Plan - House B
1:100

GRADE CALCULATION - (PER SCHEDULE A DEFINITIONS)

A & B	(123.00 + 23.00) / 2	x 3.38 m	= 77.34	G & R	(122.40 + 23.10) / 2	x 0.22 m	= 149.70
B & C	(123.00 + 23.00) / 2	x 2.85 m	= 65.55	R & S	(123.10 + 23.10) / 2	x 0.30 m	= 6.93
C & D	(123.00 + 23.00) / 2	x 2.64 m	= 60.72	S & T	(123.10 + 23.10) / 2	x 0.41 m	= 9.47
D & E	(123.00 + 23.00) / 2	x 2.85 m	= 65.55	T & U	(123.10 + 23.10) / 2	x 0.15 m	= 3.47
E & F	(123.00 + 23.00) / 2	x 3.35 m	= 77.05	U & V	(123.10 + 23.10) / 2	x 1.12 m	= 25.87
F & G	(123.00 + 22.40) / 2	x 6.51 m	= 147.78	V & W	(123.10 + 23.10) / 2	x 8.24 m	= 190.34
G & H	(122.40 + 22.40) / 2	x 0.83 m	= 18.59	W & X	(123.10 + 23.10) / 2	x 1.12 m	= 25.87
H & I	(122.40 + 22.40) / 2	x 1.25 m	= 30.40	X & Y	(123.10 + 23.10) / 2	x 0.15 m	= 3.47
I & J	(122.40 + 22.40) / 2	x 1.22 m	= 27.33	Y & Z	(123.10 + 23.10) / 2	x 0.41 m	= 9.47
J & K	(122.40 + 22.40) / 2	x 1.34 m	= 30.02	Z & AA	(123.10 + 23.10) / 2	x 0.30 m	= 6.93
K & L	(122.40 + 22.40) / 2	x 1.55 m	= 37.17	AA & CC	(123.10 + 23.10) / 2	x 2.34 m	= 54.05
L & M	(122.40 + 23.40) / 2	x 1.07 m	= 23.97	CC & DD	(122.50 + 22.50) / 2	x 13.62 m	= 283.95
M & N	(122.40 + 22.40) / 2	x 1.52 m	= 34.05	DD & EE	(122.50 + 23.00) / 2	x 1.22 m	= 27.76
N & O	(122.40 + 22.40) / 2	x 0.70 m	= 15.68	EE & A	(123.00 + 24.00) / 2	<u>23.42</u>	<u>53.68</u>
O & P	(122.40 + 22.40) / 2	x 0.46 m	= 10.30			= 71.10	= 1619.27
P & Q	(122.40 + 22.40) / 2	x 0.20 m	= 4.48				3619.27 / 71.10 = 22.77 m



⑤ Grade Plan - House A
1:100

GRADE CALCULATION - (PER SCHEDULE A DEFINITIONS)

A & B	(122.97 + 23.00) / 2	x 1.38 m	= 77.69	G & R	(122.40 + 23.10) / 2	x 0.57 m	= 149.47
B & C	(123.00 + 23.00) / 2	x 2.82 m	= 64.66	R & S	(123.10 + 23.10) / 2	x 0.30 m	= 6.93
C & D	(123.00 + 23.00) / 2	x 2.64 m	= 60.72	S & T	(123.10 + 23.10) / 2	x 0.41 m	= 9.47
D & E	(123.00 + 23.00) / 2	x 2.82 m	= 64.66	T & U	(123.10 + 23.10) / 2	x 0.15 m	= 3.47
E & F	(123.00 + 22.98) / 2	x 3.35 m	= 77.02	U & V	(123.10 + 23.10) / 2	x 1.14 m	= 26.33
F & G	(122.98 + 22.40) / 2	x 6.57 m	= 149.07	V & W	(123.10 + 23.04) / 2	x 8.24 m	= 190.10
G & H	(122.40 + 22.40) / 2	x 0.81 m	= 18.14	W & X	(123.04 + 23.03) / 2	x 1.14 m	= 26.26
H & I	(122.40 + 22.40) / 2	x 0.88 m	= 19.59	X & Y	(123.03 + 23.03) / 2	x 0.15 m	= 3.45
I & J	(122.40 + 22.40) / 2	x 1.22 m	= 27.33	Y & Z	(123.03 + 23.02) / 2	x 0.41 m	= 9.84
J & K	(122.40 + 22.40) / 2	x 1.33 m	= 29.79	Z & AA	(123.02 + 23.02) / 2	x 0.30 m	= 6.91
K & L	(122.40 + 22.40) / 2	x 1.05 m	= 23.74	AA & CC	(123.02 + 22.75) / 2	x 2.29 m	= 52.11
L & M	(122.40 + 22.40) / 2	x 1.06 m	= 23.74	CC & DD	(122.50 + 22.50) / 2	x 12.62 m	= 283.95
M & N	(122.40 + 22.40) / 2	x 1.58 m	= 35.39	DD & EE	(122.50 + 22.95) / 2	x 1.22 m	= 27.72
N & O	(122.40 + 22.40) / 2	x 0.64 m	= 14.34	EE & A	(122.95 + 22.97) / 2	<u>22.96</u>	<u>52.17</u>
O & P	(122.40 + 22.40) / 2	x 0.46 m	= 10.75			= 71.46	= 1626.17
P & Q	(122.40 + 22.40) / 2	x 0.20 m	= 4.48				3626.17 / 71.46 = 22.76 m

Christine Lintott
Architect

Issue	Date
CALIC Meeting	March 26-18
Resoning Application	March 28-18
Resoning Resubmission	June 22-18
Resoning Resubmission 2	July 30, 2018
Resoning Resubmission 3	Jan. 9, 2019

No.	Description	Date
1	Revised Grade	Jan 9-19

Received
City of Victoria

Consultant
FEB 12 2019

Planning & Development Department
Development Services Division

945 Pembroke
Street
House A & B

Grade Calculations

Date	2019-02-06 12:46:03 PM
Drawn by	LA
Checked by	CL
	A0.04
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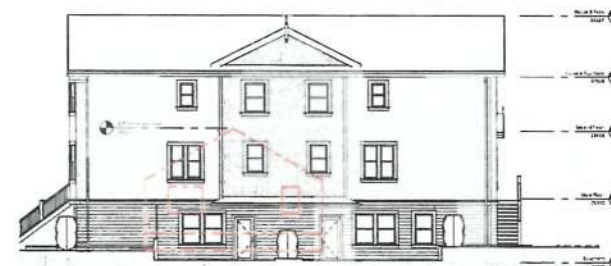
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① Existing Partial Block Elevation
1 : 200



House A West Elevation with House B
Windows Overlayed
1 : 100



③ Proposed Partial Block Elevation
1 : 200

House B West Elevation with Neighbouring
Windows Overlayed
1 : 100



House A East Elevation with Neighbouring
Windows Overlayed
1 : 100



Issue	Date
CALUC Meeting	March 26-18
Rezoning Application	March 28-18
Rezoning Resubmission	June 22-18
Rezoning Resubmission 2	July 30, 2018
Rezoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
3	Window Revisions	Jan 9-19
4	Door Revisions	Jan 9-19

Consultant

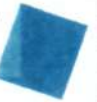
945 Pembroke
Street
House A & B

Context Elevations &
Outlook Comparison

Date	2019-02-06 12:46:14 PM
Drawn by	LA
Checked by	CL
Scale	A0.05
As indicated	

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Christine Lintell
Architects



Issue	Date
CALLIC Meeting	March 26-18
Resoning Application	March 28-18
Resoning Resubmission	June 22-18
Resoning Resubmission 2	July 30, 2018
Resoning Resubmission 3	Jan. 9, 2019

Revision	No.	Description	Date
1	2	Building Size Increased	Jan 9-19
2	3	Window Revisions	Jan 9-19
3	4	Door Revisions	Jan 9-19
4	5	Bike Parking	Jan 29-19
5	6	Exit Stair Wall Revisions	Jan 29-19

Received
City of Victoria

FEB 12 2019

Consultant

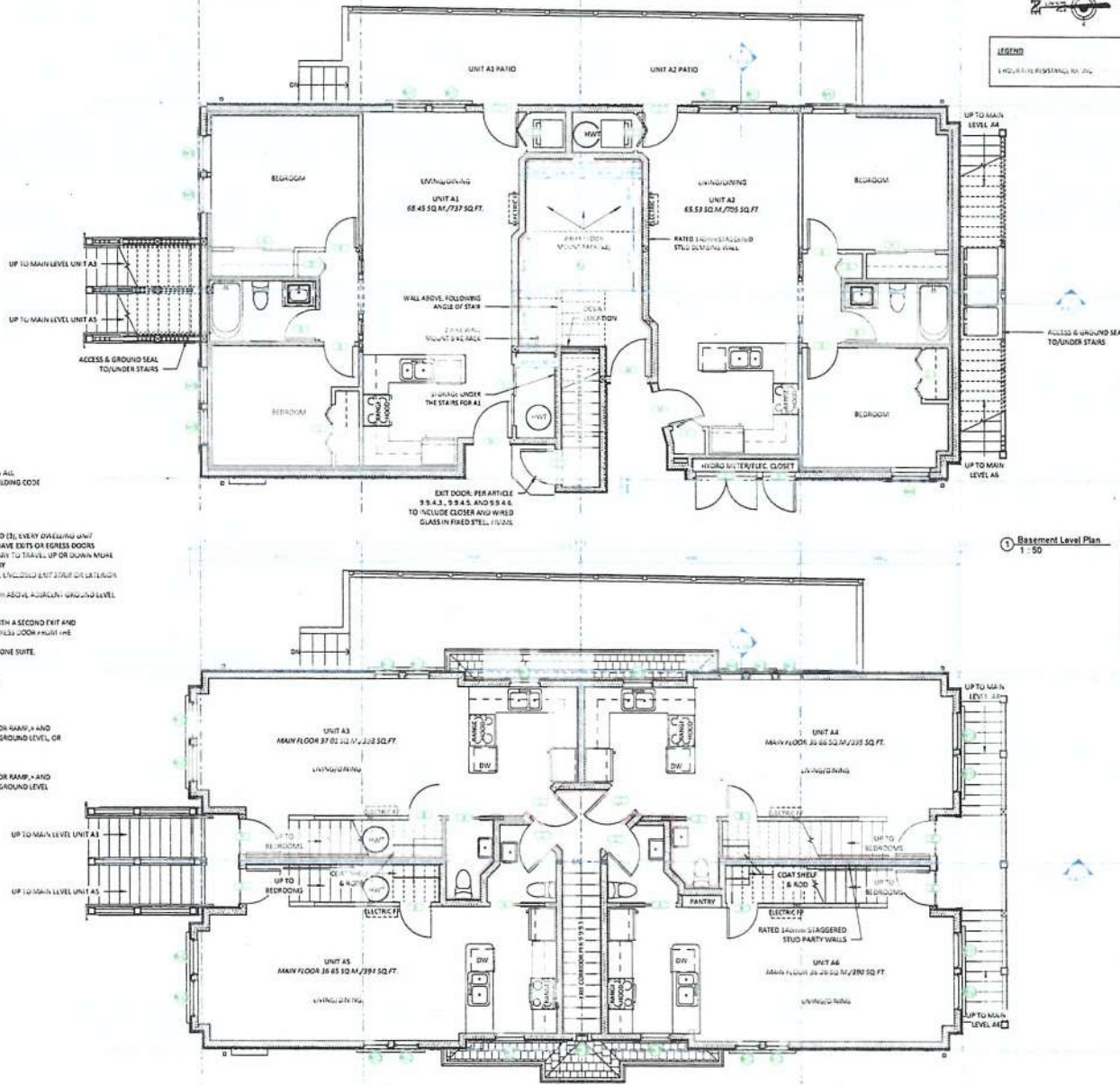
Planning & Development Department
Development Services Division

945 Pembroke
Street
House A

Basement and Main Floor
Plan

Date	2019-02-06 12:40:00 PM
Drawn by	LA
Checked by	CL
Scale	As Indicated

A 2.01a



NOTES:

STAIRS, RAMP, PASSAGEWAYS AND GARDENS TO CONFORM IN ALL INSTANCES TO SECTION 9.8 OF THE BRITISH COLUMBIA BUILDING CODE 2018

SECOND EXIT STAIR PROVIDED IN RESULT OF:

5.9.9.1. TRAVEL LIMIT TO EXITS OR EGRESS DOORS

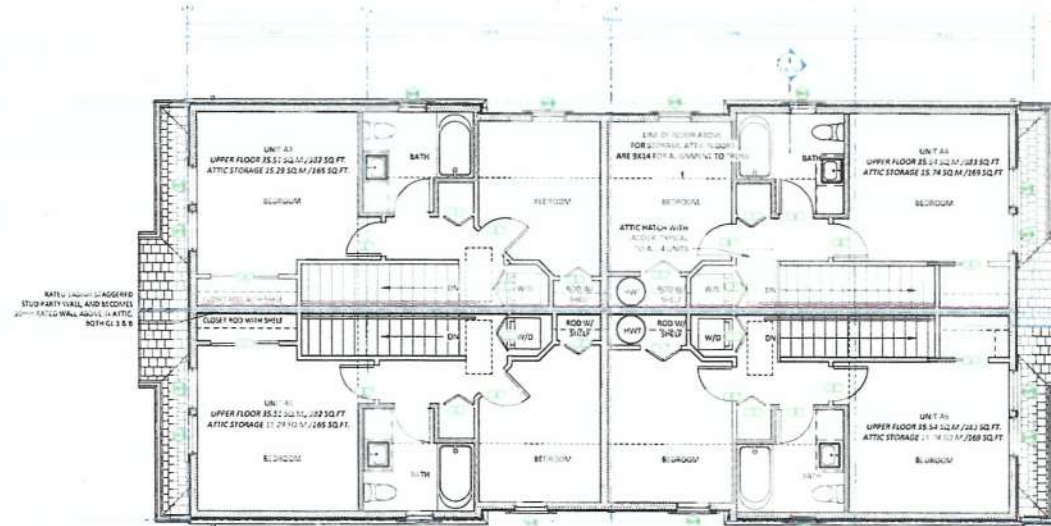
- 1) EXCEPT AS PROVIDED IN SENTENCE (2) AND (3), EVERY OVERALL UNIT LOCATED MORE THAN 1 STOREY SHALL HAVE EXITS OR EGRESS DOORS LOCATED SO THAT IT SHALL NOT BE NECESSARY TO TRAVEL UP OR DOWN MORE THAN 1 STOREY TO REACH A LEVEL SERVED BY AN EGRESS DOOR TO A PUBLIC CORRIDOR, ENCLOSED EXIT STAIR OR OUTSIDE PASSAGEWAY OR
- 2) AN EXIT LOCATED NOT MORE THAN 2.5 m ABOVE ADJACENT GROUND LEVEL

5.9.9.2. SHARED EGRESS FACILITIES

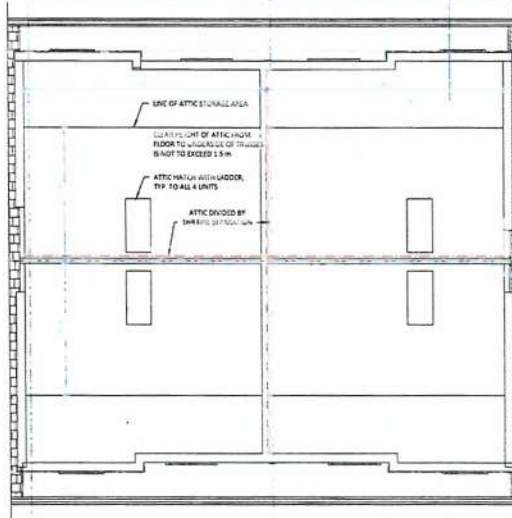
- 1) A DWELLING UNIT SHALL BE PROVIDED WITH A SECOND EXIT AND SEPARATE MEANS OF EGRESS WHERE AN:
 - (a) UNLESS DOOR PLUM THE DWELLING UNIT OPENING
 - (b) AN EXIT STAIRWAY SERVING MORE THAN ONE SUITE
- 2) A PUBLIC CORRIDOR
 - (a) SERVING MORE THAN ONE SUITE, AND
 - (b) SERVED BY A SINGLE EXIT
- 3) AN EXTERIOR PASSAGEWAY
 - (a) SERVING MORE THAN ONE SUITE,
 - (b) SERVED BY A SINGLE EXIT STAIRWAY FOR RAMP, AND
 - (c) MORE THAN 1.5 m ABOVE ADJACENT GROUND LEVEL, OR
- 4) A BALCONY
 - (a) SERVING MORE THAN ONE SUITE,
 - (b) SERVED BY A SINGLE EXIT STAIRWAY FOR RAMP, AND
 - (c) MORE THAN 1.5 m ABOVE ADJACENT GROUND LEVEL



LEGEND
1 HOUR FIRE RESISTANCE RATING



① Second Floor Plan
1:50

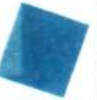


② Attic Plan
1:50



③ Roof Plan
1:50

Christine Linnett
Architects



Issue	Date
CALIC Meeting	March 26-18
Rezoning Application	March 28-18
Rezoning Resubmission 1	June 22-18
Rezoning Resubmission 2	July 30, 2018
Rezoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
2	Building Site Increased	Jan 9-19
3	Window Revisions	Jan 9-19
4	Door Revisions	Jan 9-19
9	Clear Height Over Stairs	Jan 29-19

Consultant

945 Pembroke
Street
House A

Upper Floor & Roof Plan

Date: 2019-02-06 12:40:07 PM
Drawn by: LA
Checked by: CL
A 2.02a
Scale: As indicated

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Christine Ullrich Architects



Issue	Date
CAIUC Meeting	March 26-18
Resoning Application	March 28-18
Resoning Resubmission 1	June 22-18
Resoning Resubmission 2	July 30, 2018
Resoning Resubmission 3	Jan. 9, 2019

Revision	No.	Description	Date
1	Revised Grade	Jan 9-19	
3	Window Revisions	Jan 9-19	
4	Door Revisions	Jan 9-19	

Consultant

945 Pembroke Street

House A

Exterior Elevations

Date

2019-02-06 12:40:27 PM

Drawn by

LA

Checked by

CL

A 3.01a

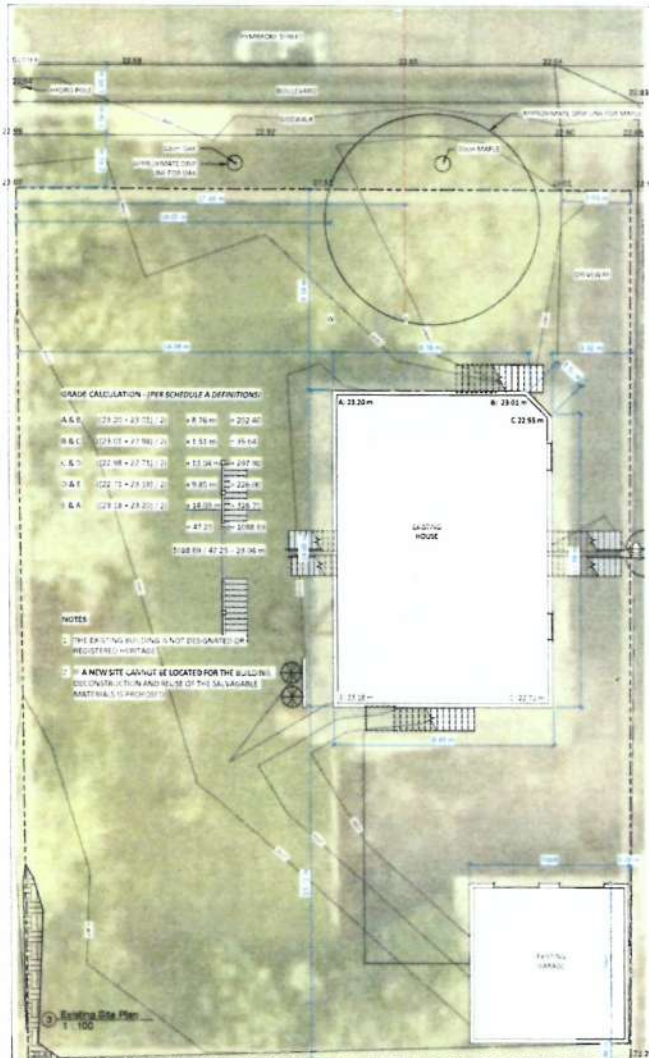
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1:50

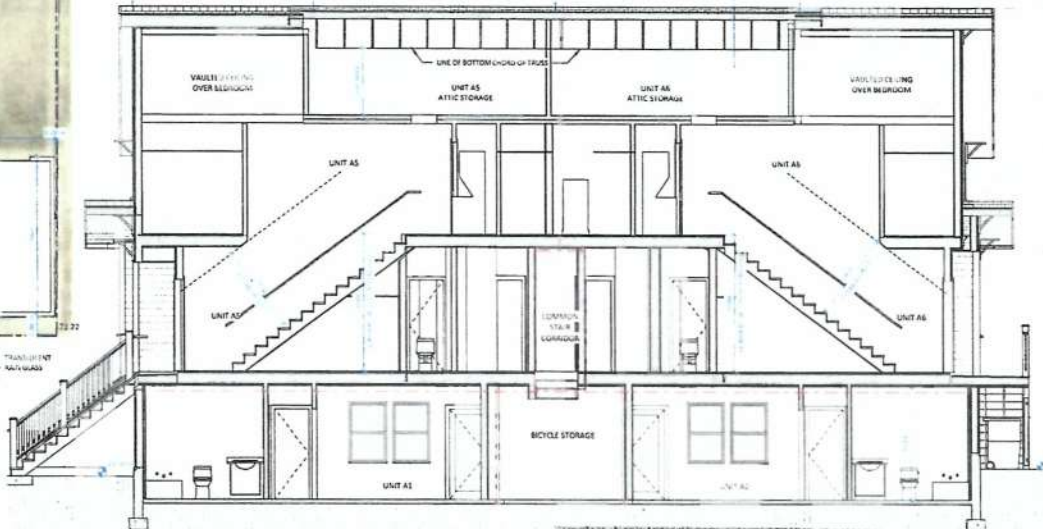
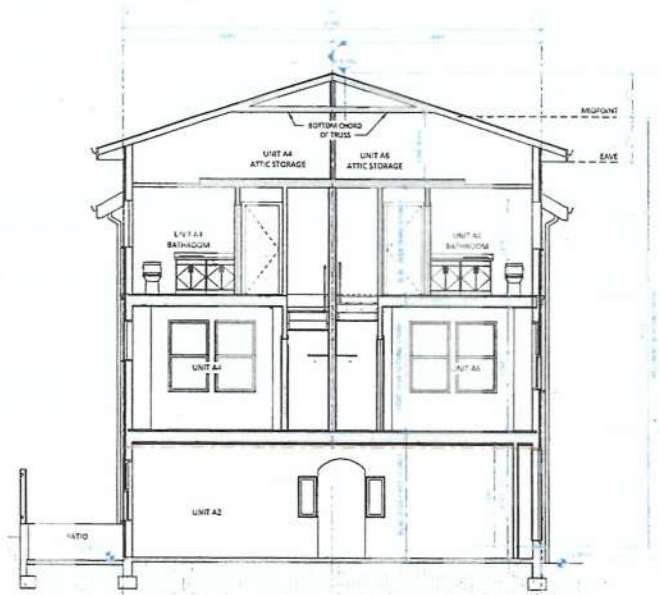
Received
City of Victoria

FEB 12 2019

Planning & Development Department
Development Services Division



LEGEND
 Existing House
 Driveway
 Surrounding Streets



Door Schedule

Type Mark	Width	Height	Material	Comments	Count
A	762	2032	N	INTERIOR DOOR	6
B	762	2032	N	INTERIOR DOOR	21
C	813	2032	N	INTERIOR DOOR	4
D	813	2032	N	INTERIOR DOOR	2
E	762	2032	N	INTERIOR DOOR	7
F	813	2032	N	INTERIOR DOOR	8
G	1219	2032	N	INTERIOR DOOR	2
H	1524	2032	N	INTERIOR DOOR	3
I	864	2032	N	EXTERIOR PATIO FULL GLASS	2
J	864	2032	N	EXTERIOR ENTRANCE HALF GLASS	4
K	864	2032	N	EXTERIOR ENTRANCE HALF GLASS	21
L	813	2032	N	EXTERIOR ENTRANCE HALF GLASS	3
M	813	2032	N	EXTERIOR ENTRANCE HALF GLASS	1
N	813	2032	N	EXTERIOR SERVICE	1
O	813	2032	N	EXTERIOR SERVICE	1

Window Schedule

Type Mark	Width	Height	Material	Comments	Count
W1	406	914	FIXED	INTERIOR	4
W2	610	914	FIXED	INTERIOR	3
W3	610	1270	FIXED	INTERIOR	1
W4	610	1067	FIXED	INTERIOR	4
W5	914	1219	FIXED	INTERIOR	4
W6	991	1219	FIXED	INTERIOR	1
W7	762	1270	FIXED	INTERIOR	4
W8	762	1331	FIXED	INTERIOR	4
W9	914	1331	FIXED	INTERIOR	8
W10	813	1331	FIXED	INTERIOR	3
W11	813	1331	FIXED	INTERIOR	3
W12	813	1331	FIXED	INTERIOR	3
W13	914	1331	FIXED	INTERIOR	3

Christine Lintell
 Architect

Issue	Date
CALUC Meeting	March 26-18
Rezoning Application	March 28-18
Rezoning Resubmission	June 22-18
Rezoning Resubmission 2	July 30, 2018
Rezoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
3	Window Revisions	Jan 9-19
4	Door Revisions	Jan 9-19
9	Clear Height Over Stairs	Jan 29-19

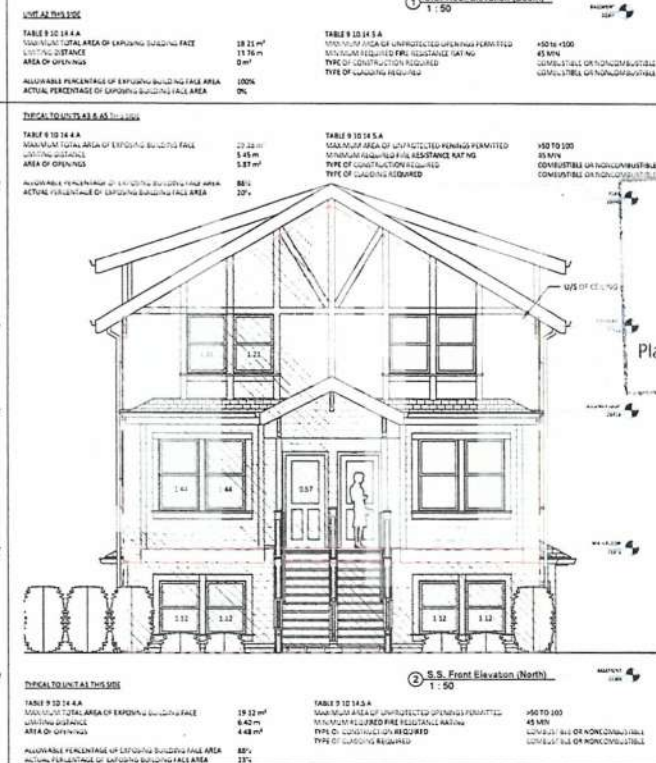
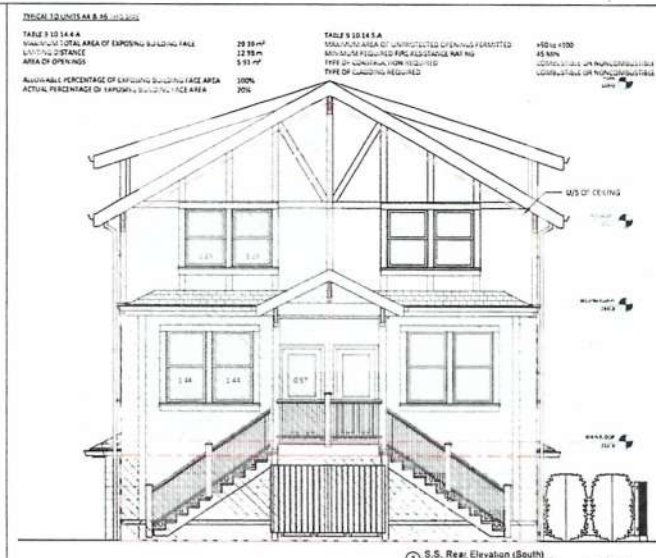
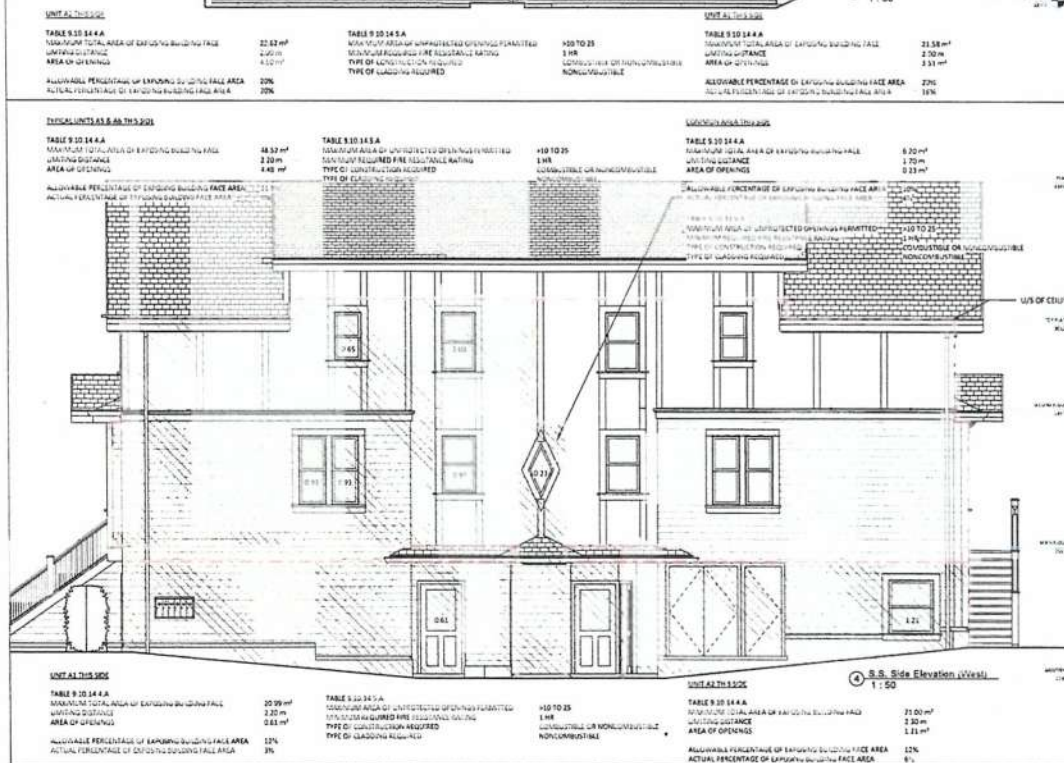
Consultant

945 Pembroke Street
 House A

Building Sections &
 Schedules

Date: 2019-02-06 12:40:31 PM
 Drawn by: LA
 Checked by: CL
A 4.01a
 Scale: As indicated

Received
 City of Victoria
FEB 12 2019
 Planning & Development Department
 Development Services Division



Christine Lintell
Architects

Issue	Date
CAUC Meeting	March 26-18
Resoning Application	March 28-18
Resoning Resubmission	June 22-18
Resoning Resubmission 2	July 30, 2018
Resoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
2	Building Size Increased	Jan 9-19
3	Window Revisions	Jan 9-19
4	Door Revisions	Jan 9-19
8	Exit Stair Wall Revisions	Jan 29-19

Received
City of Victoria
FEB 12 2019

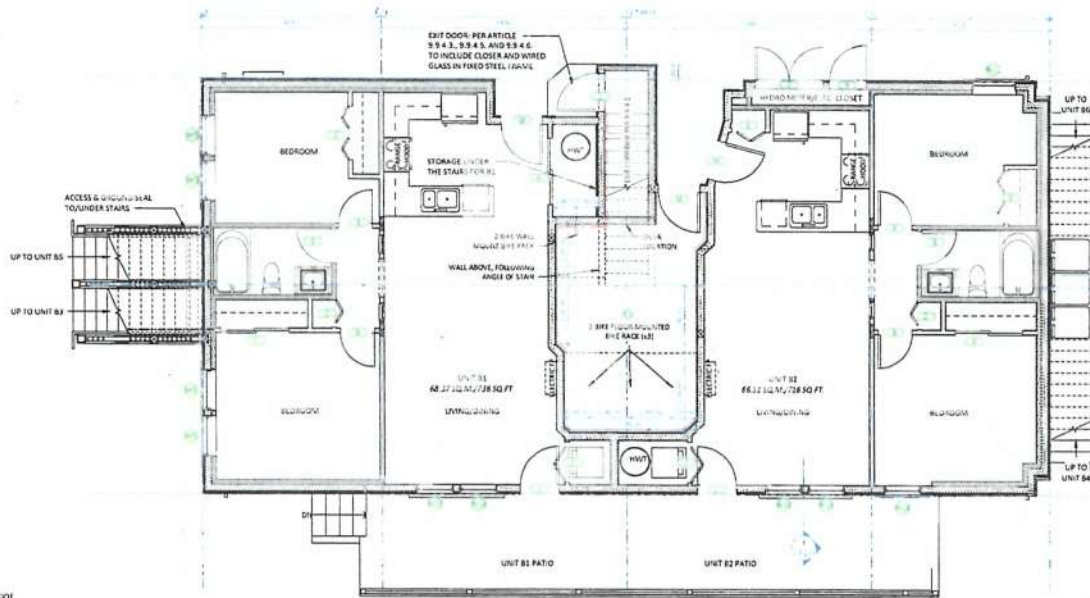
Planning & Development Department
Development Services Division

945 Pembroke
Street
House A

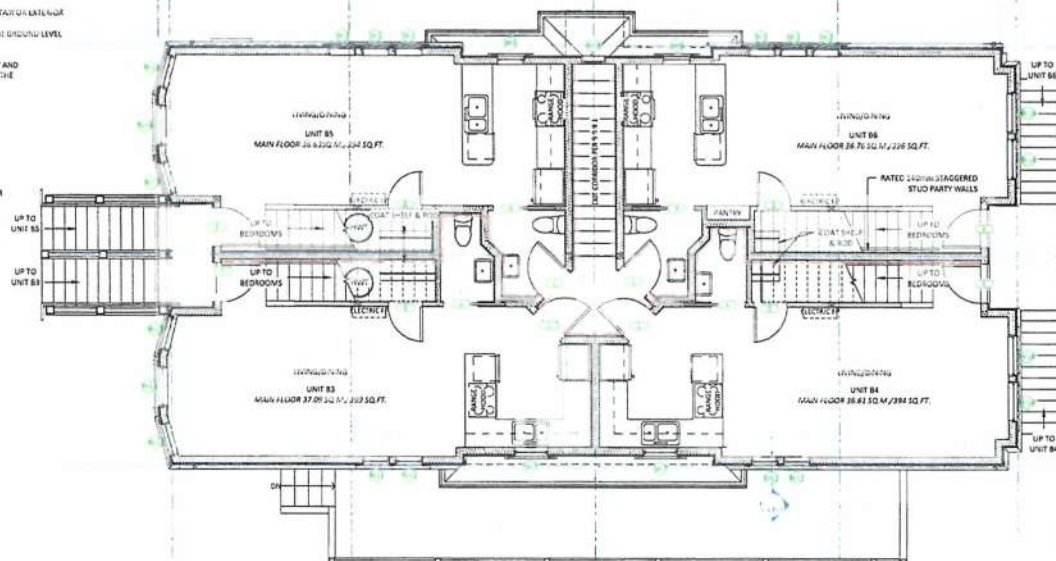
Spatial Separation
Calculations

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Checked by	CL
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Scale	1:50

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1 Basement Level Plan
1:50



2 Main Level Plan
1:50

NOTES:

STAIRS, EGRESS, HALLWAYS AND LUNDS TO CONFORM IN ALL
DETAILS TO SECTION 9.8 OF THE BRITISH COLUMBIA BUILDING CODE
2018

SECOND EXIT STAIR PROVIDED IN RESULT OF:

- 9.9.1 TRAVEL UNIT TO EXITS ON EGRESS DOORS
 (1) EXCEPT AS PROVIDED IN SENTENCE (2) AND (3), EVERY DWELLING UNIT
 CONTAINING MORE THAN 1 STOREY SHALL HAVE EXITS OR EGRESS DOORS
 LOCATED SO THAT IT SHALL NOT BE NECESSARY TO TRAVEL UP OR DOWN MORE
 THAN 1 STOREY TO REACH A LEVEL SERVED BY:
 (a) AN EGRESS DOOR TO A PUBLIC CORRIDOR, ENCLOSED EXIT STAIR OR BALCONY,
 PASSAGEWAY, OR
 (b) AN EXIT PASSWAY NOT MORE THAN 1.5 m ABOVE ADJACENT GROUND LEVEL.

9.9.2 SHARED EGRESS FEATURES

- (1) A DWELLING UNIT SHALL BE PROVIDED WITH A SECOND EXIT AND
 SEPARATE VIEWS OF EGRESS WHERE AN EGRESS DOOR FROM THE
 DWELLING UNIT OPENS ONTO:
 (a) AN EXIT STAIRWAY SERVING MORE THAN ONE SUITE,
 (b) A PUBLIC CORRIDOR,
 (c) SERVING MORE THAN ONE SUITE, AND
 (d) SERVED BY A SINGLE EXIT,
 (2) AN EXTERIOR PASSAGEWAY
 (a) SERVING MORE THAN ONE SUITE,
 (b) SERVED BY A SINGLE EXIT STAIRWAY OR RAMP, AND
 (c) MORE THAN 1.5 m ABOVE ADJACENT GROUND LEVEL, OR
 (3) A BALCONY
 (a) SERVING MORE THAN ONE SUITE,
 (b) SERVED BY A SINGLE EXIT STAIRWAY OR RAMP, AND
 (c) MORE THAN 1.5 m ABOVE ADJACENT GROUND LEVEL.

LEGEND

1 HOUR FIRE RESISTANCE RATING

Christina Lintott
Architects

Issue	Date
CAUC Meeting	March 26-18
Resoning Application	March 26-18
Resoning Resubmission 1	June 22-18
Resoning Resubmission 2	July 30, 2018
Resoning Resubmission 3	Jan. 9, 2019

Revision

No.	Description	Date
2	Building Size Increased	Jan 9-19
5	Bike Parking	Jan 29-19
8	Exit Stair Wall Revisions	Jan 29-19

Received
City of Victoria

FEB 17 2019

Planning & Development Department
Development Services Division

945 Pembroke
Street
House B

Basement & Main Floor
Plan

Date: 2019-02-06 12:43:08 PM
 Created By: LA
 Checked By: CL

A 2.01b

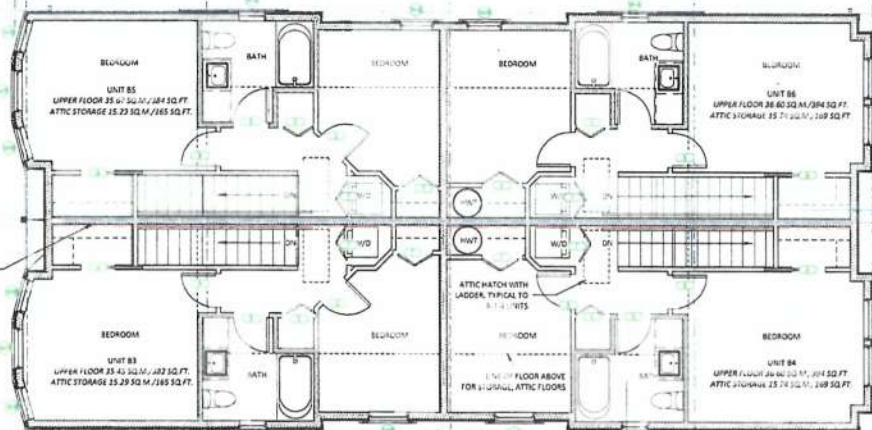
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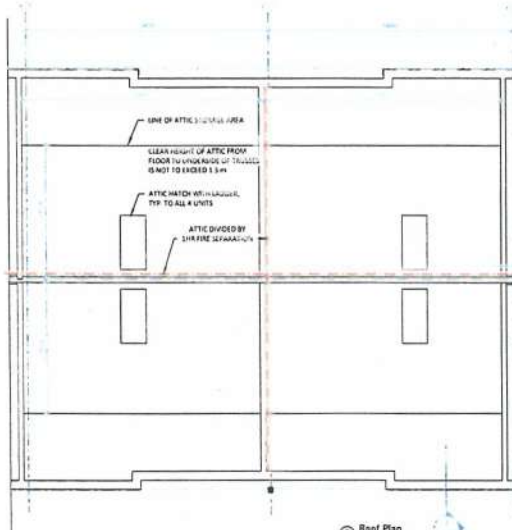


LEGEND
EXHIBITIVE RESISTANCE RATING

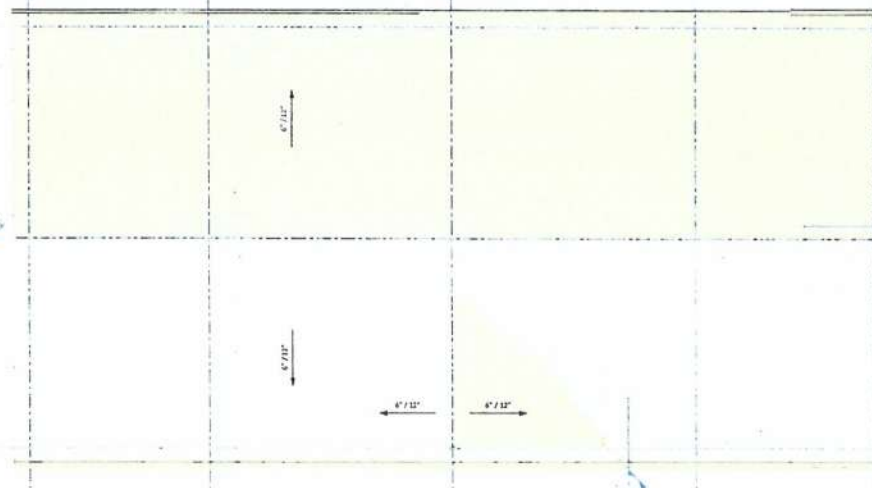
RATED 1 HOUR STAGGERED
STUD PARTY WALL AND BELLIES
2x8x10 RATED WALL ABOVE IN ATTIC,
BOTH OL 3 & 8



② Second Floor Plan
1:50



③ Roof Plan
1:50



④ Roof Plan
1:50

Christine Lindahl
Architects

Issue	Date
CALLIC Meeting	March 26-18
Rezoning Application	March 28-18
Rezoning Resubmission	June 22-18
Rezoning Resubmission 2	July 30, 2018
Rezoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
2	Building Size Increased	Jan 9-19
9	Clear Height Over Stairs	Jan 29-19

Received
City of Victoria
FEB 12 2019
Planning & Development Department
Development Services Division

945 Pembroke
Street
House B

Upper Floor & Roof Plan

Rev: 2019-02-06 12:43:16 PM
Created by: LA
Checked by: CL

A 2.02b

Scale: As indicated

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Christine Lintott
Architects

Issue	Date
CALUC Meeting	March 26-18
Retoning Application	March 28-18
Retoning Resubmission	June 22-18
Retoning Resubmission 2	July 30, 2018
Retoning Resubmission 3	Jan. 9, 2019

No.	Description	Date
1	Revised Grade	Jan 9-19
4	Door Revisions	Jan 9-19
3	Window Revisions	Jan 9-19

Received
City of Victoria

FEB 12 2019

Consultant

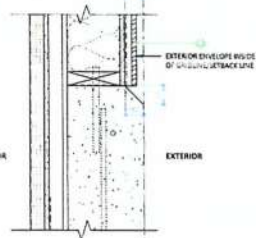
Planning & Development Department
Community Services Division

945 Pembroke
Street
House B

Exterior Elevations

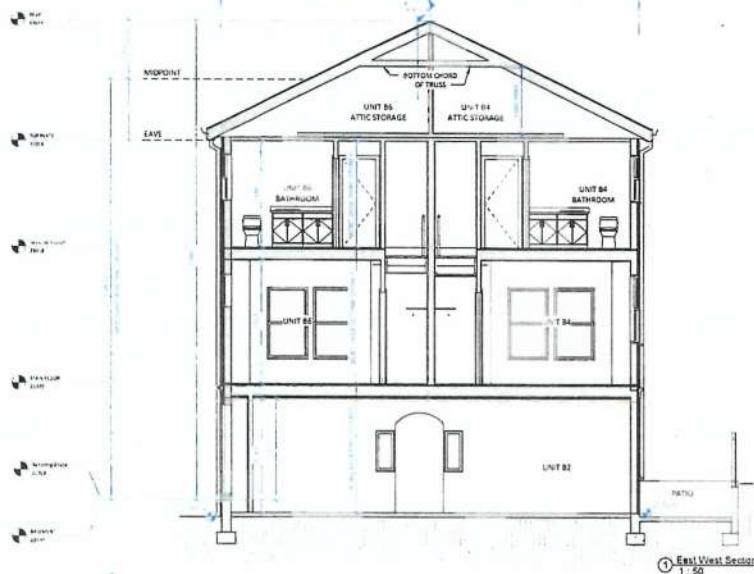
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Checked by	CL
A 3.01b	
Scale	1:50

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Foundation Detail
1:6

LEGEND
1:6 FOUNDATION DETAIL



East West Section
1:50

Door Schedule

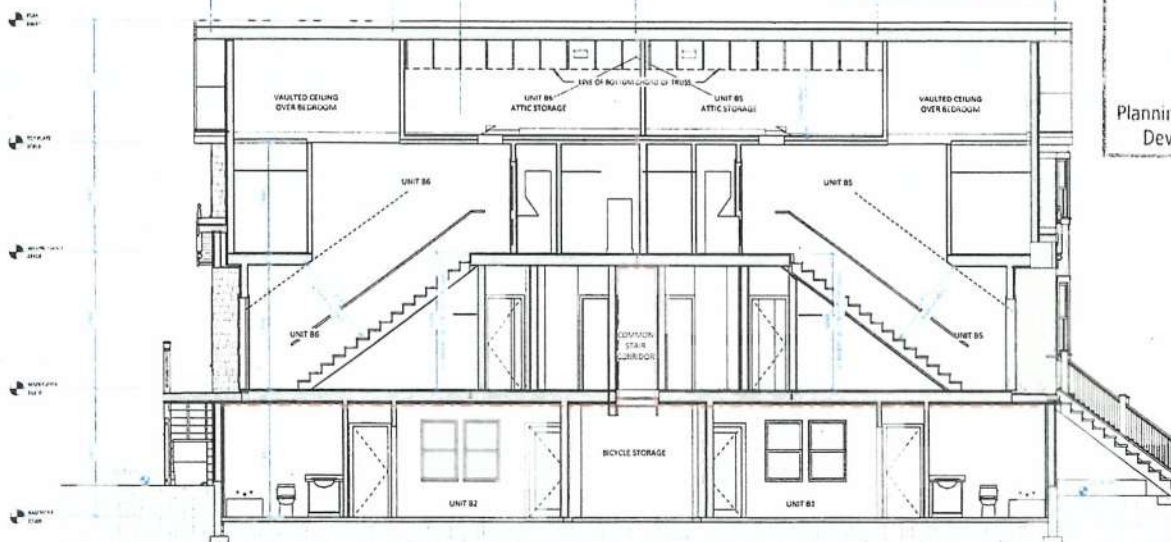
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A	762	2032	N			INTERIOR DOOR	8
B	762	2032	N			EXTERIOR DOOR	22
C	813	2032	DHR			INTERIOR DOOR	4
D	610	2032	N			INTERIOR DOOR	2
E	762	2032	N			INTERIOR DOOR	5
F	814	2032	N			INTERIOR DOOR	10
G	1219	2032	N			EXTERIOR DOOR	2
H	1524	2032	N			INTERIOR DOOR	3
I	864	2032	N			EXTERIOR DOOR	2
J	864	2032	N			EXTERIOR DOOR	4
K	864	2032	N			EXTERIOR DOOR	1
L	864	2032	DHR			EXTERIOR DOOR	1
M	914	2032	N			EXTERIOR DOOR	3
N	813	2032	N			EXTERIOR DOOR	1
O	1524	2032	N			EXTERIOR DOOR	1

Grand Total: 68

Window Schedule

Type	Mark	Width	Height	Operation	Count
W1	406	914		FIXED, INTERIOR	4
W2	610	760		FIXED	6
W3	610	1270		FIXED	1
W4	610	1067		SINGLE HUNG	4
W5	914	1219		SINGLE HUNG	6
W6	610	1270		SINGLE HUNG	2
W7	762	1270		SINGLE HUNG	2
W8	762	1331		SINGLE HUNG	6
W9	914	1331		SINGLE HUNG	8
W10	814	1372		SINGLE HUNG	5
W11	991	1372		SINGLE HUNG	3
W12	610	1530		SINGLE HUNG	4
W13	762	1600		SINGLE HUNG	4
W14	714	1600		SINGLE HUNG	6

Grand Total: 57



Longitudinal Section
1:50

Revision List
Architect

Issue	Date
CALUC Meeting	March 26-18
Resoning Application	March 28-18
Resoning Resubmission	June 22-18
Resoning Resubmission 2	July 30, 2018
Resoning Resubmission 3	Jan. 9, 2019

Revision

No.	Description	Date
4	Door Revisions	Jan 9-19
9	Clear Height Over Stairs	Jan 29-19

Received
City of Victoria

FEB 12 2019

Consultant

Planning & Development Department
Development Services Division

945 Pembroke
Street
House B

Building Sections &
Schedules

Date: 2019-02-06 12:43:32 PM
Drawn by: LA
Checked by: CL

A 4.01b

Scale: As indicated

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TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	22.55 m ²
UNITING DISTANCE	2.00 m
TOTAL AREA OF OPENINGS	4.50 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	20%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	20%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 25
MINIMUM REQUIRED FIRE RESISTANCE RATING	1 HR
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	NONCONSTRUCTIBLE

3 S.S. Side Elevation (West)
1:50

TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	32.0 m ²
UNITING DISTANCE	2.2 m
TOTAL AREA OF OPENINGS	5.81 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	18%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	18%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 50
MINIMUM REQUIRED FIRE RESISTANCE RATING	45 MIN
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE

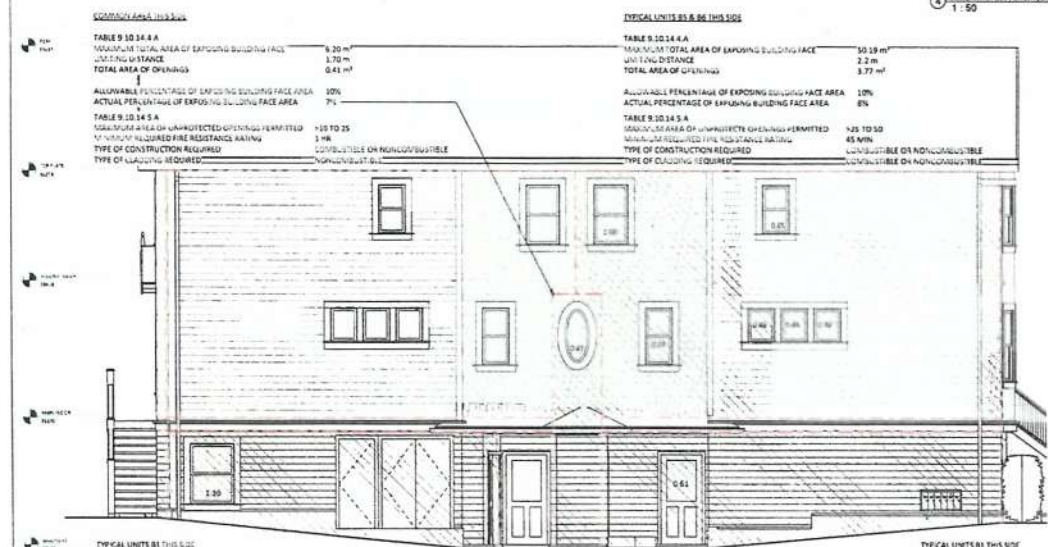


TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	18.25 m ²
UNITING DISTANCE	12.5 m
TOTAL AREA OF OPENINGS	0 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	100%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	0%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 50
MINIMUM REQUIRED FIRE RESISTANCE RATING	45 MIN
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE

1 S.S. Rear Elevation (South)
1:50



TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	6.20 m ²
UNITING DISTANCE	1.70 m
TOTAL AREA OF OPENINGS	0.41 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	30%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	7%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 25
MINIMUM REQUIRED FIRE RESISTANCE RATING	1 HR
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	NONCONSTRUCTIBLE

TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	50.19 m ²
UNITING DISTANCE	2.2 m
TOTAL AREA OF OPENINGS	3.77 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	10%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	8%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 50
MINIMUM REQUIRED FIRE RESISTANCE RATING	45 MIN
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE

4 S.S. Side Elevation (East)
1:50

TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	31.82 m ²
UNITING DISTANCE	5.52 m
TOTAL AREA OF OPENINGS	7.25 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	100%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	23%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 50
MINIMUM REQUIRED FIRE RESISTANCE RATING	45 MIN
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE

2 S.S. Front Elevation (North)
1:50



TYPICAL TO UNITS B1 & B2 THIS SIDE

TABLE 9.10.14.4.A	
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE	39.33 m ²
UNITING DISTANCE	6.0 m
TOTAL AREA OF OPENINGS	4.48 m ²
ALLOWABLE PERCENTAGE OF EXPOSING BUILDING FACE AREA	100%
ACTUAL PERCENTAGE OF EXPOSING BUILDING FACE AREA	23%

TABLE 9.10.14.5.A	
MAXIMUM AREA OF UNPROTECTED OPENINGS PERMITTED	>10 TO 25
MINIMUM REQUIRED FIRE RESISTANCE RATING	1 HR
TYPE OF CONSTRUCTION REQUIRED	CONSTRUCTIBLE OR NONCONSTRUCTIBLE
TYPE OF CLADDING REQUIRED	NONCONSTRUCTIBLE

Christine Unitt
Architects

Issue	Date
CAUC Meeting	March 26-18
Reasoning Application	March 28-18
Reasoning Resubmission	June 22-18
Reasoning Resubmission 2	July 30, 2018
Reasoning Resubmission 3	Jan. 9, 2019

Revision		
No.	Description	Date
2	Building Size Increased	Jan 9-19
4	Door Revisions	Jan 9-19
3	Window Revisions	Jan 9-19
6	Exit Stair Wall	Jan 29-19

Received
City of Seattle

Consultant

FEB 12 2019

Planning & Development Department
Development Services Division

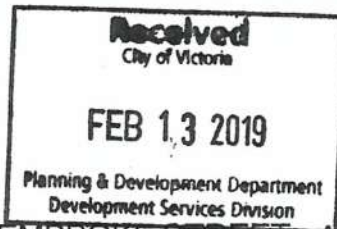
945 Pembroke
Street
House B

Spatial Separation
Calculations

Date	2019-02-06 12:43:37 PM
Drawn by	LA
Checked by	CL
Scale	1:50

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13/02/2019

APPLICATION FOR 945 PEMBROKE STREET - ADDENDUM

To Mayor and Council

Our conversations with neighbours and staff began two years ago and are what formalized a supportable development FSR of 1:1 and a basis for negotiating our purchase price with the property owner. It was made clear to us then that despite the OCP suggesting a density ratio as high as 2:1, a five or six story building mid-block surrounded by smaller homes would not be supportable and most likely declined. Our formal application was submitted April 03 2018.

Historically, 945 Pembroke was two R2 zoned lots later consolidated to a single home on a large lot. The current duplex zone FSR of 0.5:1 allows 265.5m² plus an additional 100m² of basement for a total build area of 365.5m² per lot. Our less than 1:1 FSR proposal for 487m² per lot presents a small increase above what is currently allowable of 121.5m² per lot.

A proposal with 2:1 FSR would have produced a build area of 1062m² per lot. This larger area, less 365.5m² of existing allowable density would have netted a build area of 696.5m² per lot instead of the 121.5m² we are seeking. This additional 575m² per lot, regardless of how unsupportable or out of scale the buildings might appear, would have provided additional floor area for more units and be easier to justify a CAC. The ability to divide land costs in to more units is what makes a CAC less problematic at higher levels of density. Imposing a CAC on a marginal density lift creates a potentially untenable cost escalation to the builder, out of scale to any benefit to the City.

Pembroke street is the boarder of two designations, Traditional residential and Core residential. Traditional residential caps density at 1:1 FSR. Core residential caps density at 2:1 FSR and triggers a CAC when density exceeds 0.5:1. Our proposal is on the side of the street that is Core residential, but for reasons stated above, has its density capped at 1:1 FSR.

At no time prior to a meeting with Planning on January 29 2019 were contributions suggested as a potential requirement of our application. We feel it is unreasonable to be limited to Traditional residential density while being tied to the policies of Core residential. Planning recommends viewing our application as Traditional residential. Requirement of a CAC as a condition of rezoning was not factor for us to weigh and consider when formulating our application in 2017.

We face more variables with this development than any proposals we've made in the past. A potential slowdown in the real estate market as a result of recent government policies or global issues, potential increases in mortgage rates combined with applied stress test. What volume of housing will be going to market at the same time we might. Unpredictable escalations in labour and building material pricing. Costs to remove the existing improvements to the property. Unknown costs as a result of changes to the building code and municipal implementation of Step Code. The fact that homes built in the North Park area won't generate the same returns that comparable homes built in market preferred areas like Fairfield or Rockland would, yet construction costs remain the same regardless of neighbourhood.

We've provided documents to our planner of an experience we had a few years ago. The stable conditions we began a project with deteriorated midway into a difficult market to sell in. We effectively made nothing on a project requiring two years to rezone and build. Developers don't go into projects that have known hardships. Hardship becomes a reality you find yourself in when conditions you end with change from the ones you started with. I've experienced this three times in my 30 year career, how market downturns are sudden and more rapid than the rise that proceeds them.

We are well aware of the housing situation our region faces. As community minded people we involve ourselves deeply where we think we can help. Examples of this are when Fernwood NRG purchased the Cornerstone building it became a personal mission to volunteer and help them any way I could to insure success with their first affordable housing project. We helped locate property for and then build their Yukon street affordable housing project. When Woodwyn farm was first bought with intentions of having an affordable housing component, we volunteered. Recently Dean Fortin of Pacifica Housing contacted us to build an affordable housing project in the Gorge area, unfortunately the scale of build was larger than we could comfortably manage.

Our small community based projects are almost always in the North Park or Fernwood neighbourhoods not the areas most developers look to build in. The Development Tracker's roughly 130 entries have less than a dozen applications in these areas. Our homes sell for less than if built in what some might see as more desirable areas. They provide an opportunity for home ownership that might not be possible in other areas. Some of our projects have been retained as rental buildings with rents based on operating costs not market conditions. Typically this amounts to more than 30% below market value.

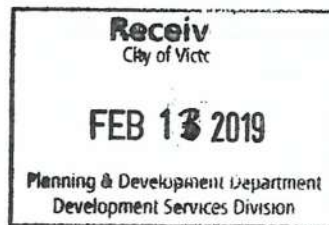
Our 22 year history working in the city of Victoria has been many things. Over this time frame property values have risen dramatically, but not as a linear climb. For us, depending on what window of time a particular project is completed in has seen huge variations in outcome. Right now the variation has an uncertain downward feel. An additional up front cost added to this proposal makes proceeding on it questionable. A quantity survey of this proposal is meaningless as it provides little more than a point-in-time front end opinion of building costs, not a guaranty of what real costs or market conditions might look like a year or more down the road.

Thank you again for your consideration of this proposal

Sincerely

A handwritten signature in dark ink, appearing to read 'Garde Colins', with a long horizontal line extending to the right.

Garde Colins



13/02/2019

REZONING APPLICATION FOR 945 PEMBROKE STREET

To Mayor and Council

The property located at 945 Pembroke street is one of the largest residential lots in the area. Existing improvements include a detached garage and older non-heritage SFD. Our proposal is to construct two 6 unit Strata buildings that share a common driveway. Initially, modifying the existing structure would have formed one of the buildings while the other is based on a design recently used to construct a 6 unit building at 1146 Caledonia Ave.. A development that was welcomed by neighbours, supported by staff, unanimously approved by council and is very much enjoyed by the families who bought homes there.

After considerable exploration it was determined that so little of the existing structure was salvageable that its reuse became unviable. Our proposal has since evolved into two new buildings with a common driveway between them. Using the successful Caledonia model, we have worked with our Architect and planning staff to remake that design into two distinct buildings for this site. Gabled rooflines instead of hipped roofs compliment the neighbouring homes. Shed dormers and brackets on building "A" are some of the details borrowed from the building it proposes to replace.

This property lies on the boundary of the area the OCP defines as Core Residential. It suggests a density ratio upwards of 2:1 and building height reaching six stories. At 0.5:1 FSR and maximum 2-1/2 stories, the existing R2 zone implies a less liberal use of the property than the OCP. It's not possible to transition from one density objective to another without requiring variances to the lesser. We found the most acceptable level of density was between the existing zone and maximum suggested in the OCP. Our neighbourhood consultation involved discussions about densification, the OCP and also encouraged neighbours to look at the Caledonia project as a building form for this proposal. This initiated the process of differentiating this project from that one and then working to individualize the two proposed buildings from each other.

The ADP is unsupportive of this collaborative design effort, in their opinion its not very functional and they don't care for the heritage look. They remain unaware that there's considerable support for the proposed build form and that this design was successfully constructed and is happily occupied elsewhere. With a density ratio of 1:1 instead of 2:1, three stories instead of six plus a more accepted traditional design, this proposal comes to Council with neighbour, community and planning department support. It represents our idea of respectful development and densification through neighbourhood engagement.

Construction of these two 6 unit buildings will provide opportunities for ownership of basic well designed two bedroom homes in the relatively more affordable North Park neighbourhood. For families, this location on a quiet street provides ideal access to Central park, recreation, schools, bus service, shopping and downtown. Configuring the buildings as two level units over single level ground floor units provides a number of benefits. Each home has direct access to grade allowing most of the units to have patio space and private yards. It provides a unique alternative to condominium living, for persons with mobility issues the ground floor units and common bicycle storage are accessible from the driveway without stairs. Placing doors and

windows on all sides of the buildings creates better security for everyone living there. For occupants of the front ground floor units, a possible fishbowl effect caused by overlook from Pembroke street has been avoided by placing bedrooms instead of main living area window and entrance doors across the lower front of the building.

Parking for 5 cars at each building is managed in an efficient way at the rear of the property. By using a "T" shaped reciprocal parking area and concrete strips along the common driveway, one third of the property remains open space. Less hard surface area and use of permeable pavers and driveway strips limits the amount of stormwater entering the municipal drainage system. To make up for a parking shortfall both buildings will be enrolled in the local car share program. Another proposed development 1-1/2 blocks away at 2220 Cook street will provide dedicated on-site parking for the car share programs use.

Many existing shrubs and trees in this large yard will be retained for reuse. All new vegetation will be of a native species. The intention is to use landscaping to provide privacy between units and still allow areas where residents can install their own plants, dwarf fruit trees or gardens.

The level of building efficiency proposed is undetermined at the time of writing this letter. It will certainly meet BC building code standards and new municipal Step Code requirements, insulation, ventilation and heating systems are still being explored. It will include efficient plumbing and electrical fixtures, high efficiency appliances as well as parking stall outlets for charging vehicles. Trusses will be designed to support future arrays of solar and or photovoltaic cells. Attic storage areas will be capable of supporting solar preheated water storage tanks and electrical panels will be located on the upper floors to provide simpler integration of future solar generated electricity.

This proposal follows directions outlined in the OCP, comes with support of the neighbourhood and planning department and is based on a proven building design. It provides needed housing, supports the local economy and provides long term benefits to the city.

Thank you for your consideration of this proposal.

Sincerely

A handwritten signature in dark ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Garde Collins

NORTH PARK NEIGHBOURHOOD ASSOCIATION (NPNA)**Minutes of Meeting for 945 Pembroke Street**
Monday, March 26, 2018**PLACE OF MEETING**

Meeting Room, Crystal Pool

PRESENT

NPNA Board Members

Pam Hartling, Land Use Committee Chair; Chris Fleming, President

Developers

Garde Colins and Malcolm Harman, Linhar Projects Ltd; Todd Doherty, ToddCo Properties

Guests

Irene Fischer, Bonnie Segger, Brett Robertson, Nick Sun, Jane Stormer, Henry Wong,
Andrew Kincaid, Monica Babic

CALL TO ORDER

Pam Hartling called the meeting to order at 7:01 p.m.

PROCESS

This is a community meeting for a development application at 945 Pembroke Street. The developer will present the proposed development, then the floor will be opened for questions and comments. After the meeting, the NPNA will forward minutes to the City, and the minutes will become part of the development application. Should they wish to proceed, the developer will continue to work with the City on development plans for this property. Any individual with particular opinions about the development proposal may send their own letters to the City. The minutes will also be sent to all NPNA members and guests who provided contact information.

PRESENTATION Garde Colins: 945 Pembroke Street; Linhar Projects Ltd

- The proposed project was explained, with overhead projections of site plans.
- The property is located on the edge of a higher-density area, consisting of two urban lots, double-sided.
- The lot will be subdivided, with two 6-unit buildings, three storeys, set into the ground.
- The plan is the same as used at 1146 Caledonia.
- The development is similar to the heritage restoration located at 306 Moss.
- Building A will be 9.76 metres high; Building B will be 9.41 metres high; these heights are a bit higher than single-family homes.

QUESTIONS AND COMMENTS

Pam Hartling opened the floor to discussion at approximately 7:15 p.m.

DISCUSSION SUMMARY

Zoning and subdividing

Zoning is for a duplex. The developer explained this project looks like a duplex, but it has higher density. The lot could be one, but people want smaller, more unique buildings.

Surrounding area and neighbourhood fit

In response to a guest's question about anything farther back, the developer referred to a property line and indicated an empty lot (100 by 128) two houses down from Vancouver and Pembroke streets. The developer commented that the units in Building A are about 1,600 square feet and in Building B about 1,630 square feet. A guest said, Why not call it what it is: low-rise apartments. The Strata model of governance was mentioned by the developer. The same guest added, There will be no control over what will happen; you might have two couples in one unit; you can't say it won't happen. The developer responded each owner would be responsible, and there is some control by Strata councils.

Number and size of units

The developer explained there are six suites: four bedrooms on the bottom level; three bedrooms on the main floor; two bedrooms on the top floor. A guest asked about the size of each unit. The developer responded they would be two-bedroom units. A board member asked about the total floor area. The developer reported as follows: 729 square feet and 714 square feet; both are two-bedroom units. In total, one is 5,758 square feet, for six units; and the other is 5,735 square feet, for six units.

Parking

There was concern the City was not requiring enough parking. One guest mentioned the Crystal Pool move. She lives at 933 Pembroke and said she has no parking. The developer mentioned people rarely have two cars. A board member asked how many spaces the City wanted the developer to have. The developer responded it was based on a ratio of 0.8 spaces to 1.0 unit. There will be 10 spaces; one for a car share vehicle is possible; the plan is wide open for whatever is wanted. Ten spaces in a row was changed to 10 spaces in a T shape, allowing for more green space. A guest asked, Why does the City want less space, when parking is such an issue? The developer pointed out residential parking on the south side of Pembroke. A guest said concerts and events take all the parking. The Save-On-Foods Memorial Centre parkade on Green Street was discussed. A board member mentioned it may be up for redevelopment, with parking likely included in the plan. Parking and The Bay was discussed. One guest commented that not many couples have one car; they have two. Another guest said that getting permits for units should be no problem. Another guest talked about a parking lot with a subdivision: eight units in each three-storey building; it brought in a presence of parking. A guest said the City is not being practical. There are more rental vehicles, but they still require parking. People are parking in front of my driveway. Lisa Helps wants a bike city; that's okay, I bike, but we have cars and old people. Electric charging stations are needed. Parking is the biggest issue. The developer reported there will be guest parking. When asked about bike parking, the developer explained there would be two 7-foot racks in each building.

Trees

The developer explained the plan to have trees in the back; they have had success in the past of relocating trees.

Heating

The developer explained the buildings would be electric-heated, with some perhaps being a mix of solar and water-recovery and (or) solar-collecting water heaters, not just baseboard heating, depending on the coding when the project gets under way. Step 4 was mentioned but corrected to Step 3. In summary, it would be electric, augmented by solar; the term “high-efficiency buildings” was used. The developer spoke about using an “Energy Audit”—minimum criteria. The process is brand new for the developer. A projection of a Main Level Floor Plan was used to help guests visualize the efficiency of shared walls.

Materials, blasting, and depth

The developer responded that concrete strip and pavers would be used, and that no gravel would be used. A guest asked if there would be any blasting. The developer said no. Another guest asked about depth. The developer reported as follows: a total of 3.5 feet down. A two-foot depth, with another 1.5 feet for plumbing.

Timeline and access to plans

In response to how long to finish the project, the developer responded, 10 months, typically—if construction, tradespeople aren’t too busy. One guest requested to see the plans, wanting to go over them with her neighbours. The developer mentioned copyright, that the plans belong to the architects, and that he can’t hand them out. The developers and NPNA offered to provide plans to her, once the application was made, by email or in person, or she could use “Development Tracker” online.

NPNA invitation

A board member invited guests who wanted to talk further to public meetings at 7:00 p.m. and to visit NPNA.ca for more information and the meeting schedule.

Positive feedback

A guest commented that the developers had done a great job on this project proposal, in particular in addressing the issue of high density. Another commented that this will clean up the area. Another spoke positively about consolidating in a subdivision scenario. Another said that this plan was impressive: giving everybody space, including green space. The developer commented that there’s more of a setback, thus more to work with.

ADJOURNMENT

The meeting adjourned at approximately 8:15 p.m.

Recorder: Sylvia Pollard



Talbot Mackenzie & Associates

Consulting Arborists

945 Pembroke St, Victoria

Arborist Report:

Tree Preservation Plan

PREPARED FOR:

Todd Doherty
961 Pembroke St.
Victoria, BC
V8T 1J1

PREPARED BY:

Talbot, Mackenzie & Associates

Noah Borges – Consulting Arborist
ISA Certified # PN-8409A

DATE OF ISSUANCE: January 8, 2019

Box 48153 RPO - Uptown Victoria, BC V8Z 7H6

Ph: (250) 479-8733

Fax: (250) 479-7050

Email: tmtreehelp@gmail.com



Talbot Mackenzie & Associates

Consulting Arborists

Jobsite Property: 945 Pembroke St, Victoria

Date of Site Visit: May 24, 2018

Site Conditions: Residential lot. No construction activity present.

Summary: No trees will require removal as a result of this development. Based on discussions with the contractor, it is our understanding that the proposed patio near the west property boundary for House B will be redesigned to avoid severing large, critical roots from Purple Leaf Plum NT7. Based on an exploratory excavation we conducted, the driveway and walkway can be constructed in the locations shown on the attached plans without impacting the health or stability of Sweetgum NT2. The patio north of house A may have to be raised depending on whether critical roots from NT2 are encountered during excavation. An arborist should supervise any excavation within the tree's critical root zone, including during excavation for underground storm, sewer, and water connections. Roots from Hawthorn NT5 and Laurel NT6 are also likely to be encountered during excavation for construction of the parking area, but we anticipate they will incur only minor health impacts.

Scope of Assignment:

- To inventory the existing bylaw protected trees and any trees on neighbouring properties that could potentially be impacted by construction or that are within three metres of the property line
- Review the proposal to demolish the existing building and garage, subdivide the property into two lots, and construct two new houses, a common driveway, and a parking area at the rear of the property
- Comment on how construction activity may impact existing trees
- Prepare a tree retention and construction damage mitigation plan for those trees deemed suitable to retain given the proposed impacts

Methodology: We visually examined the trees on the property and prepared an inventory in the attached Tree Resource Spreadsheet. Each by-law protected tree was identified using a numeric metal tag attached to its lower trunk. Municipal trees and neighbours' trees were not tagged. Information such as tree species, DBH (1.4m), crown spread, critical root zone (CRZ), health, structure, and relative tolerance to construction impacts were included in the inventory. The by-law protected trees with their identification numbers were labelled on the attached Site Plan. The conclusions reached were based on the information provided within the attached plans from Christine Lintott Architects (dated January 8, 2019).

Limitations: An exploratory excavation was performed only for the construction of the driveway and walkway to house A. The remaining conclusions reached in this report are based solely on critical root zone calculations and our best judgement using our experience and expertise. The location, size and density of roots are often difficult to predict without exploratory excavations and therefore the impacts to the trees may be more or less severe than we anticipate.

Summary of Tree Resource: Seven trees were inventoried, none of which are on the subject property. There are two trees on the municipal frontage and five on neighbouring properties. Only Garry Oak NT1 is by-law protected.

Potential Impacts on Trees to be Retained and Mitigation Measures

- **Purple Leaf Plum NT7** (46cm DBH): The attached plans indicate the patio on the west side of house B will be constructed approximately 50cm below the existing grade, with a retaining wall along the west property boundary. Unless plans are altered, large critical roots from this tree will be encountered during excavation, resulting in significant health impacts, in which case we recommend it be removed prior to construction.

However, based on discussions with the contractor, it is our understanding that an effort will be made to retain this tree, either by building the patio at grade within the critical root zone of the tree or leaving an area of undisturbed soil around its base. If the patio is to be constructed at grade, it should be cantilevered to avoid excavation near the base of the tree. We recommend an arborist review any future plans for patio construction and direct and supervise any excavation to occur within the tree's CRZ. As the tree is on an adjacent property, the neighbour should be notified of the proposed impacts to their tree.

- **Sweetgum NT2** (66cm DBH): An exploratory excavation was conducted to determine the impacts of constructing the common driveway and walkway to house A. Trenches were excavated using shovels to depths of 30-45cm. We dug in the following locations:
 - 1.5m east of the tree, in the approximate location of the proposed walkway to house A
 - south of the existing municipal sidewalk on the municipal frontage, 3.5m west from the base of the tree (in the location of the proposed driveway)
 - 4.5-5m northwest of the tree (in the approximate location of the driveway apron)

No roots were encountered in any of the trenches (see photos below). Therefore, in our opinion, the driveway and walkway can be constructed without impacting the health or stability of the tree. We recommend the project arborist be on site during excavations if it is to occur beyond 30cm in depth.

A patio will also be located 2.5m south of the existing fence, or approximately 3-3.5m south of the tree. If the new patio requires excavation down to bearing soil within its footprint and roots are encountered in this area, this could impact the health and/or stability of the tree significantly. We recommend an arborist be on site during excavation to determine whether the patio should be constructed at an elevated grade and be made of a permeable material, depending on the number and size of roots encountered within its footprint. Based on

discussions with the contractor, it is our understanding that construction will consider the preservation of the tree's critical roots. The "floating patio" specifications are attached.

The objective of a raised, permeable surface is to avoid root loss and to instead raise the patio and its base layer above the roots. This may result in the grade of the "floating patio" being up to 30cm above the existing grade (depending on how close roots are to the surface and the depth of the driveway base layers). Final grading plans should take this potential change into account. This may also mean that some of the A horizon soil layer (rich in organic material and roots) will be left intact below the driveway.

To allow water to drain into the root systems below, we would also recommend that the surface of the driveway, walkway, and patio be made of a permeable material (instead of conventional asphalt or concrete) such as permeable asphalt, paving stones, or other porous paving materials and designs such as those utilized by Grasspave, Gravelpave, Grasscrete and open-grid systems.





- **Sweetgum NT3** (39, 28cm DBH): The footprints of the patio for unit B6 and the parking area overlap with the critical root zone of this tree. If excavation to bearing soil is required, the health of this tree could be significantly impacted. We recommend an arborist be on site to determine whether the patio and parking area be “floated” atop the roots of the tree, depending on the number and size of roots encountered. It is our understanding that the patio will be constructed using permeable pavers. The project arborist should also be on site for any other excavation that occurs within the tree’s critical root zone (see attached specifications for “floating” features). As the tree is on an adjacent property, the neighbour should be notified of potential impacts to their tree.
- **Hawthorn NT5 and Laurel NT6** are located south of the property boundary. Roots from these trees are likely to be encountered during excavation, but we do not anticipate either will be significantly impacted by construction. Both species are typically tolerant of root disturbance. We recommend an arborist be on site to supervise any excavation within the critical root zones of the trees and prune any damaged roots back to sound tissue.
- **Garry Oak NT1** (5cm DBH): We do not anticipate this tree will be impacted by construction, but it should be isolated from construction by erecting protective barrier fencing at the perimeter of its critical root zone.
- **Service Connections:**

Based on discussions with the contractor, it is our understanding that underground storm, sewer, and water services to house A will be located along the east property line. Estimating a

trench width of approximately 1.5m, excavation will occur 6-7m from Sweetgum NT2. Any roots encountered should be pruned back to sound tissue.

Storm and sewer laterals to house B will be located underneath the west side of the driveway, requiring a trench to be excavated approximately 6.5m from the base of NT2 and 1.5m from NT1 (assuming a trench width of 60-80cm). There is an existing water service connection on the west side of the property that will be used to service House B. We do not anticipate large, structural roots from NT2 to be encountered during excavation, but recommend an arborist be on site to supervise any excavation within the critical root zones of the two municipal oaks. We also recommend an excavator with a small, flat-edged bucket be used. If large roots are encountered, alternative excavation methods may be required (e.g. hydro-vac or a combination of hand-digging and small machine excavation).

An underground hydro service connection will be installed within the proposed SRW at the northwest corner of the property (approximately 1m south of the fence line). If any roots from Garry Oak NT1 are encountered, they should be pruned back to sound tissue at the edge of excavation. No by-law protected, municipal, or neighbour's trees will be significantly impacted.

- **Arborist Supervision:** All excavation occurring within the critical root zones of protected trees should be completed under supervision by the project arborist. Any roots encountered must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound.
- **Barrier fencing:** The areas surrounding the trees to be retained should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.
- **Minimizing Soil Compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:
 - Installing a layer of hog fuel or coarse wood chips at least 20cm in depth and maintaining it in good condition until construction is complete.
 - Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15cm over top.
 - Placing two layers of 19mm plywood.
 - Placing steel plates.

- **Demolition of the existing buildings:** The demolition of the existing house, garage, and any services that must be removed or abandoned, must take the critical root zone of the trees to be retained into account. If any excavation or machine access is required within the critical root zones of trees to be retained, it must be completed under the supervision and direction of the project arborist. If temporarily removed for demolition, barrier fencing must be erected immediately after the supervised demolition.

Based on discussions with the contractor, it is our understanding that the existing driveway will be retained beyond the demolition of the existing building and used as an access point during the construction phase, which will limit additional soil compaction to the trees to be retained.

- **Mulching:** Mulching is an important proactive step to maintaining the health of the trees to be retained and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips or bark pieces and be 5-8cm deep. As much of the area within two times the dripline of the tree should be mulched, both inside and outside of the critical root zone. No mulch should be touching the trunk of the tree. See "methods to avoid soil compaction" if the area is to have heavy traffic.
- **Blasting:** If required, care must be taken to ensure that the area of blasting does not extend beyond the necessary footprints and into the critical root zones of surrounding trees. The use of small low-concussion charges and multiple small charges designed to pre-shear the rock face will reduce fracturing, ground vibration, and overall impact on the surrounding environment. Only explosives of low phytotoxicity and techniques that minimize tree damage should be used. Provisions must be made to ensure that blasted rock and debris are stored away from the critical root zones of trees.
- **Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - Locating the barrier fencing
 - Reviewing the report with the project foreman or site supervisor
 - Locating work zones, where required
 - Supervising any excavation within the critical root zones of trees to be retained
 - Reviewing and advising of any pruning requirements for machine clearances
- **Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

Talbot Mackenzie & Associates

Please do not hesitate to call us at (250) 479-8733 should you have any further questions. Thank you.

Yours truly,



Noah Borges
ISA Certified: #PN-8409A

Talbot Mackenzie & Associates
ISA Certified Consulting Arborists

Encl. 1-page Tree Resource Spreadsheet, 16-page site and building plans, 1-page floating driveway specifications, 1-page barrier fencing specifications, 2-page Tree Resource Spreadsheet Methodology and Definitions

Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure or can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

May 24, 2018

945 Pembroke St
Tree Resource Spreadsheet

Page 1 of 1

Tree ID	Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (m)	CRZ (m)	Relative Tolerance	Health	Structure	Remarks and Recommendations	Retention Status
NT1	Garry Oak	<i>Quercus garryana</i>	5	1	0.5	Good	Fair	Fair	Municipal.	Retain
NT2	Sweetgum	<i>Liquidambar styraciflua</i>	66	8	8.0	Moderate	Good	Fair/poor	Municipal. Codominant union at 2m.	Retain
NT3	Sweetgum	<i>Liquidambar styraciflua</i>	39, 28	12	6.5	Moderate	Good	Fair	Neighbour's. 1m from fence. Codominant union at base	Retain
NT4	Shore pine	<i>Pinus contorta</i>	~20	6	2.0	Good	Good	Good	Neighbour's.	Retain
NT5	Hawthorn	<i>Crataegus spp.</i>	10	4	1.0	Good	Good	Fair	Neighbour's. Adjacent to fence	Retain
NT6	Laurel	<i>Prunus laurocerasus</i>	~20	8	2.0	Good	Fair	Fair	Neighbour's. Adjacent to fence. Some dieback	Retain
NT7	Purple Leaf Plum	<i>Prunus cerasifera</i>	46	5	5.5	Moderate	Fair	Fair	Neighbour's. Adjacent to fence. Some dieback	Retain

Prepared by:
Talbot Mackenzie & Associates
ISA Certified and Consulting Arborists
Phone: (250) 479-8733
Fax: (250) 479-7050
email: tmtreehelp@gmail.com

945 PEMBROKE STREET APPLICATION FOR REZONING

LEGAL DESCRIPTION: LOT A, SUBURBAN LOT 6, VICTORIA CITY, PLAN VIP83993



CONTACTS

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FAX: 250-363-1112
EMAIL: james@jamesharris.com

BUILDING CODE DATA

APPLICABLE BUILDING CODE

IN BUILDING CODE 2018 EDITION
ALL WORK TO BE DONE IN ACCORDANCE WITH THE BUILDING CODE 2018 EDITION

EXEMPTIONS

EXEMPTIONS: NONE

BUILDING CODE DESCRIPTION OF WORK

THE PROPOSED BUILDING IS A TWO-STORY RESIDENTIAL BUILDING WITH A GABLED ROOF AND A PORCH ON THE FRONT PORCH. THE BUILDING IS TO BE CONSTRUCTED ON A LOT 10111 KENNEDY STREET, VICTORIA, BC V8N 2K7.

EXEMPTIONS

EXEMPTIONS: NONE

BASE BUILDING

BASE BUILDING: 10111 KENNEDY STREET, VICTORIA, BC V8N 2K7

BASE BUILDING

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BASE BUILDING

BASE BUILDING: 10111 KENNEDY STREET, VICTORIA, BC V8N 2K7

RESUBMISSION NOTES

- THE FOUR LANE ROAD LAYOUT ON THE NORTH SIDE OF THE ROAD IS A NEW DEVELOPMENT. THE PROPOSED BUILDING IS TO BE CONSTRUCTED ON A LOT 10111 KENNEDY STREET, VICTORIA, BC V8N 2K7.
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Revenue		
No.	Description	Date
1	Revised Grade	Jan 3-19
2	Building Size Increased	Jan 3-19
5	Bike Parking	Jan 3-19

945 Pembroke
Street
House A & B

Date: 2019-01-07 11:44:50

A0.01

1240

[illegible]

NOTE THAT "IN ANY BUILDING, WHETHER OR NOT IT IS THE FRAMING OF THE BUILDING, INCLUDING THE ROOF, THERE IS A FLOOR AREA, EACH MEASURED FROM THE OUTSIDE FLOOR AREA OF THE BUILDING."

SUBJECT OR: BUILDING

66 07 30 00 ATTIC TERMINAL FLOOR AREA
163 00 00 00 MAIN FLOOR AREA
+ 00 00

BUILDING

66 07 30 00 ATTIC TERMINAL FLOOR AREA
163 00 00 00 MAIN FLOOR AREA

A. $\text{CONC}(\text{Carnegie}) \leq \text{CONC}(\text{UP})$ AND $\text{N}(\text{Carnegie}) \leq \text{N}(\text{UP})$ IS CALLED THE FIRST STRAIGHT LINE KEY SET
 C201 APP.

B. NOT SPACES FOR FOLLOWING UNIT THAT IS NOT AN ORIGINAL BUT IS CALLED TO BE A NEW UNIT. IF
 1. NO SPACES WITH UNIT, UNIT THAT IS MORE THAN 70%
 UNIT.

C. SPACES FOR FOLLOWING UNIT

CALCULATED $\text{TRN}((40 \times 7) + (20 \times 4) + 8) \times 10^3 + 2$
 PRO-4000 + 5

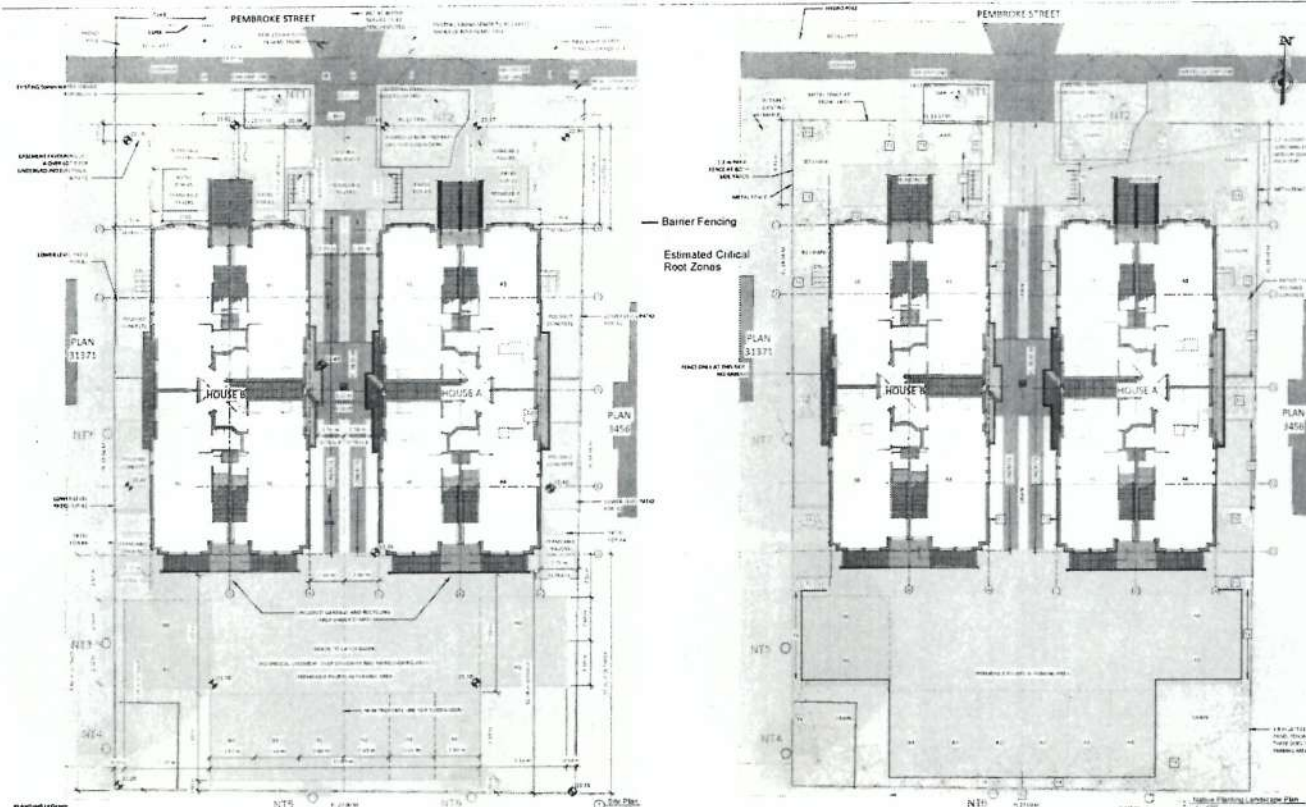
	PROPOSED	EXISTING EXEMPT
ZONING	R3-A1: LOW PROFILE MULTIPLE DWELLING	R2, TWO FAMILY DWELLING
TOTAL FLOOR AREA	512.29 m ² (VARIANCE: 920 m ² ALLOWED)	1061.7 m ²
SITE AREA	1.22 ha	212 m ²
COMMERCIAL FLOOR AREA	N/A	N/A
FLOOR SPACE RATIO	0.41% (DOES NOT EXCEED: 0.15%) (0.59% (IMPL. ATTIC))	0.5%
TYPE COVERAGE	35-4% (VARIANCE: 33-33% ALLOWABLE)	18.8%
PERMITTED SPACE	32.15%	45.15%
HEIGHT OF BUILDING	9.7 m	8.3 m
NUMBER OF STOREYS	3	2
PARKING SPALLS ON SITE	5 (VARIANCE: 11 * 6 = 7 REQUIRED)	0
BICYCLE PARKING NUMBER (STORAGE & RACKS)	LONG TERM & SHORT TERM: 8	0
BUILDING SETBACKS		
FRONT YARD (NORTH)	5.45 m (VARIANCE: 7.5 m REQUIRED)	7.5 m
FRONT YARD (EAST)	3.20 m (VARIANCE: 4.5 m REQUIRED)	3.5 m
FRONT YARD (SOUTH)	12.38 m	13.64 m
SIDE YARD (EAST)	2.23 m (VARIANCE: 4.88 m REQUIRED)	2.75 m
SIDE YARD (WEST)	1.54 m (VARIANCE: 4.88 m REQUIRED)	2.75 m
COMBINED SIDE YARDS	4.1 m	5.5 m

PROPOSED	EXISTING/ADJACENT	
ZONING	R2.5L (LOW DENSITY MULTIPLE DWELLING)	R2.5L (LOW DENSITY MULTIPLE DWELLING)
SITE AREA	128.41 ac (VARIANCE: 920 ac REQUIRED)	128.77 ac
TOTAL FLOOR AREA	526.01 sq ft	204.7 sq ft
COMMERCIAL FLOOR AREA	N/A	N/A
INDUSTRIAL FLOOR AREA	0.81 (DOES NOT INCLUDE ATTIC)	0.51
OFFICE FLOOR AREA	2.12 (ADJACENT)	0.51
SITE COVERAGE	35.0% (VARIANCE: 12.33% ALLOWABLE)	18.8%
OPEN SITE SPACE	21.6%	61.1%
HEIGHT OF BUILDING	9.48 m	8.25 m
NUMBER OF STOREYS	3	2
PARKING SPACES ON SITE	5 (VARIANCE: 1.3 * 6 + 7 REQUIRED)	2
BIKE/PARKING NUMBER (STORAGE & RACK)	LONG TERM 6 SHORT TERM 6	0
BUILDING SETBACKS		
FRONT YARD (DEPTH)	5.51 m (VARIANCE: 7.5 m REQUIRED)	7.5 m
FRONT YARD (WIDTH)	3.23 m (VARIANCE: 4.5 m REQUIRED)	3.5 m
REAR YARD (DEPTH)	12.70 m	11.64 m
SIDE YARD (EAST)	1.56 m (VARIANCE: 4.71 m REQUIRED)	2.75 m
SIDE YARD (WEST)	2.17 m (VARIANCE: 4.71 m REQUIRED)	2.75 m
COVERED SIDE YARDS	4.27 m	5.3 m

RESIDENTIAL USE DETAILS	PROPOSED
TOTAL NUMBER OF UNITS	6
UNIT TYPE	2 BDRM
GROUND ORIENTED UNITS	4
MINIMUM UNIT FLOOR AREA	65.53 m ²
TOTAL RESIDENTIAL FLOOR AREA	485.44 m ²

RESIDENTIAL USE DETAILS	PROPOSED
TOTAL NUMBER OF UNITS	6
UNIT TYPE	2 BDRM
GROUND ORIENTED UNITS	4
MINIMUM UNIT FLOOR AREA	66.51 SQ.M
TOTAL RESIDENTIAL FLOOR AREA	488.57 SQ.M

THIS DRAWING IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED IN ANY MANNER WITHOUT PERMISSION FROM CHRISTIAN UNITS ARCHITECT. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED OR APPROVED & SHALL BE CHRISTIAN UNITS ARCHITECT AS SHOWN. THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTIAN UNITS ARCHITECT. AGGREGATE SHALL BE THE OWNERS.



- PLANTING SCHEDULE**
- TYPE 1 PLANTING - CONTAINS FULL SHADE & PART SHADE (UNDER EXISTING CANOPIES & TREES)**
- SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
- TYPE 2 PLANTING - CONTAINS FULL SHADE & PART SHADE (UNDER EXISTING CANOPIES & TREES)**
- SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
- TYPE 3 PLANTING - CONTAINS FULL SHADE & PART SHADE (UNDER EXISTING CANOPIES & TREES)**
- SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
- TYPE 4 PLANTING - CONTAINS FULL SHADE & PART SHADE (UNDER EXISTING CANOPIES & TREES)**
- SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - SUGGESTED PERENNIALS & BULBS:
 - ALLIUM, GALIUM, SPERGERIUM
 - HYDRANGEA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA
 - PALESTRA, PASTORALIS, PASTORALIS
 - LOW GROUND COVERS: LANTANA, LANTANA

Client's List

Issue

Issue	Date
CAUSC Meeting	March 26, 18
Revising Application	March 26, 18
Revising Resubmission	June 27, 18
Revising Resubmission 2	July 30, 2018
Revising Resubmission 3	Jan. 8, 2019

Revision

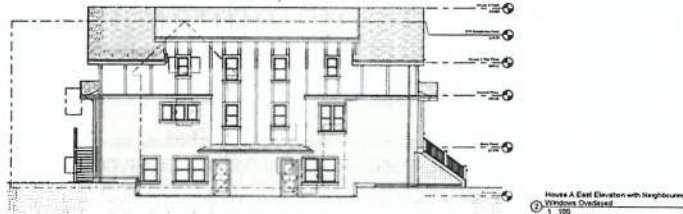
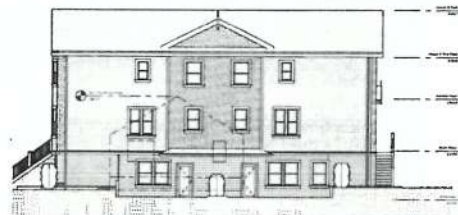
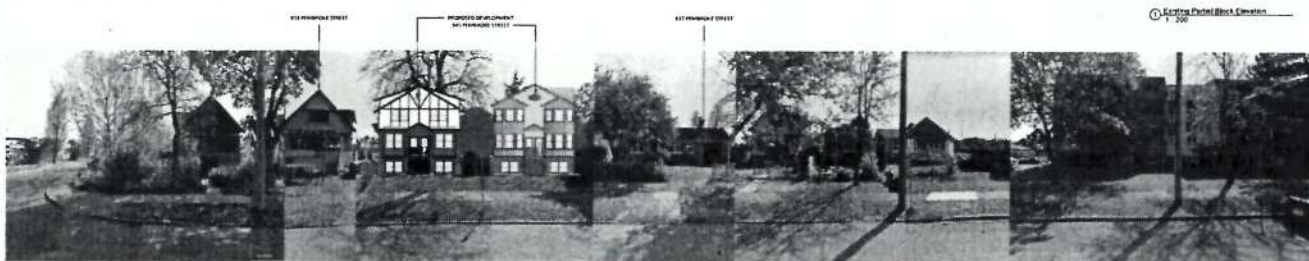
No.	Description	Date
1	Building Size Increased	Jan 3-19
2	Tree Type Corrected	Jan 3-19

Consultant

945 Pembroke Street
House A & B

Site and Landscape Plan

Date: 2018-01-07 11:20:22 AM
Drawn by: J.A.
Checked by: J.A.
A0.03
Scale: 1" = 10'



Issue	Date
CAIUC Meeting	March 29-30
Reasoning Application	March 29-30
Reasoning Reconsideration 1	June 27-28
Reasoning Reconsideration 2	July 30, 2018
Reasoning Reconsideration 3	Jan 8, 2019

Revisions		
No.	Description	Date
3	Window Revisions	Jan 3-19
4	Door Revisions	Jan 3-19

Consultant

945 Pembroke Street
House A & B

Context Elevations & Outlook Comparison

Date: 2019-01-07 11:53:11 AM
Drawn by: J.A.
Checked by: C.L.
A0.05
Scale: As Indicated

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Item	Date
Callic Meeting	March 25-18
Revising Permits	March 25-18
Revising Permits	June 22-18
Revising Permits	July 20-18
Revising Permits	Jan. 6, 2019

Revision	Description	Date
1	Revised Grade	Dec 21-18
2	Window Revisions	Dec 21-18
3	Door Revisions	Dec 21-18

Consultant

945 Pembroke Street
House A

Exterior Elevations

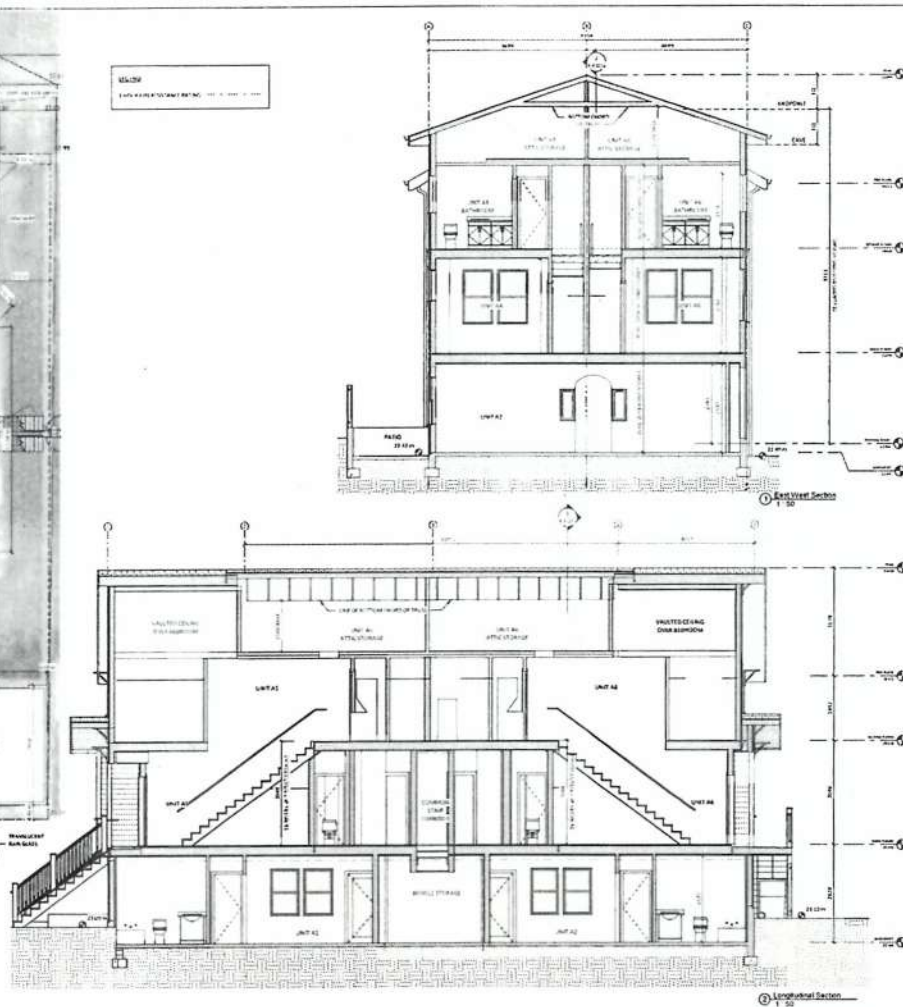
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Checked by	CL
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Type	Start	Wait	Flight	Operations	Count
W1	0:00	0:00	Flight 01	Flight 01	1
W2	0:10	0:00	Flight 02	Flight 02	1
W3	0:20	0:10	Flight 03	Flight 03	1
W4	0:30	0:20	Flight 04	Flight 04	1
W5	0:40	0:30	Flight 05	Flight 05	1
W6	0:50	0:40	Flight 06	Flight 06	1
W7	1:00	0:50	Flight 07	Flight 07	1
W8	1:10	1:00	Flight 08	Flight 08	1
W9	1:20	1:10	Flight 09	Flight 09	1
W10	1:30	1:20	Flight 10	Flight 10	1
W11	1:40	1:30	Flight 11	Flight 11	1
W12	1:50	1:40	Flight 12	Flight 12	1
W13	2:00	1:50	Flight 13	Flight 13	1
W14	2:10	2:00	Flight 14	Flight 14	1
W15	2:20	2:10	Flight 15	Flight 15	1
W16	2:30	2:20	Flight 16	Flight 16	1
W17	2:40	2:30	Flight 17	Flight 17	1
W18	2:50	2:40	Flight 18	Flight 18	1
W19	3:00	2:50	Flight 19	Flight 19	1
W20	3:10	3:00	Flight 20	Flight 20	1



Issue	Date
CALUC Meeting	March 26-18
Reopening Application	March 28-18
Reopening Rebuttal/revision	June 27-18
Reopening Rebuttal/revision 2	July 30-2018
Reopening Rebuttal/revision 3	Jan. 8, 2019

Revision		
No.	Description	Date
1	Window Revisions	Dec 21-18
2	Door Revisions	Dec 21-18

Consultant

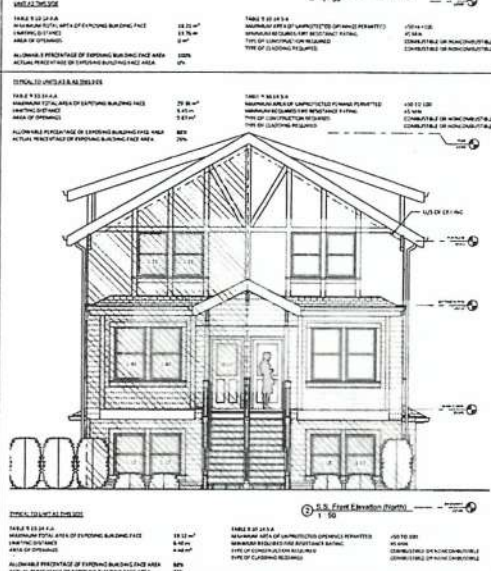
945 Pembroke
Street
House A

Building Sections & Schedules

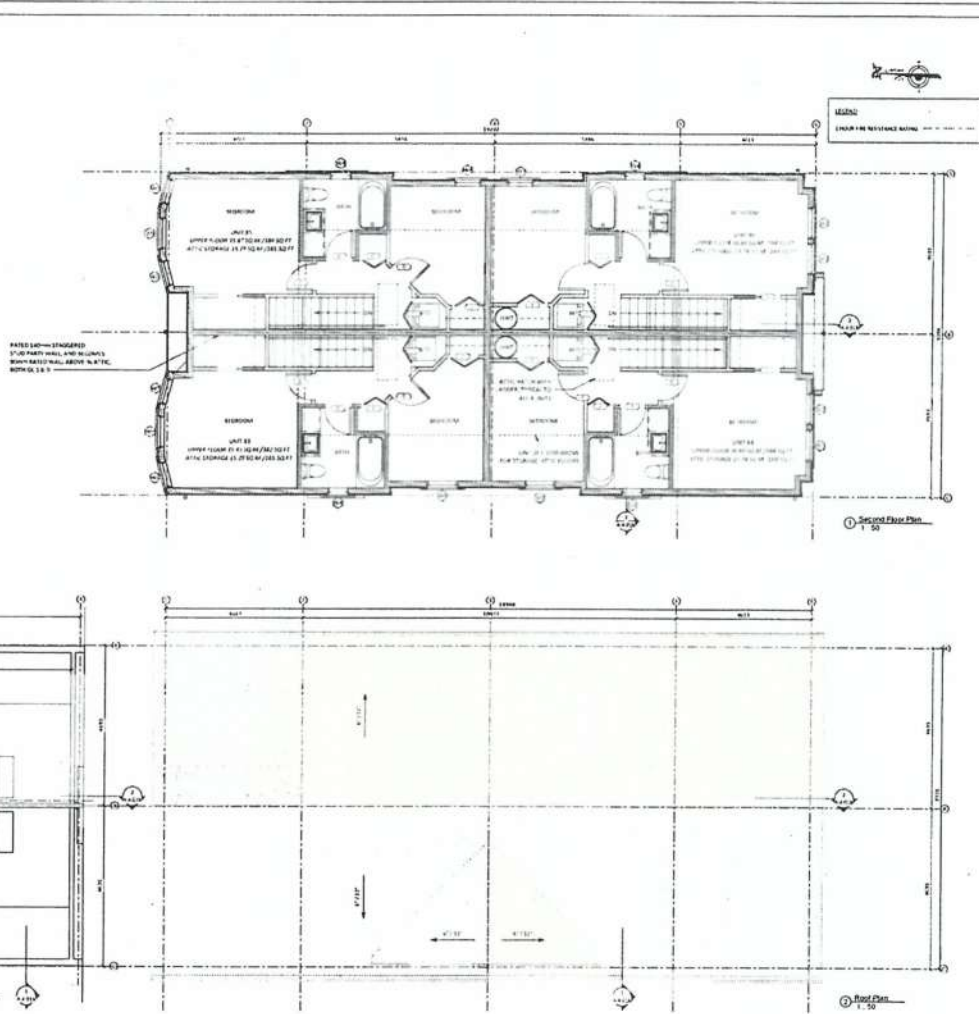
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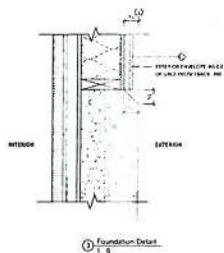
Is this	As indicated
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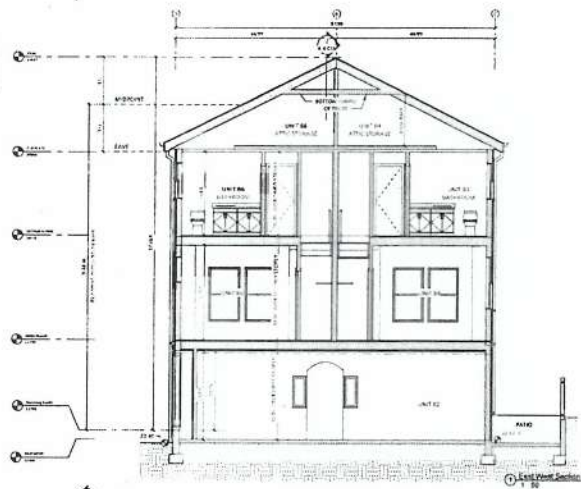
Date	2019-01-07 11:41:00 AM
Drawn by	IA
Checked by	CL
A 4.02a	
com	1/50



Checking & notes architect	
Title CALUC Approval Resolving Application Resolving Resubmission Resolving Resubmission 2 Resolving Resubmission 3	Date March 26-18 March 28-18 June 12-18 July 30 2018 Jan. 8, 2019
Revision No. Description Date 1 Building Size Increased Dec 21-18	
Consultant	
945 Pembroke Street House B	
Upper Floor & Roof Plan	
Date 2019-01-07 11:41:37 AM Drawn by J.S. Checked by J.S. A 2.02b Scale As indicated	



USGBC
LEED Platinum Building Rating, 2009 V3, Green 100%

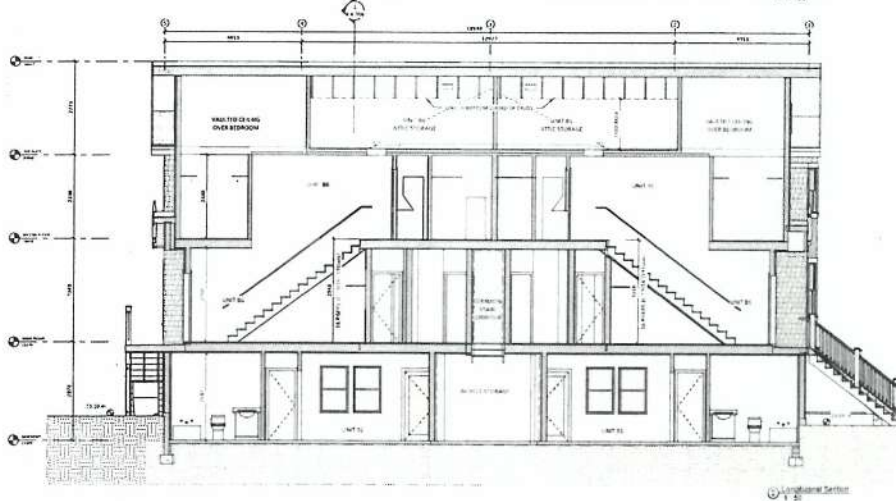


Door Schedule

Door Mark	Model	Material	Finish	Comments	Count
D1	100	6	1	INTERIOR DOOR	4
D2	100	6	1	INTERIOR DOOR	4
D3	100	6	1	INTERIOR DOOR	4
D4	100	6	1	INTERIOR DOOR	4
D5	100	6	1	INTERIOR DOOR	4
D6	100	6	1	INTERIOR DOOR	4
D7	100	6	1	INTERIOR DOOR	4
D8	100	6	1	INTERIOR DOOR	4
D9	100	6	1	INTERIOR DOOR	4
D10	100	6	1	INTERIOR DOOR	4
D11	100	6	1	INTERIOR DOOR	4
D12	100	6	1	INTERIOR DOOR	4
D13	100	6	1	INTERIOR DOOR	4
D14	100	6	1	INTERIOR DOOR	4
D15	100	6	1	INTERIOR DOOR	4
D16	100	6	1	INTERIOR DOOR	4
D17	100	6	1	INTERIOR DOOR	4
D18	100	6	1	INTERIOR DOOR	4
D19	100	6	1	INTERIOR DOOR	4
D20	100	6	1	INTERIOR DOOR	4
D21	100	6	1	INTERIOR DOOR	4
D22	100	6	1	INTERIOR DOOR	4
D23	100	6	1	INTERIOR DOOR	4
D24	100	6	1	INTERIOR DOOR	4
D25	100	6	1	INTERIOR DOOR	4
D26	100	6	1	INTERIOR DOOR	4
D27	100	6	1	INTERIOR DOOR	4
D28	100	6	1	INTERIOR DOOR	4
D29	100	6	1	INTERIOR DOOR	4
D30	100	6	1	INTERIOR DOOR	4
D31	100	6	1	INTERIOR DOOR	4
D32	100	6	1	INTERIOR DOOR	4
D33	100	6	1	INTERIOR DOOR	4
D34	100	6	1	INTERIOR DOOR	4
D35	100	6	1	INTERIOR DOOR	4
D36	100	6	1	INTERIOR DOOR	4
D37	100	6	1	INTERIOR DOOR	4
D38	100	6	1	INTERIOR DOOR	4
D39	100	6	1	INTERIOR DOOR	4
D40	100	6	1	INTERIOR DOOR	4
D41	100	6	1	INTERIOR DOOR	4
D42	100	6	1	INTERIOR DOOR	4
D43	100	6	1	INTERIOR DOOR	4
D44	100	6	1	INTERIOR DOOR	4
D45	100	6	1	INTERIOR DOOR	4
D46	100	6	1	INTERIOR DOOR	4
D47	100	6	1	INTERIOR DOOR	4
D48	100	6	1	INTERIOR DOOR	4
D49	100	6	1	INTERIOR DOOR	4
D50	100	6	1	INTERIOR DOOR	4
D51	100	6	1	INTERIOR DOOR	4
D52	100	6	1	INTERIOR DOOR	4
D53	100	6	1	INTERIOR DOOR	4
D54	100	6	1	INTERIOR DOOR	4
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D99	100	6	1	INTERIOR DOOR	4
D100	100	6	1	INTERIOR DOOR	4

Window Schedule

Window Mark	Model	Material	Finish	Comments	Count
W1	100	6	1	INTERIOR WINDOW	4
W2	100	6	1	INTERIOR WINDOW	4
W3	100	6	1	INTERIOR WINDOW	4
W4	100	6	1	INTERIOR WINDOW	4
W5	100	6	1	INTERIOR WINDOW	4
W6	100	6	1	INTERIOR WINDOW	4
W7	100	6	1	INTERIOR WINDOW	4
W8	100	6	1	INTERIOR WINDOW	4
W9	100	6	1	INTERIOR WINDOW	4
W10	100	6	1	INTERIOR WINDOW	4
W11	100	6	1	INTERIOR WINDOW	4
W12	100	6	1	INTERIOR WINDOW	4
W13	100	6	1	INTERIOR WINDOW	4
W14	100	6	1	INTERIOR WINDOW	4
W15	100	6	1	INTERIOR WINDOW	4
W16	100	6	1	INTERIOR WINDOW	4
W17	100	6	1	INTERIOR WINDOW	4
W18	100	6	1	INTERIOR WINDOW	4
W19	100	6	1	INTERIOR WINDOW	4
W20	100	6	1	INTERIOR WINDOW	4
W21	100	6	1	INTERIOR WINDOW	4
W22	100	6	1	INTERIOR WINDOW	4
W23	100	6	1	INTERIOR WINDOW	4
W24	100	6	1	INTERIOR WINDOW	4
W25	100	6	1	INTERIOR WINDOW	4
W26	100	6	1	INTERIOR WINDOW	4
W27	100	6	1	INTERIOR WINDOW	4
W28	100	6	1	INTERIOR WINDOW	4
W29	100	6	1	INTERIOR WINDOW	4
W30	100	6	1	INTERIOR WINDOW	4
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W96	100	6	1	INTERIOR WINDOW	4
W97	100	6	1	INTERIOR WINDOW	4
W98	100	6	1	INTERIOR WINDOW	4
W99	100	6	1	INTERIOR WINDOW	4
W100	100	6	1	INTERIOR WINDOW	4



Issue	Date
CAUSE: Missing	March 26-18
Revising: Revisiting	March 26-18
Revising: Revisiting	June 22-18
Revising: Revisiting	July 30-18
Revising: Revisiting	Jan. 8-19

Revision	Description	Date
1	Door Revisions	Dec. 21-18

Consultant

945 Pembroke Street
House B

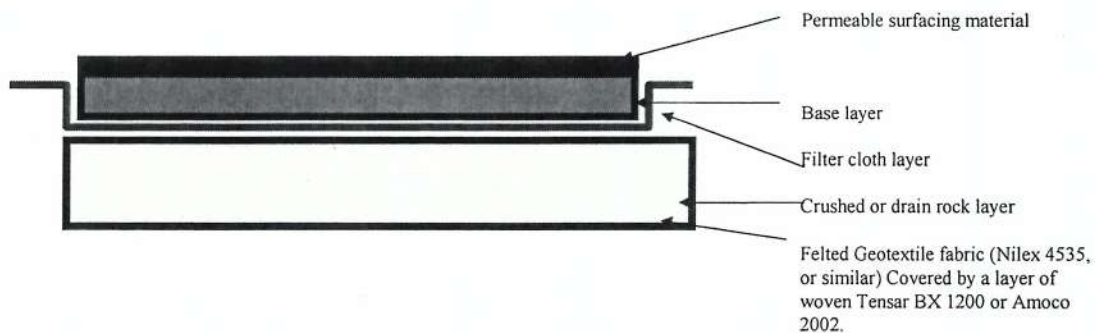
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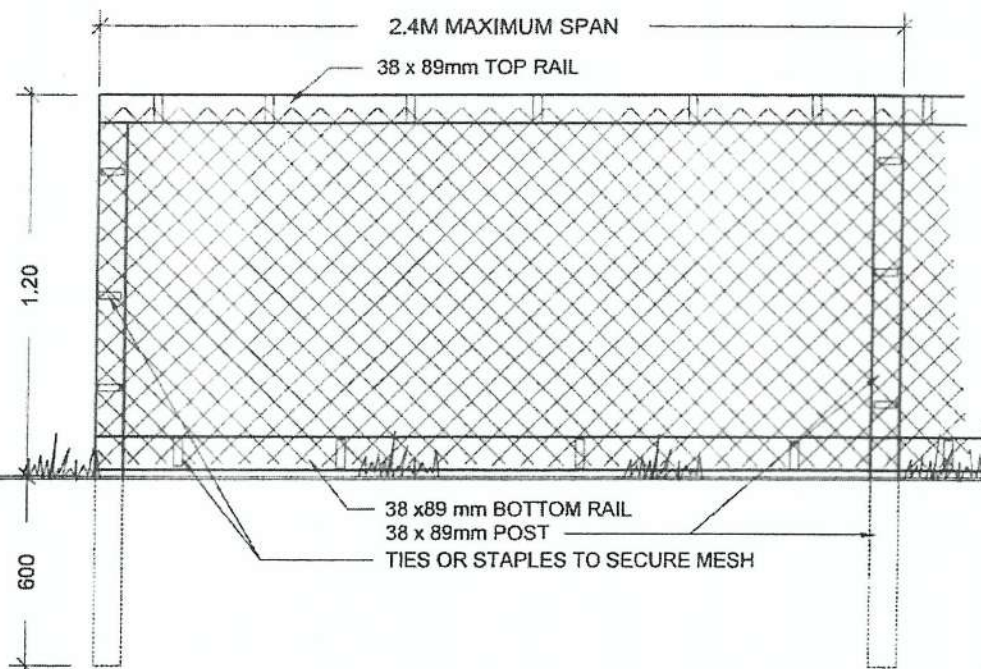
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Diagram – Site Specific Floating Driveway, Parking and Sidewalk Areas



Specifications for Floating Driveway and Parking Areas

1. Excavation for driveway or parking area construction must remove the sod layer only, where they encroach on the root zones of the protected trees
2. A layer of medium weight felted Geotextile fabric (Nilex 4535, or similar) is to be installed over the entire area of the critical root zone that is to be covered by the paving. Cover this Geotextile fabric with a layer of woven Amoco 2002 or Tensar BX 1200. Each piece of fabric must overlap the adjoining piece by approximately 30-cm.
3. A 10cm layer of torpedo rock, or 20-mm clean crushed drain rock, is to be used to cover the Geotextile fabric.
4. A layer of felted filter fabric is to be installed over the crushed rock layer to prevent fine particles of sand and soil from infiltrating this layer.
5. The bedding or base layer and permeable surfacing can be installed directly on top of the Geotextile fabric.



TREE PROTECTION FENCING
 FENCE WILL BE CONTRUCTED USING
 38 X 89 mm (2"X4") WOOD FRAME:
 TOP, BOTTOM AND POSTS. *
 USE ORANGE SNOW-FENCING MESH AND
 SECURE TO THE WOOD FRAME WITH
 "ZIP" TIES OR GALVANZIED STAPLES

* IN ROCKY AREAS, METAL POSTS (T-BAR
 OR REBAR) DRILLED INTO ROCK WILL BE
 ACCEPTED

DETAIL NAME:

TREE PROTECTION FENCING

DATE: Oct 30/07
 DRAWN: DM
 APP'D: RR
 SCALE: N.T.S.

E105
 DRAWING



Talbot Mackenzie & Associates

Consulting Arborists

Box 48153 RPO - Uptown Victoria, BC V8Z 7H6

Ph: (250) 479-8733

Fax: (250) 479-7050

Email: tmtreehelp@gmail.com

Tree Resource Spreadsheet Methodology and Definitions

Tag: Tree identification number on a metal tag attached to tree with nail or wire, generally at eye level. Trees on municipal or neighboring properties are not tagged.

NT: No tag due to inaccessibility or ownership by municipality or neighbour.

DBH: Diameter at breast height – diameter of trunk, measured in centimetres at 1.4m above ground level. For trees on a slope, it is taken at the average point between the high and low side of the slope.

* Measured over ivy

~ Approximate due to inaccessibility or on neighbouring property

Crown Spread: Indicates the diameter of the crown spread measured in metres to the dripline of the longest limbs.

Relative Tolerance Rating: Relative tolerance of the tree species to construction related impacts such as root pruning, crown pruning, soil compaction, hydrology changes, grade changes, and other soil disturbance. This rating does not take into account individual tree characteristics, such as health and vigour. Three ratings are assigned based on our knowledge and experience with the tree species: Poor, Moderate or Good.

Critical Root Zone: A calculated radial measurement in metres from the trunk of the tree. It is the optimal size of tree protection zone and is calculated by multiplying the DBH of the tree by 10, 12 or 15 depending on the tree's Relative Tolerance Rating. This methodology is based on the methodology used by Nelda Matheny and James R. Clark in their book "Trees and Development: A Technical Guide to Preservation of Trees During Land Development."

- 15 x DBH = Poor Tolerance of Construction
- 12 x DBH = Moderate
- 10 x DBH = Good

To calculate the critical root zone, the DBH of multiple stems is considered the sum of 100% of the diameter of the largest stem and 60% of the diameter of the next two largest stems. It should be noted that these measures are solely mathematical calculations that do not consider factors such as soil volume restrictions, age, crown spread, health, or structure (such as a lean).

Health Condition:

- Poor - significant signs of visible stress and/or decline that threaten the long-term survival of the specimen
- Fair - signs of stress
- Good - no visible signs of significant stress and/or only minor aesthetic issues

Structural Condition:

- Poor - Structural defects that have been in place for a long period of time to the point that mitigation measures are limited
- Fair - Structural concerns that are possible to mitigate through pruning
- Good - No visible or only minor structural flaws that require no to very little pruning

Retention Status:

- X - Not possible to retain given proposed construction plans
- Retain - It is possible to retain this tree in the long-term given the proposed plans and information available. This is assuming our **recommended mitigation measures are followed**
- Retain * - See report for more information regarding potential impacts
- TBD (To Be Determined) - The impacts on the tree could be significant. However, in the absence of exploratory excavations and in an effort to retain as many trees as possible, we recommend that the final determination be made by the supervising project arborist at the time of excavation. The tree might be possible to retain depending on the location of roots and the resulting impacts, but concerned parties should be aware that the tree may require removal.
- NS - Not suitable to retain due to health or structural concerns

Jan. 27 2019

Development Services, City of Victoria,

I, Kiaran McMillan, along with my ^{Personal info} applied for tenancy at 945 Pembroke St. on Nov. 9 2017, at which time it was made clear verbally by the landlord, Todd Doherty, that the property was in the process of being redeveloped and our tenancy would be a one year fixed term ending Nov. 30 2018.

On Nov. 14 2017 we signed an agreement to enter into a one year fixed term of tenancy on Dec. 1 2017, ending Nov. 30 2018. It was clear that at the end of this term we would vacate the property with no Notice Of Eviction required. Prior to the end of this term ^{Personal info} moved out of town and I remained.

On Oct. 30 2018 Todd and I agreed, verbally and by text, at my request, to extend the tenancy to March 31 2019 and eventually on Jan. 28 2019 we officially signed a Mutual Agreement To End Tenancy to that effect.

Life has worked out that I have planned to move to Vancouver at this time to improve my business prospects regardless of the situation at 945 Pembroke St. I am not being evicted. I am leaving of my own accord.

Sincerely,
Kiaran McMillan



February 5, 2019

Attention: Todd Doherty

Dear Todd:

Re: Carshare arrangements at proposed residential developments located 945 Pembroke Street, Victoria

This letter will confirm that Modo sees the location of the proposed residential developments at 945 Pembroke Street in Victoria as having good potential for carsharing. Modo has several vehicles located within walking distance of the developments' site. Under the following arrangements, Modo is willing to enter into an agreement with you to provide carsharing services:

1. Prior to the issuance of a development permit by the City of Victoria for the proposed developments, you and Modo will enter into a legally binding agreement(s) for the provision of carsharing services at the location of the proposed developments in compliance with City of Victoria requirements;
2. You will provide to Modo a one-time financial contribution of \$6,000.00 inclusive of taxes and fees (the "Project Fee") for the purchase of membership shares in Modo;
3. Modo will provide you with a Partnership Membership in Modo with a public value of \$6,000.00, valid for the lifetime of the proposed buildings and allowing a total of 12 residents of the proposed developments to benefit from Modo membership privileges without the need to themselves pay a \$500 membership fee;
4. Modo will provide a promotional incentive worth \$100 of driving credits to each resident of the developments joining Modo with an individual account;

Modo is interested in working with you, and be part of the proposed developments to be located at 945 Pembroke Street whose residents may no longer need to own a car of their own (or a second one) for their personal and business needs.

Thank you for your support of carsharing in the City of Victoria.

Regards,

Sylvain Cellaire
Business Development Manager



Advisory Design Panel Report

For the Meeting of August 22, 2018

To: Advisory Design Panel **Date:** August 10, 2018
From: Leanne Taylor, Senior Planner
Subject: Development Permit with Variances Application No. 00078 for 945 Pembroke Street

EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variances Application for 945 Pembroke Street and provide advice to Council.

The proposal is for two multiple dwellings and requires Rezoning, Development Permit with Variances and Subdivision Applications. Staff are looking for commentary from the Advisory Design Panel with regard to:

- on-site hard and soft landscaping
- residential entryways
- east facing windows of Building A.

The Options section of this report provides guidance on possible recommendations the Panel may make, or use as a basis to modify, in providing advice on this Application.

BACKGROUND

Applicant: Mr. Todd Doherty

Architect: Ms. Christine Lintott, MAIBC
Christine Lintott Architects

Development Permit Area: Development Permit Area 3(HC): Core Mixed-Use Residential

Heritage Status: N/A

Description of Proposal

The proposal is for two multiple dwellings facilitated by concurrent Rezoning and Subdivision Applications. The proposed floor space ratio (FSR) is 0.88:1 for Lot A and 0.89:1 for Lot B. The proposal contains the following major design components:

- two, three-storey buildings consisting of traditional architectural features, including pitched and gabled rooflines, dormers and traditional-style bay windows and materials

- exterior building materials of Building A consisting of lap siding, hardi-panels, asphalt shingles, Tudor batons and painted wood casing
- exterior building materials of Building B consisting of horizontal hardi siding, hardi shingle cladding and asphalt shingles
- individual private patio spaces
- upper storey residential entryways facing the street and rear yard
- side entryways for the basement level residential units
- permeable pavers in the parking area and permeable surface treatment for the driveway
- planting beds to break up the hard surface treatment
- twelve long-term (Class 1) bicycle parking spaces for each building to be located in a bicycle storage area in the basement level, and six short-term (Class 2) bicycle parking spaces to be located in the front yard of each lot.

The following data table compares the proposal with the existing R-2 Zone, Two Family Dwelling District and the R3-A1 Zone, Low Profile Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing Zone. Additionally, the key City policy that pertains to the area has been included in this table.

Zoning Criteria	Proposal Lot A	Proposal Lot B	Existing Zone R-2	Zone Standard R3-A1	OCP Policy	Local Neighbourhood Policy (DCAP)
Site area (m ²) – minimum	533.29 *	528.41 *	555	920		
Density (Floor Space Ratio) – maximum	0.88:1	0.89:1	0.50:1	1:1	Refer to DCAP	2:1
Height (m) – maximum	9.72	9.48	7.60	10.70		
Storeys – maximum	3	3	2	3		Up to 5 storeys
Site coverage (%) – maximum	35.20 *	35.50 *	40.00	33.33		
Open site space (%) – minimum	31.70	31.00	30.00	30.00		
Setbacks (m) – minimum						
Front (Pembroke Street)	5.53 * / 4.26* (entry steps)	5.72 * / 4.07 * (entry steps)	7.50 / 3.00 (projections)	7.50 / 3.00 (projections)		

Zoning Criteria	Proposal Lot A	Proposal Lot B	Existing Zone R-2	Zone Standard R3-A1	OCP Policy	Local Neighbourhood Policy (DCAP)
Rear (S)	12.98	12.38	13.63	10.50		
Side (E)	2.21 *	1.56 *	3.00	4.86 (Lot A) 4.74 (Lot B)		
Side (W)	1.56 *	2.17 *	1.50	4.86 (Lot A) 4.74 (Lot B)		
Vehicle parking – minimum	5 *	5 *	6	6		
Visitor vehicle parking included in the overall units – minimum	0 *	0 *	1	1		
Surface parking landscape screen	0.60 *	0.60 *	n/a	1.00		
Bicycle parking stalls – minimum						
Class 1	12	12	n/a	6		
Class 2	6	6	n/a	8		

Sustainability Features

The applicant is proposing to install efficient appliances, plumbing and electrical fixtures as well as parking stall outlets for charging electric vehicles. The roof trusses will be designed to support solar hot water or photovoltaic panel assemblies. The attic would be large enough to store hot water tanks.

Consistency with Policies and Design Guidelines

Official Community Plan and Downtown Core Area Plan

The *Official Community Plan* (OCP) Urban Place Designation for the subject property is Core Residential, which supports multi-unit residential; however the OCP defers to the *Downtown Core Area Plan* (DCAP) for land use policies related to height and densities. The DCAP supports multi-unit residential with a density of 2:1 floor space ratio (FSR) and a maximum height of up to approximately five storeys. The OCP also identifies this property in Development Permit Area 3 (HC): Core Mixed-Use Residential. This DPA identifies the Core Residential area

as a major residential district on the edge of a regional commercial and employment district, and anticipates residential growth in the form of intensified multi-unit residential development. The applicant is proposing a lower density residential infill development that fits in with the existing neighbourhood context and built form, which is predominantly single family dwellings that contain traditional-style architectural features.

Design Guidelines for Development Permit Area 3 (HC): Core Mixed-Use Residential

- *Downtown Core Area Plan* (2011)
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (2005)
- *Guidelines for Fences, Gates and Shutters* (2010)
- *Advisory Design Guidelines for Buildings, Signs and Awnings* (2006).

ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary.

On-Site Hard and Soft Landscaping

The *Advisory Design Guidelines for Buildings, Signs and Awnings* (2006) contain a design guideline pertaining to circulation patterns and pedestrian access, and *Appendix 7: Building Design Guidelines* in the DCAP contains a design guideline ensuring on-site open spaces that are well-designed, safe, active, visible and illuminated to encourage their use. Each lot has identical hard and soft landscaping features to create a seamless streetscape. The front yards contain private patios, fencing, lawn and planting beds. The rear yards are predominantly surface parking with a landscaping strip along the rear property lines as well as planting beds located on the south east and south west corners of the property. Private patios and some soft landscaping are being proposed along the side property lines. The ADP's input on the overall hard and soft landscaping as well as pedestrian circulation patterns on-site would be welcomed.

Residential Entryways

Appendix 7: Building Design Guidelines in the DCAP encourages ground floor residential dwellings that are located adjacent to a street to provide at-grade individual entrances with direct connections to the public sidewalk, and the use of building elements such as landscaping, fencing and gates to enhance residential entrances as well as ensure that building entrances are clearly identifiable from the street. Each proposed building would have two residential entryways facing the street, the basement level residential units would have side entrances accessed from the driveway through a corridor, and the south (rear) facing units have entrances facing the rear parking lot. The ADP's comments on the residential entryways from a design and CPTED perspective are welcomed.

East-Facing Windows of Building A

The *Advisory Design Guidelines for Buildings, Signs and Awnings* contain a design guideline pertaining to fenestration and the arrangement, proportion and pattern of windows. On the east elevation of Building A, there are two windows that align with the neighbouring windows and may pose concerns of privacy and overlook in the future. The ADP's comments on window placement are welcomed.

OPTIONS

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

Option One

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00078 for 945 Pembroke Street be approved as presented.

Option Two

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00078 for 945 Pembroke Street be approved with the following changes:

- as listed by the ADP.

Option Three

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00078 for 945 Pembroke Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include):

- as listed by the ADP, if there is further advice they would like to provide on how the Application could be improved.

ATTACHMENTS

- Subject Map
- Aerial Map
- Plans date stamped July 30, 2018
- Applicant's letter dated July 30, 2018.

cc: Mr. Todd Doherty; Ms. Christine Lintott, Christine Lintott Architects.

Justin Gammon recused himself from Development Permit with Variances Application No. 00078 for 945 Pembroke Street at 1:22 pm.

3.2 Development Permit with Variances Application No. 00078 for 945 Pembroke Street

The City is considering a Rezoning and Development Permit with Variances Application to construct two multiple dwellings.

Applicant meeting attendees:

CHRISTINE LINTOTT
LAURIE AVES

CHRISTINE LINTOTT ARCHITECTS
CHRISTINE LINTOTT ARCHITECTS

Ms. Taylor provided the Panel with a brief introduction of the Application and the areas that Council is seeking advice on, including the following:

- the on-site hard and soft landscaping
- the residential entryways
- the east-facing windows of building A.

Ms. Aves provided the Panel with a detailed presentation of the site and context of the proposal as well as details of the proposed landscape plan.

Questions of clarification were asked by the Panel on the following:

- how are the units accessed, and what is the purpose of the central stairway?
 - each unit has its own entrance, and the central stairway is used only as an emergency exit
- if a resident of unit A3 parked a vehicle in the rear, would they then walk up the driveway to enter to through the front?
 - yes
- are all the existing trees on the western property line located on the adjacent property?
 - yes, all are on the neighbour's lot except one cedar, which will have to be removed for the installation of utilities
- are the bicycle racks at the front for visitors?
 - they are for visitors or residents, for use as short-term bike parking
- will the buildings be stratified?
 - yes, each unit will be in the strata
- how will parking access be ensured for both buildings?
 - a reciprocal easement will be made for the parking and patio areas
- is the only access to units 4 and 6 in buildings A and B through the easement?
 - yes
- will the driveway between the buildings be a shared path for vehicles and pedestrians?
 - yes
- how was the placement of the battens and windows determined, and were other arrangements considered?
 - the windows are aligned so as to reduce overlook into adjacent dwellings, and the battens are aligned to the windows in many locations; however, the battens' alignment differs at the top of the east elevation to accommodate the interior room configuration

- what is the separation distance between the buildings?
 - just over 4m for the most part, and a little closer at the emergency exit
- what is the height of the sill where the separation distance is 4m?
 - the sill heights are quite high, at approximately 4'6" or 5', to ensure that the view is towards the ceiling rather than inside the unit
 - the window placement and room arrangement are also staggered to ensure privacy across the driveway
- was increasing the separation distance or decreasing the height of the living room windows considered to maximize privacy?
 - one of the living room windows faces the neighbours, and across the driveway the high sill heights and staggered window placement reduces views into the living rooms
- are there specific design guidelines that prescribed the direction for this project, or is the intent to maintain the residential character of the neighbourhood?
 - the intent was for the proposal to fit in to the neighbourhood, similar to the existing dwelling
- would the site's zone allow for greater density on the property?
 - Ms. Taylor clarified that the Downtown Core Area Plan (DCAP) supports up to five storeys and a floor space ratio (FSR) of up to 2:1, and the zoning supports multi-family dwellings
- why are variances sought when the proposal includes a rezoning application?
 - Ms. Taylor clarified that the Application is to rezone to the existing R3-A1 Zone, as the proposal fits well in terms of the proposed use and density
 - the proposal provides more open site space, some reduced setbacks and greater site coverage than the R3-A1 Zone
- is the Senior Heritage Planner supportive of the move to mimic heritage façades?
 - Ms. Taylor clarified that staff have collectively reviewed the Application to ensure the proposal's consistency with design guidelines and its fit within the surrounding context.

Panel members discussed:

- concern for the liveability of the dwellings and the proposal's method of achieving density
- opportunity to explore alternate ways of achieving density while respecting the neighbouring dwellings; for example, by reducing the number of units and by building just one building on the lot
- desire to have the overall site plan and the buildings' presence as single family dwellings reconsidered, to add to the neighbourhood and achieve liveability
- need to reconsider the buildings' appeal to traditional typology while achieving multiple dwellings
- recognition of the significant potential for the site and its central location adjacent to Central Park
- concern for the reduced setbacks from the R3-A1 Zone, which would have helped to ensure liveability of the proposal and neighbouring dwellings
- appreciation for the effort invested into the window placement; however, the façade design needs refinement; some privacy concerns remain for the adjacency of the windows
- the emergency exit's location through bathrooms demonstrates the need to improve the site circulation
- the site plan's incongruity with the context as a pedestrian-friendly neighbourhood

- the need to simplify the site plan
- the proposal's lack of shared space on-site
- the need to improve the design of the tall, narrow laneway between buildings to eliminate potential for conflict between pedestrians and cars
- safety concerns with the parking located at the rear and unit entrances located only at the front of the buildings
- appreciation for the look of the concrete and grass laneway, but space must be provided for pedestrians to pass cars
- the need to review the proposed grass planting in laneway given the wet, shady conditions
- drainage concerns arising from the basement suite entrances' low grade
- concern for the proximity of the parking spaces to neighbouring dwellings, as well as adjacent units 6 in buildings A and B
- lack of space between vehicles in laneway and entrances
- concern for the cheap material selections and suburban-looking elevations
- lack of clarity as to why the Tudor reference was chosen
- caution against mimicking heritage aspects, as this takes away from the look of the adjacent buildings
- opportunity to explore a more contemporary design to better highlight the heritage features of neighbouring buildings.

Motion:

It was moved by Deborah LeFrank, seconded by Jason Niles, that the Development Permit with Variances Application No. 00078 for 945 Pembroke Street does not sufficiently meet the applicable design guidelines and polices and should be declined, and that the key areas that should be revised include:

- improvement of the overall liveability of the proposal with particular attention to the interior and exterior site circulation and building separation distances
- reconsideration of the overall building expression to limit the replication of heritage façades.

Carried Unanimously

Justin Gammon returned to the meeting at 2:20 pm.

Lacey Maxwell

From: Allan Gallupe [REDACTED]
Sent: April 25, 2018 11:16 AM
To: Victoria Mayor and Council; caluc@npna.ca
Cc: Deirdre Gotto
Subject: Proposed development at 945 Pembroke Street

Mayor and council,

Since we were unable to attend the North Park neighbourhood community meeting on the proposed redevelopment for 945 Pembroke Street on March 26, we would like to make comments by email. We are the owners of the house at 927 Pembroke where our son and his family live.

PARKING

Our property at 927 Pembroke has no driveway. Since street parking is on a 2-hour-limit basis, our son and family, the tenants, have a residential parking sticker to allow them to park indefinitely in the block. However, if there is an event at Royal Athletic, the Curling Club, the Memorial Arena or elsewhere in the neighbourhood, there is no guarantee that a spot will be available once their usual spot is vacated.

Though current thinking is to encourage car-free city living and downgrade parking space requirements, it is really not practical in this family's case. With two young kids and a work-based need for a vehicle, it is not feasible to exert even more pressure on parking by granting the request at 945 Pembroke for only ten parking stalls for twelve units on a street already feeling parking pressure. The increased density alone will add pressure in and of itself.

DENSITY

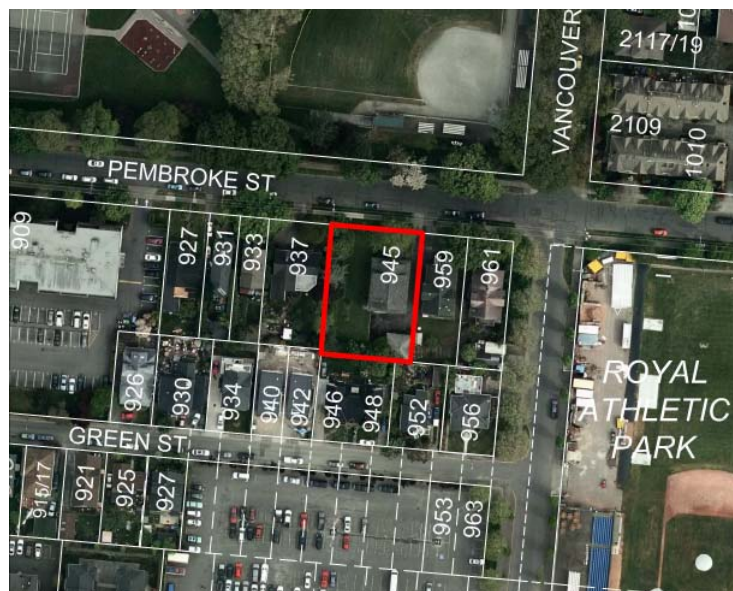
We think this mid-block proposal, surrounded by single-family houses, is too dense. The proposal calls for almost tripling the currently zoned floor area. This is out of character with the neighbourhood, and we cannot support it.

Thank you for your attention.

Regards,

Allan Gallupe and Deirdre Gotto
927 Pembroke Street

Rezoning and Development Permit with Variances Applications for 945 Pembroke Street





945 PEMBROKE STREET – EXISTING SINGLE FAMILY DWELLING



NEIGHBOURING PROPERTIES TO THE EAST



NEIGHBOURING PROPERTIES TO THE WEST



937 Pembroke



933 Pembroke



931 Pembroke



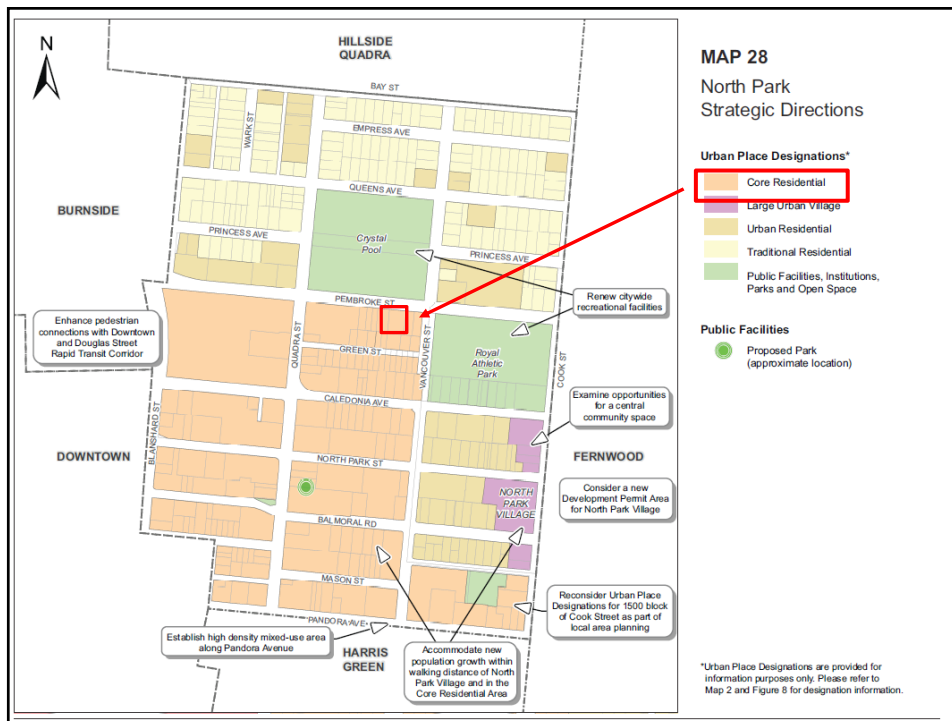
927 Pembroke



NEIGHBOURING PROPERTIES TO THE NORTH



NEIGHBOURING PROPERTIES TO THE SOUTH



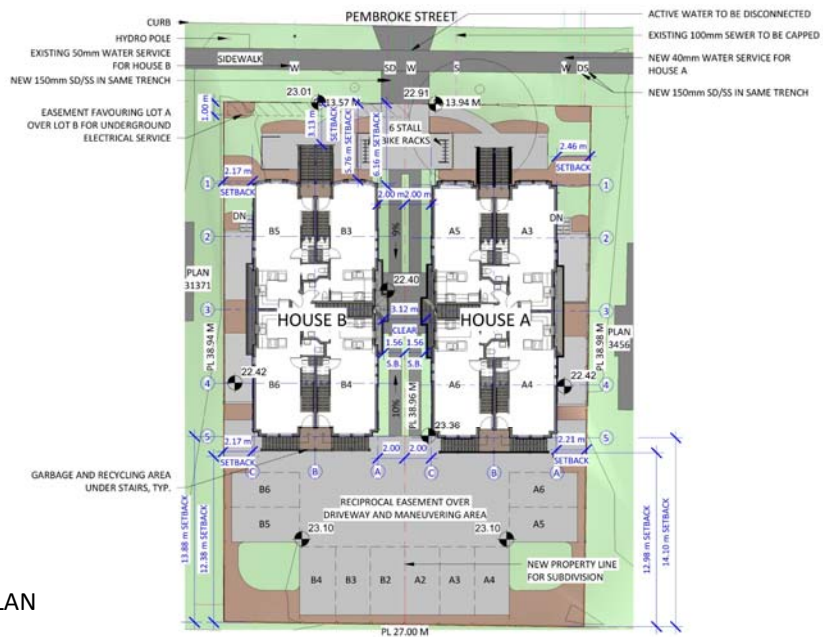
DOWNTOWN CORE AREA PLAN

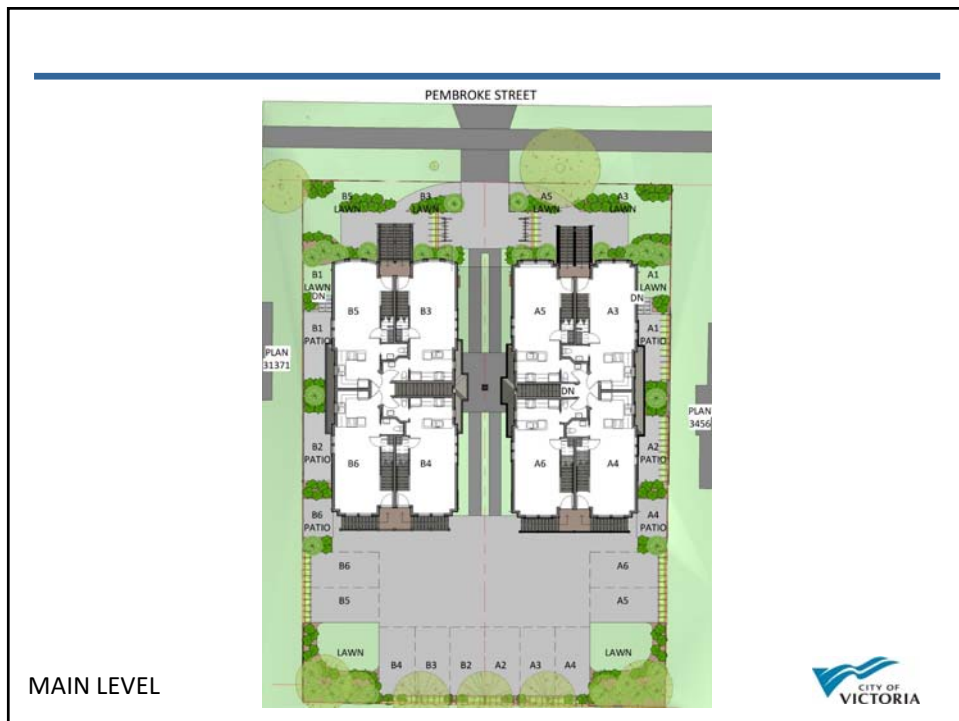
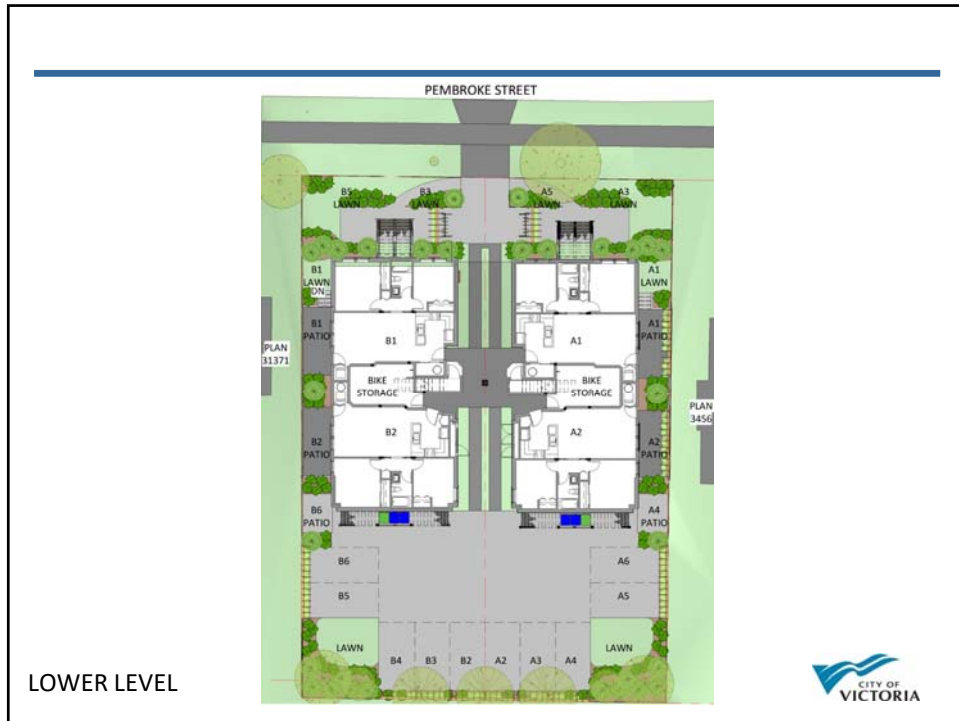


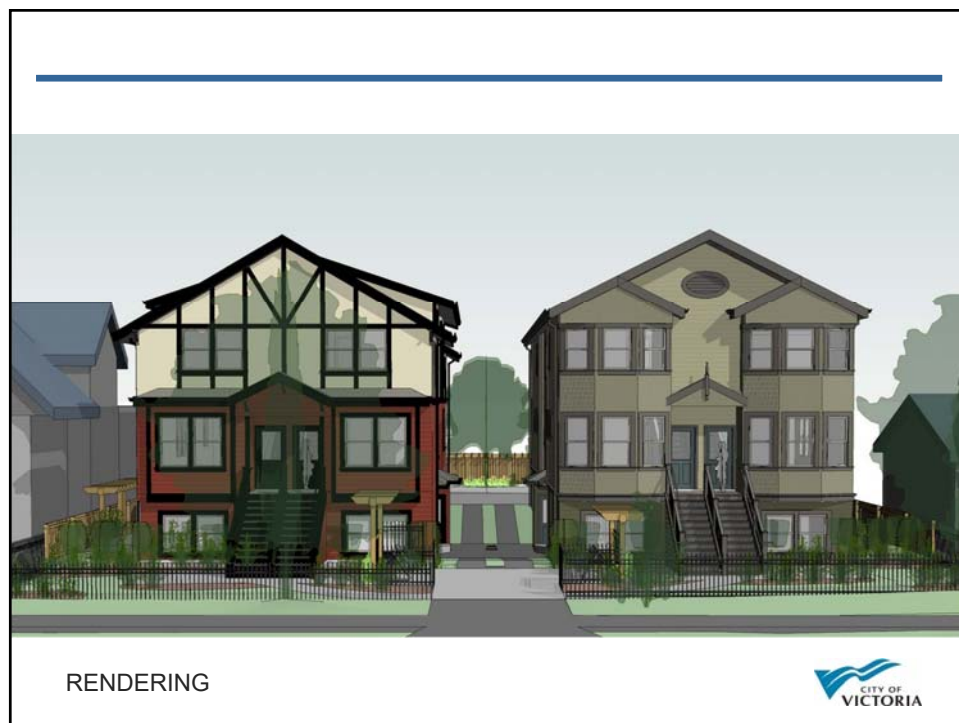
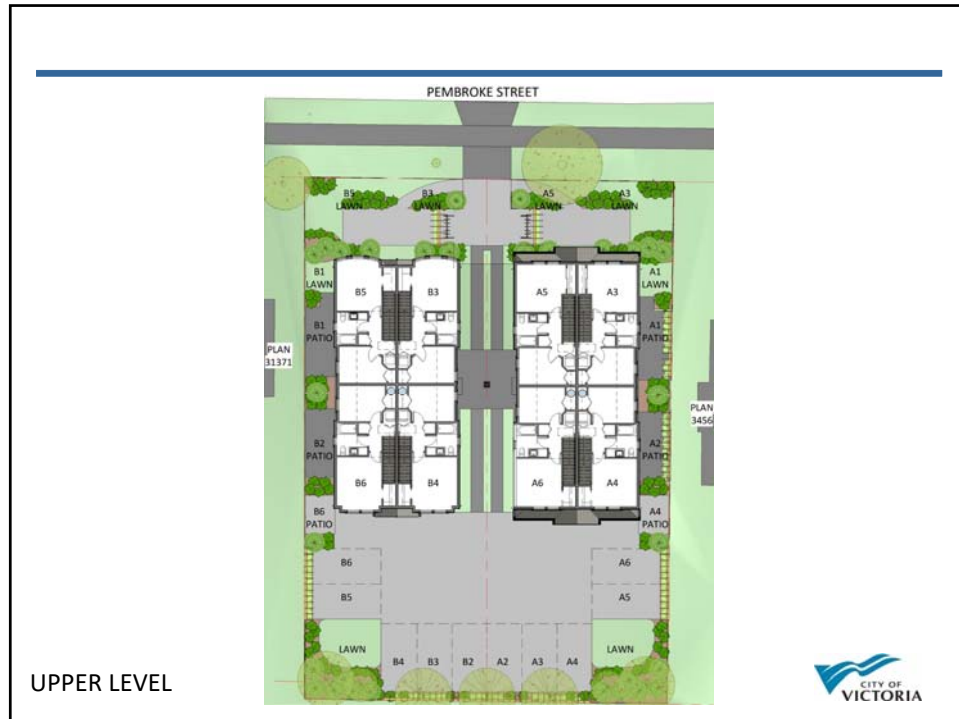
Subject Property

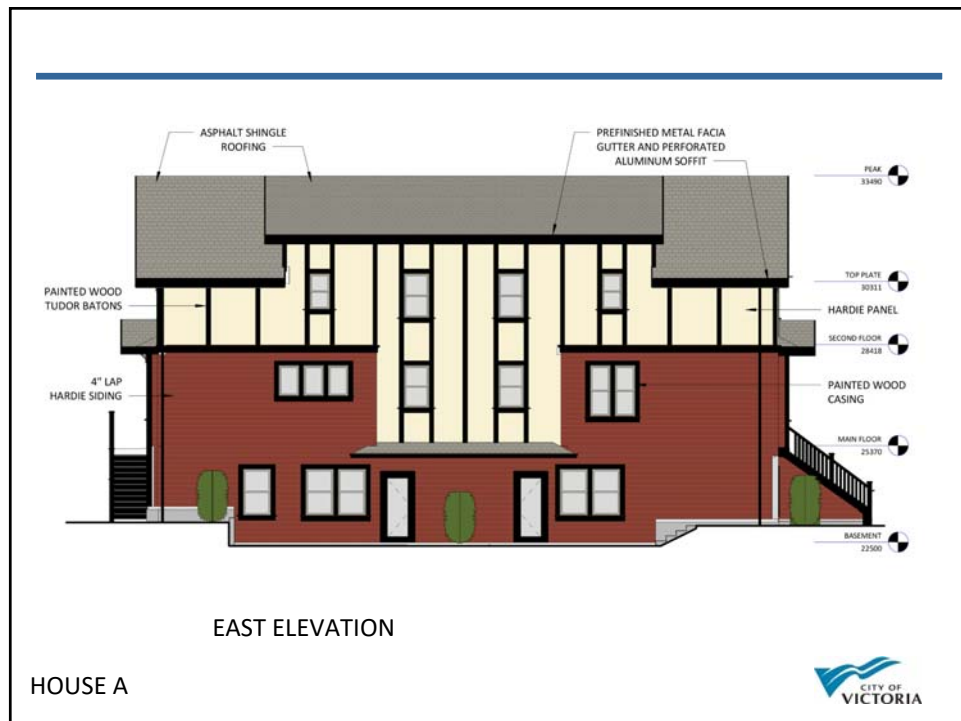
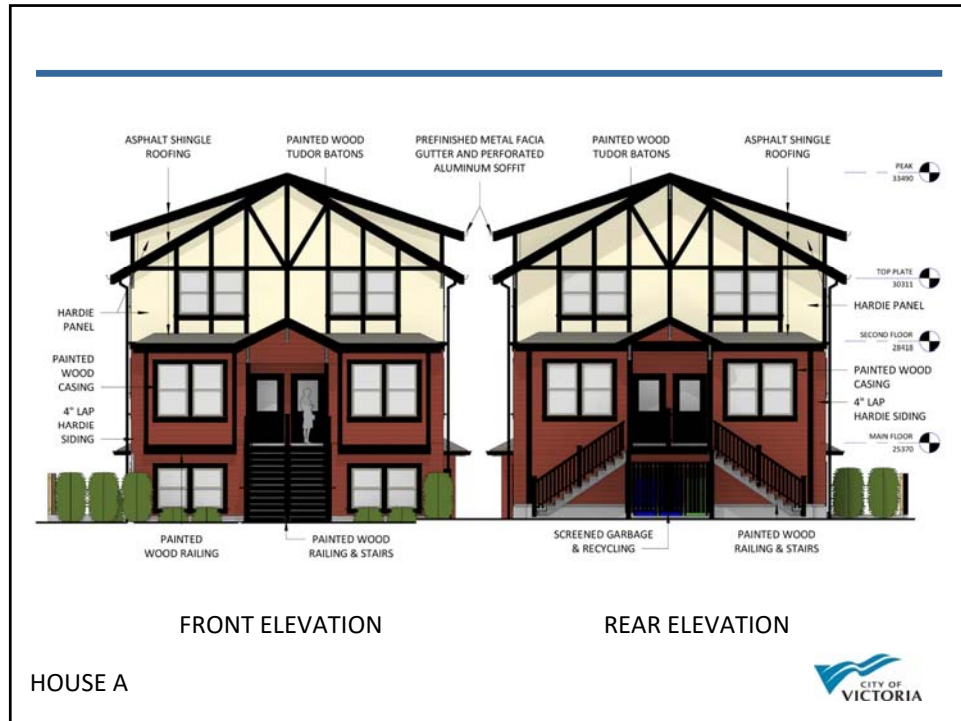


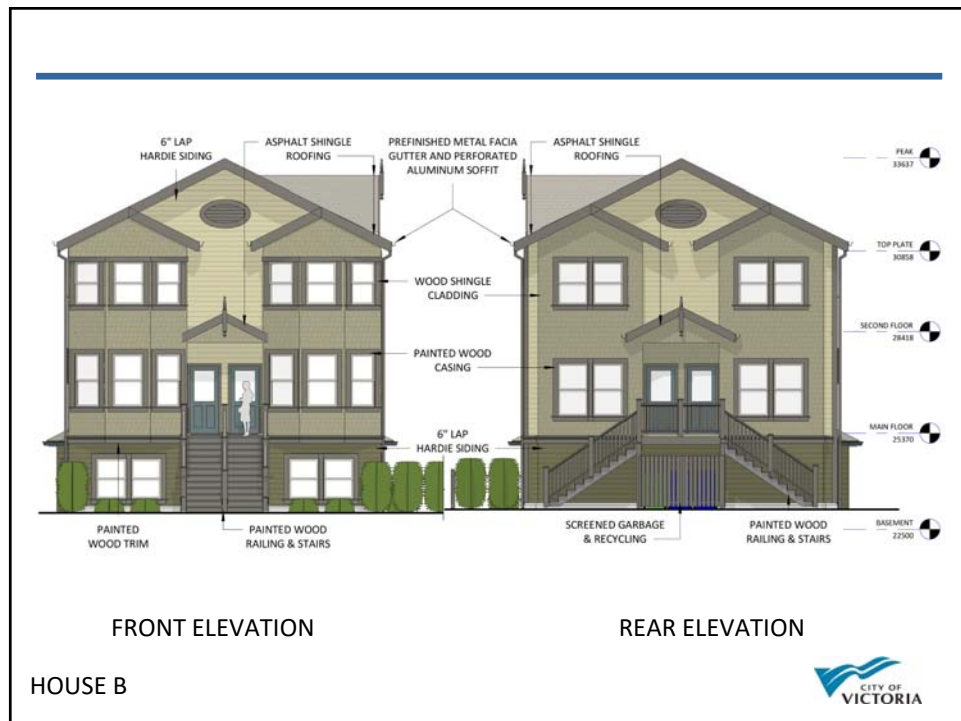
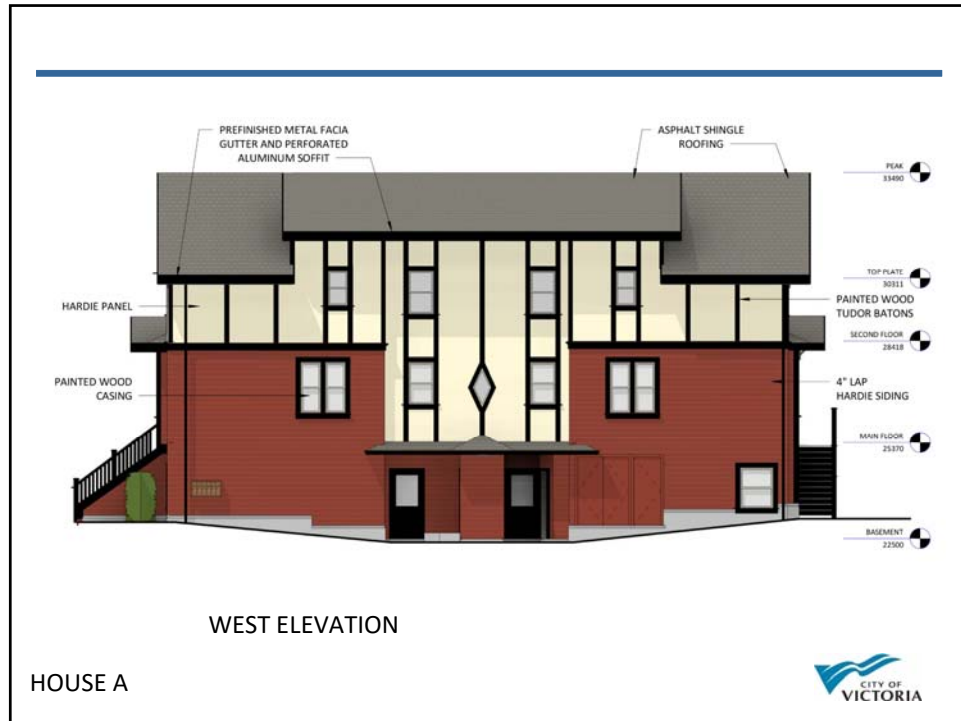
SITE PLAN

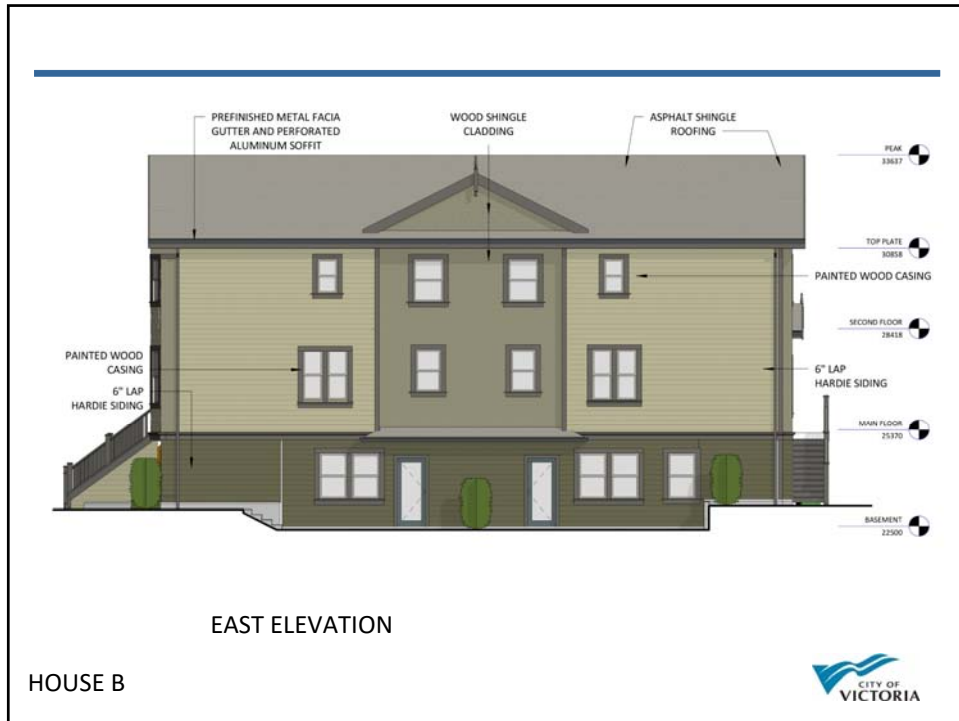




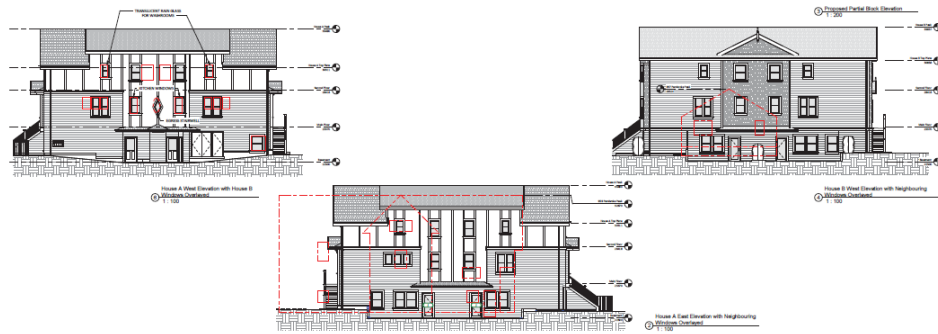








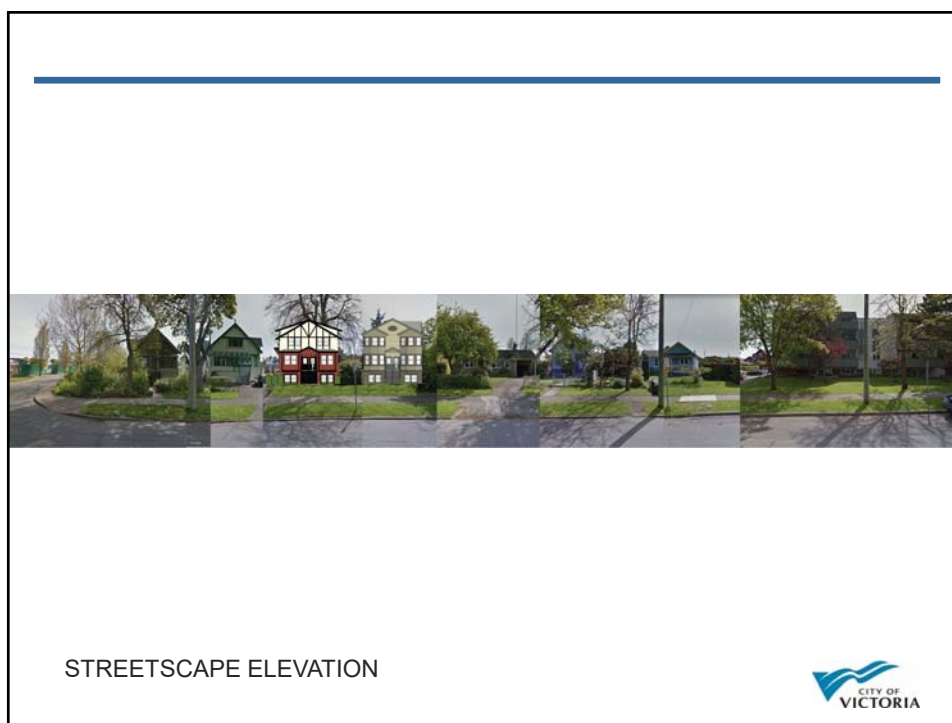
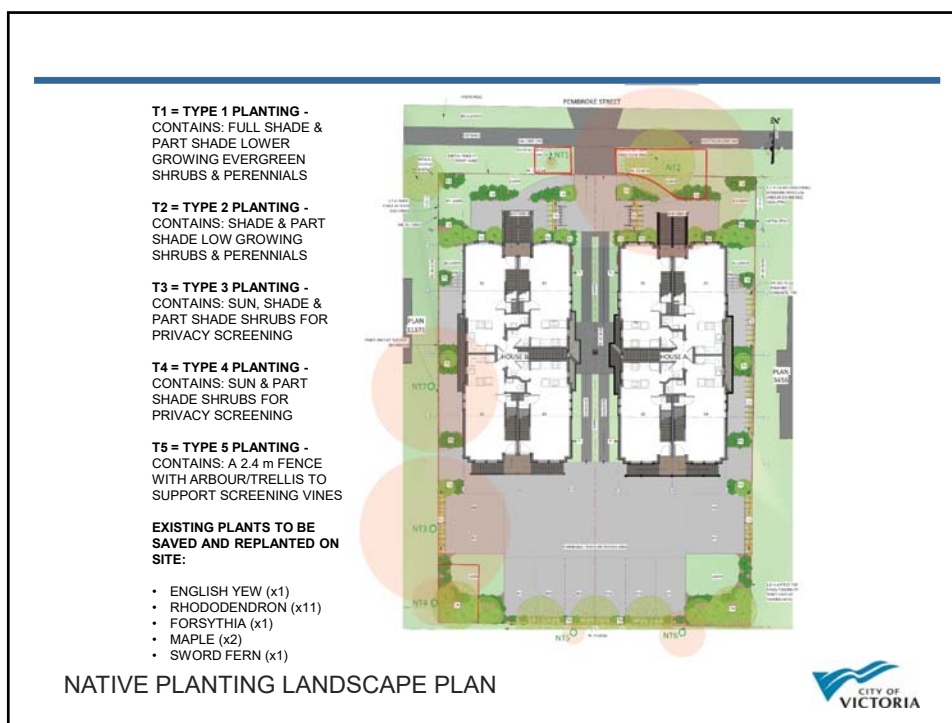
WINDOW OVERLAY



WINTER SOLSTICE
SHADOW STUDY

SUMMER SOLSTICE







Committee of the Whole Report

For the Meeting of February 28, 2019

To: Committee of the Whole **Date:** February 8, 2019

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: Rezoning Application No. 00618 for 1712 & 1720 Fairfield Road

RECOMMENDATION

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00618 for 1712 & 1720 Fairfield Road, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council, and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of the following legal agreements:
 - a. Statutory Right-of-Way to secure 1.15 metres of 1712 Fairfield Road adjacent Fairfield Road, to the satisfaction of the Director of Engineering and Public Works
 - b. Housing Agreement to ensure that future strata bylaws cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development
 - c. Section 219 Covenant to secure a voluntary contribution of \$112,080 to the Victoria Housing Reserve Fund, to the satisfaction of the Director of Sustainable Planning and Community Development

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures; the density of the use of the land, building and other structures; the siting, size and dimensions of buildings and other structures; as well as, the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

In accordance with Section 483 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use of the density of the land from that permitted under the zoning bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1712 and 1720 Fairfield Road. The proposal is to rezone from the R1-G Zone, Gonzales Single Family Dwelling District to a new site-specific zone in order to increase the density to 0.85:1 floor space ratio (FSR) and allow for attached dwellings at this location.

The following points were considered in assessing this application:

- the proposal is generally consistent with the *Official Community Plan, 2012* (OCP) Traditional Residential Urban Place Designation in terms of use, density, built form and place character
- the proposal is consistent with some but not all of the policies of the *Gonzales Neighbourhood Community Plan, 2002*, which encourages a diversity of housing in the Gonzales neighbourhood to meet the needs of a variety of people, while also encouraging retention of zoning and land use policies that maintain the neighbourhood's single family dwelling character.

BACKGROUND

Description of Proposal

This Rezoning Application is to allow for attached dwellings up to 2.5 storeys in height with approximately 17 dwelling units with an overall density of 0.85:1 floor space ratio (FSR).

The new zone would allow for attached dwellings (i.e. townhouses); as well as, increased density, height, site coverage, and reduced open site space and setbacks in comparison to the R1-G Zone, Gonzales Single Family Dwelling District. In addition, a parking variance is proposed and will be discussed in relation to the concurrent Development Permit with Variances Application.

Affordable Housing Impacts

The applicant proposes the creation of 17 new residential units which would increase the overall supply of housing in the area. The mix of two, three and four bedroom units provides family oriented housing in an attached dwelling form. A Housing Agreement is also being proposed which would ensure that future Strata Bylaws could not prohibit the rental of units.

The applicant also proposes a voluntary contribution to the Victoria Housing Reserve Fund based on \$5 per square foot of total floor area, which amounts to \$112,080. The appropriate wording has been added to the recommendation to secure this amenity contribution.

Tenant Assistance Policy

The proposal is to demolish the two existing single family dwellings which would result in a loss of two residential units which are currently rented. Consistent with the Tenant Assistance Policy, the applicant has provided a Tenant Assistance Plan which is attached to this report.

Sustainability Features

As indicated in the applicant's letter, dated November 2, 2018, the following sustainability features are associated with this proposal:

- the site is in a walkable location along a transit route
- the proposed building design and site planning is based on “passive design” principles
- the underground parking stalls are wired for electric car chargers.

Active Transportation Impacts

The application proposes 36 long-term bicycle parking stalls and 10 short-term bicycle parking stalls, which support active transportation.

Public Realm Improvements

The application does not propose any public realm improvements in association with this application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Land Use Context

The area is characterized by a mix of single-family dwellings, duplexes, house conversions, attached dwellings (Montague Court), low-rise apartment and commercial buildings. The site is located immediately adjacent to Hollywood Park.

Existing Site Development and Development Potential

The site is comprised of three legal lots and is developed with two single-family dwellings. Under the current R1-G Zone, Gonzales Single Family Dwelling District, the three lots (two at 1712 Fairfield and one at 1720 Fairfield) could each be developed with a single-family dwelling with either a secondary suite or garden suite, for a total of six dwelling units.

Data Table

The following data table compares the proposal with the existing R1-G Zone and the R3-L Zone, Low Density Multiple Dwelling District, which permits a similar type of development to that of the proposal. An asterisk is used to identify where the proposal is less stringent than the comparable Zones.

Zoning Criteria	Proposal	R1-G	R3-L
Site area (m ²) – minimum	2433	460	555
Site area per unit (m ²) – minimum	143*	N/A	150
Number of units – maximum	17*	6	16
Density (Floor Space Ratio) – maximum	0.85:1*	0.5:1	0.8:1
Lot width (m) – minimum	48.38	15.00	18.00
Height (m) – maximum	11.45* (to midpoint of roof)	7.60	8.5 (to underside of highest ceiling)

Zoning Criteria	Proposal	R1-G	R3-L
Storeys – maximum	2.5*	2	3
Site coverage % – maximum	60.00*	30.00	40.00
Open site space % – minimum	35.50*	50.00	40.00
Number of dwellings units per building - maximum	7	N/A	10
Separation space between buildings (within the site) (m) – minimum	5.79*	N/A	6.00
Setbacks (m) – minimum			
Front	1.68*	7.50	4.50 7.5 (average)
Rear	6.10*	13.50	4.50
Side (east)	6.70*	8.50 (15% of lot width)	3.00
Side (west)	1.70* (to stair) 2.9* (to building face)	8.50 (15% of lot width)	3.00
Parking – minimum	22*	N/A	26
Bicycle parking stalls – minimum			
Long term	36	N/A	24
Short term	10	N/A	6

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, the applicant consulted the Fairfield Gonzales CALUC at a Community Meeting held on August 17, 2017. A second Community Meeting was held on December 13, 2018 to share changes to the application since the first meeting. Summaries of the two meetings are attached to this report.

ANALYSIS

Official Community Plan

The *Official Community Plan*, 2012 (OCP) Urban Place Designation for the subject property is Traditional Residential, which supports ground-oriented residential uses. The OCP states that new development may have a density of generally up to 1:1 FSR and up to two storeys in height. The OCP also notes that within each designation there will be a range of built forms and that decisions about the appropriate scale of building for a particular site will be based on an evaluation of the context in addition to consistency with OCP policies, other relevant City policies and local area plans. Given the existing context includes a range of building heights, including one, two and three storeys and the site is located on a transit corridor in close

proximity to an Urban Village, the proposed FSR of 0.85:1 and 2.5 storeys is considered appropriate for the subject property. In addition, the proposed townhouses also help advance the OCP housing objectives which encourage a diversity of housing types to create more home ownership options.

Gonzales Neighbourhood Community Plan

The housing objectives of the *Gonzales Neighbourhood Community Plan* promote the creation of a range of housing to meet the needs of people with different needs and incomes, which can include townhouses. The proposal for approximately 17 family-friendly attached dwellings (i.e. townhouses) is generally consistent with these objectives; however, the proposal is inconsistent with the Plan's housing recommendation, which encourages the continuation of single family zoning and land use policies that ensures the neighbourhood retains its detached dwelling character.

Housing Agreement

The applicant is amenable to entering into a Housing Agreement with the City to ensure that a future strata corporation could not pass any bylaws that would prohibit or restrict the rental of units to non-owners. The recommended motion provided for Council's consideration includes the necessary language.

Statutory Right-of-Way

The standard Right-of-Way for a collector street, such as Fairfield Road, is 20.0m. To achieve this, a Statutory Right-of-Way (SRW) of 1.15m is required on the Fairfield Road frontage for 1712 Fairfield Road. Staff recommend that Council make this requested SRW a condition of rezoning. The recommended motion provided for Council's consideration includes the necessary language.

Tree Preservation Bylaw and Urban Forest Master Plan

There were 26 trees inventoried by the project arborist in May 2018 (report attached). Five municipal trees (two in Hollywood Park and three boulevard trees on Fairfield Road), and 17 trees on neighbouring private properties were included in the review. All of the neighboring and publicly owned trees will be retained with the exception of one Cherry tree on the boulevard, which is proposed for removal due to its location within the parkade driveway entrance. This tree will be replaced with one new boulevard tree. The mature Ponderosa Pine and Horse Chestnut tree in Hollywood Park near the development would be protected and retained during the construction phase of this project.

There are two bylaw protected trees on the subject property. One bylaw protected Linden tree with poor structure would be removed; a bylaw protected Lombardy Poplar tree would be retained on the rear of the property. All of the non-protected site trees and shrubs are proposed for removal as they are unable to be retained due to the construction of the underground the parkade and building construction. Four replacement trees are proposed to replace the removed bylaw trees.

CONCLUSIONS

The proposal is consistent with the OCP as it relates to ground-oriented residential development within Traditional Residential areas and furthers the goals in the OCP with regards to

encouraging development along transit corridors in close proximity to services, and providing a diversity of housing types to create more home ownership options. Staff recommend for Council's consideration that the application advance to a Public Hearing, subject to the preparation of legal agreements.

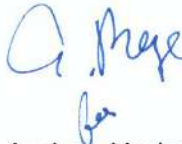
ALTERNATE MOTION

That Council decline Rezoning Application No. 00618 for the property located at 1712 & 1720 Fairfield Road.



Respectfully submitted,

Alec Johnston
Senior Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: February 25, 2019

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped September 25, 2018
- Attachment D: Letter from applicant to Mayor and Council dated February 4, 2019
- Attachment E: Community Association Land Use Committee Meeting Summaries from August 17, 2017 and December 13, 2018
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- Attachment I: Correspondence



Committee of the Whole Report For the Meeting of February 28, 2019

To: Committee of the Whole **Date:** February 15, 2019
From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development
Subject: Development Permit Application No. 00098 for 1712 & 1720 Fairfield Road

RECOMMENDATION

That Council, after giving notice and allowing an Opportunity for Public Comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00618, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 000519 for 1712 & 1720 Fairfield Road, in accordance with:

1. Plans date stamped September 25, 2018
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit Application for the property located at 1712 and 1720 Fairfield Road. The proposal is to construct three buildings containing approximately 17 attached dwelling units at a density of 0.85:1 floor space ratio (FSR).

The following points were considered in assessing this application:

- the proposal is generally consistent with the objectives for Development Permit Area 16: General Form and Character and the associated Design Guidelines
- the proposal is consistent with the *Gonzales Neighbourhood Community Plan* which encourages a contextual design response that draws on the character of the site and neighbouring properties; however, it is inconsistent with the Plan's recommendation to maintain the neighbourhood detached dwelling character

BACKGROUND

Description of Proposal

The proposal is for three buildings containing approximately 17 attached dwelling units (i.e. townhouses) at a density of 0.85:1 FSR.

Specific details include:

- contemporary building design with a simplified form and massing which incorporates passive design principles to improve energy efficiency
- two, 2.5-storey buildings sited closer to Fairfield Road and Hollywood Park and a two-storey building located at the rear of the site
- underground parking with 22 parking stalls
- individual entryways and private, at-grade amenity space for each unit
- common outdoor amenity space located between the buildings and at the rear of the site.

Exterior building materials include:

- vertical cedar cladding with a white wash finish
- cedar shingles
- standing seam metal roof
- rock dash stucco
- cedar doors with a dark stain finish
- aluminium frame windows
- glass guardrails with etched privacy glass.

Landscape elements include:

- concrete pavers
- cedar decking
- raised concrete planters with seating edge
- concrete retaining walls
- new perimeter plantings
- arbour structure with vines over the driveway
- IPE wood benches
- wayfinding signage and lighting.

Advisory Design Panel

The application was referred to the Advisory Design Panel (ADP) on March 28, 2018. The ADP was asked to comment on the overall building and landscape design, with particular attention to the following aspects of the proposal:

- building height and rooflines within the existing context
- relationship to Hollywood Park
- siting of the rear block of attached dwellings (townhouses).

The ADP meeting minutes are attached for reference, and the following motion was carried:

"It was moved...that the Advisory Design Panel recommend to Council that [Development Permit with Variance Application No. 00098] for 1712 & 1720 Fairfield Road be approved with consideration of the Panel's discussion as captured in the meeting minutes."

In response to the ADP motion and staff comments, the applicant has made the following changes to the proposal:

- reconfigured stair and ramp access to improve site accessibility and the functionality of the central courtyard as a common amenity area
- enclosed more of the parkade entry to increase the amount of usable outdoor amenity space, and to improve the transition between the central courtyard and the lower northeast portion of the site
- increased the separation space between the townhouse blocks
- reduced the floor area of the upper-storey so that Blocks 1 & 2 are now 2.5 storeys instead of three storeys.

ANALYSIS

Development Permit Area and Design Guidelines

The OCP identifies the site within Development Permit Area 16: General Form and Character. The objectives of this DPA are to integrate new developments in a manner which compliments and enhances the established place character of an area through high-quality architecture, landscape and urban design. Other objectives include providing sensitive transitions to adjacent properties with built form of three storeys or lower, and to achieve more liveable environments through considerations for human-scaled design, quality of open spaces, privacy impacts and safety and accessibility. Design Guidelines that apply to DPA 16 are the *Multi-Unit Residential, Commercial and Industrial Design Guidelines* (2012), *Advisory Design Guidelines for Buildings, Signs and Awnings* (2006), and *Guidelines for Fences, Gates and Shutters* (2010).

Multi-Unit Residential, Commercial and Industrial Design Guidelines

The *Multi-Unit Residential, Commercial and Industrial Design Guidelines* are applicable for multi-unit residential buildings of three or more units with the overall aim of achieving design excellence, livability and contribution to a sense of place. The Guidelines encourage new development that is sensitive to the existing context and provides an appropriate transition to lower density building forms.

Advisory Design Guidelines for Buildings, Signs and Awnings

The *Advisory Design Guidelines for Buildings, Sign and Awnings* state that an acceptable application will include consideration of an attractive streetscape, and that the architecture and landscaping of the immediate area be identified and acknowledged. In evaluating a design, particular emphasis is placed on the solution to the following general aspects: design approach, relevancy of expression, context, pedestrian access, massing, scale, roofline, street relationship and landscape plan.

Guidelines for Fences, Gates and Shutters

The *Guidelines for Fences, Gates and Shutters* state that fences, gates and shutters must complement the character of the street and not result in a fortress-like appearance; must integrate with building design, architectural finishes and materials for a cohesive effect; and not be the dominant feature of the building façade.

The proposal complies with the Guidelines noted above, as follows:

- the contemporary design adds to the variety of architectural styles along Fairfield Road

and incorporates traditional exterior materials that are high-quality, durable and will weather gracefully

- the reduced setbacks, street-oriented entrances and large windows help to frame the street and provide visual and physical connections to the public sidewalk
- the proposed development orients Block 2 adjacent to Hollywood Park with several at-grade entrances and primary windows facing the park, which helps to create a sense of enclosure, vitality and safety within the park
- the rear building (Block 3) is lower in height to provide a sensitive transition to the lower density houses to the north
- landscaped planting areas along the street and park frontages enhance the residential presence, as well as, the pedestrian experience within Hollywood Park and along Fairfield Road
- site planning and design is pedestrian-oriented with vehicle parking located in an enclosed underground parking garage, accessed from a shared driveway which reduces the number of driveway crossings on Fairfield Road.

Local Area Plans

The proposal is inconsistent with the *Gonzales Neighbourhood Community Plan's* recommendation to maintain the single family / detached character of the neighbourhood. However, it is consistent with the Plan's policy to encourage new housing that considers the existing character of the site and neighbouring properties in the design of new housing.

Consistent with this policy, the form of the three buildings follows the existing topography of the site, sloping from south to north and from west to east. In response to the context, the proposed buildings are located closer to Hollywood Park and Fairfield Road, which frames the park and enhances the streetscape while minimizing the shadowing impact on neighbouring properties and reducing the opportunity for overlook. In addition, the applicant proposes extensive new perimeter landscaping, particularly in the northeast and northwest corners of the site and along the north property line, to soften the transition with neighbouring properties and the more heavily vegetated areas of Hollywood Park.

The contemporary building design adds to the variety of architectural styles found along Fairfield Road while incorporating traditional materials such as cedar shingles, rock dash stucco and cedar siding, all of which are materials common to the neighbourhood.

CONCLUSIONS

The proposed development is generally consistent with the applicable Design Guidelines and includes high-quality building materials and landscape finishes. The contemporary design is supportable and complementary to the existing character of the area. Therefore, staff recommend for Council's consideration that Council support the application

ALTERNATE MOTION

That Council decline Development Permit with Variance Application No. 00098 for the property located at 1712 & 1720 Fairfield Road.

Respectfully submitted,



Alec Johnston
Senior Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

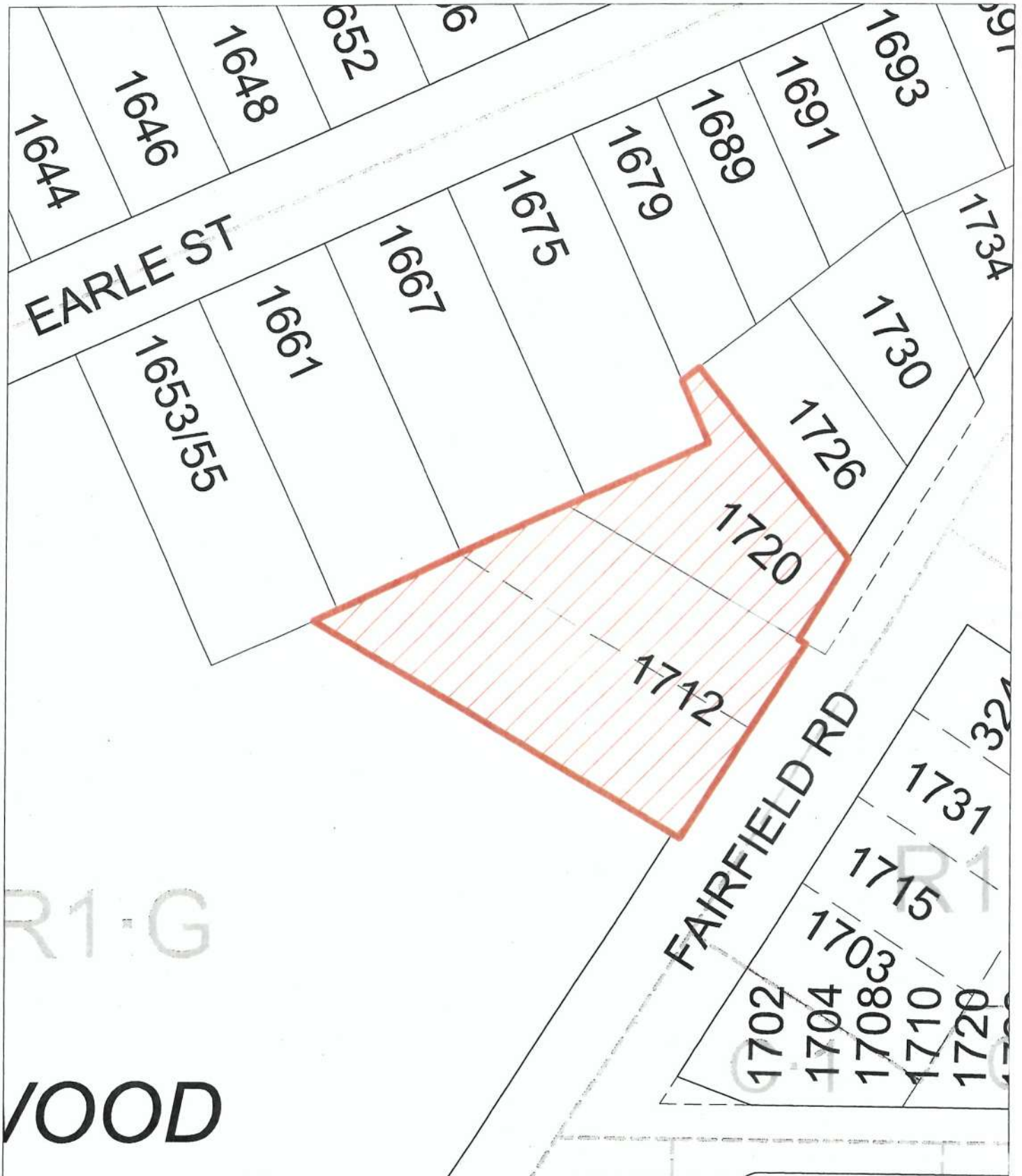
Report accepted and recommended by the City Manager:



Date: February 25, 2019

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
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1712 - 1720 Fairfield Road
Rezoning No.00618
Development Permit No.000519





1712 - 1720 Fairfield Road
Rezoning No.00618
Development Permit No.000519

ABBREVIATIONS

A	Adj.	Adjustable
A.F.F.	Above Finished Floor	
Alum.	Aluminum	
Anod.	Anodized	
Arch.	Architectural	
B/B	Back to Back	
Bd.	Board	
B.G.	Building Grade	
Bldg.	Building	
Bkg.	Blocking	
Bot. or Btm.	Bottom	
B/S	Both Sides	
C.B.	Catch Basin	
Chkd Pl.	Checkered Plate	
C.G.	Corner Guard	
C.J.	Conc. Joint	
C.O.	Concrete Opening	
Col.	Column	
Conc.	Concrete	
Cont.	Continuous	
Cov.	Covering	
D.F.	Drinking Fountain	
Dim.	Dimension	
On	Over	
Dwg.	Drawing	
E.G.	Existing Grade	
E.J.	Expansion Joint	
or Exp. Jt.		
Elec.	Electrical	
El. or Elev.	Elevation	
Eq.	Equipment	
Equip.	Equipment	
E/S	Each Side	
Exist.	Existing	
F.D.C.	Fire Department Cabinet	
F.E.C.	Fire Extinguisher	
Cabinet		
F.G.	Finished Grade	
Fin.	Finish	
Flr.	Floor	
G.I.	Galvanized Iron	
Gt.	Glass	
Gyp. Bd.	Gypsum Board	
G.W.B.	Gypsum Wall Board	
H.B.	Hose Bibb	
Honz.	Horizontal	
H.S.S.	Hot Rolled Steel	
I.D.	Inside Diameter	
I.G.	Interpolated Grade	
Insul.	Insulation	
Lg.	Long	
Loc.	Location	
M.	Maximum	
Min.	Minimum	
M.O.	Masonry Opening	
N.A.	Not Applicable	
N.C.	Not in Contract	
No.	Number	
N.T.S.	Not to Scale	
O.C.	On Centre	
O.D.	Outside Diameter	
O.H.	Over Head	
Opp.	Opposite	
Opn'g	Opening	
O.W.S.J.	Open Web Steel Joist	
P.	Plastic	
P.Lam.	Plastic Laminate	
Pl.	Plate	
Phy.	Physical	
Pl.	Paint	
P.T.	Pressure Treated	
Q.T.	Quarry Tile	
R.	Rubber	
R.C.B.	Rubber Cove Base	
R.O.	Rough Opening	
Req'd	Required	
Rev.	Reverse	
Rm.	Room	
R.W.L.	Rain Water Leader	
Sect.	Section	
Sim.	Similar	
Spec.	Specification	
St.	Stainless Steel	
S.S.	Stainless Steel	
St. or Stl.	Steel	
Std. Struct.	Standard Structural	
T.O.	Top of	
Typ.	Typical	
U.	Unless Noted	
U/S	Underside	
V.	Vinyl Composition Tile	
Vert.	Vertical	
W.	Wah	
W/O	Without	
W.W.M.	Wooded Wire Mesh	

MATERIALS LEGEND

	BRICK
	CONCRETE
	CONCRETE BLOCK
	GYPSUM BOARD
	PLYWOOD
	SOLID WOOD
	RIGID & SEM RIGID INSULATION
	BATT / ACOUSTIC INSULATION
	SPRAY FOAM INSULATION
	GRAVEL
	ASPHALT
	STRUCTURAL STEEL
	EARTH / BACKFILL
	ROOF MEMBRANE / AIR / VAPOUR RETARDER / DAMPROOFING

GENERAL NOTES

- All labour, materials and products to comply with requirements of the British Columbia Building Bylaw 2012 edition (BCBC 2012), and all other applicable codes, standards and bylaws.
- For topographical information refer to Site Survey A004.
- Architectural drawings to be read in conjunction with all other consultants' documents.
- For proposed utility locations and dimensions, refer to Floor Plan and Elevation drawings.



Spatial Separation (Block 1)							
	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	F.R.R.	Construction Type	Cladding
North	144.9 m ²	4.0 m	36%	26%	—	Combustible	Combustible
South	208.4 m ²	>9.0 m	100%	31.4%	—	Combustible	Combustible
East	128.5 m ²	6.2 m	71%	5.2%	—	Combustible	Combustible
West	129.5 m ²	2.9 m	25%	8.3%	—	Combustible	Combustible

Spatial Separation (Block 2)							
	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	F.R.R.	Construction Type	Cladding
North	117.2 m ²	3.0 m	26%	11%	—	Combustible	Combustible
South	100.4 m ²	>8.0 m	100%	24%	—	Combustible	Combustible
East	139.7 m ²	4.0 m	36%	34%	—	Combustible	Combustible
West	269.1 m ²	3.5 m	26%	24%	—	Combustible	Combustible

Spatial Separation (Block 3)							
	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	F.R.R.	Construction Type	Cladding
North	254.6 m ²	6.1 m	53%	33%	—	Combustible	Combustible
South	231.4 m ²	4.0 m	30%	30%	—	Combustible	Combustible
East	73.6 m ²	>9.0 m	100%	6%	—	Combustible	Combustible
West	35.5 m ²	5.2 m	62%	23%	—	Combustible	Combustible

PROJECT DATA

LEGAL DESCRIPTION	PLAN 290 VICTORIA LOT 4 INCL PCL A SECTION FFLO PLAN 290 EXC PT IN STREET, LOT 6 PLAN 1834 SECTION 68 VICTORIA	
CIVIC ADDRESS	1712 + 1720 Fairfield Road	
ZONING (Current)	R1-G	
ZONING (Proposed)	CD-TBD	
SITE AREA	2433.2 m²	
LOT WIDTH	48.38 m	
ABOVE GRADE FLOOR AREA	2065.9 m²	
BELOW GRADE FLOOR AREA	201.7 m²	
TOTAL FLOOR AREA	2267.6 m²	
COMM. FLOOR AREA	0.0	
AVERAGE GRADE	12.70m	
DIST. UNIT ENTRANCE TO PL	4.2m	
<div><div>PERMITTED42m</div><div>PROPOSED</div></div>		
FLOOR SPACE RATIO	05. - 1.0	0.85
SITE COVERAGE	30%	60%
OPEN SITE SPACE	50%	35.5%
BUILDING HEIGHT	7.6m	11.45m
NUMBER OF STOREYS	2	2.5
VEHICLE PARKING	22	22
BICYCLE PARKING	17	36 (Long Term) 10 (Short Term)
BUILDING SETBACKS		
FRONT YARD	7.5m	1.68m
REAR YARD	9.1m or 30% of Site Depth	6.1m
SIDE YARD (WEST)	1.5m	1.7m
SIDE YARD (EAST)	3.9m	6.7m
COMBINED SIDE YARD	min. 5.4m	8.4m
RESIDENTIAL USE DETAILS		
Total Number of Units		17
Unit Type		2-3 Bedroom
Ground Oriented Units		17
Maximum Unit Floor Area		114.4m²
Total Residential Floor Area		2267.6 m²

AVERAGE GRADE CALCULATION

Grade Points	Ang. of Points	Distance Between Grade Points	Totals	Perimeter
Block 1				
A + B	13.485 + 13.085 / 2 =	13.285	22.560	259.975
B + C	13.085 + 13.485 / 2 =	13.285	13.285	176.138
C + D	13.485 + 13.485 / 2 =	13.485	22.560	304.481
D + A	13.485 + 13.485 / 2 =	13.485	13.285	176.138
Block 2				
A + B	13.485 + 13.485 / 2 =	13.485	10.870	146.250
B + C	13.485 + 13.485 / 2 =	13.485	22.560	291.015
C + D	13.485 + 13.485 / 2 =	13.485	13.285	176.138
D + A	13.485 + 13.485 / 2 =	13.485	22.560	291.015
Block 3				
A + B	11.820 + 13.485 / 2 =	12.653	21.305	286.547
B + C	13.485 + 12.579 / 2 =	13.032	10.870	141.638
C + D	12.579 + 10.807 / 2 =	11.693	38.405	450.122
D + A	10.807 + 11.820 / 2 =	11.314	12.485	167.004
Total				241.175
Average Grade				12.251786m

SHAPE
Architecture Inc.

534 WEST FIDDER STREET
VANCOUVER BC CANADA
V6E 1V8
TEL: (604) 687-4457
EMAIL: info@shapearchitect.com
WEB: www.shapearchitect.com

PLOT INFO.
PLOT STAMP LOCATION

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone	31/01/2018
3	Revisions	
4	Issued for Rezone	25/04/2018
5	Revisions	
6	Issued for Rezone	18/05/2018
7	Comments	
8	Rezone Revisions	08/08/2018
9	Rezone Revisions	19/09/2018

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

General Notes & Symbols

DATE 19/09/2018
DRAWN BY MH
CHECKED BY AS
SCALE As indicated
JOB NUMBER 1707

A001



NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Survey Plan

DATE	19/09/2018
DRAWN BY	Author
CHECKED BY	Checker
SCALE	
JOB NUMBER	1707

Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

A004

PLOT INFO.

PLOT STAMP LOCATION

Statement of Site Coverage	
	Site Coverage (Proposed Room Existing to 201)
	Open Site Space
Site Area	2432.2 m ²
Site Coverage	1400.4 (57.6%)
Open Space	1031.8 (42.4%)

REVISIONS

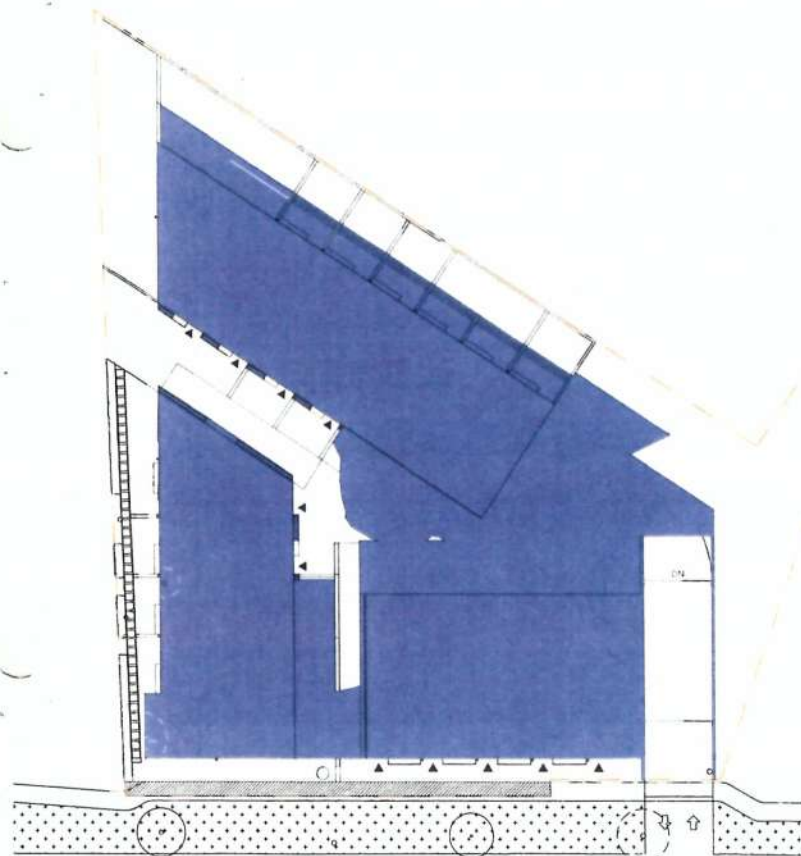
NO	DESCRIPTION	DATE
2	Issued for Rezone Flourours	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
5	Issued for Rezone Comments	08/08/2018
6	Rezone Revisions	19/09/2018

1712 Fairfield Road Multi-Family Development

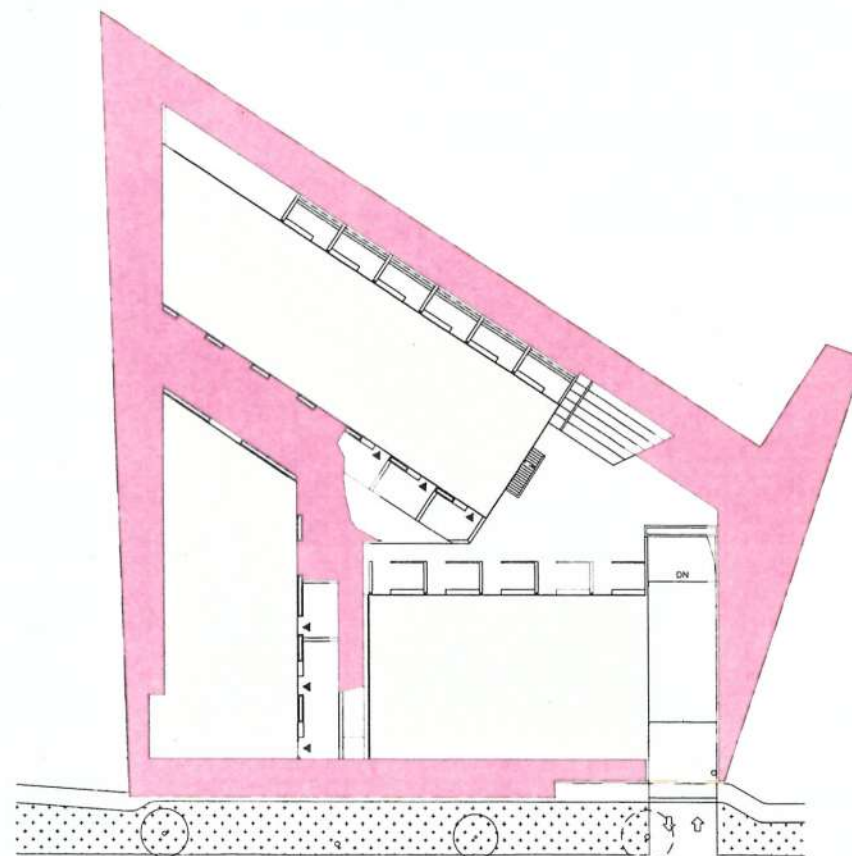
Issued for Rezone Revisions

Site Coverage

DATE	19/09/2018
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	1707



1 SITE COVERAGE
1:200



2 OPEN SITE SPACE
1:200

Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

Comment 4: Revise Site Coverage and
Open Site Space calculations with regard
to driveway sloping below existing grade.

A050

Area Schedule (Level 0)			
Name	Area	Level	Count
B3 Level 0 (6)	26 m ²	Level 0 Parking	1
B3 Level 0 (5)	27 m ²	Level 0 Parking	1
B3 Level 0 (4)	27 m ²	Level 0 Parking	1
B3 Level 0 (3)	27 m ²	Level 0 Parking	1
B3 Level 0 (2)	27 m ²	Level 0 Parking	1
B3 Level 0 (1)	27 m ²	Level 0 Parking	1
C3 Level 0	40 m ²	Level 0 Parking	1
Grand total	201 m ²		



REVISIONS

NO	DESCRIPTION	DATE

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Level 0 Area Plan

DATE	19/09/2018
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 100
JOB NUMBER	1707

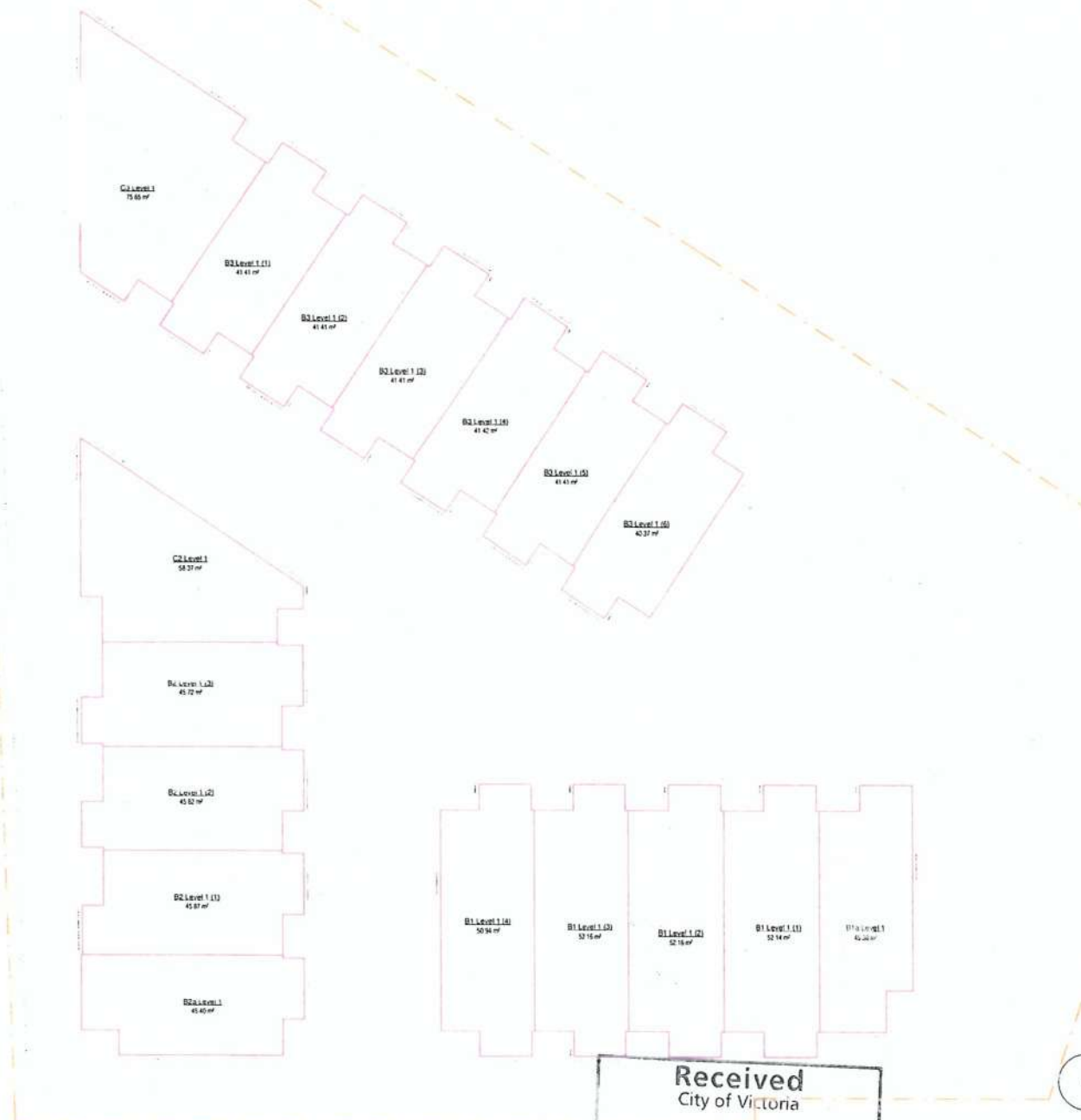
Received
City of Victoria

SEP 25 2018

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Development Services Division

A051

Area Schedule (Level 1)			
whet	Area	Level	Count
C2 Level 1	58 m²	LEVEL 1	1
B2 Level 1	46 m²	LEVEL 1	1
(3)			
B2 Level 1	46 m²	LEVEL 1	1
(2)			
B2a Level 1	45 m²	LEVEL 1	1
B2 Level 1	46 m²	LEVEL 1	1
(1)			
B1 Level 1	51 m²	LEVEL 1	1
(4)			
B1 Level 1	52 m²	LEVEL 1	1
(3)			
B1 Level 1	52 m²	LEVEL 1	1
(2)			
B1 Level 1	52 m²	LEVEL 1	1
(1)			
B1a Level 1	45 m²	LEVEL 1	1
C3 Level 1	76 m²	LEVEL 1	1
B3 Level 1	41 m²	LEVEL 1	1
(1)			
B3 Level 1	41 m²	LEVEL 1	1
(2)			
B3 Level 1	41 m²	LEVEL 1	1
(3)			
B3 Level 1	41 m²	LEVEL 1	1
(4)			
B3 Level 1	41 m²	LEVEL 1	1
(5)			
B3 Level 1	40 m²	LEVEL 1	1
(6)			
Grand total	817 m²		



REVISIONS

NO	DESCRIPTION	DATE

1712 Fairfield Road Multi-Family Development

Issued for Rezone Revisions

Level 1 Area Plan

DATE	19/09/2018
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 100
JOB NUMBER	1707

Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

A052

Area Schedule (Level 2)			
What	Area	Level	Count
B1a Level 2 (1)	55 m ²	Level 2	1
B1 Level 2 (2)	57 m ²	Level 2	1
B1 Level 2 (3)	57 m ²	Level 2	1
B1 Level 2 (4)	56 m ²	Level 2	1
B2a Level 2 (1)	49 m ²	Level 2	1
B2 Level 2 (2)	51 m ²	Level 2	1
B2 Level 2 (3)	51 m ²	Level 2	1
C2 Level 2 (1)	62 m ²	Level 2	1
C3 Level 2 (1)	80 m ²	Level 2	1
B3 Level 2 (1)	46 m ²	Level 2	1
B3 Level 2 (2)	46 m ²	Level 2	1
B3 Level 2 (3)	46 m ²	Level 2	1
B3 Level 2 (4)	46 m ²	Level 2	1
B3 Level 2 (5)	46 m ²	Level 2	1
B3 Level 2 (6)	45 m ²	Level 2	1
Grand total	901 m²		



REVISIONS

NO	DESCRIPTION	DATE
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1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Level 2 Area Plan

DATE	19/09/2018
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 100
JOB NUMBER	1707

Received
City of Victoria

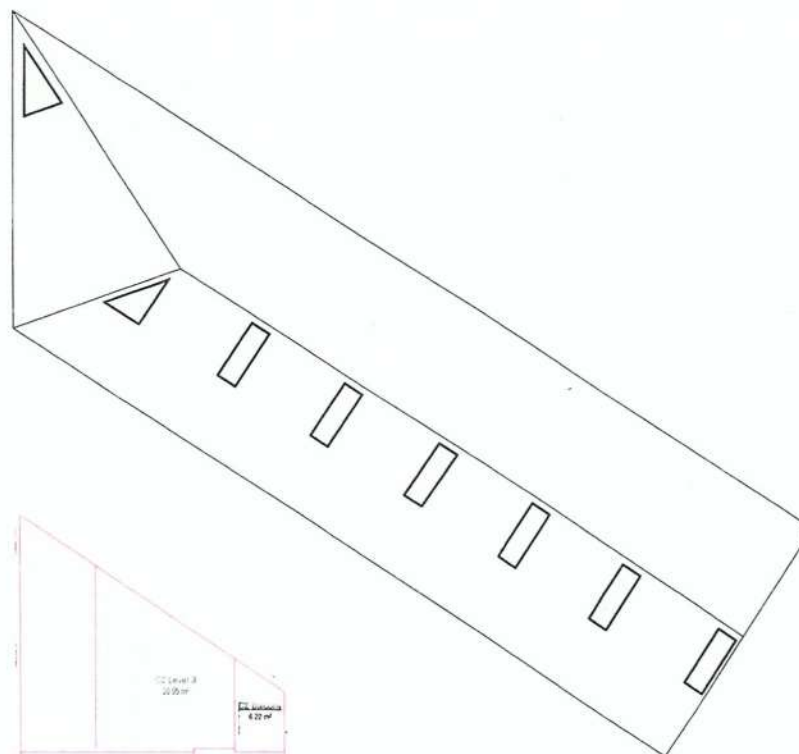
SEP 25 2018

Planning & Development Department
Development Services Division

A053

Area Schedule (Level 3)			
Item	Area	Level	Count
B2 Level 3 (3)	34 m²	Level 3	1
B2 Level 3 (1)	34 m²	Level 3	1
B2a Level 3	33 m²	Level 3	1
B1a Level 3	35 m²	Level 3	1
B1 Level 3 (1)	36 m²	Level 3	1
B1 Level 3 (2)	36 m²	Level 3	1
B1 Level 3 (3)	36 m²	Level 3	1
B1 Level 3 (4)	35 m²	Level 3	1
B2 Level 3 (2)	34 m²	Level 3	1
C2 Level 3	31 m²	Level 3	1
Grand total	344 m²		

Area Schedule (Level 3 Balcony)			
Item	Area	Level	Count
B2 (3) Balcony	18 m²	Level 3	1
B2 (2) Balcony	18 m²	Level 3	1
B2 (1) Balcony	18 m²	Level 3	1
B2a Balcony	17 m²	Level 3	1
B1 (4) Balcony	22 m²	Level 3	1
B1 (3) Balcony	22 m²	Level 3	1
B1 (2) Balcony	22 m²	Level 3	1
B1 (1) Balcony	22 m²	Level 3	1
B1a Balcony	22 m²	Level 3	1
C2 Balcony	6 m²	Level 3	1
Grand total	186 m²		



C2 Level 3 20.00 m²	B2 Balcony 4.22 m²
B2 Level 3 (1) 34.10 m²	B2 (1) Balcony 17.30 m²
B2 Level 3 (2) 34.10 m²	B2 (2) Balcony 17.30 m²
B2 Level 3 (3) 34.10 m²	B2 (3) Balcony 17.30 m²
B1a Level 3 33.17 m²	B1a Balcony 17.20 m²

B1a Balcony 21.62 m²	B1 (1) Balcony 22.20 m²	B1 (2) Balcony 22.20 m²	B1 (3) Balcony 22.20 m²	B1a Balcony 21.54 m²
B1 Level 3 (4) 34.07 m²	B1 Level 3 (3) 33.91 m²	B1 Level 3 (2) 34.07 m²	B1 Level 3 (1) 33.91 m²	B1a Level 3 34.02 m²

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City of Victoria
SEP 25 2018
Planning & Development Department
Development Services Division

REVISIONS		
NO	DESCRIPTION	DATE

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Level 3 Area Plan

DATE	19/09/2018
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 100
JOB NUMBER	1707



A054

PLOT INFO.

SEP 25 2018

Planning & Development Department
Development Services Division

REVISIONS		
NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

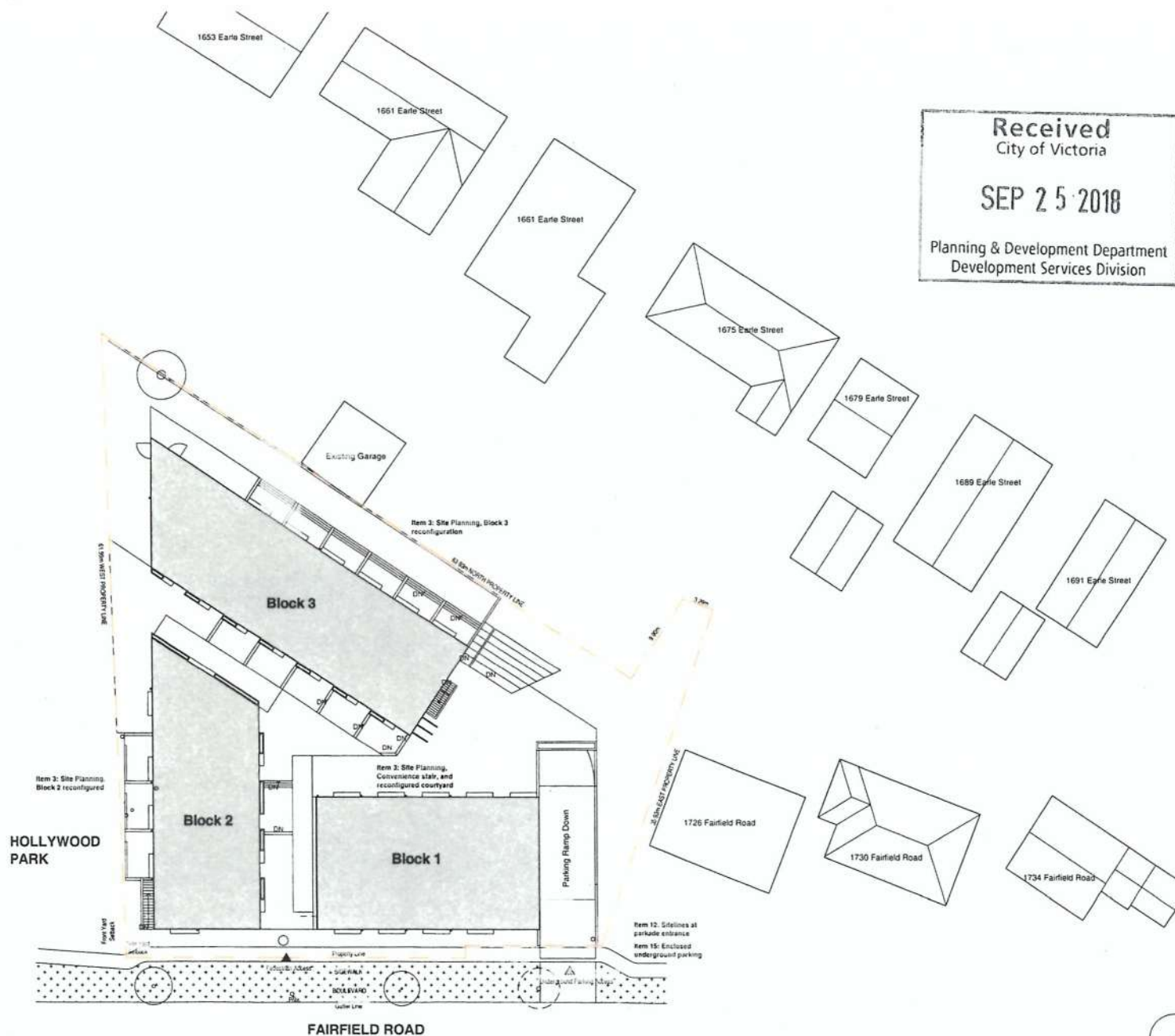
**1712 Fairfield Road
Multi-Family
Development**

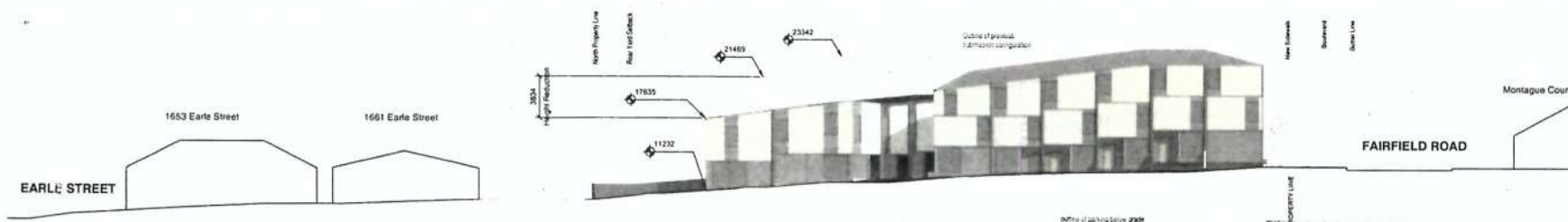
Issued for Rezone Revisions

Context Plan

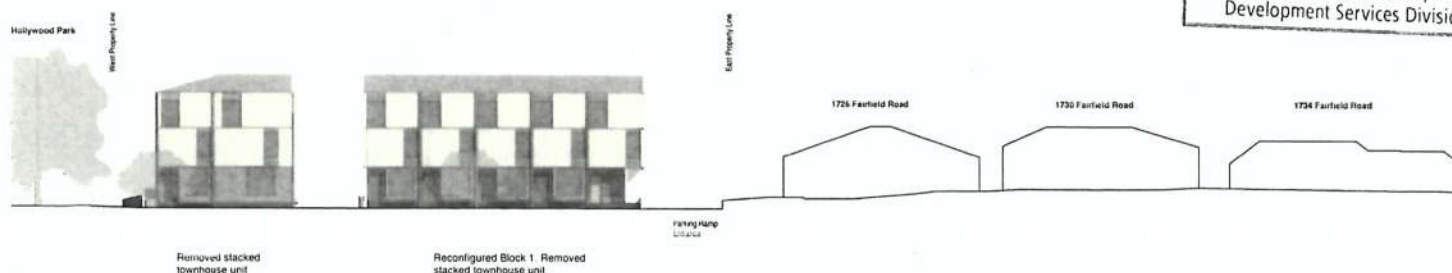
DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1 : 200
JOB NUMBER	1707

A100

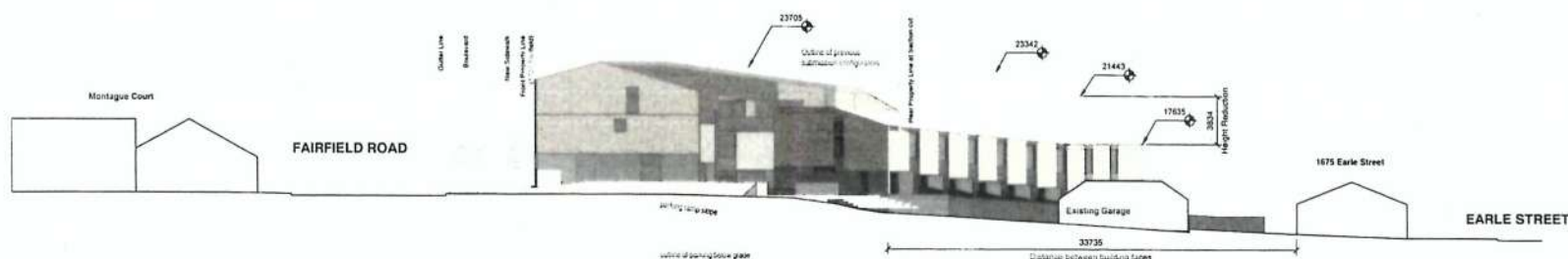




1 Context Elevation West
1:200



2 Context Elevation South
1:200



3 Site Section to Earle Street
1:200

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	23/05/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Context Streetscapes

DATE	19/05/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:200
JOB NUMBER	1707

A101

PROJECT DATA

LEGAL DESCRIPTION: PLAN 290 VICTORIA LOT 4 INCL PCL A SECTION FFLD PLAN 290 EXC PT IN STREET, LOT 6 PLAN 1834 SECTION 68 VICTORIA

CIVIC ADDRESS: 1712 + 1720 Fairfield Road
 ZONING (Current): R1-G
 ZONING (Proposed): CD-TBD
 SITE AREA: 2433.2 m²
 LOT WIDTH: 48.38 m
 ABOVE GRADE FLOOR AREA: 2065.9 m²
 BELOW GRADE FLOOR AREA: 201.7 m²
 TOTAL FLOOR AREA: 2267.6 m²
 COMM. FLOOR AREA: 0.0
 AVERAGE GRADE: 12.70m
 DIST. UNIT ENTRANCE TO PL: 4.2m

PERMITTED 42m PROPOSED

OR SPACE RATIO: 05 - 1.0 0.85
 E COVERAGE: 30% 60%
 OPEN SITE SPACE: 50% 35.5%
 BUILDING HEIGHT: 7.6m 11.45m
 NUMBER OF STOREYS: 2 2.5
 VEHICLE PARKING: 22 22
 BICYCLE PARKING: 17 36 (Long Term)
 10 (Short Term)

BUILDING SETBACKS

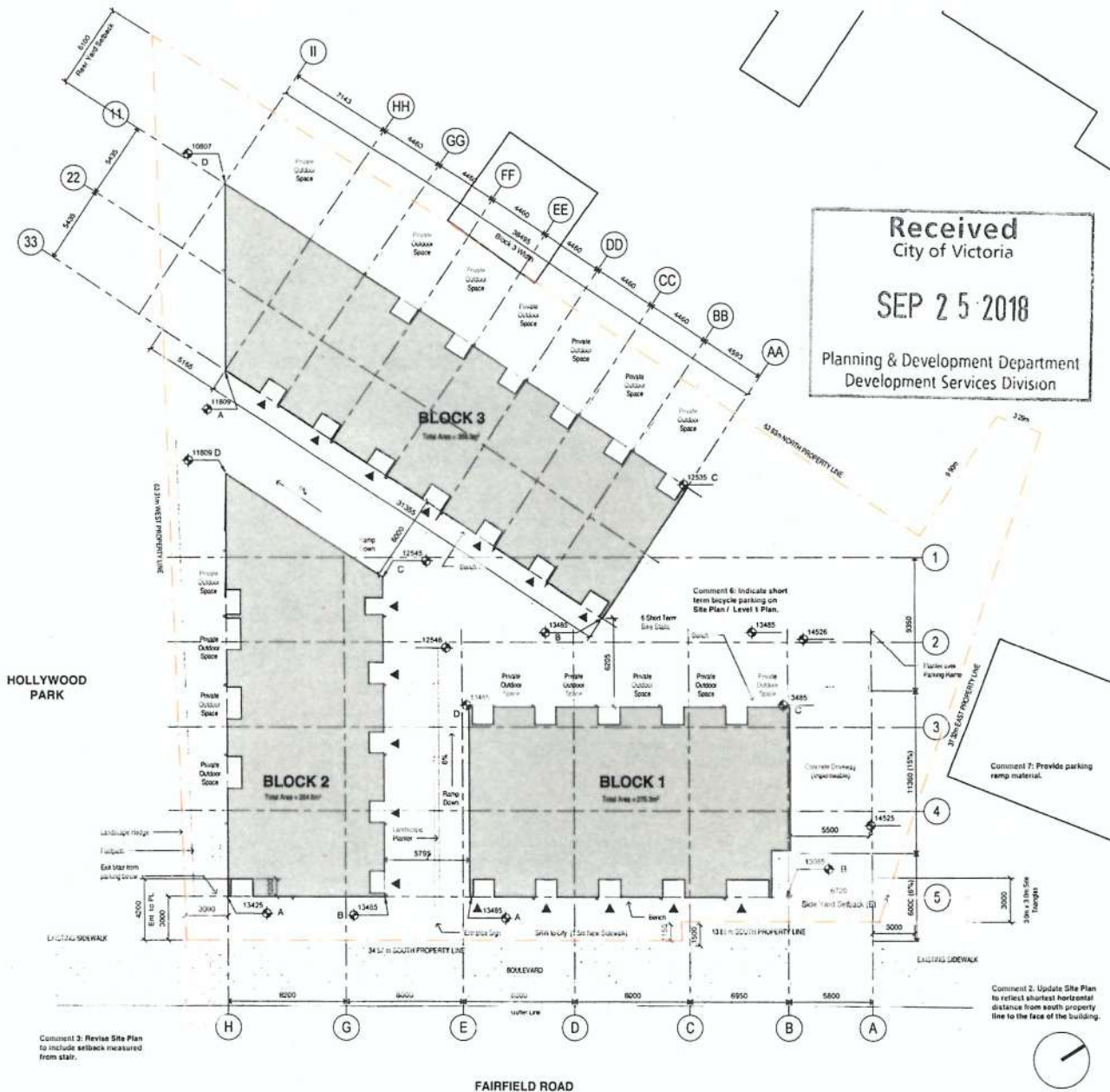
FRONT YARD: 7.5m 1.68m
 REAR YARD: 9.1m or 30% of Site Depth 6.1m
 SIDE YARD (WEST): 1.5m 1.7m
 SIDE YARD (EAST): 3.9m 6.7m
 COMBINED SIDE YARD: min. 5.4m 8.4m

RESIDENTIAL USE DETAILS

Total Number of Units: 17
 Unit Type: 2-3 Bedroom
 Ground Oriented Units: 17
 Minimum Unit Floor Area: 114.4m²
 Total Residential Floor Area: 2267.6 m²

VERAGE GRADE CALCULATION

Grade Points	Ang of Points	Distance Between Grade Points	Total	Perimeter
Block 1				
A + B	12.445 + 12.545/2 =	12.265	250.675	11.400
B + C	12.385 + 12.445/2 =	12.265	176.158	
C + D	12.445 + 12.445/2 =	12.445	326.617	
D + A	12.445 + 12.445/2 =	12.445	176.617	
Block 2				
A + B	12.425 + 12.425/2 =	12.425	146.236	12.720
B + C	12.425 + 12.545/2 =	12.285	227.960	
C + D	12.545 + 12.545/2 =	12.545	126.331	
D + A	12.545 + 12.425/2 =	12.485	322.215	
Block 3				
A + B	12.445 + 12.445/2 =	12.445	346.517	11.700
B + C	12.445 + 12.545/2 =	12.285	147.158	
C + D	12.545 + 12.545/2 =	12.545	346.425	
D + A	12.545 + 12.445/2 =	12.495	147.204	
Total				347.130
Average Grade				12.700/3000



SHAPE
 Architecture Inc

1714 WEST FERNHILL STREET
 VANCOUVER, BC CANADA V6B 1Y8
 TEL: (604) 461-4437
 EMAIL: info@shapearch.com
 WEB: www.shapearch.com

PLOT INFO.
 PLOT STAMP LOCATION

Site Plan Legend

- To be RETAINED
- To be REMOVED
- Unit Access
- Parking Entrance

LEGEND
 Existing Grade

NO	DESCRIPTION	DATE
1	Issued for Rezone	22/05/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Revisions	18/05/2018
5	Issued for Rezone Comments	08/06/2018
6	Rezone Revisions	19/09/2018

**1712 Fairfield Road
 Multi-Family
 Development**
 Issued for Rezone Revisions

Site Plan

DATE: 19/09/2018
 DRAWN BY: MH
 CHECKED BY: AS
 SCALE: As indicated
 JOB NUMBER: 1707

A102

Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezoning	31/01/2018
3	Issued for Rezoning	25/04/2018
4	Issued for Rezoning	16/05/2018
5	Issued for Rezoning	08/08/2018
6	Rezoning Revisions	19/09/2018

1712 Fairfield Road
Multi-Family
Development

Issued for Rezoning Revisions

PARKING LEVEL PLAN

DATE	15/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	As indicated
JOB NUMBER	1707

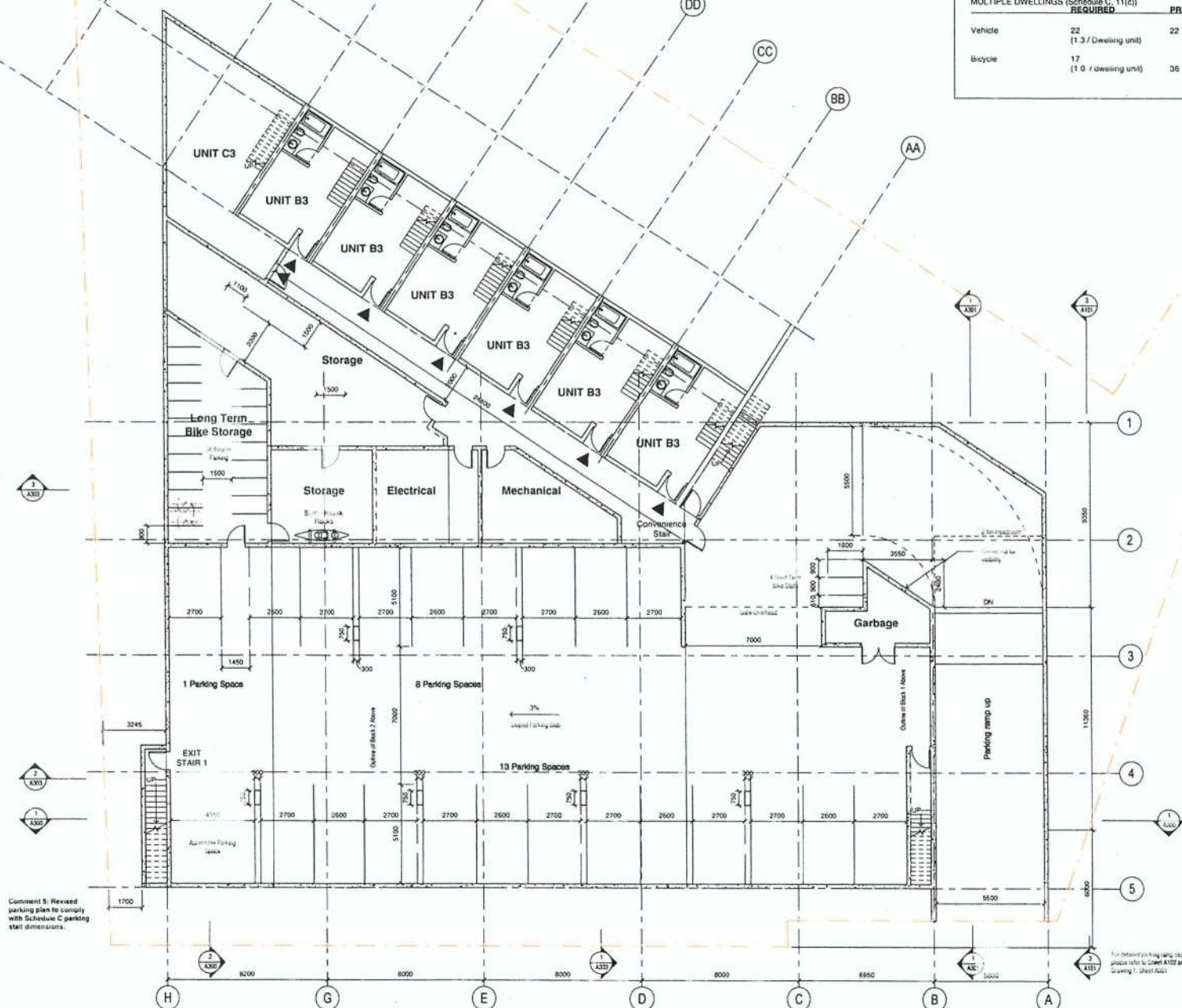
A200

PARKING DATA

Vehicle Parking	22 spaces
Bicycle Parking	Long Term 36 Short term 10

MULTIPLE DWELLINGS (Schedule C, 11(c))

	REQUIRED	PROPOSED
Vehicle	22 (1.3 / Dwelling unit)	22
Bicycle	17 (1.0 / dwelling unit)	36



Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

REVISIONS		
NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018
6	Rezone Revisions	19/09/2018

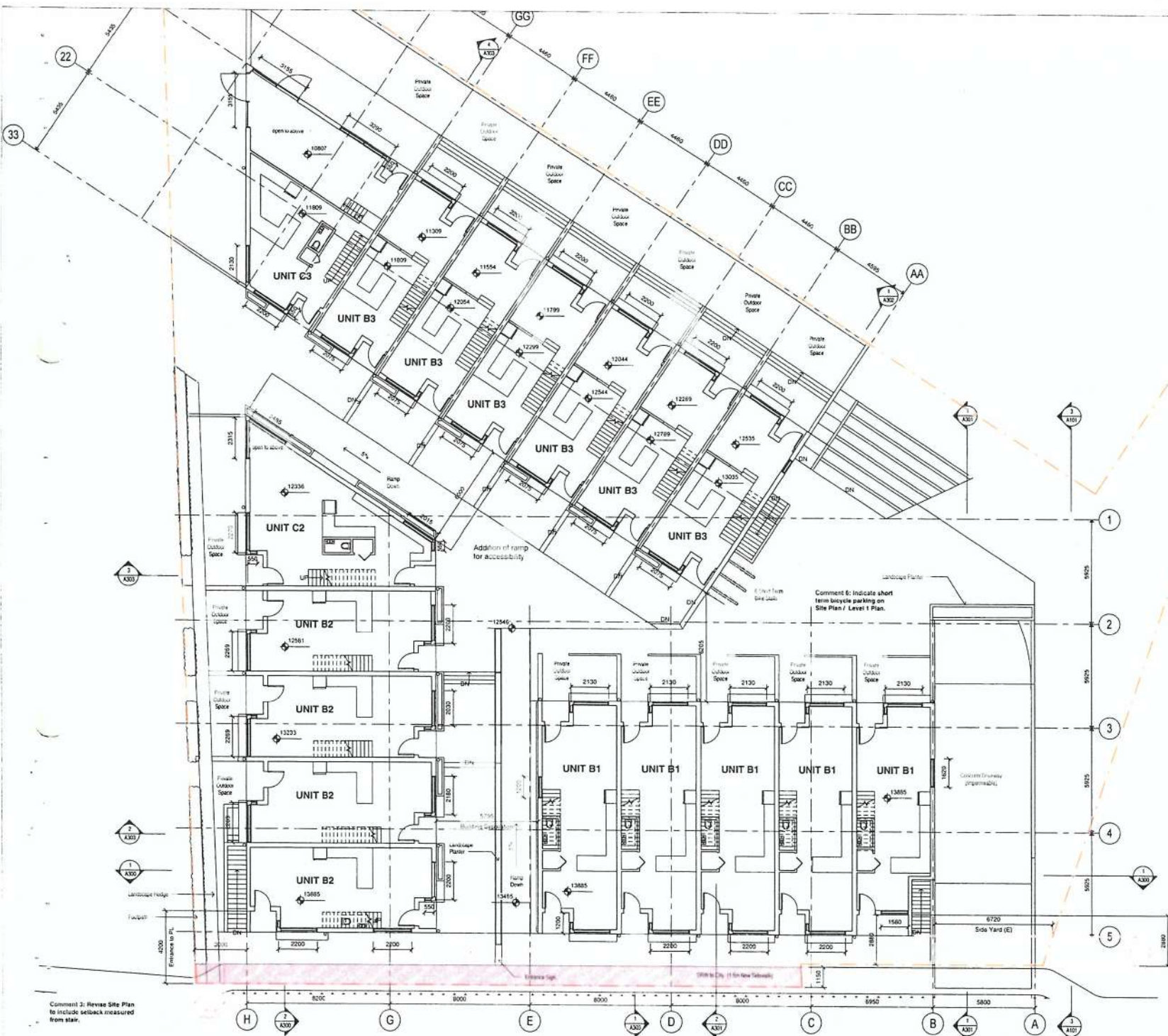
1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Level 1 Plan

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1 : 100
JOB NUMBER	1707

Comment 2: Update Site Plan to reflect shortest horizontal distance from south property line to the face of the building

A201



PLOT INFO.

Planning & Development Department
Development Services Division

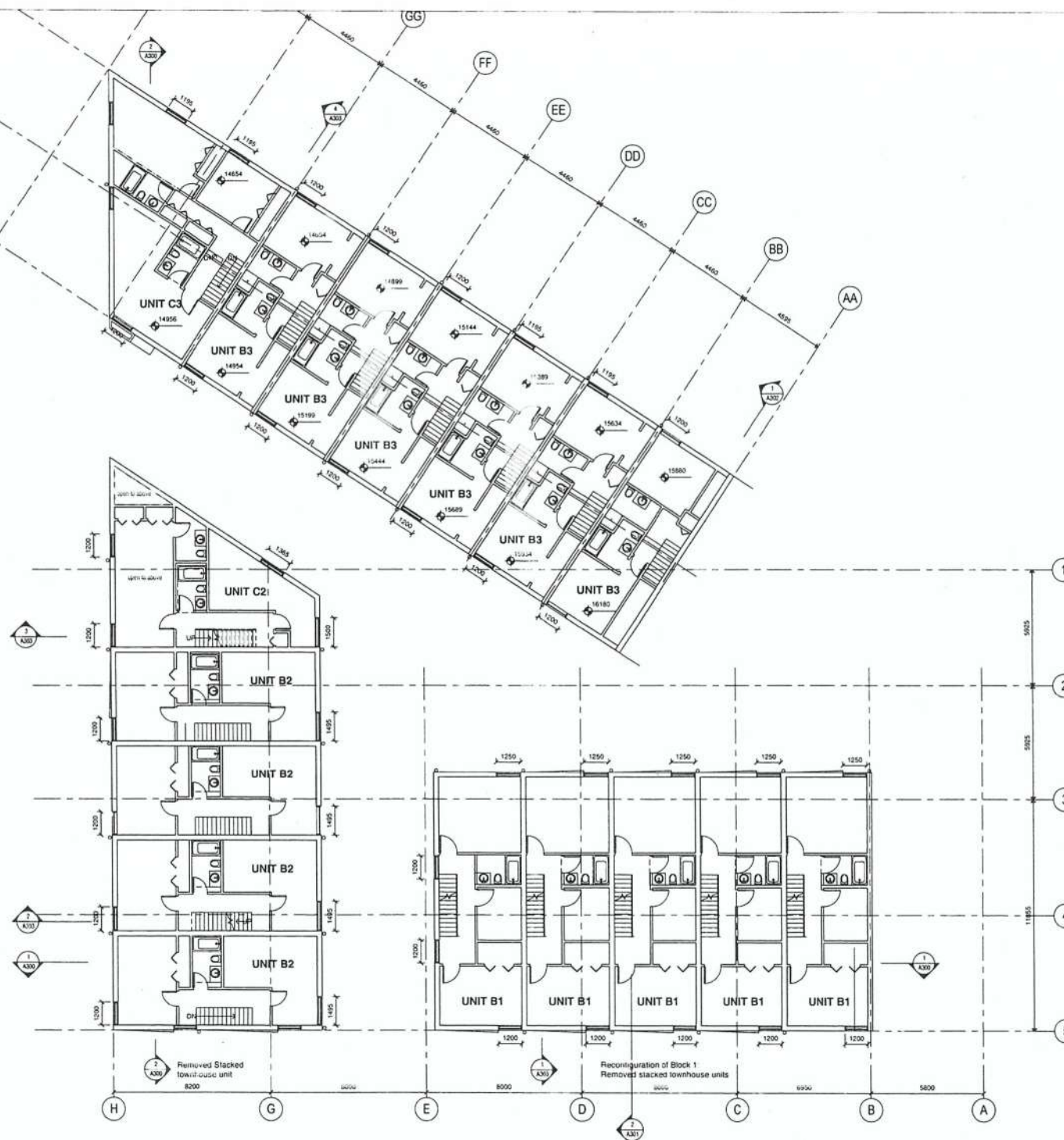
REVISIONS		
NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Level 2 Plan

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1 : 100
JOB NUMBER	1707

210



Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

REVISIONS

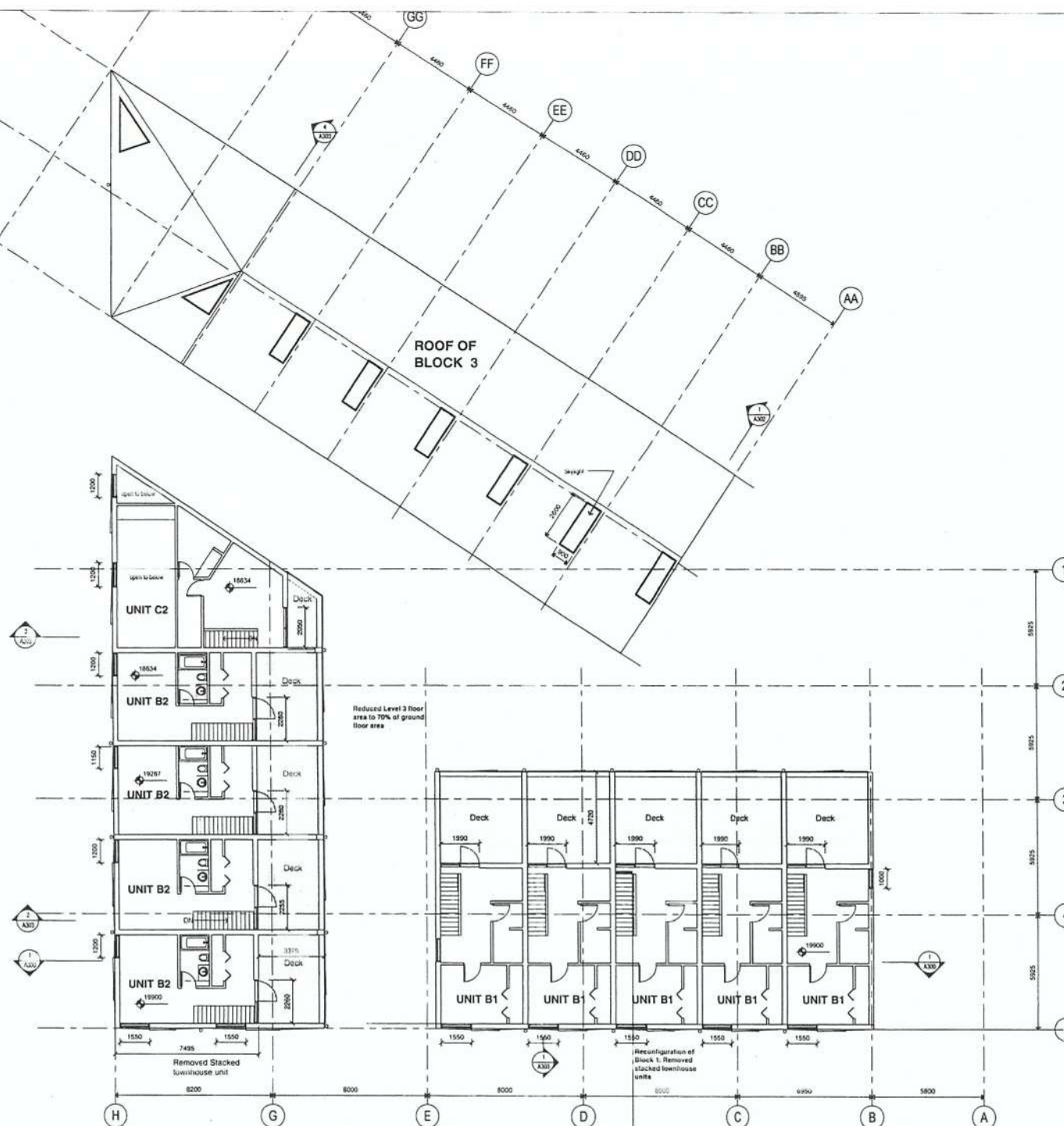
NO	DESCRIPTION	DATE
1	Issued for Rezone	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Level 3 Plan

DATE	19/09/2018
DRAWN BY	MPH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707

A203



Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018
6	Rezone Revisions	19/09/2018

1712 Fairfield Road Multi-Family Development

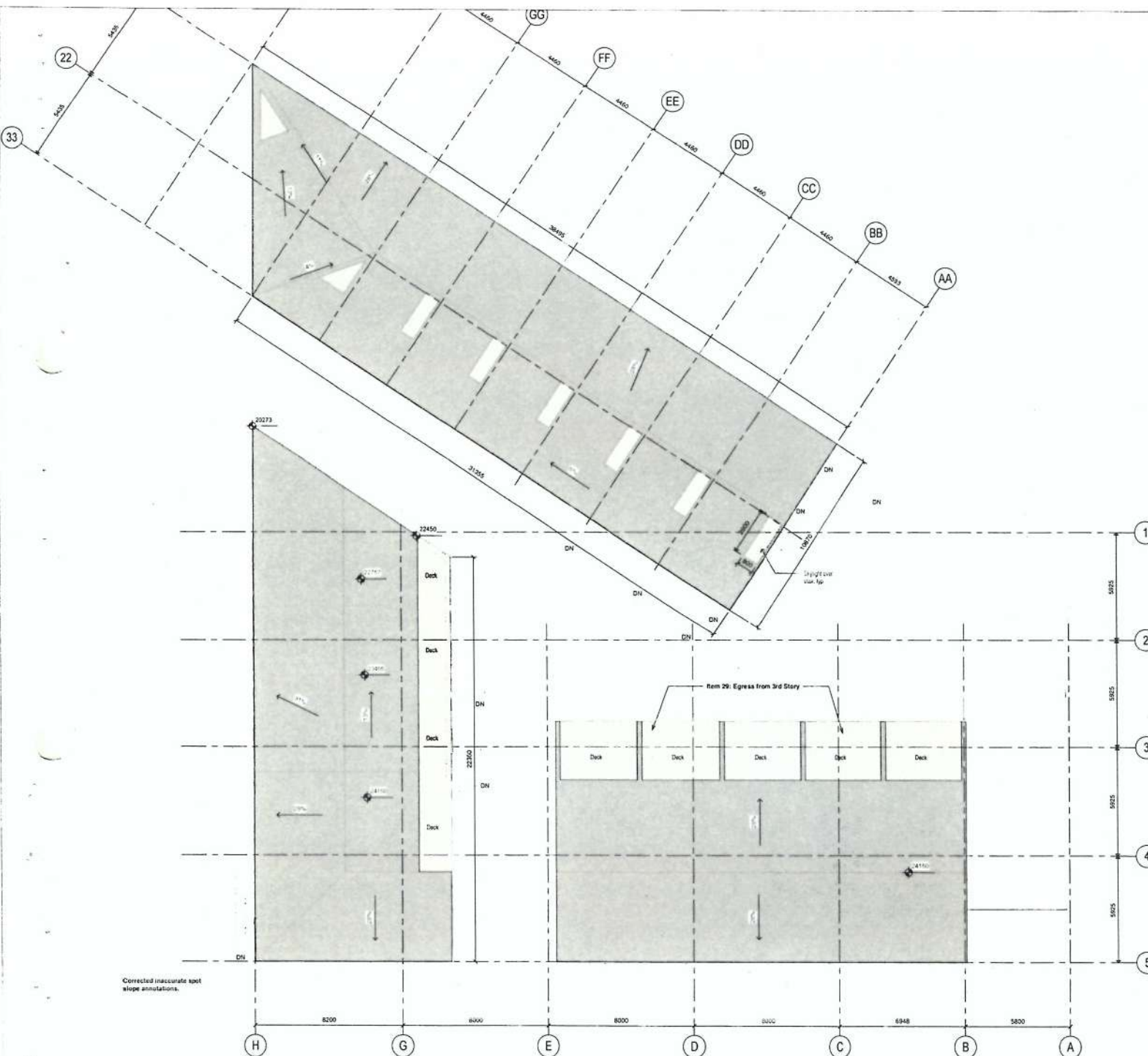
Issued for Rezone Revisions

Roof Plan

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707



A204



Received
City of Victoria

SEP 25 2018

Planning & Development Department
Development Services Division

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezone	29/05/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

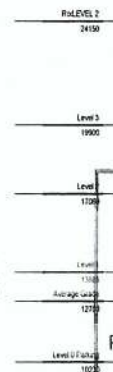
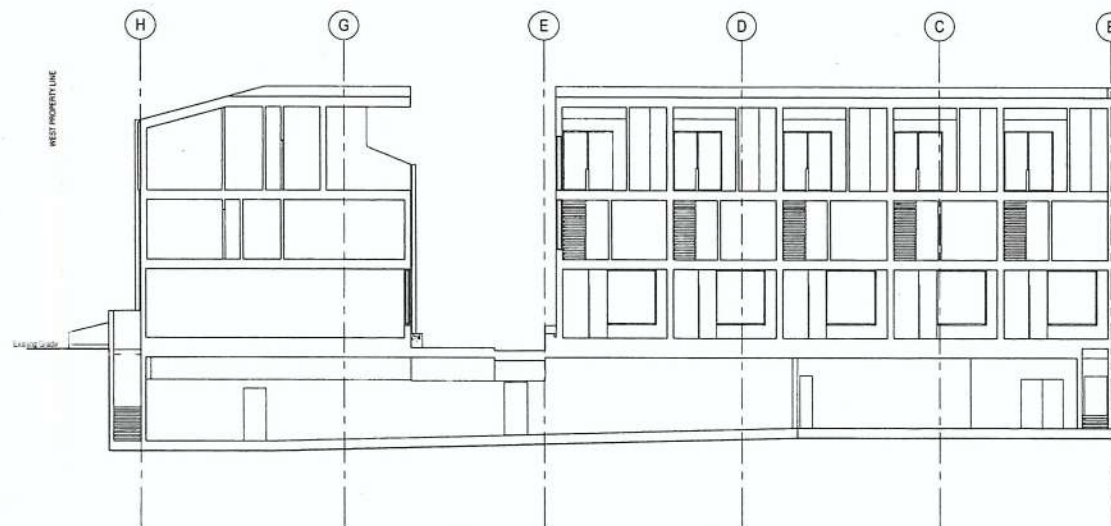
**1712 Fairfield Road
Multi-Family
Development**

Issued for Rezone Comments

Site Sections

DATE	09/08/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1 : 100
JOB NUMBER	1707

A300



1 East-West Section
1 : 100



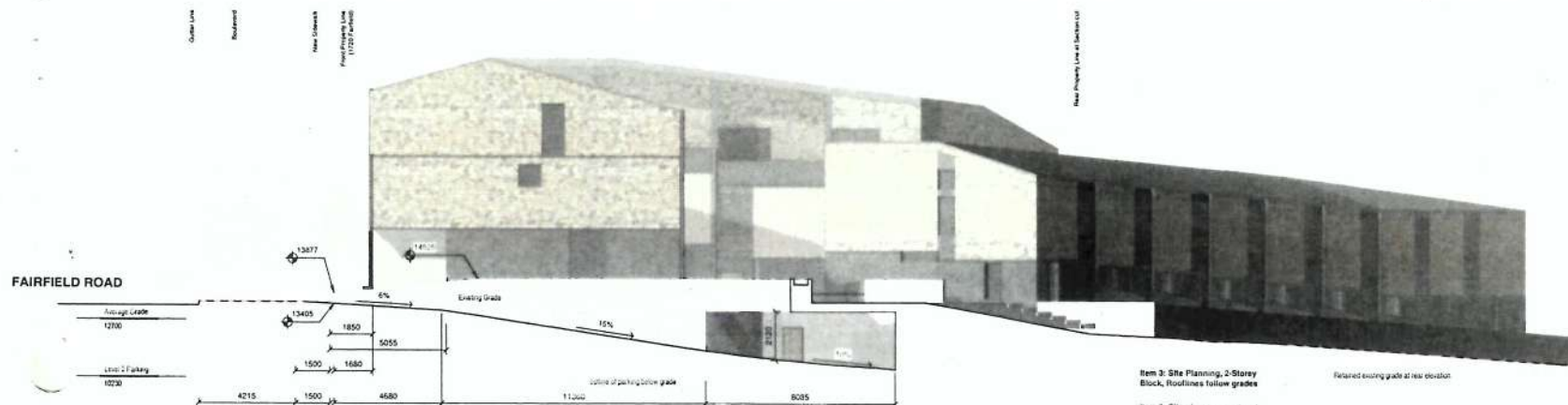
2 Site Section 1
1 : 100

PLOT INFO.

PLOT STAMP LOCATION:

LEGEND

Existing Grade



Item 3: Site Planning, 2-Storey Block, Rooftops follow grades

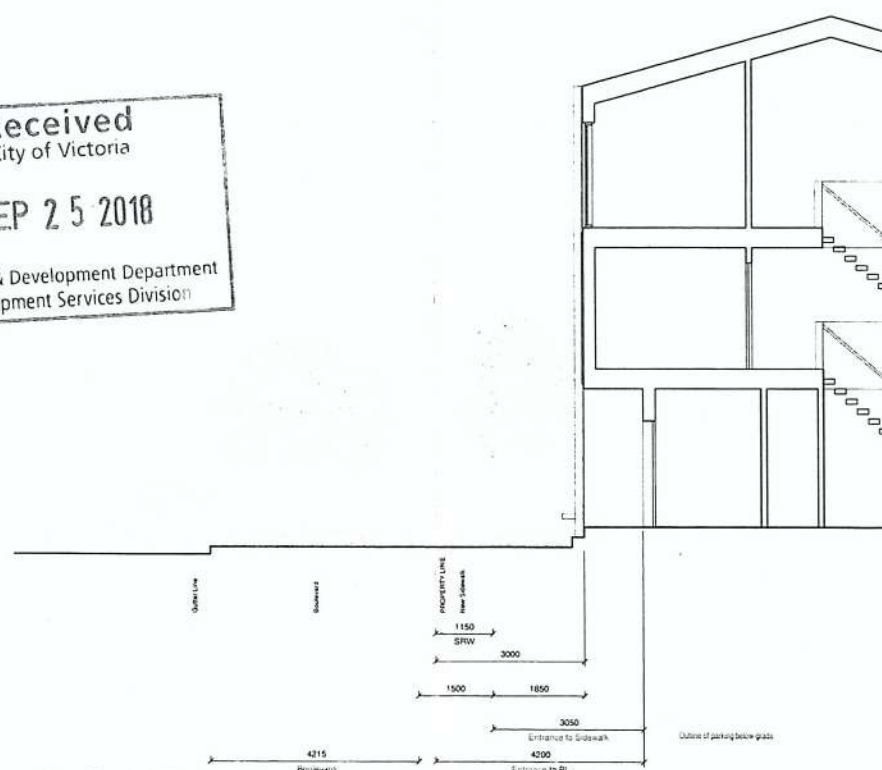
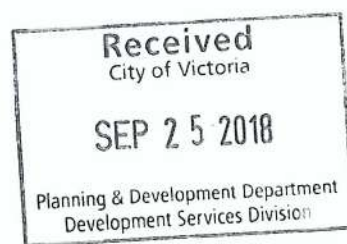
Item 3: Site planning, courtyard transition + Landscape Form

Item 15: Enclosed Parking

Retained existing grade at rear elevation

1 Parking Ramp Section

1:100



2 Door Threshold Typ.

1:50

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	06/08/2018

1712 Fairfield Road Multi-Family Development

Issued for Rezone Revisions

Site Section

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	As indicated
JOB NUMBER	1707

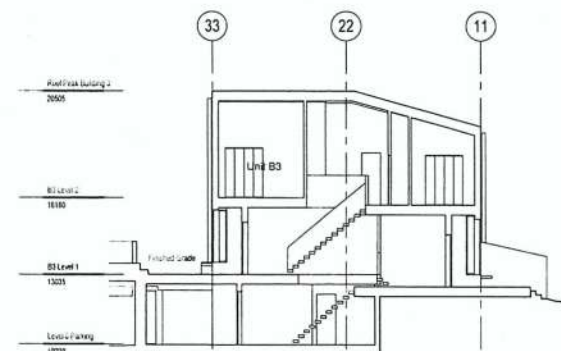
A301

PLOT INFO.

PLOT STAMP LOCATION

LEGEND

Existing Grade



1 B3 Section Typ.
1:100

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	28/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

1712 Fairfield Road Multi-Family Development

Issued for Rezone Revisions

Sections

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707



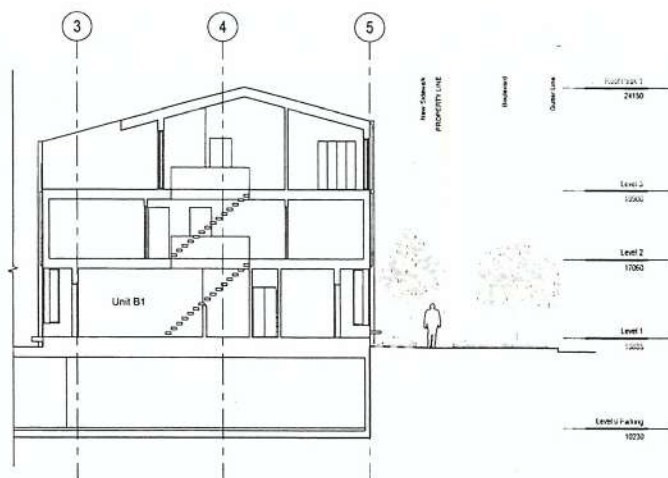
A302

PLOT INFO.

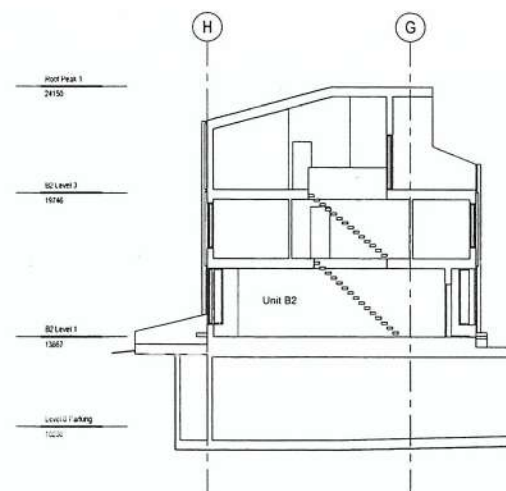
PLOT STAMP LOCATION

LEGEND

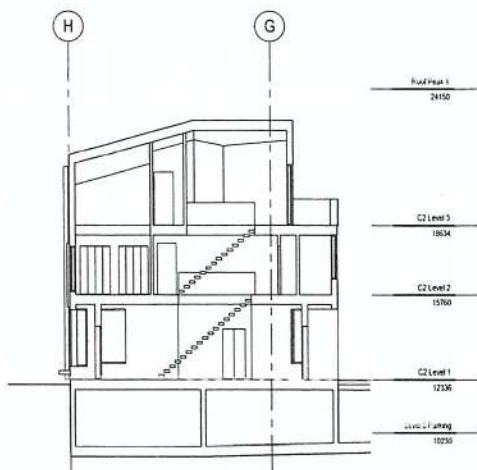
Existing Grade



1 B1 Section 1
1:100



2 B2 Section 1
1:100



3 C2 Section 1
1:100



4 C3 Section 1
1:100

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	08/08/2018

1712 Fairfield Road
Multi-Family
Development
Issued for Rezone Revisions

Sections

DATE	15/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707



A303

PLOT INFO.

PLOT STAMP LOCATION

MATERIALS LEGEND

- E1 CEDAR CLADDING, WHITE WASH FINISH
- E2 METAL PLANKING
- E3 STANDING SEAM SLATED METAL ROOF
- E4 ROCK DASH STUCCO
- E5 CEDAR SHINGLE
- E6 CEDAR BOARD, DARK STAIN FINISH
- E7 SOUND FORM CONCRETE, CAST IN SITU
- E8 ALUMINUM FRAME, DOUBLE GLAZED WINDOW - DOOR
- E9 ALUMINUM RAINWATER LEADER
- E10 CEDAR FENCE
- E11 GLASS GLAZING WITH SATIN ETCH GLASS

LEGEND

Existing Grade

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/05/2017
2	Issued for Rezoning Revisions	31/01/2018
3	Issued for Rezoning Revisions	25/04/2018
4	Issued for Rezoning Resubmission	18/05/2018
5	Issued for Rezoning Comments	06/06/2018
6	Rezoning Revisions	19/09/2018

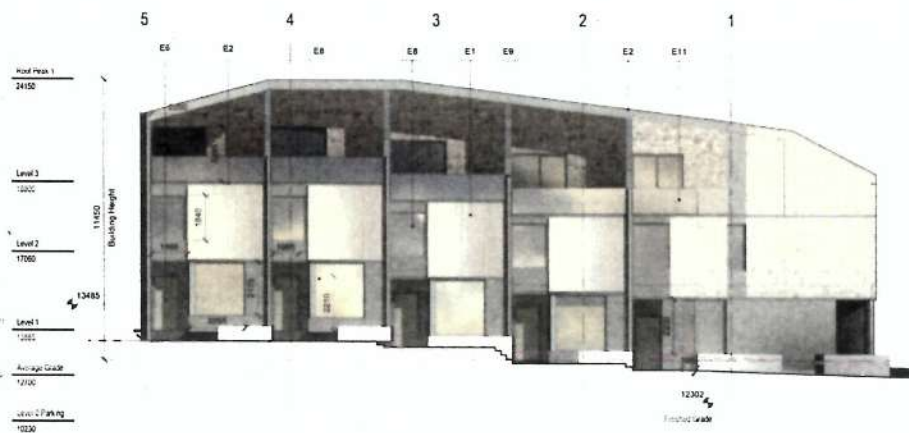
1712 Fairfield Road Multi-Family Development

Issued for Rezoning Revisions

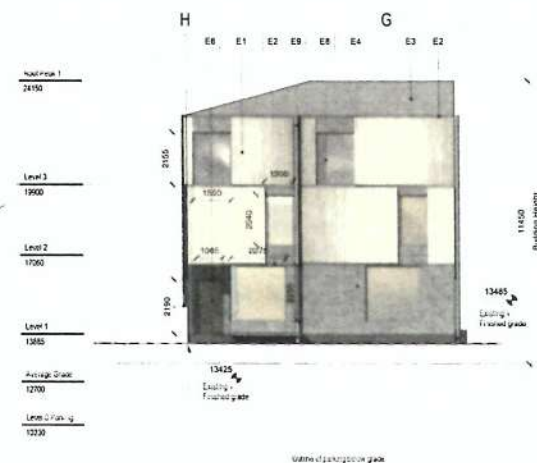
Elevations

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707

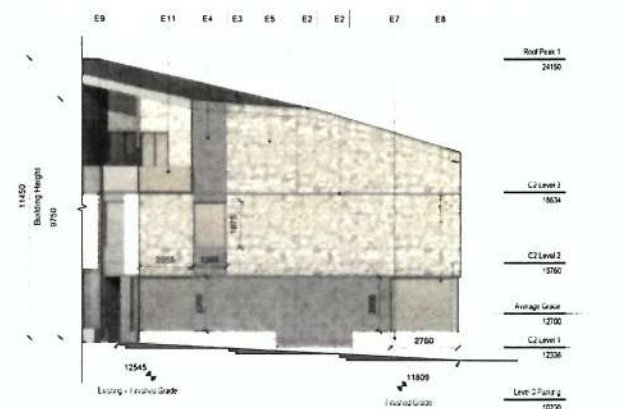
A401



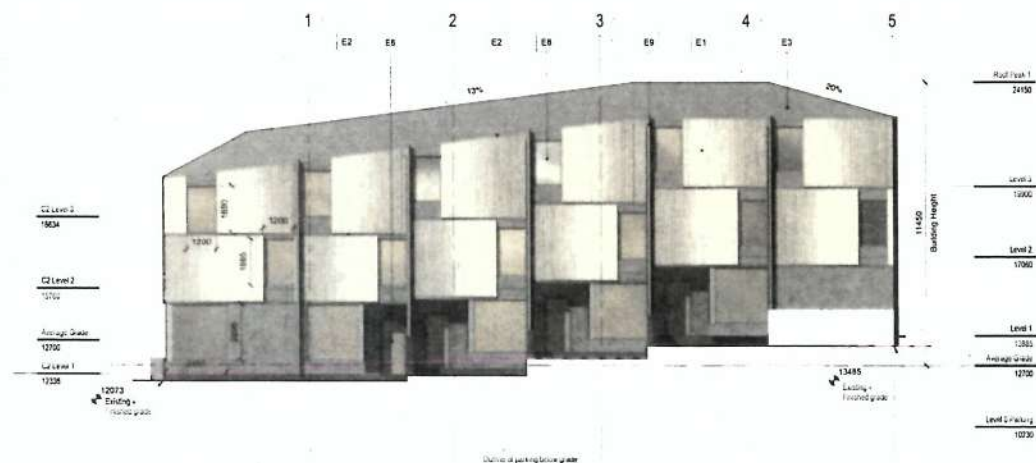
1 Block 2 - East
1:100



3 Block 2 - South
1:100



2 Block 2 - North
1:100



4 Block 2 - West
1:100



Comment 1: Clearly indicate Height, as per Schedule A definition, measured to average grade, on the elevations.

PLOT INFO.

PLOT STAMP LOCATION

MATERIALS LEGEND

E1	CEDAR CLADDING, WHITE WASH FINISH
E2	METAL CLADDING
E3	STANDING SEAM SLATED METAL ROOF
E4	ROCK DASH BRICK
E5	CEDAR SHINGLE
E6	CELANO BOARD, DARK STAIN FINISH
E7	BOARD FORM CONCRETE, CAST IN SITU
E8	ALUMINUM FRAME, DOUBLE GLAZED KINKAY DOOR
E9	ALUMINUM FRAME, DOUBLE GLAZED WINDOW
E10	GLASS CURTAIN WALL WITH SATEEN GLASS

LEGEND

Looking South

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone	31/01/2018
3	Issued for Rezone	25/04/2018
4	Issued for Rezone	18/05/2018
5	Issued for Rezone	08/08/2018
6	Rezone Revisions	19/09/2018

1712 Fairfield Road Multi-Family Development

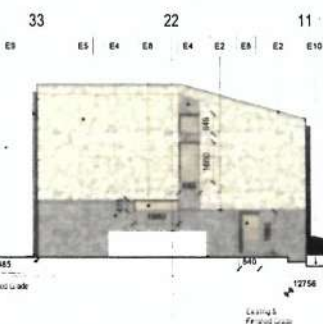
Issued for Rezone Revisions

Elevations

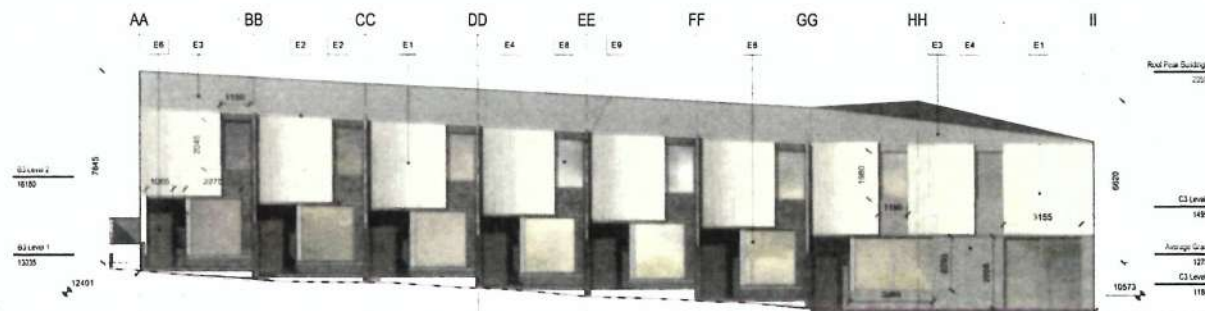
DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707

A402

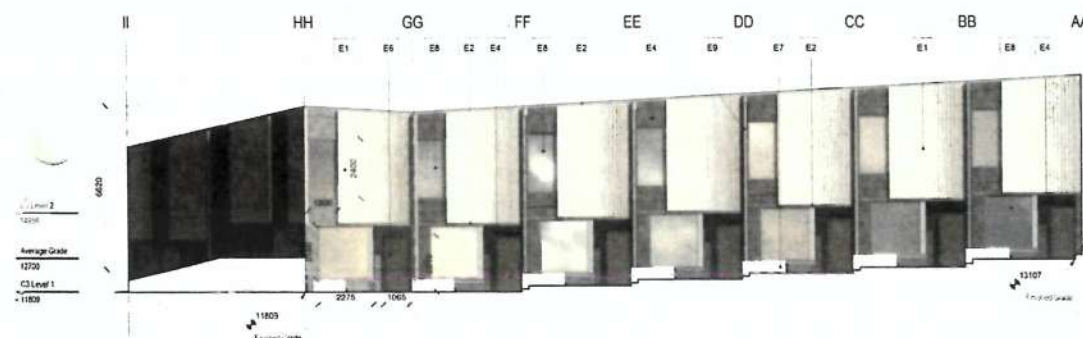
Comment 1: Clearly indicate Height, as per Schedule A definition, measured to average grade, on the elevations.



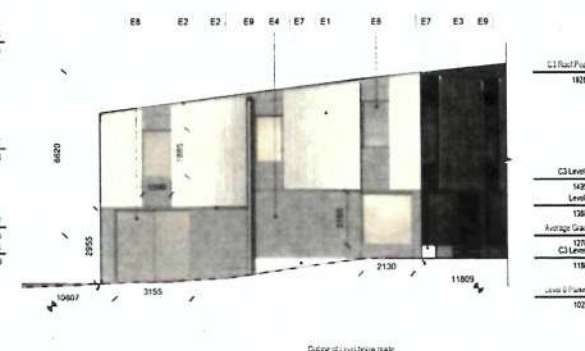
1 Block 3 - East
1:100



2 Block 3 - North
1:100



3 Block 3 - South
1:100



4 Block 3 - West
1:100

MATERIALS LEGEND

- E1 CEDAR CLADDING, WHITE WASH FINISH
- E2 METAL FLASHING
- E3 STANDING SEAM SLOPED METAL ROOF
- E4 ROCK GASH STUCCO
- E5 CEDAR SHINGLE
- E6 CEDAR BOARD, DARK STAIN FINISH
- E7 BOARD FORM CONCRETE, CAST IN SITU
- E8 ALUMINUM FRAME, DOUBLE GLAZED WINDOW - DOOR
- E9 ALUMINUM RAINWATER LEADER
- E10 CEDAR FENCE
- E11 GLASS GLAND WITH SATIN ETCH GLASS

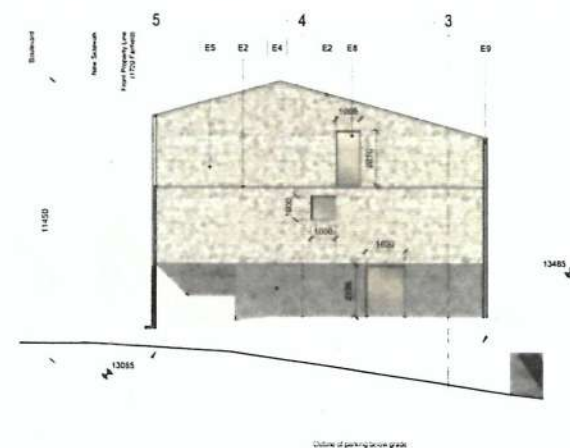
Eastern Ghats

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2018
2	Issued for Rezone Hemlocks	31/01/2019
3	Issued for Rezone Hemlocks	25/04/2019
4	Issued for Rezone Resubmission	18/05/2019
5	Issued for Rezone Comments	08/08/2019
6	Rezone Revisions	19/09/2019

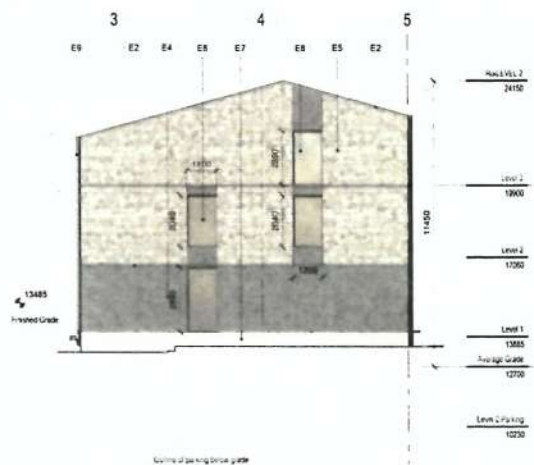
Issued for Rezone Revisions

DATE	19/09/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1 : 100
JOB NUMBER	1707

219



2 Block 1 - East



4 Block 1 - West

Comment 1: Clearly indicate Height, as per Schedule A definition, measured to average grade, on the elevations.

Received
City of Victoria
SEP 25 2018
Planning & Development Department
Development Services Division

Bianca Bodley
250.589.8244
bianca@biophilicollective.ca

CLIENT NAME

PROJECT
Landscape Design

ADDRESS
Fairfield

DESIGNED BY
Bianca Bodley

DRAWN BY
BB / KN

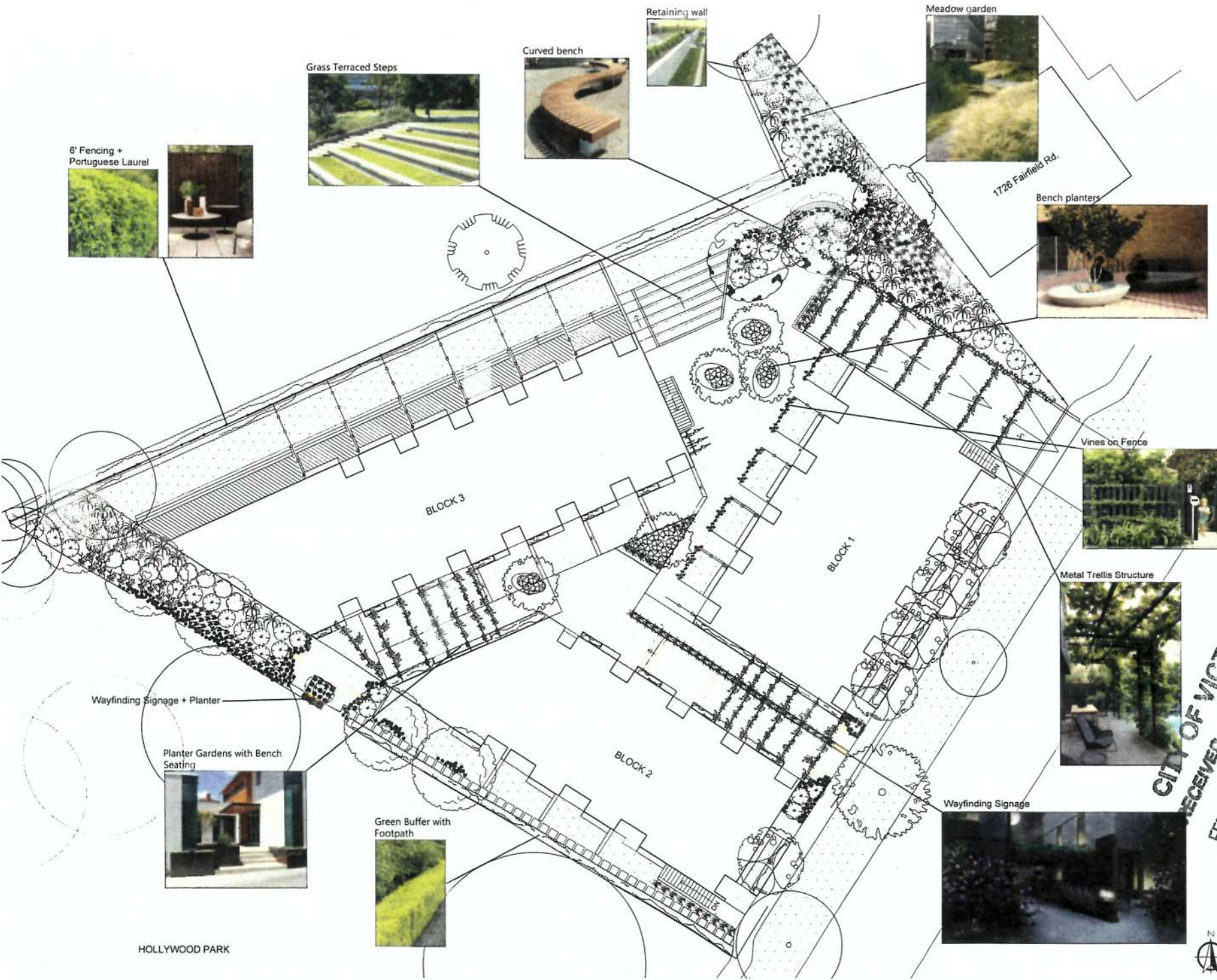
Issued for Rezoning 09-29-17
Issued for Application Review Summary
01-30-18

CITY OF VICTORIA
RECEIVED
FEB 14 2018
DEEMED
SEP 25 2018

Scale 1:125

L1 Site Plan

DATE:
February, 2018 **220**



6' Fencing +
Portuguese Laurel



Grass Terraced Steps



Curved bench



Retaining wall



Meadow garden



1726 Fairfield Rd.

Bench planters



Vines on Fence



Metal Trellis Structure



Wayfinding Signage + Planter

Planter Gardens with Bench
Seating



Green Buffer with
Footpath



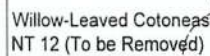
Wayfinding Signage



HOLLYWOOD PARK

[illegible]

- Public Tree to be Removed (2)
- To be Removed (1)
- Neighbor Tree and On Site Tree to be Retained with Tree Protection Barrier (17)
- Critical Root Zone (CRZ)
- Tree Protection Fence



Laurel Hedge
NT 13

Holly Hedge
NT 14

CITY OF VICTORIA
RECEIVED
FEB 14 2019

DEEMED
SEP 25 2018



BIOPHILIA
design collective

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Fairfield

DESIGNED BY
Bianca Bodley

DRAWN BY
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Issued for Rezoning 09-29-17

Issued for Application Review Summary
01-30-18

Scale 1:125

L2 Tree Preservation & Removal

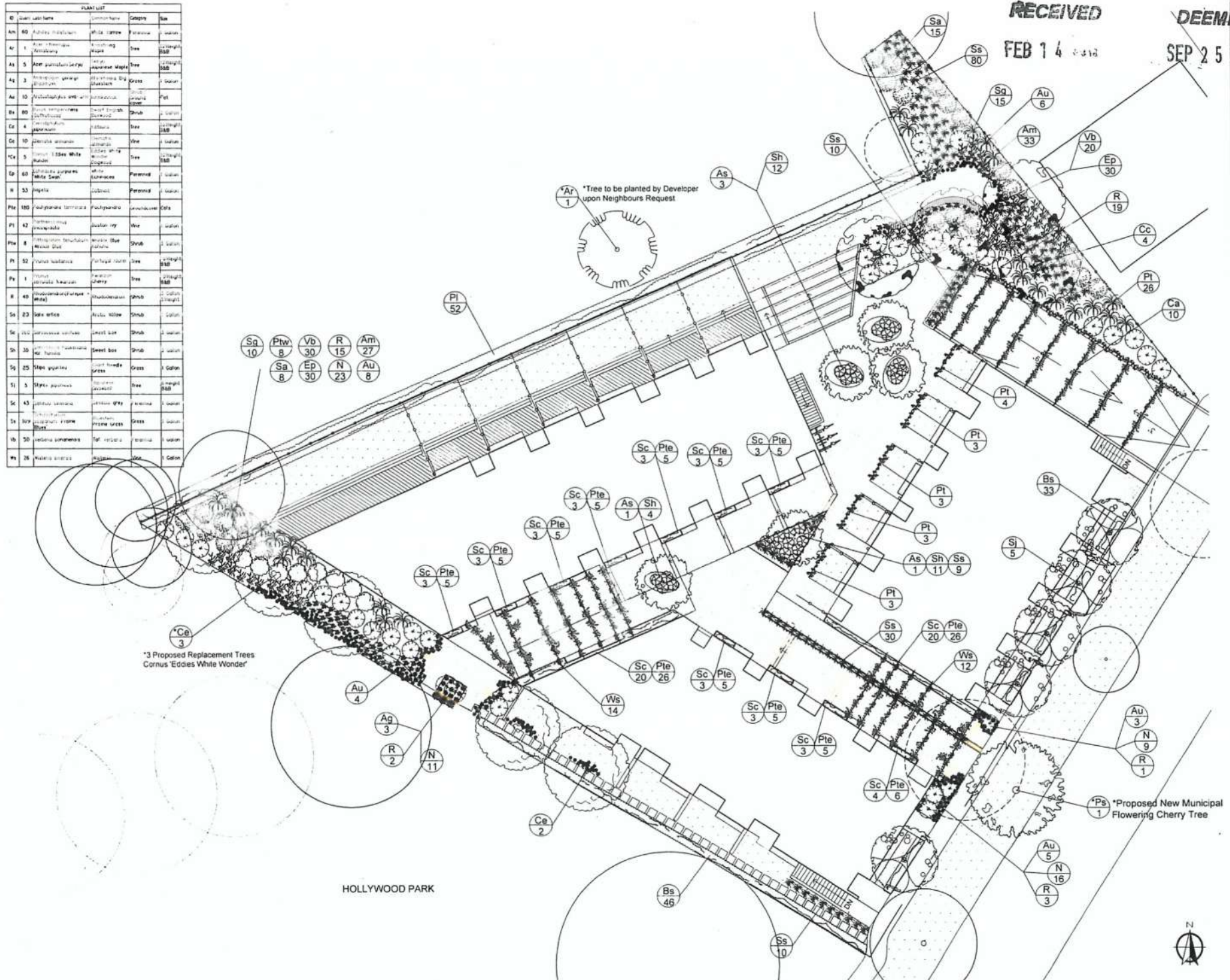
DATE:
February, 2015



221

SEP 25 2018

DATE: February, 23 1922

[illegible]

ROOFTOP PLANT LIST					
ID	Quantity	Latin Name	Common Name	Category	Size
N	40	Nyctaginia	C. thomii	Perennial	1.0m
R	10	Rhus glabra (Pineapple White)	Rhus glabra	Shrub	3.0m

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DESIGNED BY
Bianca Bodley

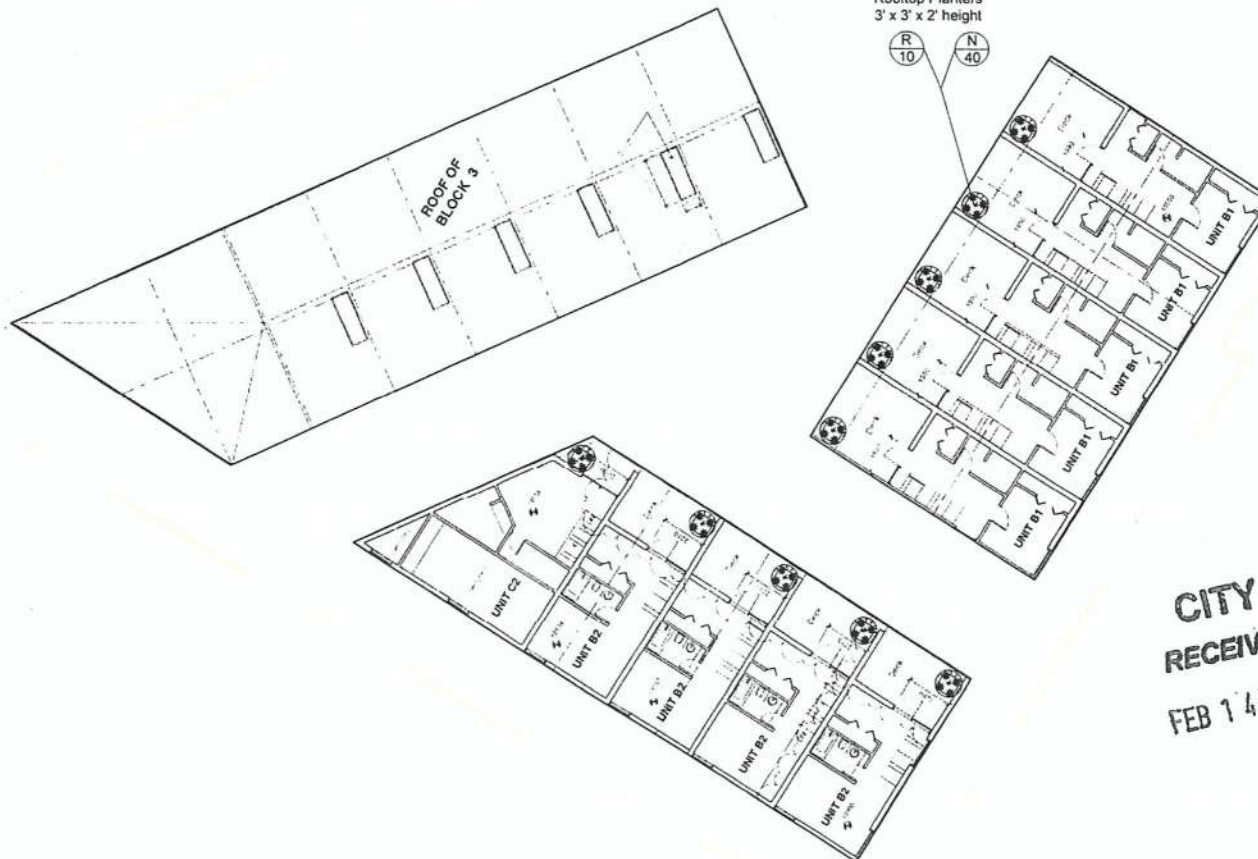
DRAWN BY
BB / KN

Issued for Rezoning 09-29-17
Issued for Application Review
Summary 01-30-18



Rooftop Planters
3' x 3' x 2' height

R 10 N 40



CITY OF VICTORIA
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FEB 14 2019
DEEMED
SEP 25 2018

Scale 1:125

L4 Rooftop
Planting Plan

DATE:
February, 2018



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DESIGNED BY
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BB / KN

Issued for Rezoning 09-29-17
Issued for Application Review
Summary 01-30-18

CITY OF VICTORIA
DEEMED
RECEIVED
FEB 14 2018
SEP 25 2018

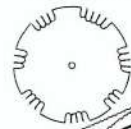
Scale 1:125

L5 Landscape
Lighting Plan

DATE:
February, 2024



LED Strip Lighting



LED Strip Lighting for steps

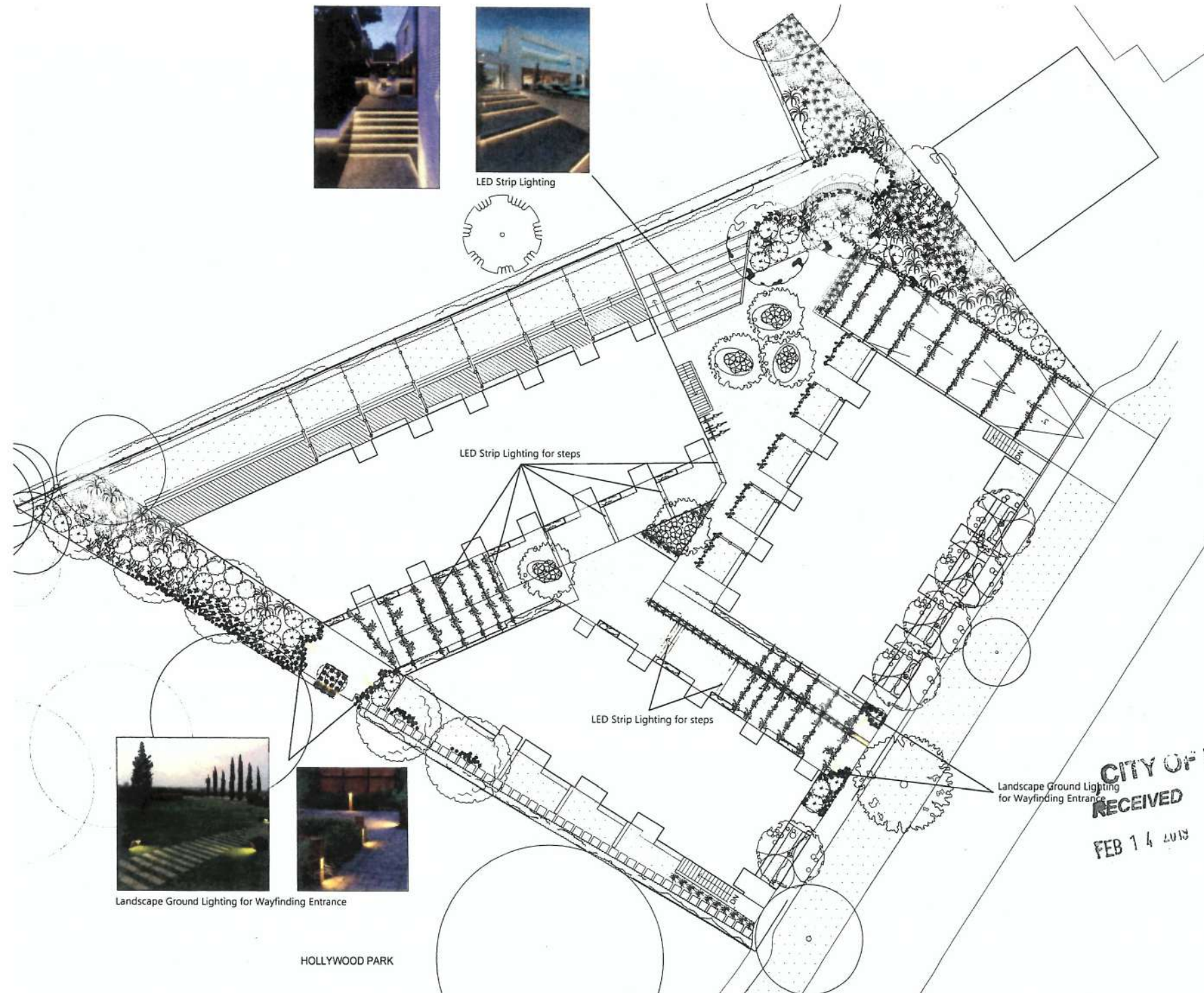
LED Strip Lighting for steps

Landscape Ground Lighting
for Wayfinding Entrance



Landscape Ground Lighting for Wayfinding Entrance

HOLLYWOOD PARK



CITY
RECEIVED
4 20 18
VICTORIA
DEEMED
SEP 25 2018

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CLIENT NAME

PROJECT
Landscape Design

ADDRESS
Fairfield

DESIGNED BY
Bianca Bodley

DRAWN BY
BB / KN

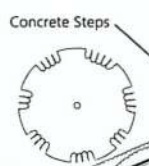
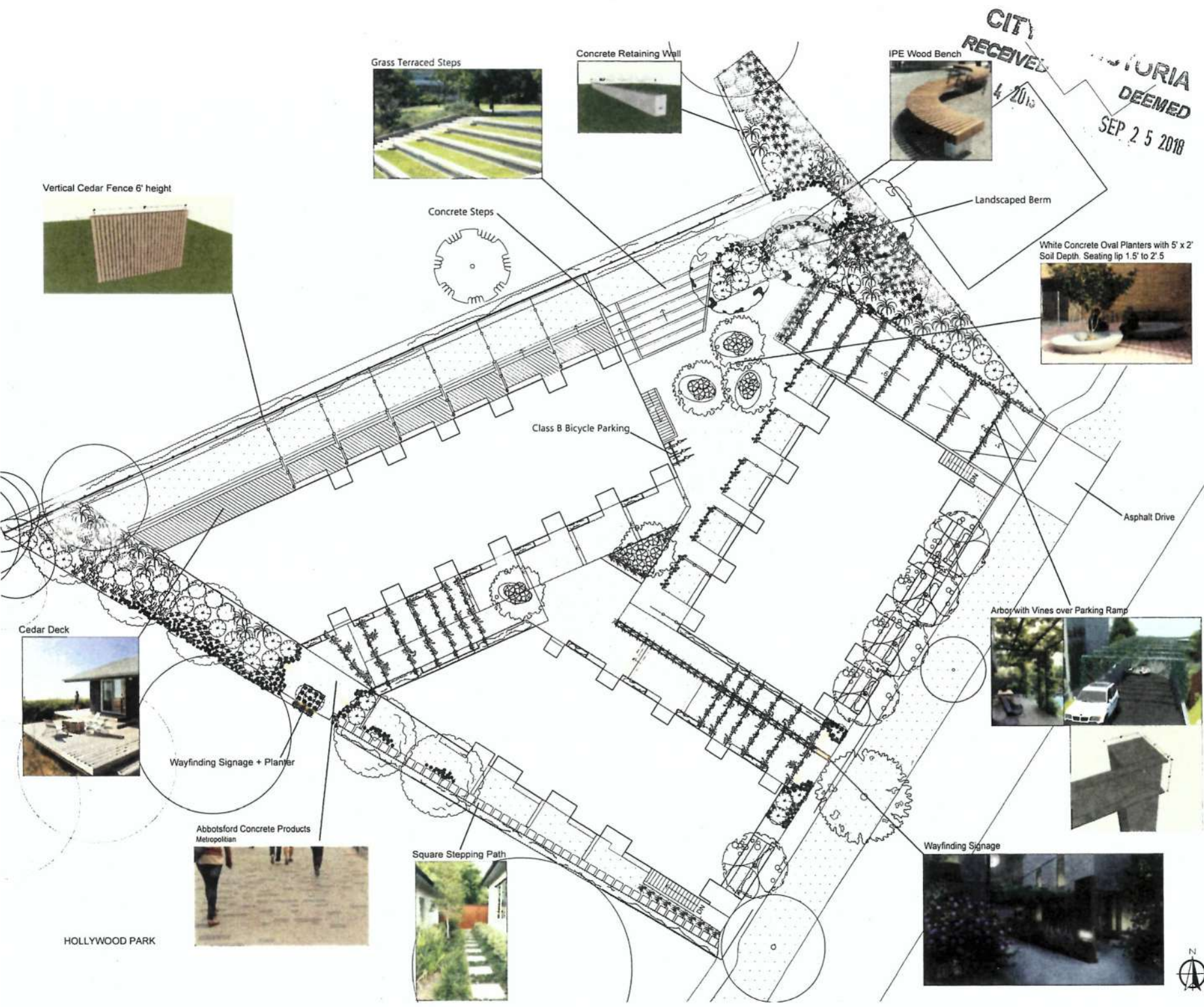
Issued for Rezoning 09-29-17

Issued for Application Review
Summary 01-30-18

Scale 1:125

L6 Surface Treatment
& Fence &
Retaining Walls

DATE:
February, 2019



HOLLYWOOD PARK



Wayfinding and Courtyard Entrances



Courtyard Trellis



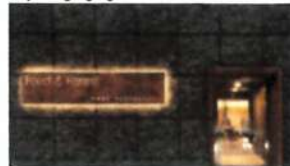
Courtyard Softening



Lighting



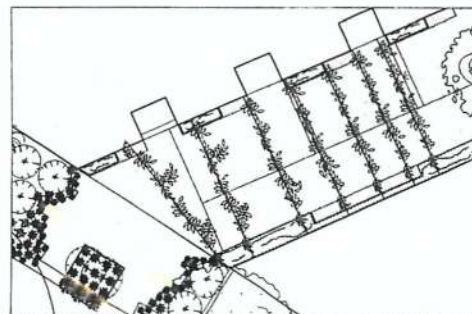
Wayfinding Signage



Planter



Plant Palette



Parkside Courtyard Entrance



Fairfield Rd. Courtyard Entrance

CLIENT NAME

PROJECT
Landscape Design

ADDRESS
Fairfield

DESIGNED BY
Bianca Bodley

DRAWN BY
BB / KN

Issued for Rezoning 09-29-17

Issued for Application Review Summer
01-30-18

CITY OF VICTORIA
RECEIVED
FEB 14 2019
DEEMED
SEP 25 2018

Scale 1:100

L7 Wayfinding and
Courtyard
Entrances

DATE: **226**
February, 2019



ARYZE

x

PURDEY
GROUP

1839 Fairfield Road Victoria, BC V8S 1G9

Tel (250) 940-3568

Email: info@aryze.ca

Instagram: @aryzedevelopments

February 4, 2019

Mayor and Council
City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Re: Rezoning Submission for 1712 and 1720 Fairfield Road

Mayor and Council,

This letter will outline the core content of our application to rezone two adjacent properties at 1712 and 1720 Fairfield Road to allow for the proposed 17-unit townhouse development. We are requesting to amend these properties from the current R1-G zoning to a new site specific CD-(TBD) zoning.

Project Overview

The proposed project includes three townhouse clusters comprising seventeen strata townhouses centered around an open mews. The site density currently sits at 0.85 FSR which is below the maximum permissible of 1.0 FSR under the Traditional Residential designation in the Official Community Plan. This density is a reflection of the larger site area of 0.60 acres which is a rarity in built out neighbourhoods like Gonzales.

The project details are as follows:

Average Unit Size: 1556 sqft

Type of homes:

- six, 2-bedroom + basement, 1320sq.ft
- nine, 3-bedroom, 1500sq.ft to 1700sq.ft
- one, 3-bedroom + den, 1850sq.ft
- one, 4 bedroom, 2330sq.ft

Building Height:

- front homes: 2.5 storey
- back homes: 2 storey

Car parking: 22 stalls (underground)

Bike parking: 46 stalls

Kayak and StandUP Paddle storage: oh yeah!

Due to the site's unusual shape, the site design proposes three distinct but interrelated building clusters to form a small-scale ground oriented urban community. Each unit has ground level access and is provided with semi-private outdoor living space. Two of the building clusters face Fairfield Road and Hollywood Park respectively with unit entrances and living spaces having direct visual connections to the street edge and park. By providing eyes on the street and eyes on the park the project will increase security through the implementation of Crime Prevention Through Environmental Design (CPTED) principles.

Neighbourhood Long Term Vision

The proposed ground oriented townhouse project complements the proposed long-term vision of the Official Community Plan for increased density along Fairfield Road. Moreover, it does so using a housing typology that frames and energizes the street and park edges. As opposed to an internal circulation apartment building, the townhouse model increases connections between neighbours and creates a vibrant small-scale village atmosphere while maintaining compatibility with the surrounding single family homes north of Fairfield Road.

The proposed townhouse development is beneficially located along the future multi-modal transit corridor envisioned along Fairfield Road. The underground parking design allows for one parking space per unit and five visitor parking stalls which is in addition to the extensive bicycle parking, kayak and stand up paddle board storage, and electric car charger wiring connected to the individual strata homes. The proposed project will support a lifestyle based on alternate modes of transport; walking, cycle and public transit.

The proposed housing mix of the project creates both family friendly home types (three and four bedrooms) as well as ground oriented two bedroom + den homes. By encouraging a demographic mix within the proposed urban community, the project is intended to both allow access to housing for young families and down-sizers which provides opportunities for different generations to live in proximity to one another and contribute to a diverse neighbourhood. In addition, the proposed project is within close walking distance of shops, parks, schools and health care facilities.

The urban design concept for the project is outlined and described in more detail in the Design Rationale booklet that accompanies this submission. However, in brief, the project is inspired by historic towns in the UK in which buildings get gradually tighter to the street edge as one approaches the centre of a village. Moments of relative density are created and form urban nodes that are pedestrian friendly. The project seeks to work in concert with the existing historic townhouses and rental apartments on the southeast side of Fairfield road to create a similar moment of relative density.

Community Consultation

Project partners, Aryze Developments & Purdey Group, in concert with SHAPE Architecture have undertaken a multi-phase community consultation process. This process was intended to ensure that all parties affected by the proposed project were given a chance to review the proposal and provide feedback and that that feedback would then influence the development of the project. To date, we have made over 150 changes to the project that were a result of direct feedback received from the following community engagement events:

1. March 2017: Conceptual design Community Association engagement
2. March 2017: Delivery of 200+ flyers to households in the immediate area
3. March to August 2017: Door to door canvassing
4. July 2017: Public Open House
5. July 2017: Preliminary CALUC presentation
6. Design Revisions to address feedback from the Open House and CALUC presentation
7. August 2017: CALUC submission
8. August 2017: CALUC #1 presentation
9. Fall 2017 - Summer 2018: Ongoing door knocking and face to face meetings
10. Fall 2018: Door to door with project Q&A flyer delivery (200m radius)
11. December 2018: CALUC #2 presentation
12. December 2018 - Ongoing: additional door knocking with significant support for the project

In addition to the above, we'd like to draw Council's attention to [Appendix A](#) which summarizes the most common concerns of the project to date.

Current Tenants

We applaud Council's recent adoption of the Tenant Assistance Policy as it aligns with what we have been practicing for several years now. Originally, both tenants were the previous owners of the properties whom we bought the land off of in a rent-back scenario. Recently, the previous owners of 1712 Fairfield bought a house in Maplewood and moved out. We placed a new tenant who came from our work network and only needed a short term place to stay. For 1720 Fairfield, we recently completed the purchase of the property and the previous owners want to potentially move into a townhouse in our project or buy a new home in the neighbourhood. Both tenants have therefore been in place for less than a year and have signed a document acknowledging that they are in a redevelopment property so that there are no unclear expectations or surprises.

Attainable Housing

As a company, we are devoted to diverse housing options which include market and below market ownership and rentals. Gonzales, has very few options for diverse housing as it is 97% zoned for single family housing. This singularity of housing creates an incredible lack of housing to serve people forming a household from a condo or wanting to downsize from the number of single family homes in the area. Rhodo was designed to be missing middle housing in order to fill the gap.

With that in mind, we'd like to voluntarily offer the Official Community Plan bonus density provision of \$5 per square foot to be applied to our 0.85FSR which results in a contribution to the Victoria Affordable Housing Fund of \$112,080.

Contributing to a Sustainable City

According to many researchers and authors, densification holds the key for cities fight against climate change as reducing automobile trips is the most significant component of reducing greenhouse gas emissions. As mentioned above, the developments central location in relation multiple local amenities including Ross Bay Village shopping Centre, Hollywood Park, Margaret Jenkins Elementary School and Glengarry Hospital encourages a pedestrian and bicycle oriented lifestyle. Accordingly, the project has been designed assuming walking, cycling and transit as primary transportation options for future residents.

The project's architectural character and site planning are based on "passive design" principles to allow for naturally day-lit interiors with south facing glazing exposed in winter to benefit from solar heat gain and protected in summer to mitigate unwanted solar heat gain.

In summary this proposed project is intended to create the kind of sustainable middle density development, carefully positioned in relation to alternate modes of transit, that contributes to a vital, low carbon sustainable future envisioned for the City of Victoria.

Sincerely,

Luke Mari
Director of Development
Purdey Group

+

Ryan Goodman
Partner
ARYZE Developments

Appendix A: Project Concerns

“Transition to Hollywood Park”



example image



example image

Architecture has the ability to improve the park edge, not detract from it. Through visual connections to the townhouse interiors and semi-public outdoor space, the park edge is thickened as the building allows for a quiet space of repose where one can enjoy a morning coffee or stretch before an evening jog. This is not the privatization of public space, this is using a creative building face to mediate light and views from within but also to frame and compliment the park's eastern edge which is currently un-programmed space.



Rhodo Project

“Respect the existing zoning”

Before



By respecting existing zoning, smaller, more attainable homes are being demolished with no net new housing being created. Zoning is about today, the OCP is about the future, which is why our project is in full alignment with the OCP.

After



Existing zoning doesn't protect perceived neighbourhood character. Over 50% of all new replacement homes in Gonzales are contemporary design. Our neighbourhoods are always changing, this doesn't have to be a bad thing.

“This doesn’t fit the existing neighbourhood character”

Which one of these images below is “character”? Let us consider that it isn’t the spindle on porch or the pitch of a roof that determines neighbourhood character. Character is made up of the people who live here and diverse people need diverse housing.



“It’s too close to Fairfield Road”

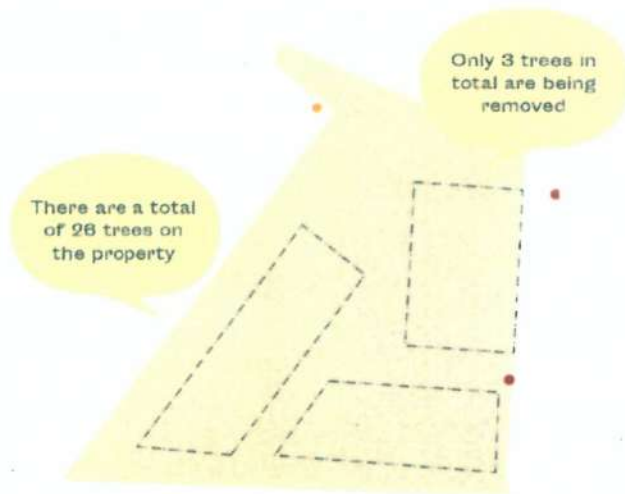
Gonzales is full of examples where the buildings are much closer to the street or other property lines than modern zoning bylaws call for. It is this very diversity that makes the area so special. The two multifamily projects across the street from our proposal are much closer to Fairfield Road, in some cases there is no setback at all.



“Somebody said you are removing 50 trees!”

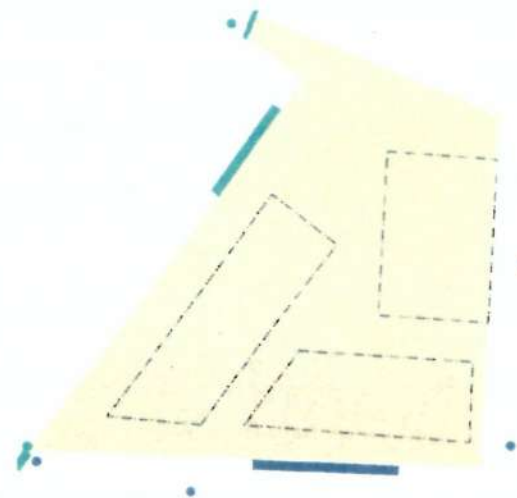
There are a total of 26 trees on the property, 1 bylaw protected tree is being removed on the property plus 1 off-site. There is an additional neighbour tree that is proposed to be removed at our neighbours request as it is causing problems with their retaining wall. There will be 74 new trees planted in addition to the 23 existing trees that will be retained.

Tree Removal Plan



- Bylaw protected tree to be removed
- Non-bylaw tree to be removed

Tree Retention Plan



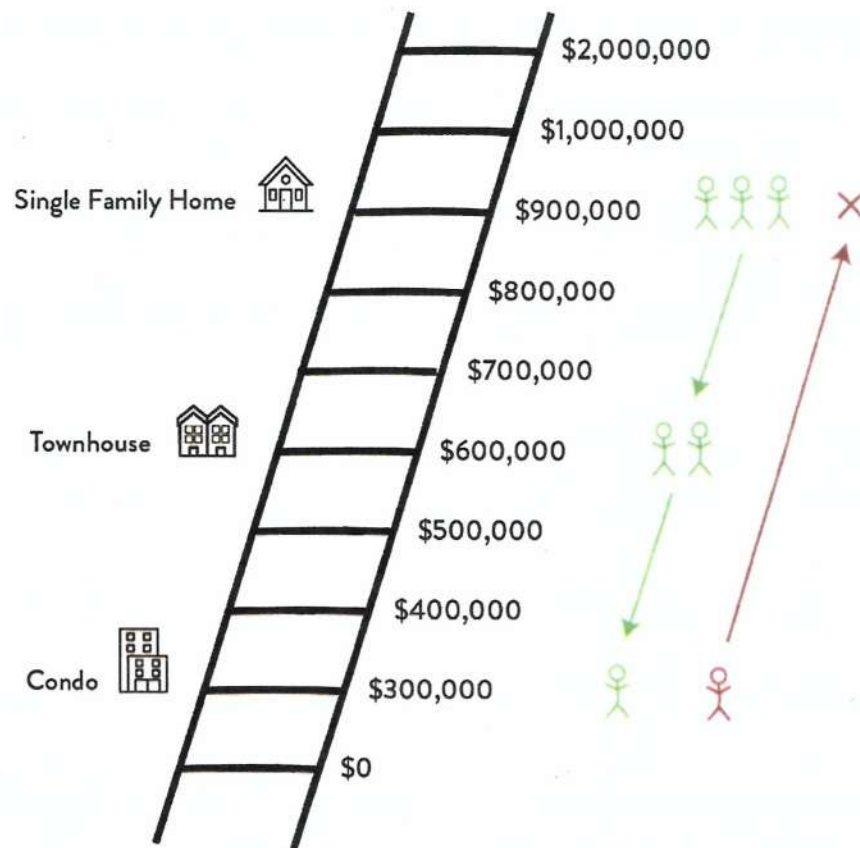
- Private tree to be retained
- Municipal tree to be retained

Tree Replanting Plan



- New tree to be planted

“This project won’t be affordable”



In general, yes, new construction is more expensive than older homes. However, as housing costs have rapidly escalated in the city, Gonzales with the oldest housing stock in Victoria is the second most expensive neighbourhood in the city behind Rockland.

Between 2017-2018, single-family homes in Fairfield / Gonzales had an average sale price of \$1,100,000 whereas townhouses averaged \$712,000. This price difference means that a purchaser needs approximately 35% less income to be able to afford a townhouse.

Townhouses are a great housing type that offer the characteristics of a detached home in a more sustainable package with a more attainable price point. While these homes may not be affordable to everybody, they are comparatively more affordable and within reach of more households compared to single-family homes.

It's helpful to remember that the housing market is a ladder. Unless your income increases, you can never go up the housing price ladder but you can always go down it. The people who can afford a \$850,000 townhouse will no longer be competing to buy the \$600,000 townhouses because there is available housing choice for them at their price rung. This is why we need diverse housing and tenure at all price points to have a healthy housing market.

Fairfield Gonzales Community Association Land Use Committee

Report: 1712 + 1720 Fairfield Road Community Meeting

Rezoning from R1-G to a Townhouse Zone

Applicant is Luke Mari on behalf of Aryze Developments

The meeting was held on August 17th 7:00PM at the Fairfield Gonzales Place

Attended by approximately 30 people

Chair: David Biltek

Robin Jones recused herself, as she lives within the 100 meters of the site.

Summary

The Gonzales neighbourhood is about to begin a transition from an area dominated by single family houses to one where townhouses and residential development of higher densities is encouraged. (Of course, if the new LAP is adopted.) This transition is and will cause concerns among residents, as the notes below suggest. How Council implements the new plan will be of critical importance to its acceptance. Density is NOT so much the issue, but as always, **Density IS a Design issue**. The concerns raised at the community meeting were mostly design matters. Dealing effectively with **DESIGN** will result in a happier neighbourhood. To the credit of the applicant they have had numerous meetings, open houses etc. with neighbours and have changed their plans many times based on those comments.

The Principal Topics

1. **Character** There were some comments about the structures not respecting the existing character of the surrounding neighbourhood.
2. **Footprint** There was one mention of the scale or size of the buildings, being larger than others in the area.
3. **Height of building**...may affect **privacy** for the four of five residences which back onto the development, and there will be some

shadows cast, particularly in the winter. **The reports conducted for the developer confirm that in the winter the properties to the north will be in the shadow of the new development**

4. **Parking.** There is always some concern about parking and there was with this development as well, although the developer pointed out that on street parking would increase due to the removal of one driveway. However, there are peak times in the year when the baseball diamonds to the west host tournaments which do attract a large number of people and cars which park throughout the neighbourhood.
5. **Density and change to the local plans.** The scale, scope and density of this project is new to Gonzales and there was some concern at the meeting that this is simply the first of many more to come and that is causing some worry among some people who presently rent properties in the immediate area. They are concerned with what they termed “gentrification”, which could result in their presently rented dwelling units being removed or renovated resulting in a loss of their home and/or increased rents.
6. **Encroachment into Hollywood Park.** Concern expressed about the distance from the building on westside of the tennis courts was too close. There was a clear feeling that should be a barrier between the two but what size, and material was not determined. Recommendation that the Parks Department examine this application for development and add their recommendations, comments and suggestions as Hollywood Park will be neighbours to this new development

For Staff Consideration

CALUC Community Input Report
Meeting Thursday December 13th, 2018

Address 1712 1720 Fairfield Road "The Rhodo"

Developer: Luke Mari, Purdey Group (Aryze) lmari@purdeygroup.com
Ryan Goodman Aryze Development

Architect: Alec Smith Shape Architecture
info@shapearchitecture.ca

Attendance: 55 participants

23 speakers of which 21 spoke against the specific townhouse plans (not townhouses in general at this site) and 2, who were not residents, were in agreement with the plan.

3 speakers on the speakers list did not get to speak due to time restraints.

Background

1st FGCA CALUC Meeting:

The first Community Meeting for 1712 & 1720 Fairfield Road "The Rhodo" was held on August 17th, 2017.

2nd FGCA CALUC Meeting

This 2nd community meeting for Rezoning Application No 00618 for 1712 & 1720 Fairfield Road and Development Permit with Variance Application No 00098 for 1712 & 1720 Fairfield Road "The Rhodo" was requested by the FGCA CALUC because there are significant changes to the application since the first CALUC meeting, which met the criteria for a 2nd community meeting.

These are:

- an increase in height
- a reduction in the setbacks or increase in site coverage equal to or greater than 20%
- -44% reduction in front setback
- -32% reduction in west setback,
- -Site coverage increased from 45% to 60% a relative increase of 33%

Community Association Land Use Committee (CALUC) Procedures for Processing Official Community Plan Amendment, Rezoning, Variance, Temporary Use Permit and liquor License Applications. Approved by Council, December 8, 2016 P4

For Staff Consideration

	Current	Proposed Site Specific Zone
Use of land or buildings	R1G Single Family	Site Specific zone Strata Residential Townhomes
Number of Units		17
Number of Storeys		2 storeys to 2.5 storeys
Floor Space Ratio		0.85
Site Coverage		60%
Total Number of Parking Stalls Parking will be underground		22
Number of By-Law Protected Trees		1-2
Number of Trees, shrubs not protected by By-law which will be removed		Approximately 50
Setback Street Frontage (South)		1.68M
Setback Rear		6.1M
Internal Side Lot Line (West) Hollywood Park		1.7M
Internal Side Lot Line (East)		6.7M
Affordability	There is no affordable housing in this development application, however \$100,000 will be donated to the Inclusionary Housing Fund.	

Neighbourhood Comments Feedback on development proposal:

The design

Neighbours do not like the look of this urban village design. To paraphrase: This is not NY City. There is a disconnect of this design with historical Fairfield (and Gonzales). "The concept [of townhouses] I like, but do we want those? No."

One described this development as an opportunity to set a high example for future multi family dwellings in the heart of Gonzales. Instead it is maxed out density and height with the front yard being way too short (5 1/2 ft) and therefore, the buildings are "pushed right out and creates a tunnel".

For Staff Consideration

"Looks like a bunker".

"An imposing edifice"

"Liked the concept of townhouses, but the roofline facing Earle are not good."

The front setback: "There is a 38 foot wall with a 5 foot setback."

"Monolithic Massing"

"Ugly design, too big for the site, the density increase >850%, inadequate parking, over height, doesn't address affordability, creating gentrification, treats city park as their own back yard, English Country House NO!"

The Park

Hollywood Park and "the park edge"

The architect explained that the project had created a benefit to the park; creating a thoughtful transition, and described the transition as an "edge condition". There would be "eyes on the park" so there could be social oversight.

Neighbours told the developer there is no anti social behaviour in the park and the need for "eyes on the park" is simply not needed. "Addressing social issues we don't have in the park."

One resident queried:

Is the design of the Rhodo proposal consistent with OCP and GNP 2002 objectives regarding preserving and enhancing parks? As well as recent discussions with the City about the [Design Guidelines for Attached Residential Development](#): "*The design and placement of buildings and landscape should establish a sensitive transition to adjacent parks?*" Resident says this development does not provide a sensitive transition to Hollywood Park.

A resident hypothesized that there may be less park usage because "families will not want to be there because they feel they are being watched by people in buildings."

This development "Treats the city park as their own back yard."

Parking:

Many neighbours close to the project had parking concerns.

For Staff Consideration

Regardless of how many parking spots are mandated by the City of Victoria (1 per unit), neighbours believe this is not enough because of all the community activity in the park. A neighbour spoke that this will be an upscale project and therefore, the owners in the strata will likely have more than 1 car likely "2 to 3 cars". There is a day care, little league baseball, the beach, "it is going to be completely crammed."

Will there be enough parking for visitors to Hollywood Park?

Trees

According to the City, approx. 50 trees (trees and shrubs unprotected by tree by-law) will be removed.

For Staff Consideration

Does this application require an OCP (Official Community Plan) amendment?

Why is there no OCP amendment requested for the application?

SECTION 7. LAND MANAGEMENT AND DEVELOPMENT

Designation	Built Form	Place Character Features	Uses	Density
Public Facilities, Institutions, Parks and Open Space	Public buildings prominently sited in landscaped open space and formal grounds with variable heights. Recreational, institutional educational buildings and structures within open space.	Variable with landmark buildings and open spaces deployed across the city, serving as local city-wide, regional or provincial destinations.	Government office, administration and ceremonial uses. Accessory residential uses. Recreational uses. Institutional uses including education, health and research, culture, and assembly. Accessory commercial services.	Total floor space ratios ranging up to approximately 0.5:1.
Traditional Residential	Ground-oriented buildings up to two storeys. Multi-unit buildings up to three storeys, including attached residential and apartments on arterial and secondary arterial roads.	Houses, with front and rear yards, with variable setbacks, oriented to face the street. Variable landscaping and street tree planting. Small apartments and local retail stores along arterial and secondary arterial roads, at intersections, and pre-existing in other locations. On-street parking and individual driveways.	Ground-oriented residential including single, duplex and attached dwellings. House conversions. Accessory residential such as secondary suites and garden suites. Freestanding commercial at the intersection of major roads. Low-rise multi-unit residential and mixed-use along arterial and secondary arterial roads. Home occupations.	Total floor space ratios up to approximately 1:1.
Urban Residential	Attached and detached buildings up to three storeys. Low-rise and mid-rise multi-unit buildings up to approximately six storeys.	Variable yard setbacks with primary driveways facing the street. Variable front yard landscaping, boulevard and street tree planting. On-street parking and collective driveway access to rear yard or underground parking.	Ground-oriented multi-unit residential. House conversions. Low to mid-rise multi-unit residential. Low to mid-rise mixed-use along arterial and secondary arterial roads. Home occupations. Visitor accommodation along Gorge Road and in pre-existing locations.	Total floor space ratios generally up to 1:1. Increased density up to a total of approximately 2:1 may be considered in strategic locations for the advancement of plan objectives. (SEE POLICY #29)

For Staff Consideration

Other Concerns

Seismic

Concern about pile driving and soil conditions because the building is in a high seismic risk zone. The developer stated there will be no pile driving, rather a raft slab and wood frame construction. And the building will be built to code, to the highest earth quake standards required by code.

Amenities

What are you doing for amenities? \$100,000 would be donated to the inclusionary housing fund. There is no affordable housing in this project.

Water Run Off

How are you going to handle the water run off? Planters, permeable surfaces and bio swales. (This doesn't refer to the roof surfaces run off which will enter the storm drain system.)

In Favour:

3 out of the 55 people in attendance spoke in favour of the higher density but did not address any specifics of the application. They did not comment on design, form or character. They were in favour of the density, and one encouraged maximum density for the site, saying it would making it more dense and would therefore make it more liveable.

Another asked why there is no rental housing? Truly affordable rental housing. The developer pointed out that the rental suite component in the back units was removed because of the height had to be lowered as per request by the City.

A Fernwood resident stated this was the housing Gonzales needed.

For Staff Consideration

In Conclusion

The residents who attended the CALUC meeting appear not to be against townhomes on Fairfield Road. They believe, however, the specific design of the application does not reflect the character of Gonzales.

They believe:

It is too big.

It does not have enough parking spots.

The front setbacks are way too small.

The park does not need "eyes on the park" urban park edge but instead needs a more sensitive transition more fitting with a traditional residential area. (It is not an urban park.)

They would appreciate something that has the mass and look of the townhouses which are already in the neighbourhood more like the ones at Chandler and Foul Bay Road.

Note:

Thursday October 4 2018

Council Chambers City Hall Centennial Square

Located on the traditional territory of the Esquimalt and Songhees People

J. REPORTS OF COMMITTEES

J.1 Committee of the Whole

J.1.a.k. Defer Gonzales Neighbourhood Plan

11. Defer Gonzales Neighbourhood Plan

That the draft Gonzales Neighbourhood plan be put on hold and be brought back for discussion after completion of all other neighbourhood plans and **that the 2002 neighbourhood plan and the OCP are the policy documents that staff will refer to** with regard to proposed developments in the neighbourhood

Letters

Sent to FGCA CALUC re: Rezoning Application No 00618 for 1712 & 1720 Fairfield Road and Development Permit with Variance Application No 00098 for 1712 & 1720 Fairfield Road "The Rhodo"

For Staff Consideration

From: [REDACTED]
Sent: Thursday, December 13, 2018 1:21 PM
To: CALUC chair
Cc: [REDACTED]
Subject: CALUC Meeting re Rhodo Development - 1712/1720 Fairfield

Alice Albert
Chair, Fairfield Gonzales Community Association Land Use Committee

Dear CALUC:

I am writing as a 30 year resident of the Gonzales neighbourhood. In my view the Rhodo townhouse development is wholly unsupportable. The proposal treats the site as if it is in the downtown urban core, rather than the residential neighbourhood of Gonzales. My concerns are as follows:

Density

- 17 townhouses is far too dense for the site, double the density of what current zoning permits
- Majority of site will be covered by buildings, concrete and pavement
- Excessive density results in buildings that are too close to the park and to the street, a lack of open site and green space, the cutting down of 52 trees, and multiple variances required in order to cram 3 large buildings onto the site

Height/Massing

- proposed height of 38 feet just to the midpoint of the roof is far too high, more than 50% above what current zoning permits
- neighbouring homes adjacent to and across the street (Montague Court) are generally one to one and a half storeys, and will be dwarfed by the height and (as described in the Advisory Design Panel comments) the "monolithic massing" of the proposed buildings

Setbacks

- setbacks of 5.5 feet to Fairfield and similarly to the park are woefully inadequate, particularly when combined with the 3 storey facade that will tower over Fairfield Road, and over Hollywood Park
- by way of example, a mere 5.5. feet from the sidewalk there will be a 38 foot high building wall stretching along Fairfield Road (the required setback is 24.7 feet)
- the minimal setbacks provide for no real or useable front or back yards, nor space for plantings to soften the mass and height of the buildings

Encroachment on Hollywood Park

- the development usurps public space and the public realm for private use and enjoyment

Design

For Staff Consideration

- the aggressively urban architectural design is appropriate for downtown, but is not respectful of the neighbourhood; as described in the Advisory Design Panel comments, it is an "urban solution in a residential area".

CALUC generally asks for feedback on what would be acceptable development for the site. I would respectfully suggest the following:

- a single row of townhouses would be appropriate for the site and the scale of the neighbourhood
- a single row of townhouses would allow for appropriate setbacks (per current R1G zoning), which would in turn allow for:
 - o retention of existing trees on the periphery of the site (alongside the park and adjacent to neighbours at the rear) as well as adequate space to plant new trees to replace those required to be cut down for construction
 - o a more sensitive transition to Hollywood Park
 - o proper front and back yards, appropriate for families and in keeping with the neighbourhood form and character
- reduce the height/# of storeys to 2 storeys (consistent with the Official Community Plan, current Gonzales Neighbourhood Plan and zoning), and
- an architectural design that better fits with and respects the form and character of the existing neighbourhood.

Thank you for the opportunity to comment.

██████████
████████████████████

For Staff Consideration

Neighbourhood Concern	Suggested Change	Rationale for Suggested Change
Building too close to Hollywood Park	9m (from 1.7m)	Reflects intent of Design Guidelines for Attached Residential Development: <i>"The design and placement of buildings and landscape should establish a sensitive transition to adjacent parks."</i> Consistent with OCP and GNP 2002 objectives regarding preserving and enhancing parks. Provides better buffer to tree root zones of large trees in the park.
Townhouses appear to encroach onto park	6-foot privacy hedge / fence (from minimal landscape hedge)	Protects park users enjoyment / experience of the park. Consistent with Design Guidelines: <i>"For new development adjacent to parks and larger public outdoor open spaces, design should clearly delineating private from public spaces, to avoid "privatizing" of public space."</i>
Increase setback from Fairfield Road	7.5m (from 1.68m)	Consistent with R1-G zone and generally R3-L zone. Important to meet this minimum setback given that this is a frequently used route by many given proximity to Fairfield Plaza, used by families going to and from Margaret Jenkins, and given location next to park. Consistent with character of neighbourhood. This prevents pedestrians from feeling "crowded" on the Fairfield sidewalk and room for more plantings to soften effect of higher density building mass.
Reduce height / storeys	7.6m (from 11.45m) and 2 stories (from "2.5 storeys")	Consistent with R1-G zone. Consistent with character or neighbourhood, (generally 1-1.5 storeys), avoid having existing buildings dwarfed by the height of Rhodo townhomes
Reduce maximum % of site coverage	30% (from 60%)	Consistent with R1-G zone. Current proposal's lack of open site and green space is inconsistent with character of neighbourhood, particularly adjacent to park.
Increase minimum % of	50% (from 35.5%)	Consistent with R1-G zone. Current proposal's lack of open site and green

For Staff Consideration

open site space		space is inconsistent with character of neighbourhood, particularly adjacent to park.
Increase rear yard setback	9.1m or 30% of lot depth whichever is greater (from 6.1m)	Consistent with R1-G zone.
Eliminate second/double row of townhouses	Single row	As agreed to by Council a single row would be appropriate for the site and the scale of this neighbourhood.
Design appears "industrial"	Consider a design that better fits with existing houses in the neighbourhood	The strong urban architectural design is appropriate for downtown, but is not respectful of residential neighbourhood; as described in the Advisory Design Panel comments, it is an "urban solution in a residential area." Paying attention to character of existing houses in the neighbourhood is consistent with 2002 GNP (3.3.2)
Loss of too many trees	Minimize loss of existing trees (from current 52 trees proposed to be cut)	Consistent with 2002 GNP <i>"to preserve and maintain, to the extent possible, neighbourhood features, such as trees, fences, gardens, and rock outcrops"</i> (3.3.11). Addresses concern about continued loss of tree canopy in Gonzales.
Insufficient parking	Meet City requirements (e.g. 26 parking spots for 17 units) vs. variance requested on City requirement (i.e. 22 spots for 17 units)	Complies with Zoning Bylaw Schedule C for multiple dwellings. Parking in this area is already challenging due to the many out-of-area visitors using Hollywood Park, along with high volume from Fairfield Plaza, and visitors to the hospital, cemetery, and Dallas Road. There are also a number of secondary suites in the area (no off-street parking required for suites by the City).

For Staff Consideration

From: [REDACTED]
Date: November 18, 2018 at 3:47:05 PM PST
To: councillors@victoria.ca
Subject: Rhodo Development concerns

I have looked at the proposed "Rhodo" development plans and have some serious concerns.

I live and own a home less than 2 blocks away and Fairfield Road along Hollywood park is a corridor I travel along daily - often walking to the grocery store or when I am heading downtown.

First, I am not opposed to townhouse developments in the proposed properties but what Azyre has put forward in their plans looks awful and in no way suits own neighbourhood. I have seen many other townhouse developments (for example along Shelbourne Street) and they look appealing and feel like they fit in neighbourhood - with comfortable setbacks and pleasing "home" like designs. What Azyre is proposing and the lack of setbacks will, in my opinion, be unsightly and overbearing and in no way suits our lovely community. I would say their density is also overzealous and needs to be revisited too.

I feel very strongly that our building bylaws need to be adhered to and the developer needs to design their developments accordingly. Their extra profits should not come at the expense of ruining the feel and culture of a neighbourhood.

Sincerely,
[REDACTED]

For Staff Consideration

From: [REDACTED]
Sent: Tuesday, December 11, 2018 1:03 PM
To: CALUC chair
Subject: Rhodo

We should retain the community plan as it relates to this proposal.

If others (some councillors ,the developer) want to proceed with the development then the community plan requires a formal amendment.

[REDACTED]

[REDACTED]

Victoria, BC

[REDACTED]

For Staff Consideration

From: [REDACTED]
Sent: Monday, December 10, 2018 1:14 PM
To: CALUC chair
Subject: Comments on the Rhodo Development

Hello CALUC:

I am unable to attend the meeting of CALUC concerning the Rhodo Development at 1712-1720 Fairfield Road. I am instead submitting my comments by email.

I have reviewed the developer's plans and renderings and think they ought to make the following adjustments in order to fit our Gonzales Neighbourhood Plan:

1. Drop the "modernist" looking architecture and instead provide a design that fits the Gonzales residential streets:



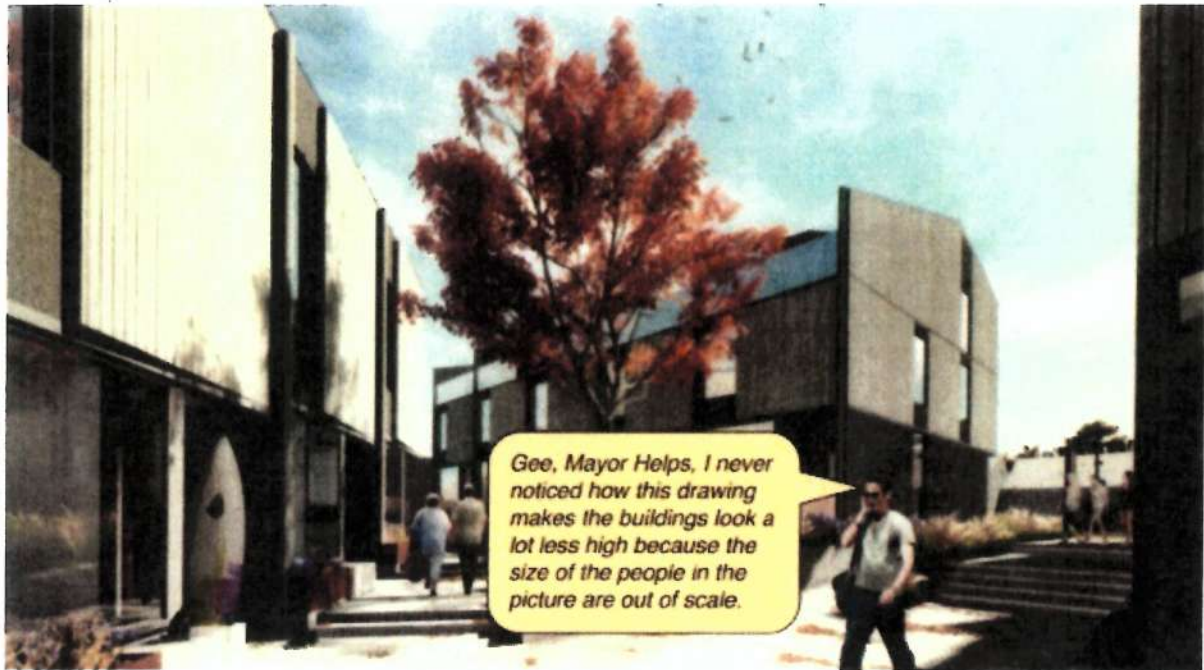
For Staff Consideration

2. Increase setbacks on Fairfield Road:



3. Reduce the height to 2 storeys:

For Staff Consideration



Sincerely,

██████████
████████████████████
Victoria BC ██████████

For Staff Consideration

From: [REDACTED]
Sent: Thursday, December 13, 2018 12:57 PM
To: CALUC chair
Cc: CALUC chair
Subject: Zoning for Rhodo development

Dear Chair and CALUC members,
I would like to add my voice to all the residents in Fairfield Gonzales who really oppose
The scale of the development proposal at 1712 Fairfield.

Please recommend that the development be built according to the applicable zoning
In the Fairfield Gonzales plan. IE three houses only, (they could have secondary suites).

The proposed plan would cram too many buildings and too many people into the lot, and it
would remove dozens of trees and reduce green space.

Please ensure that the houses are only two storeys and that they have at least 7.5 metres of set
back from Fairfield road.

Please also ensure that the buildings are set back at least 9 metres from Hollywood park, and that
there is a high hedge or fence on that side.

The architectural style the developer proposes does not harmonize with the surroundings and the
neighbourhood.

Please help maintain this neighbourhood and the neighbourhood plan by recommending
That the plan conform to the existing plan.

thank you, [REDACTED], Fairfield Gonzales resident.

For Staff Consideration

From: [REDACTED]
Sent: Wednesday, December 12, 2018 6:01 AM
To: mayorandcouncil@victoria.ca
Cc: CALUC chair; councillors@victoria.ca; DJ Chez
Subject: Aryze Developement at 1712 & 1720 Fairfield Road

Hello Mayor & Councillors...

My name is [REDACTED] and my wife and I have lived at [REDACTED] for the past 23 years, just a few houses up from the new proposed Rhodo development by Aryze adjacent to Hollywood Park.

I will be away Thursday December 13th for the Community Meeting and would like to register my concerns via this email.

While I do not object to thoughtful development and logical "densification" in our Gonzales neighbourhood, I do object to this development's design for the following reasons:

- The design does not come close to fitting the character of the Gonzales neighborhood. To me it appears similar to campus housing you would see at UBC or SFU.
- I object to how this Aryze development's plan is completely open to Hollywood park without a fence or some prominent landscaping to denote the park from this private property.
- I object to how close the front entrance of many of the town-homes are to the sidewalk and Fairfield road and I am also worried about the height as the majority of homes in our neighbourhood are not taller than 2 stories.

Please Mayor, Councillors and City Planning Staff ask yourselves **"Would you want something so starkly out of character developed where you live? "**

Sincerely,
[REDACTED]

For Staff Consideration

Dear FG CALUC Members,

December 10th, 2018

re: Rezoning and Development - #REZ00618 & DPV00098

The development proposal for 1712 & 1720 Fairfield Rd is too large for its site having a coverage of 60% of the lot. The overly tall 11.45 meter high, massive 3 storey buildings impose on the sidewalks and encroach on Hollywood Park. Having multiple residential doors opening directly to the street as if they were commercial spaces is not consistent with the neighbourhood ambiance. The setback from Fairfield road is 1.68 meters instead of 7.5 meters maintained throughout the neighbourhood.

Our Parks become increasingly important Public Places as our City grows. Families living in apartments and condos with no yards, trees or gardens, need green space. The Park is used by people from the whole City, not just our neighbourhood. Hollywood Park is not an asset which we want to give away to any private developers.

In Gonzales, back yards are 9 meters to allow for trees and gardens. There needs to be separation between private back yard patios and the park's tennis courts for the building which runs along the park. The rear building does not observe this setback either.

The loss of mature trees and bushes on these properties will be significant and the development may endanger trees in adjacent properties including Hollywood Park. The underground parking will remove the roots of many healthy trees and the new concrete will leave little space for new trees to grow.

The encroachment on public property is too great. The development does not comply with the specifications in the OCP nor the spirit of gentle density which the Gonzales neighbourhood accepts. This luxury development does not provide affordable housing. The design is not compatible with the neighbourhood and townhouses should only be single row. The Park and the streetscape needs to be respected and preserved and the plans need to be reworked.

Thank you for your consideration,

██████████
██████████

For Staff Consideration

From: [REDACTED]
Sent: Monday, December 10, 2018 2:46 PM
To: mayorandcouncil@victoria.ca; CALUC chair
Cc: info@aryze.ca
Subject: Proposed development at 1712 & 1720 Fairfield Road

Dear Mayor and Councillors and members of the Fairfield Community Land Use Committee,

Unfortunately I will not be able to attend the December 13 Community Meeting to discuss the above proposed development so am writing to raise some concerns about the proposal based on my current knowledge of the proposal. My wife and I attended one meeting offered by the developers some time ago, and we have followed the written information concerning the development with interest, including the recently provided sketches and description of the proposal as it stood in November.

I have several major concerns about this proposal.

The first of these is that the design as shown in the sketches provided by Aryze is completely inconsistent with the character of the neighbourhood. The units are not sufficiently set back from the street. The proposed box-like shape is not reflective of other buildings in the area. I cannot see that any attempt has been made to have the 17-home unit fit in. Elsewhere in the area, densification has been achieved without the structures being so visually disruptive; for example, the development at the corner of Chandler and Foul Bay. The problem with the design is compounded by the lack of significant set-back from the street. Placing the units as close as 5.5 feet is simply disrespectful of the neighbourhood.

My second concern has to do with the relationship of the development to Hollywood Park, and particularly the public tennis courts. As shown in the sketches provided by Aryze, no effort has been made to separate the development from the park. This will almost certainly lead the residents of the development to treat the park as their yard, especially given the limited amount of space on the property itself. The fact that most of the units facing the park are in fact facing the existing tennis courts compounds the problem. One can easily imagine that residents of the development will find the noise of the tennis courts disruptive in the absence of a separation such as a large hedge. This could lead to calls to remove the courts, which must not be allowed to happen. The lack of a visual barrier also will reduce the privacy of park users, and thus reduce their inclination to use the park. These issues must be addressed in a revised design.

Finally, the proposal is expected to lead to the removal of up to 51 trees, including one tree protected by bylaw. The design does not appear to offer much opportunity to incorporate trees or other green space in compensation. Tree canopy is a significant characteristic of the neighbourhood, one which is important not only for aesthetic reasons, but also to help address climate change. The city traditionally values its green space and trees, and no exception should be made for this development.

For Staff Consideration

In conclusion, I need to say that I strongly support appropriate densification in the neighbourhood because it is a key tool to keep the city's core affordable. I am not aware if there are plans to ensure that the present proposal will include some affordable units or not, but I trust that Council will insist that there are.

Thank you for considering the views expressed here. I would urge that significant efforts be made to correct the issues raised here and also those raised by other residents, and I look forward to seeing those concerns accommodated as the proposed development moves forward.

Sincerely,

A black rectangular redaction box covering the signature of the person.

Victoria

For Staff Consideration

From: [REDACTED]
Sent: Thursday, December 13, 2018 3:32 PM
To: CALUC chair
Subject: Rhodo...

Hello [REDACTED],

I cannot make it to the CALUC meeting this evening due to a previous commitment.

However, I would like to be on record as strongly supporting the following five suggestions of changes to the existing Rhodo Development plans:

1. Elimination of the second " double " row of townhouses....
2. Reduce the building height to 2 storys.
3. Increase the setbacks on Fairfield Road.
4. Provide a physical buffer on Hollywood Park side of development.
5. Consider changing the design to fit in with the surrounding residential neighbourhood. The current one does not do that.

I am not against development of this site for more affordable housing but it should be done so that the new buildings are not a blight on our community landscape.

Sincerely,

[REDACTED]

Sent from my iPad

For Staff Consideration

From: [REDACTED]
Sent: Monday, November 26, 2018 11:04 AM
To: Front Desk; Ben Isitt; Geraldine
Subject: Rhodo Development Rejection

Dear Association,

I am a resident of Fairfield/ Gonzales, home owner at [REDACTED]. My wife and I moved here four years ago. We moved to Fairfield from Carnarvon St. located in Saanich. We moved because on our street the neighbours cared less about cutting down mature trees, and over the 14 years we lived there our views were compromised, year by year with the unnecessary removal of huge mature trees. From our home we could see 24 houses, that's how compromised our view became!

We were able to move to beautiful Fairfield and we did so because of the amount of surrounding trees and the character of the neighbourhood, that in my view is only beautiful because of the existence of so many trees and green space. For the past four years I have shuttered nearly every week day when I wake up to the sound of chainsaws, first the city cut down a line of trees on Richmond Rd, that continues, and over the years they are slow, and lately stalled in our area when it comes to replanting. A major tree boulevard tree was cut down doors from our home and it wasn't replaced, this happened three years ago.

My point, this Rhodo development is another example of the rape and pillage of our Fairfield environment and I want it stopped. I think of a future Fairfield Road looking like Shelbourne St. in Saanich, where nearly every single family home has been bought by greedy developers and turned into townhomes at the cost of hundreds of mature trees. Is this what we want in Fairfield? I say no, we have to take responsibility to act now to protect our environment!

I want to remind the association that the very wealthy who live in the Uplands, value their massive landscapes of acres of trees and shrubs and to live in the lush environment with its massive green space municipality areas. The reason Uplands is so expensive is because of the mature landscape and green space. Our property values in Fairfield will be reduced, and believe me many of our Fairfield residents have worked very hard and long in order to live in this area and that includes us.

I understand that with this Rhodo development, the association is doing a good job of monitoring this project. Thank you for these efforts, but in my view the ideal would be that it be stopped, and instead, protect and preserve the green space of that property, and only allow a project on the existing footprint of the current building.

Thank you in advance for listening to my plea.

Sincerely,

[REDACTED]
[REDACTED]

For Staff Consideration

From: [REDACTED]
Sent: Wednesday, December 12, 2018 7:28 PM
To: CALUC chair
Subject: Rhodo development 1712 Fairfield

Dear CALUC Chair and members, I am writing to protest the proposed development for this site and encourage you to maintain the existing Fairfield Gonzales Neighbourhood plan. and only recommend development that conforms to this plan.

There are many reasons why I believe it is essential that you require the developer to be a good community citizen and abide by the neighbourhood plan that binds all of us, with the support of the neighbourhood and the city.

1) Allowing this development proposal would seriously undermine the whole concept of a neighbourhood plan because it is such a flagrant violation of the spirit and the detail of the plan. And the developer has been arrogant and insensitive in refusing to respond to neighbourhood concerns.. Hundreds of residents, plus city elected officials and staff, have collectively put thousands of hours into developing this plan that should be respected and adhered to. This Rhodo proposal is a cynical, and greedy defiance of democratic process and neighbourhood respect. As the neighbourhood land use committee you are duty bound to uphold the principle of democratic practice and respect for the planning process. This is a shockingly greedy and excessive proposal and should be utterly rejected.

2) The project is massively out of scale and character to its site, It would be overzoning by a massive order of magnitude. It would set a dangerous precedent that other developers would use for all future development proposals. It will overburden existing infrastructure and social resources and give nothing back at all. It is greedy and totally disproportionate.

3) It is ugly, without any aesthetic merit, and would damage the character of the neighbourhood. Too much square footage on too small a site,

4) There is a huge loss of trees, plants and green space. The development destroys the leafy, open, tranquil character of the neighbourhood.

For Staff Consideration

5) This development is zero sum: All the benefits go to the developer, while the neighbourhood and the residents lose not only the character, charm, and amenity value of this mature neighbourhood, they also lose the neighbourhood plan they have fought and struggled to create(in 2012/3) and preserve in 2018.

6) It is undemocratic and unfair to privilege the excessive profit of the few (the developer) over the expressed wishes of the many (the neighbourhood).

7) The developer bought this land knowing its zoning. His arrogant sense of entitlement to be allowed to make a massive and unfair profit by destroying the character of the neighbourhood should not be allowed to stand. He could still make ample profit building three houses where there previously was just one. The land was priced according to its zoning and would therefore be profitable to develop at that density.. Anything else is speculation. It is not the task of CALUC or the City of Victoria to enrich speculators and destroy neighbourhoods.

Please only take submissions from residents of Fairfield. The developer has a history of getting workers and tradespeople he employs who do not live in Fairfield to pack meetings. You are the voice of this community. Non residents should not be allowed to influence your process.

Please be democratic and respect the wishes of the many - the residents - and not give in to the greed and self interest of the few - the developer and his cronies Please uphold the existing neighbourhood plan and restrict this development to the three houses that the site is zoned to bear under the neighbourhood plan.

Please confirm that you have received this communication.

I will not be able to attend tomorrow's meeting.

Thank you for your consideration

Sincerely, [REDACTED]

For Staff Consideration

From: [REDACTED]

Sent: Thursday, December 13, 2018 12:27 PM

To: CALUC chair

Subject: Rhodo Developement

Thank you for all the work you do in representing the neighborhood. We will not be able to attend tonight, however we fully support your new proposal.

Regards.

[REDACTED]

[REDACTED]

Victoria. [REDACTED]

[REDACTED]

For Staff Consideration

From: [REDACTED]

Sent: Wednesday, December 12, 2018 9:54 PM

To: CALUC chair

Subject: Rhodo development

I would like to inform you of my opposition to the present plan of the Rhodo development on Fairfield road. In particular I do not like the front of the development on Fairfield Road. It is too high, much too close to the sidewalk and the design is very institutional looking. On the Hollywood Park side of the development the units are too close to the tennis courts and there should be a fence or a hedge between the development and the park. In general the development is too big for the size of the property. I have been a resident of the Gonzales neighbourhood for over 30 years and feel that developers should try to design "new" developments that blend in more with existing buildings.

[REDACTED]



Sustainable Planning and
Community Development
1 Centennial Square
Victoria, BC V8W 1P6

T 250.361.0382
E housing@victoria.ca

Tenant Assistance Plan Application

This form must be submitted with your rezoning or development application

Step 1:	BACKGROUND: Understand your rights and responsibilities as a landlord. Please review the documents in the background section pertaining to relocating tenants and the City's rental replacement policies
Step 2:	DRAFT TENANT ASSISTANCE PLAN: Complete application form including: <ul style="list-style-type: none"> a. Site information b. Current occupant information and rent rolls (attach as Appendix A) c. Draft tenant assistance plan.
Step 3:	SUBMIT: Save and return the completed form to City Staff for feedback by email to housing@victoria.ca

STEP 1: BACKGROUND: Rights and Responsibilities of Landlords and Tenants

The rights and responsibilities of landlords and tenants are regulated by the Province and is set out in the [Residential Tenancy Act](#). Please refer to the Tenant Assistance Policy and information regarding rental housing policies available on the City of Victoria's website for more information regarding the City of Victoria's rental housing policies.

STEP 2: TENANT ASSISTANCE PLAN

a. SITE INFORMATION

SITE ADDRESS:	1720 Fairfield Road, Victoria BC V8S 1G3
OWNER NAME:	Ryan Goodman
COMPANY NAME:	1113934 B.C. LTD., INC.NO. BC1113934
TOTAL RENTAL UNITS:	1

b. CURRENT OCCUPANT INFORMATION & RENT ROLLS

Please attach the current tenant information and rent rolls as Appendix A. At this stage, please identify existing vulnerable* tenants which will determine requirements within the Tenant Assistance Plan.

*Vulnerable tenants may include:

- Long-term tenants who may be paying significantly below market-rent, and for whom entering the current market may present financial challenges
- Tenants with specific housing needs due to a disability
- Seniors, who may be long-term tenants and living on a fixed income
- Families with young children, who may have difficulty finding appropriate units



Tenant Assistance Plan Application Form

c. DRAFT TENANT ASSISTANCE PLAN

Tenant Assistance Plan Components	Draft Tenant Assistance Plan (to be completed with Rezoning application)		City Staff Comments (to be completed during application review)	
	Date:	October 30 2018	Date:	November 6, 2018
Compensation by tenancy length: <ul style="list-style-type: none"> Up to 5 years: 3 months' rent 5 to 9 years: 4 months' rent 10-19 years: 5 months' rent 20+ years: 6 months' rent 	Tenants do not qualify, less than 1 year tenancy		Meet TAP Guidelines - Please ensure that compensation is provided in alignment with the Tenancy Act	
Notification: <ul style="list-style-type: none"> A minimum of 4 months notice to end tenancy 	4 months notification		As above	
Moving Expenses: <ul style="list-style-type: none"> An insured moving company may be hired by the applicant, with all arrangements and costs covered Flat rates of \$500 bachelor or 1 BR or \$750 for 2+ BR 	Tenants do not qualify, less than 1 year tenancy As above		As above	
Relocation Assistance: <ul style="list-style-type: none"> Tenant Relocation Coordinator provided Three options provided comparable in size, location and rent amount (min. of one option in same neighbourhood) 	Tenants do not qualify less than 1 year tenancy		As above	
Right of First Refusal: <ul style="list-style-type: none"> Offer to return to the building, with rent rates discounted by 10% of starting rates 	n/a		As above	
Vulnerable Tenants: <ul style="list-style-type: none"> Please identify additional assistance offered to vulnerable tenants 	n/a		As above	



Final Tenant Assistance Plan Application Form

c. FINAL TENANCY ASSISTANCE PLAN

Please complete the final Tenant Assistance Plan form below, while addressing the staff comments providing in response to the draft plan previously submitted to ensure alignment with policy objectives.

Tenant Assistance Plan Components	Final Tenant Assistance Plan (to be completed with Rezoning application)	
	Date:	November 6, 2018
Compensation by tenancy length: <ul style="list-style-type: none">Up to 5 years: 3 months' rent5 to 9 years: 4 months' rent10-19 years: 5 months' rent20+ years: 6 months' rent	Tenants do not qualify, less than 1 year tenancy	
Notification: <ul style="list-style-type: none">A minimum of 4 months notice to end tenancy	4 months notification	
Moving Expenses: <ul style="list-style-type: none">An insured moving company may be hired by the applicant, with all arrangements and costs coveredFlat rates of \$500 bachelor or 1 BR or \$750 for 2+ BR	Tenants do not qualify, less than 1 year t	
Relocation Assistance: <ul style="list-style-type: none">Tenant Relocation Coordinator providedThree options provided comparable in size, location and rent amount (min. of one option in same neighbourhood)	Tenants do not qualify less than 1 year tenancy	
Right of First Refusal: <ul style="list-style-type: none">Offer to return to the building, with rent rates discounted by 10% of starting rates	n/a	
Vulnerable Tenants: <ul style="list-style-type: none">Please identify additional assistance offered to vulnerable tenants	n/a	

Application received by Jesse Tarbotton (staff) on October 31, 2018 (date)



Sustainable Planning and
Community Development
1 Centennial Square
Victoria, BC V8W 1P6

T 250.361.0382
E housing@victoria.ca

Tenant Assistance Plan Application

This form must be submitted with your rezoning or development application

Step 1:	BACKGROUND: Understand your rights and responsibilities as a landlord. Please review the documents in the background section pertaining to relocating tenants and the City's rental replacement policies
Step 2:	DRAFT TENANT ASSISTANCE PLAN: Complete application form including: a. Site information b. Current occupant information and rent rolls (attach as Appendix A) c. Draft tenant assistance plan.
Step 3:	SUBMIT: Save and return the completed form to City Staff for feedback by email to housing@victoria.ca

STEP 1: BACKGROUND: Rights and Responsibilities of Landlords and Tenants

The rights and responsibilities of landlords and tenants are regulated by the Province and is set out in the [Residential Tenancy Act](#). Please refer to the Tenant Assistance Policy and information regarding rental housing policies available on the City of Victoria's website for more information regarding the City of Victoria's rental housing policies.

STEP 2: TENANT ASSISTANCE PLAN

a. SITE INFORMATION

SITE ADDRESS:	1712 Fairfield Road, Victoria BC V8S 1G3
OWNER NAME:	Ryan Goodman
COMPANY NAME:	1113934 B.C. LTD., INC.NO. BC1113934
TOTAL RENTAL UNITS:	1

b. CURRENT OCCUPANT INFORMATION & RENT ROLLS

Please attach the current tenant information and rent rolls as Appendix A. At this stage, please identify existing vulnerable* tenants which will determine requirements within the Tenant Assistance Plan.

*Vulnerable tenants may include:

- Long-term tenants who may be paying significantly below market-rent, and for whom entering the current market may present financial challenges
- Tenants with specific housing needs due to a disability
- Seniors, who may be long-term tenants and living on a fixed income
- Families with young children, who may have difficulty finding appropriate units



Tenant Assistance Plan Application Form

c. DRAFT TENANT ASSISTANCE PLAN

Tenant Assistance Plan Components	Draft Tenant Assistance Plan (to be completed with Rezoning application)		City Staff Comments (to be completed during application review)	
	Date:	October 30 2018	Date:	November 6, 2018
Compensation by tenancy length: <ul style="list-style-type: none"> Up to 5 years: 3 months' rent 5 to 9 years: 4 months' rent 10-19 years: 5 months' rent 20+ years: 6 months' rent 	Tenants do no qualify, less than 1 year tenancy		Meet TAP Guidelines - Please ensure that compensation is provided in alignment with the Tenancy Act	
Notification: <ul style="list-style-type: none"> A minimum of 4 months notice to end tenancy 	4 months notification		As above	
Moving Expenses: <ul style="list-style-type: none"> An insured moving company may be hired by the applicant, with all arrangements and costs covered Flat rates of \$500 bachelor or 1 BR or \$750 for 2+ BR 	Tenants do no qualify, less than 1 year tenancy		As above	
Relocation Assistance: <ul style="list-style-type: none"> Tenant Relocation Coordinator provided Three options provided comparable in size, location and rent amount (min. of one option in same neighbourhood) 	Tenants do no qualify less than 1 year tenancy		As above	
Right of First Refusal: <ul style="list-style-type: none"> Offer to return to the building, with rent rates discounted by 10% of starting rates 	n/a		As above	
Vulnerable Tenants: <ul style="list-style-type: none"> Please identify additional assistance offered to vulnerable tenants 	n/a			



Sustainable Planning and Community Development
1 Centennial Square
Victoria, BC V8W 1P6
T 250.361.382 E housing@victoria.ca

Final Tenant Assistance Plan Application Form

c. FINAL TENANCY ASSISTANCE PLAN

Please complete the final Tenant Assistance Plan form below, while addressing the staff comments providing in response to the draft plan previously submitted to ensure alignment with policy objectives.

Tenant Assistance Plan Components	Final Tenant Assistance Plan <i>(to be completed with Rezoning application)</i>	
	Date:	November 6, 2018
Compensation by tenancy length: <ul style="list-style-type: none">Up to 5 years: 3 months' rent5 to 9 years: 4 months' rent10-19 years: 5 months' rent20+ years: 6 months' rent	Tenants do not qualify, less than 1 year tenancy	
Notification: <ul style="list-style-type: none">A minimum of 4 months notice to end tenancy	4 months notification	
Moving Expenses: <ul style="list-style-type: none">An insured moving company may be hired by the applicant, with all arrangements and costs coveredFlat rates of \$500 bachelor or 1 BR or \$750 for 2+ BR	Tenants do not qualify, less than 1 year t	
Relocation Assistance: <ul style="list-style-type: none">Tenant Relocation Coordinator providedThree options provided comparable in size, location and rent amount (min. of one option in same neighbourhood)	Tenants do not qualify less than 1 year tenancy	
Right of First Refusal: <ul style="list-style-type: none">Offer to return to the building, with rent rates discounted by 10% of starting rates	n/a	
Vulnerable Tenants: <ul style="list-style-type: none">Please identify additional assistance offered to vulnerable tenants	n/a	

Application received by Jesse Tarbotton (staff) on October 31, 2018 (date)



Talbot Mackenzie & Associates
Consulting Arborists

1712 & 1720 Fairfield Rd, Victoria

Arborist Report: Construction Impact Assessment & Tree Preservation Plan

PREPARED FOR: Luke Mari
Director of Development
Purdey Group
Victoria, BC

PREPARED BY: Talbot, Mackenzie & Associates
Michael Marcucci – Consulting Arborist
ISA Certified # ON-1943A
TRAQ – Qualified

DATE OF ISSUANCE: May 25, 2018
AMENDED: July 20, 2018

Box 48153 RPO - Uptown Victoria, BC V8Z 7H6
Ph: (250) 479-8733
Fax: (250) 479-7050
Email: tmtreehelp@gmail.com



Talbot Mackenzie & Associates

Consulting Arborists

Jobsite Property: 1712 and 1720 Fairfield Road, Victoria

Date of Site Visit: July 25, 2017-April 19, 2018

Site Conditions: Residential lots. No construction activity present. Hollywood Park borders the property to the west.

Summary: The proposal is to demolish the two single-family dwellings and construct three townhouse building clusters with underground parking. One bylaw protected tree with poor structure (Linden, tag #215) and one municipal boulevard tree (Cherry NT 1) will be removed. The health of the Lombardy Poplar tree (#236) may be impacted by the excavation for the foundation and rear decks, but we anticipate it will recover considering its good health and the remaining protected root zone. The existing driveways and sidewalks, adjacent to the retained municipal cherry trees in the boulevard (NT 2 and 22), should be removed and the new sidewalks constructed under arborist supervision. We do not anticipate any trees in the park or municipal boulevard will be impacted significantly by the excavation to the property line for the underground parking.

Scope of Assignment: To inventory the existing bylaw protected trees and any trees on neighbouring properties that could potentially be impacted by construction or that are within three metres of the property line. Review the proposal to demolish the existing houses on each property and construct three townhouse building clusters with underground parking. Comment on how construction activity may impact existing trees. Prepare a tree retention and construction damage mitigation plan for those trees deemed suitable to retain given the proposed impacts.

Methodology: We visually examined the trees on the property and prepared an inventory of the bylaw protected trees in the attached Tree Resource Spreadsheet. Each tree was identified using a numeric metal tag attached to its lower trunk (including non-bylaw protected trees on the property). Municipal trees and neighbours' trees were not tagged. Information such as tree species, DBH (1.4m), crown spread, critical root zone (CRZ), health, structure, and relative tolerance to construction impacts were included in the inventory. The bylaw protected trees with their identification numbers are labelled on the attached Arborist Site Plan. The conclusions reached are based on the information provided within the attached building plans by Shape Architecture Inc (dated July 18, 2018) and the landscape design plans from Biophilia Design Collective (dated July 2018).

Limitations:

No servicing plans were available for comment.

No exploratory excavations have been requested and thus the conclusions reached are based solely on critical root zone calculations and our best judgement using our experience and expertise. The location, size and density of roots are often difficult to predict without exploratory excavations and therefore the impacts to the trees may be more or less severe than we anticipate.

Summary of Tree Resource: 26 trees were inventoried. Only two bylaw protected trees exist on the subject property: Linden #215 and Lombardy Poplar #236. Three municipal flowering cherry trees (NT 1, 2 and 22) are located in the boulevard in front of the properties.

Bylaw Protected, Municipal and Neighbour's Trees to be Removed:

- **Linden #215** (99cm DBH)
This tree is located in close proximity to Blocks 1 and 3 and therefore will require removal. It is worth noting that this tree has poor structure due to being topped historically at four metres above ground and therefore would not typically be suitable for retention.
- **NT 1 Flowering Cherry** (50cm DBH): The municipal tree on the boulevard will require removal for the new driveway entrance.
- **NT 12 Willow-leaved Cotoneaster** (~12 and 8cm): The base of this neighbour's plant is growing against the fenceline and will therefore require removal unless the retaining wall curves around the tree and bridges this area of the root system (avoiding excavation). It is our understanding that this neighbour has requested the retaining wall due to an existing gradual grade change.

Potential Impacts on Bylaw Protected Trees and Mitigation Measures

- **Lombardy Poplar #236** (88cm DBH): This bylaw protected tree will be approximately 6m from the building footprint of the Block 3 townhouse at its closest corner point. The underground parking does not extend to the perimeter of the building footprint in this location (see C3 Section 1 on page A303). However, the proposed slab-on-grade rear deck of the townhouse extends approximately 3m beyond the footprint. The surface of the concrete slab will be slightly above existing grade with stairs down to the backyard. It is our understanding that grade changes within the backyard area will be minor, if at all required. We estimate that excavation for the concrete slab will extend to 2.7m from the base of the tree at its closest point.

A significant amount of roots may be severed within the footprint of the rear deck as Lombardy Poplars are known for wide-spreading root systems. There may be some health impact on the tree as a result. However, considering the tree's good health and the amount of root zone protected (approximately 80%), we anticipate the tree will likely recover from the root loss in the long-term. The stability of the tree is unlikely to be impacted.

Installation of new fencing at the property line within the critical root zone should avoid significant root loss. Holes required for posts should be hand-dug under arborist direction.

Lombardy Poplars are known to have wide-spreading, highly invasive root systems which can cause damage to hard surfaces, perimeter drains and, in some cases, building foundations. The applicant would therefore prefer to remove the tree and replant with a more desirable tree species. If the tree is to be removed, this would require permission from both the neighbouring property which shares ownership of the tree (located on the property line) and the municipality. If the tree is removed, considerations should be made to reduce the stump and roots from sprouting shoots after removal which could cause further damage in the future.

If it is decided by the concerned parties that the tree will be retained, we would recommend installing root barriers around the concrete rear deck and the perimeter drains in this area of the building, especially if large roots are encountered during excavation. Root barriers should be installed as close to the finished grade as possible, or above the grade, to ensure roots do not eventually grow above the barrier.

- **NT 2 and NT 22 Flowering Cherries (20 and 40cm DBH, respectively)**

These municipal boulevard trees are both located beside existing driveways, which are to be removed as part of the proposal. We recommend an arborist supervise the removal of the existing asphalt to ensure any potential roots growing underneath are not damaged in the process. We also recommend that the driveways and sidewalks be left in place for as long as possible during construction to ensure that the roots underneath the hard surfaces are not exposed and subsequently damaged by machine traffic. If the driveways are removed prior to the end of construction activity, the barrier fencing may have to be extended to include this area. We do not anticipate that the excavation for the underground parkade on the property line will impact the trees significantly.

If curb replacement is included within the requested frontage improvements, this could lead to the loss of roots growing against the existing curb. An arborist should supervise the required excavation. Reducing working room and/or curb depth may be recommended to retain certain roots.

- **Underground Parkade Excavation**

It's our understanding that excavation for the underground parkade will be limited to within the property lines of the subject property and will not extend into the neighbouring park or boulevard. We therefore do not anticipate impacts to any of the trees within the park and only minor impacts (if any) to the boulevard trees. There is a cedar hedge (NT 16, stems 7-8cm in diameter at ground level) within the park with plants located approximately half a metre from the fence-line. It is likely the hedge will not decline as a result of the excavations to the property line. If possible (after excavation and prior to shoring), any roots encountered should be pruned back to sound tissue.

- **Neighbour's Leyland Cypress hedge (NT 4 and 5):** The 18 inch tall retaining wall is shown as ending adjacent to trees NT 4 and 5 in this hedge. If retention of these trees is desired and roots are encountered in the area of the retaining wall, we will likely recommend the second

half of the retaining wall not require excavation. This may result in the wall tapering and ending prior to where significant roots are encountered or that a boulder retaining wall be built instead to avoid excavation necessary with a concrete retaining wall.

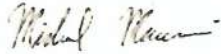
- **Arborist Supervision:** All excavation occurring within the critical root zones of protected trees should be completed under supervision by the project arborist. Any roots encountered must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound. In particular, the following activities should be completed under the direction of the project arborist:
 - Excavation for the foundation of Block 3 and rear deck within the CRZ of Poplar #236
 - Removal of the existing driveways and sidewalks within the CRZ of boulevard trees NT 2 and NT 22 (and excavation of the underground parkade if possible)
 - Any excavation necessary to construct the new sidewalks or curbs within the CRZ of NT 2 and NT 22.
 - Excavation adjacent to cedar hedge NT 16
 - Excavation associated with the retaining wall adjacent to Leyland Cypresses NT 4 and 5
 - Any excavation associated with the installation of new fencing within the CRZ of Poplar #236
 - Any removal, installation or upgrading of underground services within the CRZ of retained trees
- **Barrier fencing:** The areas surrounding the trees to be retained should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.
- **Minimizing Soil Compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:
 - Installing a layer of hog fuel or coarse wood chips at least 20 cm in depth and maintaining it in good condition until construction is complete.
 - Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15 cm over top.
 - Placing two layers of 19mm plywood.
 - Placing steel plates.

- **Demolition of the existing buildings:** The demolition of the existing houses and any services that must be removed or abandoned, must take the critical root zone of the trees to be retained into account. If any excavation or machine access is required within the critical root zones of trees to be retained, it must be completed under the supervision and direction of the project arborist. If temporarily removed for demolition, barrier fencing must be erected immediately after the supervised demolition.
- **Mulching:** Mulching can be an important proactive step in maintaining the health of trees and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips or bark pieces and be 5-8cm deep. No mulch should be touching the trunk of the tree. See “methods to avoid soil compaction” if the area is to have heavy traffic.
- **Blasting:** Care must be taken to ensure that the area of blasting does not extend beyond the necessary footprints and into the critical root zones of surrounding trees. The use of small low-concussion charges and multiple small charges designed to pre-shear the rock face will reduce fracturing, ground vibration, and overall impact on the surrounding environment. Only explosives of low phytotoxicity and techniques that minimize tree damage should be used. Provisions must be made to ensure that blasted rock and debris are stored away from the critical root zones of trees.
- **Landscaping and Irrigation Systems:** The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must take into account the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technician consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on tree health and can lead to root and trunk decay.
- **Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - Locating the barrier fencing
 - Reviewing the report with the project foreman or site supervisor
 - Locating work zones, where required
 - Supervising any excavation within the critical root zones of trees to be retained
 - Reviewing and advising of any pruning requirements for machine clearances
- **Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

Talbot Mackenzie & Associates

Please do not hesitate to call us at (250) 479-8733 should you have any further questions. Thank you.

Yours truly,



Michael Marcucci
ISA Certified # ON-1943A
TRAQ – Qualified

Talbot Mackenzie & Associates
ISA Certified Consulting Arborists

Encl. 2-page bylaw protected trees spreadsheet, 1-page arborist site plan, 8-page building plan excerpts, 1-page spreadsheet methodology, 1-page barrier fencing specifications

Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure or can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

Tree ID	Common Name	Latin Name	DBH (cm) * over ivy approximate	Crown Spread (m)	CRZ (m)	Relative Tolerance	Health	Structure	Remarks and Recommendations	Retention status X= Removal	Bylaw Protected
215	Linden	<i>Tilia spp</i>	99	9	10.0	Good	Fair	Poor	Main stems topped at 4m where diameter is 50cm. Canopy is made up of mostly large and extended sprouts. Codominant at 2m with included bark. Retention not	Removal	Yes
236	Lombardy Poplar	<i>Populus nigra</i>	88	8	10.5	Moderate	Fair	Poor	Codominant at 1.5m AGL with included bark. Numerous codominant unions with reaction wood. Tree growing into fencing. Surface rooted towards corner (~2m).	Retain	Yes
NT 01	Flowering Cherry	<i>Prunus spp</i>	50.0	8	6.0	Moderate	Fair	Fair	Municipally owned on boulevard	Removal	Municipal tree
NT 02	Flowering Cherry	<i>Prunus spo</i>	20.0	5	2.5	Moderate	Fair	Fair	Municipally owned on boulevard	Retain	Municipal tree
NT 03	Deodara Cedar	<i>Cedrus deodara</i>	30~	10	3.5	Good	Fair	Fair		Retain	Neighbour's
NT 04	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	23~	6	2.5	Good	Fair	Fair	Hedge	Retain	Neighbour's
NT 05	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	20, 20~	6	3.0	Good	Fair	Fair	Hedge	Retain	Neighbour's
NT 06	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	20~	6	2.0	Good	Fair	Fair	Hedge	Retain	Neighbour's
NT 07	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	20~	6	2.0	Good	Fair	Fair	Hedge	Retain	Neighbour's
NT 08	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	15~	6	2.0	Good	Fair	Fair	Hedge	Retain	Neighbour's
NT 09	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	15~	3	2.0	Good	Poor	Poor	Topped, hedge.	Retain	Neighbour's
NT 10	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	20~	3	2.0	Good	Poor	Poor	Topped, hedge.	Retain	Neighbour's

Prepared by:
Talbot Mackenzie & Associates
ISA Certified, and Consulting Arborists
Phone: (250) 479-8733
Fax: (250) 479-7050
email: Treehelp@telus.net

Tree ID	Common Name	Latin Name	DBH (cm) * over ivy approximate	Crown Spread (m)	CRZ (m)	Relative Tolerance	Health	Structure	Remarks and Recommendations	Retention status X= Removal	Bylaw Protected
NT 11	Leyland Cypress (hedge)	<i>Cupressus × leylandii</i>	20 ~	3	2.0	Good	Poor	Poor	Topped, hedge.	Retain	Neighbour's
NT 12	Willow-leaved Cotoneaster	<i>Cotoneaster salicifolius</i>	12, 8~	5	2.0	Moderate	Good	Fair/poor	Neighbour's, base at fence and leaning away (most of canopy on neighbour's side)	Removal	Neighbour's
NT 13	Laurel hedge	<i>Laurus nobilis</i>		2	2.0	Good	Good		Neighbour's.	Retain	Neighbour's
NT 14	Holly hedge	<i>Ilex aquifolium</i>		2	2.0	Good	Good		Neighbour's	Retain	Neighbour's
NT 15	Horsechestnut	<i>Aesculus hippocastanum</i>	30	6	3.0	Good	Fair	Poor	Growing up against chain-link fence	Retain	Neighbour's
NT 16	Pyramidal Cedar hedge	<i>Thuja pyramidalis</i>				Poor	Fair	Fair	In park, 0.5m from fence. 2-2.5m tall. 7-9cm in diameter at base.	Retain	Municipal
NT 17	Douglas Fir	<i>Pseudotsuga menziesii</i>	14	3	2.0	Poor	Fair/poor	Fair/poor	In park, 2m from fence.	Retain	Municipal tree
NT 18	River Birch	<i>Betula nigra</i>	12~	5	2.0	Moderate	Fair/poor	Fair/poor	Growing against park fence on neighbour's side.	Retain	Neighbor's
NT 19	Big Leaf Maple	<i>Acer macrophyllum</i>	12~	4	2.0	Moderate	Fair	Fair/poor	Growing against park fence on neighbour's side. Wrapped around NT 20	Retain	Neighbor's
NT 20	Big Leaf Maple	<i>Acer macrophyllum</i>	34~	8	4.0	Moderate	Fair	Fair/poor	Growing against park fence on neighbour's side. Wrapped around NT 19	Retain	Neighbor's
NT 21	Norway Maple	<i>Acer platanoides</i>	20~	9	2.5	Good	Fair	Fair	Growing against park fence on neighbour's side.	Retain	Neighbor's
NT 22 (previously NT 18)	Flowering Cherry	<i>Prunus spp</i>	40.0	8	5.0	Moderate	Fair	Fair	Boulevard	Retain	Municipal tree
NT 23	Ponderosa Pine	<i>Pinus ponderosa</i>	61, 56	12	11.5	Moderate	Fair/poor	Fair	Municipal park tree. 5m from fence. Codominant union at base with two cable braces in canopy. Sparse canopy, health stress.	Retain	Municipal tree

Prepared by:

Talbot Mackenzie & Associates

ISA Certified, and Consulting Arborists

Phone: (250) 479-8733

Fax: (250) 479-7050

email: Treehelp@telus.net

Arborist Site Plan
Talbot Mackenzie &
Associates
July 20, 2018



Bianca Bodley
250.589.8244
bianca@biophilialcollective.ca

CLIENT NAME

PROJECT
Landscape Design

ADDRESS
Fairfield

DESIGNED BY
Bianca Bodley

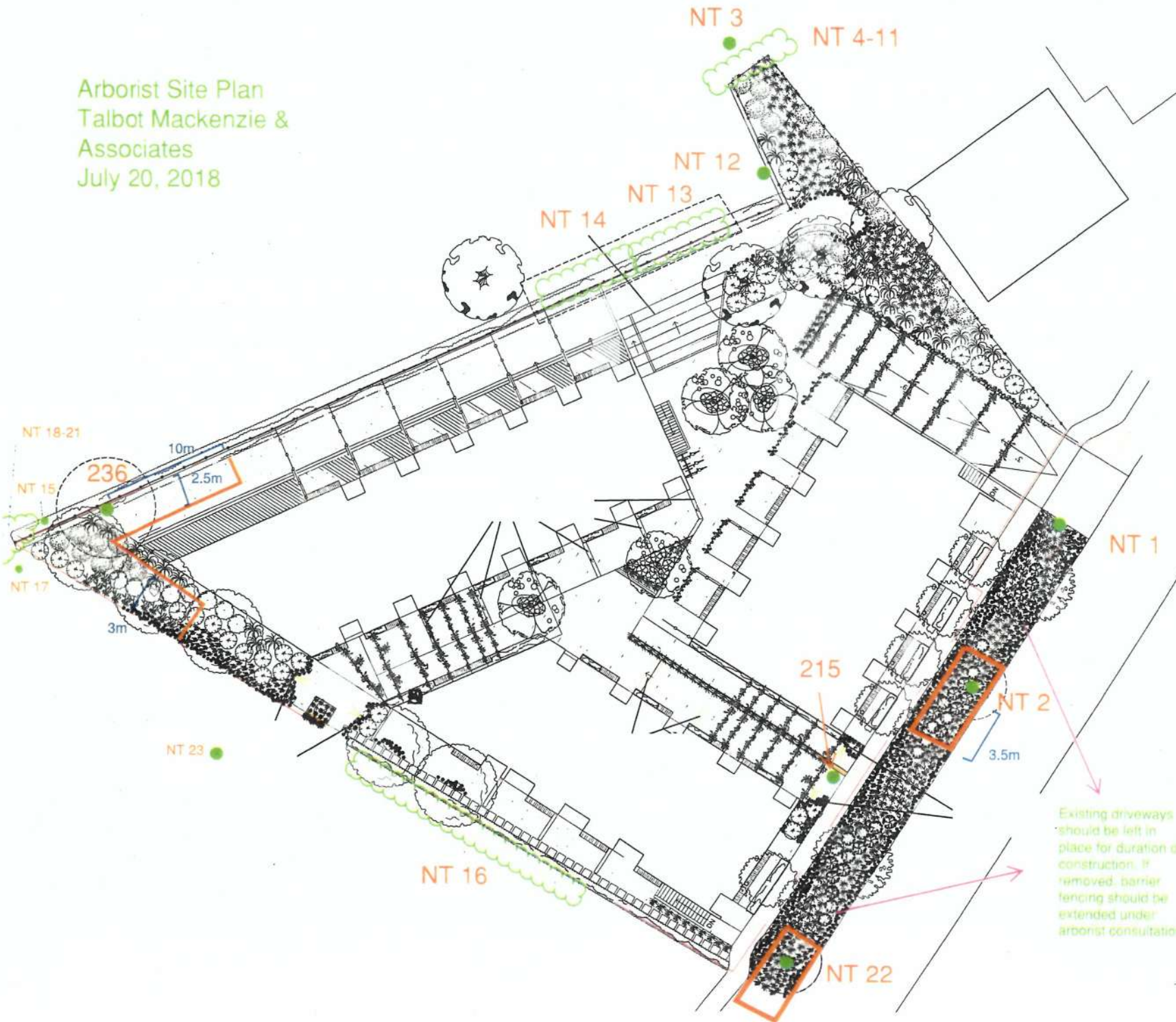
DRAWN BY
BB / KN

Issued for Rezoning 09-26-17
Issued for Application Review
Summary 01-30-18

Scale 1:150

L5 Landscape
Lighting Plan

DATE:
July, 2018



PROJECT DATA

LEGAL DESCRIPTION: PLAN 290 VICTORIA LOT 4 INCL PCL A SECTION FFLD PLAN 290 EXC PT IN STREET, LOT 6 PLAN 1834 SECTION 68 VICTORIA

CIVIC ADDRESS: 1712 + 1720 Fairfield Road
 ZONING (Current): R1-G
 ZONING (Proposed): CD-T80
 SITE AREA: 2433.2 m²
 LOT WIDTH: 48.38 m
 ABOVE GRADE FLOOR AREA: 2.211m²
 BELOW GRADE FLOOR AREA: 218m²
 TOTAL FLOOR AREA: 2.429m²
 COMM. FLOOR AREA: 0.0
 AVERAGE GRADE: 12.70m

PERMITTED PROPOSED

FLOOR SPACE RATIO	65. + 1.0	0.92
SITE COVERAGE	30%	61%
OPEN SITE SPACE	50%	39%
BUILDING HEIGHT	7.6m	9.97m
NUMBER OF STOREYS	2	2.5
VEHICLE PARKING	22	22
BICYCLE PARKING	17	35 (Class 1) 10 (Class 2)
BUILDING SETBACKS		
FRONT YARD	7.5m	3.0m
REAR YARD	9.1m or 30% of Site Depth	6.1m
SIDE YARD (WEST)	1.5m	3.0m
SIDE YARD (EAST)	3.9m	6.7m
COMBINED SIDE YARD	min. 5.4m	10.4m

RESIDENTIAL USE DETAILS

Total Number of Units	17
Unit Type	2-3 Bedroom
Ground Oriented Units	17
Minimum Unit Floor Area	122.7m ²
Total Residential Floor Area	2.429m ²

AVERAGE GRADE CALCULATION

Grade Points	Ang of Points	Distance Between Grade Points	Total	Average
Block 1				
A + B	13.500 + 13.400 / 2 =	13.215	269.475	13.455
B + C	13.365 + 13.435 / 2 =	13.285	267.135	13.400
C + D	13.365 + 13.435 / 2 =	13.465	267.135	13.400
D + E	13.400 + 13.435 / 2 =	13.385	267.135	13.415
Block 2				
A + B	13.425 + 13.400 / 2 =	13.425	269.475	13.415
B + C	13.425 + 13.400 / 2 =	13.285	267.135	13.400
C + D	13.425 + 13.400 / 2 =	13.465	267.135	13.400
D + E	13.425 + 13.400 / 2 =	13.465	267.135	13.400
Block 3				
A + B	13.300 + 13.425 / 2 =	13.367	269.475	13.383
B + C	13.400 + 13.375 / 2 =	13.282	267.135	13.387
C + D	13.375 + 13.400 / 2 =	13.314	267.135	13.394
D + E	13.400 + 13.400 / 2 =	13.367	267.135	13.383
Total				
Total			832.714	12.711
Average Grade				12.700m

SHAPE
 Architecture Inc

1145 WEST PENDER STREET
 VICTORIA, BC CANADA
 V8M 1A8

TEL: 250.363.4447
 FAX: 250.363.4447
 WWW.SHAPEARCHITECTURE.COM

Site Plan Legend

Footings RETAINED

Footings to be RETAINED

Other Access

Parking Entrance

LEGEND
 Footings (1/4" scale)

REVISIONS

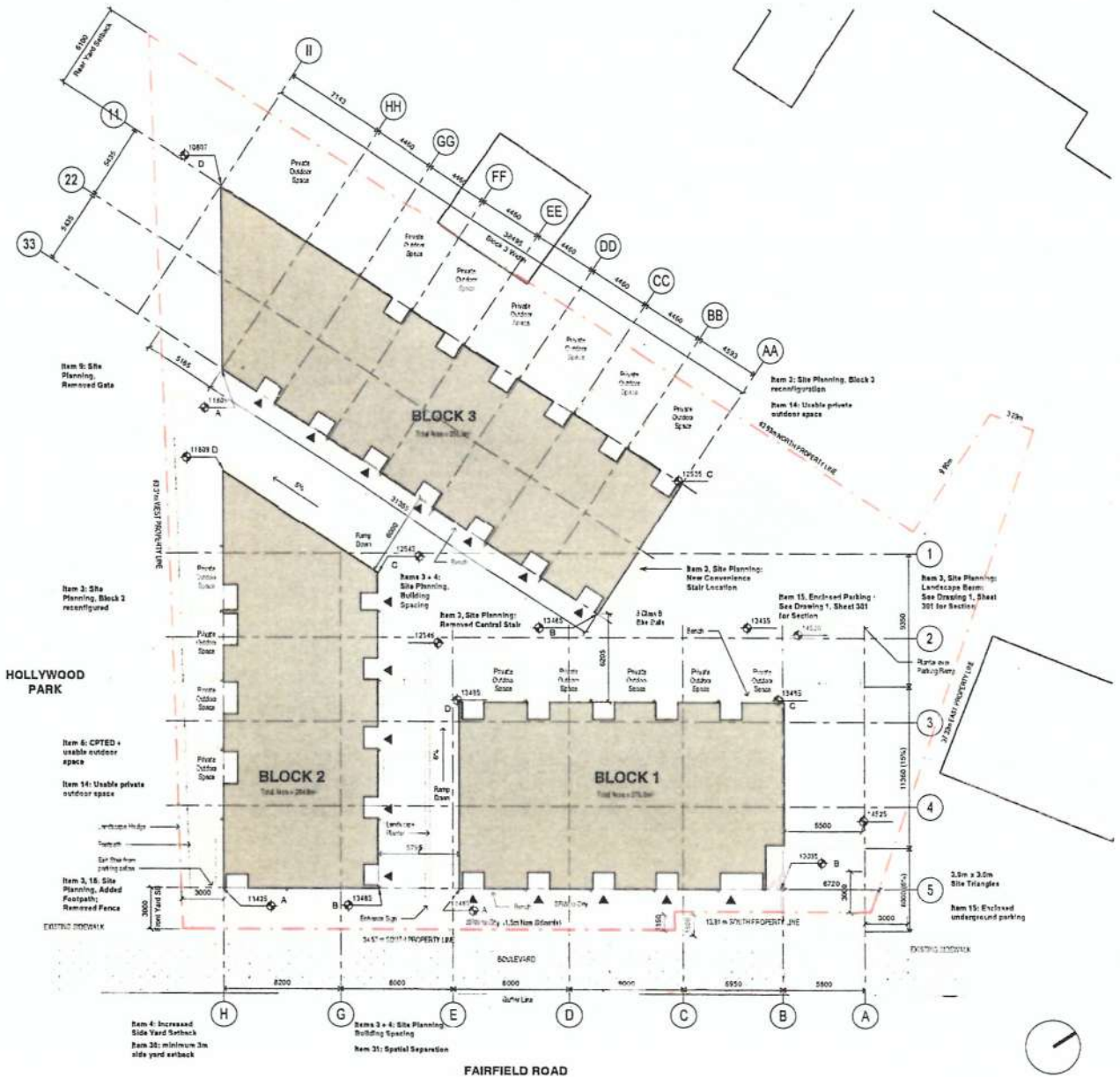
NO	DESCRIPTION	DATE
1	Issued for Rezone	29/03/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Rezone/Redesign	18/05/2018
5	Issued for Rezone Comments	18/07/2018

**1712 Fairfield Road
 Multi-Family
 Development**
 Issued for Rezone Comments

Site Plan

DATE: 18/07/2018
 DRAWN BY: MH
 CHECKED BY: AS
 SCALE: As indicated
 JOB NUMBER: 1707

A102



PARKING DATA

Vehicle Parking	22 spaces
Bicycle Parking	Class 1 36 Class 2 10

	MULTIPLE DWELLINGS (Schedule C, 11(c))	
	REQUIRED	PROPOSED
Vehicle	22 (1.3 / Dwelling unit)	22
Bicycle	17 (1.0 / Dwelling unit)	36

REVISIONS

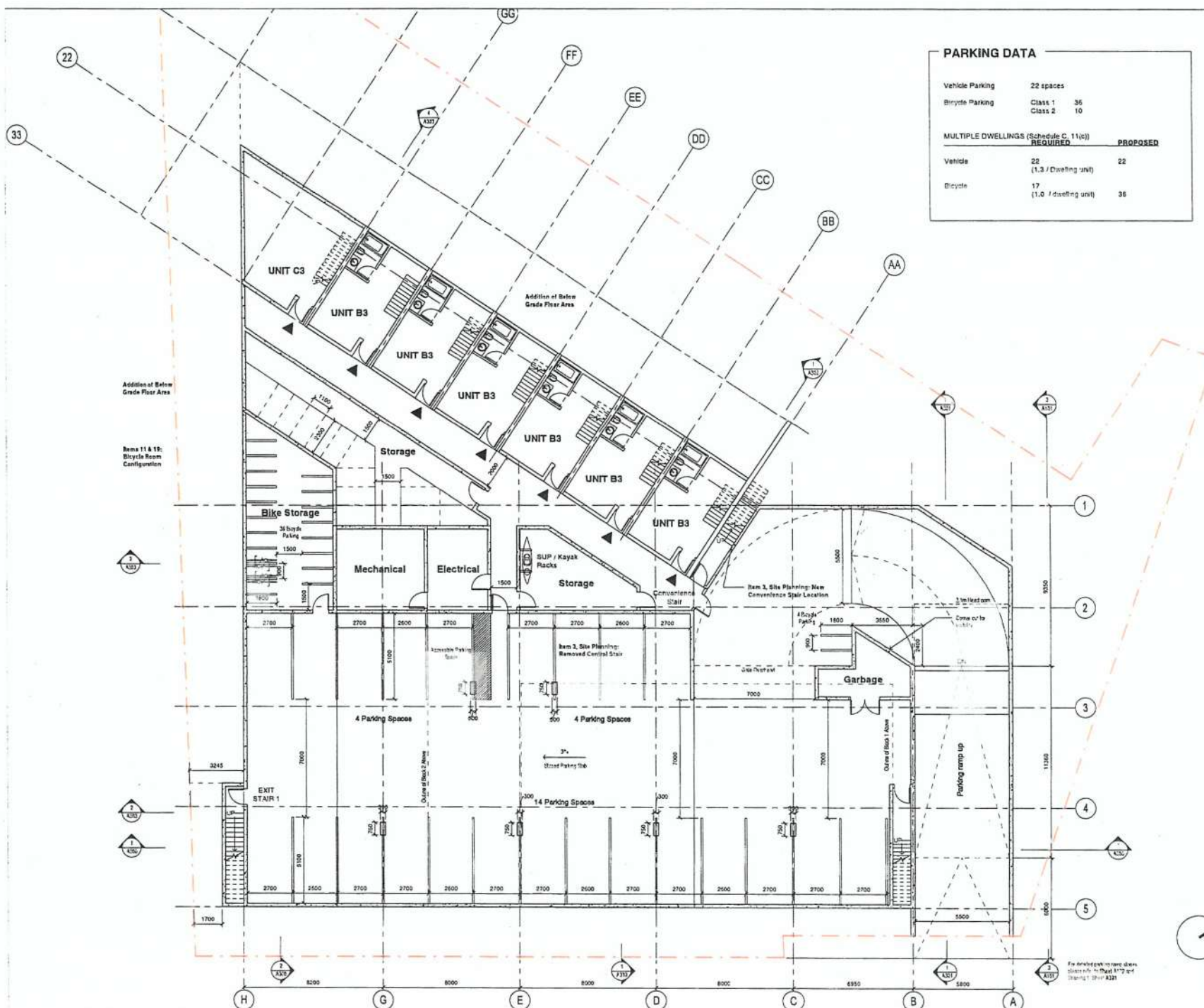
NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Rezone/Amendment	18/05/2018
5	Issued for Rezone Comments	18/07/2018

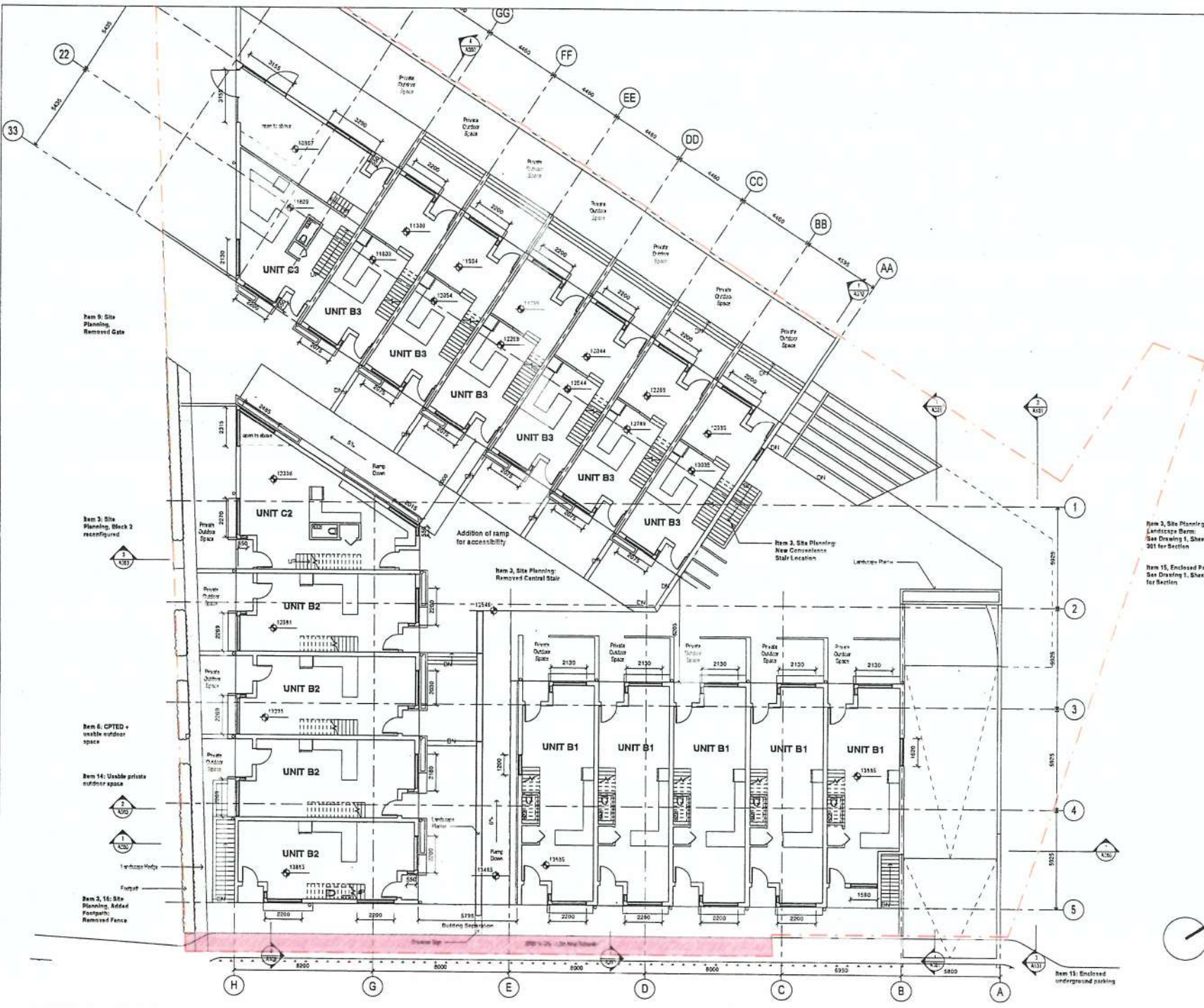
**1712 Fairfield Road
Multi-Family
Development**
Issued for Rezone Comments

PARKING LEVEL PLAN

DATE 18/07/2018
DRAWN BY MH
CHECKED BY AS
SCALE As indicated
JOB NUMBER 1707

A200





REVISIONS		
NO	DESCRIPTION	DATE
1	Issued for Reasoning	29/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	18/07/2018

**1712 Fairfield Road
Multi-Family
Development**
Issued for Rezone Comments

Level 1 Plan
DATE 18/07/2018
DRAWN BY MH
CHECKED BY AS
SCALE 1:100
JOB NUMBER 1707

A201

PLOT INFO.

PLOT SET-UP LOCATION

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/02/2017
2	Issued for Rezoning Revisions	31/01/2018
3	Issued for Rezoning Revisions	25/04/2018
4	Issued for Rezoning Re-submission	18/05/2018
5	Issued for Rezoning Comments	18/07/2018

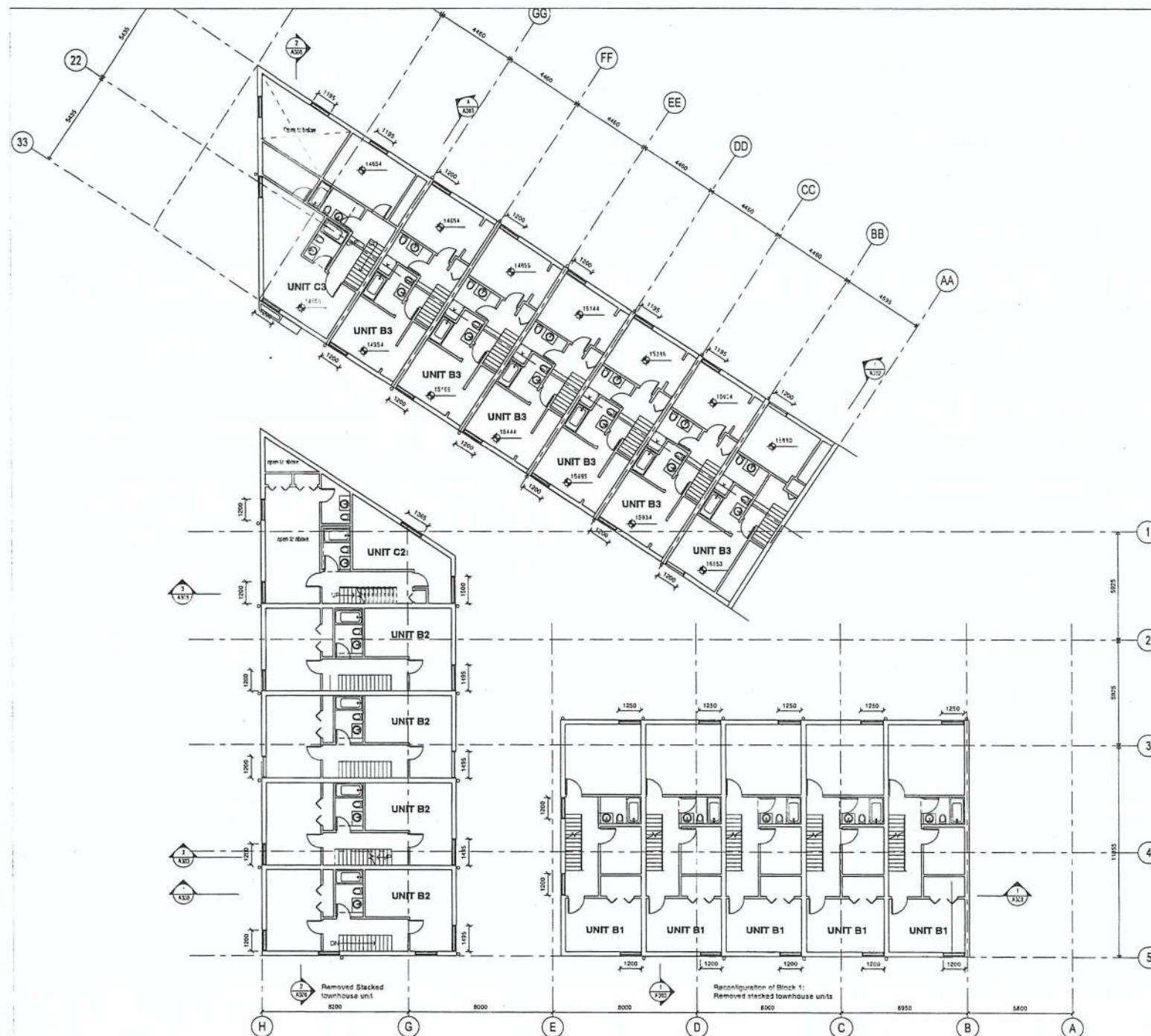
1712 Fairfield Road Multi-Family Development

Issued for Rezone Comments

Level 2 Plan

DATE	18/07/2018
DRAWN BY	NH
CHECKED BY	AS
SCALE	1 : 100
JOB NUMBER	1707

A202



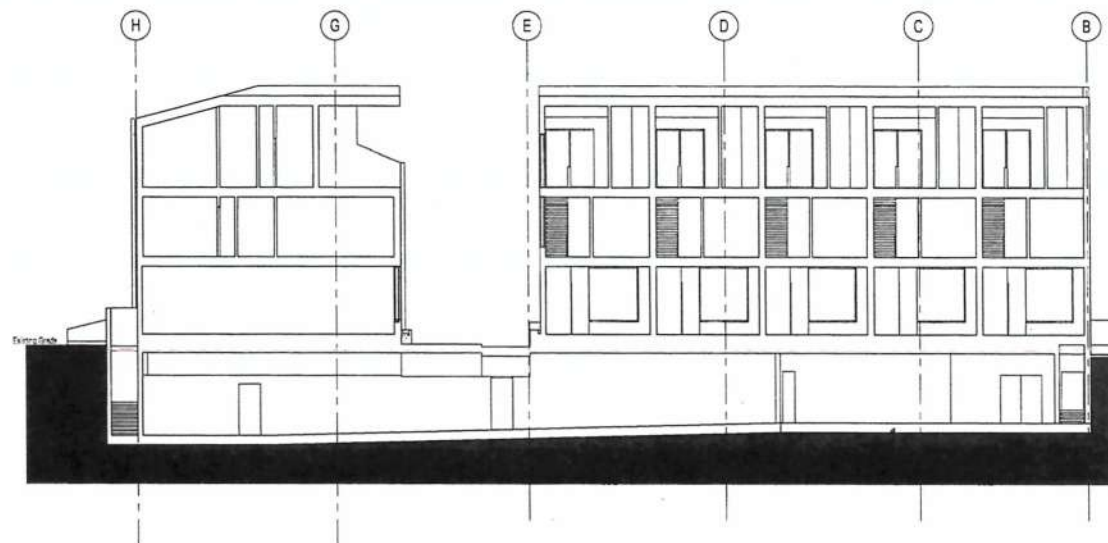
NO	DESCRIPTION	DATE
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2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	18/07/2018

**1712 Fairfield Road
 Multi-Family
 Development**
 Issued for Rezone Comments

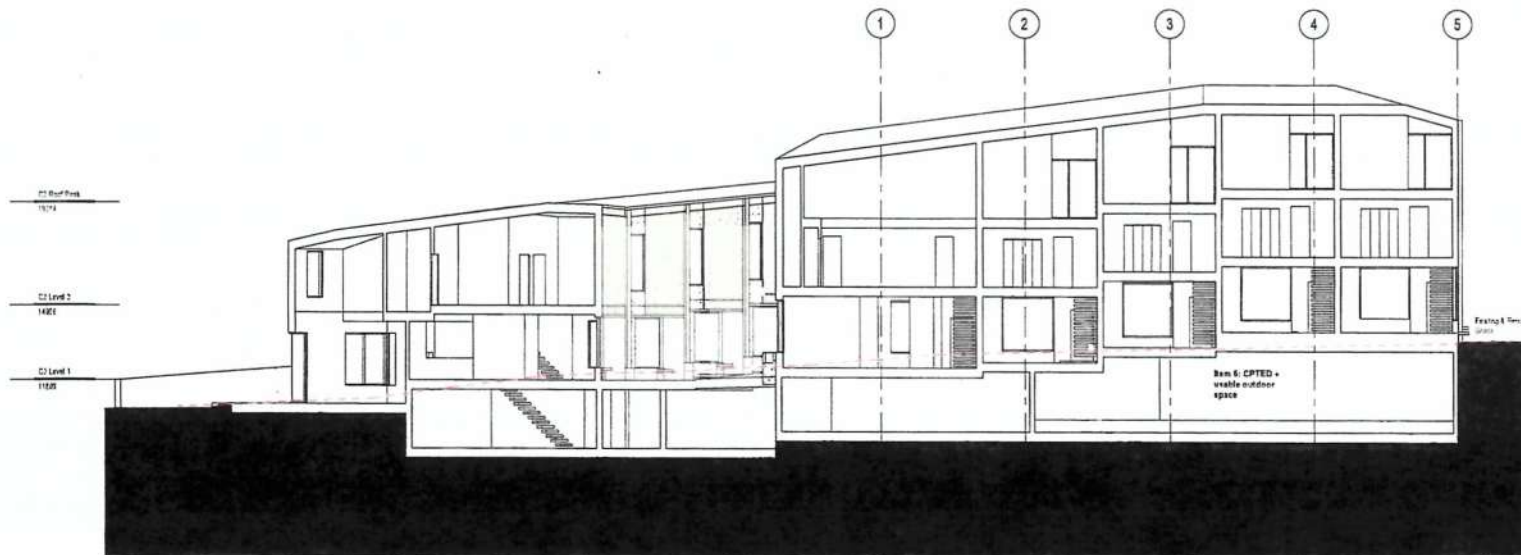
Site Sections

DATE 18/07/2018
 DRAWN BY MH
 CHECKED BY AS
 SCALE 1 : 100
 JOB NUMBER 1707

A300



1 East-West Section
 1 : 100



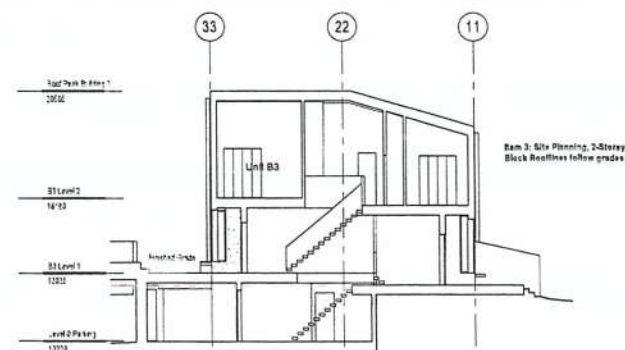
2 Site Section 1
 1 : 100

PLOT INFO.

PLOT STAMP LOCATION

LEGEND

Existing Grade



1 B3 Section Typ.
1:100

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	20/02/2017
2	Issued for Rezone Revisions	21/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	18/07/2018

1712 Fairfield Road
Multi-Family
Development

Issued for Rezone Comments

Sections

DATE	18/07/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707

A302

PLOT INFO.

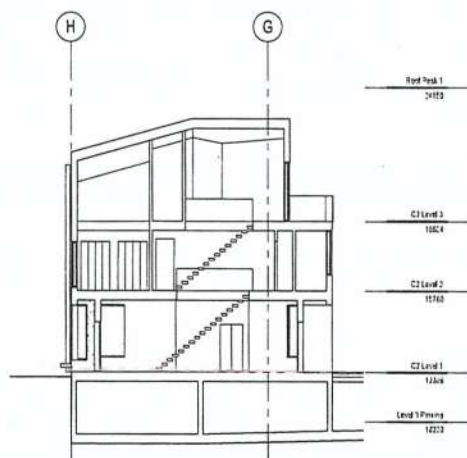
Plot Stamp Location

LEGEND

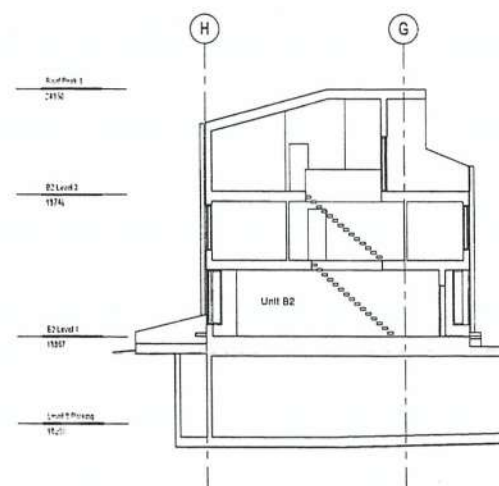
Existing Grade



1 B1 Section 1
1 : 100



3 C2 Section 1
1 : 100



2 B2 Section 1
1 : 100



4 C3 Section 1
1 : 100

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	28/09/2017
2	Issued for Rezone Revisions	31/01/2018
3	Issued for Rezone Revisions	25/04/2018
4	Issued for Rezone Resubmission	18/05/2018
5	Issued for Rezone Comments	18/07/2018

1712 Fairfield Road Multi-Family Development

Issued for Rezone Comments

Sections

DATE	18/07/2018
DRAWN BY	MH
CHECKED BY	AS
SCALE	1 : 100
JOB NUMBER	1707

A303

PLOT INFO.

PLOT STATION LOCATION

MATERIALS LEGEND

- E1 CEDAR CLADDING WHITE GRASS FINISH
- E2 UNTIL FLOORING
- E3 STANDING SEAM SLOPED DETAIL ROOF
- E4 ROCK LAMINATED
- E5 CEDAR SHINGLE
- E6 CEDAR BOARD DARK STAIN FINISH
- E7 READY FORM CONCRETE PAINT IN SET
- E8 SLAB-ON-GRADE FINISH TO CONCRETE FLOOR
- E9 ALL BRICK IN EXTERIOR FINISH
- E10 CLADDING
- E11 GLASS GLAZED WITH SATIN ETCH GLASS

LEGEND

Ending Grade

REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Rezoning	29/09/2017
2	Issued for Rezoning	31/01/2018
3	Issued for Rezoning	25/04/2018
4	Issued for Rezoning	18/05/2018
5	Issued for Rezoning	18/07/2018

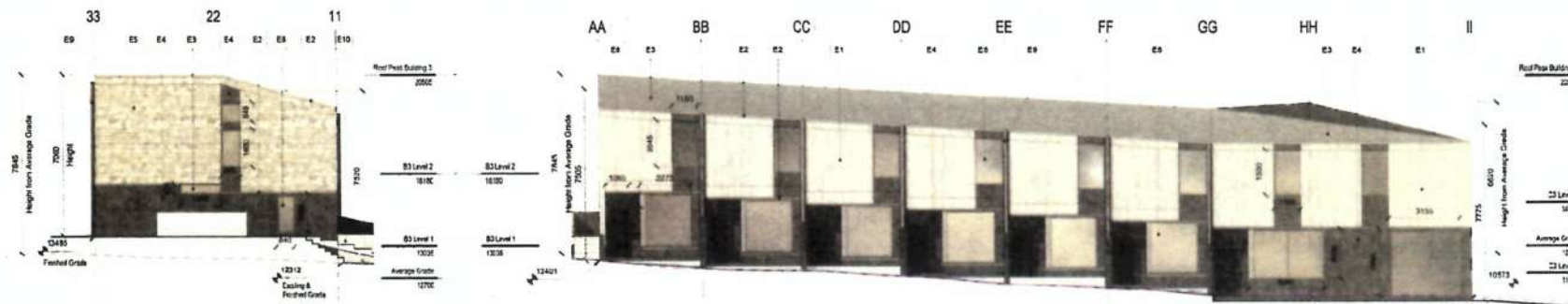
1712 Fairfield Road Multi-Family Development

Issued for Rezone Comments

Elevations

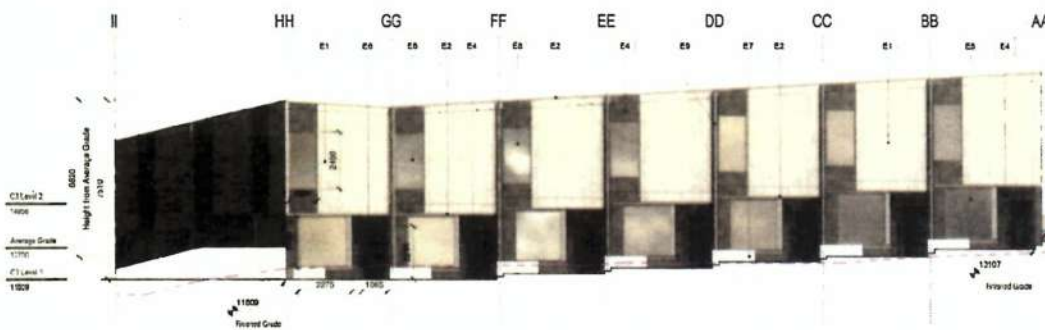
DATE	18/07/2018
DRAWN BY	ASH
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1707

A402

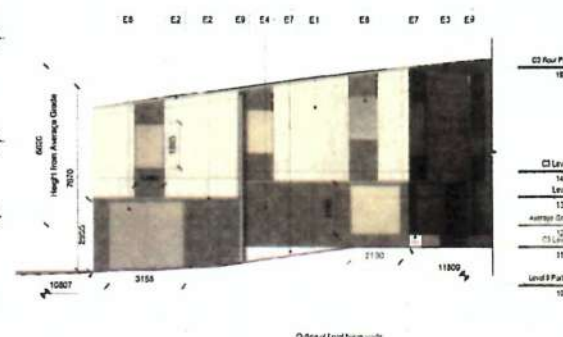


1 Block 3 - East
1:100

2 Block 3 - North
1:100



3 Block 3 - South
1:100



4 Block 3 - West
1:100



Talbot Mackenzie & Associates

Consulting Arborists

Box 48153 RPO - Uptown Victoria, BC V8Z 7H6

Ph: (250) 479-8733

Fax: (250) 479-7050

Email: tmtreehelp@gmail.com

Tree Resource Spreadsheet Methodology and Definitions

Tag: Tree identification number on a metal tag attached to tree with nail or wire, generally at eye level. Trees on municipal or neighboring properties are not tagged.

NT: No tag due to inaccessibility or ownership by municipality or neighbour.

DBH: Diameter at breast height – diameter of trunk, measured in centimetres at 1.4m above ground level. For trees on a slope, it is taken at the average point between the high and low side of the slope.

* Measured over ivy

~ Approximate due to inaccessibility or on neighbouring property

Crown Spread: Indicates the diameter of the crown spread measured in metres to the dripline of the longest limbs.

Relative Tolerance Rating: Relative tolerance of the tree species to construction related impacts such as root pruning, crown pruning, soil compaction, hydrology changes, grade changes, and other soil disturbance. This rating does not take into account individual tree characteristics, such as health and vigour. Three ratings are assigned based on our knowledge and experience with the tree species: Poor, Moderate or Good.

Critical Root Zone: A calculated radial measurement in metres from the trunk of the tree. It is the optimal size of tree protection zone and is calculated by multiplying the DBH of the tree by 10, 12 or 15 depending on the tree's Relative Tolerance Rating. This methodology is based on the methodology used by Nelda Matheny and James R. Clark in their book "Trees and Development: A Technical Guide to Preservation of Trees During Land Development."

- 15 x DBH = Poor Tolerance of Construction
- 12 x DBH = Moderate
- 10 x DBH = Good

To calculate the critical root zone, the DBH of multiple stems is considered the sum of 100% of the diameter of the largest stem and 60% of the diameter of the next two largest stems. It should be noted that these measures are solely mathematical calculations that do not consider factors such as soil volume restrictions, age, crown spread, health, or structure (such as a lean).

Health Condition:

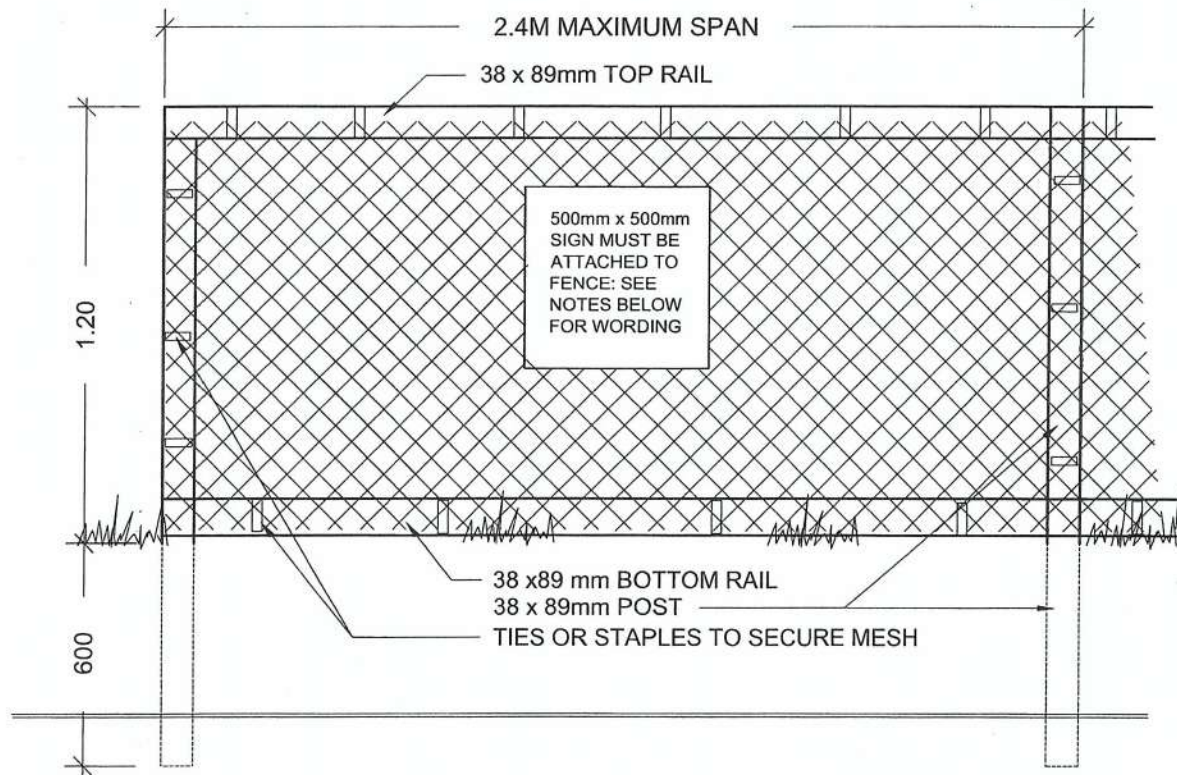
- Poor - significant signs of visible stress and/or decline that threaten the long-term survival of the specimen
- Fair - signs of stress
- Good - no visible signs of significant stress and/or only minor aesthetic issues

Structural Condition:

- Poor - Structural defects that have been in place for a long period of time to the point that mitigation measures are limited
- Fair - Structural concerns that are possible to mitigate through pruning
- Good - No visible or only minor structural flaws that require no to very little pruning

Retention Status:

- X - Not possible to retain given proposed construction plans
- Retain - It is possible to retain this tree in the long-term given the proposed plans and information available. This is assuming our **recommended mitigation measures are followed**
- Retain * - See report for more information regarding potential impacts
- TBD (To Be Determined) - The impacts on the tree could be significant. However, in the absence of exploratory excavations and in an effort to retain as many trees as possible, we recommend that the final determination be made by the supervising project arborist at the time of excavation. The tree might be possible to retain depending on the location of roots and the resulting impacts, but concerned parties should be aware that the tree may require removal.
- NS - Not suitable to retain due to health or structural concerns



TREE PROTECTION FENCING

NOTES:

1. FENCE WILL BE CONSTRUCTED USING 38 X 89 mm (2"X4") WOOD FRAME: TOP, BOTTOM AND POSTS. *
USE ORANGE SNOW-FENCING MESH AND SECURE TO THE WOOD FRAME WITH "ZIP" TIES OR GALVANIZED STAPLES.
2. ATTACH A 500mm x 500mm SIGN WITH THE FOLLOWING WORDING:
WARNING-HABITAT PROTECTION AREA. THIS SIGN MUST BE AFFIXED ON EVERY FENCE FACE OR AT LEAST EVERY 10 LINEAR METRES.

* IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED



DETAIL NAME: **TREE PROTECTION FENCING**

H:\shared\parks\Tree Protection Fencing.pdf

DATE:	March/08
DRAWN:	DM
APP'D:	RR
SCALE:	N.T.S.

- appreciation for the townhouse massing
- desire for the townhouse design to be clearly expressed as residential from the public realm, through a reconsideration of the materials
- the need to redesign the blank townhouse wall overlooking the parking lot
- opportunity to redistribute bicycle parking to avoid bottlenecks in tight corridors
- the desire for additional renderings and supporting documentation to show the details of the pedestrian realm and through-block pathway
- opportunity to improve the shape of the balconies to better integrate within the building massing.

Motion:

It was moved by Elizabeth Balderston, seconded by Sorin Birliga, that the Advisory Design Panel recommend to Council that Development Permit with Variance Application No. 00059 for 605-629 Speed Avenue and 606-618 Frances Avenue be approved subject to the following recommendations:

- enhance the pedestrian link and experience through the corridor by increasing greenspace and soft landscaping, paving patterns and textures
- provide significant landscaping enhancements at the ground level
- redesign the second storey including the south elevator adjacent to townhouse block with consideration of CPTED principles, circulation, natural daylighting and distribution of amenity that is reflected in exterior elevations
- provide additional renderings and other supporting documentation for the pedestrian realm and through-block pathway
- integrate the north and south balconies into façade design.

Carried Unanimously

2.3 Rezoning Application No. 00618 and Development Permit Application No. 000519 for 1712 and 1720 Fairfield Road

The City is considering a Rezoning and Development Permit Application to allow for a three-storey multi-unit residential development.

Applicant meeting attendees:

ALEC SMITH	SHAPE ARCHITECTURE
DWAYNE SMITH	SHAPE ARCHITECTURE
MATTHEW HARTY	SHAPE ARCHITECTURE
BIANCA BODLEY	BIOPHILIA DESIGN COLLECTIVE
LUKE MARI	PURDEY GROUP

Mr. Johnston provided the Panel with a brief introduction of the application and the areas that Council is seeking advice on, including the following:

- the height and roofline within the existing context
- the transition with Hollywood Park
- site planning around the rear block of townhouses.

Alec Smith provided the Panel with a detailed presentation of the site and context of the proposal, and Bianca Bodley provided the Panel with details of the proposed landscape plan.

Questions of clarification were asked by the Panel on the following:

- what is the materiality at the ground plane?
 - a single, large picture window for each unit, with pebble dash stucco, significant glazing and wood panelling above
- how do the roof forms emulate the topography of the site?
 - the hip roof has been modified to match the site's topographical lines
- are there open volumes within the habitable spaces?
 - yes, the open volumes are above the top floor
- is there an accessible alternative to stairs to enter the plaza?
 - no, as townhouses do not have the same accessibility requirements as other residential typologies
- would it be possible to incorporate ramps to accommodate strollers and children on bicycles?
 - this is something that could be addressed if recommended
- what is the distance between the corner of Block 3 and Block 2?
 - 6.2m
- how close to the proposal is the tennis court?
 - the proposal is approximately 3m away from the property line, and the tennis court is another 3m from the site
- was breaking up the massing facing Fairfield Road considered?
 - the renderings may not do this justice, but each entry point set back from the road and each has a bench
 - designed with consideration to shading and light conditions
 - there is a flat massing, but it is articulated where it will engage with public spaces
- what is the height of the guard wall separating the courtyard and the parkade?
 - 3.5 ft / 42"
- South point block 3 – contemplating angled end unit
- was angling the south corner of Block 3 considered to add more distance between blocks and add light to the courtyard?
 - it was considered both ways, and the architect found purity of form in the proposed configuration
 - density is beneficial to this project; with the overall spacing right, density creates magic, lane-like conditions
- what are the proposed passive house / environmental standards?
 - striving for high-performance, double-glazed or vinyl windows and a high R-value roof
 - electric baseboard heating provides the lowest carbon impact
 - considering solar panels
- are there thick walls?
 - not at this point
- is there sufficient slope for the proposed standing seam rooves?
 - the standing seam would wrap around all sloped rooves, and the flat portions would likely be a membrane
- what is the root mass for the large trees in the planters?
 - the root wall depth is a minimum of 3' wide and 24" deep

- how much soil would be in the planters?
 - 2' x 3'
 - the trees will be dwarfed by the planters but will be an appropriate size for the area
- was the fencing in the backyards included in the first design concept?
 - Block 3 was up at plinth level in the first iteration, and has now been pushed down to grade as a result of discussions with the City
 - this has helped to unify the project
- is it only the height triggering the Official Community Plan (OCP) amendment?
 - yes; the OCP does not envision three storeys along Fairfield Road
 - urban residential zones would allow the proposed height
 - the proposal is within density requirements, it is just the number of storeys triggering the OCP amendment
- does the draft Gonzales plan envision the proposed height?
 - Mr. Johnston clarified that the draft Gonzales plan does support three-storey buildings along Fairfield Road; however, Council recently moved to limit opportunity for 3-storey apartment buildings
 - this guideline may change through the consultation process
- is the site not designated as a small urban village?
 - Mr. Johnston noted that the site is zoned commercial. Although there has been previous discussion to change its designation, it is not being considered at this point
- are there skylights on Block 3?
 - yes, above the stairwells
- why not include skylights on the other buildings?
 - skylights will be included on all buildings, but were not drawn in the plans
- why does the fence along Hollywood park not follow the property line?
 - the concept was for the fence to follow the roofline, but this will likely change so that the fence follows the property line.

Panel members discussed:

- concern for height, although Fairfield Road is noisy and the proposal may be in alignment with the proposed area guidelines
- the view of the proposal from the park
- questioning the appropriateness of precedents such as New York, UK and California in Fairfield
- the urban feel and architectural strength of the building
- the proposal being a challenge to support for this site
- the proposal's lack of fit within the neighbourhood and the OCP, being too dense and urban for the context
- the potential for a small urban village designation and changes to the local area plan
- the OCP outlines issues relating to height, but other issues include the proposal's form and character
- the precedent-setting nature of the proposal
- the proposal being an urban solution in a residential area
- an appreciation for the materiality and the rooftop following the site's topography
- appreciation for the complexity of the site
- recognition of the proposal's architectural merit

- the proposal representing an opportunity to improve the area's character through good architecture that is responsive to the site
- the importance of the proposal's relationship to the park
- the proposal offering a different interpretation of residential
- concern for adequate breathing room between the proposed buildings, particularly the southern corner of Block 3 and the space between Block 3 and Block 2
- lack of soft landscaping in the central courtyard
- insufficient density of planting space
- concern for proposed Leyland cypress as an invasive species and its impact on neighbours
- the planters being too small to for growing large trees
- shading concerns for the site
- safety concerns for the height of the wall into the parkade
- the desire to see the parkade entrance softened
- desire for more amenity space for residents
- recognition of the interior plaza as an interesting and contemporary idea
- accessibility concerns
- concern for the appropriateness of the materials in a rainy climate
- the importance of the prominence of the front entries
- opportunity to improve the pedestrian experience
- the monolithic massing of the proposal from Fairfield, looking north
- the opportunity to step down or otherwise refine massing towards the east, especially on Block 3.

Motion:

It was moved by Justin Gammon, seconded by Jesse Garlick, that the Advisory Design Panel recommend to Council that Development Permit No. 000519 for 1712 & 1720 Fairfield Road be approved with consideration of the Panel's discussion as captured in the meeting minutes.

Carried

For: Jesse Garlick (Chair); Sorin Birliga; Justin Gammon; Jason Niles; Carl-Jan Rupp; Stefan Schulson
Against: Elizabeth Balderston; Deborah LeFrank

Stephan Schulson recused himself from Rezoning Application No. 00611 and Heritage Alteration Permit Application No. 00225 at 3:35pm.

2.4 Rezoning Application No. 00611 and Heritage Alteration Permit Application No. 00225 for 1306-1324 Broad Street / 615-625 Johnson Street / a portion of 622 and 630 Yates Street

The City is considering a Rezoning and Heritage Alteration Permit Application to construct a mixed-use building for ground floor commercial and student rental units and to allow the renovation and addition to the existing Duck's Block heritage building.

Lacey Maxwell

From: Mary Davies [REDACTED]
Sent: February 27, 2018 2:36 PM
To: Victoria Mayor and Council
Subject: Concerns Regarding Development Application REZ00619

Dear Mayor and Council,

I am writing today in regards to Development Application REZ00619 for the properties located at 1717 - 1720 Fairfield Rd. which I have been told is going before the advisory design panel tomorrow.

As a neighbour of this property (I reside at 1615 Fairfield Rd) I would like to voice my concerns and request that you reject the application being presented to your for the proposed development on this property.

My concerns as a resident of this neighbourhood for 15 years and as a resident that resides within the immediate area of this development are as follows:

- 1 - It looks to be the intent of the developer to use the public park (Hollywood Park) as yard space for the residents of the new development as this was brought up in a meeting I attended with the developer presenting the plans late last year. At the time they were suggesting the development be not in need of yard space and suggested not including a barrier between the development and the public park to allow for it's residents to use the space as their outside space instead. While this is a neighbourhood park, it is not a yard for developers to sell to their buyers.
- 2 - With the heights being proposed I have serious concern for the potential for excessive sunlight blocking and shadowing onto the lots on Earle St. behind this development.
- 3 - As the lot is sloped, the height of the building on the north side is much higher than that on the south. I have concerns with what this will do for the view of those facing South on Earle St. and beyond to the north.
- 4 - As a resident that lives directly across from Hollywood Park, I am aware with the major lack of parking that is available to those who live in the area, those who work at the Fairfield Plaza and those who use Hollywood Park (for example this past summer there was a very large baseball tournament held there). As residents of this area we are constantly faced with a lack of parking so I would be very concerned if this development doesn't allocate enough onsite parking to handle the increase in density as there is literally not enough parking on the street as is.
- 5 - In the event that the developer will be including an onsite parking lot (under or above ground) I ask you to consider where the light from the parking lot will cast? Many parking lots (like the one you find on the corner of Fairfield and Arnold) are lit throughout the night, casting bright light into neighbouring homes all throughout the night.
- 6 - One of the things that I love about this neighbourhood is how it looks and feels when I walk down the street. We love our quiet neighbourhood that is filled with a wonderful mix of people from all different walks of life. What really brings us all to this area is it's low key, quiet, family feel. I strongly feel that the proposed building type does not fit in with the surrounding neighbourhood at all and would encourage a mass change to the housing type in this immediate area.

7 - Lastly, as a renter that has lived in my current home for 10 years, I have real concerns for what this type of development is encouraging in the way of reasonably priced rental housing availability for families. As you know, these new developments are built very high end and with the intent to sell to those with very high incomes. While I understand that this is a very desirable neighbourhood and that developers want to do all they can to make the most money possible, I also know that there is an increasing shortage of family rental housing available and that is very much due to developers purchasing rental homes to develop high density high end condos like the ones being proposed for 1717-1720 Fairfield Rd. If all "affordable" (I use that term loosely here) rental housing is replaced by high end condos, where do families like mine go? And just so you know, at the meeting where the developer was presenting, they kept using the word "affordable" in regards to their units but when asked just how much these units would sell for they said the starting price would likely be at about \$750,000.00 ... that is not affordable and I would say it isn't even close to "attainable" which is what they then chose to switch their wording to.

I hope you will consider the full impact of this development on not only it's immediate neighbours but also on the neighbourhood and city as a whole.

Thanks for your time.

Sincerely,

Mary Davies

From: [REDACTED] >

Sent: March 13, 2018 10:13 AM

To: Alec Johnston <ajohnston@victoria.ca>

Subject: 1712 Fairfield Road.

<https://tender.victoria.ca/tempestprod/ourcity/Prospero/Details.aspx?folderNumber=REZ00618>

Dear Alec:

I see from the development application that the developer has applied for a 3 story building. This is not a good fit for the Gonzales Neighbourhood the development should be limited to 2 stories. The Gonzales Neighbourhood group is not against the densification of Fairfield Road but believe it should not go over 2 stories. The 2 story limit is a much better fit for the neighbourhood and allows for "gentle densification". The Gonzales Neighbourhood group will be discussing the 1712 Fairfield proposal at tonight's meeting.

Nic Humphreys
167 Passmore Street

Lacey Maxwell

From: Paul Jorjorian and Hannah Mitchell [REDACTED]
Sent: March 13, 2018 1:46 PM
To: Victoria Mayor and Council
Subject: Fw: 1712-20 Fairfield Rd

Dear Mayor and Council, I am forwarding you a note that I sent to staff regarding the below development. Thank you for your consideration. Paul Jorjorian

From: Paul Jorjorian and Hannah Mitchell
Sent: Tuesday, March 13, 2018 11:06 AM
To: ajohnston@victoria.ca
Subject: 1712-20 Fairfield Rd

Mr. Johnston, I am writing to ask that the new development at 1712-20 Fairfield Rd be limited to two stories. Already the multi-story development at the corner of Arnold and Fairfield Rd. is glaringly out of place, especially given that it abuts the Ross Bay Villa. How ironic that such a building was allowed next to a heritage site. Allowing more of these multi-story developments will denigrate the character of this neighbor that we treasure.

Paul Jorjorian
188A St. Charles St.
Victoria BC V8S 3M7



Virus-free. www.avg.com

10 April 2018

SUBJECT: REZONING DEVELOPMENT APPLICATION REZ00619

Dear Mayor and Council:

I am writing to you about the rezoning development proposal for 1712 – 1720 Fairfield Road (REZ00618). It is my contention that the proposal does not display merit, and is seriously at variance to the current traditional residential land use of that location and surrounding area and from the existing regulatory zoning bylaws. The application should not be approved as submitted.

To assess the degree of variance that is proposed by the applicant I have compared the applicant's plan specifications to a range of existing regulatory zoning bylaws that are applicable in Gonzales and Fairfield: R1-G Single Detached Dwelling, R-2 Attached Dwelling (Duplex), R-J Low Density Attached Dwelling (Rowhouses), and R-K Medium Density Attached Dwelling (Townhouses). The table of comparison is at the end of this petition. In particular the proposal's variances are as follows:

- The proposal's Floor Space Ratio is 59% greater than the maximum density of the existing zones.
- The proposed Site Coverage is 25% greater than the norm in Gonzales, even with the discovery of 200 m² from the original to the revised proposal.
- The Open Site Space is mostly occupied by the concrete entrance to the parkade and insufficient private usable amount available for family living in the front and back of the dwelling units.
- The Building Height exceeds the highest maximum of 8.5 m by 2.2 m, a 26% variance.
- The Number of Storeys of 3 exceeds the tallest apartments buildings in the area which have 2 storeys with basement apartments.
- The Minimum Site Area is insufficient for this proposal. R-J requires 5272 m² and R-K requires 8930 m². The proposal only has 2307 m² for 19 dwelling units leaving 121.4 m² (1306.7 SF) per unit. This is the primary reason there is insufficient open space for front and rear yards in keeping with the function of a traditional residential nature of the neighbourhood.
- R-J and R-K both limit the Number of Dwelling Units per dwelling block to 4. The proposal of three dwelling blocks exceeds this by 7 dwelling units (Block 1 by 2, Block 2 by 2, Block 3 by 3) or 58% above the maximum requirement.
- The proposed Front Yard Setback (south) is only 3.0 m. The minimum requirement of R-K Townhouses shall not be less than 7.5 m, a 60% variance.
- The Side Yard Setback (west) of Block 2 is actually the rear of the block with main windows looking onto the Hollywood Park tennis courts and should be a minimum of 7.5 m from the Park boundary and Park trees, not 3.0 m, a variance of 60%.

- The Rear Yard Setback (north) of Block 3 with main windows looking onto adjacent houses should be a minimum of 7.5 m from the interior lot line, not 6.1 m, a 19% variance.
- The Third Floor Area of Blocks 1 and 2 should not exist as the proposal exceeds the Number of Storeys. If it is allowed to proceed then it must comply with R-K Townhouse requirement to be less than or equal to 60% of the second storey.
- Proposed Parking is short by 7.5 spaces, a 26% shortfall.

The proposed development will threaten the attainment of the OCP strategic direction for Gonzales and Fairfield, to maintain and enhance neighbourhood character including the heritage character of buildings (Montague Court and businesses), landscapes (Hollywood Park) and streetscapes (views of Fairfield, Lillian and Wildwood) of the traditional residential neighbourhood. This development proposal as presented is not an incremental variation from the intended character of the Gonzales and Fairfield neighbourhood. Approval of such a high density proposal would entrench an inappropriate use of land in the neighbourhood.

According to the OCP Design Guidelines for Multi-use Residential a new development should be compatible with and improve the character of established areas (1.1). The design's architectural approach should provide unity and coherence in relation to existing place character and patterns of development (1.1.1). It clearly does not even attempt to accomplish this. Where a new development is directly abutting lands in a different Development Permit Area such as Hollywood Park and the remaining detached dwellings to the north and east of the property, the design should provide a transition between areas in ways that respond to established form and character (OCP 1.2). Form in Gonzales includes space for front and rear yards for families which this proposal does not have for each of the townhouse dwelling units nor even between the three blocks. Character in Gonzales requires low height dwellings and more greenery that accompanies low density of land use.

As new residential development this proposal should respect the character of established areas and building variety through the form and massing of housing (OCP 1.5). There is no development in Gonzales of such high density as proposed, and the design does not respect the traditional designs of neighbouring detached residential dwellings nor the heritage structure located across the street from these lots. The proposal for this multi-unit residential development directly abuts the residential buildings to the east and north which are lower and smaller in scale and should provide a transition in its form and massing to lower-density building form (OCP 1.6.1) and be designed to address privacy, particularly for portions of the development abutting the side yards of adjacent single-family dwellings (OCP 1.6.2). The proponent's plan does not provide for any of this, and does not address privacy for users of Hollywood Park to which the proposal abuts.

I wonder why the City's Parks Department did not consider the opportunity under its Parks Acquisition Strategy (OCP 9.2) to purchase part or all of the proponent's consolidated lots for expansion of Hollywood Park for community benefit (9.2.5) and to accommodate the residential growth of being in proximity to the Fairfield Plaza, a designated urban village (9.2.6).

And in case the legislative requirement for municipal staff and elected members to follow regulatory zoning bylaws is considered insufficient, the City of Victoria Committee of the Whole meeting of 22 February 2018 agreed with residents and made it clear that multiple rows of townhouses will not be acceptable for the Fairfield and Gonzales Neighbourhood Plans.

There is also an apparent conflict of interest about this application. A co-owner of the proponent, Ryan Goodman, was until very recently a member of the City directed working group. Witnesses have stated that this placement afforded the proponent the opportunity to be instrumental in incorporating development parameters in the draft Gonzales Neighbourhood that enable a land use of this type where none existed before.

In conclusion this application REZ00618 for rezoning the properties at 1712 and 1720 Fairfield Road should not be approved as submitted.

Sincerely,

Michael Sharpe
1592 Earle Place
[REDACTED]

Notes on 1712 – 1720 Fairfield Road Proposal

Application for rezoning from detached dwelling R1-G to comprehensive district CD-name to be determined.

Examples of other comprehensive districts are:

- CD-1 Selkirk Comprehensive District
- CD-4 Fairfield Block Comprehensive District
- CD-7 Cook Street Village Comprehensive District

A property comprising 2307 m² does not qualify for a Comprehensive District designation.

For comparison R-2 Attached Dwelling, R-J Low Density Attached Dwelling, and R-K 11 Fairfield Townhouse District / R-K Medium Density Attached Dwelling zoning requirements have been used.

The proposal is described in the proponent's letter as an "urban village" with a "small-scale village atmosphere." The proposal is for three attached dwellings on the lot. Each dwelling has the following proposed number of dwelling units within each: Block 1 = 6, Block 2 = 6 and Block 3 = 7, for a total of 19 dwelling units (original proposal 17).

	Original Proposal	Revised Proposal
2 bedroom townhouses	X 0	X 7
3 bedroom townhouses	X 5	X 6
4 bedroom townhouses	X 2	X 0
3 bedroom duplexes	X 5	X 3
2 bedroom duplexes	X 5	X 3
Total No. of Dwelling Units	17	19

ZONING REQUIREMENTS AND PROPOSAL	R1-G Single Detached Dwelling	R-2 Attached Dwelling (Duplex)	R-J Low Density Attached Dwelling (Rowhouse)	R-K 11 Fairfield Townhouse District / R-K Medium Density Attached Dwelling (Townhouse)	Original Proposal	Revised Proposal
Floor Space Ratio maximum (max)	0.5:1 (since June 2017)	0.5:1 (since June 2017)	-	0.6:1	0.94:1	0.94:1
Site Coverage max	30 %	40%	40%	33%	45% of 2250 m ²	39% of 2451 m ²
Open Site Space minimum (min)	50% of lot and 50% of front yard	30% of lot and 33% of rear yard	-	-	55%	50%
Building Height	7.6 m 24.93 ft	7.6 m	8.5 m (7.5m Rockland)	8.5 m	10.7 m 35.1 ft	10.7 m
No. of Stories max	2 stories or 1 ½ w/ basement	2 stories or 1 ½ w/ basement	-	-	3 w/ basement /parkade	3 w/basement /parkade
Minimum Site Area	460 m ²	Greater of 555 m ² or # of dwelling units x 277.5 m ² [2,987 SF]	Greater of 555m ² or # dwelling units (19 X 277.5m = 5,272,5 m ²)	Greater of 555m ² or # dwelling units (19 X 185 m ² [1991SF] = 8,930 m ²)	2387.4 m ² (÷ 17 = 140.4 m ²)	2307 m ² (÷ 19 = 121.42 m ² [1,307SF])
Minimum Site Width	15 m	15 m	Greater of 15m or # dwelling units (19 X 7.5m =	18 m	48.34 m	46.77 m

			142 m)			
No. of Dwellings on a lot	1	1	Any number	Any number	3	3
No. of units per Dwelling max	2	2	4	4	Block 1 = 6 Block 2 = 5 Block 3 = 6	Block 1 = 6 Block 2 = 6 Block 3 = 7
SETBACKS						
Front yard min Blocks 1 and 2 (Fairfield)	7.5 m 24.61 ft	Lessor of 7.5 m or the average of the actual setbacks of the buildings on the lots abutting the sides of the lot□	7.5 m	7.5 m	3.0 m 9.84 ft	3.0 m
Rear yard min Block 3 (north)	9.1 m or 30% of site depth whichever is greater [west 61.99m = 18.60m/61ft]	10.7 m or 35% of lot depth whichever is greater [west 61.99 m = 21.70m/72 ft]	7.5 m	7.5 m with main windows Block 3	6.1 m 20 ft Block 3	6.1 m
Rear yard min Block 2 (labeled as Side yard west)	9.1 m 29.86 ft	10.7 m 35.1 ft			2.7 m 8.86 ft	3.0 m
Side yard west min (actually rear yard of Block 2, which should be 9.1 m)	1.5 m or 15% of lot width whichever is greater [width south	1.5 m or 10% of lot width whichever is greater [width south 48.34 m	7.5 m Block 1 2.5 m Block 2	2.5 m blank wall Block 3 7.5 m living room Block 2	2.7 m	3.0 m

For interior lot lines	48.34m = 7.25 m]	= 4.83 m]				
Side yard east min (parkade 2 lane entry & exit)	3.9 m 12.8 ft	3.0 m 9.84	7.5 m	2.5 m blank wall Block 1 & 3	10.1 m 7.0 m 22.97 ft	8.0 m 5.8 m 19.03 ft
Combined side yards min	5.4 m	4.5 m	-	-	12.8 m	10.4 m
Distance between any two attached dwellings min	-	-	5 m	5 m	4.79m Bk 1 & 2 4.18m Bk 1 & 3	6 m Bk 2 & 3 5.41 m Bk 1 & 2
Third floor area	-	-	-	≤ 60% of any other storey below	100% of 2 nd floor Bk 1 & 2	100% of 2 nd floor Bk 1 & 2
Vehicle parking spaces	1 per dwelling unit	2	1.4 per dwelling unit subject to strata (X 19 = 26.6)	1.5 per dwelling unit (x 19 = 28.5)	20	21

10 April 2018

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Sincerely,

Michael Sharpe
1592 Earle Place
[REDACTED]

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Vehicle parking spaces	1 per dwelling unit	2	1.4 per dwelling unit subject to strata (X 19 = 26.6)	1.5 per dwelling unit (x 19 = 28.5)	20	21

Monica Dhawan

From: Dan Blatchford [REDACTED]
Sent: Tuesday, May 15, 2018 6:26 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Dan Blatchford

3950 Rainbow Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Denis Farling [REDACTED]
Sent: Tuesday, June 26, 2018 5:23 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Denis Farling

#110-1655 Begbie Street

Sent from toAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Madelynn Sherwood <noreply@123formbuilder.io>
Sent: Wednesday, August 01, 2018 1:34 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Madelynn Sherwood

202-2710 Grosvenor Road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: webforms@victoria.ca
Sent: Sunday, August 12, 2018 3:29 PM
To: Victoria Mayor and Council
Subject: Mayor and Council email

From: michael owen

Email : [REDACTED]

Reference : <https://www.victoria.ca/EN/main/city/mayor-council-committees/councillors.html>

Daytime Phone : [REDACTED]

I am opposed to the development on Fairfield rd. by Rhodo development. I agree with what the Gonzales Neighbourhood Association has said in its objection to this development. I am not against infill and small developments but this development is too big. It's too big next to a park. No mention of low income housing. The developer is interested in profit and not interested in the quality of life that we, the people of Gonzales, cherish so much. I recommend that you all vote against this development and recommend a more agreeable development for the people of Gonzales.

IMPORTANT NOTICE: This message is intended only for the use of the individual or entity to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify The City of Victoria immediately by email at publicservice@victoria.ca. Thank you.

IP Address: [REDACTED]

Monica Dhawan

From: Clifford Childs <noreply@123formbuilder.io>
Sent: Wednesday, August 15, 2018 6:28 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Clifford Childs

240 cook street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Paul Brewster <noreply@123formbuilder.io>
Sent: Wednesday, August 15, 2018 10:23 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Paul Brewster

555 Niagara Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Sarah Mari <noreply@123formbuilder.io>
Sent: Saturday, September 08, 2018 8:21 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Sarah Mari

1605 Foul Bay Road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Anthony Maguire <noreply@123formbuilder.io>
Sent: Thursday, September 13, 2018 4:08 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Anthony Maguire

353 Linden Avenue, Victoria, BC

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Victoria Mayor and Council
Sent: September 5, 2018 11:43 AM
To: Public Hearings
Subject: FW: Mayor and Council email FW: I want to support the project on 1712/1720 Fairfield Road

Hi Pamela,

See below.

Sincerely,

Lucas

From: Victoria Mayor and Council
Sent: September 5, 2018 11:40 AM
To: Councillors <Councillors@victoria.ca>
Subject: Mayor and Council email FW: I want to support the project on 1712/1720 Fairfield Road

Good afternoon,

Please see below for a form-style email submission in support of the development proposal at 1712 / 1720 Fairfield Road.

Sincerely,

Lucas de Amaral
Correspondence Coordinator
Mayor / City Manager's Office
City of Victoria
1 Centennial Square, Victoria BC V8W 1P6



From: Molly Vermeulen <noreply@123formbuilder.io>
Sent: September 4, 2018 12:45 PM
To: Victoria Mayor and Council <mayorandcouncil@victoria.ca>
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Molly Vermeulen

1510 Edgemont rd

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Paula Grayton <noreply@123formbuilder.io>
Sent: Wednesday, October 03, 2018 9:42 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Paula Grayton

8336 Edgevalley Drive

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Noraye Fjeldstad

From: Taylor Bridges <[REDACTED]>
Sent: Friday, August 10, 2018 1:44 PM
To: Lisa Helps (Mayor)
Subject: Rhodo Development Gonzalese

Hello Mayor Helps,

I urge you to please reconsider allowing the designs to move forward on the Rhodo Project. I have zero issue with the number of units they are planning to build but I take great issue in the aesthetics of the building. It does not fit the character and charm of our area. As someone who lives around the corner from there and frequent the park, we will have to look at that on a daily basis. When are we going to start preserving the character of Gonzales and stop these modern buildings from ruining that? I am a 32 year old who in no way wants nothing to change but I think there are much better designs out there that can't fit into the character of the surrounding 1920's buildings.

Taylor Bridges

Monica Dhawan

From: Anna King <noreply@123formbuilder.io>
Sent: Wednesday, November 21, 2018 4:23 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Anna King

320-770 Fisgard St

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Chris Huzzey [REDACTED]
Sent: November 21, 2018 3:00 PM
To: Councillors
Subject: The Rhodo Development

This proposed development on Fairfield Drive does NOT fit into the Fairfield neighborhood.

The majority of Fairfield is made up of character homes and this modern boxy look would not be a good fit architecturally.

We are residents of Fairfield and the increased congestion that this structure would provide is not needed in our already 'busy' neighborhood. The 17 units would provide extra congestion which is already evident on Fairfield Drive.

Please do not accept this development which also extends onto Hollywood Park which is the only green space around this area. We need to keep it more private and quiet which is the flavour of the existing surroundings.

Thank-you kindly.
Christine & Reid Huzzey.

Lucas De Amaral

From: David Berry [REDACTED]
Sent: November 21, 2018 2:45 PM
To: Councillors
Subject: Fairfield Rhodo Development

Hi,

I currently reside in a house on Chandler street that I purchased in early 2017. I am emailing concerning the new development proposal alongside Hollywood Park. As a young homeowner, I understand the importance of more housing in the community. The Rhodo development appears to be exactly what this city needs in order to keep housing attainable for young people like myself. To sustain the youthful, thriving community that Victoria and Fairfield are, I feel that projects like this high density, attractive, low impact development are of great importance. As a member of the neighborhood, residing just a block away from the site, I hope that the city allows this project to proceed.

Sincerely,
David Berry

Lucas De Amaral

From: Diane Hughes [REDACTED]
Sent: November 21, 2018 2:49 PM
To: Councillors
Subject: Proposed Rhodo Development

Dear Councillors,

I am writing to ask you to reject the current design proposal for the Rhodo townhouse development at 1712 and 1720 Fairfield Road .

I STRONGLY urge you to vote to send the current proposal " back to the drawing board" and ask the developers to resubmit a design which honours the existing zoning regulations especially building height and front yard setback.

I would also like to see a building design which is more in keeping with the character of the Gonzales Fairfield neighbourhood.

Finally, I think that 10 townhouses rather than the 17 proposed, would be a far more appropriate number, given the size of the parcel of land.

Sincerely,

Diane Hughes.

344 Richmond Ave ,
Victoria

Sent from my iPad

November 21st, 2018

Dear Mayor and Council (City of Victoria),

Re: URGENT: For immediate consideration COTW Thursday November 22nd 2018
**Written request that the FGCA CALUC is requesting a 2nd CALUC meeting re:
Rezoning Application No 00618 for 1712 & 1720 Fairfield Road and
Development Permit with Variance Application No 00098 for 1712 & 1720
Fairfield Road.**

The criteria for a 2nd CALUC meeting has been met. (The first CALUC meeting was held August 17th, 2017)

“If changes are made that fall into the following categories a 2nd community meeting is required at the expense of the applicant.”(1)

- a change in use (Not applicable.)
- an increase in height (Applicable. From 10.7m to 11.45m.)
- an increase in the density of floor space ratio (FSR) (Not applicable.)
- a reduction in the setbacks or increase in site coverage equal to or greater than 20% (Applicable.)
- -44% reduction in front setback
- -32% reduction in west setback,
- -Site coverage increased from 45% to 60% a relative increase of 33%

These are significant changes; yet, best to our knowledge, the planning department did not notify us of these significant changes.

“The Area Planner **will notify** the Community Association Land Use Committee (CALUC)

and the proponent if a second meeting is triggered.”

Procedures for Processing Applications

Community Association Land Use Committee (CALUC)

City of Victoria

P 4 of 7

The plan that was presented to the community in August 17th, 2017 CALUC meeting has significantly changed as per criteria for a need for 2nd CALUC meeting. To the best of our knowledge, the FGCA CALUC did not receive any

notification about these significant changes in the plans, because if we had, we would have immediately requested a 2nd CALUC meeting as this clearly benefits both the developer and the community. We are now requesting a 2nd CALUC meeting and believe that a better plan by the developer could be achieved with more neighbourhood feedback.

Sincerely,
FGCA CALUC

(1) "Community Association Land Use Committee Plan Amendment, Rezoning, Variance, Temporary Use Permit and Liquor License Applications, City of Victoria, approved by Council December 8, 2016 —

Lucas De Amaral

From: Gwen Gaddes [REDACTED]
Sent: November 21, 2018 11:59 AM
To: Councillors
Cc: Lisa Helps (Mayor)
Subject: Rhodo development project Fairfield Rd

Importance: High

Hello Councillors, Mayor Helps.

I am sending a brief note to request that you good folks direct more thought, discussion and effort toward this Fairfield Road development during the hearing on November 22, 2018.

We have been residents of this neighbourhood since January 1998.
We did attend the Developer's initial presentation to the community.
Many details were not transparent at that time.

I understand there will be a loss of several dozen mature trees.
This is concerning esthetically and environmentally.

The City's zoning standards are being significantly challenged by the Developer.
Residents' front doors will open onto the sidewalk. Okay for big cities like Vancouver, not for the Gonzales neighbourhood.

The stark, institutional and box-like design of the structure is quite out of character with the existing neighbourhood buildings.
One hopes you would petition the Developer for a softer, staggered-storied design that would flow rather than battle Hollywood Park's greenspace.

Please consider a re-design.
Kind regards,

Gwen Gaddes
[REDACTED]

Lucas De Amaral

From: Paul Jorjorian and Hannah Mitchell [REDACTED]
Sent: November 21, 2018 2:41 PM
To: Councillors
Cc: [REDACTED]
[REDACTED] at Hollywood Park, Fairfield

Dear City Council: I'm writing to express my concerns about the proposed Rhodo Development next to Hollywood Park in Fairfield. I feel that the project is too massive for the existing lots and that the proposed buildings will dwarf the older buildings across the street. The proposed townhomes are monolithic and flat-roofed, they are not in sync with the surrounding architecture, and they are also over the allowed 2-storey maximum height.

I also have concerns about the congestion in my neighbourhood if 17 new units are built in that location. I understand there won't be enough parking for the inhabitants of the development. I live on St. Charles Street below Fairfield Road and already have difficulty making a left turn onto Fairfield Road due to the steady traffic there. Putting so many units, people and their cars into the lots next to Hollywood Park is going to make turning left onto Fairfield and parking on Fairfield, for those using the park, even harder. I think that there should only be as many units in the Rhodo development as can be accommodated with off-street parking.

I also object to the plan to cut down 51 trees for this development. We are losing trees in Victoria at a rapid rate due to all the new construction. I strongly object to the Rhodo developers removing such a large number of trees.

While I agree that more housing, and more affordable housing, is needed in Victoria and Fairfield, I am not happy with the current Rhodo proposal and hope that you will send this project back to the drawing board. New development should complement and enhance existing neighbourhoods, not compromise them.

Sincerely,
Hannah Mitchell

Monica Dhawan

From: Janice and Kevin [REDACTED]
Sent: Wednesday, November 21, 2018 11:02 AM
To: Victoria Mayor and Council
Subject: FW: Rhodo Development 1712/1720 Fairfield. Road

Please find my earlier email.

From: Janice and Kevin [REDACTED]
Sent: November 20, 2018 1:20 PM
To: 'councillors@victoria.ca' <councillors@victoria.ca>
Subject: Rhodo Development 1712/1720 Fairfield. Road

As a gateway into Gonzales, the neighborhood around Hollywood Park is unique; green filled, open and welcoming. The proposed "Rhodo" development by Aryze on 1712/1720 Fairfield Road would have a significant impact, detracting from the experience of those living here for decades to come. Some of the main issues with the proposal are:

- There will be virtually no front yard on Fairfield. Rather than the proposed 5 ½ feet, the front setback should be a minimum of 25 feet to be consistent with other properties and what is permitted under the existing zoning.
- The front of the building is too high and overpowering. Though the building is technically 2 ½ stories, the reality is the front face on Fairfield is 3 stories high. The side of the building facing Fairfield should be no higher than 2 stories, with a building height limited to 25 feet as permitted under the existing zoning.
- The rear yard is too narrow. The 20 feet setback should be a minimum of 30 feet (from all structures) and at least 30% of the site depth to achieve city standards.
- The public's use of the park must be protected. An adequate buffer such as a tall hedge or fence is essential.
- There is not enough parking for owners and guests. The number of parking stalls is reduced to 22 spaces from the required 26 spaces under the new City parking requirements. Why would the City create new parking requirements and then grant a major variance in a location that already has parking congestion?
- The design is ill suited for its location and does not enhance or integrate with neighbourhood character. The proposed buildings are congested on the site. Most concerning is the 3-story wall face bordering the sidewalk along Fairfield.

The draft Gonzales Neighbour Plan for rezoning for townhouses (summer 2018) distributed by the City stated the template for all townhouse developments is a minimum 20-foot front setback, 30-foot (or at least 25% of lot depth) rear setback and 30% to 40% site coverage including auxiliary buildings (this project proposes 60%). The project is nowhere close to achieving these purported standards.

Most of us recognize that increased density is a reality. However, there is nothing appealing about this project and it will ultimately detract from, not enhance our neighbourhood. Rather than presenting a showcase for densification, the proposal creates a dangerous precedent for future land use in our neighbourhood.

It is challenging to have any level of confidence in meaningful community input on land use with the recent experiences around the Gonzales Neighborhood Planning process. Now we are facing a situation where a developer is trying to maximize every square foot of a site by eroding reasonable standards. We trust City Council will value the views of neighbors/residents of Gonzales and move forward towards declining the application by Aryze for 1712/1720 Fairfield Road.

Janice Linton and Kevin Warren
356 Robertson Street

Monica Dhawan

From: Jackson Leidenfrost <noreply@123formbuilder.io>
Sent: Wednesday, November 21, 2018 8:45 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Jackson Leidenfrost

1905 Wooden Road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Kim Fenton [REDACTED]
Sent: November 21, 2018 2:07 PM
To: Councillors
Subject: Rhodo development next to Hollywood Park

To all concerned,

As a home owner and resident of the Gonzales neighbourhood, I would like to express my desire for council to reject the current design of this project. I do feel this property is an acceptable and welcomed site for a townhouse project, however, the current proposal is completely out of touch with its surroundings and requires considerable changes to the City's own zoning standards which are in place to protect our community.

First, the renderings appear to look more like a county jail or government office building rather than the "upscale housing" Aryze was aiming for, and certainly not congruent with our unique neighbourhood. In addition to this, I have concerns regarding the many variances that have been requested. Front yard setback and height are an issue with a building of this size. I think of walking through Yaletown in Vancouver which has many of these similar structures. None of them feel as stark, uncomfortable, and uninviting as this. The proposed structure would be less imposing if it followed the current allowance of 25 ft height and adhered to the 24.5 ft setback. The height and front yard setback would not be so much of a concern if the the actual building was designed differently and had a feel more appropriate to our community. Of course there is also a huge concern about what the impact this housing unit is going to have on Hollywood Park. Should there be a buffer zone? A clear marking of where private and public property meet? Also, this is not a designated dog park, nor should it become one once 17 families move in.

Lastly, I will briefly touch on parking. I feel the city needs to look at requiring residential parking passes in this area, especially if we are bringing in this number of housing units. With this project proposal, Margaret Jenkins Elementary School, day-care and a church - we are stretched to the parking limit. When there is construction all of the workers park here also and it has an impact.

Thank-you for considering my thoughts,

Kim Fenton

Monica Dhawan

From: Lindsay C [REDACTED]
Sent: Wednesday, November 21, 2018 10:05 PM
To: Victoria Mayor and Council
Subject: 1712&1729 Fairfield Road—Rezoning Application

Dear Council,

>

> As a resident at 1611 Fairfield I'm writing to voice my support for the redevelopment of 1712&1720 Fairfield Road. I've been following the application with interest and appreciate the design, character and density of the proposed development.

>

> I recognize that Victoria is in the midst of a housing crisis, particularly for families. Any ground oriented housing that includes a mix of unit typologies is desperately needed. The park next door will benefit from more overlook by new neighbours and the recent investment in new playground equipment will be much appreciated. I support bold action by Council in approving this type of infill development in my neighbourhood.

>

> Additional density makes sense in this area. It is well served by transit and local services are within easy walking distance. I look forward to welcoming new families and neighbours to our little corner of the world and hope that you will see fit to approve this development.

>

> Sincerely,

>

> Lindsay Chase

> 1611 Fairfield Road

>

> Sent from my iPhone

Monica Dhawan

From: Malcolm Smith <[REDACTED]>
Sent: Wednesday, November 21, 2018 8:29 PM
To: Victoria Mayor and Council
Subject: Rhodo Development on Fairfield Road - Full support for project....

Your worship and council,

I write to support unreservedly this proposed project that I understand is up for consideration tomorrow, November 22, 2018. My young family lives in Fairfield/Gonzales a few blocks from this proposed project.

Growth and increased density in Fairfield are inevitable. With the proposed Rhodo development, moderate increase in density is married to progressive and top level architecture that will blend in beautifully with a portion of Fairfield that clearly already contemplates higher density. The blocks of Fairfield between Foul Bay and Cook already represent predominantly commercial, institutional, and higher density rental apartments.

- This townhouse model with underground parking is the best way to accomplish increased density development model as it creates a vibrant lively and safe street scap. It sure beats apartment buildings and surface parking. Townhouses have front doors on the street and provide "eyes on the street".
- There is an opportunity for this project to illustrate what thoughtful top-shelf design can do in Victoria. I understand that the architects who have designed Rhodo recently won the Lieutenant Governor's medal for architecture within the province this year.
- Density within Fairfield makes housing accessible to a younger generation that is currently shut out of this part of Victoria's housing market. Baby boomers have been serving their own generational interests for a very long, its time they considered the very thin opportunities for the young within Fairfield.
- Density is much more sustainable in terms of energy consumption and land use.

As an employer downtown, I am keenly aware of the frustrations of my young employees who are priced out of much of Victoria real estate.

The proposed Rhodo project fills this gap.

I support this project without reservation.

Thank you for your consideration.

Sincerely,

Malcolm J.C. Smith
MacMinn & Company
Barristers & Solicitors
3rd Floor - 754 Broughton Street
Victoria, BC

[REDACTED]
www.macminnco.com

From: susan matthews [REDACTED]
Sent: November 21, 2018 12:02 PM
To: Councillors
Subject: Re: Rhodo Plan for 1712 1720 Fairfield road...

Hello there! I am writing to you to voice my displeasure about the plan for the new Rhodo plan for 1712-1720 Fairfield road. This wasn't what was originally proposed and this plan does not fit in with our ideas of the direction that Fairfield and Gonzales districts should be going in. The following is just not acceptable.

- There will be virtually no front yard for the units on Fairfield Road — the front setback will be 5.5' (1.68 m) whereas the current minimum is 24.5' (7.5 m).
 - The 3-storey building facing Fairfield will be 38' (12 m) high, the current maximum is 25' (7.6 m). The development is 3 stories on Fairfield Road, even though it is classified as a 2 ½ story because of the area of the 3rd floor and the slope of the land.
 - This development will create a 3-storey, 38' wall, 5 ½ feet from the front property line. The applicable bylaw states that "No part of any building shall be closer than 19.6 ft (6 m) from the street frontage" and "the average distance of the walls of a building facing the street frontage shall be not less than 24.6 ft. (7.5 m)."
 - Currently, a rear yard should 30' (9.1 m) or at least 30% of the site depth (so for the Rhodo 60' on the west side), the Rhodo is asking for a rear setback of 20' (6.1 m). There is no delineation between the minimal patio space and the townhouses facing Hollywood Park. Aryze's own materials (distributed on [November 8th](#)) highlight this feature as follows: ***Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park.***
 - The building footprint will take up 60% of the total site whereas the current maximum allowed 30%.
 - The number of parking stalls will be to 22 spaces (Aryze's application wrongly indicates that 22 spaces is the minimum required; City staff have confirmed that 26 are in fact required).
 - Over 50 Trees will be cut down by the park to accommodate the development.
- Yours truly,

Patrick and Susan Matthews
1633 Pinewood avenue
Victoria BC.

Monica Dhawan

From: Sheryl Meredith [REDACTED]
Sent: Wednesday, November 21, 2018 1:54 PM
To: Victoria Mayor and Council
Subject: Support for the Rhodo Townhouse Project

Importance: High

Dear Mayor and Council,

I am writing you because I support a future looking Victoria with amenity rich, diverse, inclusive neighbourhoods that have housing options for everyone. I believe that well designed infill housing will strengthen our neighbourhoods, provide for a broader range of housing types / tenures and create a vibrant public realm.

Specifically, we support the Rhodo townhouse project currently under Council review. It contributes well-designed housing while preserving the village lifestyle we enjoy in Victoria, increasing affordable options for seniors and young families and enhancing the natural beauty of our town.

Sincerely,

Sheryl Meredith

Monica Dhawan

From: Tom White [REDACTED]
Sent: Wednesday, November 21, 2018 7:24 PM
To: Victoria Mayor and Council
Subject: Rhodo development proposed by Aryze

Please stop this proposed building!

Tom White
321 Robertson Street
Victoria

Monica Dhawan

From: Bob June [REDACTED]
Sent: Thursday, November 22, 2018 8:16 AM
To: Victoria Mayor and Council
Cc: Marianne Alto (Councillor); Ben Isitt (Councillor); Charlayne Thornton-Joe (Councillor); Lisa Helps (Mayor); Geoff Young (Councillor); Laurel Collins (Councillor); Sharmarke Dubow (Councillor); Sarah Potts (Councillor); Jeremy Loveday (Councillor)
Subject: re1712/20 Fairfield Road Rezoning - 2nd CALUC Meeting & Advisory Design Panel

Mayor and Council:

With apparent changes in height, density and set backs this project meets the requirements for a second CALUC community meeting which seems to have been ignored.

It is also important that if you move ahead today you comprehensively review and address the multitude of concerns of this project raised by the Advisory Design Panel at their Mar 28/18 meeting.

Bob June
1310 Manor Road

Monica Dhawan

From: Jordan Milne <noreply@123formbuilder.io>
Sent: Thursday, November 22, 2018 6:18 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Jordan Milne

1278 Gladstone Ave.

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Linda Pucci [REDACTED]
Sent: Thursday, November 22, 2018 5:09 PM
To: Victoria Mayor and Council
Subject: Rhodo Development

===== Forwarded message =====

From : Linda Pucci [REDACTED]
To : "councillors" <councillors@victoria.ca>
Date : Wed, 21 Nov 2018 17:38:43 -0800
Subject : Rhodo Development

===== Forwarded message =====

I reject the current design & request a design that respects the existing zoning

Linda
202 St Charles

Monica Dhawan

From: F D'Ambrosio, Architect AIBC FRAIC <noreply@123formbuilder.io>
Sent: Friday, November 23, 2018 1:40 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

F D'Ambrosio, Architect AIBC FRAIC

2960 Jutland Road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Morrie Baillie <noreply@123formbuilder.io>
Sent: Friday, November 23, 2018 12:00 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Morrie Baillie

1804 Quamichan Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Murray Nunns <noreply@123formbuilder.io>
Sent: Friday, November 23, 2018 5:53 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Murray Nunns

5789 Brookhill Road Victoria

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Kerstin Greiner [REDACTED]
Sent: November 21, 2018 8:18 PM
To: Councillors
Subject: Rhodo development

Follow Up Flag: Follow up
Flag Status: Completed

As a long time resident of Fairfield, I strongly oppose the Rhodo development . How is cutting 51 tree down good for our environment/climate change,which I understood was important to this mayor. This design is not respectful of the existing neighbourhood.

Hollywood park needs to have a adequate buffer and visual barrier to this development.

There are zoning standards and this project proposes to significantly exceed a number of those limits.

Lucas De Amaral

From: Lindsay C [REDACTED]
Sent: November 21, 2018 9:48 PM
To: Councillors
Subject: 1712&1729 Fairfield

Follow Up Flag: Follow up
Flag Status: Completed

Dear Council,

As a resident at 1611 Fairfield I'm writing to voice my support for the redevelopment at 1712&1720 Fairfield Road. I've been following the application with interest and appreciate the design, character and density of the proposed development.

I recognize that Victoria is in the midst of a housing crisis, particularly for families. Any ground oriented housing that includes a mix of unit typologies is desperately needed. The park next door will benefit from more overlook by new neighbours and the recent investment in new playground equipment will be much appreciated. I support bold action by Council in approving this type of infill development in my neighbourhood.

I look forward to welcoming new residents to our little corner of the world and hope that you will see fit to approve this development.

Sincerely,

Lindsay Chase
1611 Fairfield Road

Sent from my iPhone

Lucas De Amaral

From: L Maasch [REDACTED]
Sent: November 22, 2018 6:44 AM
To: Councillors
Subject: Rhodo Development

Follow Up Flag: Follow up
Flag Status: Flagged

Hi - I am a homeowner, living on Robertson Street for 18+ years.
I live a 1/2 block down from the proposed project. Here are my opinions about this development:

This project does not fit our neighbourhood vision, zoning or plan. It needs to be re-worked. I am not opposed to a townhouse going in - just the way this one is planned.

Hollywood Park would be very negatively impacted. I have used it almost daily for over 18 years. I know it well. It would be left a mess. There is no real place built into the Rhodo project for the residents to be outside Except for the park. The Rhodo project needs its own green space.

51 Trees will be cut - Really ? How can you let this go through?

This project, as it now sits, will destroy my park. I have grandchildren using the swings, my kids played soccer and baseball there and we walk it often with our dog. We use it.

And finally, Not Enough Parking for the people in the townhouse: Years ago, we had to designate our 300 block Residential Parking Only as many staff from the Nursing Home and Thriftys were parking on our street. We often could not park on in front of our homes. What will 17 more homes add to the parking problem? Contrary to some councillor's opinion, families living on this block have at least 1 car. Renters and Owners all have cars. The project needs more parking spaces.

Please - send this project back to the developer and have it re-worked to fit into My wonderful Gonzales Neighbourhood.

Thank you-
Linda Maasch
311 Robertson St.

Lucas De Amaral

From: Linda Pucci [REDACTED]
Sent: November 21, 2018 5:39 PM
To: Councillors
Subject: Rhodo Development

Follow Up Flag: Follow up
Flag Status: Flagged

I reject the current design & request a design that respects the existing zoning

Linda
202 St Charles

Lucas De Amaral

From: Ricki Goltzman [REDACTED]
Sent: November 21, 2018 10:28 PM
To: Councillors
Subject: Rhodo Development Proposal

Follow Up Flag: Follow up
Flag Status: Flagged

To the Members of Victoria City Council:

I am a longtime resident of Fairfield and live at 109 Wildwood Avenue very near the proposed Rhodo Development.

The major setback reductions, increased floor space ratio and excessive building heights are all a consequence of a project which is simply too large for its site. In effect, Aryze Development Construction is attempting to rewrite the zoning bylaw for this parcel of land. Spot zoning should not be permitted.

While I support thoughtful development projects, I strongly oppose the proposed Rhodo development.

It is Victoria City Council's responsibility to protect Victoria neighbourhoods and ensure they don't turn into a developers paradise where unsightly overdevelopment is permitted that permanently scars the landscape.

I implore council members to do the right thing and vote a resounding NO!

Respectfully,

Ricki Goltzman
Concerned Fairfield Resident.

Noraye Fjeldstad

From: Colleen Mycroft
Sent: Friday, November 30, 2018 8:47 AM
To: Noraye Fjeldstad; Alison Meyer
Subject: Fwd: Feedback re Rhodo development proposal - 1712-1720 Fairfield Road

Colleen Mycroft
Manager of Executive Operations
Mayor & City Manager Office
City of Victoria

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 30, 2018 at 2:01:05 AM PST
To: [REDACTED]
>
Cc: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Re: Feedback re Rhodo development proposal - 1712-1720 Fairfield Road

Hi Tim,

Thanks so much for this.

Warmly,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
www.facebook.com/CollinsLaurel
Twitter: @laurel_bc

From: Timothy Stonhouse [REDACTED] >
Sent: Tuesday, November 27, 2018 9:50 AM
To: Laurel Collins (Councillor); Tim Stonhouse
Cc: councillors@victoria.ca
Subject: Feedback re Rhodo development proposal - 1712-1720 Fairfield Road

Myself and my wife currently reside at 1616 Earle Street a property that we have owned for over twenty years. When we were looking for property in the mid-nineties one of our considerations was the character of the neighbourhood. We were drawn to the Fairfield area because of its mature feel, not flashy but understated with a touch of history. Most of the homes are well

looked after and the people are friendly. Being over fifty years old, this area has been very well maintained striving not to push modernity into a historical area.

It is for this reason that my wife and I am very concerned about the above mentioned project. While I endorse that the village concept (as set out in the glossy four page document provided to the residents) the execution fails to deliver on the stated purpose largely based on the overly modern design. I have been to many historical cities on the eastern seaboard as well as Europe and the village concept (if developed properly) could become a model for future developments in Victoria.

My main concerns are the design features and the type of materials proposed in the project. As currently designed the project does not "fit into" the neighbourhood but would significantly alter the area. Approval of such a project would set a very dangerous precedent and would change the quaint, historical appeal of this area of Victoria. I talked to the man handing out the glossy brochures and asked him why he feels people are drawn to Victoria. His response was, "Because of the historical feel of Victoria." In Victoria we have something that people come to experience - why should we destroy one of the features that makes our city so attractive?

I have enclosed a number of attachments (including photographs) which may be of some assistance in your deliberations. Two sets of photos show developments in the Victoria area that have a historical feel but achieve many of the features proposed by the developers. The final set of photos show a development in rural Ontario where it was important to maintain the historical feel of the project.

I thank you for your considerations of my submissions. I can be reached by email or cell phone at 1616 Earle Street.



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Timothy A. Stonhouse
Barrister & Solicitor

Lucas De Amaral

From: Therese Gerein [REDACTED]
Sent: November 21, 2018 6:16 PM
To: Councillors
Subject: Rhodo development in Fairfield

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Victoria Mayor and Councillors:

I am writing to ask that you reject the proposed Rhodo development on Fairfield Road. I feel that this proposal has not been well thought out and focuses on profit for the developer as opposed to what will be a long lasting benefit to the community.

I am extremely puzzled as to why several zoning standards are being either ignored or blatantly disregarded such as set back, height, removal of trees and particularly fewer parking spaces. In addition, the very box-like appearance of this proposed building is very out of character for Fairfield where most of our homes are very different in architecture and fit into the scale of the buildings around them.

This proposal has the following issues:

- too many units (more profit for the developer instead of more room for each);
- too little setback to the sidewalk;
- too few parking places;
- unpleasant appearance;
- too tall
- relies too much on access to Hollywood Park instead of providing enough green space on site.

If any private home owner tried to get away with even one or two infractions to City standards we'd hear about it in a hurry! Why is Council allowing a developer this kind of latitude and ignoring the public right to enjoy the neighbourhood? Fairfield seems to be on the radar for developers who see it as a great neighbourhood - BEFORE they get approval to do what they like to it! It would seem that if Council allows this proposal, along with a few others in the wings, Fairfield will no longer be seen as a great place to move to but a great place to move from. The ink is hardly dry on the election ballots and we're already seeing inroads into the enjoyment of our community.

Please respect our right to enjoy our neighbourhood and vote against this Rhodo proposal.

Thank you, Thérèse Gerein, 370 Stannard Avenue

Lucas De Amaral

From: wregan [REDACTED]
Sent: November 21, 2018 4:00 PM
To: Councillors
Subject: development proposal for 1712 & 1720 Fairfield

Follow Up Flag: Follow up
Flag Status: Flagged

The proposal is for 2.5 stories and very little backyard space. The developer seems to think that the proximity to the park would somehow substitute for this. The number of trees to be cut down is extreme. The design is definitely not in keeping with the neighbourhood. I'm strongly opposed to this development as it stands. Wayne Regan home owner 360 Stannard Ave. Thank You.

Monica Dhawan

From: adam Gilmer <noreply@123formbuilder.io>
Sent: Tuesday, December 04, 2018 12:56 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

adam Gilmer

421 Dundas St

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: ian hoar <noreply@123formbuilder.io>
Sent: Tuesday, December 04, 2018 12:58 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

ian hoar

114 Rendall St. V8V 2E2

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Patrick Czyz [REDACTED]
Sent: December 12, 2018 6:01 AM
To: Victoria Mayor and Council
Cc: planandzone@fairfieldcommunity.ca; Councillors; DJ Chez
Subject: Aryze Developement at 1712 & 1720 Fairfield Road

Hello Mayor & Councillors...

My name is Patrick Czyz and my wife and I have lived at 1693 Earle street for the past 23 years, just a few houses up from the new proposed Rhodo development by Aryze adjacent to Hollywood Park.

I will be away Thursday December 13th for the Community Meeting and would like to register my concerns via this email.

While I do not object to thoughtful development and logical "densification" in our Gonzales neighbourhood, I do object to this development's design for the following reasons:

- The design does not come close to fitting the character of the Gonzales neighborhood. To me it appears similar to campus housing you would see at UBC or SFU.
- I object to how this Aryze development's plan is completely open to Hollywood park without a fence or some prominent landscaping to denote the park from this private property.
- I object to how close the front entrance of many of the town-homes are to the sidewalk and Fairfield road and I am also worried about the height as the majority of homes in our neighbourhood are not taller than 2 stories.

Please Mayor, Councillors and City Planning Staff ask yourselves **"Would you want something so starkly out of character developed where you live? "**

Sincerely,
Patrick Czyz

Mark Hornell

1026 Clare Street, Victoria BC V8S 4B6

February 14, 2019

Mayor and Council

City of Victoria

1 Centennial Square

Victoria, BC V8W 1P6

Dear Mayor and Council:

RE: REZ00618 – 1712 and 1720 Fairfield Road

I am writing to express support for rezoning to permit development of the proposed multi-unit residential project at 1712 -1720 Fairfield Road. From my experience working as a planner in Victoria for 24 years, seven of them with the City of Victoria leading the Community Planning Division, and as a resident and homeowner in Gonzales for the bulk of that time, I believe that the proposed 17 unit project is exactly the sort of development Victoria needs to diversify and intensify its housing stock, and renew its traditional neighbourhoods.

Victoria's OCP – which received a Gold Award for Excellence in Policy Planning in 2013 from the Planning Institute of BC - was adopted by Council in July 2012 following a two year process which engaged more than 6,000 Victoria residents in defining a future for the City's development over the next 30 years. What Victorians said they wanted was a city with a strong, walkable downtown surrounded by humane neighbourhoods, each with a village centre as a focus for community life and exchange within walking distance of everyone, and a broader range of housing choice and affordability. The OCP development strategy calls for accommodating half the 30 year population growth forecast, roughly 10,000 people, in the downtown core area, another 8,000 in twelve urban villages built on existing places, with the remainder, roughly 2,000 people, scattered throughout the City's traditional residential neighbourhoods through infill and redevelopment.

The site of the proposed development is designated Traditional Residential in the OCP, which envisions attached residential and apartments on arterial and secondary arterial roads and total floor space ratios up to approximately 1:1. This general policy direction was given further articulation in the draft Gonzales Neighbourhood Plan, which envisages the opportunity for small apartment buildings and townhouses up to three storeys in height along the Fairfield Road corridor, and the development of a small urban village at the corner of Fairfield Road and Lillian

Street/Wildwood, immediately opposite the subject properties. The proposed townhouse project at this site fits this land use vision, and further addresses goals in the draft neighbourhood plan related to increasing housing diversity, increasing the opportunity for attainable home ownership, and increasing the amount of housing attractive to families. Notwithstanding the decision of the previous Council to put the draft Gonzales Neighbourhood Plan on hold, it provides a solid and defensible basis for supporting this application consistent with the general land use and housing vision of the OCP.

Gonzales has experienced exceptionally modest growth in the range of 1.1% annually, or about 45 people per year in approximately 9 new housing units, in an area that comprises 7% of the City's land base. Even though typical household sizes and the proportion of households with children at home exceed City averages, Ecole Margaret Jenkins School would not be able to maintain minimum enrollments on the basis of children living within walking distance of the school. The neighbourhood includes important civic open spaces and amenities that make it a highly suitable location for more family friendly housing, including immediately adjacent to the subject property in Hollywood Park. The proximity to education, shopping, park space, and frequent transit service make the neighbourhood generally, the Fairfield Road Corridor, and the subject site in particular, suitable for family friendly infill and redevelopment. One would be hard pressed to identify a better location in the neighbourhood than the subject property for a multi-unit townhouse development such as that proposed by the applicants.

In closing, addressing the City's goals for urban sustainability challenges Council to find ways to make all neighbourhoods more inclusive, more walkable, and more diverse. Doing this in a way that makes new housing at least accessible if not affordable, requires taking advantage of every good opportunity to fit new density into existing neighbourhoods, particularly for families starting out, who otherwise are forced to seek housing in suburban locations simply because those are the only accessible opportunities available to them. The proposed project at 1712-1720 Fairfield Road would bring 17 units of family appropriate housing to a corridor ideally suited to this kind of infill housing. While some vocal Gonzales residents have opposed this project, Council needs to weigh their opposition against the more than 6,000 Victoria residents who spoke in favour of increased housing diversity and accessibility during the OCP process. In taking this larger perspective and approving this application, Council would make a clear statement in favour of neighbourhood diversity, inclusion and a family friendly future for Victoria.

Yours truly,

A handwritten signature in dark ink, appearing to read 'Mark Hornell', with a long horizontal line extending to the right.

Mark Hornell

From: [REDACTED]
Sent: Saturday, December 15, 2018 3:19 PM
To: Victoria Mayor and Council
Cc: [REDACTED]
Subject: Rhodo Development Proposal - Resident Feedback

Dear Mayor and Council,

I attended and participated in the Community Meeting to review the proposed Development at 1712 and 1720 Fairfield Road, Victoria, on December 13, 2018. The CALUC is submitting a summary of this meeting to you, and below are my individual views on this proposal. I had a formal invitation to the meeting as I live within 100 metres of the proposed development site. The proponent is seeking a site-specific zone for this development, and I understand that City staff are recommending this.

I have a number of comments to you, for your consideration. For ease of any subsequent communication, I have numbered my comments below, in no order of priority.

1. The proposal is to build 17 new houses on a piece of property consisting of only 2 single-family dwellings. While this is not by itself a reason for rejection, it is a proposed development to increase densification by an order of magnitude that far exceeds the so-called “gentle densification” term used by the Mayor. Gentle implies gradual or not severe. I would describe an increase from 2 to 6 or 8 as “gentle”. I would not use the term to describe an increase from 2 to 16 as “gentle”. I would describe this as over-crowding or cramming as many homes as possible into a given space, at the same time breaking the guideline on open space on the lot.
2. The only way to achieve this number of townhouses is to ignore the planning guidelines for the neighbourhood, and exceed most of those guidelines. This proposal exceeds the planning guidelines for floor space ratio, number of storeys, number of parking stalls, setbacks on all four sides.
3. It also blatantly fails the stated planning guideline to treat the boundary between a development and a City park as a transition area. The design guidelines state: “The design and placement of buildings and landscape should establish a sensitive transition to adjacent parks.” and “For new development adjacent to parks and larger public outdoor open spaces, design should clearly delineating private from public spaces, to avoid “privatizing” of public space.”

However, the proposed building on the Park side presents what attendees at the meeting referred to as a “bunker”. There is absolutely no transition. It looks as though the building’s back yard is the park itself. The developer’s reasoning for this was, in my view, quite offensive. He said that the planning requirements for a transition were not as good for the neighbourhood as their solution of providing “eyes on the park” and “social oversight” to detect illegal activities and report them to the police. I live within earshot of that area. In the past there has been illegal activity, probably involving drug use. The City made an excellent move, by installing street lighting. I have heard no problems since that time. The developer is inventing a reason to be used to justify this type of development. It is not an acceptable boundary between the development and the Park, and would significantly diminish the experience of park users.

4. The proposal states the number of storeys as 2 to 2.5 storeys. This is simply not what is reflected in the developer’s plan. The pictures provided by the developer clearly show 3 storeys. The actual words used in the developer’s presentation were precisely “third floor”. This factor in itself should be grounds for rejection of the proposal.
5. The entire block defined by Fairfield, St Charles, and Earle is composed of 1 and 2 story buildings. Three storeys does not complement the neighbourhood. Further down Fairfield Road, at the intersection with Arnold shows the impact of a 4-storey apartment building being developed in a 1 and 2-story neighbourhood, with a gigantic green wall built immediately adjacent to the Ross Bay Villa. This is an insulting eyesore to the Fairfield neighbourhood, and this must not be repeated in Gonzales.

6. The immediately adjacent Hollywood Park is heavily used by young people and families in particular, with Little League baseball using the park in the summer, even hosting province-wide tournaments as recently as this year. The park has public parking on Fairfield Road and Earle Street, which are often fully used. Earle Street often has park users parking in the Residential Only parking areas. The addition of this proposed development, with a number of parking stalls on the property less than the development guideline, will further exacerbate the local parking situation.
7. My understanding is that the development guidelines prohibit double-row townhouse buildings within a certain property size. The developer appears to have circumvented this guideline by making the two main buildings not quite parallel, and rubbed salt into the wound by adding a third building across one end of the lot, resulting in a triangle of three buildings which, together, comprise 85% of the lot size, which exceeds planning guidelines.
8. This is supported by reduced setbacks on all sides. The developer justifies the reduced setback on the Fairfield Road side by claiming that it complements the reduced setback directly across the street. This “creates” a “node” which is typical of English country villages. I was born and raised in England, and I find this claim to be inaccurate and offensive. It is more likely to create a “canyon” filled by heavy traffic and increased parking congestion.
9. Planning guidelines state “to preserve and maintain, to the extent possible, neighbourhood features, such as trees, fences, gardens, and rock outcrops” and should address concern about continued loss of tree canopy in Gonzales.
However, the proposal appears to claim a minimal impact on existing trees by claiming the number of protected trees to be cut down being only one. Discussion with a number of residents at the meeting included claims of calls to the City that indicated over 50 trees would be cut down. I assume this is because they are not of “protected” status. The developer claims that over 70 new trees will be planted, but the layout of the plan shows how little space is available for this, and that only very small trees would thrive, given the minimal setbacks and space between the buildings. This is a disturbing feature of the proposal.
10. The developer’s literature makes many claims. It purports to be modelled on an English beach village, a typical English village, or a small English town. It purports to be based on terrace houses in London and Bath. The famous Bath town house terraces are extravagantly large homes for the landed gentry, and are fronted by 50 metres of pristine lawns. Their sales literature is full of whimsy, but is misleading and lacking in substance. By themselves, these are not reasons to reject the proposal. I would imagine they exist to mask the underlying approach of trying to force too many houses on to this lot.

I am really disappointed that the City planners appear to have bought into this lack of substance, and appear to be supporting the proposal as it stands. Creating a single site-specific zone seems fundamentally flawed to me, and can only generate problems in the future, for example in the case of the 4-storey monstrosity allowed by the City at Fairfield and Arnold.

The proposal contains many exceptions to planning standards and guidelines. It provides nothing in return except a very high number of homes. These homes are not “affordable” homes, even by the Mayor’s calculations. The developer did NOT deny the claim that the eventual sale price would exceed \$800,000 per unit, and is out of reach of new and young buyers, which they claim the neighbourhood needs.

Mayor and Council – I am not against increased densification. I support increased densification in a truly “gentle” way. These two properties could, I would imagine, sustain 6 to 8 units quite comfortably, while maintaining the character of the neighbourhood. Just take a look at the town house development at the corner of Foul Bay and Chandler, very close by. It fits in. It blends in. It complements the neighbourhood. It does not scream an insult to the neighbourhood, which is what the Rhodo proposal does for many different reasons.

In summary, I would reject this proposal, and ask why it has managed to get this far in the development process. It appears to me that the neighbourhood planning guidelines are not used by the City as guidelines, but rather as a starting point for developer negotiations for exemptions. The proponent has put a significant amount of effort into this proposal, which should be recognised, but the proponent expectations should be communicated much more effectively by the City. I have communicated this concern to Mayor and Council before.

Graham Whitehead
1689 Earle Street

Lucas De Amaral

From: candi barber [REDACTED]
Sent: December 4, 2018 6:37 PM
To: Councillors
Subject: Rhodo Development in Fairfield

To whom it may concern,

I am writing to inquire about the proposed development. Apparently you were considering the proposal on Nov. 22. Has there been any type of decision made? I think the idea of more housing in the area is wonderful but this proposed development really is horrible. I have lived here in Fairfield for nearly 15 years. We definitely need to come up with something MUCH more in keeping with the character of the neighborhood. Just my thoughts.

Thanks so much,
Candi Barber

Monica Dhawan

From: Mark Kiddell <[REDACTED]>
Sent: Tuesday, February 19, 2019 6:01 AM
To: Victoria Mayor and Council
Subject: RE: Support for new townhome development - Gonzales.

To Mayor and Council,

I live in Gonzales, just down the street from the proposed “Rhodo” project on Fairfield Road. Both my wife and I see this as a great fit to the neighborhood, as our kids are almost out of our house, and we would love to downsize to a townhome like this in the neighborhood. In hearing about some of the opposition to the project, we find it totally odd how a group of residents declare new housing as a detriment to the neighborhood. We see it as totally opposite, and that we should be welcoming people to neighborhoods like ours and bringing in new families, and expanding the tax base. I work in clean energy developer, and see many tools we require to solve our climate change issues, but developing infill housing is one of the most important of our time.

As Council reviews this project, reject the negative noise, and vote for creative ways to add more new families to this very livable, beautiful neighborhood, using new energy efficient technologies in the building of new developments in our community like the Rhodo projects proposes to do.

Regards,

*Mark & Tassawan Kiddell
325 Richmond Ave.
Victoria, BC
V5A 3Y2.*

Monica Dhawan

From: Scott Pilecki <noreply@123formbuilder.io>
Sent: Friday, February 22, 2019 9:46 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Scott Pilecki

2 - 1871 Fern Street, Victoria BC, V8R 4K4

Sent from TalktoAryze.ca, talk@talktoaryze.ca

February 25, 2019

Dear Mayor and Council,

Re: Proposed Rhodo Development at 1712 and 1720 Fairfield Road

We would like to bring to your attention the need to amend the Official Community Plan (“OCP”) for any proposed development, such as the proposed Rhodo development, that exceeds two storeys within areas designated as Traditional Residential in the OCP, which includes 1712 and 1720 Fairfield Road. Alternatively, the applicant should revise its application to be consistent with the OCP (i.e. propose buildings not exceeding two storeys), which would address one of the many concerns raised by local residents about having new development fit within the existing character of the Gonzales neighbourhood.

The key provision at issue is in relation to the Built Form in the Traditional Residential area in section 6.3, Figure 8 of the [Land Management and Development](#) section of the OCP (page 39), excerpted below:

Traditional Residential	Ground-oriented buildings up to two storeys.
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The below table illustrates the distinction between certain phrases used in Figure 8. The first column provides examples of the use of a specific or exact threshold for certain factors, whereas the second column provides examples of a more flexible criteria used in relation to other factors:

Specific Criteria	Flexible Criteria
“up to two storeys” (Traditional Residential, Built Form) (Small Urban Village, Built Form)	“up to approximately 1:1” (Traditional Residential, Density)
“up to three storeys” (Urban Residential, Built Form)	“up to approximately five storeys” (Core Historic, Built Form)
	“generally ranging up to 1:1” (Core Historic, Density)

The ordinary meaning of “up to” is that it specifies a *maximum*. This is different than the other phrases used elsewhere in Figure 8 indicating more flexible criteria as identified in the second column. The more flexible phrases indicate that the specified criteria can be generally or approximately exceeded. By only using the phrase “up to” a certain storey in the Built Form column, the OCP appears to recognize the particular importance of height to the character of a particular designated area. This recognition warranted setting a *maximum* number of stories in those areas.

We understand that City staff have relied on the following statement in section 6.3 of the OCP as supporting an interpretation of “up to” as not setting an upper limit in relation to the:

While the designations described in policy 6.1 and Figure 8 establish the general pattern of land use, it is the Zoning Bylaw that regulates the specific uses and density of development that are permitted to occur on the land.

Within each designation, there will be a range of uses, densities and built forms. Decisions about the use, density and scale of building for an individual site will be based on site-specific evaluations of proposed developments in relation to the site, block and local area context...(emphasis added).

The statement regarding Figure 8 establishing the “*general* pattern of land use” such that there is a “range” of built forms needs to be reasonably read together with the wording used in the criteria set out in Figure 8. For example, in the context of the Built Form within Traditional Residential areas, buildings could include those that are one storey, 1.5 storeys, or two storeys. With respect to buildings in the Core Historic area, buildings could include those that are five stories and those that somewhat exceed five storeys (e.g. 5.5 storeys). However, where the term “up to” is used in Figure 8, without qualifiers such as “approximately” or “generally”, it clearly specifies an upper limit. **Interpreting the Built Form criteria in the Traditional Residential area of “up to two storeys” as permitting a building of 2.5 storeys is an unreasonable interpretation of section 6.3.**

The importance of being consistent with the OCP is highlighted in section 884(2) of the *Local Government Act*:

884(2) All bylaws enacted ... by a council ... after the adoption of
(a) an official community plan
...
must be consistent with the relevant plan.

The 2012 BC Supreme Court case *Sevin v. Prince George (City)*, [2012 BCSC 1236](#), demonstrates what could happen if a proposed development is inconsistent with the OCP and council does not first amend the OCP. In that case, City staff forwarded a report to council, along with a recommendation that council approve an application to amend a Zoning Bylaw to allow the development of a particular proposed recovery facility in an area designated Rural and Agriculture. The key question before the Court was whether the Amendment Bylaw was consistent with the land use provisions of the OCP (para. 107). The court considered the following principle:

[90] Deference must be shown to council’s decision to pass the Amendment Bylaw as long as that decision is reasonable in the context of the requirements of s. 884(2) of the *Local Government Act*.

The Court referred to the following statement in *Central Saanich Society v. Central Saanich (District)*, [2011 BCSC 491](#):

[42] This does not empower council to misinterpret the Official Community Plan but it does suggest that the court ought not to interfere with any reasonable interpretation consistent with the OCP.

In the *Sevin v. Prince George* case, the Court made the following conclusion about the consistency of the amended bylaw with the OCP:

[133] It is my interpretation that the Amendment Bylaw is not consistent with the OCP and the declaration must be made as sought by the petitioner that the City of Prince George Zoning Bylaw No. 7850,

Amendment Bylaw No. 8362, 2001, is invalid and quashed because it is inconsistent with the OCP of the City, contrary to the provisions of s. 884(2)(a) of the Local Government Act, R.S.B.C. 1996, c. 323.

[134] In my view in order to authorize this recovery facility on this site City Council will be required to amend the OCP.

Thus, it is our view that should the applicant wish to proceed with the Rhodo project as currently proposed, it should make an application for an amendment to the OCP. Alternatively, and in our view the better option, the applicant should consider making revisions to its current proposal to be consistent with section 6.3 of the OCP (i.e. buildings with a maximum height of two storeys). Such an option would address one of the many concerns raised by local residents about the lack of suitability of the current Rhodo proposal in relation to the existing character of the Gonzales neighbourhood.

Sincerely,

Debbie & John Wells

Monica Dhawan

From: Karen Ayers <[REDACTED]>
Sent: Tuesday, February 26, 2019 9:40 AM
To: Councillors
Cc: planandzone@fairfieldcommunity.ca; Victoria Mayor and Council
Subject: RE: Feb 28th COTW- 1712/1720 Fairfield

Dear Mayor and Council:

The first CALUC meeting on this townhouse development was held in August 2017. The neighbourhood expressed concerns about the density, height and encroachment on Hollywood Park. Subsequent to the August CALUC and input from neighbours, the developer increased the density and building height, decreased open site space, and eliminated fencing that provided some buffer to the park. As a result of those changes, a second neighbourhood meeting was required by the CALUC rules.

At the second CALUC meeting, held on December 13, 2018, an even greater number of neighbours again expressed significant concerns about the density, height and encroachment on Hollywood Park. No changes were made by the developer to respond to neighbourhood concerns.

City Council was successful in achieving a balanced approach to infill development for other developments, including 1745 Rockland and 515 Foul Bay Road. Please direct the applicant to make meaningful changes that address concerns about the usurping of Hollywood park for private use and enjoyment, and the overdevelopment of this site.

Respectfully submitted,
Karen Ayers

From: Virginia Errick <[REDACTED]>
Sent: Tuesday, February 26, 2019 5:25 PM
To: Councillors
Cc: CALUC chair; Victoria Mayor and Council
Subject: Feb 28, COTW - 1712&1720 Fairfield

Dear Mayor and Council,

Rhodo is an over-built development proposal at Market Prices. It gives only a small sum for those under-housed, while making maximum profit for the developer. This luxury condo will not increase diversity in our neighbourhood and the argument of affordability else-where is not a good one.

The development takes away from the neighbourhood by being too close to the sidewalk, the park and imposing on neighbours. Rhodo is massive and too tall, and is without modification to concerns when it was shown at the CALUC Meeting in December.

In the current proposal the developer has removed the landscape map which shows all the bushes and trees which are on the property. They now say 2 bylaw trees will be removed. But they will also be removing all the other trees and bushes and blasting the property corner to corner for underground parking. This could easily endanger trees in the Park and other adjacent properties.

The developer is presumptuous enough to encroach on Hollywood Park with a block of buildings less than 2 m away. Currently there is a chain-link fence separating the Public Park from the proposed development next to it. They have designed a landscape stairway feature, leading right into this fence. If the city removes this fence, does this make their concrete courtyard a public space? Why would we allow the privatization of our public park?

Please, ask the developer to go back and make changes which respond to neighbourhood needs and concerns.

Thank you for your consideration,
Virginia Errick

February 25, 2019

Dear Mayor and Council,

Re: Proposed Rhodo Development at 1712 and 1720 Fairfield Road

We would like to bring to your attention the need to amend the Official Community Plan (“OCP”) for any proposed development, such as the proposed Rhodo development, that exceeds two storeys within areas designated as Traditional Residential in the OCP, which includes 1712 and 1720 Fairfield Road. Alternatively, the applicant should revise its application to be consistent with the OCP (i.e. propose buildings not exceeding two storeys), which would address one of the many concerns raised by local residents about having new development fit within the existing character of the Gonzales neighbourhood.

The key provision at issue is in relation to the Built Form in the Traditional Residential area in section 6.3, Figure 8 of the [Land Management and Development](#) section of the OCP (page 39), excerpted below:

Traditional Residential	Ground-oriented buildings up to two storeys.
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The ordinary meaning of “up to” is that it specifies a *maximum*. This is different than the other phrases used elsewhere in Figure 8 indicating more flexible criteria as identified in the second column. The more flexible phrases indicate that the specified criteria can be generally or approximately exceeded. By only using the phrase “up to” a certain storey in the Built Form column, the OCP appears to recognize the particular importance of height to the character of a particular designated area. This recognition warranted setting a *maximum* number of stories in those areas.

We understand that City staff have relied on the following statement in section 6.3 of the OCP as supporting an interpretation of “up to” as not setting an upper limit in relation to the:

While the designations described in policy 6.1 and Figure 8 establish the general pattern of land use, it is the Zoning Bylaw that regulates the specific uses and density of development that are permitted to occur on the land.

Within each designation, there will be a range of uses, densities and built forms. Decisions about the use, density and scale of building for an individual site will be based on site-specific evaluations of proposed developments in relation to the site, block and local area context...(emphasis added).

The statement regarding Figure 8 establishing the “*general* pattern of land use” such that there is a “range” of built forms needs to be reasonably read together with the wording used in the criteria set out in Figure 8. For example, in the context of the Built Form within Traditional Residential areas, buildings could include those that are one storey, 1.5 storeys, or two storeys. With respect to buildings in the Core Historic area, buildings could include those that are five stories and those that somewhat exceed five storeys (e.g. 5.5 storeys). However, where the term “up to” is used in Figure 8, without qualifiers such as “approximately” or “generally”, it clearly specifies an upper limit. **Interpreting the Built Form criteria in the Traditional Residential area of “up to two storeys” as permitting a building of 2.5 storeys is an unreasonable interpretation of section 6.3.**

The importance of being consistent with the OCP is highlighted in section 884(2) of the *Local Government Act*:

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(a) an official community plan
...
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The 2012 BC Supreme Court case *Sevin v. Prince George (City)*, [2012 BCSC 1236](#), demonstrates what could happen if a proposed development is inconsistent with the OCP and council does not first amend the OCP. In that case, City staff forwarded a report to council, along with a recommendation that council approve an application to amend a Zoning Bylaw to allow the development of a particular proposed recovery facility in an area designated Rural and Agriculture. The key question before the Court was whether the Amendment Bylaw was consistent with the land use provisions of the OCP (para. 107). The court considered the following principle:

[90] Deference must be shown to council’s decision to pass the Amendment Bylaw as long as that decision is reasonable in the context of the requirements of s. 884(2) of the *Local Government Act*.

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[133] It is my interpretation that the Amendment Bylaw is not consistent with the OCP and the declaration must be made as sought by the petitioner that the City of Prince George Zoning Bylaw No. 7850,

Amendment Bylaw No. 8362, 2001, is invalid and quashed because it is inconsistent with the OCP of the City, contrary to the provisions of s. 884(2)(a) of the Local Government Act, R.S.B.C. 1996, c. 323.

[134] In my view in order to authorize this recovery facility on this site City Council will be required to amend the OCP.

Thus, it is our view that should the applicant wish to proceed with the Rhodo project as currently proposed, it should make an application for an amendment to the OCP. Alternatively, and in our view the better option, the applicant should consider making revisions to its current proposal to be consistent with section 6.3 of the OCP (i.e. buildings with a maximum height of two storeys). Such an option would address one of the many concerns raised by local residents about the lack of suitability of the current Rhodo proposal in relation to the existing character of the Gonzales neighbourhood.

Sincerely,

Debbie & John Wells

Lacey Maxwell

From: Mary Davies [REDACTED]
Sent: February 27, 2018 2:36 PM
To: Victoria Mayor and Council
Subject: Concerns Regarding Development Application REZ00619

Dear Mayor and Council,

I am writing today in regards to Development Application REZ00619 for the properties located at 1717 - 1720 Farifield Rd. which I have been told is going before the advisory design panel tomorrow.

As a neighbour of this property (I reside at 1615 Fairfield Rd) I would like to voice my concerns and request that you reject the application being presented to your for the proposed development on this property.

My concerns as a resident of this neighbourhood for 15 years and as a resident that resides within the immediate area of this development are as follows:

1 - It looks to be the intent of the developer to use the public park (Hollywood Park) as yard space for the residents of the new development as this was brought up in a meeting I attended with the developer presenting the plans late last year. At the time they were suggesting the development be not in need of yard space and suggested not including a barrier between the development and the public park to allow for it's residents to use the space as their outside space instead. While this is a neighbourhood park, it is not a yard for developers to sell to their buyers.

2 - With the heights being proposed I have serious concern for the potential for excessive sunlight blocking and shadowing onto the lots on Earle St. behind this development.

3 - As the lot is sloped, the height of the building on the north side is much higher than that on the south. I have concerns with what this will do for the view of those facing South on Earle St. and beyond to the north.

4 - As a resident that lives directly across from Hollywood Park, I am aware with the major lack of parking that is available to those who live in the area, those who work at the Fairfield Plaza and those who use Hollywood Park (for example this past summer there was a very large baseball tournament held there). As residents of this area we are constantly faced with a lack of parking so I would be very concerned if this development doesn't allocate enough onsite parking to handle the increase in density as there is literally not enough parking on the street as is.

5 - In the event that the developer will be including an onsite parking lot (under or above ground) I ask you to consider where the light from the parking lot will cast? Many parking lots (like the one you find on the corner of Fairfield and Arnold) are lit throughout the night, casting bright light into neighbouring homes all throughout the night.

6 - One of the things that I love about this neighbourhood is how it looks and feels when I walk down the street. We love our quiet neighbourhood that is filled with a wonderful mix of people from all different walks of life. What really brings us all to this area is it's low key, quiet, family feel. I strongly feel that the proposed building type does not fit in with the surrounding neighbourhood at all and would encourage a mass change to the housing type in this immediate area.

7 - Lastly, as a renter that has lived in my current home for 10 years, I have real concerns for what this type of development is encouraging in the way of reasonably priced rental housing availability for families. As you know, these new developments are built very high end and with the intent to sell to those with very high incomes. While I understand that this is a very desirable neighbourhood and that developers want to do all they can to make the most money possible, I also know that there is an increasing shortage of family rental housing available and that is very much due to developers purchasing rental homes to develop high density high end condos like the ones being proposed for 1717-1720 Fairfield Rd. If all "affordable" (I use that term loosely here) rental housing is replaced by high end condos, where do families like mine go? And just so you know, at the meeting where the developer was presenting, they kept using the word "affordable" in regards to their units but when asked just how much these units would sell for they said the starting price would likely be at about \$750,000.00 ... that is not affordable and I would say it isn't even close to "attainable" which is what they then chose to switch their wording to.

I hope you will consider the full impact of this development on not only it's immediate neighbours but also on the neighbourhood and city as a whole.

Thanks for your time.

Sincerely,

Mary Davies

From: [REDACTED] >

Sent: March 13, 2018 10:13 AM

To: Alec Johnston <ajohnston@victoria.ca>

Subject: 1712 Fairfield Road.

<https://tender.victoria.ca/tempestprod/ourcity/Prospero/Details.aspx?folderNumber=REZ00618>

Dear Alec:

I see from the development application that the developer has applied for a 3 story building. This is not a good fit for the Gonzales Neighbourhood the development should be limited to 2 stories. The Gonzales Neighbourhood group is not against the densification of Fairfield Road but believe it should not go over 2 stories. The 2 story limit is a much better fit for the neighbourhood and allows for "gentle densification". The Gonzales Neighbourhood group will be discussing the 1712 Fairfield proposal at tonight's meeting.

Nic Humphreys
167 Passmore Street

Lacey Maxwell

From: Paul Jorjorian and Hannah Mitchell [REDACTED]
Sent: March 13, 2018 1:46 PM
To: Victoria Mayor and Council
Subject: Fw: 1712-20 Fairfield Rd

Dear Mayor and Council, I am forwarding you a note that I sent to staff regarding the below development. Thank you for your consideration. Paul Jorjorian

From: [Paul Jorjorian and Hannah Mitchell](#)
Sent: Tuesday, March 13, 2018 11:06 AM
To: ajohnston@victoria.ca
Subject: 1712-20 Fairfield Rd

Mr. Johnston, I am writing to ask that the new development at 1712-20 Fairfield Rd be limited to two stories. Already the multi-story development at the corner of Arnold and Fairfield Rd. is glaringly out of place, especially given that it abuts the Ross Bay Villa. How ironic that such a building was allowed next to a heritage site. Allowing more of these multi-story developments will denigrate the character of this neighbor that we treasure.

Paul Jorjorian
188A St. Charles St.
Victoria BC V8S 3M7



Virus-free. www.avg.com

SUBJECT: REZONING DEVELOPMENT APPLICATION REZ00619

Dear Mayor and Council:

I am writing to you about the rezoning development proposal for 1712 – 1720 Fairfield Road (REZ00618). It is my contention that the proposal does not display merit, and is seriously at variance to the current traditional residential land use of that location and surrounding area and from the existing regulatory zoning bylaws. The application should not be approved as submitted.

To assess the degree of variance that is proposed by the applicant I have compared the applicant's plan specifications to a range of existing regulatory zoning bylaws that are applicable in Gonzales and Fairfield: R1-G Single Detached Dwelling, R-2 Attached Dwelling (Duplex), R-J Low Density Attached Dwelling (Rowhouses), and R-K Medium Density Attached Dwelling (Townhouses). The table of comparison is at the end of this petition. In particular the proposal's variances are as follows:

- The proposal's Floor Space Ratio is 59% greater than the maximum density of the existing zones.
- The proposed Site Coverage is 25% greater than the norm in Gonzales, even with the discovery of 200 m² from the original to the revised proposal.
- The Open Site Space is mostly occupied by the concrete entrance to the parkade and insufficient private usable amount available for family living in the front and back of the dwelling units.
- The Building Height exceeds the highest maximum of 8.5 m by 2.2 m, a 26% variance.
- The Number of Storeys of 3 exceeds the tallest apartments buildings in the area which have 2 storeys with basement apartments.
- The Minimum Site Area is insufficient for this proposal. R-J requires 5272 m² and R-K requires 8930 m². The proposal only has 2307 m² for 19 dwelling units leaving 121.4 m² (1306.7 SF) per unit. This is the primary reason there is insufficient open space for front and rear yards in keeping with the function of a traditional residential nature of the neighbourhood.
- R-J and R-K both limit the Number of Dwelling Units per dwelling block to 4. The proposal of three dwelling blocks exceeds this by 7 dwelling units (Block 1 by 2, Block 2 by 2, Block 3 by 3) or 58% above the maximum requirement.
- The proposed Front Yard Setback (south) is only 3.0 m. The minimum requirement of R-K Townhouses shall not be less than 7.5 m, a 60% variance.
- The Side Yard Setback (west) of Block 2 is actually the rear of the block with main windows looking onto the Hollywood Park tennis courts and should be a minimum of 7.5 m from the Park boundary and Park trees, not 3.0 m, a variance of 60%.

- The Rear Yard Setback (north) of Block 3 with main windows looking onto adjacent houses should be a minimum of 7.5 m from the interior lot line, not 6.1 m, a 19% variance.
- The Third Floor Area of Blocks 1 and 2 should not exist as the proposal exceeds the Number of Storeys. If it is allowed to proceed then it must comply with R-K Townhouse requirement to be less than or equal to 60% of the second storey.
- Proposed Parking is short by 7.5 spaces, a 26% shortfall.

The proposed development will threaten the attainment of the OCP strategic direction for Gonzales and Fairfield, to maintain and enhance neighbourhood character including the heritage character of buildings (Montague Court and businesses), landscapes (Hollywood Park) and streetscapes (views of Fairfield, Lillian and Wildwood) of the traditional residential neighbourhood. This development proposal as presented is not an incremental variation from the intended character of the Gonzales and Fairfield neighbourhood. Approval of such a high density proposal would entrench an inappropriate use of land in the neighbourhood.

According to the OCP Design Guidelines for Multi-use Residential a new development should be compatible with and improve the character of established areas (1.1). The design's architectural approach should provide unity and coherence in relation to existing place character and patterns of development (1.1.1). It clearly does not even attempt to accomplish this. Where a new development is directly abutting lands in a different Development Permit Area such as Hollywood Park and the remaining detached dwellings to the north and east of the property, the design should provide a transition between areas in ways that respond to established form and character (OCP 1.2). Form in Gonzales includes space for front and rear yards for families which this proposal does not have for each of the townhouse dwelling units nor even between the three blocks. Character in Gonzales requires low height dwellings and more greenery that accompanies low density of land use.

As new residential development this proposal should respect the character of established areas and building variety through the form and massing of housing (OCP 1.5). There is no development in Gonzales of such high density as proposed, and the design does not respect the traditional designs of neighbouring detached residential dwellings nor the heritage structure located across the street from these lots. The proposal for this multi-unit residential development directly abuts the residential buildings to the east and north which are lower and smaller in scale and should provide a transition in its form and massing to lower-density building form (OCP 1.6.1) and be designed to address privacy, particularly for portions of the development abutting the side yards of adjacent single-family dwellings (OCP 1.6.2). The proponent's plan does not provide for any of this, and does not address privacy for users of Hollywood Park to which the proposal abuts.

I wonder why the City's Parks Department did not consider the opportunity under its Parks Acquisition Strategy (OCP 9.2) to purchase part or all of the proponent's consolidated lots for expansion of Hollywood Park for community benefit (9.2.5) and to accommodate the residential growth of being in proximity to the Fairfield Plaza, a designated urban village (9.2.6).

And in case the legislative requirement for municipal staff and elected members to follow regulatory zoning bylaws is considered insufficient, the City of Victoria Committee of the Whole meeting of 22 February 2018 agreed with residents and made it clear that multiple rows of townhouses will not be acceptable for the Fairfield and Gonzales Neighbourhood Plans.

There is also an apparent conflict of interest about this application. A co-owner of the proponent, Ryan Goodman, was until very recently a member of the City directed working group. Witnesses have stated that this placement afforded the proponent the opportunity to be instrumental in incorporating development parameters in the draft Gonzales Neighbourhood that enable a land use of this type where none existed before.

In conclusion this application REZ00618 for rezoning the properties at 1712 and 1720 Fairfield Road should not be approved as submitted.

Sincerely,

Michael Sharpe
1592 Earle Place
mrsharpe@shaw.ca

Notes on 1712 – 1720 Fairfield Road Proposal

Application for rezoning from detached dwelling R1-G to comprehensive district CD-name to be determined.

Examples of other comprehensive districts are:

- CD-1 Selkirk Comprehensive District
- CD-4 Fairfield Block Comprehensive District
- CD-7 Cook Street Village Comprehensive District

A property comprising 2307 m² does not qualify for a Comprehensive District designation.

For comparison R-2 Attached Dwelling, R-J Low Density Attached Dwelling, and R-K 11 Fairfield Townhouse District / R-K Medium Density Attached Dwelling zoning requirements have been used.

The proposal is described in the proponent's letter as an "urban village" with a "small-scale village atmosphere." The proposal is for three attached dwellings on the lot. Each dwelling has the following proposed number of dwelling units within each: Block 1 = 6, Block 2 = 6 and Block 3 = 7, for a total of 19 dwelling units (original proposal 17).

	Original Proposal	Revised Proposal
2 bedroom townhouses	X 0	X 7
3 bedroom townhouses	X 5	X 6
4 bedroom townhouses	X 2	X 0
3 bedroom duplexes	X 5	X 3
2 bedroom duplexes	X 5	X 3
Total No. of Dwelling Units	17	19

ZONING REQUIREMENTS AND PROPOSAL	R1-G Single Detached Dwelling	R-2 Attached Dwelling (Duplex)	R-J Low Density Attached Dwelling (Rowhouse)	R-K 11 Fairfield Townhouse District / R-K Medium Density Attached Dwelling (Townhouse)	Original Proposal	Revised Proposal
Floor Space Ratio maximum (max)	0.5:1 (since June 2017)	0.5:1 (since June 2017)	-	0.6:1	0.94:1	0.94:1
Site Coverage max	30 %	40%	40%	33%	45% of 2250 m ²	39% of 2451 m ²
Open Site Space minimum (min)	50% of lot and 50% of front yard	30% of lot and 33% of rear yard	-	-	55%	50%
Building Height	7.6 m 24.93 ft	7.6 m	8.5 m (7.5m Rockland)	8.5 m	10.7 m 35.1 ft	10.7 m
No. of Stories max	2 stories or 1 ½ w/ basement	2 stories or 1 ½ w/ basement	-	-	3 w/ basement /parkade	3 w/basement /parkade
Minimum Site Area	460 m ²	Greater of 555 m ² or # of dwelling units x 277.5 m ² [2,987 SF]	Greater of 555m ² or # dwelling units (19 X 277.5m = 5,272,5 m ²)	Greater of 555m ² or # dwelling units (19 X 185 m ² [1991SF] = 8,930 m ²)	2387.4 m ² (÷ 17 = 140.4 m ²)	2307 m ² (÷ 19 = 121.42 m ² [1,307SF])
Minimum Site Width	15 m	15 m	Greater of 15m or # dwelling units (19 X 7.5m =	18 m	48.34 m	46.77 m

			142 m)			
No, of Dwellings on a lot	1	1	Any number	Any number	3	3
No. of units per Dwelling max	2	2	4	4	Block 1 = 6 Block 2 = 5 Block 3 = 6	Block 1 = 6 Block 2 = 6 Block 3 = 7
SETBACKS						
Front yard min Blocks 1 and 2 (Fairfield)	7.5 m 24.61 ft	Lessor of 7.5 m or the average of the actual setbacks of the buildings on the lots abutting the sides of the lot□	7.5 m	7.5 m	3.0 m 9.84 ft	3.0 m
Rear yard min Block 3 (north)	9.1 m or 30% of site depth whichever is greater [west 61.99m = 18.60m/61ft]	10.7 m or 35% of lot depth whichever is greater [west 61.99 m = 21.70m/72 ft]	7.5 m	7.5 m with main windows Block 3	6.1 m 20 ft Block 3	6.1 m
Rear yard min Block 2 (labeled as Side yard west)	9.1 m 29.86 ft	10.7 m 35.1 ft			2.7 m 8.86 ft	3.0 m
Side yard west min (actually rear yard of Block 2, which should be 9.1 m)	1.5 m or 15% of lot width whichever is greater [width south	1.5 m or 10% of lot width whichever is greater [width south 48.34 m	7.5 m Block 1 2.5 m Block 2	2.5 m blank wall Block 3 7.5 m living room Block 2	2.7 m	3.0 m

For interior lot lines	48.34m = 7.25 m]	= 4.83 m]				
Side yard east min (parkade 2 lane entry & exit)	3.9 m 12.8 ft	3.0 m 9.84	7.5 m	2.5 m blank wall Block 1 & 3	10.1 m 7.0 m 22.97 ft	8.0 m 5.8 m 19.03 ft
Combined side yards min	5.4 m	4.5 m	-	-	12.8 m	10.4 m
Distance between any two attached dwellings min	-	-	5 m	5 m	4.79m Bk 1 & 2 4.18m Bk 1 & 3	6 m Bk 2 & 3 5.41 m Bk 1 & 2
Third floor area	-	-	-	≤ 60% of any other storey below	100% of 2 nd floor Bk 1 & 2	100% of 2 nd floor Bk 1 & 2
Vehicle parking spaces	1 per dwelling unit	2	1.4 per dwelling unit subject to strata (X 19 = 26.6)	1.5 per dwelling unit (x 19 = 28.5)	20	21

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Sincerely,

Michael Sharpe
1592 Earle Place
[REDACTED]

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Monica Dhawan

From: Dan Blatchford [REDACTED]
Sent: Tuesday, May 15, 2018 6:26 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Dan Blatchford

3950 Rainbow Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Denis Farling <noreply@123formbuilder.io>
Sent: Tuesday, June 26, 2018 5:23 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Denis Farling

#110-1655 Begbie Street

Sent from [toAryze.ca](mailto:talk@talktoaryze.ca), talk@talktoaryze.ca

Monica Dhawan

From: Madelynn Sherwood <noreply@123formbuilder.io>
Sent: Wednesday, August 01, 2018 1:34 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Madelynn Sherwood

202-2710 Grosvenor Road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Noraye Fjeldstad

From: Taylor Bridges <taylor.victoria.bridges@gmail.com>
Sent: August 10, 2018 1:44 PM
To: Lisa Helps (Mayor)
Subject: Rhodo Development Gonzalese

Hello Mayor Helps,

I urge you to please reconsider allowing the designs to move forward on the Rhodo Project. I have zero issue with the number of units they are planning to build but I take great issue in the aesthetics of the building. It does not fit the character and charm of our area. As someone who lives around the corner from there and frequent the park, we will have to look at that on a daily basis. When are we going to start preserving the character of Gonzales and stop these modern buildings from ruining that? I am a 32 year old who in no way wants nothing to change but I think there are much better designs out there that can't fit into the character of the surrounding 1920's buildings.

Taylor Bridges

Monica Dhawan

From: webforms@victoria.ca
Sent: Sunday, August 12, 2018 3:29 PM
To: Victoria Mayor and Council
Subject: Mayor and Council email

From: michael owen

Email : [REDACTED]

Reference : <https://www.victoria.ca/EN/main/city/mayor-council-committees/councillors.html>

Daytime Phone : [REDACTED]

I am opposed to the development on Fairfield rd. by Rhodo development. I agree with what the Gonzales Neighbourhood Association has said in its objection to this development. I am not against infill and small developments but this development is too big. It's too big next to a park. No mention of low income housing. The developer is interested in profit and not interested in the quality of life that we, the people of Gonzales, cherish so much. I recommend that you all vote against this development and recommend a more agreeable development for the people of Gonzales.

IMPORTANT NOTICE: This message is intended only for the use of the individual or entity to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify The City of Victoria immediately by email at publicservice@victoria.ca. Thank you.

IP Address: 24.69.155.108

Monica Dhawan

From: Clifford Childs <noreply@123formbuilder.io>
Sent: Wednesday, August 15, 2018 6:28 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Clifford Childs

240 cook street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Paul Brewster <noreply@123formbuilder.io>
Sent: Wednesday, August 15, 2018 10:23 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Paul Brewster

555 Niagara Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Sarah Mari <noreply@123formbuilder.io>
Sent: Saturday, September 08, 2018 8:21 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Sarah Mari

1605 Foul Bay Road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Anthony Maguire <noreply@123formbuilder.io>
Sent: Thursday, September 13, 2018 4:08 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Anthony Maguire

353 Linden Avenue, Victoria, BC

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Victoria Mayor and Council
Sent: September 5, 2018 11:43 AM
To: Public Hearings
Subject: FW: Mayor and Council email FW: I want to support the project on 1712/1720 Fairfield Road

Hi Pamela,

See below.

Sincerely,

Lucas

From: Victoria Mayor and Council
Sent: September 5, 2018 11:40 AM
To: Councillors <Councillors@victoria.ca>
Subject: Mayor and Council email FW: I want to support the project on 1712/1720 Fairfield Road

Good afternoon,

Please see below for a form-style email submission in support of the development proposal at 1712 / 1720 Fairfield Road.

Sincerely,

Lucas de Amaral
Correspondence Coordinator
Mayor / City Manager's Office
City of Victoria
1 Centennial Square, Victoria BC V8W 1P6



From: Molly Vermeulen <noreply@123formbuilder.io>
Sent: September 4, 2018 12:45 PM
To: Victoria Mayor and Council <mayorandcouncil@victoria.ca>
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Molly Vermeulen

1510 Edgemont rd

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Paula Grayton <noreply@123formbuilder.io>
Sent: Wednesday, October 03, 2018 9:42 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Paula Grayton

8336 Edgevalley Drive

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Js lappiere <noreply@123formbuilder.io>
Sent: Saturday, November 10, 2018 9:11 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Js lappiere

543 fairfield

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Agneta Roberts <noreply@123formbuilder.io>
Sent: Sunday, November 11, 2018 12:31 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Agneta Roberts

175 Barkley Terrace

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Daniel <noreply@123formbuilder.io>
Sent: Tuesday, November 13, 2018 10:27 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Daniel

1052 Clare st

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Victoria <noreply@123formbuilder.io>
Sent: Tuesday, November 13, 2018 4:42 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Victoria

414 - 100 Saghalie Rd

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Andrew Coopersmith <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 10:35 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Andrew Coopersmith

1687 Poplar Avenue, Victoria, BC

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Daniel Davies <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 10:37 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Daniel Davies

152 Olive Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Emilee MacInnes <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 1:06 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Emilee MacInnes

3940 Raymond St S

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Elizabeth Milder <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 7:20 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Elizabeth Milder

1430 Ryan Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Katelyn Clouthier <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 3:08 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Katelyn Clouthier

209-2025 oak bay avenue

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Kim Thorsen <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 9:39 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Kim Thorsen

1620 Earle St.

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Owen <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 2:49 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Owen

528 Pandora avenue

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Vic wells <noreply@123formbuilder.io>
Sent: Wednesday, November 14, 2018 3:16 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Vic wells

2453 McNeill ave

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Dave Coopersmith <noreply@123formbuilder.io>
Sent: Thursday, November 15, 2018 8:31 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Dave Coopersmith

1704 Hollywood Crescent

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Eddie Yang <[REDACTED]>
Sent: Thursday, November 15, 2018 9:51 AM
To: Victoria Mayor and Council
Subject: 1712/1720 Fairfield Road Development

Dear Mayor & Council,

As a homeowner of Gonzales, I am in full support of additional housing diversity as proposed by ARYZE Developments 17 unit townhouse project. This is the kind of additional housing our neighbourhood needs and I would encourage Council to ignore minority neighbourhood activists and focus on the benefits of good density.

We look forward to your deliberations on the matter.

Sincerely,

Eddie Yang

Monica Dhawan

From: Sarah Murray <noreply@123formbuilder.io>
Sent: Thursday, November 15, 2018 10:46 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Sarah Murray

921 foul bay road

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Ash Peters <[REDACTED]>
Sent: Friday, November 16, 2018 6:12 PM
To: Victoria Mayor and Council
Subject: Fairfield Townhomes - Aryze

Victoria Council,

My name is Ash and my wife and I are expecting our first child which means we are starting to consider our next housing choices. We have been saving for a home as we live in a basement suite in VicWest. We've checked out places at the Railyards and other condos but find ourselves moving towards a townhouse. We follow ARYZE on Insta and saw this project coming before Council and its the kind of housing we need more of in Victoria.

Thanks for your time,

Ash & Alex Peters
#3 - 1140 Arthur Currie Lane,
Victoria BC
V9A7H3

--

...Ash Peters

Lucas De Amaral

From: Janet Land [REDACTED]
Sent: November 14, 2018 1:19 PM
To: Councillors
Cc: [REDACTED]
Subject: Proposed development at 1712 and 1720 Fairfield Rd

Dear Councillors,

I recently received some promotional material from Aryze Purdy Group with information about their proposed Rhodo Development. My first thought when looking at the photo on the front page was how much it resembled a development that I passed by the other day on Hillside near Blanchard in what is quite a commercial area. The photos of the Rhodo townhouses presents a picture of buildings that stand out as very different from the surrounding area of single family homes with landscaped yards. Even the apartment buildings on the other side of Fairfield Rd have a more residential look to them. The Rhodo development looks more like a downtown building.

The developers present this as a medium density development and the city has talked about proposing "gentle density" however replacing 2 single family homes with 18(?) 3-4 bedroom townhouses is not in my view anywhere near a medium or gentle density increase. I don't feel that this increase in density is warranted or should be allowed in Gonzales.

While the developers present the buildings as having lovely grounds the green space depicted is actually Hollywood Park. It appears to suggest that the vegetative boundary that currently exists on the east side of the Park would be cleared to provide easy entry to the "Mews" and essentially become the back yard of the new residents. Hollywood Park is a public park for all the people of the neighbourhood/city and I object to it being usurped by a developer to serve as green space for high density housing and masking the loss of single family homes with landscaped yards.

Sincerely,

Janet Land
1638 Earle St
Victoria, BC

Monica Dhawan

From: Katrina Summers <noreply@123formbuilder.io>
Sent: Friday, November 16, 2018 6:44 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Katrina Summers

490 Vancouver Street, 11

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Stéphanie Lefebvre <noreply@123formbuilder.io>
Sent: Friday, November 16, 2018 8:21 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Stéphanie Lefebvre

431-435 Simcoe St, Victoria BC V8v4t3

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Adam Carlson <noreply@123formbuilder.io>
Sent: Saturday, November 17, 2018 5:07 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Adam Carlson

1515 Keating cross rd, Central Saanich

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Karen Sidhu

Subject: FW: Rhodo project - 1712 & 1720 Fairfield road

From: Taylor Bridges <[REDACTED]>

Sent: Saturday, November 17, 2018 12:36 PM

To: Councillors

Subject: Rhodo project - 1712 & 1720 Fairfield road

Hello,

I wanted to reach out to you about the proposal being put forth to you on November 22nd for your consideration.

I live one street over from this project and frequently use Hollywood park and that area of Fairfield Road. I am adamantly opposed to this particular development. I believe in housing diversity that fits the character and charm of the neighbourhood. I also support housing diversity that gives more than it takes. This project is going to take a lot away from the community including Hollywood park.

Hollywood park is so important to my family as we use it at least 3-4 times a week for my young kids. I do not want to see it overtaken by this development. The park will become these units back yard as there is not enough green space within the development.

My issues include:

The number of trees to be cut down

Rezoning bylaws not being followed in regards to the height of the storey (2.5 storey instead of the bylaw of 2), front yard setback (5.5 ft vs required 24.5ft) and 22 parking spots instead of the required 26.

These have a huge impact on the neighbourhood and I hope that you will consider this before you vote. I think having a development there would be great but one that follows the required bylaws. They should not be getting any variances that have such a major impact on the road, park and other neighbors.

Taylor Bridges

Monica Dhawan

From: Catherine <[REDACTED]>
Sent: Saturday, November 17, 2018 1:43 PM
To: Victoria Mayor and Council
Subject: Fwd: Vote NO for proposed rhodo development

Begin forwarded message:

From: Catherine <[REDACTED]>
Date: November 17, 2018 at 1:31:55 PM PST
To: councillors@victoria.ca
Subject: **Vote NO for proposed rhodo development**

Dear Mayor and council,

We are Gonzales residents and we are deeply concerned with the current rhodo development proposal. Gonzales is a historic family neighbourhood and much of its current charm comes from its heritage homes and thoughtful construction. This new development is NOT in keeping with the current Gonzales neighbourhood, and NOT in keeping with our current R1-G zoning (single family dwelling district) and sets a dangerous precedent going forward. The zoning should be respected. The building style does not suit the neighbourhood, the set backs of 5.5ft are not appropriate, there is not enough parking allocated (only 22 spots), many mature trees will be cut down, and the public neighbourhood park will be negatively impacted. This building development will in no way improve housing affordability as the units will be priced at a premium. I really don't see how this development project is a benefit to anyone except the developer's wallet. In order to represent the community, we hope you will help our concerns be heard. More effort must go into redesigning this project in order to be in keeping with the neighbourhood and respecting current bylaws in regards to setbacks and height. Thank you in advance for your thoughtful consideration. Please feel free to contact me to discuss this further.

Sincerely,

Catherine McCartney
(A concerned Gonzales resident)

Monica Dhawan

From: Daniel Mari <noreply@123formbuilder.io>
Sent: Saturday, November 17, 2018 11:10 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Daniel Mari

3338 Whittier ave

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Karen Sidhu

Subject: FW: 1712/1720 Fairfield Rezoning

From: Gillian Ellis <[REDACTED]>

Sent: Saturday, November 17, 2018 11:52 PM

To: Councillors

Subject: 1712/1720 Fairfield Rezoning

Dear Mayor and Council,

I am writing to express my concern about the proposed development of 17 townhouses on two single family house lots on Fairfield Road.

The extraordinary decrease in set back, the enormous increase in height from what is allowed in the official community plan on property that is adjacent to a park is indefensible.

And where are all these people going to park? In that area we have a sports field, a park, an animal hospital, a care home for the elderly, an elementary school and just up the hill one more block, another care home and a major tourist attraction known as Abkhazi Gardens! Fairfield Road is already choc a bloc with cars. And this is supposed to be a family neighbourhood?

I had thought that you had heard enough from Gonzalez residents in the past few months to understand that we are not going to sit idly by and watch our neighbourhood destroyed.

Why do we have a plan at all if developers and council can ignore it at will?

Sincerely,
Gill Ellis

Sent from my iPad

From: Isla Dewar <[REDACTED]>
Sent: Saturday, November 17, 2018 4:11 PM
To: Victoria Mayor and Council
Subject: The Proposed Rhodo Development

Dear Mayor and Council Members,

It has come to my attention that there is a proposed townhouse project near where I live in Fairfield. I have viewed the proposal and would like to politely voice my **opinion and concerns** for the project before anything is decided.

I am **Strongly against** the Rhodo development proposal. Firstly because the Hollywood park is a **public neighbourhood space** for all to enjoy. The proposal plans to **take away from that community feel**, the Rhodo development will make the park feel like a **private area**. Hollywood park is a place where, yearly, little league baseball games are held and other sporting events, particularly for children, bringing people from all over our community together. If this area seemed more like private property this would **most definitely hurt** the special, **unique feeling** we have going on in this area.

Another Reason I am against the proposal is because it **goes against limitations** of new developments in this area. The height of the Rhodo development is a **37.6 ft/2.5 storey** instead of the **maximum** height of **25 ft/2 storey**. If this monster development happens they will not even be building the required 26 parking spot area, they will be building 22 parking spots, not only does the building not work in this area if they build it they are not even building enough parking for the users, so there really is **no point** building the development at all. **51 trees will be cut down** which I absolutely do not think is the way to go, this special town of Victoria is a natural and beautiful place and while the **51 trees might not sound like too much, it truly is** and will **negatively impact** this area greatly and the people who live in it. the city also has zoning standards which limit the negative impact to neighbours and our community, this development proposes to **significantly exceed** the **legal** standards of this area.

Lastly **The development really doesn't work in this neighbourhood, there is no other way to say it, It just doesn't work.** This small neighbourhood is special and amazingly unique, building a large townhouse development is just going to **hurt this beautiful place**. Fairfield, especially this part of it, is meant to be **a bit old fashioned a bit more natural than the city**. The building development is a **rectangular, clean cut, modern mess**. **This building doesn't work in this neighbourhood. This building is out of character compared to the small unique houses surrounding it.**

This message is coming from my heart. This area is special and I don't want something like this to ruin it. I have been growing up here with my family and the people in this community. I think I can say that the **majority** of people here **DO NOT WANT THIS**. People on my street were **outraged** when they learned a small modern house (a miniature version of the Rhodo development) was being built on our street, if they were upset with that how do you think people feel about this? It will **drastically change the area**, and people will **NOT** be happy.

I strongly urge you to please decline this first proposal and find something that works better. Think of what it will do. I actually live right in this neighbourhood, not even a block away from where the development is proposed to be this will **ruin** this special place for everybody.

These opinions and concerns are coming from a young individual who wants the best for everyone involved. I understand that there needs to be more housing but please consider, **is this the best option?** This is a special place for my Family and I and we don't want to see it's lovely charm extinguished.

Do you want to see this unique neighbourhood changed into a boring line of townhouses, all exactly the same, like so many places all over the world knocked down for larger developments? Is this what we as a community want for this area? It will affect this place and this community in a negative way. So please, rethink this. Is this what we want? Is this what You want?

Sincerely and with great respect,
Isla Dewar

Monica Dhawan

From: Karen Ayers <[REDACTED]>
Sent: Saturday, November 17, 2018 4:46 PM
To: Councillors
Cc: Alec Johnston; Victoria Mayor and Council
Subject: 1712 & 1720 Fairfield Rezoning - Nov 22nd COTW

Dear Mayor and Council:

I am writing to voice my strong opposition to the infill development as currently proposed for 1712/1720 Fairfield Road.

Townhouses are supportable on this site. The Gonzales neighbourhood planning process has identified the need for more varied forms of housing, the site is on a transit route and is close to shopping and other services.

Wholly unsupportable is the proposed:

Height/Massing

- proposed height is more than 50% above what is permitted under current zoning
- neighbouring homes adjacent to and across the street (Montague Court) are generally one to one and a half storeys, and will be dwarfed by the height and (as described in the Advisory Design Panel comments) "monolithic massing" of the proposed buildings

Setbacks

- the setbacks are insufficient, particularly when combined with the 3 storey facade that will tower over Fairfield Road/sidewalks, and over Hollywood Park
- proposed setback for the block adjacent to Fairfield Road is 1.68 metres (5.5 feet) rather than the required 7.5 metre (24.7 feet) setback
- the minimal setbacks provide no room for plantings to soften the mass and height of the buildings

Density

- 17 townhouses is too dense for the site (currently 2 single family homes)
- site coverage requested is 50% higher than current zoning permits
- proposed density results in insufficient breathing room between the 3 buildings, lack of open site and green space, and multiple variances required in order to cram 3 large buildings onto the site

Encroachment on Hollywood Park

- the development will tower over the park, and with no proposed separation or transition, usurps public space for private use and enjoyment

Design

- the strong urban architectural design is appropriate for downtown, but is not respectful of our residential neighbourhood; as described in the Advisory Design Panel comments, it is an "urban solution in a residential area".

I would respectfully urge **Council to direct the applicant to:**

- **eliminate the second/"double" row of townhouses;** a single row or small I-shaped development would be appropriate for the site, and the scale of this neighbourhood
- **reduce the height/# of storeys to 2 storeys** (consistent with the Official Community Plan, current Gonzales Neighbourhood Plan and zoning)

- **increase setbacks** (7.5 metres minimum to Fairfield Road)
- **provide a more appropriate and sensitive transition to Hollywood Park**, and
- **consider a design that better fits with and respects the Gonzales residential neighbourhood.**

Thank you for your consideration.

Karen Ayers
613 Foul Bay Road

Karen Sidhu

Subject: FW: Proposed Rhodo Development next tho Hollywood Park

From: Randy Kaneen [REDACTED] >
Sent: Saturday, November 17, 2018 1:35 PM
To: Councillors
Subject: Proposed Rhodo Development next tho Hollywood Park

Dear Mayor and Councillors

I write this note to highlight some concerns I have with this development. I live at 242 Wildwood and am not a Nimby (not in my backyard) type. Having said that, I do feel that the preservation of neighbourhoods is important but in balance with the obvious infill (densification) that will happen over years. I believe this one exceeds that balance. It will have immediate and, what I judge to be, serious negative impacts on those adjoining this proposed development. (The height and densification proposal goes considerably beyond what has been allowed in the past.) One can see numerous examples of larger units on Fairfield and I feel these styles, while changing the nature of the neighbourhood are generally quite acceptable.

The impact on Wildwood Avenue will mostly be around parking. Every single street within a very large radius around the park and the shopping plaza have 'residential only' parking signs. Wildwood is the only one I know of that does not. Much of the spill-over, either from owners or visitors will, by necessity park on Wildwood. So, I believe the requested variance from 26 to 22 parking spots should be rejected.

While on that topic I can say that years ago we, on Wildwood, did not consider a petition that requested 'residential only' signs be posted....(currently all that is required is x percentage of people requesting it and it is automatically conferred without consideration to the surrounding usages)... the general thought was about the parents who bring their kids and the sports equipment to the games. They come from a wide geography and require parking. On tournament times and even some general game days, Wildwood is completely jammed. The park is exceptional and highly utilized. So, are we going to be faced with having to request a 'residential only' designation? If this development is approved, it looks as if there will be no other choice.

In summary, I ask that you do not approve the current proposal. It is not the 'balanced' densification one should expect and will negatively impact in a variety of ways, including those outlined above.

Yours respectfully

R.Kaneen

Author: *In Search of Sticks*



Karen Sidhu

Subject: FW: Rhodo development

From: Maria Lesperance [REDACTED] >

Sent: Saturday, November 17, 2018 6:58 PM

To: Councillors

Subject: Rhodo development

Dear Council,

I would like to write in to provide my support for the proposed Rhodo development. As a longtime resident of the Hollywood crescent area I support this project and the plan to increase density in our neighbourhood. I would love to see more young families able to live in this beautiful part of Victoria and feel that the townhouses proposed are excellent form of housing for them.

Thank you,

Dr. Maria Lesperance

Karen Sidhu

Subject: FW: Vote NO for proposed rhodo development

From: Catherine [REDACTED] >
Sent: Saturday, November 17, 2018 1:31 PM
To: Councillors
Subject: Vote NO for proposed rhodo development

Dear Mayor and council,

We are Gonzales residents and we are deeply concerned with the current rhodo development proposal. Gonzales is a historic family neighbourhood and much of its current charm comes from its heritage homes and thoughtful construction. This new development is NOT in keeping with the current Gonzales neighbourhood, and NOT in keeping with our current R1-G zoning (single family dwelling district) and sets a dangerous precedent going forward. The zoning should be respected. The building style does not suit the neighbourhood, the set backs of 5.5ft are not appropriate, there is not enough parking allocated (only 22 spots), many mature trees will be cut down, and the public neighbourhood park will be negatively impacted. This building development will in no way improve housing affordability as the units will be priced at a premium. I really don't see how this development project is a benefit to anyone except the developer's wallet. In order to represent the community, we hope you will help our concerns be heard. More effort must go into redesigning this project in order to be in keeping with the neighbourhood and respecting current bylaws in regards to setbacks and height. Thank you in advance for your thoughtful consideration. Please feel free to contact me to discuss this further.

Sincerely,

Catherine McCartney
(A concerned Gonzales resident)

Monica Dhawan

From: Natasha Clark <noreply@123formbuilder.io>
Sent: Saturday, November 17, 2018 5:30 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Natasha Clark

584e Michigan St

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Peter Davis <noreply@123formbuilder.io>
Sent: Saturday, November 17, 2018 7:20 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Peter Davis

2-1290 Richardson St.

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Ryan Nicoll <[REDACTED]>
Sent: Saturday, November 17, 2018 9:59 PM
To: Victoria Mayor and Council
Subject: Support for Aryze Rhodo at 1712 / 1721 Fairfield road

To the City of Victoria Mayor and Council:

I am writing to you to express my enthusiastic support of Aryze's proposed project at 1712-1721 Fairfield Road ("Rhodo"). The area around Fairfield Plaza has great potential to be so much more as a walkable village center, much like the popular Cook street village.

However, I fear Fairfield Plaza will fail to do so without more density; it is a very car-centric strip mall at the moment. Furthermore, the housing supply for families is critically low in the region. This project offers an immense number of options for housing taking the place of only a few existing detached housing plots. On top of this, it is adjacent to Hollywood Park, which is ideal for families.

I have lived in Victoria my whole life. I went to school at UVIC. I started my own engineering company over 10 years ago headquartered here in town and have several employees in the region.

Now, my wife and I are raising a family here. We have a 2 year old toddler living in downtown Victoria. There is a gap in housing options between a 2 bedroom apartment and a house. For example, there are hardly any 3 bedroom apartments and few townhouses available for families.

Not everyone values or wants a detached house as the ultimate family housing option. This project provides an excellent design as-is that will provide many new options for families. The area around Hollywood Park and Fairfield Plaza is a region that an excellent candidate for further density. Projects like this are needed to reduce the strain on housing supply. It is badly needed and it looks like an excellent project. I hope you will see the value in this and hopefully more like it will follow.

Best regards,

-Ryan Nicoll

Monica Dhawan

From: Sean McCartney <[REDACTED]>
Sent: Saturday, November 17, 2018 1:39 PM
To: Councillors; Victoria Mayor and Council; Marianne Alto (Councillor); Laurel Collins (Councillor); Sharmarke Dubow (Councillor); Jeremy Loveday (Councillor); Sarah Potts (Councillor); Charlayne Thornton-Joe (Councillor); Geoff Young (Councillor)
Subject: Reject Rhodo Development Proposal

To the Mayor and Council,

I am writing to strongly request that council reject the current proposal for the Rhodo Development next to Hollywood Park.

I have serious concerns about the proposed development:

- * non-compliance with current R1-G zoning
- for height - more than 2 storeys
- for setback - unit entries 5 feet from sidewalk
- * negative impact to neighbours and community - lack of hedging/buffer from park
- * design that is in stark contrast to existing buildings and neighbourhood 'character'
- * loss of trees and green space
- * lack of community input and consultation

To put it simply, this is an unacceptable proposal that our community is not supporting. I know you will be hearing similar concerns from a number of other residents.

I urge you to review the proposal and only approve a project that complies with current zoning and the desires of the residents of this family neighbourhood.

Regards,

Sean McCartney
(350 Robertson St.)

Monica Dhawan

From: Sherrie <noreply@123formbuilder.io>
Sent: Saturday, November 17, 2018 5:35 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Sherrie

802-838 Broughton St, Victoria

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Dear Mayor and Council,

November 16th, 2018

re: Rezoning and Development - #REZ00618 & DPV00098

The development proposal for 1712 & 1720 Fairfield Rd is too large for its site. The overly tall and massive buildings encroach on the sidewalks and Hollywood Park. Having multiple residential doors opening directly to the street as if they were commercial spaces is not consistent with the neighbourhood ambiance.

Our Parks become increasingly important Public Places as our City grows. Families living in apartments and condos with no yards, trees or gardens, need green space. Hollywood Park is not an asset which we want to give away to private developers. There needs to be separation between private back yard patios and the park's tennis courts.

The loss of mature trees and bushes on these properties will be significant and the development may endanger trees in adjacent properties including Hollywood Park.

The encroachment on public property is too great. The development does not comply with the specifications in the OCP nor the spirit of gentle density which the Gonzales neighbourhood accepts. The Park and the streetscape needs to be preserved and the plans reworked.

Thank you for your attention,
Virginia Errick
615 Foul Bay Rd.

Katie Lauriston

From: Lynn [REDACTED]
Sent: Monday, November 19, 2018 11:05 AM
To: Katie Lauriston
Subject: Fwd: CALUC Letter re Conflict of Interest
Attachments: FGCA_CALUC_Letter_1712_1720 Fairfield Rd.pdf

----- Forwarded message -----

From: Lynn [REDACTED]
Date: Sun, 18 Nov 2018 at 15:15
Subject: Fwd: CALUC Letter re Conflict of Interest
To: councillors <councillors@victoria.ca>

Dear Mayor and Council,

Further to my e-mail earlier today, I have attached a May 2018 letter from the Fairfield Gonzales Community Association CALUC to Council regarding the conflict of interest of one of the co-owners of Aryze in the neighbourhood planning process while also pursuing rezoning of the properties at 1720 & 1712 Fairfield Road. Here are some excerpts from that letter that I would like to highlight as it relates to my own observations, and would urge you to adopt the specific recommendations of CALUC:

Specifically Mr. Ryan Goodman, a co owner of Aryze was a committee member of the Gonzales Working Group helping with the creation on of the Gonzales Neighbourhood Plan at the same time he was seeking rezoning for the properties: 1712/1720 Fairfield Road in the Gonzales Neighbourhood.

The potential rezoning of this property could possibly bring a substantial financial gain for Mr. Goodman. This is at least an appearance of conflict of interest, in this case financial conflict. It is most important to avoid conflicts of interest, or the appearance of a conflict, to maintain confidence in municipal government.

In April 2018, City Planning Staff and The Gonzales Working Group, finally, (why did it take so long?) took the necessary steps to remove Mr. Goodman from the working group. However, this is too late, as the appearance of conflict of interest or a conflict of interest was not prevented.

It is most important to avoid conflict of interest or the appearance of a conflict of interest, to maintain or help regain confidence in the City of Victoria planning and rezoning processes.

Therefore:
Recommendations:

1. The rezoning process for the “Rhodo” property be started again, right from the beginning due to Mr. Goodman silng on the Gonzales Working Group during the Fme his company was seeking (and continues to seek) a rezoning application for 1712 and 1720 Fairfield Rd.

2. For Future City of Victoria Working Groups, Committees, etc. There is a need for the City of Victoria to have more stringent rules to avoid the conflicts and the appearance of a conflict, in order to maintain confidence in the political system. Future City of Victoria committees such as Advisory Groups, Panels, Boards etc. should specifically prohibit anyone with an active development permit application from participating in City committees that would result in a personal or company financial gain or at bare minimum a recusal when discussion on the area of potential conflict where the financial gain could be made.

Sincerely,

Lynn Phillips

██████████

This letter was delivered to Mayor Help and Council, & Jocelyn Jenkyns, City Manager on May 15th, 2018.

Rezoning Application 1712 Fairfield Rd and 1720 Fairfield Rd Victoria BC (Folder Number REZ00618). The “Rhodo” POSSIBILITY OF CONFLICT OF INTEREST

Dear Mayor Helps and Council, and Ms. Jocelyn Jenkyns, City Manager,

Re: Possibility of Conflict of Interest, Mr. Ryan Goodman, Aryze Development Company, Rhodo Rezoning Application, Gonzales Neighbourhood Plan Rezoning Application 1712/1720 Fairfield Road.

This is a supplemental letter to be added to the the Fairfield Gonzales CALUC Report submitted in August 2017. Re: Rezoning Application 1712/1720 Fairfield Road, Victoria BC

Summary:

It has come to our attention that there is an appearance of conflict of interest with: Rezoning Application 1712 Fairfield Rd and 1720 Fairfield Rd Victoria BC (Folder Number REZ00618), known as the “Rhodo”. Specifically Mr. Ryan Goodman, a co owner of Aryze was a committee member of the Gonzales Working Group helping with the creation of the Gonzales Neighbourhood Plan at the same time he was seeking rezoning for the properties: 1712/1720 Fairfield Road in the Gonzales Neighbourhood.

The potential rezoning of this property could possibly bring a substantial financial gain for Mr. Goodman. This is at least an appearance of conflict of interest, in this case financial conflict. It is most important to avoid conflicts of interest, or the appearance of a conflict, to maintain confidence in municipal government.

Definition of Conflict of Interest:

<https://www.uvic.ca/vpacademic/assets/docs/COlexamples.pdf>

Conflicts of interest are not always obvious. A conflict of interest is any situation that might cause an impartial observer to reasonably question whether your actions are influenced by considerations of private interest. “Private interest” can include financial interests, interests related to your personal relationships, or interests related to your other outside activities.

The Aryze website describes Mr. Goodman’s job position: “co-owns ARYZE and helps manage the business and development efforts across Victoria.”

<http://aryze.ca/company/>

Aryze currently has a rezoning application at the City of Victoria called the Rhodo, located at 1712/1720 Fairfield Rd in the neighbourhood of Gonzales while the drafting of a new Gonzales Neighbourhood Plan is taking place.

<http://aryze.ca/property/rhodo/>

Mr. Goodman volunteered and participated on first the joint Fairfield Gonzales Working Group for the development of the Neighbourhood Plans and then continued volunteering on the

Gonzales Working Group while his company was pursuing a rezoning application for 1712/1720 Fairfield Road.

<http://aryze.ca/property/rhodo/>

In April 2018, City Planning Staff and The Gonzales Working Group, finally, (why did it take so long?) took the necessary steps to remove Mr. Goodman from the working group. However, this is too late, as the appearance of conflict of interest or a conflict of interest was not prevented.

It is most important to avoid conflict of interest or the appearance of a conflict of interest, to maintain or help regain confidence in the City of Victoria planning and rezoning processes. Therefore:

Recommendations:

1. The rezoning process for the “Rhodo” property be started again, right from the beginning due to Mr. Goodman sitting on the Gonzales Working Group during the time his company was seeking (and continues to seek) a rezoning application for 1712 and 1720 Fairfield Rd.
2. For Future City of Victoria Working Groups, Committees, etc. There is a need for the City of Victoria to have more stringent rules to avoid the conflicts and the appearance of a conflict, in order to maintain confidence in the political system. Future City of Victoria committees such as Advisory Groups, Panels, Boards etc. should specifically prohibit anyone with an active development permit application from participating in City committees that would result in a personal or company financial gain or at bare minimum a recusal when discussion on the area of potential conflict where the financial gain could be made.

Sincerely,
FGCA CALUC

Katie Lauriston

From: Lynn [REDACTED]
Sent: Monday, November 19, 2018 11:04 AM
To: Katie Lauriston
Subject: Fwd: Rhodo/Aryze/Purdy Group

----- Forwarded message -----

From: Lynn [REDACTED]
Date: Sun, 18 Nov 2018 at 09:33
Subject: Rhodo/Aryze/Purdy Group
To: councillors <councillors@victoria.ca>

Dear Mayor and Council,

I am writing to you to express my thoughts and perspectives, as a concerned Gonzales resident, about the new Rhodo development proposal (1712 & 1720 Fairfield Road) and the behaviour of Aryze and Purdy Group (Luke Mari).

I am distressed to see that this company has started another spam, social media campaign – soliciting the online community to simply add their name, e-mail and street address, to auto fill an email letter of support for the Rhodo development, with very little information provided about the development, and regardless of where the person lives or whether they have a financial stake in the project. How does this approach support meaningful dialogue, particularly with those who will be most impacted by the project?

It is clear that this company has invested a lot of money into developing this project, and is aggressively promoting it through multiple avenues, including through a paid Facebook “sign here” campaign. This developer has also accused many community members expressing concerns about the project as being “NIMBYs.” It is clear that a primary driver for the developer is to maximize its profits, rather than carefully considering how to meaningfully address and minimize negative impacts to the existing community.

However, as elected representatives with a decision-making role regarding this development, I urge you to properly balance and consider all relevant factors when deciding whether this proposal should proceed or not on November 22nd.

Please consider that the Rhodo development will be intrusive to immediate neighbours, the neighbourhood and Hollywood Park. It does not fit in with the aesthetic and character of the neighbourhood. It will leave the park and area in shadow and will destroy over 50 trees to do it. It does not provide enough parking which will impact neighbours and those using the park as many of them come from out of town and other areas of the city for games, to play tennis to visit the hospital, Gonzales Beach, Dallas Road and the cemetery. The developer has designed the townhouses in a way that uses the park as its own backyard and public streets as its parking lot so that they do not have to meet the mandated zoning requirements.

[The developer appears to be promoting this project as supporting increased housing, but these luxury townhomes will not contribute to affordable housing in Victoria. Based on data from Statistics Canada,](#)

even with 10% down, 94% of the households of Victoria who don't ALREADY own a home in Victoria will not be able to afford to live in these units and will not qualify for a mortgage.

To meet the objective of increasing affordable housing, I respectfully ask that you consider alternative proposals. For example:

Existing Lot 1 - valued according to BC Assessment at \$800,000. Almost 7,000 sq ft with 1,400 house.

Two families, in a collaborative home buying arrangement, can purchase the property together, have it raised and renovated and converted to a duplex with City support. Renovation costs equal approximately \$300k. The result would be 2 homes on an almost 7000 square-foot lot, with two 1400 ft.² units with private yard space each, \$550k per unit.

Existing Lot 2, almost 19,000 ft.² - valued according to BC Assessment at \$1,166,000.

Build a 7-unit attractive townhouse with an appropriate character with a footprint in the range of 6,000 ft.². 32% of the lot space. 11,200 - 12,000 ft.² total. Building cost of ~\$250 per square foot, which would be approximately \$2.8 million. The total cost with land would be under \$4 Million.

If the developer sells each unit for \$1.1 million each they would make approximately \$7.7 million on the deal, basically a **100% profit**.

The result would be, seven unaffordable units and 2 affordable units. In contrast, the current proposal would provide no affordable units and 17 unaffordable (luxury) units.

One final concern I would like to raise is that the developer's employees are attending community gatherings/discussions, expressing their support for the development and his/her ability to afford specifically a unit in this townhouse development, without first disclosing his/her connection to the developer. This occurred at a "meet and greet" at the Fairfield Community Centre and the speaker was subsequently discovered by community members to be an employee of Luke Mari. This has added to the mistrust in the community with respect to the integrity of the developer. I think it is only ethical that anyone who has a financial, business, employee or personal relationship with the developer, should disclose that relationship if speaking at a community gathering about the development, and particularly when communicating with Mayor and Council. To not enforce this would create mistrust with the community, and a belief that decisions being made by Council are not fairly made.

Thank you,

Lynn Phillips

██████████

Monica Dhawan

From: Anna Cal [REDACTED]
Sent: Sunday, November 18, 2018 9:41 PM
To: Lisa Helps (Mayor); Ben Isitt (Councillor); Geoff Young (Councillor); Sharmarke Dubow (Councillor); Sarah Potts (Councillor); Laurel Collins (Councillor); Marianne Alto (Councillor); Jeremy Loveday (Councillor); Charlayne Thornton-Joe (Councillor); Victoria Mayor and Council; Councillors
Subject: 1712 Fairfield proposal

Hello Dear Councillors,

Please do not be misled by Aryze's artistic rendition.

The abundance of trees and attractive tree shades on the buildings help to make this tall grey wall look acceptable.

I include my rendition of what it will look like without the trees or the shade that they provide, during the long months of winter.

The cold, characterless walls will dominate the street. With this construction the character of the neighbourhood will change profoundly - with or without the trees.

In the Gonzales neighbourhood, mature trees enhance the liveability and character of the neighbourhood. In Aryze's rendition, trees are used to hide bad design and a multitude of architectural sins, chiefly height, overcrowding, and the warehouse character of this proposal.

Please ask yourself these questions.

What does this complex have to do with its surroundings?

Is it the right balance between innovation and preservation?

What is the affordability component?

How much will the community get in exchange for yet another rezoning?

Why should the beauty of the public park be compromised?

Why should 50 trees be cut down?

I strongly urge you not to advance this proposal to the public meeting.

Thank you.
Anna Cal
1059 Pentrelew
[REDACTED]



View from Fairfield Road



View from Fairfield Road

Monica Dhawan

From: Andrew Willmott <noreply@123formbuilder.io>
Sent: Sunday, November 18, 2018 9:56 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Andrew Willmott

56 Apache Crescent, Leduc AB, but moving back to Victoria (my home) and this is exactly the kind of home I want

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: D NILSEN <[REDACTED]>
Sent: Sunday, November 18, 2018 10:59 AM
To: Victoria Mayor and Council
Subject: Proposed Rhodo Development on Fairfield Road

Good morning! I am a resident of Fairfield/Gonzales, living on Robertson Street just around the corner from Hollywood Park.

Respectfully, I want to express my concern about the proposed Rhodo development in my neighbourhood:

- it is very unattractive, and more importantly, completely out of character with the neighbourhood;
- in a number of respects, the plan is contrary to current by-laws (e.g., set backs, height, parking), and it appears that site-specific zoning will need to be requested. If granted, this will mean a large development shoe-horned into Fairfield Road and butting up against the street and park;
- change is not a problem for me. But of all the design choices that are available to respect this neighbourhood (not to mention the fact that this is not affordable housing) I am gob-smacked at the design choice that was made.

Please send the developer back to the drawing board.

Sincerely,

Deborah Nilsen

Monica Dhawan

From: Elyce Henry <noreply@123formbuilder.io>
Sent: Sunday, November 18, 2018 11:18 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Elyce Henry

105 1765 Oak Bay Ave

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Jesse Campbell <noreply@123formbuilder.io>
Sent: Sunday, November 18, 2018 11:34 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Jesse Campbell

241 Cook Street, Victoria, BC

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: webforms@victoria.ca
Sent: Sunday, November 18, 2018 10:44 AM
To: Victoria Mayor and Council
Subject: Please do not support 1712/1720 Fairfield Road (Rhodo)

From: Jenni Woodcock

Email : [REDACTED]

Reference :

<https://na01.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.victoria.ca%2FEN%2Fmain%2Fcity%2Fmayor-council-committees%2Fcontact-mayor-council.html&data=02%7C01%7Cmayorandcouncil%40victoria.ca%7C0fc45c1e659c48949a3708d64d85dadf%7Cd7098116c6e84d2a89eedb15b6c23375%7C0%7C0%7C636781634628464922&data=AP7kSshtSxCmMXNjxfCUUgHQUglReE1GZP%2FXDGlmMo0%3D&reserved=0>

Daytime Phone : Not provided

Please do not support 1712/1720 Fairfield Road (Rhodo)

Dear Mayor and Council,

I am writing you to tell you that I DO NOT support construction of the Rhodo -the development proposal at 1712/1720 Fairfield Road. Please do NOT let it go ahead. They are greenwashing and using research into affordable housing (which they are not providing) to support their profits. Please acknowledge and review the research by the Gonzales Neighbourhood Association and do not let developers have a say in neighbourhood plans.

Sincerely,

Jenni Woodcock
(Renter of Fairfield)

IMPORTANT NOTICE: This message is intended only for the use of the individual or entity to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify The City of Victoria immediately by email at publicservice@victoria.ca. Thank you.

IP Address: 70.67.234.247

Monica Dhawan

From: Kevin Morin <noreply@123formbuilder.io>
Sent: Sunday, November 18, 2018 9:34 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Kevin Morin

6-797 Tyee rd

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Lynda Liinamaa <[REDACTED]>
Sent: Sunday, November 18, 2018 12:55 PM
To: Victoria Mayor and Council
Subject: Re 1712/1720 Fairfield Road Rezoning

Dear Mayor and Council,

I have many issues concerning this proposed development. They include the proposed height, diminished set backs and the fact that 17 townhouses are too many for the property size as well as loss of green space. This development might work in downtown Victoria but find in unsuitable for this space. Hopefully council will recall that the proposed new community plan for Fairfield/Gonzales was not approved by the previous council so why would the present council approve this unsuitable project at this time.

Respectfully submitted
Lynda Liinamaa

Monica Dhawan

From: Mike Colwill <[REDACTED]>
Sent: Sunday, November 18, 2018 10:38 AM
To: Victoria Mayor and Council
Subject: Support for Fairfield Townhouses

Victoria City Council,

As the owner of 1733 Fairfield Road, I am directly across the street from the proposed townhouses at 1712 Fairfield Road. With that in mind I am very supportive to see new housing being built in this neighbourhood. We were disappointed to see the original densification proposals in the neighbourhood plan get removed and ultimately the plan delayed. This neighbourhood has been asleep for too long and needs diverse housing options to stay current and vibrant.

We ask that you ignore the negativity from a small group of Gonzales residents as myself and the neighbours I know, strongly welcome quality projects like this.

Thank you for your time,

Michael and Jessica Colwill

Monica Dhawan

From: Michael Colwill <[REDACTED]>
Sent: Sunday, November 18, 2018 10:27 AM
To: Victoria Mayor and Council
Subject: Support for Fairfield Townhouses

Mayor and Council,

Thank you for the opportunity to have our voices heard as you consider the proposal for the townhouses on Fairfield Road next to Hollywood Park. We have discussed this proposal with some of our neighbours as we own the property across the street from the project at 1735 Fairfield Road. We are in total support of new townhouses as this kind of housing that most young families can afford since housing has gotten so expensive. We love our neighbourhood and see this as a very positive addition so please approve this project.

Thank you,

Michael and Jessica Colwill



MEWS ENTRY FROM HOLLYWOOD PARK

[Rhodo: 1712 + 1720 Fairfield Road]

ARYZE



November 08, 2018

Dear Fairfield-Gonzales Resident,

You are receiving this letter because our 17-home townhouse project, Rhodo, on the adjacent properties 1712 and 1720 Fairfield Road, is going to Committee of the Whole on November 22nd at 9:00 am at Victoria City Hall. We want to thank you for your positive support to date and provide this letter to explain how we have refined the design of the project. Rhodo intended to create the kind of sustainable middle density development, carefully positioned in relation to alternate modes of transit, that contributes to a vital, low carbon sustainable future envisioned for the City of Victoria.

CREATING A VILLAGE

Following from the urban design concept precedent of a small country town, the project is conceived as a small beach village. Entrances are oriented to the street edge or internal mews. Planters and vegetation mediate between the built form and site edges. Semi-private outdoor patios maintain visual connections to public spaces to allow for interactions between neighbours. The project is organized around a central mews to which all pedestrian routes lead. Each building cluster is limited in size and provides distinct visible entrances. Each entrance doubles as a semi-public hang out space in the spirit of the stoop on a traditional brownstone reinforcing social connections between neighbours.

GROUND ORIENTED TOWNHOMES

The proposed project is based on a ground oriented townhouse model. This housing type has a long history in the making of cities and towns and includes many significant historical precedents. Ground Oriented Townhouses such as the brownstone in New York City (US) or terrace house in Bath (UK) provide sustainable middle density living while providing the benefits of a single family house. In particular this housing type provides an "at grade" front entry door and the opportunity to have useable outdoor space for each home. The historic terrace townhouse model has recently been rediscovered. A number of exciting contemporary variations on the townhouse model have been explored in Europe. From an urban design and environmental standpoint, the ground oriented townhouse offers very liveable middle density housing compared to typical apartment buildings. This housing model has provided the venue for design innovation in recent years.

BUILDING SCALE

The proposed development consists of three independent townhouse clusters 2.5 storeys in height along Fairfield Road and 2.0 storeys behind. Each building cluster has an average footprint of approximately 260m² (2,800 SF) which is a comparable footprint to the older estate and character homes in the surrounding single family neighbourhood.

REINFORCING THE EXISTING CONDITION

The existing historic buildings opposite the site on the southeast side of Fairfield Road (Montague Court / Hollywood Corners) sit along the street edge with a reduced setback creating a point of intensity. The proposed development mirrors this condition across Fairfield Road to create an ensemble of urban buildings resulting in an urban node not unlike that of a British country village. In this way, old and new work together to create a new urban whole.

Front entry doors to the proposed development are oriented toward the street with areas of repose designed to encourage interactions between neighbours and passers by.

MATERIAL PALETTE

The beach village concept informs the material, colours and massing of the project. Cladding is simple washed cedar. Entrance walks, front doors and outdoor patio spaces are characterized by clear timber "boardwalks" complimenting the vertical cedar cladding. Windows and drain pipes are simple grey metal in keeping with the subdued palette. Simple planters with drought resistant planting provide a landscaped edge where buildings meet the ground.

RELATIONSHIP TO STREET + PARK

The ground oriented townhouse model has been used historically in the great pedestrian cities of the world. In the UK, parts of London and Bath are famed for their Victorian and Edwardian terrace housing. This housing type, provides an excellent street edge condition with visual connections to the townhome interiors and a semi-public outdoor space. This thickened edge at the building front allows for quiet spaces of repose where one can enjoy a morning coffee or stretch after an evening jog. Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park. The building facade in this location has two roles. It acts to mediate light and views from within but it also acts to frame and compliment the park's eastern edge. So too, the Fairfield Road facade in concert with Montague Court / Hollywood Corners across the street, creates a lively urban edge framing the new urban node that has been created. Key to the success of the project is the creation of engaging edges to both park and street, animating and framing the life of the neighbourhood.

SUMMARY

The proposed building gives shape to Gonzales's community values. It will fit in while being progressive; it will be built with traditional high-quality building materials that last; and it balances personal privacy and land values with quiet densification. The proposal's home sizes and variety will create housing for a variety of people and families, who will bring vibrancy and economic support to this walkable neighbourhood. The Aryze development team has worked hard to create a building that reflects contemporary Victoria while respecting its rich history.

Sincerely,



Ryan Goodman
Aryze Developments
ryan@aryze.ca



Luke Mari
Purdey Group
lmari@purdeygroup.ca

ARYZE





VIEW FROM FAIRFIELD ROAD

[Rhodo: 1712 + 1720 Fairfield Road]

ARYZE





CENTRAL MEWS

[Rhodo: 1712 + 1720 Fairfield Road]

ARYZE



DOES THE PROPOSED RHODO DEVELOPMENT NEXT TO HOLLYWOOD PARK FIT IN THIS NEIGHBOURHOOD?

Mayor & Council will be considering this proposal on November 22nd



View from Fairfield Road

A 17-home townhouse project is proposed for 1712 & 1720 Fairfield Road

- Units face Hollywood Park with minimal outdoor patio, and treating the park as its private yard
- 51 trees will be cut down
- Height of 37.6 ft/2.5 storey instead of the maximum 25 ft/2 storey allowed
- Units that face Fairfield have entries that open almost onto the sidewalk (front yard setback of 5.5 ft vs. the required 24.5 ft)
- Rectangular design is out of character and in stark contrast to existing buildings in the vicinity and the natural landscape of the adjacent park
- Only 22 parking spots instead of the required 26

Please write to council to reject the current design of this project and request that the developer consider a design that respects existing zoning, particularly in a location next to an important neighbourhood park. Write to Council at councillors@victoria.ca



View from Hollywood Park

Concerns

- The park is an important public space and is used regularly by locals as well as visitors from throughout BC attending little league or other sporting events; development must not “privatize” this public space.
- The ecology of this park, along with users’ experience, would be better protected by having an adequate buffer of 30 ft+ and a visual barrier to the development such as a tall hedge.
- Although the City's has zoning standards to limit the negative impact to neighbours and the community, this development proposes to significantly exceed a number of those limits.
- Preserving the tree canopy is important not just for esthetics but also to address climate change.

Having more housing diversity is important, but so is protecting neighbourhood parks for everyone’s use and maintaining the character of this unique neighbourhood. If you think more effort should go into the redesign this project, please write to Council at councillors@victoria.ca before November 22nd.

For more information and/or to sign-up for email updates, please go to www.gonzalesna.ca

Monica Dhawan

From: Michael Muret <[REDACTED]>
Sent: Sunday, November 18, 2018 7:15 PM
To: Victoria Mayor and Council
Subject: Rhodo Development 1712/1720 Fairfield. Opposed.
Attachments: image.png; Rhodo Flyer Draft v.4.pdf; ARYZE Handout November 2018 copy.pdf

Dear mayor and council,

I am very much opposed to the proposed Rhodo development proposal at 1712 Fairfield Road. It requires major variances to the existing zoning laws in Fairfield.

I would be in favour of any alternate design that respects all of the existing zoning laws, the Garry Oaks, and the character of Fairfield. The rest of the neighbourhood have no problem respecting those basic tenets of what it means to be a resident here.

Thanks for your attention.

Michael Muret
1987 Fairfield Road
[REDACTED]

From: Gonzales Neighbourhood Association <gonzalesneighbours@gmail.com>
Date: November 18, 2018 at 2:49:19 PM PST
To: Gonzales Neighbourhood Association <gonzalesneighbours@gmail.com>
Subject: Fwd: Rhodo Development 1712/1720 Fairfield.

Dear Neighbours,

Please see the attached flyer regarding the Rhodo development which is going to be discussed by Council on **November 22nd** (not a public meeting). We have a few serious concerns about this development which will be 17 Townhouses adjacent to Hollywood Park.

We strongly urge you to contact your elected representatives by email at councillors@victoria.ca as soon as possible to express your thoughts on this

proposal. The developer has already begun an aggressive campaign to influence council.

- There will be virtually no front yard for the units on Fairfield Road — the front setback will be 5.5' (1.68 m) whereas the current minimum is 24.5' (7.5 m).
- The 3-storey building facing Fairfield will be 38' (12 m) high, the current maximum is 25' (7.6 m). The development is 3 stories on Fairfield Road, even though it is classified as a 2 ½ story because of the area of the 3rd floor and the slope of the land.
- This development will create a 3-storey, 38' wall, 5 ½ feet from the front property line. The applicable bylaw states that "No part of any building shall be closer than 19.6 ft (6 m) from the street frontage" and "the average distance of the walls of a building facing the street frontage shall be not less than 24.6 ft. (7.5 m)."
- Currently, a rear yard should 30' (9.1 m) or at least 30% of the site depth (so for the Rhodo 60' on the west side), the Rhodo is asking for a rear setback of 20' (6.1 m). There is no delineation between the minimal patio space and the townhouses facing Hollywood Park. Aryze's own materials (distributed on November 8th) highlight this feature as follows: ***Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park.***
- The building footprint will take up 60% of the total site whereas the current maximum allowed 30%.
- The number of parking stalls will be to 22 spaces (Aryze's application wrongly indicates that 22 spaces is the minimum required; City staff have confirmed that 26 are in fact required).
- Over 50 Trees will be cut down by the park to accommodate the development.

Thank you,

GNA

Karen Sidhu

Subject: FW: Rhodo Development and Gonzales Neighbours

From: Warren Magnusson [REDACTED] >

Sent: Sunday, November 18, 2018 8:43 AM

To: Councillors

Subject: Rhodo Development and Gonzales Neighbours

Councillors:

I am writing in response to the Rhodo development proposal and the campaign against it being waged by the so-called “Gonzales Neighbourhood Association”.

I do not have strong opinions about the development proposal, but I do resent the efforts of this “Association” to present itself as the voice of the neighbourhood. It represents one strand of opinion within the neighbourhood, a strand associated with the group that suffered a massive defeat in the recent municipal elections. Their views should be treated with caution.

I live at the corner of Robertson Street and Lillian Road, just a few houses from the old Montague Court development. My family and I have been here since 1982. I used to take my daughter to the Hollywood Park playground, and now I take my grandson there when he comes to visit. I know the neighbourhood well. The GNA activists mostly seem to be recent arrivals in the neighbourhood who bought into it when it was in the process of transformation from a predominantly working class area – as it was when my wife and I moved in: almost everyone around us was on a low income and had been in the neighbourhood for decades – into a slightly cheaper version of South Oak Bay, home to professionals and businesspeople who can afford million-dollar homes. If Council is concerned about preserving – or, more accurately, *restoring* – the original character of the neighbourhood, it should be thinking about ways and means of encouraging affordable housing here. I don’t know exactly what that might involve, but resisting townhouse/apartment developments simply because they are townhouse/apartment developments is not part of it.

The questions I would be asking the developer are these: How will this development improve the supply of affordable housing in the Gonzales neighbourhood? What is the public benefit in offering you, the developer, profitable zoning concessions? What is the monetary value to you of the concessions you are asking for? How do you mean to share those profits with the wider community?

Warren Magnusson
Professor Emeritus
Department of Political Science
University of Victoria

304 Robertson Street
Victoria BC Canada V8S 3X7
[REDACTED]

Monica Dhawan

From: webforms@victoria.ca
Sent: Sunday, November 18, 2018 3:21 PM
To: Victoria Mayor and Council
Subject: Mayor and Council email

From: Nakira Woodcock
Email : [REDACTED]
Reference :
Daytime Phone : Not provided
Dear Mayor and Council,

It is absolutely unacceptable to have a developer building in our neighbourhood in the name of poverty reduction. The developer, Aryze, is a profit driven corporation that exists to make money by buying and selling properties. Its goal of profit will not forward the development of low income housing but, instead, do the opposite. My family runs a non-profit organisation and any construction of affordable housing needs to be made on the same premise. Please reject the construction of the Rhodo development at 1712/1720 Fairfield Road.

Sincerely,
Nakira Woodcock
(Born and raised in, and current resident of, Fairfield)

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IP Address: 154.5.210.176

Monica Dhawan

From: webforms@victoria.ca
Sent: Sunday, November 18, 2018 7:24 PM
To: Victoria Mayor and Council
Subject: E.2 1712 - 1720 Fairfield Road - Rezoning Application No. 00618 and Development Application (Gonzales)

From: Ryan Herriot

Email : [REDACTED]

Reference :

<https://na01.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.victoria.ca%2FEN%2Fmain%2Fcity%2Fmayor-council-committees%2Fcontact-mayor-council.html&data=02%7C01%7Cmayorandcouncil%40victoria.ca%7C6c77b82b2c9443218b1a08d64dce6b66%7Cd7098116c6e84d2a89eedb15b6c23375%7C0%7C0%7C636781946296043476&sdata=vY35nz3SbASa46byeulOs1JhnRwz0ddWRYGqf51wdZA%3D&reserved=0>

Daytime Phone : Not provided

Hi,

I am writing in regards to your agenda item E2 for your committee of the whole on November 22.

I am a resident of the Gonzales neighbourhood. I am a renter. I have a partner and a small child. My partner and I are both well- educated, employed professionals. Nevertheless, we are the sort of family who has no hope of ever owning a single family home in Victoria. The sort of family many of you campaigned for in your recent election (congratulations!).

You will no doubt be aware of a rather small but active group of concerned citizens who style themselves as the "Gonzales Neighbourhood Association." Let me assure you that this group does not speak for all, or even most, of the residents of the neighbourhood. They are the sort of folks - bless their hearts - who fear change of all sorts. They are the sort of folks who are prone to dissemination of misinformation. They are the sort of folks who cannot see that their desire to keep the neighbourhood almost exclusively zoned for single family dwellings is a major obstacle to affordability in our city, condemning as it does many young families like mine to live in other municipalities and commute by car.

This group is particularly prone to producing flyers with sensationalist tones and obfuscating arguments. A recent gem that was hand-delivered to some houses in Gonzales complains that the proposed townhouses would have "minimal outdoor patio, and treating the park as its private yard" (sic). It goes on to express frustration at various minor zoning variances the project would require.

Gonzales, along with other Victoria neighbourhoods, MUST change.

We must densify our residential spaces with a variety of affordable options. New townhouses are far from the only ingredient needed, but at present Gonzales is so incredibly dominated by single-family dwellings that this project represents a sorely-needed step in the right direction.

I strongly urge you to approve the motion and recommend this application be forwarded to a public hearing.

IMPORTANT NOTICE: This message is intended only for the use of the individual or entity to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify The City of Victoria immediately by email at publicservice@victoria.ca. Thank you.

IP Address: 24.69.160.202

Monica Dhawan

From: Adam Carlson <[REDACTED]>
Sent: Monday, November 19, 2018 11:21 AM
To: Victoria Mayor and Council
Subject: Victoria Housing - Fairfield Rd.

Good Morning Victoria Council,

I am writing to you about the proposed Fairfield Road townhouses by Aryze, known as Rhodo. I follow them online as they espouse the housing values that I share. I wanted to reach-out and give you some incite which I hope will help you in your decision-making. I was born and raised in Victoria and started a family near where my parents and in-laws lived which was great for childcare! Sadly, when we had our second child and outgrew our living arrangement, we looked for housing in Victoria since I work downtown. We couldn't find any family housing in our price-range, so we ultimately had to move to Central Saanich where we bought a townhouse. Instead of walking or biking to work, I'm now another car on the road as a peninsula commuter.

My eldest daughter also attended Margaret Jenkins elementary school from K to 3. While there were several factors which led to her being placed in a different school, if we had had the option to live nearby, this may have swayed the decision factor.

We need to start thinking about housing as a regional issue and providing more of it so people like me who were born and raised in Victoria can actually live here. Appreciate your consideration.

Adam Carlson

Monica Dhawan

From: Bob June <[REDACTED]>
Sent: Monday, November 19, 2018 12:28 PM
To: Victoria Mayor and Council
Subject: re: 1712/1720 Fairfield Road - Unsupportable

Mayor and Council:

The proposed development for 1712/1720 is unsupportable as proposed. The Aryze project ignores the guidelines of the OCP and the well being of it's neighbors.

The height and massing is inappropriate for a Traditional Residential area. Fairfield road is a collector, not a arterial road justifying up to three storeys.

Aryze proposes to double the amount of site coverage from 30 to 60%.
Much of the remaining open space is hard scaped.

Aryze proposes to increase the building height by 50 % over the current R1-G zoning. 7.6 m./24.9 ft. to 11.5 m./37.5 ft..

Aryze has not produced a shading study indicating the seasonal impact on the Hollywood Park or the neighbors on Earle Street. The Earle St.
neighbors will loose the privacy of their rear yards with block 3 looming over them with its set back reduced by 3 m./10 ft..

As the artists renderings show the project privatizes the Hollywood Park by building patio's within the prescribed set back.

The 5 ft 6 in./1.7 m. setback along Fairfield of Block 2 are inappropriate for a traditional residential neighborhood.

A price tag of approximately \$750,000.00 does not create affordable housing; the only option that might justify some increase in density in a traditional residential neighborhood.

The proposed development is Ugly, Ugly, Ugly. It in no way compliments the traditional residential look and feel of Gonzales.

Bob June
1310 Manor Road
Victoria

Monica Dhawan

From: Carrie Fuzi <[REDACTED]>
Sent: Monday, November 19, 2018 10:41 AM
To: Victoria Mayor and Council
Subject: Re 1712 Fairfield Rd, Rhodo by Aryze Developments

To Mayor and Council,

I am writing in opposition to the design of the proposed development. It does not fit into the character of the surroundings. It needs major changes. The developer should work with the neighbourhood for approval.

Thank you,
Carrie Fuzi

Noraye Fjeldstad

From: Carol Maier <[REDACTED]>
Sent: Monday, November 19, 2018 10:54 AM
To: Community Planning email inquiries; Engineering Email inquiry; Engagement; Development Services email inquiries; Laurel Collins (Councillor); Victoria Mayor and Council; Sharmarke Dubow (Councillor); Ben Isitt (Councillor); Jeremy Loveday (Councillor); Sarah Potts (Councillor); Charlayne Thornton-Joe (Councillor); Geoff Young (Councillor); Alec Johnston; Katie Lauriston
Cc: chuck.thomspon@cbc.ca; marc.pichette@radio-canada.ca; Murray.Rankin@parl.gc.ca; cfax.news@bellmedia.ca; dsenick@timescolonist.com ; bmackenzie@timescolonist.com ; dkloster@timescolonist.com ; islandnews@ctv.ca
Subject: Say "NO" to the Rhodo development (or any future projects like it) in Fairfield/Gonzales. Letter to Victoria Board of Variance.

Dear Board of Variance,

Re: rezoning and development of 1712 and 1720 Fairfield Rd.: **"A cautionary tale of deceit, corruption and mismanagement" in 2018, Victoria, BC.** (that will be the headline in a few years if you approve the rezoning applications to be decided on November 22/18)

I am a long-time resident of Victoria (30yrs); a hardworking taxpayer; an "average joe". I write from the heart. I do not have a degree in public administration, city planning, or "politics". I am not trying to make my fortune as a "developer" or real estate agent. For the purposes of this letter, I am simply a citizen of this beautiful city, Victoria, with a stake in how this city is changing, and the impact these changes will have on my lifestyle, and those of future residents.

Until recently I have been proud to call Victoria home, but my heart is heavy now. The future of this city looks tragic. For 3 or 4 years I have been seeing, experiencing and barely enduring the anarchy and left-wing political agenda being imposed upon me by (well meaning but pathetically misguided) civic representatives (who generally do not represent my interests). Victoria has largely become an anarchists' domain of filth, chaos, corruption, and petty political correctness because of evangelistic neophyte hippies (totally unqualified to run a city).

Today, I write this letter to contribute my voice on November 22nd/18 at the "Committee of the Whole" meeting so that I can help protect this city now and for the future from ugly high-density over-developments. I know that many of my neighbors have written letters too. We "letter writers" speak for those hardworking, tax paying "average joes" who are too busy (or too afraid) to write letters to city hall. Most people do not have time to "get involved". As a semi-retired person I have the luxury to be able to pay attention to the workings of this city. When I was working full-time I did not. ***We are alarmed, frustrated and overwhelmed by what is going on and we NEED to stop the madness.***

Stopping the "Rhodo project" is priority number one. To be clear, the Gonzales Neighborhood Association has an accepted Neighborhood Plan that we do not wish to deviate from. It allows for "gentle" and sensible development. Where has common sense gone (squashed by political correctness)?

The political correctness paradigm makes hypocrites and zombies of us all. On the one hand "anything goes". We are supposed to embrace and celebrate our differences. But political correctness is a kind of tyrannical irony because on the other hand, we must edit or conceal our beliefs if they are considered "conservative" or old fashioned or not "weird enough". Therefore, my speaking out against something that is "radical" will probably be dismissed. ***Please hear me. I am standing on guard for the rights and freedoms of the average person in the neighborhood who deserves to live a normal quiet conservative lifestyle.*** I'll be criticized as being old-fashioned and not in-step with the times, but we ALL have rights and responsibilities. It seems that the younger generation, on balance, know their rights but have never been

taught their responsibilities. That is a hopeless feeling for me, especially when the neophytes find themselves in positions of power and suddenly think they are inventing the wheel.

Canadians are losing their collective minds. Here's a recent example of how political correctness confuses people. I commented to a stranger in Hollywood Park yesterday that her dog was beautiful, said stranger replied, "I never know how to respond to that comment." She was baffled (bordering on offended); perhaps looking for a hidden meaning? Indeed, we live in strange and complicated times. In the world I lived in, just a few short years ago, a simple compliment usually received a simple "thank you". Sigh.

Back to the point of this letter. ***We/You simply must reject the rezoning applications #REZ00618 & DPV00098.*** In general, I am fed up with the willy nilly rezoning approvals, and the look-the-other-way strategy that bylaw enforcement has been taking for the past 4 years to accommodate "high density" housing (and political correctness).

I have been directly negatively impacted by a high density rental next to me. The landlord is an absentee "slum lord" who doesn't care what is going on at what is supposed to be a single-family dwelling with one legal suite (which miraculously became "legal" after I complained to bylaw about all the garbage that was accumulating at the home and the subsequent rat problem). The tenants, of course, don't care. There are "parking wars" all the time because the landlord is renting out, not 2, but 3 separate spaces with THREE SEPARATE KITCHENS, and everyone has at least 2 cars (plus visitors/Airbnb guests). There are 5 to 10 cars associated with that house at anyone time. There is no good excuse for this, but the landlord has found a loop hole (i.e. is a friend of Lisa Helps) so that he can continue to rent out that third space and the city is turning a blind-eye.

With that in mind, I am especially concerned about the ***precedent*** that the proposed Rhodo slum sets if it gets approved. If we let ***Aryze and the Purdy Group*** get away with these unreasonable zoning changes then there is no stopping the next one, and the next one and so on. ***Andrea Hudson (dept. of Sustainable housing/development)*** is dead wrong in her report, dated November 8, 2018, that the Rhodo development is "generally consistent with the Gonzales Neighbourhood Community Plan". Nope. ***Not true in the slightest!***

Further, the developers, Aryze and the apparently powerful, corrupt and sneaky Purdy Group (***represented by Luke Mari*** who consistently lies on facebook/social media, and illegally collects email addresses from people through some kind of "survey", and who misrepresents his interests) should be stopped!! Luke Mari sat on a special committee on housing issues which gave him direct access to information, and influence over, the city planners, politicians, and advocates of ***high-density affordable housing***. ***Luke Mari and his consortium of wealthy investors should be immediately disqualified from doing any business in this city because what he did and is doing is the very definition of corruption. Luke Mari is playing a game of bait and switch.*** Scratch below the surface and you'll find a business man representing a consortium of investors that Luke must answer to at the end of the proverbial day. ***This development is NOT "affordable housing". Each townhouse will cost over a million dollars. And he's drumming up support for is project from people who have no business weighing in on how this neighborhood should be developed.***

Fun Fact: I talked to a realtor about my property this past summer. My lot is about 10,000 sq. ft. We discussed the difference between garden suites and secondary suites etc. She suggested I apply to have my lot rezoned for duplexing before I decide to sell, if I decide to sell. When I inquired at city hall about duplex zoning, I learned that my lot is just shy of the minimum lot size for duplex zoning. It was maybe 5 sq. metres too small. When I asked about going to the board of variance I was denied even trying for duplex zoning. I'm still scratching my head over that one. There are many duplexes on Richardson St. on lots similar in size or smaller than mine. I am exasperated by the random zoning and double standards in Victoria. I'm sick of the haphazard, thoughtless and disrespectful approach that city hall is taking to "average joes" who "play by the rules". I'm a law-abiding citizen which seems to have put me at a disadvantage.

In summary:

1. There is NO way that any development in this neighborhood should exceed site coverage more than the current 30% (Aryze is asking for a site coverage of 60% and a height variance double what is currently acceptable!)

2. The set back from the street should be maintained at 25'
3. ***NO mature trees should be cut down to accommodate high density housing – ever*** (this makes me the saddest... it is the worst thing we can start doing in this city)
4. The aesthetic of the townhouse complex should be in keeping with that of the rest of the neighborhood (the proposed townhouse complex looks like a concrete jail or a “project” in Toronto at Jane and Finch – see picture)
5. Any development beside Hollywood Park should be required to put up a solid barrier between the development and Hollywood Park because there is no way the residents of the luxury million-dollar slum should develop feelings that it is “their back yard”. ***Luke Mari is promoting the park as “their back yard”!*** It is public space for goodness sake. How can he get away with this? If the townhouse residents buy in with a sense of entitlement (and special access to the park) there will be no shortage of animosity in the neighborhood. The townhouse owners should have to access the park through the existing entrances like the rest of us and share the park like the rest of us.
6. The development **MUST** be able to accommodate ample parking for the homeowners and their visitors, off street, so that it does not impact the neighbors. There are enough parking wars going on all over this city because of the influx of people/cars. ***It is ridiculous to think that people who buy million-dollar properties won't have cars.*** Luke is trying to promote the development as “walkable” but that is not realistic.

I say NO to ALL high density housing in Fairfield/Gonzales; definitely NO to the Rhodo rezoning applications. I live, work and pay tax in this neighborhood. I want my interests considered at the Committee of the Whole meeting on November 22, 2018, especially above others who do NOT live in this neighborhood.

Thank you.

Sincerely, Carol Maier

The townhouses behind the crime scene tape at the notorious Jane and Finch Project in Toronto look remarkably similar to the ones Aryze wants to build in Fairfield.





Gee, Mayor Helps, I never noticed how this drawing makes the buildings look a lot less high because the size of the people in the picture are out of scale.

Monica Dhawan

From: Carter <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 7:09 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Carter

550 quadra

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:27 AM
To: Chris Coates; Christine Havelka; Colleen Mycroft; Noraye Fjeldstad
Subject: Fwd: feedback on development proposal REZ00618

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:11:55 AM PST
To: "Victor V. Ramraj" <[REDACTED]>
Cc: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Re: feedback on development proposal REZ00618

Hello Victor,

Thank you so much for your email. I appreciate you taking the time to share your comments and concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: [REDACTED]
[REDACTED]
Twitter: [REDACTED]

From: Victor V. Ramraj <[REDACTED]>
Sent: Monday, November 19, 2018 9:47 PM
To: Councillors
Subject: feedback on development proposal REZ00618

Dear Victoria Councillors,

I am a resident of the City of Victoria and I live in the Gonzales neighborhood, approximately 1.2 km from the Rhodo project on Fairfield Road according to Google maps. I have been corresponding with some members of the Gonzales Neighbourhood Association, who have expressed some concerns about this project.

I am writing to inform you that their views do not reflect my own; **I am strongly in favour of the project.**

I have reviewed the latest revised plans on the City of Victoria's development tracker. This is clearly a well-conceived project. It makes good use of land space and the plans for foliage around the property and rooftop planters is impressive.

My main concern about this project is a larger concern that I have about new projects in Victoria, which is that they are not sufficiently dense. In the interests of sustainability and sustainable cities, I would strongly urge city council to allow for taller buildings with more common and commercial space. These in-fill develops, especially on main road such as Fairfield Road, present an opportunity to prevent urban sprawl. I would much prefer 4, 5, or 6 story buildings, designed thoughtfully with attention paid to rooftop parks and gardens, and green architecture, than lower builds that do not create enough housing a push Victoria's growing population into the suburbs, which commuting time is greater and a growing population uses more cars.

Please, new city councillors, increase the density of our neighbourhoods and reduce commute times and the need for cars. I would like to ensure that our neighbours are walkable and that basic services (banks, grocery stores, cafes, post offices, pharmacies) are all in walking distance. This is a model I've seen in the most livable and sustainable European cities, and it can be done in a way that makes communities even more livable. I feel that in this recent election, the voice of those of us who support thoughtfully planned densification has not been heard.

I realize it will take time for these larger policy shifts to take hold. The Intergovernmental Panel on Climate Change is calling for urgent action to keep to the 1.5 degree limit on warming. We will never be able to achieve this target if we don't radically change the way we think about new developments and take densification seriously. As far as this particular project is concerned, if anything, I would have preferred a taller development with more units. But it's too late for that now. So leaving aside this larger policy concern, **this is a well-conceived project; it has my full support.** It is at least a step in the right direction.

Sincerely,
Victor V. Ramraj

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:29 AM
To: Chris Coates; Noraye Fjeldstad; Colleen Mycroft; Christine Havelka
Subject: Fwd: Townhouse Devopment on Fairfield

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:21:58 AM PST
To: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Fwd: Townhouse Devopment on Fairfield

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
[www.Facebook.com/CollinsLaurel](https://www.facebook.com/CollinsLaurel)
Twitter: @laurel_bc

From: Laurel Collins (Councillor)
Sent: Tuesday, November 20, 2018 5:19:08 AM
To: joannlawson
Subject: Re: Townhouse Devopment on Fairfield

Hello Jo-Ann,

Thank you so much for your email. I appreciate you taking the time to share your concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
[www.Facebook.com/CollinsLaurel](https://www.facebook.com/CollinsLaurel)
Twitter: @laurel_bc

From: joannlawson <[REDACTED]>
Sent: Monday, November 19, 2018 5:48 PM
To: Councillors
Subject: Townhouse Devopment on Fairfield

I am in receipt of an email from the Gonzales Neighborhood Association, the content of which concerns me greatly.

This proposed development requires fairly significant variances in order to accommodate the construction as per the proposed plans.

I strongly object to the development of this plan as proposed. There is not enough green space allocated for the number of town houses on the lot itself, but rather seems to rely on the park as supplying front or backyard space.

There is not enough parking to accommodate the number of townhouses including guest parking. There is already a strain on parking in this area with the use of the park, & street parking needs to accommodate the community using the park.

The architecture if the plan itself doesn't fit in with the Neighborhood. Modern can still have style that is compatible with the neighborhood.

Individual residences seem to have a harsher variance process than developers. I believe developers need to be held accountable to the bylaw requirements in the same way as the city holds individuals. The requested front & back yard setbacks do not provide enough space green. I do not want to see another developer building that is as close to the sidewalk as the condo building on the corner of Richmond & Oak Bay Ave. There is no acceptable reason to give developers variances that do away with or drastically shrink the front yard bylaws for acceptable frontage.

Jo-Ann Lawson
848 Bank st.

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:28 AM
To: Chris Coates; Christine Havelka; Colleen Mycroft; Noraye Fjeldstad
Subject: Fwd: 1712 and 1720 Fairfield

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:13:17 AM PST
To: Ruth McIver <[REDACTED]>
Cc: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Re: 1712 and 1720 Fairfield

Hello Ruth,

Thank you so much for your email. I appreciate you taking the time to share your concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
[www.Facebook.com/CollinsLaurel](https://www.facebook.com/CollinsLaurel)
Twitter: @laurel_bc

From: Ruth McIver <[REDACTED]>
Sent: Monday, November 19, 2018 9:13 PM
To: Councillors
Subject: 1712 and 1720 Fairfield

Like so many of my neighbors I am very concerned about the proposed development on Fairfield Avenue.

There is no way 17 homes should replace two. We Can't Stop development however we can put realistic guidelines in place for now and the future.

The townhouse are 2 high and situated to close together.

Parking and road congestion will become major issues.

The park is a beautiful green space. Looking at towering townhouses will take away the beauty of this special place.

Please reject the current plan. The developer needs to come up with a more suitable design that enhances the neighborhood rather than detracts.

Ruth McIver
Resident of Gonzales

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:27 AM
To: Chris Coates; Christine Havelka; Colleen Mycroft; Noraye Fjeldstad
Subject: Fwd: 1712 & 1720 Fairfield Road

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:12:39 AM PST
To: Daphne Schober <[REDACTED]>
Cc: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Re: 1712 & 1720 Fairfield Road

Hello Daphne,

Thank you so much for your email. I appreciate you taking the time to share your concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
[www.Facebook.com/CollinsLaurel](https://www.facebook.com/CollinsLaurel)
Twitter: @laurel_bc

From: Daphne Schober <[REDACTED]>
Sent: Monday, November 19, 2018 9:16 PM
To: Councillors
Subject: 1712 & 1720 Fairfield Road

Dear Mayor and Council,

I am writing to let the council know of my concern about the Rhodo Development proposed for 1712 and 1720 Fairfield Road. I believe that what is planned is far too large for the size of the property and is completely inappropriate for our area. Putting three large building where these two residence have stood would require variances

for site coverage, set back and height. Surely town houses could be built more suitable to the Gonzales area.

I would ask Council to send this plan back to the developer for some major changes.

Sincerely,

Daphne Schober

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:28 AM
To: Chris Coates; Christine Havelka; Colleen Mycroft; Noraye Fjeldstad
Subject: Fwd: 1712/1720 Fairfield Avenue

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:15:45 AM PST
To: Jim Jordan <[REDACTED]>
Cc: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Re: 1712/1720 Fairfield Avenue

Hello Jim,

Thank you so much for your email. I appreciate you taking the time to share your concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
[www.Facebook.com/CollinsLaurel](https://www.facebook.com/CollinsLaurel)
Twitter: @laurel_bc

From: Jim Jordan <[REDACTED]>
Sent: Monday, November 19, 2018 7:59 PM
To: Councillors
Subject: 1712/1720 Fairfield Avenue

Good Evening,

I think that this project should be rejected. It looks like a monstrosity in the artists's conception from Fairfield Avenue and also from Hollywood Park. 17 townhouses crammed into the space of 2 houses is not gentle density when viewed adjacent to Montague Court across the street (1-1/2 storeys vs. what is essentially 3 storeys,

squeezed up against Fairfield Avenue. I am especially incensed with the cutting down of ~50 trees to make way for this development, which are important in countering climate change. The roof treatment along Hollywood Park is out of place in a natural park setting, surrounded by trees, visited by people from all over the province for baseball tournaments and provincials.

The project should be redesigned to respect existing zoning esp. with regard to setbacks on Fairfield Avenue and Hollywood Park as well as height, building footprint/site area and parking. I would envision a more conventional row or court of townhouse clusters similar to Montague Court in height, and spaced to blend in with the existing neighbourhood.

Thanks

Jim Jordan

Tel: [REDACTED]

Email: [REDACTED]

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:29 AM
To: Chris Coates; Christine Havelka; Colleen Mycroft; Noraye Fjeldstad
Subject: Fwd: The Proposed "Rhodo" Development (1712 + 1720 Fairfield Rd)

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:17:03 AM PST
To: Matt Hansen <[REDACTED]>
Cc: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Re: The Proposed "Rhodo" Development (1712 + 1720 Fairfield Rd)

Hello Matt,

Thank you so much for your email. I appreciate you taking the time to share your concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
[www.Facebook.com/CollinsLaurel](https://www.facebook.com/CollinsLaurel)
Twitter: @laurel_bc

From: Matt Hansen <[REDACTED]>
Sent: Monday, November 19, 2018 7:57 PM
To: Councillors
Subject: Re: The Proposed "Rhodo" Development (1712 + 1720 Fairfield Rd)

To whom it may concern,

I am a homeowner a couple of blocks away from this proposed development and am writhing to give my opinion on this matter. Although I appreciate and admire the men attempting to follow through with this development, it seems to me the whole thing is just too much. It's too big, the design is unfitting, and the dense population will most certainly overflow into the Hollywood park taking over as a backyard for the proposed 17 townhomes.

I'm all for a similar development on a smaller scale with a more suitable design but unfortunately I'm sorry to say the current proposal just doesn't work in my opinion.

Thanks for your time and consideration to my thoughts.

Noraye Fjeldstad

From: Jocelyn Jenkyns
Sent: Tuesday, November 20, 2018 5:29 AM
To: Noraye Fjeldstad; Colleen Mycroft; Christine Havelka; Chris Coates
Subject: Fwd: Rhodo development

For Thursday

Sent from my iPhone

Begin forwarded message:

From: "Laurel Collins (Councillor)" <lcollins@victoria.ca>
Date: November 20, 2018 at 5:22:12 AM PST
To: Colleen Mycroft <cmycroft@victoria.ca>, Jocelyn Jenkyns <JJenkyns@victoria.ca>
Subject: Fwd: Rhodo development

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
www.facebook.com/CollinsLaurel
Twitter: @laurel_bc

From: Laurel Collins (Councillor)
Sent: Tuesday, November 20, 2018 5:20:30 AM
To: [REDACTED]
Subject: Re: Rhodo development

Hello Michael,

Thank you so much for your email. I appreciate you taking the time to share your concerns. I've also forwarded your email to City staff so it will be included in all the correspondence we have received and will be considering regarding this rezoning. I look forward to Thursday's meeting where we will discuss this application.

Thanks again,

Laurel

Laurel Collins
Victoria City Councillor
Email: lcollins@victoria.ca / Cel. 778-977-0977
www.facebook.com/CollinsLaurel
Twitter: @laurel_bc

From: [REDACTED]
Sent: Monday, November 19, 2018 4:24 PM
To: Councillors
Subject: Rhodo development

Dear Councillors,

I and our group are strongly opposed to the Rhodo development proposed for the area adjacent to Hollywood Park. It is very much out of sync with the ambience of the area and does not fully comply with local regulations.

Sincerely,

Dr. Michael Lewis.

Chairman: Fairfield Voters Group.

Monica Dhawan

From: Katherine Davies <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 4:39 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Katherine Davies

152 Olive Street; Fairfield

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: kurt filan <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 8:48 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

kurt filan

2235 Harlow Dr. victoria Bc

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: LYNNE PARTEL <[REDACTED]>
Sent: Monday, November 19, 2018 11:26 PM
To: Victoria Mayor and Council
Subject: Proposed Rhododendron development

Hello

I am writing to support the development of the Rhodo townhouse project on Fairfield road as I understand the proposal is to be presented to Council shortly

My husband and I are very interested in purchasing in this development as it appears to be sensitively planned and may provide affordable accommodation for us close to the Nursing home where our Mother resides and in a walkable neighborhood

Thank you for your consideration

Lynne Partel
[REDACTED]

Sent from my iPhone

Monica Dhawan

From: Mike Farley <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 7:39 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Mike Farley

1-1554 Gladstone ave

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Mike Fenger <[REDACTED]>
Sent: Monday, November 19, 2018 4:08 PM
To: Victoria Mayor and Council; Councillors
Cc: Alec Johnston
Subject: 1712 & 1720 Fairfield Rezoning - Nov 22nd COTW
Attachments: ARYZE Handout November 2018 copy.pdf

Dear Mayor and Council:

We live near the proposed development and have reviewed the ARYZE handout and understand a decision will be made on this on Nov 22nd. Please do not accept this proposal as it is.

It is not appropriate as it does not at all fit with the character what is currently carrying the ambience of this neighbourhood. The proposed development is too massive too high, has insufficient setbacks, we are unclear about parking. It will look too much like a concrete bunker strongly contrasting with nicer looking older well maintained homes. The project simply overwhelms the site as none of the features give a nod to the older adjacent homes. The entire length of Fairfield there is nothing that looks like this in existence. It is not as the proponent states giving shape to Fairfield community values it is flying in the face of them.

We support the concerns raised by our neighbor and which we restate below. We support suggested amendments, lower density, lower height, greater setbacks and basic changes in design to fit with not clash with the current housing in Fairfield.

Townhouses are supportable on this site. The Gonzales neighbourhood planning process has identified the need for more varied forms of housing, the site is on a transit route and is close to shopping and other services.

Wholly unsupportable is the proposed project developed by ARYZE:

Height/Massing

- proposed height is more than 50% above what is permitted under current zoning
- neighbouring homes adjacent to and across the street (Montague Court) are generally one to one and a half storeys, and will be dwarfed by the height and (as described in the Advisory Design Panel comments) "monolithic massing" of the proposed buildings

Setbacks

- the setbacks are insufficient, particularly when combined with the 3 storey facade that will tower over Fairfield Road/sidewalks, and over Hollywood Park
- proposed setback for the block adjacent to Fairfield Road is 1.68 metres (5.5 feet) rather than the required 7.5 metre (24.7 feet) setback
- the minimal setbacks provide no room for plantings to soften the mass and height of the buildings

Density

- 17 townhouses is too dense for the site (currently 2 single family homes)
- site coverage requested is 50% higher than current zoning permits
- proposed density results in insufficient breathing room between the 3 buildings, lack of open site and green space, and multiple variances required in order to cram 3 large buildings onto the site

Encroachment on Hollywood Park

- the development will tower over the park, and with no proposed separation or transition, usurps public space for private use and enjoyment

Design

- the strong urban architectural design is appropriate for downtown, but is not respectful of our residential neighbourhood; as described in the Advisory Design Panel comments, it is an "urban solution in a residential area".

I would respectfully urge **Council to direct the applicant to:**

- **eliminate the second/"double" row of townhouses;** a single row or small I-shaped development would be appropriate for the site, and the scale of this neighbourhood
- **reduce the height/# of storeys to 2 storeys** (consistent with the Official Community Plan, current Gonzales Neighbourhood Plan and zoning)
- **increase setbacks** (7.5 metres minimum to Fairfield Road)
- **provide a more appropriate and sensitive transition to Hollywood Park,** and
- **consider a design that better fits with and respects the Gonzales residential neighbourhood.**

Thank you for your time.

Mike Fenger and Valerie Hignett 511 Foul Bay Road.

Monica Dhawan

From: Rob Garant <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 10:14 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Rob Garant

1047 Tillicum Rd

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Rita Isaac [REDACTED]
Sent: Monday, November 19, 2018 9:08 PM
To: Ben Isitt (Councillor)
Cc: Victoria Mayor and Council
Subject: Rhodo Development

Dear Mr. Isitt,

I am writing in regard to the Aryze Rhodo Development plans being proposed to the Council of the Whole on Thursday, November 22.

I understand that there has been a vigorous Facebook campaign by Aryze encouraging support of their development plans.

I am writing to record my opposition and my family's opposition to these plans, which we feel need to go back to the drawing board.

I do not oppose more density in that location, but the immensity of the development does not fit in this area and the design characteristics also do not fit the surrounding area. It will be a horrible, unconscionable shame to lose so many mature trees to accommodate the size of this project. There is no indication in the plans that there will be a buffer between this development and the beautiful public park that is constantly in use by tennis, softball, baseball and T-ball players, by children and families playing in the park and having picnics, and by those who walk through the park on a daily basis. My family lives three blocks from this gorgeous park - my son plays tennis there regularly. I walk my dog there at least four times a week.

Aryze assisted the Together Victoria slate by supporting their website and twitter tools. You and councillor Loveday often have coffee at the Aryze development at Fairfield and Irving, near the proposed development. I don't know if I should think that there could be a conflict of interest in the votes for the Aryze Rhodo development at the Council of the Whole.

I respectfully ask that the Aryze proposals for the Rhodo project, as they are presently, be rejected, so that they can be redrafted to better suit the characteristics of this beautiful neighbourhood (respecting the integrity of Hollywood Park), and to also follow a more "gentle density" approach.

Sincerely,

Rita Isaac
348 Stannard Avenue

Monica Dhawan

From: Shobhna <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 4:23 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Shobhna

North Park

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Siddharth <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 4:24 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Siddharth

Uvic

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Tristan Story <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 10:15 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Tristan Story

6 - 920 Caledonia Avenue, Victoria, bc

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Vinit Jain <noreply@123formbuilder.io>
Sent: Monday, November 19, 2018 4:21 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Vinit Jain

North Park

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Anna Cal [REDACTED]
Sent: November 20, 2018 2:27 PM
To: Laurel Collins (Councillor); Sharmarke Dubow (Councillor); Ben Isitt (Councillor); Sarah Potts (Councillor); Jeremy Loveday (Councillor); Charlayne Thornton-Joe (Councillor); Lisa Helps (Mayor); Marianne Alto (Councillor)
Subject: ARYZE

Dear councillors,
Please do not buy into this tired argument again.
Please do not destroy neighbourhoods for the vague promise of affordability happening, may be, in 50 years from now.
Please require affordability now, right now, right on the premises of every new development that asks for rezoning.
Please, no more luxury developments. We do not need it.
Anna Cal
[REDACTED]

<https://twitter.com/TalktoARYZE/status/1064958872203386880>



Talk to ARYZE
@TalktoARYZE

Follow



If we build enough “luxury”
homes...eventually they just become homes.
Scarcity is what makes housing a luxury,
everything is a marketing term 😊

Lucas De Amaral

From: Anthony Danda [REDACTED]
Sent: November 20, 2018 9:35 AM
To: Victoria Mayor and Council; Lisa Helps (Mayor); Marianne Alto (Councillor); Laurel Collins (Councillor); Sharmarke Dubow (Councillor); Ben Isitt (Councillor); Jeremy Loveday (Councillor); Sarah Potts (Councillor); Charlayne Thornton-Joe (Councillor); Geoff Young (Councillor)
Subject: Rezoning application for 1712 / 1720 Fairfield

Dear Mayor and Council:

I oppose the application for 1712 / 1720 Fairfield for the following reasons:

- Current zoning is for 30% site coverage. The applicant is proposing 60%. That increase is completely unnecessary.
- Current building height zoning is 7.6 m to the mid point of the roof and they are proposing 11.45 m with a flat roof. Again, this increase is unnecessary and out of character with the neighbourhood.
- Current zoning for front yard set back is 7.5 m and they are proposing 1.68 m. Again, completely out of character with the neighbourhood.
- The OCP calls for 3 storeys on arterial and secondary arterial roads. Fairfield Road is neither. It is classified as a collector, which is lower than a secondary arterial.
- This development will create a 3-storey, 38' wall, 5 ½ feet from the front property line. The applicable bylaw states that "No part of any building shall be closer than 19.6 ft (6 m) from the street frontage" and "the average distance of the walls of a building facing the street frontage shall be not less than 24.6 ft. (7.5 m)." I see no justification for not following bylaw.
- The number of parking stalls will be to 22 spaces (Aryze's application wrongly indicates that 22 spaces is the minimum required; City staff have confirmed that 26 are in fact required).
- Over 50 trees will be cut down by the park to accommodate the development.

In general, I continue to struggle with the city's approach to development:

- What happened to the independent party that was to facilitate discussions between the applicant and the community to prevent the amount of iterations reaching the CotW and public hearing?
- What is the delay on updating the CAC policy? How much more rezoning will the city approve before ensuring developers are contributing an appropriate amount to compensate citizens for increased density? We're not reinventing the wheel. It shouldn't take this long to update such a critical policy.
- Why does Victoria have so many zones? Why can't you just follow the OCP?
- The loss of the city's tree canopy is dire. The tree bylaw needs updating to reflect the true value of a tree. And it is not 'greener' to cut down mature trees and replace them with smaller ones. I'd invite you to visit the development next to Moss Rock for an idea of a developer's green strategy. Sick, pathetic trees and shrubs that will never grow to what was once there.

Thank you,

Anthony Danda

1075 Pentrelew Place

Lucas De Amaral

From: Adam [REDACTED]
Sent: November 18, 2018 8:11 PM
To: Councillors
Subject: Fw: Rhodo Development 1712/1720 Fairfield.

Councillors:

Why is a proposal such as this even being considered, when it requires so many variances from what the accepted bylaws for residential development in this area allow for?

Case in point, the following are only the highlights of what the developer is asking for:

- Requesting 5.5 foot setbacks where the minimum required is nearly 5 times that;
- Requesting building heights more than 1.5 times the maximum height allowed; and
- Building on double the lot's maximum footprint allowed (60% vs 30%).

Our bylaws have been enacted as both a shield and a sword for our community - as a shield, they are to protect the character of existing neighborhoods, and as a sword, they are to prevent developers from running rough-shod over existing standards for the sole purpose of reaping a higher return on their investment than would occur otherwise.

Development is an ongoing necessity, but our bylaws should not be treated as lightly as this proposal would do. Our community means much more to the people who live here than this over-reaching development ever could.

Thank you in advance for your consideration of the above.

Adam Erickson

Adam Erickson [REDACTED]

From: Gonzales Neighbourhood Association <[REDACTED]>
Date: November 18, 2018 at 2:49:19 PM PST
To: Gonzales Neighbourhood Association [REDACTED]
Subject: Fwd: Rhodo Development 1712/1720 Fairfield.

Dear Neighbours,

Please see the attached flyer regarding the Rhodo development which is going to be discussed by Council on **November 22nd** (not a public meeting). We have a few

serious concerns about this development which will be 17 Townhouses adjacent to Hollywood Park.

We strongly urge you to contact your elected representatives by email at councillors@victoria.ca as soon as possible to express your thoughts on this proposal. The developer has already begun an aggressive campaign to influence council.



View from Fairfield Road

- There will be virtually no front yard for the units on Fairfield Road — the front setback will be 5.5' (1.68 m) whereas the current minimum is 24.5' (7.5 m).
- The 3-storey building facing Fairfield will be 38' (12 m) high, the current maximum is 25' (7.6 m). The development is 3 stories on Fairfield Road, even though it is classified as a 2 ½ story because of the area of the 3rd floor and the slope of the land.
- This development will create a 3-storey, 38' wall, 5 ½ feet from the front property line. The applicable bylaw states that "No part of any building shall be closer than 19.6 ft (6 m) from the street frontage" and "the average distance of the walls of a building facing the street frontage shall be not less than 24.6 ft. (7.5 m)."
- Currently, a rear yard should 30' (9.1 m) or at least 30% of the site depth (so for the Rhodo 60' on the west side), the Rhodo is asking for a rear setback of 20' (6.1 m). There is no delineation between the minimal patio space and the townhouses facing Hollywood Park. Aryze's own materials (distributed on November 8th) highlight this feature as follows: ***Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park."***

- The building footprint will take up 60% of the total site whereas the current maximum allowed 30%.
- The number of parking stalls will be to 22 spaces (Aryze's application wrongly indicates that 22 spaces is the minimum required; City staff have confirmed that 26 are in fact required).
- Over 50 Trees will be cut down by the park to accommodate the development.

Thank you,

GNA

Lucas De Amaral

From: Amanda Harby [REDACTED]
Sent: November 19, 2018 7:44 AM
To: Councillors
Subject: Rhodo development - Fairfield

Follow Up Flag: Follow up
Flag Status: Flagged

Rhodo Development - 1712 and 1720 Fairfield - for consideration on November 22, 2018
November 18, 2018

Dear Mayor and Councillors:

The 17-home Townhouse Project proposed at the above addresses has a number of issues that must be considered, amended and re-drafted if the project application is to go ahead:

It is a very large development on two building lots.

- it needs to be smaller in size, i.e.
 - less units
 - only 2 stories not 2.5 stories
- it needs to be set-back further from Fairfield Road
 - the cherry trees need to be protected on the boulevard.
 - Large trees should be considered for the complex to provide for urban forest renewal and ambience that fits with the neighbourhood and the adjacent public park.
- it needs to fit into the architectural setting of Gonzales Neighbourhood and therefore, it should be redesigned and referred to the City's Heritage Advisory Committee for review, as well as the Gonzales Neighbourhood.
- the property line between the complex and Hollywood park should include a Hedge or a line of Trees to preserve the park's integrity and not expose private yards to public areas and conversely, public areas to private yards.

Other considerations for the Developer and the City are:

- available child-care within the complex for home-owners
- **enough** plug-ins on site for e-bikes and e-cars in the underground garage
- incentives for units/homeowners **NOT** to have cars: car share, bus passes, bicycles, walking, etc. Street parking is at a premium at this location because of the park, (ball games etc) and because Thrifty's employees park along Fairfield. We need to look at lowering the carbon footprint in new ways and these types of incentives should be built into any development within the City of Victoria.

Thanks for your consideration.

Amanda Harby
920 Wilmer [REDACTED]
[REDACTED]

Monica Dhawan

From: Alison Sadler [REDACTED]
Sent: Tuesday, November 20, 2018 8:48 PM
To: Victoria Mayor and Council
Subject: Rhodo development proposed by Aryze

Dear Mayor and Council,

I am writing to express my concern for the upcoming proposal of the Rhodo development. I live in the immediate area and am NOT in favour of the proposal. The proposed development does not suit the neighbourhood at all. I am pro affordable housing, but this proposed new development is NOT affordable to many as the price point is incredibly high.

Thank you,

Alison Sadler

Lucas De Amaral

From: Bob June [REDACTED]
Sent: November 20, 2018 4:39 PM
To: Marianne Alto (Councillor); Ben Isitt (Councillor); Charlayne Thornton-Joe (Councillor); Lisa Helps (Mayor); Geoff Young (Councillor); Laurel Collins (Councillor); Sharmarke Dubow (Councillor); Sarah Potts (Councillor); Jeremy Loveday (Councillor)
Cc: gkmuir; SUSANNE RAUTIO
Subject: re 1712/1720 Fairfield Road Correction

Good Afternoon Councilors:

The CoTW Report for 1712/1720 Fairfield Road is incorrect.

It is important to note Fairfield Road is designated as a Collector in the OCP Urban Place Guidelines. It is Not Arterial or Secondary Arterial.

Therefore the generous forms, character, uses and FSR of up 1:1 of Arterial and Secondary Arterial are Not applicable.

The Traditional Residential form of up to two storeys, houses with front and rear yards oriented to the street, ground oriented residential including single, duplex and attached dwellings are applicable.

Bob June
Victoria

Lucas De Amaral

From: Barb McLauchlan [REDACTED]
Sent: November 19, 2018 11:25 AM
To: Councillors
Subject: Rhodo development 1712/1720 Fairfield

Hello Councillors,

This proposal needs to be reworked as it is taking up way too much space and is going to interfere with the neighborhood.

The proposal is too big, too close to the street and the park.

This is not the right place for a building of this size, and if you were familiar with the neighborhood, you would know that it is not the place for a 17 unit condo.

Please reject this proposal and perhaps the developer can build something half this size with the required setbacks or build it somewhere else. Thank you for your consideration.

Barb McLauchlan

DOES THE PROPOSED RHODO DEVELOPMENT NEXT TO HOLLYWOOD PARK FIT IN THIS NEIGHBOURHOOD?

Mayor & Council will be considering this proposal on November 22nd



View from Fairfield Road

A 17-home townhouse project is proposed for 1712 & 1720 Fairfield Road

- Units face Hollywood Park with minimal outdoor patio, and treating the park as its private yard
- 51 trees will be cut down
- Height of 37.6 ft/2.5 storey instead of the maximum 25 ft/2 storey allowed
- Units that face Fairfield have entries that open almost onto the sidewalk (front yard setback of 5.5 ft vs. the required 24.5 ft)
- Rectangular design is out of character and in stark contrast to existing buildings in the vicinity and the natural landscape of the adjacent park
- Only 22 parking spots instead of the required 26

Please write to council to reject the current design of this project and request that the developer consider a design that respects existing zoning, particularly in a location next to an important neighbourhood park. Write to Council at councillors@victoria.ca



View from Hollywood Park

Concerns

- The park is an important public space and is used regularly by locals as well as visitors from throughout BC attending little league or other sporting events; development must not “privatize” this public space.
- The ecology of this park, along with users’ experience, would be better protected by having an adequate buffer of 30 ft+ and a visual barrier to the development such as a tall hedge.
- Although the City's has zoning standards to limit the negative impact to neighbours and the community, this development proposes to significantly exceed a number of those limits.
- Preserving the tree canopy is important not just for esthetics but also to address climate change.

Having more housing diversity is important, but so is protecting neighbourhood parks for everyone’s use and maintaining the character of this unique neighbourhood. If you think more effort should go into the redesign this project, please write to Council at councillors@victoria.ca before November 22nd.

For more information and/or to sign-up for email updates, please go to www.gonzalesna.ca



MEWS ENTRY FROM HOLLYWOOD PARK

[Rhodo: 1712 + 1720 Fairfield Road]

ARYZE



November 08, 2018

Dear Fairfield-Gonzales Resident,

You are receiving this letter because our 17-home townhouse project, Rhodo, on the adjacent properties 1712 and 1720 Fairfield Road, is going to Committee of the Whole on November 22nd at 9:00 am at Victoria City Hall. We want to thank you for your positive support to date and provide this letter to explain how we have refined the design of the project. Rhodo intended to create the kind of sustainable middle density development, carefully positioned in relation to alternate modes of transit, that contributes to a vital, low carbon sustainable future envisioned for the City of Victoria.

CREATING A VILLAGE

Following from the urban design concept precedent of a small country town, the project is conceived as a small beach village. Entrances are oriented to the street edge or internal mews. Planters and vegetation mediate between the built form and site edges. Semi-private outdoor patios maintain visual connections to public spaces to allow for interactions between neighbours. The project is organized around a central mews to which all pedestrian routes lead. Each building cluster is limited in size and provides distinct visible entrances. Each entrance doubles as a semi-public hang out space in the spirit of the stoop on a traditional brownstone reinforcing social connections between neighbours.

GROUND ORIENTED TOWNHOMES

The proposed project is based on a ground oriented townhouse model. This housing type has a long history in the making of cities and towns and includes many significant historical precedents. Ground Oriented Townhouses such as the brownstone in New York City (US) or terrace house in Bath (UK) provide sustainable middle density living while providing the benefits of a single family house. In particular this housing type provides an "at grade" front entry door and the opportunity to have useable outdoor space for each home. The historic terrace townhouse model has recently been rediscovered. A number of exciting contemporary variations on the townhouse model have been explored in Europe. From an urban design and environmental standpoint, the ground oriented townhouse offers very liveable middle density housing compared to typical apartment buildings. This housing model has provided the venue for design innovation in recent years.

BUILDING SCALE

The proposed development consists of three independent townhouse clusters 2.5 storeys in height along Fairfield Road and 2.0 storeys behind. Each building cluster has an average footprint of approximately 260m² (2,800 SF) which is a comparable footprint to the older estate and character homes in the surrounding single family neighbourhood.

REINFORCING THE EXISTING CONDITION

The existing historic buildings opposite the site on the southeast side of Fairfield Road (Montague Court / Hollywood Corners) sit along the street edge with a reduced setback creating a point of intensity. The proposed development mirrors this condition across Fairfield Road to create an ensemble of urban buildings resulting in an urban node not unlike that of a British country village. In this way, old and new work together to create a new urban whole.

Front entry doors to the proposed development are oriented toward the street with areas of repose designed to encourage interactions between neighbours and passers by.

MATERIAL PALETTE

The beach village concept informs the material, colours and massing of the project. Cladding is simple washed cedar. Entrance walks, front doors and outdoor patio spaces are characterized by clear timber "boardwalks" complimenting the vertical cedar cladding. Windows and drain pipes are simple grey metal in keeping with the subdued palette. Simple planters with drought resistant planting provide a landscaped edge where buildings meet the ground.

RELATIONSHIP TO STREET + PARK

The ground oriented townhouse model has been used historically in the great pedestrian cities of the world. In the UK, parts of London and Bath are famed for their Victorian and Edwardian terrace housing. This housing type, provides an excellent street edge condition with visual connections to the townhome interiors and a semi-public outdoor space. This thickened edge at the building front allows for quiet spaces of repose where one can enjoy a morning coffee or stretch after an evening jog. Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park. The building facade in this location has two roles. It acts to mediate light and views from within but it also acts to frame and compliment the park's eastern edge. So too, the Fairfield Road facade in concert with Montague Court / Hollywood Corners across the street, creates a lively urban edge framing the new urban node that has been created. Key to the success of the project is the creation of engaging edges to both park and street, animating and framing the life of the neighbourhood.

SUMMARY

The proposed building gives shape to Gonzales's community values. It will fit in while being progressive; it will be built with traditional high-quality building materials that last; and it balances personal privacy and land values with quiet densification. The proposal's home sizes and variety will create housing for a variety of people and families, who will bring vibrancy and economic support to this walkable neighbourhood. The Aryze development team has worked hard to create a building that reflects contemporary Victoria while respecting its rich history.

Sincerely,



Ryan Goodman
Aryze Developments
ryan@aryze.ca



Luke Mari
Purdey Group
lmari@purdeygroup.ca

ARYZE





VIEW FROM FAIRFIELD ROAD

[Rhodo: 1712 + 1720 Fairfield Road]

ARYZE





CENTRAL MEWS

[Rhodo: 1712 + 1720 Fairfield Road]

ARYZE



Lucas De Amaral

From: Brandon Shelley [REDACTED]
Sent: November 18, 2018 2:55 PM
To: Councillors
Subject: Re: "Rhodo" development, 1712/1720 Fairfield.
Attachments: Rhodo Flyer Draft v.4.pdf; ARYZE Handout November 2018 copy.pdf

Hello, I **strongly** oppose this development as presented in the attached.

- Not enough parking to accommodate residents and guests, as well as existing neighbours.
- Far too many desperately needed trees being cut down.
- Massive buildings will destroy the look and feel of the park and neighbourhood.
- Fairfield and surrounding streets cannot support this much increased traffic. Drivers are already stupid enough when it comes to crosswalks and speeding along Fairfield; we don't need more traffic, and we need safer crosswalks and better driver education before it should even be considered.
- What about sewage and other infrastructure? Will the city invest in improving in the area? Doubtful. And doubtful that anyone will invest in the infrastructure *before* these developments go up.

Brandon Shelley
[REDACTED]
302 Irving Rd.

Lucas De Amaral

From: Carol Armstrong BA RMT [REDACTED]
Sent: November 20, 2018 6:30 PM
To: Councillors
Subject: Please review RHODO development

Dear Councillors,

While I support the need for affordable housing I strongly object to the proposed Rhodo development. It will neither be affordable to many people, and the box shaped unidimensional design is completely out of character to the surrounding neighbourhood buildings.

It does not adhere to current zoning bylaws, particularly with regards to height, and setbacks, and according to the drawing material sent out by Aryze, appears to have no visible boundary with the adjacent public park. In addition I understand that more than 50 trees will be cut down in this process, which seems like a large assault on our environment, particularly when we should be protecting green spaces, tree canopies and the animal species that rely on them, not adding to their demise. It has a domino effect.

It is also unclear to me how this will impact the tennis courts at Hollywood park - I would appreciate clarification.

The proposed front setbacks from the street of 5.5 ft vs 24.5 ft currently required by zoning in combination with the proposed 37.6 ft height will create an imposing, overshadowing structure that will dominate the skyline in a neighbourhood characterised by lower height buildings. An extra 11.6 ft of height is equivalent to a full storey in the surrounding homes. Simply put, it is too high and does not fit in this neighbourhood. In addition, this will negatively affect adjacent backyard gardens, reducing available hours of sunlight for growth of food.

The neighbourhood already struggles with demands for on-street parking due to current densification. Having fewer parking spots within the Rhodo than required by bylaw potentially magnifies on-street parking needs in the vicinity.

I would be in favour of a design that is more in character with the surrounding neighbourhood, while taking into consideration the concerns expressed above.

Thank you for your consideration,

Carol Armstrong

307 Beechwood Avenue

Lucas De Amaral

From: Catherine [REDACTED]
Sent: November 17, 2018 1:30 PM
To: Councillors
Subject: Vote NO for proposed rhodo development

Dear Mayor and council,

We are Gonzales residents and we are deeply concerned with the current rhodo development proposal. Gonzales is a historic family neighbourhood and much of its current charm comes from its heritage homes and thoughtful construction. This new development is NOT in keeping with the current Gonzales neighbourhood, and NOT in keeping with our current R1-G zoning (single family dwelling district) and sets a dangerous precedent going forward. The zoning should be respected. The building style does not suit the neighbourhood, the set backs of 5.5ft are not appropriate, there is not enough parking allocated (only 22 spots), many mature trees will be cut down, and the public neighbourhood park will be negatively impacted. This building development will in no way improve housing affordability as the units will be priced at a premium. I really don't see how this development project is a benefit to anyone except the developer's wallet. In order to represent the community, we hope you will help our concerns be heard. More effort must go into redesigning this project in order to be in keeping with the neighbourhood and respecting current bylaws in regards to setbacks and height. Thank you in advance for your thoughtful consideration. Please feel free to contact me to discuss this further.

Sincerely,

Catherine McCartney
(A concerned Gonzales resident)

Monica Dhawan

From: Chantal Meagher [REDACTED] >
Sent: Tuesday, November 20, 2018 2:12 PM
To: Victoria Mayor and Council
Cc: Geoff Young (Councillor); Marianne Alto (Councillor); Ben Isitt (Councillor); Jeremy Loveday (Councillor); Charlayne Thornton-Joe (Councillor); Laurel Collins (Councillor); Sharmarke Dubow (Councillor); Sarah Potts (Councillor)
Subject: Proposed Rhodo Development 1712/1720 Fairfield Road

Dear Mayor and Councillors:

Congratulations on your recent election. I look forward to seeing the direction in which you and your colleagues will lead Victoria over the coming years.

The purpose of this letter is to address the proposed Rhodo development in particular, but my questions are also much broader in scope. With apologies for the length of this message, I ask you to persevere to the end, as I have three very specific questions relating to rezoning and affordability that I am asking each of you to address.

The proposed development at 1712/1720 Fairfield Road would amount to an increase in density of 6-8 times that permitted in the current zoning. It proposes height, site coverage, and massing that would dwarf anything in the community. It would require the removal of over 50 mature trees. And I've not seen any reference to community amenities that would be provided to compensate the community for the significant allowances the developer is seeking. As currently proposed, I respectfully request that Council reject this proposal.

Another luxury development is very likely to further exacerbate the affordability crisis. In the public hearings regarding 1201 Fort Street, we heard many comments about the need for more housing, and how that development would lead through some sort of alchemy to more affordable housing. Before even breaking ground, these units are now listed from \$735,000 for a 2 bedroom unit to \$3 million for a penthouse.

The 1201 Fort Street development, which contributes no real amenities to the community, and will result in the loss of many significant trees, will succeed in only further pushing up property prices in the city. It constitutes a windfall to the developer at the cost of the community. It is also likely to further exacerbate the affordable housing crisis. The proposed Rhodo development ticks all of these boxes, as well.

According to affordability nexus studies, the creation of luxury units requires creation of approximately 20-40% affordable units to prevent the exacerbation of a housing affordability crisis. According to this rubric, the 1201 Fort development should therefore have required the creation of at least 18, and up to 35 affordable units. It did not. I beg Council to not make this same mistake again.

As the stewards of this city, I believe you have a responsibility to the people of Victoria to ensure that we do not go down the development road and resulting affordability crisis that Vancouver has travelled. At the start of your term, and before the spot rezoning frenzy begins again, I am asking each of you to advise your positions on the following:

1. based on what criteria would you support a developer's application for spot rezoning in a residential area? What extent of increased massing or tree loss or density increase would give you pause?

2. If you agree to rezoning to allow greater density, or greater height, or reduced setbacks, or removal of trees, or any other variances that are inconsistent with existing zoning or the provisions of a LAP, what amenity contributions will you demand from the developer in the form of

- a) compensation for increased costs to the city,
- b) amelioration of detrimental impact on the neighbourhood itself, and
- c) creation of affordable housing at a level commensurate with the increased demand these new units will generate?

3. What is your plan to address the crisis of affordable housing? On what scientific basis does it rely? Is it sufficiently robust to address the increased demands generated by the current boom in luxury housing?

I am aware that the issue of development, housing and density is complex, challenging and often divisive. On the one hand, your decisions have the power to create new housing that will benefit many people. On the other hand, injudicious use of this power can also have a profound negative impact on the nature of neighbourhoods, and the enjoyment of property by those who currently call a place home. For many, these homes represent the sum total of their life savings, and their investment - both financial and emotional - in family and home.

It is easy to dismiss concerns about development as 'NIMBY', but the use of labels can be dangerous and dehumanizing. Concerns about many of these development proposals arise from a natural impulse to protect one's home and family, and as a response to having the rules of the game arbitrarily changed for the benefit of a few. Do not assume that objections to extravagant development proposals also constitute opposition to creation of affordable housing, or to increased densification. I believe you will find that less grasping and more balanced proposals would be met with far less pushback, and would ultimately be of much greater benefit to the city.

Thank you for your attention. I look forward to your response, and wish you all the best in this challenging job.

Best,
Chantal Meagher
1347 Rockland Avenue

From: C Person [REDACTED]
Sent: November 17, 2018 1:37 PM
To: Councillors
Subject: No to rhodo development

Mayor and Council,

We are Gonzales residents and we are deeply concerned with the current rhodo development proposal. Gonzales is a historic family neighbourhood and much of its current charm comes from its heritage homes and thoughtful construction. This new development is NOT in keeping with the current Gonzales neighbourhood, and NOT in keeping with our current R1-G zoning (single family dwelling district) and sets a dangerous precedent going forward. The zoning should be respected. The building style does not suit the neighbourhood, the set backs of 5.5ft are not appropriate, there is not enough parking allocated (only 22 spots), many mature trees will be cut down, and the public neighbourhood park will be negatively impacted. This building development will in no way improve housing affordability as the units will be priced at a premium. We really don't see how this development project is a benefit to anyone except the developer's wallet. In order to represent the community, we hope you will help our concerns be heard. More effort must go into redesigning this project in order to be in keeping with the neighbourhood and respecting current bylaws in regards to setbacks and height.

C. Person

Lucas De Amaral

From: Chris Regehr [REDACTED]
Sent: November 18, 2018 8:43 PM
To: Councillors
Subject: Rhode Development by Hollywood Park

Re: Rhode development by Hollywood park

I live at 1647 Ross st

I believe that the design of this complex needs to be rethought. It involves cutting down over 50 trees, I'd out ivy character with the neighborhood, is truly class to the sidewalk, and lacks adequate parking. And this is not in any way suitable housing. I'm not impressed.

Kind regards,
Chris Regehr

Lucas De Amaral

From: C S [REDACTED]
Sent: November 18, 2018 3:29 PM
To: Councillors
Cc: gonzelesna@shaw.ca
Subject: Vehement Objection to Proposed Rhodo Development next to Hollywood Park

To City Councillors,

I would like to express my vehement objections to the proposed Rhodo development next to the Hollywood Park.

I find it ludicrous that as a home owner, living within four blocks of the proposed development, that I had to pay over a \$1000 for a registered surveyor to survey my house to make sure I was within the 25 ft bylaw for building height in order to be allowed to add living space in my existing attic. I had to do this for a building permit even though I would have done the renovations without changing the overall height of the building. I have also had bylaw officers show up to ensure my new fence was within bylaw limits (it was!).

I understand that the bylaws are there to ensure modifications and renovations fit within the character of the neighbourhood. That is why I have objections to allow the proposed development go ahead, breaking fundamental bylaws for the area such as overall height of the building, number of stories, and setback from the property line. How can the city on one hand, enforce the bylaws for individual home owners to preserve the character of a neighbourhood, while allowing developers to get away with variations that run completely counter to the character of the area?

You can already see where the enforcement of the bylaws, in particular the maximum height restriction, has driven the architecture of most new houses in the neighbourhood. The new houses tend to be flat roofed two story glass houses that maximize floor space for the restricted height but don't fit within the overall neighbourhood character. They are however still required to meet the bylaws!

I strongly request that the proposed development be sent back for redesign to fit within the current bylaws of the city, the same as individual home owners and taxpayers are required to do.

I will not get into the other factors such as proximity to the park itself, parking, tree preservation etc. as I am sure you will receive other input on these factors.

Thank you

C. Shawcross
205 St Charles Street
Victoria, BC, V8S 3M8

[REDACTED]

Monica Dhawan

From: Candice Wheeler <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 9:12 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Candice Wheeler

2804 cook st

Sent from TalktoAryze.ca, talk@talktoaryze.ca

From: Donna Ruppel [REDACTED]
Sent: November 18, 2018 3:43 PM
To: Councillors; Lisa Helps (Mayor)
Subject: 1712 & 1720 Fairfield Rezoning - Nov 22nd COTW

Dear Mayor and councillors

I am forwarding the following letter to you in reference to the 2712 and 1720 proposed development.

As a resident of Gonzales I feel it expresses my concerns and also the facts of the situation we are once more facing with Aryze.

Donna Ruppel
3-118 Robertson Street

Dear Mayor and Councillors

I am writing to voice my strong opposition to the infill development as currently proposed for 1712/1720 Fairfield Road.

Townhouses are supportable on this site. The Gonzales neighbourhood planning process has identified the need for more varied forms of housing, the site is on a transit route and is close to shopping and other services.

Wholly unsupportable is the proposed:

Height/Massing

- proposed height is more than 50% above what is permitted under current zoning
- neighbouring homes adjacent to and across the street (Montague Court) are generally one to one and a half storeys, and will be dwarfed by the height and (as described in the Advisory Design Panel comments) "monolithic massing" of the proposed buildings

Setbacks

- the setbacks are insufficient, particularly when combined with the 3 storey facade that will tower over Fairfield Road/sidewalks, and over Hollywood Park
- proposed setback for the block adjacent to Fairfield Road is 1.68 metres (5.5 feet) rather than the required 7.5 metre (24.7 feet) setback
- the minimal setbacks provide no room for plantings to soften the mass and height of the buildings

Density

- 17 townhouses is too dense for the site (currently 2 single family homes)
- site coverage requested is 50% higher than current zoning permits
- proposed density results in insufficient breathing room between the 3 buildings, lack of open site and green space, and multiple variances required in order to cram 3 large buildings onto the site

Encroachment on Hollywood Park

- the development will tower over the park, and with no proposed separation or transition, usurps public space for private use and enjoyment

Design

- the strong urban architectural design is appropriate for downtown, but is not respectful of our residential neighbourhood; as described in the Advisory Design Panel comments, it is an "urban solution in a residential area".

I would respectfully urge **Council to direct the applicant to:**

- **eliminate the second/"double" row of townhouses;** a single row or small l-shaped development would be appropriate for the site, and the scale of this neighbourhood
- **reduce the height/# of storeys to 2 storeys** (consistent with the Official Community Plan, current Gonzales Neighbourhood Plan and zoning)
- **increase setbacks** (7.5 metres minimum to Fairfield Road)
- **provide a more appropriate and sensitive transition to Hollywood Park,** and
- **consider a design that better fits with and respects the Gonzales residential neighbourhood.**

Thank you for your consideration.

Karen Ayers

613 Foul Bay Road

Lucas De Amaral

From: Daphne Schober [REDACTED]
Sent: November 19, 2018 9:17 PM
To: Councillors
Subject: 1712 & 1720 Fairfield Road

Dear Mayor and Council,

I am writing to let the council know of my concern about the Rhodo Development proposed for 1712 and 1720 Fairfield Road. I believe that what is planned is far too large for the size of the property and is completely inappropriate for our area. Putting three large building where these two residence have stood would require variances for site coverage, set back and height. Surely town houses could be built more suitable to the Gonzales area.

I would ask Council to send this plan back to the developer for some major changes.

Sincerely,

Daphne Schober

Lucas De Amaral

From: Daphne Wass [REDACTED]
Sent: November 19, 2018 1:12 PM
To: Councillors
Subject: opposed to Rhodo development at 1712/1720 Fairfield

To whom it may concern

I am alarmed to read about the proposed development at 1712/1720 Fairfield Road next to Hollywood Park, which is not in keeping with the neighbourhood and allows for a building footprint which will take up 60% of the total site and take away from the "greenspace". I am upset and opposed to this development being allowed to take out more than 50 trees.

It does not seem reasonable to allow for this development to essentially treat the adjacent public park as "its backyard" and not maintain greenspace within the development.

I urge you to consult with the neighbourhood and revise this development so it is more in keeping with the ambiance and character of the existing neighbourhood.

When is the neighbourhood going to be able to voice their concerns about this proposal?

Respectfully

Daphne Wass

954 Bank Street

Lucas De Amaral

From: DAVID WILKS [REDACTED]
Sent: November 21, 2018 7:45 AM
To: Councillors
Subject: Rhode development on Fairfield road

Council members

I would like to voice my objections to the proposed "Rhodo" development on Fairfield Rd. The proposed buildings are way too tall and too close to the sidewalk on Fairfield Rd. The artists depiction of the proposed buildings shows a edifice that looks more like a commercial office building than a welcoming home. The design is totally out of sync with the surrounding houses and the site coverage is very dense. I also think that there should be some screening of that patios that will apparently open onto the tennis courts. What's with the tennis courts not being shown on the site drawings of the proposed development? Does the developer know something that we don't know or is it just wishful thinking on his part that the tennis courts were not there. This development definitely gets a thumbs down from me.

Linda Park (a resident of the Gonzales neighbourhood)

Monica Dhawan

From: Elizabeth McKall <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 7:51 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Elizabeth McKall

161 Bushby St, Victoria

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Francisca Waring [REDACTED]
Sent: November 18, 2018 4:12 PM
To: Councillors
Subject: Townhouse development 1712 and 1720 Fairfield Rd

Hi,

My family and I reside at 1730 Fairfield rd and are writing to express our concerns around the proposed development on 1712 and 1720 Fairfield Rd. We are not in support of this development due to concerns around what will happen to the park in that it is a public space that will be used/considered private space to town house owners, the trees that will be cut down, concerns with street parking, increased traffic as Fairfield is busy and people already drive faster than the limit, we understand the developers are exceeding height requirement, and will not have enough parking. While I know housing is an issue in this city, this project will not be helping those families living in poverty to find affordable housing. It will only continue to widen the gap between social economic classes.

Thanks for your time and consideration.

Francis and Gerald
Sent from my iPhone

This letter was delivered to Mayor Help and Council, & Jocelyn Jenkyns, City Manager on May 15th, 2018.

Rezoning Application 1712 Fairfield Rd and 1720 Fairfield Rd Victoria BC (Folder Number REZ00618). The “Rhodo” POSSIBILITY OF CONFLICT OF INTEREST

Dear Mayor Helps and Council, and Ms. Jocelyn Jenkyns, City Manager,

Re: Possibility of Conflict of Interest, Mr. Ryan Goodman, Aryze Development Company, Rhodo Rezoning Application, Gonzales Neighbourhood Plan Rezoning Application 1712/1720 Fairfield Road.

This is a supplemental letter to be added to the the Fairfield Gonzales CALUC Report submitted in August 2017. Re: Rezoning Application 1712/1720 Fairfield Road, Victoria BC

Summary:

It has come to our attention that there is an appearance of conflict of interest with: Rezoning Application 1712 Fairfield Rd and 1720 Fairfield Rd Victoria BC (Folder Number REZ00618), known as the “Rhodo”. Specifically Mr. Ryan Goodman, a co owner of Aryze was a committee member of the Gonzales Working Group helping with the creation of the Gonzales Neighbourhood Plan at the same time he was seeking rezoning for the properties: 1712/1720 Fairfield Road in the Gonzales Neighbourhood.

The potential rezoning of this property could possibly bring a substantial financial gain for Mr. Goodman. This is at least an appearance of conflict of interest, in this case financial conflict. It is most important to avoid conflicts of interest, or the appearance of a conflict, to maintain confidence in municipal government.

Definition of Conflict of Interest:

<https://www.uvic.ca/vpacademic/assets/docs/COlexamples.pdf>

Conflicts of interest are not always obvious. A conflict of interest is any situation that might cause an impartial observer to reasonably question whether your actions are influenced by considerations of private interest. “Private interest” can include financial interests, interests related to your personal relationships, or interests related to your other outside activities.

The Aryze website describes Mr. Goodman’s job position: “co-owns ARYZE and helps manage the business and development efforts across Victoria.”

<http://aryze.ca/company/>

Aryze currently has a rezoning application at the City of Victoria called the Rhodo, located at 1712/1720 Fairfield Rd in the neighbourhood of Gonzales while the drafting of a new Gonzales Neighbourhood Plan is taking place.

<http://aryze.ca/property/rhodo/>

Mr. Goodman volunteered and participated on first the joint Fairfield Gonzales Working Group for the development of the Neighbourhood Plans and then continued volunteering on the

Gonzales Working Group while his company was pursuing a rezoning application for 1712/1720 Fairfield Road.

<http://aryze.ca/property/rhodo/>

In April 2018, City Planning Staff and The Gonzales Working Group, finally, (why did it take so long?) took the necessary steps to remove Mr. Goodman from the working group. However, this is too late, as the appearance of conflict of interest or a conflict of interest was not prevented.

It is most important to avoid conflict of interest or the appearance of a conflict of interest, to maintain or help regain confidence in the City of Victoria planning and rezoning processes. Therefore:

Recommendations:

1. The rezoning process for the “Rhodo” property be started again, right from the beginning due to Mr. Goodman sitting on the Gonzales Working Group during the time his company was seeking (and continues to seek) a rezoning application for 1712 and 1720 Fairfield Rd.
2. For Future City of Victoria Working Groups, Committees, etc. There is a need for the City of Victoria to have more stringent rules to avoid the conflicts and the appearance of a conflict, in order to maintain confidence in the political system. Future City of Victoria committees such as Advisory Groups, Panels, Boards etc. should specifically prohibit anyone with an active development permit application from participating in City committees that would result in a personal or company financial gain or at bare minimum a recusal when discussion on the area of potential conflict where the financial gain could be made.

Sincerely,
FGCA CALUC

Lucas De Amaral

From: Gillian Ellis [REDACTED]
Sent: November 17, 2018 11:52 PM
To: Councillors
Subject: 1712/1720 Fairfield Rezoning

Dear Mayor and Council,

I am writing to express my concern about the proposed development of 17 townhouses on two single family house lots on Fairfield Road.

The extraordinary decrease in set back, the enormous increase in height from what is allowed in the official community plan on property that is adjacent to a park is indefensible.

And where are all these people going to park? In that area we have a sports field, a park, an animal hospital, a care home for the elderly, an elementary school and just up the hill one more block, another care home and a major tourist attraction known as Abkhazi Gardens! Fairfield Road is already choc a bloc with cars. And this is supposed to be a family neighbourhood?

I had thought that you had heard enough from Gonzalez residents in the past few months to understand that we are not going to sit idly by and watch our neighbourhood destroyed.

Why do we have a plan at all if developers and council can ignore it at will?

Sincerely,
Gill Ellis

Sent from my iPad

Monica Dhawan

From: [REDACTED]
Sent: Tuesday, November 20, 2018 12:21 PM
To: Victoria Mayor and Council
Subject: Proposed Development of 1712 and 1720 Fairfield Road

Dear Mayor and Councillors,

I understand you are meeting to discuss the proposal to redevelop the two properties at 1712 and 1720 Fairfield Road. I would respectfully ask that you take into consideration my comments as a nearby resident as you discuss this proposal. My property backs on to the back yards of houses on Fairfield Road. It does not directly share boundaries with 1712 and 1720, but it is very close, and directly impacts my close neighbours.

My family has spent a lot of time in Hollywood Park in the eighteen years we have lived here; we have participated in community events on a number of occasions; we have taken visitors from out of town to the Park; and we regularly walk through the park to enjoy its tree and facilities.

We feel that this proposed development will significantly impact the character, usage and enjoyment of the park, which is a very heavily-used and well loved park for the Fairfield and Gonzalez neighbourhoods. The park welcomes visitors for provincial sporting events, and promotes Victoria and our neighbourhood at the same time.

The plan involves cutting down 51 trees, which goes directly against the City plans, and the neighbourhood planning that I have had the chance to participate in. I see no justification for this, and I see no equivalent benefits from the developer, other than cramming in a greater number of new residents.

The plan does not follow the City planning requirement to respect a neighbouring park, with a transition between the two. In this particular case, the pictures shown by the developer show almost a solid wall immediately next to the park itself, with minute furniture that makes the park appear to be the new property's back yard. The height proposed exceeds the maximum allowed by 2.5 feet. These combine to alienate park users, again with nothing from the developer to mitigate this, other than increased density. I find this unacceptable.

The "pictures" manufactured by the developer, some of which I have only just seen in the last few days, mis-represent the final product. This corresponds with the flowery language used in their marketing material, which is simply intended to mislead. I was born and raised in England. I heard and read the developer's claims that the development is in the spirit of an English village. That's pure nonsense. In their written material they also compare their development with the terrace houses in Bath, England. This not only contradicts the previous assertion, but is blatantly false. The Bath terrace houses, which are an architectural gem, are huge townhouses built for extremely wealthy people, and they have an enormous expanse of lawn immediately in front of them, to provide a natural barrier with "ordinary" people. Please do not be misled by the developer's claims.

The developer's claims of creating a "node" with the buildings on the other side of Fairfield Road are again nonsense, and smack of a seedy used-car salesman desperate to sell a poor vehicle to an unsuspecting customer. I would suggest a "tunnel" is more appropriate, as properties on the two sides of the road will have no real relationship. Their "pictures" show how close their front doors are to the sidewalk.

The developer's claims are an insult to the immediate neighbours, and to the neighbourhood in general. Their objective is to maximize the number of units it can possibly hold, and whatever City planning parameters can be bypassed, and they have nothing of substance to offer in return. Even the number of parking spaces is less than City requirements.

Hollywood Park is a City treasure, enjoyed by Victorians and visitors for decades. We can not allow commercial interests to take this from us. Replacing two single-family dwellings with units for seventeen families simply does not work. The Mayor's whimsical definition of "gentle densification" is not only meaningless and confusing to local residents, but it is an open invitation to developers whose only objective is to maximize profits.

Mayor and Council, by all means allow an increased density on these two properties, which can be supported, but not at such a great cost, with no return to the community. Please reject this proposal, but consider proposals that support and enhance the community.

Thank you for your consideration,

Graham Whitehead
1689 Earle Street
Victoria, V8S1N4

Monica Dhawan

From: Guy Whitman <[REDACTED]>
Sent: Tuesday, November 20, 2018 5:14 PM
To: Victoria Mayor and Council
Subject: Proposed Rhodo development, 1712/1720 Fairfield Rd.

I am writing to express strong opposition to the Rhodo townhouse development which I understand will come before Council next week. I have three main concerns:

1. The set-backs are much too short, so that the building fronting Fairfield Rd. is almost sitting on the sidewalk, or rather looming over it. The side facing Hollywood Park has the same problem. This is the result of too much density; there are just too many units in the proposal.
2. Aesthetically, not to put too fine a point on it, the proposed buildings are ugly. They look like huge concrete blocks designed by Stalin in the 1950's, very much out of character with the neighbourhood.
3. 51 trees will be destroyed to construct such a high-density project. We can ill-afford to lose so large a part of our urban forest.

In short, the project does not fit the neighbourhood, and should be re-designed with fewer units and reasonable set-backs. There is no good reason for ignoring all existing zoning requirements when none of these units, by any stretch, could be described as "affordable" or will help the people who really need decent housing and can't afford it.

Guy Whitman, 1950 Fairfield Place, Victoria

Lucas De Amaral

From: Helen [REDACTED]
[REDACTED]
To: Councillors
Subject: Rhodo Project on Fairfield Road

Good morning Councillors.

I am a resident of Gonzales and live on St. Charles St. very close to Hollywood Park/Fairfield Road.

I am writing to voice my strong encouragement to each one of you to please give further, measured consideration to the Rhodo Project at 1712 & 1720 Fairfield Road that is now before you.

Providing for increased density does not have to compromise the larger neighbourhood's ongoing sense of community. Neighbourhood is a strong part of the mandate put forward by and for our city: How this goal is accomplished is the challenge before you. Considerations must include the look and feel of buildings and vegetation, and their impact on the neighbourhood.

The current Rhodo Project proposal, if allowed, would be an out-of-sync design with the neighbourhood because of it's rectangular face looming 15 ft. higher than the peaked roof surrounding houses, and it's being much closer to the street with a 5.5 ft. setback rather than the 24.5 ft. of the houses. An additional aspect is that the development is predominantly inward focused, hindering larger community interaction -- something neighbours around here enjoy and foster.

I am also concerned about the lack of buffer between the private Rhodo Project and the public Hollywood Park. Whereas other homes around the Park have enclosed back yards, where even the presence of a discreet gate from their yard onto the Park has been in question from time to time over the years, it appears that the Rhodo residents, on the other hand, will be extended the privilege of using the Park as their personal yard because the developer is not providing adequate private space within the development. It appears that trees and bushes are being removed at the boundary to facilitate this. Please re-think this aspect of the plan. It is not community minded.

Parking, of course, is also a large issue. Currently, folks along Fairfield have clearly marked Residents Only Parking signage on parts of the street. Yet, even now many have ongoing problems finding parking. This is often attributed to folks who work at the nearby businesses, as well as those who come to enjoy the park as a family unit or a larger group or event. I have been advised that the Rhodo development is not providing adequate on-site parking. Again, please think about this impact on Hollywood Park and the neighbourhood.

You have important decisions to make.

Thank you for your time.

Sincerely,

H. Allan

192 St. Charles St.

Sent from my BlackBerry 10 smartphone on the TELUS network.

Monica Dhawan

From: Heather Cottrell <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 3:58 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Heather Cottrell

7-775 central Spur road, Victoria

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: [REDACTED]
Sent: November 18, 2018 12:51 PM
To: Councillors
Subject: 1712-1720 Fairfield Road development

Dear Mayor Helps and City of Victoria Councillors,

Please don't pass the current design of the proposed townhouses on this part of Fairfield. The design doesn't fit into the neighbourhood or at the very least it should have a larger setback at the front of more than 5.5 feet. Isn't the required setback 25 feet?

I'm not against parts of the development but it should go back to the drawing board for further design considerations.

Kind regards,

Heather Keenan
1825 Lillian Road
Victoria, BC V8S 1L5

TO: Mayor Lisa Helps and Council

Nov 20, 2018

From: Howard Waldner

Letter in Support of Development Proposal at 1712 - 1720, Fairfield Road, Victoria

I am writing to provide you with a letter of support in respect of the development proposal that will be heard by Council's committee of the whole on November 22th 2018.

I have been a resident of Victoria for many years, a resident of Rockland for over 12 years, and someone who is only too aware of some of the challenges and barriers involved in recruiting young professional families into our city because of a lack of affordable and proximate housing to our hospitals, and other industries.

As a long time resident of Fairfield and Rockland, I believe this proposed development to provide additional multi-family housing units in the Fairfield / Rockland area of Victoria is to be commended. I believe in recent years, there has been, a growing sense of entitlement exhibited by a small number of community individuals and "activists" in this community, whose sole aim, is to prevent the creation of multi family and more density of housing in this neighbourhood. It is my understanding that this development is in accordance with the approved community plan and as such should be welcomed by council, and as such should be supported.

There is both an existing and growing need for this type of modern and attractive multi unit family accommodation in this area and the areas close to the Royal Jubilee Hospital. I believe that the provision of the proposed townhomes, will offer a much needed and practical option for our young professional staff and their families, who are either working at the hospital or contemplating a move to work in our city at this location. Multi-family 2, 3 and 4 bedroom townhomes such as this in the area surrounding the hospital is extremely limited, and often simply not available to many of our more clinical and other staff members. As a result, many choose to live and work elsewhere. The provision of the townhouse options proposed, which are with easy walking or cycling distance, is particularly important for staff who are required to work a combination of day and night shift duties.

I commend council for seeking to provide higher density and so more affordable housing options such as this in Victoria, and so allowing families to live and work in our local community, as opposed to having to consider living and working in another city, or locate some distance away from work in greater Victoria, such as in the western communities. and incurring significant travel and related stress.

Sincerely

Howard Waldner

Howard Waldner

Formerly 1580 Despard Avenue, Rockland, and 1753 Gonzales Avenue in Rockland

Now 305- 405 Quebec Street, Victoria, BC V8V 4Z2

Lucas De Amaral

From: Itsmejoannab [REDACTED]
Sent: November 18, 2018 3:47 PM
To: Councillors
Subject: Rhodo Development concerns

I have looked at the proposed "Rhodo" development plans and have some serious concerns.

I live and own a home less than 2 blocks away and Fairfield Road along Hollywood park is a corridor I travel along daily - often walking to the grocery store or when I am heading downtown.

First, I am not opposed to townhouse developments in the proposed properties but what Azyre has put forward in their plans looks awful and in no way suits own neighbourhood. I have seen many other townhouse developments (for example along Shelbourne Street) and they look appealing and feel like they fit in neighbourhood - with comfortable setbacks and pleasing "home" like designs. What Azyre is proposing and the lack of setbacks will, in my opinion, be unsightly and overbearing and in no way suits our lovely community. I would say their density is also overzealous and needs to be revisited too.

I feel very strongly that our building bylaws need to be adhered to and the developer needs to design their developments accordingly. Their extra profits should not come at the expense of ruing the feel and culture of a neighbourhood.

Sincerely,
Joanna Betts

Sent from my iPhone with my "iThumbs" so please excuse typos!

Lucas De Amaral

From: jimboom1948 [REDACTED]
Sent: November 20, 2018 3:55 PM
To: Councillors
Subject: Re townhouses at 1712 and 1720 Fairfield Road

The this project doesn't fit into the exciting neighbourhood . The density is too large . I live in the area on Earle Place brought up our children at Holywood park. Now bring my grand children .

Sent from my Galaxy Tab® S2

Monica Dhawan

From: Jerry Farley <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 7:59 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Jerry Farley

3451 Carter Drive, Victoria Bc

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Jim Jordan [REDACTED]
Sent: November 19, 2018 8:00 PM
To: Councillors
Subject: 1712/1720 Fairfield Avenue

Good Evening,

I think that this project should be rejected. It looks like a monstrosity in the artists's conception from Fairfield Avenue and also from Hollywood Park. 17 townhouses crammed into the space of 2 houses is not gentle density when viewed adjacent to Montague Court across the street (1-1/2 storeys vs. what is essentially 3 storeys, squeezed up against Fairfield Avenue. I am especially incensed with the cutting down of ~50 trees to make way for this development, which are important in countering climate change. The roof treatment along Hollywood Park is out of place in a natural park setting, surrounded by trees, visited by people from all over the province for baseball tournaments and provincials.

The project should be redesigned to respect existing zoning esp. with regard to setbacks on Fairfield Avenue and Hollywood Park as well as height, building footprint/site area and parking. I would envision a more conventional row or court of townhouse clusters similar to Montague Court in height, and spaced to blend in with the existing neighbourhood.

Thanks
Jim Jordan
[REDACTED]

Lucas De Amaral

From: joannlawson [REDACTED]
Sent: November 19, 2018 5:49 PM
To: Councillors
Subject: Townhouse Devopment on Fairfield

I am in receipt of an email from the Gonzales Neighborhood Association, the content of which concerns me greatly.

This proposed development requires fairly significant variances in order to accommodate the construction as per the proposed plans.

I strongly object to the development of this plan as proposed. There is not enough green space allocated for the number of town houses on the lot itself, but rather seems to rely on the park as supplying front or backyard space.

There is not enough parking to accommodate the number of townhouses including guest parking. There is already a strain on parking in this area with the use of the park, & street parking needs to accommodate the community using the park.

The architecture if the plan itself doesn't fit in with the Neighborhood. Modern can still have style that is compatible with the neighborhood.

Individual residences seem to have a harsher variance process than developers. I believe developers need to be held accountable to the bylaw requirements in the same way as the city holds individuals. The requested front & back yard setbacks do not provide enough space green. I do not want to see another developer building that is as close to the sidewalk as the condo building on the corner of Richmond & Oak Bay Ave. There is no acceptable reason to give developers variances that do away with or drastically shrink the front yard bylaws for acceptable frontage.

Jo-Ann Lawson
848 Bank st.

From: Janice and Kevin [REDACTED]
Sent: November 20, 2018 1:20 PM
To: Councillors
Subject: Rhodo Development 1712/1720 Fairfield. Road

As a gateway into Gonzales, the neighborhood around Hollywood Park is unique; green filled, open and welcoming. The proposed “Rhodo” development by Aryze on 1712/1720 Fairfield Road would have a significant impact, detracting from the experience of those living here for decades to come. Some of the main issues with the proposal are:

- There will be virtually no front yard on Fairfield. Rather than the proposed 5 ½ feet, the front setback should be a minimum of 25 feet to be consistent with other properties and what is permitted under the existing zoning.
- The front of the building is too high and overpowering. Though the building is technically 2 ½ stories, the reality is the front face on Fairfield is 3 stories high. The side of the building facing Fairfield should be no higher than 2 stories, with a building height limited to 25 feet as permitted under the existing zoning.
- The rear yard is too narrow. The 20 feet setback should be a minimum of 30 feet (from all structures) and at least 30% of the site depth to achieve city standards.
- The public’s use of the park must be protected. An adequate buffer such as a tall hedge or fence is essential.
- There is not enough parking for owners and guests. The number of parking stalls is reduced to 22 spaces from the required 26 spaces under the new City parking requirements. Why would the City create new parking requirements and then grant a major variance in a location that already has parking congestion?
- The design is ill suited for its location and does not enhance or integrate with neighbourhood character. The proposed buildings are congested on the site. Most concerning is the 3-story wall face bordering the sidewalk along Fairfield.

The draft Gonzales Neighbour Plan for rezoning for townhouses (summer 2018) distributed by the City stated the template for all townhouse developments is a minimum 20-foot front setback, 30-foot (or at least 25% of lot depth) rear setback and 30% to 40% site coverage including auxiliary buildings (this project proposes 60%). The project is nowhere close to achieving these purported standards.

Most of us recognize that increased density is a reality. However, there is nothing appealing about this project and it will ultimately detract from, not enhance our neighbourhood. Rather than presenting a showcase for densification, the proposal creates a dangerous precedent for future land use in our neighbourhood.

It is challenging to have any level of confidence in meaningful community input on land use with the recent experiences around the Gonzales Neighborhood Planning process. Now we are facing a situation where a developer is trying to maximize every square foot of a site by eroding reasonable standards. We trust City Council will value the views of neighbors/residents of Gonzales and move forward towards declining the application by Aryze for 1712/1720 Fairfield Road.

Janice Linton and Kevin Warren
356 Robertson Street

Monica Dhawan

From: Jason Niles <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 4:29 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Jason Niles

131 Menzies Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Katie Armitage <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 1:17 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Katie Armitage

1631 Richardson Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Karen Ayers [REDACTED]
Sent: November 20, 2018 2:08 PM
To: Councillors
Cc: [REDACTED]
Subject: CALUC Meeting - 1712/1720 Fairfield

Dear Mayor and Council:

The CALUC meeting and report on this townhouse development was completed in August, 2017. Since that time the development proposal has changed substantially, such that the proposal the CALUC and neighbourhood commented on is not what has been submitted to Council for consideration on November 22nd.

By way of example, the proposal presented at the CALUC meeting had a 3 metre setback to Fairfield Road - that setback has now been reduced to 1.68 metres. The fencing that separated the row of townhouses adjacent to and therefore provided some buffer to Hollywood Park has been eliminated. The site coverage has increased (from 45% to 60%), the open site space decreased and building height increased.

The purpose of having a CALUC meeting is to inform the neighbours and to provide them with the opportunity to comment on a proposed development. Given these substantive changes, I would ask that Council consider directing this current application, with any changes made as a result of Council feedback provided on November 22nd, be submitted to the CALUC for a community meeting. The Gonzales neighbourhood should have opportunity to comment on what is now being proposed to be built in our neighbourhood, and Council should have the benefit of those comments prior to making a decision.

Respectfully submitted,
Karen Ayers

Lucas De Amaral

From: Ken Godwin [REDACTED]
Sent: November 20, 2018 8:15 PM
To: Councillors
Subject: Rhodo development

We live at the upper 200 block of Beechwood. We do not like the development proposed on Fairfield called "Rhodo". The proposal does not adhere to four separate requirements of the bylaws. Does this indicate that the developer has been assured prior to purchase that such a design, flouting byelaws to such an extent, would be approved by council? If this development is allowed would this be the precedent for rezoning to accommodate developers for future developments?

One concern also includes the ready access that residents of Rhodo (owners and renters) will have to the park to the extent that they may treat it and consider it as their own.

Mr. & Mrs. K Godwin

Sent from my iPad

Monica Dhawan

From: Laurie Farley <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 6:41 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Laurie Farley

3451 Carter Drive Victoria BC V8P 4V1

Sent from TalktoAryze.ca, talk@talktoaryze.ca

From: Lynn [REDACTED]
Sent: November 18, 2018 3:16 PM
To: Councillors
Subject: Fwd: CALUC Letter re Conflict of Interest
Attachments: FGCA_CALUC_Letter_1712_1720 Fairfield Rd.pdf

Dear Mayor and Council,

Further to my e-mail earlier today, I have attached a May 2018 letter from the Fairfield Gonzales Community Association CALUC to Council regarding the conflict of interest of one of the co-owners of Aryze in the neighbourhood planning process while also pursuing rezoning of the properties at 1720 & 1712 Fairfield Road. Here are some excerpts from that letter that I would like to highlight as it relates to my own observations, and would urge you to adopt the specific recommendations of CALUC:

Specifically Mr. Ryan Goodman, a co owner of Aryze was a committee member of the Gonzales Working Group helping with the creation on of the Gonzales Neighbourhood Plan at the same time he was seeking rezoning for the properties: 1712/1720 Fairfield Road in the Gonzales Neighbourhood.

The potential rezoning of this property could possibly bring a substantial financial gain for Mr. Goodman. This is at least an appearance of conflict of interest, in this case financial conflict. It is most important to avoid conflicts of interest, or the appearance of a conflict, to maintain confidence in municipal government.

In April 2018, City Planning Staff and The Gonzales Working Group, finally, (why did it take so long?) took the necessary steps to remove Mr. Goodman from the working group. However, this is too late, as the appearance of conflict of interest or a conflict of interest was not prevented.

It is most important to avoid conflict of interest or the appearance of a conflict of interest, to maintain or help regain confidence in the City of Victoria planning and rezoning processes.

Therefore:
Recommendations:

1. The rezoning process for the “Rhodo” property be started again, right from the beginning due to Mr. Goodman silng on the Gonzales Working Group during the Fme his company was seeking (and continues to seek) a rezoning application for 1712 and 1720 Fairfield Rd.
2. For Future City of Victoria Working Groups, Committees, etc. There is a need for the City of Victoria to have more stringent rules to avoid the conflicts and the appearance of a conflict, in order to maintain confidence in the political system. Future City of Victoria committees such as Advisory Groups, Panels, Boards etc. should specifically prohibit anyone with an active development permit application from participating in City committees that would result in a personal or company

financial gain or at bare minimum a recusal when discussion on the area of potential conflict where the financial gain could be made.

Sincerely,

Lynn Phillips



Lucas De Amaral

From: Lynn [REDACTED]
Sent: November 18, 2018 9:33 AM
To: Councillors
Subject: Rhodo/Aryze/Purdy Group

Dear Mayor and Council,

I am writing to you to express my thoughts and perspectives, as a concerned Gonzales resident, about the new Rhodo development proposal (1712 & 1720 Fairfield Road) and the behaviour of Aryze and Purdy Group (Luke Mari).

I am distressed to see that this company has started another spam, social media campaign – soliciting the online community to simply add their name, e-mail and street address, to auto fill an email letter of support for the Rhodo development, with very little information provided about the development, and regardless of where the person lives or whether they have a financial stake in the project. How does this approach support meaningful dialogue, particularly with those who will be most impacted by the project?

It is clear that this company has invested a lot of money into developing this project, and is aggressively promoting it through multiple avenues, including through a paid Facebook “sign here” campaign. This developer has also accused many community members expressing concerns about the project as being “NIMBYs.” It is clear that a primary driver for the developer is to maximize its profits, rather than carefully considering how to meaningfully address and minimize negative impacts to the existing community.

However, as elected representatives with a decision-making role regarding this development, I urge you to properly balance and consider all relevant factors when deciding whether this proposal should proceed or not on November 22nd.

Please consider that the Rhodo development will be intrusive to immediate neighbours, the neighbourhood and Hollywood Park. It does not fit in with the aesthetic and character of the neighbourhood. It will leave the park and area in shadow and will destroy over 50 trees to do it. It does not provide enough parking which will impact neighbours and those using the park as many of them come from out of town and other areas of the city for games, to play tennis to visit the hospital, Gonzales Beach, Dallas Road and the cemetery. The developer has designed the townhouses in a way that uses the park as its own backyard and public streets as its parking lot so that they do not have to meet the mandated zoning requirements.

[The developer appears to be promoting this project as supporting increased housing, but these luxury townhomes will not contribute to affordable housing in Victoria. Based on data from Statistics Canada, even with 10% down, 94% of the households of Victoria who don't ALREADY own a home in Victoria will not be able to afford to live in these units and will not qualify for a mortgage.](#)

To meet the objective of increasing affordable housing, I respectfully ask that you consider alternative proposals. For example:

Existing Lot 1 - valued according to BC Assessment at \$800,000. Almost 7,000 sq ft with 1,400 house.

Two families, in a collaborative home buying arrangement, can purchase the property together, have it raised and renovated and converted to a duplex with City support. Renovation costs equal approximately \$300k. The result would be 2 homes on an almost 7000 square-foot lot, with two 1400 ft.² units with private yard space each, \$550k per unit.

Existing Lot 2, almost 19,000 ft.² - valued according to BC Assessment at \$1,166,000.

Build a 7-unit attractive townhouse with an appropriate character with a footprint in the range of 6,000 ft.². 32% of the lot space. 11,200 - 12,000 ft.² total. Building cost of ~\$250 per square foot, which would be approximately \$2.8 million. The total cost with land would be under \$4 Million.

If the developer sells each unit for \$1.1 million each they would make approximately \$7.7 million on the deal, basically a **100% profit**.

The result would be, seven unaffordable units and 2 affordable units. In contrast, the current proposal would provide no affordable units and 17 unaffordable (luxury) units.

One final concern I would like to raise is that the developer's employees are attending community gatherings/discussions, expressing their support for the development and his/her ability to afford specifically a unit in this townhouse development, without first disclosing his/her connection to the developer. This occurred at a "meet and greet" at the Fairfield Community Centre and the speaker was subsequently discovered by community members to be an employee of Luke Mari. This has added to the mistrust in the community with respect to the integrity of the developer. I think it is only ethical that anyone who has a financial, business, employee or personal relationship with the developer, should disclose that relationship if speaking at a community gathering about the development, and particularly when communicating with Mayor and Council. To not enforce this would create mistrust with the community, and a belief that decisions being made by Council are not fairly made.

Thank you,

Lynn Phillips

██████████

Monica Dhawan

From: [REDACTED]
Sent: Tuesday, November 20, 2018 9:07 PM
To: Victoria Mayor and Council
Subject: Proposed Development at 1712 & 1720 Fairfield Road

The proposed “Rhodo” development at the above noted location is scheduled to be considered by the Committee of the whole on Thursday November 22nd.

In this regard, I wish to voice my strong objection to the proposal as currently presented .

In my view, the developer is exploiting the adjacent PUBLIC park and trying to utilize “public” park space for his residences instead of providing adequate private open space on the subject site.

The proposed development also results in the removal of a significant number of trees contrary to the intent of the Urban Forest Management Plan and results in the loss of an important landscape buffer between private property and the open , and heavily used, public park.

The proposed development is out of character with the surrounding area in terms of form and scale and does not reflect design characteristics of adjacent buildings nearby.

While the proposal provides 17 units , none of these will end up being “affordable housing” for families and on the contrary will likely increase housing costs in the area.

In concert with the “gentle density” principles that Council is aware of and agreed with, this development site would be better utilized by building duplex dwellings with suites.

Such a development would better suit families as there would be more opportunity for private yard spaces both front and back and the units would likely be far more affordable in “duplex” form than what is proposed here. I would suggest that the site would likely be able to accommodate at least 12 units AND be able to provide needed outdoor space without relying on (and negatively impacting on)the adjacent public park. I use that park frequently, as do many residents in and around the area, and this development will significantly impact the ambience of this open space .

In conclusion, I would again reiterate my strong objection to the proposed development in its current form . I believe the proposal needs to go back to the drawing board to better respect the design principles of gentle density, better respect the surrounding area in terms of scale, built form and design and better respect the adjacent PUBLIC park space.

Respectfully submitted,
Lynne Rippon
1538 Brooke Street

Lucas De Amaral

From: therittenhouse [REDACTED]
Sent: November 19, 2018 9:55 AM
To: Councillors
Subject: Proposed development of 1712 & 1720 Fairfield Rd

I am not in favour of this development:

It does not follow zoning standards, really density, height, setback from Fairfield Rd. It is too big too much for this area.

There is not sufficient owner/visitor parking. There is current pressure on parking from employees working at the nearby plaza, current residents and accommodating the great events at the park..

I don't understand the direct access to the Hollywood Park and it's impact. How was this direct access obtained?

The boxy design is not pleasing to the eye.

Let's have development within zoning and appropriate to our little village.

Sincerely
Laurence Rittenhouse
225 Wildwood Ave [REDACTED]

Sent from my Samsung Galaxy Tab® S

Lucas De Amaral

From: lynne shields [REDACTED]
Sent: November 19, 2018 10:57 AM
To: Councillors
Subject: townhouse proposal 1712 and 1720 Fairfield Rd.

To all the councilors:

In considering this proposal, please refer back to our existing community plan for Gonzales (2002). This plan, initiated and guided by city council and a city planner, with extensive input, feedback, and ultimately approval by the residents of Gonzales, has very specific guidelines for any new development in our neighbourhood. This proposal does not at all fit into the character of this neighbourhood. This is a thriving, settled, established community of families who cherish our gardens, trees, and parks. If you read our neighbourhood plan you will get a sense of who we are. You may not know that, since that plan was approved, our density has increased by 20%. And it happened in a relatively organic way that suits the neighbourhood. However, this plan has often been ignored by council as developers have been allowed to tear down affordable houses to replace them with houses that do not fit the zoning guidelines or the character of the neighbourhood and are generally sold for at least two or three times the cost of the house that was removed. Also, at least one duplex that was in very good shape was allowed to be torn down and replaced by a large single family home (contrary to the city's desire for densification).

Densification can be promoted in parts of the city that need revitalization, and in places where trees are not needing to be taken down.

Please continue to work for more 'affordable housing'. This term 'affordable housing' is a very relatively new term. There have always been houses that only the rich could afford, and the rest was just housing for the general population.

This term now ASSUMES that the majority of housing being built on 'spec', is NOT affordable for most people. We need to move beyond this mentality. I hope this council will begin to turn things around. We need real homes for real families.

Sincerely,

Lynne Shields 362 Richmond Avenue

,

Karen Sidhu

Subject: FW: Rhodo development

From: [REDACTED]

Sent: Monday, November 19, 2018 4:24 PM

To: Councillors

Subject: Rhodo development

Dear Councillors,

I and our group are strongly opposed to the Rhodo development proposed for the area adjacent to Hollywood Park. It is very much out of sync with the ambience of the area and does not fully comply with local regulations.

Sincerely,

Dr. Michael Lewis.

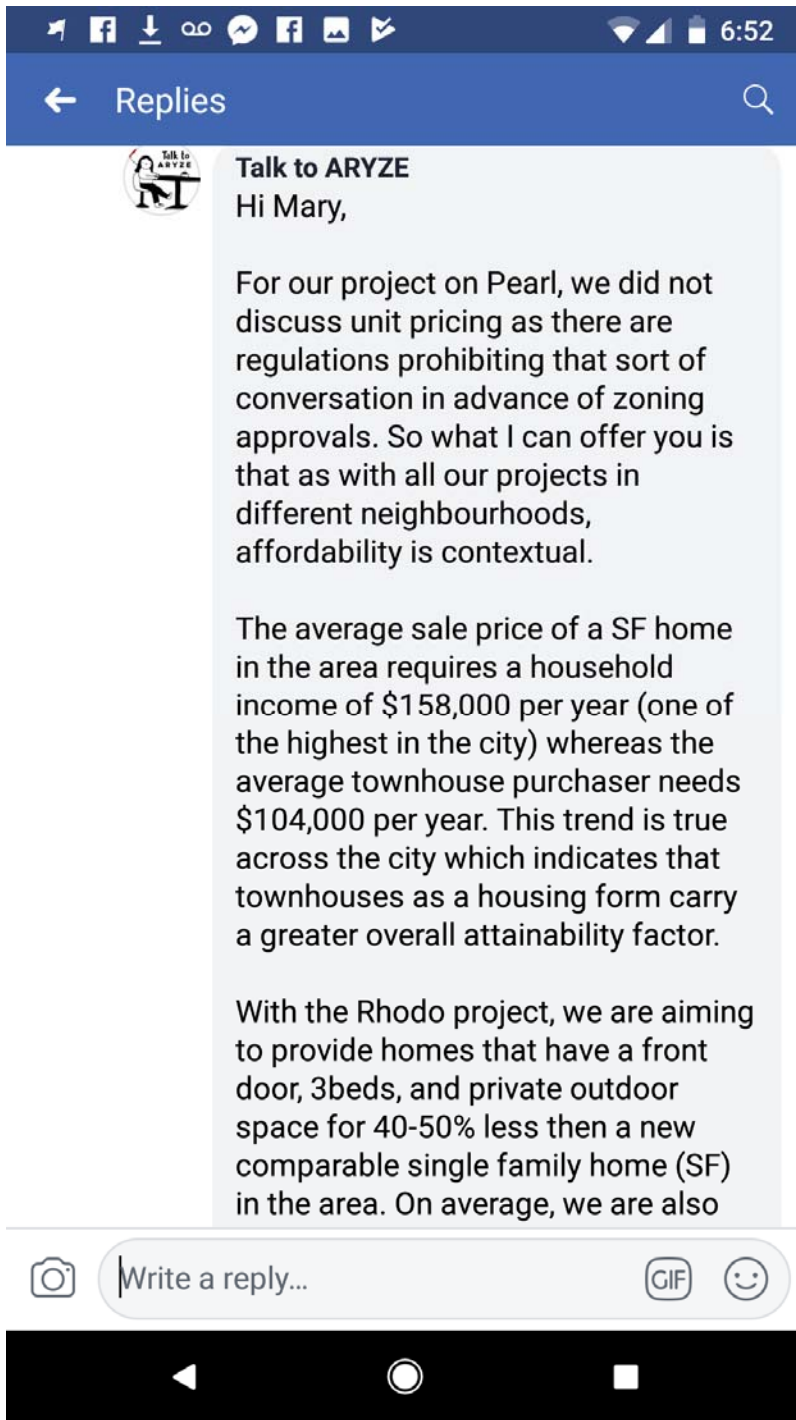
Chairman: Fairfield Voters Group.

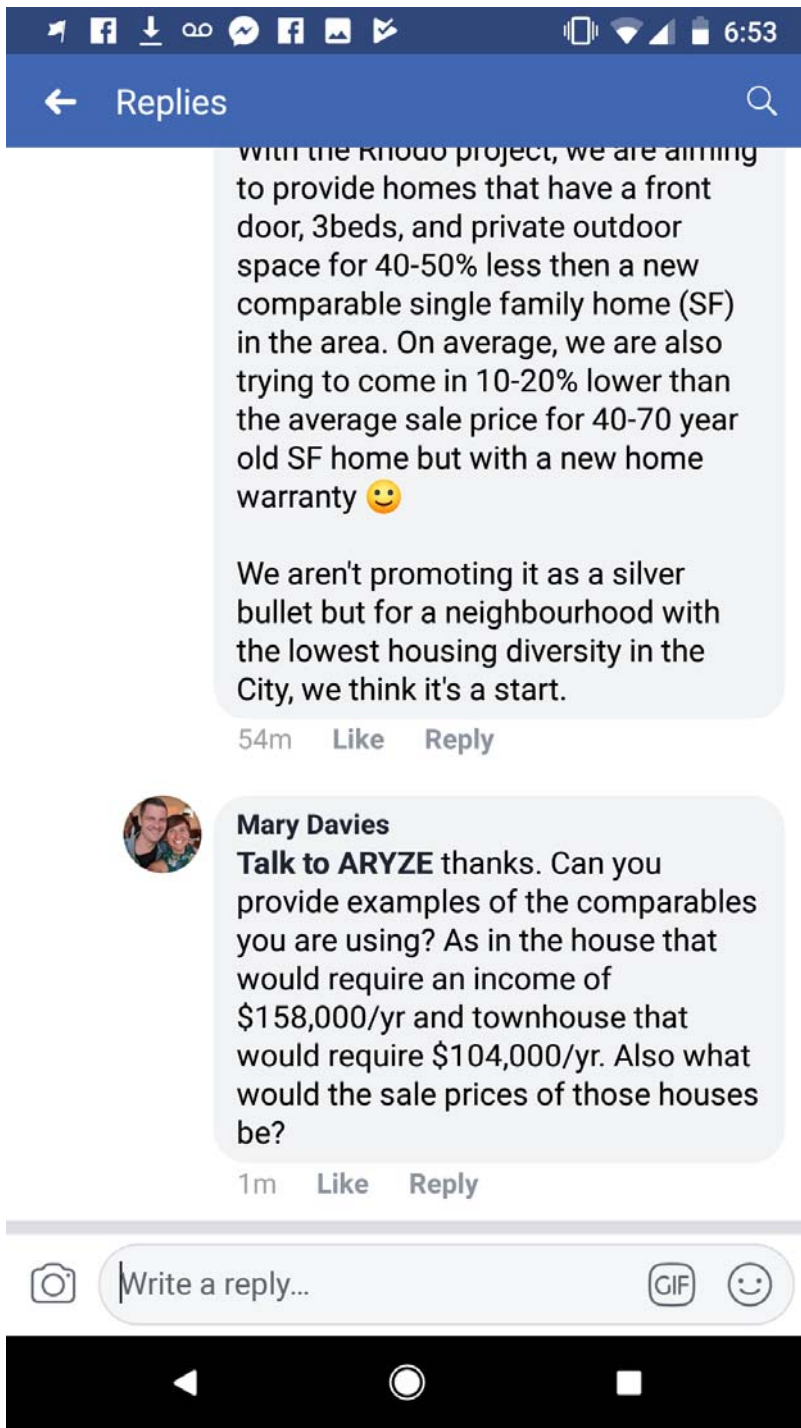
Monica Dhawan

From: Mary Davies [REDACTED]
Sent: Tuesday, November 20, 2018 1:14 PM
To: Victoria Mayor and Council; Councillors; Sharmarke Dubow (Councillor); Laurel Collins (Councillor); Jeremy Loveday (Councillor); Ben Isitt (Councillor); Marianne Alto (Councillor); Charlayne Thornton-Joe (Councillor); Geoff Young (Councillor); Lisa Helps (Mayor); Sarah Potts (Councillor)
Subject: Rhodo Development - Additional information regarding pricing

Hello Mayor and Council,

I apologize that I didn't include the screenshots below where Aryze states the pricing for these units that I mention in the email I sent shortly ago with the subject line "Rhodo Development at 1712-1720 Fairfield Road" (A copy of that email it is included with this email).





would require \$104,000/yr. Also what would the sale prices of those houses be?

1h Like Reply



Talk to ARYZE

Hi Mary, these are actual rolling 18 months of sales data that have taken place in the neighbourhood, by housing type.



58m Like Reply



Mary Davies

Talk to ARYZE so based on what you've said you're aiming to price a 3 bed at this development somewhere between \$440,000-\$550,000?

1m Like Reply

Replies



1h Like Reply



Mary Davies
Talk to ARYZE so based on what you've said you're aiming to price a 3 bed at this development somewhere between \$440,000-\$550,000? Which would be 40%-50% below the \$1,200,000 single family home in your image

6m Like Reply



Mary Davies
Talk to ARYZE or are you saying that \$1,200,000 home is the 40-70 year old home you're saying you'd price 10%-20% below making the 3bed at your development sell more around \$980,000 - \$1,090,000?

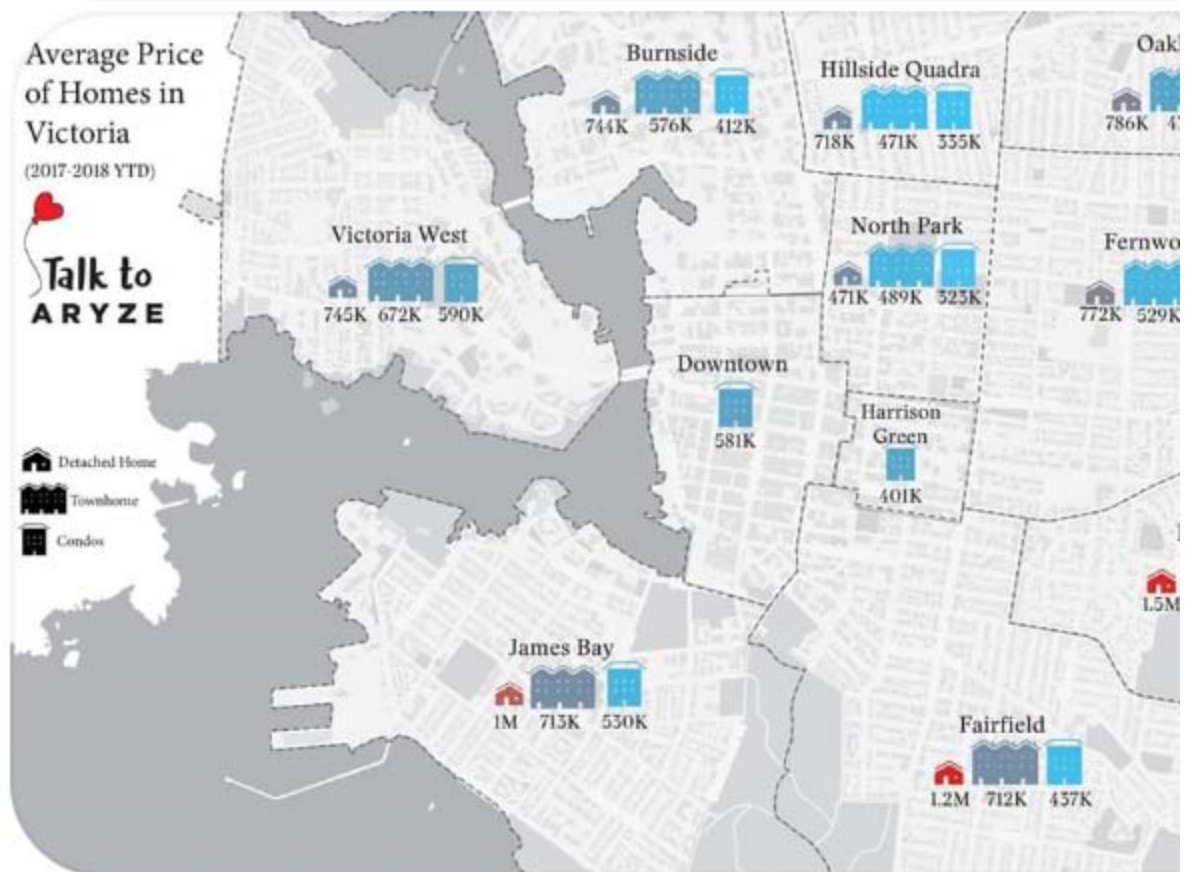
Just now Like Reply

Talk to ARYZE



Talk to ARYZE

Hi Mary, these are actual rolling months of sales data that have taken place in the neighbourhood, by housing type.



Again, as noted in my email regarding this property, I recognize my math was off a bit on this conversation, the numbers should have been \$880,000 - \$990,000 ... you'll also note that the average townhome cost of \$727,000 is significantly below their price of \$880,000 - \$990,000. As an additional note, when Aryze hosted a community meeting on this project going back over a year ago they at that time referred to these as "affordable" townhomes and when pressed for pricing at that point said they would likely start at \$800,000 ... it seems they are increasing that number now.

Sincerely,
Mary Davies

[illegible]

Next a major concern I have is the fact that Aryze (despite community feedback at a meeting I was at when they presented this to the community) is wanting to sell our public Hollywood Park as a recreational space for this development. You can see a great example of that on their website as shown below



ARYZE



Personal item placed in the park

Relationship to Street + Park

The ground oriented townhouse model has been used historically in the great pedestrian cities of the world. In the UK, parts of London and Bath are famed for their Victorian and Edwardian terrace housing. This housing type, provides an excellent street edge condition with visual connections to unit interiors and a semi-public outdoor space. This thickened edge at the building front allows for quiet spaces of repose where one can enjoy a morning coffee or stretch after an evening jog. Along the Hollywood Park side of the site, units give on to outdoor patios with steps down to the park. The

Another concern is parking. I am unsure of their parking plans but I assure you there is no room for on street parking as things stand today. Our street being so close to Fairfield Plaza has become the staff parking for that plaza, additionally being that the park hosts not only regular baseball and soccer games they also host major tournaments throughout the year. As a long time resident on this block I will say that parking is already very stressed and there is literally no room on the street to add any more cars.

Next I would like to address how the look of this development in no ways fits the neighbourhood and the surrounding homes. It sticks out like a sore thumb and does not add any value to the overall feel of this neighbourhood, something that most of the long term residents I've chatted with very much cherish and wish to preserve.

I am very concerned with the number of trees that would be removed if this development were to be approved. As a city that is environmentally aware I can't believe that the amount of green space that would be lost here is even up for consideration. One of the major perks to yard space is they actually help with drainage and the overall health of the environment around it. If this development is built we will be losing a very large chunk of what is currently a very green space.

The set back from the street is another issue I'd like to bring up. It is clear in yet another image from the website that this development intends to use public city space as their own green space/yard. They are needing to do this as they have not created any yard space in either the front or the rear of these units from what I can see. Please see the image below



ARYZE



Further on that subject on their website they state "The project is organized around a central courtyard to which all pedestrian routes lead." Please see the image below



I think this is what they are referring to as a "courtyard",
I think it's better called a walkway.

Project Overview

Last but not least, this development does not adhere to the current Gonzales neighbourhood plan. I am sure I don't need to outline all of the ways that it doesn't fit as you have access to that document yourselves.

I hope that you will be listening more to residents in this neighbourhood as opposed to those from other parts of the city or from outside of the city. Aryze has had 5 ads running on Facebook asking people to send their form email to you to show support of the development, I assure you many of those will not be from people who actually live here.

Please see below the 7 ads that I found on Facebook requesting that people fill out their form email



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Sincerely,

Mary Davies

Monica Dhawan

From: Mary Davies <[REDACTED]>
Sent: Tuesday, November 20, 2018 12:04 PM
To: Victoria Mayor and Council; Councillors
Cc: Lisa Helps (Mayor); Ben Isitt (Councillor); Jeremy Loveday (Councillor); Geoff Young (Councillor); Marianne Alto (Councillor); Laurel Collins (Councillor); Sarah Potts (Councillor); Sharmarke Dubow (Councillor); Charlayne Thornton-Joe (Councillor)
Subject: Rhodo Development at 1712-1720 Fairfield Road

Dear Mayor and Council,

As a resident that lives at 1615 Fairfield Rd the proposed development by Aryze at 1712 - 1720 Fairfield Rd named "Rhodo" is very concerning to me. Please see below a list of reasons why I cannot support this development in any way.

The price point that Aryze has noted is that they would be aiming for 10%-20% below the going rate for a new build single family home in the area - this means that the going price for a unit in this development would be around \$880,000 to \$990,000 (please note in my earlier email that I sent in regards to Aryze I noticed my math was off a bit, I apologize for the confusion). I do not believe that more million (or close to million) dollar homes is what this city or my neighbourhood needs ... especially when it's not a single family home but rather a townhouse that has no yard. I don't know what the price per square foot would be on this development (and I suggest you ask the developer that question) but I assume it would set a new high for price per square foot in the neighbourhood. Gentrification is a major concern and as this area already boasts such high prices, something like this will only push them higher. As someone who has lived in a rental home in the neighbourhood for close to 15 years I will say that developments like this will encourage owners to sell older rental houses to developers ... I don't blame them, their home is an investment, but is that what you want to encourage?

Next a major concern I have is the fact that Aryze (despite community feedback at a meeting I was at when they presented this to the community) is wanting to sell our public Hollywood Park as a recreational space for this development. You can see a great example of that on their website as shown below



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ARYZE



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Last but not least, this development does not adhere to the current Gonzales neighbourhood plan. I am sure I don't need to outline all of the ways that it doesn't fit as you have access to that document yourselves.

I hope that you will be listening more to residents in this neighbourhood as opposed to those from other parts of the city or from outside of the city. Aryze has had 5 ads running on Facebook asking people to send their form email to you to show support of the development, I assure you many of those will not be from people who actually live here.

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Thanks for taking the time to consider my concerns. I urge you to deny the application put forth to you from Aryze for the Rhodo development.

Sincerely,

Mary Davies

Lucas De Amaral

From: Mike Fenger [REDACTED]
Sent: November 19, 2018 4:08 PM
To: Victoria Mayor and Council; Councillors
Cc: Alec Johnston
Subject: 1712 & 1720 Fairfield Rezoning - Nov 22nd COTW
Attachments: ARYZE Handout November 2018 copy.pdf

Dear Mayor and Council:

We live near the proposed development and have reviewed the ARYZE handout and understand a decision will be made on this on Nov 22nd. Please do not accept this proposal as it is.

It is not appropriate as it does not at all fit with the character what is currently carrying the ambience of this neighbourhood. The proposed development is too massive too high, has insufficient setbacks, we are unclear about parking. It will look to use too much like a concrete bunker strongly contrasting with nicer looking older well maintained homes. The project simply overwhelms the site as none of the features give a nod to the older adjacent homes. The entire length of Fairfield there is nothing that looks like this in existence. It is not as the proponent states giving shape to Fairfield community values it is flying in the face of them.

We support the concerns raised by our neighbor and which we restate below. We support suggested as suggested amendments, lower density, lower height, greater setbacks and basic changes in design to fit with not clash with the current housing in Fairfield.

Townhouses are supportable on this site. The Gonzales neighbourhood planning process has identified the need for more varied forms of housing, the site is on a transit route and is close to shopping and other services.

Wholly unsupportable is the proposed project developed by ARYZE:

Height/Massing

- proposed height is more than 50% above what is permitted under current zoning
- neighbouring homes adjacent to and across the street (Montague Court) are generally one to one and a half storeys, and will be dwarfed by the height and (as described in the Advisory Design Panel comments) "monolithic massing" of the proposed buildings

Setbacks

- the setbacks are insufficient, particularly when combined with the 3 storey facade that will tower over Fairfield Road/sidewalks, and over Hollywood Park
- proposed setback for the block adjacent to Fairfield Road is 1.68 metres (5.5 feet) rather than the required 7.5 metre (24.7 feet) setback
- the minimal setbacks provide no room for plantings to soften the mass and height of the buildings

Density

- 17 townhouses is too dense for the site (currently 2 single family homes)
- site coverage requested is 50% higher than current zoning permits
- proposed density results in insufficient breathing room between the 3 buildings, lack of open site and green space, and multiple variances required in order to cram 3 large buildings onto the site

Encroachment on Hollywood Park

- the development will tower over the park, and with no proposed separation or transition, usurps public space for private use and enjoyment

Design

- the strong urban architectural design is appropriate for downtown, but is not respectful of our residential neighbourhood; as described in the Advisory Design Panel comments, it is an "urban solution in a residential area".

I would respectfully urge **Council to direct the applicant to:**

- **eliminate the second/"double" row of townhouses;** a single row or small I-shaped development would be appropriate for the site, and the scale of this neighbourhood
- **reduce the height/# of storeys to 2 storeys** (consistent with the Official Community Plan, current Gonzales Neighbourhood Plan and zoning)
- **increase setbacks** (7.5 metres minimum to Fairfield Road)
- **provide a more appropriate and sensitive transition to Hollywood Park, and**
- **consider a design that better fits with and respects the Gonzales residential neighbourhood.**

Thank you for your time.

Mike Fenger and Valerie Hignett 511 Foul Bay Road.

From: Monique Genton [REDACTED]
Sent: November 18, 2018 6:39 PM
To: Councillors
Subject: 1712 and 172 Fairfield Rd at Hollywood Park

Hello Councillors,

I am writing to express my opposition to the plan for development near Hollywood Park. As a volunteer working hard to preserve our green spaces and Garry Oak meadows in Gonzales, I am particularly disheartened to see such a development. Specifically, I'm opposed to:

1. The loss any mature tree canopy which is essential for the wellbeing of birds, pollinators, and humans. Mature trees provide shelter and shade—cooler temperatures—and protect the soil and the street from erosion. The importance of contiguous green corridors for threatened populations of birds, wildlife, and pollinators can not be overstated. The choice of generic, low-maintenance, evergreen plantings are ill-considered, and foreign to our Garry oak ecosystem.
2. The Vancouver/Richmond-style, tall continuous wall of development, so close to the street, creates the feeling of a tunnel, with a lot of shade, loss of privacy, loss of interest, uninviting to walkers and cyclists--not in keeping with the green community theme of our Gonzales neighbourhood.
3. That style of living is not ideal for young families or older citizens. I looked at many of them in the Vancouver area when I was looking for a home in that region. Much of the square footage is taken up by staircases. Every neighbourhood in Vancouver that has this style of building has been diminished in loss of light, architectural heritage, community feel, and green space.
4. They soon look dated. Take a drive down Oak Street in Vancouver. I used to live in the area. Now it is lifeless, with token, evergreen shrubs—all the mature trees and gardens are gone. It is cold and uninteresting. The sidewalk is shaded. Sound from traffic reverberates off the buildings. See photos attached.

Kindly reconsider your plans and offer us something in keeping with the spirit of our Gonzales community.

Thank you,

Monique

Monique Genton, MFA, RTMR
1947 Brighton Avenue
Victoria, B.C. V8S 2E1
[REDACTED]

These photos are all from the Oak St area in Vancouver:





Lucas De Amaral

From: Matt Hansen [REDACTED]
Sent: November 19, 2018 7:58 PM
To: Councillors
Subject: Re: The Proposed "Rhodo" Development (1712 + 1720 Fairfield Rd)

To whom it may concern,

I am a homeowner a couple of blocks away from this proposed development and am writhing to give my opinion on this matter. Although I appreciate and admire the men attempting to follow through with this development, it seems to me the whole thing is just too much. It's too big, the design is unfitting, and the dense population will most certainly overflow into the Hollywood park taking over as a backyard for the proposed 17 townhomes.

I'm all for a similar development on a smaller scale with a more suitable design but unfortunately I'm sorry to say the current proposal just doesn't work in my opinion.

Thanks for your time and consideration to my thoughts.

From: [REDACTED]
[REDACTED] AM
To: Councillors
Subject: Re: proposed Fairfield Townhome project

Re: 1712 - 1720 Fairfield Road:: Rhodo townhome development

Dear councillor members,

Thank you for the opportunity for me to share my views on the proposed 17 unit townhome development on Fairfield road.

Firstly, I am in full support of more diversity in our neighbourhood and the opportunity for more affordable housing for all age groups and income levels. We certainly need to look at our future housing differently from the typical detached one family home. However, I have a number of concerns about this project. I think the key word is balance, or lack thereof.

Changes need to reflect the character of the existing neighbourhood. This proposal fails this on so many accounts.

- Units on Fairfield are much too close to the road. Our zoning limits require 24.5 feet for good reason. The proposed 5.5 feet is extremely inadequate.

-17 units in this small space is much too many. Visually it would not be in keeping with the character of the neighbourhood and would be a strain and safety consideration on the already overburdened traffic demand of this area (Hollywood Park, the commercial area across from it, Glengarry Hospital up the road and the extremely congested corner of Lilian, Wildwood and Fairfield.)

- Lack of parking spaces. Why would we agree to less spaces than zoning regulations. Parking is extremely limited in this area due to the needs of Hollywood Park and the workers (and shoppers) from the Thrifty's plaza. Almost all side roads (with the exception of Wildwood) are zoned for residents. Where would all the extra parking needs go?

-Hollywood Park is a treasure. It is constantly in use. The tree buffer surrounding the park is necessary to maintain the park-like setting as well as provide a buffer for the surrounding homes. In this age of climate change I would expect us to be planting more trees, not designing projects that would see the bulk of trees in the park's surrounding area and neighbourhood cut down.

Please consider the above points and work towards accepting a project that balances housing needs and neighbourhood protection. I'm sure a project with considerably less units can still be a very viable investment opportunity for the developers without having such a detrimental effect on the neighbouring community.

Thank you,
Maureen Lennie
Fairfield neighbour (Wildwood Ave.)

Lucas De Amaral

From: Maria Lesperance [REDACTED]
Sent: November 17, 2018 6:59 PM
To: Councillors
Subject: Rhodo development

Dear Council,

I would like to write in to provide my support for the proposed Rhodo development. As a longtime resident of the Hollywood crescent area I support this project and the plan to increase density in our neighbourhood. I would love to see more young families able to live in this beautiful part of Victoria and feel that the townhouses proposed are excellent form of housing for them.

Thank you,

Dr. Maria Lesperance

Monica Dhawan

From: Michael Marshall <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 11:01 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Michael Marshall

3558 Keeling Place, Cobble Hill, BC

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Michael Muirhead [REDACTED]
Sent: November 21, 2018 9:45 AM
To: Councillors
Cc: Victoria Mayor and Council
Subject: 1712/1720 Fairfield Road

Hello,

Imagine, if you will, two single family lots in a leafy green residential neighbourhood. Now imagine all the green is gone. Buildings and concrete cover most of the site, with little to no green or open space. A 40 foot high wall in one solid block fronts these lots, a mere five and a half feet from the sidewalk. One could almost reach out and touch the wall (or ring the doorbells) without ever leaving the sidewalk. That is the Rhodo development.

I am 24 years old, and a resident of Gonzales. As a young person that aspires to remain in this neighbourhood, I support appropriate and respectful infill. The Rhodo proposal is neither appropriate nor respectful. It is too dense for the site and the buildings too high, with the facades facing the street and the park the equivalent height of a 4 storey condo building. The design is strongly urban, and does not compliment or respect the existing residential neighbourhood. While Aryze refuses to say what these new units would sell for, one can expect it to be upwards of \$800 or \$900K, which will do nothing to increase affordability.

Infill development should reflect a balance between the need for more, and more diverse housing, with respect for the existing form and character of the neighbourhood, and the green and open space that makes this neighbourhood and City one in which people want to live. This proposal does not even come close to balancing those interests. Please say a resounding no to this development.

Thank you.

Michael Muirhead
Foul Bay Road

Monica Dhawan

From: Matthew Powell [REDACTED]
Sent: Tuesday, November 20, 2018 9:36 AM
To: Victoria Mayor and Council
Subject: Rodo Development

Dear Mayor and Council,

I am writing to you to express my disapproval of the many variances being considered with the new Rhodo development proposal (1712 & 1720 Fairfield Road). I do not agree that the mayor and council should decide what variances should be approved. They should listen to the people who are most dearly affected by the variances which are those in the residences within 400 meters of the proposed site.

Variances are exceptions to the land use and they need to be agreed on by those most affected. This is what neighbourhoods want. The ability to control what variances are allowed that they feel negatively affect their enjoyment of their property and living environment. It should not be up to the city to force this on the residences that elected them. It is a failure of the reason we voted for you to represent us. If you are not advocates for supporting the population of Victoria, you are not representing us appropriately. Supporting developers by giving granting them massive and numerous variances is representing commercial organizations and not the residents of your city.

Sincerely,

Matthew Powell
Victoria, BC

Lucas De Amaral

From: Michelle Schille [REDACTED]
Sent: November 21, 2018 9:40 AM
To: Councillors
Subject: Rhodo Development 1712/1720 Fairfield Rd.

To whom it may concern,

I am a homeowner a couple of blocks away from this proposed development and am writing to give my opinion on this matter. It seems to me that the development is too large and is breaking the setback and height criteria already set for the zoning. The design is unfitting, and the dense population will most certainly overflow into the Hollywood park taking over as a backyard for the proposed 17 townhomes.

I am fine with a smaller, more suitable design that meets the zoning criteria, but am definitely against the current proposal.

Thanks for your time and consideration.

Lucas De Amaral

From: Sharpe [REDACTED]
Sent: November 19, 2018 10:07 AM
To: Councillors
Subject: REZONING OPTIONS FOR 12 LIVING UNITS AT 1712 - 1720 FAIRFIELD ROAD

A viable option for the 3 city lots at this location is three duplexes with suites on each lot (2 duplexes each with a secondary suite X 3 lots = 12 units). The Fairfield Plaza Neighbourhood Group Collaborative Community Plan encourages this option.

That will increase housing from the current 2 to 12 units using an option that is a very accepted form of traditional housing in Gonzales and Fairfield.

Sincerely,
Michael Sharpe
1592 Earle Place

Lucas De Amaral

From: Norman Fiege [REDACTED]
Sent: November 20, 2018 8:03 AM
To: Councillors
Cc: Susanne Rautio
Subject: Rhodo developement

Dear Mayor and councillors

I object to the current iteration of the Rhodo developement on these grounds.

1. The design is large and ugly. It does not fit the heritage character of the neighborhood. The developer says the design reflects the character of an English country village. From the street it looks more like a maximum security prison.
2. It does not address affordability. Housing for the wealthy.
3. It requires the removal of 52 trees.
4. It threatens gentrification of the neighborhood.
5. It does not conform to 2002 Gonzales Community Plan. I object to the area planners report suggesting that it conforms to the OCP as that is not the plan currently in effect for our area.
6. I object to the developer using a busy city park as the backyard for his design. The site itself has no green space.
7. It increases the site density by 850% 8. There has been poor engagement of the community by the developer and our local caluc.

This will not be an asset to the community or the city and only benefits the developer and the few wealthy who can afford it.

I do not object to all developement. But, this needs to be redesigned.

Cheers Norm Fiege
resident of Gonzales

Lucas De Amaral

From: Patrick Czyz [REDACTED]
Sent: November 20, 2018 6:19 AM
To: Councillors
Subject: 1712 & 1720 Fairfield Road Development Concerns

Hello Councillors...

My name is Patrick Czyz and my wife and I live at 1693 Earle street just a few houses up from Hollywood park and the new proposed Rhodo development by Aryze.

While I do not object to thoughtful development and logical "densification" I do object to this development for the following reasons:

- The architecture and design is horrible in my opinion and does not come close to fitting the character of the Gonzales neighborhood. To me it appears similar to campus housing you would see at UBC or SFU.
-
- I object to how this Aryze development is completely open to Hollywood park without a fence or some prominent landscaping to denote the park from this private property.
-
- I object to how close the entrance to many of the town-homes are to the sidewalk and Fairfield road.

Please Councillors ask yourselves would you want something so stark and out of character developed where you live?

Sincerely,
Patrick Czyz

I have a few questions, please.

Will the tennis courts and the public restroom remain in the park? The pictures presented for the Rhodo Development have removed them from Hollywood Park. As the tennis courts are in constant use from spring to fall, and in the winter when possible, this would be a big loss for the neighbourhood. Also, the residents of Rhodo facing the courts will be in very close proximity. The noise of the constant tennis balls would probably drive them to distraction. Just how far it is from the front doors to the tall wire tennis courts fences?

The public rest rooms have been removed from the pictures also. Their necessity for the Park is unquestionable as they do, to some extent, stop the children from using the bushes. In other words, they cannot be removed.

As far as site drainage, do they still plan on the rain water from the whole site draining into the back neighbours yards? The proposed building site sits 5 metres above the houses on Earle Street (by the Victoria Contour Map). There are already problems with black mould in the rental house directly behind one of the proposed buildings (this house is two east from Earle Street exit for Hollywood Park). The house right next to this park exit has also experienced water problems in the basement. The western end of Earle Street is basically a drained bog bottom. The area is a path for the run-off from Gonzales Observatory heading to the Empress Hotel. I've been told that it was historically used as a bird hunting area by the indigenous natives. Though the swamp was drained, all the runoff still follows the old stream bed. Many back yards as well as the part of Hollywood Park facing Earle Street are soggy all winter and late into the spring. I believe the water table is right at the surface at that time. The underground streams shift the earth. Our back yard sinks into new ripples constantly. It is wonderful for gardening but I'm not sure just how deep the peat goes. We sit on an area that is prime area for earthquake amplification. The city's geological hazard maps show this area is 2C- 01, hazard unit F. Also, removing more trees from the drainage path (stream) would make the area much more unstable.

We live at 1632 Earle Street, directly north of the Park. This house is built, and lived in by my father-in-law, who has lived here for over 60 years. My husband was raised in this house. We are all well aware of the water problems here. A neighbour three houses east, put a small above-ground addition in his back yard a few years ago. The city insisted that he add a sump pump at his expense due to the high water table.

The sewer drain on Earle has just been replaced because it sagged in the middle section and required frequent attention from the city for backing up. The road sinks and cracks. The sidewalk has sunken, more in some areas than others. While fun for the skateboarders, wheelchairs have problems. I believe the underground streams are at work all along the road. Perhaps a major drainage plan should be made for the whole area?

If:

- the development plan went ahead with covering 60% of their lot with buildings and cement and

- relied on natural water catchment and not sewer water removal and

- then there were 50 trees removed from the area, ending a large volume in water retention and

- then the down-slope properties may become destabilized by increased water flow

- would the projects planners be liable for damages to the existing houses, or would the city?

I fear that we would be facing a flooding event in the central/western Earle Street/Chandler Street neighbourhood, at least a dozen houses will be effected. And so, we think we must insist on a geotechnical and structural consultant to be paid to evaluate and monitor potential damage to all structures on surrounding properties.

Otherwise, I feel the development should be held to existing bylaws.

The list of exemptions requested goes beyond the acceptable range to be a good fit to this community.

Lucas De Amaral

From: therittenhouse [REDACTED]
Sent: November 20, 2018 9:42 AM
To: Councillors
Subject: Proposed development for 1712 & 1720 Fairfield Road

This is a village and a community. Please consider designs that have some integrity and respect for the area and its architecture. The structures are too high, too close to the sidewalk and create a Stalin era look. You need to do much better than this.

Pauline Rittenhouse

Sent from my Samsung Galaxy Tab® S

From: Pamela Ubeda [REDACTED]
Sent: November 19, 2018 9:53 AM
To: Councillors
Subject: Rhodo Development

Good Morning,

I am writing to express non-support for the proposed project, as currently designed, on Fairfield road.

As a neighbour and fellow Architect, I have been following this project closely. Since the project was proposed (and before that, as I was privy to the plans Aryze, the original Architect, and investors had prior to it being made public) I have reviewed all minutes as well as the literature put out by the developer and investor. I have also listened to the community feedback.

In the past, I have not provided feedback to the City for projects as I am fully aware that there is a very well tested and specific set of procedures in place that has worked quite well for rezoning and DP. However, on this occasion, and given the recent discussions around the Gonzales neighbourhood plan, I feel it is my duty to provide input from both a professional perspective, who is used to working with developers, as well as a neighbour perspective, who has lived in Gonzales for 13 years and Victoria my whole life, minus 5 years of Grad school in Vancouver.

I know Advisory Design Panel reviewed it (for a second time) as of March 2018 and I believe, based on experience in the industry, that their decision to approve it to move to committee of the whole “with considerations” was due to them not wanting to block contemporary architecture moving forward in Victoria, however, they were clearly concerned with very important architectural appropriateness and relationship to the neighbourhood plan and OCP with comments such as:

- the appropriateness of the urban typology of NY, UK, etc fitting in a residential area
- lack of fit within the neighbourhood and OCP in regards to density, height, form and character, appropriateness of materials and for our climate
- lack of consideration of the pedestrian experience on Fairfield, of which there is extensive foot traffic being at a bus stop and by park, hospital and school
- the monolithic massing of an unprecedented 3 stories on Fairfield.

As much as I want to see, and be involved in “good”, “contemporary” Architecture in Victoria, coming from the contemporary school of Architecture in Vancouver myself, I would disagree with some of the panels comments regarding the “precedent setting” and “architectural merit” of the architecture, comments by those which obviously didn’t grow up in Victoria.

To elaborate on the “precedent” typology of the Architecture, we have seen, and I have grown up with, this typology since they 70’s. This is not a new invention. Nor has it historically been a successful (or safe) one. One only has to go to Gordon Head (Pinewood Estates on Larchwood) or Blanshard and Hillside to see how these typologies have played out in Victoria. (photos attached). Adding a third story to this typology, without overhangs, on a small site would create for dank, dark and unwelcoming courtyard experience 9 months of the year, not an “urban pass through on the way to the park/grocery store vibrant community” as shown by inaccurate renderings.

I understand the urge to densify this lot and to use a typology such as this. It's an awkward site that isn't quite big enough for this typology but not big enough to cram four expensive single family houses on that would sell well for top dollar. They can get more money going for the typology they have suggested rather than do what Zebra did on Dallas road, creating four appropriately sized, single family houses at market value. They need numbers to make the profit they want to make on this one and four isn't enough.

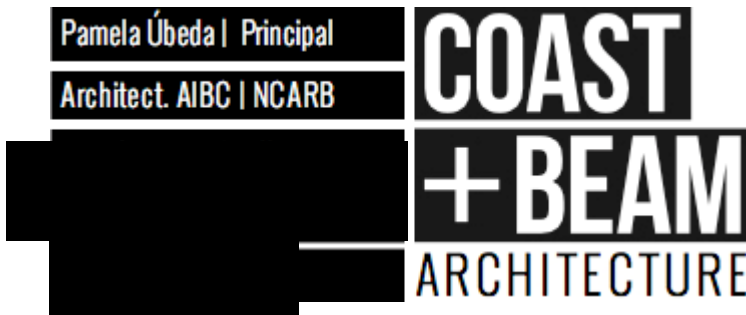
I won't even enter into the very well known literature the developer previously put out regarding an opportunity for "affordable housing in Gonzales". Everyone has seen through that one to the point that they have now removed it from their rhetoric. From a neighbour perspective, this has not fared well for the developers reputation and their "Talk to Aryze" program has not been well received.

My final concern, and I believe the main reason this project hasn't been successful enough for anyone to finally pass it, is that this is a Vancouver based investor and Architect. They don't understand the local nuances to create a project that can succeed. The neighbours see it, my fellow Architect peers see it, and now that the Neighbourhood draft for Gonzales is off the table, I hope that Council also sees it.

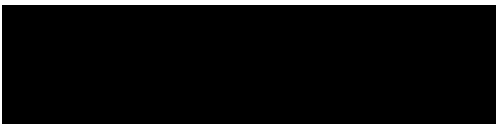
Thank you for your time.

Sincerely,

Pamela Úbeda | Architect.AIBC
Coast + Beam Architecture



[Website](#) | [Facebook](#) | [Instagram](#) | [LinkedIn](#)



Important: This communication is for the sole use of the intended recipient(s) and may be privileged and confidential. If you are not an intended recipient, please notify the sender immediately and permanently delete this e-mail and any attachments.

Lucas De Amaral

From: Ron [REDACTED]
Sent: November 18, 2018 9:19 AM
To: Councillors
Subject: Rhodo Development application/1712 and 1720 Fairfield Rd.

As a resident of the Gonzales neighbourhood please accept this email as our unconditional and full support for this proposal. I can't think of a better option given the need and requests for additional housing especially in the Gonzales/Fairfield Neighbourhood.

This development is perfect given the location and type to allow young families to come here and add great value to to our local community. The proposed development is next to a park that is under-utilized and what a safe option for children associated with the families that would purchase and live in these units. It is along a transit corridor and the neighbourhood is completely walkable and great for cycling fo work or play. There is a school within a minutes walk and precedence set already relative to multi unit housing across the street and in the immediate area albeit older and not conducive to families. With this location and type there would be less of a reliance on young families to own one of more vehicles given other options for transportation and this works perfectly with the neighbourhood and world we all would like to live in.

I feel that any rejection to this proposal would be irresponsible and contrary to the need and requests for housing. The Rhodo development also provides options for older residents who wish to downsize, pass their existing homes along to their children to raise their families and be able to have an option to stay in their community where they have raised their families and continue to add value to the community in other ways.

I urge you to approve this project and stop the community from being filled with unaffordable options and an "elite" demographic with little if any investment in the future that communities need relative to young families and all that they offer.

Sincerely

Ron and Pam Vermeulen
438 Queen Anne Heights

Lucas De Amaral

From: Robert Berry [REDACTED]
Sent: November 20, 2018 12:19 PM
To: Councillors
Subject: Fwd: Rhodo Development 1712/1720 Fairfield.
Attachments: Rhodo Flyer Draft v.4.pdf; ARYZE Handout November 2018 copy.pdf

Hi,

I am a Gonzalez resident and support this project. When I hear "neighborhood character" I think families, and homes. This meets the needs of current and future residents of Victoria. It allows young families to live closer to the city center.

Rob

----- Forwarded message -----

From: Gonzales Neighbourhood Association [REDACTED]
Date: Tue., Nov. 20, 2018, 11:58 a.m.
Subject: Fwd: Rhodo Development 1712/1720 Fairfield.

[REDACTED]

We apologize if you did not receive this notice when originally sent out.

Thank you,

Dear Neighbours,

Please see the attached flyer regarding the Rhodo development which is going to be discussed by Council on **November 22nd** (not a public meeting). We have a few serious concerns about this development which will be 17 Townhouses adjacent to Hollywood Park.

We strongly urge you to contact your elected representatives by email at councillors@victoria.ca as soon as possible to express your thoughts on this proposal. The developer has already begun an aggressive campaign to influence council.



View from Fairfield Road

- There will be virtually no front yard for the units on Fairfield Road — the front setback will be 5.5' (1.68 m) whereas the current minimum is 24.5' (7.5 m).
- The 3-storey building facing Fairfield will be 38' (12 m) high, the current maximum is 25' (7.6 m). The development is 3 stories on Fairfield Road, even though it is classified as a 2 ½ story because of the area of the 3rd floor and the slope of the land.
- This development will create a 3-storey, 38' wall, 5 ½ feet from the front property line. The applicable bylaw states that "No part of any building shall be closer than 19.6 ft (6 m) from the street frontage" and "the average distance of the walls of a building facing the street frontage shall be not less than 24.6 ft. (7.5 m)."
- Currently, a rear yard should 30' (9.1 m) or at least 30% of the site depth (so for the Rhodo 60' on the west side), the Rhodo is asking for a rear setback of 20' (6.1 m). There is no delineation between the minimal patio space and the townhouses facing Hollywood Park. Aryze's own materials (distributed on November 8th) highlight this feature as follows: ***Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park."***
- The building footprint will take up 60% of the total site whereas the current maximum allowed 30%.
- The number of parking stalls will be to 22 spaces (Aryze's application wrongly indicates that 22 spaces is the minimum required; City staff have confirmed that 26 are in fact required).
- Over 50 Trees will be cut down by the park to accommodate the development.

Thank you,

GNA

Lucas De Amaral

From: Randy Kaneen [REDACTED]
Sent: November 17, 2018 1:36 PM
To: Councillors
Subject: Proposed Rhodo Development next tho Hollywood Park

Dear Mayor and Councillors

I write this note to highlight some concerns I have with this development. I live at 242 Wildwood and am not a Nimby (not in my backyard) type. Having said that, I do feel that the preservation of neighbourhoods is important but in balance with the obvious infill (densification) that will happen over years. I believe this one exceeds that balance. It will have immediate and, what I judge to be, serious negative impacts on those adjoining this proposed development. (The height and densification proposal goes considerably beyond what has been allowed in the past.) One can see numerous examples of larger units on Fairfield and I feel these styles, while changing the nature of the neighbourhood are generally quite acceptable.

The impact on Wildwood Avenue will mostly be around parking. Every single street within a very large radius around the park and the shopping plaza have 'residential only' parking signs. Wildwood is the only one I know of that does not. Much of the spill-over, either from owners or visitors will, by necessity park on Wildwood. So, I believe the requested variance from 26 to 22 parking spots should be rejected.

While on that topic I can say that years ago we, on Wildwood, did not consider a petition that requested 'residential only' signs be posted....(currently all that is required is x percentage of people requesting it and it is automatically conferred without consideration to the surrounding usages)... the general thought was about the parents who bring their kids and the sports equipment to the games. They come from a wide geography and require parking. On tournament times and even some general game days, Wildwood is completely jammed. The park is exceptional and highly utilized. So, are we going to be faced with having to request a 'residential only' designation? If this development is approved, it looks as if there will be no other choice.

In summary, I ask that you do not approve the current proposal. It is not the 'balanced' densification one should expect and will negatively impact in a variety of ways, including those outlined above.

Yours respectfully

R.Kaneen

Author: *In Search of
Sticks*



Lucas De Amaral

From: Rachel Mason [REDACTED]
Sent: November 19, 2018 10:43 AM
To: Councillors
Subject: Gonzales Development

Hi there. I am a resident of Fairfield/Gonzales and I live very near Hollywood Park. I received a flyer from the Gonzales Neighbourhood Association asking residents to email you to state opposition to the Rhodo development near Hollywood Park.

I cannot speak to whether this specific development is a good idea, but I wanted to let you know that I do not support the Neighbourhood Association's apparent opposition to any kind of change in our neighbourhood. I also have seen evidence that their materials are misleading and focused on problems rather than solutions. I love my neighbourhood as it is, and I also feel that some change is needed to increase affordability and diversity. I would like my children to have an opportunity to live in this neighbourhood when they are students and young adults. I would like to see more diversity amongst the families who live here, and I would like my friends who are renters to be able to stay here. I would like to see more opportunities for families to bring in rental income that both allows them to live here and creates space for renters.

I appreciate the efforts that council is taking generally in Victoria to increase affordable housing, and I think such efforts are needed in my neighbourhood. If that involves a few minor changes to zoning in strategic areas (such as along Fairfield Road) in the interest of increasing affordability and diversity, I am OK with that change. I also see no problem with sharing Hollywood Park with more people--there is plenty of space to enjoy. I have friends whose homes back right onto the park and they do use the park as a backyard, and it is lovely to see their children running free at the park knowing the safety of home is close by. I don't see how development that is adjacent to the park would negatively impact the park in any way.

Due to the propaganda sent out by the Gonzales neighbourhood association, I am concerned that council may feel that all residents in our neighbourhood are opposed to any kind of development that could shift the status quo. So I would like to let you know that is not the case. While it is important to me to maintain the character of our neighbourhood, including many open green spaces, single family homes, trees and foliage, and minimal commercial space or apartment buildings, I also feel the commitment to this type of environment needs to be balanced with reasonable efforts to increase affordability and diversity.

As I mentioned, I am not an expert on development and therefore I can't speak to the merits and challenges of the proposed Rhodo opposition, therefore I am not taking a stance for or against this specific development. However, I would like to generally encourage council to move forward with any efforts to increase affordability and diversity, and I would like you to know that myself and many other residents of my neighbourhood support this philosophy.

Many thanks,

Rachel Mason

Lucas De Amaral

From: Ruth McIver [REDACTED]
Sent: November 19, 2018 9:13 PM
To: Councillors
Subject: 1712 and 1720 Fairfield

Like so many of my neighbors I am very concerned about the proposed development on Fairfield Avenue.

There is no way 17 homes should replace two. We Can't Stop development however we can put realistic guidelines in place for now and the future.

The townhouse are 2 high and situated to close together.

Parking and road congestion will become major issues.

The park is a beautiful green space. Looking at towering townhouses will take away the beauty of this special place.

Please reject the current plan. The developer needs to come up with a more suitable design that enhances the neighborhood rather than detracts.

Ruth McIver
Resident of Gonzales

Monica Dhawan

From: Ray McKall <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 10:19 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Ray McKall

161 Bushby Street

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: ronald willson [REDACTED]
Sent: November 19, 2018 6:03 PM
To: Councillors
Subject: Proposed Rhodo Development Next to Hollywood Park

I would like to register my strong objection to the proposed development. If approved in anything like its present form it would represent a travesty of city planning. If there is to be densification in the neighbourhood it should be accompanied by expansion of this much used park to accommodate an increased population. The sad irony is that this massive project would occupy some of the very land needed for that purpose. Instead the development seeks to appropriate the park as its own backyard. Ideally the city should do a land exchange or exercise its right of eminent domain. A scaled-down project elsewhere in the neighbourhood would be far more preferable for both present and future residents.

Ron Willson
1564 Earle Place

November 20, 2018

Dear Mayor and Council,

Re: Proposed Rhodo Development at 1712 and 1720 Fairfield Road

We are residents of St. Charles Street, Earle Street and Earle Place, living in close proximity to Hollywood Park, writing to raise specific concerns about the proposed Rhodo development.

Hollywood Park is an important neighbourhood park. In our February 26, 2018 letter to Council providing input on the Gonzales Neighbourhood Plan, we recommended that there be Design Guidelines that would require consideration of a transition zone sensitive to the ecological function and social values of a neighbourhood park. This recommendation was accepted by Council, directing staff that the new Gonzales Neighbourhood Plan needs to have stronger language to better protect green space and trees (see [March 15, 2018 Council Motion](#)). This direction needs to inform the design of the Rhodo development next to Hollywood Park.

We understand that based on the current design, over 50 trees will be cut. The current Rhodo proposal also has very minimal yard space, including the townhouse units facing Hollywood Park where there appear to be minimal landscaping separating a small patio space from the park. This risks making that part of the park less welcoming to other park users who may view the park as part of the backyard of the townhouses. The ecology of this park, along with users' experience, would be better protected by having an adequate buffer of at least 30 feet and a visual barrier to the development such as a tall hedge or privacy fence.

The area from St. Charles to Richmond Ave. along Fairfield Rd., as a gateway to Gonzales and Fairfield, is unique and beautiful. Given that this is the location of the Rhodo development, careful consideration should be given to its design. The design of the current Rhodo proposal is a significant departure from any other building in this area. Any new development should maintain the character of this neighbourhood.

We are concerned about the request of a variance from the city's new parking requirements for this 17-townhouse development, to reduce parking to 22 stalls from the 26 required, given the high parking demands that already exist for this particular location due to the close proximity to the Fairfield Plaza, other local businesses, and the park itself.

While we support the objective of encouraging more housing diversity, we ask that Council ensure that that objective is appropriately balanced with protecting neighbourhood parks, protecting trees, maintaining the character of the Gonzales neighbourhood, and avoiding negative impacts on existing residents.

For these reasons, we strongly recommend that Council request the developer to revisit the current design of the Rhodo proposal to address the concerns identified.

Sincerely,

C. J. W. S.

Quinn

8.16

Stephanie Wein

M. D. J. H. S.

Barbara D. Power

J. L. H.

S. W. S.

G. Whithead

S. Whithead

R. W. S.

Anne Spencer

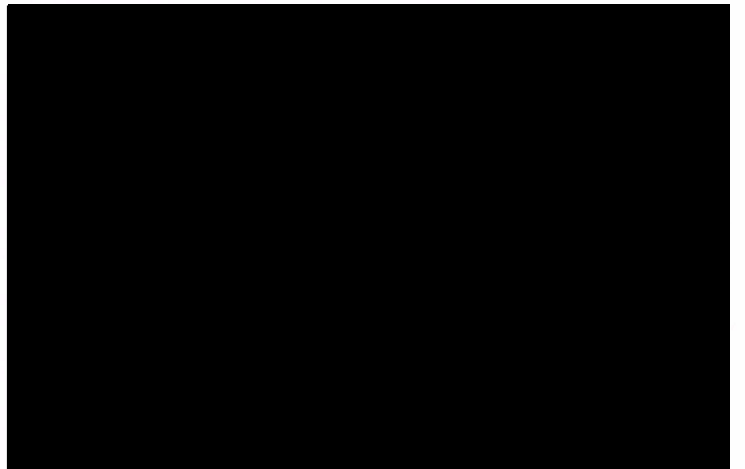
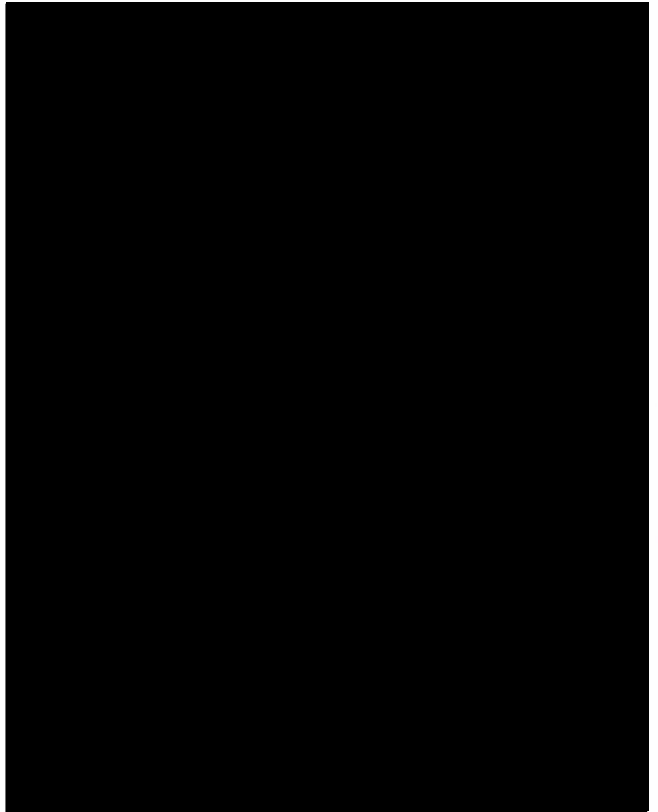
Al. J. Pendray
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A. Brown

Pat R. Brown

Ch. Agd

Arthur (vi)
S



From: Stan Benjamin [REDACTED]
Sent: November 21, 2018 9:07 AM
To: Councillors
Subject: PROPOSED RHODO DEVELOPMENT PROJECT ON FAIRFIELD ROAD

Comments on the proposed Rhodo Development Project

Many representatives of the community are seriously concerned with this proposal, and we share these concerns. For the following reasons, we urge the Council not to approve the Rhodo Development Project as presently proposed:

1. **In general**, we do not think this is a good project for the community, not so much because of the density proposed, but rather because of its planning and design. It does not fit well into the either character of the community, or the design guidelines that have been proposed for it. More specifically:
2. **Design Quality**: The character of the design and its construction materials are not in harmony with the more historic nature of housing in the community: that of rich front facades of wood or stucco, often with gracious front porches and stairs; cantilevered bay windows of small panes; highly pitched roof with prominent detailing. This surprises me as I have seen the developers other projects that are much richer in such details. In the meeting we attended, the developer said that he wanted to have a contemporary design for the building, but there are many examples of town houses of the sort being proposed that are contemporary and yet much more in keeping with the character of the community. Instead, this proposal presents a stark, 50's/60's institutional look.
3. **Over Height**: It is understood that the proposed buildings are above the 25ft allowable. If they are to be allowed to exceed this limit, this should only be allowed if the excess is for steeply pitched roofs, not the shallow unsightly roofs now being proposed in order to gain upper story square footage.
4. Exceeding **Allowed Setback**: The proposed front yards of 5ft along Fairfield crowd the street and are well under the current setback requirement of 24.5ft. They neither make for lively, usable front yards or particularly nice entrances for future owners/tenants. They do not allow scope for the future owners/tenants to add individual touches and richness (identity) to their otherwise identical units.
5. **Park Impingement, Privacy, Security**: As for the proposed units facing the public space of the park, there should be a clear distinction between the private development and the park. For the future owners/tenants, there should be a visual and perhaps physical barrier to provide them sufficient privacy and security. For the frequent public users of the park, they should be protected from the development intruding into their public spaces, as well as usurping its uses.

Again, for all of the above reasons, we would like to recommend a serious rethink and redesign of the proposed project.

Sincerely,

Stan and Patty Benjamin
363 Robertson Street
Victoria

Stan Benjamin

Monica Dhawan

From: Susan Kainer [REDACTED]
Sent: Tuesday, November 20, 2018 10:23 AM
To: Victoria Mayor and Council
Subject: Rezoning Application: Rhodo Development 1712/1720 Fairfield Rd COTW: Thursday November 23rd 2018

Dear Mayor and Council,

Re: Park Exploitation. Proposed Rhodo Development 1712/1720 Fairfield Rd. COTW Thursday Nov 22, 2018

This application needs to be rejected because the developer plans are exploiting the adjacent park to increase the mass of the buildings and significantly decrease setbacks. Incredibly, the developer is justifying the increased mass because of the park. This application will significantly diminish park users enjoyment of the park. (Right now there is a line of trees which are to be replaced by a line of really awful, ugly buildings very close to the park's edge, therefore encroaching with urban landscape.)

Victoria Parks should not be exploited like this. **The City of Victoria has at least 3 planning policy documents (1. Official Community Plan, 2. Parks and Open Spaces Master Plan, 3. Urban Forest Master Plan) which state the importance of parks, the need for additional parks and the need for parks to provide respite from the urban landscape.**

2.2.3 Develop areas in the parks and open spaces system that encourage mental restoration and relaxation. Parks offer an important respite from the urban landscape and provide opportunities for people to connect with nature and relax.

P77 Chapter 5, Vision, City of Victoria Parks + Open Spaces Master Plan

This application for rezoning-1712/1720 is not honouring the park policies of the OCP, Parks and Open Spaces Master Plan or the Urban Forest Master Plan. It deserves to be rejected on this alone.

Sincerely,
Susan Kainer
1565 Brooke St
Victoria, BC

This e-mail and its attachments may be confidential and are intended solely for the use of the individual to whom it is addressed.

As I am a member of the FGCA CALUC, any views or opinions expressed are solely mine and do not represent those of the FGCA CALUC.

If you are not the intended recipient of this e-mail and its attachments, you must take no action based upon them, nor must you copy or show them to anyone. Please contact the sender if you believe you have received this e-mail in error.

Lucas De Amaral

From: Sandra Meadow [REDACTED]
Sent: November 19, 2018 12:58 PM
To: Councillors
Subject: proposed Aryze Rhodo development in Gonzales

Dear Council Members,

I am a resident of Gonzales, and I would like to voice my support for Aryze's proposed Rhodo development near Hollywood Park. I strongly support increased density in Victoria, including in the Gonzales neighbourhood, as an important factor in sustainability. The artist renditions look beautiful and this will add greatly to the neighbourhood. In fact, I wish the project were 4-5 stories high, and included commercial space.

I hope the approval process will be successful. Thank you for considering my input.

Best wishes,
Sandra Meadow
1940 Runnymede Avenue

Lucas De Amaral

From: shawn robins [REDACTED]
Sent: November 19, 2018 11:47 AM
To: Councillors
Subject: Proposed Rhodo Development in Fairfield

As a long time Fairfield resident and homeowner I am writing to express my strong opposition to the proposed Rhodo townhouse development on Fairfield Road. As currently proposed the development will not be consistent with the community aesthetic and will require relaxation of too many existing development restrictions in order to be feasible. Back to the drawing board for this one and O do not buy for a second that this will create affordable housing for families. Please reject this application.

Shawn Robins
[REDACTED]

Sent from my iPhone

Monica Dhawan

From: Steve Stevenson <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 11:04 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Steve Stevenson

161 BELLAMY LINK

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Sharon Waldner <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 3:53 PM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Sharon Waldner

1579 Montgomery Ave , Rockland, Victoria, BC

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Lucas De Amaral

From: Taylor Bridges [REDACTED]
Sent: November 17, 2018 12:36 PM
To: Councillors
Subject: Rhodo project - 1712 & 1720 Fairfield road

Hello,

I wanted to reach out to you about the proposal being put forth to you on November 22nd for your consideration.

I live one street over from this project and frequently use Hollywood park and that area of Fairfield Road. I am adamantly opposed to this particular development. I believe in housing diversity that fits the character and charm of the neighbourhood. I also support housing diversity that gives more than it takes. This project is going to take alot away from the community including Hollywood park.

Hollywood park is so important to my family as we use it at least 3-4 times a week for my young kids. I do not want to see it overtaken by this development. The park will become these units back yard as there is not enough green space within the development.

My issues include:

The number of trees to be cut down

Rezoning bylaws not being followed in regards to the height of the storey (2.5 storey instead of the bylaw of 2), front yard setback (5.5 ft vs required 24.5ft) and 22 parking spots instead of the required 26.

These have a huge impact on the neighbourhood and I hope that you will consider this before you vote. I think having a development there would be great but one that follows the required bylaws. They should not be getting any variances that have such a major impact on the road, park and other neighbors.

Taylor Bridges

Monica Dhawan

From: Tyler Cust <noreply@123formbuilder.io>
Sent: Tuesday, November 20, 2018 8:56 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Tyler Cust

2804 Cook St

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Vittorio Cheli [REDACTED]
Sent: Tuesday, November 20, 2018 11:40 AM
To: Victoria Mayor and Council
Subject: 1712/1720 Fairfield Road: Rhodo

Dear Mayor & Council,

Please accept this letter as a statement of support for Aryze Development's proposal at 1712/1720 Fairfield Road. Innovative, vibrant and architecturally interesting projects that fit into the neighbourhood while expanding density – projects like Rhodo – are just what Fairfield needs. I am a long-time (10+ years) resident of Fairfield and our neighbourhood's major arteries (i.e., Fairfield Road, Cook Street, Dallas Road, etc.) are exactly where we should be putting multi-family developments like Rhodo. We need developments like Rhodo to help support area businesses: indeed, a lack of density may help to explain the high turnover of business in Cook Street Village, for example.

If I can also pre-empt those councillors who are insisting that every development, large or small, have an affordability aspect to it: I don't think that it is appropriate in cases of highly sought after neighbourhoods with high land values like Fairfield that every development have affordable units. It is easy to believe that developers will pick up the tab for the City's lack of forward thinking and myopic urban planning over the decades; however, the reality is that affordability and amenity payments will be absorbed in the cost of building and reflected in the price of other units, ensuring that only the very wealthy will be able to afford any unit. More likely is that developers will pull up stakes and focus on other municipalities with more reasonable requirements. This will only harm the diversity and affordability that I know is important to this council and my fellow neighbours.

We need housing all along the housing spectrum and any addition to the housing supply will necessarily free up other, more affordable units as citizens become more upwardly mobile. Please consider your civic duty and approve Rhodo as proposed.

Thank you.

Vittorio F. Cheli
1-1124 May Street
[REDACTED]

From: Victor V. Ramraj [REDACTED]
Sent: November 19, 2018 9:47 PM
To: Councillors
Subject: feedback on development proposal REZ00618

Dear Victoria Councillors,

I am a resident of the City of Victoria and I live in the Gonzales neighborhood, approximately 1.2 km from the Rhodo project on Fairfield Road according to Google maps. I have been corresponding with some members of the Gonzales Neighbourhood Association, who have expressed some concerns about this project.

I am writing to inform you that their views do not reflect my own; **I am strongly in favour of the project.**

I have reviewed the latest revised plans on the City of Victoria's development tracker. This is clearly a well-conceived project. It makes good use of land space and the plans for foliage around the property and rooftop planters is impressive.

My main concern about this project is a larger concern that I have about new projects in Victoria, which is that they are not sufficiently dense. In the interests of sustainability and sustainable cities, I would strongly urge city council to allow for taller buildings with more common and commercial space. These in-fill developments, especially on main road such as Fairfield Road, present an opportunity to prevent urban sprawl. I would much prefer 4, 5, or 6 story buildings, designed thoughtfully with attention paid to rooftop parks and gardens, and green architecture, than lower builds that do not create enough housing to push Victoria's growing population into the suburbs, which commuting time is greater and a growing population uses more cars.

Please, new city councillors, increase the density of our neighbourhoods and reduce commute times and the need for cars. I would like to ensure that our neighbours are walkable and that basic services (banks, grocery stores, cafes, post offices, pharmacies) are all in walking distance. This is a model I've seen in the most livable and sustainable European cities, and it can be done in a way that makes communities even more livable. I feel that in this recent election, the voice of those of us who support thoughtfully planned densification has not been heard.

I realize it will take time for these larger policy shifts to take hold. The Intergovernmental Panel on Climate Change is calling for urgent action to keep to the 1.5 degree limit on warming. We will never be able to achieve this target if we don't radically change the way we think about new developments and take densification seriously. As far as this particular project is concerned, if anything, I would have preferred a taller development with more units. But it's too late for that now. So leaving aside this larger policy concern, **this is a well-conceived project; it has my full support.** It is at least a step in the right direction.

Sincerely,
Victor V. Ramraj

Lucas De Amaral

From: Warren Magnusson [REDACTED]
Sent: November 18, 2018 8:43 AM
To: Councillors
Subject: Rhodo Development and Gonzales Neighbours

Councillors:

I am writing in response to the Rhodo development proposal and the campaign against it being waged by the so-called “Gonzales Neighbourhood Association”.

I do not have strong opinions about the development proposal, but I do resent the efforts of this “Association” to present itself as the voice of the neighbourhood. It represents one strand of opinion within the neighbourhood, a strand associated with the group that suffered a massive defeat in the recent municipal elections. Their views should be treated with caution.

I live at the corner of Robertson Street and Lillian Road, just a few houses from the old Montague Court development. My family and I have been here since 1982. I used to take my daughter to the Hollywood Park playground, and now I take my grandson there when he comes to visit. I know the neighbourhood well. The GNA activists mostly seem to be recent arrivals in the neighbourhood who bought into it when it was in the process of transformation from a predominantly working class area – as it was when my wife and I moved in: almost everyone around us was on a low income and had been in the neighbourhood for decades – into a slightly cheaper version of South Oak Bay, home to professionals and businesspeople who can afford million-dollar homes. If Council is concerned about preserving – or, more accurately, *restoring* – the original character of the neighbourhood, it should be thinking about ways and means of encouraging affordable housing here. I don’t know exactly what that might involve, but resisting townhouse/apartment developments simply because they are townhouse/apartment developments is not part of it.

The questions I would be asking the developer are these: How will this development improve the supply of affordable housing in the Gonzales neighbourhood? What is the public benefit in offering you, the developer, profitable zoning concessions? What is the monetary value to you of the concessions you are asking for? How do you mean to share those profits with the wider community?

Warren Magnusson
Professor Emeritus
Department of Political Science
University of Victoria

304 Robertson Street
Victoria BC Canada V8S 3X7
250-595-8735

From: William Rimmer [REDACTED]
Sent: November 19, 2018 11:28 AM
To: Councillors
Subject: Rhodo Development 1712/1720 Fairfield

1. Out of scale for this site. I don't like it .

- virtually no front yard for the units on Fairfield Road — the front setback 5.5' (1.68 m) whereas the current minimum is 24.5' (7.5 m). §
- this development will create a 3-storey, 38' wall, 5 ½ feet from the front property line. The applicable bylaw states that "No part of any building shall be closer than 19.6 ft (6 m) from the street frontage" and "the average distance of the walls of a building facing the street frontage shall be not less than 24.6 ft. (7.5 m)."
- There is no delineation between the minimal patio space and the townhouses facing Hollywood Park. It therefore in effect uses open park space to enhance the market value of those units to the detriment of a **PUBLIC** park Per Aryze - ***Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park.***
- The building footprint will take up **60% of the total site** whereas the current maximum allowed 30%.
- The number of parking stalls will be to 22 spaces (Aryze's application wrongly indicates that 22 spaces is the minimum required; City staff have confirmed that 26 are in fact required)

Lucas De Amaral

From: Will Smith [REDACTED]
Sent: November 19, 2018 2:06 PM
To: Councillors
Subject: Proposed Rhodo Development

I have been a homeowner of 372 St. Charles Street for over 40 years and having just read the information on the proposed Rhodo Development next to Hollywood Park. I AM TOTALLY AGAINST this proposal. I have seen the old proposal on the sign next to the tennis courts and affected proprieties on my daily walks. This revised proposal is shocking. I coached T-ball, minor baseball and little league at Holloywood Park when raising my family for over 10 years. I currently take my grandchildren to this busy play area when they are visiting in town. The park has a very peaceful, quiet atmosphere to it, even more when ball season is over. A 17 home townhouse project is out of character for this very unique area. The removal of 51 trees is unacceptable. There is no extra parking in the area with Thrify Store employees utilizing the area south of the park on Fairfield Rd. There is not enough parking when the Little League season is on especially on Saturdays and Sundays.

I am very disappointed that a developer can even THINK of presenting a revised proposal like this.

Bill Smith
[REDACTED]

Monica Dhawan

From: Telus [REDACTED]
Sent: Wednesday, November 21, 2018 10:30 AM
To: Victoria Mayor and Council
Subject: Rhode development by Aryze

As a home owner on Richmond ave. I oppose this development.

From: Chez DJ [<mailto:> [REDACTED]]
Sent: November 21, 2018 10:30 AM
To: Councillors <Councillors@victoria.ca>
Cc: Alec Johnston <ajohnston@victoria.ca>
Subject: Proposed Rhodo Development at 1712 & 1720 Fairfield Road

Dear Mayor and Council,

We are Gonzales residents, living next to Hollywood Park, and would like to bring to your attention how the proposed Rhodo development at 1712 & 1720 Fairfield Road does not, in our view, align with the following relevant plans and guidelines:

1. Official Community Plan
2. Gonzales Neighbourhood Plan
3. Design Guidelines

1) Official Community Plan

The [Official Community Plan](#) describes the significance of neighbourhood parks in this way:

“Parks, open spaces and both indoor and outdoor recreational facilities are critical components of a complete community...They help to improve the livability of densely developed areas, enable active lifestyles and personal health, provide spaces for respite and contemplation, highlight historic and cultural landscapes, and provide indoor and outdoor gathering places. Many parks and open spaces also play an important role in providing animal and plant habitat and maintaining ecosystem services.”

Goal 9(A) states “Victoria is an active community where everyone enjoys convenient access to community parks, open spaces, facilities, amenities and programs close to where they live.” Being located adjacent to a neighbourhood park is an important factor when considering new buildings, and are to consider these OCP objectives:

- 8 (a) That urban design at every scale from sites to local areas is responsive to Victoria’s geographic context and existing pattern of development, achieves excellence, and creates memorable places.
- 8 (b) That the views from the public realm of existing landmarks are maintained, and that new landmarks are introduced to enhance the visual identity and appearance of Victoria and to improve wayfinding around the city.
- 8 (c) That new buildings and features contribute to the sense of place in development permit areas and heritage conservation areas through sensitive and innovative responses to existing form and character.
- 8 (d) That social vibrancy is fostered and strengthened through human scale design of buildings, streetscapes and public spaces.
- 8 (f) That the built environment is beautified and softened through natural features in the public realm.

Given that the Rhodo development is located next to a neighbourhood park, the above objectives are not being met with the current design. The current "green" view on the east side of the park is not maintained, the design is not responsive to the existing form and character of other buildings in the vicinity, and the lack of a sufficient buffer to the park will significantly detract from the experience of other users of this park.

2) Gonzales Neighbourhood Plan

The current [Gonzales Neighbourhood Community Plan \(2002\)](#) requires consideration of “the fit of new houses with the size and character of existing houses in the neighbourhood” (3.3.2), and that builders are “to preserve and maintain, to the extent possible, neighbourhood features, such as trees, fences, gardens, and rock outcrops” (3.3.11), and encourages builders to “consider the existing character of the site, as well as that of neighbouring properties, in the design of new houses” (3.3.12).

[Aryze](#) describes the Rhodo project as follows: “Following the urban design concept precedent of a small country town, the project is conceived as a small beach village.” Examples of this housing type are cited from New York City (US) and Bath (UK). There does not appear to have been any consideration of the fit of this development with

existing houses in this particular neighbourhood. Given the loss of 52 trees and garden space, it also not apparent whether consideration was given to preserving and maintaining trees and gardens.

We note that the Gonzales neighbourhood is described in the proposed [Gonzales Neighbourhood Community Plan \(2018\)](#) as “*special because of the quiet, tree-lined streets, diverse and attractive detached houses with gardens, a variety of park spaces...The community wants these features maintained as they contribute to a feeling of wholeness for the neighbourhood.*” One of the guiding principles is “*Maintain neighbourhood character of green, landscaped front and back yards with tree-lined streets*” (5.1.1).

3) Design Guidelines

During the neighbourhood planning process this past year, Council agreed that the new Gonzales Neighbourhood Plan needs to strengthen the language with regard to green space and tree preservation, anticipating forthcoming updates to the **Tree Preservation Bylaw** and implementation of the **Urban Forest Master Plan** (see [March 15, 2018 Council Motion](#)). Residents worked with City staff in developing such language to be added to the 2018 [Design Guidelines for Attached Residential Development](#), which includes these statements at page 7:

- a. *The design and placement of buildings and landscape should establish a sensitive transition to adjacent parks, trails, open spaces, and natural areas, considering a landscaped edge; respect the root zones of adjacent trees; and minimize impacts on ecologically sensitive areas and natural features.*
- b. *For new development adjacent to parks and larger public outdoor open spaces, design should clearly delineating private from public spaces, to avoid “privatizing” of public space.*

The Rhodo development is not consistent with these guidelines. There is no delineation between the minimal patio space of the townhouses facing Hollywood Park and the park itself. [Aryze's](#) materials highlight this feature as follows: “*Along the Hollywood Park side of the site, homes give on to outdoor patios with steps down to the park.*”

Over the last several months, City staff continue to indicate that there has not yet been any progress on the **Tree Preservation Bylaw** and **Urban Forest Master Plan**, progress that was anticipated by Council in March. Would proceeding with such development, where there is no effective plan or strategy in place to better protect trees and urban forests, circumvent the development and implementation of such strategies in the near future?

Thank you for your consideration of our comments.

Sincerely,
Debbie & John Wells

Monica Dhawan

From: Dave Davies [REDACTED]
Sent: Wednesday, November 21, 2018 10:16 AM
To: Victoria Mayor and Council
Cc: Mary Davies
Subject: Rhodo Development (Nov 22nd Hearing)

Hello mayor and council.

I live at 1615 Fairfield, right across from the park that Aryze is planning to use as a backyard. Here's what they wrote on their site:

"Along the Hollywood Park side of the site, units give on to outdoor patios with steps down to the park. "

This is of course, contrary to what "they heard" if they were listening at the meetings where the citizens conveyed a strong desire for a fence to separate the property from the park. Lovely picture though:



Setting aside that developers shouldn't be able to use public land as part of their developments and that being a park, this would also likely result in balls from said park ending up on private property - it's not my only concern. Far from it.

You'll already have an email from Mary Davies outlining many of the objections, most of which revolve around the impact on the neighbourhood. The unit doesn't fit, their drawings aren't accurate (where's the tennis court?)



And they'll simply require variances and allowances that are too far outside what's acceptable, with setbacks all but eliminated (again, this is according to their own drawings and statements) a density that's too high for the area and certainly for the residents of it when they discover that, yes - they need a fence and no, there is no yard.

Obviously you can put me personally in the "no" column for this development as it stands.

What the neighbourhood needs is single family homes, absolutely - but 17 units won't fit on that space and we need homes that are priced for the folks who are here as well as those coming in from the likes of Vancouver. This fits the latter but not the former from what little they've disclosed about what the pricing will be.

Happy to answer any questions you might have about additional reasons I object but this should get the ball rolling and I'm sure you've got enough emails to go through on both sides.

I would only add - I'd pay closer attention to emails those that have actual text - I could easily create a form like the one Aryze is using:

1712 / 1720 Fairfield Road

Please show our Mayor and Council your support
Help shape our city

1712/1720 Fairfield Road: Project Support Letter

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

☐ Opt out of future updates from TalktoAryze

Send to Mayor and Council

And obliterate it with auto form fills or take out targeted Facebook ads as they've done, just flooding you with a useless waste of time. More importantly, you have no context. Why? Why is the question that needs to be answered here. Why do people support or oppose the development?

Again - as always, let me know if you have any questions.

Regards.

Dave Davies

Monica Dhawan

From: Dan Quigley <[REDACTED]>
Sent: Wednesday, November 21, 2018 11:58 AM
To: Victoria Mayor and Council
Subject: 1712 and 1720 Fairfield Road Rezoning application

Dear Mayor and Council,

I am writing to you to demonstrate my support for the rezoning application for the properties noted above.

It is my belief that we need to diversify our housing strategies in the city in order to accomodate an increase of persons who wish to live in the inner city, in affordable housing units. In saying that ,we also must be cognizant of site density. I have noted that this project is well below the site density regulations. I also find that the idea of building an underground parking lot to keep vehicles off our streets is brilliant.

Mayor and Council I strongly urge you to allow this rezoning application.

Thank you for your consideration .

D R Quigley

1461 Richardson Ave

Victoria BC

[REDACTED]

Monica Dhawan

From: Dan Quigley <noreply@123formbuilder.io>
Sent: Wednesday, November 21, 2018 11:38 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Dan Quigley

1461 Richardson Ave

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Gregory Manzon [REDACTED]
Sent: Wednesday, November 21, 2018 8:55 AM
To: Victoria Mayor and Council
Subject: Victoria development

Mayor and Council,

My wife and I live in Fairfield and are dual income professional household that are currently renting a duplex. We love this part of town and when we think about having kids soon, dream about staying in this neighbourhood. We first met ARYZE through the Cook Street car free day and found their projects to be the kind of urban homes we could see ourselves in. When we saw that the Fairfield Road townhouses were coming to Council, we felt compelled to voice our support for this kind of housing.

As a professional couple wanting to stay in Victoria, this is the kind of housing we need and therefore strongly approve of this project.

Thanks,

Greg & Carly Manzon
McClure Street

Gregory Manzon
Sent from my iPhone

Monica Dhawan

From: Gareth Evans <noreply@123formbuilder.io>
Sent: Wednesday, November 21, 2018 12:47 AM
To: Victoria Mayor and Council
Subject: I want to support the project on 1712/1720 Fairfield Road

Dear Mayor and Council,

I am writing you to show my support for the development proposal at 1712/1720 Fairfield Road.

Sincerely,

Gareth Evans

759 Yates st

Sent from TalktoAryze.ca, talk@talktoaryze.ca

Monica Dhawan

From: Helen [REDACTED]
Sent: Wednesday, November 21, 2018 10:36 AM
To: Victoria Mayor and Council
Subject: Fw: Rhodo Project on Fairfield Road

Sent from my BlackBerry 10 smartphone on the TELUS network.

From: Helen [REDACTED]
Sent: Tuesday, November 20, 2018 12:43 PM
To: City of Victoria
Subject: Rhodo Project on Fairfield Road

Good morning Councillors.

I am a resident of Gonzales and live on St. Charles St. very close to Hollywood Park/Fairfield Road.

I am writing to voice my strong encouragement to each one of you to please give further, measured consideration to the Rhodo Project at 1712 & 1720 Fairfield Road that is now before you.

Providing for increased density does not have to compromise the larger neighbourhood's ongoing sense of community. Neighbourhood is a strong part of the mandate put forward by and for our city: How this goal is accomplished is the challenge before you. Considerations must include the look and feel of buildings and vegetation, and their impact on the neighbourhood.

The current Rhodo Project proposal, if allowed, would be an out-of-sync design with the neighbourhood because of its rectangular face looming 15 ft. higher than the peaked roof surrounding houses, and it's being much closer to the street with a 5.5 ft. setback rather than the 24.5 ft. of the houses. An additional aspect is that the development is predominantly inward focused, hindering larger community interaction -- something neighbours around here enjoy and foster.

I am also concerned about the lack of buffer between the private Rhodo Project and the public Hollywood Park. Whereas other homes around the Park have enclosed back yards, where even the presence of a discreet gate from their yard onto the Park has been in question from time to time over the years, it appears that the Rhodo residents, on the other hand, will be extended the privilege of using the Park as their personal yard because the developer is not providing adequate private space within the development. It appears that trees and bushes are being removed at the boundary to facilitate this. Please re-think this aspect of the plan. It is not community minded.

Parking, of course, is also a large issue. Currently, folks along Fairfield have clearly marked Residents Only Parking signage on parts of the street. Yet, even now many have ongoing problems finding parking. This is often attributed to folks who work at the nearby businesses, as well as those who come to enjoy the park as a family unit or a larger group or event. I have been advised that the Rhodo development is not providing adequate on-site parking. Again, please think about this impact on Hollywood Park and the neighbourhood.

You have important decisions to make.
Thank you for your time.

Sincerely,
H. Allan
192 St. Charles St.

Sent from my BlackBerry 10 smartphone on the TELUS network.

Monica Dhawan

From: Michael Muirhead [REDACTED]
Sent: Wednesday, November 21, 2018 9:45 AM
To: Councillors
Cc: Victoria Mayor and Council
Subject: 1712/1720 Fairfield Road

Hello,

Imagine, if you will, two single family lots in a leafy green residential neighbourhood. Now imagine all the green is gone. Buildings and concrete cover most of the site, with little to no green or open space. A 40 foot high wall in one solid block fronts these lots, a mere five and a half feet from the sidewalk. One could almost reach out and touch the wall (or ring the doorbells) without ever leaving the sidewalk. That is the Rhodo development.

I am 24 years old, and a resident of Gonzales. As a young person that aspires to remain in this neighbourhood, I support appropriate and respectful infill. The Rhodo proposal is neither appropriate nor respectful. It is too dense for the site and the buildings too high, with the facades facing the street and the park the equivalent height of a 4 storey condo building. The design is strongly urban, and does not compliment or respect the existing residential neighbourhood. While Aryze refuses to say what these new units would sell for, one can expect it to be upwards of \$800 or \$900K, which will do nothing to increase affordability.

Infill development should reflect a balance between the need for more, and more diverse housing, with respect for the existing form and character of the neighbourhood, and the green and open space that makes this neighbourhood and City one in which people want to live. This proposal does not even come close to balancing those interests. Please say a resounding no to this development.

Thank you.

Michael Muirhead
Foul Bay Road

Fairfield Gonzales Community Association Land Use Committee

Report: 1712 + 1720 Fairfield Road Community Meeting

Rezoning from R1-G to a Townhouse Zone

Applicant is Luke Mari on behalf of Aryze Developments

The meeting was held on August 17th 7:00PM at the Fairfield Gonzales Place

Attended by approximately 30 people

Chair: David Biltek

Robin Jones recused herself, as she lives within the 100 meters of the site.

Summary

The Gonzales neighbourhood is about to begin a transition from an area dominated by single family houses to one where townhouses and residential development of higher densities is encouraged. (Of course, if the new LAP is adopted.) This transition is and will cause concerns among residents, as the notes below suggest. How Council implements the new plan will be of critical importance to its acceptance. Density is NOT so much the issue, but as always, **Density IS a Design issue**. The concerns raised at the community meeting were mostly design matters. Dealing effectively with **DESIGN** will result in a happier neighbourhood. To the credit of the applicant they have had numerous meetings, open houses etc. with neighbours and have changed their plans many times based on those comments.

The Principal Topics

1. **Character** There were some comments about the structures not respecting the existing character of the surrounding neighbourhood.
2. **Footprint** There was one mention of the scale or size of the buildings, being larger than others in the area.
3. **Height of building**...may affect **privacy** for the four of five residences which back onto the development, and there will be some

shadows cast, particularly in the winter. **The reports conducted for the developer confirm that in the winter the properties to the north will be in the shadow of the new development**

4. **Parking.** There is always some concern about parking and there was with this development as well, although the developer pointed out that on street parking would increase due to the removal of one driveway. However, there are peak times in the year when the baseball diamonds to the west host tournaments which do attract a large number of people and cars which park throughout the neighbourhood.
5. **Density and change to the local plans.** The scale, scope and density of this project is new to Gonzales and there was some concern at the meeting that this is simply the first of many more to come and that is causing some worry among some people who presently rent properties in the immediate area. They are concerned with what they termed “gentrification”, which could result in their presently rented dwelling units being removed or renovated resulting in a loss of their home and/or increased rents.
6. **Encroachment into Hollywood Park.** Concern expressed about the distance from the building on westside of the tennis courts was too close. There was a clear feeling that should be a barrier between the two but what size, and material was not determined. Recommendation that the Parks Department examine this application for development and add their recommendations, comments and suggestions as Hollywood Park will be neighbours to this new development

November 21st, 2018

Dear Mayor and Council (City of Victoria),

Re: URGENT: For immediate consideration COTW Thursday November 22nd 2018
**Written request that the FGCA CALUC is requesting a 2nd CALUC meeting re:
Rezoning Application No 00618 for 1712 & 1720 Fairfield Road and
Development Permit with Variance Application No 00098 for 1712 & 1720
Fairfield Road.**

The criteria for a 2nd CALUC meeting has been met. (The first CALUC meeting was held August 17th, 2017)

“If changes are made that fall into the following categories a 2nd community meeting is required at the expense of the applicant.”(1)

- a change in use (Not applicable.)
- an increase in height (Applicable. From 10.7m to 11.45m.)
- an increase in the density of floor space ratio (FSR) (Not applicable.)
- a reduction in the setbacks or increase in site coverage equal to or greater than 20% (Applicable.)
- -44% reduction in front setback
- -32% reduction in west setback,
- -Site coverage increased from 45% to 60% a relative increase of 33%

These are significant changes; yet, best to our knowledge, the planning department did not notify us of these significant changes.

“The Area Planner **will notify** the Community Association Land Use Committee (CALUC)

and the proponent if a second meeting is triggered.”

Procedures for Processing Applications

Community Association Land Use Committee (CALUC)

City of Victoria

P 4 of 7

The plan that was presented to the community in August 17th, 2017 CALUC meeting has significantly changed as per criteria for a need for 2nd CALUC meeting. To the best of our knowledge, the FGCA CALUC did not receive any

notification about these significant changes in the plans, because if we had, we would have immediately requested a 2nd CALUC meeting as this clearly benefits both the developer and the community. We are now requesting a 2nd CALUC meeting and believe that a better plan by the developer could be achieved with more neighbourhood feedback.

Sincerely,
FGCA CALUC

(1) "Community Association Land Use Committee Plan Amendment, Rezoning, Variance, Temporary Use Permit and Liquor License Applications, City of Victoria, approved by Council December 8, 2016

Karen Sidhu

Subject: FW: Mayor and Council email RE: feedback on development proposal REZ00618

From: Victor V. Ramraj <[REDACTED]>
Sent: November 19, 2018 9:47 PM
To: Councillors <Councillors@victoria.ca>
Subject: feedback on development proposal REZ00618

Dear Victoria Councillors,

I am a resident of the City of Victoria and I live in the the Gonzales neighborhood, approximately 1.2 km from the Rhodo project on Fairfield Road according to Google maps. I have been corresponding with some members of the Gonzales Neighbourhood Association, who have expressed some concerns about this project.

I am writing to inform you that their views do not reflect my own; **I am strongly in favour of the project.**

I have reviewed the latest revised plans on the City of Victoria's development tracker. This is clearly a well-conceived project. It makes good use of land space and the plans for foliage around the property and rooftop planters is impressive.

My main concern about this project is a larger concern that I have about new projects in Victoria, which is that they are not sufficiently dense. In the interests of sustainability and sustainable cities, I would strongly urge city council to allow for taller buildings with more common and commercial space. These in-fill developments, especially on main roads such as Fairfield Road, present an opportunity to prevent urban sprawl. I would much prefer 4, 5, or 6 story buildings, designed thoughtfully with attention paid to rooftop parks and gardens, and green architecture, than lower builds that do not create enough housing and push Victoria's growing population into the suburbs, where commuting time is greater and a growing population uses more cars.

Please, new city councillors, increase the density of our neighbourhoods and reduce commute times and the need for cars. I would like to ensure that our neighbours are walkable and that basic services (banks, grocery stores, cafes, post offices, pharmacies) are all in walking distance. This is a model I've seen in the most livable and sustainable European cities, and it can be done in a way that makes communities even more livable. I feel that in this recent election, the voice of those of us who support thoughtfully planned densification has not been heard.

I realize it will take time for these larger policy shifts to take hold. The Intergovernmental Panel on Climate Change is calling for urgent action to keep to the 1.5 degree limit on warming. We will never be able to achieve this target if we don't radically change the way we think about new developments and take densification seriously. As far as this particular project is concerned, if anything, I would have preferred a taller development with more units. But it's too late for that now. So leaving aside this larger policy concern, **this is a well-conceived project; it has my full support.** It is at least a step in the right direction.

Sincerely,
Victor V. Ramraj

Subject: 1712/20 Fairfield Road (Rhodo): Revised Amenity Contribution
Date: Monday, November 19, 2018 at 9:24:48 AM Pacific Standard Time
From: Luke Mari
To: Victoria Mayor and Council
CC: Alec Johnston, 'Ryan Goodman'

Good Morning Mayor and Council,

In advance of your consideration of our application this coming November 22, we are writing for a change in direction for our voluntary amenity contribution. Originally, we had been working with the CRD on the delivery of some affordable housing with another concurrent application for a 65 unit rental building near Quadra Village. Our proposal was to quantify the below market offering and apply it to our full market, Rhodo townhouse project. We are still fully committed to the rental project and partnership with the CRD however the timing of the project is now out of step with our Rhodo project.

As a company, we are devoted to diverse housing options which include market and below market ownership and rentals. With that in mind, we'd like to voluntarily offer the Official Community Plan bonus density provision of \$5 per square foot to be applied to our 0.85FSR which results in a contribution to the Victoria Affordable Housing Fund of \$112,080.

We thank you for your time and consideration,

Luke

--

Luke Mari (MCIP/RPP)
Director of Development
Purdey Group
LMari@purdeygroup.com
250-881-6077

Rezoning and Development Permit with Variances Application for 1712 & 1720 Fairfield Road



Subject Site



1712 Fairfield Road



1720 Fairfield Road



Neighbouring Properties



1726 Fairfield Road



Hollywood Park



1712 Fairfield
viewed from
Hollywood Park



Neighbouring Properties



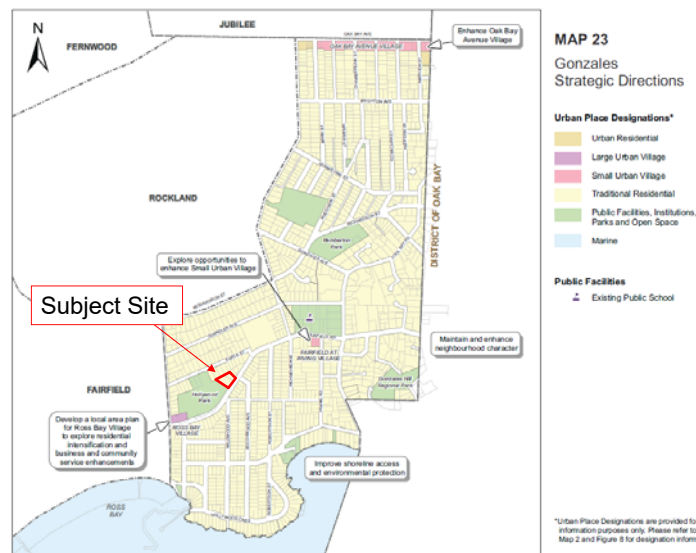
Montague Court across from site



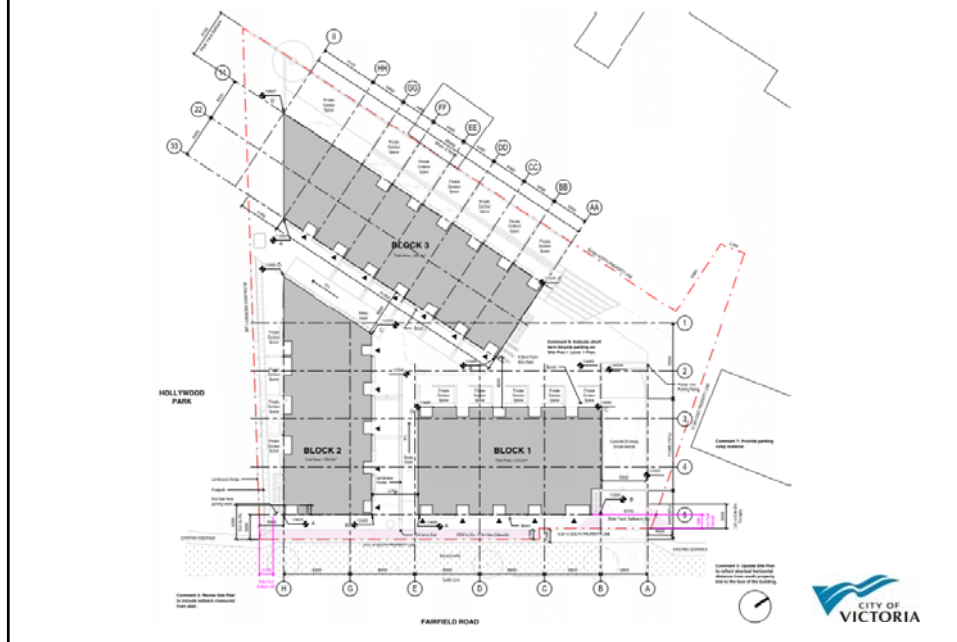
Commercial uses at the corner of Fairfield/Lilian/Wildwood



OCP Designation



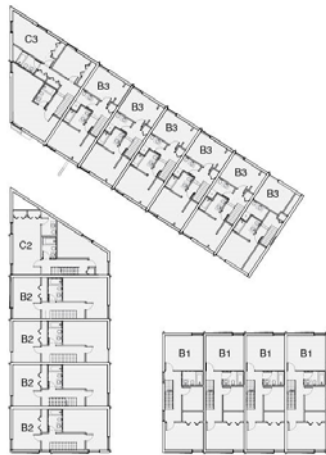
Site Plan



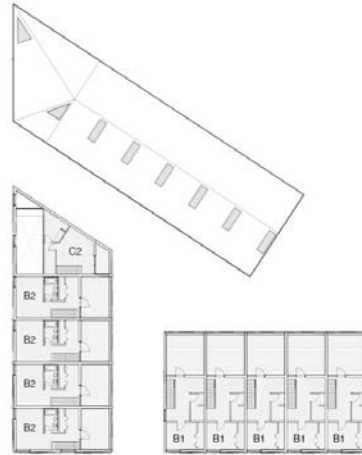
Floor Plans



Floor Plans



Second Level



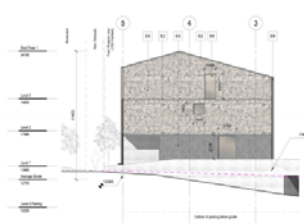
Upper Level



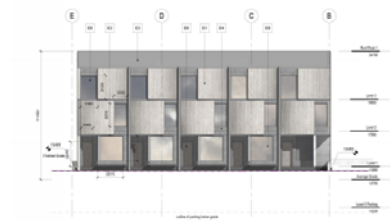
Elevations – Block 1



1 Block 1 - North
1:100



2 Block 1 - East
1:100



3 Block 1 - South
1:100



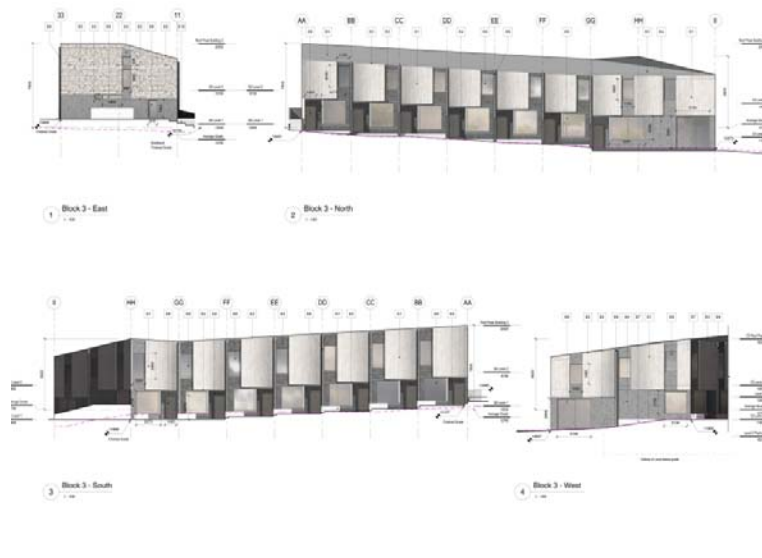
4 Block 1 - West
1:100



Elevations – Block 2



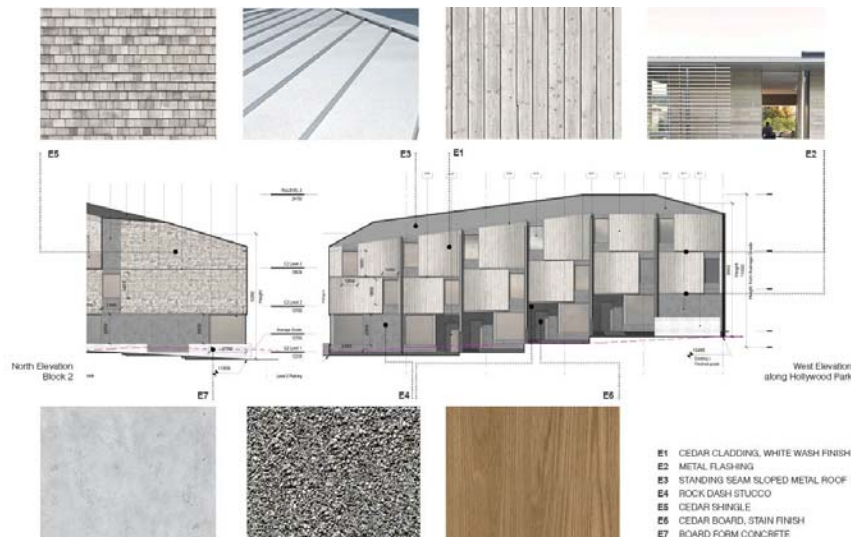
Elevations – Block 3



Streetscape Elevation



Materials



Renderings



View looking south on Fairfield Road



Renderings



Renderings



Internal courtyard view



Renderings



View looking south from the rear yard



Renderings



View from Hollywood Park



Committee of the Whole Report
For the Meeting of February 28, 2019

Police Department. The Township and City have both recently updated our emergency plans, communications plans, and received evacuation route planning grants (\$25,000 each), but have never conducted a joint exercise with each other and Victoria Police Department to better understand response implications when both jurisdictions are impacted. Other relevant stakeholders, including the Department of National Defense, will also be invited to participate. These exercises will be followed by after action reports that will be used to follow up on any potential gaps and strengthen our plans.

BACKGROUND

The City of Victoria recently completed three EOC exercises (seismic event, aircraft crash, and high-rise fire scenarios) involving City staff and volunteers.

The exercise evaluation surveys captured from these provide valuable information pertaining to future training requirements, overall exercise design, and a targeted path forward for the emergency management program, based on first hand feedback gathered from participants. One of the relevant recommendations was:

"That participants continue to be exposed to the City of Victoria emergency management plans and procedures through continued exercises. These exercises should continue to increase in complexity as the Emergency Control Group continues to increase their skills and capabilities in emergency response and the exercises should explore new aspects of the emergency plans."

The opportunity to receive grant funding for the City of Victoria to participate in joint exercises with the Township of Esquimalt is perfectly in line with the upcoming evacuation route planning project and the after action report from previous exercises.

The grant application requests funding for contracting the design of two exercises to test components of Esquimalt's Emergency Response and Recovery Plan in conjunction with the City of Victoria and the Victoria Police Department. This exercise will involve two scenarios, and these will require a simulation of an evacuation of residents and result in activation of the Township's and the City's Emergency Operation Centres, activation of the Emergency Social Services volunteer teams and reception centres and include participation of our volunteer auxiliary communications services team.

Regional partners will be invited to provide input, participate, and observe as necessary with learnings and tools shared with stakeholders, including Canadian Forces Base Esquimalt, Capital Region local authorities and the Province.

ISSUES & ANALYSIS

Acknowledging the constraints of a shared police force, ESS mutual aid agreements, physical geography, population fluctuations, and road networks and bridges between the Township and the City, this project will validate emergency planning assumptions for EOC activations and communications as well as evacuation planning.

This project will also enhance the awareness and preparedness among residents, engage them in neighbourhood resilience by opening reception centres, and ensure consistent public messaging, as well as EOC communications across the Township and the City.

This project will provide valuable information regarding ESS planning and capacity and Victoria Police capacity during evacuations. The project will also assist with communications planning between the Township and the City.

OPTIONS & IMPACTS

Option 1: Support the City of Victoria's application for \$25,000 in grant funds through the Community Emergency Preparedness Fund (Recommended).

Option 2: That Council decline the endorsement of the Community Emergency Preparedness Fund application.

2015 – 2018 Strategic Plan

Objectives are consistent with and compliment the 2015 – 2018 Strategic Plan objectives, specifically to:

- innovate and lead through internal city planning as well as community programs;
- engage and empower the community through our neighbourhood, volunteer, and education programs;
- facilitate social inclusion and community wellness by consulting with key stakeholders such as the Disability Alliance of BC (DABC) and using the functional needs framework for activities that promote community resilience; and
- Plan for emergencies including climate change short and long-term, by taking an all-hazards approach.

Impacts to Financial Plan

The current financial plan allocates funding for the emergency program, which includes preparedness, planning, and mitigation activities and projects. This project is eligible for up to \$25,000 of grant funding from UBCM, which will assist us in developing robust emergency plans, training, and exercises which will in turn strengthen our capacity to respond to emergencies and disasters in the City of Victoria. If successful, this \$25,000 would be added to the budget with offsetting funding from this grant.

Official Community Plan Consistency Statement

Emergency Management activities align with the Official Community Plan goals outlined in Section 18 – Emergency Management:

- Victoria is prepared to deal with known hazards and emerging threats, to limit the adverse impacts of events, and effectively manage emergencies;
- Victoria is able to respond rapidly and effectively to all emergencies, including events with long-term impacts and recovery times; and
- Victorians can rely on significant local sources for food, energy and materials to meet daily needs under emergency conditions.

Respectfully submitted,



Tanya Patterson
Emergency Program Coordinator



Paul Bruce
Fire Chief

Report accepted and recommended by the City Manager:


Date: Feb 21, 2019

List of Attachments

- Appendix A – CEPF – 2019 – EOC Application-Form-Esquimalt-Victoria-signed

Emergency Operations Centres & Training

2019 Application Form

Please complete and return the application form by **February 1, 2019**. All questions are required to be answered by typing directly in this form. If you have any questions, contact cepf@ubcm.ca or (250) 387-4470.

SECTION 1: Applicant Information	AP (for administrative use only)
Applicant: Township of Esquimalt	Date of Application: January 31, 2019
Contact Person*: Sara Jansen	Position: Emergency Program Manager
Phone: 250.414.7120	E-mail: sara.jansen@esquimalt.ca

* Contact person must be an authorized representative of the applicant.

SECTION 2: For <u>Regional Projects Only</u>
<p>1. Identification of Partnering Local Authorities. For all regional projects, please list all of the partnering local authorities included in this application. Refer to Section 2 in the Program & Application Guide for eligibility.</p> <p>City of Victoria</p>

SECTION 3: Project Summary
<p>2. Name of the Project:</p> <p>Township of Esquimalt, City of Victoria, and Victoria Police Department Joint Exercise</p>
<p>3. Project Cost & Grant Request:</p> <p>Total Project Cost: \$78,000 Total Grant Request: \$50,000</p> <p>Have you applied for, or received funding for, this project from other sources?</p> <p>No</p>
<p>4. Project Summary. Provide a summary of your project in 150 words or less.</p> <p>This project seeks funding to contract the design and management of two joint exercises between the Township of Esquimalt and City of the Victoria utilizing scenarios (likely evacuation and earthquake) that includes their shared police force, the Victoria Police</p>

Department. The Township and City have both recently updated portions of their emergency plans, communications plans, and evacuation plans and have never conducted a joint exercise with each other or with the Victoria Police Department to understand response implications when both jurisdictions are impacted. Other relevant stakeholders, including the Department of National Defense, will also be invited to participate. These exercises will be followed by after action reports that will be used to follow up on any potential gaps.

- 5. Emergency Plan.** Describe the extent to which the proposed project will specifically support recommendations or requirements identified in the local Emergency Plan.

This project will test communications between the three organizations, communications with the public, activation procedures, staffing plans and implications, evacuation procedures, the unified command structure, and will include interaction with ESS and amateur radio volunteers.

SECTION 4: Detailed Project Information

- 6. Proposed Activities.** What specific activities will be undertaken as part of the proposed project? Refer to Section 4 of the Program & Application Guide for eligibility.

A contractor will be hired to consult with the three organizations to develop two different scenarios that would require Victoria Police Department response to both the Township and the City. These scenarios will most likely be based on evacuation and earthquake events as these will require the most coordination of resources.

Each exercise will take place twice to allow an opportunity for all stakeholders to attend and provide input. Public alerting systems will be tested during the exercises and public education materials will be distributed prior to exercise to help educate the public on action to take during emergencies.

Emergency Social Services teams will be activated, and the contractor will include a reception centre and group lodging aspect in the exercise design.

After action reports will be provided by the contractor to assist in future planning considerations.

- 7. Group Lodging.** Describe the extent to which the proposed project will consider group lodging scenarios.

The Esquimalt and Victoria ESS teams will be consulted during the design process with the intent of a group lodging and reception centre activation exercise in conjunction with at least one of the exercises.

- 8. Transferability.** Describe the extent to which the proposed project may offer transferable resources and supplies to other local governments and First Nations (i.e. trained staff and/or equipment that will be made available to other communities, training resources and exercise plans other communities will be invited to utilize, etc.).

All exercise design templates and tools and learnings will be made available to share with other local governments, Treaty First Nations, and the Province. The intent of the training, tools, and plans is to be flexible and transferable.

9. Partnerships. Identify any other authorities you will collaborate with on the proposed project and specifically outline how you intend to work together.

The Township, City, and Victoria Police Department have agreed to collaborate and participate with the design and exercise components of this project by contributing time and access to plans. The Township of Esquimalt will manage the funds and the City and Township will jointly organize logistics of exercises. Each municipality will offer EOC training to which Victoria Police and the other local authority will be invited to attend.

The Township and the City will collaborate on public messaging and information materials to ensure consistency and lessen confusion.

Relevant emergency stakeholders from the local authorities and within the Region will be invited to provide input and participate in training and exercises.

Describe how a collaborative approach will leverage efficiencies and be a cost effective approach to the maintaining or improving of EOC operations.

Collaborating with other local authorities on public information tools reduces costs and decreases confusion. Levering joint exercises lessens costs and increases clarity of plans and processes.

10. Capacity Building. Describe how the proposed project will increase emergency response capacity (i.e. having the physical resources and the skills to respond to emergencies) in your community.

This project is multi-faceted and will increase capacity in several ways. It:

- increases the ability of local authorities to respond by understanding plans, processes, procedures, and limitations
- increases our capacity to conduct evacuations exercising staff
- improves knowledge and confidence of EOC staff and volunteers by exercising plans
- increases ability to clearly notify the public, staff, and volunteers about emergencies
- validates and improves evacuation plans, emergency communications plans, and public notification systems
- involving local, regional, provincial, and federal partners improves our relationships and communications with stakeholders
- provides an opportunity to educate the staff and the public on emergency actions

11. Evaluation. How will the project be evaluated? How will performance measures and/or benchmarks be used to measure outcomes (i.e. tracking number of training events and exercises, external evaluators, etc.)?

The project will be evaluated by a team of observers and by debriefs with after action reporting and will also track participation numbers of EOC staff, volunteers, and other stakeholders.

12. Additional Information. Please share any other information you think may help support your submission.

It is important to note that Victoria West is located adjacent to Esquimalt and Victoria is reliant on bridges to access this area for response. This may be especially relevant following an earthquake and assistance between the two local authorities may need to be coordinated. Victoria Police Department also has a new regional communications centre that would benefit from the exercise.

The City of Victoria will be submitting a Council Resolution as soon as possible and each resolution is for \$25,000 for a combined value of \$50,000.

SECTION 5: Required Application Materials

Only complete applications will be considered for funding. The following separate attachments are required to be submitted as part of the application:

- Detailed budget for each component identified in the application. This must clearly identify the CEPF funding request, applicant contribution, and/or other grant funding.
- Local government Council or Board resolution, or Treaty First Nation resolution, indicating support for the current proposed activities and willingness to provide overall grant management.
- For regional projects only: Each **partnering** local authority must submit a local government Council or Board resolution, or Treaty First Nation resolution, indicating support for the applicant to apply for, receive and manage the grant funding on their behalf.

SECTION 6: Signature

I certify that: (1) to the best of my knowledge, all information is accurate and (2) the area covered by the proposed project is within our local authority's jurisdiction (or appropriate approvals are in place).

Name: Sara Jansen

Title: Emergency Program Manager

Signature: 

Date: January 31, 2019

An electronic or original signature is required.

Submit applications to Local Government Program Services, Union of BC Municipalities

E-mail: cepf@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8

Combined Esquimalt - Victoria EOC grant

Item	Description	Qty	Unit Cost	Total	Total
Training				In-Kind	Grant
In house training	EOC training refresher for staff	4	\$ 2,500	\$ 10,000	
				Subtotal	\$ 10,000
Exercises					
Exercise Design	Design of 2 exercise scenarios and consultation with stakeholders	2	\$ 5,000		\$ 10,000
Delivery and facilitation	Delivery, coordination, and facilitation of 2 exercises	2	\$ 5,000		\$ 10,000
Public Alerting	Testing costs and public education	2	\$ 5,000		\$ 10,000
EOC Exercise Logistics	Catering and room rentals	2	\$ 3,500		\$ 7,000
ESS Exercise Logistics	Catering and room rentals	2	\$ 1,500		\$ 3,000
Staff time	Participation and organization (estimate)	60	\$ 300	\$ 18,000	
After Action Reports	Review plans, processes, and procedures to provide recommendations	2	\$ 5,000		\$ 10,000
				Subtotal	\$50,000
				Total	\$28,000
				Total Project cost:	\$78,000
				Grant funding request	\$50,000



Committee of the Whole Report

For the Meeting of February 28, 2019

To: Committee of the Whole **Date:** February 20, 2019
From: Thomas Soulliere, Director of Parks, Recreation and Facilities
Subject: Support for Bid to Host the 2022 Invictus Games

RECOMMENDATION

That Council approve a letter of support and financial contribution of \$20,000 towards a bid to host the 2022 Invictus Games, for the Victoria Invictus Games Society, to be funded from the 2019 Financial Plan allocation for Economic Development initiatives.

EXECUTIVE SUMMARY

The Invictus Games were created in 2014 by HRH Duke of Sussex, Patron of the Invictus Games Foundation, as an opportunity to harness the power of sport to inspire recovery, support rehabilitation and generate a wider understanding and respect for those who serve their country. Previous Games have been held in London (2014), Orlando (2016), Toronto (2017), Sydney (2018), and The Hague will host the upcoming events in 2020. The governing body, Invictus Games Foundation, has put out a request for proposals to host the 2022 Invictus Games.

The Invictus Victoria Sports Society has been formed to prepare a bid for the 2022 Invictus Games. The bid group leading this effort consists of representatives from the local community, including business, military and sport leaders from Greater Victoria.

Hosting the Invictus Games aligns with multiple priorities of Council, relating to community health and wellness, as well as economic development. Based on the recent experiences of other host regions, it is expected that the Games will provide a range of positive outcomes for those directly involved and the wider community.

Firstly, the Games will help to foster understanding of the service and sacrifices of military personnel, as well as recognition of veterans for their abilities to contribute post-service. The Games will also highlight sport as an important element of recovery with increased para sport opportunities for both athletes and family members. Another benefit of the Invictus Games is the positive impact it can have on communities by encouraging dialogue and education about mental health. The economic benefits relating to hosting this event are anticipated to be significant; the 2017 Invictus Games in Toronto reported an overall impact of approximately \$42 million.

In addition, the Victoria Invictus Games Sports Society intends to establish a legacy fund that will support sport and recreational opportunities for veterans and their families. Funding will also be designated for accessibility upgrades to hosting facilities in preparation for the Games.

Hosting the Games requires a maximum of nine core sports. The sports represent team, individual and mixed gender events. The sports include, athletics, archery, cycling, powerlifting, indoor rowing, sitting volleyball, swimming, wheelchair basketball, and wheelchair rugby. Fortunately, all of the necessary venues are in place throughout the local region. The City's Royal Athletic Park, Save-On-Foods Memorial Centre and other public spaces are likely host facilities.

The bid materials are being prepared and the formal application must be submitted by March 29, 2019. The hosting rights for 2022 will be announced this summer. The total cost for the application is \$70,000, which will be funded through a combination of investments from local stakeholders.

A high-level summary of anticipated investment needs is provided below. A detailed budget is being developed as part of the bid submission.

FUNDING	Bid Investment	Projected Hosting Investment
Federal Government		\$14M
Provincial Government		\$13.3M
Local Government (Victoria, Langford, Saanich, Oak Bay, Esquimalt)	\$60K	\$700K
Corporate		\$9M
Private Fundraising	\$10K	\$2M
TOTAL:	\$70K	\$39M

As noted above, Victoria is one of five local governments identified as partners for the purposes of the bid. If the application is successful, the list of partners will expand to include other public and private organizations. Hosting the Games requires investment from all levels of government, including an estimated \$200,000 from the City of Victoria, through a combination of cash and in-kind contributions. The most recent example of this level of investment is the value approved by Council in 2018 for a bid to host the North America Indigenous Games.

A local organizing committee will lead the planning and delivery of the Games. The activities are envisioned to occur over a 10-day period in the spring of 2022, during which time our residents will welcome 500 competitors, 300 coaches and staff, and 1,000 family and friends, from 19 participating nations.


As noted above, the bid group is working to complete the necessary materials and confirm support from local partners in advance of the March deadline. The potential benefits of hosting the Invictus Games represents a significant opportunity for Greater Victoria. Staff recommend Council support the application for 2022. A future report to Council will seek approval for the necessary investment to host the Games.

Respectfully submitted,



Thomas Soulliere
Director
Parks, Recreation and Facilities

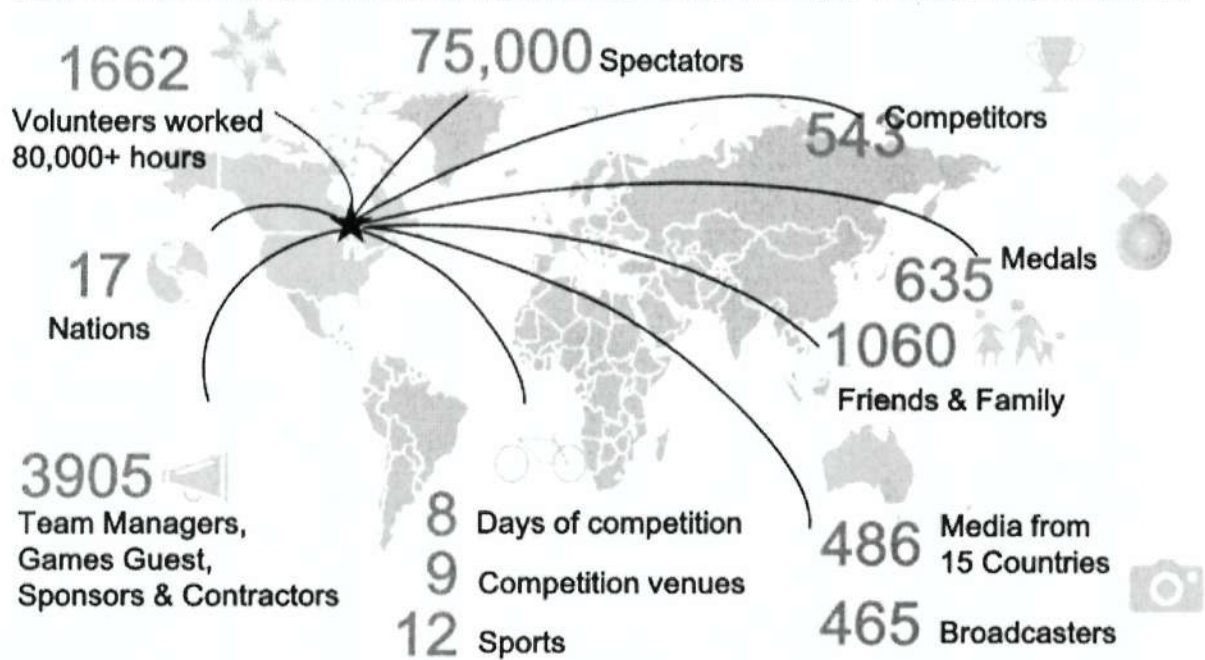
Report accepted and recommended by the City Manager:


Date: Feb 21, 2019

Attachment

Attachment A – Summary Overview: 2017 Invictus Games (Toronto)

INVICTUS GAMES 2017 OVERVIEW



DATES OF THE GAMES: SEPTEMBER 23-30

"TIBET DAY"

WHEREAS *Tibetans throughout the world will gather on March 10, 2019 in their host countries, to commemorate this day as their National Day of Remembrance; and*

WHEREAS *we in the multicultural City of Victoria respect the importance of historic events in the many diverse communities which comprise our own city; and*

WHEREAS *the spiritual and temporal leader of the Tibetan people, His Holiness the 14th Dalai Lama of Tibet, the 1989 Nobel Peace Prize Winner, is a significant contributor to the culture and religion of both our community and the greater world; and*

WHEREAS *His Holiness the 14th Dalai Lama of Tibet offers these thoughts: "My message is the practice of compassion, love and kindness. Compassion can be put into practice if one recognizes the fact that every human being is a member of humanity and the human family, regardless of differences in religion, culture, color and creed. Deep down there is no difference."*

NOW, THEREFORE *I do hereby proclaim Saturday, March 10th, 2019 as "TIBET DAY", on the **TRADITIONAL TERRITORIES** of the **LEKWUNGEN SPEAKING ESQUIMALT AND SONGHEES FIRST NATIONS** in the **CITY OF VICTORIA, CAPITAL CITY** of the **PROVINCE of BRITISH COLUMBIA**.*

IN WITNESS WHEREOF, *I hereunto set my hand this 28th day of February, Two Thousand and Nineteen.*

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored by:
Kathie Putt
Canada Tibet Committee
in Victoria

Appendix B

Council Meetings

Proclamations

17-Jan-19

BC Aware Days 2019: Be Secure, Be Aware Days - Jan 28 - February 5

31-Jan-19



Committee of the Whole Report For the Meeting of February 28, 2019

To: Committee of the Whole
From: Christine Havelka, Deputy City Clerk
Subject: Proclamation "Tibet Day" March 10, 2019

Date: February 20, 2019

RECOMMENDATION

That the *Tibet Day* Proclamation be forwarded to the February 28, 2019 Council meeting for Council's consideration.

EXECUTIVE SUMMARY

Attached as Appendix A is the requested *Tibet Day* Proclamation. Council has established a policy addressing Proclamation requests. The policy provides for:

- A staff report to Committee of the Whole.
- Each Proclamation request requiring a motion approved at Committee of the Whole prior to forwarding it to Council for their consideration.
- Staff providing Council with a list of Proclamations made in the previous year.
- Council voting on each Proclamation individually.
- Council's consideration of Proclamations is to fulfil a request rather than taking a position.

A list of 2018 Proclamations is provided as Appendix B in accordance with the policy. Consistent with City Policy, Proclamations issued are established as fulfilling a request and does not represent an endorsement of the content of the Proclamation.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Havelka'.

Christine Havelka
Deputy City Clerk

LIST OF ATTACHMENTS

- Appendix A: Proclamation "Tibet Day"
- Appendix B: List of Previously Approved Proclamations



For the Committee of the Whole Meeting February 28 2019

Date: February 22 2019

From: Mayor Helps

Subject: Support for Smart Cities Challenge

Background

On behalf of its 51 members, including ten municipal and seven First Nations members, the South Island Prosperity Project (SIPP) is applying for a \$10 million Smart Cities Challenge prize to improve transportation in the region through smart mobility.

Many local governments in the region are making invests in active transportation infrastructure, from bus shelters, sidewalks, bike lanes, and more. As part of the application process, each local government and other partners are listing their transportation and mobility infrastructure, planning and research projects as aligned funding to SIPP's application. The attached Appendix outlines Victoria's known investments in active transportation infrastructure and planning over the five-year period of the Smart Cities Challenge Funding. In addition, all SIPP member local governments and other partners are writing letters of support for the application.

Recommendation

That Council approves the letter of support and aligned funding chart for SIPP's submission to the Smart Cities Challenge.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "M. Helps".

Mayor Helps

**RE: Smart South Island “Smart Mobility” Proposal**

Dear Canada’s Smart Cities Challenge Jury,

The City of Victoria is thrilled to partner with the South Island Prosperity Project (SIPP) on the delivery of the projects and initiatives outlined in their application. We believe in the freedom to move and that access to high-quality, affordable, green and inclusive transportation options will enhance the well-being of individuals and strengthen the social fabric of our community. In Victoria we’re turning our belief into action through significant infrastructure investments and long-term sustainable mobility planning, action that very much complements the Smart South Island Smart Mobility proposal.

In 2016, the City began the build out of a 32km All Ages and Abilities Cycling network. As part of this build out, we’re also taking a “complete streets” approach making improvements for pedestrians and transit users at the same time. Victoria has become one of the top cycling cities in Canada, with 1 in 10 Victorians now cycling to work – the second highest mode share in North America. The implementation of the All Ages and Abilities (AAA) bicycling network over the last few years has been a key enabler of this by delivering a safe, inviting and comfortable cycling environment.

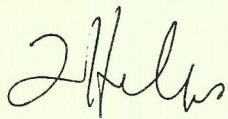
Early data on our first two corridors shows an average number of cycling trips per day of 1422 on Pandora Street and 823 on Fort Street during the summer of 2018. These represent 149% and 234% increases respectively over comparable months before the AAA infrastructure was in place. The City will continue the work of building infrastructure while the Smart South Island Smart Mobility proposal will create a “digital layer” making this infrastructure more user friendly to more people.

In addition to immediate and significant multimodal infrastructure investments, the City is developing the “Go Victoria: Sustainable Mobility Strategy”, a transportation plan for the city for the next 40 years. A key element of “Go Victoria” will be a values-based matrix to help Council make decisions on transportation investments. From initial consultation with Council and the community, the values that are arising to guide Victoria’s transportation future are very much in line with SIPP’s including affordability, equity and inclusion, and a strong desire to reduce carbon pollution. The “Go Victoria” strategy will be informed by and will help to inform the Smart South Island Smart Mobility projects being submitted as part of the Smart Cities Challenge.

This brings us to the final and most important area of alignment: a desire to take climate action and reduce carbon pollution. The City of Victoria's Climate Leadership Plan details that in order to decrease carbon pollution by 18% by 2041, we need to shift 55% of trips to walking and cycling and 25% of trips to transit. This is the City's single most significant emissions reduction tactic. The Smart South Island Smart Mobility projects, in particular Mobility As A Service (MAAS), multimodal trip planning and a single payment platform are key to Victoria's success in inspiring people to shift modes to tackle the climate crisis. Convenience is key and the Smart South Island Smart Mobility projects have the capacity to make multi-modal transportation more convenient, more fun, and less isolating than traveling alone in a car.

For all of these reasons we are pleased to support the SIPP Smart Mobility proposal with aligned funding over the next five years. And we've got our fingers – and our toes! – crossed that that jury will see, as we do, that the Smart South Island Smart Mobility proposal will help us to build a more inclusive, resilient and sustainable community where people are happier and healthier because they have the freedom to move.

Sincerely and with gratitude,

A handwritten signature in black ink, appearing to read 'Lisa Helps', written in a cursive style.

Lisa Helps
Victoria Mayor

1. Direct and Aligned Investments

Partner Name: _____

City of Victoria: _____

In the following table, please outline the description and type of direct and aligned investments. For example, if you are installing a new bus shelter, sidewalk bikelane, etc. this shows municipal infrastructure being invested to increase active mobility. Where possible, please include a monetary value or a quantitative value that can be monetized (e.g. in-kind staff time) over the five-year program.

The different types of direct and aligned investments include:

- **Funding:** Monetary amounts that will help to leverage the \$10 million grant.
- **Program:** In-kind materials, assets, or staff time to advance the initiative.
- **Research & Development:** Ideas, concepts, proposals and/or development that can be applied to the initiatives.
- **Collaborative:** Commitment to participate as a partner to share data, offer mobility services, connect to potential users, or align government and non-profit policy and advocacy objectives.

Please complete the following table with committed projects or investments (direct or aligned) that contribute to the Smart City Challenge outcomes.

Aligned Funding Table, For Four-Year Period (2019-2023)

Capital Infrastructure Investment	Description	Est. Value (\$)
"Complete" Streets	Using a proactive pavement asset management strategy, streets are rehabilitated or resurfaced with the objective of maintaining the City's street system for future generations in the most timely and cost-effective way. Each road rehabilitation project is reviewed using a complete streets lens to help ensure that when we are repairing and replacing our infrastructure we maximize the benefits for pedestrians, cyclists and the mobility impaired whether that is new cycling infrastructure, sidewalks, street lighting, accessible traffic signals or new pedestrian crossings.	\$19,228,000
Bicycle Master Plan Implementation	The City is accelerating the construction of 32km of All Ages and Abilities Cycling infrastructure by 2023 to improve safety and connect key destinations including employment hubs, parks, schools and recreation centres. When complete, 78% of Victoria's land area will be within 400m of an AAA facility, including 93% of schools and 73% of parks within a 400m intersect.	\$11,190,000 + TBD for future years

Crosswalk Installations / Upgrades	The goal of this program is to provide a safe, connected and comfortable walking network. The City prioritizes new crosswalks and upgrades to existing crosswalks by reviewing historical safety data, community and walk to school plans and through public outreach. This City funded program typically upgrades 2 crosswalks per year, but many other crossings are also improved and added through other city capital programs and land development projects with, for example approximately an additional \$1M of crosswalk investment happening in 2019 through these.	\$740,000
Fleet Telematics	Fleet GPS and operational data is being gathered via our Telematics program, which aims to define operational duty cycle for all fleet and equipment assets, which can then be compared to low carbon and higher 'value for money' alternatives, to inform the future fleet acquisition decisions.	Funds already expended
LED Street Lights	In 2018, all City streetlights were transitioned to LED (~6700 units) to reduce overall energy costs and increase capability for sensors and digital infrastructure in support of Smart City goals.	Funds already expended
Traffic Signal Accessibility upgrades	An annual program of pedestrian countdowns at signals and Audible Pedestrian Signal (APS) upgrades plus the planned implementation of tactile paving at intersections.	\$182,000
Public Transit Infrastructure	City funded bus shelters, continued partnership with BC transit for new shelters and 2019 update to current bus shelter contract with 3 rd party supplier to deliver safe, comfortable, accessible and connected bus stop infrastructure	\$156,000
Pedestrian Master Plan Implementation	The 2008 Pedestrian Master Plan prioritized closing gaps in areas missing sidewalks throughout the City, which are now being built, block by block. Sidewalks were prioritized based on road classification, proximity to activity centres such as schools and proximity to transit. This plan is being renewed and will be improved/amended through the City's "Go Victoria" sustainable mobility strategy.	\$1,931,000
Pedestrian Safety (Slips, trips and falls) program	As well as adding new sidewalks, the city invests in the upkeep and repair of the existing walking infrastructure with a focus on accessibility and safety issues with approximately 500m of sidewalks a year upgraded.	\$1,485,000
Pathway Upgrades	The City continues to make capital investments in a contiguous pathway along the harbour waterfront as well as in off-street multi-use pathways to enhance accessibility, safety and connectivity.	\$1,485,000

Smart City Transportation Data Collection	The City is investing in modern digital mobility monitoring systems and devices, which will measure safety, use, and help optimise the City's transportation networks.	TBD
Planning and Policy Investments	Description	Est. Value (\$)
Strategy	<p>The City is developing a new Sustainable Mobility Strategy through 2019 called "Go Victoria". This strategy will define the vision for transportation over the coming decades and align our mobility future with the values that are important to our citizens and our city. As such, it will position the City to effectively and proactively embrace the transformational power of new technology within transportation in a way that is best for the City.</p> <p>The planning process will include data analysis and community input to identify how we can improve transportation safety, mobility options, and enhance the overall experience of getting around. It will address:</p> <ul style="list-style-type: none"> • Walking, cycling, skateboarding, public transit, and driving • Using mobility services, such as taxis, ride-hailing, water taxis, car-share, or bike-share • Curb space and parking management, including passenger loading • Goods and services movement, including deliveries and commercial loading • Long-distance travel, such as float planes, ferries, and cruise ships • New and emerging technology that is making mobility more open, integrated, and seamless 	\$250,000
Parking Requirements & Design Guidelines in new development	Development intensity has increased within Victoria and continues to shape future mobility options. The City will continue to develop and enhance new guidelines and requirements to expand electric vehicle charging infrastructure, barrier-free vehicle parking, transportation demand management programs and bicycle parking in private developments.	TBD
EV Charging Infrastructure Implementation	The City of Victoria is currently developing an EV infrastructure charging strategy and has committed to continuing investments in new public charging infrastructure (Level 2 and Level 3)	\$50,000

New Bylaws and Regulations	The City will develop new bylaws and regulations to support and integrate the growth of emerging mobility services and their use of the public right-of-way.	TBD
Existing Bylaw and Regulations alignment	The City is performing a review of existing bylaws related to transportation system management and land use to support the objectives identified in Go Victoria and Official Community Plan. This will include the Streets and Traffic bylaw, Zoning bylaw, Subdivision Servicing bylaw and Highway Access bylaw.	TBD
Planning for Transformational public transit improvements	<p>Over the next 5 years, the City will strongly advocate for investments which will fully exploit the highest and best value of transit to move people on corridors including Douglas street and other transportation corridors to enhance mobility performance, and benefit climate change, affordability, safety and health outcomes.</p> <p>Zero emissions busses, smart bus information / real time data, all door loading, increased safety sensors, traffic signal prioritization systems, single digital payment systems for all modes, and other actions will help shape today's bus capability.</p> <p>Increased investment and planning in rapid transit (BRT or LRT) is required to transform Douglas and other key corridors into 'friction-free' public transportation options linking Saanich, the peninsula and the West Shore to the downtown.</p> <p>Subsidized transit passes and other measures to increase ridership will be part of these planning steps.</p>	TBD



For the Committee of the Whole Meeting February 28 2019

Date: February 22 2019

From: Mayor Helps

Subject: Citizens Assembly Council Committee

Background

In the October municipal election, residents of Saanich and Victoria voted in favour of exploring the costs, benefits, and disadvantages of the amalgamation of Saanich and Victoria through a Citizen's Assembly process.

The District of Saanich has formed a four-person committee comprised of the mayor and three councillors. The mandate of the committee is to develop a process for a Citizens Assembly that will be satisfactory to Saanich Council and Saanich citizens. Saanich's committee has no decision-making authority and reports with recommendations to Saanich Council. Saanich's committee also has a mandate to work with a similar committee from the City of Victoria to explore and share ideas and bring them back to Saanich Council for consideration. The joint committee formed by the council committees of Saanich and Victoria will also have no decision-making authority.

Following Saanich's lead, my recommendation is that the City of Victoria form a committee that mirrors the District's Committee. The proposed mandate of the Victoria's Citizen's Assembly Council Committee is to work with Victoria Council and with the joint council committee to develop terms of reference for a Citizens Assembly and related processes such as a technical assessment. The Committee is a recommending body to Council and has no decision-making authority. The Committee will report to Council within two-weeks of meeting and will bring written reports to Council with recommendations for decision as needed. The Committee will meet with the Saanich Council Citizens Assembly Committee as needed and will report back to Council within two weeks of any meeting with Saanich's Committee.

Recommendations

That Council:

1. Select three councillors to form a Citizens Assembly Council Committee with Mayor Helps as the Chair
2. Make any amendments to the mandate proposed in this report and adopt a finalized mandate.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "M. Helps".

Mayor Helps



Council Member Motion
For the Committee of the Whole Meeting of February 28, 2019

Date: February 22, 2019

From: Councillor Thornton-Joe

Subject: Extended Hours for Our Place

Background

Each year Our Place is funded to open from November 1 - March 31 from 7:00am-9:00pm 7 days a week and 9 - 6 on stat holidays. In the spring and summer months, due to funding, the hours from April 1 - October 31 are weekdays from 7:00am-6:00pm, weekends from 10:00am-6:00pm and on statutory holidays only open to serve lunch and dinner. The gap of 3 hours in the morning on weekends, 3 hours gap 7 nights a week, and the limited hours on statutory holidays contributes to an increase in already existing congregation on the boulevard outside of Our Place, as people are waiting for Our Place to open after they are closed. It also means that people seeking a place to use a washroom, food and snacks, or to get out of the heat or cold have no place to go when Our Place is not open. As the First Met shelter closes in the morning at 7am, those who need a place to have a shower and get some food must wait outside of Our Place on weekends until it is opened. Also, as the First Met shelter opens at 7pm, people have to wait outside Our Place or over at First Met for the hour before First Met's doors are opened. Another concern is that the new Supervised Consumption Site now opens from 6:30am-8:00pm, 7 days a week. By funding Our Place to be opened with similar hours, individuals will be able to seek services and supports that Our Place offers.

Upon receiving a budget from Our Place to extend their hours similar to winter hours until the end of March 31st, 2020, BC Housing is committed to contributing one time funding of \$75,000 towards the increased hours as long as others are willing to partner and fund the remaining necessary amount. We are awaiting approval from Island Heath to come forward with some additional funds to provide services and supports and the City is needed to also provide some funds.

Motion

That Council allocate \$50,000 from surplus to partner with BC Housing and Island Health to increase the hours and services for Our Place to match winter hours from April 1-October 31.

Respectfully submitted,

A handwritten signature in cursive script that reads "Charlayne Thornton-Joe".

Charlayne Thornton-Joe

A handwritten signature in cursive script that reads "Mayor Helps".

Mayor Helps



Council Member Motion
For the Committee of the Whole Meeting of February 28th, 2019

Date: February 25th, 2019

From: Councillor Jeremy Loveday and Councillor Laurel Collins

Subject: Maintaining the City of Victoria's Cherry Blossom Heritage

Background:

Victoria, the City of Gardens, lies nestled beneath a protective canopy of trees – our urban forest.

An urban forest includes all of a community's trees, shrubs and groundcover and the soils in which they grow. Parks, natural areas, boulevards, and residential gardens are examples of some of the many and diverse treed areas that make up the urban forest.

The City of Victoria manages over 40,000 trees within its parks and boulevards. Many of these trees are nearing the end of their life cycle. The City is keeping close tabs on its valuable tree inventory to prevent injury or property damage. At the same time, it needs to think about how best to invest in and ensure Victoria's urban forest is healthy, safe and abundant in the future.

Cherry Trees arrived in the City of Victoria as a gift from the Japanese Community in the 1930's. The Victoria Nikkei Cultural Society states that the first 1000 cherry trees were a gift to the City of Victoria, which was made using prize money the Japanese community had won for their float in a parade recognizing the City of Victoria's 75 anniversary.

Ornamental flowering cherry trees require a moderate to high availability of water. However, even though climate change adaptation may mean that cherry trees will not be a viable option for all locations where they are presently growing, City staff have continued to replace cherry varieties where they will continue to thrive.

While City staff is implementing the best approaches for ensuring a healthy urban forest for future generations to enjoy, it is important that the City retains some of its cherry blossom heritage and the beauty and cultural significance that comes with these trees.

Recommendations:

- 1) That Council recognizes the historic importance and symbolic significance of cherry blossom trees

2) That Council direct staff to include the historic importance and symbolic significance of cherry blossom trees when considering what trees to plant and direct staff to report back with options for maintaining an ongoing presence of Cherry Trees as part of a regular update on the implementation of the City's Urban Forest Master Plan

3) That Council request that the Mayor write to the Victoria Nikkei Cultural Society to express appreciation for their historic gift and clarify the City's policy regarding Cherry Blossom Trees.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Loveday', with a stylized, cursive script.

Councillor Loveday

A handwritten signature in black ink, appearing to read 'Laurel Collins', with a cursive script.

Councillor Collins



Council Member Motion
For the Committee of the Whole Meeting of February 28th, 2019

Date: February 26th, 2019

From: Councillor Potts and Councillor Loveday

Subject: Recommendations from the Accessibility Working Group

Background:

The Accessibility Working Group currently operates without a direct path for their recommendations to be considered by Council other than through Council Member Motions brought forward by the Accessibility Working Group's Council liaisons.

The following recommendations were passed by the Accessibility Working Group and are being brought forward by the Accessibility Working Group's Council liaisons for Council's consideration. It is recommended that Council receive and consider these recommendations.

Recommendations:

That Council receive the following recommendations from the Accessibility Working Group and request a verbal update from City Staff on the progress on each item:

The AWG recommends that Council direct staff to report back with financial implications, within the 2019 budget, of addressing barriers, as defined by the Accessibility Working Group, in Council documents, webcasting services, and system/page. Such barriers include but may not be limited to:

1. Inaccessibility of webcasts to people with hearing impairments.
2. Unreliability of webcasts for people who cannot attend City Hall,
3. Navigation issues on the page for people using screen readers (very difficult to find and play the webcast or access documents associated with agenda items)
4. Lack of process for people who cannot attend City Hall to address Council.

The AWG recommends that Council direct staff to plan, scope, cost and look at options to resource a project for 2019 to consult, research, analyze and develop a long-term, phased plan and policies for addressing accessibility of the planted environment, to remove barriers for people with environmental disabilities, consistent with the accessibility objectives of the Parks and Open Spaces Master Plan.

The AWG recommends that staff report back, as part of Financial Plan, with resource estimates for AWG recommendations, and that staff consider combining the AWG's recommendations

regarding conducting a parking study for City-provided parking, with the scope of the accessible parking study for privately-provided parking, to determine any efficiencies that might be gained.

The AWG recommends that Council direct staff to develop and implement a plan to install APS/audible signals at all existing controlled intersections/crossings, to be completed by 2021 and that staff work with the AWG to determine priority intersections/crossings to be addressed each year. That the new standard be that APS or audible signals be installed whenever a new pedestrian signal is installed.

The AWG recommends that Council direct staff to provide an estimate for the cost of completing analysis of the AWG Accessibility Survey which closed May 2017, on a priority basis, and report the results to the AWG and Council. The analysis should include theory-based quantitative analysis to help understand who said what and a summary of write-in responses, to aid in understanding the reasons behind tick box answers. The qualitative analysis should be done in a way that protects privacy of respondents (e.g., analyzed by an independent third party).

The AWG recommends that Council direct staff to include in criteria for making City Hall accessible, accessible artificial lighting, particularly in public areas.

The AWG recommends that Council direct staff to consider and bring forward proposals and scenarios for providing ongoing operational funding for accessibility, consistent with the AWG recommendation of December 2016 that accessibility funding be allocated annually.

The AWG recommends that Council direct staff that one of the first quarterly Town Hall meetings be on the topic of improving accessibility, that food barriers to access not be introduced for this event, that the event be held in as accessible a forum as possible and with accessibility procedures and features.

The AWG recommends that Council direct staff to enforce the sandwich board provisions of the portable sign bylaw in the name of pedestrian safety.

Respectfully Submitted,



Jeremy Loveday



Sarah Potts

Appendix D: List of 2019 Financial Plan Motions

ACCESSIBILITY WORKING GROUP 2019 BUDGET INPUT

That Council forward this report with the recommendations from the Accessibility Working Group to the 2019 budget process to receive the financial implications of all of the un-actioned recommendations.

BACKGROUND:

Since its inception in 2015, the *Accessibility Working Group (AWG)* has raised a number of issues for the City's consideration. The establishment of a city-wide accessibility policy and framework was a key recommendation of the Working Group. This project is currently under development and includes the following within the approved scope of work:

- City-wide accessibility policy
- Accessibility guidelines and standards
- Training and awareness for city staff
- Dedicated staff position to support enhanced accessibility in City services and projects
- Cross-department accessibility planning
- Risk, budget and prioritization of accessibility actions to set a multi-year barrier reduction plan
- Accessibility Impact lens
- Progress monitoring and reporting
- Compliance and enforcement
- Individual Accommodation
- New terms of reference and operational guidelines for an Accessibility Working Group

The comprehensive list of topics, issues, and ideas that have been raised at the Working Group meetings and/or through formal motions have been shared with the City's consulting team for their professional consideration and integration into draft documents.

City staff plan to present the draft accessibility framework and policy to the Accessibility Working Group in Q1 2019 for review and insights, before presenting to Council and completing broader public consultation. The framework will provide further direction to staff in the prioritization and recommendations for healthy, long-term funding requirements for this program. Staff would assess that Framework completion and subsequent financial planning is critical *before* any major changes are made to funding allocations identified by any single stakeholder group.

There are 5 motions that were specifically identified by the AWG for consideration in the 2019 Financial Plan.

As the actions for the Accessibility Framework will occur outside of the 2019 financial planning process, Council may wish to allocate funding for potential expenditures before the 2020 financial planning process or to accelerate certain actions within the calendar year. Council could consider allocating the already planned \$250,000 addition to the Accessibility Capital Reserve to an operating reserve instead to be able to fund initiatives that are not capital in nature, such as staff training.

MOTION 1: Barriers in Council Documents and Procedures: *That Council direct staff to research and plan to address barriers in the Council documents and webcasting service and*

Appendix D: List of 2019 Financial Plan Motions

system/page and report to Council on financial implications as part of the 2019 Financial Planning process.

BACKGROUND:

The Accessibility Working Group has identified barriers related to the publishing of documents and webcasting services for persons with disabilities. Specific topics include, but are not limited to:

1. People with hearing impairments being able to watch webcasts
2. Reliability of webcasts for people who cannot attend in person at city hall
3. Navigation issues on the page for people using screen readers
4. Lack of process for people who cannot attend City Hall in person

FINANCIAL & HUMAN RESOURCE IMPLICATIONS:

The development of the City-wide accessibility policy and framework includes establishment of tools to prioritize investments to reduce systematic barriers in different areas, including city communications and governance documents.

A few of the recommendations can be implemented quite easily and will be actioned. Closed captioning for the webcasts will be implemented, to enable people with hearing impairments to watch the webcasts. This functionality is part of the existing system. Staff have established additional procedures with the service provider to reduce reliability issues of the webcasts, including adjusting automatic re-boot schedules of backend systems. Staff will continue to monitor this. For the navigation issues we will explore options to improve screen reader access to the webcasting landing pages. Should the options for improving the navigation issues be more difficult than anticipated, staff will report back to Council.

The remaining recommendations are best integrated as part of broader city governance considerations. The implications of introducing processes to appear before Council without attending in person should be analyzed as part of a comprehensive approach to support effective decision-making. For resource implications of such a review, please refer to the Strategic Plan motion response.

MOTION 2: Accessibility of the Planted Environment: *That Council direct staff to plan, scope, cost and look at options to resource a project for 2019 to consult, research, analyze and develop a long-term, phased plan and policies for addressing accessibility of the planted environment, to remove barriers for people with environmental disabilities, consistent with the accessibility objectives of the Parks and Open Spaces Master Plan.*

BACKGROUND:

Balancing accessibility considerations with pollinator habitat is a complicated task given the numerous variables at play in the outside environment and the relatively limited ability to control all sources of allergens. The characteristics of Victoria's natural ecosystem must also be taken into account. For example, Garry Oaks are high on the allergy index scale and yet are a critically important part of the City's natural ecosystem.

In November 2017, Council directed staff to work with the Accessibility Working Group and Urban Food Table and to report back on options for balancing accessibility considerations with pollinator habitat, including in the vicinity of playgrounds.

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In July 2019, through the Parks and Open Spaces Master Plan, staff reported back on these issues and committed to undertaking two actions in an effort to balance accessibility considerations with the management of the City's natural habitats. This includes working with the Accessibility Working Group and the Urban Food Table on the development of information resources for the public in effort to raise awareness among residents about allergen considerations and pollinator plants in the public realm; and, developing a reference list for staff that identifies low allergen plants that are sensitive to Victoria's natural ecosystem. This work is underway and will be completed in 2019.

FINANCIAL AND HUMAN RESOURCE IMPLICATIONS:

Should Council wish to undertake a more detailed study to address accessibility considerations within the planted environment, staff recommend *developing a scope of work in 2019* for a consultant to assist the City with a study in the 2020. Staff estimate the cost of the study to be \$100,000.

MOTION 3: Accessible / Barrier-Free Parking: *That Council direct staff, when reporting back to Council as part of Financial Plan with resource estimates for AWG recommendations, that staff consider combining the AWG's recommendations regarding conducting a parking study for City-provided parking, with the scope of the accessible parking study for privately-provided parking, to determine any efficiencies that might be gained.*

See response under a separate parking motion that covers accessible parking standards on private lands and on City streets / parkades.

MOTION 4: Accessibility Awareness Training: *That one-time operational funding for 2019 be allocated, sufficient to address recommendations arising from the Accessibility Framework, with the highest priority activity being delivery of accessibility awareness training to staff and Council, consistent with recommendations from the Accessibility Framework consultant's pending training needs assessment.*

BACKGROUND:

Staff training and education is a topic included in the city-wide accessibility policy and framework which is under development. This motion requests that Council provide an allocation of funds specifically for rolling out training and development activities in 2019 after adoption of the framework.

The BC Public Service has recently launched a three-year action plan to support Diversity and Inclusion. As part of this action plan, a new training for provincial government employees will be launched in the Spring of 2019. The City is exploring opportunities to access Provincial training and will be meeting with representatives from the BC Learning Agency in January 2019 to gain insight into the applicability and focus of their inclusion training. It is possible the Government of BC may launch additional resources in future to support accessibility, as Bill M219 The British Columbia Accessibility Act has had first reading.

FINANCIAL AND HUMAN RESOURCE IMPLICATIONS:

Allocation of \$30,000 towards the *City's Core Learning Program* to initiate new accessibility and inclusion awareness training would help to accelerate training actions in 2019 for frontline staff, the City's Management team and Council. Staging and sequencing of learning should first be delivered to the Senior Leadership Team and Management so that they are equipped to support

Appendix D: List of 2019 Financial Plan Motions

further roll-out. In order to manage the operational impacts, a staged approach will be used with existing staff while newly hired staff will participate within their first year of being hired. Additional work will inform the 2020 budget cycle on appropriate funding for on-going support training for all staff.

MOTION 5: Accessible and Audible Pedestrian Signal implementation: *That Council direct staff to develop and implement a plan to install APS/audible signals at all existing controlled intersections/ crossings, to be completed by 2021 and that staff work with the AWG to determine priority intersections/crossings to be addressed each year.*

BACKGROUND:

Accessible Pedestrian Signals are Audible Pedestrian Signals (APS) with enhanced features (locator tones/vibro-tactile pushbuttons) intended to provide improved accessibility for users with visual impairments. Many traffic signals are already updated with audible tones, but do not include the APS with enhanced features.

In 2018 the city installed APS with enhanced features at the following locations:

- Gorge/Washington
- Hillside/Gosworth
- Bay/Richmond
- Quadra/Finlayson

The following intersections have been identified for the installation of audible tones and APS with enhanced features in 2019:

- Quadra/Caledonia
- Quadra/Fisgard
- Johnson/Fernwood
- Humboldt/Wharf/Government

With the completion of the intersections identified above, the City will have completed all intersections identified by the Accessibility Working Group and funded by the accessibility reserve. A total of 79 intersections in the City have audible tones with an additional 5 installations planned in 2019. With a total of 132 signalized intersections in the City there are a remaining 49 signals without audible tones. The typical cost of retrofitting a signal with audible tones is \$14,000 representing a funding commitment of approximately \$229,000/year over three years.

A total of 10 intersections in the City have APS with enhanced features. With a total of 132 signalized intersections in the City there are a remaining 122 signals without APS with enhanced features. The typical cost of retrofitting a signal with APS with enhanced features is \$15,000 representing a funding commitment of approximately \$610,000/year over three years. In order to accommodate APS, traffic signal hardware upgrades could be required, which could impact costs.

APS at traffic signals is an existing program within the City in alignment with the city's broader direction to develop a barrier free street environment. Priority is given to those locations identified by interested stakeholders and by staff's own assessments taking into account factors including pedestrian volumes and adjacent land uses. APS is also included in all new signal installations, within any changes associated with new development, other capital projects and as part of traffic signal rebuilds.

Appendix D: List of 2019 Financial Plan Motions

FINANCIAL AND HUMAN RESOURCE IMPLICATIONS:

The Accessibility Framework currently under development will help staff and the public understand the level of priority and in turn investment that should be given to all of the above programs.

Should Council wish to accelerate the funding or actions in these program areas ahead of the completion of the Accessibility Framework, then additional staff and resources would need to be made available now, depending on what mix of initiatives they wish to support. Additional direction from Council and details of scope would be required to define resultant resource needs. The current uncommitted capital funding available in the reserve is \$947,000.

The Accessible Framework will inform Council, staff and the public of important considerations for how to best spend any accessibility investment and also how best to prioritize that against other important City safety and service areas.

The framework (completing in Q1/Q2 2019) will provide further direction to staff in the prioritization and recommendations for healthy, long-term funding requirements for this program. Staff would assess that Framework completion and subsequent financial planning is critical *before* any major adjustments are made to funding allocations identified by stakeholders.

Master planning processes, like the Accessibility Framework, that are currently underway, are the best tools we have for defining asset-group long term funding needs. Improved tools / systems to prioritize projects across domains would improve our ability to prioritize across asset groups. Awaiting the outcomes from the Framework and other priority management plans will greatly reduce the risk of spending funds in a manner that does not align with priorities of public safety and other important municipal services. That being said, in anticipation of the completion of the Accessibility Framework and funding needs, Council may consider allocating the already planned additional funding of \$250,000 to an operating reserve rather than the Accessibility Capital Reserve, so that the funding can be used for initiatives that are not capital in nature, such as training and program development.

Appendix D: List of 2019 Financial Plan Motions

PARKING:

That Council direct staff to report back on funding in the budget for policy work in 2019 on accessibility, including accessible parking.

BACKGROUND:

Where previously the 2012 BC Building Code prescribed minimum accessible parking supply requirements, the new 2018 BCBC refers to the National Building Code which simply defers all regulatory authority to the local jurisdiction. As such, the City will need to establish new supply requirements to be included in Schedule C under the City of Victoria Zoning Bylaw.

The accessibility working group has also identified the need to develop design guidelines for on-street or parkade parking stalls. This work can be done at the same time and would inform a subsequent retrofit program on City streets and in the parkades.

FINANCIAL AND HUMAN RESOURCE IMPLICATIONS:

The estimated cost of undertaking this work is \$100,000 and includes:

- Review and collate previous and current City documentation including feedback, information and insights already documented from the Accessibility Working Group and members of the Victoria Disability Resource Centre's parking committee
- Undertake a best-practice review of barrier-free parking regulations in other jurisdictions;
- Review guidance provided by National and International standards;
- Development of a new set of requirements for accessible / barrier free parking and engage with stakeholder groups including:
 - The Accessibility Working Group;
 - Victoria Disability Resource Centre;
 - Community Association Land Use Committees
 - Urban Development Institute; and
 - Rental / property management organization(s).
- Host a public event to share draft recommendations for public review and comment;
- Prepare a final report that includes:
 - A summary of the process undertaken;
 - Recommended requirements and associated zoning bylaw amendments;
 - Recommended operational design guidelines for on-street and parkade accessible parking stalls

There is no budget established for this project in the 2019 Financial Plan. Resources would need to be allocated. Staff assess that this work is led by existing staff in the Transportation Division with support from an external consultant, and existing staff in Parking Services, Engagement and Sustainable Community Planning & Development departments. Funding for a city-wide retrofit program would be required as a part of 2020 and 2021 financial plan to implement the recommended changes to on-street and parkade parking stalls. Accelerating this work before the introduction of the Accessibility Framework risks expenditures that are misaligned with other important accessibility priorities. These risks are mitigated somewhat by the coupling of this work with the on-street and parkade accessible parking assessment project.

