



**AGENDA  
PLANNING AND LAND USE COMMITTEE  
MEETING OF OCTOBER 1, 2015, AT 9:00 A.M.  
COUNCIL CHAMBERS  
CITY HALL, 1 CENTENNIAL SQUARE**

Page

**CALL TO ORDER**

**APPROVAL OF AGENDA**

**CONSENT AGENDA**

**ADOPTION OF MINUTES**

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| 1. | Minutes from the meeting held September 10, 2015. | 3 - 7 |
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**DEVELOPMENT APPLICATION REPORTS**

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| 2. | Development Permit with Variances Application No. 000404 for 701 Tyee Road (Railyards)<br>--J. Tinney, Director - Sustainable Planning and Community Development | 9 - 128 |
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*An application to authorize the design, siting, and landscaping for 144 unit apartment to be constructed in three phases at the Railyards development. A hearing is required prior to Council making a final decision on the application.*

Staff Recommendation: That Council advance the application to a hearing and then consider authorizing the permit.

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| 3. | Development Permit with Variances Application Nos. 000431, 000432 and 000433 for 1032, 1038 and 1044 Harling Lane<br>--J. Tinney, Director - Sustainable Planning and Community Development | 129 - 177 |
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*An application to authorize the design and landscaping for three small-lot houses. A hearing is required prior to Council making a final decision on the application.*

Staff Recommendation: That Council advance the application to a hearing and then consider authorizing the permit.

4. Heritage Alteration Permit with Variances Application Nos. 00205 and 179 - 247  
00206 for 226 Dallas Road and 222 Dallas Road  
--J. Tinney, Director - Sustainable Planning and Community Development

*An application to relocate and rehabilitate two houses currently located at 524 and 526 Michigan Street to 226 and 222 Dallas Road. A Public Hearing is required prior to Council making a final decision on the application.*

Staff Recommendation: That Council advance the application to a Public Hearing and then consider authorizing the permit.

## **ADJOURNMENT**

**MINUTES OF THE  
PLANNING & LAND USE COMMITTEE MEETING  
HELD THURSDAY, SEPTEMBER 10, 2015, 9:00 A.M.**

**1. THE CHAIR CALLED THE MEETING TO ORDER AT 9:00 A.M.**

**Committee Members Present:** Mayor Helps (Chair); Councillors Alto, Isitt, Loveday, Lucas, Madoff, and Young.

**Absent:** Councillors Coleman and Thornton-Joe

**Staff Present:** J. Johnson – City Manager; J. Jenkyns – Deputy City Manager; J. Tinney – Director, Sustainable Planning & Community Development; A. Hudson – Assistant Director, Community Planning; R. Battalas – Senior Planner; A. Brett – Planner; M. Miller – Heritage Planner; R. Woodland – Director, Legislative & Regulatory Services; J. Appleby - Recording Secretary.

**2. APPROVAL OF AGENDA**

**Action:** It was moved by Councillor Loveday, seconded by Councillor Alto, that the Agenda of the September 10, 2015, Planning and Land Use Committee meeting be approved.

CARRIED UNANIMOUSLY 15/PLUC199

**3. MINUTES**

**3.1 Minutes from the Meeting held on August 27, 2015.**

**Action:** It was moved by Councillor Alto, seconded by Councillor Isitt, that the Minutes from the Planning and Land Use Committee meeting held August 27, 2015, be adopted.

CARRIED UNANIMOUSLY 15/PLUC200

**4. DEVELOPMENT APPLICATION REPORTS**

**4.1 Heritage Designation Application No. 000153 for 727-729 Johnson Street**

Committee received a report regarding an application for 727-729 Johnson Street. The proposal is an owner request to designate the exterior of the property as a Municipal Heritage Site.

Committee discussed:

- The lack of a heritage conservation plan to identify what is underneath the current façade.

- If the owner is willing to remove improvements to restore the original elements.

**Action:** It was moved by Councillor Madoff, seconded by Councillor Alto, that Committee recommends that Council support Heritage Designation Application No. 000153 for the property located at 727-729 Johnson Street subject to the applicant undertaking the following steps:

1. Working with staff to develop a conservation plan that details the restoration/rehabilitation work to be carried out in accordance with the Standards and Guidelines, to the satisfaction of the Director, Sustainable Planning and Community Development.
2. Making/obtaining application for the appropriate permits to undertake the restoration/rehabilitation of the Johnson Street façade.
3. Undertaking the restoration/rehabilitation of the Johnson Street façade in accordance with the Standards and Guidelines, to the satisfaction of the Director, Sustainable Planning and Community Development.
4. Revising Heritage Designation Application No. 00053 to reflect the restoration/rehabilitation work undertaken that would reinstate its architectural integrity for Council's consideration of the revised application for designation.

CARRIED UNANIMOUSLY 15/PLUC201

*Councillor Young excused himself from the meeting at 9:07 a.m. due to a non-pecuniary conflict of interest as his landlord owns a property that could be affected by the proposed seismic upgrading bylaw.*

## 5. POLICY REPORTS

### 5.1 Mandatory Seismic Upgrading Bylaw

Committee received a report proposing amendments to the *Provincial Building Act* that would allow the City of Victoria to require seismic upgrading to vulnerable buildings.

Committee discussed:

- The risk of driving investment to other municipalities and isolating the City.
- The potential to create a major disincentive for ownership of heritage/unreinforced buildings.
- The need to ensure heritage and unreinforced structures are up to code to perform better in the case of an earthquake.

**Action:** It was moved by Councillor Alto, seconded by Councillor Isitt, that Committee recommends that Council engage with the Union of British Columbia Municipalities (UBCM) to advocate to the Provincial Government to examine the following:

1. Provincial policy changes that would support seismic upgrading of existing buildings within earthquake-prone regions.



2. Examination of policy tools to ensure regulations do not create an excessive financial disincentive for property-owners to upgrade heritage and unreinforced structures.

Committee discussed:

- Concern that owners would be required to empty their buildings in order to complete a seismic upgrade.
- Financial strategies that could be employed to help with the costs of those affected.
- Policy changes that could be explored at the Provincial level to support seismic upgrading.
- Insurance costs and if there is a way to lobby for reduced rates based on seismic upgrading of vulnerable buildings.

**Amendment:** Councillor Isitt moved that the motion be amended as follows:

That Committee recommends that Council engage with the Union of British Columbia Municipalities (UBCM) to advocate to the Provincial Government to examine the following:

1. Provincial policy changes that would support seismic upgrading of existing buildings within earthquake-prone regions.
2. Examination of policy tools to ensure regulations do not create an excessive financial disincentive for property-owners to upgrade heritage and unreinforced structures.
3. **Report back on options for specific actions the City could take to encourage or require the seismic upgrading of buildings in the City.**

Motion failed due to no seconder.

**Amendment:** It was moved by Councillor Isitt, seconded by Councillor Lucas, that the motion be amended as follows:

Committee recommends that Council engage with the Union of British Columbia Municipalities (UBCM) to advocate to the Provincial Government to examine the following:

1. Provincial policy changes that would support seismic upgrading of existing buildings within earthquake-prone regions.
2. Examination of policy tools to ensure regulations do not create an excessive financial disincentive for property-owners to upgrade heritage and unreinforced structures.
3. **Report back on options for specific actions the City could take to encourage the seismic upgrading of buildings in the City.**

On the amendment:

CARRIED UNANIMOUSLY 15/PLUC202

Committee discussed the main motion as amended:

- The importance of being mindful of the financial impacts and the need to work with the landowners to make upgrading viable.
- The Old Town and heritage buildings are one of the City's greatest assets for liveability and tourism.
- The need to focus on collaboration with both the UBCM and the Province. Victoria as the Capital has a unique relationship with the Province and the City

needs to work with the Province to try to put a process in place that will take care of those important structures.

On the main motion as amended:  
CARRIED UNANIMOUSLY 15/PLUC203

**Action:** It was moved by Councillor Madoff, seconded by Councillor Isitt, that Committee recommends that Council refer the Mandatory Seismic Upgrading Bylaw report to the Heritage Advisory Panel for review and comment.

CARRIED UNANIMOUSLY 15/PLUC204

**Action:** It was moved by Councillor Madoff, seconded by Councillor Isitt, that Committee recommends that Council request that the Victoria Civic Heritage Trust make a presentation to Council regarding current programs related to seismic upgrading.

CARRIED UNANIMOUSLY 15/PLUC205

Councillor Young returned to the meeting at 9:30 a.m.

## **5.2 Delegated Authority and Exemptions for Development Permits**

Committee received a report dated August 27, 2015 regarding proposed amendments to the *Official Community Plan (OCP) Bylaw* and the *Land Use Procedures Bylaw* that would allow staff to review and approve certain types of applications.

Committee discussed:

- The report arose from the Development Summit as a request to streamline application processes and increase turnaround time for minor applications.
- The type of applications that would be delegated and how that information would be made available to Council.
- The importance of stakeholder engagement and comment before moving forward.

**Action:** It was moved by Councillor Isitt, seconded by Councillor Madoff, that Council refer the Delegated Authority and Exemptions for Development Permits report to the Heritage Advisory Panel, Advisory Design Panel, Community Association Land Use Committees (CALUCs), and the Urban Development Institute, inviting comment on the report and recommendations by October 30th and that staff report back to the Planning and Land Use Committee in November on input received and any proposed adjustments to the recommendations.

CARRIED UNANIMOUSLY 15/PLUC206

## **6. ADJOURNMENT**

**Action:** It was moved by Councillor Alto, seconded by Councillor Madoff, that the Planning and Land Use Committee meeting of September 10, 2015, be adjourned at 10:00 a.m.

CARRIED UNANIMOUSLY 15/PLUC207

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Mayor Helps, Chair





## Planning and Land Use Committee Report

### For the Meeting of October 1, 2015

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**To:** Planning and Land Use Committee      **Date:** September 17, 2015

**From:** Jonathan Tinney, Director, Sustainable Planning and Community Development

**Subject:** **Development Permit with Variances Application No. 000404 for 701 Tyee Road (Railyards)**

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### RECOMMENDATION

Staff recommend that Committee forward this report to Council and that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 000404 for 701 Tyee Road, in accordance with:

1. Plans date stamped August 24, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - i. reduce the north setback (Gaudin Road) from 3.5m to nil;
  - ii. reduce the south setback from 4m to nil for Phases 1 and 2;
  - iii. reduce the south setback from 4m to 3.5m;
  - iv. increase the height in DA-H from 24m to 25.49m for Phase 2;
  - v. increase the height in DA-J from 31m to 33m for Phase 3;
  - vi. reduce parking from 50 stalls to 49 stalls for Phase 1;
  - vii. reduce parking from 185 stalls to 178 stalls;
  - viii. reduce the bicycle storage (Class 1) from 40 stalls to 28 stalls for Phase 1.
3. The Development Permit lapsing two years from the date of this resolution.
4. Revised plans to the satisfaction of staff that:
  - i. either enclose or screen the proposed garbage enclosure adjacent to Gaudin Road;
  - ii. provide further details of the proposed grass pave finish;
  - iii. provide comprehensive details relating to landscaping for Phases 1 and 2;
  - iv. provide reduced annual landscaping maintenance costs within Bridges Park and along Tyee Road.
5. Referral to the Advisory Design Panel for a comprehensive review and with particular attention to the following issues:
  - i. the design of building entrances facing Tyee Road;
  - ii. the design and appearance of the "Sky Home" end units;
  - iii. the treatment of parkade walls that project above grade.

6. An amendment to the Railyards Master Development Agreement, to the satisfaction of staff, to:
  - i. address proposed revisions to the public parking required in conjunction with Bridges Park and the path from Tyee Road to Central Spur Road;
  - ii. secure cost estimates for all required on-site services, off-site services and public amenities prior to any building in proposed Phase 1 being occupied.
7. A Public Access Easement registered on title, to the satisfaction of staff, to secure public access through the site from Tyee Road to Central Spur Road.
8. A Statutory Right-of-Way registered on title, to the satisfaction of staff, to secure public access to the Victoria West Entry Park and public pathways located on private land adjacent to Tyee Road.
9. That Council authorize staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m<sup>2</sup> of exposed shored face during construction, in a form satisfactory to staff.

## LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan, 2012*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 920(8) of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, siting, form, exterior design and finish of buildings and other structures.

Pursuant to Section 920(8) of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of commercial, industrial and multi-family residential development, a Development Permit may include requirements respecting the character of the development including landscaping, siting, form, exterior design and finish of buildings and other structures.

## EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 701 Tyee Road. The proposal is to construct 144 residential units in three phases on Lots H and J (the undeveloped portions) of the Railyards development.

The Application proposes the following variances from the *Zoning Regulation Bylaw*:

- reducing the north setback (Gaudin Road) from 3.5m to nil
- reducing the south setback from 4m to nil for Phases 1 and 2; this setback variance will be 3.5m on completion of the development
- increasing the maximum allowable building height in DA-H from 24m to 25.49m for Phase 2
- increasing the maximum allowable building height in DA-J from 31m to 33.01m for Phase 3
- reducing the bicycle storage (class 1) from 40 stalls to 28 stalls for Phase 1; the number of bicycle stalls will exceed the number required by the *Zoning Regulation Bylaw* for the entire project following the completion of Phase 2



- reducing parking from 50 stalls to 49 stalls for Phase 1
- reducing parking for the completed project from 185 stalls to 178 stalls.

The following points were considered in assessing this Application:

- The applicant wishes to develop the site in three phases and, as each phase must be reviewed against the *Zoning Regulation Bylaw*, this results in some variances that will not exist, or will not exist to the extent proposed, at the completion of the project.
- The proposal is generally consistent with the *Railyards Development Guidelines*, however, staff recommend that some minor revisions are made to the plans to address issues relating to garbage areas and landscaping.
- An amendment to the Railyards Master Development Agreement (MDA) is required to address proposed revisions to the required public amenities, namely the public parking associated with Bridges Park and the path from Tyee Road to Central Spur Road. The MDA should also be amended to ensure that any necessary cost estimates and security is provided before the proposed Phase 1 building is occupied.
- The Application proposes 195 parking stalls, however, 17 of the stalls are either small car stalls or tandem stalls and do not meet the requirements of Schedule C of the *Zoning Regulation Bylaw*. The parking requirement for this project is 185 stalls, therefore, the proposal would result in a seven stall parking variance.

## BACKGROUND

### Description of Proposal

The proposal is for 144 residential units on the undeveloped portions of the Railyards development. Specific details include:

- The development would be constructed in three phases. Phase 1 would be located at the corner of Gaudin Road and Central Spur Road and would consist of 40 residential units. Phase 2 would be located immediately to the south of Phase 1 and would consist of 38 residential units. The final Phase would be located immediately to the north of the Point Ellice Bridge and would consist of 66 units.
- The tallest buildings would be located on Tyee Road with the building heights ranging from three to seven storeys. Building elements fronting Central Spur Road would range from two to three storeys in height.
- The proposed 144 units would be in the form of apartments units ranging from studios with a floor area of 36.7m<sup>2</sup> to two bedroom plus den units with a floor area of 130.4m<sup>2</sup>.
- The development would have the appearance of several individual buildings above a shared underground parkade.
- Access to the underground parkade would be provided in two locations directly off Central Spur Road.
- The proposed finishing materials include corrugated metal cladding and fiber cement panels
- As required by the Railyards MDA, the plans indicate that the land located immediately to the north of the Point Ellice Bridge will be dedicated to the City for future bridge improvements/expansion
- The proposal includes the construction of a Park and Tot Lot between Central Spur Road and the Galloping Goose Trail. A "parkette" and neighbourhood signage will be provided at the corner of Bay Street and Tyee Road.

The proposed variances are as follows:

- reducing the north setback (Gaudin Road) from 3.5m to nil as a result of the underground parkade projecting above grade
- reducing the south setback from 4m to nil for Phases 1 and 2; this setback variance will be 3.5m on completion of the development
- increasing the maximum allowable building height in Development Area H from 24m to 25.49m
- increasing the maximum allowable building height in Development Area J from 31m to 33.01m
- reducing the bicycle storage (class 1) from 40 stalls to 28 stalls for Phase 1; the number of bicycle stalls will exceed the number required by the *Zoning Regulation Bylaw* for the entire project by 15 stalls following the completion of Phase 2
- reducing parking from 50 stalls to 49 stalls for Phase 1
- reducing parking for the completed project from 185 stalls to 178 stalls (7 stall variance).

### Sustainability Features

As indicated in the applicant's letter dated August 20, 2015, the following sustainability features are associated with this Application:

- energy efficiency through orientation of windows
- reduced water use through xeriscaping in the plant selection and low-flush/dual-flush toilets with low-flow features
- installation of energy-star appliances
- provisions for future electrical charging station
- motion sensor lighting within parkade and corridor locations
- energy saving lighting in public space locations.

### Active Transportation Impacts

The Application proposes the following features which support active transportation:

- 159 Class 1 (secure storage) bicycle stalls
- 18 Class 2 bicycle racks
- new public footpath from Tyee Road to Central Spur Road
- new public footpath (which can accommodate bicycles) from Central Spur Road to the Galloping Goose Trail.

### Public Realm Improvements

The following public realm improvements are proposed and are required by the Railyards MDA:

- the construction of a Park and Tot Lot between Central Spur Road and the Galloping Goose Trail
- the construction of a "parkette," public footpaths and neighbourhood signage at the corner of Bay Street and Tyee Road.

In addition to the above, the applicant will also be constructing a new bus stop on Tyee Road.



## Existing Site Development and Development Potential

The Application site is located within Development Areas H and J of the CD-5 Zone, Railyards Residential Commercial District, which permits apartments, live/work and park uses with a maximum floor space ratio (FSR) of 2.25:1 in Development Area H and 2.35:1 in Development Area J.

## Data Table

The data table is attached as Appendix 1 and compares each phase of the proposal with the regulations for Development Areas H and J in the existing C-5 Zone, Railyards Residential Commercial District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

## Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on August 25, 2015, the Application was referred for a 30-day comment period to the Victoria West CALUC. At the time of writing this report, a letter from the CALUC had not been received.

This Application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

## ANALYSIS

### Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 13: Core Songhees. The applicable Design Guidelines are the Railyards Development Guidelines. The proposal is consistent with these Guidelines as follows:

- the proposed design reflects the industrial nature of the site and is complimentary to the completed phases of the Railyards development
- the proposal contributes to the public park system in the Victoria West Neighbourhood by providing a park, children's play area and several public footpaths through and adjacent to the site
- the buildings with the highest residential density are located adjacent to the Point Ellice Bridge
- the development includes a variety of expressive roof forms
- architectural features such as balconies and recesses have been used to articulate the proposed buildings
- strong colours are proposed to add visual interest to the buildings
- the use of corrugated metal and fiber cement panels is consistent with the recommended wall cladding materials listed in the Design Guidelines
- a mix and range of unit types are proposed with the floor area of individual units ranging from 36.7m<sup>2</sup> to 130.4m<sup>2</sup>.

Notwithstanding the above, staff recommend that Council consider referring the Application to the Advisory Design Panel for a comprehensive review with particular attention being made to the following issues:

- the design of building entrances facing Tyee Road
- the design and appearance of the "Sky Home" end units
- the treatment of parkade walls that project above grade.

### Proposed Variances

#### Parking

The Application proposes a total of 195 parking stalls within an underground parkade. However, 17 of these stalls are either identified as small car stalls or tandem stalls and do not meet the requirements outlined in Schedule C of the *Zoning Regulation Bylaw*. As the proposal requires 185 parking stalls and only 178 stalls meet the Schedule C requirements, the Application technically results in a seven stall parking variance. The total breakdown of parking stalls is outlined in the table below and an asterisk marks where a variance occurs:

PROPOSED PARKING														
Phase 1					Phase 1 & 2					Phase 1, 2 & 3				
Regular Stalls	Zone Standard	Small Stalls	Tandem Stalls	Total	Regular Stalls	Zone Standard	Small Stalls	Tandem Stalls	Total	Regular Stalls	Zone Standard	Small Stalls	Tandem Stalls	Total
49*	50	5	3	57	100	99	8	5	113	178*	185	12	5	195

Notwithstanding the above, the proposal would result in parking ratio of approximately 1.2 parking spaces per dwelling unit which is considered appropriate to address parking demand for an apartment development in this location. In addition, the small car and tandem stalls will still be available for use by residents.

#### Height

The Application seeks a height variance in Development Area H from 24m to 25.49m and in Development Area J from 31m to 33.01m. The building elements exceeding the maximum allowable building heights are solely parapet roof elements on the tallest feature buildings situated adjacent to Tyee Road. These parapet features have been included to address the Railyards Development Guidelines that recommends that buildings are designed with expressive roof forms.

#### Bike Parking

The applicant proposes to provide the majority of the bicycle storage in Phase 2 of the development. Therefore, at the completion of Phase 1 a 12 stall Class 1 bicycle parking variance is proposed. When the entire project is complete, the bike storage provided will exceed the *Zoning Regulation Bylaw* requirements by providing storage for 159 bicycles.



### North Setback

The main north-facing building elevation is setback 3.5m from Gaudin Road. However, the underground parkade wall projects over 2m above grade and is located immediately adjacent to the property line. The plans indicate that the exposed wall would have a "green wall" treatment. Staff recommend that Council consider referring the application to the ADP to review, amongst other elements of proposal, the treatment of the exposed parkade walls that are clearly visible from public vantage points.

### South Setback

Both Phases 1 and 2 would be constructed up to the proposed phasing line but the subsequent phase of development would occur immediately to the south of the preceding phase. The CD-5 Zone requires a 4.5m south setback, however, the completed project would be setback 3.5m from the property line. This is a result of the land immediately to the south of the development being dedicated to the City for the purpose of future improvement to the Point Ellice Bridge.

## Recommended Plan Revisions

### Garbage Area

Initial plans submitted by the applicant indicated a garbage pickup location on Central Spur Road. However, to accommodate garbage truck manoeuvres, a turning head would likely have been required that would have had a significant impact on the proposed Bridges Park. As such, the plans now indicate that a garbage pick-up area will be provided immediately adjacent to Gaudin Road. The Railyards Development Guidelines state that recycling and garbage areas should be fully enclosed within buildings, rather than in an open air location. Therefore, it is recommended that Council consider requesting revised plans that enclose the garbage area or satisfactorily screen it from public views.

### Surface Treatment and Landscaping

The Application proposes extensive areas of grass pave surface treatment to accommodate emergency fire truck access adjacent to Tyee Road. Staff recommend that Council consider requesting that the applicant provide further details of the grass pave treatment to ensure it is both visually acceptable and has long term durability.

In addition, the revised plans should include all landscaping elements associated with each phase of the project regardless of whether that landscaping is temporary in nature. The plans submitted do not comprehensively illustrate this level of landscaping detail.

With particular regard to Bridges Park and along Tyee Road, in an effort to reduce annual maintenance costs, staff recommend that Council consider requesting that the applicant provide revised plans that will reduce the annual maintenance costs. This can be achieved by reducing the shrub bed areas and revising the plant palette.

## Railyards Master Development Agreement

The Railyards MDA requires that the following public amenities be constructed in conjunction with Lots H & J:

- Bridges Park and Tot Lot

- Public Parking (Bridges Park – 6 stalls)
- Bridge Dedication Landscaping
- Victoria West Entry Park (Tyee & Bay)
- Path from Tyee Road to Central Spur Road.

The Application responds to the above as follows:

#### Bridges Park and Tot Lot

The Bridges Park and Tot Lot would be constructed at the southern end of the site, adjacent to the Galloping Goose Trail, consistent with the MDA requirements and the Railyards Development Guidelines.

#### Public Parking (Bridges Park)

The applicant is no longer proposing parking spaces specifically for Bridges Park. Instead the Application proposes to use this space for additional park area which allows for a public footpath link to the Galloping Goose Trail with a gradient of less than 5% making it accessible to cyclists. Staff recommend that Council consider supporting this solution as it encourages modes of active transportation and, given the location of the park, visitors are likely to cycle or walk to it.

#### Bridge Dedication Landscaping

The applicant proposes to dedicate a landscaped area immediately to the north of the Point Ellice Bridge to the City, consistent with the MDA.

#### Victoria West Entry Park

The Victoria West Entry Park is proposed on the corner of Tyee Road and Bay Street and would consist of a small “parkette” with seating, pedestrian pathways, an improved transit stop and a new neighbourhood sign. The design and layout of these features are considered to be generally consistent with the Railyards Development Guidelines, however, the “parkette” and some of the pathways are located on private land and public access to these must be secured by a Statutory Right-of-Way.

#### Path from Tyee Road to Central Spur Road

A public pathway is proposed between Tyee Road and Central Spur Road consistent with the MDA. The MDA requires that the pathway be dedicated as Park, however, due to liability and maintenance concerns resulting from the underground parkade being located directly under the pathway, staff recommend that Council consider securing public access along this corridor by means of a Public Access Easement.

#### MDA Amendments

In light of the above, staff recommend that Council consider that the proposed design solution for the required public amenities are acceptable and that the MDA be amended to address the changes relating to the public parking for Bridges Park and the path from Tyee Road to Central Spur Road.

In addition, the MDA envisaged that the cost estimates and securities for required on-site services, off-site services and public amenities be linked to subdivision approval. As the Application now proposes a different approach to site subdivision, staff recommend that the MDA be amended to secure the necessary cost estimates and securities before the proposed Phase 1 building is occupied.

#### Encroachment Agreement

With any project of this scale that has significant excavation adjacent the road Right-of-Way, construction methods often require a form of underpinning which can result in material being left in the public Right-of-Way. The resulting material (typically rock anchors) present no concerns to the public interest, however, an Encroachment Agreement between the City and the developer is required. The staff recommendation that is provided for Council's consideration includes direction to allow staff to enter into an agreement, if the Development Permit Application is approved by Council and if underpinning is deemed necessary to facilitate the construction.

#### Community Garden

When considering an earlier phase (Lot E) of the Railyards development, Council made the following motion:

*That staff be directed to explore with the applicant and the Victoria West Community Association the possibility of including a community garden with the phasing of Lots H and J.*

In discussions with the applicant, it is apparent that the provision of a community garden is not feasible for the following reasons:

- The developer is required to complete Bridges Park and Tot Lot, Victoria West Entry Park, the final sections of Central Spur Road and dedicate land to the City adjacent to the Point Ellice Bridge in conjunction with Lots H and J.
- There is a substantial grade change from the east to west property boundary.
- The most logical location for a community garden, on the land least affected by the change in grade, would be where the Bridges Park and Tot Lot is proposed. Converting part of this area to a community garden would likely compromise the ability to provide a satisfactory footpath link from Central Spur Road to the Galloping Goose Trail or would result in the loss of the Tot Lot.

It should be noted that neither the MDA, the applicable CD-5 Zone nor the Railyards Design Guidelines identify the need for, or require that the Developer provide, a community garden at this location.

#### Resource Impacts

There are resource impacts anticipated with this proposal. As per the MDA, several public amenities will be provided as part of the of the Railyards development. Once completed, the maintenance of Bridges Park, the Tot Lot as well as the Tyee Road improvements will rest with the Parks Division. It is estimated that the annual maintenance of the landscaping and play structures will add approximately \$60,000.00 in annual maintenance costs. This estimate is based on 2015 rates and the operational impact is expected in 2018. The breakdown is as follows:

- shrub beds: \$37,000.00 (weed, mulch, fertilize and prune)
- new trees: \$5,000.00 (fertilize and prune)
- turf areas: \$4,000.00 (mow, trim and fertilize)
- irrigation infrastructure: \$2,000.00 (water meter fees, spring/winter maintenance)
- playground maintenance: \$7,000.00 (repairs and fiber surface grading)
- garbage pickup: \$5,000.00.

Additional capital implications are that the playground will require replacement in 15 years at an estimated cost of \$150,000.00 (plus inflation) and a full time employee (FTE) of 0.75 will be required to maintain this additional inventory.

The landscape areas in Bridges Park and along Tyee Rd are extensive. In an effort to reduce annual maintenance costs, staff recommend that Council consider requesting that the applicant provide revised plans that will reduce the annual maintenance costs.

### CONCLUSIONS

The proposal to construct 144 residential units on the undeveloped portions of the Railyards development is considered generally consistent with the Railyards Development Guidelines. However, it is recommended that Council consider referring the Application to the ADP for a comprehensive design review.

The applicant wishes to develop the site in three phases and, as each phase must be reviewed against the *Zoning Regulation Bylaw*, this results in some variances that will not exist, or will not exist to the extent proposed, at the completion of the project.


An amendment to the MDA is required to address proposed revisions to the required public amenities, namely the public parking associated with Bridges Park and the path from Tyee Road to Central Spur Road. The MDA should also be amended to ensure that any necessary cost estimates and security is provided before the proposed Phase 1 building is occupied.

### ALTERNATE MOTION

That Council decline Development Permit with Variances Application No. 000404 for the property located at 701 Tyee Road.

Respectfully submitted,

  
Jim Handy, Senior Planner – Development  
Agreements, Development Services  
Division

  
Jonathan Tinney, Director  
Sustainable Planning and Community  
Development Department

Report accepted and recommended by the City Manager:



Date: Sept. 25/15

**List of Attachments**

- Appendix A – Data Table
- Aerial plan
- Zoning plan
- Letter from Architect dated August 16, 2015
- Letter from applicant dated August 20, 2015
- Plans dated August 24, 2015.



# Appendix 1: Data Table

Zoning Criteria	Phase 1 (DA-H)	Phases 1 & 2 (DA-H)	Zone Standard (DA-H)	Phase 3 (DA-J)	Zone Standard (DA-J)	Total Project (Phases 1, 2 and 3)
Site Area (m <sup>2</sup> )	2366.83	4372.59	n/a	2395.14	n/a	6767.73
Total Floor Area (m <sup>2</sup> ) – max.	2771.15	5683.02	9855.85	5067.42	n/a	10750.44
Density (Floor Space Ratio) – max.	1.17	1.3	2.25	2.12	2.35	1.59
Geodetic Height (m) – max.	22.55	<b>25.29*</b>	24	<b>33.01*</b>	31	n/a
Storeys	3	4	n/a	7	n/a	n/a
Site coverage (%)	47	45	n/a	43	n/a	43
Open site space (%)	53	55	n/a	57	n/a	57
Setbacks (m) – min. Front (Tyee Road) Rear (Central Spur Road) Side (Gaudin Road) Side (Bay Street)	7.25 3.5 <b>Nil*</b> <b>Nil*</b>	11 3.5 <b>Nil*</b> <b>Nil*</b>	2 3.5 3.5 4	7.25 3.5 <b>Nil*</b> <b>3.5*</b>	2 3.5 4 4	n/a
Parking provided	<b>49*</b>	100		<b>78*</b>		178 (does not include the proposed 17 small car and tandem stalls)
Parking required – min.	50	99	99	86	86	185



Appendix 1: Data Table

Visitor parking provided	6	17		2		19
Visitor parking required – min.	6	10	10	9	9	19
Bicycle Storage (Class 1) provided	28*	159		0		159
Bicycle Storage (Class 1) required – min.	40	89	89	53	53	144
Bicycle Rack (Class 2) provided	6	18		0		18
Bicycle Rack (Class 2) required – min.	6	12	12	6	6	18



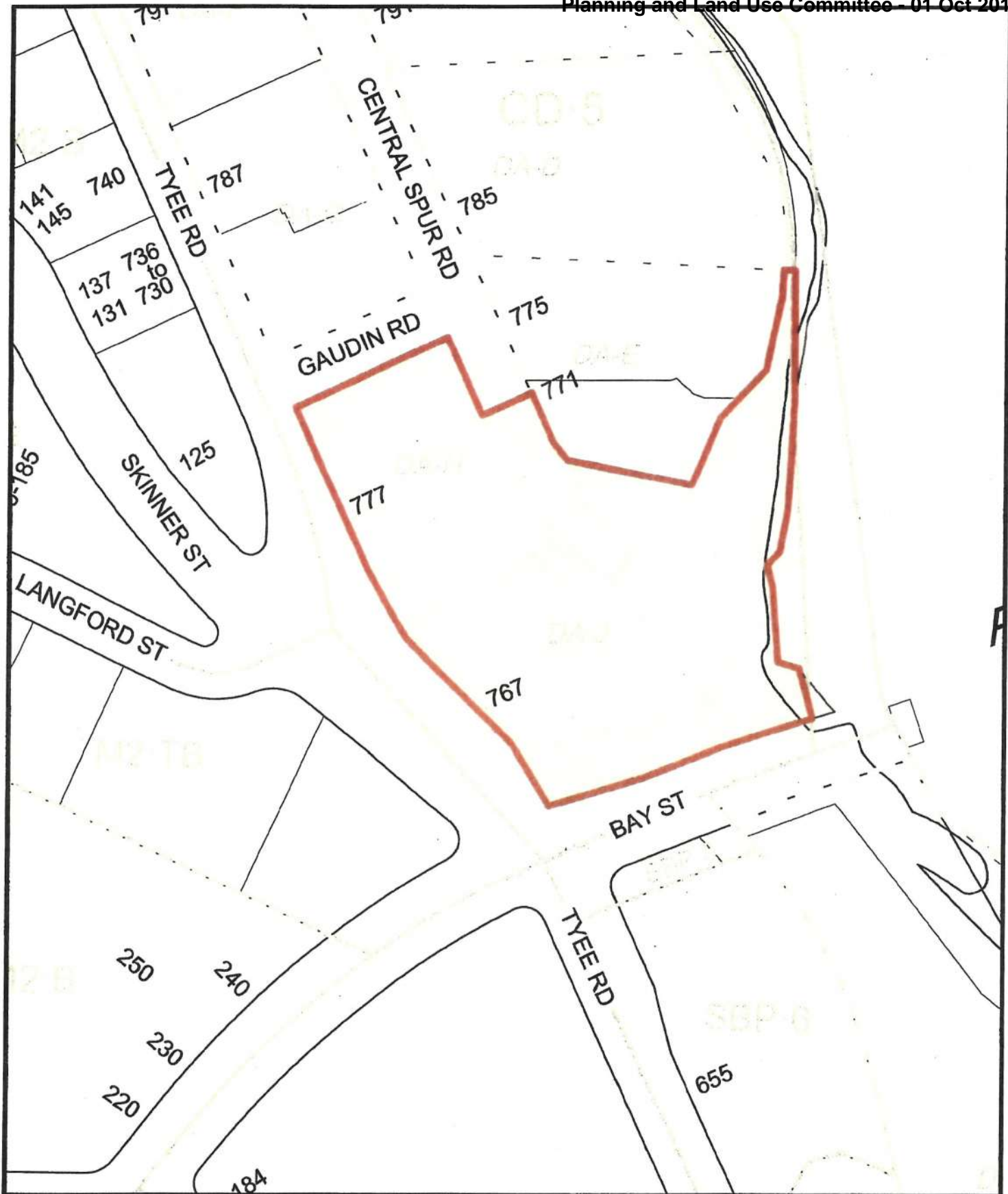


701 Tyee Road

Development Permit #000404

Development Permit with Variances Application No. 000404 for...





701 Tyee Road  
Development Permit #000404



406 - 611 Alexander Street  
Vancouver, BC, V6A 1E1  
TEL 604.255.1169

300 - 134 11th Avenue SE  
Calgary, Alberta, T2G 0X5  
TEL 403.245.5501

100 - 10237 104th Street  
Edmonton, Alberta T5J 1B1  
TEL 780.429.1580

1000 - 2 Bloor Street East  
Toronto, Ontario, M4W 1A8  
TEL 416.966.0220

DIALOG

16 August 2015

City of Victoria  
Sustainable Planning and Community Development Department  
1 Centennial Square  
Victoria  
BC V8W 1P6

Attention: Jim Handy, MCIP RPP Senior Planner

Dear Jim,

**Re: 701 Tyee Road  
Development Permit No. 000404**

In response to our revised DP submission dated Aug 14, 2015, this letter contains our response for the design rationale of variances that we are requesting:

***• Variance on maximum building height of Building 3,***

See the Architectural drawing, A3.11. The Building 3 rooftop finishes at geodetic height, 31.00m, the maximum allowable height. The only elements built above are the elevator mechanical room and parapet walls for roofscape articulation. All the habitable space will be under the maximum allowable height. To create a meaningful gateway feature at the base of the bridge head, we strongly believe that these roof articulations are necessary from the urban design perspective and worth supporting.

***• Variance on bike storage in Phase 1,***

See the Architectural drawings, Phasing Plans, A0.05B, A0.06B, A 0.06C. The project will be built in phases for healthy market absorption. The 28 stalls bike storage room is temporary for Phase 1 residents. Upon the completion of Phase 2, the permanent bike storage room will be provided with surplus amount of bike storage capacity, better connection to bike lane on Tyee Road, and better access from building main entries.

***• Variance on interior setback,***

See the Architectural drawings, A0.02, A0.04. The project will be developed in phases and when completed will be seen as a fully integrated development across the original legal boundaries of Lot H and J. For creative public pedestrian access thru the site utilizing an intimate scale of pathways and building forms, the design provides an unique urban scale within the site. In light of this urban enhancement, the original interior side setback requirement should not restrict the innovation process and should not apply to this unique project.

**PRINCIPALS**

JIM ANDERSON, AIBC, AIA, OAA, LEED AP  
FRANCOIS BOUTIN, AIBC, AIA, OAA, LEED AP  
NARESH ABDEA, B. ENG.  
JOEY BANISTER, AIBC, AIA, OAA, LEED AP  
ALAN DONITZ, AIBC, AIA, OAA, LEED AP  
GERALD CARSON, P. ENG.  
DOUG CUNNINGHAM, AIBC, AIA, OAA, LEED AP

JEFF BIRATISTA, PhD, P. ENG., LEED AP  
RABI CHANDRASEKAR, M. ENG., P. ENG., STRUCT. ENG., M. ARCHITECT, P. ENG.  
JIM GOODWIN, AIBC, AIA, OAA, NSAA  
RALPH WILSON ANDY, P. ENG., LEED AP  
ROBERT HODSON, AIBC, AIA, OAA, LEED AP  
DARIN KACH, P. ENG.  
ADRIAN LEO, AIA, OAA, LEED AP

JANICE LIEBE, AIBC, AIA, OAA, LEED AP  
TIM MCINN, P. ENG., P. ENG. AP  
DAVID MINER, AIBC, AIA, OAA, NSAA, LEED AP  
JIM MONTGOMERY, P. ENG., LEED AP  
MARTIN NIELSEN, AIBC, P. ENG.  
MARTIN SPANOV, AIBC, AIA, OAA, LEED AP  
TOM SUTHERLAND, AIBC, AIA, OAA, LEED AP

LYNN WEESTER, AIBC, AIA, OAA, LEED AP  
THOMAS WU, PhD, P. ENG., STRUCT. ENG., PE, SE  
ROD YEOH, B.A. SC., P. ENG., P.E., LEED AP BD+C

DIALOG BC  
ARCHITECTURE ENGINEERING  
INTERIOR DESIGN PLANNING INC.

\* DENOTES "ARCHITECT AIBC" OR "ARCHITECT AIA"

DIALOGDESIGN.CA

Mr. Jim Handy  
City of Victoria  
August 16, 2015  
Page 2 of 2

DIALOG®

We trust that this response, including all attachments, will satisfy the prior-to conditions and requested clarifications for this project. We look forward to the timely issuance of the approved application.

Yours truly,

DIALOG BC Architecture Engineering Interior Design Planning Inc.

A handwritten signature in black ink, appearing to read 'J. Bakker', with a stylized flourish at the end.

Joost Bakker, Architect AIBC, AAA, SAA, OAA, FRAIC, RCA  
Principal, DIALOG

c.c.	Chris Le Fevre,	The Railyards Development Ltd.
	Michael Cheung,	DIALOG
	Matthew Thomson,	DIALOG



PROPERTY AGENTS LTD.

Aug 20<sup>th</sup>, 2015

Mayor Lisa Helps  
Members of Council

**RE: RAILYARDS FINAL DEVELOPMENT PERMIT APPLICATION AREAS H & J**

The development of these areas will see to the perfection of the Railyards.

---

The application honours the principals of the original M.D.A without variance and similarly respects all original design guidelines endowed for the project.

---

The matrix of units that will be realized in this DP application before you will be as follows:

Phase I

- 3 storey wood frame apartment building
- 40 suites
- 57 parking

Phase I + II

- 4 storey wood frame apartment building
- 78 suites
- 113 parking

Phase I + II + III

- 4 storey wood frame and 7 storey concrete frame apartment buildings
  - 144 suites
  - 190 parking
- 

The Railyards project is a major contribution to Victoria's overall community sustainability.

The redevelopment of this industrial site into a compact and vibrant community is trend setting. These last phases of development on parcels H&J will contribute an array of green building features including the following:

Transit friendly development

- convenient access and proximity to transit
- car sharing parking opportunity
- major bike storage zones

Energy efficiency

530 HERALD STREET, VICTORIA, B.C. CANADA V8W 1S6  
TELEPHONE: (250) 380-4900 FAX: (250) 386-8608  
EMAIL: LEFEVRE@LEFEVREGROUP.COM



- with the utilization of focussed window locations, the project will provide a high performance building envelope

Reduced Water Use

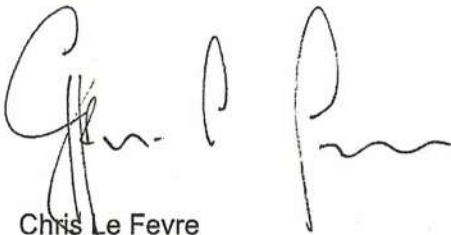
- xeriscaping in the plant selection to reduce water utilization
- low-flush / dual-flush toilets low flow fixtures

Electrical efficiency

- CFL lighting at public space locations
- motion sensor lighting within parkade and corridor locations
- Energy-star appliances
- provisions for future electrical charging station

Respectfully submitted.

Yours,

A handwritten signature in black ink, appearing to read 'Chris Le Fevre', with a stylized flourish at the end.

Chris Le Fevre  
President & CEO  
Le Fevre & Company Property Agents Ltd.

Received  
City of Victoria

AUG 24 2015

Planning & Development Department  
Development Services Division

DIALOG

## ISSUED FOR

- A 28 JANU15 DEVELOPMENT PERMIT  
B 14 AUGU15 DEVELOPMENT PERMIT REVISIONS

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DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE IN WRITING APPROVED BY THE CONSULTANT AND THE CLIENT TO COMPLY WITH THE CONTRACT DOCUMENTS.

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VICTORIA BC V8A 1E1  
TEL: 250.363.1100 FAX: 250.363.1101

OWNER:  
LEVERAGE AND COMPANY  
200 HURD STREET  
VICTORIA BC V8A 1E1  
TEL: 250.363.1100

SEAL

RAILYARDS, LOT H &amp; J

VICTORIA, BC

COVER PAGE &amp; PROJECT DATA

DRAWN BY: A0.01

A0.01

Planning and Land Use Committee - 01 Oct 2015



## PROJECT INFORMATION

PROJECT ADDRESS	701 TYEE RD, VICTORIA BC
NEIGHBOURHOOD	VICTORIA WEST
PLAN DISTRICT	RAILYARDS DISTRICT
DEVELOPMENT PERMIT AREA	DA H & DA J
LEGAL DESCRIPTION	LOT 767 & 777
ZONING	CD 5 - RAILYARDS RESIDENTIAL COMMERCIAL DISTRICT
SITE AREA	EXISTING : DA H & DA J COMBINED : 6610 SM (71,150 SF)
SITE COVERAGE	43%
OPEN SITE SPACE	57%
TOTAL FLOOR AREA	10,750 44m2
FLOOR SPACE RATIO	10,750 44m2 / 767 73m2 + 1 59
AVERAGE GRADE	10.6m & 11.6m
HEIGHT OF BUILDING	ALLOWED UNDER CD-5 TOWNING : 24m (P1, 2) 24m (L2)
	PROPOSED : 22.95m (P1, 2) 21m (L2)

## NUMBER OF STOREYS

3 STOREYS + 4 STOREYS + 7 STOREYS

## BUILDING SETBACKS (m)

FRONT (TYEE ROAD) : 2m  
SIDE (NORTH AT GARDEN RD) : 3.5m  
SIDE (SOUTH AT BRIDGE DECK) : 3.5m  
NEAR (CENTRAL SPUR ROAD) : 3.5m  
REAR (AT BOYHARTY ROAD PARK) : 6m

## PARKING SPACES ON SITE

PARKING REQUIRED UNDER SCHEDULE C  
STUDIO, 13 (1 UNIT) + 13  
RESIDENTIAL, 131 (1.3 UNIT) + 170.3  
TOTAL : 195

## BIKE STORAGE

CLASS 1 PARKING REQUIRED UNDER SCHEDULE C  
RESIDENTIAL : 144 (1.0 UNIT)  
CLASS 2 PARKING REQUIRED UNDER SCHEDULE C  
6-SPACE RACK AT EACH RESIDENTIAL ENTRY

## STORAGE LOCKERS PROVIDED

154

## SUITE TYPES

TYPE	RANGE	COUNTS	AREA
STUDIO	395 - 400 SF (36.7 - 37.2 SM)	13	97%
1 BEDROOM	520 - 554 SF (48.3 - 51.5 SM)	77	95%
2 BEDROOM	750 - 804 SF (69.3 - 80.9 SM)	32	21%
3 BEDROOM & DEN	812 - 892 SF (75.4 - 82.9 SM)	7	4%
GARDEN & SKY HOMES	1120 - 1404 SF (104.1 - 130.4 SM)	15	11%
TOTAL		144	100%

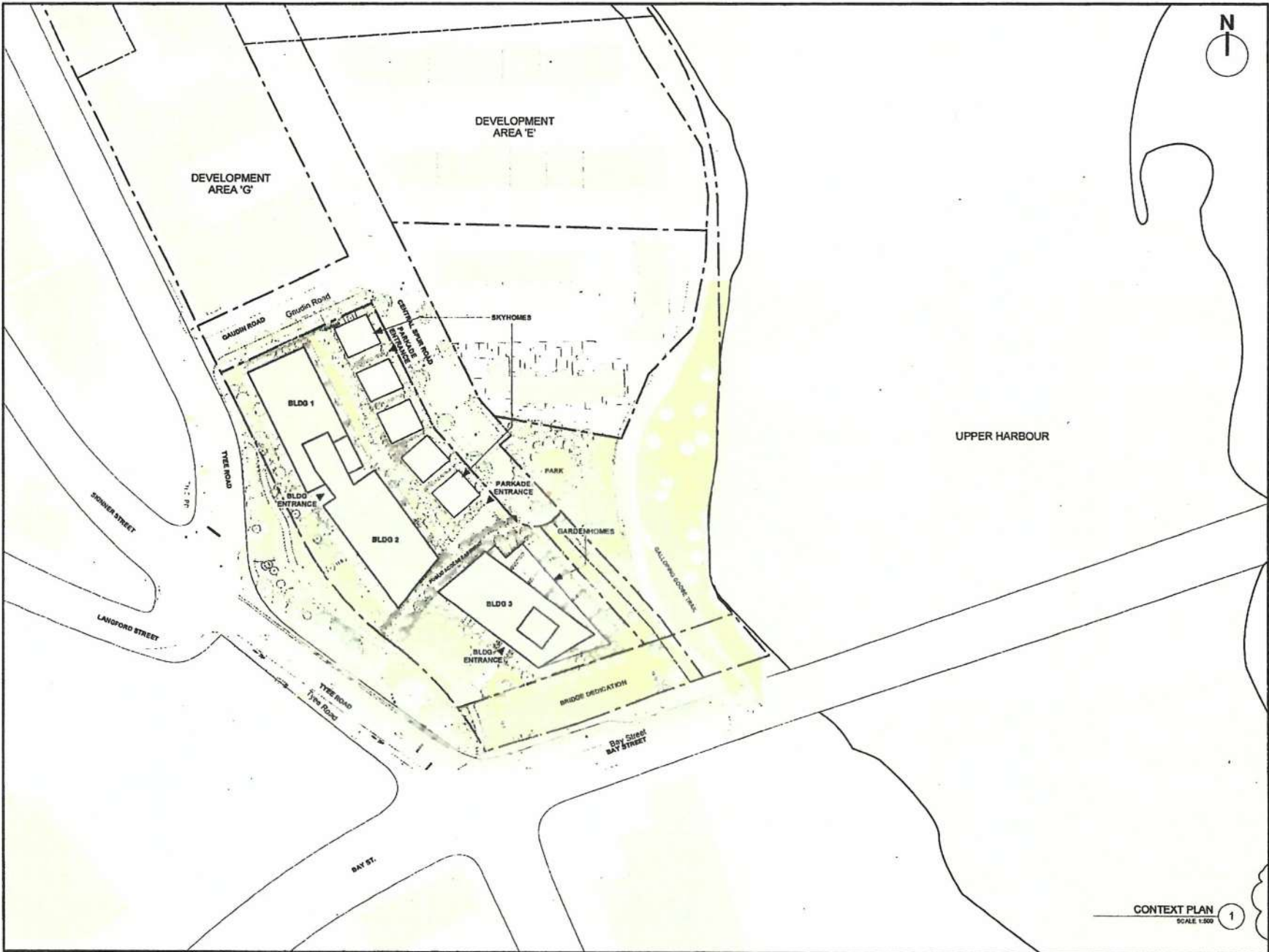
## BUILDING INFORMATION (METRIC)

FLOOR	RESIDENTIAL	STUDIO	1BED	2BED	3+DEN	GARDEN/HOME
L01	515	0	0	0	0	135
L02	2,360	2	13	0	0	0
L03	2,530	3	23	4	0	0
L04	1,597	4	23	4	0	0
L05	660	3	7	5	4	0
L06	660	3	7	5	4	0
L07	680	3	7	5	4	0
L08	660	3	7	5	4	0
L09	658	0	2	6	0	0
TOTAL	10,074	13	77	30	7	135
SUBTOTAL						
TOTAL	10,074	13	77	30	7	135
ADJUSTABLE SITE AREA						
P18						5,512
						5,813

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**DIALOG**

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B 14 AUGUST 2015 DEVELOPMENT PERMIT REVIEW  
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**OWNER**  
LENDING AND COMPANY  
100-1100 BROADVIEW AVE  
VICTORIA BC V8W 2E1  
Tel: 250-363-1100

SEAL

RAILYARDS, LOT H & J

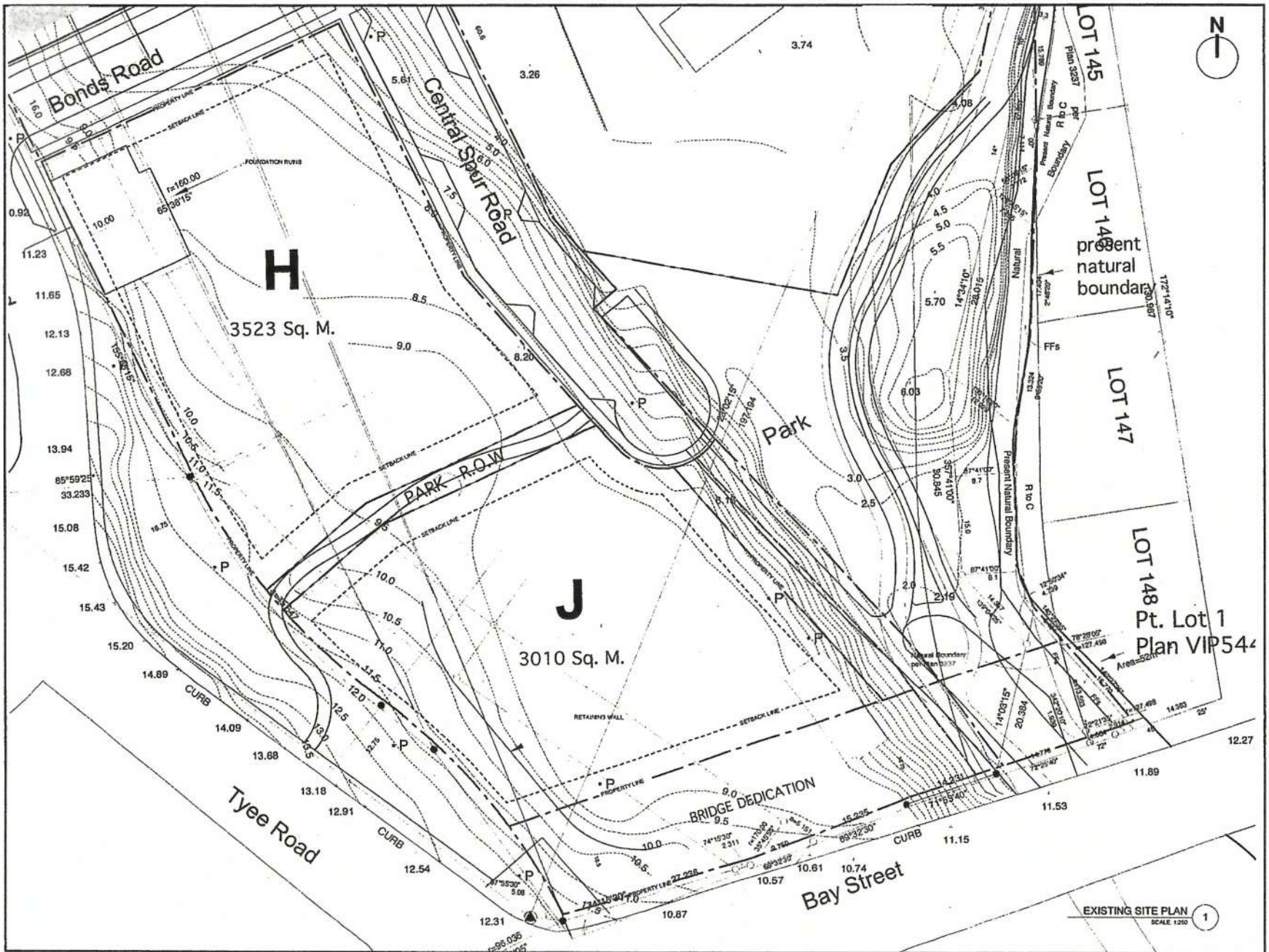
VICTORIA, BC

CONTEXT PLAN

DATE: 28 JAN 2015  
DRAWN BY: [signature]  
CHECKED BY: [signature]

**A0.02**

CONTEXT PLAN  
SCALE 1:500  
1



**DIALOG**

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 410 KENNEDY STREET  
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 www.guyson.ca

OWNER:  
 LEFEBURE AND COMPANY  
 1000 BAY STREET  
 VICTORIA, BC V8W 2E8  
 Tel: 383-1611

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RAILYARDS, LOT H & J

VICTORIA, BC

EXISTING SITE PLAN

DRAWN: PLOT DATE: 07/01/15 CHECK:

**A0.03**





ISSUED FOR

A	28 JAN/15	DEVELOPMENT PERMIT
B	14 AUG/15	DEVELOPMENT PERMIT REVISIONS

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 CIVIL/BC ARCHITECTURE ENGINEERING  
 INTERIOR DESIGN PLANNING P.C.  
 408 • 811 ALEXANDER STREET  
 WASHINGTON, DC, VMA 1E1  
 Tel: (202) 215-1123 Fax: (202) 215-1130  
 aec@bcarchitect.com

**OWNER:**  
LEFEVRE AND COMPANY  
139 HERALD STREET  
VICTORIA BC V8W 1E8  
Tel: (250) 388-8808

SEAL

RAILYARDS, LOT H &amp; J

VICTORIA, BC

## PROPOSED SITE PLAN

DRAWN  
PLOT DATE 8/26/15

## A0.04

**Planning and Land Use Committee - 01 Oct 2015**

DIALOG

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A 28 JAN 15 DEVELOPMENT PERMIT  
B 14 AUG 15 DEVELOPMENT PERMIT PARTIAL  
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DAVID BO ARCHITECTURE ENGINEERING  
INTERIOR DESIGNER  
800-451-4545  
VICTORIA BC V8N 1G2  
Tel: (250) 351-1452 Fax: (250) 351-1700  
www.dbo.ca  
**OWNER:**  
LIFETIME HOUSING  
CORPORATION  
1000-1000 STREET  
VICTORIA BC V8N 1G2  
Tel: (250) 351-1452

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

**PHASING PLAN  
MASTER SITE PLAN  
PHASE 1**

DRAWN  
DATE: 08/01/15

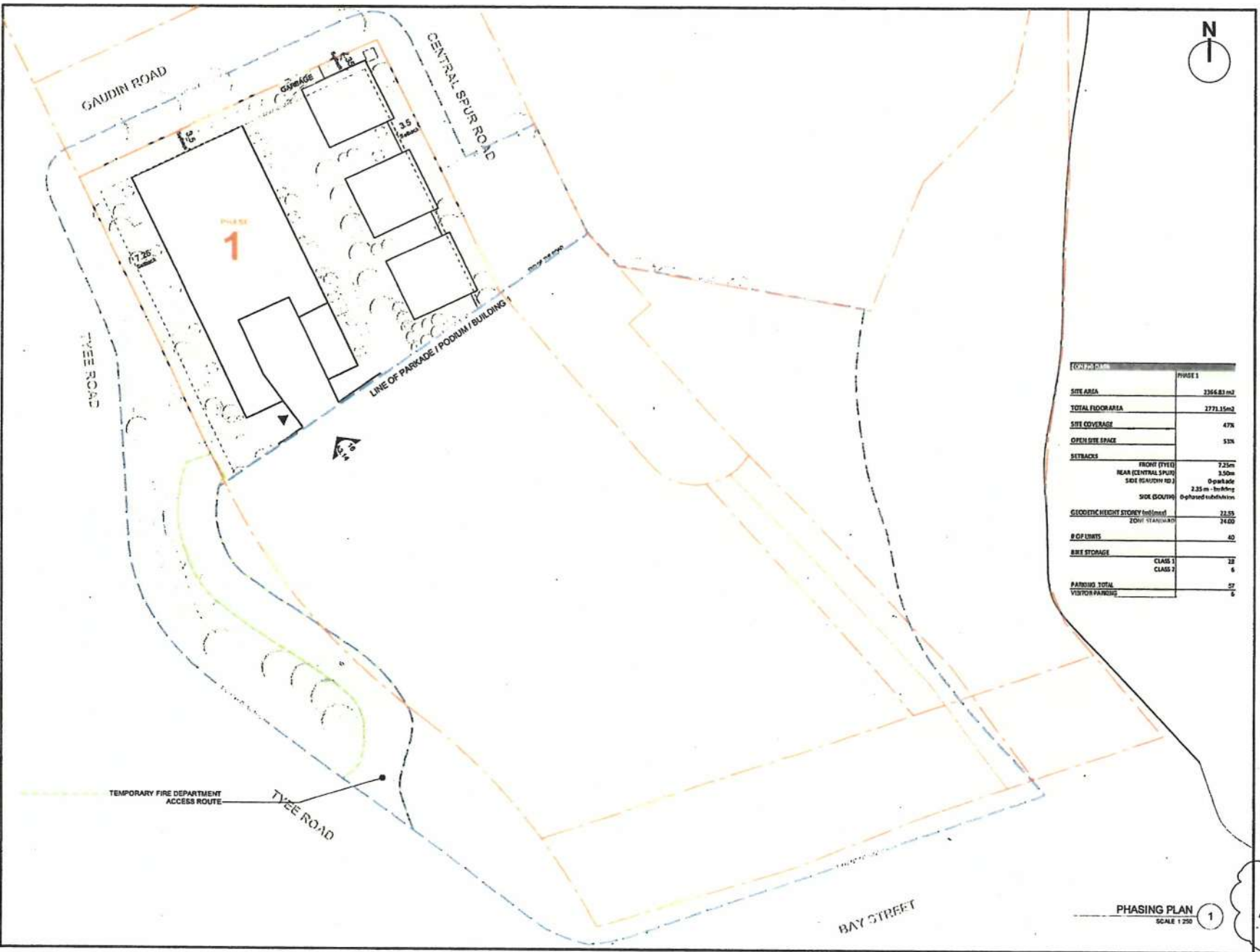
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EXISTING DATA	
PHASE 1	
SITE AREA	2366.83 m <sup>2</sup>
TOTAL FLOOR AREA	2771.15 m <sup>2</sup>
SITE COVERAGE	47%
OPEN SITE SPACE	53%
SETBACKS	
FRONT (TYE)	7.25m
REAR (CENTRAL SPUR)	3.50m
SIDE (GAUDIN RD.)	3.50m
SIDE (SOUTH)	2.25m - Building 3.50m - Substation
GEOCENTRIC HEIGHT STOREY (m)	22.55
ZONING	24.00
# OF UNITS	40
BIKE STORAGE	
CLASS 1	12
CLASS 2	6
PARKING TOTAL	18
VEHICLE PARKING	6

PHASING PLAN  
SCALE 1:250

1



**DIALOG**

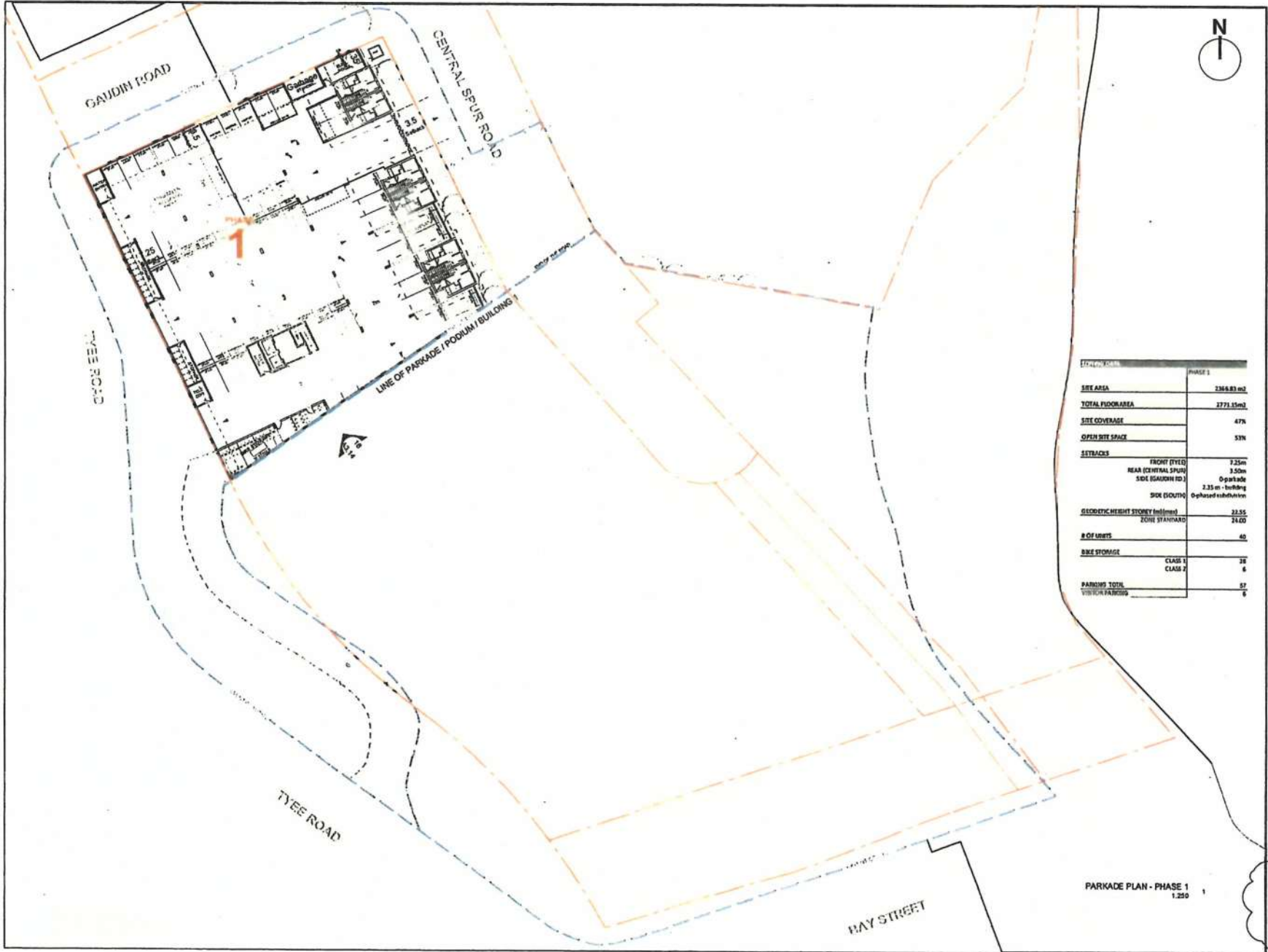
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SEAL  
 RAILYARDS, LOT H & J  
 VICTORIA, BC  
 PHASING PLAN  
 PARKADE PLAN  
 PHASE 1  
 DRAWN: [blank] PLOT DATE: 2015  
**A0.05B**

STANDARD DATA	
SEE AREA	236.81 m <sup>2</sup>
TOTAL FLOOR AREA	1771.15 m <sup>2</sup>
SITE COVERAGE	47%
OPEN SITE SPACE	53%
SETBACKS	
FRONT (TYEE)	7.25m
REAR (CENTRAL SPUR)	3.50m
SIDE (GAUDIN RD.)	0.90m
SIDE (SOUTH)	2.35m - building 0.90m - setback
GEODETIC HEIGHT STORY (m)	22.55
ZONE STANDARD	24.00
# OF UNITS	40
BIKE STORAGE	
	CLASS 1 38
	CLASS 2 6
PARKINGS TOTAL	57
VISITOR PARKINGS	6

PARKADE PLAN - PHASE 1  
 1:250





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RAILYARDS, LOT H & J

VICTORIA, BC

**PHASING PLAN  
MASTER SITE PLAN  
PHASE 1 + 2**

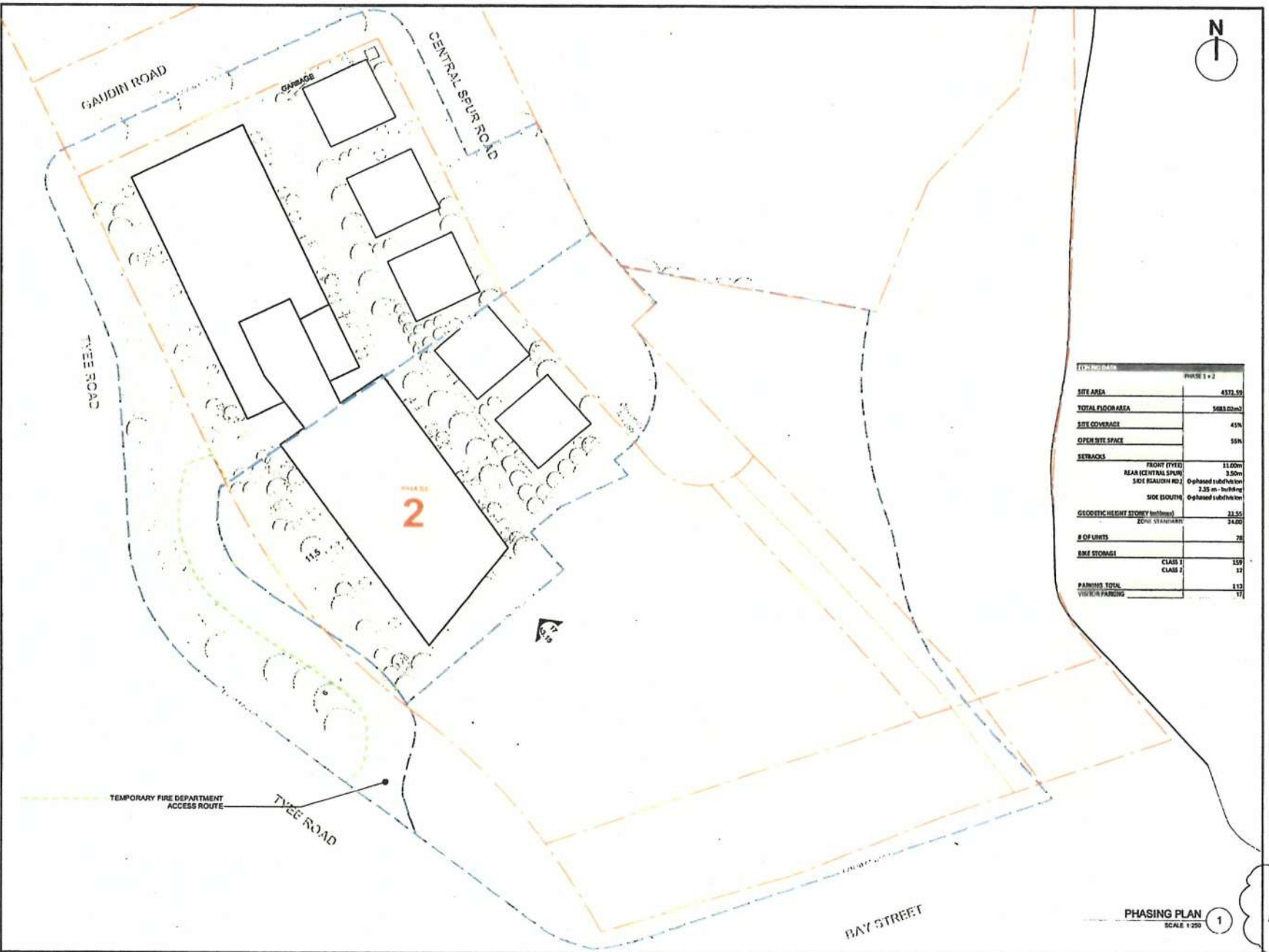
DATE: 28 JAN 2015

**A0.06A**

TECHNICAL DATA	
PHASE 1 + 2	
SITE AREA	4372.50
TOTAL FLOOR AREA	5683.00m <sup>2</sup>
SITE COVERAGE	45%
OPEN SITE SPACE	55%
SETBACKS	
FRONT (TYEE)	11.00m
REAR (CENTRAL SPUR)	3.50m
SIDE (GAUDIN RD)	2.35 m - building
SIDE (SOUTH)	2.35 m - building
GEODETIC HEIGHT STORY (meters)	22.25
ZONE STANDARD	24.00
# OF UNITS	78
RMS STORAGE	
	CLASS 1
	CLASS 2
PARKING TOTAL	113
VISITOR PARKING	13

**PHASING PLAN**  
SCALE 1:250

1



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 TEL: 250-363-8008

SITE DATA	
PHASE 1 + 2	
SITE AREA	4371.50
TOTAL FLOORAREA	5683.00m <sup>2</sup>
SITE COVERAGE	45%
OPEN SITE SPACE	55%
SETBACKS	
FRONT (YIELD)	11.00m
NEAR (CENTRAL SPUR)	3.50m
SIDE (EASTERN RD 2)	0.60m - building
SIDE (EASTERN RD 2)	2.35 m - building
SIDE (EASTERN RD 2)	0.60m - building
GEODETIC HEIGHT STOREY (bottom)	22.55
20th STOREY	24.00
# OF UNITS	75
BIKE STORAGE	
CLASS 1	159
CLASS 2	12
PARKING, TOTAL	312
VEHICLE PARKING	57

RAILYARDS, LOT H & J

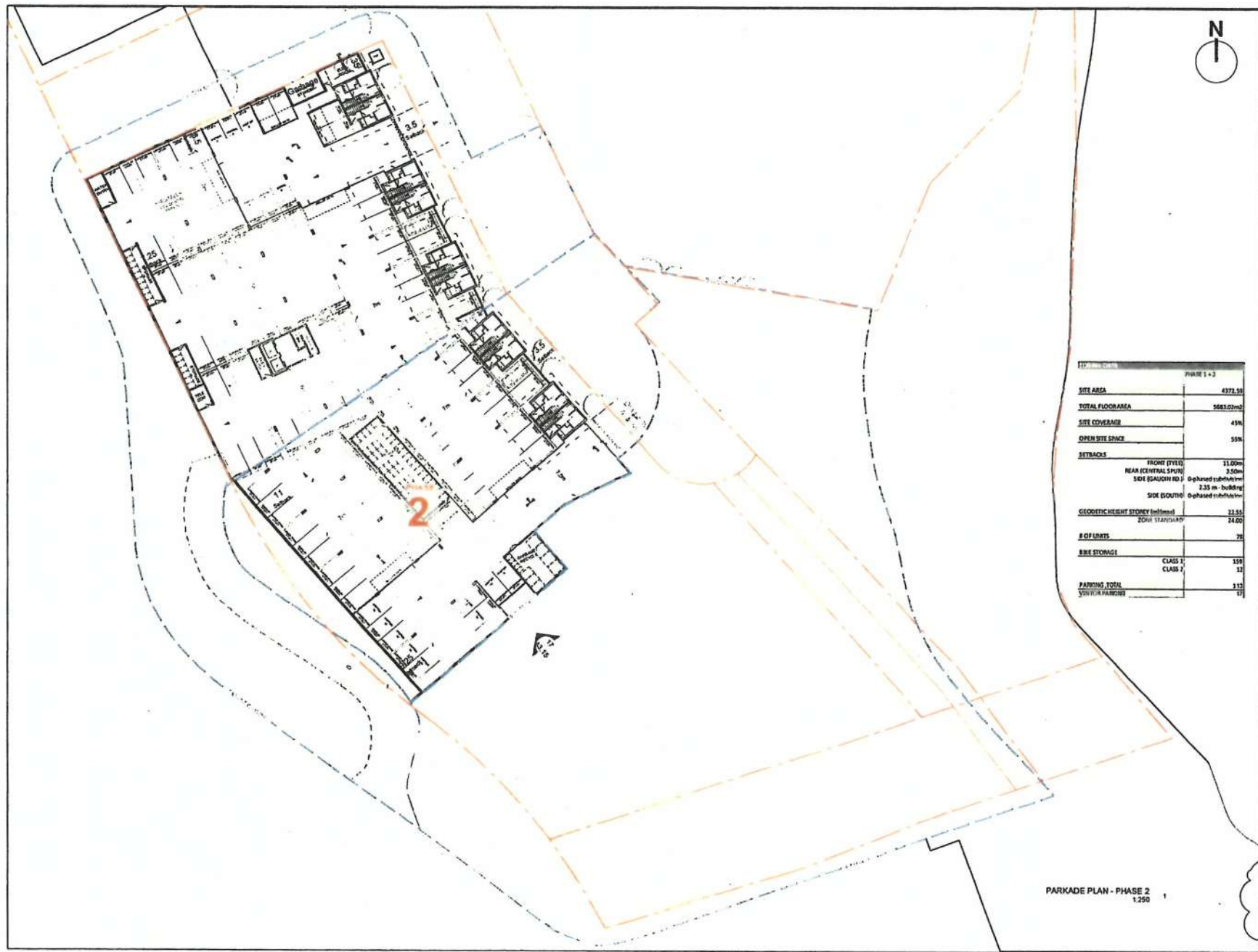
VICTORIA, BC

PHASING PLAN  
 PARKADE PLAN  
 PHASE 1 + 2

DATE: 2015

**A0.06B**

PARKADE PLAN - PHASE 2  
 1:250





# DIALOG

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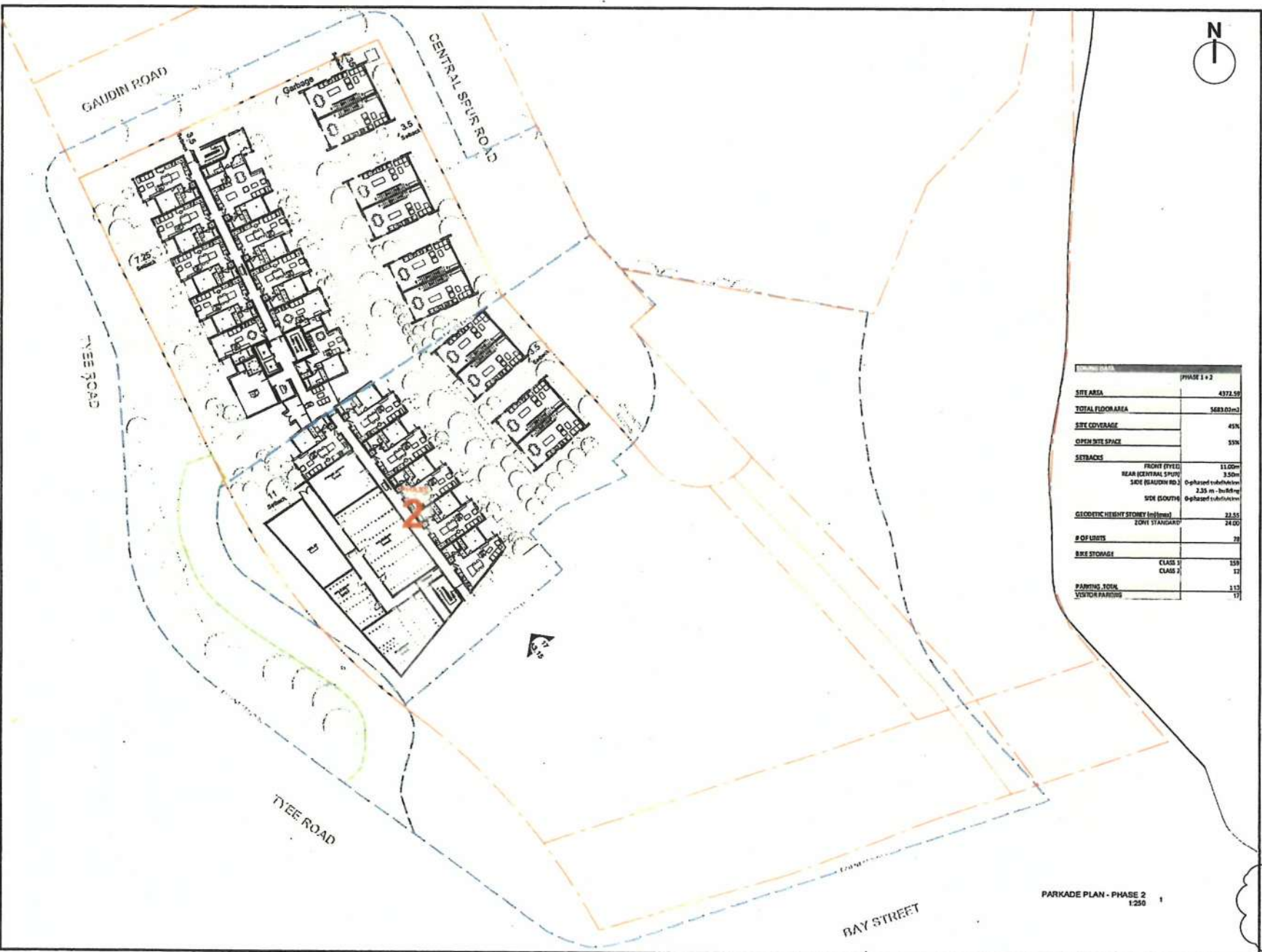
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 RAILYARDS, LOT H & J

VICTORIA, BC  
 PHASING PLAN  
 PARKADE PLAN  
 PHASE 1 + 2

DATE: 20/01/15

**A0.06C**

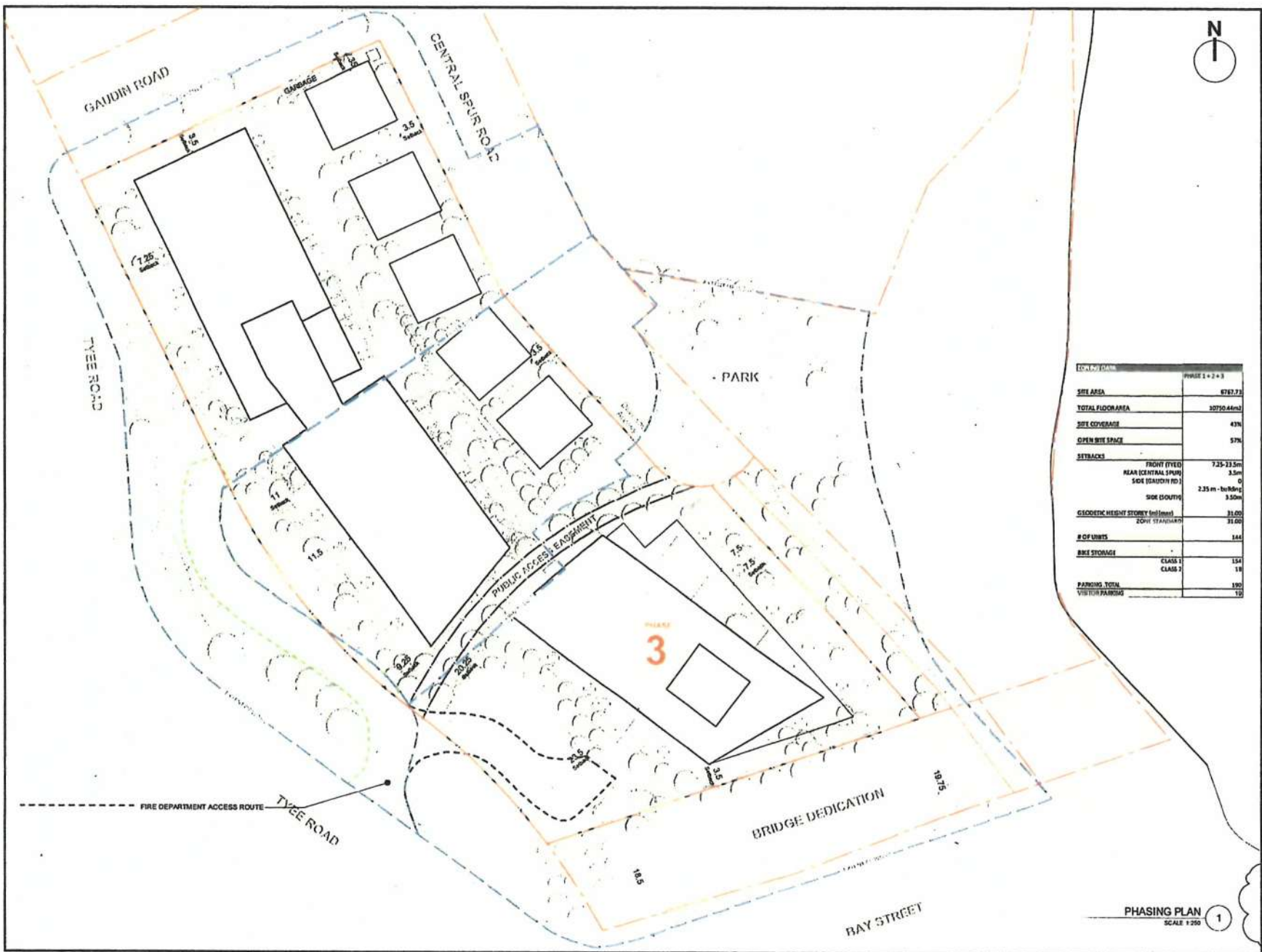
Planning and Land Use Committee - 01 Oct 2015



SUMMARY DATA	
PHASE 1 + 2	
SITE AREA	4372.50
TOTAL FLOOR AREA	5483.02 m <sup>2</sup>
SITE COVERAGE	45%
OPEN SITE SPACE	55%
SETBACKS	
FRONT (EVEL)	11.00m
REAR (CENTRAL SPUR)	3.50m
SIDE (GAULDIN RD.)	0-phased subdivision
SIDE (SOUTH)	2.35 m - building
	0-phased subdivision
GEODETIC HEIGHT STOREY (meters)	22.51
ZONING STANDARD	24.00
# OF UNITS	70
BIKE STORAGE	
CLASS 1	559
CLASS 2	17
PARKING, TOTAL	1.17
VISITOR PARKING	17

PARKADE PLAN - PHASE 2  
 1:250





LEGEND DATA	
PAGE 1 + 2 + 3	
SITE AREA	6787.73
TOTAL FLOOR AREA	30770.44m <sup>2</sup>
SITE COVERAGE	43%
OPEN SITE SPACE	57%
SETBACKS	
FRONT (TYEE)	7.25-13.5m
REAR (CENTRAL SPUR)	15m
SIDE (SAULTON RD)	0
SIDE (SOUTH)	2.25m - building
	3.50m
GEODETIC HEIGHT STOREY (m)	31.00
20m TRANSITION	31.00
# OF UNITS	144
BKE STORAGE	
	CLASS 1
	CLASS 2
PARKING TOTAL	190
VISITOR PARKING	10

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 RAILYARDS, LOT H & J  
 VICTORIA, BC  
 PHASING PLAN  
 MASTER SITE PLAN  
 PHASE 1 + 2 + 3  
 DRAWN  
 PLOT DATE 28/01/15  
 CHECKED  
**A0.07A**  
 PHASING PLAN  
 SCALE 1:250



RENDERING OF PROJECT 1  
VIEW NORTH FROM CORNER OF BAY ST. & TYEE RD.

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VICTORIA, BC  
RENDERING

DATE: 01/15  
A0.08





RENDERING OF PROJECT  
VIEW SOUTH ALONG CENTRAL SPUR ROAD 1

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VICTORIA, BC  
RENDERING

DRAWN  
PLOT DATE: 01/15  
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Planning and Land Use Committee - 01 Oct 2015



RENDERING OF PROJECT 1  
VIEW WEST BAY STREET BRIDGE

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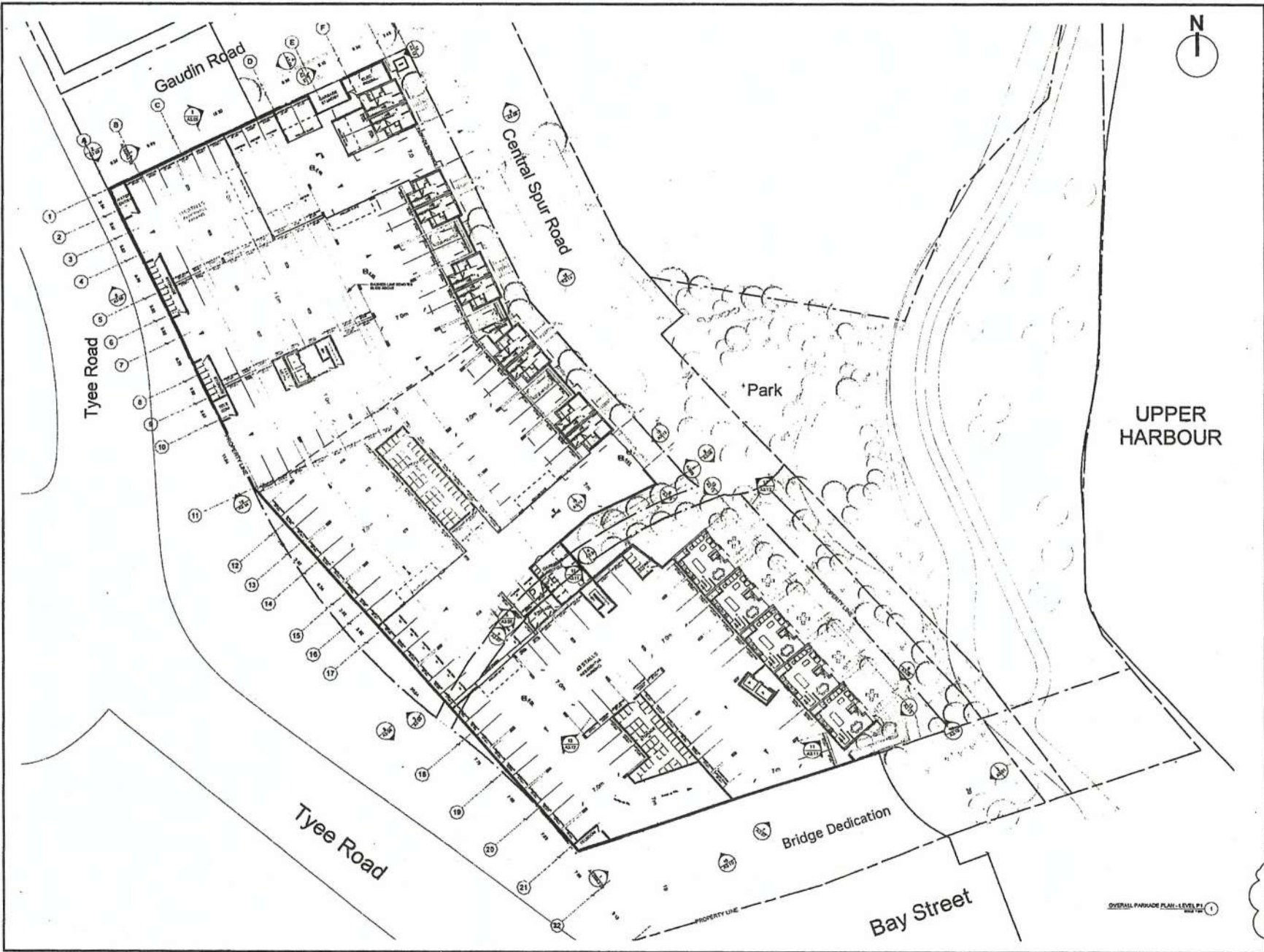
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PLOT DATE 08/01/15

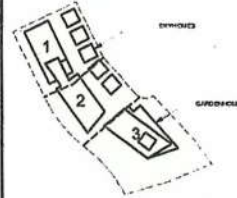
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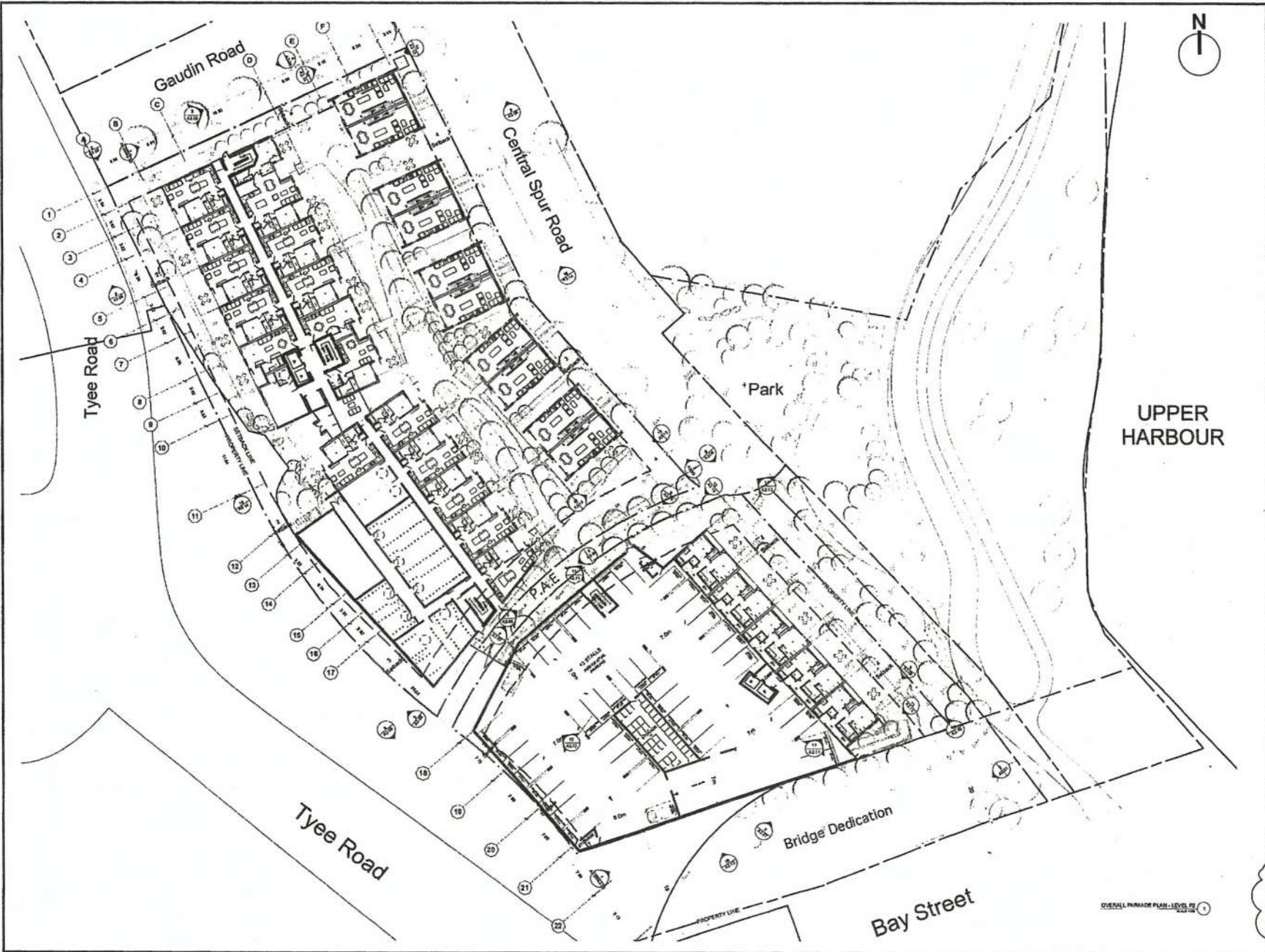
OVERALL PARKADE PLAN  
 LEVEL P1

DATE: 14 AUG 2015  
 DRAWN BY: JAC  
 CHECKED BY: JAC

**A2.01**

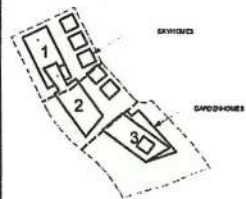
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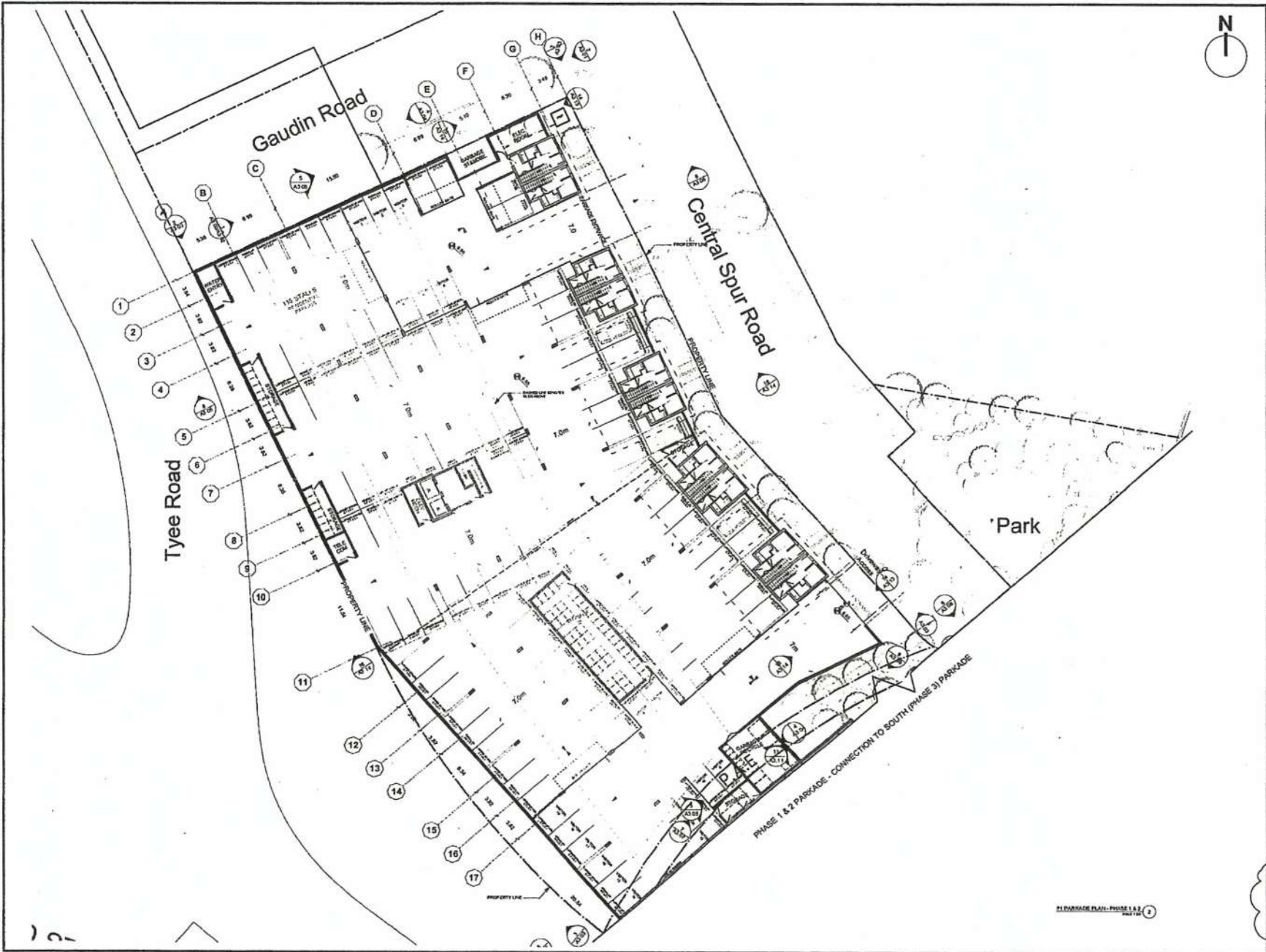
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OVERALL PARKADE PLAN - LEVEL P2  
LEVEL P2

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PLOT DATE: 01/15/15

**A2.02**

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VICTORIA, BC

PARKADE PLAN - LEVEL 1 & 2  
PHASE 1 & 2

DRAWN: AGT/BC  
PLOT DATE: 01/01/15

**A2.03**

30/05/15 Plan A2.03\_13\_20151115.dwg

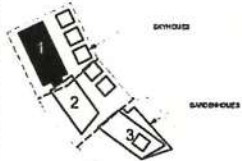








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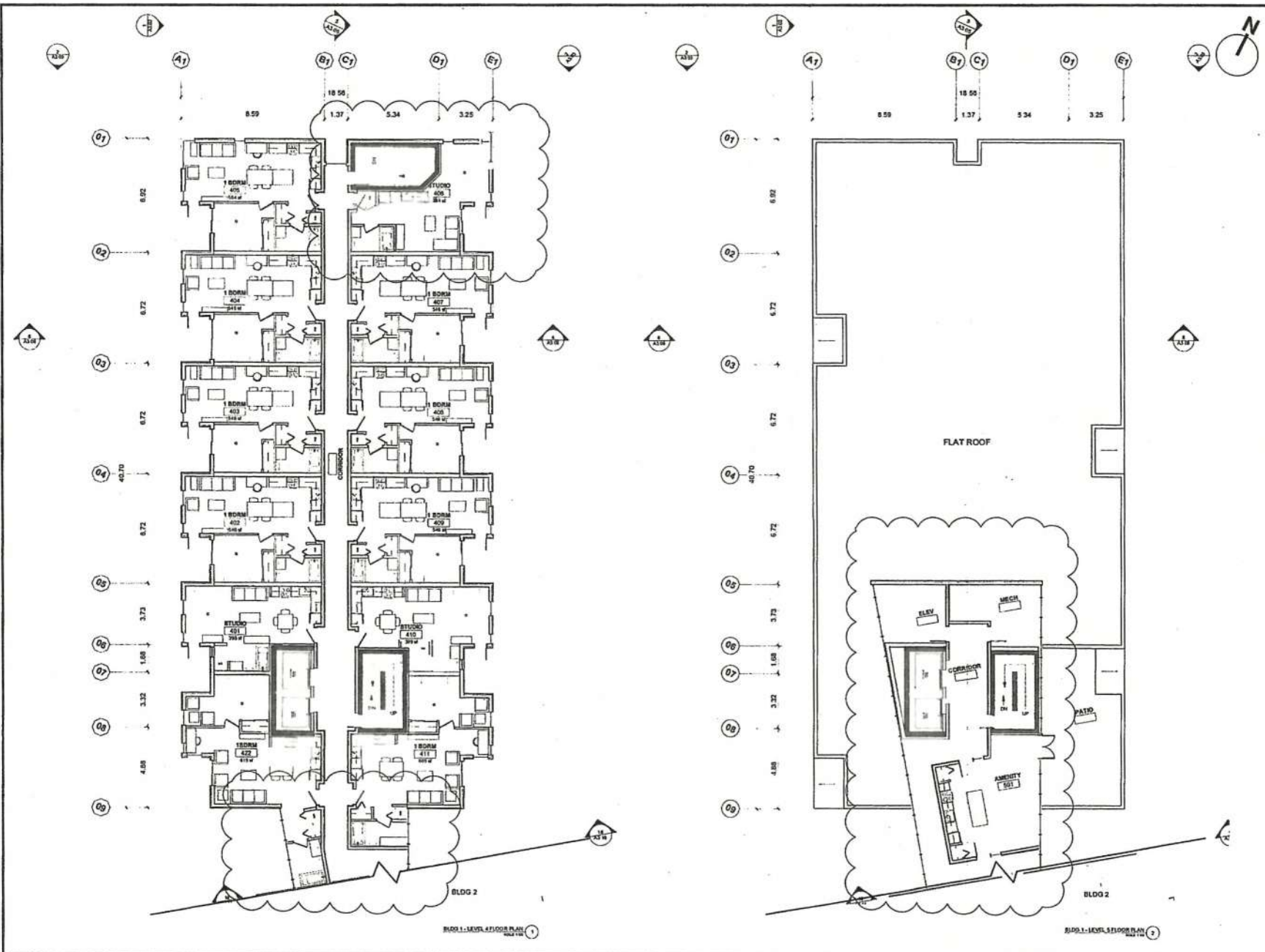
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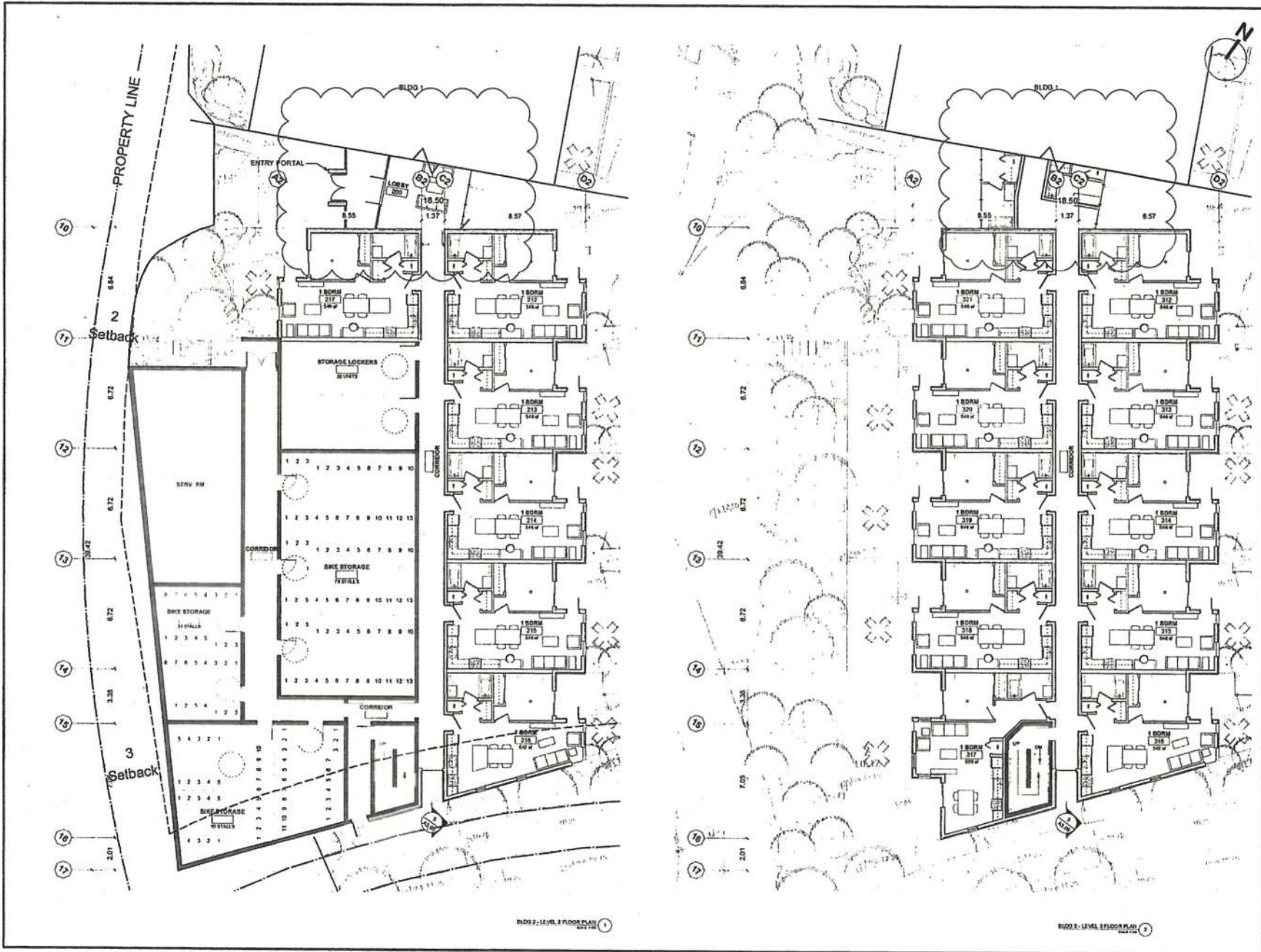
**BLDG 1 - LEVELS 4 & 5  
 FLOOR PLANS**

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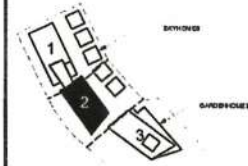
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**RAILYARDS, LOT H & J**

VICTORIA, BC

**Bldg 2 - LEVELS 2 & 3  
 FLOOR PLANS**

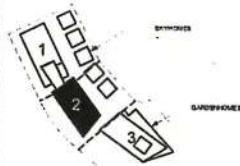
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 PLOT DATE: 01/14/15  
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**A2.21**

\\250v\Plans\Bldg2\_12\_20151113.dwg



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 INTERIOR CONSULTING  
 801-111-1111  
 1000-111-1111  
 1000-111-1111  
 1000-111-1111

**OWNER:**  
 USTONE AND COMPANY  
 1000-111-1111  
 1000-111-1111  
 1000-111-1111

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

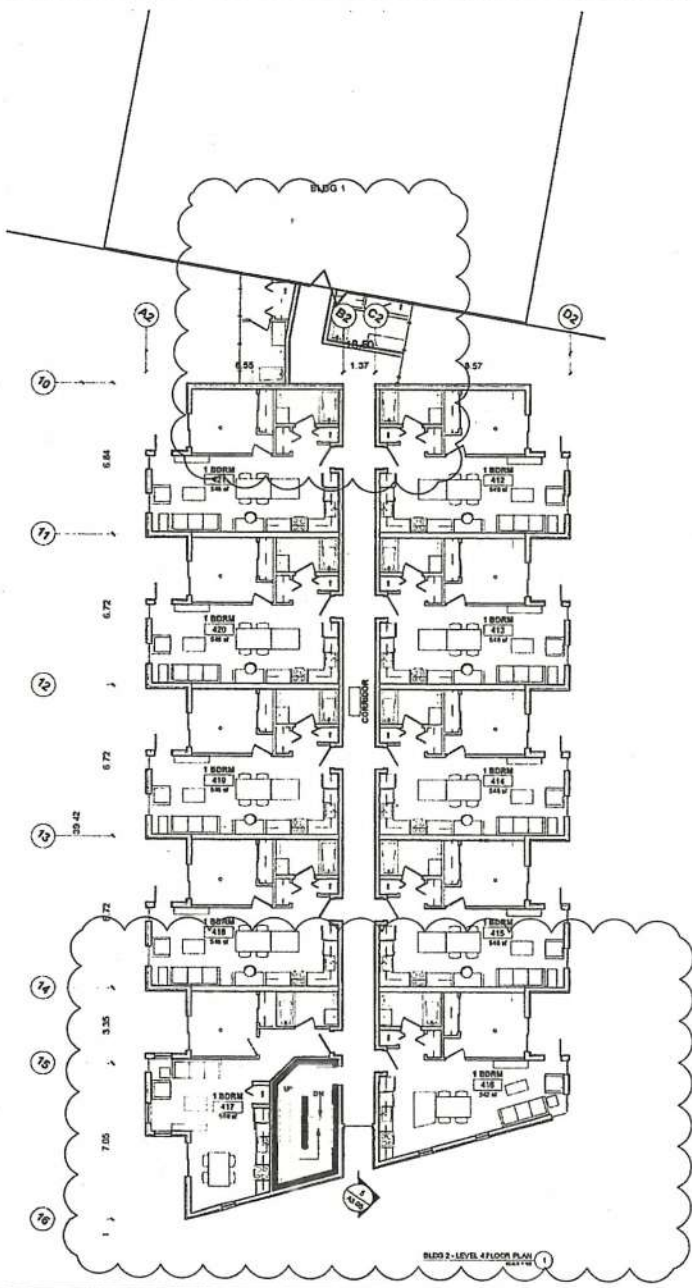
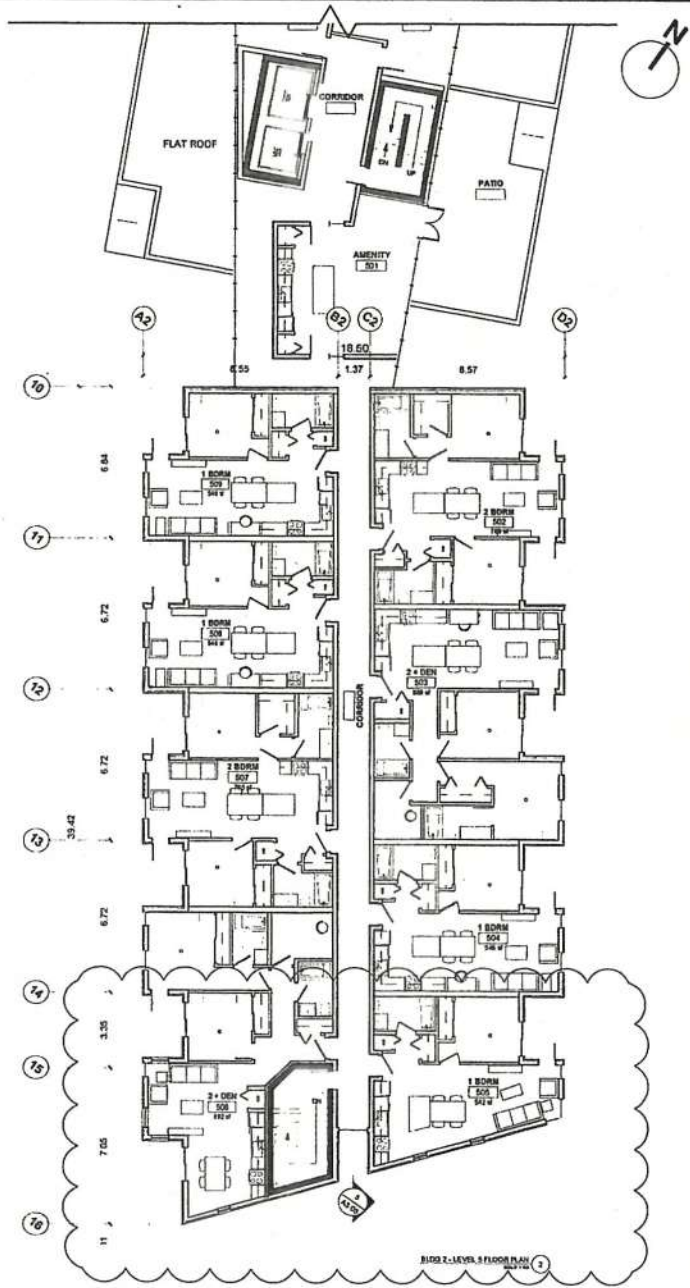
**BLDG 2 - LEVELS 4 & 5  
 FLOOR PLANS**

DRAWN: AD  
 PLOT DATE: 01/14/15

CHECKED

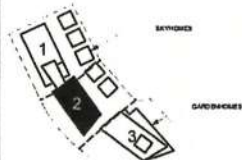
**A2.22**

SCALE: 1/8" = 1'-0"





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DISCREPANCIES FROM THE CONTRACT EXCLUDED WITHOUT  
WRITTEN APPROVAL FROM THE CONSULTANT AND SUBJECT TO  
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ARCHITECTURE ENGINEERING  
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VICTORIA, BC V8A 1E1  
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Email: info@dialogbc.ca  
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SEPRIME AND DUMPHY  
1000 HALL STREET  
VICTORIA BC V8W 1E4  
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SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

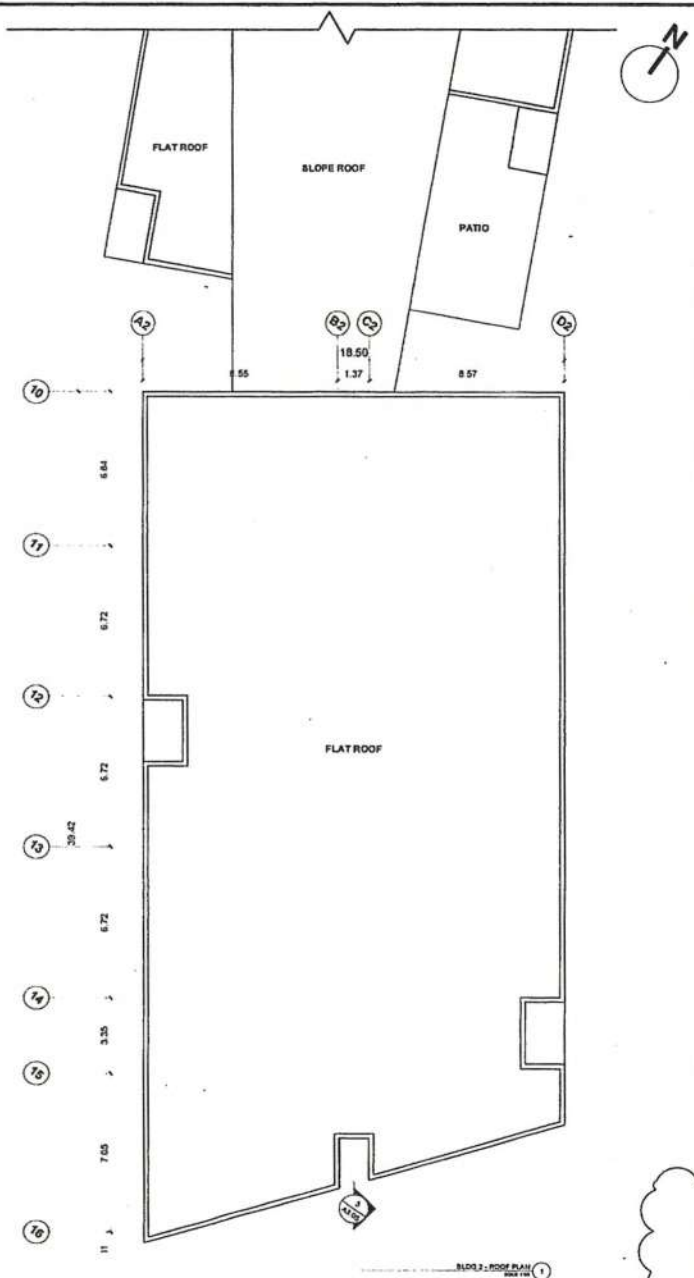
BLDG 2 - ROOF PLAN

DRAWN: AD  
PLOT DATE: 31/10/15

CHECKED

**A2.23**

Project File: RAILYARDS\_15\_AUG15\_15.dwg



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 VANCOUVER, BC V6C 1A5  
 TEL: 604 255 1138  
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 LEFFINGWELL & COMPANY  
 100 BROAD STREET  
 VICTORIA, BC V8W 1S6  
 TEL: 250 363 4000

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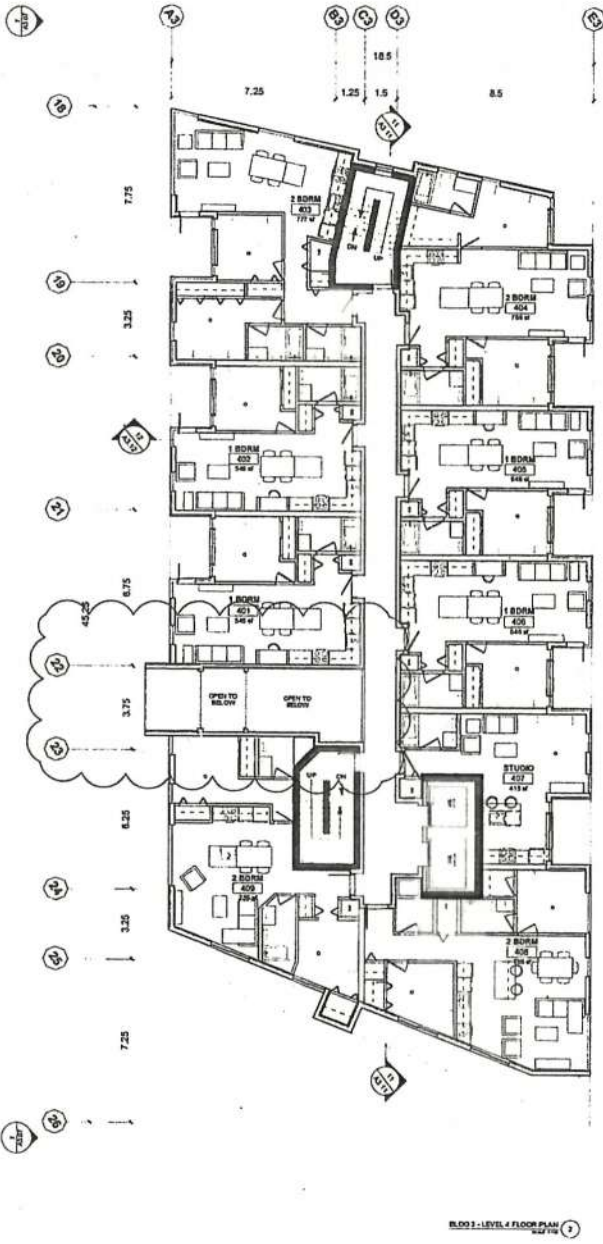
RAILYARDS, LOT H & J

VICTORIA, BC

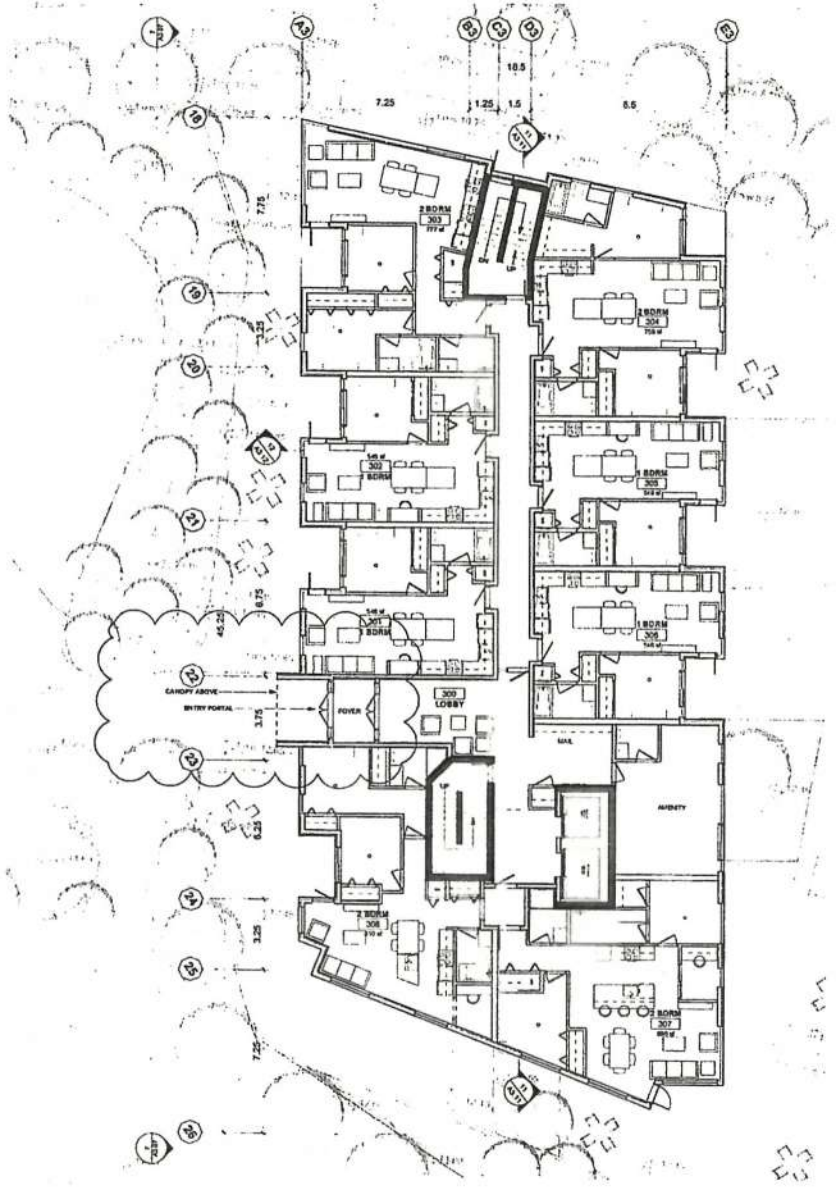
BLDG 3 - LEVEL 3 & 4  
 FLOOR PLANS

DRAWN: AGJ/DT  
 PLOT DATE: 01/10/15  
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**A2.31**

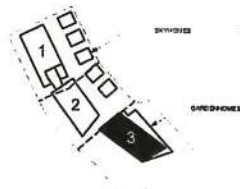


BLDG 3 - LEVEL 4 FLOOR PLAN  
 1/10/15



BLDG 3 - LEVEL 3 FLOOR PLAN  
 1/10/15

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 1000 BROADVIEW STREET  
 VICTORIA, BC V8M 1H6  
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SEA

RAILYARDS, LOT H & J

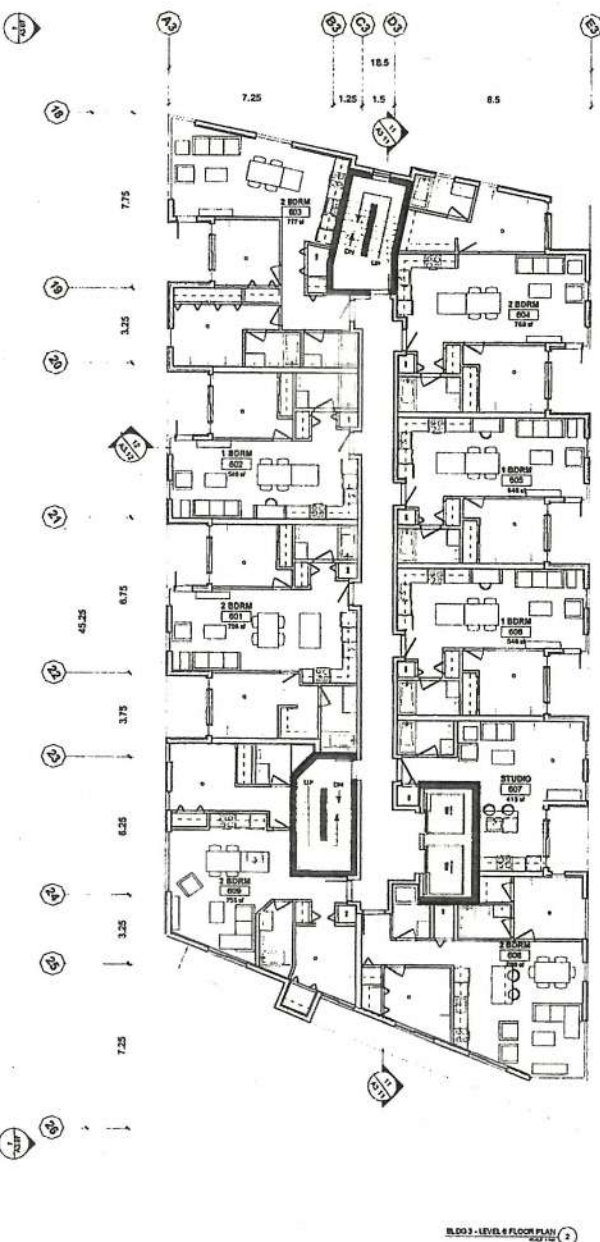
VICTORIA, BC

**BLDG 3 - LEVEL 5-7 FLOOR PLANS**

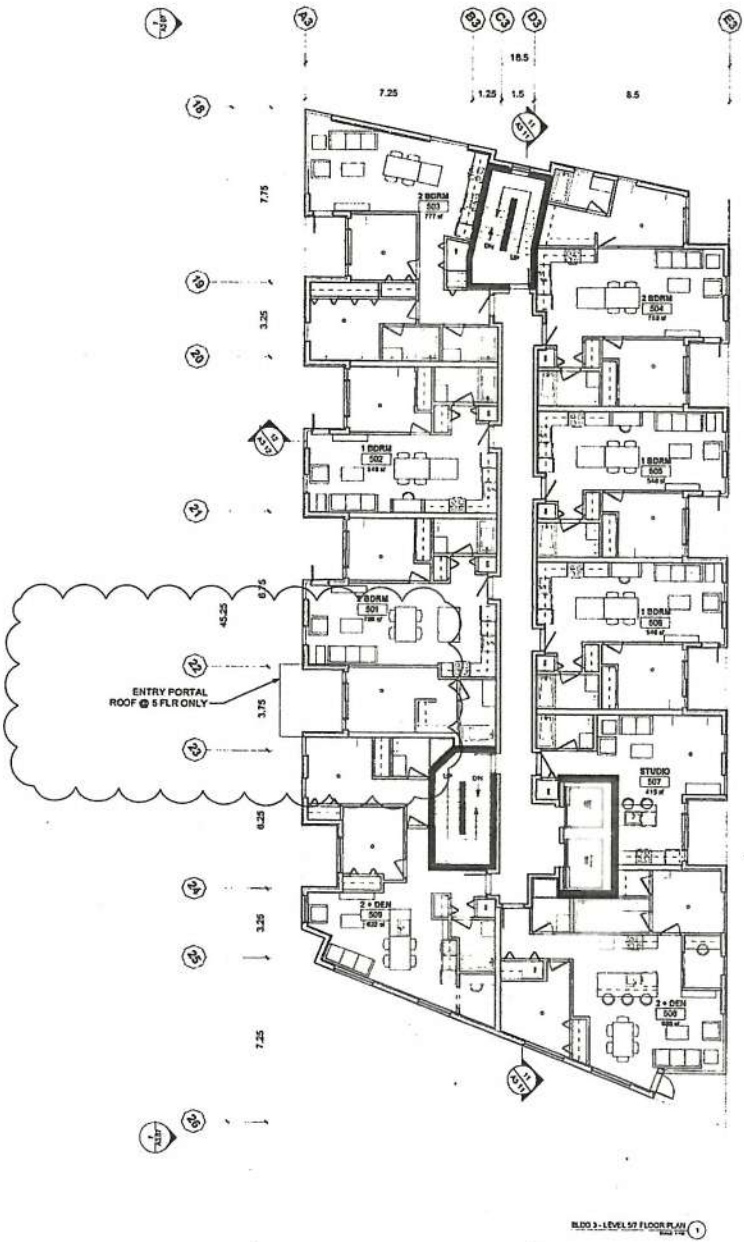
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**A2.32**



BLDG 3 - LEVEL 5 FLOOR PLAN  
 01/14/15

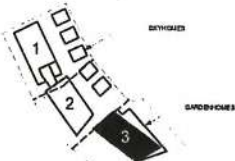


BLDG 3 - LEVEL 5 FLOOR PLAN  
 01/14/15

ENTRY PORTAL  
 ROOF @ 5 FLR ONLY



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 VICTORIA, BC V8W 1A2  
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RAILYARDS, LOT H & J

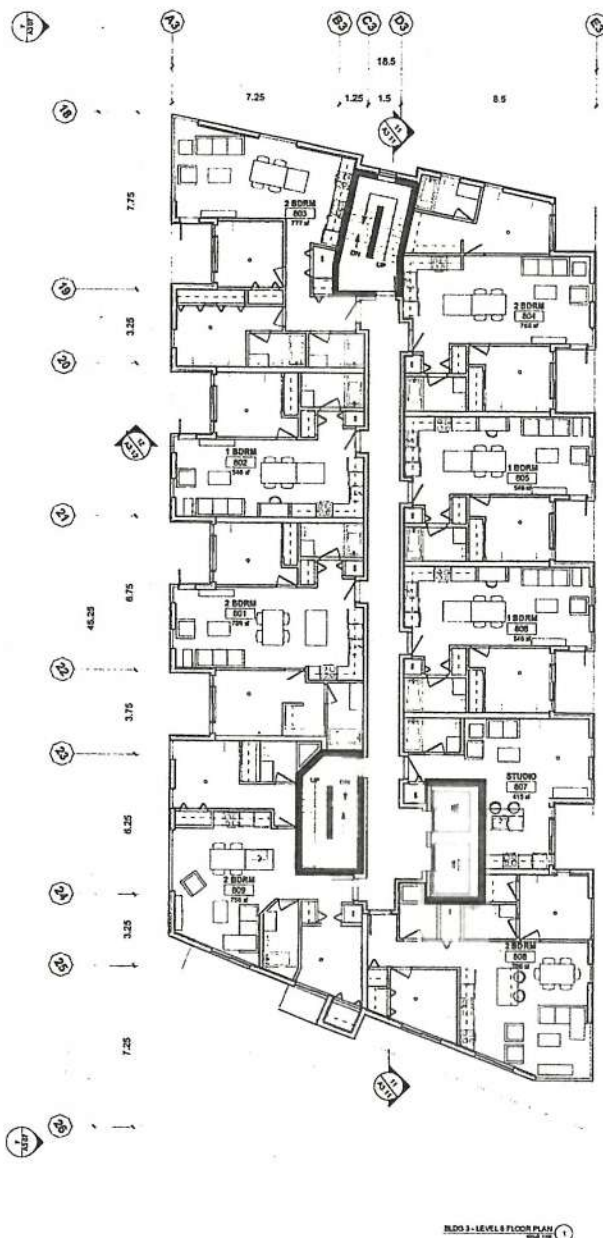
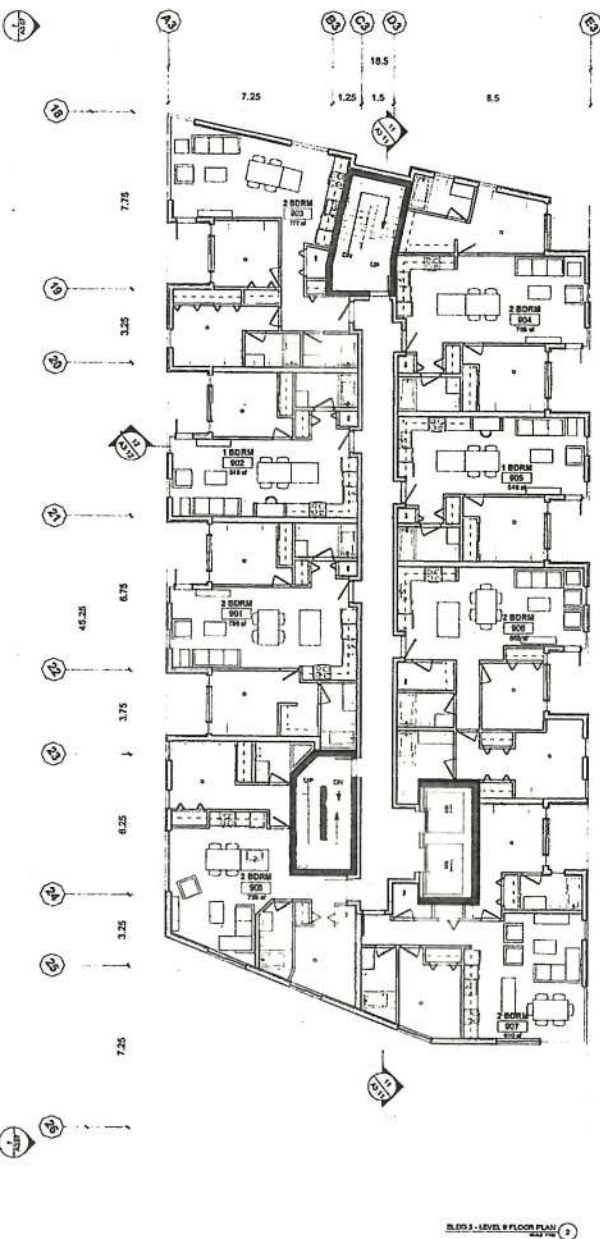
VICTORIA, BC

**BLDG 3 - LEVEL 8 & 9  
 FLOOR PLANS**

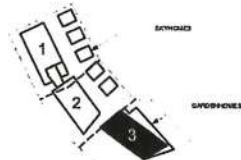
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 PLOT DATE: 07/14/15

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**A2.33**



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 1000 DEBON PLAZA SUITE 100  
 4501 ALBERTA STREET  
 VICTORIA, BC V8A 1E1  
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 email: info@dialog.bc.ca  
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 331 HURD STREET  
 VICTORIA, BC V8W 1S6  
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RAILYARDS, LOT H & J

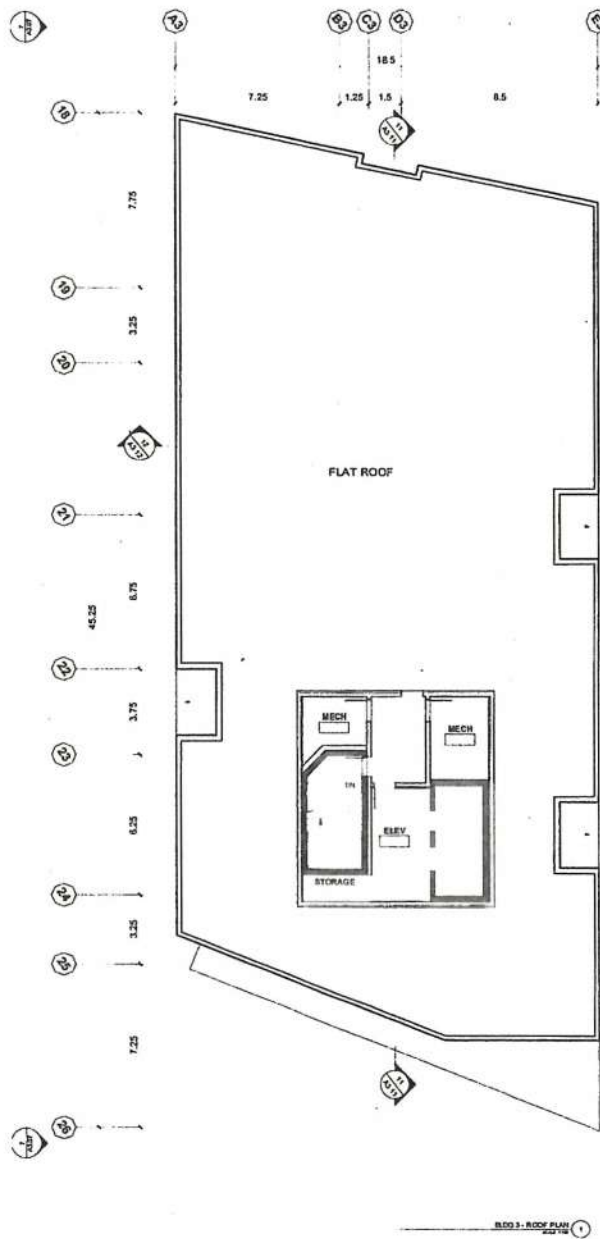
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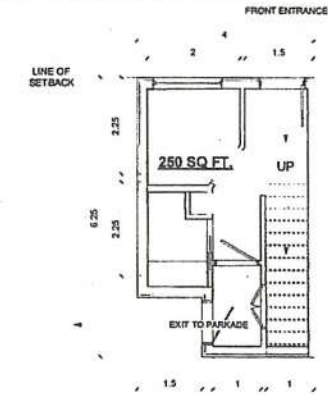
BLDG 3 - ROOF PLAN

DRAWN: AG/DT  
 PLOT DATE: 9/14/15

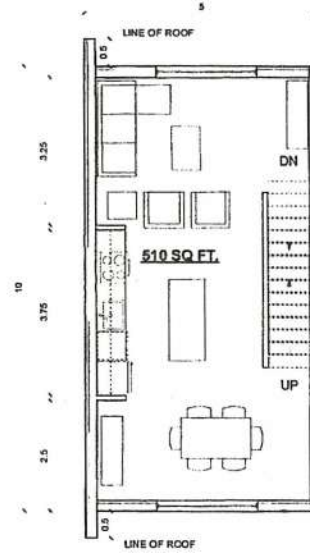
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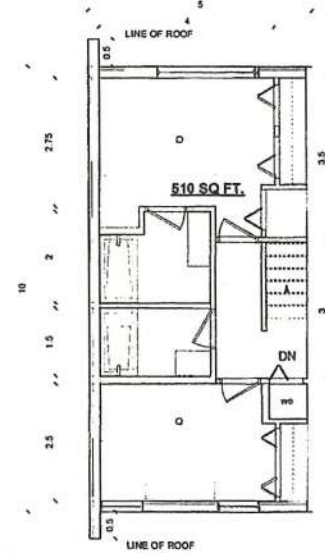




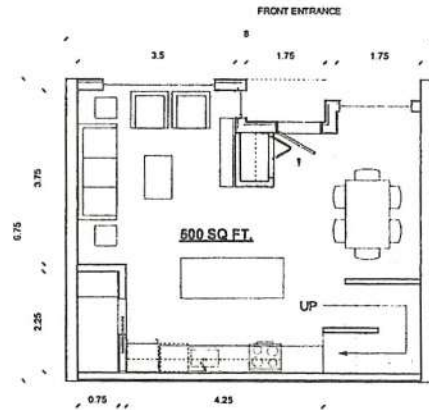
GARDEN APT - LEVEL 1 FLOOR PLAN  
SCALE: 1:100 1



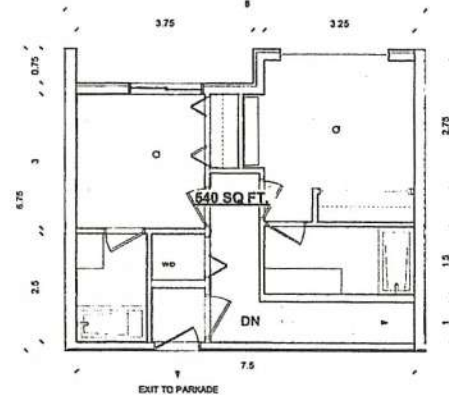
GARDEN APT - LEVEL 2 FLOOR PLAN  
SCALE: 1:100 2



GARDEN APT - LEVEL 3 FLOOR PLAN  
SCALE: 1:100 3

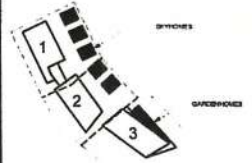


SKYHOME - LEVEL 1 FLOOR PLAN  
SCALE: 1:100 4



SKYHOME - LEVEL 2 FLOOR PLAN  
SCALE: 1:100 5

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SUPERIOR CONSULTING INC.  
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VANCOUVER, BC V6A 1E1  
Tel: 604-255-1111 Fax: 604-255-1111  
www.dialoginc.ca

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RAILYARDS, LOT H & J

VICTORIA, BC

TYPICAL UNIT PLANS  
GARDEN APT-LVLS 1  
SKY HOMES - LVLS 1

DRAWN  
PLOT DATE: 1/23/15

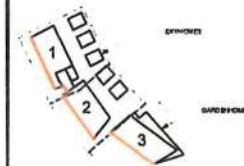
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**A2.41**





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 VANCOUVER, BC V6A 1S1  
 Tel: (604) 251-1100 Fax: (604) 251-1120  
 info@dialog.ca

**OWNER:**  
 OFFICE AND EQUIPMENT  
 100 HURON STREET  
 100 HURON STREET  
 Tel: (250) 399-8828

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RAILYARDS, LOT H & J

VICTORIA, BC

WEST ELEVATION

DRAWN BY: AD  
 PLOT DATE: 07/14/15  
 CHECKED:

**A3.00**

DATE: 07/14/15

Planning and Land Use Committee - 01 Oct 2015



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 SUITE 1000 V1A 1V1  
 VAN 606-255-1750 Fax 606-255-1750  
 dialog@dialog.ca

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 SUITE 1000 V1A 1V1  
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REAL

RAILYARDS, LOT H & J

VICTORIA, BC

**EAST ELEVATION**

SINCE: AD  
 PLOT DATE: 01/15/15

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**A3.01**

01/15/15





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 VICTORIA, BC V8M 1G1  
 Tel: 250.353.1100 Fax: 250.353.1101  
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 401 ALAN STREET  
 VICTORIA, BC V8M 1G1  
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WEST ELEVATION 1 - BLDG 1  
 SCALE 1:100 1C

WEST ELEVATION 1 - BLDG 2  
 SCALE 1:100 1D

RAILYARDS, LOT H & J  
 VICTORIA, BC  
 WEST ELEVATION

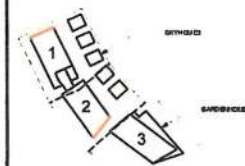
BLDG 1 & 2  
 DRAWN BY: [Name]  
 PLOT DATE: 8/14/15

**A3.02**





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VICTORIA BC V8A 1E1  
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**RAILYARDS, LOT H & J**

VICTORIA, BC

**NORTH & SOUTH ELEVATION**

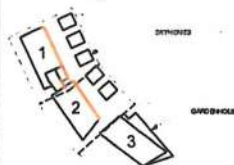
**BLDG 1 & 2**

DESIGNED BY: [Signature]  
CHECKED BY: [Signature]

**A3.03**



**DIALOG**



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VICTORIA BC V8W 1S8  
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RAILYARDS, LOT H & J

VICTORIA, BC

**EAST ELEVATION**

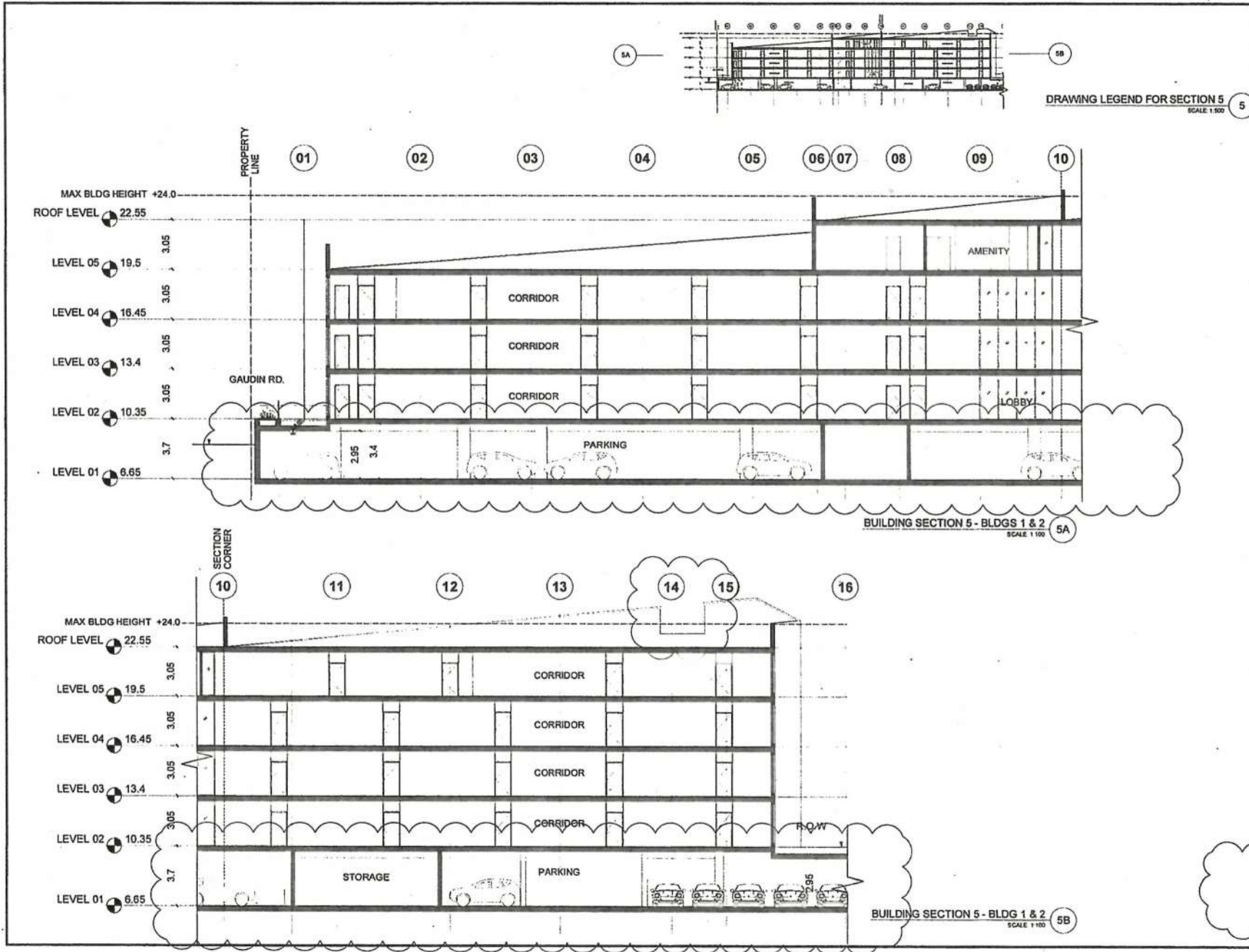
**BLDG 1 & 2**

DRAWN BY: JAC  
PLOT DATE: 01/01/15

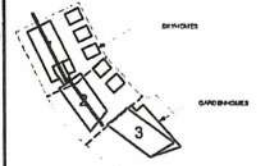
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REVISION ELEVATIONS\_21/07/15





**DIALOG**

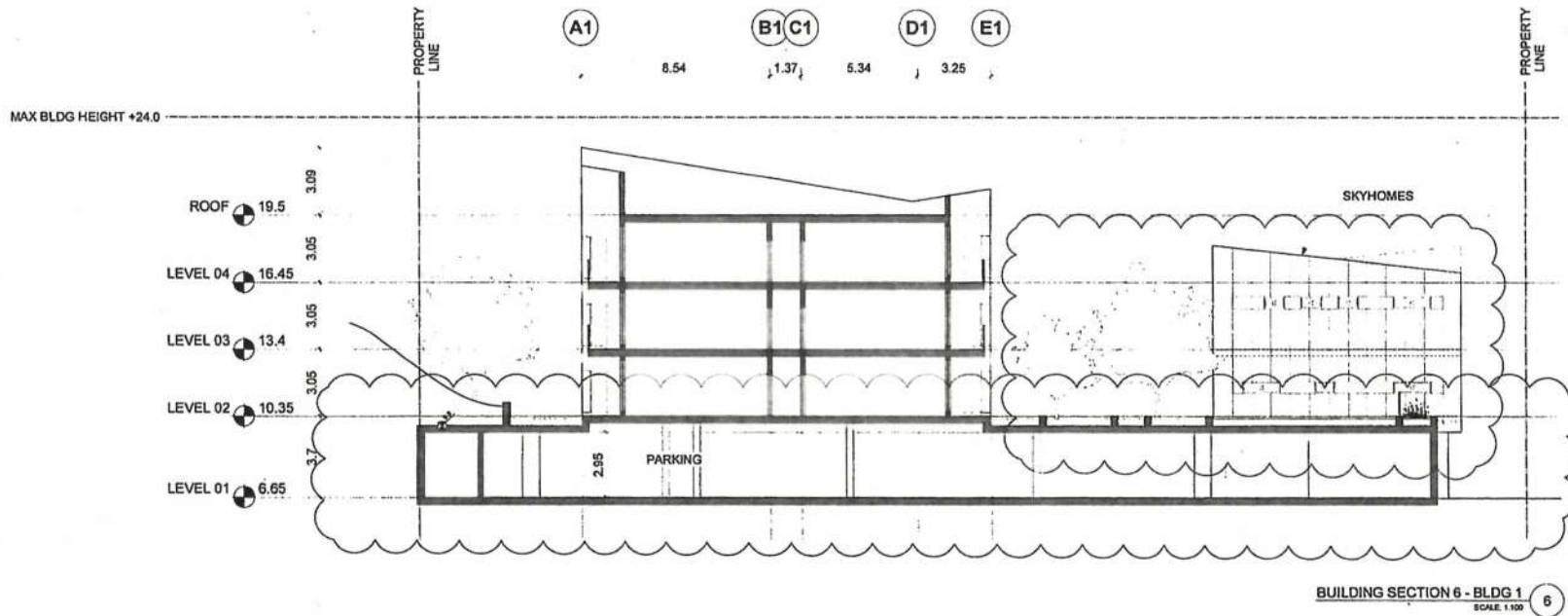


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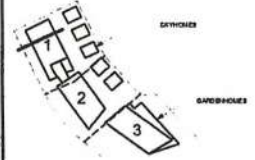
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 LEFTY AND SUE  
 430 HALL STREET  
 VICTORIA BC V8N 1E1  
 Tel: 250 360-8800

SEAL  
 RAILYARDS, LOT H & J  
 VICTORIA, BC  
 BUILDING SECTION  
 BLDG 1 & 2  
 DRAWN: AD  
 PLOT DATE: 8/14/15  
 CHECKED: [Signature]  
**A3.05**





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INTERIOR DESIGN & LANDSCAPE  
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VICTORIA, BC V8A 1E1  
Tel: 250-384-1158 Fax: 250-384-1159  
info@dialogbc.ca

OWNER:

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350 HENRI ST. #100  
VICTORIA, BC V8A 1E1  
Tel: 250-384-1158

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

BUILDING SECTION

BLDG 1

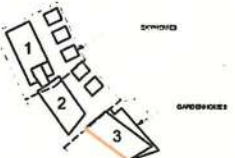
DRAWN: AG  
PLOT DATE: 8/14/15

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A3.06

SECTION 6 - BLDG 1

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SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

WEST ELEVATION

BLDG 3

DRAWN BY  
 PLOT DATE 08/15/15

**A3.07**

8/15/15 DIALOG BC

PAINTED FIBER CEMENT PANEL 18 7.81  
 PAINTED FIBER CEMENT PANEL 19 3.57  
 CORRUGATED METAL CLADDING 20 6.72  
 CORRUGATED METAL CLADDING 21 6.71  
 CORRUGATED METAL CLADDING 22 3.79  
 CORRUGATED METAL CLADDING 23 6.19  
 CORRUGATED METAL CLADDING 24 6.19

ROOF @ MAX HEIGHT 31.0  
 LEVEL 09 28.35  
 LEVEL 08 25.7  
 LEVEL 07 23.05  
 LEVEL 06 20.4  
 LEVEL 05 17.25  
 LEVEL 04 15.1  
 LEVEL 03 12.45  
 LEVEL 02 9.6  
 LEVEL 01 6.65



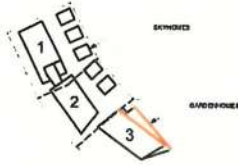
WEST ELEVATION - BLDG 3  
 SCALE 1:100







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 dlog@dialoginc.com  
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 TEL: 250-363-1100

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

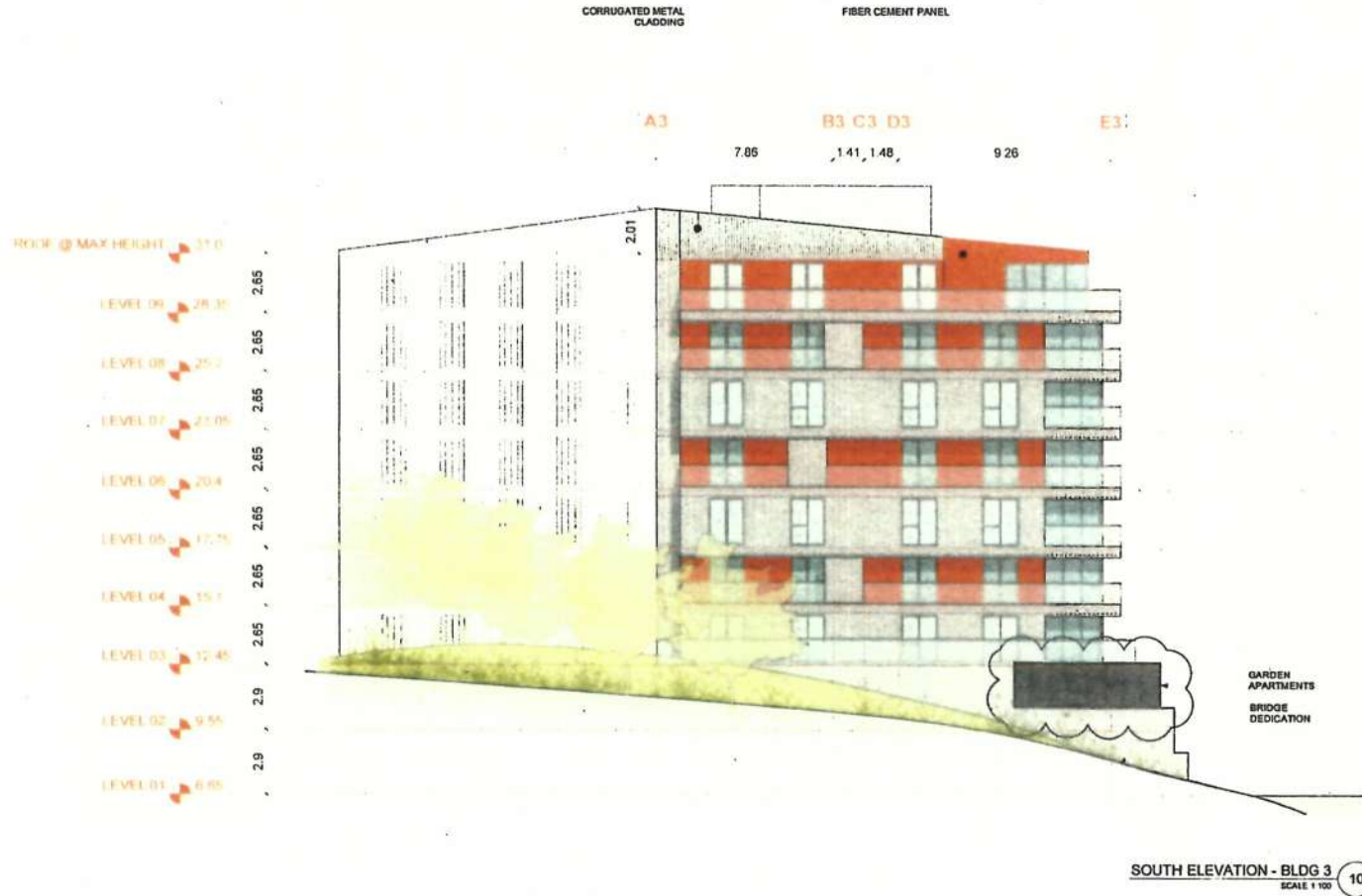
EAST ELEVATION

BLDG 3

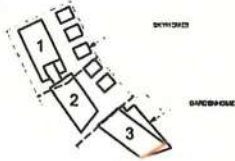
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**A3.09**

6/25/15 ELEVATIONS\_20101015.dwg



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dlog@dialogbc.ca

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REAL

RAILYARDS, LOT H & J

VICTORIA, BC

SOUTH ELEVATION

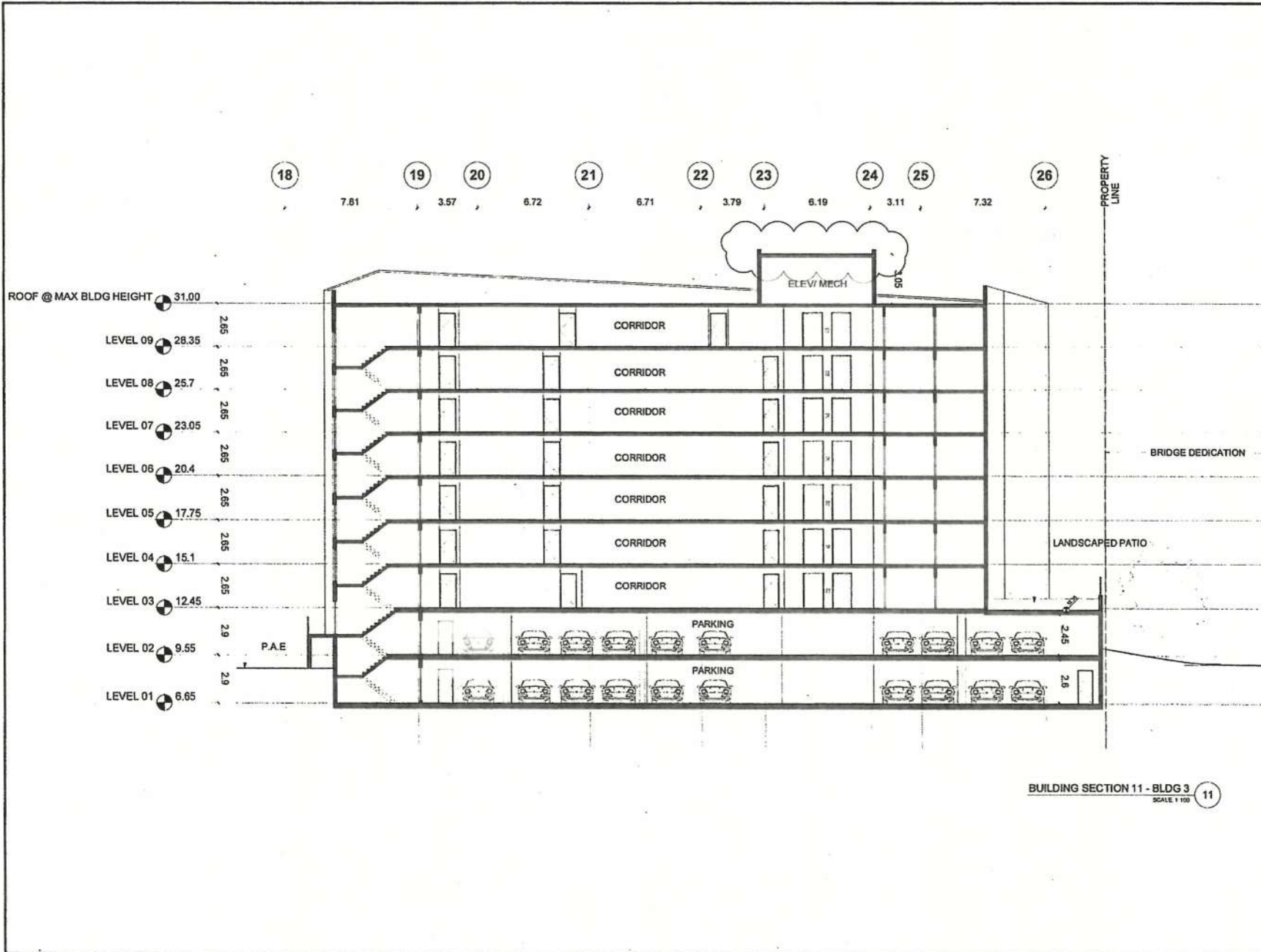
BLDG 3

DRAWN: AD  
IN OT DATE: 8/14/15

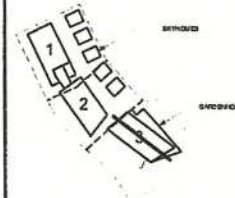
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**A3.10**

SDW BY ELEVATION: 2011/11/15



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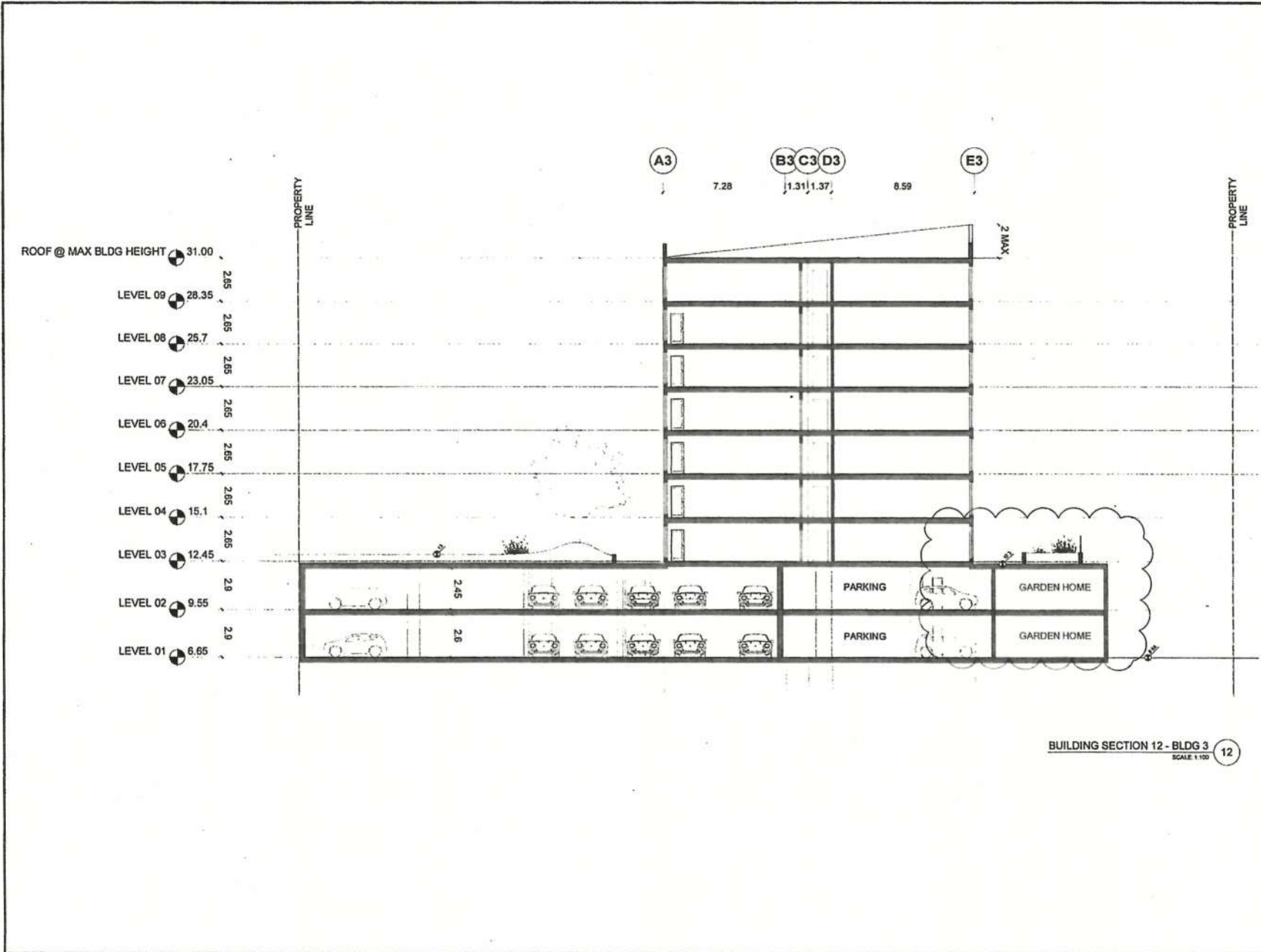
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 dialog@dialog.ca  
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 1310 HASTINGS STREET  
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**RAILYARDS, LOT H & J**

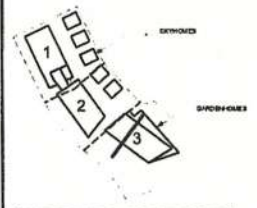
VICTORIA, BC  
**BUILDING SECTION**  
**BLDG 3**  
 DRAWN: AG  
 PLOT DATE: 01/14/15  
 CHECKED: [Signature]

**A3.11**





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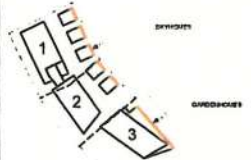
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 VICTORIA BC V8W 2E6  
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SEAL  
 RAILYARDS, LOT H & J  
 VICTORIA, BC  
 BUILDING SECTION  
 BLDG 3  
 DRAWN: AD  
 PLOT DATE: 01/15/15  
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**A3.12**

Planning and Land Use Committee - 01 Oct 2015



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VICTORIA, BC V8M 1Y1  
Tel: (250) 363-1110

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RAILYARDS, LOT H & J

VICTORIA, BC

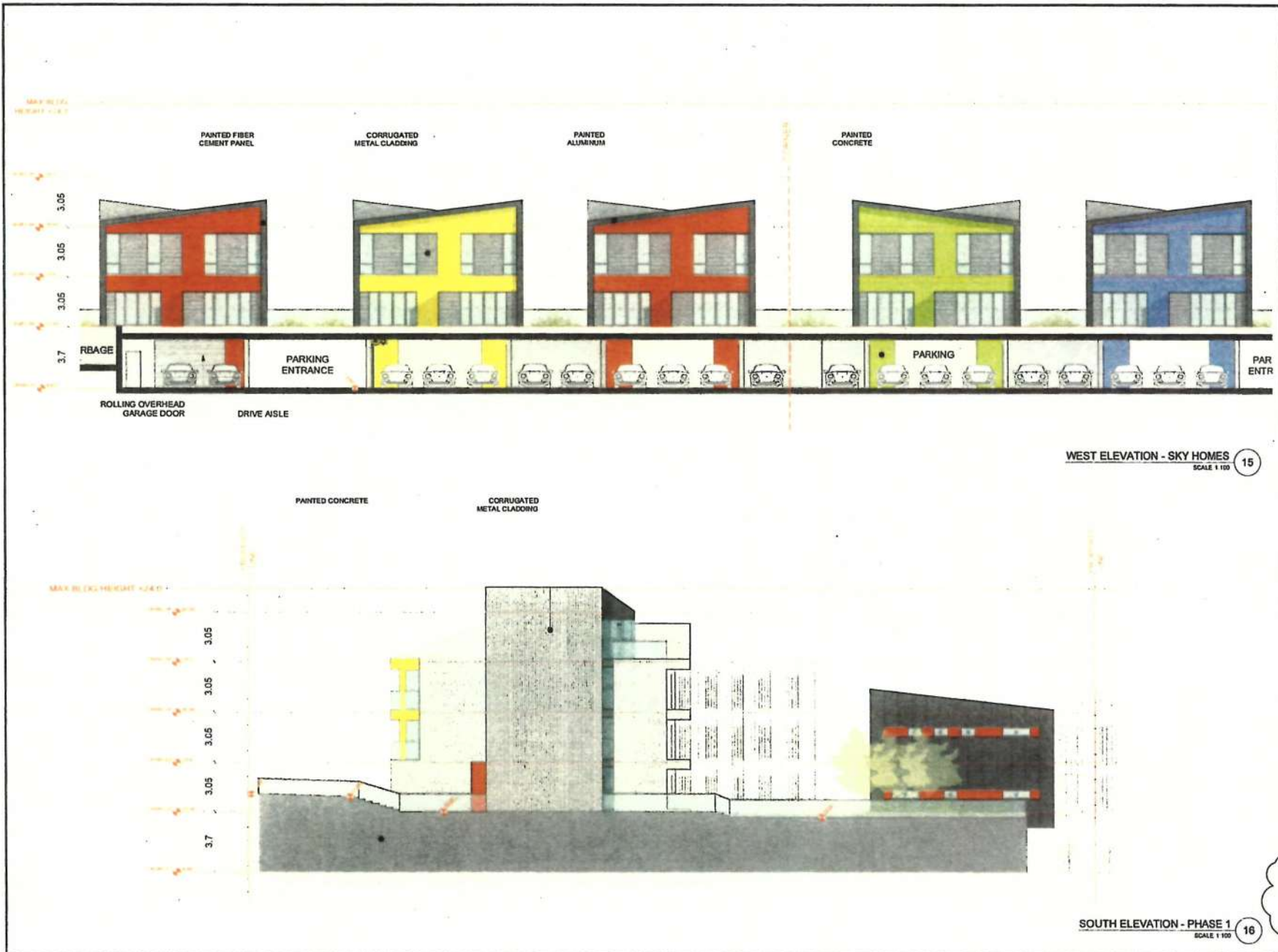
**EAST ELEVATIONS - GARDEN HOMES & SKY HOMES**

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PLOT DATE: 01/10/15

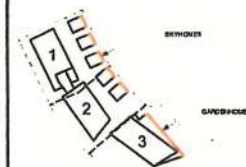
**A3.13**

13

14



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**SEAL**

**RAILYARDS, LOT H & J**

VICTORIA, BC

**WEST ELEV. - SKY HOMES**  
**SOUTH ELEV. - PHASE 1**

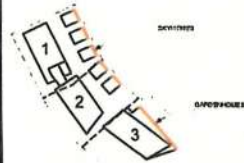
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**A3.14**

SKYV ELEVATION 2015-10-01





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FAX: 250-383-1189

WWW.DIALOGARCHITECT.COM

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RAILYARDS, LOT H & J

VICTORIA, BC

SOUTH ELEVATION - PHASE 2

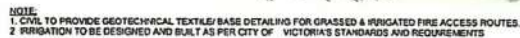
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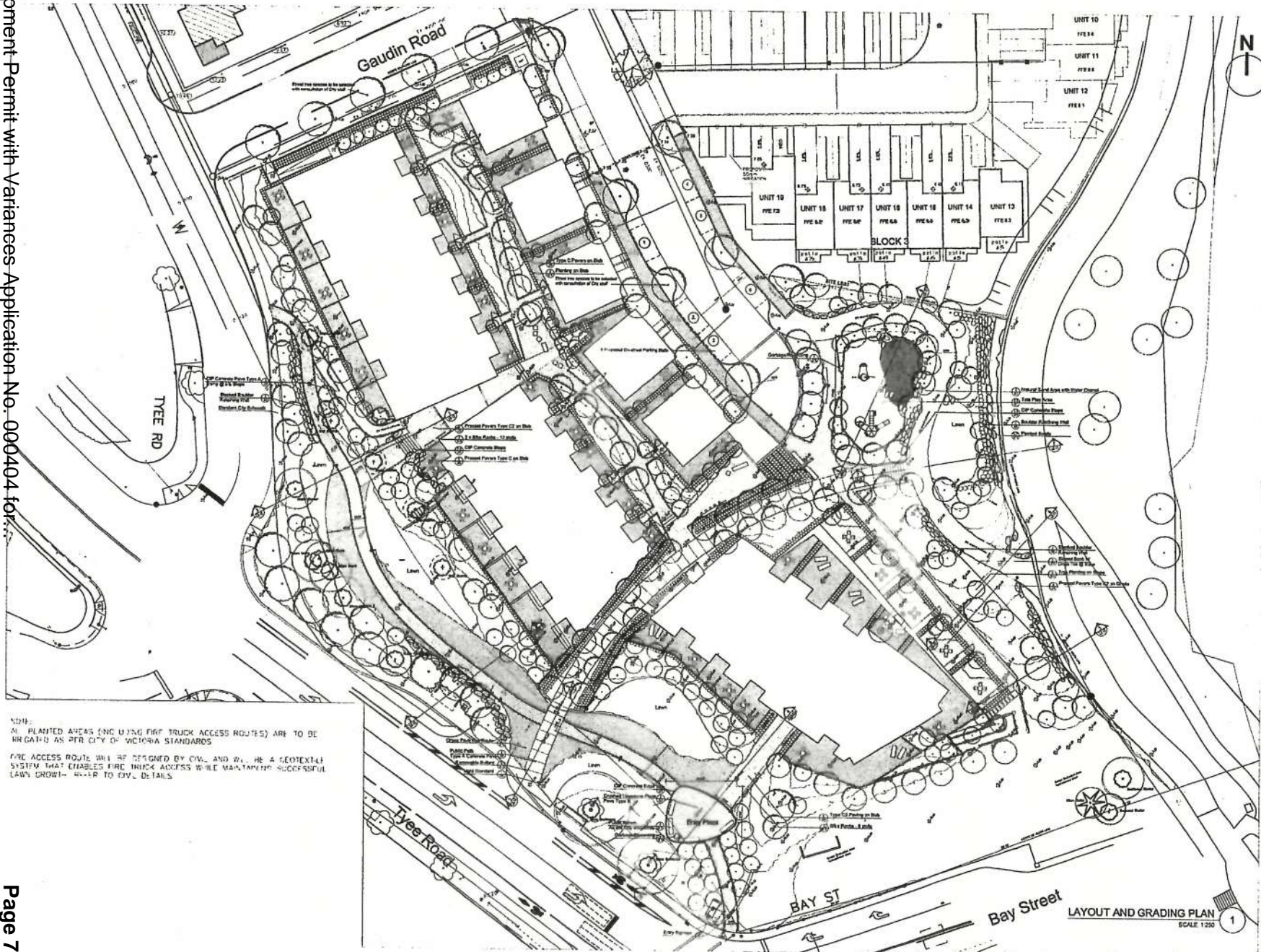
**A3.15**

2015 ELEVATIONS, 2015/10/21



## LO.01





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**Planning and Land Use Committee - 01 Oct 2015**

SEAL

RAILYARDS, LOT H & J

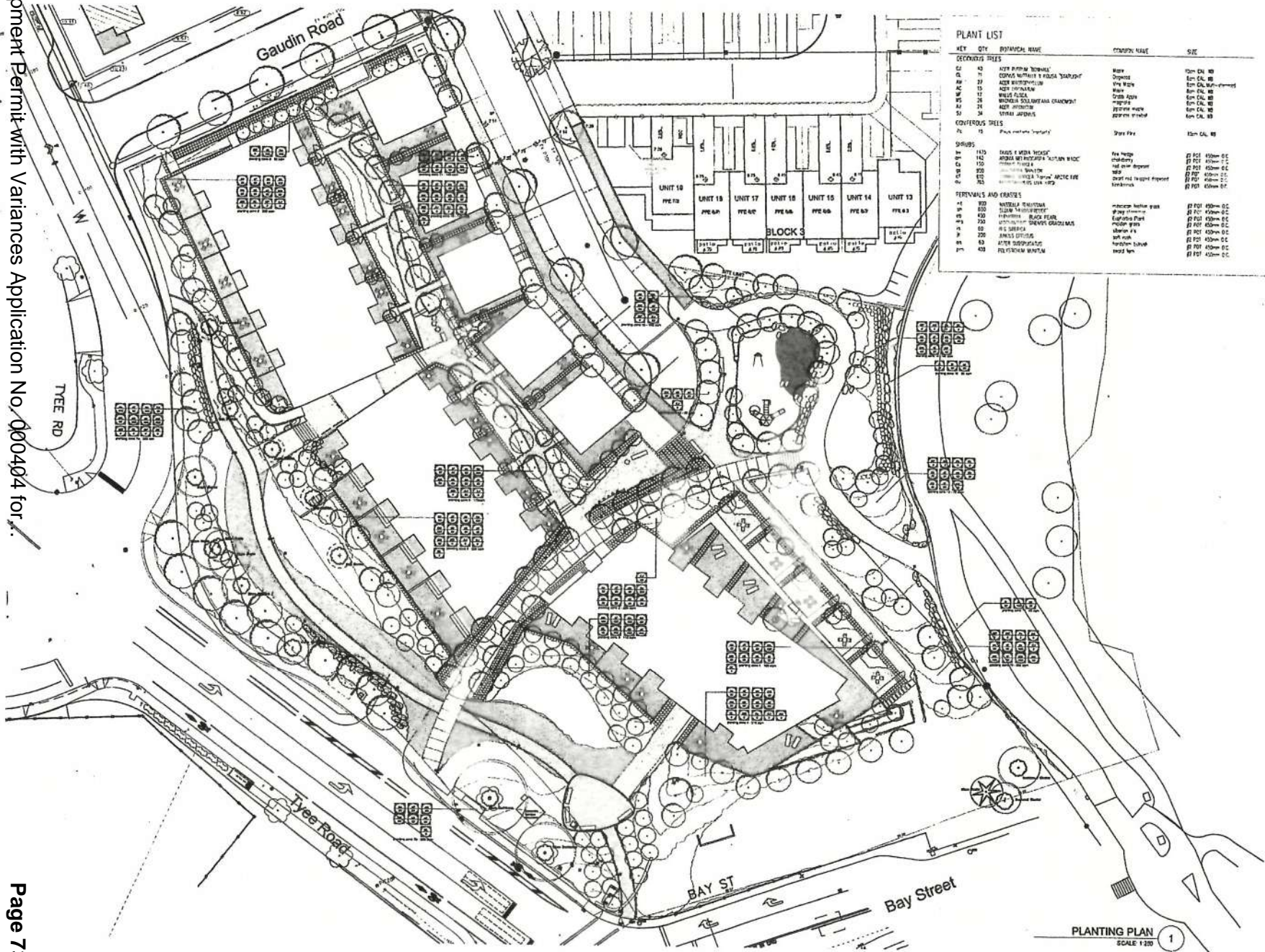
VICTORIA, BC

LAYOUT AND GRADING PLAN

DRAWN: PLOT DATE: 8/16/15

**L0.02**





KEY	QTY	ITEM	COMMON NAME	SIZE
<b>PLANT LIST</b>				
<b>DECORATIVE TREES</b>				
01	42	ACER FRATERNUS	Maple	10m CAL. 80
02	71	CORDON ROBERTII	Boxelder	10m CAL. 80
03	24	ACER BOREALIS	Boxelder	10m CAL. 80
04	12	ACER FRATERNUS	Maple	10m CAL. 80
05	12	ACER FRATERNUS	Maple	10m CAL. 80
06	12	ACER FRATERNUS	Maple	10m CAL. 80
07	12	ACER FRATERNUS	Maple	10m CAL. 80
08	12	ACER FRATERNUS	Maple	10m CAL. 80
09	12	ACER FRATERNUS	Maple	10m CAL. 80
10	12	ACER FRATERNUS	Maple	10m CAL. 80
<b>COVERED TREES</b>				
11	12	ACER FRATERNUS	Maple	10m CAL. 80
<b>SHRUBS</b>				
12	12	ACER FRATERNUS	Maple	10m CAL. 80
13	12	ACER FRATERNUS	Maple	10m CAL. 80
14	12	ACER FRATERNUS	Maple	10m CAL. 80
15	12	ACER FRATERNUS	Maple	10m CAL. 80
16	12	ACER FRATERNUS	Maple	10m CAL. 80
17	12	ACER FRATERNUS	Maple	10m CAL. 80
18	12	ACER FRATERNUS	Maple	10m CAL. 80
19	12	ACER FRATERNUS	Maple	10m CAL. 80
20	12	ACER FRATERNUS	Maple	10m CAL. 80
<b>PERENNIALS AND GRASSES</b>				
21	12	ACER FRATERNUS	Maple	10m CAL. 80
22	12	ACER FRATERNUS	Maple	10m CAL. 80
23	12	ACER FRATERNUS	Maple	10m CAL. 80
24	12	ACER FRATERNUS	Maple	10m CAL. 80
25	12	ACER FRATERNUS	Maple	10m CAL. 80
26	12	ACER FRATERNUS	Maple	10m CAL. 80
27	12	ACER FRATERNUS	Maple	10m CAL. 80
28	12	ACER FRATERNUS	Maple	10m CAL. 80
29	12	ACER FRATERNUS	Maple	10m CAL. 80
30	12	ACER FRATERNUS	Maple	10m CAL. 80

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SEAL  
 RAILYARDS, LOT H & J  
 VICTORIA, BC  
 PLANTING PLAN  
 DRAWN  
 PLOT DATE 01/14/15  
 CHECKED

L0.03

PLANTING PLAN  
 SCALE 1:250



**DIALOG**

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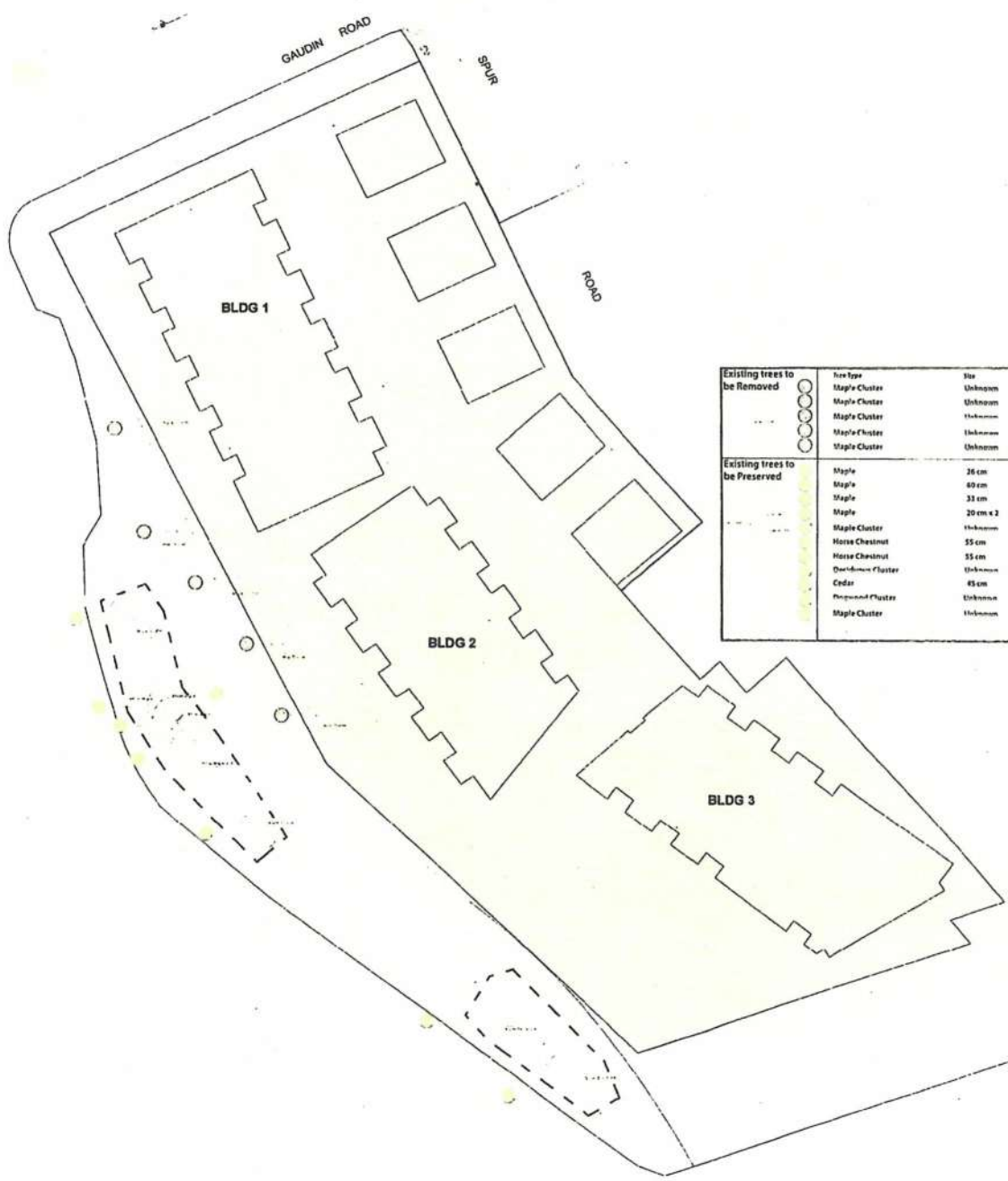
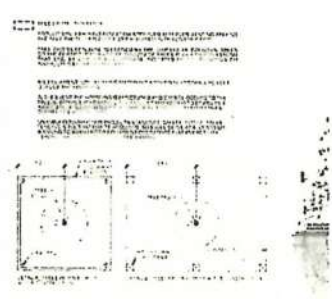
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Tel: 250-383-1770 Fax: 250-383-1771  
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200 HOLLIS STREET  
VICTORIA, BC V8M 1B8  
Tel: 250-383-1770

SEAL  
RAILYARDS, LOT H & J  
VICTORIA, BC  
TREE PRESERVATION PLAN

DRAWN  
PLOT DATE: 01/14/15  
L0.04  
1

Planning and Land Use Committee - 01 Oct 2015

Existing trees to be Removed	Tree Type	Size
○	Maple Cluster	Unknown
○	Maple Cluster	Unknown
○	Maple Cluster	Unknown
○	Maple Cluster	Unknown
○	Maple Cluster	Unknown
Existing trees to be Preserved	Tree Type	Size
●	Maple	26 cm
●	Maple	40 cm
●	Maple	31 cm
●	Maple	20 cm x 2
●	Maple Cluster	Unknown
●	Horse Chestnut	55 cm
●	Horse Chestnut	55 cm
●	Dwarfed Elm	Unknown
●	Cedar	45 cm
●	Perennial Plant	Unknown
●	Maple Cluster	Unknown



TREE PRESERVATION PLAN  
SCALE: 1:250





**Project Title:** RAILYARDS, LOT H & J

**Drawn:** [Signature]

**Scale:** 1" = 100'

**North Arrow:** [Symbol]

**Legend:**

- Proposed Lighting
- Existing Lighting
- Proposed Building Footprint
- Existing Building Footprint
- Proposed Street Layout
- Existing Street Layout

**Project Title:** RAILYARDS, LOT H & J

**Drawn:** [Signature]

**Scale:** 1" = 100'

**North Arrow:** [Symbol]

**Legend:**

- Proposed Lighting
- Existing Lighting
- Proposed Building Footprint
- Existing Building Footprint
- Proposed Street Layout
- Existing Street Layout

**DIALOG**

ISSUED FOR

A 28 JAN/15 DEVELOPMENT PERMIT

B 24 JUL/15 DEVELOPMENT PERMIT REVISIONS

FOR INFORMATION ON HOT OR CONSTRUCTION

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ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.

DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CORRECTION BEFORE PROCEEDING WITH THE PROJECT.

REVISIONS FROM THE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT & PRIME CONSULTANT IN WRITING BEFORE BEING USED FOR CONSTRUCTION.

**ARCHITECT & PRIME CONSULTANT**

DIALOG ARCHITECTURE

100-1111 ALBERT STREET

VICTORIA, BC V8P 1A1

TEL: 250-383-1111 FAX: 250-383-1112

**OWNER:**

LEVINSON AND COMPANY

100-1111 ALBERT STREET

VICTORIA, BC V8P 1A1

TEL: 250-383-1111 FAX: 250-383-1112

SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

SCHEMATIC LIGHTING PLAN

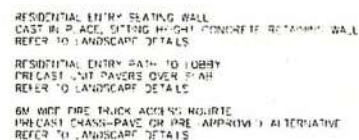
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DATE: 8/14/15

SCALE: 1" = 100'

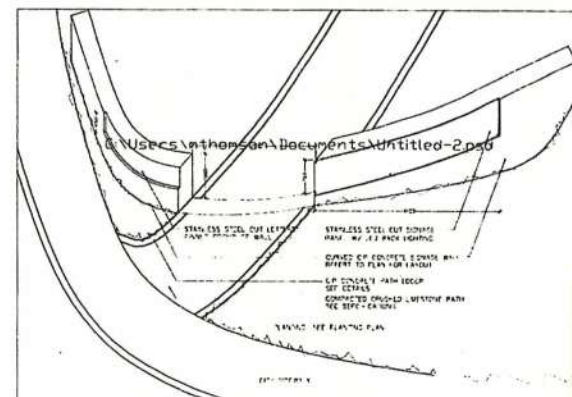
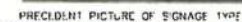
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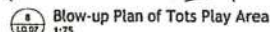
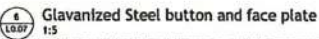
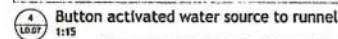
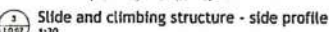
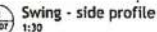
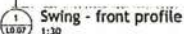


TRASH RECEPTACLE ON CIP CONCRETE PAD (TYP)  
AND AS PER CITY STANDARDS  
REFER TO LANDSCAPE DETAILS

EXISTING SIGNAGE TO BE REMOVED

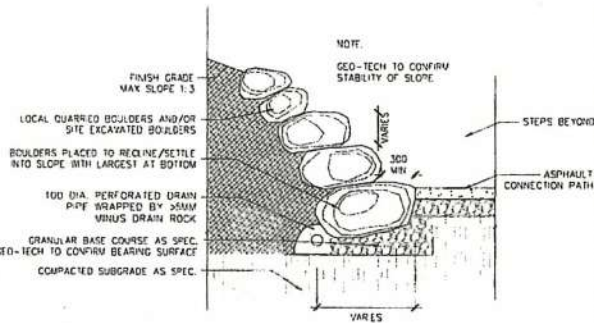


L0.06

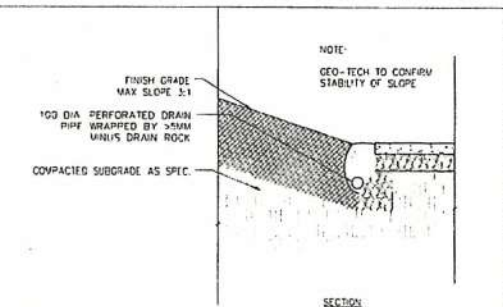


# Planning and Land Use Committee - 01 Oct 2015

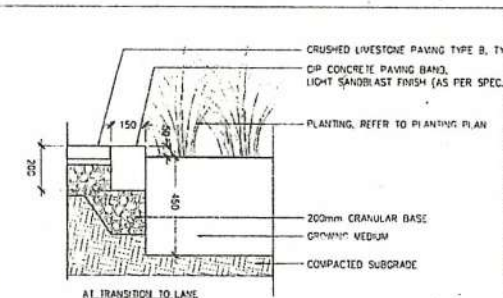




1 L0.08 1:30 Stacked Boulder Retaining Wall



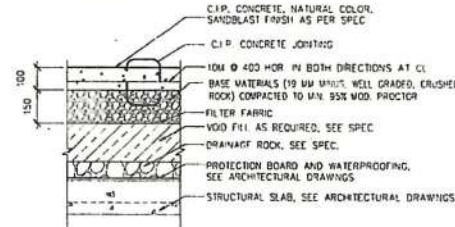
2 L0.08 1:30 Sloped to Drain Tile at Edge of Path



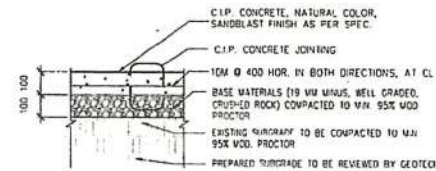
3 L0.08 1:30 Concrete Edger at Pathways

NOTES:

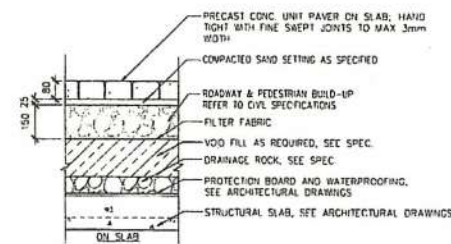
SAWCUT CONTROL JOINTS  
4MM X 25 MM DP. ACROSS  
WIDTH OF WALKWAY, SEE  
LAYOUT PLAN, WITHIN 18  
HOURS OF FINISHING SLABS



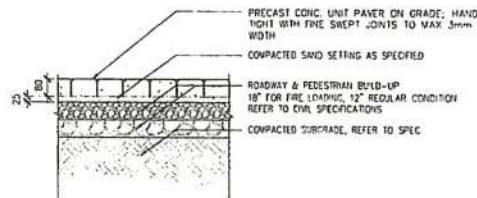
1 L0.8 1:10 PAVING TYPE A - C.I.P. CONCRETE PAVING ON SLAB



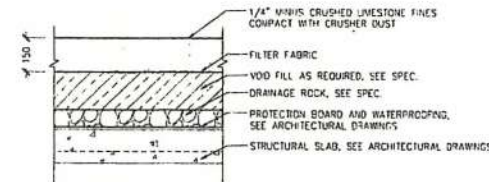
1a L0.8 1:10 PAVING TYPE A - C.I.P. CONCRETE PAVING



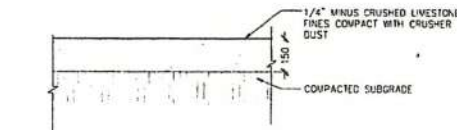
5 L0.8 1:10 PAVING TYPE C - CONCRETE UNIT PAVERS ON SLAB



5 L0.8 1:10 PAVING TYPE C - CONCRETE UNIT PAVERS ON SLAB

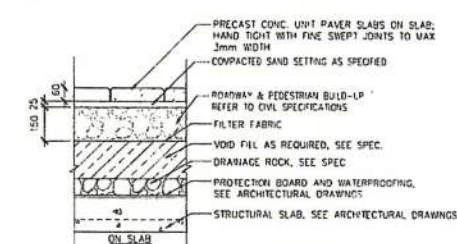


1 L0.8 1:10 CRUSHED STONE PAVING ON SLAB

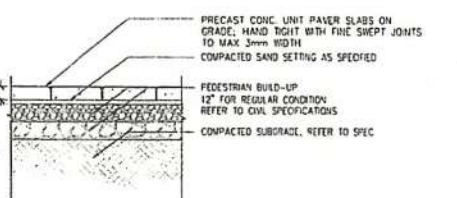


1 L0.8 1:10 CRUSHED STONE PAVING ON SLAB

4 L0.8 1:10 PAVING TYPE B - CRUSHED STONE PAVING ON GRADE



4 L0.8 1:10 PAVING TYPE B - CRUSHED STONE PAVING ON GRADE



6 L0.8 1:10 PAVING TYPE C-2 - CONCRETE UNIT PAVERS ON GRADE

DIALOG

ISSUED FOR  
A 28 JANUARY DEVELOPMENT PERMIT  
B 24 JULY DEVELOPMENT PERMIT REVISIONS  
FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

METRIC  
THESE DRAWINGS ARE PROVIDED AS INFORMATION ONLY AND MUST NOT BE USED FOR CONSTRUCTION. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE THESE DRAWINGS.  
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ARCHITECT & PRIME CONSULTANT  
CLOUD 90 ARCHITECTURE INCORPORATED  
1000 LONDON PL. SUITE 100  
VICTORIA, BC V8A 1A1  
Tel: 250.353.1111 Fax: 250.353.1120  
www.cloud90.com  
OWNER:  
LEAFMAN AND COMPANY  
301 HANCOCK STREET  
VICTORIA, BC V8V 1H8  
Tel: 250.353.4800

OWNER:  
LEAFMAN AND COMPANY  
301 HANCOCK STREET  
VICTORIA, BC V8V 1H8  
Tel: 250.353.4800

REAL

RAILYARDS, LOT H & J

VICTORIA, BC

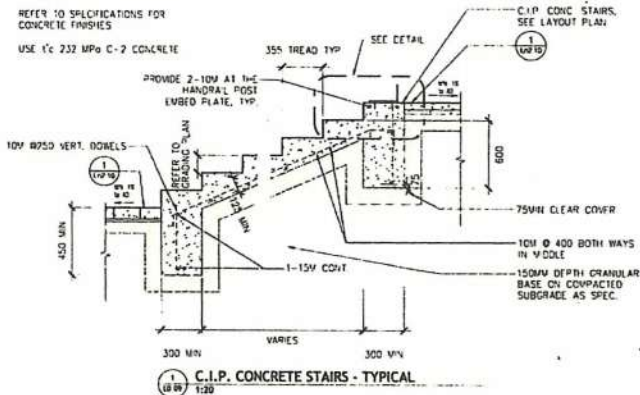
PAVING DETAILS

DRAWN  
PLOT DATE 8/14/15 CHECKED

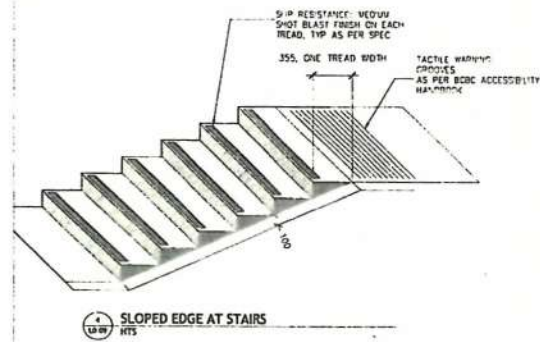
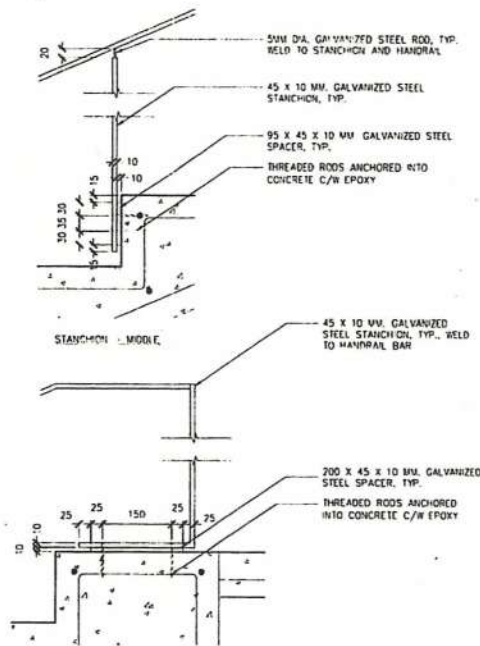
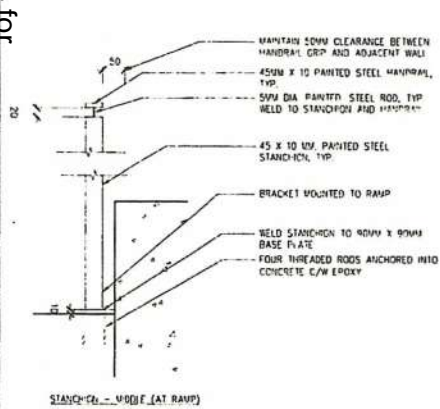
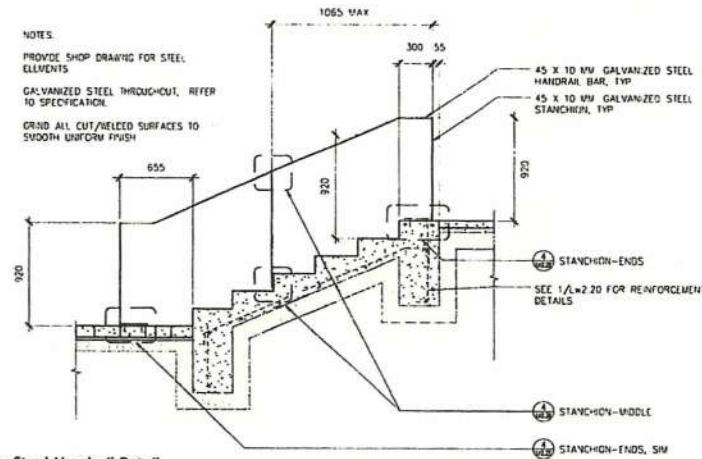
L0.08



NOTES:  
REFER TO GRADING PLAN FOR  
TOP/BOTTOM OF STAIR ELEVATIONS  
REFER TO SPECIFICATIONS FOR  
CONCRETE FINISHES  
USE 1% 232 MPa C-2 CONCRETE



NOTES:  
PROVIDE SHOP DRAWING FOR STEEL  
ELEMENTS  
GALVANIZED STEEL THROUGHOUT, REFER  
TO SPECIFICATION  
GRIND ALL CUT/WELDED SURFACES TO  
SMOOTH UNIFORM FINISH



**DIALOG**

ISSUED FOR  
A 29 JAN/15 DEVELOPMENT PERMIT  
B 24 JUL/15 DEVELOPMENT PERMIT REVISIONS  
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CONSTRUCTION OF ANY OTHER PROJECT.  
ARCHITECT & PRIME CONSULTANT  
DIALOG ARCHITECTURE & INTERIORS  
SUITE 100, 1000 PLAZA STREET  
VANCOUVER, BC V6A 1K1  
Tel: 604.251.1100 Fax: 604.251.1101  
dlog@dialog.ca  
OWNER:  
DIALOG ARCHITECTURE & INTERIORS  
SUITE 100, 1000 PLAZA STREET  
VANCOUVER, BC V6A 1K1  
Tel: 604.251.1100 Fax: 604.251.1101  
dlog@dialog.ca

SEAL

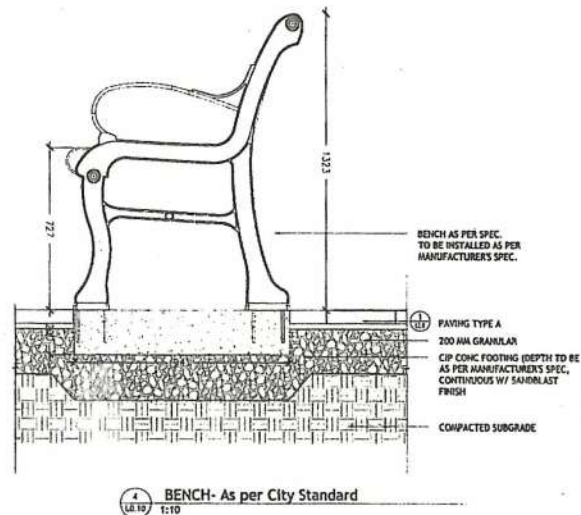
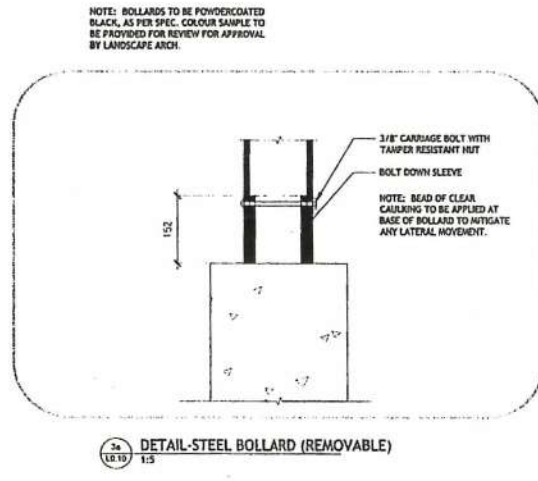
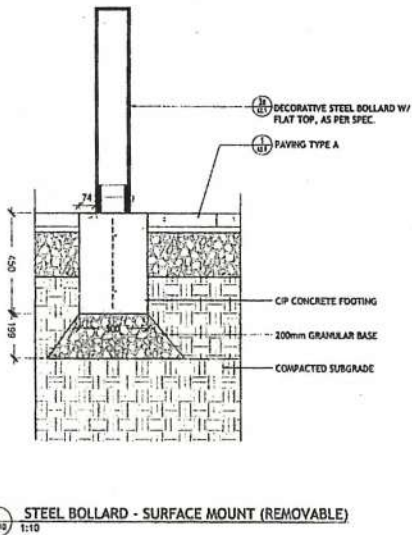
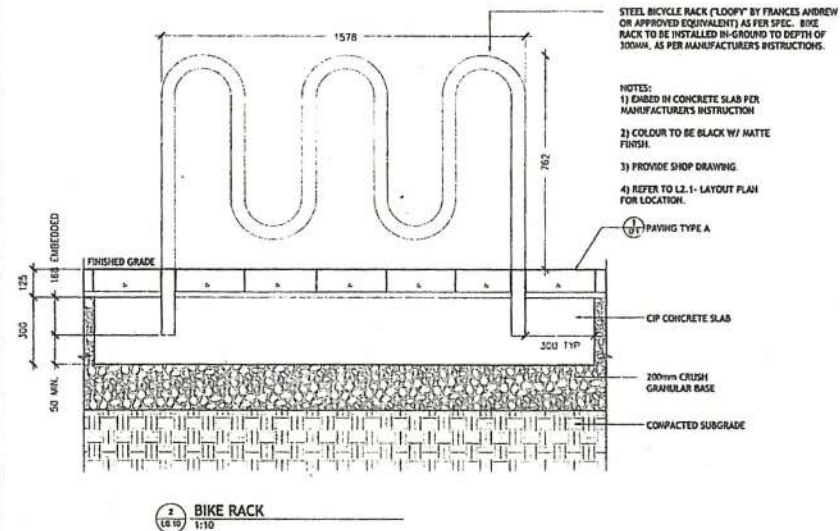
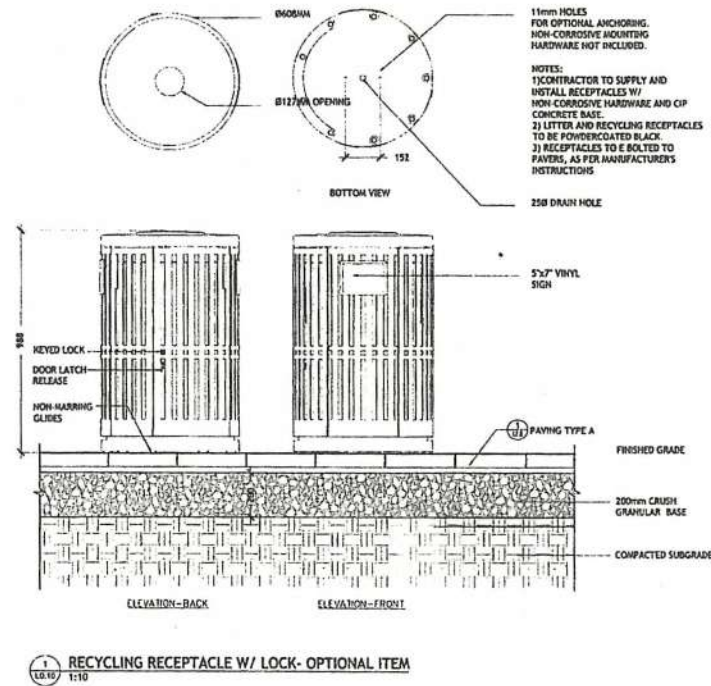
RAILYARDS, LOT H & J

VICTORIA, BC

STAIR AND RAILING DETAILS

DRAWN  
PLOT DATE 8/14/15

**L0.09**



**DIALOG**

ISSUED FOR:  
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VERY IMPORTANT: DO NOT SCALE THIS DRAWING.  
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DEVIATIONS FROM THE CONTRACT INCLUDES THE VARIATION  
WRITTEN APPROVAL FROM THE CONSULTANT AND THE CITY OF VICTORIA  
CONNECTIONS OF THE CONSULTANT TO THE OWNER.  
**ARCHITECT & PRIME CONSULTANT**  
DIALOG ARCHITECTURE & DESIGN  
211 ALAN STREET  
VICTORIA, BC V8A 1K1  
Tel: 250-251-1101  
info@dialog.ca  
**OWNER:**  
LIFEYNE AND COMPANY  
500 HURON STREET  
VICTORIA, BC V8W 1H8  
Tel: 250-360-8888

Planning and Land Use Committee - 01 Oct 2015

SEAL

RAILYARDS, LOT H & J

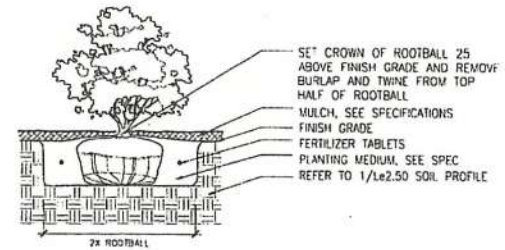
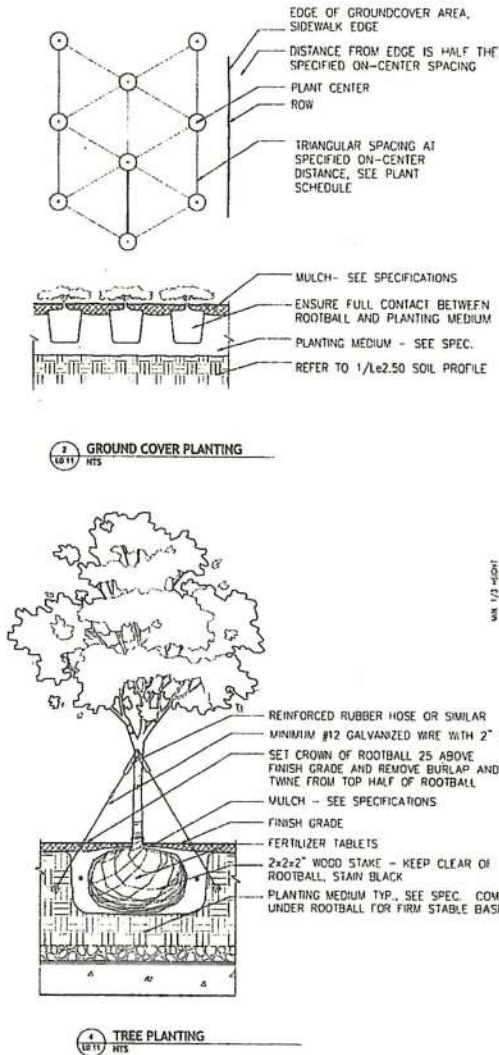
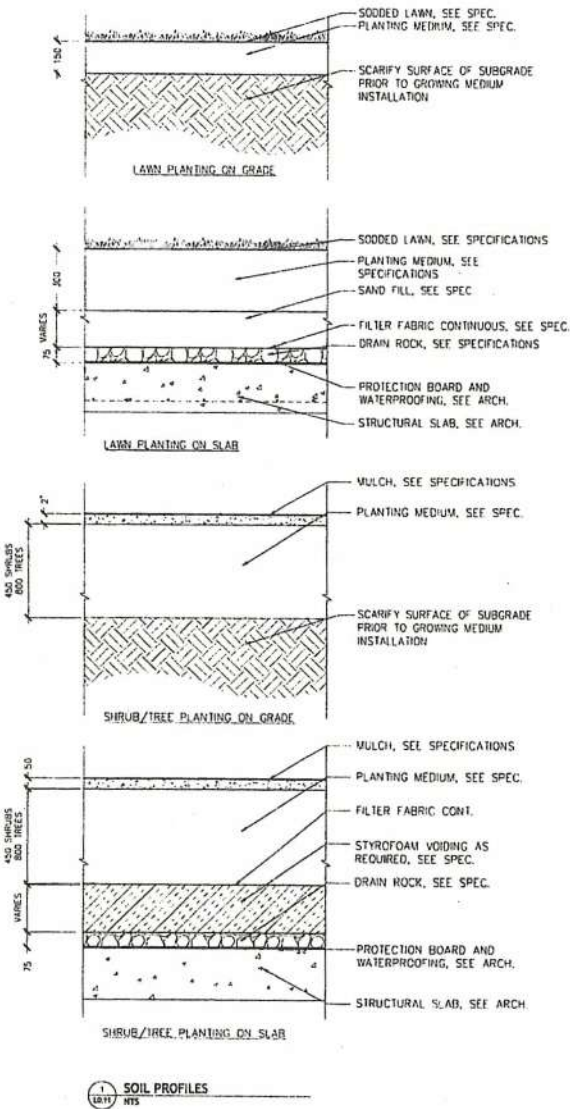
VICTORIA, BC

**SITE FURNISHINGS**

DRAWN: [ ]  
PLOT DATE: 01/14/15  
CHECKED: [ ]

**L0.10**





**DIALOG**

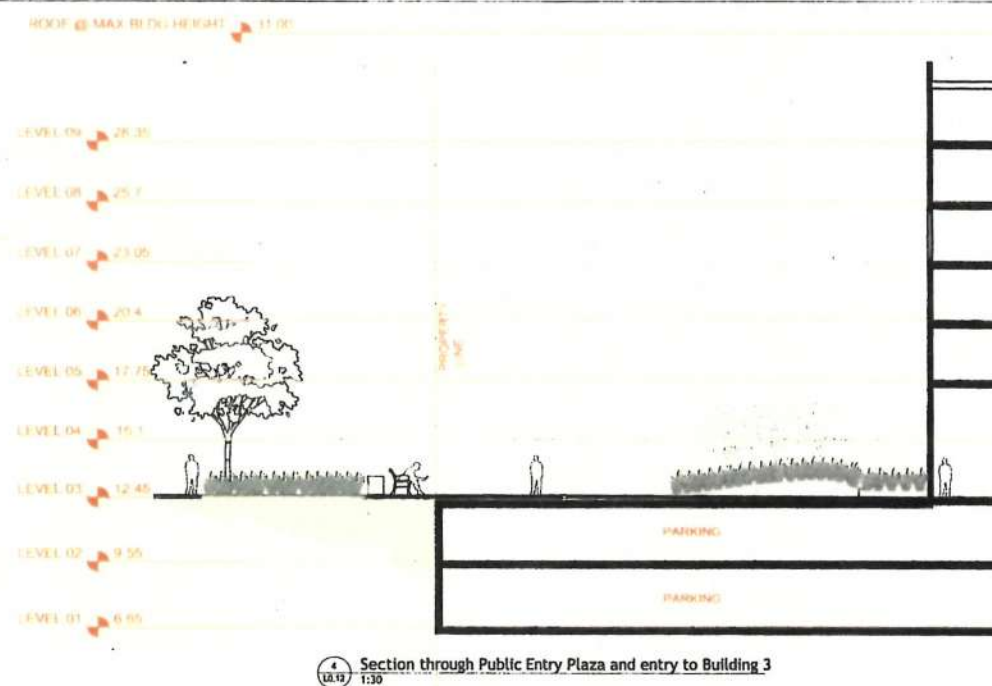
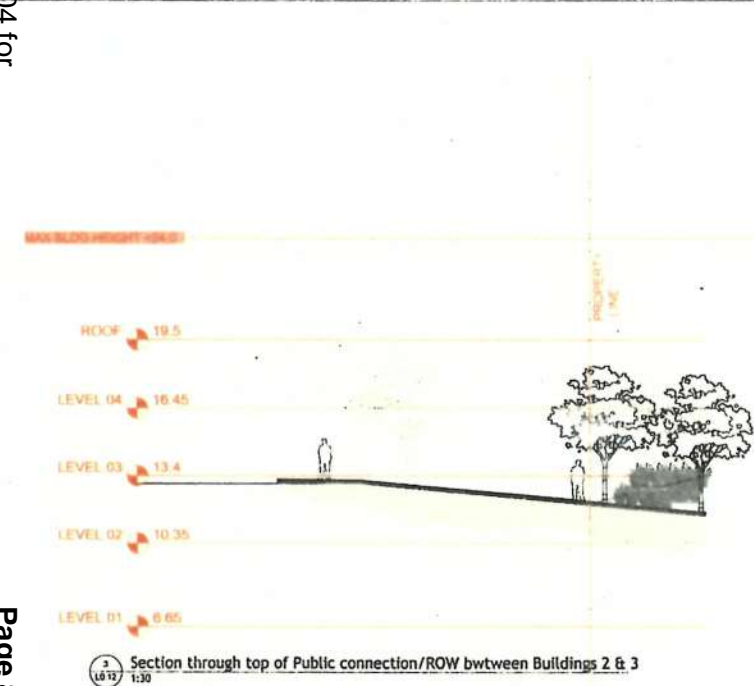
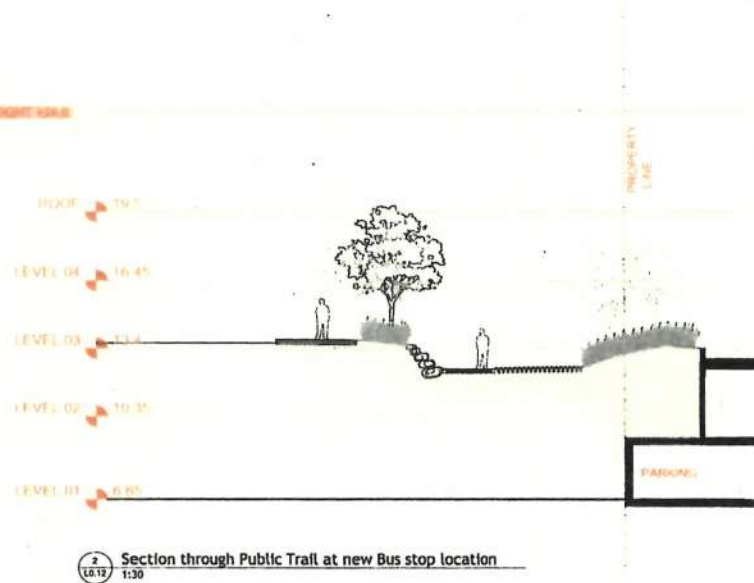
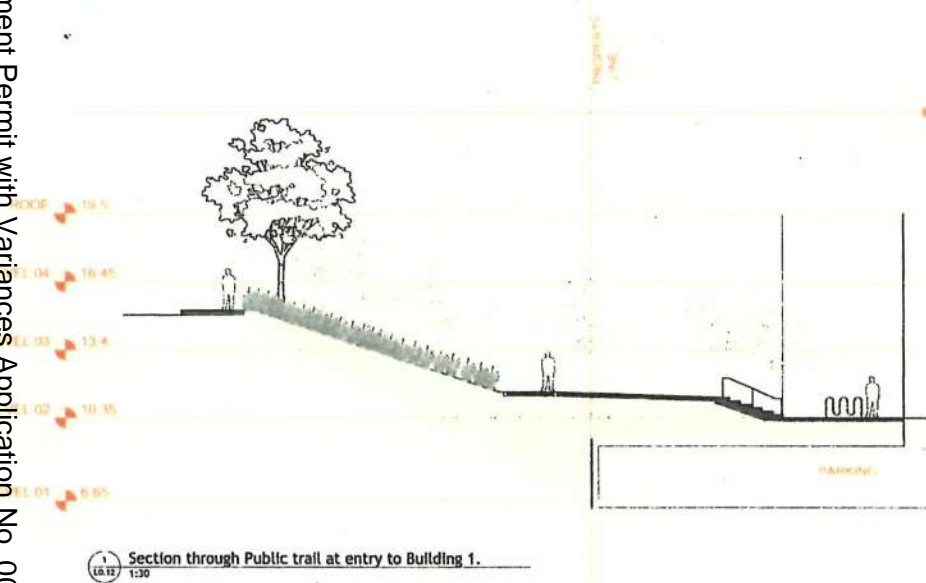
ISSUED FOR  
A 25 JAN/15 DEVELOPMENT PERMIT  
B 24 JUL/15 DEVELOPMENT PERMIT REVIEW  
FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

**METRIC**  
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SIGNATURES FROM THE CONSULTANT AND OWNER ARE REQUIRED FOR APPROVAL OF THE CONSTRUCTION AND SUBJECT TO CORRECTION BY THE CONSULTANT.  
**ARCHITECT & PRIME CONSULTANT**  
DAVID BLAIR ARCHITECTURE INC.  
408-401 LEANING STREET  
VICTORIA, BC V8A 1E1  
Tel: 250-383-1100 Fax: 250-383-1101  
www.davidblair.ca  
**OWNER:**  
SEAFRONT DEVELOPMENT  
333 HOPKINS STREET  
VICTORIA, BC V8W 2H8  
Tel: 250-383-4300

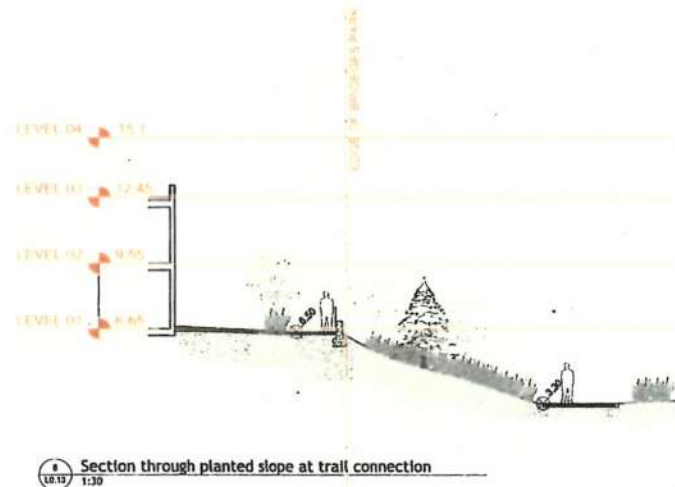
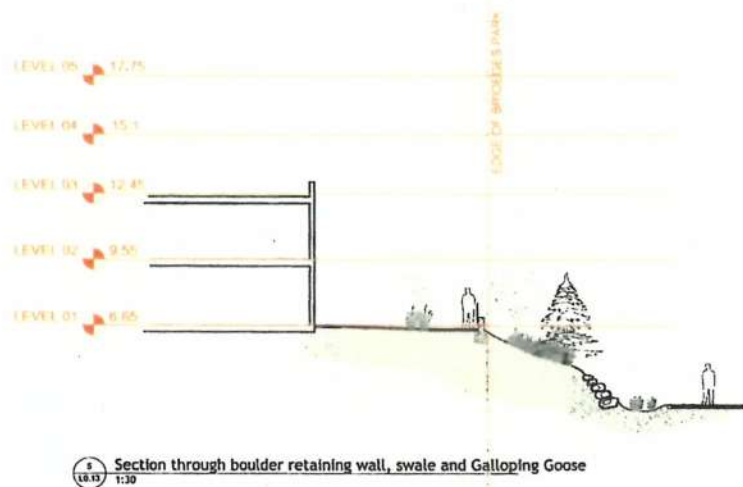
SEAL  
RAILYARDS, LOT H & J  
VICTORIA, BC  
PLANTING DETAILS

DRAWN  
PLOT DATE: 8/14/15  
CHECKED  
**L0.11**





**L0.12**



SEAL

RAILYARDS, LOT H & J

VICTORIA, BC

LANDSCAPE SECTIONS 5-

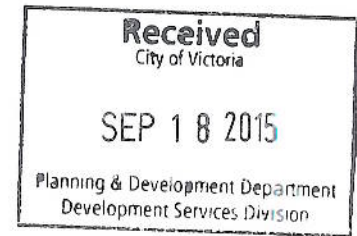
DRAWN  
PLOT DATE 8/14/15

CHECKED

L0.13







September 17, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6

Attention: Mayor and Council

RE: <sup>701</sup>  
~~801~~ Tyee Road, Lots H & I (Railyards)

The presentation was to review variances to a Development Permit for the initial construction of a 3-storey and 4-storey joined building. The final 7-storey building to be built once the first 2 buildings are built out (all strata title condominiums).

The project was presented by Joost Bakker Architect, of the Architectural Firm DIALOG, representing LeFevre & Company.

The architect provided a full set of electrical drawings to allow the Land Use Committee to view the entire project, which had not been viewed by the committee at any previous time.

The Land Use Committee did not have any objections to the proposed Development Permit variances but upon viewing the overall plans, expressed the following concerns:

- There is a lack of community gardens;
- There is a limited variety of housing, with a lack of larger units to support family housing;
- The roofs do not provide amenity areas, such as an active roof top garden;
- The park needs to be developed during the first phase, not left until the end;
- The project has no mixed use component (retail, commercial or community activity spaces);
- There does not appear to be accessible living units, units to facilitate "aging in place" or low income housing.

Please do not hesitate to contact me if there are any clarifications required for the above concerns

Yours truly,

  
Doran Musgrove, Architect  
Chair,

Victoria West Land Use Committee





# **RAILYARDS**

LOT H&J

LeFevre  
& Company **DIALOG®**











2. bay street, looking east



1. bay street, looking north



4. tyee road, looking south

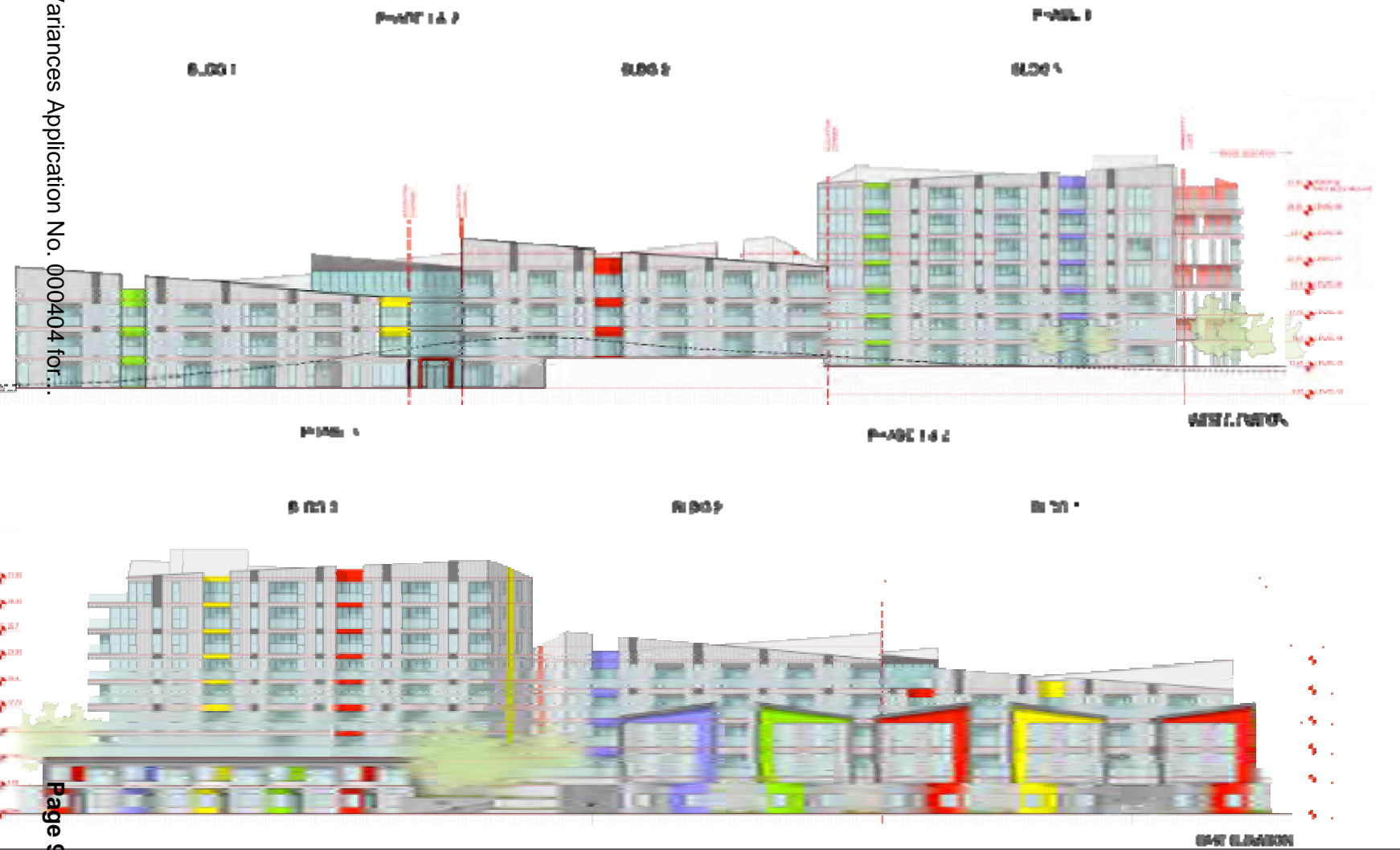


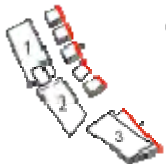
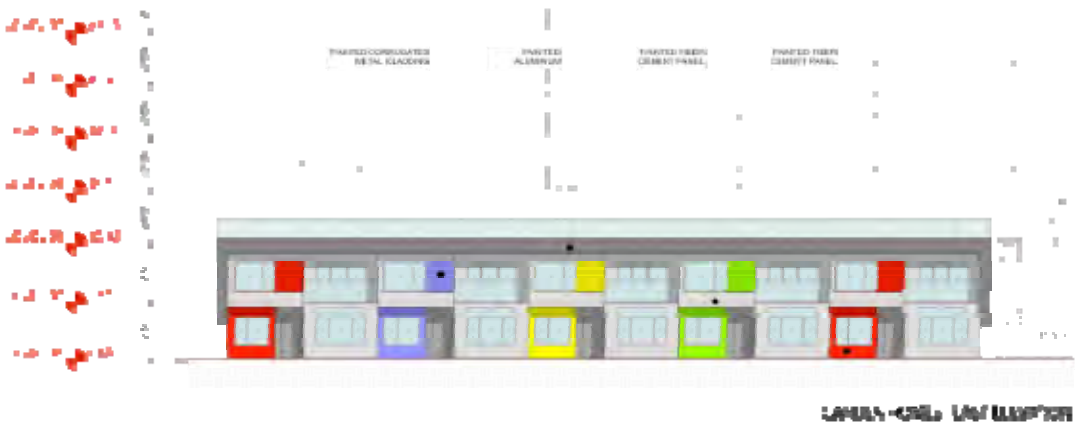
3. inner street, looking south-east

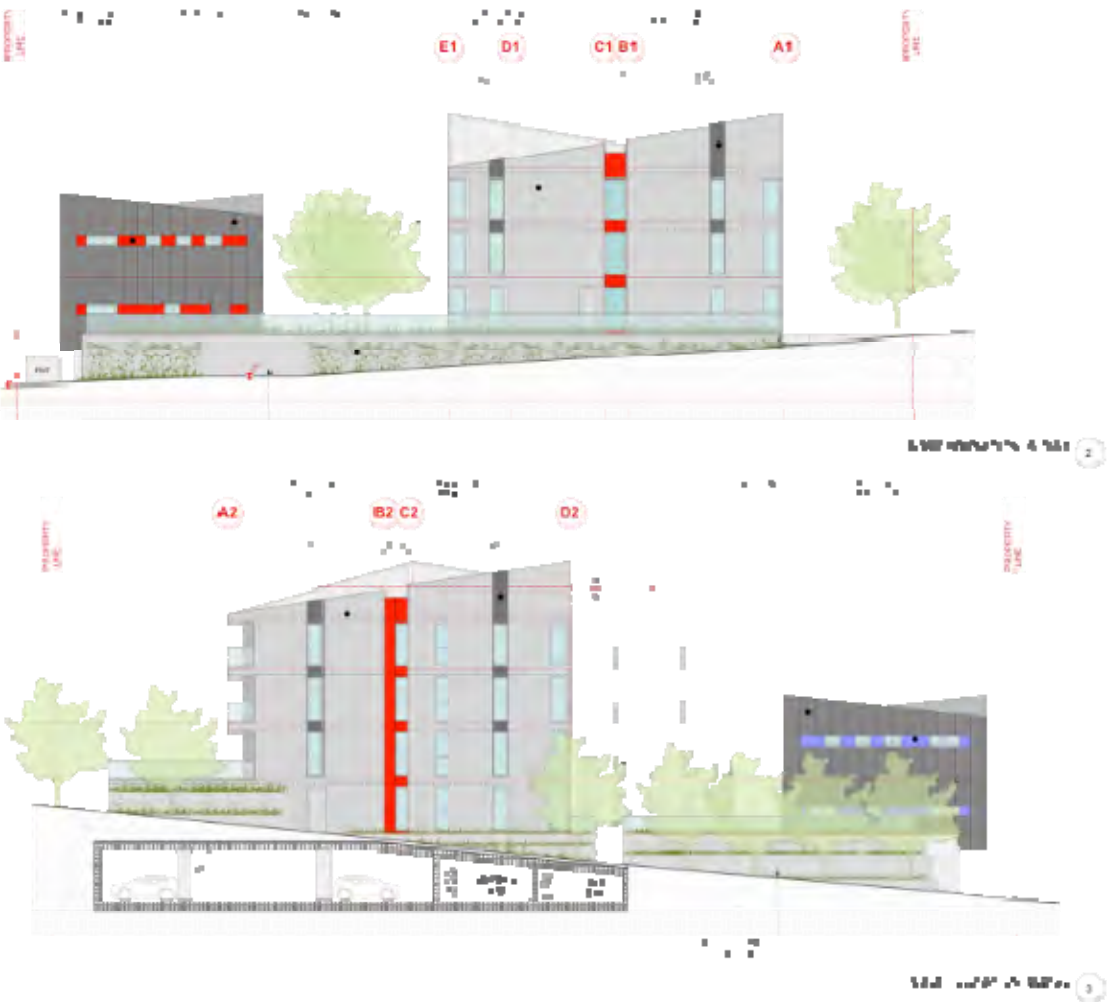
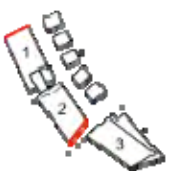
## Key matters for consideration:

- The character of the development including landscaping, siting, form, exterior design and finish of buildings
- Variances
- Amendments to the Railyards Master Development Agreement













BLDG 3 - NORTH ELEVATION



BLDG 3 - NORTH ELEVATION



GATEWAY PERSPECTIVE  
VIEW OF RAILYARDS FROM BAY STREET BRIDGE







VIEW OF RAILYARDS FROM GALLOPING GOOSE TRAIL

LeFevre  
& Company

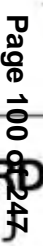
DIALOG®

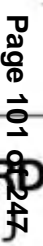




















LEVEL 1 PARKADE PLAN

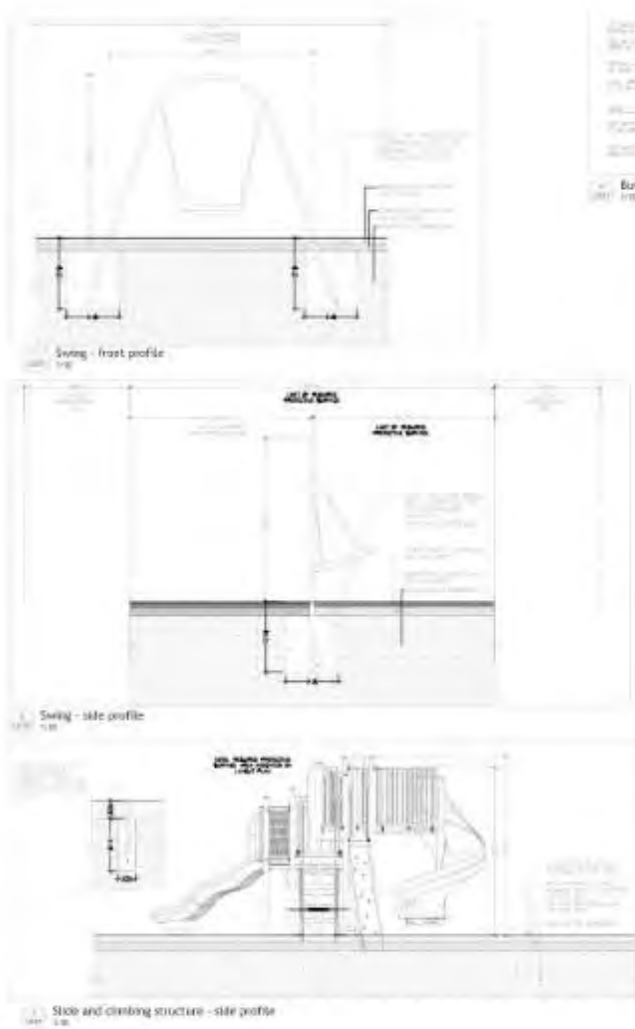
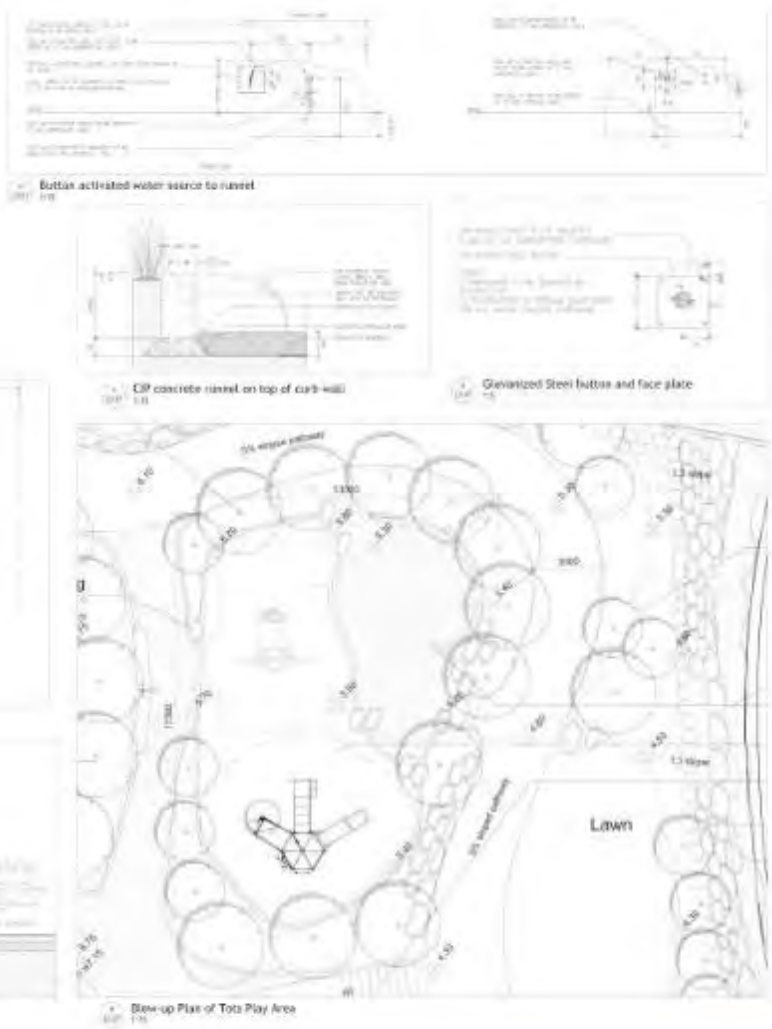


Bridges  
Park and  
Tot Lot

Public  
Footpath

Bridge  
Dedication



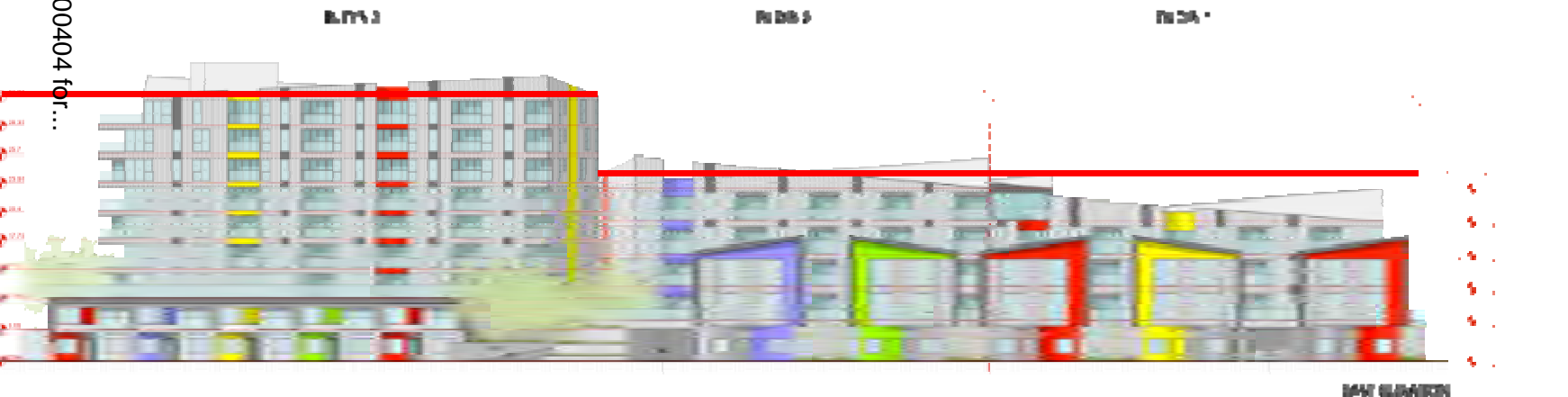




## Proposed Variances:

- Parking
- Bicycle Storage
- Height
- North Setback
- South Setback



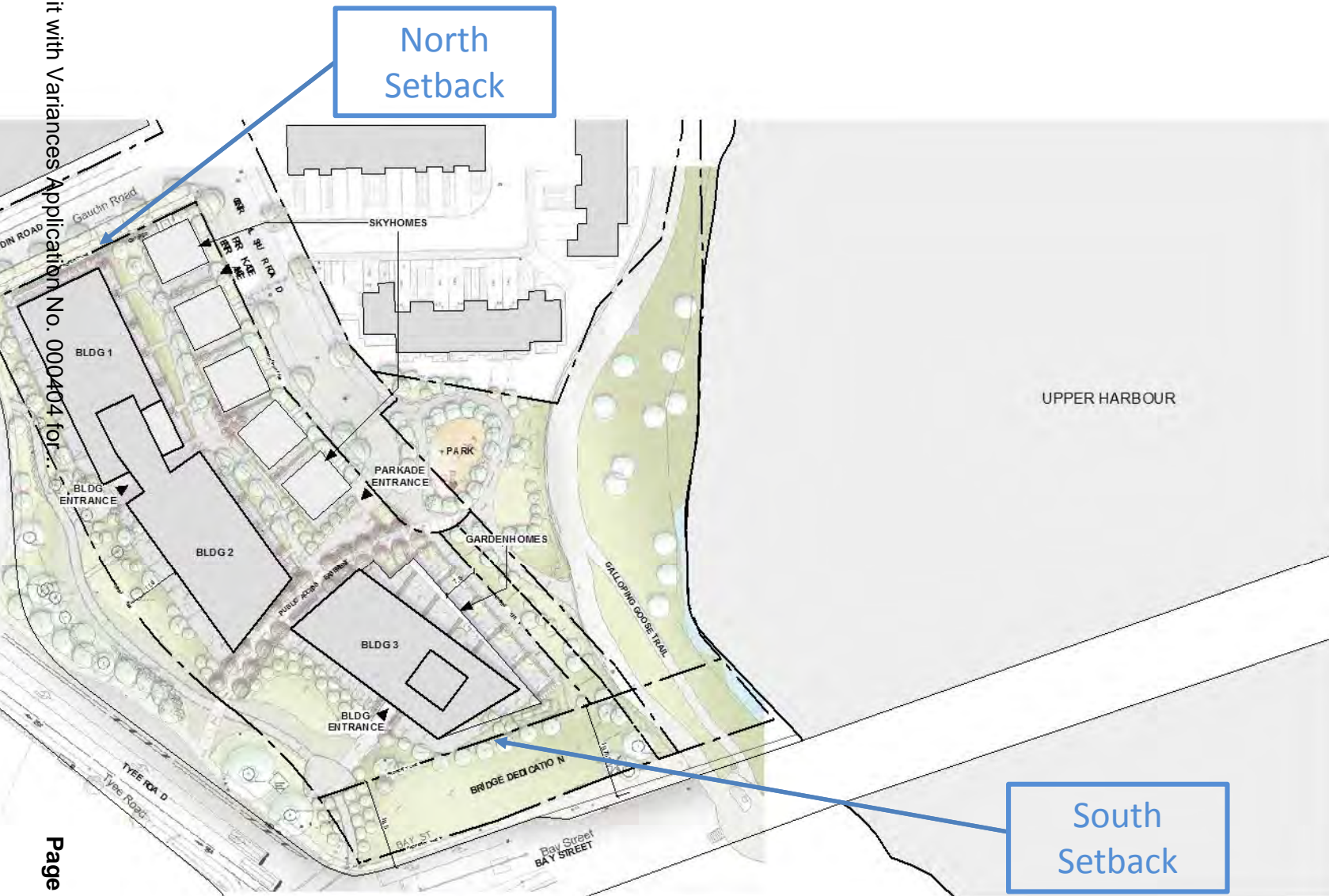


**DIALOG**

LeFevre  
& Company

WEST & EAST ELEVATIONS

YARDS  
H&J





Bridges  
Park and  
Tot Lot

Public  
Footpath

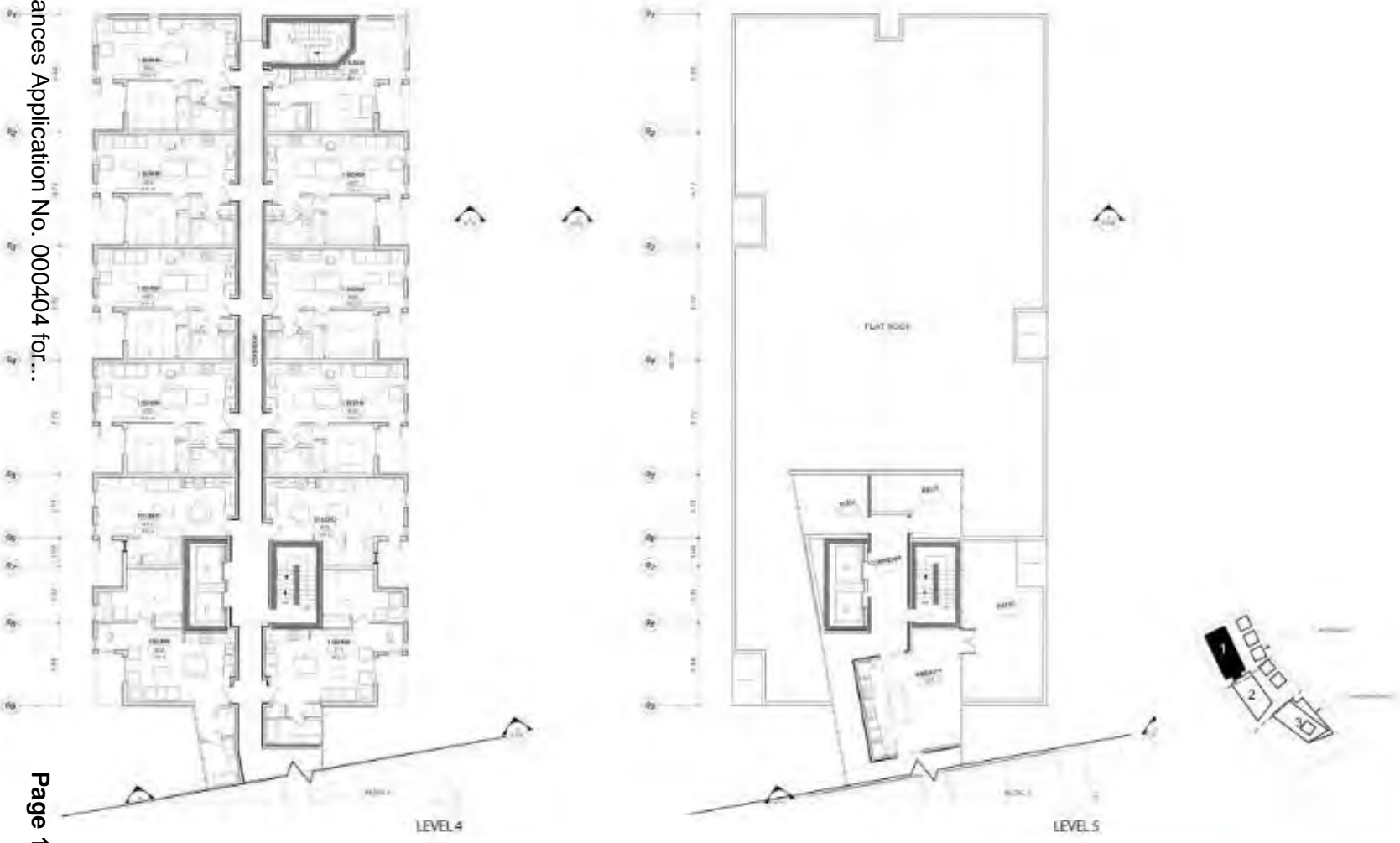
Bridge  
Dedication

1. On Street Parking - Refer to Civil
2. Carriageway Road - Refer to Civil
3. Extended Sidewalks - As per city standards
4. Bridges Park Tot Playground with Natural Play Area (160+sqm)
5. Internal Boulder Slope Retention
6. 5% Sloped Asphalt Trail Connection
7. LSP Concrete Slabs - Typical
8. Entrances to Lobbies - Unit Pavers Over Slab
9. Fire Truck Access Route - Glass Pave - Refer to Civil
10. Semi-private Garden Terraces - Unit Pavers Over Slab
11. City Sidewalks - As per City Standards - Refer to Civil
12. CIP Concrete Access Ramp at 5%
13. Footcountr Connector Paths - Crushed Limestone with Edging
14. Planted Garden Terraces - CIP Concrete Pathways on Slab
15. External Perimeter Planting
16. Proposed Tyne Entry Plaza with Seating - Crushed Limestone
17. New Bus Stop
18. Proposed Welcome To Vic West Signage
19. Planted Swale
20. Bridge Dedication Area
21. Access Drives into Parkades
22. Waste Access Point
23. Galloping Goose Trail
24. Viewing Terrace
25. Open Lawn Area
26. Bike Racks
27. Sloped Public ROW Connection to Trail - CIP Concrete
28. Private Paths - Unit Pavers Over Slab









BLDG 1 - LEVELS 4 & 5 - FLOORPLANS







LEVEL 2 PLAN







BLDG 1 & 2 - EAST ELEVATION



LEVEL 3

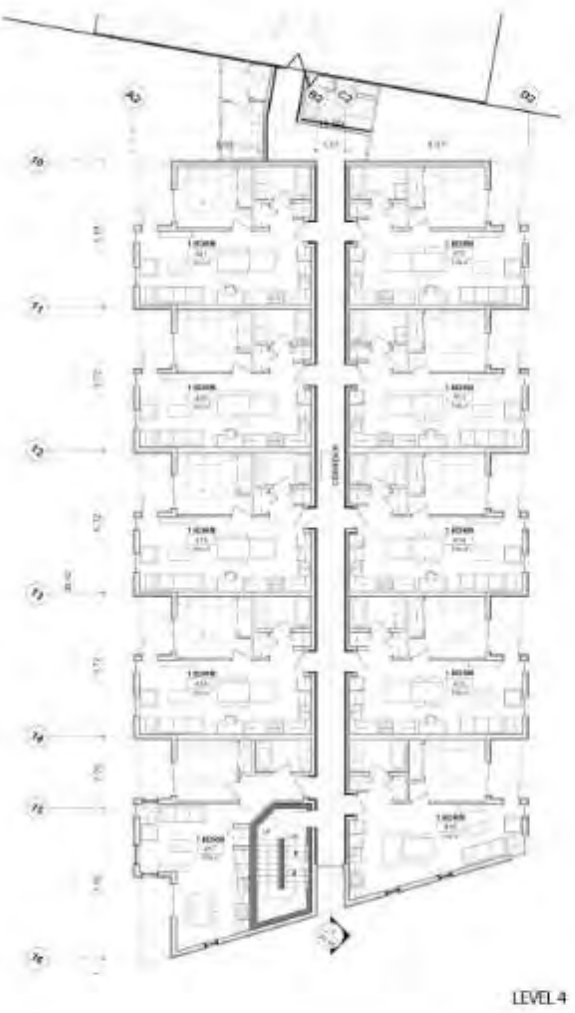
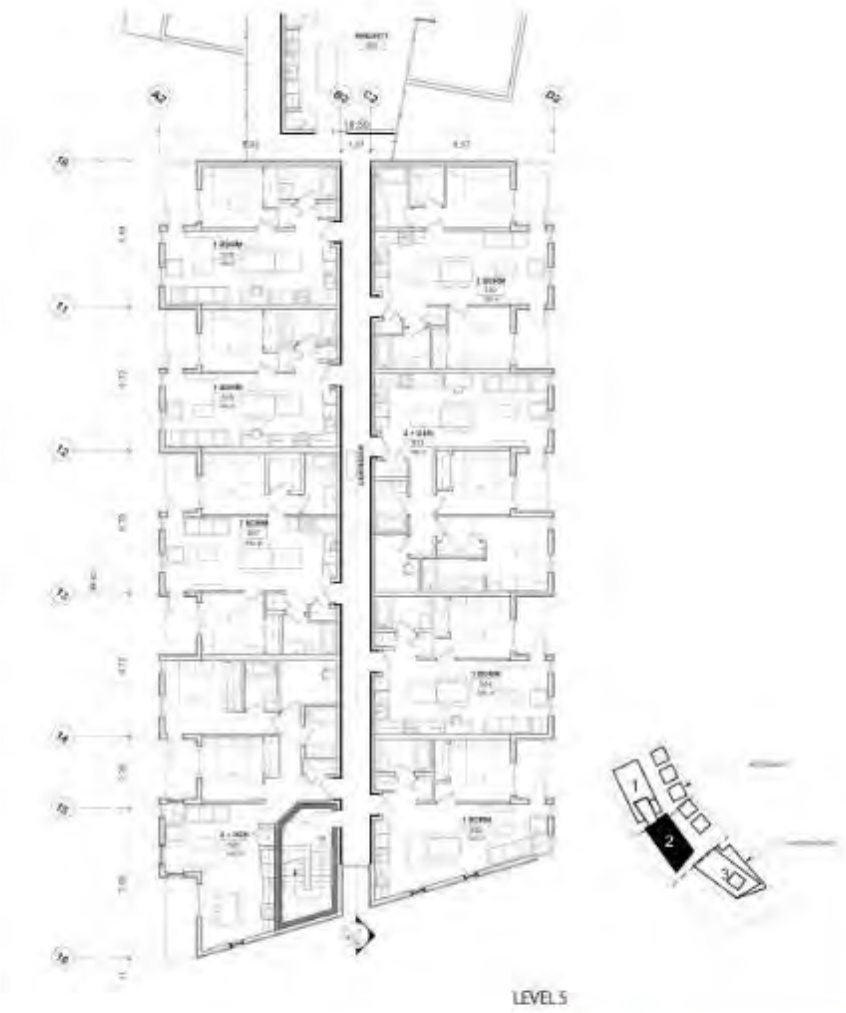


LEVEL 2



BLDG 2 - LEVELS 2 & 3 - FLOORPLANS





BLDG 2 - LEVELS 4 & 5 - FLOORPLANS



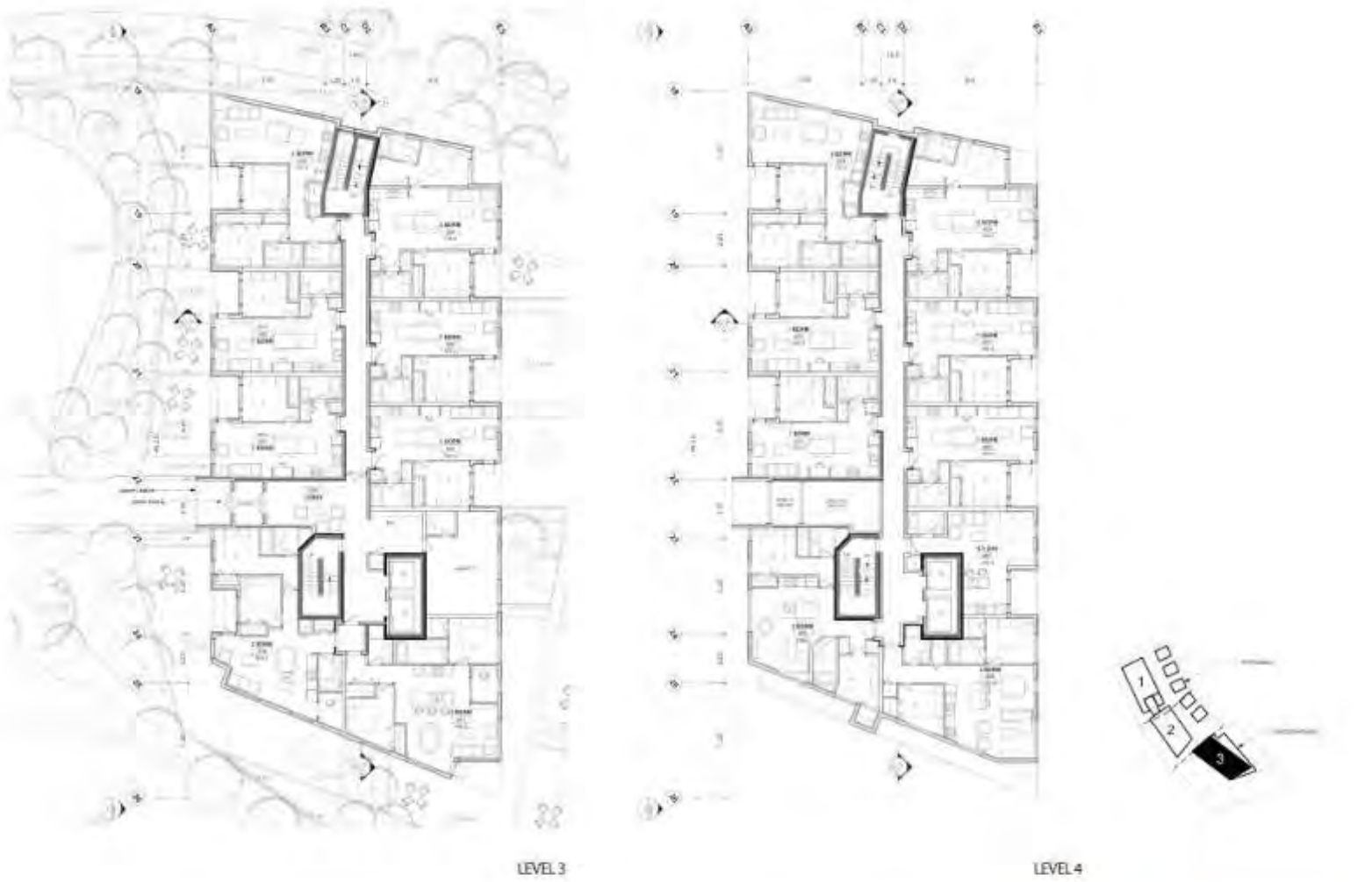
BLDG 3 - EAST ELEVATION

LeFevre  
& Company

DIALOG

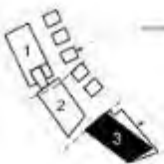






BLDG 3 - LEVELS 3 & 4 - FLOORPLANS



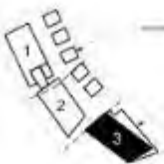


LEVEL 6

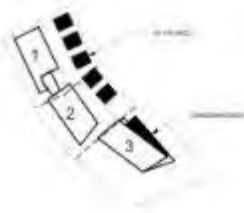


LEVELS 5/7





BLDG 3 - LEVELS 8 & 9 - FLOORPLANS





## Planning and Land Use Committee Report

For the Meeting of October 1, 2015

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**To:** Planning and Land Use Committee                      **Date:** September 17, 2015

**From:** Jonathan Tinney, Director, Sustainable Planning and Community Development

**Subject:** Development Permit with Variance Application Nos. 000431, 000432 and 000433 for 1032, 1038 and 1044 Harling Lane

---

### RECOMMENDATION

Staff recommend that Committee forward this report to Council and, after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application Nos. 000431, 000432 and 000433 for 1032, 1038 and 1044 Harling Lane in accordance with:

1. Plans date stamped June 17, 2015, with revisions to the fence to the satisfaction of staff.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. The Development Permit lapsing two years from the date of this resolution."

### LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 920 (8) of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, siting, form, exterior design and finish of buildings and other structures.



## EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for three Development Permit with Variance Applications for the properties located at 1032, 1038 and 1044 Harling Lane. The proposal is to construct three small lot houses. The variances are related to an increase in the height of the front yard fences from 1.22m to 1.83m.

The following points were considered in assessing these Applications:

- The proposal for three small lot houses are generally consistent with the *Small Lot Design Guidelines*.
- The proposed landscaping is not consistent with the *Guidelines for Fences Gates and Shutters*.
- The variances are related to the *Fence Bylaw* to increase in the height of the front yard fence from 1.22m to 1.83m. These variances are not considered appropriate as they do not comply with the relevant guidelines and create a detrimental impact on the character of Harling Lane.

## BACKGROUND

### Description of Proposal

The proposal is to construct three small lot houses. Specific details for each building include:

- a basement including a recreation, exercise room and bathroom, with access being gained from an external staircase
- living and family rooms located on the main floor, with three bedrooms located on the upper floor
- off-street parking provided within a garage
- landscaping consisting of permeable pavers and a mixture of planting including two large trees for each property, and various shrubs and flower bed plantings as indicated on the landscape plan
- private amenity space provided in the form of a lawn in the front yard and patio space at the rear, with wooden privacy fencing.

The proposed variances are related to requests to increase the front yard fence height from 1.22m to 1.83m.

### Sustainability Features

As indicated in the applicant's letter dated June 16, 2015, the applicant is considering the use of micro-turbine technology to produce all heat and electricity through natural gas. No further details have been provided in the Application packages. In the event that this is considered to be unfeasible, the buildings will have a combination of on-demand hot water and in-floor radiant heating.

### Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with these Applications.

## Public Realm Improvements

No public realm improvements are proposed in association with these Development Permit Applications.

## Existing Site Development and Development Potential

The properties are currently vacant and are located in the R-K Zone, Medium Density Attached Dwelling District. This Zone permits all of the uses in the R1-S2 Zone, Restricted Small Lot (Two Storey) District, subject to the regulations in that Zone. A five-lot subdivision developed pursuant to this *Zoning Regulation Bylaw* provision was approved in 2012.

## Data Table

The following data table compares the proposal with the R-K Zone, Medium Density Attached Dwelling District. No component of the proposal is less stringent than the Zone standards. An asterisk is used to identify where the proposal is less stringent than the *Fence Bylaw*.

Zoning Criteria	1032 Harling Lane	1038 Harling Lane	1044 Harling Lane	Zone Standard R1-S2
Site area (m <sup>2</sup> ) - minimum	265.9	265.9	265.8	260
Density (Floor Space Ratio) - maximum	0.53:1	0.53:1	0.53:1	0.6:1
Total floor area (m <sup>2</sup> ) - maximum	142.14	142.14	142.14	190
Lot width (m) - minimum	12.31	12.31	12.31	10
Height (m) - maximum	7.17	6.97	7.2	7.5
Storeys - maximum	2 + basement	2 + basement	2 + basement	2 + basement
Site coverage % - maximum	33.6	33.6	33.6	40
Setbacks (m) - minimum				
Front (Harling Lane)	6	6	6	6
Rear	6.03	6.02	6.01	6
Side (east)	1.51	1.51	1.50	1.50
Side (west)	1.50	1.50	1.51	1.50

## Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on September 1, 2015, these Applications were referred for a 30-day comment period to the Fairfield Gonzales CALUC. At the time of writing this report, a letter from the CALUC had not been received.

These Applications, if they proceed as submitted, propose variances to the Fence Bylaw, therefore, in accordance with the City's *Land Use Procedures Bylaw*, they require notice, sign posting and a meeting of Council to consider the variances. If Council wishes to advance the



Applications without the variances (as per the staff recommendation) these additional notification measures are not required.

## ANALYSIS

### Official Community Plan

The proposed development is consistent with the relevant land use policies of the *Official Community Plan 2012 (OCP)*. The subject properties are designated as Urban Residential which envisions a full range of housing types.

As the lots are proposed to be developed as small lots pursuant to the R1-S2 Zone, a Development Permit is required to satisfy the requirements of the OCP. The proposal is subject to review under DPA 15A Intensive Residential - Small Lot. The most relevant design consideration of the proposal is with respect to streetscape (*Small Lot House Design Guidelines, 2002*) which is evaluated below.

In the immediate context, the houses create their own symmetry with a similar architectural expression and material treatment as the single-family properties directly to the rear along Pakington Street. In relation to the adjacent buildings on the east and west along Harling Lane, the flanking apartment buildings (built in the 1960s) are defined by the balconies, providing strong horizontal lines that are reflected in the design of the proposed homes. Similarly, the building to the south of the properties, across Harling Lane, includes similar architectural features and prominent balconies. This cluster of buildings is also characterized by flat rooflines.

In the broader context, the houses add to the variety of housing types and forms on the street, while not creating additional visual discord. In addition, the front setbacks of the proposed homes create a suitable transition between the flanking apartment buildings.

An important element of the design is not consistent with the guidelines it relates to entryways and landscaping. The tall front yard wooden fences do not create a welcoming entrance to the residences and do not enhance the overall streetscape along the lane. In addition, there is the potential to create Crime Prevention Through Environmental Design (CPTED) concerns since the tall fences obstruct the views from the buildings and prevent natural surveillance along the lane. As Harling Lane functions primarily as a rear access to immediately adjacent buildings, the need for natural surveillance on the lane is of particular importance. Staff recommend for Council's consideration that these Applications would benefit from a reduction in the height of the front yard fences 1.22m or less (in accordance with the *Fence Bylaw*) in order to improve this street relationship.

### Fence Bylaw

A variance to the *Fence Bylaw* is being proposed to increase the height of the front yard fence for each property from 1.22m to 1.83m. For the reasons outlined above, staff recommend for Council's consideration that these variances are not appropriate. The applicant was advised of staff's concerns regarding the lack of consistency with the Fence Bylaw and the resulting impact on the streetscape as well as potential CPTED issues and chose to proceed with the requested variance.



## CONCLUSIONS

The proposal for the three small lot houses at 1032, 1038 and 1044 Harling Lane is generally consistent with the *Small Lot House Design Guidelines, 2002*. The contemporary design is supportable and complementary to both the other existing single family homes and the multiple dwelling buildings on Harling Lane. However, the inconsistency with the streetscape and landscaping guidelines should be addressed, therefore, staff recommend for Council's consideration, approval of these Applications without the proposed variance to the Fence Bylaw.

## ALTERNATIVE MOTION NO. 1

Staff recommend that Committee forward this report to Council and, that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit Application with Variance Nos. 000431, 000432 and 000433 for 1032, 1038 and 1044 Harling Lane, in accordance with:

1. Plans date stamped June 17, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances to the *Fence Bylaw*:
  - a. Section 4.1.a(i) - increase the height of a front yard fence from 1.22m to 1.83m.
3. The Development Permit lapsing two years from the date of this resolution."

## ALTERNATIVE MOTION NO. 2

That Council decline Development Permit Application with Variance Nos. 000431, 000432 and 000433 for 1032, 1038 and 1044 Harling Lane.

Respectfully submitted,

*C. R. Wain*

*AM*

*[Signature]*

Charlotte Wain  
Senior Planner – Urban Design  
Development Services Division

Jonathan Tinney, Director  
Sustainable Planning and Community  
Development

Report accepted and recommended by the City Manager:

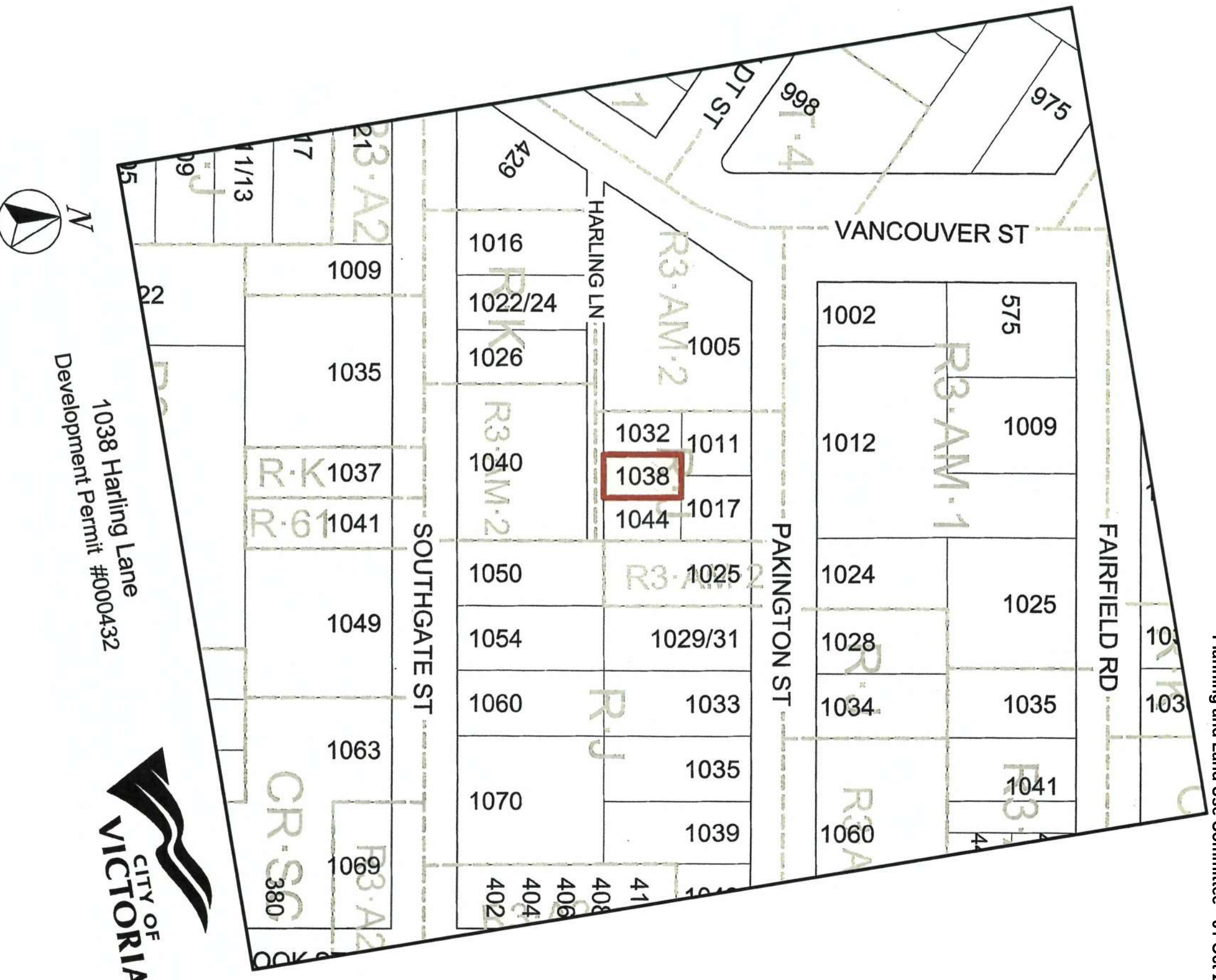
*[Signature]*

Date: \_\_\_\_\_

*Sept. 23/15*

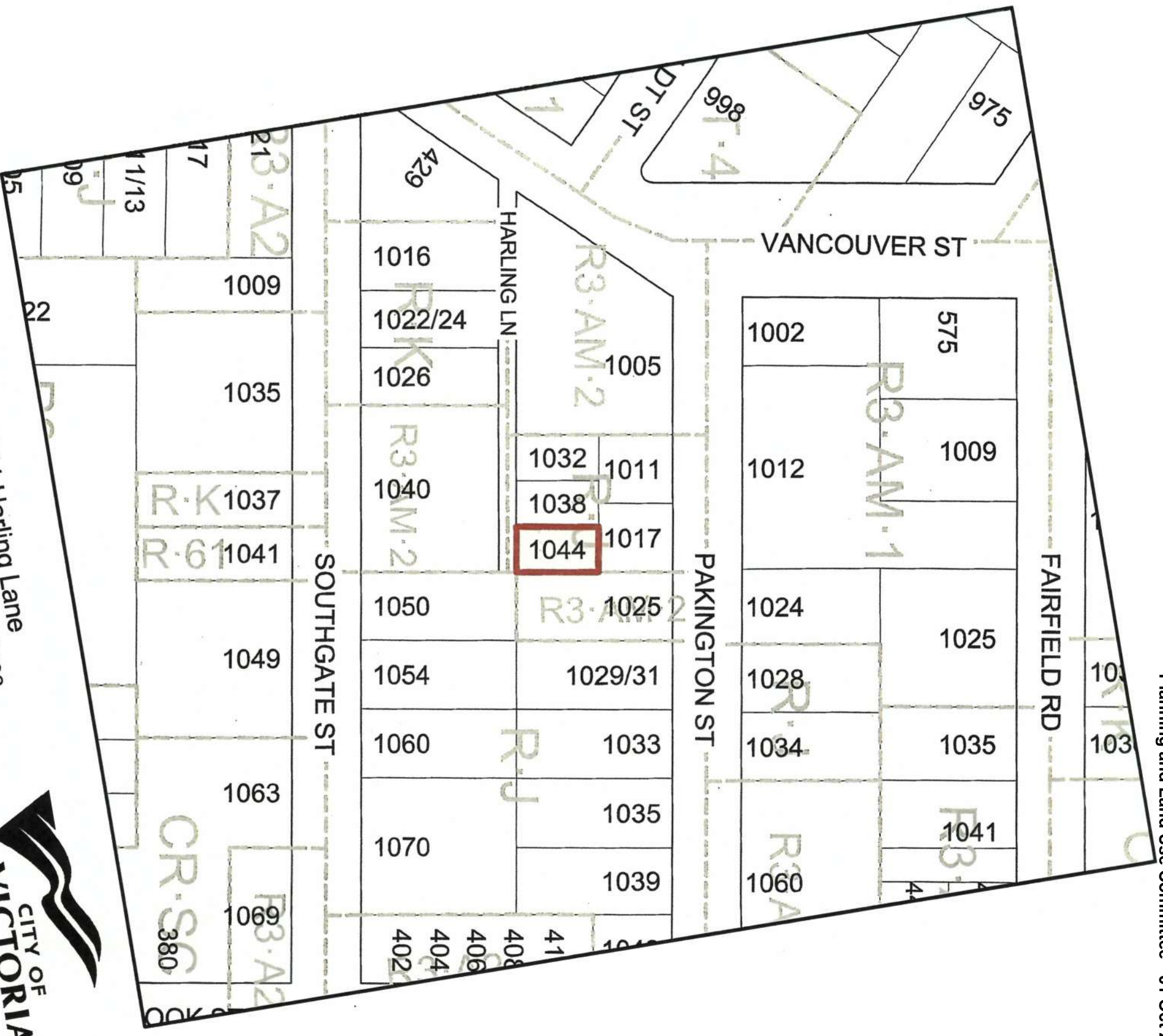
## List of Attachments

- Zoning maps
- Aerial maps
- Letter from applicant dated June 16, 2015
- Plans dated June 17, 2015.





1044 Harling Lane  
Development Permit #000433















1044 Harling Lane

Development Permit #000433





June 16, 2015

Mayor and Council  
1 Centennial Square  
Victoria, BC V8W 1P6

Re: Development Permit Applications: 1032, 1038 and 1044 Harling Lane

Mayor and Council,

The proposal to develop the above referenced vacant lots is zoning compliant without variance.

These lots complete a development that increased density from 2 single-family homes to 5 single-family homes within the same land footprint.

The need for development permits for these lots results from a citywide rezoning added to the OCP immediately prior to its implementation. While no public mention of a citywide DP rezoning was made in the 3 years the OCP was under public discussion and scrutiny, the citywide rezoning suddenly appeared a matter of a few weeks before implementation. DPA 15A, which captured the lots, is a form and character DP.

The house designs are complementary to the houses fronting Pakington that were built in 2014/15 under DPA 15A permits. The design is contemporary, shed roof styles with wood and hardi-panel exterior finishes, colors are complementary to the newly built front houses and the landscape and fencing matches the new DPA 15A approved homes on Pakington. The remaining surrounding properties on three sides are all flat roof multi-family apartments. There is no single-family form and character design influence standard to be met other than to the adjacent newly built DPA 15A approved Pakington houses.

The houses are green built and energy efficient with the primary green/efficiency caused by gravity underground services through to Southgate via a registered easement over 1040 Southgate. City provided services in Pakington are shallow depth that would require pumping storm and sanitary water so the more green/efficient alternative was to acquire an easement. The easement and new services in Harling Lane add \$30k in green costs per house. New sanitary and storm services were built without any city funding.

New European micro turbine technology is being considered to produce all heat and electricity with the energy source being natural gas. A decision on that technology will be based on cost, projected savings and CSA compliance/approval. In the alternative, combination on demand hot water and in-floor radiant heat will be incorporated.

This completes the dual DPA requirements of a letter to council and an explanation of green building features.

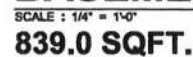
A handwritten signature in black ink, consisting of several overlapping loops and a final horizontal stroke.



STREETSCAPE ( COVER PAGE )	
A1	SITE PLAN AND BASEMENT FLOOR PLAN
A2	FLOOR PLANS AND ROOF PLAN
A3	BUILDING SECTIONS
A4	ELEVATIONS
A5	LANDSCAPE PLAN

Planning & Development Department  
Development Services Division





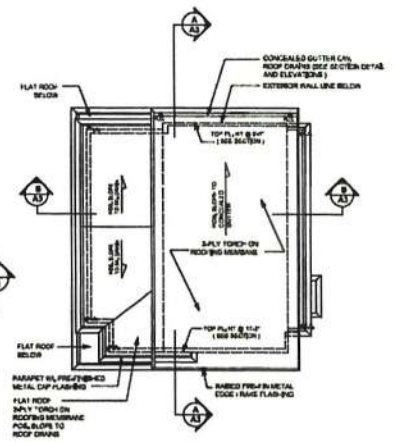
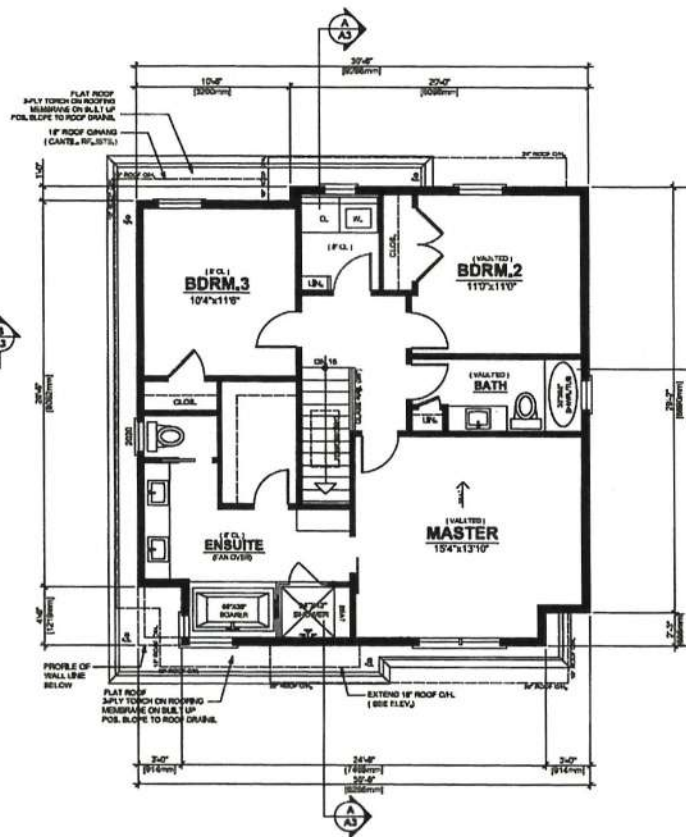
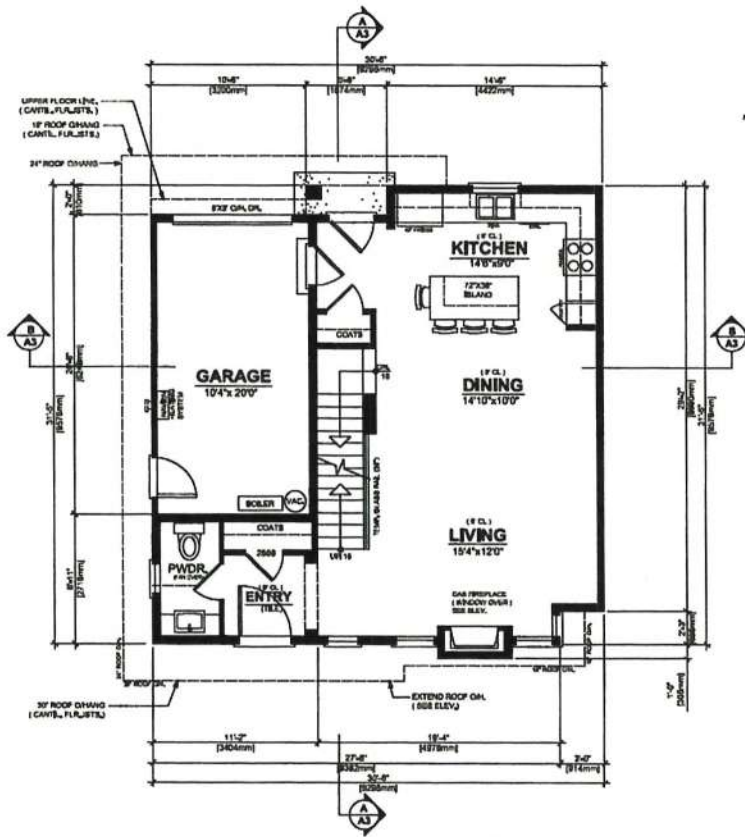
4155.49' / 123.83' (PERM. OF BLDG.) = 33.58' (10.23 m)  
(SEE ELEVATIONS FOR ALL FINISHED GRADES)



Planning & Development Department  
Development Services Division

**PROPOSED SINGLE FAMILY DWELLING**  
1032 HARLING LANE, VICTORIA B.C.





# 1032 HARLING LANE

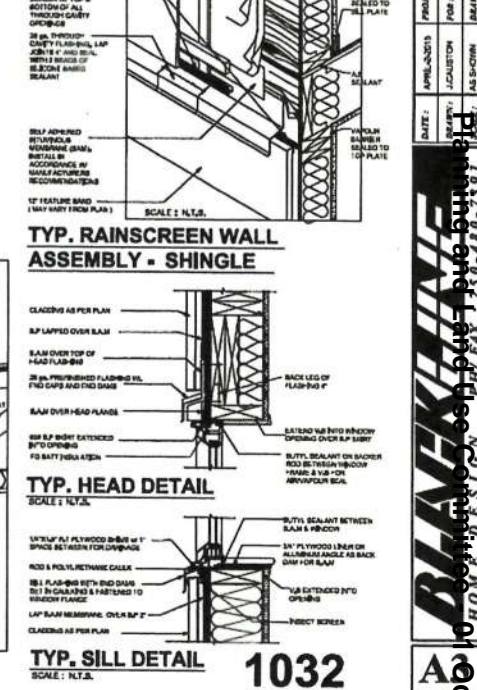
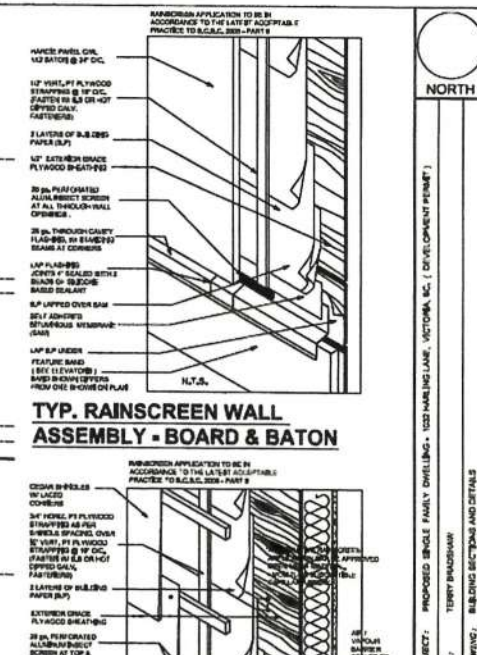
**PROPOSED SINGLE FAMILY DWELLING**  
 1032 HARLING LANE, VICTORIA B.C.

**Received**  
 City of Victoria  
 REVISIONS:  
 JUN 17 2015  
 Planning & Development Department  
 Development Services Division

**BLACKLINE**

DATE: 01 Oct 2015  
 TIME: 10:15 AM  
 PROJECT: 1032 HARLING LANE, VICTORIA, BC ( DEVELOPMENT PERMIT )  
 DRAWING: 1032 HARLING LANE, VICTORIA, BC ( DEVELOPMENT PERMIT )  
 SHEET: 1032 HARLING LANE, VICTORIA, BC ( DEVELOPMENT PERMIT )





**Received**  
City of Victoria  
JUN 17 2015  
Planning & Development Department  
Development Services Division





**PROPOSED SINGLE FAMILY DWELLING**  
1032 HARLING LANE, VICTORIA B.C.

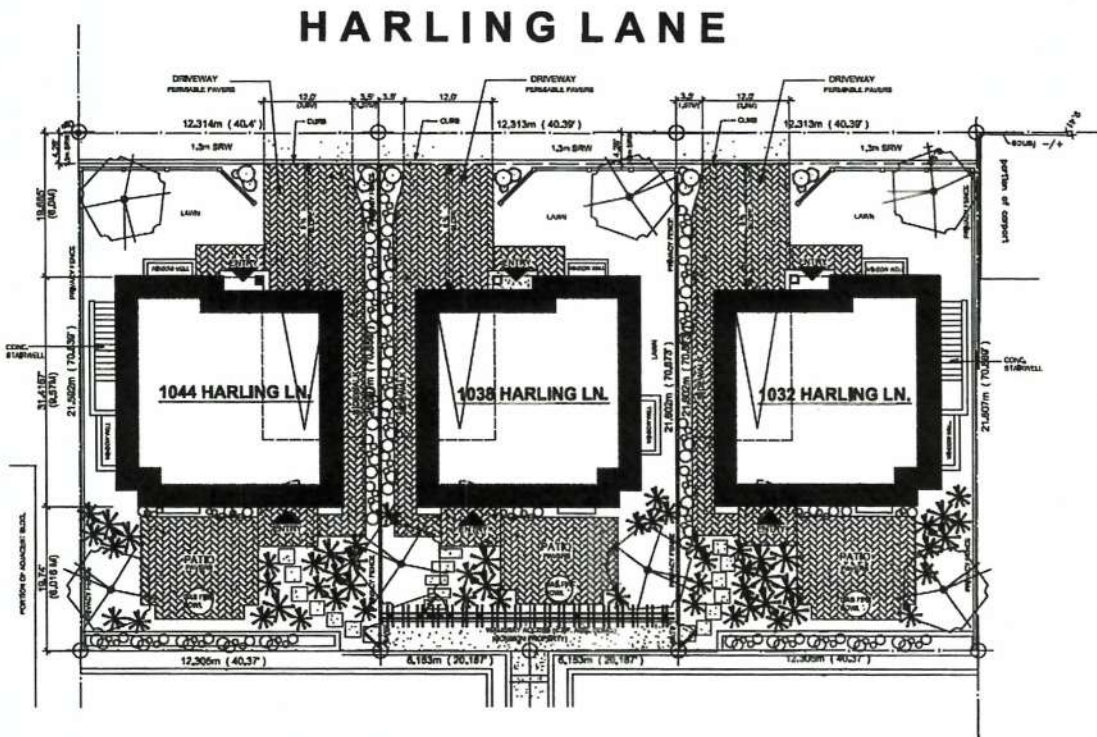
**Received**  
City of Victoria

JUN 17 2015

Planning & Development Department  
Development Services Division

**1032**  
**HARLING LANE**



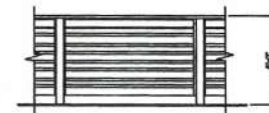


## PROPOSED LANDSCAPE PLAN

SCALE = 1/8" = 1'-0"

LANDSCAPE LEDGEND	
	MEDIUM TO LARGE SIZE SHRUBS (SPECIES TO BE DETERMINED)
	MIXED FLOWER BED PLANTING (SPECIES TO BE DETERMINED)
	LOW LYING GROUND COVER (SPECIES TO BE DETERMINED)
	LARGE / MEDIUM SIZE DECIDUOUS TREE (SPECIES TO BE DETERMINED)

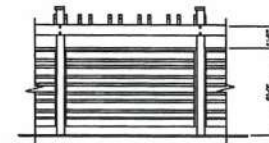
ALL SPECIES, SPACING, SIZES AND QUANTITIES ARE TO BE DETERMINED BY LANDSCAPER / LANDSCAPE DESIGNER AND OWNER AT TIME OF LANDSCAPE.



### 1 SCREENING ELEVATION

SCALE : 1/4" = 1'-0"

6X6 POSTS C/W, SPACED 1X4 AND 1X6 FENCING (STAINED)  
2X6 TOP RAIL (STAINED)



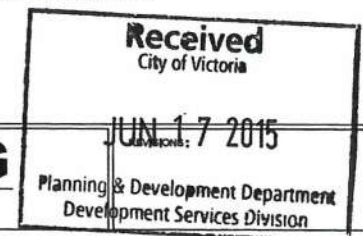
### 2 SCREENING ELEVATION

SCALE : 1/4" = 1'-0"

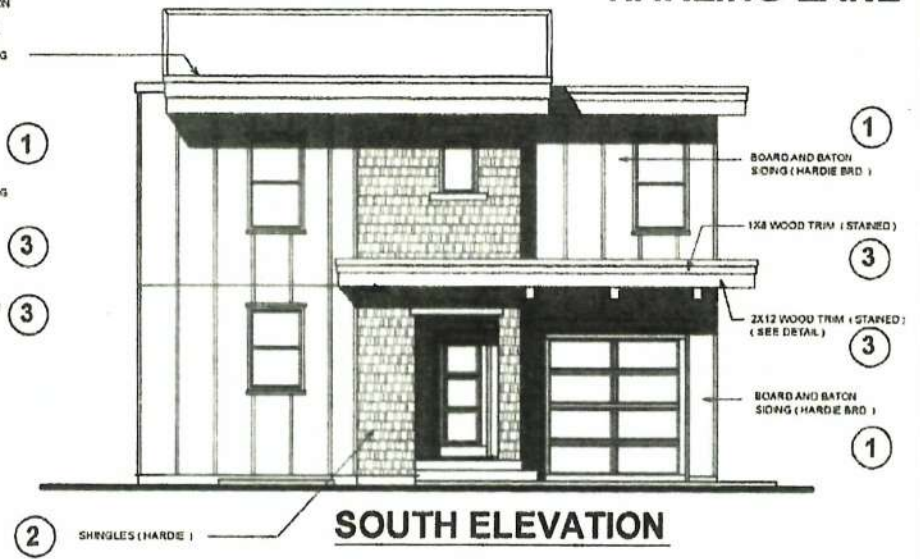
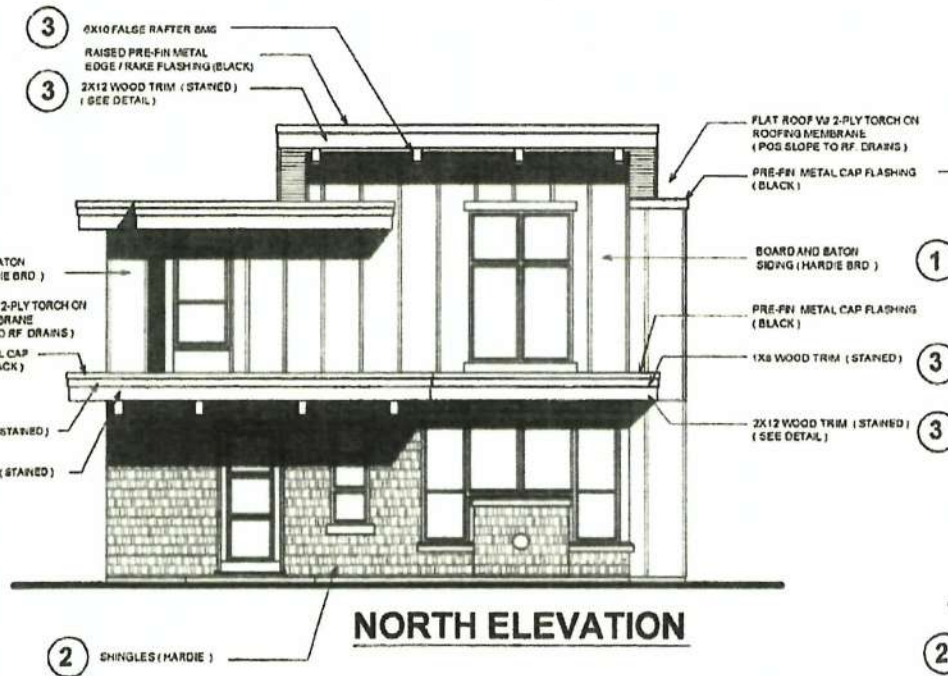
6X6 POSTS C/W, SPACED 1X4 AND 1X6 FENCING (STAINED)  
2X6 TOP RAIL (STAINED)  
2X6 TRELLIS ON LAPPED 2X10 (STAINED)

## PROPOSED SINGLE FAMILY DWELLING

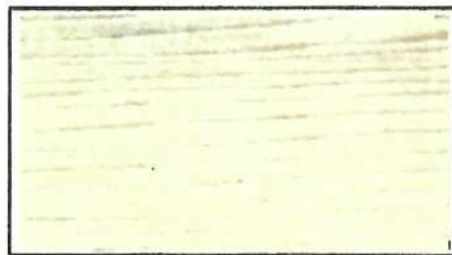
1032, 1038 AND 1044 HARLING LANE, VICTORIA B.C.



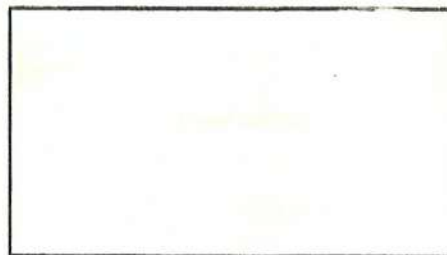
# 1032 HARLING LANE



WINDOW FRAMES- GREY



**1 MAIN BODY COLOUR**  
- BOARD AND BATON (HARDIE)  
(IMPERIAL GRAY)



**2 ACCENT BODY COLOUR**  
- SHINGLES (HARDIE)  
(NATURAL CREAM)



**3 TRIM / ACCENT COLOUR**  
- FASCIA BOARDS AND TRIM  
(STAINED - CHOCOLATE)

**Received**  
City of Victoria

JUN 17 2015

Planning & Development Department  
Development Services Division





Architectural elevation drawing of three residential units: 1032, 1038, and 1044. Unit 1038 is highlighted with a dashed line and labeled "PROPOSED SFD. 1038 HARLING LANE". The drawing shows modern, two-story buildings with large windows, brick accents, and flat roofs. Landscaping with trees and a sidewalk with a person on a bicycle are also depicted.

AS VEIWED FROM HARLING LANE ( SOUTH ELEVATION )

1038 HARLING LANE, VICTORIA B.C.

**1038**  
**HARLING LANE**  
**DRAWING CONTENTS :**

STREETScape (COVER PAGE)
A1 SITE PLAN AND BASEMENT FLOOR PLAN
A2 FLOOR PLANS AND ROOF PLAN
A3 BUILDING SECTIONS
A4 ELEVATIONS
A5 LANDSCAPE PLAN

# City of Victoria LING

JUN 17 2015

Planning & Development Department  
Development Services Division



**839.0 SQFT.**

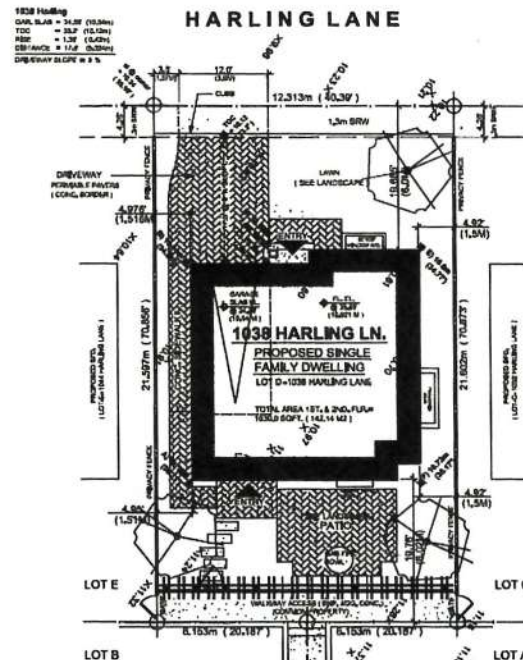
**1038 HARLING LANE**  
**EXIST'G / FIN. GRADE POINTS :**

GRADE POINT A = 36.71' EXIST'G.	(11.38m)	36.25 F9'
GRADE POINT B = 34.81' EXIST'G.	(10.64m)	34.23 F9'
GRADE POINT C = 34.77' EXIST'G.	(10.63m)	34.23 F9'
GRADE POINT D = 34.68' EXIST'G.	(10.54m)	34.20 F9'
GRADE POINT E = 34.77' EXIST'G.	(10.63m)	34.23 F9'
GRADE POINT F = 35.17' EXIST'G.	(10.72m)	35.25 F9'

**GRADE POINTS CALCULATIONS :**

PCBNTS A&B:	(34.29 + 34.39) $\div$ 2	X	28.47 = 1023.58
PCBNTS B&C:	(34.33 + 34.39) $\div$ 2	X	1.87 = 203.88
PCBNTS C&D:	(34.33 + 34.33) $\div$ 2	X	10.5 = 39.88
PCBNTS D&E:	(34.33 + 34.37) $\div$ 2	X	20.07 = 698.8
PCBNTS E&F:	(34.39 + 35.29) $\div$ 2	X	21.42 = 1088.1
PCBNTS F&A:	(35.29 + 35.29) $\div$ 2	X	35.9 = 124.12

4307.48 / 123.83 (PERIM, OF BLDG.) = 34.78' (10.6 m)



SITE AREA = 2862.12 SQFT. (266.9 M2)

## SITE PLAN

SCALE = 1/8" = 1'-0"

EXISTING GRADE ELEVATIONS ARE BASED  
UPON GEODETIC DATUM AND ARE SHOWN AS THIS  
(SEE ELEVATIONS FOR FIN GRADES)

(METRIC CONVERSION SHOWN IN BRACKETS)

ALL GEODETIC FLOOR ELEVATIONS  
SHOWN ARE TO TOP OF 1-1/2" LIGHT  
WEIGHT CONC. TOPPING.

AVERAGE EXISTING  
GRADE = 34.78' (10.6 M)

**DATE SERVICE NOTES:**

-REFER TO CIVIL ENG. DRAWINGS FOR ALL ASPECTS OF SITE SERVING

SITE DATA	
OWNER	1 TERRY BRADSHAW
ADDRESS	1 LOT D-1 1038 HARLINGE LANE, VICTORIA, B.C.
ZONE	1 R1-82
SITE AREA	1 2862.1 SQ FT, (268.6 M <sup>2</sup> )
LEGAL DESCRIPTION	1 LOT D, OF SUBDIVISION OF LOT 334, FARM 160 EAST ESTATE, VICTORIA CITY, PL 160
PERMITTED : R-1-82	
MUR SITE AREA	2786.82 SQFT. (258.2 M <sup>2</sup> )
MUR SITE WIDTH	33.7' (10.3 M)
SITE COVERAGE	45%
TOTAL F.A.R.	158.60 SQFT. (1450.5 M <sup>2</sup> )
FLOOR PL. RATIO	80 / 1
STREETS: FRONT (S/L)	18'6"
REAR (S/L)	16'0"
SIDE (S/L)	4'0"
REAR (S/L)	4'0"
MAINTENANCE	2'0"
NOL. OF STORES	1
PAVING	1 FULL PERMIT
PROPOSED S.F.D. ( 1038 HARLINGE LANE )	
SITE AREA	1 2862.1 SQ FT, (268.6 M <sup>2</sup> )
SITE WIDTH	1 33.7' (10.3 M)
SITE COVERAGE	1 45.3% = 1293.5 M <sup>2</sup>
TOTAL F.A.R.	1 158.60 SQFT. (1450.5 M <sup>2</sup> )
FLOOR PL. RATIO	1 80 / 1
STREETS: FRONT (S/L)	1 18'6"
REAR (S/L)	1 16'0"
SIDE (S/L)	1 4'0"
REAR (S/L)	1 4'0"
MAINTENANCE	1 2'0"
NOL. OF STORES	1 TWO
PAVING	1 1 FULL

# PROPOSED SINGLE FAMILY DWELLING

1038 HARLING LANE, VICTORIA B.C.



APRIL-2015	PROJECT: PROPOSED SINGLE FAMILY DRILLING - 1034 MARLING LANE, VICTORIA, BC (DEVELOPMENT PERMIT)
LEASTON	FOR: TERRY MAUGHAN
AS SHOWN	DELIVER: FOUNDATION AND SITE PLAN

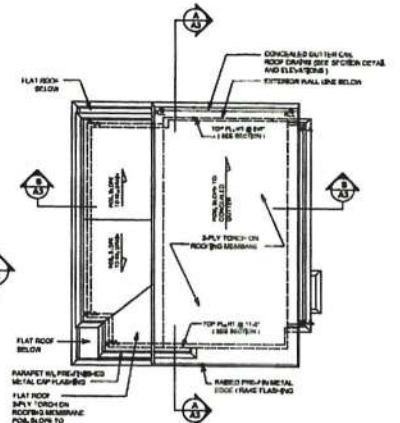
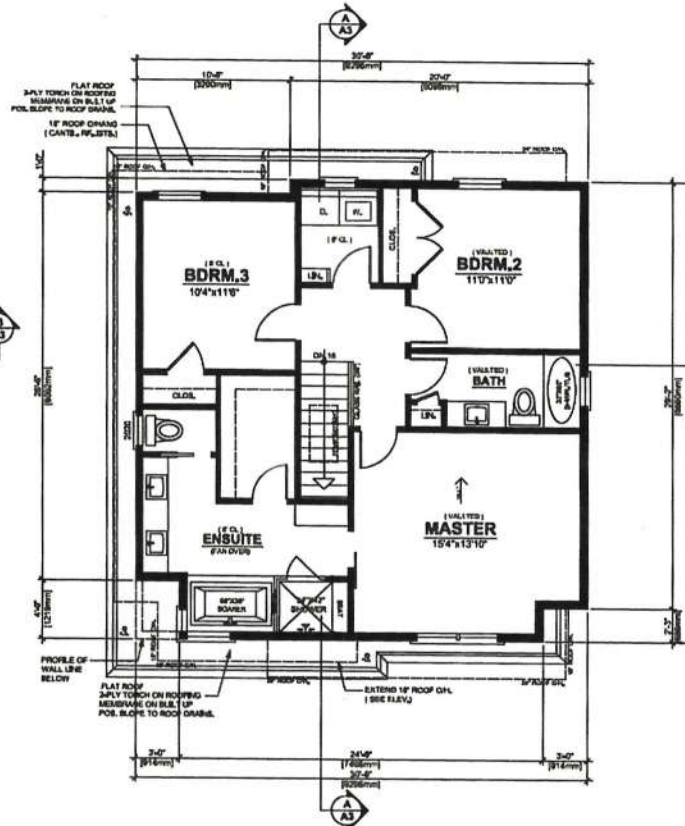
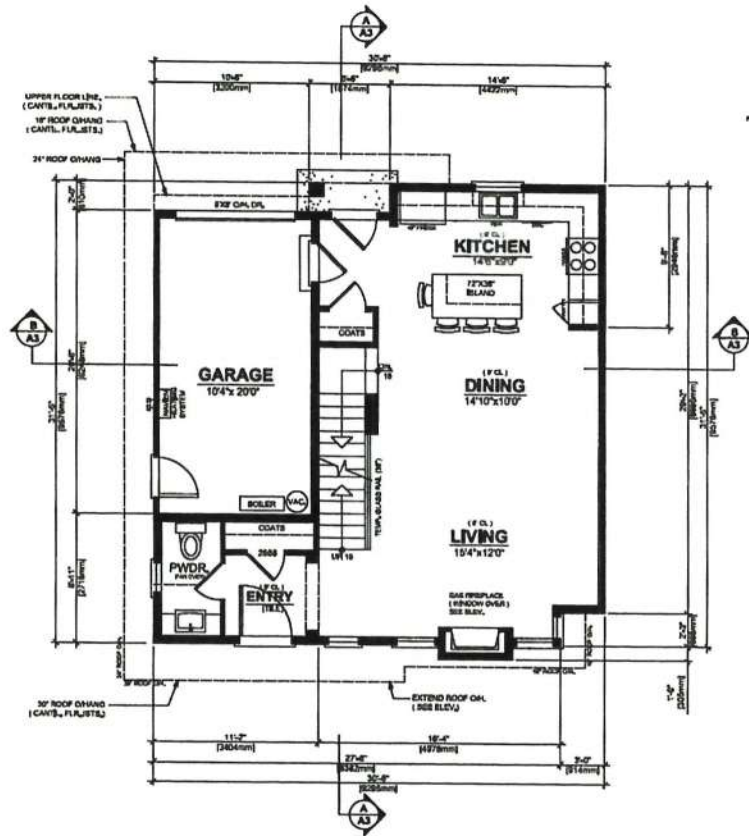
Planning and Land Use Committee - 01 Oct 2015

Received  
City of Victoria

REVISIONS:

JUN 17 2015

Planning & Development Department  
Development Services Division

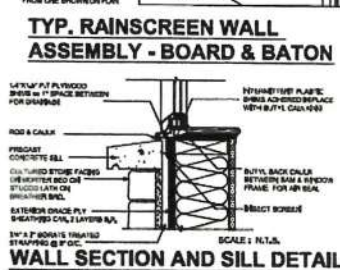


# 1038 HARLING LANE

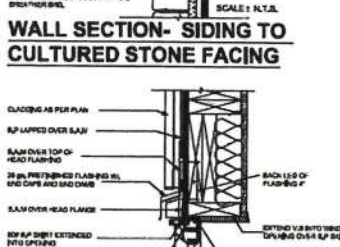
**PROPOSED SINGLE FAMILY DWELLING**  
 1038 HARLING LANE, VICTORIA B.C.

Received City of Victoria	
JUN 17 2015	
Planning & Development Department Development Services Division	





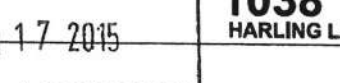
3" x 7" FORMATS 1/8" x 1/2" SCALE: N.T.S.  
STAMPING @ F.O.C.  
**WALL SECTION AND SILL DETAIL**  
**CULTURED STONE FACING**



FOAM INSULATION

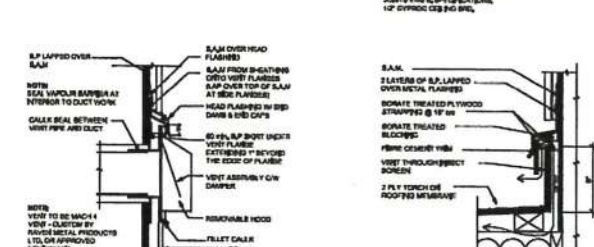
TYP. HEAD DETAIL

BUTYL SEALANT ON SUB  
ROD BE FIXED WINDOW  
FRAME & U/S FOR  
APPROXIMATE SEAL

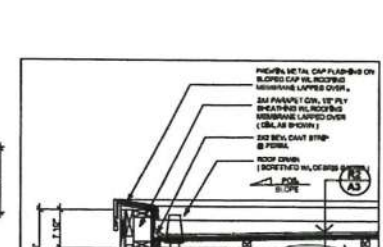


**TYP. SILL DETAIL**  
SCALE: N.T.S.

**1038**



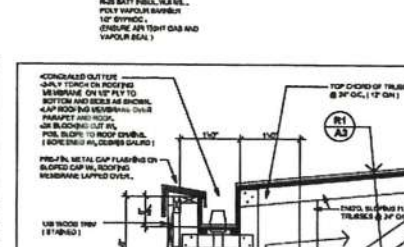
**DETAIL** SCALE: N.T.S.



1x2 WOOD TRIM (STAINED)

2x12 WOOD TRIM (STAINED)

WOOD SILLING - 1x12



25# PARAPET AND FRAMING LAPPED  
AND WELDED ALONG SIDE 25# IRLS  
TOP CHORD @ 2" O.C. (DIA. AS SHOWN)



SCALE: N.T.S.

1/2" PLYWOOD 3/4" W/ 1/4" SPACE BETWEEN FOR DRYPAGE

3/4" PLYWOOD LAYER ON ALL FOUR SIDES OF CORE

3/4" PLYWOOD LAYER ON ALL FOUR SIDES OF CORE

Development Department  
ment Services Division



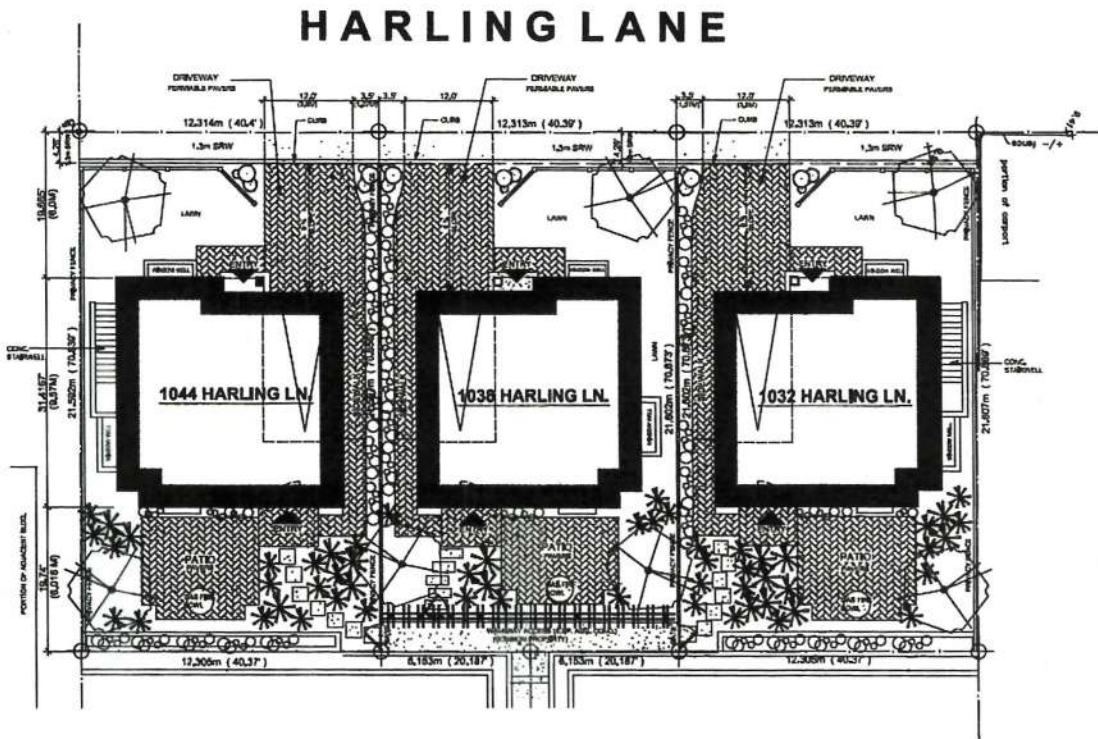


REVISIONS ;

**1038**  
**HARLING LANE**

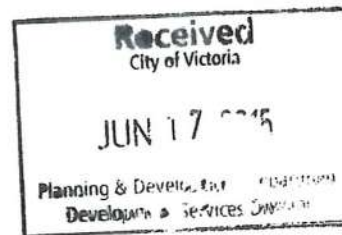
Planning & Development Department

DATE : \_\_\_\_\_ DRAWN BY : \_\_\_\_\_ CHECKED BY : \_\_\_\_\_ DATE : \_\_\_\_\_  
**BLACKHAWK**  
 Planning and Design Committee  
 A4 PLANS OP 1165  
 10/1/2015



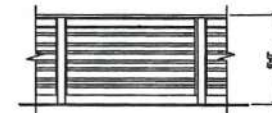
## PROPOSED LANDSCAPE PLAN

SCALE = 1/8" = 1'-0"



LANDSCAPE LEDGEND	
	MEDIUM TO LARGE SIZE SHRUBS (SPECIES TO BE DETERMINED)
	MIXED FLOWER BED PLANTING (SPECIES TO BE DETERMINED)
	LOW LYING GROUND COVER (SPECIES TO BE DETERMINED)
	LARGE / MEDIUM SIZE DECIDUOUS TREE (SPECIES TO BE DETERMINED)

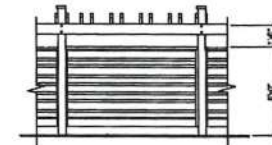
ALL SPECIES, SPACING, SIZES AND QUANTITIES ARE TO BE DETERMINED BY LANDSCAPER / LANDSCAPE DESIGNER AND OWNER AT TIME OF LANDSCAPE.



### 1 SCREENING ELEVATION

SCALE : 1/4" = 1'-0"

6X6 POSTS CW, SPACED 1X4 AND 1X6 FENCING (STAINED)  
2X6 TOP RAIL (STAINED)



### 2 SCREENING ELEVATION

SCALE : 1/4" = 1'-0"

6X6 POSTS CW, SPACED 1X4 AND 1X6 FENCING (STAINED)  
2X6 TOP RAIL (STAINED)  
2X6 TRELLIS ON LAPPED 2X10 (STAINED)

## PROPOSED SINGLE FAMILY DWELLING

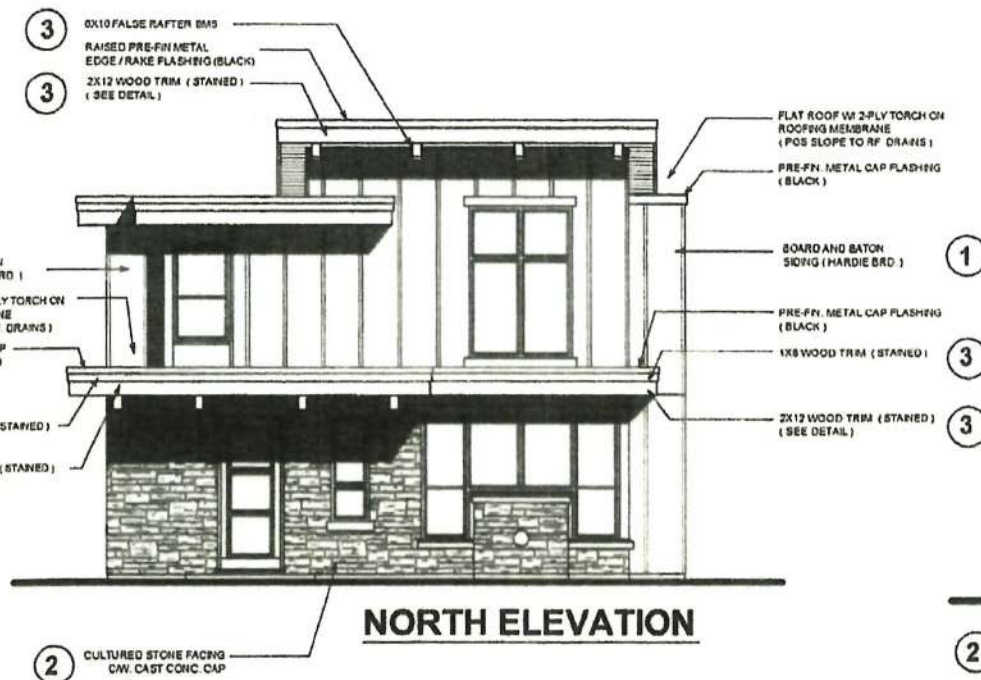
1032, 1038 AND 1044 HARLING LANE, VICTORIA B.C.

REVISIONS:

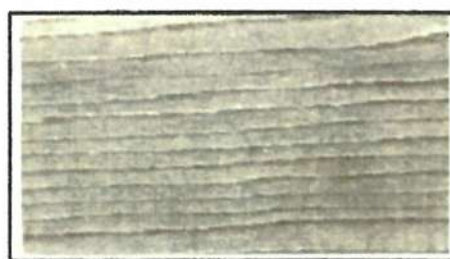




# 1038 HARLING LANE



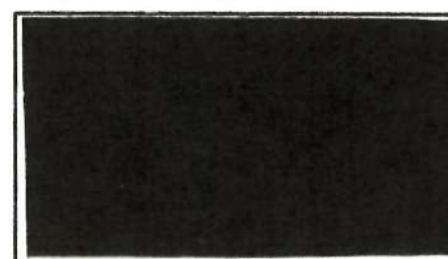
WINDOW FRAMES- GREY



**1 MAIN BODY COLOUR**  
- BOARD AND BATON (HARDIE)  
(IMPERIAL GRAY)



**2 STONE ACCENTS**  
- STONE FACING W/ CONC. CAP  
(LEDGE STONE - DRY STACK)



**3 TRIM / ACCENT COLOUR**  
- FASCIA BOARDS AND TRIM  
(STAINED - CHOCOLATE)

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JUN 17 2015

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Development Services Division





Architectural elevation drawing showing three residential units (1032, 1038, and 1044) along a street. The drawing includes trees, a sidewalk, and a street line. A dashed box highlights the "PROPOSED SFD." for "1044 HARLING LANE".

AS VEIWED FROM HARLING LANE ( SOUTH ELEVATION )

**PROPOSED SINGLE FAMILY DWELLING**  
1044 HARLING LANE, VICTORIA B.C.

**1044**  
**HARLING LANE**  
**DRAWING CONTENTS :**

**STREETSCAPE ( COVER PAGE )**

<b>A1</b>	<b>SITE PLAN AND BASEMENT FLOOR PLAN</b>
<b>A2</b>	<b>FLOOR PLANS AND ROOF PLAN</b>
<b>A3</b>	<b>BUILDING SECTIONS</b>
<b>A4</b>	<b>ELEVATIONS</b>
<b>A5</b>	<b>LANDSCAPE PLAN</b>

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Development Services Division

SCALE : 1/4" = 1'-0"

**839.0 SQFT.**

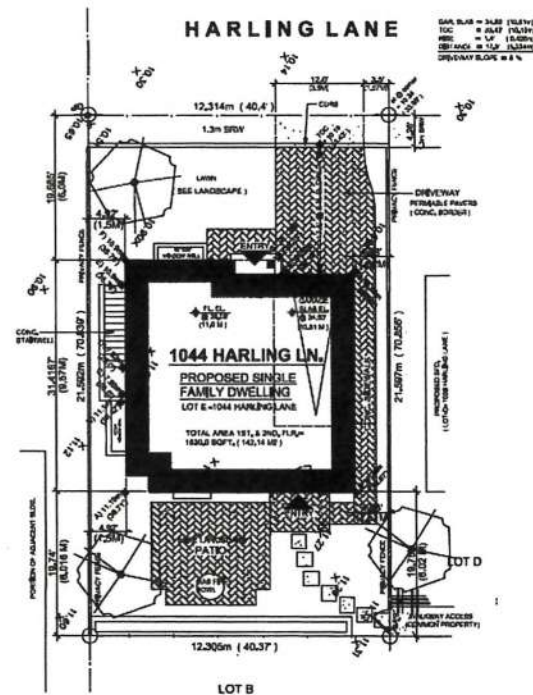
1044 HARLING LANE  
EXIST'G / FIN. GRADE POINTS :

GRADE POINT A = 36.77	EXBETG	(11.1m)	26.5 FPA
GRADE POINT B = 36.52	EXBETG	(11.1m)	34.58 FPA
GRADE POINT C = 29.67	EXBETG	(7.68m)	26.0 FPA
GRADE POINT D = 29.67	EXBETG	(7.68m)	29.0 FPA
GRADE POINT E = 35.78	EXBETG	(10.8m)	34.58 FPA
GRADE POINT F = 35.78	EXBETG	(10.8m)	34.58 FPA
GRADE POINT G = 35.17	EXBETG	(10.72m)	34.5 FPA
GRADE POINT H = 35.17	EXBETG	(10.72m)	34.5 FPA
GRADE POINT I = 34.87	EXBETG	(10.58m)	34.5 FPA
GRADE POINT J = 36.87	EXBETG	(11.24m)	26.5 FPA

**GRADE POINTS CALCULATIONS :**

POINTS AAB:	(35.6° + 34.8°)	dx = 2	X	13.7	= 406.82
POINTS CAG:	(28.9° + 28.5°)	dx = 2	X	4.8	= 104.6
POINTS GDE:	(28.7° + 34.8°)	dx = 2	X	10.58	= 308.04
POINTS EBF:	(34.58° + 34.58°)	dx = 2	X	3.59	= 127.79
POINTS FGF:	(34.58° + 34.5)	dx = 2	X	20.67	= 600.6
POINTS GAH:	(34.6° + 34.5)	dx = 2	X	2.7	= 89.5
POINTS HJ:	(34.5° + 34.7)	dx = 2	X	10.5	= 207.39
POINTS IBI:	(34.5° + 28.5)	dx = 2	X	28.47	= 1028.7
POINTS JBA:	(34.6° + 34.6)	dx = 2	X	20.9	= 1253.75
					= 4242.6

4345.95 / 123.83' (PERM. OF BLDG.) = 34.25' (10.45 m)  
(SEE ELEVATIONS FOR ALL FINISHED GRADES)



**SITE AREA = 2881.04 SQFT. (265.8 M2)**  
**SITE PLAN**

SCALE = 1/8" = 1'-0"

EXISTING GRADE ELEVATIONS ARE BASED  
UPON GEODETIC DATUM AND ARE SHOWN AS THUS :  
( SEE ELEVATIONS FOR FEN. GRADES )

(METRIC CONVERSION SHOWN IN BRACKETS)

ALL GEODETIC FLOOR ELEVATIONS  
SHOWN ARE TO TOP OF 1-1/2" LIGHT  
WEIGHT CONC. TOPPING.

AVERAGE EXISTING  
GRADE = 34.29' (10.45 M)

**SITE SERVICE NOTES:**

-REFER TO CIVIL ENG. DRAWINGS FOR ALL ASPECTS OF SITE SERVING

SITE DATA	
OWNER	1 TENNY BRADSHAW
ADDRESS	1 LOT E-104 HARLING LANE, VICTORIA, B.C.
ZONE	R-143
SITE AREA	288.1 SQ. FT. (26.63 M <sup>2</sup> )
LEGAL DESCRIPTION	1/2 OF SUBDIVISION OF LOT M4, FARWELL BOURNE ESTATE, VICTORIA CITY PLAN 18

PERMITTED : R-152	
MIN. SITE AREA	3776.83 SQ. FT. (349.3 M <sup>2</sup> )
MIN. SITE WIDTH	33.0' (10.06 M)
SEITE COVERAGE	49%
TOTAL FLOOR AREA	1590.0 SQ. FT. (146.9 M <sup>2</sup> )
FLOOR PL. RATIO	60/1
SETBACKS : FRONT (F)	15.00' (4.57 M)
REAR (R)	15.00' (4.57 M)
SIDE (S)	4.50' (1.37 M)
HEIGHT (H)	4.50' (1.37 M)
MAXIMUM HEIGHT	24.0' (7.32 M)
NO. OF STOREYS	1
PARKINGS	1 TOTAL PER UNIT

PROPOSED SFD, (1044 HARLING LANE)	
SEITE AREA	1 288.1 SQ. FT. (26.63 M <sup>2</sup> )
SEITE WIDTH	1 33.0' (10.06 M)
SEITE COVERAGE	1 43.7% (19.31 M <sup>2</sup> )
TOTAL FLOOR AREA	1 1590.0 SQ. FT. (146.9 M <sup>2</sup> )
FLOOR PL. RATIO	1 55/1
SETBACKS : FRONT (F)	1 15.00' (4.57 M)
REAR (R)	1 15.74' (4.80 M)
SIDE (S)	1 4.50' (1.37 M)
HEIGHT (H)	1 23.0' (7.01 M)
MAXIMUM HEIGHT	1 4.50' (1.37 M)
NO. OF STOREYS	1 2
PARKINGS	1 TWO

**PROPOSED SINGLE FAMILY DWELLING**  
1044 HARLING LANE, VICTORIA B.C.

Received  
City of Victoria

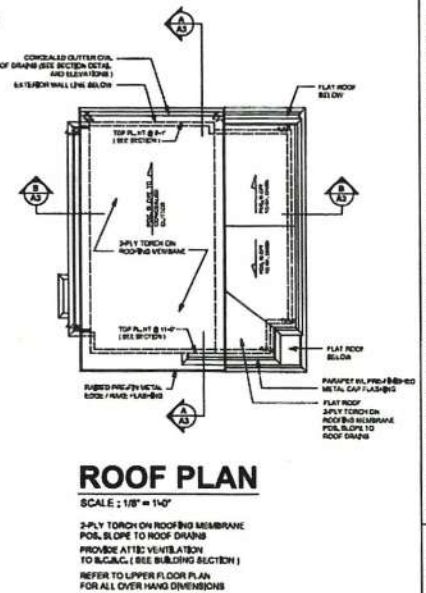
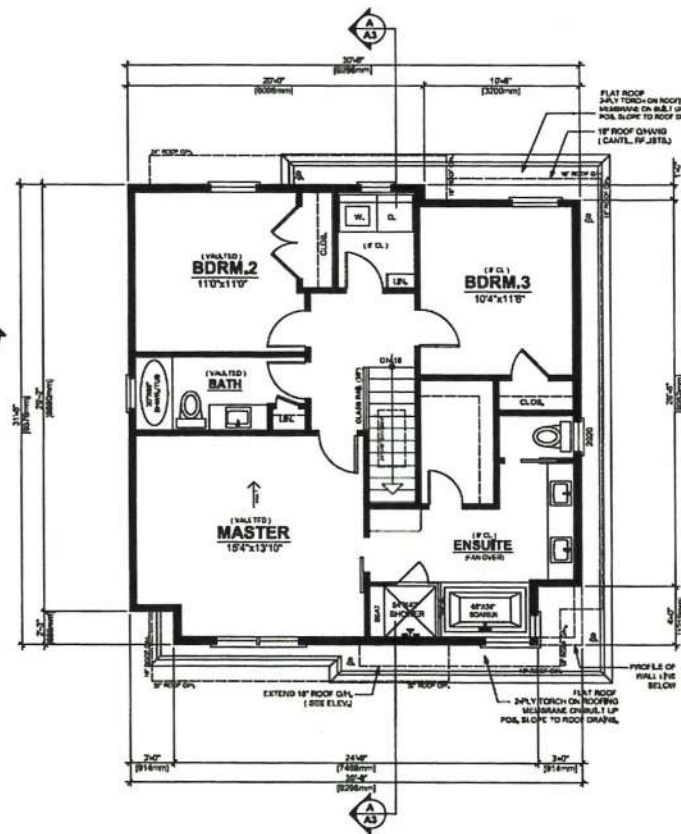
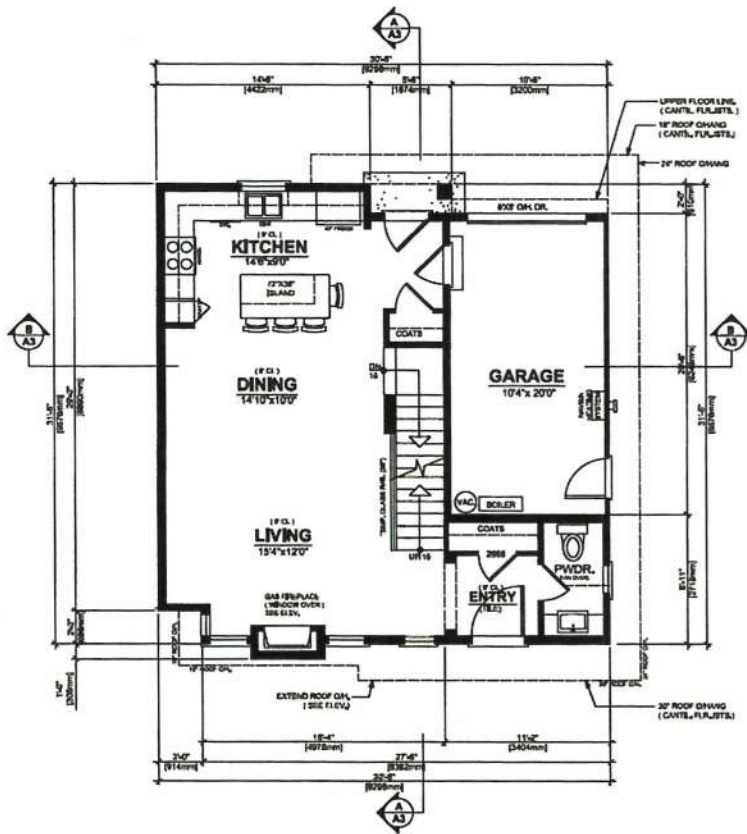
REVISIONS:

JUN 17 2015

Planning & Development Department  
Development Services Division







# 1044 HARLING LANE

**PROPOSED SINGLE FAMILY DWELLING**  
 1044 HARLING LANE, VICTORIA B.C.

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 JUN 17 2015  
 Planning & Development Department  
 Development Services Division

PLAN  
 DP 118

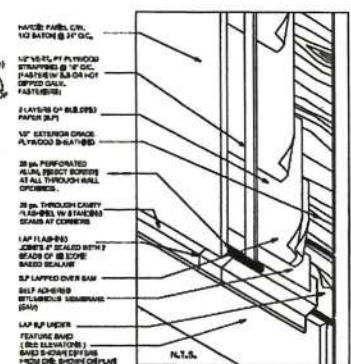
PROJECT: PROPOSED SINGLE FAMILY DWELLING - 1044 HARLING LANE, VICTORIA, B.C. ( DEVELOPMENT PERMIT )

OWNER: TERRY BRIDGMAN

DESIGNER: BLACKBURN

DATE: 01 OCT 2015



[illegible]

**1044**  
HARLING LA

Planning & Development Department  
Development Services Division

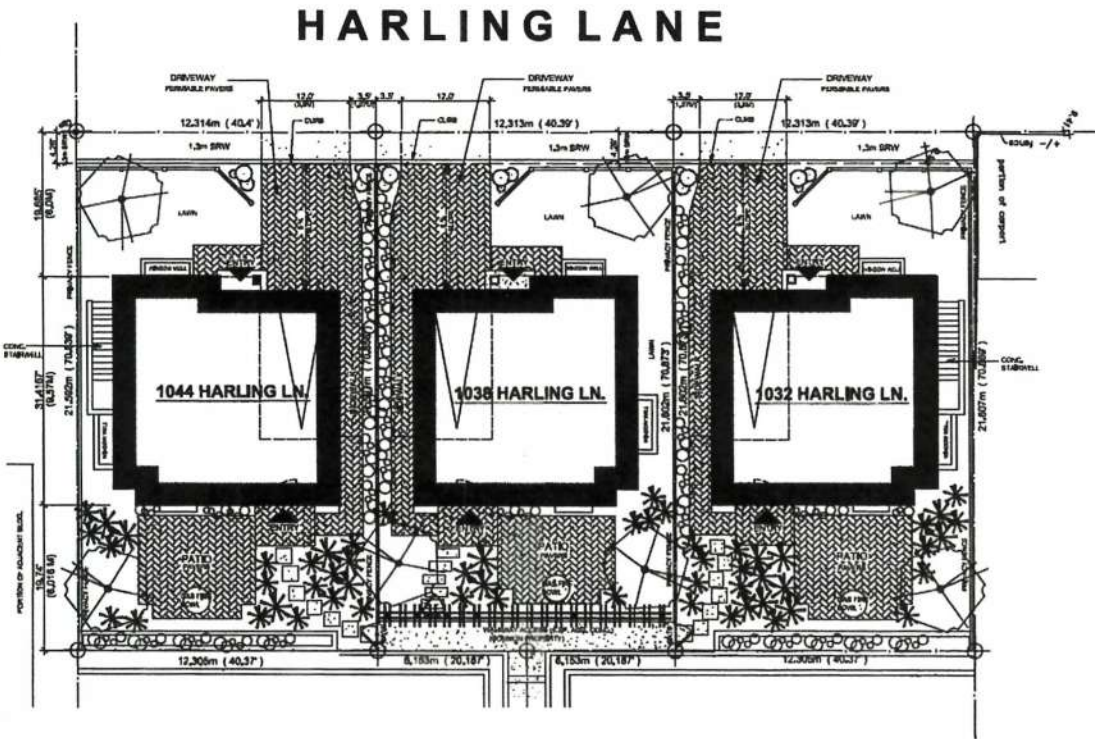




**PROPOSED SINGLE FAMILY DWELLING**  
1044 HARLING LANE, VICTORIA B.C.

RECEIVED  
**Received**  
 City of Victoria  
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 JUN 17 2015 **1044**  
 HARLING  
 Planning & Development Department  
 Development Services Division

**A4**  
PL 449  
DP 1187  
Oct 2015



## PROPOSED LANDSCAPE PLAN

SCALE = 1/8" = 1'-0"

LANDSCAPE LEDGEND	
	MEDIUM TO LARGE SIZE SHRUBS (SPECIES TO BE DETERMINED)
	MIXED FLOWER BED PLANTING (SPECIES TO BE DETERMINED)
	LOW LYING GROUND COVER (SPECIES TO BE DETERMINED)
	LARGE / MEDIUM SIZE DECIDUOUS TREE (SPECIES TO BE DETERMINED)

ALL SPECIES, SPACING, SIZES AND QUANTITIES ARE TO BE DETERMINED BY LANDSCAPER / LANDSCAPE DESIGNER AND OWNER AT TIME OF LANDSCAPE.

### 1 SCREENING ELEVATION

SCALE: 1/4" = 1'-0"

6X8 POSTS CW, SPACED 1X4 AND 1X6 FENCING (STAINED)  
2X8 TOP RAIL (STAINED)

### 2 SCREENING ELEVATION

SCALE: 1/4" = 1'-0"

6X8 POSTS CW, SPACED 1X4 AND 1X6 FENCING (STAINED)  
2X8 TOP RAIL (STAINED)  
2X8 TRELLIS ON LAPPED 2-2X10 (STAINED)



## PROPOSED SINGLE FAMILY DWELLING

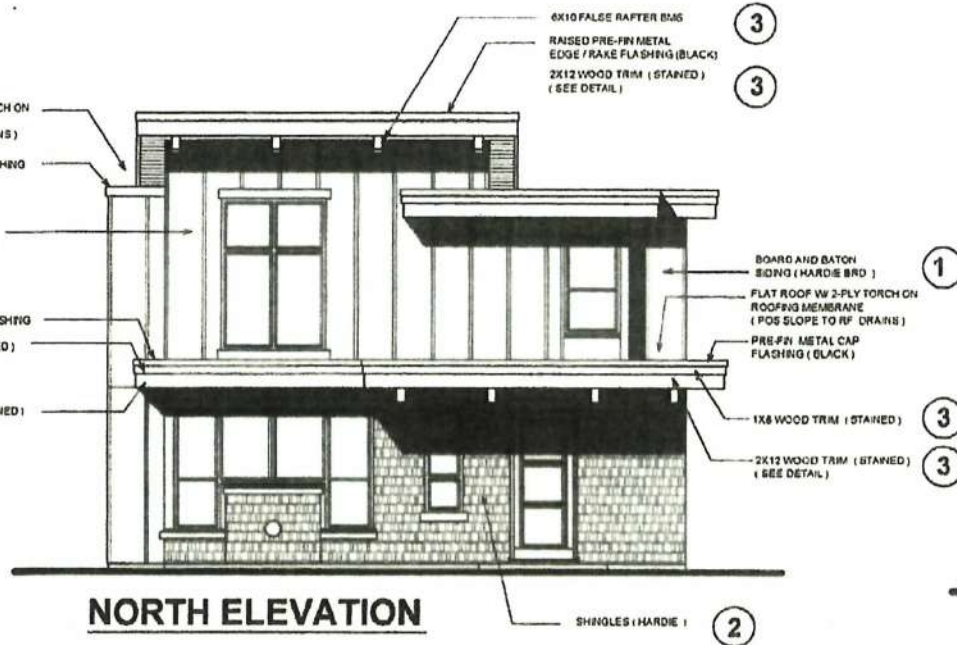
1032, 1038 AND 1044 HARLING LANE, VICTORIA B.C.

REVISIONS:





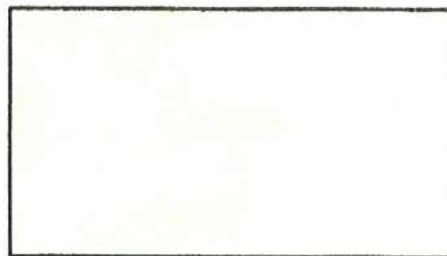
# 1044 HARLING LANE



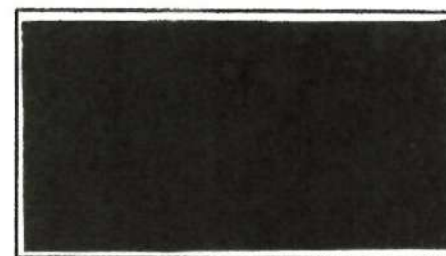
WINDOW FRAMES- GREY



**1 MAIN BODY COLOUR**  
-BOARD AND BATON (HARDIE)  
(SEAGULL GRAY)



**2 ACCENT BODY COLOUR**  
- SHINGLES (HARDIE)  
(SOFT CHAMOIS)



**3 TRIM / ACCENT COLOUR**  
- FASCIA BOARDS AND TRIM  
(STAINED - CHOCOLATE)

**Received**  
City of Victoria

JUN 17 2015

Planning & Development Department  
Development Services Division



Planning and Land Use Committee - 01 Oct

Page 161 of 161

Development Permit with Variances Application Nos. 000431, 0...





222-226 DALLAS ROAD









222 DALLAS ROAD



(presently 526 Michigan Street)

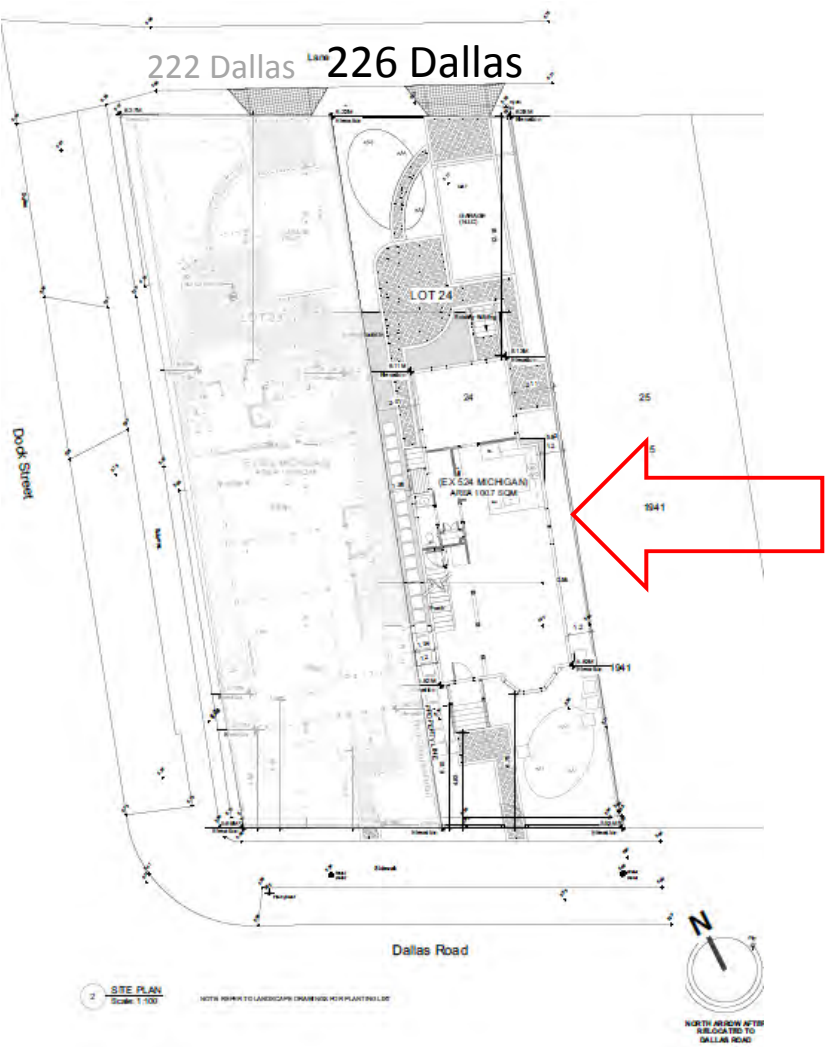


222 DALLAS ROAD





(presently 524 Michigan Street)



226 DALLAS ROAD



226 DALLAS ROAD



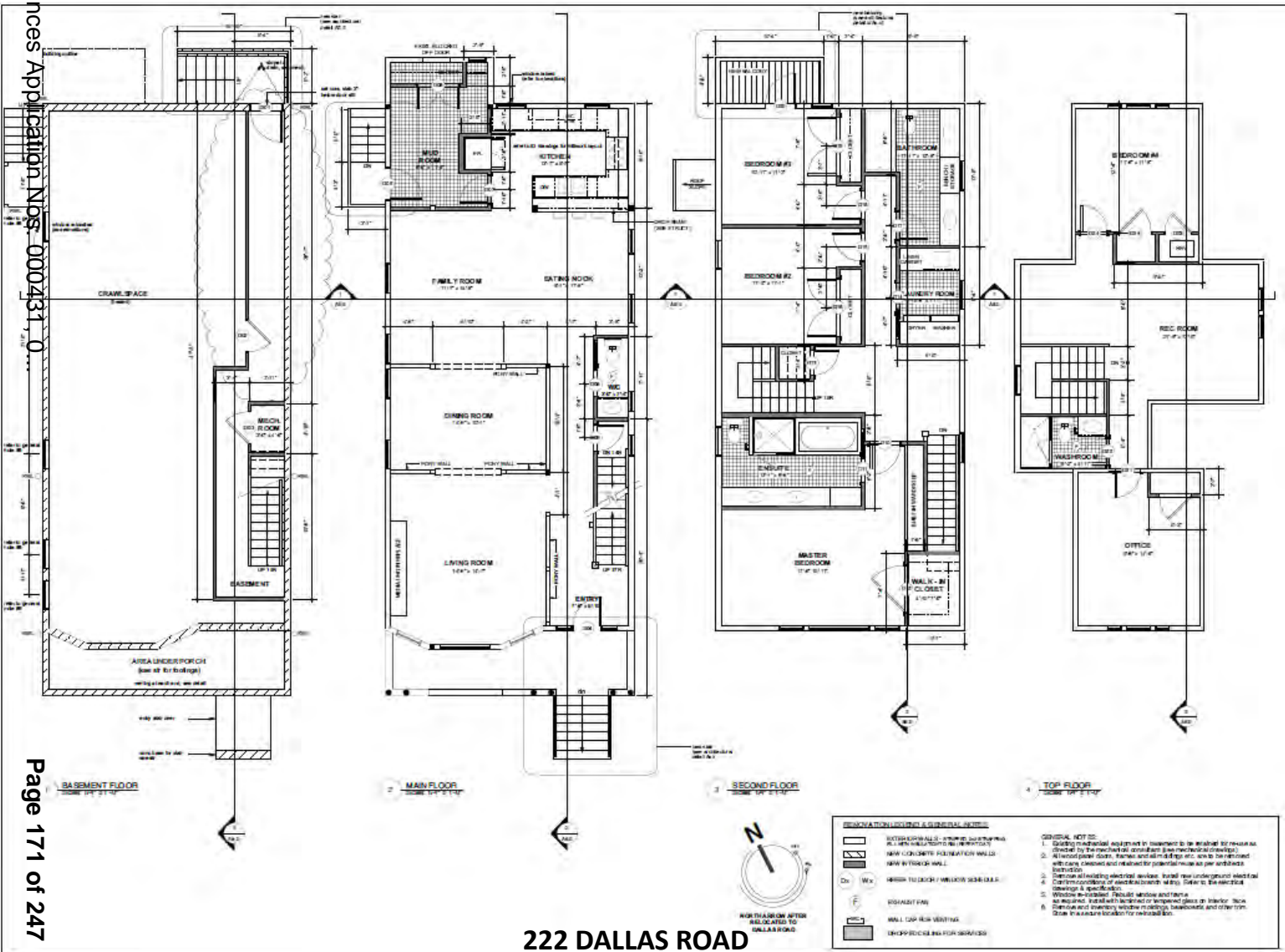




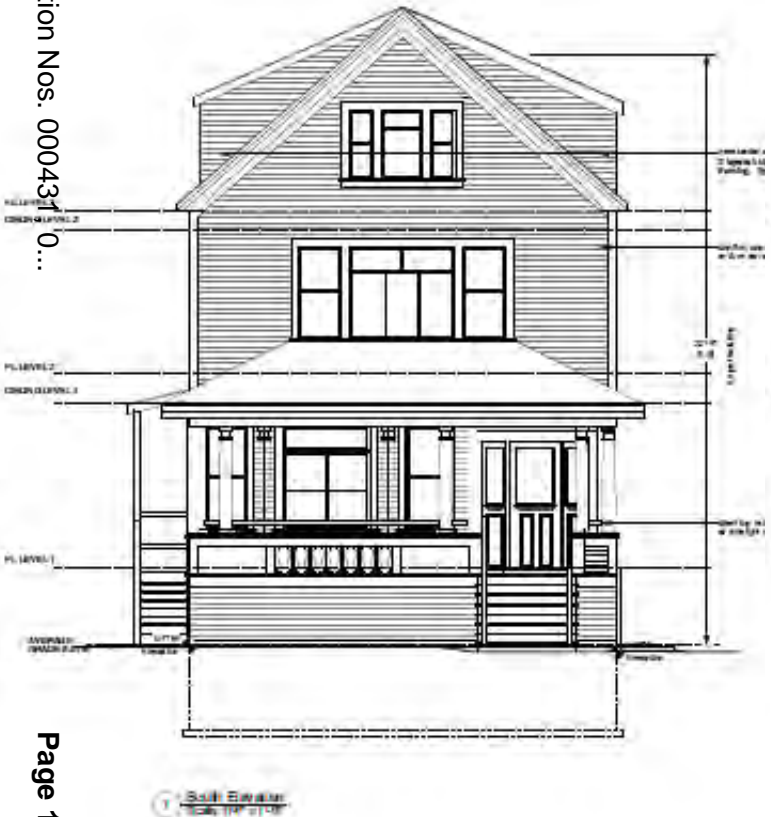
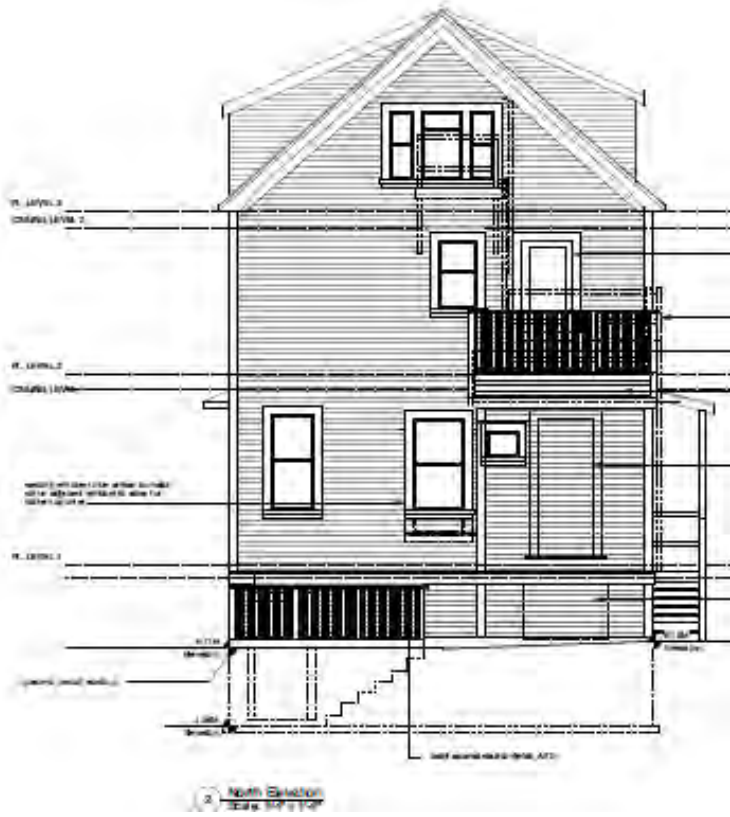


# **222 DALLAS ROAD**

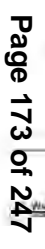
## Plans & Elevations







222 DALLAS ROAD



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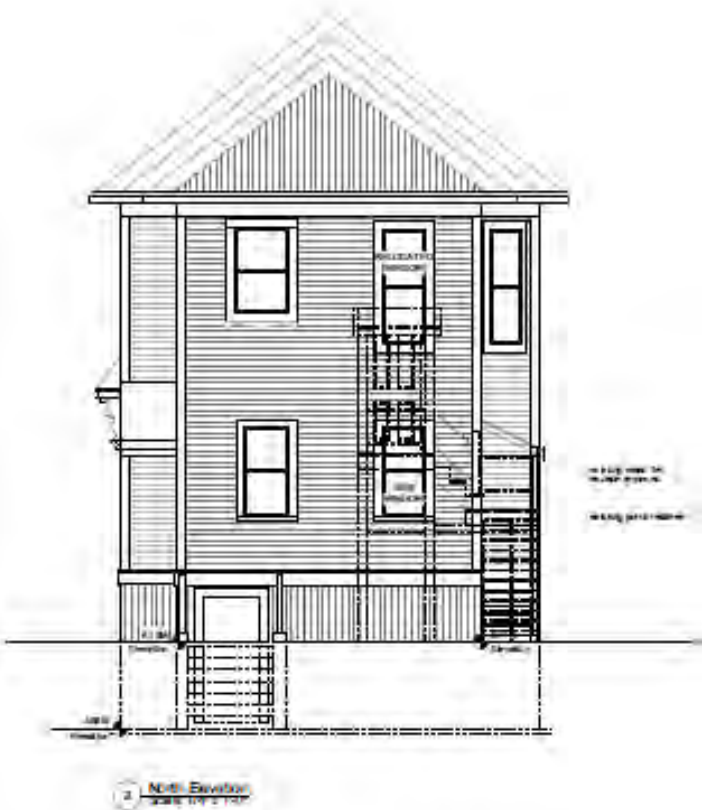


# **226 DALLAS ROAD**

## Plans & Elevations







226 DALLAS ROAD



226 DALLAS ROAD







## Planning and Land Use Committee Report

For the Meeting of October 1, 2015

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**To:** Planning and Land Use Committee      **Date:** September 17, 2015

**From:** Jonathan Tinney, Director, Sustainable Planning and Community Development

**Subject:** **Heritage Alteration Permit Applications with Variances Nos. 00205 and 00206 for 226 Dallas Road and 222 Dallas Road**

---

### RECOMMENDATION

That Committee forward this report to Council and that Council consider the following motions:

#### 226 Dallas Road

"That Council advance Heritage Alteration Permit Application No. 00205 with Variances for 226 Dallas Road, for consideration at a Public Hearing."

Following consideration of Heritage Alteration Permit Application No. 00205 for 226 Dallas Road:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00205 for 226 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:

1. Revised Plans date stamped August 18, 2015.
2. The provision of:
  - plan, elevation and section details for the front porch
  - a post-relocation condition assessment of the existing wood siding/shingles, woodwork, roof, exterior doors and windows
  - rehabilitation details confirming the scope of work arising from the condition of the historic fabric
  - an exterior door and window rehabilitation schedule.
3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - i. Section 1.2.4.a - Height relaxed from 7.6m to 8.8m
  - ii. Section 1.2.5.a - Front setback relaxed from 7.5m to 6.15m for main building, from 5.0m to 4.83m for stairs

- iii. Section 1.2.5.c - Side yard setback (east) relaxed from 3.0m to 1.20m and side yard setback (west) relaxed from 1.5m to 1.04m
- iv. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.24m.
4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
5. Final plans to be generally in accordance with the plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."

## 222 Dallas Road

"That Council advance Heritage Alteration Permit Application No. 00206 with Variances for 222 Dallas Road, for consideration at a Public Hearing."

Following consideration of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00206 for 222 Dallas Road, subject to the completion of the following prior to the issuance of a Building Permit and in accordance with:

1. Revised Plans date stamped August 18, 2015.
2. The provision of:
  - plan, elevation and section details for the front porch
  - a post-relocation condition assessment of the existing wood siding/shingles, woodwork, roof, exterior doors and windows
  - rehabilitation details confirming the scope of work arising from the condition of the historic fabric
  - an exterior door and window rehabilitation schedule.
3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - i. Section 1.2.4.a - Height relaxed from 7.6m to 9.9m and number of storeys from 2 to 2.5
  - ii. Section 1.2.5.a - Front setback relaxed from 7.5m to 6.45m for main building, from 5.9m to 4.94m for porch, from 5.0m to 3.91m for stairs
  - iii. Section 1.2.5.c - Side yard setback (east) relaxed from 1.5m to 1.36m
  - iv. Section 1.2.5.d - Combined side yard setbacks relaxed from 4.5m to 2.68m
  - v. Section 1.2.5.e - Flanking street (Dock) setback relaxed from 3.5m to 1.32m.
4. The Heritage Alteration Permit lapsing two years from the date of this resolution.
5. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Director of Sustainable Planning and Community Development."



## LEGISLATIVE AUTHORITY

In accordance with Sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

## EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for two heritage alteration permit applications for the heritage-registered houses (presently located at 524 and 526 Michigan Street) to be relocated to 226 and 222 Dallas Road, respectively. The two houses are being relocated to facilitate the development of Capital Park. The proposal is to rehabilitate the houses after they have been relocated and designated at the receiver sites.

The following points were considered in assessing this application:

- consistency with OCP
- consistency with the James Bay Neighbourhood Plan
- consideration of impacts of variances to the *Zoning Regulation Bylaw*
- consistency with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Staff recommend that Council advance Heritage Alteration Permit Application Nos. 00205 and 00206 with Variances for 226 Dallas Road and 222 Dallas Road, respectively, for consideration at a Public Hearing.

## BACKGROUND

The Province and the City were parties to the *Victoria Accord - Legislative Precinct Master Development Agreement*, made June 6, 1994, respecting the subdivision and development of the lands within the Legislative Precinct. In relation to the five heritage-registered homes currently situated on the South Block, the extent of restoration of the heritage houses and a relocation plan were to be described in future development proposals.

On June 11, 2014, Council authorized the issuance of Heritage Alteration Permits Nos. 00188 and 00189 for 524 and 526 Michigan Street, regarding the relocation of the Prout House and the Beaven/Macabe Residence within James Bay, subject to conditions that included providing the City with a relocation plan and a letter irrevocably agreeing to the designation of the houses. The condition regarding heritage designation was satisfied by the applicant in August 2014.

On September 11, 2014, Council instructed staff to prepare the heritage designation bylaw that would designate the Prout House and Beaven/Macabe Residence upon receipt of owner's consent to the designations. Once the houses have been relocated to their new lots, the heritage designation bylaw that Council gave first and second reading will be advanced to a public hearing pursuant to Section 968 of the *Local Government Act*, and Council may then consider adopting the bylaw.

These applications address the second condition regarding the provision of a relocation plan and as a result, deal with the planning issues associated with relocating the two houses to specific lots within James Bay.

### **Description of Proposal**

These applications propose to remove the existing 1950s house that straddles the two existing lots located at 222 and 226 Dallas Road and to relocate the heritage-registered Prout House and Beaven/Macabe Residence presently located at 524 and 526 Michigan Street, part of the South Block.

The proposal to rehabilitate the houses presently located at 524 and 526 Michigan Street will involve the construction of new concrete footings on the receiver site; construction of new storm windows that are compatible with the character of the place; undertaking of alterations to rear and side window/door openings in order to accommodate the new use; rehabilitation of the existing guardrails; construction of a new steel rear balcony to comply with the Building Code; and undertaking of repairs to the exterior wood siding/shingles.

The scope of the proposed work outlined in Heritage Alteration Permit Nos. 00205 and 00206 is more particularly described in the revised plans prepared by Keay Cecco Architecture Ltd., dated August 18, 2015, and in the applicant's letter, dated August 17, 2015.

### **Public Realm Improvements**

No public realm improvements are proposed in association with these heritage alteration permit applications.

### **Community Consultation**

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applications were sent to the James Bay Neighbourhood Association on August 25, 2015. Should staff receive comments from the James Bay CALUC, these will be forwarded to Council for consideration.

### **ANALYSIS**

The following sections provide a summary of the applications' consistency with the relevant City policies and guidelines.

#### **Official Community Plan**

The proposed development outlined in the applications is consistent with the OCP because it contributes to the goal of protecting and celebrating Victoria's cultural and natural heritage resources. In addition, a key strategic direction of James Bay would be met by the proposed development where it enables the adaptation and renewal of existing building stock.

#### **James Bay Neighbourhood Plan**

The proposed development is consistent with the goals and objectives of the *James Bay Neighbourhood Plan* in relation to Housing, where it encourages the retention of significant buildings in the neighbourhood and in relation to Heritage Preservation, where it encourages the conservation and rehabilitation of buildings, lands and structures of heritage significance, which



contribute to the neighbourhood's attractive character and where the moving of heritage buildings is considered as a last resort to prevent their demolition.

### **Zoning Regulation Bylaw**

The relocation of the heritage-registered Prout House and Beaven/Macabe Residence (presently located at 524 and 526 Michigan Street) triggers siting variances (height, front and side yard setbacks) as a result of the dimensions of the existing houses. The placement of the houses is generally compatible with the Dallas Road lot configuration, which are narrow in width and deep in length. The heights of nearby structures range from one to two storeys along Dallas Road and up to three-and-one-half storeys in relation to the apartment block across Dock Street to the north. Staff consider that the variances of heights and setbacks will have a minor impact on the overall character of the area and therefore recommend that Council consider the variances to the *Zoning Regulation Bylaw* to accommodate the proposed development.

### **Standards and Guidelines for the Conservation of Historic Places in Canada**

(As applicable to both buildings)

#### Exterior Walls

The proposal includes the alteration of openings on the north elevation; alterations to existing openings on the east elevation for code compliance; and the rehabilitation of the exterior wood shingles, siding and windows. The proposed interventions will conserve character-defining elements of the building's exterior and are therefore consistent with the Standards and Guidelines where it recommends modifying exterior walls to accommodate an expanded program, a new use, or applicable codes and regulations, in a manner that respects the building's heritage value.

#### Doors and Windows

The rehabilitation of existing wood windows and the construction of new storm windows that are compatible with the character of the place will significantly improve the thermal performance of the exterior envelope and is consistent with the Standards and Guidelines where it recommends designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

#### Roof

Undertaking repairs to the roofs as necessary is consistent with the Standards and Guidelines where it recommends repairing a roof assembly, including its functional and decorative elements, by using a minimal intervention approach.

#### Codes

Alterations to an existing front porch, east side openings, and the construction of a new upper-level balcony at the rear in order to comply with the Building Code is consistent with the Standards and Guidelines where it recommends complying with health, safety and security requirements in a manner that conserves the heritage value of the exterior wall assembly and minimizes impact on its character-defining elements.



## CONCLUSIONS

These applications to rehabilitate two heritage-registered houses form part of the sequence of applications associated with the Capital Park Development that will enable the relocation, designation and rehabilitation of the properties. The proposal is consistent with the Standards and Guidelines in relation to exterior walls, doors and windows, roof elements and the Building Code. The applicant has made revisions to reduce the potential effects that may result from the increased height and reduced setbacks (including the removal of existing openings to comply with codes) and has responded to community concerns within the constraints of the existing property and the dimensions of the heritage-registered houses. Staff consider that the potential impact of the variances requested have been mitigated and therefore recommend that Council consider supporting the applications subject to the conditions outlined in this report.

## ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application Nos. 00205 and 00206 for the properties located at 226 Dallas Road and 222 Dallas Road.

Respectfully submitted,



Murray G. Miller  
Senior Heritage Planner  
Community Planning



Jonathan Tinney  
Director  
Sustainable Planning and Community Development

Report accepted and recommended by the City Manager:



Date: \_\_\_\_\_

Sept. 23/15

## List of Attachments

- Subject map
- Aerial photograph
- Revised plans dated August 18, 2015
- Letters from applicant dated August 20, 2015.



222 & 226 Dallas Road

Heritage Alteration Permit #00205 & #00206



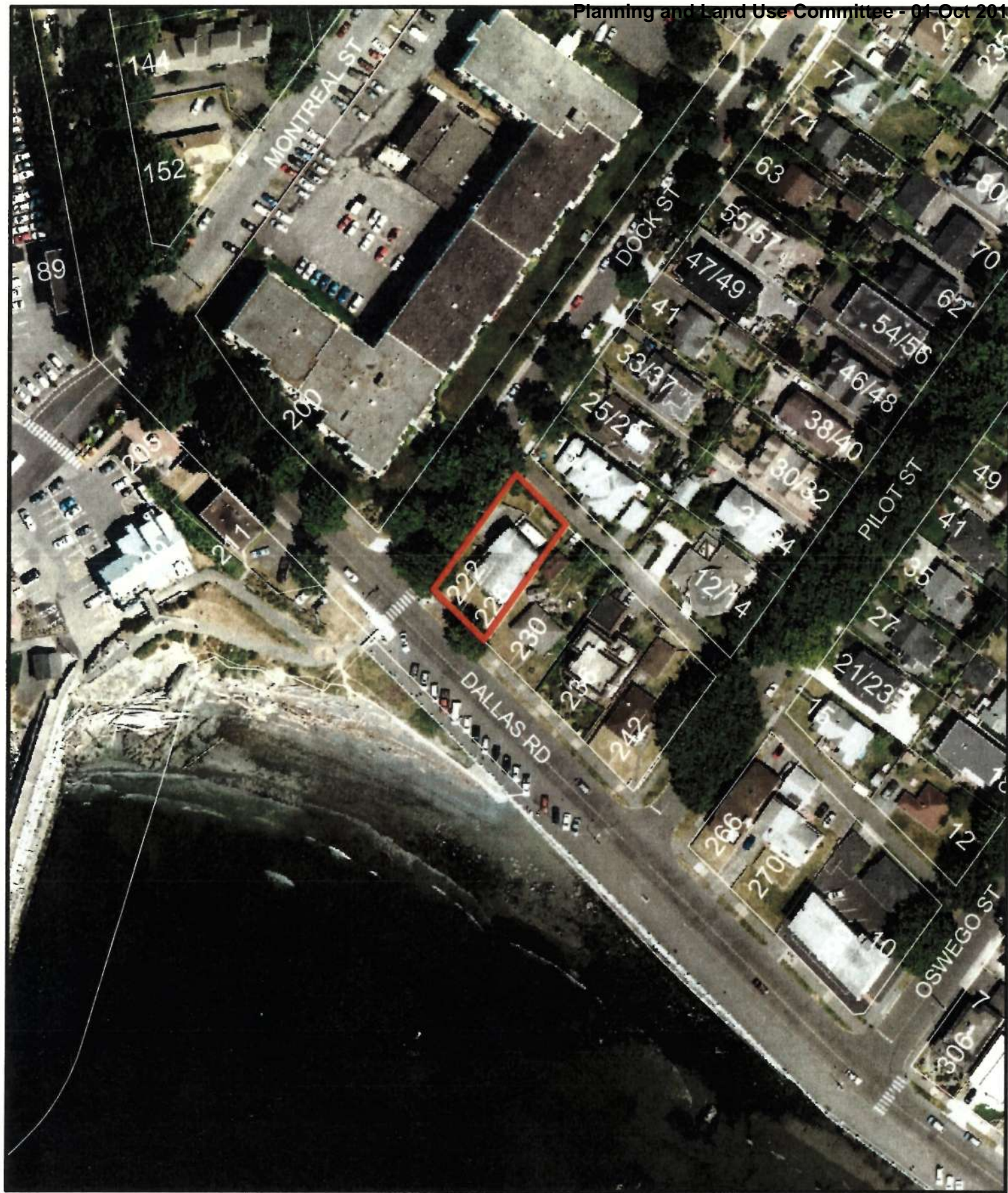
Designated

Registered

Heritage Alteration Permit with Variances Application Nos. 0...







222 & 226 Dallas Road

Heritage Alteration Permit #00205 & #00206



Heritage Alteration Permit with Variances Application Nos. 0...



CITY OF  
VICTORIA



# CAPITAL PARK - HERITAGE BUILDINGS 226 DALLAS ROAD (524 MICHIGAN BUILDING)



**ARCHITECTURAL:**  
**KEY CECCO ARCHITECTURE LTD.**  
 CONTACT: JOHN KEAY  
 Phone: 250.382.3823  
 Email: john@keayarchitecture.ca

**A0.0 TITLE SHEET**  
**A1.0 SITE PLAN**  
**A2.0 PHOTOGRAPHS**  
**A3.0 DEMO PLANS**  
**A4.0 RENO PLANS**  
**A5.0 ELEVATIONS**  
**A6.0 SECTIONS**  
**A6.1 GARAGE**  
**A7.0 DETAILS**

**STRUCTURAL:**  
**READ JONES CHRISTOFFERSEN**  
 CONTACT: LEON PLETT  
 Phone: 250.384.7784  
 Email: lplett@rjc.ca

**S101, 2, 3, 4, 5**  
**GENERAL NOTES AND**  
**TYPICAL DETAILS**  
**S201 FOUNDATION AND MAIN**  
**FLOOR FRAMING PLANS**  
**WITH SECOND FLOOR OVER**  
**S202 SECOND FLOOR WITH ROOF**  
**OVER & GARAGE PLANS**  
**S301 SECTIONS AND DETAILS**

**MECHANICAL:**  
**WSP CANADA INC.**  
 CONTACT: PAUL TIMMINS & MIKE DEAN  
 Phone: 250.384.5510  
 Email: paul.timmins@wspgroup.com

**M001 LEGEND & DRAWING LIST**  
**M100 PLUMBING FLOOR PLANS**  
**M101 PLUMBING DETAILS & GARAGE**  
**M102 PLUMBING SCHEMATICS**  
**M200 HVAC FLOOR PLANS**  
**M201 HVAC DETAILS**

**ELECTRICAL:**  
**APPLIED ENGINEERING SOLUTIONS LTD.**  
 CONTACT: JAY SINGH  
 Phone: 250.381.6121  
 Email: jsingh@appliedengineering.ca

**E100 SITE PLAN, DETAILS & LEGEND**  
**E200 ELECTRICAL LAYOUT**  
**E300 SPECIFICATIONS**

**CIVIL:**  
**WSP CANADA INC.**  
 CONTACT: STEPHEN CHILDS  
 Phone: 250.384.5510  
 Email: stephen.childs@wspgroup.com

**C01 SITE SERVING PLAN**

**CODE CONSULTANT:**  
**GHL CONSULTANTS LTD.**  
 CONTACT: FRANKIE VICTOR  
 Phone: 604.688.4449  
 Email: fv@ghl.ca

**ATTACHED LETTER**

**LANDSCAPE:**  
**CHRISTIAN BARNARD LAND STUDIO**  
 CONTACT: CHRISTIAN BARNARD  
 Phone: 250.589.3033  
 Email: info@christianbarnard.ca

**L1 TREE PROTECTION PLAN**  
**L2 SITE PLAN**  
**L3 SPECIFICATIONS**

**INTERIOR DESIGNER:**  
**KYLA BIDGOOD INTERIOR DESIGN**  
 CONTACT: KYLA BIDGOOD  
 Phone: 250.589.0852  
 Email: kyle@kylabidgood.com

**ID-1.00 SCHEDULES & SPECIFICATIONS**  
**ID-1.01 SCHEDULES & SPECIFICATIONS**  
**ID-2.00 FLOOR PLANS**  
**ID-3.00 RCP**  
**ID-4.00 KITCHEN FLOOR PLANS & ELEV.**  
**ID-4.01 KITCHEN FLOOR PLANS & ELEV.**  
**ID-4.02 WIC FLOOR PLANS & ELEV.**  
**ID-5.03 STAIRS & LIVING ROOM ELEV.**  
**ID-5.04 STAIRS & LIVING ROOM ELEV.**  
**ID-6.00 KITCHEN SECTIONS**  
**ID-6.01 BATHROOM SECTIONS**  
**ID-6.02 BATHROOM SECTIONS**  
**ID-7.00 DETAILS**

**HERITAGE CONSULTANT:**  
**DONALD LUXTON AND ASSOCIATES INC.**  
 CONTACT: DONALD LUXTON  
 Phone: 604.688.1216  
 Email: donald@donaldluxton.com

**CONSERVATION PLAN - JANUARY 2015**



KEY CECCO ARCHITECTURE LTD.			
1000-1000 STREET, VICTORIA, BC V8N 1C6 TEL: 250.382.3823 FAX: 250.382.3823			
COMMENTS			
No.	DESCRIPTION	DATE	BY
1.	WSP SUBMISSION	Aug 18-15	
2.	REVISIONS TO WSP SUBMISSION	Aug 19-15	
3.	REVISIONS TO DETAILS	Aug 19-15	
4.	SUBMIT FOR BUILDING PERMIT	Aug 19-15	
5.	REVISIONS TO WSP SUBMISSION	Aug 19-15	
GENERAL NOTES			
Use of these drawings is limited to that identified in the introduction column. Do not construct from these drawings unless marked "Issued for construction". All drawings shall remain designs. Modifications and other alterations proposed by Key Cecco Architecture Ltd. shall be subject to the approval of the City of Victoria. The City of Victoria is not responsible for the design of the project and is not liable for any errors or omissions in the drawings. These drawings are not to be used for any other purpose or in any other way without the written consent of Key Cecco Architecture Ltd.			
PROPERTY			
<b>- CAPITAL PARK - HERITAGE HOUSES</b> 226 Dallas Road (524 Michigan Building) Victoria, BC			
SHEET TITLE			
<b>- TITLE SHEET -</b>			
SCALE	AS SHOWN	AS SHOWN	1"24 = 15'17
DATE PLOTTED	AUGUST 18, 2015		
DESIGNED BY	NP / JK		
			A0.0



1 CONTEXT SITE PHOTO  
Scale: NTS

PROJECT INFORMATION TABLE:

1. OWNER: SOUTH BLOCK DEVELOPMENT CORPORATION
2. STREET ADDRESS: 228 DALLAS ROAD
3. LEGAL DESCRIPTION: LOT 24, BLOCK 5, SECTION 28, BECKLEY PARK, VICTORIA, PLAN 1941
4. ARCHITECT: KEAY CECOCO ARCHITECTURE LTD, (250) 382-3823  
john@keaycecoco.com
5. PRESENT ZONING: EXISTING: R2 (R1-B)
6. SITE AREA: LOT 24: 334.5 SQM 3600 SQFT, EXISTING NON CONFORMING
7. SITE COVERAGE: PERMITTED 40% LOT 24: 30%
8. TOTAL FLOOR AREA: HOUSE: 189.5 SQM, MAXIMUM PERMITTED 300 SQM  
GARAGE: 17.6 SQM
9. FLOOR SPACE RATIO: 0.57
10. AVERAGE GRADE: 5.9%
11. HEIGHT: 8.8M, MAXIMUM PERMITTED 7.6M
12. NUMBER OF UNITS: 1
13. NUMBER OF STOREYS: 2
14. SETBACKS ZONING STANDARD  
FRONT: 6.75M 7.2M (EXCEPT STAIRS AND PORCH)  
FRONT PORCH: 6.15M  
FRONT STAIRS: 4.85M  
EAST SIDE: 1.2 M 1.5 M MIN  
REAR: 12.18 M 7.5 MIN  
WEST SIDE: 1.04 M TOTAL 4.5
15. OPEN SPACE: A3
16. PARKING PROVIDED: 1 CAR
17. BICYCLE PARKING: 3

Received  
City of Victoria  
  
AUG 18 2015  
  
Planning & Development Department  
Development Services Division



2 SITE PLAN  
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANTING LIST

<b>KEAY CECOCO ARCHITECTURE LTD</b> 1125 PARK STREET VICTORIA, BC CANADA V8W 2E6 office 250 382-3823 email info@keaycecoco.com		
COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP SUBMISSION	AUGUST 14
2.	REVISIONS TO HAP SUBMISSION	AUGUST 14
3.	REVISIONS TO HAP SUBMISSION	AUGUST 14
4.	REVISIONS TO HAP SUBMISSION	AUGUST 14
5.	SUBMISSION FOR BLDG PERMIT	AUGUST 14
6.	REVISIONS TO HAP SUBMISSION	AUGUST 14
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PROJECT: <b>- CAPITAL PARK - HERITAGE HOUSES</b> 228 Dallas Road (524 Michigan Block) Victoria, BC		
SHEET TITLE: <b>CONTEXT AND SITE PLAN</b>		
SCALE	300 mm	A1.0
AS SHOWN	1:124 - 1517	
DATE PLOTTED	AUGUST 20, 2015	
DRAWN BY	NP/BC	



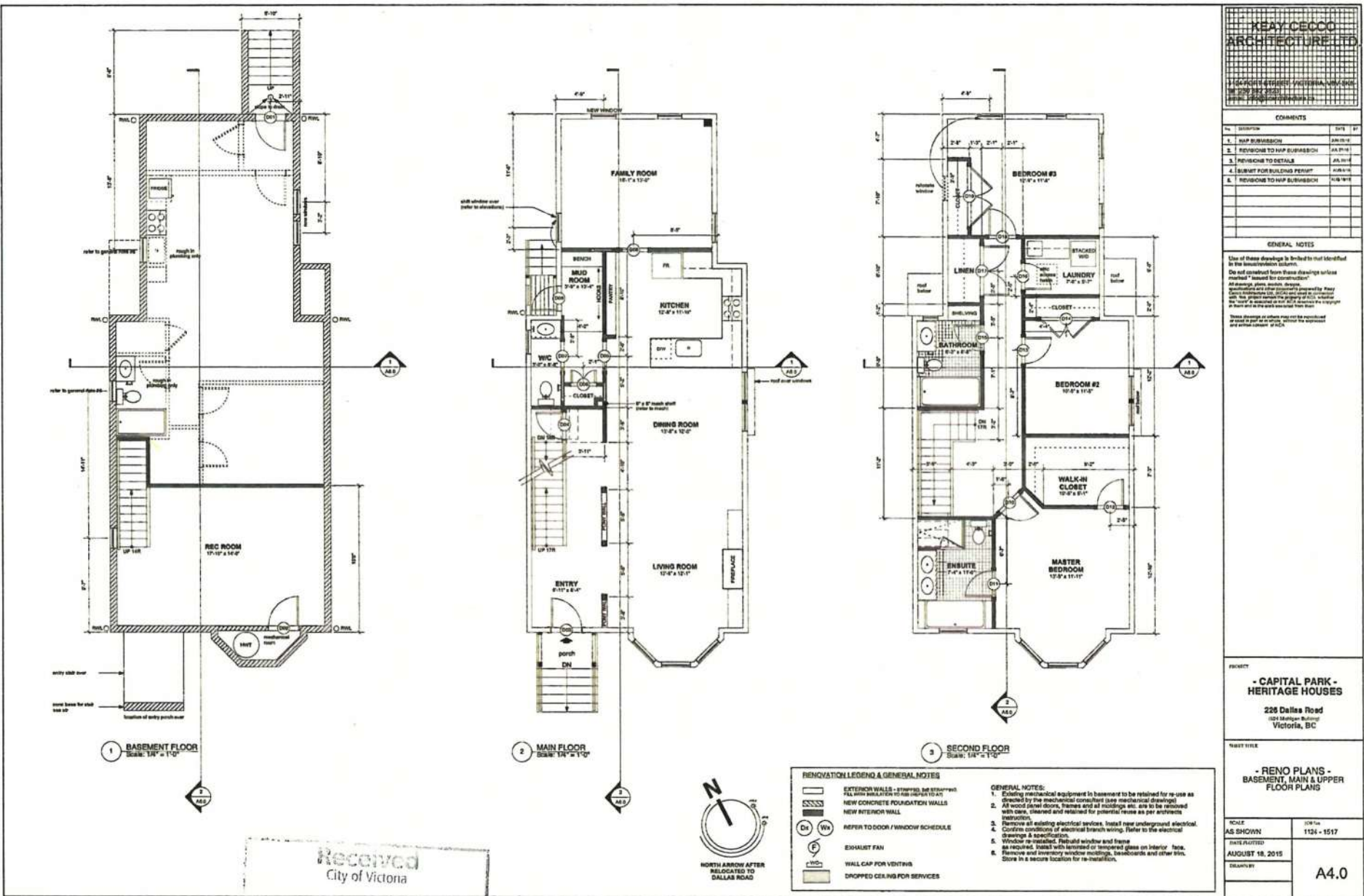
<b>KEAY CECCO ARCHITECTURE LTD</b> 1154 FORT STREET, VICTORIA, B.C. V8W 2E2 TEL: 250-383-1111 WWW.KCARCHITECTURE.COM																									
<b>COMMENTS</b> <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> <tr> <td>1.</td> <td>HWP SUBMISSION</td> <td>2015-10-15</td> <td></td> </tr> <tr> <td>2.</td> <td>REVISIONS TO HWP SUBMISSION</td> <td>2015-10-15</td> <td></td> </tr> <tr> <td>3.</td> <td>REVISIONS TO DETAILS</td> <td>2015-10-15</td> <td></td> </tr> <tr> <td>4.</td> <td>SUBMIT FOR BUILDING PERMIT</td> <td>2015-10-15</td> <td></td> </tr> <tr> <td>5.</td> <td>REVISIONS TO HWP SUBMISSION</td> <td>2015-10-15</td> <td></td> </tr> </table>		No.	Description	Date	By	1.	HWP SUBMISSION	2015-10-15		2.	REVISIONS TO HWP SUBMISSION	2015-10-15		3.	REVISIONS TO DETAILS	2015-10-15		4.	SUBMIT FOR BUILDING PERMIT	2015-10-15		5.	REVISIONS TO HWP SUBMISSION	2015-10-15	
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<b>PROPERTY</b> - CAPITAL PARK - HERITAGE HOUSES 225 Dallas Road 524 Michigan Building Victoria, BC																									
<b>DRAWING TITLE</b> 524 MICHIGAN PHOTOGRAPHS																									
<b>SCALE</b> AS SHOWN	<b>SCALE</b> 1/2" = 1'-0"																								
<b>DATE PLOTTED</b> AUGUST 18, 2015	<b>DATE</b> AUG 18 2015																								
<b>DRAWN BY</b>	<b>APPROVED BY</b> A2.0																								



Received  
 City of Victoria  
 AUG 18 2015  
 Planning & Development Department  
 Development Services Division





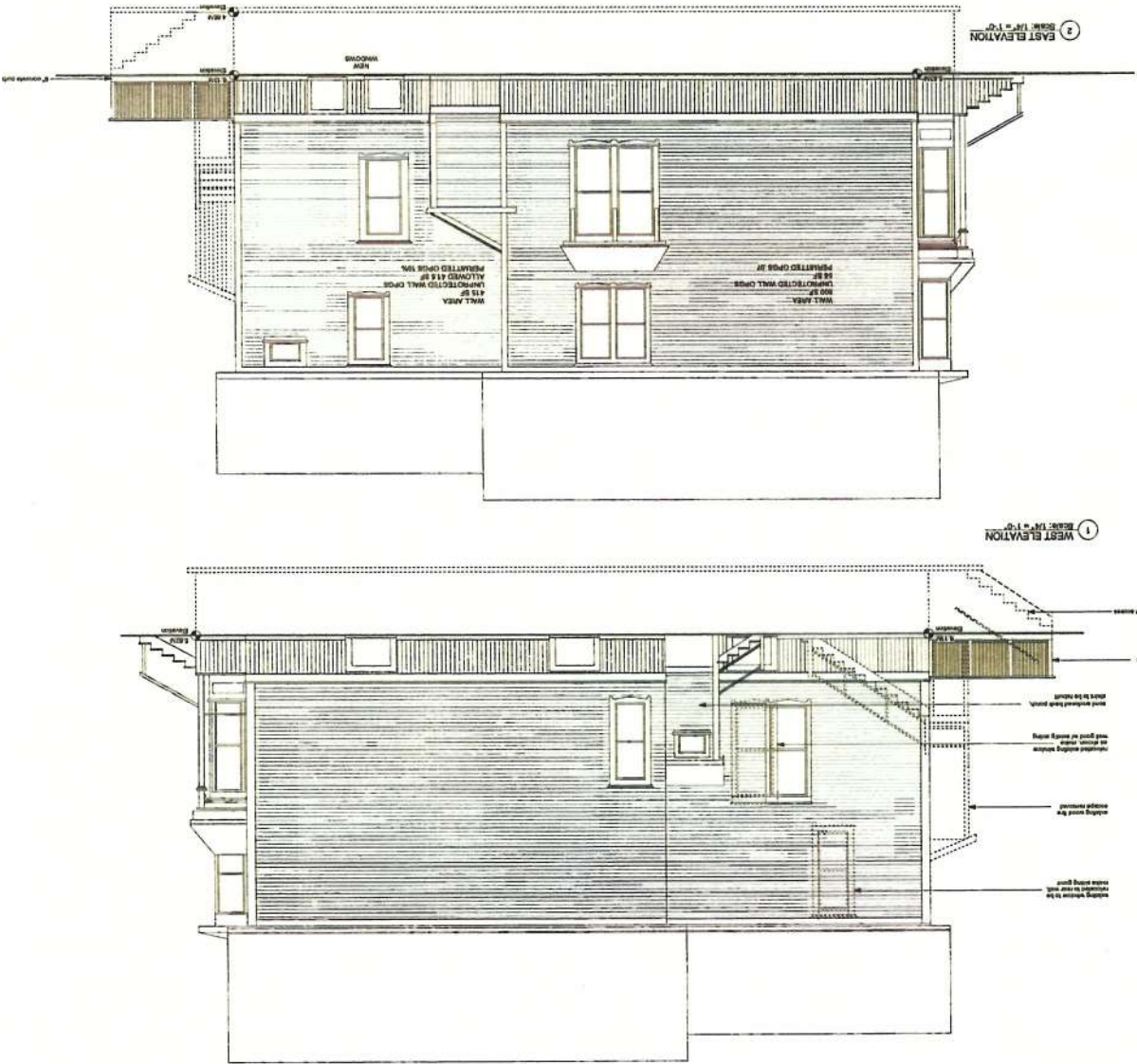






<b>KEAY CECCO</b> <b>ARCHITECTURE LTD.</b> 1540 COURT STREET - VICTORIA, B.C. V8W 2E2 TEL: 250.363.2500 FAX: 250.363.2501		
COMMENTS		
No.	DESCRIPTION	DATE
1.	HAP SUBMISSION	APR 15/15
2.	REVISIONS TO HAP SUBMISSION	JUL 20/15
3.	REVISIONS TO DETAILS	JUL 20/15
4.	SUBMIT FOR BUILDING PERMIT	AUG 4/15
5.	REVISIONS TO HAP SUBMISSION	AUG 18/15
GENERAL NOTES		
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PROJECT <b>- CAPITAL PARK - HERITAGE HOUSES</b> 228 Dallas Road (Old Morgan Building) Victoria, BC		
SHEET TITLE <b>- ELEVATIONS - NORTH &amp; SOUTH</b>		
SCALE AS SHOWN	DATE PLOTTED AUGUST 18, 2015	A5.0
DRAWN BY AUG 18 2015 Planning & Development Department Development Services Division		

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City of Victoria  
AUG 18 2015  
Planning & Development Department  
Development Services Division



PROJECT TITLE <b>HERITAGE PARK - CAPITAL PARK - HERITAGE HOUSES</b> 228 Dallas Road 1024 Metropark Building Victoria, BC		SCALE AS SHOWN 1/32" = 1/8"	DATE AUGUST 18, 2015	DESIGNER AS.1
GENERAL NOTES 1. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. 2. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 3. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 4. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 5. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.				
COMMENTS 1. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. 2. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 3. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 4. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 5. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.				



KEY CECCO  
ARCHITECTURE LTD.  
1000 HIGH STREET VICTORIA, B.C. V8W 2G8  
TEL: 250-383-2880  
WWW.KEYCECCOARCHITECTURE.COM

COMMENTS		
No.	DESCRIPTION	DATE
1.	HWP SUBMISSION	JAN 16/15
2.	REVISIONS TO HWP SUBMISSION	JAN 27/15
3.	REVISIONS TO DETAILS	JAN 30/15
4.	SUBMIT FOR BUILDING PERMIT	AUG 4/15
5.	REVISIONS TO HWP SUBMISSION	AUG 16/15

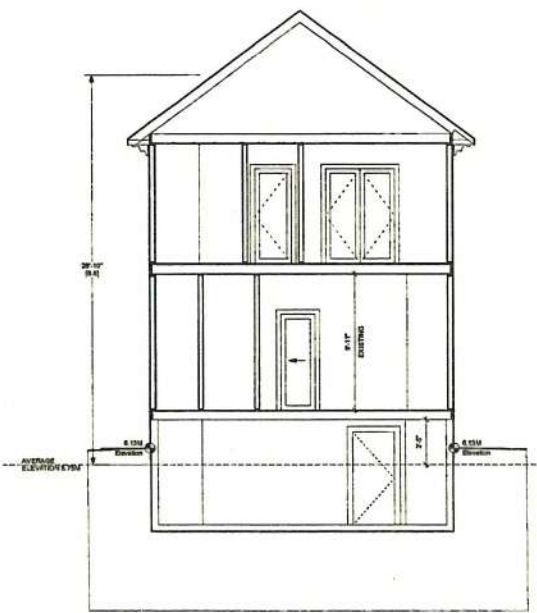
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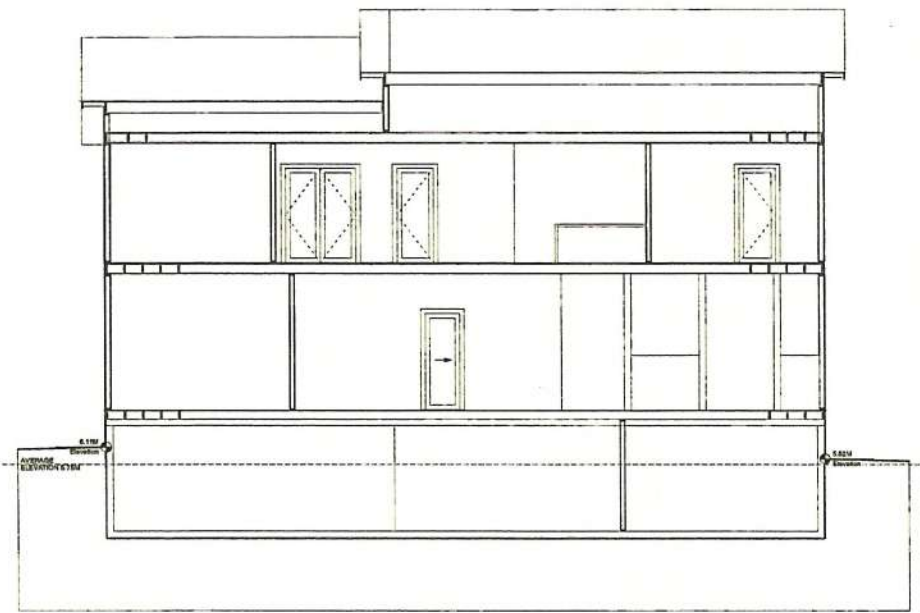
PROJECT  
- CAPITAL PARK -  
HERITAGE HOUSES  
226 Dallas Road  
203 Morgan Road  
Victoria, BC

WEEK TITLE  
- SECTIONS -

SCALE AS SHOWN	DATE 11/04 - 15/17
DATE RATED AUGUST 18, 2015	A6.0
DRAWN BY	



1 SECTION - A  
Scale: 1/4" = 1'-0"



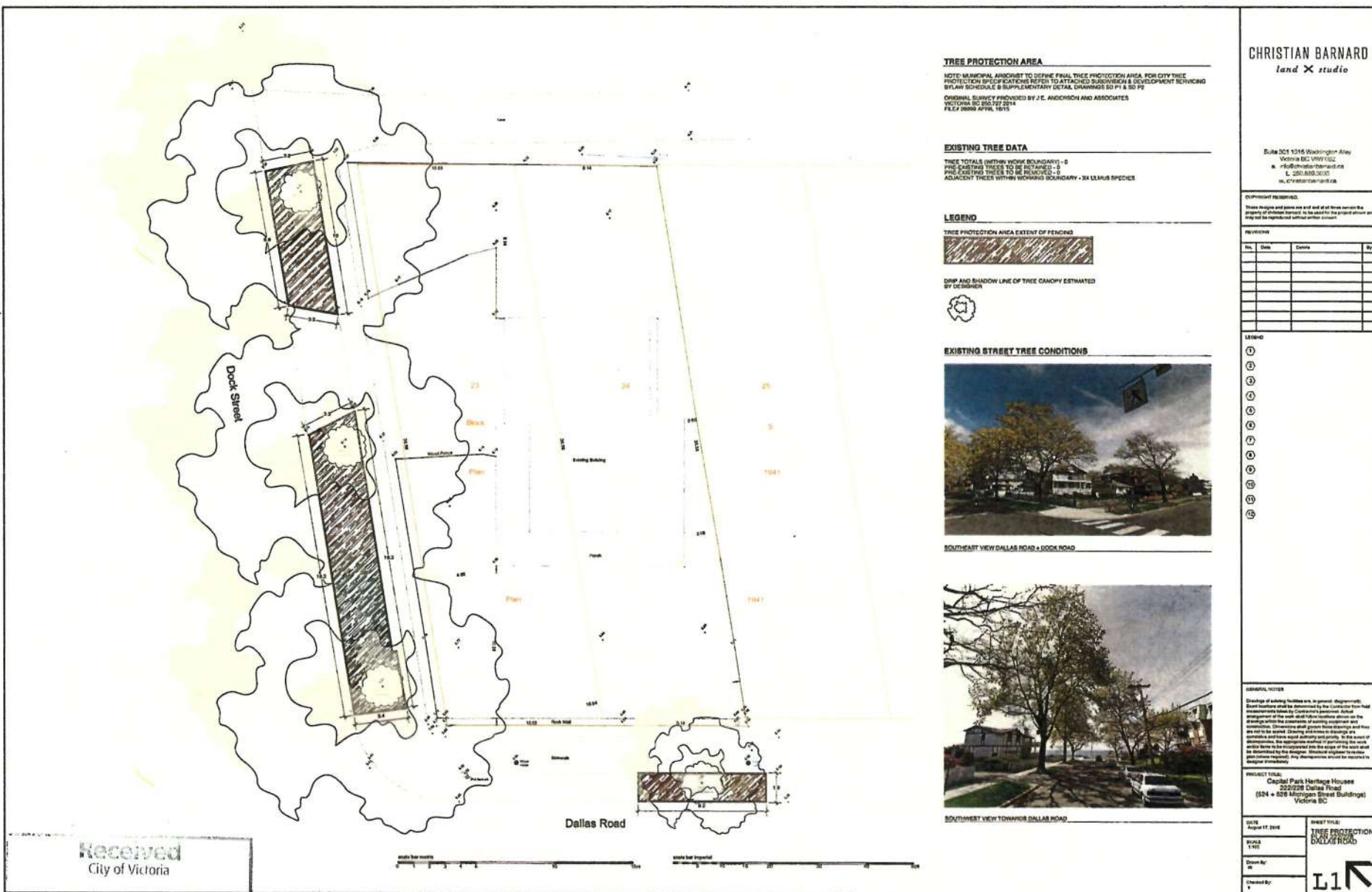
2 SECTION - B  
Scale: 1/4" = 1'-0"

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Development Services Division

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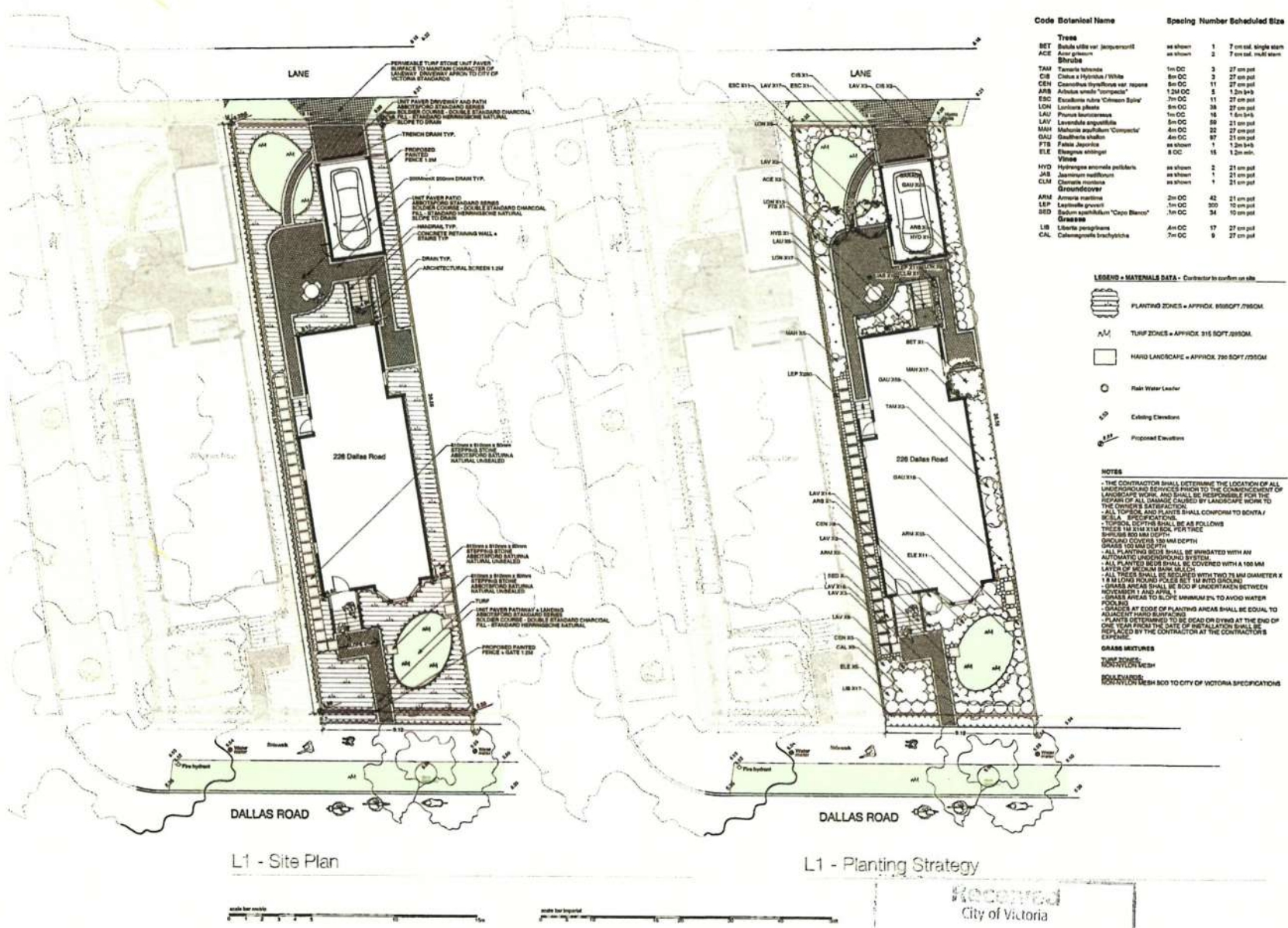
Planning & Development Department  
Development Services Division





AUG 18 2015

Planning & Development Department  
Development Services Division



Code	Botanical Name	Spacing	Number	Scheduled Size
<b>Trees</b>				
BET	Betula utilis var. jacquemontii	as shown	1	7 cm cal. single stem
ACE	Acer glabrum	as shown	2	7 cm cal. multi stem
<b>Shrubs</b>				
TAM	Taxus canadensis	1m OC	3	27 cm pot
CIB	Chamaecyparis x hybrid / White	8m OC	3	27 cm pot
CEN	Camellia sasanqua var. nana	8m OC	11	27 cm pot
ARB	Arbutus unedo "compacta"	12m OC	5	1.2m shrub
ESC	Euonymus alatus "Compacta"	7m OC	11	27 cm pot
LOH	Lonicera xylon	8m OC	38	27 cm pot
LAU	Laubmoos	1m OC	16	1.6m shrub
LAU	Laubmoos	8m OC	89	27 cm pot
MAH	Malus x hybrid "Compacta"	4m OC	32	27 cm pot
GAU	Gaultheria procumbens	4m OC	97	27 cm pot
FTS	Fuchsia x hybrid	as shown	1	1.2m shrub
ELE	Eleagnus x hybrid	8 OC	15	1.2m shrub
<b>Vines</b>				
HYD	Hydrangea anomala pectunculata	as shown	2	21 cm pot
JAB	Jacquemontia x hybrid	as shown	1	21 cm pot
CLM	Clintonia x hybrid	as shown	1	21 cm pot
<b>Groundcover</b>				
ANU	Anemone x hybrid	2m OC	42	21 cm pot
LEP	Leptodermis x hybrid	1m OC	300	10 cm pot
SED	Sedum x hybrid	1m OC	34	10 cm pot
<b>Grasses</b>				
LIB	Liberia x hybrid	4m OC	17	27 cm pot
CAL	Calamagrostis x hybrid	7m OC	9	27 cm pot

- LEGEND - MATERIALS DATA - Contractor to confirm on site**
- PLANTING ZONES - APPROX. 800 SQFT / 750 SQM
  - TURF ZONES - APPROX. 315 SQFT / 290 SQM
  - HARD LANDSCAPE - APPROX. 790 SQFT / 730 SQM
  - Rain Water Leader
  - Existing Elevation
  - Proposed Elevation

**NOTES**

- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO THE COMMENCEMENT OF LANDSCAPE WORK, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGE CAUSED BY LANDSCAPE WORK TO THE OWNER'S SATISFACTION.
- ALL TOPSOIL AND PLANTS SHALL CONFORM TO BONTA / BELLA SPECIFICATIONS.
- TYPICAL DEPTHS SHALL BE AS FOLLOWS:
  - 1.5m (51" MIN) FOR TREE
  - 1.0m (33" MIN) FOR SHRUB
  - 0.5m (18" MIN) FOR GROUND COVER
- ALL PLANTING SOILS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANTED SOILS SHALL BE COVERED WITH A 100 MM LAYER OF WEED MAT.
- ALL TREES SHALL BE SECURED WITH TWO 75 MM DIAMETER X 1.8 M LONG POLES SET 1.8 M INTO GROUND.
- GRASS AREAS SHALL BE 800 P / 1000 P UNDETAILED BETWEEN 100 MM X 1 AND 100 MM X 100 MM.
- GRASS AREAS TO BE SLOPE MINIMUM 2% TO AVOID WATER POOLS.
- ALL EDGES OF PLANTING AREAS SHALL BE EQUAL TO ADJACENT HARD SURFACES.
- PLANTS ORDERED TO BE USED OR DIVIDED BY THE END OF ONE YEAR FROM THE DATE OF INSTALLATION SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

**GRASS MIXTURES**

- PERMANENT TURF
- PERMANENT TURF

**SOILS**

- TOPSOIL: 100 MM BSH TO CITY OF VICTORIA SPECIFICATIONS

**CHRISTIAN BARNARD**  
land x studio

Suite 201 1315 Westport Alley  
Victoria BC V8M 1G3  
info@christianbarnard.ca  
L 250.888.1000  
www.christianbarnard.ca

CONTRACT NO. 15010101  
These drawings and plans are to be used as a guide only and do not constitute a contract. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

No.	Date	Revised	By
1	Aug 11, 2015	1	Christian Barnard
2	Aug 11, 2015	2	Christian Barnard

LEGAL DESCRIPTION:  
LOT 228, BLOCK 1, SECTION 28  
RECYCLED PARK, VICTORIA, PLAN 1941

GENERAL NOTES

Drawings of existing facilities are, in general, only approximate. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

PROJECT TITLE:  
Capital Park Heritage Houses  
228 Dallas Road  
(525 Michigan Building)  
Victoria BC

DATE	BY	REVISION
Aug 11, 2015	Christian Barnard	1

Drawn By:  
Christian Barnard

Checked By:  
Christian Barnard

Project Title:  
SITE PLAN +  
LANDSCAPE  
228 DALLAS ROAD

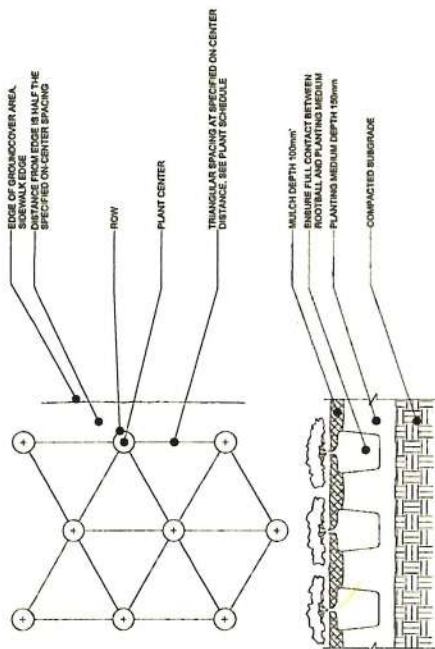
L2

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City of Victoria

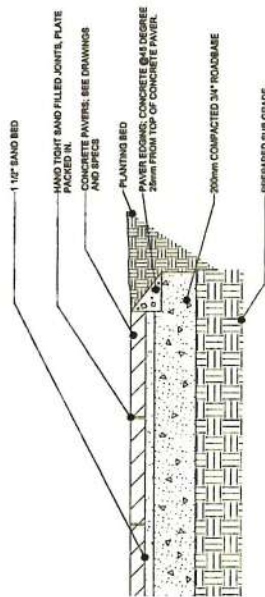
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[illegible]

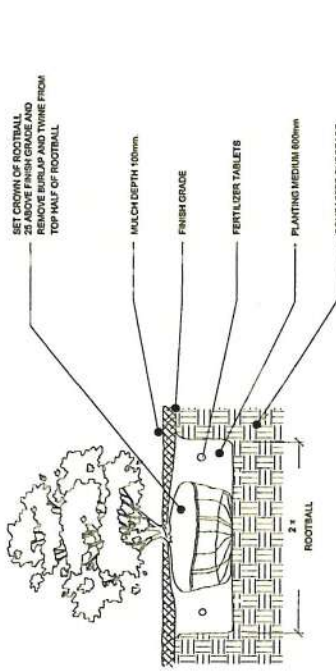
5 GROUND COVER PLANTING TYP.  
SCALE: NTS



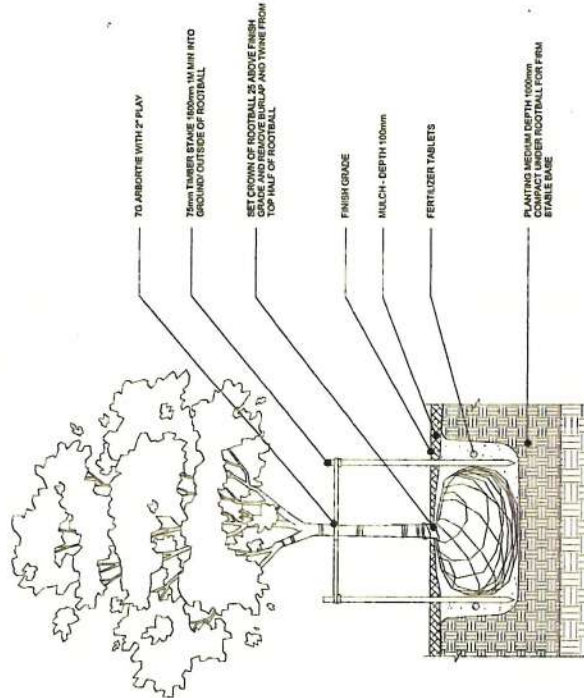
4 UNIT PAVER TYP.  
SCALE: 1" = 1'-0"



3 LAWN ON GRADE TYP.



2 SHRUB PLANTING TYP.  
SCALE: NTS



1 TREE PLANTING ON GRADE  
SCALE: NTS

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City of Victoria  
AUG 18 2015  
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Development Services Division



# CAPITAL PARK - HERITAGE BUILDINGS 222 DALLAS ROAD (526 MICHIGAN BUILDING)



**ARCHITECTURAL:**  
**KEY CECCO ARCHITECTURE LTD.**  
 CONTACT: JOHN KEAY  
 Phone: 250.382.3823  
 Email: john@keayarchitecture.ca

A0.0 TITLE SHEET  
 A1.0 SITE PLAN  
 A2.0 PHOTOGRAPHS  
 A3.0 DEMO PLANS  
 A4.0 RENO PLANS  
 A5.0 ELEVATIONS  
 A6.0 SECTIONS  
 A6.1 GARAGE  
 A7.0 DETAILS

**STRUCTURAL:**  
**READ JONES CHRISTOFFERSEN**  
 CONTACT: LEON PLETT  
 Phone: 250.386.7784  
 Email: lplett@rjc.ca

S101, 2, 3, 4, 5  
 GENERAL NOTES AND  
 TYPICAL DETAILS  
 S201 FOUNDATION AND MAIN  
 FLOOR FRAMING PLANS  
 WITH SECOND FLOOR OVER  
 S202 SECOND FLOOR WITH THIRD  
 FLOOR FRAMING WITH ROOF  
 OVER  
 S203 GARAGE FOUNDATION & MAIN  
 FLOOR WITH ROOF FRAMING  
 OVER  
 S301 SECTIONS AND DETAILS

**MECHANICAL:**  
**WSP CANADA INC.**  
 CONTACT: PAUL TIMMINS & MIKE DEAN  
 Phone: 250.384.5610  
 Email: paul.timmins@wspgroup.com

M001 LEGEND & DRAWING LIST  
 M100 PLUMBING FLOOR PLANS  
 M101 PLUMBING DETAILS & GARAGE  
 M102 PLUMBING SCHEMATICS  
 M200 HVAC FLOOR PLANS  
 M201 HVAC DETAILS

**ELECTRICAL:**  
**APPLIED ENGINEERING SOLUTIONS LTD.**  
 CONTACT: JAY SINGH  
 Phone: 250.381.8121  
 Email: jsingh@appliedengineering.ca

E100 SITE PLAN, DETAILS & LEGEND  
 E200 ELECTRICAL LAYOUT  
 E300 SPECIFICATIONS

**CIVIL:**  
**WSP CANADA INC.**  
 CONTACT: STEPHEN CHILDS  
 Phone: 250.384.5510  
 Email: stephen.childs@wspgroup.com

C02 SITE SERVICES PLAN

**CODE CONSULTANT:**  
**GHL CONSULTANTS LTD.**  
 CONTACT: FRANKIE VICTOR  
 Phone: 604.689.4449  
 Email: fv@ghl.ca

ATTACHED LETTER

**LANDSCAPE:**  
**CHRISTIAN BARNARD LAND STUDIO**  
 CONTACT: CHRISTIAN BARNARD  
 Phone: 250.889.3033  
 Email: info@christianbarnard.ca

L1 TREE PROTECTION PLAN  
 L2 SITE PLAN  
 L3 SPECIFICATIONS

**INTERIOR DESIGNER:**  
**KYLA BIDGOOD INTERIOR DESIGN**  
 CONTACT: KYLA BIDGOOD  
 Phone: 250.589.0852  
 Email: kyle@kylabidgood.com

ID-1.00 SCHEDULES & SPECIFICATIONS  
 ID-1.01 SCHEDULES & SPECIFICATIONS  
 ID-2.00 FLOOR PLANS  
 ID-3.00 RCP  
 ID-5.00 KITCHEN FLOOR PLANS & ELEV.  
 ID-5.01 WIC FLOOR PLANS & ELEV.  
 ID-5.02 WIG FLOOR PLANS & ELEV.  
 ID-5.03 STAIRS & LIVING ROOM ELEV.  
 ID-5.04 STAIRS & LIVING ROOM ELEV.  
 ID-6.00 KITCHEN SECTIONS  
 ID-6.01 BATHROOM SECTIONS  
 ID-6.02 BATHROOM SECTIONS  
 ID-7.00 DETAILS

**HERITAGE CONSULTANT:**  
**DONALD LUXTON AND ASSOCIATES INC.**  
 CONTACT: DONALD LUXTON  
 Phone: 604.888.1216  
 Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015



COMMENTS		
No.	DESCRIPTION	DAYS
1.	WSP SUBMISSION	2015-01-11
2.	REVISIONS TO WSP SUBMISSION	2015-01-11
3.	REVISIONS TO DETAILS	2015-01-11
4.	SUBMISSION FOR BLDG PERMIT	2015-01-11
5.	REVISIONS TO WSP SUBMISSION	2015-01-11

**GENERAL NOTES**

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**- CAPITAL PARK - HERITAGE HOUSES**  
 222 Dallas Road  
 128 Michigan Building  
 Victoria, BC

**- TITLE SHEET -**

SCALE AS SHOWN	DATE AUGUST 18, 2015	DATE AUGUST 18, 2015
SCALE 1:24 - 1:12	DATE AUGUST 18, 2015	DATE AUGUST 18, 2015
SCALE 1:24 - 1:12	DATE AUGUST 18, 2015	DATE AUGUST 18, 2015

A0.0







KEY: CECO ARCHITECTURE LTD			
PROJECT: 526 MICHIGAN AVENUE, NEW YORK, NY 10022			
DATE: 08/01/2015			
COMMENTS			
NO.	REVISION	DATE	BY
1.	HAP SUBMISSION	AUG/01/15	
2.	REVISIONS TO HAP SUBMISSION	JUL/30/15	
3.	REVISIONS TO DETAILS	JUL/30/15	
4.	SUBMISSION FOR ELDO PERMIT	AUG/24/15	
5.	REVISIONS TO HAP SUBMISSION	AUG/10/15	
6.			
GENERAL NOTES			
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<p>PROJECT</p> <p><b>- CAPITAL PARK HERITAGE HOUSES</b></p> <p>222 Dallas Road Jedi Mortgage Building Victoria, BC</p>			
<p>WORK TITLE</p> <p><b>526 MICHIGAN PHOTOGRAPHS</b></p>			
<p>SCALE</p> <p>AS SHOWN</p> <p>DATE PLOTTED</p> <p>AUGUST 18, 2015</p> <p>DESIGNED BY</p>		<p>R/W No</p> <p>1124 - 1517</p> <p><b>A2.0</b></p>	

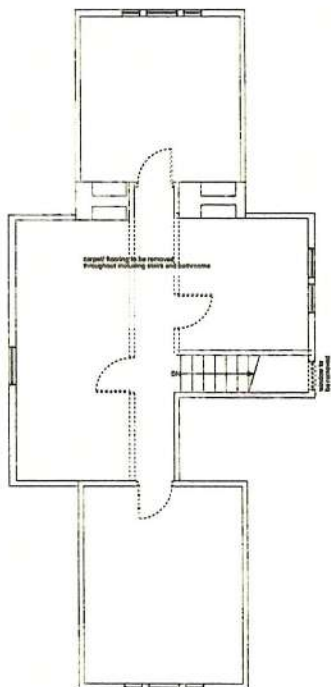
## Planning and Land Use Committee - 01 Oct 2015

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City of Victoria

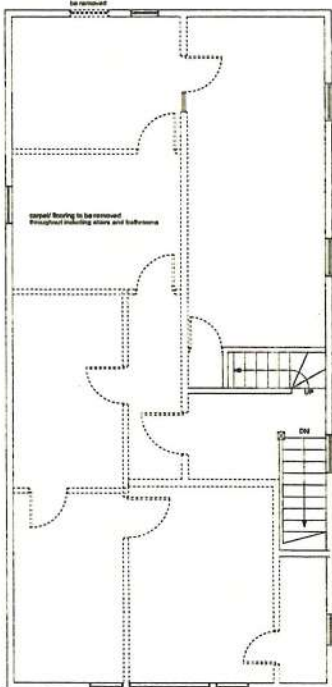
AUG 18 2015

Planning & Development Department  
Development Services Division

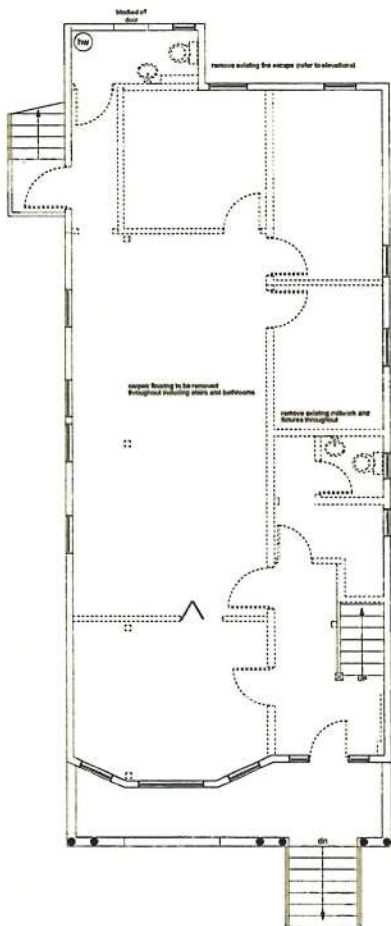
<b>KEY CECCO ARCHITECTURE LTD</b> 1440 PORT ARTHUR VICTORIA, B.C. V8N 1A1 TEL: 250-383-2222 FAX: 250-383-2223 WWW.KEYCECCO.COM			
<b>COMMENTS</b>			
NO.	DESCRIPTION	DATE	BY
1.	HAP SUBMISSION	JAN-10-15	
2.	REVISIONS TO HAP SUBMISSION	JAN-10-15	
3.	REVISIONS TO DETAILS	JAN-10-15	
4.	SUBMISSION FOR BLDG PERMIT	FEB-10-15	
5.	REVISIONS TO HAP SUBMISSION	MAR-10-15	
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<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 222 Dallas Road 8000 Morgan Heights Victoria, BC			
<b>NOTES</b> - DEMO PLANS - BASEMENT, MAIN, SECOND & TOP FLOOR PLANS			
SCALE	DATE	AS SHOWN 1124 - 1517 AUGUST 18, 2015 DRAWN BY	
		A3.0	



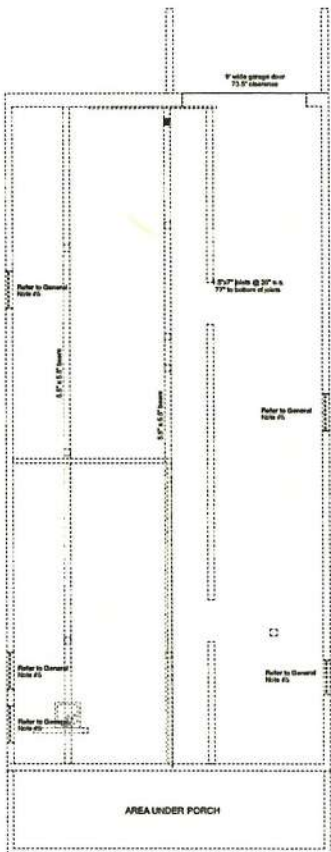
4 TOP FLOOR  
Scale: 1/4" = 1'-0"



3 SECOND FLOOR  
Scale: 1/4" = 1'-0"



2 MAIN FLOOR  
Scale: 1/4" = 1'-0"



1 BASEMENT FLOOR  
Scale: 1/4" = 1'-0"

**DEMOLITION LEGEND & GENERAL NOTES**

- EXISTING WALLS - CONCRETE/STUCCO TO REMAIN
- EXISTING WALLS - TO BE STRIPPED OF CONCRETE/STUCCO
- WALLS TO BE REMOVED
- REFER TO DOOR SCHEDULE

**GENERAL NOTES:**

1. All wood panel doors, frames and all moldings etc. are to be removed with care, catalogued, cleared and retained for potential reuse as per architect's instructions, and the door and window schedules.
2. Remove radiators and heating lines (see mechanical drawings).
3. Remove and dispose of all existing electrical panels and equipment as per electrical drawings.
4. Confirm condition of electrical branch wiring. Review with the electrical consultant. Refer to the electrical drawings & specifications.
5. Windows and trim in existing foundation wall to be removed with care and stored for re-use in new foundation.
6. Remove all existing fixtures and plumbing (to be replaced with new).
7. Remove all plaster/mortar ceilings (and floor where applicable).
8. Remove all carpet, vinyl tile, rubber base trim and window coverings.
9. Remove all ceiling lines.
10. Remove and store any equipment, artifacts as directed by the Architect.
11. Refer to the specifications. It is to be used in conjunction with these drawings.
12. Protect all openings created by this contract during strip-out and moving.
13. Provide security to Owner's specification.

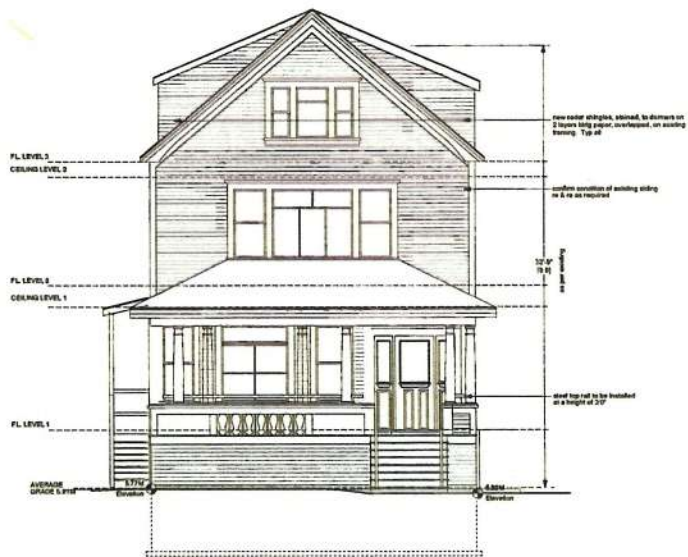
Received  
City of Victoria

AUG 18 2015

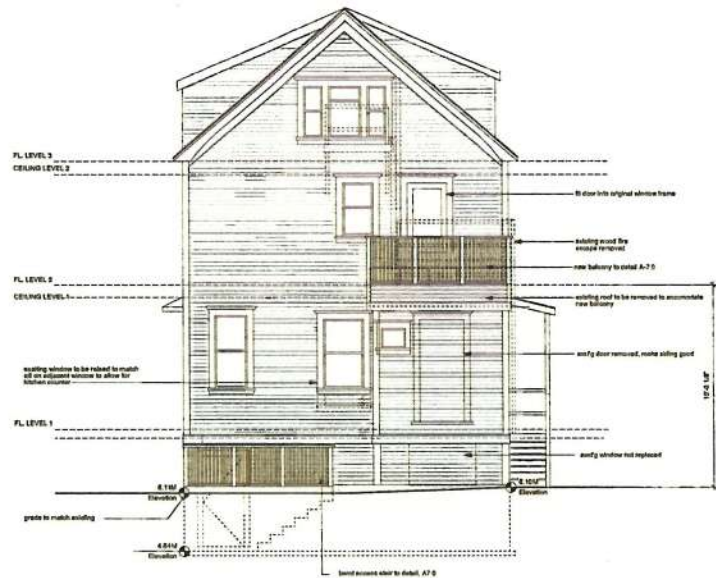
Planning & Development Department  
Development Services Division



<b>KEY: CECOCO ARCHITECTURE LTD.</b> 100-115 HIGHWAY 10 VICTORIA, BC V8N 1A1 TEL: 250-383-1111 FAX: 250-383-1112	
<b>COMMENTS</b> 1. JWP SUBMISSION 2. REVISIONS TO JWP SUBMISSION 3. REVISIONS TO DETAILS 4. SUBMISSION FOR BLDG PERMIT 5. REVISIONS TO JWP SUBMISSION	
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<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 222 Dallas Road 1005 Midway Building Victoria, BC	<b>SCALE</b> AS SHOWN DATE PLOTTED AUGUST 18, 2015 DRAWN BY
<b>RENO PLANS - BASEMENT, MAIN, SECOND &amp; TOP FLOOR PLANS</b>	<b>SCALE</b> 1/4" = 1'-0" 1/2" = 1'-0" 3/4" = 1'-0" 1" = 1'-0" 1 1/4" = 1'-0" 1 1/2" = 1'-0" 1 3/4" = 1'-0" 2" = 1'-0" 2 1/4" = 1'-0" 2 1/2" = 1'-0" 2 3/4" = 1'-0" 3" = 1'-0" 3 1/4" = 1'-0" 3 1/2" = 1'-0" 3 3/4" = 1'-0" 4" = 1'-0" 4 1/4" = 1'-0" 4 1/2" = 1'-0" 4 3/4" = 1'-0" 5" = 1'-0" 5 1/4" = 1'-0" 5 1/2" = 1'-0" 5 3/4" = 1'-0" 6" = 1'-0" 6 1/4" = 1'-0" 6 1/2" = 1'-0" 6 3/4" = 1'-0" 7" = 1'-0" 7 1/4" = 1'-0" 7 1/2" = 1'-0" 7 3/4" = 1'-0" 8" = 1'-0" 8 1/4" = 1'-0" 8 1/2" = 1'-0" 8 3/4" = 1'-0" 9" = 1'-0" 9 1/4" = 1'-0" 9 1/2" = 1'-0" 9 3/4" = 1'-0" 10" = 1'-0" 10 1/4" = 1'-0" 10 1/2" = 1'-0" 10 3/4" = 1'-0" 11" = 1'-0" 11 1/4" = 1'-0" 11 1/2" = 1'-0" 11 3/4" = 1'-0" 12" = 1'-0" 12 1/4" = 1'-0" 12 1/2" = 1'-0" 12 3/4" = 1'-0" 13" = 1'-0" 13 1/4" = 1'-0" 13 1/2" = 1'-0" 13 3/4" = 1'-0" 14" = 1'-0" 14 1/4" = 1'-0" 14 1/2" = 1'-0" 14 3/4" = 1'-0" 15" = 1'-0" 15 1/4" = 1'-0" 15 1/2" = 1'-0" 15 3/4" = 1'-0" 16" = 1'-0" 16 1/4" 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1 South Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"

KEAY CECCO  
ARCHITECTURE LTD.  
1000 HURONTARIO STREET, SUITE 200  
TORONTO, ONTARIO M5S 1A5  
TEL: (416) 593-8888  
WWW.KCARCHITECTURE.COM

COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP SUBMISSION	JAN 14/15
2.	REVISIONS TO HAP SUBMISSION	JUL 15/15
3.	REVISIONS TO DETAILS	JUL 15/15
4.	SUBMISSION FOR BLDG PERMIT	OCT 14/15
5.	REVISIONS TO HAP SUBMISSION	MAY 14/15

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PROJECT

**- CAPITAL PARK -  
HERITAGE HOUSES**

222 Dallas Road  
(old Mulligan Building)  
Victoria, BC

SHEET TITLE

**- ELEVATIONS -  
NORTH & SOUTH**

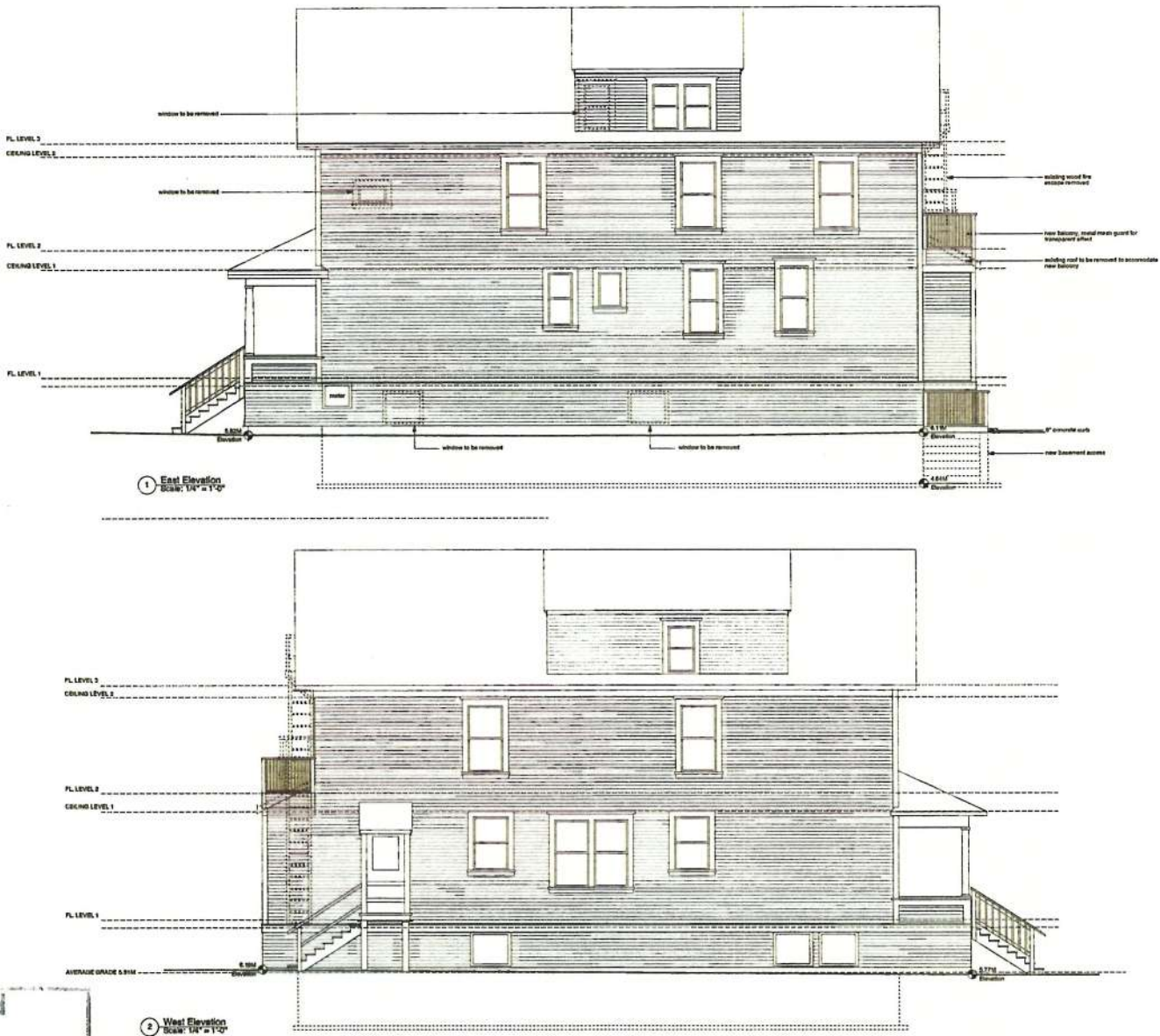
SCALE	FOR TYP
AS SHOWN	1/32" = 1'-0"
DATE PLOTTED	
AUGUST 18, 2015	
DRAWN BY	
	A5.0

Received  
City of Victoria

AUG 18 2015

Planning & Development Department  
Development Services Division





**KEAY CECCO  
ARCHITECTURE LTD.**  
1104 HURONTARIO STREET, SUITE 200, MISSISSAUGA, ONTARIO L4V 1P5  
TEL: 905.876.8800  
WWW.KEAYCECCO.COM

COMMENTS		
NO.	DESCRIPTION	DATE
1.	HAP SUBMISSION	JAN 15/15
2.	REVISIONS TO HAP SUBMISSION	AUG 15/15
3.	REVISIONS TO DETAILS	JUL 20/15
4.	SUBMISSION FOR BLDG PERMIT	AUG 14/15
5.	REVISIONS TO HAP SUBMISSION	AUG 15/15

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**PROJECT**  
- CAPITAL PARK -  
HERITAGE HOUSES  
222 Dallas Road  
1025 Morgan Building  
Victoria, BC

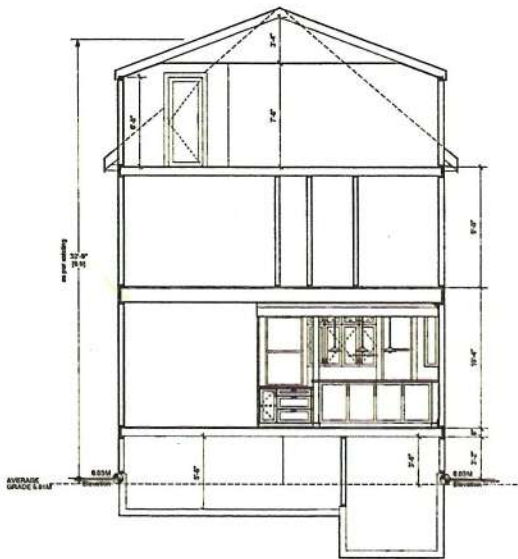
**PROJECT TITLE**  
- ELEVATIONS -  
EAST & WEST

SCALE AS SHOWN	DATE PLOTTED AUGUST 18, 2015	DRW No. 1124 - 1517
DESIGNER		A5.1

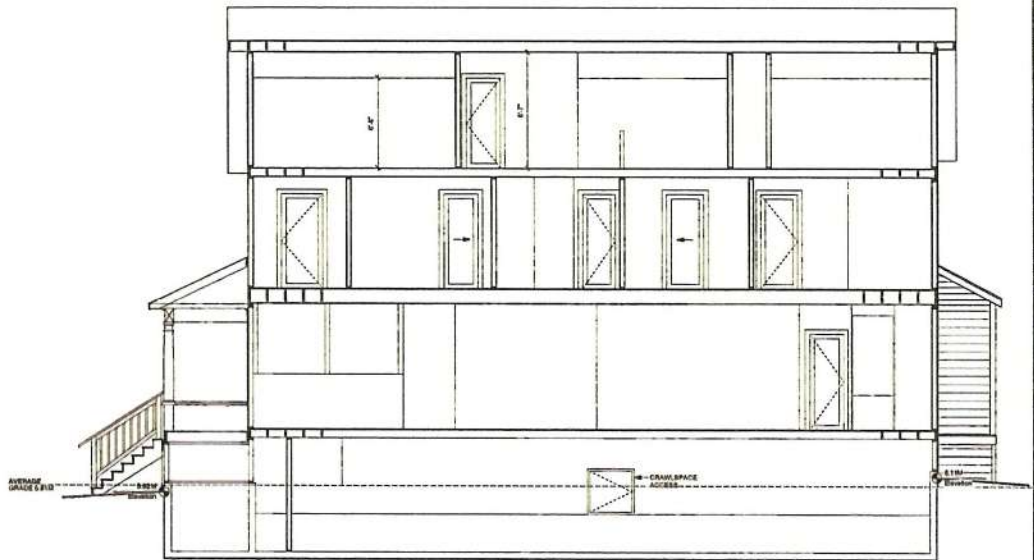
Received  
City of Victoria

AUG 18 2015

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1 SECTION - A  
Scale: 1/4" = 1'-0"

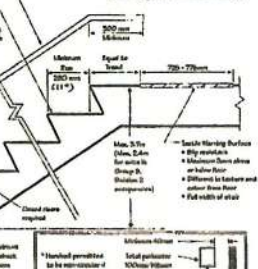


2 SECTION - B  
Scale: 1/4" = 1'-0"

**Typical Stair & Handrail Details (NTS)**

- Treads & risers should be uniform in a flight.
- Uniform voids between treads and nosings, they are not allowed to cross.
- Uniform nosings at stairs to 200mm maximum vertically from nosing edge.
- Refer to B.C. Building Code for actual nosing and complete requirements.

Handrail 300mm diameter  
Minimum 400mm clear of wall, nosing and other 10mm.  
(Minimum nosing required not less than 100mm)



Graham Harroworth Ltd & Associates Ltd  
Residential alteration and renovation, new construction, etc. (See Professional Engineering)

3 TYPICAL STAIR & HANDRAIL DETAIL  
Scale: 1" = 1'-0"

KEAY CECCO  
ARCHITECTURE LTD  
1000 WEST STREET, VICTORIA, B.C. V8M 1Y1  
TEL: 250-383-2500  
FAX: 250-383-2501

COMMENTS	
1. HAP SUBMISSION	APR 15/15
2. REVISIONS TO HAP SUBMISSION	JUL 20/15
3. REVISIONS TO DETAILS	JUL 20/15
4. SUBMISSION FOR BLDG PERMIT	AUG 18/15
5. REVISIONS TO HAP SUBMISSION	AUG 18/15

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PROJECT  
**- CAPITAL PARK - HERITAGE HOUSES**  
222 Dallas Road  
1000 St. James Building  
Victoria, BC

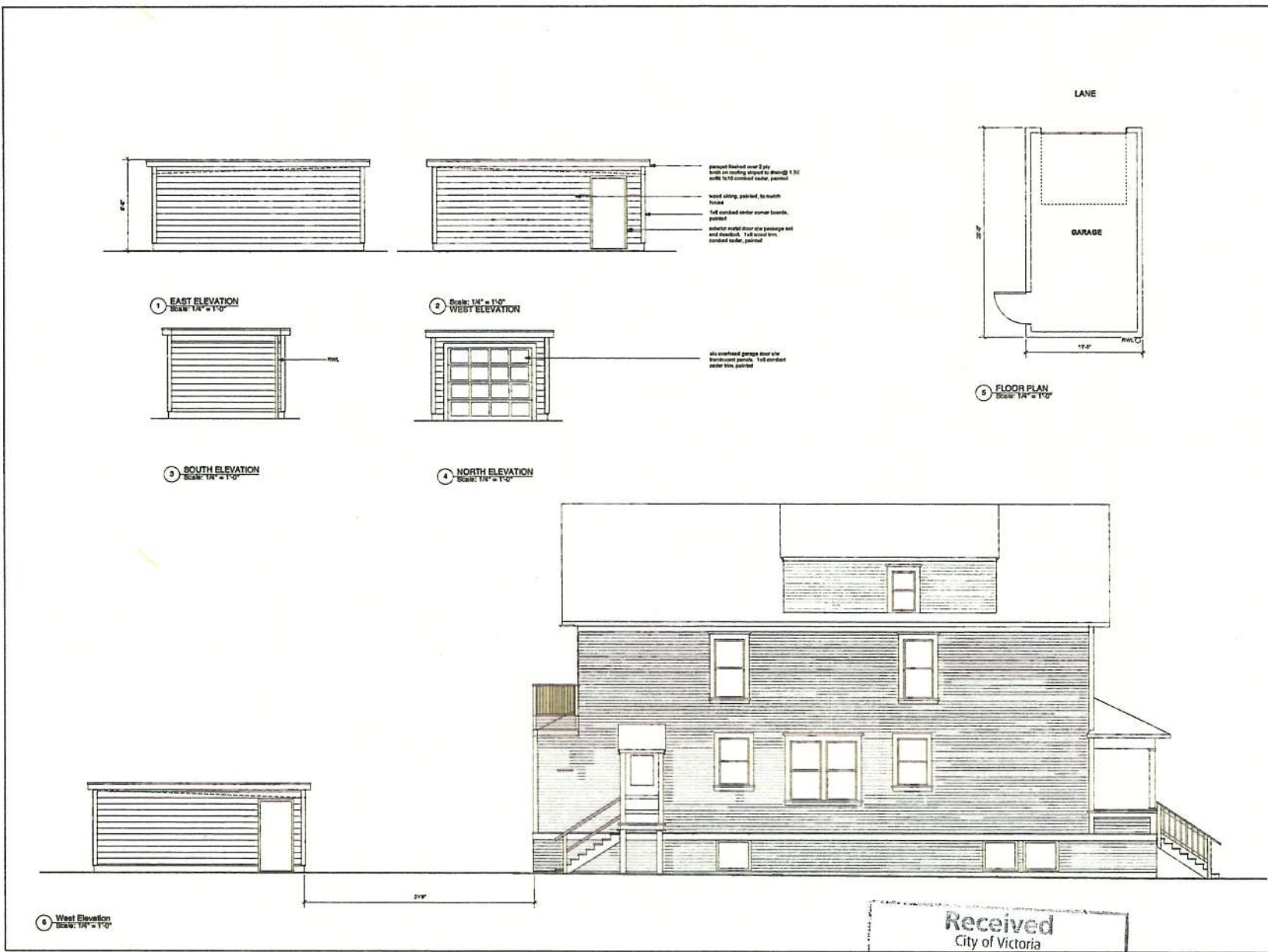
SHEET TITLE  
**SECTIONS & STAIR DETAIL**

SCALE AS SHOWN	JOB No. 1124 - 1517
DATE PLOTTED AUGUST 18, 2015	
DRAWN BY	A 6.0

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AUG 18 2015  
Planning & Development Department  
Development Services Division



<b>KEY &amp; CECOCO</b> <b>ARCHITECTURE LTD.</b> 1140 PETER STREET, VICTORIA, BC V8M 1Y1 TEL: 250-383-1111		
<b>COMMENTS</b>		
No.	Description	Date
1.	HAP SUBMISSION	AUG 10/15
2.	REVISIONS TO HAP SUBMISSION	JUL 20/15
3.	REVISIONS TO DETAILS	AUG 10/15
4.	SUBMISSION FOR BLDG PERMIT	AUG 10/15
5.	REVISIONS TO HAP SUBMISSION	AUG 10/15
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<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 222 Dallas Road Victoria, BC		
<b>SHED TITLE</b> GARAGE		
<b>SCALE</b> AS SHOWN DATE PLOTTED AUGUST 18, 2015 DRAWN BY	1/4" = 1'-0" 11/24 - 1517 A 6.1	



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AUG 18 2015  
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CHRISTIAN BARNARD  
land X studio

Suite 201 1215 Westgrain Alley  
Victoria BC V8W 0D2  
A. - info@christianbarnard.ca  
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www.christianbarnard.ca

EXHIBIT INFORMATION  
These drawings and plans are not and shall not be made the property of Christian Barnard, to be kept for the project shown and they will be destroyed without further consent.

Rev.	Date	Describe	By

LEGEND

- ①
- ②
- ③
- ④
- ⑤
- ⑥
- ⑦
- ⑧
- ⑨
- ⑩
- ⑪
- ⑫

GENERAL NOTES  
Drawings of existing facilities are, to general, representative of the existing conditions and are not to be construed as a guarantee of accuracy. The Contractor is responsible for verifying the accuracy of the existing conditions and for obtaining all necessary permits and approvals. The Contractor shall protect the existing facilities and shall be responsible for the replacement of any damaged facilities. The Contractor shall be responsible for the removal of any debris and for the restoration of the site to its original condition. The Contractor shall be responsible for the removal of any debris and for the restoration of the site to its original condition. The Contractor shall be responsible for the removal of any debris and for the restoration of the site to its original condition.

PROJECT TITLE  
Capital Park Heritage Houses  
222-228 Dallas Road  
524 + 526 Michigan Street Buildings  
Victoria BC

DATE  
August 17, 2015  
SCALE  
1" = 100'  
Drawn By  
AB  
Checked By  
CB

TREE PROTECTION  
DALLAS ROAD  
L1

# TREE PROTECTION AREA

NOTE: MUNICIPAL ANNOTATION TO DEFINE FINAL TREE PROTECTION AREA, FOR CITY TREE PROTECTION SPECIFICATIONS REFER TO ATTACHED SUBDIVISION & DEVELOPMENT SERVICES BY-LAW SCHEDULE 8 SUPPLEMENTARY DETAIL, DRAWINGS SD 11 & SD 12.  
ORIGINAL SURVEY PROVIDED BY J.E. ANDERSON AND ASSOCIATES  
VICTORIA BC B50 727 2014  
P.L.F. 2008 APRIL 10/15

## EXISTING TREE DATA

TREE TOTALS (WITHIN WORK BOUNDARY) - 0  
PRE-EXISTING TREES TO BE RETAINED - 0  
PRE-EXISTING TREES TO BE REMOVED - 0  
ADJACENT TREES WITHIN WORKING BOUNDARY - 14 LARIX SPECIES

## LEGEND

TREE PROTECTION AREA EXTENT OF FENCING



DMP AND SHADOW LINE OF TREE CANOPY ESTIMATED BY DESIGNER



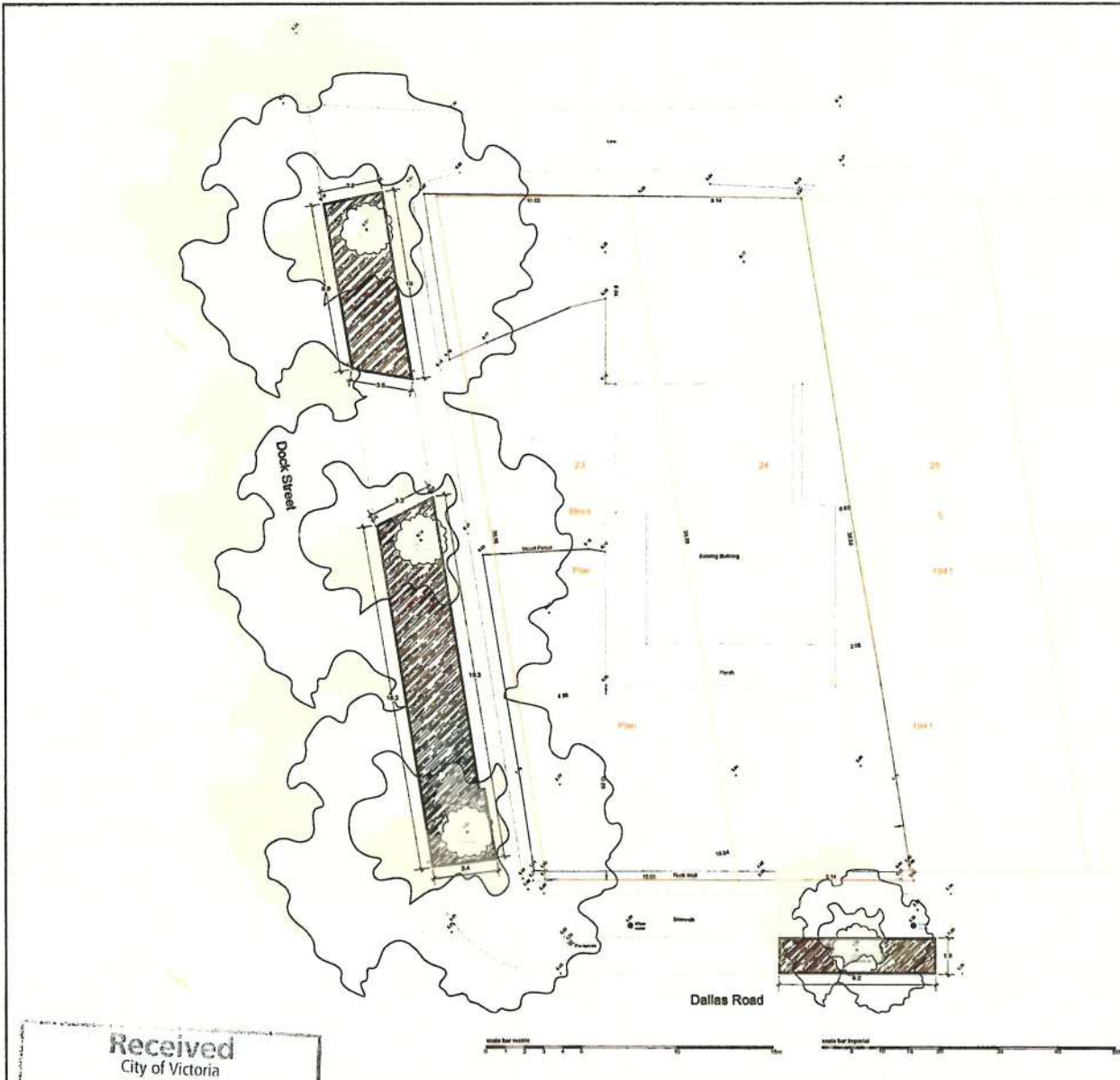
## EXISTING STREET TREE CONDITIONS



SOUTHEAST VIEW DALLAS ROAD + DOOK ROAD



SOUTHWEST VIEW TOWARDS DALLAS ROAD



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PLANT LIST		Code Botanical Name		Spacing Number Scheduled Size		
Trees						
BET	Betula villosa var. jacquemontii	as shown	3	7	20' tall	
Shrubs						
ESF	Euonymus alatus "Queen Bird"	2m OC	19	27	20' tall	
LAV	Lavandula angustifolia	5m OC	7	21	20' tall	
LAV	Lavandula angustifolia "Compacta"	5m OC	8	21	20' tall	
SAR	Sarcococca "Compacta"	4m OC	4	16-18"		
ARJ	Arctostaphylos uva-ursi	1.1m OC	9	12-18"		
LOC	Loxococcus	4m OC	4	27' tall		
GAU	Gaultheria procumbens	4m OC	7	27' tall		
ROS	Rosa rugosa "Festiva Maxima"	4m OC	4	27' tall		
GAU	Gaultheria procumbens	4m OC	7	27' tall		
FTS	Fatsia japonica	as shown	1	27' tall		
LEAF	Leucodermis japonica "White Leaf Plant"	4m OC	5	27' tall		
ROS	Rosa rugosa	as shown	2	27' tall		
ROS	Rosa rugosa	as shown	2	27' tall		
OLR	Ostrya laevis	8' OC	11	12m		
Vines						
HYD	Hydrangea paniculata	as shown	2	21' tall		
JAC	Jasminum officinale	as shown	1	21' tall		
CLA	Claytonia virginica	as shown	1	21' tall		
Groundcovers						
LEP	Leptocarpus gracilis	1m OC	43	16" tall		
LEP	Leptocarpus gracilis	1m OC	43	16" tall		
SED	Sedum spectabile "Cape Jewel"	1m OC	74	16" tall		
APU	Aspidistra	2m OC	43	21' tall		
Perennials						
LEP	Leptocarpus gracilis	8m OC	43	21' tall		
LEP	Leptocarpus gracilis	8m OC	43	21' tall		

LEGEND • MATERIALS DATA • Contractor to confirm on site

- PLANTING ZONES:  
PLANTING AREA INSIDE FL  
APPROX. 360 SQFT / 3350CM  
PLANTING AREA OUTSIDE OF FL  
APPROX. 2350SQFT / 2350CM
- TURF ZONE = APPROX. 550 SQFT / 5050CM
- HARD LANDSCAPE = APPROX. 870 SQFT. / 8500CM
- Rain Water Collector
- Existing Elevations
- Proposed Elevations

## NOT

- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGE CAUSED BY LANDSCAPE WORK TO THE SAME.
- ALL TOPSOIL AND PLANTS SHALL CONFORM TO BCPIA I GRADE SPECIFICATIONS.
- THERE SHALL BE A MINIMUM OF THE FOLLOWING:
- GRASS AREAS SHALL BE 100 MM DEPTH
- ALL PLANTING BEDS SHALL BE PRIGATED WITH A 100 MM DEPTH OF SOIL
- ALL PLANTED BEDS SHALL BE COVERED WITH A 100 MM DEPTH OF MULCH
- ALL PLANTS SHALL BE SECURED WITH TWO (2) M DIA WIRE TIES AT 90 CM FROM THE TRUNK
- GRASS AREAS SHALL BE SLOPE MINIMUM 2% TO AVOID WATER POOLS
- GRASSES AT EDGE OF PLANTING AREA SHALL BE EQUAL TO OR GREATER THAN THE CENTER OF THE PLANTING AREA
- PLANTS DETERMINED TO BE DEAD OR DYING AT THE END OF THE GROWING SEASON SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE

**GRAVE MIXTURES**

**TREE TYPES:**

NORTH-AMERICAN TEMPERATE TREE / SELECT PLANTED

**BUILD DETAILS:**

CONCRETE FOUNDATION BODY TO CITY OF VICTORIA APPLICATION

CHRISTIAN BARNARD  
*land x studio*

Suite 201 1315 Waddington Alley  
Victoria BC V8W 0G2  
e. [info@christianbernard.ca](mailto:info@christianbernard.ca)  
t. 250.689.3003  
w. [christianbernard.ca](http://christianbernard.ca)

**CONSENT TO PUBLISH.**

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801/547348

No.	Date	Events	By
1	June 20, 2018	2022 + 2026 Bid footprint review	cib
2	Aug. 17, 2018	2022 + 2026 Geopave equipment update planning strategy	cib

LEGAL DESCRIPTION  
LOT 23-24, BLOCK 5, SECTION 28  
DOONLEY FARM, VICTORIA, PLAN 1981

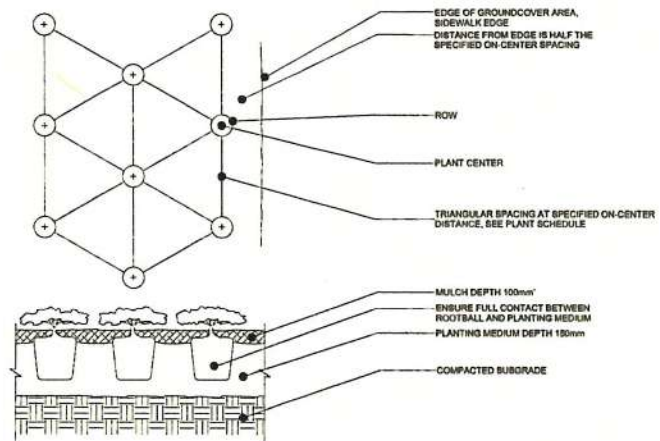
**Drawings of working facilities are, in general, disapproved.** Locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of working equipment and materials. Drawings shall govern the work drawings, and they are not to be scaled. Drawing and notes to describe any structure and have equal authority and priority. In the event of discrepancies, the appropriate method of performing the work shall seem to be incorporated into the scope of the work until it is approved by the Engineer. The Engineer's approval shall be in writing. Any discrepancies should be reported to the Engineer immediately.

**PROJECT TITLE:**  
**Capital Park Heritage Houses**  
 222 Dallas Road  
 (524 Michigan Building)  
 Victoria BC

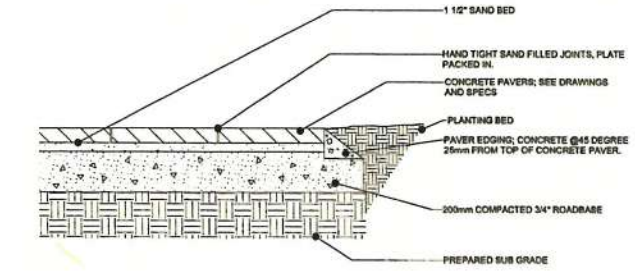
DATE August 17, 2018	SHEET TITLE: <b>SITE PLAN +          EXISTING          EXTRACT 7322          SALLAS ROAD</b>  
SCALE 1"=50'	
Drawn By: ch	
Checked By: B	

Received  
City of Victoria  
AUG 16 2015  
Planning & Development Department  
Development Services Division

AUG 18 2015  
Planning & Development Department  
Development Services Division



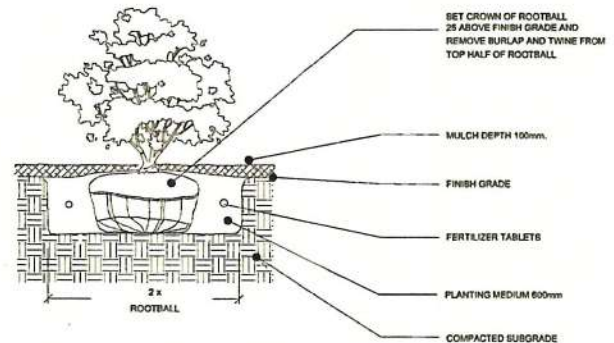
5 GROUND COVER PLANTING TYP.  
SCALE: NTS



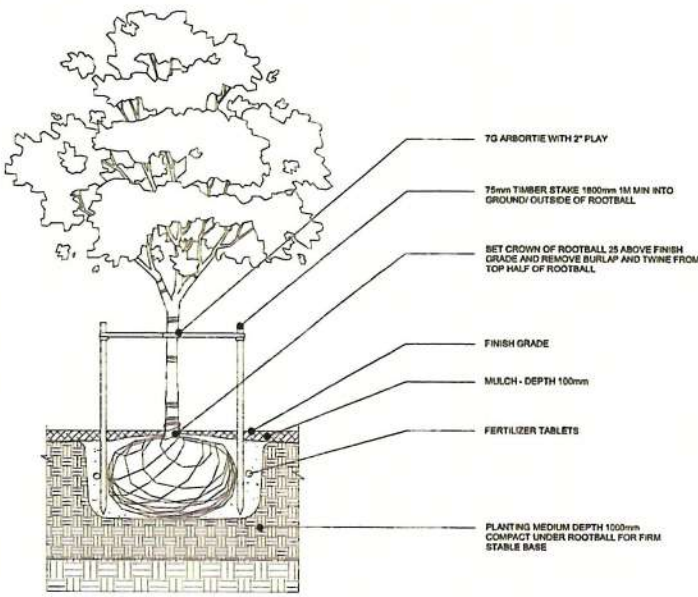
4 UNIT PAVER TYP.  
SCALE: NTS



3 LAWN ON GRADE TYP.  
SCALE: NTS



2 SHRUB PLANTING TYP.  
SCALE: NTS



1 TREE PLANTING ON GRADE  
SCALE: NTS

Received  
City of Victoria  
AUG 18 2015  
Planning & Development Department  
Development Services Division

**CHRISTIAN BARNARD**  
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REVISIONS			
No.	Date	Circle	By

GENERAL NOTES

Drawings of existing facilities are, in general, approximate. Exact locations shall be determined by the contractor from field measurements taken by a licensed professional. Actual placement of the work shall follow existing surface on the drawings unless the contractor is advised otherwise. All work is to be done in accordance with the specifications and standards of the City of Victoria. The contractor shall be responsible for obtaining all necessary permits and approvals. The appropriate method of performing the work shall be determined by the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals. The appropriate method of performing the work shall be determined by the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals.

PROJECT TITLE:  
Capital Park Heritage Houses  
224-228 Dallas Road  
(824538 Michigan Building)  
Victoria BC

DATE	REVISION	SHEET TITLE	SPECIFICATIONS
August 17, 2015	1	L3	



## South Block Development Corporation

3350 Douglas St. - Suite 100  
Victoria, BC V8Z 3L1  
Phone: 250 475-0338  
Fax: 250 475-0339

August 17, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6



Attention: Mayor and Council

**Re: Heritage Alteration Permit for 524 Michigan Street being relocated to 226 Dallas Road**

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 524 Michigan Street within the lands known as South Block in James Bay. This house, along with 526 Michigan Street is being relocated and rehabilitated as committed to as part of the Capital Park redevelopment. This house was the subject of a previous application HAP 00188 which approved in concept the rehabilitation plan and the relocation of this home to a suitable site within James Bay. This application is consistent with the principles outlined in the previous application.

Since acquiring the Capital Park lands in the spring of 2014, South Block Development Corporation has been actively seeking out a receiver site for 524 and 526 Michigan Street in James Bay. After discussions with several land owners in James Bay and consultation with the Senior Heritage Planner, South Block Development Corporation has entered into an agreement to acquire a site at 224 Dallas Road that we feel would be an excellent receiver site for the two homes.

224 Dallas Road consists of two legal lots, one for each heritage home. No changes to either legal parcel are contemplated. A house originally constructed in the 1950's and added on to in the 1980's and during several other renovations spans both lots. The house is not deemed to be architecturally significant or of high quality. The house would be removed to facilitate the redevelopment of the property with the two heritage houses. The existing house will be offered by Nickel Brothers to anyone wishing to pay for its moving costs in an effort to retain it. Failing this the house would be demolished and materials reused, recycled and disposed of as appropriate.

This application contemplates relocating the house currently located at 524 Michigan Street to what would become 226 Dallas Road. 524 Michigan Street is currently vacant and the interior has been significantly altered and most recently used as a post disaster training facility. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. This application contemplates placing the house on a new foundation with a full height basement, fully rehabilitating the exterior in a historically sensitive manner as outlined in the enclosed Heritage Conservation Plan, upgrading thermal, seismic and structural performance, and completely renovating and rebuilding the interior to finish it as a custom single family home.

To facilitate the relocation and adaptive reuse some alterations will need to be made to the exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:



1. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. Tongue and groove siding will be installed on the foundation as per the existing detail. There will be a new basement access point and two additional windows added on the east façade.
2. It is proposed that two windows will be relocated, two windows on the basement level will be removed, three windows will be added and one new window will be placed in an existing opening. Where new windows are added they will be replicas of the originals. The balance of the windows will be rebuilt with the original materials and storm windows added as appropriate.
3. The fire escape on the west side of the house will be removed.
4. The siding, trim and exterior finishes will be repaired and replaced with like materials as required and the houses will be painted using a historically appropriate colour palette.
5. Guard rails will be added to stairs and porches as required by Code.
6. Should the roof require replacement it will be done in line with what is suggested in the heritage conservation plan.

For further reference enclosed is the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The constraints imposed by the existing physical massing of the heritage house and the dimensions of the receiver lot necessitate a number of variances as follows:

1. A height variance is requested to accommodate the height of the existing heritage structure and preserve the existing relationship to grade as is consistent with heritage conservation principles. The proposed height is 8.8 meters, compared to an allowable height of 7.6 meters. This height variance would be required to accommodate this heritage house in any residential lot in James Bay. Enclosed please find a Shadow Analysis at the solstices and equinoxes comparing the shadow impact of the existing condition on the site, what would be permitted on the site under the existing zoning and the proposed development.
2. The east side yard setback is proposed at 1.2 meters compared to the 1.5 meter minimum contemplated in the zone. This is a larger setback than the current non-conforming 0.92 meter setback on the site.
3. The west side yard setback is proposed at 1.04 meters compared to the 1.5 meter minimum contemplated in the zone. The combined side yard setback is 2.24 meters compared to the 4.5 meter requirement. While the gap between the two heritage houses is narrow, this represents a new view corridor from 15/17 Dock Street as the house currently located on the site spans the interior lot line. The most significant impact of this variance is on the adjacent heritage house. This was done intentionally to minimize intrusions into the setbacks on the outer edges of the property which would have a greater impact on the existing neighbours. Please note an easement of 0.16 meters on the east side of 222 Dallas Road is proposed to provide 226 Dallas Road with the required 1.2 meter setback for code.
4. The front yard setback is proposed at 6.75 meters for the house, compared to 7.5 meters contemplated in the zone, 6.15 meters from the front porch compared to 5.9 meters contemplated in the zone and 4.83 meters for the front stairs compared to 5 meters contemplated in the zone. This will blend the setbacks between 222 Dallas Road and the neighbor at 230 Dallas Road.

Our application package also includes perspective drawings from Dallas Road, Dock Street and the existing laneway comparing the existing condition, a massing model of what would be permitted under the zoning as well as our proposal to illustrate the impact of the variances we are seeking.

In response to feedback received from neighbours and the community the landscape plan contemplates low height landscaping that will not block views from 15/17 Dock Street, the relocation plan contemplates loading the houses onto the site in a manner that permits the retention of existing boulevard trees, access off of the existing lane was designed with consideration given to providing safe access and visibility and dimensioning parking in a



way that discourages parking in a manner that intrudes on the laneway and discussions have also been had with the City about creating additional residential parking on Dock Street adjacent to 222 Dallas Road.

Please note a heritage designation application for this home has been submitted to the City of Victoria and subject to approval would be issued when the 524 Michigan Street is relocated to 226 Dallas Road.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or [karen.jawl@jawlproperties.com](mailto:karen.jawl@jawlproperties.com) or the architect John Keay at (250) 382-2823 or [john@kcarchitecture.ca](mailto:john@kcarchitecture.ca).

Sincerely,

South Block Development Corporation

A handwritten signature in black ink, appearing to read 'Karen Jawl', written over the printed name.

Per:  
Karen Jawl

## South Block Development Corporation

3350 Douglas St. - Suite 100  
Victoria, BC V8Z 3L1  
Phone: 250 475-0338  
Fax: 250 475-0339

Received  
City of Victoria

AUG 20 2015

Planning & Development Department  
Development Services Division

August 17, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Attention: Mayor and Council

**Re: Heritage Alteration Permit for 526 Michigan Street being relocated to 222 Dallas Road**

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 526 Michigan Street within the lands known as South Block in James Bay. This house, along with 524 Michigan Street is being relocated and rehabilitated as committed to as part of the Capital Park redevelopment. This house was the subject of a previous application HAP 00189 which approved in concept the rehabilitation plan and the relocation of this home to a suitable site within James Bay. This application is consistent with the principles outlined in the previous application.

Since acquiring the Capital Park lands in the spring of 2014, South Block Development Corporation has been actively seeking out a receiver site for 524 and 526 Michigan Street in James Bay. After discussions with several land owners in James Bay and consultation with the Senior Heritage Planner, South Block Development Corporation has entered into an agreement to acquire a site at 224 Dallas Road that we feel would be an excellent receiver site for the two homes.

224 Dallas Road consists of two legal lots, one for each heritage home. No changes to either legal parcel are contemplated. A house originally constructed in the 1950's and added on to in the 1980's and during several other renovations spans both lots. The house is not deemed to be architecturally significant or of high quality. The house would be removed to facilitate the redevelopment of the property with the two heritage houses. The existing house will be offered by Nickel Brothers to anyone wishing to pay for its moving costs in an effort to retain it. Failing this the house would be demolished and materials reused, recycled and disposed of as appropriate.

This application contemplates relocating the house currently located at 526 Michigan Street to what would become 222 Dallas Road. 526 Michigan Street is currently vacant and the interior has been significantly altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. This application contemplates placing the house on a new foundation, fully rehabilitating the exterior in a historically sensitive manner as outlined in the enclosed Heritage Conservation Plan, upgrading thermal, seismic and structural performance, and completely renovating and rebuilding the interior to finish it as a custom single family home.

To facilitate the relocation and adaptive reuse some alterations will need to be made to the exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

1. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. Tongue groove siding will be installed on the foundation as per the existing detail. There will be a new basement access point.



2. It is proposed one new window at the rear of the house will be added with the sill to match the window adjacent to accommodate kitchen cabinets, one window will be relocated in the basement, two windows in the basement and one on the top floor will be removed and one window will be replaced with a door to provide exiting as required by code. Where new windows are added they will be replicas of the originals. The balance of the windows will be rebuilt with the original materials and storm windows added as appropriate.
3. The existing door at the rear of the house will be removed and replaced with siding consistent with the balance of the house.
4. The siding, trim and exterior finishes will be repaired and replaced with like materials as required and the houses will be painted using a historically appropriate colour palette.
5. Guard rails will be added to stairs and porches as required by Code.
6. Should the roof require replacement it will be done in line with what is suggested in the heritage conservation plan.
7. A new balcony will be added on the rear of the house as required by Code and will be designed in a historically sensitive manner.

For further reference enclosed is the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The constraints imposed by the existing physical massing of the heritage house and the dimensions of the receiver lot necessitate a number of variances as follows:

1. A height variance is requested to accommodate the height of the existing heritage structure and preserve the existing relationship to grade as is consistent with heritage conservation principles. The proposed height is 9.9 meters, compared to an allowable height of 7.6 meters and 2.5 storeys, compared to the 2 storeys permitted. This height variance would be required to accommodate this heritage house in any residential lot in James Bay. Enclosed please find a Shadow Analysis at the solstices and equinoxes comparing the shadow impact of the existing condition on the site, what would be permitted on the site under the existing zoning, and the proposed development.
2. The west side yard setback is proposed at 1.32 meters compared to the 3.5 meter minimum contemplated in the zone. A consequence of this is the impact on the south west view corridor of the neighbor to the North at 15 Dock Street. The South/West view cone from 15 Dock Street is 5% smaller than would be permitted under the zoning. The north/south siting of this house was carefully studied to minimize the impact on this view cone.
3. The east side yard setback is proposed at 1.36 meters compared to the 1.5 meter minimum contemplated in the zone. The combined side yard setback is 2.68 meters compared to the 4.5 meter requirement. While the gap between the two heritage houses is narrow, this represents a new view corridor from 15/17 Dock Street as the house currently located on the site spans the interior lot line. The most significant impact of this variance is on the adjacent heritage house. This was done intentionally to minimize intrusions into the setbacks on the outer edges of the property which would have a greater impact on the existing neighbours. Please note an easement of 0.16 meters on the east side of 222 Dallas Road is proposed to provide 226 Dallas Road with the required 1.2 meter setback for code.
4. The front yard setback is proposed at 6.45 meters for the house, compared to 7.5 meters contemplated in the zone, 4.94 meters for the porch compared to 5.9 meters contemplated in the zone, and 3.91 meters for the front stairs compared to 5 meters contemplated in the zone. Siting the house further forward on the lot helps mitigate the impact on the view cone to the water from 15 Dock Street.

Our application package also includes perspective drawings from Dallas Road, Dock Street and the existing laneway comparing the existing condition, a massing model of what would be permitted under the zoning as well as our proposal to illustrate the impact of the variances we are seeking.

In response to feedback received from neighbours and the community the landscape plan contemplates low height landscaping that will not block views from 15/17 Dock Street, the relocation plan contemplates loading the houses onto the site in a manner that permits the retention of existing boulevard trees, access off of the existing lane was designed with consideration given to providing safe access and visibility and dimensioning parking in a way that discourages parking in a manner that intrudes on the laneway and discussions have also been had with the City about creating additional residential parking on Dock Street adjacent to 222 Dallas Road.

Please note a heritage designation application for this home has been submitted to the City of Victoria and subject to approval would be issued when the 526 Michigan Street is relocated to 222 Dallas Road.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or [karen.jawl@jawlproperties.com](mailto:karen.jawl@jawlproperties.com) or the architect John Keay at (250) 382-2823 or [john@kcarchitecture.ca](mailto:john@kcarchitecture.ca).

Sincerely,

South Block Development Corporation



Per:  
Karen Jawl





## James Bay Neighbourhood Association

234 Menzies St  
Victoria, B.C.  
V8V 2G7

[www.jbna.org](http://www.jbna.org)

June 11, 2015

Mayor & Council  
City of Victoria

### **Re: Relocation of 524-526 Michigan Street Heritage Houses to Dallas Road**

On Wednesday, June 10<sup>th</sup>, JBNA held its General Meeting at which the new sidewalk along Montreal Street, the relocation of the Michigan Street Heritage Houses and the proposed development for 701 Belleville (CALUC meeting). This letter is in response to the Heritage House discussion/feedback. A separate letter will be sent for the 701 Belleville CALUC review once Meeting Minutes have been completed.

By way of background when the siting of the heritage houses was being contemplated, considerations included finding a location that would provide a “fit” for the houses, both contextually and size, is difficult within Sites that would house both buildings are difficult to find.

The site being proposed has three directly adjacent neighbours. One to the east in a small single home, and two others to the north (back) in a front/back duplex and there is a lane way separating the Dallas property from the duplex. The owner of western part of the duplex has sent notes but is not a full-time resident and the property is normally rented.

Significant consultation has occurred with the eastern-most owners of the duplex. Tim VanAlstine and I have met with them on more than one occasion and convened a meeting with them and the developers (Karen Jawl and architect). Adjustments have been made, and discussions continue.

Attached for your consideration is a string of e-mails that detail the remaining issues.

There were 86 people in attendance at the JBNA meeting. Regarding the Capital Park development, there were general questions about the staging of various steps of the work with regards to the creation of the foundation of Capital Park and the relocation of the heritage houses to Dallas Road. Separating out the topics, comments regarding the heritage houses include questions or comments from four residents at the meeting and two written submissions were read out at the meeting and responded to by Karen Jawl. During the presentation, the rationale for the siting, and the adjustments made to resident considerations were described including front-back siting and revised side-yard setbacks.

... 2

- 2 -

Q/A:

Q: Dock St resident: Likes look of the proposal, knows the people who are neighbours and wants them to be "happy". What is being done regarding site-lines and views.

A: In addition to the placement of the east house further back on the site, the high plantings will be removed and lower planting placed on the site. The issue of a second parking pad is still being looked at.

Q: What is the timing of the moving of the houses.

A: The Houses are likely to be relocated in September with work being done thereafter.

Q: 230 Dallas resident: This lot has been a single house lot. Did you look at 2 different lots for the houses leaving only one of the houses here? Concerned that heights and look will have impact on nearby properties when/if they are developed.

A: The site is historically approved for 2 separate houses. While some variances are needed to accommodate two intact heritage houses, the site density, shadowing, and sightlines will be less impacted by the 2 heritage houses than by a multi-family development that would likely be built if the heritage houses were not placed there.

Question: Marg read, for the public record, two letters from area residents regarding siting of the 2 heritage houses at 224 Dallas. The immediate neighbor behind the site (Westmost duplex) disagrees with the plan as it will reduce his view. A resident of Pilot Street is concerned that the houses are too large for the proposed site and suggested alternate sites (Kingston/Pendray), including the possibility or relocation outside James Bay.

A: As had already been described, careful attention has been paid to minimizing impact on sightlines and view cone. The reduction in view for the westmost owner, from what would be permitted without variance, is 4%.

A: Relocation of the 2 heritage houses within James Bay was a condition of the original project approval. As was described, numerous sites within James Bay were considered - some were too small another very good site was sold - in the end a list was reviewed with the City and, while not perfect, 224 Dallas was determined to be the best site available. The suggested location of Pendray and Kingston would not be suitable as the lot depth of 60ft is less than the depth of one of the houses at 62ft.

Comment: Most heritage houses in James Bay exceed current zoning limits and would require variances if constructed today. Site not perfect, but thanks for your extraordinary effort to achieve a good result.

Q: When do you expect the variance hearing be held for the heritage houses?

A: August



President, JBNA

Cc: Councilor Lucas  
Murray Miller, Brian Sikstrom, Jim Handy, Planning  
Christine Johnston, Resident



*E-mail string of June 11, 2015 re Michigan Heritage House relocation to Dallas:*

**From:** Karen Jawl <karen.jawl@jawlproperties.com>

**Date:** June 11, 2015 3:56:35 PM PDT

**To:** Christine Johnston

**Cc:** "Goff, Allan" XXXXXXX "Marg Gardiner, JBNA" <marg.jbna@shaw.ca>, Timothy VanAlstine

**Subject:** RE: Updated Site Plans

Thanks for your email Christine.

Yes there have been a number of versions of the site plan as the various iterations progressed to respond to neighborhood feedback, the most recent of which was the May 11th one that was drawn up after the meeting at your home. In this version the eastern house was shifted back 1.24m to respond to the request that front windows of this house be no closer to Dallas Road than the front windows of the other house which I believe is what was illustrated on Marg's sketch from that meeting. The front windows of the Eastern house are 6.95 meters off the street compared to the 6.49 meters back to the front windows of the western house, so I believe we have achieved what was requested.

The City has not indicated the number of additional residential stalls that will be added on Dock Street as this idea just came up this week but it is likely they will be able to add 2. They have been very cooperative and willing to accommodate our request on Dock Street. As I see it there are two priorities, one is protecting the safety and enjoyment of the lane and the other is ensuring there is adequate parking to serve the homes so as not to have people parking illegally on the lane or placing a level of demand on the surrounding parking that is upsetting to other neighbours. As mentioned we will delete the parking pad for the western house given that there will be adjacent street parking, but would like to have the option of retaining the parking pad for the eastern home but I will commit to landscaping this area should the buyer of this home prefer a larger yard to parking. I suspect the likely buyer for these homes will be a families with children who will share the priority of keeping the lane a safe and enjoyable area for everyone.

Karen Jawl

**From:** Christine Johnston [a1b57169@telus.net]

**Sent:** June 11, 2015 2:57 PM

**To:** Karen Jawl

**Cc:** Goff, Allan; Marg Gardiner, JBNA; Timothy VanAlstine

Hi Karen,

Thank you for getting back to me so quickly. There seem to be various versions of the map. The first one you sent on April 20, then a revised one in May 11, and then the modified one sketched in that Marg Gardner suggested, of having the two front windows parallel with the eastern house but further back. The complication is that the Dallas Rd is NOT at right angles to Dock and the 224 Dallas properties; so the May 11 version makes only the western corner of the windows parallel but the eastern house front window still quite a bit south of what we had drawn in, which is not so good for our view.

The parking does concern me as this lane is actually more a WALKWAY used by most of the tenants of the big apartment block on Dock.

Cyclers also use it avoid busy Dallas. Children use it as a safe place it for playing when a hard surface needed. Most of the houses in the neighbourhood (except the one originally planned as a B and B) have very few cars on this lane. Several houses use it for their MAIN FRONT DOOR. Nearly all use Dock or Pilot for visitors. If anyone parks in the lane way proper we have the right to call police to remove it altho we are often tolerant if we know them well. Our visitors are expected to walk the few feet to Dock St. We occasionally use our grass for a visitor who does not want to walk to the street but that is rare.

The Dallas cross walk is some distance from any proposed Dock street parking if that parking (reserved for two residential spaces all day) starts half way up the edge of the property. There should be no problem at all and many of the crosswalks around town have only about 20 feet empty near them. So that reasoning does not seem logical.

I think the city has not looked carefully at all this so we shall speak to them if you fail to convince them. Let us know.

Sincerely,  
Christine and Mel Johnston

----- Original Message -----

**From:** [Karen Jawl](#)

**To:** [Christine Johnston](#)

**Sent:** Thursday, June 11, 2015 9:20 AM

Hi Christine,

Thanks for coming to the JBNA meeting last night. Further to your question the plans presented last night and submitted to the City reflect the changes we outlined below and in the attached that we sent after meeting with you at your home. The set back from Dallas Road of 226 Dallas is 6.95m which reflects the 1.24m increase from the previous version.

I did talk to the City about adding additional street parking so we could eliminate the parking pads. They will not add any street parking on Dallas due to the proximity to the cross walk but have agreed to add residential parking on Dock Street so we will be able to eliminate the parking pad on the western house. I will talk to our team about the parking pad on the eastern property. We don't want to create a situation where there is insufficient parking and owners end up parking in front of Linda's house or in areas where others are used to parking. If we are able to pre-sell the house and the owners just have one car it would be easy for us to just landscape this area instead. I understand it is concern of yours and we will keep it in mind to see how we can improve it.

Karen Jawl

**From:** Karen Jawl

**Sent:** Wednesday, May 13, 2015 9:42 AM

**To:** Christine Johnston; Allan Goff; Rutherfords K and L;

**Cc:** Timothy VanAlstine; Marg Gardener ([marg.jbna@shaw.ca](mailto:marg.jbna@shaw.ca))

Hi All,

Thanks for the feedback and comments in the last few weeks. In response to your suggestions the following changes have been made in the attached drawings:

1. The most eastern house (next to Linda's property) has been moved west by .14 meters to provide a slightly bigger gap between Linda's and this house.
2. The most eastern house (next to Linda's property) has been shifted back 1.24 meters to better preserve Christine and Mel's view from their living area.
3. Both garages have shifted to the east and closer back to the lane to prevent someone from parking behind the garage and potentially having the back of their parked car sticking out onto the lane. The shift to the east was determined to not impact views.
4. The western house was already optimally located to minimize the SW view impact. The attached View Cone illustrates the following:



- a. The black outline shows the current condition on site with Bruce's house. The black line shows the current view cone.
  - b. The yellow outline shows what could be built on the site fully compliant with the zoning. The yellow line shows what the view cone would be under this scenario. This represents an 8% reduction in the view cone from the current condition.
  - c. The blue outlines shows what it would be with the heritage houses on the site. The blue line shows what the view cone would be under this scenario. This represents a 12% reduction in the SW view cone from the current condition, or a 4% reduction in the view cone from what is permitted in the zoning.
5. We have engaged a landscape architect and I have given him the following direction:
- a. Maintain a fence between Linda's house and the heritage house.
  - b. Remove the bigger bushes that are in the sight lines from 15/17 Dock Street.
  - c. New landscaping should be kept under the sight lines from 15/17 Dock Street.

Our next step will be further developing the interior plan and site plan, so the plans will continue to evolve but the siting of the houses is now firming up.

We are aiming to submit our package to the City around June 1 and are also scheduled at the JBNA meeting on June 10<sup>th</sup>. If you would like paper copies of the attached I can mail them to you. I will also keep you updated as our plans progress.

Karen Jawl  
Jawl Properties Ltd.  
3350 Douglas St. - Suite 100  
Victoria, BC, V8Z 3L1  
Tel: (250) 414-4172  
[www.jawlproperties.com](http://www.jawlproperties.com)

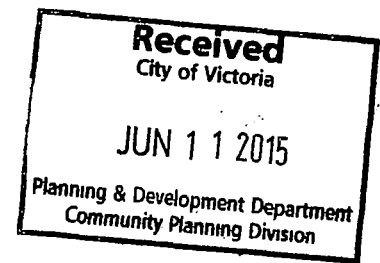




Patrícia S Wilson

12 Pilot St.

Victoria, BC, V8V 2A4



6 June 2015

**Michigan houses relocation to 224 Dallas Road**

It is come to my attention that 2 of the Michigan Street houses will be relocated to 224 Dallas Road.

I have been the James Bay resident since 2008. It is a delight to live in this neighborhood. I enjoy the eclectic architecture on my many walks through the neighborhood. I appreciate the work that has been done to maintain the community heritage. I applaud their ongoing efforts.

Equally, I am delighted to see new developments as is proposed for *Capital Park*.  
I am grateful to live in this community and for the Concert/Jawl development project.

*I am happy to see relocation of the remaining 2 Michigan Ave. houses.*

I was hoping that they would find a pleasing location in an area of significant Victorian, such as the empty lot on the Kingston/Pendray street corner.

The harbor area is **more protected from the elements** and would help maintain the wooden structure. The wind/driving rain elements along the Dallas Road/Juan de Fuca sure are not conducive to tall wooden structures, particularly those of the 1800s. They do much better in the protected harbor area.

**For the safety** of the structures, and more importantly its occupants; it would be best that they not be placed closely together because of the increased fire risk particularly in such tall structures. I know this may compromise its location at 224 Dallas Rd. because of the lot size restriction. However, there may be other historical neighborhoods in Victoria (Humbolt Valley) that could welcome these homes more safely -for personal and architectural security.

*I also understand from a business point of view the developers interest in the view Dallas property.*

It will be an expensive venture to move the Michigan Street structures. View lots tend to bring a higher real estate selling price.

However, from a real estate point of view - views will be limited with small window size needed for historical integrity. This may limit sale income potential.

*The forces that will relocate the Michigan Street houses to Dallas Road may already be in place*

if that is the case,

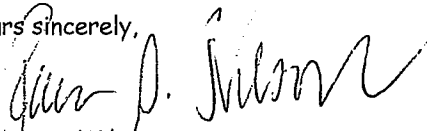
Please keep the Michigan houses in line with the other structures on Dallas Road

It would be sad to have the houses pushed forward (southward closer to the Dallas roadway) especially with the added height.

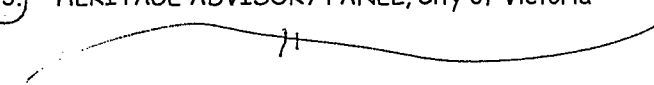
Please do not add any further structures such as a garage to impede visual integrity particularly in a historical house. Parking pad or protected Dock Street parking would be safest for the laneway.

I look forward to ongoing thoughtful, well integrated changes in the James Bay community to ensure its continued vibrancy.

Yours sincerely,



Patricia S Wilson

1. JAMES BAY NEIGHBOURHOOD ASSOCIATION - 10 JUNE 2015 MEETING / [jbna@vcn.bc.ca](mailto:jbna@vcn.bc.ca)
  2. JAWL PROPERTIES LTD - #100 - 3350 Douglas Street, Victoria, BC, V8Z 3L1
  3. HERITAGE ADVISORY PANEL, City of Victoria
- 



**Lauren Martin**

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**From:** Lauren Martin  
**Sent:** Thursday, August 06, 2015 3:45 PM  
**To:** 'Dave Jarvis'  
**Cc:** Murray Miller  
**Subject:** RE: 222/226 Dallas Rd

Hello Dave:

A Public Hearing is not yet set for the applications for 222 and 226 Dallas Road. When a date is set, signage indicating the date will be posted on the property and a notice will also appear in the Times Colonist.

Lauren

Lauren Martin  
Secretary, Heritage and Board of Variance Sustainable Planning and Community Development City of Victoria  
1 Centennial Square, Victoria BC V8W 1P6

T 250.361.0382 F 250.361.0386

-----Original Message-----

**From:** Dave Jarvis [REDACTED]  
**Sent:** Thursday, August 06, 2015 3:23 PM  
**To:** Lauren Martin  
**Subject:** 222/226 Dallas Rd

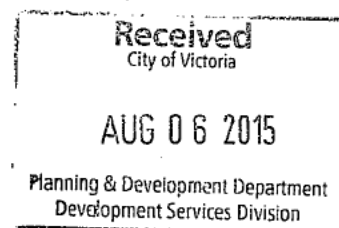
Hi Lauren,

I live at 33 Dock St. and am a bit concerned about the heritage properties blocking the waterfront view.

Do you know when the date is for the Council Chamber hearing at Victoria City Hall?

Thank you,  
Dave Jarvis

--  
[REDACTED]



**Lauren Martin**

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**From:** Murray Miller  
**Sent:** Thursday, July 09, 2015 12:11 PM  
**To:** [REDACTED]  
**Subject:** 222-226 Dallas Rd, Victoria (Heritage Alteration Permit with variance)

Dear Ms. Surridge,

Thank you for your voice message and for leaving an email address for reply.

I understand that you own property located at 25 Dock Street and that you have been informed about a development that is proposed for the property located at 222-226 Dallas Rd. In relation to notification, the City is required to notify owners and occupiers of adjacent properties of Public Hearings involving Heritage Alteration Permits that have a variance.

At the time of writing, no Public Hearing has been set for this application.

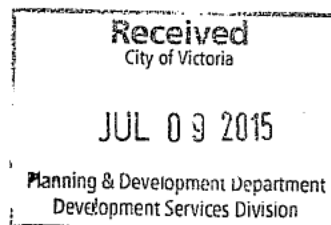
I trust that the above information is helpful.

Regards,

Murray

**Murray G. Miller**, MRAIC, CAHP, MCITP, MRTPI, IHBC, MCIP, RPP  
Senior Heritage Planner  
Sustainable Planning and Community Development  
City of Victoria  
1 Centennial Square, Victoria BC V8W 1P6

T 250.361.0533 F 250.361.0557



**Lauren Martin**

---

**From:** Darla Abercrombie [REDACTED]  
**Sent:** Friday, Jul 17, 2015 1:46 PM  
**To:** Murray Miller  
**Cc:** Lauren Martin  
**Subject:** 224 & 226 Dallas Road

Attention Mayor and Council:

My family and I live in the second building behind the proposed development. We have a unique roof-top deck that overlooks the property towards the ocean and Olympic mountain range.

The view from our top deck is the defining feature of our home, and is the reason why my husband chose this property. We felt assured that the city height restrictions would protect our panoramic view and the value of our home in the years to come.

By allowing the height variance, our view will be boxed in and significantly blocked from the ocean side.

Our concerns are not noted in the JBNEA meeting minutes, because we were not notified of the proposal or meeting in advance. I only found out, too late, from a neighbour when it sounded like the decision had already been made because they said that after consultation with the City, the developer had already purchased the property.

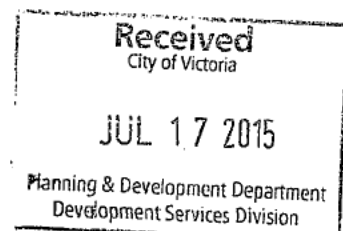
I contacted the developer and learned they are able to adjust placement but not existing heights. We took time to consider the impact on our view, because we like the developer and we like to support heritage houses.

However, sitting on our top deck, the impact is much bigger than pictures can outline. There is a sense of spaciousness and expanse towards Dallas Road and beyond that is precious to us. With the proposed height variance, we will be looking into the back of two houses.

Please do not move these two over-height houses to this ocean-front lot. They can be better preserved away from the damp, and have less impact where their height does not block our valuable view.

Thank you for your time,

Darla Abercrombie  
 29 Dock Street  
 Victoria, BC





**Lauren Martin**

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**From:** Murray Miller  
**Sent:** Monday, August 10, 2015 8:45 AM  
**To:** Marie Surridge  
**Cc:** Lauren Martin  
**Subject:** RE: Proposed changes on Dallas Road

Dear Ms. Surridge,

Thank you for your follow up enquiry.

The application that you have referred to is still undergoing amendments. The type of application that is being prepared requires notification to owners of adjacent properties (in terms of Land Use, this means abutting/adjoining/sharing a property boundary with the subject property) and includes those properties that are immediately across the street from the subject property.

I trust that this clarifies the City's practice in meeting this type of notification requirement.

Regards,

Murray

-----Original Message-----

**From:** Marie Surridge [REDACTED]  
**Sent:** Friday, August 07, 2015 11:54 AM  
**To:** Murray Miller  
**Subject:** Proposed changes on Dallas Road

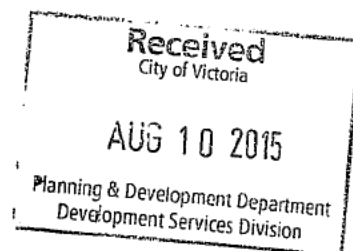
Dear Mr Miller,

I contacted you several weeks ago to ask if you would provide me with information about proposed changes at 224 Dallas Road. My property at 25 Dock Street is adjacent, in the sense of the word as defined by the Oxford English Dictionary, to the subject property of these changes. I consider that I should have been notified of them from the time at which they were proposed. I am now again writing to ask for full information on this subject, and should appreciate your giving that information to as soon as you return to the office.

I wish to assess the effect the changes would have on my property. Obviously, I cannot do that without knowing what is being planned.

Yours sincerely, Marie Surridge

Sent from my iPhone



**Lauren Martin**

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**From:** Murray Miller  
**Sent:** Wednesday, Jul 22, 2015 8:14 AM  
**To:** Lauren Martin  
**Subject:** FW: Dear Mr. Miller

For follow up once the PH date has been confirmed.

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**From:** Catherine . [REDACTED]  
**Sent:** Tuesday, Jul 14, 2015 5:47 PM  
**To:** Murray Miller  
**Subject:** Dear Mr. Miller

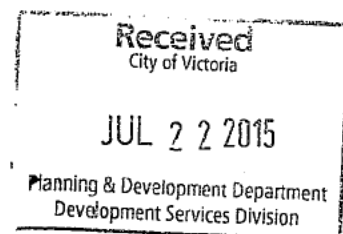
Attention: Mayor and Council

My name is Catherine Clark of 55 Dock Street. I understand two three storey heritage home are going to be placed on Dock and Dallas. I have been told by a neighbour that there will be a variance in height restrictions and set-backs.

Is there a public meeting scheduled for this undertaking? If so, when and where?

I will attend as I will lose some view and therefore property value.

Thank you,  
Catherine Clark







Heritage Alteration Permit with Variances Application Nos. 0...

Planning and Land Use Committee - 01 Oct

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222-226 DALLAS ROAD









(presently 526 Michigan Street)



222 DALLAS ROAD



222 DALLAS ROAD



(presently 524 Michigan Street)



226 DALLAS ROAD

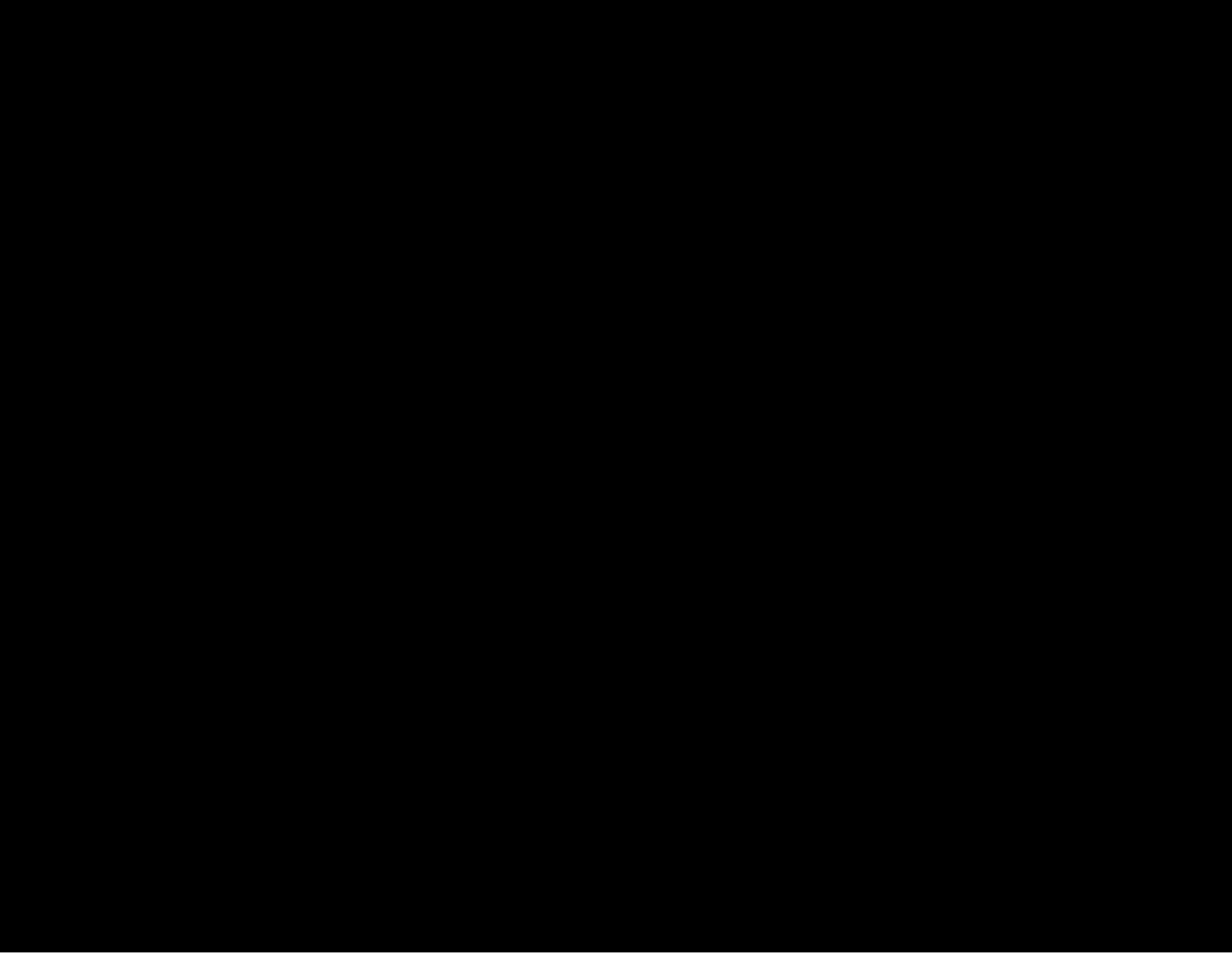




226 DALLAS ROAD



222 DALLAS ROAD

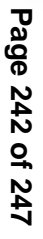




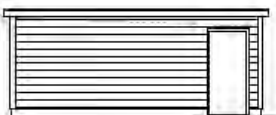
# **222 DALLAS ROAD**

## Plans & Elevations









222 DALLAS ROAD

# **226 DALLAS ROAD**

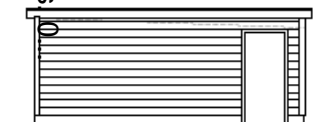
## Plans & Elevations







226 DALLAS ROAD



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