



**AMENDED AGENDA  
PLANNING AND LAND USE COMMITTEE  
MEETING OF JUNE 25, 2015, AT 9:00 A.M.  
COUNCIL CHAMBERS  
CITY HALL, 1 CENTENNIAL SQUARE**

Page

**CALL TO ORDER**

**APPROVAL OF AGENDA**

**CONSENT AGENDA**

**ADOPTION OF MINUTES**

- |    |   |       |
|----|---|-------|
| 1. | Minutes from the Meeting held on June 11, 2015. | 5 - 9 |
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**DEVELOPMENT APPLICATION REPORTS**

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|----|--|----------|
| 2. | Rezoning Application No. 00476 for 1040 Moss Street (Art Gallery of Greater Victoria)<br><i>--A. Meyer, Assistant Director - Development Services, Sustainable Planning and Community Development Department</i> | 11 - 258 |
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**Late Item**: Correspondence

*A proposal to rezone the property to expand a cultural facility through the replacement of a one-storey addition with a two-storey addition in the Rockland neighbourhood. A Public Hearing is required prior to Council making a final decision on the application.*

Staff Recommendation: To advance the application to Public Hearing.

**[Addenda]**

- |    |  |           |
|----|--|-----------|
| 3. | Rezoning Application No. 00381 and Development Permit Application No. 000351 for 1002, 1008-1012 Pandora Avenue<br><i>--A. Meyer, Assistant Director - Development Services, Sustainable Planning and Community Development Department</i> | 259 - 312 |
|----|--|-----------|

*A proposal to rezone the property to authorize a six-storey and four-storey commercial-residential building, in the North Park neighbourhood. A Public Hearing is required prior to Council making a final decision on the application.*

Staff Recommendation: *To advance the application to a Public Hearing.*

4. Development Permit with Variances Application No. 000388 for 80 Saghalie Road 313 - 329  
--A. Meyer, Assistant Director - Development Services, Sustainable Planning and Community Development Department

*An application to authorize an existing sales centre and offices and to subdivide these lands located in the Victoria West neighbourhood. A hearing is required prior to Council making a final decision on the application.*

Staff Recommendation: *That Council consider authorizing the permit.*

5. Heritage Alteration Permit Applications Nos. 00198, 00199 and 00200 for 521, 539 and 545 Superior Street 331 - 384  
--A. Hudson, Acting Director - Sustainable Planning and Community Development Department

*An application to authorize the rehabilitation of three heritage designated houses in the James Bay neighbourhood after their relocation to 580, 584 and 588 Michigan Street.*

Staff Recommendation: *That Council consider authorizing the permits.*

6. Heritage Alteration Permit Application No.00196 for 1202/1208 Wharf Street (Finlayson Building) 385 - 398  
--A. Hudson, Acting Director - Sustainable Planning & Community Development

*An application proposing the extension of a lower level arbour from the existing deck in the Downtown neighbourhood.*

Staff Recommendation: *That Council consider issuing the permit.*

## **POLICY REPORT**

7. Zoning Regulation Bylaw Improvement Project - Phase 2 399 - 455  
--A. Meyer, Assistant Director - Development Services, Sustainable Planning and Community Development Department

*A report to update Council on the results of the community consultation pertaining to the alteration of property topography in low-density residential*



zones.

Staff Recommendation: To advance the proposed bylaw amendments to a Public Hearing.

MOTION TO CLOSE THE JUNE 25, 2015 PLANNING & LAND USE COMMITTEE MEETING TO THE PUBLIC

That the Planning & Land Use Committee convene a closed meeting that excludes the public under Section 12(6) of the Council Bylaw for the reason that the following agenda items deal with matters specified in Sections 12(3) and/or (4) of the Council Bylaw, namely:

- Section 12(3)(g) Litigation or potential litigation affecting the City
- Section 12(3)(i) The receipt of advice that is subject to solicitor-client privilege including communications necessary for that purpose.

**CLOSED MEETING**

8. Adoption of the Minutes from the Closed Meeting held June 11, 2015

9. ~~Legal / Mediation Update~~  
~~--J. Huggott, Senior Project Manager, Johnson Street Bridge Replacement Project~~  
~~Late Item: Report~~

10. Late Item:  
Legal Advice  
--T. Zworski, City Solicitor

**ADJOURNMENT**



**MINUTES OF THE**  
**PLANNING & LAND USE COMMITTEE MEETING**  
**HELD THURSDAY, JUNE 11, 2015, 9:00 A.M.**

**1. THE CHAIR CALLED THE MEETING TO ORDER AT 9:00 A.M.**

**Committee Members Present:** Mayor Helps (Chair); Councillors Alto, Isitt, Loveday, Lucas, Madoff and Thornton-Joe.

**Absent:** Councillors Coleman and Young.

**Staff Present:** J. Johnson – City Manager; A. Hudson – Acting Director, Sustainable Planning & Community Development; A. Meyer – Assistant Director, Development Services; L. Baryluk – Senior Planner; J. Handy – Senior Planner; K. Bouris – Senior Planner; M. Miller – Heritage Planner; L. Taylor – Planner; T. Soulliere – Director, Parks & Recreation; K. Hamilton – Director, Citizen Engagement & Strategic Planning; J. Potter – Manager, Citizen Engagement; B. Dellebuur – Acting Assistant Director, Transportation & Parking Services; R. Woodland – Director, Legislative & Regulatory Services; T. Zworski – City Solicitor; C. Mycroft – Executive Assistant to the City Manager; A. Ferguson – Recording Secretary.

**2. APPROVAL OF THE AGENDA**

**Action:** It was moved by Councillor Alto, seconded by Councillor Thornton-Joe, that the Agenda of the June 11, 2015, Planning & Land Use Committee meeting be approved.

**Amendment:** It was moved by Councillor Alto, seconded by Councillor Thornton-Joe, that the Agenda of the June 11, 2015, Planning & Land Use Committee meeting be amended to include the following agenda items on the consent agenda.

- |         |  |
|---------|--|
| Item #1 | Minutes from the meeting held May 28, 2015   |
| Item #3 | Development Permit with Variances Application No. 000422 for 1143 Grant Street.          |
| Item #4 | Heritage Designation Application Nos. 000148 and 000149 for 524 and 526 Michigan Street. |

On the amendment:  
CARRIED UNANIMOUSLY 15/PLUC125

On the main motion as amended:  
CARRIED UNANIMOUSLY 15/126

### 3. CONSENT AGENDA

It was moved by Councillor Alto, seconded by Councillor Madoff that the following items be approved without further debate:

#### 3.1 Minutes from the meeting held May 28, 2015

**Action:** It was moved by Councillor Alto, seconded by Councillor Madoff, that the Minutes from the Planning & Land Use Committee meeting held May 28, 2015, be adopted.

CARRIED UNANIMOUSLY 15/PLUC/127

#### 3.2 Development Permit with Variances Application No. 000422 for 1143 Grant Street

Committee received a report regarding a development permit with variances for 1143 Grant Street. The proposal is to construct a deck and install glass doors on the rear side of the existing small lot house.

**Action:** It was moved by Councillor Alto, seconded by Councillor Madoff, that Committee recommends that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

“That Council authorize the issuance of Development Permit Application No. 000422 for 1143 Grant Street, in accordance with:

1. Plans date stamped May 4, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - a. Part 1.86, Section 4(b): Reduce the rear yard setback from 8m to 6.25m.
3. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY 15/PLUC/128

#### 3.3 Heritage Designation Application Nos. 000148 and 000149 for 524 and 526 Michigan Street

Committee received a report regarding an application to designate 524 and 526 Michigan Street as Municipal Heritage Sites.

**Action:** It was moved by Councillor Alto, seconded by Councillor Madoff, that Committee recommends that Council designates 524 and 526 Michigan Street as Municipal Heritage Sites.

CARRIED UNANIMOUSLY 15/PLUC/129

#### 4. REQUEST FOR DIRECTION

*Councillor Isitt joined the meeting at 9:04 a.m.*

##### 4.1 Developing an Accelerated Approach to Local Area Planning: Proposed Process

Committee received a report regarding recommendations to develop an accelerated approach to local area planning for urban villages and transportation corridors.

Committee discussed:

- The importance of engaging with all the neighbourhoods.
- How the process has been well received by the neighbourhoods.
- The importance of giving the community associations plenty of notice and information regarding the collaboration so they can prepare accordingly.
- How this process will inform and inspire different approaches to land use plans.
- The preference to start this process in 2015.
- Appreciation of the research conducted to ensure best practices with implementing this process.

**Action:** It was moved by Councillor Alto, seconded by Councillor Loveday, that Committee recommends that Council approve the recommended process as laid out in the report dated May 28, 2015, for developing an accelerated approach to local area planning for urban villages and transportation corridors, including holding one-on-one meetings with each Community Association.

Committee discussed:

- The need to update the neighbourhood plans through collaboration with the community associations.
- The importance of reviewing these plans every few years.
- Concerns about adequate planning resources.
- Supporting the neighbourhood associations in leading their community.
- Leading a change in local area planning.

CARRIED UNANIMOUSLY 15/PLUC/130

#### 5. DEVELOPMENT APPLICATION REPORTS

##### 5.1 Heritage Designation Application No. 000151 for 1713 Government Street

Committee received a report regarding an application to designate 1713 Government Street (Yen Wo Society Building) as a Municipal Heritage site.

Committee discussed:

- The history of the building and how they are pleased to see this building being designated.

- The lack of Heritage Designated buildings within Chinatown and how they hope this will motivate others to designate other important heritage buildings within the area.

**Action:** It was moved by Councillor Thornton-Joe, seconded by Councillor Loveday, that Committee recommends that Council designate 1713 Government Street as a Municipal Heritage Site.

CARRIED UNANIMOUSLY 15/PLUC/131

## **7. CLOSED MEETING AT 9:17 A.M.**

**Action:** It was moved by Councillor Madoff, seconded by Councillor Loveday, that the Planning & Land Use Committee convene a Closed meeting that excludes the public under Section 12(6) of the Council Bylaw for the reason that the following agenda items deal with matters specified in Sections 12(3) and/or (4) of the Council Bylaw, namely:

- Section 12(3)(a) - Personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the City or another position appointed by the City.

CARRIED UNANIMOUSLY 15/PLUC132

### **7.1 Approval of the Agenda**

**Action:** It was moved by Councillor Alto, seconded by Councillor Isitt, that the Agenda of the Closed Planning & Land Use Committee meeting be approved.

CARRIED UNANIMOUSLY 15/PLUC/133

### **7.2 Minutes from the Closed Meeting held on May 28, 2015**

**Action:** It was moved by Councillor Alto, seconded by Councillor Isitt, that the Minutes from the Closed Planning & Land Use Committee meeting held May 28, 2015, be adopted.

CARRIED UNANIMOUSLY 15/PLUC/134

### **7.3 Appointments – Victoria Board of Variance**

Committee received information regarding an appointment to the Victoria Board of Variance.

The discussion and motion was recorded and kept confidential.

CARRIED UNANIMOUSLY 15/PLUC/135

**8. ADJOURNMENT**

**Action:** It was moved by Councillor Alto, seconded by Councillor Lucas, that the meeting be adjourned at 9:23 a.m.

CARRIED UNANIMOUSLY 15/PLUC/136

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Mayor Helps, Chair







## Planning and Land Use Committee Report For the Meeting of June 25, 2015

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**To:** Planning and Land Use Committee      **Date:** June 11, 2015  
**From:** Helen Cain, Senior Planner, Development Services Division  
**Subject:** Rezoning Application No. 00476 for 1040 Moss Street

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### RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00476 for 1040 Moss Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Applicant to further consider if refinements to the form and massing of the addition could improve visibility of the upper storey of Spencer Mansion, from Moss Street, while enabling the upper floor of the expanded gallery to function as exhibition space.
2. Further revisions to the proposed Statement of Significance for Spencer Mansion, to the satisfaction of staff.
3. Referral of Rezoning Application No. 00468 to the Advisory Design Panel and the Heritage Advisory Panel.
4. Removal of the existing Land Use Contract that is registered on the property title.
5. Registration of a Section 219 Covenant to secure the details for design and heritage alterations to the satisfaction of staff.
6. Applicant to explore the feasibility of securing access to surplus parking spaces on nearby properties and through legal agreements.

### LEGISLATIVE AUTHORITY

In accordance with Section 903 (c) of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, siting, size and dimensions of buildings and other structures, as well as the uses that are permitted on the land, the location of uses on the land and within buildings and other structures.

In accordance with Section 219(4)(b) of the *Land Titles Act*, a Covenant registered in favour of a municipality may include provisions that a specified amenity be protected, preserved, conserved, maintained, enhanced, restored or kept in its existing state in accordance with the covenant and to the extent provided in the Covenant.

In accordance with Section 219(5) of the *Land Titles Act*, an “amenity” includes any natural, historical, heritage, cultural, scientific, architectural, environmental, wildlife or plant life value relating to the land that is subject to the covenant.

## EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1040 Moss Street. The proposal is to remove a Land Use Contract and to rezone the property from the PB Zone (Public Building District) to a new zone to increase density and to permit the expansion and exterior alteration of a cultural facility (the Art Gallery of Greater Victoria (AGGV)) through a new three-storey addition to a Heritage-Registered property.

The following points were considered in assessing this application:

- The proposed addition is consistent with OCP policies related to arts and culture, including Policy 16.17.1 to “encourage and assist the expansion of exhibition space at the Royal British Columbia Museum and the Art Gallery of Greater Victoria”.
- The proposal is not fully aligned with OCP Policy 8.49 that provides direction for the new addition to be reviewed in relation to the *National Standards and Guidelines for Historic Places in Canada*. The main issue is the building form and massing would obscure the current visibility of character-defining elements of Spencer Mansion from vantage points along Moss Street. However, sight lines to the lower portion of Spencer Mansion from Moss Street, which are presently blocked by the one-storey addition, would be opened up. Additionally, the views of the west (front) façade of Spencer Mansion from Pentrelew Place and of the north façade from Wils Spencer Place would remain visible.
- The retention and continued use of Spencer Mansion as a cultural facility, as well as the footprint of the new addition, are consistent with policies in the *Rockland Neighbourhood Plan, 1987* related to the conservation of historic buildings and historic landscape character.
- Given the AGGV is a cultural facility with ancillary uses, the proposal is considered an institutional use which is exempt from the usual control and regulation for design under Development Permit Area 16: General Form and Character (DPA 16). However, the AGGV is willing to enter into a Section 219 Covenant that would secure the proposed design and heritage alterations.
- Based on the *Zoning Regulation Bylaw* Schedule C requirements, the expanded gallery would require 159 vehicle spaces whereas the proposal includes 26 stalls. Potential Transportation Demand Management (TDM) measures include an end of trip shower facility and six bicycle storage units for staff, 21 visitor bicycle spaces and measures such as staff transit passes. The TDM report recommends that additional parking stalls be secured at specific locations. As this option is not included in the proposal as presented by the applicant, the staff recommendation for Council’s consideration includes direction to the applicant to explore the feasibility of securing parking spaces on nearby properties.
- The proposed new addition is sited with almost the same footprint as the existing building which would help to retain most of the mature trees. However, six bylaw-protected trees would be lost and replaced with 12 trees which is consistent with the *Tree Preservation Bylaw*.



## BACKGROUND

### Description of Proposal

#### Rezoning

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1040 Moss Street. The proposal is to remove a Land Use Contract and to rezone from the PB Zone (Public Building District) to a new zone to increase density and to permit the expansion and exterior alteration of a cultural facility with ancillary uses through a new three-storey addition to a Heritage-Registered property.

Aspects of the proposal relevant to land use and regulations include:

- increase in density to 0.99:1 in floor space ratio (FSR)
- increase in the floor area of the building from 3820m<sup>2</sup> to 5662m<sup>2</sup> to expand the exhibition galleries, classrooms, gathering spaces, gift shop, archival storage and offices, and to introduce a theatre/multipurpose room and a café
- the proposed density and floor area includes the potential future enclosure of a portion of the upper storey of the addition that is presented in the proposed plans as a sculpture terrace garden open to the sky. Council's approval through amendments to the Section 219 Covenant would be required if, at a later date, the AGGV decided to advance this expansion of space
- there are also two accessory structures: a bike enclosure and the existing Asian Shrine
- the primary driveway crossing is accessed from Wils Spencer Avenue and 20 parking stalls would be retained in their current location with five new stalls in the southeast corner. A secondary driveway would continue to be located in the southeast corner that provides access to the loading dock.

#### Restrictive Covenant for Design and Heritage Alterations

The applicant is proposing to enter into a Section 219 Covenant to secure all aspects of the architecture, landscape architecture and urban design as well as the exterior alterations to the Heritage-Registered property, including :

- removal of the addition that currently houses the Children's Art Studio next to the existing AGGV main entry
- removal of the one-storey portion of the AGGV and replacement with a new three-storey addition with a similar building footprint and trapezoid form
- glazed section between the new addition and Spencer Mansion
- a mix of exterior materials for the new addition in concrete, metal cladding, copper or stainless steel mesh, extensive glazing and clerestory windows along the northeast section of the roof
- creation of a public plaza in the northeast corner of the property
- relocation of the existing Asian Garden to the southwest section of the site
- twelve new trees to replace six bylaw-protected trees and retention of most of the mature Garry Oak tree canopy
- retention of and exterior changes to Spencer Mansion, including:
  - repairs to the basement-level doors, windows and exterior walls, and the infill of an opening at the west end of the building
  - removal of exit stairs and glazing on the north elevation

- alteration of the east elevation to enable the glazed link between the Mansion and the new addition
- alteration of the east elevation for the installation of tri-folding doors to a new interior space (Children's Art Studio) located on the main floor
- alterations to exterior walls, roof and openings to create a storage area on the main floor, open to the exterior at the second floor, and the installation of a new wood window within the altered exterior wall/roof of the attic storey.

To enable the assessment of the impact of the proposed addition and exterior alterations on the heritage value and character-defining elements of Spencer Mansion, the applicant has provided a proposed Statement of Significance (attached).

### Sustainability Features

As indicated in the applicant's letter dated June 9, 2015, the following sustainability features are associated with this Application:

- building retention and reuse
- a high thermal performance building envelope
- low site coverage (38%) and permeable pavement to cover the tree root zones in the existing parking lot area.

### Active Transportation Impacts

The applicant proposes the following features which support active transportation:

- six bicycle storage units for staff
- end of trip shower facility for staff
- 21 visitor bicycle spaces in an enclosure.

### Land Use Context

The area is characterized by low-density residential uses in the form of single-family dwellings, house conversions and apartment buildings, as well as places of worship and Central Middle School which is located within walking distance (200m) along Fort Street.

### Existing Site Development and Development Potential

The site is presently the Art Gallery of Greater Victoria which is an institutional building.

### Data Table

The following data table compares the proposal with the existing PB Zone. An asterisk is used to identify where the proposal is less stringent than the existing Zone. A double asterisk identifies an existing condition that is legal non-conforming.

Zoning Criteria	Proposal	Zone Standard P-B Zone
Site area (m <sup>2</sup> ) - minimum	5701.00	460.00
Density (Floor Space Ratio) -	0.99:1	n/a



Zoning Criteria	Proposal	Zone Standard P-B Zone
maximum		
Total floor area (m <sup>2</sup> ) - maximum	5662.00	420.00
Lot width (m) - minimum	84.90	15.00
Height (m) - maximum	19.1m*	7.60
Storeys - maximum	4** (Spencer Mansion) 3* (new addition)	2
Site coverage % - maximum	38.00	40.00
Open site space % - minimum	45.00	n/a
Setbacks (m) - minimum		
Front (Moss Street)	7.30	7.50
Rear (west)	5.70**	18.80
Side (south)	0.80*	8.49
Side (Wilspencer Place)	16.80	8.49
Parking - minimum	26	159 <sup>1</sup>
Bicycle parking stalls (minimum)	21*	42
Bicycle storage units (minimum)	6*	10

<sup>1</sup> public assembly: 94 stalls; theatre: 21 stalls; cafe: 15 stalls; office: 12 stalls; classroom: 11 stalls; commercial exhibit: 4 stalls; retail: 2 stalls

## Relevant History

### Land Use Contract

A Land Use Contract (attached) is registered on the property title of 1040 Moss Street, which does not permit increases in floor area or density, or design changes to the building or grounds. The Land Use Contract, if not retired with this Rezoning Application, would expire in 2025, at which time the underlying zoning regulations would come into effect.

### Potential Transportation Demand Management Package

To help offset the shortfall of onsite parking spaces, the applicant is considering a number of options, including, but not limited to:

- reserve stall(s) for carpools on the AGGV parking area
- explore securing access to parking stalls on nearby properties, namely: 1155 Fort Street (First Memorial Funeral Services); 1201 Fort Street (Victoria Truth Centre); 1273 Fort Street (Grace Lutheran Church); 1280 Fort Street (Central Middle School); 1050 Joan Crescent (Craigdarroch Castle); The Laurels (1249 Rockland Avenue); 1240 Yates Street (Boys and Girls Club of Greater Victoria)
- way finding for parking in the vicinity of AGGV
- after hours walking chaperone to nearby bus stops and off-site parking
- guaranteed Ride Home Program for employees

- encourage employees to participate in the Jack Bell Rideshare Program
- offer employees the option to work alternate schedules to stagger vehicle and parking demands
- on-site bicycle valet
- employee bike share program
- provide employee transit passes
- offer free transit trip with AGGV event tickets.

## Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, the applicant has consulted the Rockland CALUC at a Community Meeting held on January 22, 2015. A letter dated February 17, 2015, is attached to this report.

## ANALYSIS

### Official Community Plan

#### Arts and Culture

The proposed addition is consistent with OCP policies related to arts and culture including Policy 16.17.1 to: "encourage and assist the expansion of exhibition space at the Royal British Columbia Museum and the Art Gallery of Greater Victoria".

#### Placemaking

OCP Section 8 "Placemaking" includes Policy 8.49 that provides direction for the new addition to Spencer Mansion to be reviewed in relation to the *National Standards and Guidelines for Historic Places in Canada*. Two key principles are to protect and enhance the heritage value of a property through retention of the visibility of character-defining elements that are currently viewable from the street and to respect the setting of the heritage property.

The proposed addition has been sited to have a similar building footprint as the existing one-storey section of the gallery, which will minimize the impact on the historic landscaped setting of Spencer Mansion through the retention of the mature tree canopy.

The main outstanding issue is that the building form and massing would obscure the current visibility of the upper storey of Spencer Mansion, where the character-defining elements are located, from vantage points along Moss Street. However, the applicant's approach in the proposed design is to trade-off the loss of these existing sight lines with opening-up new views to the lower portion of Spencer Mansion from Moss Street, which are presently blocked by the one-storey addition. Additionally, the west and north façades of Spencer Mansion would continue to be visible from Pentrelew Place and Wilsperencer Place.

Overall, the applicant has chosen a design approach that tries to strike a balance between respecting heritage conservation principles, retaining many of the Gary Oak trees and integrating an infill development project into the surrounding established neighbourhood. While there are some site constraints that that applicant is aiming to respect, the proposal results in tangible benefits to the City and Region by achieving an upgraded and improved cultural facility and enhancing the Gallery's ability to manage a cultural resource; both of which are expected to result in positive economic development.



The staff recommendation for Council's consideration includes direction to the applicant to consider if further design refinements could reduce the extent to which the proposed three-storey addition would obscure the visibility of Spencer Mansion from Moss Street. Should Council wish to advance the proposal as presented by the applicant, this report includes an alternate motion that removes the condition to consider changes to the design. Additionally, the staff recommendation includes further revisions to the proposed Statement of Significance for Spencer Mansion to ensure all heritage values and character-defining features are assessed.

#### Control and Regulation of Design and Exterior Alterations to a Heritage Property

Given that the AGGV is a cultural facility with ancillary uses, the proposal is considered an institutional use which is exempt from the control and regulation for design in Development Permit Area 16 General Form and Character. Additionally, a Heritage Alteration Permit is not required because Spencer Mansion is not protected through a Heritage Designation Bylaw or located in a designated Heritage Conservation Area. However, the applicant is willing to enter into a Section 219 Covenant to secure the design and heritage alterations as identified in AGGV letter, dated February 13, 2015 (attached). The staff recommendation for Council's consideration includes a condition to secure a Section 219 Covenant for design and heritage alterations, prior to a Public Hearing.

#### **Local Area Plans**

The proposal for the AGGV is consistent with the *Rockland Neighbourhood Plan, 1987*, which emphasizes heritage conservation generally and the retention of historic landscape character and mature trees on private lands, where possible, while accommodating new infill.

#### **Regulatory Considerations**

##### Onsite Parking Requirements

Based on the *Zoning Regulation Bylaw* Schedule C requirements, the AGGV expansion would require 159 vehicle spaces whereas the proposal includes 21 existing stalls and five new stalls. It is worth noting that the existing requirement for parking stalls on the site, which is stipulated under the terms of the 1975 Land Use Contract, is 34 stalls. The difference between what is provided on site today versus what was required under the Land Use Contract, can be attributed to the change in regulations related to stall size and dimensions; the same area that is presently used to provide 21 stalls, previously was used to provide 34 stalls. Moreover, if Schedule C was applied to the current facility, a conservative calculation estimates that over 100 stalls would be required, while as noted earlier, only 21 are provided.

This existing shortfall compared to the current parking requirements, paired with the relatively few neighbourhood parking concerns reported to staff, would suggest that the actual day-to-day demand for on-site parking associated with the expanded gallery is significantly lower. However, it is noted in the Transportation Demand Management (TDM) study and Parking Impact Study (attached) as well as by the Transportation Section that events at the Gallery will likely result in visitor parking being accommodated on the neighbouring streets. To help address the shortfall in parking stalls, the applicant is proposing an end of trip shower facility for staff, six bicycle storage units and 21 bicycle spaces within an enclosure. Options for "soft" TDM measures, such as staff transit passes, are being considered but are not confirmed and cannot be secured on title.



The TDM report also recommends that additional parking stalls be secured at specific locations. As this option is not included in the proposal as presented by the applicant, the staff recommendation for Council's consideration includes direction to the applicant to explore the feasibility of securing parking stalls on other nearby properties.

#### Tree Retention and Damage Mitigation

Any significant excavation on the AGGV site would have some impact on the historic landscape character because of the close proximity of mature trees on the lot. However, the proposed new addition is sited with almost the same footprint as the existing building to help retain as many of the trees as possible. Six bylaw-protected trees would be lost, but will be replaced with 12 new trees which is consistent with the *Tree Preservation Bylaw*.

### CONCLUSIONS

The proposed new gallery addition is consistent with the OCP policies related to arts and culture including City support for the expansion of AGGV exhibition space. It is also consistent with local area plan policies to retain the historic landscape character to the extent this is feasible. However, the form and massing of the new wing of the Gallery would remove the visibility of the second floor of Spencer Mansion as it can be seen today from Moss Street, while opening up other views to the Mansion from Moss Street and the gallery interior spaces. The recommendation for Council's consideration includes direction to the applicant to consider if design refinements could improve the views to Spencer Mansion from Moss Street and to secure the design of the new addition, landscape and heritage alterations of Spencer Mansion through a Section 219 Covenant. Lastly, staff have included a condition, for Council's consideration, to explore the feasibility of securing access to parking stalls on nearby properties to help mitigate the potential impact of the expanded gallery on the availability of on-street parking as recommended in the transportation consultant's reports.

### ALTERNATE MOTION


#### Option One:

That Council advance Rezoning Application No. 00476 for the property located at 1040 Moss Street as presented by the applicant, subject to referral to the Advisory Design Panel and Heritage Advisory Panel.

#### Option Two:

That Council decline Rezoning Application No.00476 for the property located at 1040 Moss Street.

Respectfully submitted,



Helen Cain  
Senior Planner  
Development Services  
Division



Alison Meyer, Assistant Director  
Sustainable Planning and  
Community Development  
Department



Andrea Hudson  
Acting Director  
Sustainable Planning and  
Community Development



Report accepted and recommended by the City Manager:



Jason Johnson

Date:

June 15, 2015

HC:aw

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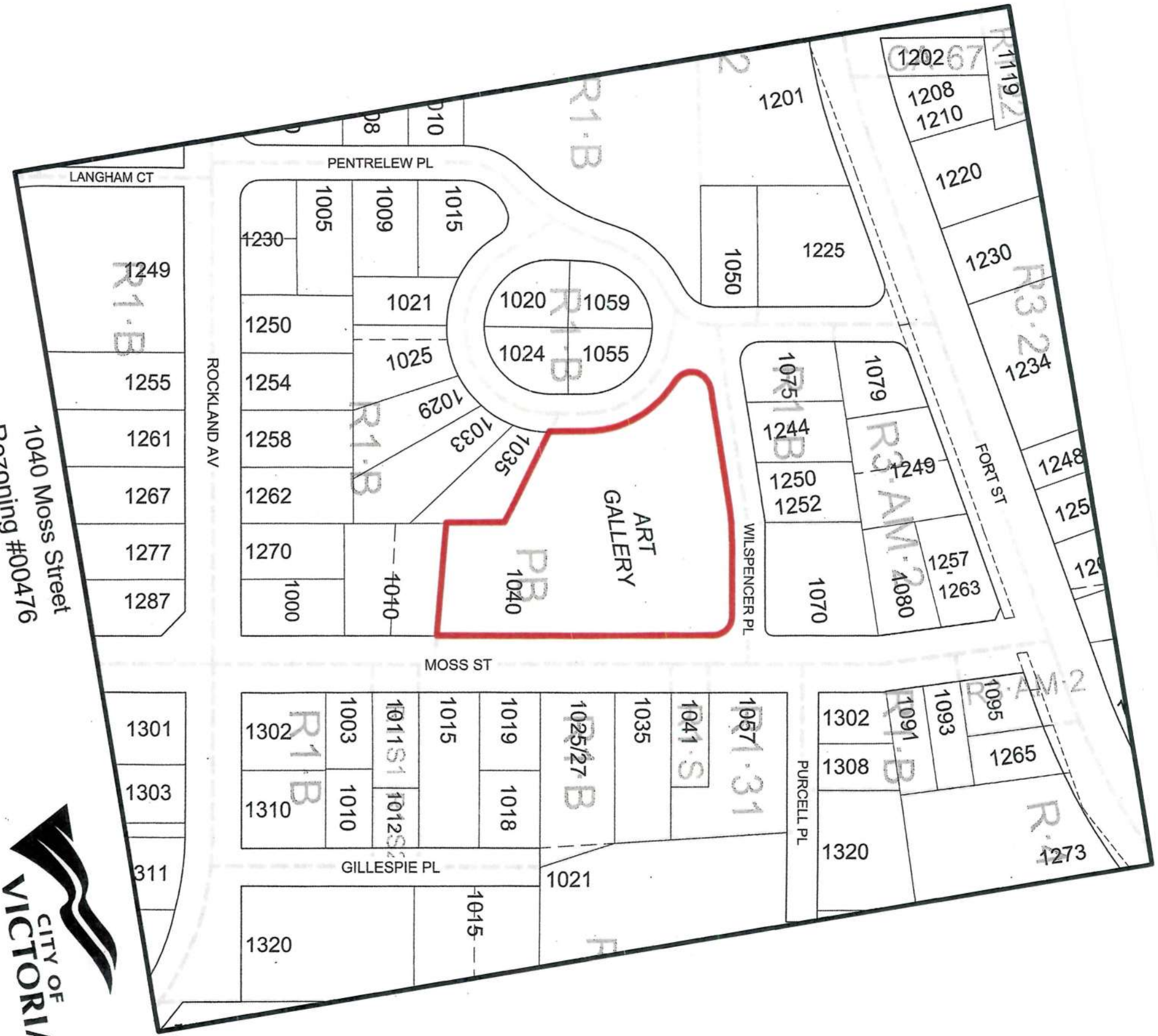
### List of Attachments

- Aerial map
- Zoning map
- Letters from Jon Tupper, Director, Art Gallery of Greater Victoria, dated May 15, 2015, and February 17, 2015
- Plans for Rezoning Application No. 00476, for 1040 Moss Street
- Statement of Significance for 1040 Moss Street (Spencer Mansion) dated May, 2015
- Art Gallery of Greater Victoria Renewal Project Transportation Review: Parking Update, prepared by Dan Casey for Boulevard Transportation, dated April 10, 2015
- Art Gallery of Greater Victoria Renewal Project Transportation Review: Parking Study, prepared by Boulevard Transportation dated January 30, 2015
- Art Gallery of Greater Victoria Renewal Project Transportation Review: Transportation Demand Management (TDM) Study, prepared by Boulevard Transportation, dated January 30, 2015
- Art Gallery of Greater Victoria Renewal Project Transportation Review: Traffic Impact Assessment, prepared by Boulevard Transportation, dated January 29, 2015
- Art Gallery of Greater Victoria, Tree Retention and Construction Damage Mitigation Plan, prepared by Talbot Mackenzie & Associates, dated May 5, 2015
- Community Meeting Minutes and related correspondence, received from Rockland Community Association, stamped February 17, 2015.











Jon Tupper  
Director  
Art Gallery of Greater Victoria  
1040 Moss St

Mayor and Council Members  
City Of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6

**RE: Art Gallery of Greater Victoria Renewal Project, 1040 Moss Street**  
May 15, 2015

To the Mayor and Council of the City of Victoria,

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The AGGV evolved in direct response to community need and continues to have a strong community response. The AGGV was formed in 1945, and in 1951 it moved into the Spencer mansion on Moss Street where it currently resides. For more than 60 years the AGGV has presented the best of the arts, enhancing the quality of life of the community and providing a valuable art resource to residents of Greater Victoria and tourists alike.

Some of the significant components of the collection include:

- 18,000 plus pieces of art from Emily Carr to Andy Warhol on display, in storage or on tour;
- Significant selection of Vancouver Island, British Columbian and Canadian, artwork;
- One of the largest and finest Asian collections in North America – it is the second largest in Canada containing individual, world-class collections.

## **APPLICATION FOR REZONING**

### **Project Description**

This summary of the design work undertaken by LWPAC+MA was created in dialogue with the AGGV management staff and Facilities Committee, project manager, consultant team, City of Victoria planning staff, and community at several Renewal neighbourhood open house events at the Art Gallery site. Our team hosted 2 Community Open Houses plus the Rockland Neighbourhood Community Association Meeting.

The architects and the team of consultants have studied multiple design scenarios for the AGGV Renewal. One scenario has emerged as a preferred option to best harmonize the project objectives, the intentions of the functional program and the project budget.

The proposed design strikes a careful balance between the benefits of adaptive reuse of the existing facilities including the historic mansion with a strategic placement of new additions to best meet the AGGV's objectives and yet maintain compatibility with the neighbourhood.

This rezoning application incorporates both the current renewal project and the potential for additions to the second floor to allow AGGV

May 15, 2015

1





for future growth. The intention is to seek approval by the City of Victoria for this possible future completion of the upper floor gallery level within a new Zoning Bylaw specific to this site. The existing zoning is designated as PB – Public Buildings and requires the AGGV to match the adjacent property zoning requirements (RB-1) and to comply with a site specific Land Use Contract that requires an amendment for any changes to the building. The City Planning Department has encouraged the AGGV to rezone the property to a more appropriate zone to apply for a change to the existing Land Use. The proposed zoning designation is site specific 'Comprehensive Development Institutional Zone'.

With vision, leadership and scholarship the AGGV will engage and inspire diverse audiences through exhibitions, interpretation, and stewardship of the collection.

The AGGV serves;

- 75% of visitors who come from a 7 mile radius
- over 200,000 visitors/year
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- innovative teaching methods
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### Context and Fit

For the design to be a viable option, it must positively address concerns about the renewed facility's fit within the neighbourhood. LWPAC+MA have studied the history and form of urban development of the Rockland and Fairfield communities. A historic urban development pattern and building scale comparison of over 80 larger mansion buildings reveals a good and consistent fit in scale and massing of a renewed AGGV facility. Historically the area consisted of larger scale mansion type buildings and only more recently since the 1950's has there been infill by smaller scale single family homes. The current design will approximately match the height of the Spencer Mansion.

The design creates a careful and sensible connection to the neighbouring buildings, the site, the Garry oak trees and the Spencer Mansion. The upper new building form is placed behind the tree canopy and a large overhang minimizes site and tree root impact while offering a protected public amenity plaza. This new public forum connects a public amenity plaza through the new lobby to the Asian Gardens on the south side of the Mansion. The concept provides clear positioning and interfaces for both the Spencer Mansion and the transformed new addition. The connection to the mansion is recessed and transparent, similar to the original first modern addition from 1958. The new upper volume is suspended at an elevation that corresponds to the eave line of the mansion and allows for a visual presence of the mansion from Moss Street through the new proposed lobby.

### Rezoning:

The neighbourhood context has been analyzed to provide a rezoning proposal that will respect the surrounding neighbourhood character for building height. Additionally, the current setbacks and site trees will be maintained where possible. We intend to provide additional parking on the site, which affects the retention of a few existing trees. To ensure that we are contributing to the neighbourhood tree resource we have engaged an arborist to examine current conditions and advise on the maintenance and protection of existing trees as well as the tree replacement plan. A significant 'recreated Garry oak meadow' is proposed for the site to contribute to the succession of Garry oaks on the site and to replace those designated to be removed.



## Government Policies

*Excerpts from the Official Community Plan*

### OCP Goals

To encourage and assist the expansion of exhibition space at the Royal British Columbia Museum and the Art Gallery of Greater Victoria;

### OCP Section 21: Rockland Neighbourhood Directions: excerpt

Strategic directions include:

- Location of city wide cultural facilities in the Victoria Art Gallery, Craigdarroch Castle and Government House.
- Supporting mixed use development along the Fort Street frequent transit corridor.
- Conserving the historic architectural and landscape character of the neighbourhood.
- Support the maintenance of existing dwellings and large lot character through sensitive infill that preserves green space and estate features.

### Current Zone PB: Public Building

Site setbacks, building height, density to match the most restrictive standards of the adjacent property which is the R1B Zone.

Excerpts from the neighbouring R1B Zone:

- 7.6m in height and 2 stories residential buildings
- 11m in height and 2.5 stories public buildings
- Site coverage (maximum) 40%
- Setbacks Front Yard 7.5m
- Rear Yard 7.5m or 25% lot depth
- Side Yard 3.5m or 10% of lot width

### Existing Land Use Contract:

Enacted in 1975 the land use contract requires that any building changes to the Art Gallery require an amendment to the Land Use Contract.

The proposed zoning designation is a Comprehensive Development Institutional Zone. Within that new zone, we propose that the zoning definition continue to respect the height of the neighbouring context. The proposed addition will provide a similar building height to the Mansion Belvedere. Parking has been studied to determine the daily demand for parking and whether the neighbouring off street parking can accommodate the overflow parking needed for programmed events. The site designed parking stall count and arrangement reflects the AGGV daily needs, and strikes a balance of maintaining the existing open site area, the existing Garry oak trees, offers an enhanced site design and provides a significant public outdoor amenity as a forecourt to the building.

### Project Benefits and Amenities

The renewal and expansion of the existing facility will expand the community programming at the AGGV and offer the local community an opportunity for extended use of the facility.

Overall, the design goals are to create excitement, engagement, continuity and integration.

The following items describe the project design principals:

- Preserve the Garry oak trees.
- Enhance the visibility and prominence of the historic Spencer Mansion.
- Re-orient of the AGGV entrance and public spaces to Moss Street to improve the street presence with transparency and visibility, building profile and arrival experience.
- Provide level entry from Moss Street to the lobby and to the Spencer Mansion for overall improved





# RENEWAL

accessibility.

- Improve access to the Asian Gardens.
- The lobby itself, designed as a great public forum with coffee facilities and continuity to the adjacent outside front plaza and gardens, is to be a space of movement and adaptation, media and the arts. It provides a clear understanding and visual celebration of the key parts of the gallery as a new public place for people. Enlarged public outdoor space that can be used for programmed events (e.g. Moss Street Paint-in) and community use.
- Provide new, larger public engagement and multi-use program spaces.
- Adapt and reuse existing galleries and multipurpose space to provide visual and operational transparency while translating the memory of the past 50 years of art exhibitions to the future.
- The mezzanine and new upper gallery level will provide exciting new possibilities to show case the full spectrum of the rich collections and to accommodate changing exhibitions.
- Improve the storage and exhibit of collected works.
- Connect the mansion on multi-levels to the new spaces.
- Provide a rooftop sculpture garden terrace on the new upper gallery floor.
- Improve access and parking.
- Improve loading facilities.

## Integrated Architecture and Landscape Architecture

The natural beauty of the site will be used as a canvas for the architectural expression. A clean, contemporary approach to the landscape architecture will showcase the building, artwork and any other site elements such as seating and lighting. The existing trees will be retained to the greatest extent possible and replaced where removals are required. To provide context for the existing Garry oak trees, the perimeter of the site will be over seeded and maintained to replicate a Garry oak meadow. Key entry points will draw visitors from the perimeter of the site, through the meadow and toward the entry plaza. Providing both covered and uncovered outdoor spaces, the landscape expression of the plaza spaces will visually extend through the building, opening up views to the garden courtyard beyond. Separated by a glass wall, the distinction between indoor and outdoor space will be blurred. The plaza will be used to draw visitors toward the main entry, while the program of the building will be allowed to spill out beyond the building face. The back courtyard will be reconfigured to create a more intimate space for visitors to enjoy the existing shrine. Terraces, dictated by the existing trees and walls, will define outdoor areas and offer places for the indoor activities to spill out into the garden. In addition to sculpture sprinkled around the grounds, a sculpture garden on the upper level will allow visitors to overlook the garden below and take a pause from the gallery environment.

## Need and Demand

The AGGV does not propose to change the use of the building, only increase the programmable space for the gallery and exhibit area. The existing Zone and Land Use Contract do not meet the future needs of the AGGV and require that a site specific zone should be created that allows for an increase in density.

### Density:

#### Building Area Floor Space Ratio

Total Gross Floor Area, Existing: 3,820 sm (41,118sf)	FSR = 0.67
Total Gross Floor Area, Proposed: 5216 sm (56144)	FSR = 0.91
Total Gross Floor Area, Rezoning (incl. entire 2nd floor) 5,662 sm (60,945)	FSR = 0.99

## Neighbourhood

The AGGV has been located at this site since 1951 and has grown programmatically offering extensive community programs building a strong relationship with the local community. To remain at this location the AGGV requires improvements to the building that can be accommodated within the existing site, while still respecting the characteristics of the neighbouring context.

## Impacts

The immediate neighbours will be offered a design that will celebrate the site and views of the mansion, opening up the mansion façade to Moss St. The proposed additions have significantly changed the relationship of the Mansion with the newer parts of the



Gallery by creating a greater distance between these two elements. Where previously the Moss Street façade was a brick and concrete aesthetic the proposed building entry will face Moss St. with more transparency and lighter building materials

The 2<sup>nd</sup> floor roof space that is available for future expansion is programmed as a sculpture terrace and will be acoustically screened. Additional privacy features include the existing tree canopy that surrounds the second storey that will visually and acoustically screen the gallery from the neighbouring properties. New tree plantings along the south property boundary are intended to add to the separation of the gallery to the adjacent property.

#### **Design and Development Permit Guidelines**

The AGGV renewal project design is guided by the Rockland Neighbourhood design guidelines, the OCP Policies and Zoning bylaws of the existing site and neighbouring properties.

#### **Permits:**

- Rezoning Application.
- Heritage Alteration Permit
- Building Permit, City of Victoria
- Occupancy Permit, City of Victoria

#### **Transportation**

The City of Victoria parking standards in Schedule C do not specifically provide requirements for art galleries, therefore, the AGGV has engaged a transportation consultant to study the current parking demand and use to develop strategies to meet the future requirements.

#### *Proposed Parking Counts:*

- 21 parking stalls
- 5 overflow parking stalls

#### *The parking includes:*

- 1 h/c parking stall
- 2 smart car parking stalls
- 3 motorcycle / Scooter Stalls

#### *Parking Key Findings*

1. The Art Gallery parking lot generally meets the Gallery's day-to-day parking needs.
2. On-street parking on Moss Street and Wilsper Street is unrestricted so that Art Gallery patrons can utilize this parking area when the AGGV parking lot is full, providing contingency in case of spillover.
3. Parking demand during special events at the Art Gallery exceeds the site's parking capacity and results in vehicles seeking parking off-site.
4. Parking strategies have been provided in the Transportation Plan that manage parking supply, arrange for off-site parking, and reduce parking demand during higher attendance programs.

#### *Strategies:*

The following are options to manage parking during higher attended programming:

The following are identified possible options:

- Arrange for parking on nearby sites
- Provide signs indicating where to find parking
- Reserved "priority" parking for carpools
- Encourage employee carpooling by having them sign-up for Jack Bell RideShare
- Encourage employee carpooling with an internal sign-up sheet in the employee room
- Provide after-hours walking chaperone to off-site parking and nearby bus stops





- Offer employees an alternative work schedule to stagger vehicle and parking demands
- Offer free transit trip with event ticket
- Provide employee transit passes
- Provide on-site bike parking and a bicycle valet service
- Provide on-site end of journey lockers and showers
- Provide a passenger drop-off area on Moss Street adjacent to the site
- Provide a Guaranteed Ride Home
- Encourage employee bikeshare program with 1 female and 1 male mountain bikes
- Provide alternative transportation modes information

#### *Cycling:*

Bike racks will be provided adjacent the primary building entrance in two locations. The majority will be along the east building facing adjacent Moss Street. Additional spaces will be provided adjacent the stairwell at the on-site drop-off area. Both locations are appropriate, as they are near key building entrances, under surveillance and weather protected. The City's Bicycle Parking Strategy 2 provides additional guidance on bike rack placement and design.

#### *Bike Parking Counts:*

- 38 Class 2 bike parking spaces
- 21 Class 1 bike parking spaces in a bike cage
- Cycling trip-end facilities including two shower/change areas and 12 lockers

The current driveway access to the AGGV includes an entrance driveway to Moss Street and an exit driveway to Wilsperencer Place. This configuration has served the AGGV with safe and functional vehicle access for many years and it is the preference of the AGGV to maintain this traffic flow on the site. The proposed site plan revises the driveway access to eliminate the Moss Street driveway providing two driveway accesses to Wilsperencer Place (the more minor street classification) in a drive through drop-off and pick-up configuration in accordance with the primary intent for corner lots as set out in the Highway Access Bylaw. Despite the bylaws primary intent, Wilsperencer Place is a narrow street with parking on both sides and difficult visibility at the Moss / Wilsperencer intersection. AGGV consultants advise that proper functioning of the Wilsperencer driveways will require the removal of 7 on-street parking spaces from Wilsperencer Place and intersection improvements at Moss St. Section 12 (2) of the Highway.

#### **Heritage**

The Spencer Mansion is not currently designated Heritage Status, however at the City of Victoria Planning Department's discretion and request, we have provided a Statement of Significance for the site in response to the City of Victoria Planning and Heritage Initial Comments, and Heritage Alteration Permit Application for the Rezoning Application. The proposed Renewal project will be providing restoration to several key areas of the building to include:

#### *Spencer Mansion Heritage Restoration:*

- Connect Spencer Mansion to the new building with improved accessibility.
- Create a better relationship with the historical Spencer Mansion with a smaller, less intrusive connection.
- Program improvements in the Mansion correlate with mansion restoration.
- Relocate the children's art program, and restore of the mansion facade in this area.
- Gift shop relocation to the addition, and restore the mansion façade in the current area.

See the Appendix Reports for a detailed analysis and illustrations:

1. AGGV Statement of Significance for the Site



# RENEWAL

## Green Building Features

The AGGV Renewal project systems are designed to meet the Canadian Conservation Institute's National Guidelines, to specifically control the temperature and humidity range to preserve the art collection. The system integrates heat pumps, hydronics and displacement ventilation to provide a high efficiency mechanical system while meeting specific needs of the building use.

The design team is currently incorporating Best Sustainable Design Practices in the Renewal project and designing to a LEED Gold equivalency. Some of the project sustainability goals include:

### Site Selection and Design:

- Only the public spaces within the building will benefit from the passive solar design.
- The Art exhibition spaces will be protected from direct exposure to UV light, which is one of the most extensive threats to art collections. Using daylight while eliminating direct solar and UV light gains from the exhibit areas and limiting illumination intensity are the two key measures required to protect art exhibits from direct damage as well as assist in effectively controlling the space temperature and relative humidity

### Building Retention and Reuse

- The AGGV has committed to remaining in the current location and to renovate and expand the existing facility. The reuse of an existing building/site is an important consideration in sustainability values allowing for a reduction of raw material use, construction waste, and contributing to the social environmental benefits of the local community.

### Infrastructure

The site is fully serviced with the required infrastructure needed to expand the building.

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### Transportation

- The AGGV existing parking demand and predicted demand has been studied by Boulevard Transportation. As the proposed parking will meet the daily needs of the AGGV, some programmed events require parking spaces that exceed the site's capacity. Transportation Demand Management has been planned with the AGGV support and community infrastructure available to accommodate the parking needs within a reasonable distance of the building. Please see the Appendix A for the Traffic and Parking Studies as well as the Transportation Demand Management Plan.

### Energy Efficiency

- A high thermal performance building envelope will reduce heat loss and unwanted gains. A Building Envelope Consultant will provide the energy analysis needed to specify the walls systems. The building envelope thermal performance shall exceed the thermal minimum requirements of ASHRAE 90.1 – 2010 and MNECB.

### Water

- Plumbing fixtures will be selected to meet durable institutional standards, barrier - free design and effectiveness requirements. There will be a significant reduction in water use over the current existing conditions.

### Site Permeability

- The proposed site coverage is 45%, with a preservation/improvement of the open space designed into the landscaped areas. Permeable pavement will cover existing root zones in the new parking lot area.

### Landscaping and Urban Forest

- There will be no net loss of trees to the site, 9 trees will be removed and replaced with young native trees that will benefit the site by introducing age and species diversity into the population.
- Many of the existing Garry oak trees will be pruned for long term maintenance and improved tree health.
- New pathways are proposed from Moss Street to the new entrance





# RENEWAL

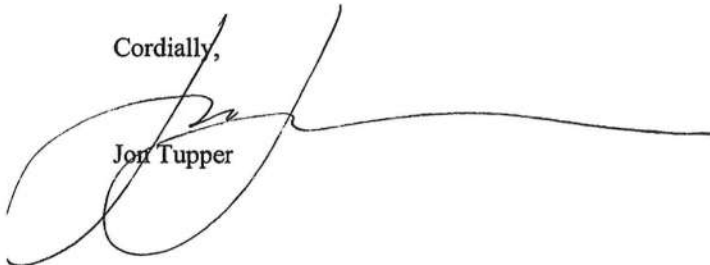
- To provide a context for the existing Garry oak trees, the perimeter of the site will be over seeded and maintained to replicate a Garry oak meadow

Thank you for your consideration of this exciting project. We firmly believe that this Renewal project will allow us to continue to be a major cultural resource for the City for many years to come.

We ask for your support for the changes we propose in this Rezoning Application which are necessary to expand and renew this important cultural institution.

Cordially,

Jon Tupper

A large, stylized handwritten signature in black ink, starting with a large loop and ending with a long horizontal stroke.



## APPENDIX A

1. AGGV Statement of Significance
2. Drawing Set
3. Traffic Impact Assessment
4. Transportation Review Parking Study
5. Transportation Demand Management Strategy
6. Arborist Report: Tree Retention and Construction Damage Mitigation Plan



Jon Tupper  
Director  
Art Gallery of Greater Victoria  
1040 Moss St

Mayor and Council Members  
City Of Victoria  
1 Centennial Square  
Victoria, BC  
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February 13, 2015



## **RENEWAL**

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- Provide level entry from Moss Street to the lobby and to the Spencer Mansion for overall improved accessibility.





# RENEWAL

- Improve access to the Asian Gardens.
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- Provide new, larger public engagement and multi-use program spaces.
- Adapt and reuse existing galleries and multipurpose space to provide visual and operational transparency while translating the memory of the past 50 years of art exhibitions to the future.
- The mezzanine and new upper gallery level will provide exciting new possibilities to show case the full spectrum of the rich collections and to accommodate changing exhibitions.
- Improve the storage end exhibit of collected works.
- Connect the mansion on multi-levels to the new spaces.
- Provide a rooftop viewing deck and sculpture garden on new upper gallery floor.
- Improve access and parking.
- Improve loading facilities.

## Landscape Architecture

The natural beauty of the site will be used as a canvas for the architectural expression. A clean, contemporary approach to the landscape architecture will showcase the building, artwork and any other site elements such as seating and lighting. The existing trees will be retained to the greatest extent possible and replaced where removals are required. To provide context for the existing Garry oak trees, the perimeter of the site will be over seeded and maintained to replicate a Garry oak meadow. Key entry points will draw visitors from the perimeter of the site, through the meadow and toward the entry plaza. Providing both covered and uncovered outdoor spaces, the landscape expression of the plaza spaces will visually extend through the building, opening up views to the garden courtyard beyond. Separated by a glass wall, the distinction between indoor and outdoor space will be blurred. The plaza will be used to draw visitors toward the main entry, while the program of the building will be allowed to spill out beyond the building face. The back courtyard will be reconfigured to create a more intimate space for visitors to enjoy the existing shrine. Terraces, dictated by the existing trees and walls, will define outdoor areas and offer places for the indoor activities to spill out into the garden. In addition to sculpture sprinkled around the grounds, a sculpture garden on the upper level will allow visitors to overlook the garden below and take a pause from the gallery environment.

## Need and Demand

The AGGV does not propose to change the use of the building, only increase the programmable space for the gallery and exhibit area. The existing Zone and Land Use Contract do not meet the future needs of the AGGV and require that a site specific zone should be created that allows for an increase in density.

### Density:

#### Building Area Floor Space Ratio

Total Gross Floor Area, Existing: 3,820 sm (41,118sf)	FSR = 0.67
Total Gross Floor Area, Proposed: 4,570 sm (49,199sf)	FSR = 0.802
Total Gross Floor Area, Rezoning (incl. entire 2nd floor) 5,249 sm (56,499sf)	FSR = 0.92

## Neighbourhood

The AGGV has been located at this site since 1951 and has grown programmatically offering extensive community programs building a strong relationship with the local community. To remain at this location the AGGV requires improvements to the building that can be accommodated within the existing site, while still respecting the characteristics of the neighbouring context.

## Impacts

The immediate neighbours will be offered a design that will celebrate the mansion views opening up the mansion façade to Moss St. Where previously the Moss Street façade was a brick and concrete aesthetic the proposed building entry will face Moss St. with more transparency and lighter building materials.





The 2<sup>nd</sup> floor roof space that is available for future expansion is programmed as a sculpture garden and will be acoustically screened. Additional privacy features include the existing tree canopy that surrounds the second storey will visually and acoustically screen the gallery from the neighbouring properties. New tree plantings along the south property boundary are intended to add to the separation of the gallery to the adjacent property.

#### **Design and Development Permit Guidelines**

The AGGV renewal project design is guided by the Rockland Neighbourhood design guidelines, the OCP Policies and Zoning bylaws of the existing site and neighbouring properties.

#### **Permits:**

- Rezoning Application.
- Heritage Alteration Permit
- Building Permit, City of Victoria
- Occupancy Permit, City of Victoria

#### **Transportation**

The City of Victoria parking standards in Schedule C do not specifically provide requirements for art galleries, therefore, the AGGV has engaged a transportation consultant to study the current parking demand and use to develop strategies to meet the future requirements.

#### *Proposed Parking Counts:*

- 24 parking stalls
- 5 overflow parking stalls

#### *The parking includes:*

- 1 h/c parking stall
- 2 smart car parking stalls
- 3 motorcycle / Scooter Stalls

#### *Parking Key Findings*

1. The Art Gallery parking lot generally meets the Gallery's day-to-day parking needs.
2. On-street parking on Moss Street and Wilspencer Street is unrestricted so that Art Gallery patrons can utilize this parking area when the AGGV parking lot is full, providing contingency in case of spillover.
3. Parking demand during special events at the Art Gallery exceed the site's parking capacity and results in vehicles seeking parking off-site.
4. Parking strategies are needed that manage parking supply, arrange for off-site parking, and reduce parking demand during higher attendance programs.

#### *Strategies:*

The following are options to manage parking during higher attended programming:

The following are identified possible options:

- Arrange for parking on nearby sites
- Provide signs indicating where to find parking
- Reserved "priority" parking for carpools
- Encourage employee carpooling by having them sign-up for Jack Bell RideShare
- Encourage employee carpooling with an internal sign-up sheet in the employee room
- Provide after-hours walking chaperone to off-site parking and nearby bus stops
- Offer employees an alternative work schedule to stagger vehicle and parking demands
- Offer free transit trip with event ticket

## **RENEWAL**

- Provide employee transit passes
- Provide on-site bike parking and a bicycle valet service
- Provide a passenger drop-off area on Moss Street adjacent to the site
- Provide a Guaranteed Ride Home
- Encourage employee bikeshare program with 1 female and 1 male mountain bikes
- Provide alternative transportation modes information

### *Cycling:*

Bike racks will be provided adjacent the primary building entrance in two locations. The majority will be along the east building facing adjacent Moss Street. Additional spaces will be provided adjacent the stairwell at the on-site drop-off area. Both locations are appropriate, as they are near key building entrances, under surveillance and weather protected. The City's Bicycle Parking Strategy 2 provides additional guidance on bike rack placement and design.

### **Bike Parking Counts:**

- 38 Class 2 bike parking spaces
- 12 Class 1 bike parking spaces in a bike cage
- Cycling trip-end facilities including two shower/change areas and 12 lockers

The current driveway access to the AGGV includes an entrance driveway to Moss Street and an exit driveway to Wils Spencer Place. This configuration has served the AGGV with safe and functional vehicle access for many years and it is the preference of the AGGV to maintain this traffic flow on the site. The proposed site plan revises the driveway access to eliminate the Moss Street driveway providing two driveway access to Wils Spencer Place (the more minor street classification) in a drive through drop-off and pick-up configuration in accordance with the primary intent for corner lots as set out in the Highway Access Bylaw. Despite the bylaws primary intent, Wils Spencer Place is a narrow street with parking on both sides and difficult visibility at the Moss / Wils Spencer intersection. AGGV consultants advise that proper functioning of the Wils Spencer driveways will require the removal of 7 on-street parking spaces from Wils Spencer Place and intersection improvements at Moss St. Section 12 (2) of the Highway Access Bylaw provides for the City Engineer's discretion respecting access driveways to corner lots and the AGGV may ask for the exercise of this discretion to maintain its existing traffic flow, particularly if supported by neighborhood interests.

### **Heritage**

The Spencer Mansion is not currently designated Heritage Status, however at the City of Victoria Planning Department's discretion and request, we have provided a Statement of Significance for the site in response to the City of Victoria Planning and Heritage Initial Comments, and Heritage Alteration Permit Application for the Rezoning Application. The proposed Renewal project will be providing restoration to several key areas of the building to include:

### **Spencer Mansion Heritage Restoration:**

- Connect Spencer Mansion to the new building with improved accessibility.
- Create a better relationship with the historical Spencer Mansion with a smaller, less intrusive connection.
- Program improvements in the Mansion correlate with mansion restoration.
- Relocate the children's art program, and restore of the mansion facade in this area.
- Gift shop relocation to the addition, and restore the mansion façade in the current area.

See the Appendix Reports for a detailed analysis and illustrations:

1. AGGV Statement of Significance for the Site
2. AGGV response to City of Victoria Initial Comments





### Green Building Features

The AGGV Renewal project systems are designed to meet the Canadian Conservation Institute's National Guidelines, to specifically control the temperature and humidity range to preserve the art collection. The system integrates heat pumps, hydronics and displacement ventilation to provide a high efficiency mechanical system while meeting specific needs of the building use.

The design team is currently incorporating Best Sustainable Design Practices in the Renewal project. Some of the project sustainability goals include:

#### Site Selection and Design:

- Only the public spaces within the building will benefit from the passive solar design.
- The Art exhibition spaces will be protected from direct exposure to UV light, which is one of the most extensive threats to art collections. Eliminating direct solar and UV light gains from the exhibit areas and limiting illumination intensity are the two key measures required to protect art exhibits from direct damage as well as assist in effectively controlling the space temperature and relative humidity

#### Building Retention and Reuse

- The AGGV has committed to remaining in the current location and to renovate and expand the existing facility. The reuse of an existing building/site is an important consideration in sustainability values allowing for a reduction of raw material use, construction waste, and contributing to the social environmental benefits of the local community.

#### Infrastructure

The site is fully serviced with the required infrastructure needed to expand the building.

See the Appendix Reports for a detailed analysis and illustrations:

1. AGGV Statement of Significance
2. AGGV response to City of Victoria Initial Comments

#### Transportation

- The AGGV existing parking demand and predicted demand has been studied by Boulevard Transportation. As the proposed parking will meet the daily needs of the AGGV, some programmed events require parking spaces that exceed the site's capacity. Transportation Demand Management has been planned with the AGGV support and community infrastructure available to accommodate the parking needs within a reasonable distance of the building. Please see the Appendix A for the Traffic and Parking Studies as well as the Transportation Demand Management Plan.

#### Energy Efficiency

- A high thermal performance building envelope will reduce heat loss and unwanted gains. A Building Envelope Consultant will provide the energy analysis needed to specify the walls systems. The building envelope thermal performance shall exceed the thermal minimum requirements of ASHRAE 90.1 – 2010 and MNECB.

#### Water

- Plumbing fixtures will be selected to meet durable institutional standards, barrier - free design and effectiveness requirements. There will be a significant reduction in water use over the current existing conditions.

#### Site Permeability

- The proposed site coverage is 45%, with a preservation/improvement of the open space designed into the landscaped areas. Permeable pavement will cover existing root zones in the new parking lot area.

#### Landscaping and Urban Forest

- There will be no net loss of trees to the site, 8 trees will be removed and replaced with young native trees that will benefit the site by introducing age and species diversity into the population.
- Many of the existing Garry oak trees will be pruned for long term maintenance and improved tree health.



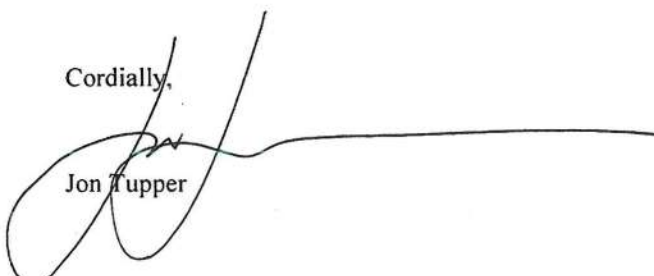
- New pathways are proposed from Moss Street to the new entrance
- To provide a context for the existing Garry oak trees, the perimeter of the site will be over seeded and maintained to replicate a Garry oak meadow

Thank you for your consideration of this exciting project. We firmly believe that this Renewal project will allow us to continue to be a major cultural resource for the City for many years to come.

We ask for your support for the changes we propose in this Rezoning Application which are necessary to expand and renew this important cultural institution.

Cordially,

Jon Tupper

A large, stylized handwritten signature in black ink, which appears to be "Jon Tupper", written over the printed name.



## APPENDIX A

1. AGGV Statement of Significance
2. AGGV response to City of Victoria Initial Comments
3. Traffic Impact Assessment
4. Transportation Review Parking Study
5. Transportation Demand Management Strategy
6. Arborist Report: Tree Retention and Construction Damage Mitigation Plan



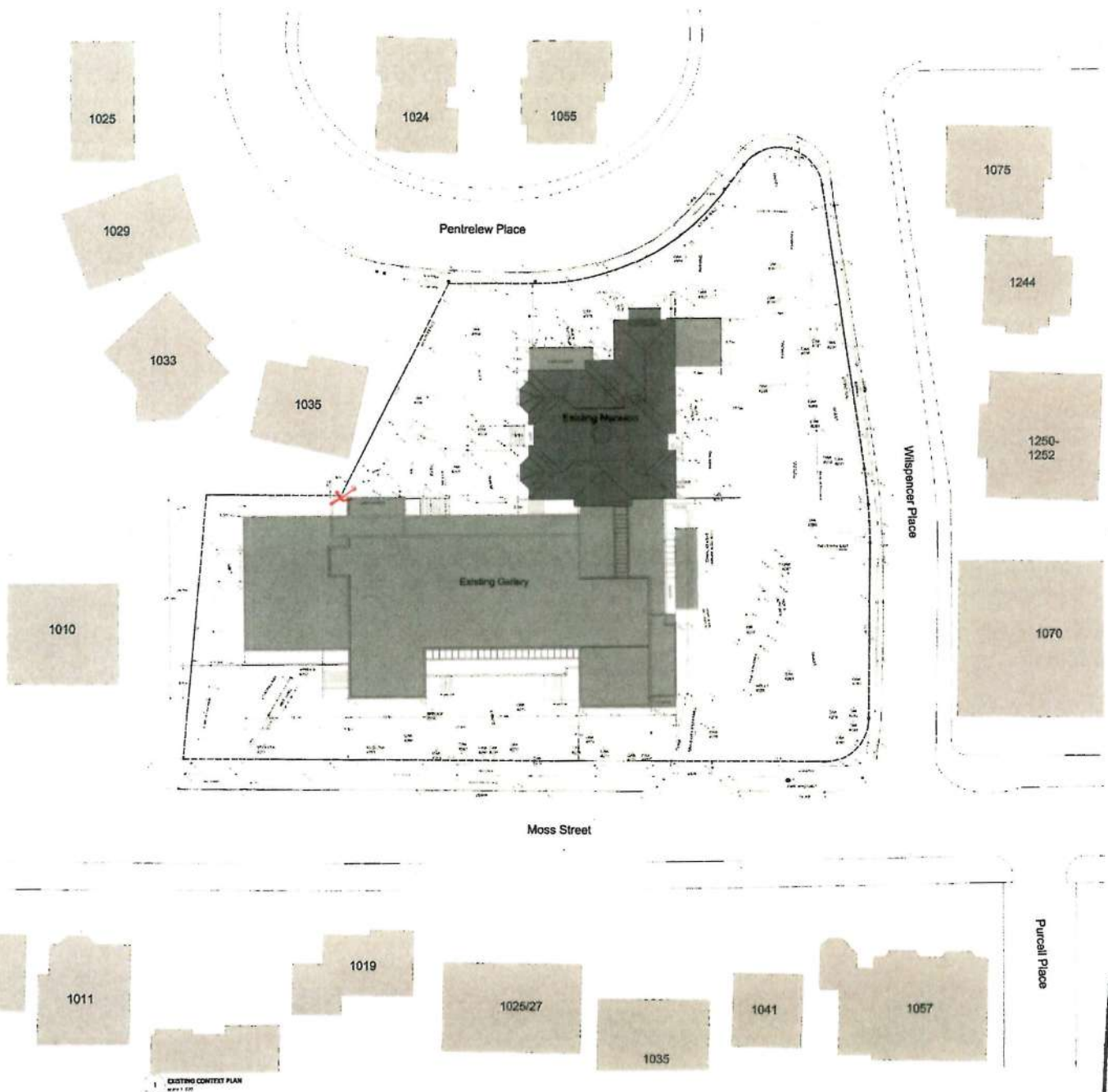
**Arborist**

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City of Victoria  
MAY 14 2015  
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Development Services Division



Project:  
**ART GALLERY RENEWAL**  
 Client:  
 Project Manager:  
**CitySpaces**  
 Architect:  
**LWPAC + MA**  
 Structural:  
 Landscape Architect:  
 Mechanical:  
 Electrical:  
 Code:  
 Traffic:  
 Geotechnical:  
 Arborist:

- EXISTING CONTEXT PLAN AND DRAINING LIST
- A0.2 EXISTING CONTEXT PLAN AND DRAINING LIST
  - A0.3 PROPOSED CONTEXT PLAN
  - A0.4 PROPOSED SITE PLAN
  - UB.1 PROPOSED LANDSCAPE SITE PLAN
  - A0.5 PROPOSED STREETSCAPE ELEVATION #1
  - A0.51 PROPOSED STREETSCAPE ELEVATION #2
  - A0.52 PROPOSED STREETSCAPE ELEVATION #3
  - A1.1 PROPOSED ELEVATIONS
  - A1.2 PROPOSED ELEVATIONS
  - A1.3 PROPOSED MATERIALS
  - A1.4 PROPOSED VIEW FROM WILSPENCER PLACE
  - A1.5 VISUALIZATION OF PROPOSED CONNECTION TO SPENCER PARKWAY
  - A1.6 VISUALIZATION PROPOSED SOFT FIT CONTEXT AND MASSING
  - A1.7 SHADOW STUDIES EXISTING
  - A1.71 SHADOW STUDIES PROPOSED
  - A2.1 PROPOSED BASEMENT FLOOR PLAN
  - A2.2 PROPOSED MAIN LEVEL FLOOR PLAN
  - A2.3 PROPOSED MEZZANINE PLAN
  - A2.4 PROPOSED UPPER LEVEL FLOOR PLAN
  - A2.5 PROPOSED ROOF PLAN
  - A2.6 PROPOSED BASEMENT FLOOR RETENTION PLAN
  - A2.7 PROPOSED MAIN FLOOR RETENTION PLAN
  - A3.1 PROPOSED CROSS SECTIONS
  - A3.2 PROPOSED CROSS SECTIONS
  - A3.3 PROPOSED LONGITUDINAL SECTIONS
  - A4.1 PROPOSED LINK TO MANSION
  - A4.2 PROPOSED AND EXISTING NORTH ELEVATION OF MANSION
  - A4.3 PROPOSED FLOOR PLANS OF MANSION
  - A5.1 CONTEXT AND FIT




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MOSS ST, STREETSCAPE PHOTOGRAPHS

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**PROPOSED**  
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**A.O.S.**





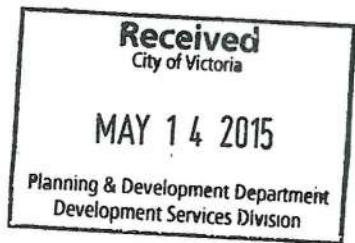
1. PENTRELEW PL. STREETSCAPE ELEVATION W/O TREES



2. PENTRELEW PL. STREETSCAPE ELEVATION W/ TREES



3. PENTRELEW PL. STREETSCAPE PHOTOGRAPHS



Project: **ART CALIFORNIA RENEWAL**

Client: **City of Victoria**

Project Manager: **CitySpaces**

Architect: **LWPAC + MA**

Structural: **Structural Engineering Ltd.**

Landscape Architect: **Landscape Architecture Ltd.**

Mechanical: **Mechanical Engineering Ltd.**

Electrical: **Electrical Engineering Ltd.**

Code: **Code Consultant Ltd.**

Traffic: **Traffic Engineering Ltd.**

Geotechnical: **Geotechnical Engineering Ltd.**

Arborist: **Arborist Consulting Ltd.**

PREPARED STREETSCAPE ELEVATION #1

Scale: 1/8" = 1'-0"

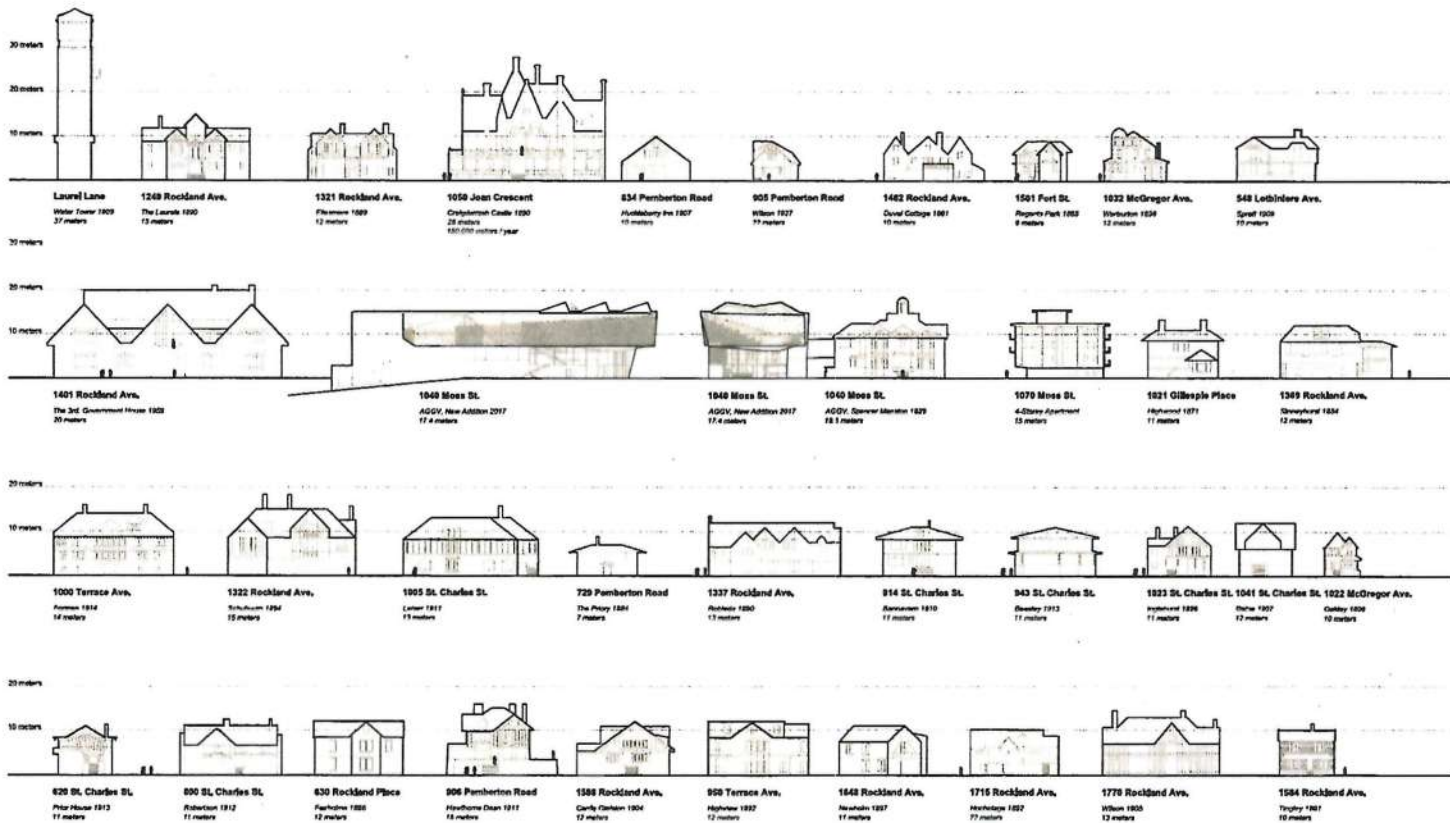
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Project:  
**ART GALLERY**  
**RENEWAL**  
 Client:  
 Project Manager:  
**CitySpaces**  
 Architect:  
**LWPAC + MA**  
 Structural:  
 Landscape Architect:  
 Mechanical:  
 Electrical:  
 Code:  
 Traffic:  
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 Arborist:

PROPOSED STREETSCAPE ELEVATION #1  
 A0.52



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1 BUILDING HEIGHTS DIAGRAM  
Scale 1:100

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Project:  
**ART GALLERY RENEWAL**  
Client:  
City of Victoria  
Project Manager:  
**CitySpaces**

Architect:  
**LWPAC + MA**

Structural:  
LWPAC

Landscape Architect:  
LWPAC

Mechanical:  
LWPAC

Electrical:  
LWPAC

Code:  
LWPAC

Traffic:  
LWPAC

Geotechnical:  
LWPAC

Arborist:  
LWPAC

Table 1: Building Heights and Setbacks

Table 2: Building Footprints

Table 3: Building Details

Table 4: Building Footprints

Table 5: Building Details



**Project:**  
ART GALLERY  
RENEWAL

**Client:**  
City of Victoria

**Project Manager:**  
CitySpaces

**Architect:**  
LWPAC  
+ MA

**Structural:**  
LWPAC

**Landscape Architect:**  
LWPAC

**Mechanical:**  
LWPAC

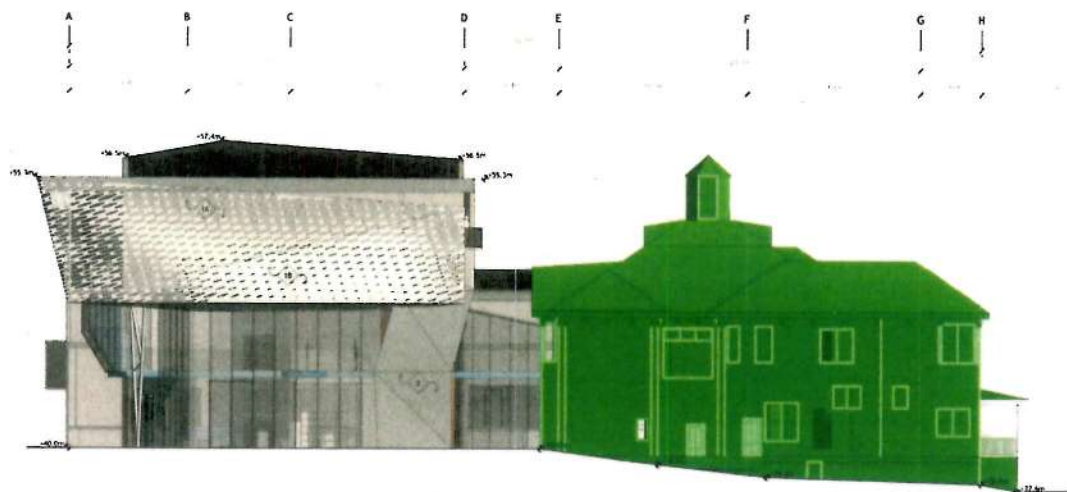
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**Code:**  
LWPAC

**Traffic:**  
LWPAC

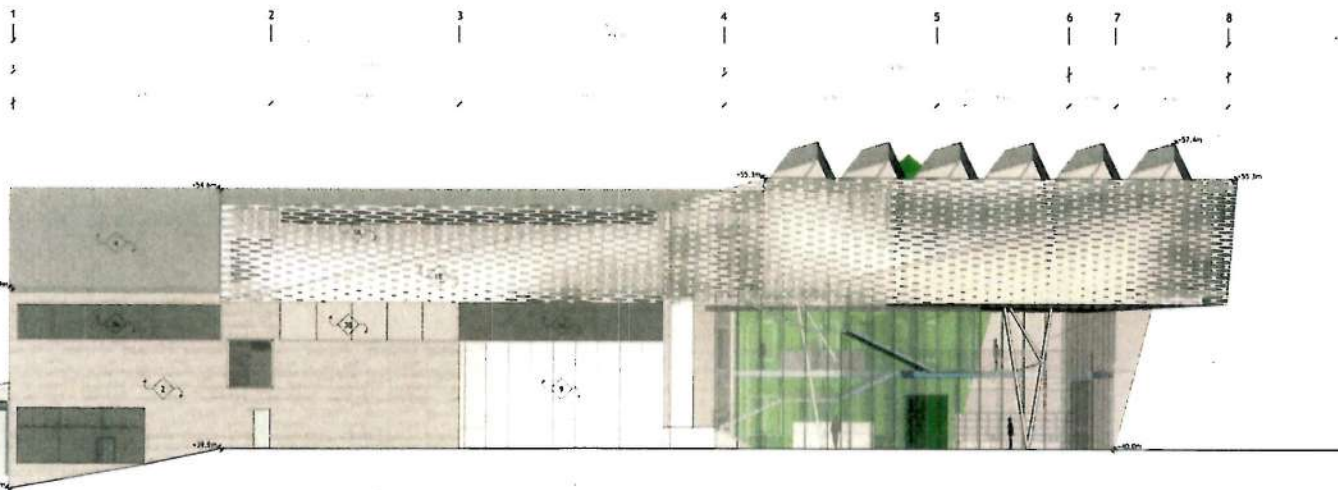
**Geotechnical:**  
LWPAC

**Arborist:**  
LWPAC



- +17.4m T.D. New Gallery Roof
- +17.1m T.D. Main Floor
- +16.9m T.D. New Gallery Floor
- +16.1m Third Floor Main Floor
- +15.5m T.D. Gallery Roof Sub
- +14.4m Second Floor Main Floor - Mezzanine
- +13.2m Main Floor Gallery
- 0.0m Main Floor Main Floor
- 1.3m Basement Gallery High
- 2.3m Basement Main Floor

- LEGEND**
- 1A. COPPER OR STAINLESS STEEL - HIGH APERTURE DENSITY 1
  - 1B. COPPER OR STAINLESS STEEL - HIGH APERTURE DENSITY 2
  - 2. ISOLATED FORM CONCRETE
  - 3. CLADDING - METAL
  - 3A. CLADDING - METAL
  - 3B. CLADDING - METAL
  - 4. MECHANICAL ROOM ENCLOSURE - MESH
  - 5. REPAIR EXISTING WALL
  - 6. NEW EXISTING CONCRETE BLOCK
  - 7A. METAL CLADDING ON EXISTING WALL
  - 7B. METAL CLADDING ON NEW WALL
  - 8. PERFORATED METAL - MESH
  - 9. POLYPROPYLENE CLADDING



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**Project:**  
ART GALLERY  
RENEWAL

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**Other:**  
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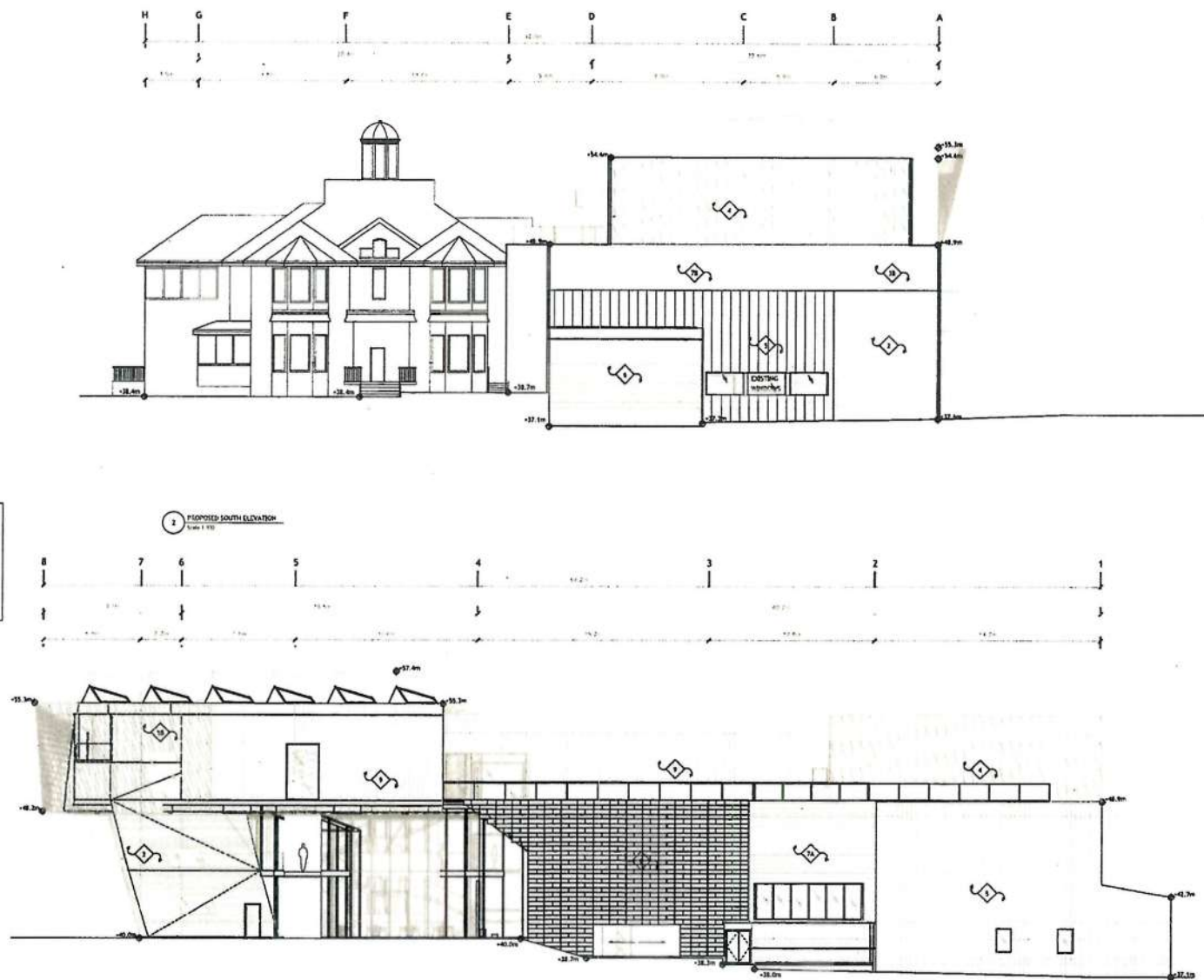
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LWPAC  
1000 Bay Street, Suite 1000  
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ART  
GALLERY  
RENEWAL  
Client:  
The City of Victoria  
Project Manager:  
CitySpaces

Architect  
LWPAC  
+ MA

Structural  
Landscape Architect

Mechanical  
Electrical  
Code  
Traffic  
Geotechnical  
Arborist

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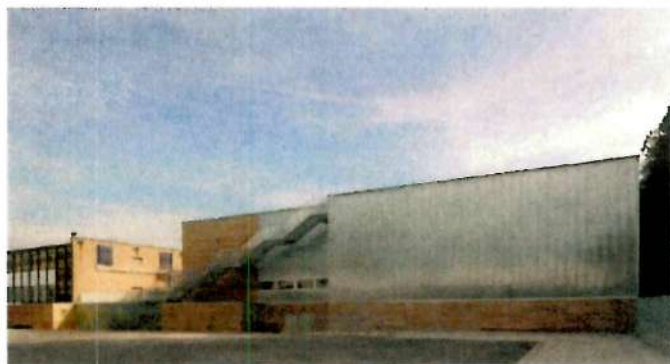
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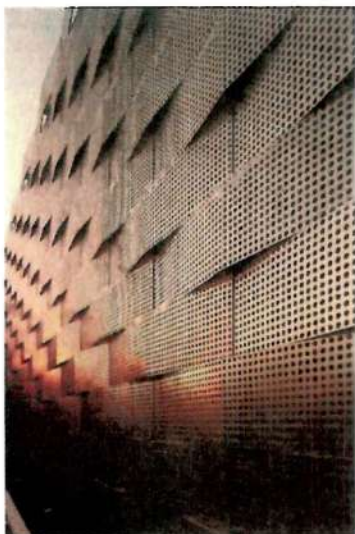
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City of Victoria

MAY 14 2015

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Development Services Division



Exterior (TP By A229)  
Design



Exterior (TP By A229)  
Design



Exterior (TP By A229)  
Design



Interior (TP By A229)  
Design



Exterior (TP By A229)  
Design



Exterior (TP By A229)  
Design



Exterior (TP By A229)  
Design

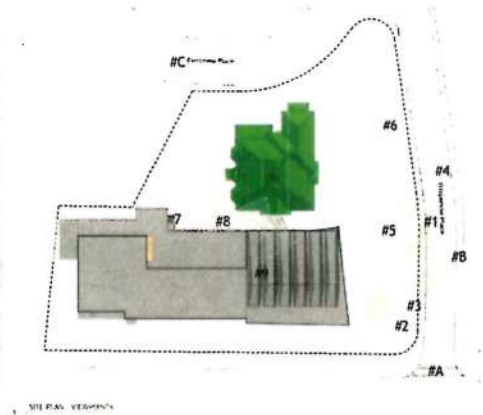


Exterior (TP By A229)  
Design



Exterior (TP By A229)  
Design





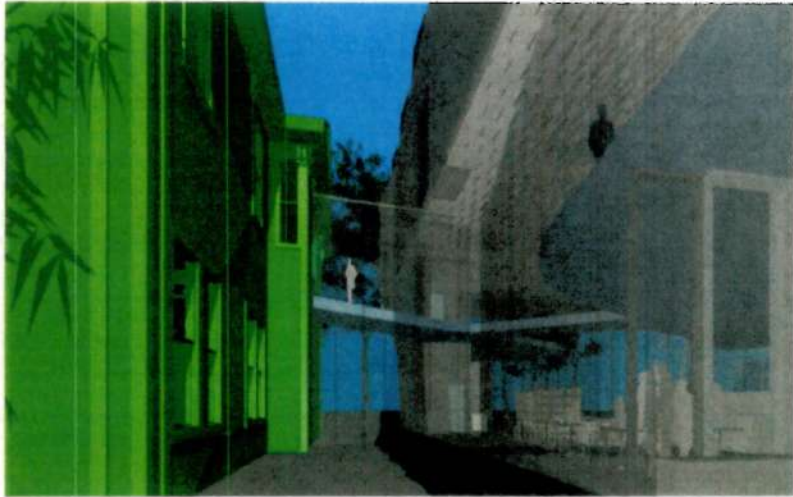
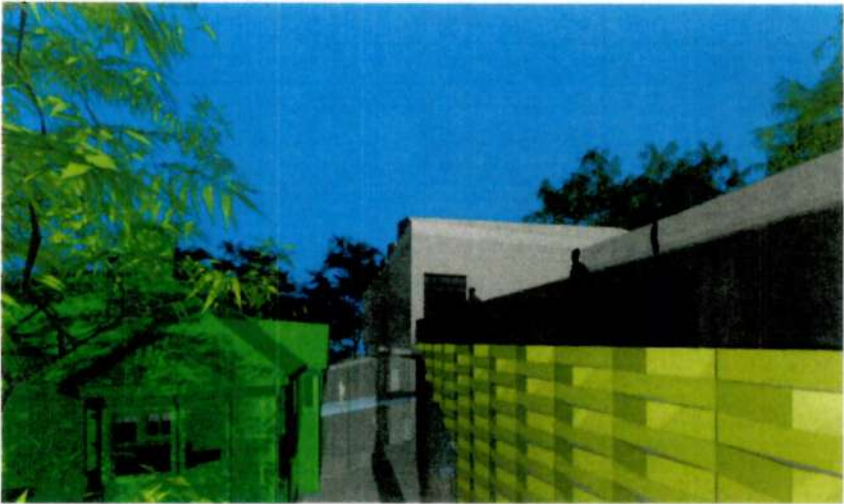
Project:  
**ART GALLERY**  
**RENEWAL**  
 Client:  
 Project Manager:  
**CitySpaces**

Architect  
**LWPAC + MA**  
 Structural  
 Landscape Architect  
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 Electrical  
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 Traffic  
 Geotechnical  
 Arborist

City of Victoria  
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**Project:**  
  
100 LOCUST • 41000  
**RENEWAL**

**Client:**  
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+ **MA**

Structural

Landscape Architect

Mechanical

Electrical

Code

**Travis**  
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## Geotechnical

1. **Introduction**

Received  
City of Victoria  
MAY 14 2015  
Planning & Development Department  
Development Services Division



**Project:**  
ART GALLERY  
RENEWAL

**Client:**  
City of Vancouver

**Project Manager:**  
CitySpaces

**Architect:**  
LWPAC  
+ MA

**Structural:**  
LWPAC

**Landscape Architect:**  
LWPAC

**Mechanical:**  
LWPAC

**Electrical:**  
LWPAC

**Code:**  
LWPAC

**Traffic:**  
LWPAC

**Geotechnical:**  
LWPAC

**Arborist:**  
LWPAC

**Other:**  
LWPAC

**Other:**  
LWPAC

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LWPAC

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LWPAC

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**Other:**  
LWPAC

**Other:**  
LWPAC

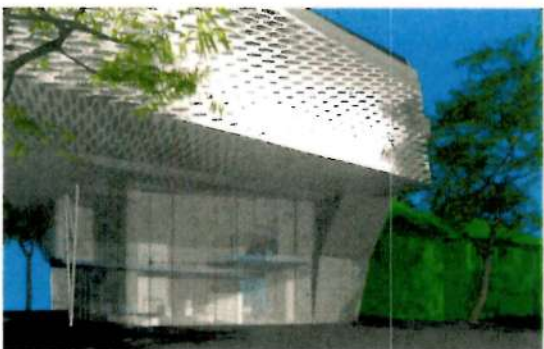
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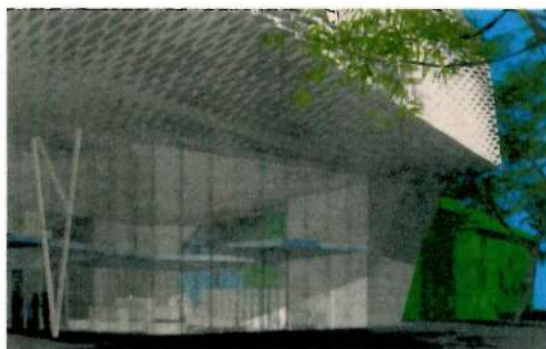
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PROPOSED SOUTH ELEVATION (REFER TO SITE PLAN 1:AT 4 - VIEW 2)



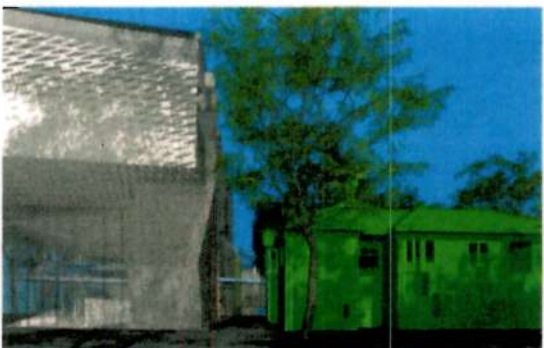
PROPOSED SOUTH ELEVATION (REFER TO SITE PLAN 1:AT 4 - VIEW 2)



PROPOSED SOUTH ELEVATION (REFER TO SITE PLAN 1:AT 4 - VIEW 2)



PROPOSED SOUTH ELEVATION (REFER TO SITE PLAN 1:AT 4 - VIEW 2)



PROPOSED SOUTH ELEVATION (REFER TO SITE PLAN 1:AT 4 - VIEW 2)



PROPOSED SOUTH ELEVATION (REFER TO SITE PLAN 1:AT 4 - VIEW 2)



PROPOSED APPROACH FROM MOSS STREET (REFER TO SITE PLAN 1:AT 4 - VIEW 2)

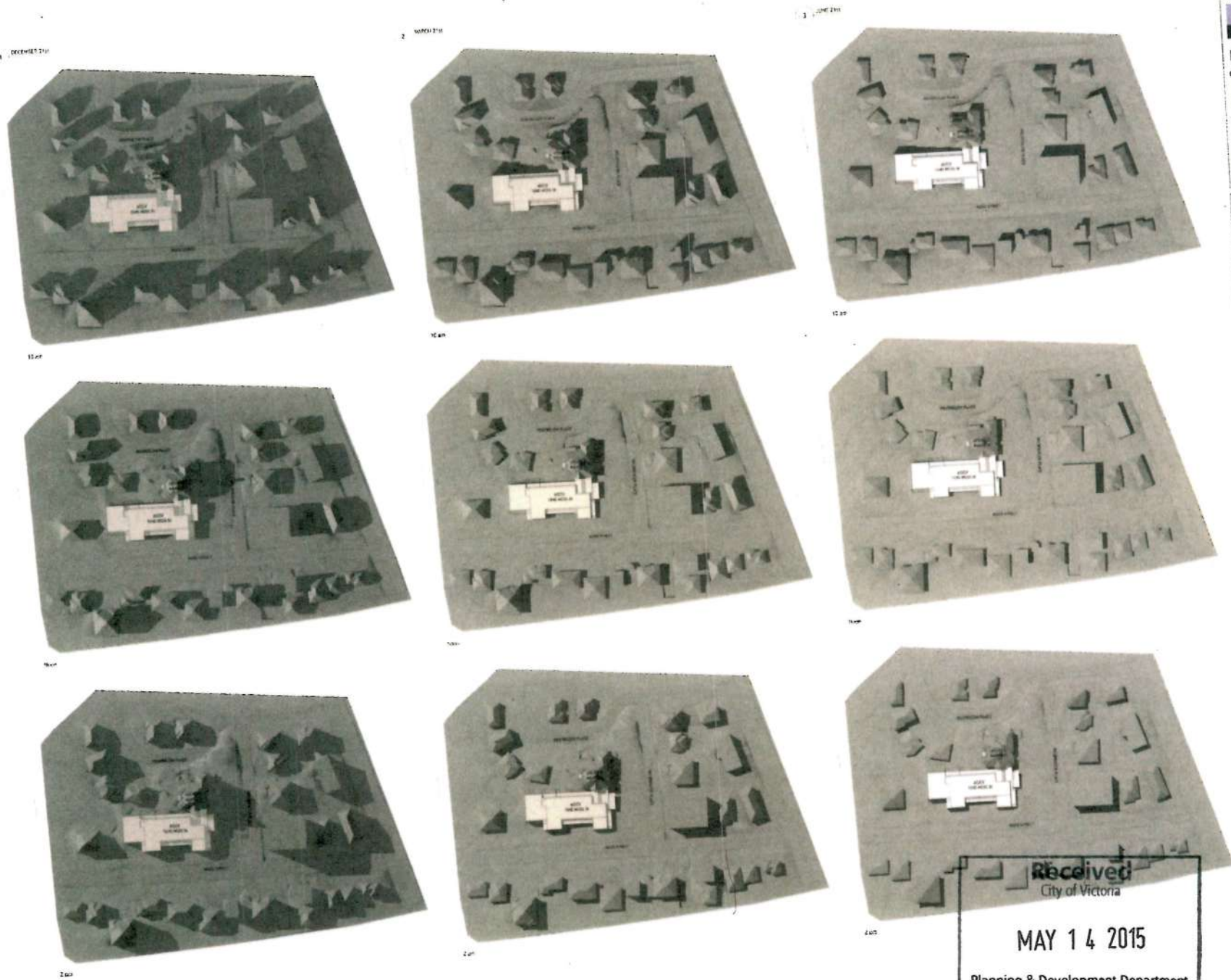


PROPOSED VIEW FROM FENTIMAN PLACE (REFER TO SITE PLAN 1:AT 4 - VIEW 2)

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Development Services Division



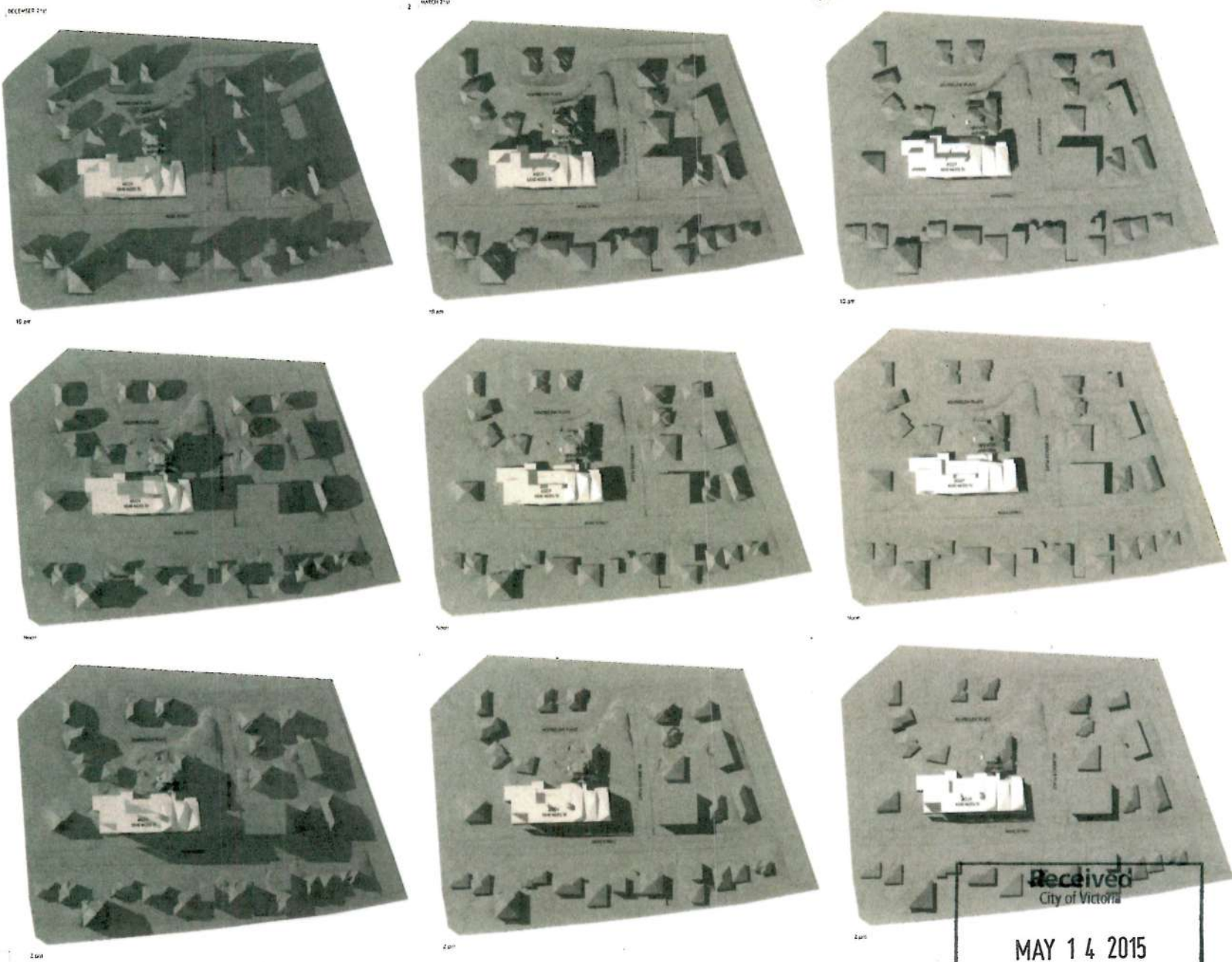
Project:  
**ART GALLERY**  
**RENEWAL**  
Client:  
Project Manager:  
**CitySpaces**  
Architect:  
**LWPAC + MA**  
Structural:  
Landscape Architect:  
Mechanical:  
Electrical:  
Code:  
Traffic:  
Geotechnical:  
Arboret:



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City of Victoria  
MAY 14 2015  
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Project:  
**ART GALLERY**  
**RENEWAL**  
 Client:  
 City of Victoria  
 Project Manager:  
**CitySpaces**  
 Architect:  
**LWPAC + MA**  
 Structural:  
 Landscape Architect:  
 Mechanical:  
 Electrical:  
 Code:  
 Traffic:  
 Geotechnical:  
 Arborist:

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 Development Services Division





Project:  
**ART GALLERY RENEWAL**  
Client:  
Project Manager:  
**CitySpaces**

Architect  
**LWPAC + MA**

Structural

Landscape Architect

Mechanical

Electrical

Code

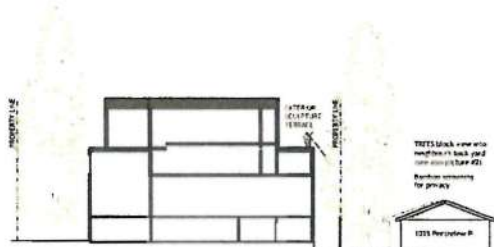
Traffic

Geotechnical

Arboretist

PROPOSED CONTEXT PLAN

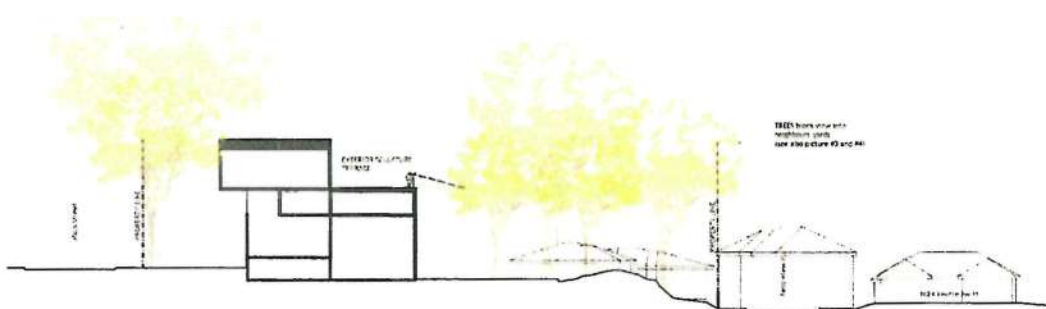
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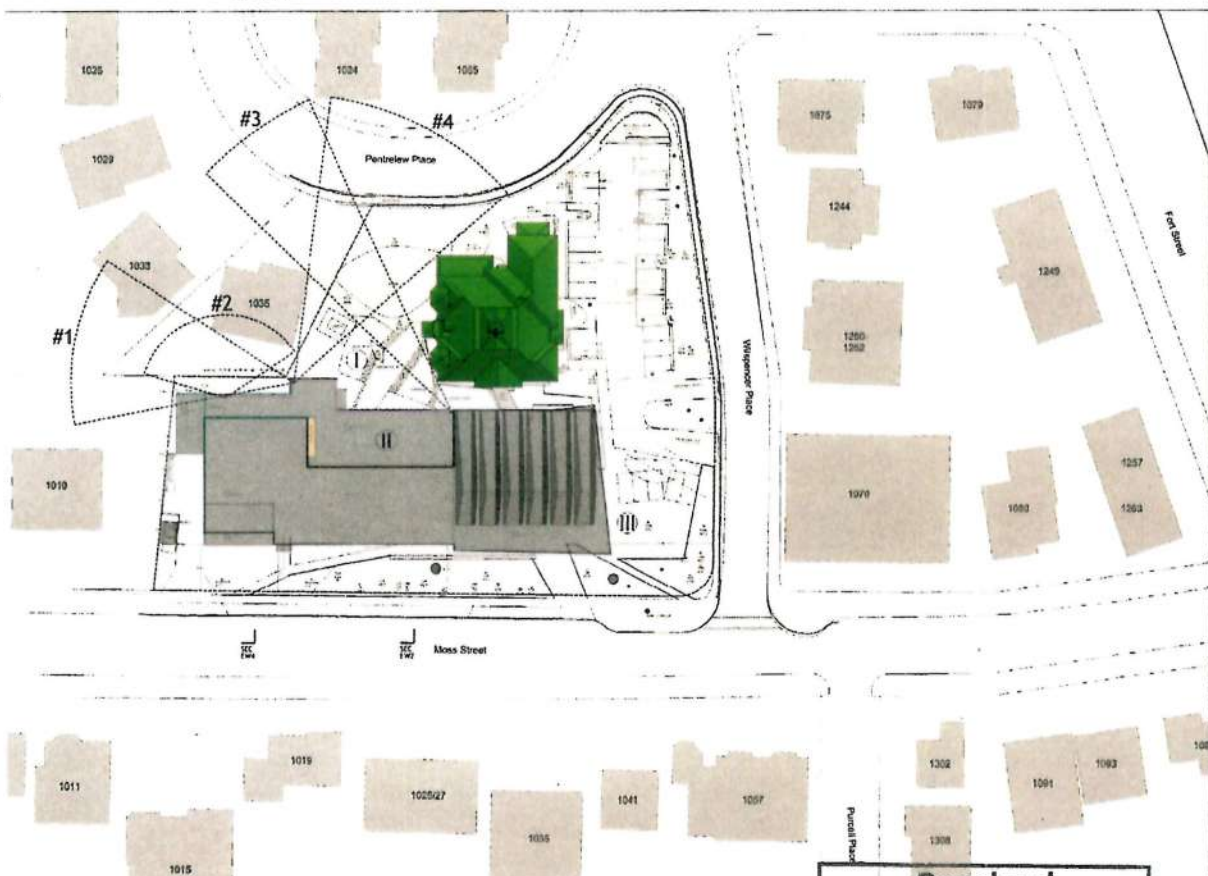
CONTEXT SECTION LW 4



PICTURES OF SHOTLINES FROM SCULPTURE TERRACE



CONTEXT SECTION LW 2



LEGEND:  
# - Numbered views that refer to pictures  
I - Asian Garden: quiet reflective area  
II - Sculpture Garden: quiet reflective area with occasional social activities located in the North portion of the terrace and setback from the building edge  
III - Entry Plaza: special event outdoor area

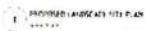
PROPOSED CONTEXT PLAN

Received  
City of Victoria

MAY 14 2015

Planning & Development Department  
Development Services Division





**Project:**  
  
**RENEWAL**

**Client:**  
 City of Los Angeles  
 1200 N. G Street  
 Los Angeles, CA 90012  
 Tel: 213.480.1000  
 Fax: 213.480.1000  
 E-mail: [info@cityofla.org](mailto:info@cityofla.org)

**Project Manager:**  
**CitySpaces**  
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 Los Angeles, CA 90017  
 Tel: 213.480.1000  
 Fax: 213.480.1000  
 E-mail: [info@cityofla.org](mailto:info@cityofla.org)

---

**Architect**  
**LWPAC**  
**+ MA**  
 1540 Wilshire Blvd., Suite 1000  
 Los Angeles, CA 90017  
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 Fax: 213.480.1000  
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 Fax: 213.480.1000  
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**Landscape Architect**  
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 Fax: 213.480.1000  
 E-mail: [info@cityofla.org](mailto:info@cityofla.org)

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 Fax: 213.480.1000  
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 Fax: 213.480.1000  
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 Fax: 213.480.1000  
 E-mail: [info@cityofla.org](mailto:info@cityofla.org)

**Traffic**  
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 Fax: 213.480.1000  
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 Fax: 213.480.1000  
 E-mail: [info@cityofla.org](mailto:info@cityofla.org)





**Project:**  
ART  
BY ANNEKE HANSEN &  
RENEWAL  
**Client:**  
City of Victoria  
Project Manager:  
CitySpaces

**Architect**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Structural**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Landscape Architect**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Mechanical**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Electrical**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Code**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

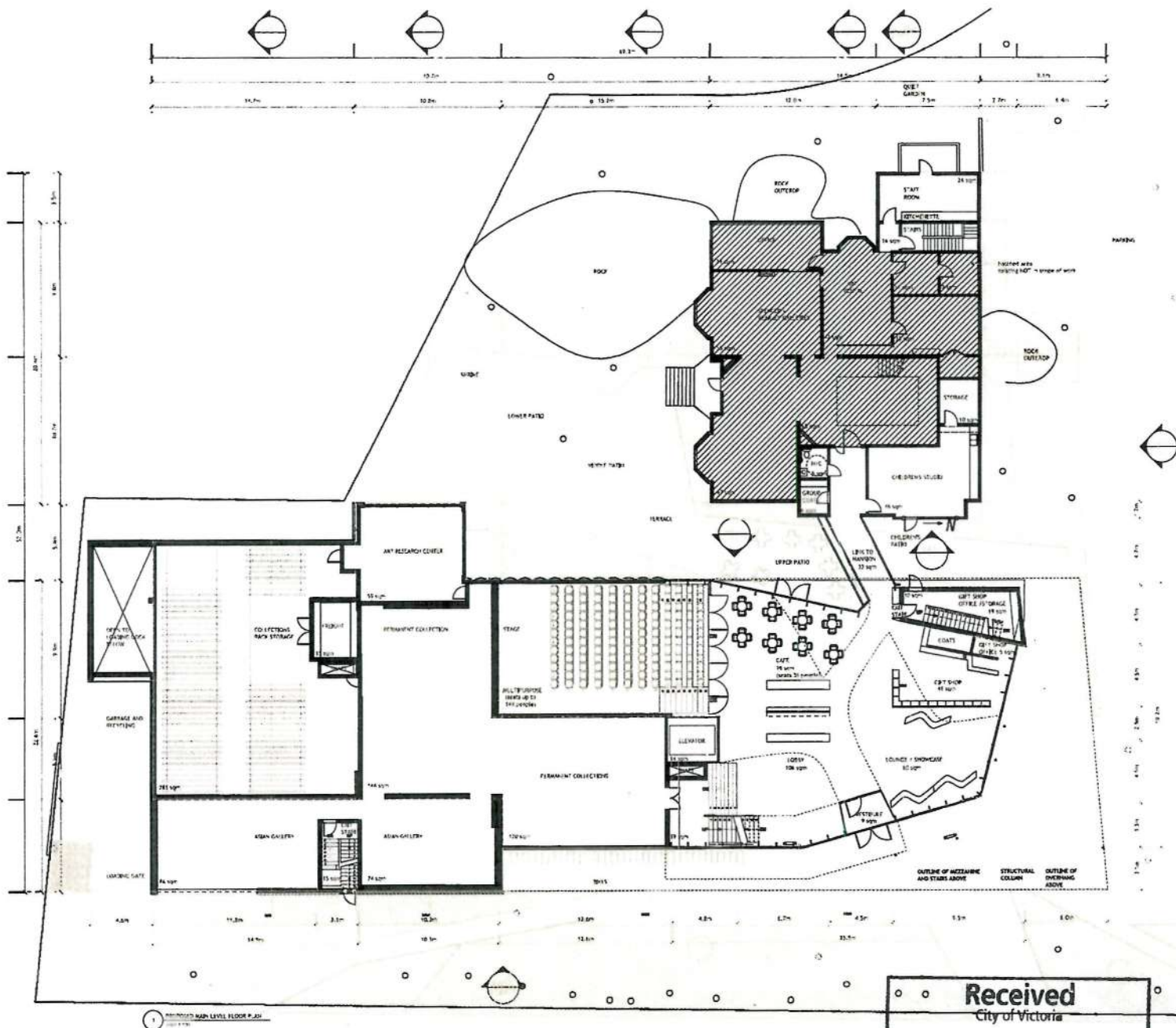
**Traffic**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Geotechnical**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Arborist**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Other**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111

**Other**  
LWPAC  
+ MA  
1000 West Street  
Suite 100  
Victoria BC V8M 1A1  
Phone: 251-1111



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**Project:**  
ART  
RENEWAL  
**Client:**  
City of Victoria  
**Project Manager:**  
CitySpaces

**Architect**  
LWPAC  
+ MA

**Structural**  
LWPAC

**Landscape Architect**  
LWPAC

**Mechanical**  
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**Electrical**  
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**Code**  
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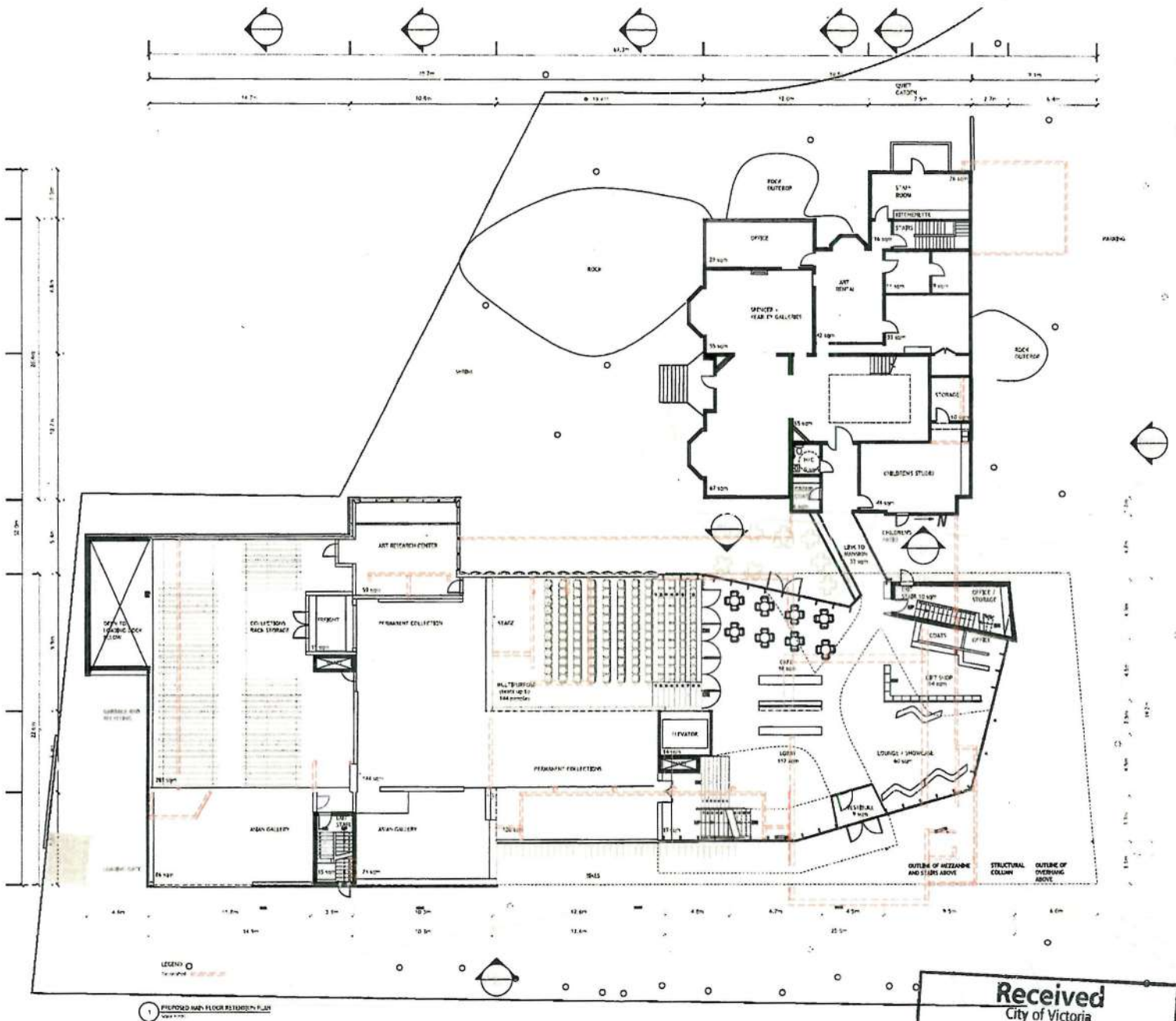
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City of Victoria  
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**Project:**  
ART GALLERY RENEWAL

**Client:**  
City of Victoria

**Project Manager:**  
CitySpaces

**Architect:**  
LWPAC + MA

**Structural:**  
LWPAC + MA

**Landscape Architect:**  
LWPAC + MA

**Mechanical:**  
LWPAC + MA

**Electrical:**  
LWPAC + MA

**Code:**  
City of Victoria Building Code

**Traffic:**  
City of Victoria Traffic Engineering

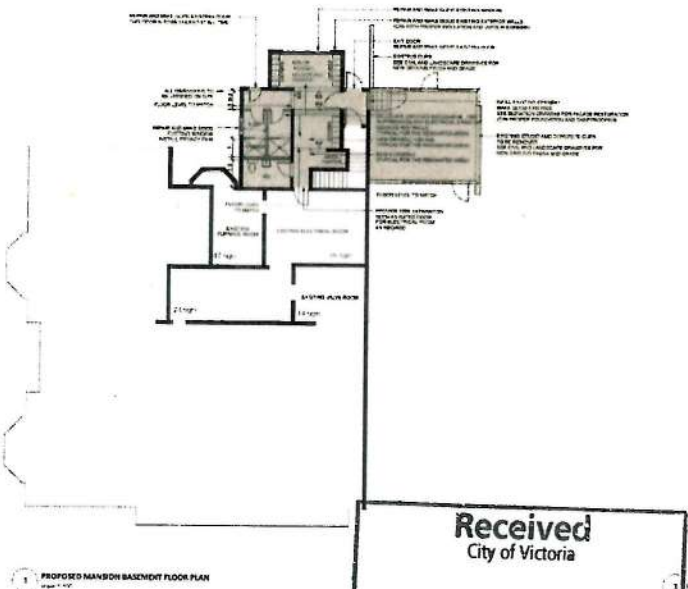
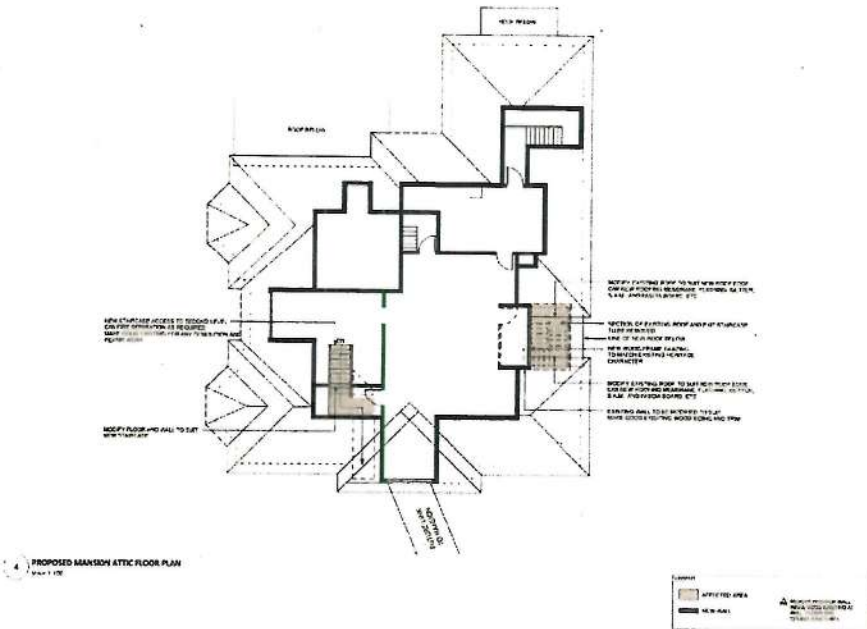
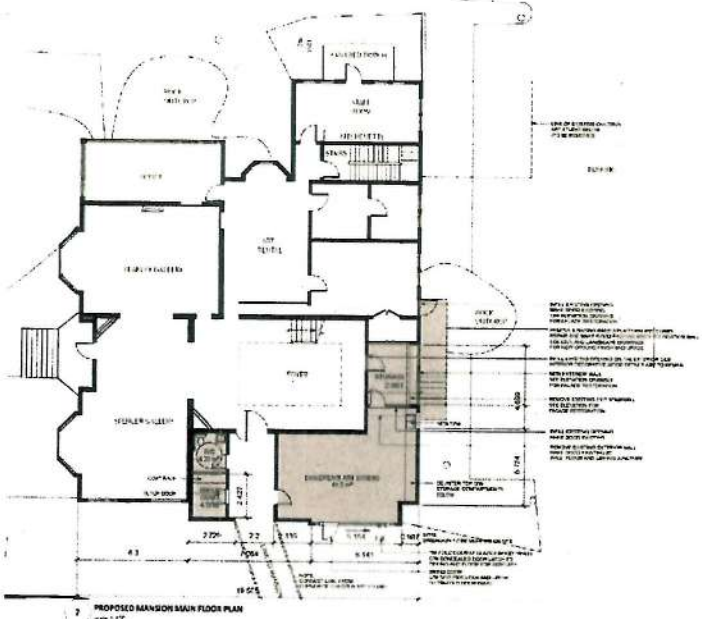
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**Arborist:**  
City of Victoria Arboriculture

**Other:**  
City of Victoria Planning and Development

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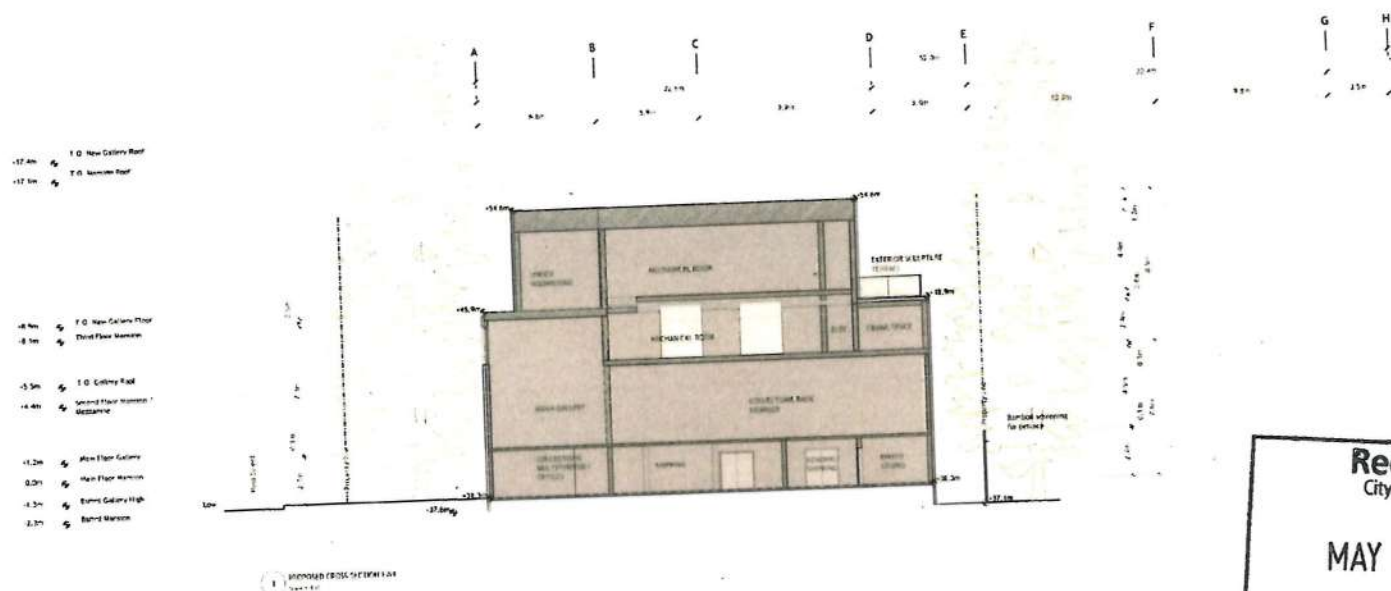
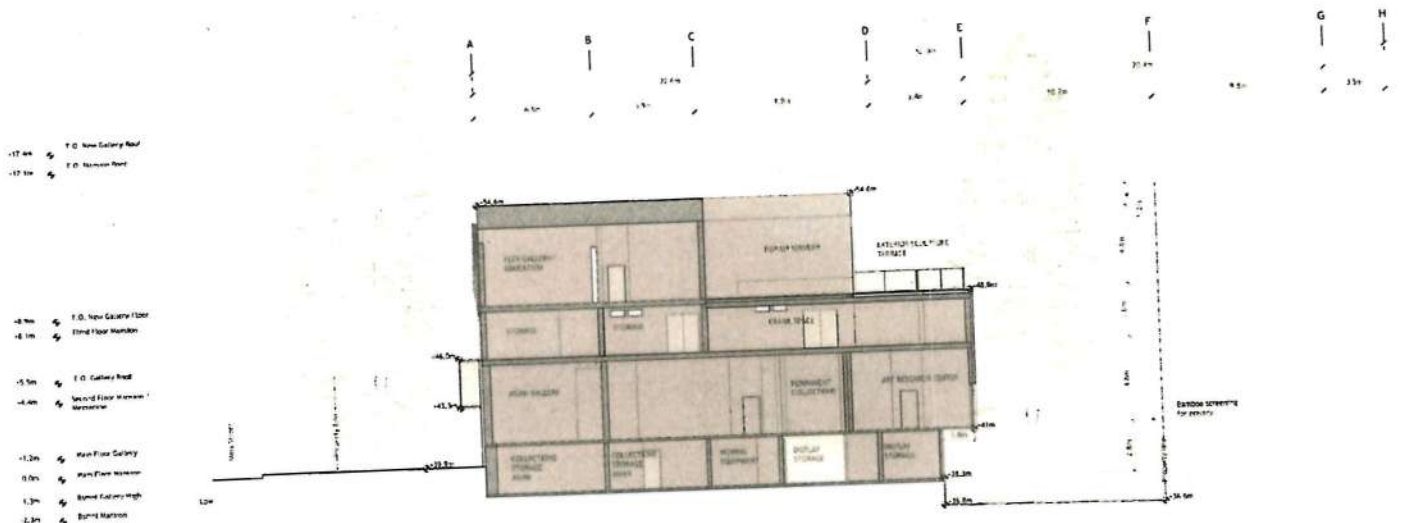
Received  
City of Victoria  
MAY 14 2015  
Planning & Development Department  
Development Services Division

**Project:**  
  
**RENEWAL**  
**Client:**  
 City of Victoria  
**Project Manager:**  
 CitySpaces  
**Architect:**  
 LWPAC  
 + MA  
**Structural:**  
 LWPAC  
**Landscape Architect:**  
 LWPAC  
**Mechanical:**  
 LWPAC  
**Electrical:**  
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**Code:**  
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**Traffic:**  
 LWPAC  
**Geotechnical:**  
 LWPAC  
**Arboret:**  
 LWPAC



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Project:  
**ART GALLERY**  
RENEWAL  
Client:  
Project Manager:  
**CitySpaces**

Architect  
**LWPAC + MA**

Structural

Landscape Architect

Mechanical

Electrical

Code

Traffic

Geotechnical

Arborist

Architectural

Architectural

Architectural

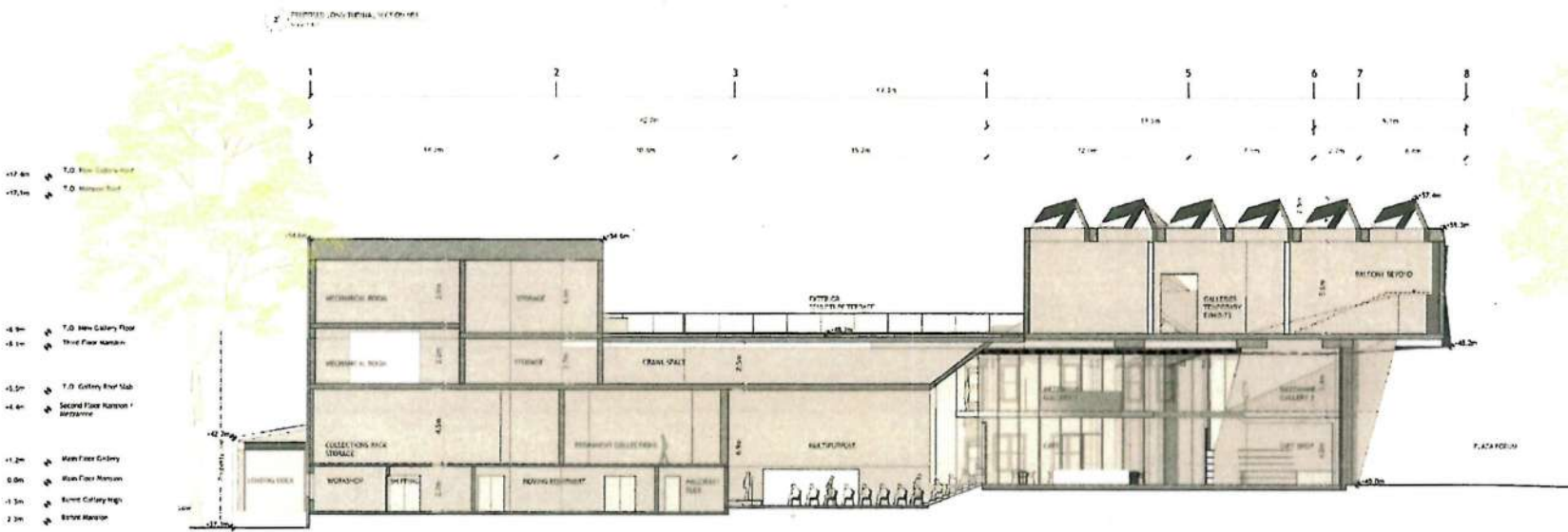
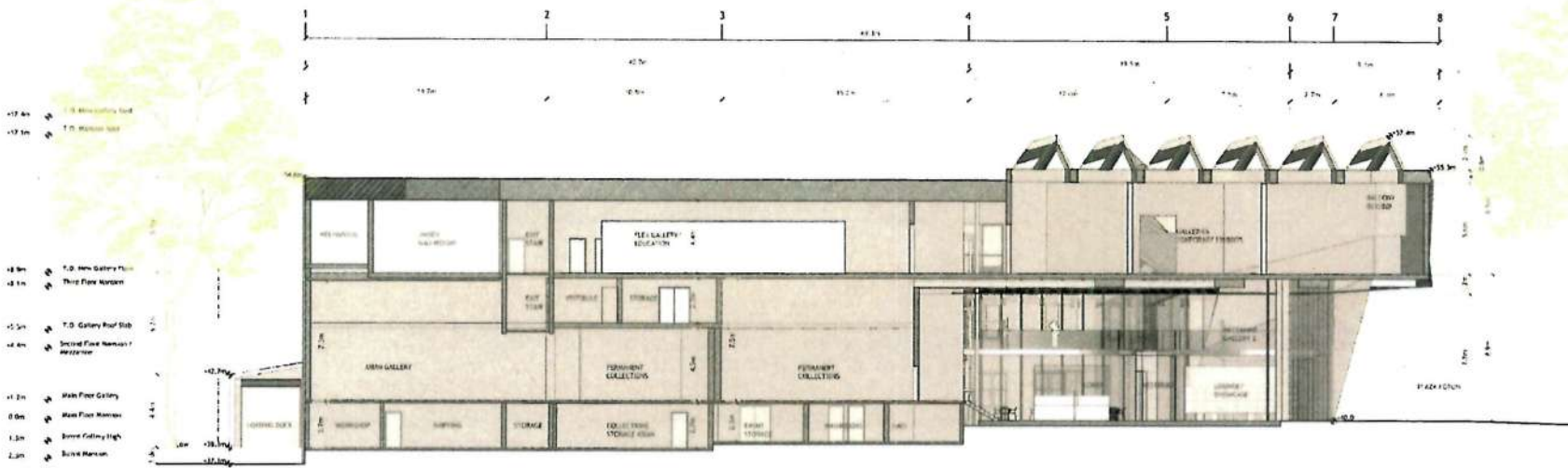
Architectural

Architectural

Architectural

Architectural

Architectural



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City of Victoria  
MAY 14 2015  
Planning & Development Department  
Development Services Division

Project:  
**ART GALLERY**  
**RENEWAL**  
 Client:  
 Project Manager:  
**CitySpaces**

Architect  
**LWPAC + MA**

Structural

Landscape Architect

Mechanical

Electrical

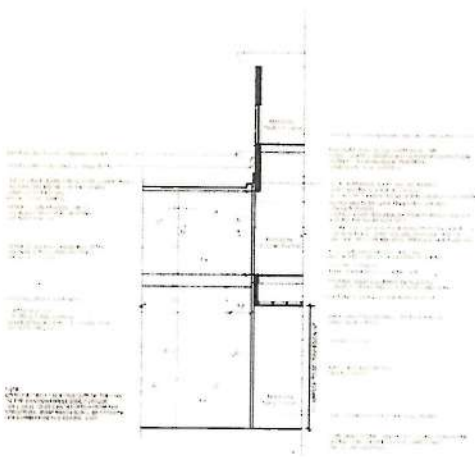
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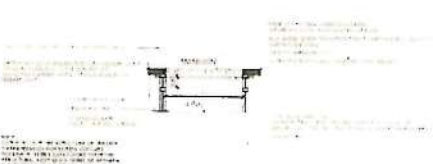
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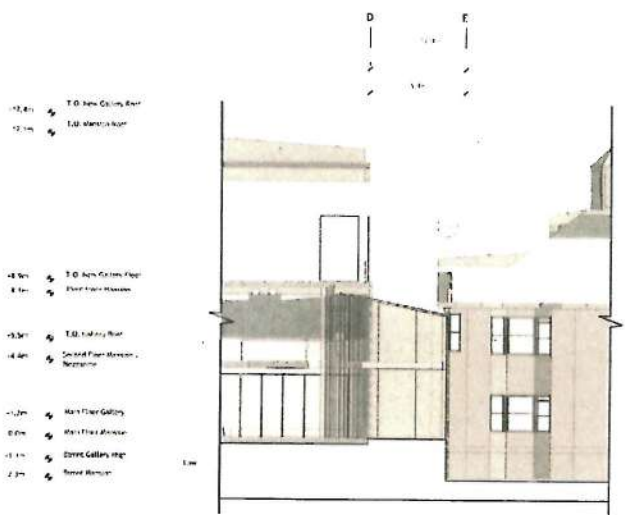
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SECTION OF SEISMIC CONNECTION DETAIL  
 Sheet M2



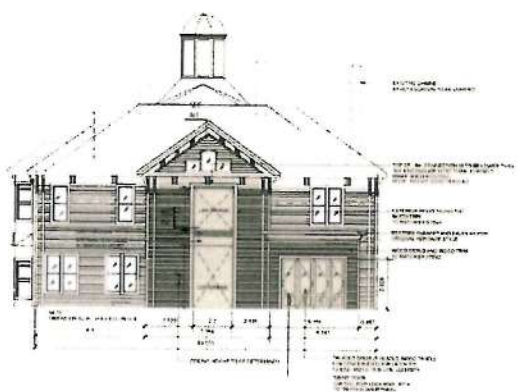
SEISMIC CONNECTION DETAIL IN PLAN  
 Sheet M3



LONG SECTION THROUGH PROPOSED CONNECTION  
 Sheet E1/E2



SECTION AT PROPOSED CONNECTION  
 Sheet E3



SECTION AT PROPOSED CONNECTION  
 Sheet E4

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 City of Victoria  
 MAY 14 2015  
 Planning & Development Department  
 Development Services Division



**Project:**  
ART  
RENEWAL

**Client:**  
ART  
1040 Moss Street  
Phone: 250.361.1111

**Project Manager:**  
CitySpaces  
ART  
1040 Moss Street  
Phone: 250.361.1111

**Architect:**  
LWPAC  
+ MA  
1040 Moss Street  
Phone: 250.361.1111

**Structural:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

**Landscape Architect:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

**Mechanical:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

**Electrical:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

**Code:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

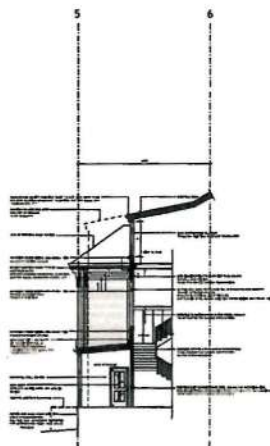
**Traffic:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

**Geotechnical:**  
LWPAC  
1040 Moss Street  
Phone: 250.361.1111

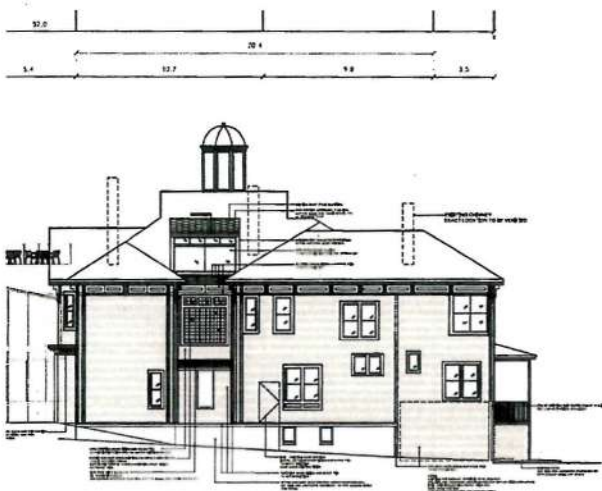
**Arborist:**  
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1040 Moss Street  
Phone: 250.361.1111

Project Name	ART RENEWAL
Project Number	ART-2015-001
Project Location	1040 Moss Street, Victoria, BC
Project Status	Approved
Project Date	May 14, 2015
Project Drawn By	ART
Project Checked By	ART
Project Approved By	ART

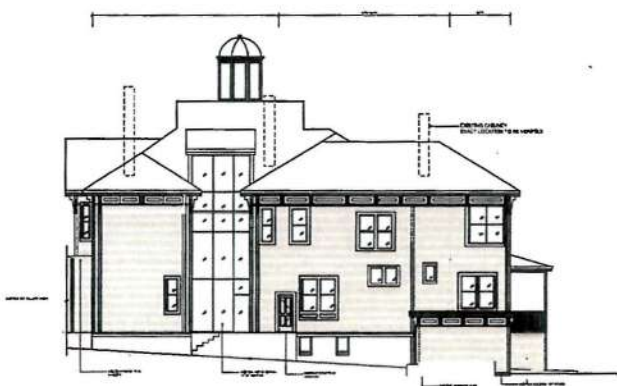
**Received**  
City of Victoria  
MAY 14 2015  
Planning & Development Department  
Development Services Division



SECTION OF EXISTING NORTH ELEVATION - JAC 103



MAUNDON - PROPOSED NORTH ELEVATION



MAUNDON - EXISTING NORTH ELEVATION



## STATEMENT OF SIGNIFICANCE

May 2015

The Spencer Mansion (The Art Gallery of Greater Victoria)

1040 Moss Street, Victoria BC

Date of Construction                      1889

### DESCRIPTION OF HISTORIC PLACE

The Spencer Mansion situated at the corner of Moss Street and Wilspercer Place is a substantial 2 ½ Storey wood frame dwelling located on a prominent rock outcropping in the Rockland neighbourhood of Victoria and currently part of the Art Gallery of Greater Victoria. The design is an eclectic mix of popular styles of the late 19<sup>th</sup> century which include Italiante and Queen Anne elements and a well crafted Baronial styled interior. The mansion sits on a 5,701 m<sup>2</sup> remnant lot of a former large estate which originally consisted of 24,281 m<sup>2</sup> of grounds with gardens, orchards, tennis courts, stables and a coach house. The remaining natural features such as rock outcroppings and groves of Garry Oak trees help define the original context of this historic site on which the mansion was built.

### HERITAGE VALUE OF HISTORIC PLACE

Constructed in 1889, the Spencer Mansion was originally built by the Green Family and has enjoyed a prominent role in the history of the City of Victoria and the Province of British Columbia ever since. The Green family called their new home Gyppeswyk, after the village in England where they were married and lived in for a while. The notable quality of the construction, woodwork and architectural detailing in the Mansion is consistent with the reputations of the Architect William Ridgway Wilson and builder George C. Mesher.

Alexander Green, settled in Victoria in 1873, had become a successful businessman and banker before he passed away in 1891. He was popular in local community and had participated actively in various charity foundations. After his death and with his daughter's and husband, Frederick Worlock's fortunes waning, the house was abandoned for a short while and managed by an estate after their deaths.

After the tragic fire and destruction of Government House, Carey Castle, the home of the Lieutenant-Governor of British Columbia in May of 1899, the Province rented from the Green Worlock estate the Mansion for Government House till the new Government House was constructed in 1903.





On May 25 1899, the Mansion became a public building when Thomas Robert McInnes, as Lieutenant-Governor, took up residence there. Government House functioned in the Mansion under the tenure of two Lieutenant-Governors including Sir Henri-Gustave Joly de Lotbiniere who succeeded McInnes after he was removed from office over his controversial actions in conducting the business of the Legislature. The Mansion served as the Province's Government House and was the site of ceremonial functions for 4 years, which included a state banquet for visiting royalty in 1901. The Duke and Duchess of Cornwall (later King George V and Queen Mary) were welcomed by Prime Minister Wilfred Laurier, Premier Edward Prior, Lieutenant Governor Lotbiniere, Bishop and Mayor, amongst other guests.

The Mansion was designed by William Ridgway Wilson (1862-1975), an English immigrant, who was born to British parents in China. Ridgway Wilson received architecture training in England before moving to Canada in 1887. He became one of the most prominent, long standing, and prolific architects in Victoria's history. His works also include other mansions, the Bay Street Armory, South Park School, Wilkinson Road Jail, and St John's Anglican Church amongst others. The building contractor was George C. Mesher (1860-1938). Like Green and Ridgway Wilson, he was an English immigrant and prospered in the family's construction and design business in Victoria.

David Spencer purchased the Mansion from the Green-Worlock estate in 1903 and the Spencer family resided there until 1951. Since that time it has been known as the 'Spencer Mansion'. The Spencer family renamed their new home Llan Derwen, which is Welsh for "under the oak" in reference to the Garry Oak grove that it resided in. Spencer dedicated his life to philanthropy, the church, and the family's department store business. Sara Spencer was, like her father, a dynamic personality who had a big heart for arts and social responsibility lived in the house from 1934, until she donated the family mansion to the City for use as an art gallery. Victoria Arts Centre informally opened in November 1951. Today, a portrait of Sara still hangs in the Mansion's foyer.

In 1952, Governor General Vincent Massey presided over the official opening of the new Victoria Arts Centre in the Mansion. Since that time the Art Gallery of Greater Victoria has been the centre of the arts community for the region and holds the largest art collection in Western Canada. Between 1955 and 1978, several building additions, in modern architectural character, were added on to the east side of the Spencer Mansion to allow the Art Gallery to provide exhibition spaces and host travelling exhibitions. For 28 years the Art Gallery of Greater Victoria has organized the Moss Street 'Paint-In' event, which provides the general public a unique opportunity to meet with a diverse range of artists across from Vancouver Island and BC. This popular cultural event is based out of the Mansion and extends down Moss Street to the Dallas waterfront for one day in the month of July.





## **CHARACTER-DEFINING ELEMENTS**

The key elements that define the heritage character of the Spencer Mansion include:

- it's location on a prominent rock outcropping ridge in the Rockland Neighbourhood.
- The site's natural environment surrounding the Mansion, rock outcroppings to the south and west and the Garry Oak groves that are located on the perimeter of the site around the mansion.
- Italianate style elements -
  - elaborate wood eaves details, decorative brackets, and applied decorative wood battens, tall narrow windows, including the Palladian windows on the south and east sides each of which has a central, arched sash flanked by smaller rectangular sashes.
  - rooftop belvedere viewing station
  - hipped roof, with surfaces that slope in 4 directions.
- Queen Anne style elements -
  - the projecting bay windows including flared roof elements with diamond shaped wood shingles and cut away trim on the second floor.
  - A variety of dormer elements including barrel vaulted and gable end elements with arched windows
  - numerous tall elaborately detailed corbelled brick chimneys.
- Construction materials including: original wood sash single and double hung windows, original wood dropped siding with corner boards, rock rubble wall and brick foundations.
- Interior elements -
  - Baronial style foyer with a grand staircase and a gallery lining the second floor. Above the grand staircase is the art nouveau window, which was originally a part of the exterior facade. Jacobean-style coffered ceiling.
  - Eastlake style woodwork in the foyer, the newel post, balustrade, and paneled walls are composed of geometric ornament, incised lines, and relief carvings.
  - Ornate fireplaces
  - Original dinner room, drawing room and morning room with inset sliding doors



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## Art Gallery of Greater Victoria Renewal Project **Transportation Review** **PARKING UPDATE**

**To:** Steve Hutchison, City of Victoria

**From:** Dan Casey, Boulevard Transportation

**Our File #:** 1767

**Project:** Art Gallery of Greater Victoria Renewal Project – Transportation Review

**Date:** April 10, 2015

**RE:** Parking Assessment, Update

---

### 1.0 Introduction

The purpose of this update is to summarize findings of additional parking observations conducted to supplement our parking study report dated January 30 2015. This update summarizes two observations:

1. A second observation of a large scheduled program at the Art Gallery of Greater Victoria ("Urbanite") to compare to the previous observation; and
2. An observation during an event at Langham Court Theatre to determine the impact on neighbourhood parking.

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To: Steve Hutchison, City of Victoria  
 Re: Art Gallery of Greater Victoria Renewal Project – Update

April 10, 2015  
 Page 2

## 2.0 Urbanite Observations

The most notable scheduled program at the Art Gallery is “Urbanite” which is held on a Friday evening three times per year and attracts approximately 400 guests typically aged 20 to 35. Observations were conducted on Friday, February 27 2015 at 9:30pm during an “Urbanite” scheduled program to compare parking demand to the Friday, November 07 2014 observation. Both scheduled program nights are compared to a non-scheduled program night. Results are summarized in *Table 1*. A detailed summary of observations is provided in *Appendix A*.

The February 2015 observation found 27 fewer vehicles associated with the Art Gallery site as compared to the November 2014 observation, suggesting that parking findings from the January report related to parking demand during scheduled programs reflect the maximum observed parking demand and the mitigation measures identified are sufficient. No changes to the January report are needed.

**TABLE 1. SUMMARY OF SCHEDULED PROGRAM OBSERVATIONS**

	Non-Scheduled Program Night	Scheduled Program (“Urbanite”) Night		
	Oct 24, 2014	Nov 7, 2014	Feb 27, 2015	Difference
Art Gallery Parking Lot	0 vehicles	26 vehicles	26 vehicles	0
On-Street Parking (study area)	53 vehicles	+ 61 vehicles	+ 40 vehicles	-21
On-Street Parking (Fort St, Linden Avenue)	0 vehicles	38 vehicles	32 vehicles	-6
Total vehicles attributed to the site	53 vehicles	125 vehicles	98 vehicles	-27 (-28%)

The observation area was expanded from the November 2014 observations to determine if Art Gallery vehicles extended further than previously observed. Results found occupancy rates in the expanded area to be similar to other areas in the neighbourhood and with no obvious concentrations of Art Gallery vehicles, suggesting the initial observation area accounted for the majority of Art Gallery vehicles.



To: Steve Hutchison, City of Victoria

April 10, 2015

Re: Art Gallery of Greater Victoria Renewal Project – Update

Page 3

### 3.0 Langham Court Theatre Observations

Observations were conducted on streets surrounding the Art Gallery and Langham Court Theatre on Saturday, January 31 2015 at 8:30pm during a performance at Langham Court Theatre. The Theatre performance was sold out, suggesting there were 177 visitors in attendance and a small number of staff performers<sup>1</sup>. Results are summarized in *Appendix A*.

Results found 19 more vehicles parked in the Art Gallery study area during the Theatre performance compared to a non-scheduled program evening at the Art Gallery. The Art Gallery was closed during this observation, but conditions during overlapping programs at the Art Gallery and Theatre can be projected using parking demand figures from the January report. See *Table 2*.

**TABLE 2. ESTIMATED ON-STREET PARKING CONDITIONS DURING PROGRAMS AT ART GALLERY AND THEATRE**

	Parking Supply	On-Street Parking Demand			On-Street Parking Conditions	
		Resident	Art Gallery <sup>2</sup>	Theatre	Total Vehicles	Occupancy Rate
Maximum Program @ AGGV			61 vehicles		133 vehicles	90%
Large Program @ AGGV	148 spaces	53 vehicles	41 vehicles	19 vehicles	113 vehicles	76%
Medium Program @ AGGV			8 vehicles		80 vehicles	54%
Small Program @ AGGV			0 vehicles		72 vehicles	49%

Results suggest that neighbourhood parking (including Resident Parking Only) will be occupied at approximately 50% or less when an Art Gallery program with 125 people in attendance ("medium program") and a Theater performance are held simultaneously. A combined Art Gallery program with 300 people or more ("large program", "maximum program") and Theatre performance is expected to result in more than 75% of available parking occupied. The Art Gallery and Theatre should coordinate program schedules as possible to avoid large programs occurring simultaneously.

<sup>1</sup> Performance indicated as "sold out" on the Theatre's website, attendance figures based on seating plan on website

<sup>2</sup> Based on Parking Study, January 30 2015, Table 4 (estimated Fort St and Meares St vehicles excluded)

To: Steve Hutchison, City of Victoria  
 Re: Art Gallery of Greater Victoria Renewal Project – Update

April 10, 2015  
 Page 4

It should be noted that occupancy rates will be reduced once the Art Gallery pursues recommended transportation demand management (TDM) approaches<sup>3</sup>, including securing off-site parking during scheduled programs.

#### 4.0 Summary

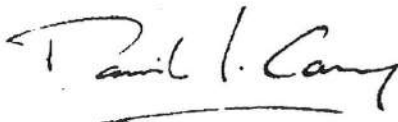
Additional observations during an "Urbanite" scheduled program in February 2015 confirm that the observations from November 2014 represents higher parking demand and accounts for peak conditions. No change to the January report is required.

Observations during a sold out performance at Langham Court Theatre determined that approximately 19 vehicles park in the Art Gallery study area. When combined with Art Gallery programs with 300 attendees or more, on-street parking occupancy rates exceed 75% and will impact resident ability to find available parking. Therefore, it is recommended that the Art Gallery and Theatre coordinate program schedules as possible to avoid large programs occurring simultaneously on weekday evenings or weekends so that a reasonable number of on-street parking spaces remain available to residents.

We trust this provides adequate confirmation of our previous parking observations. Please do not hesitate to contact the undersigned to discuss.

Sincerely,

**BOULEVARD TRANSPORTATION**  
 ... a division of Watt Consulting Group  
 per,



**Dan Casey**, MCIP, RPP, M.Plan.  
 Senior Transportation Planner

t. 250.388.9877  
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<sup>3</sup> Refer to Transportation Demand Management (TDM) Strategy, January 30 2015

To: Steve Hutchison, City of Victoria  
Re: Art Gallery of Greater Victoria Renewal Project – Update

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April 10, 2015  
Page 5

**Appendix A**  
**Summary of Observations**



On-Street Parking Observations - Update  
 Parking Study I Transportation Review  
 Art Gallery of Greater Victoria Renewal Project

Section	Side	Restrictions	No. Stalls	Friday October 24, 9:00 pm		Friday November 7, 9:30 pm		Saturday January 31, 8:30 pm		Friday February 27, 9:30 pm		
				Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	
Study Area	Pentrelew Place Fort St to Wils Spencer Pl	East	Residential Parking Only (8am-5pm, Mon-Fri)	5	0	0%	4	80%	2	40%	4	80%
			2 Hour, 8am-6pm, Mon-Sat	7	1	14%	5	71%	4	57%	7	100%
	Pentrelew Place Fort St to Wils Spencer Pl	West	Residential Parking Only (8am-5pm, Mon-Fri)	2	2	100%	2	100%	1	50%	2	100%
		Inside	Residential Parking Only (8am-5pm, Mon-Fri)	21	17	81%	14	67%	13	62%	12	57%
	Pentrelew Place Circle	East (Outside)	Residential Parking Only (8am-5pm, Mon-Fri)	14	2	14%	11	79%	6	43%	5	36%
		West/ South (Outside)	1 hour maximum (8am-6pm, Mon-Sat)	10	2	20%	8	80%	4	40%	9	90%
		East	Residential Parking Only (8am-5pm, Mon-Fri)	10	2	20%	4	40%	6	60%	1	10%
	Pentrelew Place Circle to Rockland Avenue	West	Residential Parking Only (8am-5pm, Mon-Fri)	12	3	25%	5	42%	7	58%	1	8%
	Rockland Avenue Pentrelew Pl to Moss St	North	Residential Parking Only	16	8	50%	16	100%	9	56%	7	44%
		South					No Parking					
	Moss Street Rockland Ave to Fort St	East					No Parking					
	Moss Street Rockland Ave to Art Gallery	West	Unrestricted	8	4	50%	7	88%	5	63%	7	88%
	Moss Street Art Gallery to Wils Spencer Pl	West	2 Hour, 8am-6pm, Mon-Sat	12	0	0%	9	75%	3	25%	10	83%
	Moss Street Wils Spencer Pl to Fort St	West	Unrestricted	9	4	44%	8	89%	3	33%	7	78%
	Wils Spencer Place Moss St to Pentrelew Pl	North	Residential Parking Only	11	7	64%	10	91%	6	55%	10	91%
		South	2 Hour, 8am-6pm, Mon-Sat	11	1	9%	11	100%	3	27%	11	100%
			Total Occupancy	148	53	36%	114	77%	72	49%	93	63%
Outside Study Area	Fort Street West of Pentrelew Pl	South	90 min., 8am-6pm, Mon-Sat	8					3	38%	3	38%
	Fort Street Pentrelew Pl to Moss St	South	90 min., 8am-6pm, Mon-Sat	10					4	40%	9	90%
	Meares Street Cook St to Rockland Ave	North	2 Hour, 8am-6pm, Mon-Sat	11					7	64%		0%
		South		20					14	70%		0%
	Rockland Avenue Cook St to Linden Ave	North	2 Hour, 8am-6pm, Mon-Sat	20					14	70%		0%
		South					No Parking					
	Rockland Avenue Linden Ave to Pentrelew Pl	North	Residential Parking Only	8					8	100%		0%
		South					No Parking					
	Rockland Avenue Moss St to Royal Terrace	North	Residential Parking Only	26					15	58%		0%
		South					No Parking					
	Burdett Avenue Cook St to Linden Ave	North	Residential Parking Only (8am-6pm, Mon-Fri)	25					18	72%		0%
		South		34					23	68%		0%
	McClure Street Cook St to Linden Ave	North	Residential Parking Only	36					27	75%		0%
		South		30					22	73%		0%
	Richardson Ave Cook St to Linden Ave	North					No Parking					
		South	Residential Parking Only	22					16	73%		0%
		East	2 Hour, 8am-6pm, Mon-Sat	6					4	67%	3	50%
	Linden Avenue Fort St to Rockland Ave	East	Residential Parking Only (8am-6pm, Mon-Sat)	11					7	64%	6	55%
		West		18					13	72%	11	61%
		East	Residential Parking Only (8am-6pm, Mon-Sat)	36					20	56%		0%
	Linden Avenue Rockland Ave to Richardson St	West	Residential Parking Only (8am-6pm, Mon-Sat)	21					15	71%		0%
	Langham Court		Residential Parking Only	9					9	100%		0%
		East					No Parking					
	Moss St Rockland Ave to Richardson St	West	Residential Parking Only	18					13	72%		0%
		West	Unrestricted	10					8	80%		0%
	Revercome Pl		Residential Parking Only	25					18	72%		0%
			Total Occupancy	404					278	69%		0%



## ART GALLERY OF GREATER VICTORIA RENEWAL PROJECT

# Transportation Review **PARKING STUDY**

Prepared for: **Art Gallery of Greater Victoria**

Prepared by: **Boulevard Transportation, a division of Watt Consulting Group**

Our File: **1767**

Date: **January 30 2015**

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## CONTENTS

<b>1.0</b>	<b>Introduction .....</b>	<b>1</b>
1.1	Proposed Development.....	1
1.2	Parking Requirement .....	2
<b>2.0</b>	<b>Existing Conditions .....</b>	<b>4</b>
2.1	Off-Street Conditions (typical) .....	4
2.2	On-Street Conditions (typical) .....	5
2.3	Scheduled Programs .....	9
<b>3.0</b>	<b>Future Conditions.....</b>	<b>13</b>
3.1	Typical Conditions.....	13
3.2	Scheduled Programs .....	15
3.3	Summary .....	16
<b>4.0</b>	<b>Parking Management .....</b>	<b>18</b>
4.1	Day-to-day .....	18
4.2	Scheduled Programs .....	20
<b>5.0</b>	<b>Transportation Demand Management.....</b>	<b>24</b>
<b>6.0</b>	<b>Summary.....</b>	<b>25</b>
6.1	Recommendations .....	26
<b>Appendix A</b>	<b>Summary of Results from Employee Survey.....</b>	<b>26</b>
<b>Appendix B</b>	<b>Summary of On-Street Parking Observations.....</b>	<b>27</b>
<b>Appendix C</b>	<b>Summary of Scheduled Programs.....</b>	<b>28</b>



## 1.0 Introduction

Boulevard Transportation, a division of Watt Consulting Group, was retained by CitySpaces Consulting to conduct a comprehensive transportation review of the Art Gallery of Greater Victoria (AGGV) Renewal Project. The review consists of three studies each under separate cover, as follows:

1. Parking Study;
2. Traffic Impact Assessment; and
3. Transportation Demand Management (TDM) Strategy.

The following is the AGGV Parking Study. The purpose of the study is to assess current and future parking conditions, understand parking impacts on the surrounding neighborhood, and develop a management plan to mitigate impacts and improve parking management at the site.

### 1.1 Proposed Development

The Art Gallery Renewal Project is a proposal for an approximately 30% increase in gross floor area from the existing 39,331 sqft to 51,375 sqft<sup>1</sup>. See *Table 1*. The proposal also includes a rezoning to a site-specific zone that allows up to 55,240 sqft floor area, which represents a 7.5% increase from the proposed building expansion. The focus of this study is on the building expansion and not the rezoning.

TABLE 1. SUMMARY OF PROPOSED EXPANSION FLOOR AREA (sq ft)

	Existing	Proposed	Change
Administration	8,380	8,741	+ 361
Collections	10,218	12,313	+ 2,095
Galleries	13,143	18,260	+ 5,117
Public	5,426	9,640	+ 4,214
Services	2,164	2,421	+ 257
<b>Total</b>	<b>39,331</b>	<b>51,375</b>	<b>+ 12,044</b>

At the time this study was prepared<sup>2</sup>, the site plan indicates an off-street parking supply of 28 parking spaces which include the following spaces - 20 standard, five "flexible", two Smart Car, and one accessible (HC). The five flexible spaces are designed to form part of a plaza /

<sup>1</sup> Proposed floor area includes 1,702 sqft identified as "future additions" on building plans

<sup>2</sup> Final off-street parking supply to be confirmed once site plan has been confirmed

courtyard area and would be used as parking only when the primary parking area is fully occupied. The site plan also indicates a motorcycle parking area with capacity for at least three motorcycles and a vehicle drop off area adjacent the front building entrance.

Both Class 1 and Class 2 bike parking is being provided. Twelve Class 1<sup>3</sup> bike parking spaces are provided based on the recommendation of this study<sup>4</sup>, located in a bike cage at the west end of the parking lot. A total of 38 Class 2<sup>5</sup> bike parking spaces are provided in two locations adjacent the main building entrance, both weather protected by the upper floor canopy.

Refer to the Landscape Plan for more details.

## 1.2 Parking Requirement

The site is currently zoned "PB - Public Buildings District" and requires off-street parking per the City's Zoning Bylaw, Schedule C, although there are no building classes in Schedule C that are specific to an art gallery. *Table 2* provides a breakdown of land uses at the Art Gallery and their requirements. Required parking based on proposed floor areas is 169 spaces. Part of the Renewal Project proposal is a site-specific rezoning that includes off-street parking supply rates specific and appropriate to the site.

TABLE 2. PARKING REQUIREMENT

Land Use	Schedule "C" Classification	Schedule "C" Requirement	Proposed		Required Parking
			Sq. m.	# of seats	
Education	B3 – Buildings for private club use, fraternal lodges, athletic instruction, social halls and similar uses	1 / 9.5m <sup>2</sup> of floor area used or intended to be used for assembly purposes	100		11
Public	B4 – Auditorium and similar places of assembly	1 / 6m <sup>2</sup> of floor area used or intended to be used for assembly purposes	563		94
Theater	C2 - Theaters	1 / 10 seats in the public assembly area		211	21
Museum Gift Shop	C4 – Retail stores, banks, personal services establishments or similar uses	1 / 37.5m <sup>2</sup> of gross floor area	57		2
Offices	C5 – Other offices	1 / 65m <sup>2</sup> of gross floor area	806		12
Exhibition	C9b – Commercial Exhibit in zones	1 / 232m <sup>2</sup>	3,193		14

<sup>3</sup> Secure, weather protected spaces used to accommodate long-term bike parking

<sup>4</sup> As well as the Transportation Demand Management Strategy

<sup>5</sup> Short-term visitor bike parking spaces, typically a rack located adjacent the building entrance

other than Commercial Exhibit  
Zones

Eat/Drink	C12 – Eating and Drinking Establishments	1 / 5 seats	76	15
		<b>Total</b>	<b>4,719</b>	<b>287</b>
				<b>169</b>

The bicycle parking requirement for art gallery uses is one space per 100m<sup>2</sup> (20% Class 1, 80% Class 2), resulting in a total requirement of ten Class 1 spaces and 38 Class 2 spaces. Siting and layout should be consistent with guidelines in the City's *Bicycle Parking Strategy*<sup>6</sup>. Bike parking is given further consideration in the *Transportation Demand Management Strategy*.

<sup>6</sup> Available at: [www.victoria.ca/assets/Departments/Engineering~Public~Works/Documents/parking-bicycle-strategy.pdf](http://www.victoria.ca/assets/Departments/Engineering~Public~Works/Documents/parking-bicycle-strategy.pdf)



## 2.0 Existing Conditions

Existing parking conditions have been assessed to understand how parking currently functions at the Art Gallery. Data collection included observations of on-site and on-street parking utilization, as well as through surveys of Art Gallery patrons and employees. Consideration is given to parking conditions during "typical" conditions and scheduled programs to understand variation.

### 2.1 Off-Street Conditions (typical)

#### 2.1.1 Parking Lot Observations

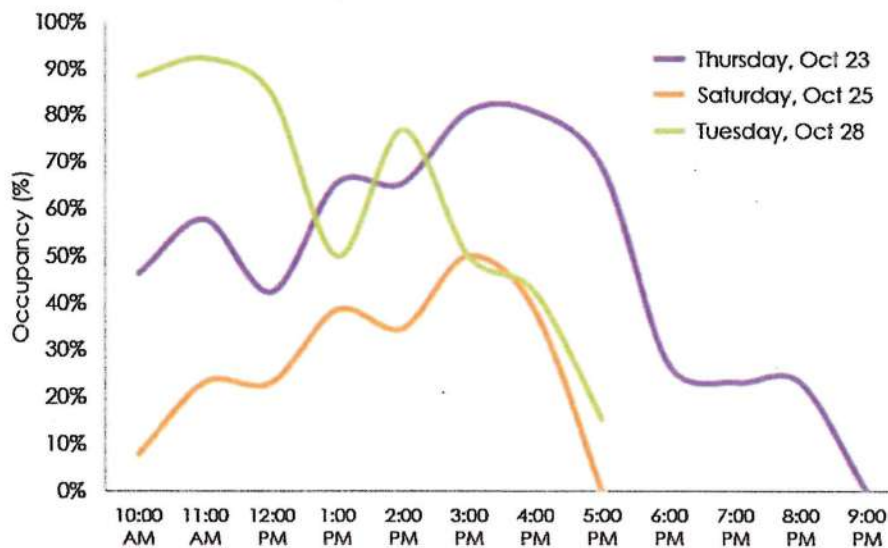
The Art Gallery parking lot was observed once per hour over the course of three "typical" days - Thursday October 23, Saturday October 25, and Tuesday October 28, 2014<sup>7</sup>. Selected dates represent a typical weekday (Tuesday), weekend (Saturday), and a Thursday when opening hours extend until 9:00pm.

The parking lot has a total of 26 parking spaces, one of which is a reserved handicapped space.

Peak occupancy was observed at 11:00am on Tuesday October 23 when the lot was 92% occupied (24 vehicles). See *Figure 1*. Occupancy rates were high (80% or more) on Tuesday AM and relatively high (70% or more) during the Thursday late afternoon. Occupancy rates were 60% or less during other observations. Results suggest that generally the off-street parking lot is meeting demand during a typical day. Parking conditions during scheduled programs are considered in *Section 2.3*.

<sup>7</sup> Camosun College artist lecture held during observations

FIGURE 1. SUMMARY OF OFF-STREET PARKING OCCUPANCY



### 2.1.2 Employee Survey

A survey was distributed among Art Gallery employees to determine travel habits. A total of 17 surveys were received, representing approximately 80% of employees (with 21 employees in total). In order to get a more accurate representation of employee travel, results from the survey have been adjusted so that they are based on total number of employees not number of surveys received. *Appendix A* includes a summary of results from the survey based on number of surveys received.

Results indicate that employees bring a maximum of 16 vehicles to the site in the winter, 15 vehicles in the spring/fall and 14 vehicles in the summer. This is the peak vehicle demand experienced at the site and may not be a good representation of what would be expected on a typical day. The amount of employees who drive at least three days a week may be a better representation of what would be expected on a typical day. Approximately 5 employees bring a vehicle in the summer, 6 employees bring a vehicle in the fall/spring and 7 employees bring a vehicle in the winter.

30% of employees mentioned they need a vehicle frequently in order to adequately perform their job.

## 2.2 On-Street Conditions (typical)

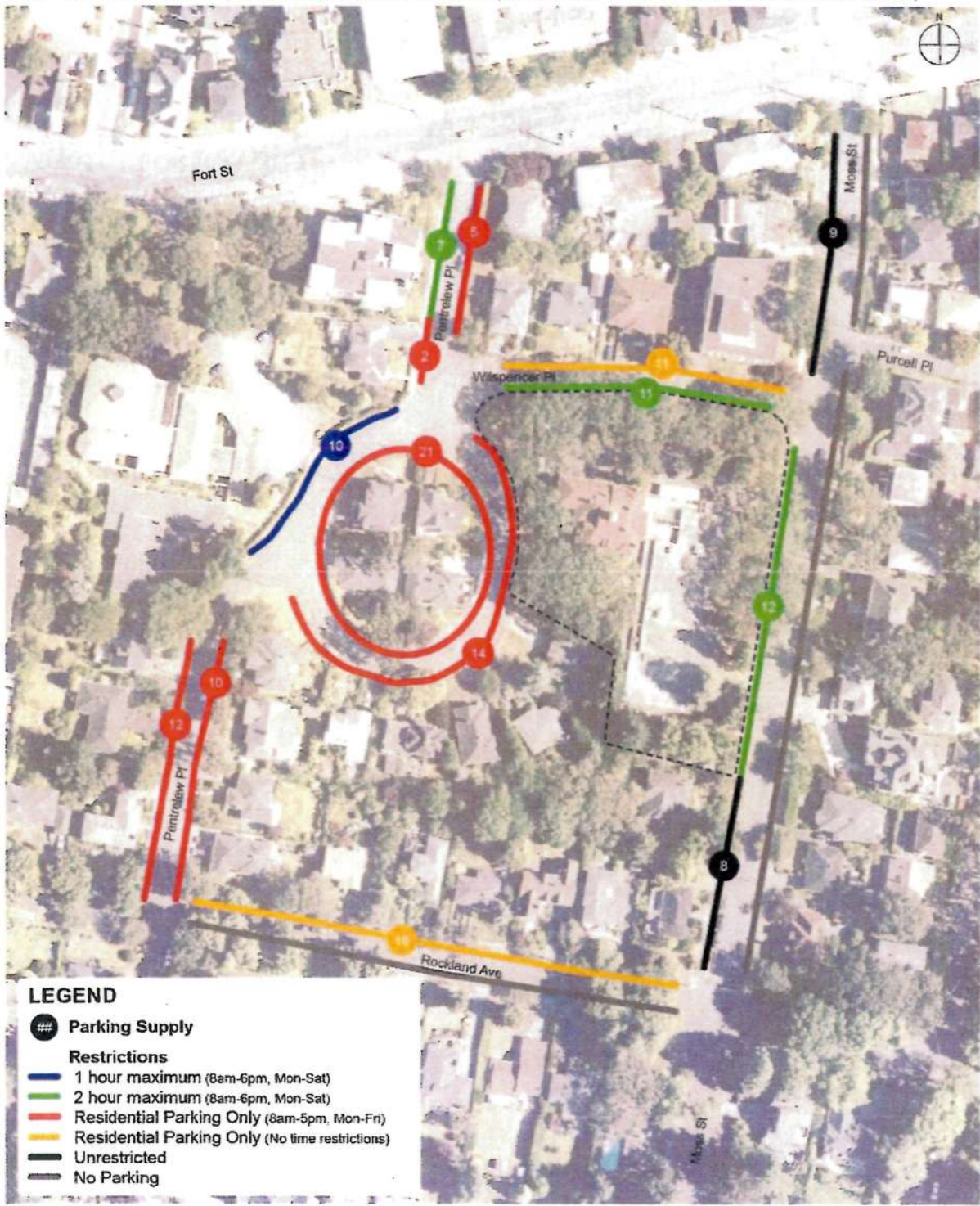
On-street parking observations were conducted in the vicinity of the site (Wilspencer Place, Moss Street, Pentrelew Place, Rockland Avenue). See *Map 1*. Five observations were conducted at various times, as follows:

- Tuesday October 21 at 4:00 pm;
- Wednesday October 22 at 11:30 am;
- Wednesday October 22 at 2:00 pm;
- Friday October 24 at 9:00 pm; and
- Saturday October 25 at 2:00 pm.

A sixth observation was conducted on a Friday evening during a scheduled program at the Art Gallery and results are considered in *Section 2.3*.



MAP 1. ON-STREET PARKING STUDY AREA (WITH SUPPLY + TIME RESTRICTIONS)



### 2.2.1 On-Street Parking Supply

On-street parking is available directly adjacent the site on the south side of Wils Spencer Place (11 spaces) and the west side of Moss Street (12 spaces), both supplies are restricted to two hours, Monday-Saturday, 8:00am-6:00pm. The majority of on-street parking in the vicinity of the site is restricted as "resident parking" from 8:00am to 5:00pm or for residents at all times.

### 2.2.2 On-Street Parking Utilization

On-street parking occupancy rates were generally low for observations during Art Gallery operating hours, at approximately 20% overall occupancy. See *Appendix B*.

The two hour parking areas on Wils Spencer Place and Moss Street adjacent the Art Gallery had no more than six vehicles (26% occupancy) when observed during Art Gallery operating hours, suggesting that few Art Gallery vehicles were parked on-street. These spaces are the most likely location where Art Gallery guests would seek parking in case of spillover from the off-street lot and at least 17 spaces would be available.

Reserved resident parking on Wils Spencer Place and Rockland Avenue was observed at no more than 50% occupancy on any one block during the weekday daytime. Occupancy rates in resident only parking was higher during the Friday evening observation.

Occupancy rates in the two unrestricted parking areas on Moss Street (west side) are above 30% and as high as 88%, possibly as a result of downtown employees parking and walking<sup>8</sup>.

Overall, results suggest that residents can generally find vacant parking during Art Gallery operating hours and that on-street parking demand is generated primarily by neighborhood residents. Further, on-street parking occupancies are low and there may be opportunity to address some site spillover during peak conditions without negatively impacting resident's ability to park on-street.

<sup>8</sup> Instances of downtown employees parking and walking were confirmed with neighborhood residents at the open houses



## 2.3 Scheduled Programs

Observations were conducted on Friday, November 07 2014 at 9:00pm during “Urbanite” which is the Art Gallery’s largest scheduled program and held on a Friday evening three times per year from 8:00 to 11:00pm. The scheduled program attracted an estimated 350 guests and 50 employees / volunteers<sup>9</sup>. Results of the November 07 observations are compared to observations from 9:00pm on Friday, October 24 2014 when the Art Gallery was closed to assess the difference in parking conditions.

### 2.3.1 Observed Parking Conditions

#### Off-Street Parking

The Art Gallery parking lot was observed at 100% occupancy. No parking management was in-place and it is believed that the lot was occupied primarily by Art Gallery staff and volunteers, as they are typically the first to arrive.

No formal arrangement was in-place for Art Gallery guests to park in nearby off-street parking lots on the night of Urbanite, although it is understood that arrangements have been made previously to park at Central Middle School and the Victoria Truth Centre. See *Section 4.2.1*.

#### On-Street Parking

Overall on-street parking was approximately 77% occupied (114 vehicles), as compared to 36% (53 vehicles) on the non-scheduled program night. See *Map 2*. This represents an increase of 61 vehicles parked on-street.

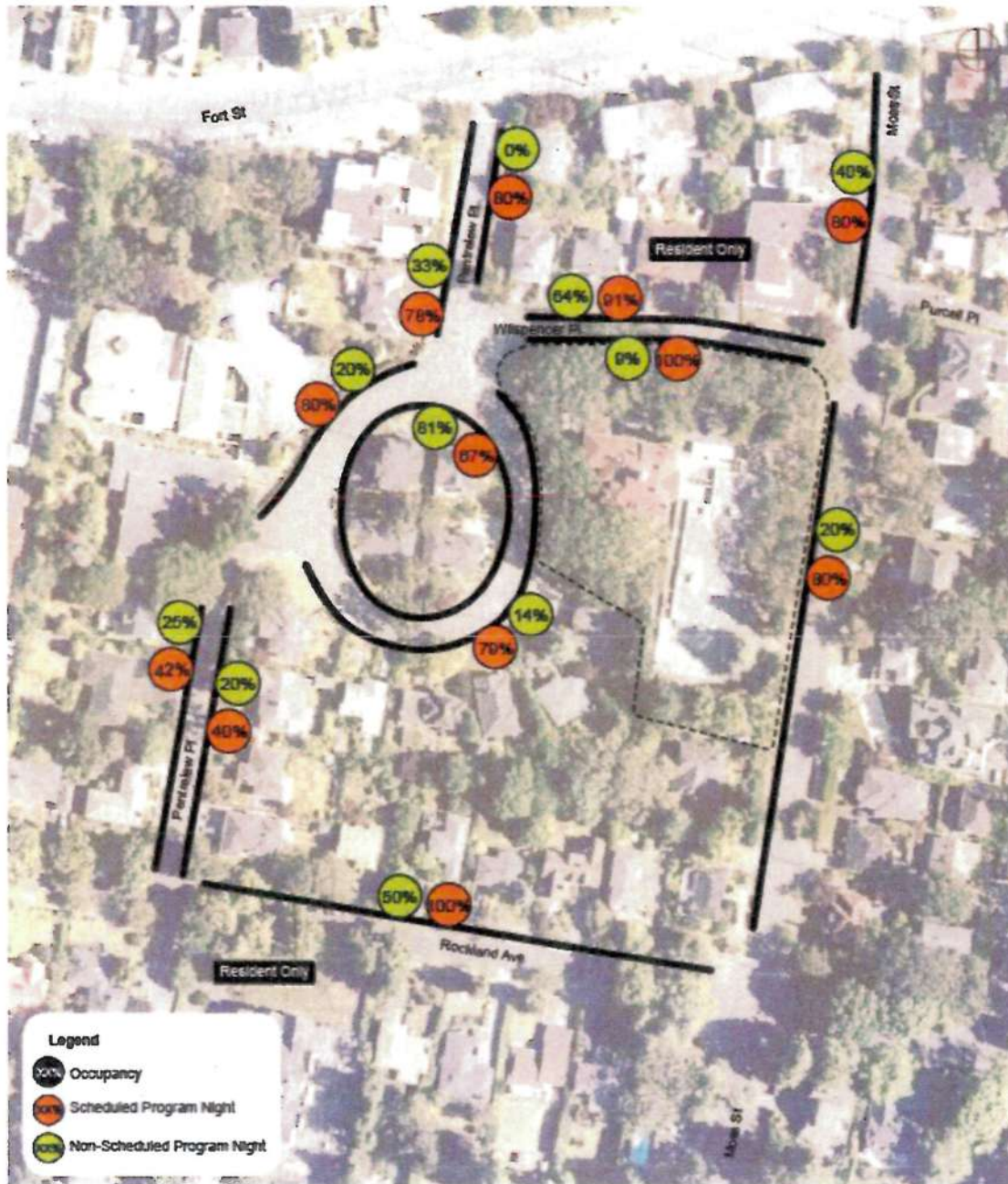
Streets nearest the Art Gallery were 80% occupied or more, although only the south side of Wils Spencer Place was observed 100% occupied.

The two “resident only” parking areas (Wils Spencer Place, Rockland Avenue) experienced a combined 96% occupancy, suggesting that residents are parking in these areas because the on-street parking they would otherwise utilize in the area is unavailable.

<sup>9</sup> Conversations with Art Gallery employee on November 7, 2014



**MAP 2. ON-STREET PARKING OCCUPANCY, PROGRAM VS NON-PROGRAM EVENING**



On-street parking demand likely associated with the Art Gallery was observed to be contained to Fort Street (north), Moss Street (east), Rockland Avenue (south), and Linden Avenue (west). An estimated 35 to 40 vehicles were observed on Linden Avenue and Fort Street that were likely associated with the Art Gallery scheduled program that were not observed on the non-scheduled program Friday evening.

### Summary

An estimated 125 vehicles were associated with the Art Gallery scheduled program that were observed parked in the Art Gallery parking lot and on-street surrounding the site. See *Table 2*. This suggests that scheduled programs result in a parking demand rate of 0.31 vehicles per program attendee<sup>10</sup>.

**TABLE 2. SUMMARY OF PARKING DEMAND, PROGRAM VS NON-PROGRAM NIGHT**

	Non-Program Night	Program Night	Difference
Art Gallery Parking Lot	0	26	+26
On-Street Parking (study area)	53	114	+61
On-Street Parking (Fort St, Linden Ave - outside study area)	0	38	+38
<b>Total</b>	<b>53</b>	<b>178</b>	<b>+125</b>

### 2.3.2 Frequency / Size

The majority of the Art Gallery's scheduled programs occur during regular operating hours and attract less than fifty guests. These programs occur approximately 14 times each month, with the most frequent being Drop-In Tours. The largest scheduled programs are "Urbanite" and the "Fairfield-Gonzales Gala", which occurred four times total during 2014 and attract no more than 400 people.

A summary of scheduled programs from 2014 is provided in *Table 3* and a more detailed description in *Appendix C* that give an indication of the size and frequency of scheduled programs at the Art Gallery.

**TABLE 3. SUMMARY OF SCHEDULED PROGRAMS, 2014**

	Frequency	
	Annual	Per Month (average)
<b>Small Programs</b> (typically less than 50 guests)	163	14
<b>Medium Programs</b> (typically 50 to 200 guests)	23	2
<b>Large Programs</b> (typically 200 to 400 guests)	4	0.3

<sup>10</sup> Parking demand rate includes guests, employees and volunteers (350 guests, 50 staff/volunteers, 125 vehicles)



### 2.3.3 Parking Demand during Scheduled Programs

Parking demand is estimated for scheduled programs of varying sizes using the parking demand rate from the Urbanite observations and assumed attendee numbers for small (50 people), medium (125 people), large programs (300 people) and maximum sized programs (400 people). See *Table 4*. Results suggest that vehicles are accommodated on-site during small programs, but that 13 vehicles seek parking off-site during medium programs approximately 23 times per year and 67 vehicles seek parking off-site during large programs approximately four times per year. Programs with maximum attendance (as observed) result in an estimated 99 vehicles seeking parking off-site.

**TABLE 4. EXPECTED PARKING DEMAND FOR EACH SIZED-SCHEDULED PROGRAM**

Program Size	Frequency (per year)	Estimated Parking Demand	Assignment	
			On-Site	Off-Site
<b>Small</b> (estimated 50 people)	163	16 vehicles	16 vehicles	0 vehicles
<b>Medium</b> (estimated 125 people)	23	39 vehicles	26 vehicles	13 vehicles
<b>Large</b> (estimated 300 people)	4	93 vehicles	26 vehicles	67 vehicles
<b>Maximum</b> 400 people	3 (Urbanite)	125 vehicles	26 vehicles	99 vehicles

Medium programs most commonly occur during Art Gallery daytime operating hours. The on-street parking supplies on Wilspencer Place and Moss Street are restricted to two hours and were found to have at least 17 spaces vacant during daytime observations (per *Section 2.2.2*), suggesting parking spillover from the Art Gallery during medium programs (13 vehicles) can be accommodated on-street without impacting "resident only" parking areas.

Large programs result in up to 99 vehicles seeking off-site parking, many of which park in available on-street parking nearby the site and impact the ability of neighborhood residents to access on-street parking adjacent their residence, as described in detail in *Section 2.3.1*. This occurs approximately four times per year.



### 3.0 Future Conditions

The Art Gallery Renewal Project proposal is for an approximately 30% increase in floor area from the existing 39,331 sqft to 51,375 sqft. See *Table 1*. As noted, the off-street parking lot is expected to include 28 parking spaces (currently 26 spaces), with a primary parking area (23 spaces) and a secondary ("flexible") parking area (5 spaces). Future parking conditions are estimated based on our understanding of existing conditions and the corresponding increase in floor area, considered by allocation of space – Administration, Collections, Galleries, Public Programs, Services.

The Art Gallery has indicated that a significant increase in employees due to the expanded floor area is not anticipated. Expanded Gallery and Public Programs floor areas will increase the space available for public occupancy. Art Gallery staff have also indicated that a significant increase in guests is not anticipated. A short-term increase in attendance is likely immediately after the Renewal is complete as a result of enthusiasm and interest in the project<sup>11</sup>.

#### 3.1 Typical Conditions

Future conditions have been assessed based on an approximate 30% overall increase in floor area and in consideration of the increase in each floor area type.

##### 3.1.1 Overall

The three-day observation of the Art Gallery parking lot during "typical" conditions (see *Section 2.1.1*) found peak demand to be 24 vehicles, a demand rate of 1 vehicle per 1,639 sq.ft. The increase in floor area is approximately 30%, suggesting that peak demand could increase to 31 vehicles. Average observed parking demand was 12 vehicles, suggesting that average demand could increase to 16 vehicles.

##### 3.1.2 Floor Area Type

The Art Gallery consists of five floor area types, as defined in *Table 5*.

<sup>11</sup> Based on discussion with Art Gallery staff, 25 November 2014

TABLE 5. SUMMARY OF ART GALLERY FLOOR AREA TYPES

Floor Area	Description
<b>Administration</b>	Art Gallery employee offices and associated space
<b>Collections</b>	Storage space for art collections that are not currently on display
<b>Galleries</b>	Spaces for art display and viewing by Art Gallery guests
<b>Public Programs</b>	Assembly spaces where lectures, demonstrations and similar activities are hosted
<b>Services</b>	Spaces for staff supportive activities, such as kitchen and bicycle storage

Parking demand has been estimated based on the various floor area types. See *Table 6*. The following outlines how each demand rate was obtained:

*Administration, Services, Collections.* As there is no expected increase in number of employees, parking demand for administration, services, and collections is not expected to be effected by the renewal project, and will remain consistent to what is being experienced currently.

*Galleries.* The characteristics of a gallery are similar to what is outlined in the ITE Land Use, Museum. Galleries will be open at all times during Art Gallery opening hours, and is the location of where art will be displayed. Based on additional floor area, it is expected there will be an increase of five vehicles attributed from the galleries floor area. It is important to note that this rate obtained from ITE includes all aspects of an Art Gallery (including administration, services, collections) but is the closest rate which is applicable to this floor area type.

*Public Programs.* This space will be typically set up where attendees will be seated at chairs with or without tables, similar to an auditorium or public gathering place. Based on the function of a public program space, it will only be occupied during a scheduled program. It is assumed that this space will be empty or in certain circumstances the space may be used outside of scheduled programs, and will operate similar to the gallery space. Therefore on a typical day, the public program space will exhibit a maximum vehicle demand of four vehicles.

On a typical day, based on floor area, parking demand will range from 29 to 33 vehicles, depending on if the public programs space is being used, with an average of 31 vehicles.



TABLE 6. SUMMARY OF EXPECTED PARKING DEMAND BY FLOOR AREA

	Existing		Future				Total Parking Demand
	Floor Area	Parking Demand	Floor Area (total)	Floor Area (change)	Parking Demand Rate	Parking Demand	
Administration	8,380		8,741	+ 361			
Services	2,164	15	2,421	+ 257	N/A	0	15
Collections	10,218		12,313	+ 2,095			
Galleries	13,143		18,260	+ 5,117	1 / 1,020 sq.ft. <sup>12</sup>	5	
Public Programs	5,426	9	9,640	+ 4,214	1 / 1,020 sq.ft.	4	18
<b>Total</b>	<b>39,331</b>	<b>24</b>	<b>51,375</b>	<b>+ 12,044</b>		<b>9</b>	<b>33</b>

### 3.1.3 Summary

Future conditions for a typical day at the Art Gallery were calculated to determine what should be expected in terms of vehicle demand, post-renewal. The Art Gallery will be increasing its floor area by a total of 30%. Based on existing peak vehicle observations of 24 vehicles, this will be increased to 31 vehicles, and average parking demand will be increased to 16 vehicles (from 12 vehicles). Future parking demand was also estimated based on floor area types. Parking demand will average 31 vehicle and range from 29 to 33 vehicles, depending on if the public programs space is being used. This will result in the primary and secondary lots being at maximum occupancy and a spillover of three vehicles onto on-street parking during the peak period.

## 3.2 Scheduled Programs

Scheduled Programs occur regularly at the Art Gallery and range in size and frequency. See *Section 2.3*.

### 3.2.1 Overall

Based on a 30% increase in floor area *Table 7* shows estimated parking demand in the future during scheduled programs. Vehicle demand will average 21 vehicles for small scheduled programs (drop-in tours, etc.) and 122 vehicles for large scheduled programs (Urbanite).

<sup>12</sup> ITE, Land Use: 580 Museum



TABLE 7. SUMMARY OF EXPECTED PARKING DEMAND FOR SCHEDULED PROGRAMS

Scheduled Programs	Existing		Future	
	Floor area	Parking Demand	Floor Area	Parking Demand
Small		16		21
Medium	39,331 sq.ft.	39	51,375 sq.ft.	51
Large		93		122

The increase in floor area suggests that vehicle demand for each sized scheduled program will increase. Although the Art Gallery will be able to physically hold more people, there is no immediate increase that is anticipated. There is no additional marketing of the Art Gallery planned, suggesting that these programs will likely stay similar in size or slightly larger than existing.

### 3.2.2 Public Programs Space

As mentioned in *Section 3.1.2*, the public programs space is assumed to be only used during a scheduled program. Based on the total floor area of the public programs space of 9,640 sq.ft. and a demand rate in ITE<sup>13</sup>, if the whole space is used it will have a total peak demand of 81 vehicles. This demand is consistent with some medium sized scheduled programs and large programs.

### 3.2.3 Summary

Based on a floor area increase of 30%, the scheduled programs may increase. The Art Gallery lot will be able to accommodate demand during a small scheduled program, and spillover to on-street parking will occur during medium and large scheduled programs. Parking management options will need to be implemented to mitigate the impacts of this increased parking demand. See *Section 4.0*.

## 3.3 Summary

Future parking demand was estimated post-renewal for a typical day at the Art Gallery and during scheduled programs. Results indicate that there will be a vehicle demand of 31 vehicles on a typical day, with a spillover of three vehicles onto adjacent streets. This however, can be accommodated on Wilsperencer Place and Moss Street. Average parking demand was calculated to be 16 vehicles, which would be accommodated on the off-street parking lot. During scheduled programs, demand will be accommodated on the Art Gallery lot during small

<sup>13</sup> ITE, Land Use: 560 Church. Demand rate – 1 / 119 sq.ft.

scheduled programs, and there will be spillover of 23 vehicles during medium scheduled programs and 94 vehicles during large scheduled programs. This on-street parking demand can be reduced by implementing parking management options outlined in *Section 4.0*. Although based on a 30% increase in floor area, parking demand during scheduled programs was calculated to increase; this may not materialize as conversations with Art Gallery staff suggest it is not anticipated to have a significant increase in attendees during scheduled programs.

## 4.0 Parking Management

Parking management approaches have been identified to ensure the Art Gallery parking lot is used efficiently and better address peak parking demand periods. Consideration is given to day-to-day management and management during scheduled programs.

### 4.1 Day-to-day

By and large, day-to-day parking demand will be met on-site with little spillover into adjacent on-street parking. As such, parking management is only needed to ensure efficient use of available parking and not to address a parking shortfall.

The Renewal proposal includes 28 off-street parking spaces divided among two parking areas. See *Figure 2*. The primary parking area at the northwest of the site will consist of 23 parking spaces. The secondary parking area is at the northeast of the site and will consist of 5 spaces and is proposed as “flexible” space that will be used as parking when needed and otherwise function as part of the front courtyard area. This area will have a subtle surface treatment to differentiate spaces from non-parking areas.

The assessment of future parking conditions (*Section 3.1*) determined that on a typical day at the Art Gallery peak parking demand will be 31 vehicles, resulting in a spillover of three vehicles onto adjacent streets. Based on this, flex spaces should be open at all times; however, this is peak demand, and average demand during a typical day will be 16 vehicles, which will be accommodated on site.

The secondary parking area should be managed so that it is empty when parking demand is met by the primary supply and available when the primary supply is nearing full occupancy. The subtle surface treatment will help differentiate this parking supply as contingency parking. Other options include the following:

- Install “overflow parking” signs to clarify parking is to be occupied only once the primary supply is fully occupied;
- Install “5 minute drop-off” signs to limit general use of parking spaces and Art Gallery staff may replace signs with “general parking” signs when parking is needed; or
- Place temporary art in parking spaces that Art Gallery staff remove when parking is needed.





## 4.2 Scheduled Programs

Parking management is primarily concerned with mitigating impacts on the surrounding neighborhood during scheduled programs. As clarified in *Section 3.2*, parking management is required during medium and large scheduled programs to address anticipated parking spillover. Parking management is not required for small programs.

### 4.2.1 Off-Site Parking

The Art Gallery has made agreements in the past to utilize off-site parking lots for additional parking during scheduled programs, including Central Middle School and the Victoria Truth Centre, although this was not the case when observations were conducted. As part of the Renewal Project proposal, it is recommended that the Art Gallery commit to securing nearby off-site parking supplies, as possible, to accommodate guest parking during scheduled programs. Any such arrangement would be impermanent and subject to cooperation from nearby property owners. As all sites will not necessarily be available during all scheduled programs, the Art Gallery should approach a number of possible property owners to ensure a variety of options.

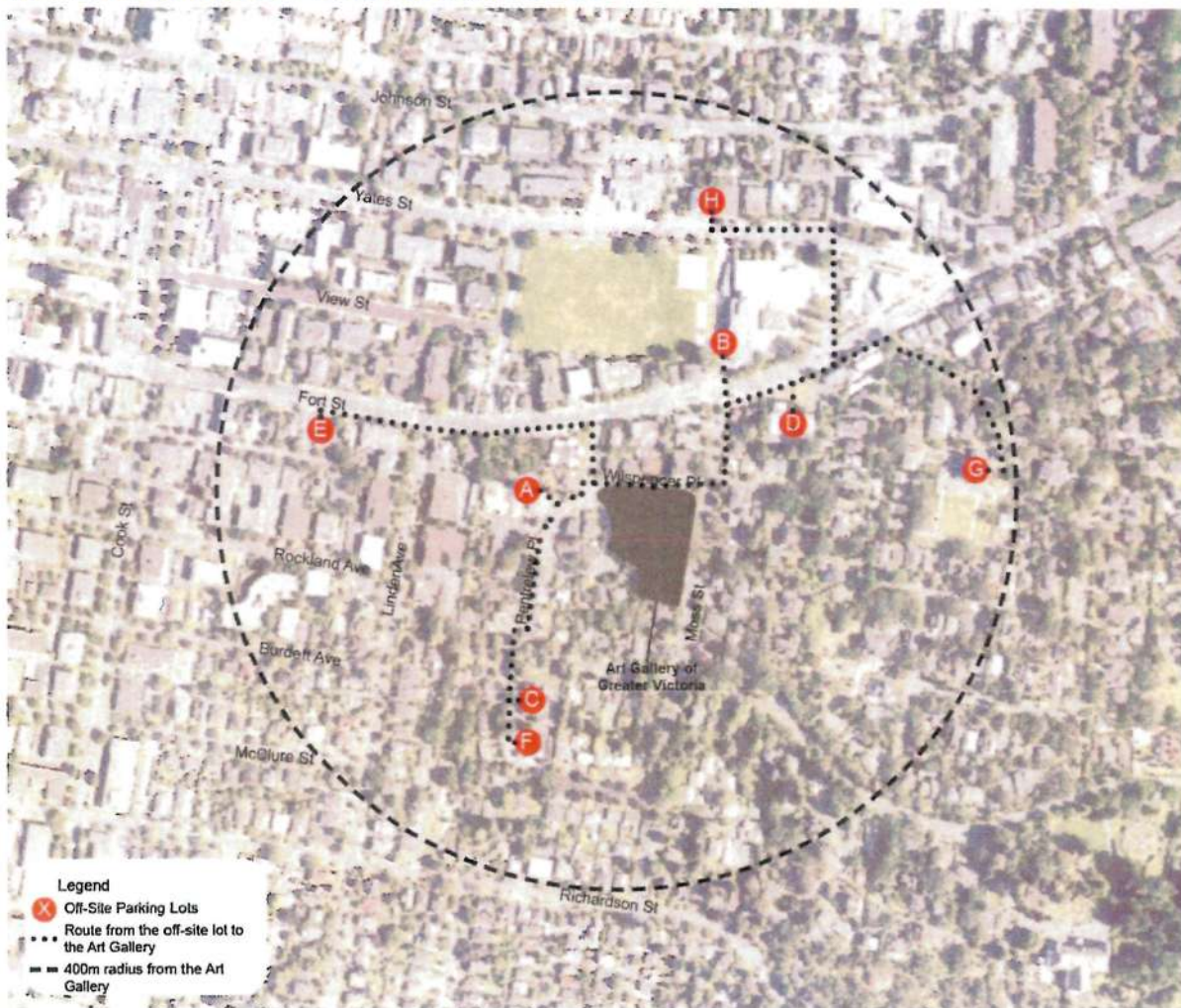
Possible off-site parking sites are identified in *Table 8* and *Map 3*. No correspondence has been made with identified properties and not all property owners will be amenable to such an arrangement. Other properties within walking distance (400m) may also be targeted.

**TABLE 8. SUMMARY OF POSSIBLE OFF-SITE PARKING SITES**

ID	Location	Parking Supply	Distance from Art Gallery
A	Victoria Truth Centre, 1201 Fort St	20 spaces	125 m
B	Central Middle School, 1280 Fort St	40 spaces	240 m
C	The Laurels (Victoria Heritage Found.), 1249 Rockland Ave	15 spaces	220 m
D	Grace Lutheran Church, 1273 Fort St	20 spaces	166 m
E	First Memorial Funeral Services, 1155 Fort St	20 spaces	320 m
F	Langham Court Theatre, 805 Langham Crt	20 spaces	280 m
G	Craigdarroch Castle, 1050 Joan Cres	40 spaces	300 m
H	Boys and Girls Club of Greater Victoria, 1240 Yates St	10 spaces	300 m



**MAP 3. POSSIBLE OFF-SITE PARKING SITES**



Based on estimates of future vehicle demand during scheduled programs, *Table 9* outlines the number of off-site lots which should be obtained during each sized scheduled program. Off-Site lots are not necessary during small and medium scheduled programs, but should be obtained during large scheduled programs. During a large scheduled program, approximately 30%-40% of total parking demand should be accommodated on an off-site lot, and the remaining vehicles will be accommodated on-street without displacing a large amount of residents.



TABLE 9. SUMMARY OF VEHICLE DEMAND DURING SCHEDULED PROGRAMS

Scheduled Program Size	Parking Demand	Accommodation of Vehicle Demand				
		On-Site	On-Street (Wilspencer and Moss) <sup>14</sup>	Remaining	Off-Site Spaces	Additional On-Street Parking Needed
<b>Small</b> (50 people)	21	21			N/A	
<b>Medium</b> (125 people)	51	28	19	4	N/A	4
<b>Large</b> (300 people)	122	28	19	75	40-50	25-35

#### 4.2.2 Art Gallery Parking Lot

The Art Gallery parking lot should be managed during scheduled programs to ensure effective use of this sought-after parking supply. The following should be undertaken:

- Open the Secondary Parking Area: The secondary on-site parking area should be available as parking for all scheduled programs.
- Off-Site Staff Parking: Staff should be directed to park off-site during medium and large programs. Staff should be notified by email on program days, indicating times they may not park on-site and identifying off-site parking options.
- Carpool Parking: Two on-site parking spaces should be allocated as "carpool parking" during large programs. Signs should be installed indicating that carpool spaces are reserved for vehicles with three or more occupants. Carpool spaces may revert to general parking if they are unoccupied one hour after a program has begun.
- Signage: A temporary sign should be placed at the primary driveway indicating where to find off-site parking during large programs.

A summary of scheduled program parking management is provided in *Table 10*.

<sup>14</sup> Amount of parking supply has changed due to new intersection configuration

TABLE 10. SUMMARY OF SCHEDULED PROGRAM PARKING MANAGEMENT

	Open 2nd Parking Area	Staff Park Off-Site	Carpool Parking	Signage	Off-Site Parking
<b>Small Program (50 people)</b>	✓				
<b>Medium Program (125 people)</b>	✓	✓	✓		
<b>Large Program (300 people)</b>	✓	✓	✓	✓	✓

## 5.0 Transportation Demand Management

Transportation demand management (TDM) measures should also be pursued to encourage patrons to walk, bicycle, use transit, or carpool to scheduled programs at the Art Gallery. The following TDM strategies are identified in the *Transportation Demand Management Strategy*:

### Permanent TDM Facilities

- Bike Racks
- Long-Term Bike Parking
- Cycling Trip-End Facility
- Passenger Drop-Off

### Scheduled Programs

- Parking Management
- Transit Tickets
- Bike Parking / Valet
- Chaperone
- Information

### Supplementary Programs

- Transit Passes
- Guaranteed Ride Home
- Bike Share
- Electric Vehicle Charging Station
- Carpool Program
- Alternative Scheduling
- Information
- Transportation Allowance
- Events



## 6.0 Summary

The Art Gallery of Greater Victoria is undergoing a renewal project which will increase the total floor area of the site by approximately 30%. As such, a parking study was developed to assess existing conditions at the site, and project parking demand in the future, post renewal. The parking lot is proposed to have 28 parking spaces, split into two separate lots; a primary lot with 23 spaces and a secondary lot with 5 spaces. The parking requirement for the site is 169 spaces.

As part of this parking study, extensive observations were conducted to assess existing conditions during a typical day and a scheduled program. During a typical day it was observed that the off-street parking lot has an acceptable occupancy which adequately accommodates demand. On-street parking is also quite limited.

Observations took place during the largest scheduled program that is hosted at the Art Gallery called Urbanite. It attracted a total of 400 employees, volunteers and guests to the site. The off-street lot was observed at full occupancy, and on-street parking had a high occupancy compared to a non-scheduled program night. It was estimated that this scheduled program brought an additional 125 vehicles to the site and surrounding streets.

Future parking demand projections were made based on future floor area. Results suggest that during a typical day at the Art Gallery, during the peak period there will be a total demand of 31 vehicles to the site; three more than the off-street parking supply. This overspill can be accommodated on Wilspener Place and Moss Street. Average parking demand is expected to be at 16 vehicles. During scheduled programs, parking demand is estimated to increase to 21 vehicles during small scheduled programs, 51 vehicles for medium scheduled programs, and 122 vehicles during large scheduled programs. Although this is the calculated increase in parking demand based on floor area increase, this demand may not materialize as no immediate increase in guests is anticipated.

During a typical day, parking demand is expected to be at 31 vehicles; suggesting that the lot will be at full occupancy with limited spillover into on-street parking. Average parking demand is expected to be at 16 vehicles, which will be accommodated in the primary parking lot. Proper monitoring of the lots should take place when considering if the secondary lot should be opened. Based on the frequency and size of scheduled programs throughout the year, parking management strategies are provided to manage the sites parking in a way to reduce vehicle demand and accommodate alternative modes. For all scheduled programs, the secondary lot should be open to accommodate an increase in demand. Management strategies will be necessary approximately 27 times throughout the year when the off-street lot is at full occupancy and there is an influx of on-street parking demand due to medium and large scheduled programs. Management strategies include obtaining off-site parking lots, opening

secondary parking lot, directing staff to park off-site, providing carpool parking spaces and installing signage.

## 6.1 Recommendations

The following are recommendations in which the Art Gallery should pursue:

- Monitor off-street parking lots occupancy to determine if the secondary parking lot should be opened
- Implement the following parking management programs during scheduled programs:
  - Small Scheduled Programs. Open secondary parking lot
  - Medium Scheduled Program. Open secondary parking lot, direct staff to park off-site and provide carpool parking spaces
  - Large Scheduled Programs. Obtain off-site parking lots, open secondary parking lot, direct staff to park off-site, provide carpool parking spaces and install signage

## Appendix A SUMMARY OF EMPLOYEE SURVEY



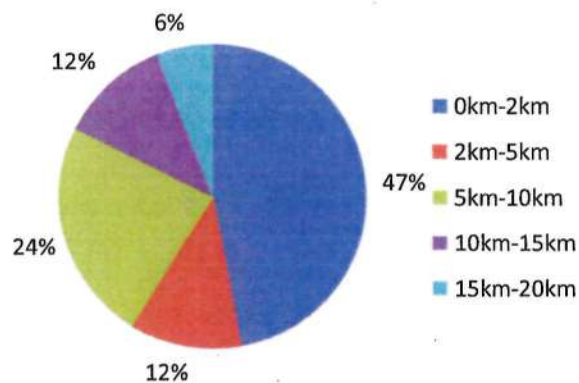
## Summary of Employee Survey

## Parking Study I Transportation Review

## Art Gallery of Greater Victoria Renewal Project

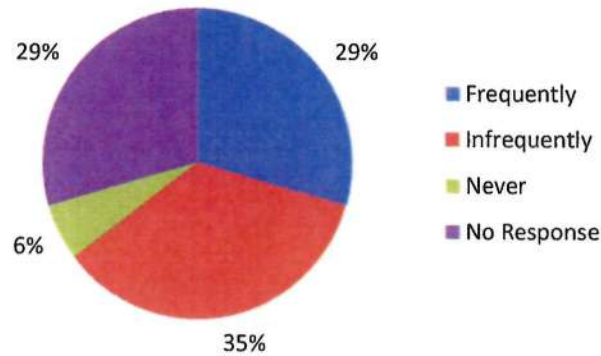
## Q.1. How far do you live from the Art Gallery?

	Count	Percentage
0km-2km	8	47%
2km-5km	2	12%
5km-10km	4	24%
10km-15km	2	12%
15km-20km	1	6%
<b>Total</b>	<b>17</b>	<b>100%</b>



## Q.2. How often do you need access to a vehicle to perform your job?

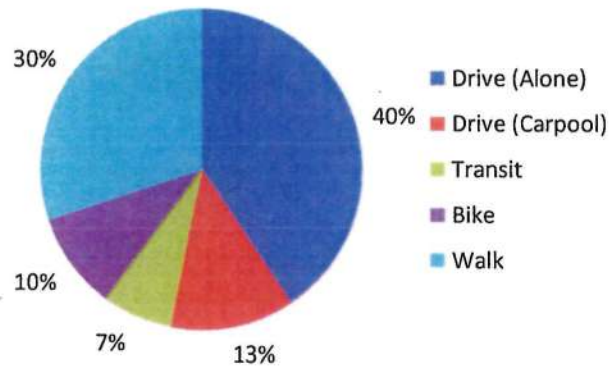
	Count	Percentage
Frequently	5	29%
Infrequently	6	35%
Never	1	6%
No response	5	29%
<b>Total</b>	<b>17</b>	<b>100%</b>



Q.3. Approximately how many days per week do you travel to the Art Gallery using each travel mode

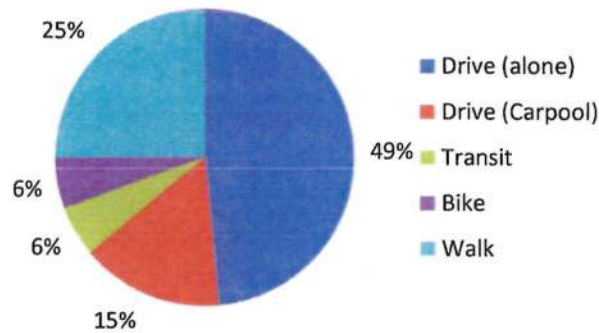
Summer

	0 days	1 day	2 days	3 days	4 days	5 days
Drive (Alone)	6 people	4 people	3 people	0 people	1 people	3 people
Drive (Carpool)	14 people	1 people	0 people	1 people	0 people	1 people
Transit	14 people	2 people	0 people	1 people	0 people	0 people
Bike	14 people	1 people	0 people	1 people	0 people	0 people
Walk	10 people	0 people	4 people	0 people	1 people	2 people
Other	0 people	0 people	0 people	0 people	0 people	0 people



Spring/Fall

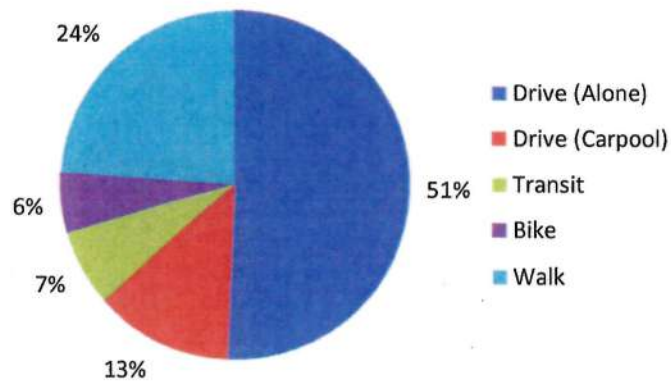
	0 days	1 day	2 days	3 days	4 days	5 days
Drive (Alone)	4 people	3 people	4 people	0 people	1 people	4 people
Drive (Carpool)	13 people	2 people	0 people	0 people	1 people	1 people
Transit	14 people	2 people	1 people	0 people	0 people	0 people
Bike	15 people	1 people	0 people	1 people	0 people	0 people
Walk	11 people	1 people	2 people	1 people	0 people	2 people
Other	0 people	0 people	0 people	0 people	0 people	0 people



Winter

	0 days	1 day	2 days	3 days	4 days	5 days
Drive (Alone)	4 people	5 people	2 people	1 people	1 people	4 people
Drive (Carpool)	15 people	0 people	0 people	0 people	1 people	1 people
Transit	14 people	1 people	2 people	0 people	0 people	0 people
Bike	15 people	1 people	0 people	1 people	0 people	0 people
Walk	12 people	0 people	2 people	1 people	0 people	2 people
Other	0 people	0 people	0 people	0 people	0 people	0 people





Q.4. What is preventing you from walking, cycling, using transit or carpooling more often?

	Count	Percentage
Lack of shower facilities	4	15%
Distance	4	15%
Taking kids to school	4	15%
Lack of change room facilities	2	8%
Lack of personal/bike lockers	2	8%
Time	2	8%
Require a vehicle at work	2	8%
Unorganized	2	8%
Weather	2	8%
Transit is unreliable	2	8%

Q.5. What could the Art Gallery do to encourage you to walk, bike, use transit or carpool more often?

	Count	Percentage
Install personal / bike lockers	6	30%
Provide discounted transit passes	5	25%
Install showers	4	20%
Install change rooms	3	15%
Arrange for carpools	1	5%
Coordinate with BC Transit to alter routes	1	5%

## Appendix B SUMMARY OF ON-STREET PARKING OBSERVATIONS



On-Street Parking Observations  
Parking Study I Transportation Review  
Art Gallery of Greater Victoria Renewal Project

Section	Side	Restrictions	No. Stalls	Tuesday October 21, 4:00 pm		Wednesday October 22, 11:30 am		Wednesday October 22, 2:00 pm		Friday October 24, 9:00 pm		Saturday October 25, 2:00 pm		Friday November 7, 9:30 pm	
				Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate	Observed Vehicles	Occupancy Rate
Pentrelew Place Fort St to Wilsperner Pl	East	Residential Parking Only (8am-5pm, Mon-Fri)	5	0	0%	1	20%	0	0%	0	0%	0	0%	4	80%
Pentrelew Place Fort St to Wilsperner Pl	West	2 Hour, 8am-6pm, Mon-Sat	7	0	0%	0	0%	0	0%	1	14%	1	14%	5	71%
		Residential Parking Only (8am-5pm, Mon-Fri)	2	0	0%	0	0%	0	0%	2	100%	1	50%	2	100%
		Residential Parking Only (8am-5pm, Mon-Fri)	21	2	10%	0	0%	0	0%	17	81%	2	10%	14	67%
Pentrelew Place Circle	East (Outside)	Residential Parking Only (8am-5pm, Mon-Fri)	14	5	36%	2	14%	5	36%	2	14%	3	21%	11	79%
	West/ South (Outside)	1 hour maximum (8am-6pm, Mon-Sat)	10	0	0%	1	10%	0	0%	2	20%	0	0%	8	80%
Pentrelew Place Circle to Rockland Avenue	East	Residential Parking Only (8am-5pm, Mon-Fri)	10	0	0%	1	10%	1	10%	2	20%	1	10%	4	40%
	West	Residential Parking Only (8am-5pm, Mon-Fri)	12	1	8%	3	25%	3	25%	3	25%	0	0%	5	42%
Rockland Avenue Pentrelew Pl to Moss St	North	Residential Parking Only	16	6	38%	7	44%	5	31%	8	50%	6	38%	16	100%
	South														
Moss Street Rockland Ave to Fort St	East														
Moss Street Rockland Ave to Art Gallery	West	Unrestricted	8	7	88%	0	0%	4	50%	4	50%	3	38%	7	88%
Moss Street Art Gallery to Wilsperner Pl	West	2 Hour, 8am-6pm, Mon-Sat	12	1	8%	5	42%	2	17%	0	0%	2	17%	9	75%
Moss Street Wilsperner Pl to Fort St	West	Unrestricted	9	5	56%	4	44%	6	67%	4	44%	3	33%	8	89%
Wilsperner Place Moss St to Pentrelew Pl	North	Residential Parking Only	11	4	36%	3	27%	3	27%	7	64%	5	45%	10	91%
	South	2 Hour, 8am-6pm, Mon-Sat	11	0	0%	1	9%	3	27%	1	9%	2	18%	11	100%
Total Occupancy			148	91	61%	28	19%	32	22%	53	36%	29	20%	114	77%

Summary of Parking Occupancy

Residential Parking Only	27	10	37%	10	37%	8	30%	15	56%	11	41%	26	96%
Residential Parking Only (8am-5pm, Mon-Fri)	64	8	13%	7	11%	9	14%	Observations occur outside of restrictions and are therefore unrestricted					
2 Hour, 8am-6pm, Mon-Sat	30	1	3%	6	20%	5	17%	Observations occur outside of restrictions and are therefore unrestricted		5	17%	Observations occur outside of restrictions and are therefore unrestricted	
Unrestricted	17	12	71%	4	24%	10	59%	36	32%	13	16%	80	72%
Total	138	31	22%	27	20%	32	23%	51	37%	29	21%	106	77%

## Appendix C SUMMARY OF SCHEDULED PROGRAMS

Summary of Scheduled Programs from January-December 2014

Parking Study I Transportation Review

Art Gallery of Greater Victoria Renewal Project

	January	February	March	April	May	June	July	August	September	October	November	December
Month			Urbanite			Urbanite					Urbanite	
Program Categories	Opening Reception			Opening Reception Exhibit Opening	Children's Exhibit Opening Summer Season Opening				Exhibit Opening Fall Season Opening			
Meeting		Gallery Associates Meeting	Gallery Associates Meeting	Associates General Meeting	Associates General Meeting	Associates Annual General Meeting Annual General Meeting						
Event	Concert Lecture x2	Concert x2 Lecture Family Sunday	Concert Lecture Family Sunday	Concert Lecture Family Sunday	Lecture x2		Screening Lecture		Screening x3 Lecture x2	Lecture Family Sunday	Family Sunday	Family Sunday
Tour	Drop-in Tour	Drop-in Tour x9 Curators Tour Art Interest Tour x4	Drop-in Tour x12 Curators Tour Art Interest Tour x4	Drop-in Tour x8 Curators Tour Art Interest Tour x4	Drop-in Tour x12 Curators Tour Art Interest Tour x2	Drop-in Tour x11 Curators Tour Art Interest Tour x2	Drop-in Tour x9 Curators Tour x2	Drop-in Tour x13	Drop-in Tour x8 Curators Tour x2 Art Interest Tour x2	Drop-in Tour x10 Curators Tour x2 Art Interest Tour x2	Drop-in Tour x12	Drop-in Tour x5 Curators Tour
Other			Art Show Reception x2			Book launch		Slow Fashion Week x3			Animation Workshops x2	Print making Workshop

Scheduled Program Size		Scheduled Program Frequency	
		Per month (Average)	Per year (Total)
Small Scheduled Programs	0-50 people	14	163
Medium Scheduled Programs	50-200 people	2	23
Large Scheduled Programs	201 or more people		4

Scheduled Programs occur approximately 190 times throughout the year



## Description of Scheduled Programs from January-December 2014

## Parking Study I Transportation Review

## Art Gallery of Greater Victoria Renewal Project

Event Name	Size	Event Frequency (per year)	During/After Opening Hours	Description
Drop-in Tour	Small	110	During	Offer visitors a chance to learn more about current exhibits; included in the price of admissions. These happen several times a week
Curators Tour	Small	8	During	Professional curator guides the tour, included in admission
Art Interest Tour	Small	20	During	This is a discussion based tour and included in the price of admission
Concert	Small	5	During	A group of musicians come to the Art Gallery and perform music. Tickets can be up to \$35
Screening	Small	4	During	When the Art Gallery showcases a film
Lecture	Small	11	During	A special guest comes and provides a lecture about the arts
Family Sunday	Medium	6	During	Children and guardians are welcome to the gallery for arts and crafts and film screenings. This is included in the price of admission
Urbanite	Large	3	After	Is an adult event with liquor, exhibition tours, local music and hands on activities. This event occurs three times over the year
Fairfield Gonzales Gala	Large	1	After	A gala which includes music, wine tasting, food and an auction.
Opening Reception	Medium	2	During/After	Members have the opportunity to speak with the curator and then it is open to the public.
Exhibit Opening	Medium	2	During	New exhibit is showcased and open to the members and public for a designated amount of time
Children's Exhibit Opening	Medium	1	During	New children's exhibit is showcased and open to the members and public for a designated amount of time
Summer/Fall Season Opening	Medium	2	After	Typically occurs coinciding with an exhibit opening. There is a private members preview before it is open to the public
Gallery Associates Meeting	Small	2	During	A meeting which is open to anyone who is interested in joining the association
Associates General Meeting	Small	2	During	A meeting which is open to anyone who is interested in joining the association
Associates Annual General Meeting	Small	1	During	A meeting for members of the association to discuss the past years activities, reports
Annual General Meeting	Medium	1	After	A meeting for everyone to present the years previous activities, fiscal reports and election of members for the board of directors for the next year.
Art Show Reception	Medium	2	During	Art is showcased and for sale for a specific artist.
Book Launch	Medium	1	During	The launch of a new book by an author. Refreshments are provided
Slow Fashion Week	Medium	3	During	Various artists present their work at multiple venues. This is included in the price of admission
Animation Workshops	Medium	2	During	Free with admission, guests will participate in creating a series of animated abstract films. Space is limited
Print Making Workshops	Medium	1	During	An introduction course to printmaking processes. Included in the price of admission

Scheduled Program Size		Scheduled Program Frequency (per year)
Small Scheduled Programs	0-50 people	163
Medium Scheduled Programs	50-200 people	23
Large Scheduled Programs	201 or more people	4

Scheduled Programs occur approximately 190 times throughout the year



**ART GALLERY OF GREATER VICTORIA  
RENEWAL PROJECT**

**Transportation Review  
TRANSPORTATION DEMAND  
MANAGEMENT (TDM) STRATEGY**

Prepared for: **Art Gallery of Greater Victoria**  
Prepared by: **Boulevard Transportation, a division of Watt Consulting Group**  
Our File: **1767**  
Date: **January 30 2015**

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## CONTENTS

<b>1.0</b>	<b>Introduction .....</b>	<b>1</b>
1.1	What is Transportation Demand Management (TDM)? .....	1
1.2	Travel Options .....	1
1.3	Existing Travel Patterns .....	4
<b>2.0</b>	<b>Permanent TDM Facilities .....</b>	<b>5</b>
2.1	Bike Racks .....	5
2.2	Long-term Bike Parking .....	5
2.3	Cycling Trip-End Facilities .....	7
2.4	Passenger Drop-Off .....	7
<b>3.0</b>	<b>Scheduled Programs .....</b>	<b>8</b>
3.1	Parking Management .....	8
3.2	Transit Tickets .....	9
3.3	Bike Parking / Valet .....	9
3.4	Chaperone .....	10
3.5	Information .....	10
3.6	Summary .....	10
<b>4.0</b>	<b>Supplementary Programs .....</b>	<b>12</b>
4.1	Employee Transit Passes .....	12
4.2	Guaranteed Ride Home .....	12
4.3	Bike Share .....	12
4.4	Other Programs .....	13
4.5	Summary .....	15
<b>5.0</b>	<b>Summary .....</b>	<b>16</b>
5.1	Recommendations .....	17
<b>Appendix A</b>	<b>Summary of Employee Survey .....</b>	<b>18</b>
<b>Appendix B</b>	<b>Summary of Scheduled Programs .....</b>	<b>19</b>



## 1.0 Introduction

Boulevard Transportation, a division of Watt Consulting Group, was retained by CitySpaces Consulting to conduct a comprehensive transportation review of the Art Gallery of Greater Victoria (AGGV) Renewal Project. The review consists of three studies each under separate cover, as follows:

1. Parking Study;
2. Traffic Impact Assessment; and
3. Transportation Demand Management (TDM) Strategy.

The following is the AGGV TDM Strategy. The purpose of the study is to identify a transportation demand management (TDM) strategy for the Art Gallery to reduce parking demand, mitigate neighbourhood parking challenges, and encourage sustainable travel. TDM is considered for employees, guests, and to address challenges during scheduled programs. The Strategy is intended for the City in reviewing the site TDM provisions and for the Art Gallery to understand how to implement TDM among staff and during scheduled programs.

### 1.1 What is Transportation Demand Management (TDM)?

Transportation demand management (TDM) refers to policies, programs, and services that influence whether, why, when, where, and how people travel<sup>1</sup>. TDM programs typically encourage people to use travel modes other than SOV (single-occupancy vehicle) including walking, cycling, public transit, and carpools.

### 1.2 Travel Options

The Art Gallery is in a central location with strong walking, cycling, and public transit options. See *Map 1*.

#### 1.2.1 Walking

Walking is supported surrounding the site by having good sidewalk coverage on both sides of the majority of roads. The site has a WalkScore of 84 points which suggests all errands can be done on foot. It takes approximately 20 minutes to walk to downtown, 13 minutes to walk to Fernwood and 15 minutes to walk to Fairfield.

<sup>1</sup> Definition based on Transport Canada, TDM for Canadian Communities, March 2011

### 1.2.2 Cycling

There are conventional bike lanes nearby on Fort Street, Yates Street and Johnson Street that provide connectivity between the Art Gallery and Oak Bay, downtown Victoria, and the Saanich Peninsula and Western Communities via the Galloping Goose Regional Trail. Richardson Street is identified as a signed bike route with connectivity within the Fairfield neighborhood and to downtown Victoria. Moss Street is a future bike route.

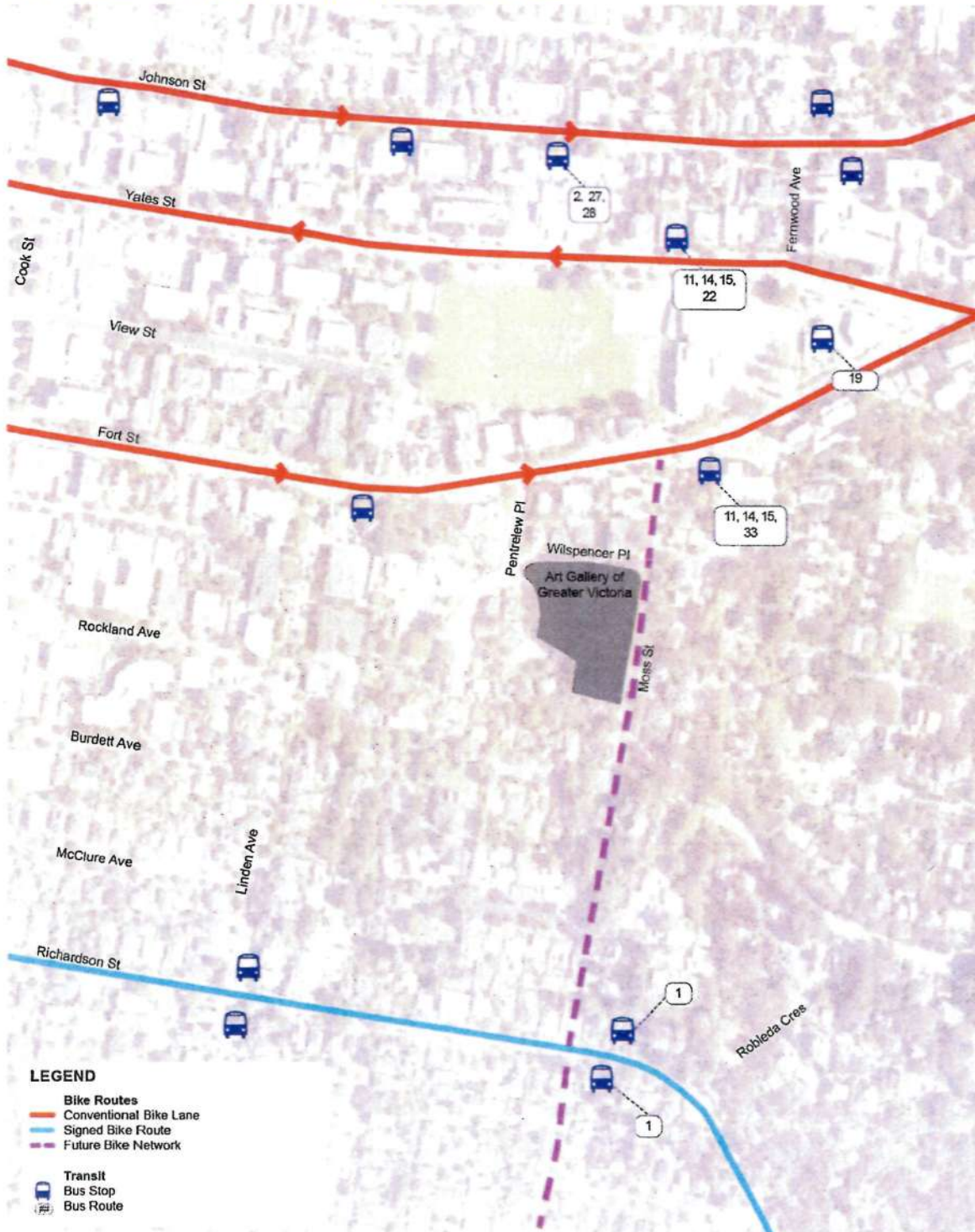
The site currently has one bike rack adjacent the front parking lot. Additional bicycle parking and shower/change facilities are proposed as part of the Renewal (see *Section 2.0*).

### 1.2.3 Public Transit

The following public transit routes service bus stops within a five minute walk (400m) of the Art Gallery site - 2, 11, 14, 15, 27, 28, and 33. These routes provide service to regional destinations such as downtown Victoria, Royal Jubilee Hospital, University of Victoria and provide opportunity to transfer onto other routes serving the rest of the Capital Region. Peak period service frequency is approximately one bus every 5 minutes at the nearby Fort Street bus stop, Yates Street bus stop, and Johnson Street bus stop.



**MAP 1. MAP OF TRANSIT AND CYCLING ROUTES**



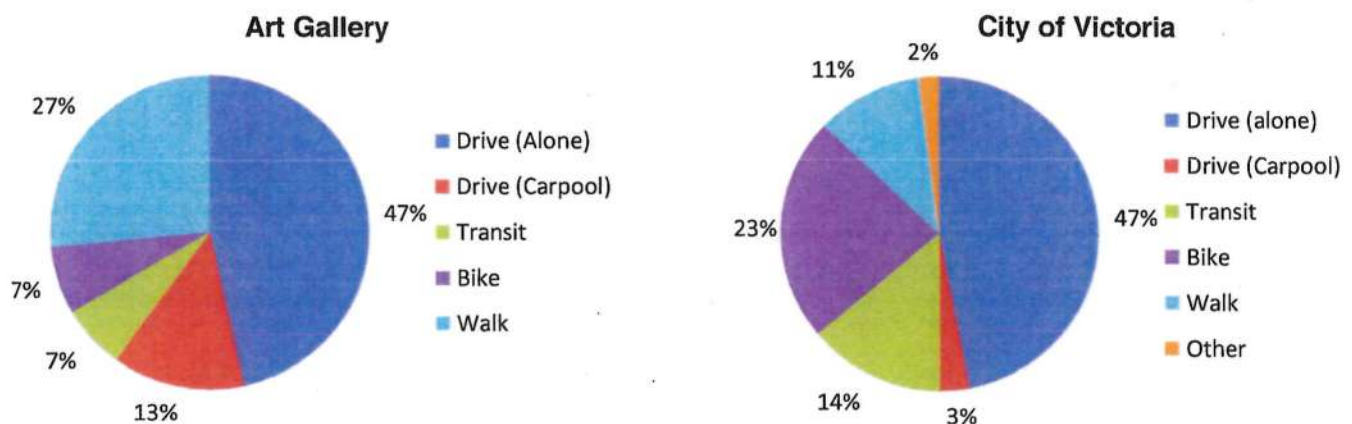


### 1.3 Existing Travel Patterns

A survey of Art Gallery employees was conducted to determine travel habits. A total of 17 surveys were received, representing approximately 80% of all employees, with 21 employees in total. See *Appendix A*.

Employee mode share was determined to be approximately half single-occupant vehicle (SOV), one-quarter walking, 13% carpool, and 7% transit and cycling. The City of Victoria has a similar SOV modeshare and a lower carpool and walking modeshare and higher transit and cycling modeshare. See *Figure 2*. Peak parking demand for employees is 16 vehicles in the winter and 14 vehicles in the summer.

FIGURE 2. ART GALLERY MODESHARE VS CITY OF VICTORIA MODESHARE



Mode share varies by season, with approximately 10% lower driving share and 5% higher rate of walking and cycling shares in summer as compared to the rest of the year.

#### 1.3.1 Impact

TDM programs presented in this report target employees at the Art Gallery. Based on results of the survey there is a total of 16 employees who are targetable to change their travel habits from SOV to alternative modes. Although it is unlikely to alter every employee's habits, a portion of this group could be encouraged to change their habits resulting in lower parking demand at the site. Based on programs provided, 10% of these employees may change their habits, reducing two vehicles from the site. It is not necessary to target those employees who are already using alternative modes.

## 2.0 Permanent TDM Facilities

The Art Gallery Renewal proposal includes permanent TDM facilities indicated on the Landscape Plan and schematic building design – bike racks, long-term bike parking, shower / change facilities, and passenger drop-off area. Each is described in more detail in the following section.

### 2.1 Bike Racks

The City's bicycle parking requirement is one space per 100m<sup>2</sup>, 80% of which is allocated as Class 2 parking (bike racks). The required bike rack provision is 38 Class 2 spaces, which the site plan is meeting.

Bike racks will be provided adjacent the primary building entrance in two locations. The majority will be along the east building face adjacent Moss Street. Additional spaces will be provided adjacent the stairwell at the on-site drop-off area. Both locations are considered appropriate, as they are near key building entrances, under surveillance, and weather protected. The City's *Bicycle Parking Strategy*<sup>2</sup> provides additional guidance on bike rack placement and design.

A temporary expansion of the bike rack supply during scheduled programs for guests is suggested. See *Section 3.3*.

### 2.2 Long-term Bike Parking

The City's bicycle parking requirement is one space per 100m<sup>2</sup>, 20% of which is allocated as Class 1 parking (long-term parking). The required Class 1 bike parking provision is ten spaces.

Results from the employee survey show that seven employees stated that if there was bike lockers, this would encourage them to cycle more; consistent with the City's supply requirement. See *Appendix A* for the survey results. *Section 4.0* outlines supporting TDM programs, including a bike share program for employees. The long-term bike parking should accommodate two additional bike spaces, totalling 12 spaces.

<sup>2</sup> Available at: [www.victoria.ca/assets/Departments/Engineering-Public-Works/Documents/parking-bicycle-strategy.pdf](http://www.victoria.ca/assets/Departments/Engineering-Public-Works/Documents/parking-bicycle-strategy.pdf)



The long-term bike parking will be designed as a bike cage and will be located at the west end of the parking lot. The *City of Victoria Bike Parking Strategy* provides detail on bike parking layout, dimensions, lighting, and security, as follows:

- **Lighting:** Lighting is desirable when located in a public place and used after dark. Lighting should provide a one-foot candle illumination at ground level, protected to decrease the chances of vandalism, and a convex mirror provided to increase sightlines.
- **Security:** Access should be controlled with a locked door or gate, and access granted with a key or access code. Access codes should be regularly changed.
- **Monitoring:** Locate the facility for passive monitoring by employees and guests. Also have building / security staff conduct regular monitoring.
- **Emergency:** Install a "panic button" with a direct line to security in case of emergency.
- **Proximity:** The facility should be located as close as practical to primary staff building entrances and in consideration of shower / change area location(s).
- **Layout:** The facility should be designed with bike parking space dimensions and aisle widths consistent with the *Bicycle Parking Strategy*.

Additionally, a small repair station will be included in the long-term bike parking area that includes a bike stand, basic bike tools, and a bicycle tire pump.



Bike compound  
<https://www.merlin-industrial.co.uk/environment/shelters/857-bike-shelters>



### 2.3 Cycling Trip-End Facilities

Showers, change rooms and lockers are proposed to allow employees that bicycle to the Art Gallery to “freshen up” and store cycling gear. This is not a requirement of the City and something the Art Gallery is providing to facilitate cycling among employees. Installing showers and change rooms were commonly cited in the Art Gallery employee survey as provisions that would encourage them to bicycle more often. See *Appendix A*.

The shower and change facility is proposed in the mansion basement (northwest corner). The facility should be restricted to Art Gallery staff and consist of two shower / change areas (one male, one female). Change areas should include a grooming station with mirror, wash basin, countertop and electrical outlet. The City of Victoria has a clothing locker requirement of one locker per one required bike parking space. However, this would not accommodate non-cyclists including walkers and joggers. Therefore, 14<sup>3</sup> lockers should be provided and may be in a common area. The City's *Bicycle Parking Strategy* should be referenced for further details.

### 2.4 Passenger Drop-Off

A passenger drop-off area is proposed on Moss Street adjacent the site. This will provide an opportunity for passenger drop-off and tour bus drop-off/pick-up without entering the site, as well as enhance drop-off/pick-up during scheduled programs that require vehicles park off-site.

The drop-off area should be 14m in length to accommodate one bus or two vehicles. The space should be demarcated with a white painted curb and the “passenger zone” parking restriction sign indicating three- or five-minute maximum.

<sup>3</sup> This is support by the City of Vancouver requirement of 0.7 lockers per required bike parking space, for each sex

### 3.0 Scheduled Programs

The *Parking Study* determined that parking demand will exceed on-site parking capacity during medium and large scheduled programs, which occur an estimated 27 times per year (23 medium, 4 large)<sup>4</sup>. See *Appendix B*. This suggests there will be increased demand for on-street parking approximately once every two weeks. *Table 1* shows the approximate frequency and parking demand for each sized scheduled program.

**TABLE 1. EXPECTED PARKING DEMAND FOR EACH SIZED-SCHEDULED PROGRAM**

Program Size	Frequency (per year)	Estimated Parking Demand	Assignment	
			On-Site	Off-Site
<b>Small</b> (estimated 50 people)	163	21 vehicles	17 vehicles	0 vehicles
<b>Medium</b> (estimated 125 people)	23	51 vehicles	28 vehicles	23 vehicles
<b>Large</b> (estimated 300 people)	4	122 vehicles	28 vehicles	94 vehicles

A TDM strategy has been developed to specifically address the increase in parking demand associated with scheduled programs, in coordination with the parking management strategies identified in the *Parking Study*. Consideration is given to approaches implemented during medium and large scheduled programs.

#### 3.1 Parking Management

A parking management strategy will be implemented during scheduled programs, identified in the *Parking Study*, as follows:

- Off-site parking. Off-site parking lots will be obtained to provide additional parking spaces for guests and employees.
- Open secondary on-site parking area. The secondary parking lot should be opened when parking demand is expected to exceed occupancy of the lot.
- Require staff to park off-site. Staff should be directed to park off-site, either on off-site lots (if available) or on-street that is not directly adjacent the site.

<sup>4</sup> Based on 2014 AGGV event calendar, available at: <http://aggv.ca/calendar>



- Carpool parking. Two parking spaces will be reserved as carpool parking on the Art Gallery lot by signage. They will be available to all after one hour of the program commencing.
- Signage. Signage will be posted in front of the Art Gallery directing people on where available parking is.

Table 2 provides a summary of when each parking management option should be implemented.

**TABLE 2. SUMMARY OF SCHEDULED PROGRAM PARKING MANAGEMENT**

	Open 2nd Parking Area	Staff Park Off-Site	Carpool Parking	Signage	Off-Site Parking
<b>Small Program</b> (50 people)	✓				
<b>Medium Program</b> (125 people)	✓	✓	✓		
<b>Large Program</b> (300 people)	✓	✓	✓	✓	✓

### 3.2 Transit Tickets

A one-way transit ticket could be included in the price of the scheduled program ticket. This is especially important at programs which serve alcohol to ensure guests get home safely. The Art Gallery could purchase 40 ticket books; each ticket book includes 10 tickets at the price of \$22.50 a book. No additional discount would be available. The total price would be \$900 for 400 one-way tickets. There are no refunds on tickets which are unused, however, these tickets have no restrictions and can be used at any time during BC Transit's operating hours.

### 3.3 Bike Parking / Valet

Increased bike parking can be provided during scheduled programs, if demand necessitates it. On large scheduled programs, which can attract up to 400 people, bicycle parking demand will exceed the day-to-day supply, if 10% of people bike to the Art Gallery (40 bike parking spaces). Additional bike parking should be placed surrounding the existing parking. To allow cyclists to be at ease more in terms of the level of security, an attendant can be placed at the bike parking to monitor bicycles.

A bike valet program may also be available which would be located surrounding the existing short-term bicycle parking. Cyclists will check their bikes with an attendant and receive a ticket to retrieve their bike, similar to a coat check. The valet will be attended throughout the evening to decrease chances of theft.



### 3.4 Chaperone

Personnel will be hired to chaperone people to and from bus stops and available off-street parking lots. These chaperones will only be hired for scheduled programs which occur in the evening to allow attendees to be at ease when walking in the dark. Two chaperones should be available for the extent of the program.

### 3.5 Information

When guests purchase a ticket to a scheduled program (whether in-person or online) information regarding transportation options can be provided. This will allow guests to plan their travel to and from the Art Gallery before the program begins. Information may include:

- If there are any off-site lots that are available during the scheduled program. Information should include the address of the lot, directions, capacity and the times when parking is available.
- Stating whether or not there will be chaperones available to walk and direct people to off-site parking lots and bus stops.
- Transit information should be available including location of the closest bus stops and the routes which serve these bus stops. The information package should also include whether or not there is a transit ticket included in the price of the scheduled program ticket.
- Cycling information should be provided including a map of cycle routes in the area. Information regarding bike parking should also be provided including if there is additional parking than day-to-day or if there is a bike valet service.
- Phone numbers for the various taxi companies in Victoria should be provided including Victoria Taxi, Bluebird Cab and Yellow Cab.

### 3.6 Summary

Scheduled programs occur frequently at the Art Gallery and can attract a range of people. TDM strategies are provided in order to alleviate stresses on parking and traffic in the area. Based on the frequency of scheduled programs all TDM initiatives will need to be implemented approximately four times throughout the year for large sized scheduled programs and fewer programs will be necessary 23 times throughout the year for medium sized scheduled programs. See *Table 3*.

TABLE 3. SUMMARY OF TDM DURING SCHEDULED PROGRAMS

	Parking Management					Others			
	Off-Site Parking	Open 2nd Parking Area	Staff Park Off-Site	Carpool Parking	Signage	Transit Tickets	Bike Parking /Valet	Chaperone	Information
<b>Small Program</b> (50 people)		✓							
<b>Medium Program</b> (125 people)		✓	✓	✓					✓
<b>Large Program</b> (300 people)	✓	✓	✓	✓	✓	✓	✓	✓	✓

## 4.0 Supplementary Programs

The following TDM measures have been identified for the Art Gallery's consideration. They are intended to supplement the recommended TDM facilities (*Section 2.0*) and strategies for scheduled programs (*Section 3.0*), providing further opportunity to reduce single-occupant vehicle trips and reduce day-to-day parking demand by enhancing non-vehicular travel options for Art Gallery employee commuting.

### 4.1 Employee Transit Passes

The Art Gallery may consider providing transit passes to employees through the Employee Pro-Pass program at BC Transit. The program requires at least 10 employees to participate. Passes are given to the employer at a discount of \$73 per month, per pass. The Art Gallery may choose to subsidize the passes or not. *Table 4* shows a breakdown of cost for the Art Gallery if 15 people participate at two different amounts of subsidies.

TABLE 4. SUMMARY OF EMPLOYEE TRANSIT PASS PROGRAM COSTS

	1 month	6 months	1 Year
100% Subsidy	\$1,095	\$6,570	\$13,140
50% Subsidy <sup>5</sup>	\$547.50	\$3,285	\$6,570

### 4.2 Guaranteed Ride Home

A guaranteed ride home is a program for employees who use alternative modes such as walking, cycling or transit and need to get to a destination quickly due to an emergency. The Art Gallery will coordinate with Bluebird Taxi to obtain taxi vouchers for each employee to the amount of \$50 per year. With 21 employees<sup>6</sup> this will equal \$1,050. A charge account will be created, which employees can use when necessary. If employees do not use their annual GRH vouchers, the Art Gallery will not be charged for unused vouchers.

### 4.3 Bike Share

An employee bikeshare program can be implemented which provides bikes for employees during working hours to use for meetings within a reasonable proximity to the site. The program

<sup>5</sup> Employee pays \$36.50, employer pays \$36.50

<sup>6</sup> Based on conversations with Art Gallery staff



can be managed by having a "sign-out" sheet where employees indicate when they would like to use a bicycle. The Art Gallery should purchase two mountain bikes; one for women and one for men. The bikes will be stored in the bike cage. The cost of this will be approximately \$1,000 (\$500 x 2).

#### 4.4 Other Programs

Programs listed below are additional programs that the Art Gallery may choose to implement to further reduce parking demand and encourage alternative modes.

##### 4.4.1 Electric Vehicle Charging Station

An electric vehicle charging station may be reserved in the primary parking lot closest to the building entrance. As electric vehicles are becoming more prominent it is important to provide this service to encourage the use of sustainable modes. A disadvantage to providing this is that it takes away a parking space for other vehicles.

Management of this space can be done by the buildings/grounds/security manager who will be actively monitoring the parking lot on a daily basis. If the parking lot is approaching full occupancy, and this space is empty it can be changed to a regular parking space to decrease the amount of overspill onto on-street parking. This can be done by putting a temporary sign over the "EV Charging Station" sign which says temporary regular parking.

##### 4.4.2 Carpool Program

A carpool program may be implemented to encourage carpooling and reduce employee parking demand. There are two options to facilitate carpools, as follows:

- External: Encourage employees to sign up for Jack Bell RideShare, which is a free ridesharing website that matches commuters with similar origin and destinations.
- Internal: Post a sign-up sheet in the employee room that includes employee origin and approximate travel time, providing the opportunity to match compatible trips/employees.

##### 4.4.3 Alternative Scheduling

Employees may be given the option to participate in alternative work schedules including compressed work week, and staggered shifts (flexible start time). This will make employees arrival and departure times from the site staggered reducing vehicle and parking demand at one time.

*Compressed Work Week.* Employees work fewer but longer days, such as four 10-hour days each week, or 9-hour days with one day off every two weeks. This program will be available first come first serve in terms of the day the employee has off, as only one employee should have a flex day at one time.

*Staggered Shifts (Flexible Start Time).* This reduces the number of employees arriving and leaving a worksite at one time. For example, some shifts may be 8:00am to 4:30 pm, 8:30am to 5:00 pm and 9:00am to 5:30 pm. Shifts at the Art Gallery are dependent on Art Gallery opening hours, however, shifts can be staggered based on opening hours.

#### 4.4.4 Information

Information regarding cycling, walking, transit and carpooling in the region can be available including maps and safety tips. This information will be provided in a pamphlet to each employee and guest to the site.

#### 4.4.5 Transportation Allowance

A financial payment (to be determined, based on budget) will be provided to employees on a monthly basis. Employees can use this money to pay for parking or for another travel mode (transit pass, cycling equipment). A disadvantage to this program is that since employees would have to pay for parking on-site, this may encourage spillover into adjacent streets and those employees would essentially be "pocketing" their allowance.

#### 4.4.6 Events

Events can be transportation focused, or may be integrated into an existing event may occur at the Art Gallery throughout the year. These may include:

- Commuter Bike Workshop. A commuter bike workshop could be held once a year in the summer after Art Gallery open hours for employees. The course will teach attendees about cycling routes in the area, safety, proper clothing and equipment and learn about the different types of bicycles and how to choose one to meet ones needs. The workshop could be hosted by Bike Sense BC or CAN-BIKE, and will cost between \$250-\$350 for the workshop to occur at the Art Gallery. Employees may also be supported in participating in regional workshops.
- Event Days. Event days can be held throughout the year which can target employees and guests of the Art Gallery. The events will encourage use of alternative travel modes and provide information to those who are considering alternative modes. See *Table 5*.



TABLE 5. SUMMARY OF EVENT DAYS

Employees	Guests
<p><i>Bike to Work Week.</i> Is a province wide event typically on the last week in May.</p> <p><i>Commuter Challenge.</i> Typically occurs in conjunction with bike to work week or a week before/after. It encourages employees to use all alternative modes including walking, biking, transit and carpooling.</p> <p><i>Car Free Day.</i> A car free day can be held at the Art Gallery when the parking lot will be closed to vehicles and may even have special events and local vendors to encourage alternative modes.</p>	<p><i>Walking School Buses.</i> This can occur regularly when school groups visit the Art Gallery. If they are located within a reasonable distance to the Art Gallery they can walk together instead of a school bus. Examples of schools which could take part in this program include Central Middle School, Victoria High School, Sir James Douglas Elementary, and Margaret Jenkins Elementary.</p>

- *Challenges.* A punch card can be distributed to each employee and every day they use an alternative mode they will get a stamp. After ten stamps they will be given a prize such as a card to a nearby coffee shop.

#### 4.5 Summary

Those TDM programs provided above are supplementary programs that the Art Gallery may implement to further encourage alternative modes and create incentives for those modes and disincentives to driving. Although these programs are not a requirement, they are just another way to decrease vehicle demand at the site. *Table 6* provides a summary of these programs including the target, estimated cost and estimated impact in terms of reducing parking and vehicle demand at the site.

TABLE 6. SUMMARY OF SUPPLEMENTARY TDM PROGRAMS

	Target	Cost	Estimated Impact
Transit Passes	Employees	\$\$\$	Large
Guaranteed Ride Home	Employees	\$\$	Medium
Bike Share	Employees	\$\$	Medium
Electric Vehicle Charging Station	Employees, Guests	\$\$	Small
Carpool Program	Employees	\$	Medium
Alternative Scheduling	Employees	\$	Medium
Information	Employees, Guests	\$	Small
Transportation Allowance	Employees	\$\$\$	Large
Commuter Bike Workshop	Employees, Guests	\$	Medium
Event Days	Employees, Guests	\$\$	Medium
Challenges	Employees	\$	Medium



## 5.0 Summary

As part of the Art Gallery of Greater Victoria Renewal Project, transportation demand management programs have been provided to reduce vehicle demand during a typical day and during scheduled programs, for employees and guests. These programs are expected to have the most significant impact on employees, particularly targeting those who are currently driving to and from work.

Additional TDM programs are provided to be implemented during scheduled programs in order to reduce vehicle demand, accommodate alternative modes, and decrease stresses on on-street parking. They include obtaining access to off-street parking lots, opening the secondary parking lot, directing staff to park off-site, providing carpool parking spaces, providing signage, including transit tickets in the scheduled program ticket, providing additional bike parking / valet, hiring a chaperone, and providing alternative mode information. Scheduled programs range in size in terms of amount of people they attract. All TDM programs will need to be implemented four times throughout the year for large scheduled programs, and four programs (open the secondary parking lot, direct staff to park off-site, provide carpool parking spaces and provide information) will need to be implemented during medium scheduled programs.

Supplementary TDM programs are recommended to further decrease parking, which are targeted towards employees and guests. Programs include providing employee transit passes, implementing a guaranteed ride home program, implementing a bike share program, installing an electric vehicle charging station, implementing a carpool program, providing the option for alternative scheduling, providing information and implementing events. Implementation of these supplementary programs will be at the discretion of the Art Gallery.

## 5.1 Recommendations

The following are recommendations in which the Art Gallery should pursue:

- Provide 38 Class 2 bike parking spaces;
- Provide 12 Class 1 bike parking spaces in a bike cage;
- Provide cycling trip-end facilities including two shower/change areas and 14 lockers;
- Install a passenger drop-off on Moss Street;
- Implement the following Parking Management/TDM programs during scheduled programs:
  - Small Scheduled Programs. Open secondary parking lot
  - Medium Scheduled Programs. Open secondary parking lot, direct staff to park off-site, provide carpool parking spaces, provide information
  - Large Scheduled Programs. Obtain off-site parking lots, open secondary parking lot, direct staff to park off-site, provide carpool parking spaces, install signage, provide a one-way transit ticket, install additional bike parking or a bike valet, hire a chaperone and provide information
- Consider implementing the following: provide employee transit passes, implement a guaranteed ride home program, implement a bike share program, provide electric vehicle charging stations, implement a carpool program, provide the option for alternative scheduling, provide information, provide a transportation allowance and implement events.

## Appendix A SUMMARY OF EMPLOYEE SURVEY



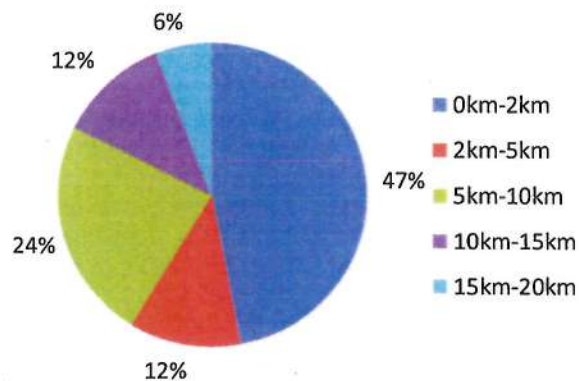
## Summary of Employee Survey

## Transportation Demand Management (TDM) Study I Transportation Review

## Art Gallery of Greater Victoria Renewal Project

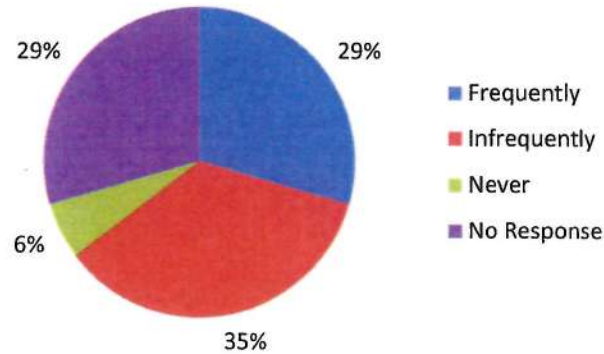
## Q.1. How far do you live from the Art Gallery?

	Count	Percentage
0km-2km	8	47%
2km-5km	2	12%
5km-10km	4	24%
10km-15km	2	12%
15km-20km	1	6%
<b>Total</b>	<b>17</b>	<b>100%</b>



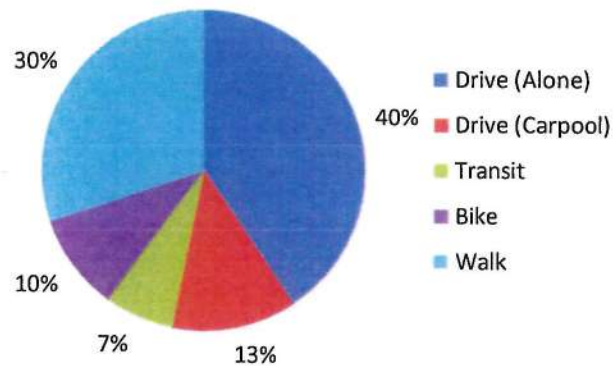
## Q.2. How often do you need access to a vehicle to perform your job?

	Count	Percentage
Frequently	5	29%
Infrequently	6	35%
Never	1	6%
No response	5	29%
<b>Total</b>	<b>17</b>	<b>100%</b>



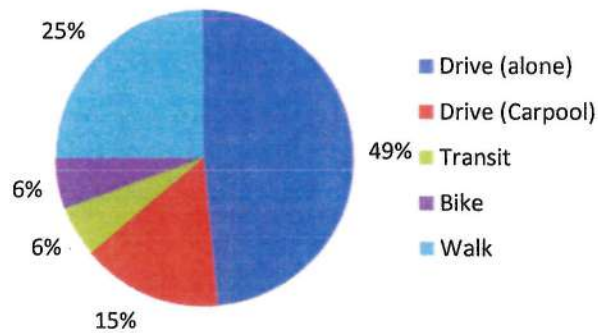
Q.3. Approximately how many days per week do you travel to the Art Gallery using each travel mode  
Summer

	0 days	1 day	2 days	3 days	4 days	5 days
Drive (Alone)	6 people	4 people	3 people	0 people	1 people	3 people
Drive (Carpool)	14 people	1 people	0 people	1 people	0 people	1 people
Transit	14 people	2 people	0 people	1 people	0 people	0 people
Bike	14 people	1 people	0 people	1 people	0 people	0 people
Walk	10 people	0 people	4 people	0 people	1 people	2 people
Other	0 people	0 people	0 people	0 people	0 people	0 people



Spring/Fall

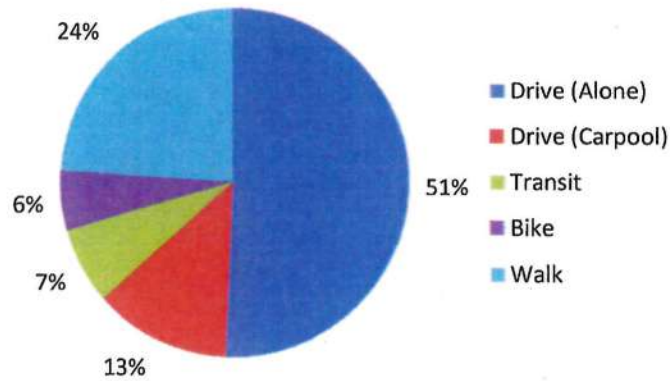
	0 days	1 day	2 days	3 days	4 days	5 days
Drive (Alone)	4 people	3 people	4 people	0 people	1 people	4 people
Drive (Carpool)	13 people	2 people	0 people	0 people	1 people	1 people
Transit	14 people	2 people	1 people	0 people	0 people	0 people
Bike	15 people	1 people	0 people	1 people	0 people	0 people
Walk	11 people	1 people	2 people	1 people	0 people	2 people
Other	0 people	0 people	0 people	0 people	0 people	0 people



Winter

	0 days	1 day	2 days	3 days	4 days	5 days
Drive (Alone)	4 people	5 people	2 people	1 people	1 people	4 people
Drive (Carpool)	15 people	0 people	0 people	0 people	1 people	1 people
Transit	14 people	1 people	2 people	0 people	0 people	0 people
Bike	15 people	1 people	0 people	1 people	0 people	0 people
Walk	12 people	0 people	2 people	1 people	0 people	2 people
Other	0 people	0 people	0 people	0 people	0 people	0 people





Q.4. What is preventing you from walking, cycling, using transit or carpooling more often?

	Count	Percentage
Lack of shower facilities	4	15%
Distance	4	15%
Taking kids to school	4	15%
Lack of change room facilities	2	8%
Lack of personal/bike lockers	2	8%
Time	2	8%
Require a vehicle at work	2	8%
Unorganized	2	8%
Weather	2	8%
Transit is unreliable	2	8%

Q.5. What could the Art Gallery do to encourage you to walk, bike, use transit or carpool more often?

	Count	Percentage
Install personal / bike lockers	6	30%
Provide discounted transit passes	5	25%
Install showers	4	20%
Install change rooms	3	15%
Arrange for carpools	1	5%
Coordinate with BC Transit to alter routes	1	5%

## Appendix B SUMMARY OF SCHEDULED PROGRAMS



Summary of Scheduled Programs from January-December 2014  
Transportation Demand Management (TDM) Study I Transportation Review  
Art Gallery of Greater Victoria Renewal Project

	January	February	March	April	May	June	July	August	September	October	November	December
Month			Urbanite			Urbanite					Urbanite	
Programs/Events	Opening Reception			Fairfield Gonzales Gala Opening Reception Exhibit Opening	Children's Exhibit Opening Summer Season Opening				Exhibit Opening Fall Season Opening			
Meetings		Gallery Associates Meeting	Gallery Associates Meeting	Associates General Meeting	Associates General Meeting	Associates Annual General Meeting Annual General Meeting						
Public Programs	Concert Lecture x2	Concert x2 Lecture Family Sunday	Concert Lecture Family Sunday	Concert Lecture Family Sunday	Lecture x2		Screening Lecture		Screening x3 Lecture x2	Lecture Family Sunday	Family Sunday	Family Sunday
Tours	Drop-in Tour	Drop-in Tour x9 Curators Tour Art Interest Tour x4	Drop-in Tour x12 Curators Tour Art Interest Tour x4	Drop-in Tour x8 Art Interest Tour x4	Drop-in Tour x12 Curators Tour Art Interest Tour x2	Drop-in Tour x11 Art Interest Tour x2	Drop-in Tour x9 Curators Tour x2	Drop-in Tour x13	Drop-in Tour x8 Art Interest Tour x2	Drop-in Tour x10 Curators Tour x2 Art Interest Tour x2	Drop-in Tour x12	Drop-in Tour x5 Curators Tour
Other Events			Art Show Reception x2			Book launch		Slow Fashion Week x3			Animation Workshops x2	Print making Workshop

Scheduled Program Size		Scheduled Program Frequency	
		Per month (Average)	Per year (Total)
Small Scheduled Programs	0-50 people	14	163
Medium Scheduled Programs	50-200 people	2	23
Large Scheduled Programs	201 or more people		4

Scheduled Programs occur approximately 190 times throughout the year

## Description of Scheduled Programs from January-December 2014

## Transportation Demand Management (TDM) Study | Transportation Review

## Art Gallery of Greater Victoria Renewal Project

Event Name	Size	Event Frequency (per year)	During/After Opening Hours	Description
Drop-in Tour	Small	110	During	Offer visitors a chance to learn more about current exhibits; included in the price of admissions. These happen several times a week
Curators Tour	Small	8	During	Professional curator guides the tour, included in admission
Art Interest Tour	Small	20	During	This is a discussion based tour and included in the price of admission
Concert	Small	5	During	A group of musicians come to the Art Gallery and perform music. Tickets can be up to \$35
Screening	Small	4	During	When the Art Gallery showcases a film
Lecture	Small	11	During	A special guest comes and provides a lecture about the arts
Family Sunday	Medium	6	During	Children and guardians are welcome to the gallery for arts and crafts and film screenings. This is included in the price of admission
Urbanite	Large	3	After	Is an adult event with liquor, exhibition tours, local music and hands on activities. This event occurs three times over the year
Fairfield Gonzales Gala	Large	1	After	A gala which includes music, wine tasting, food and an auction.
Opening Reception	Medium	2	During/After	Members have the opportunity to speak with the curator and then it is open to the public.
Exhibit Opening	Medium	2	During	New exhibit is showcased and open to the members and public for a designated amount of time
Children's Exhibit Opening	Medium	1	During	New children's exhibit is showcased and open to the members and public for a designated amount of time
Summer/Fall Season Opening	Medium	2	After	Typically occurs coinciding with an exhibit opening. There is a private members preview before it is open to the public
Gallery Associates Meeting	Small	2	During	A meeting which is open to anyone who is interested in joining the association
Associates General Meeting	Small	2	During	A meeting which is open to anyone who is interested in joining the association
Associates Annual General Meeting	Small	1	During	A meeting for members of the association to discuss the past years activities, reports
Annual General Meeting	Medium	1	After	A meeting for everyone to present the years previous activities, fiscal reports and election of members for the board of directors for the next year.
Art Show Reception	Medium	2	During	Art is showcased and for sale for a specific artist.
Book Launch	Medium	1	During	The launch of a new book by an author. Refreshments are provided
Slow Fashion Week	Medium	3	During	Various artists present their work at multiple venues. This is included in the price of admission
Animation Workshops	Medium	2	During	Free with admission, guests will participate in creating a series of animated abstract films. Space is limited
Print Making Workshops	Medium	1	During	An introduction course to printmaking processes. Included in the price of admission

Scheduled Program Size		Scheduled Program Frequency (per year)
Small Scheduled Programs	0-50 people	163
Medium Scheduled Programs	50-200 people	23
Large Scheduled Programs	201 or more people	4

Scheduled Programs occur approximately 190 times throughout the year



**ART GALLERY OF GREATER VICTORIA  
RENEWAL PROJECT**

**Transportation Review  
TRAFFIC IMPACT ASSESSMENT**

Prepared for: **Art Gallery of Greater Victoria**

Prepared by: **Boulevard Transportation, a division of Watt Consulting Group**

Our File: **1767**

Date: **January 29 2015**

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## CONTENTS

<b>1.0</b>	<b>Introduction .....</b>	<b>1</b>
1.1	Proposed Development .....	1
<b>2.0</b>	<b>Existing Conditions .....</b>	<b>2</b>
2.1	Transportation Network .....	2
2.2	Traffic Volumes .....	2
2.3	Traffic Operations .....	3
2.3.1	Traffic Modelling – Background Information .....	3
2.3.2	Traffic Analysis Results .....	4
<b>3.0</b>	<b>Post Renewal .....</b>	<b>4</b>
3.1	Trip Generation .....	4
3.2	Trip Assignment .....	5
3.3	Traffic Analysis .....	5
3.4	Sensitivity Analysis .....	6
3.5	Off-Site Improvements .....	6
3.5.1	Driveway Access .....	6
3.5.2	Curb Extensions .....	6
3.5.3	On-Street Parking .....	7
3.5.4	Sidewalk/Boulevards .....	7
<b>4.0</b>	<b>SCHEDULED PROGRAMS .....</b>	<b>7</b>
<b>5.0</b>	<b>Conclusions.....</b>	<b>8</b>
<b>Appendix A</b>	<b>Synchro Background and Reports.....</b>	<b>9</b>
<b>Appendix B</b>	<b>Summary of Scheduled Programs.....</b>	<b>10</b>

## 1.0 INTRODUCTION

Boulevard Transportation, a division of Watt Consulting Group, was retained by CitySpaces Consulting Ltd. to review the traffic impacts of the Art Gallery of Greater Victoria (AGGV) Renewal Project. The review consists of three studies each under separate cover, as follows:

1. Parking Study;
2. Traffic Impact Assessment; and
3. Transportation Demand Management (TDM) Strategy.

The following is the AGGV Traffic Impact Assessment. The purpose of this study is to review the existing and future driveway conditions, traffic conditions along the site frontages, and at the Fort Street/Moss Street intersection.

### 1.1 Proposed Development

The Art Gallery Renewal Project is a proposal for an approximately 30% increase in gross floor area from the existing 39,331 sq. ft. to 51,375 sq. ft.<sup>1</sup>. See *Table 1* for details on the breakdown of the existing and proposed land use on site. The proposal also includes a rezoning to a site-specific zone that allows up to 55,240 sq. ft. of floor area, which represents a 7.5% increase from the proposed building expansion. The focus of this study is on the building expansion and not the rezoning.

**TABLE 1. SUMMARY OF PROPOSED EXPANSION FLOOR AREA (SQ.FT.)**

	Existing	Proposed	Change
Administration	8,380	8,741	+ 361
Collections	10,218	12,313	+ 2,095
Galleries	13,143	18,260	+ 5,117
Public	5,426	9,640	+ 4,214
Services	2,164	2,421	+ 257
<b>Total</b>	<b>39,331</b>	<b>51,375</b>	<b>+ 12,044</b>

<sup>1</sup> Proposed floor area includes 1,702 sq. ft. identified as "future additions" on building plans

## 2.0 EXISTING CONDITIONS

### 2.1 Transportation Network

The AGGV is located on Moss Street in the City of Victoria, but also has frontages on Wils Spencer Place and Pentrelew Place. There is no vehicle or pedestrian access between the AGGV and Pentrelew Place (grade separation and fencing). The entry driveway to the AGGV is located on Moss Street approximately 25m from Wils Spencer Place. The exit driveway for the AGGV is located on Wils Spencer Place approximately 30m from Moss Street.

Moss Street is classified as a secondary collector road and Wils Spencer Place is classified as a local road. Moss Street has parking on the west side (adjacent to the AGGV) and sidewalks on both sides of the roadway. Wils Spencer Place has on-street parking and sidewalks on both sides of the road. Moss Street is also a proposed future bicycle network route (to be completed) and a People Priority Greenway. The nearest bus routes are located on Fort Street (within 400m).

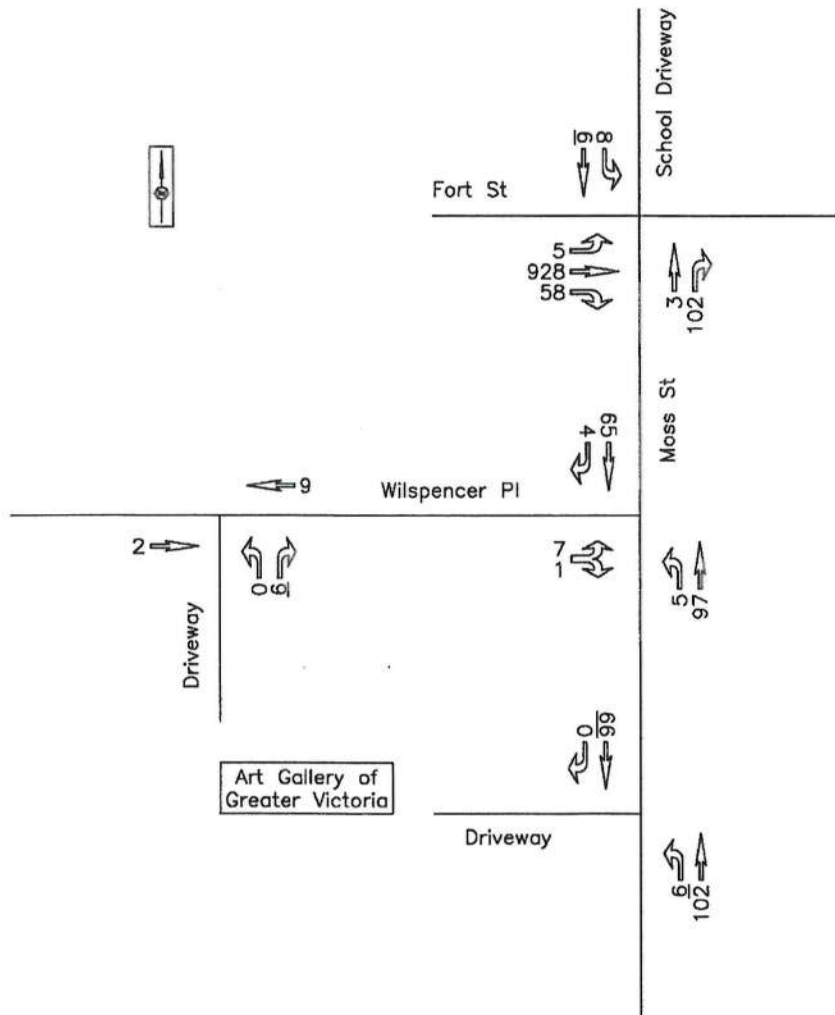
Wils Spencer Place has an asphalt width of approximately 8.3m and a road right-of-way of approximately 11m. Moss Street has an asphalt width of approximately 9.75m and a right-of-way width of approximately 18.30m.

### 2.2 Traffic Volumes

Manual intersection counts were undertaken from 4:30pm to 5:30pm on Tuesday December 9, 2014 by Boulevard Transportation staff at the intersections of Fort Street/Moss Street, Wils Spencer Place/Moss Street, Wils Spencer Place/AGGV Exit, and Moss Street/AGGV Entry. See *Figure 1*.



FIGURE 1. EXISTING PM PEAK HOUR TRAFFIC VOLUMES



## 2.3 Traffic Operations

### 2.3.1 Traffic Modelling – Background Information

Analysis of the traffic conditions at the intersections within the study area were undertaken using Synchro software. The Synchro results were also reviewed using the microsimulation portion of the software (SimTraffic).

Synchro / SimTraffic is a two-part traffic modelling software that provides analysis of traffic conditions based on traffic control, geometry, volumes and traffic operations. Synchro software

(Synchro 8) is used because of its ability to provide analysis using the Highway Capacity Manual (2010) methodology, while SimTraffic integrates established driver behaviours and characteristics to simulate actual conditions by randomly “seeding” or positioning vehicles travelling throughout the network. Synchro uses measures of effectiveness to return the results of the analysis. These measures of effectiveness include level of service (LOS), delay and 95<sup>th</sup> percentile queue length. The delays and type of traffic control are used to determine the level of service. The level of services are broken down into six letter grades with LOS A being excellent operations and LOS F being unstable/failure operations. Level of service C is generally considered to be an acceptable LOS by most municipalities. Level of service D is generally considered to be on the threshold between acceptable and unacceptable operations.

### 2.3.2 Traffic Analysis Results

The existing traffic volumes and lane geometrics were entered into Synchro to determine the existing traffic conditions during the PM peak hour. The AGGV driveway and the intersection of Wils Spencer Place/Moss Street are operating at a LOS A. At the intersection of Moss Street/Fort Street the eastbound movement on Fort Street is operating at a LOS A, while the northbound movements from Moss Street are operating at a LOS C and the southbound movements (school driveway) are at LOS D (based on HCM 2000).

## 3.0 POST RENEWAL

### 3.1 Trip Generation

The existing AGGV is generating traffic at a rate of 0.31 trips per 1,000 sq. ft., which is higher than ITE’s museum trip generation rate (closest similar land use type) of 0.18 trips per 1,000 sq. ft. Therefore the site specific trip generation rate will be used as a worst case scenario to project the future trips for the site rather than using the ITE rates. See *Table 2*.

**TABLE 2. PM PEAK HOUR TRIP GENERATION FOR PROPOSED AGGV**

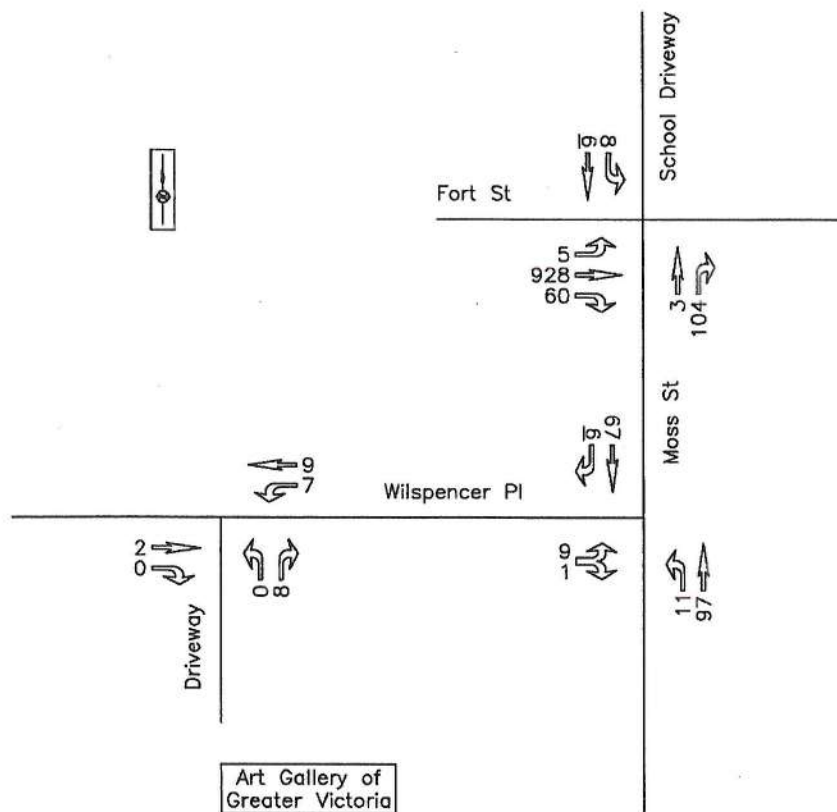
Land Use	Sq. Ft.	Trip Rate	Total Trips	Trips IN	Trips OUT
Art Gallery	51,375	0.31 trips/1000 sq. ft.	16 trips	8 trips	8 trips

The added square footage to the AGGV increases the number of trips to/from the site by four per hour in the PM peak hour.

### 3.2 Trip Assignment

Trips were assigned to the network based on all new trips entering/exiting to/from Fort Street. Figure 2 shows the post renewal traffic volumes.

FIGURE 2. POST RENEWAL PM PEAK HOUR TRAFFIC VOLUMES



### 3.3 Traffic Analysis

The proposed traffic volumes and lane geometrics were entered into Synchro to determine the proposed traffic conditions during the PM peak hour. The AGGV driveway and the intersection of Wilspercer Place/Moss Street were found to operate at a LOS A. At the intersection of Moss Street/Fort Street the eastbound movement on Fort Street will operate at a LOS A, while the northbound movements from Moss Street will operate at a LOS C and the southbound movements (school driveway) will operate at LOS D (based on HCM 2000).



### 3.4 Sensitivity Analysis

The AGGV driveway on Wils Spencer Place was further analyzed to determine the functionality during extreme circumstances. The current proposed number of vehicles entering and leaving the site during the PM peak hour was multiplied by three, which represents the parking lot capacity entering and exiting the site within a one hour period. At a 300% increase in traffic volumes at the AGGV driveway there is no change in LOS. The AGGV driveway traffic could increase by 1000% and continue to operate at acceptable conditions; however, this is an unlikely condition due to the size of the parking lot.

### 3.5 Off-Site Improvements

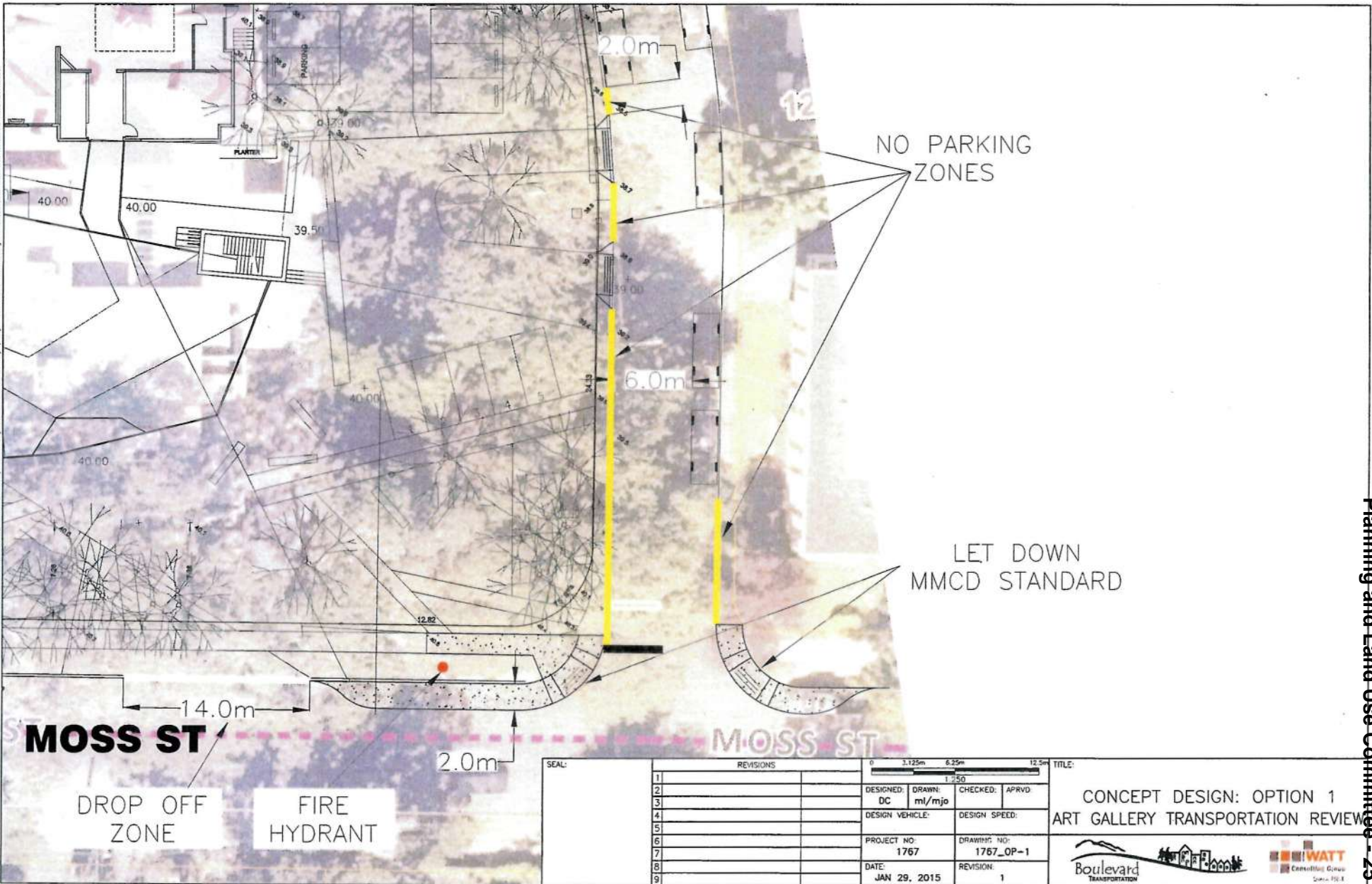
#### 3.5.1 Driveway Access

The AGGV is proposing to utilize the Wils Spencer driveway as the sole access to the site. The access will consist of an entry driveway and a separate exit driveway (loop driveway). This consolidates the AGGV driveways onto Wils Spencer Place and onto the local road as per the City of Victoria's "Highway Access Bylaw."

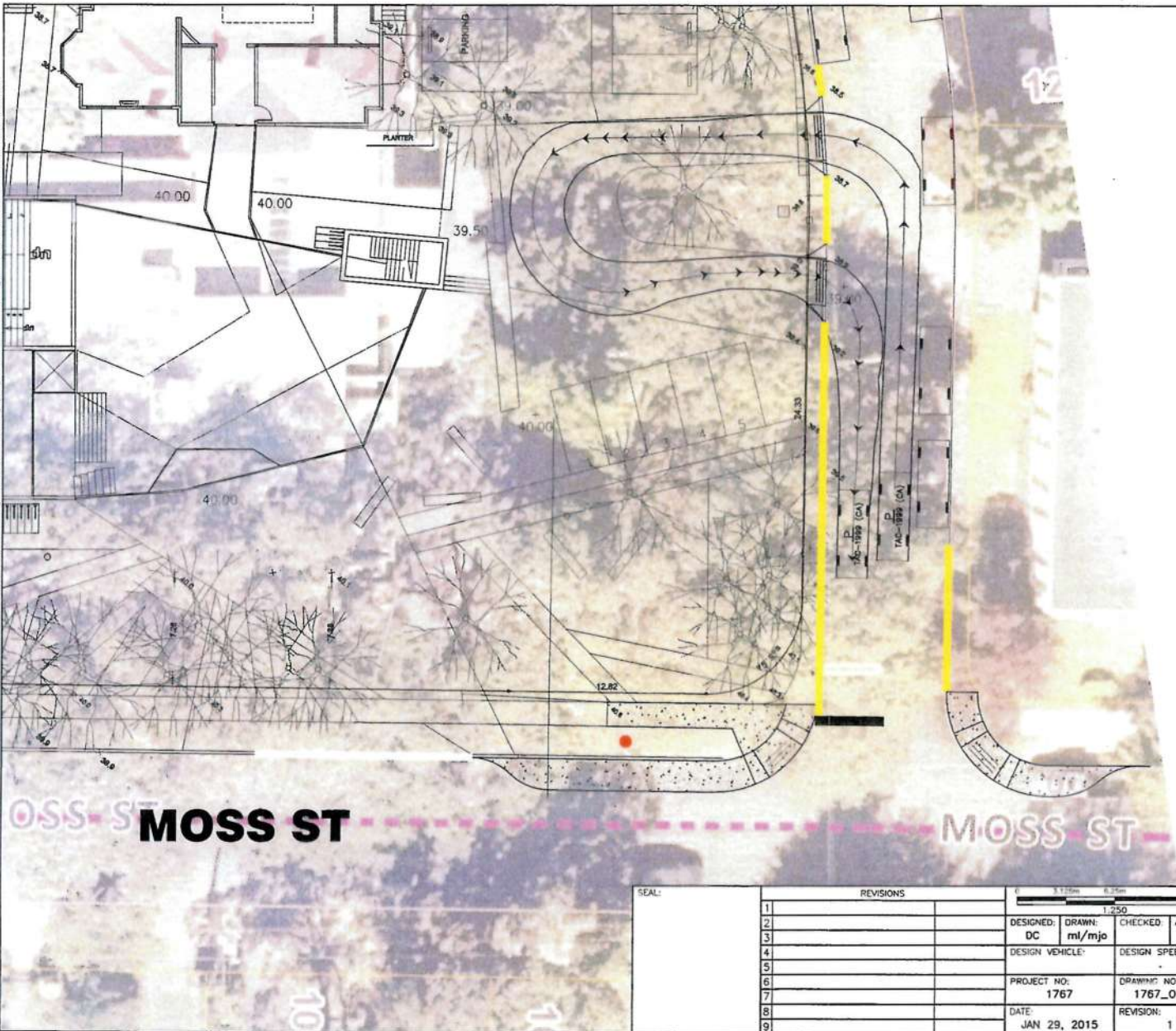
Fire truck access will be via the exit driveway. Fire trucks will reverse out of the site. During detail design the driveway design will need to ensure that the fire truck can be accommodated without impacting trees, landscaping or any art installations. See attached figure for the proposed off-site improvements.

#### 3.5.2 Curb Extensions

Curb extensions are proposed at the Moss Street / Wils Spencer Place intersection to improve visibility and move the stop bar further towards Moss Street. The relocation of the stop line improves the sight distance for vehicles exiting Wils Spencer Place. The curb extensions will encourage parking and pick-up/drop-off activities on Moss Street at appropriate distances from the intersection, which further improves sight distance for exiting vehicles at Wils Spencer Place. The proposed improvements will result in the loss of three on-street parking stalls on Moss Street, but will improve the overall safety of the intersection. The curb extensions are designed to extend two metres from the existing curb on Moss Street. The two metre curb extension is consistent with the width of the parking and maintains the existing road width. If at a future time Moss Street is upgraded to a bikeway the curb extension can be adjusted as needed; however, unless existing on-street parking is removed it is unlikely bike lanes or 4.3 metre wide shared lanes will be accommodated on Moss Street and need to remove the curb extensions. Moss Street could become a bike boulevard road where sharrows are used to delineate bicycle usage on the road. This option would maintain the parking and curb extension and possibly allow for widening of curb extension. All future works regarding the bikeway and curb extension are at the discretion of the City of Victoria.

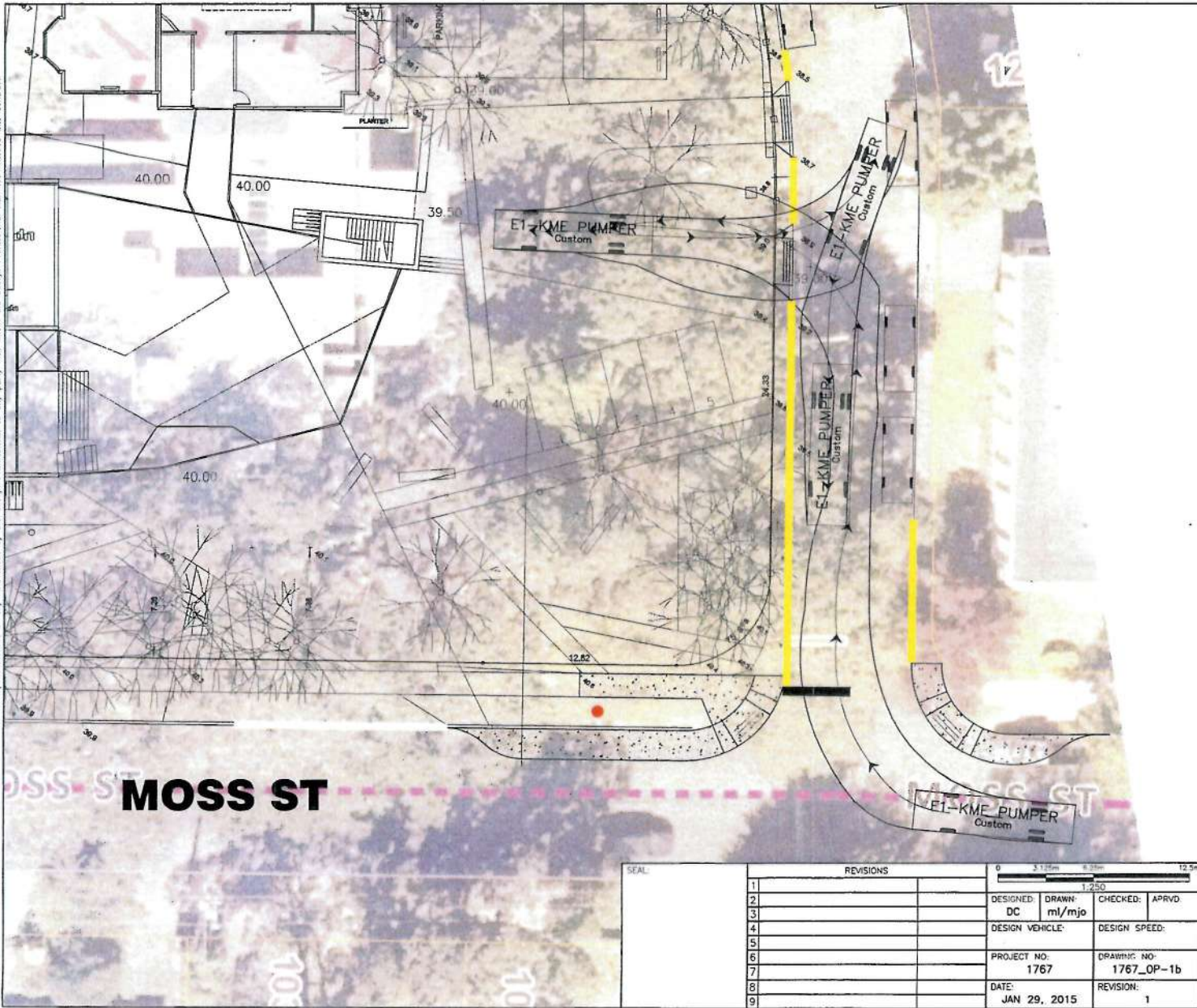






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	1				DESIGNED:	DC	DRAWN:	ml/mjo	CHECKED:	APRVD:	OPTION 1: VEHICLE TURNING ART GALLERY TRANSPORTATION REVIEW	
	2				DESIGN VEHICLE:		DESIGN SPEED:					
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	5		DATE:	JAN 29, 2015	REVISION:	1
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TITLE: PROPOSED CURB EXTENSIONS  
FIRE TRUCK TURNING TEMPLATE  
ART GALLERY TRANSPORTATION REVIEW

**Boulevard**  
TRANSPORTATION

**WATT**  
Consulting Group  
Since 1914

### 3.5.3 On-Street Parking

A no-parking zone is proposed along the south side of Wils Spencer Place from Moss Street to 2m west of driveway. This on-street parking restriction will increase the asphalt width on Wils Spencer Place and allow for improved entry and exit from the Wils Spencer Place driveway. On-street parking is also proposed to be restricted on the north side of Wils Spencer Place for one vehicle length at Moss Street to improve access and reduce conflicts at Wils Spencer Place/Moss Street.

### 3.5.4 Sidewalk/Boulevards

The proposed curb extensions will increase the visibility of pedestrians at the intersection of Moss Street/Wils Spencer Place.

## 4.0 SCHEDULED PROGRAMS

In addition to a typical day, the AGGV holds scheduled programs. The majority of the Art Gallery's scheduled programs occur during regular operating hours and attract less than fifty guests. These programs occur approximately 14 times each month, with the most frequent being Drop-In Tours. The largest scheduled programs are "Urbanite" and the "Fairfield-Gonzales Gala", which occurred four times total during 2014 and attract no more than 400 people. These large events occur in the evenings, outside of peak traffic periods on the adjacent road network.

A summary of scheduled programs from 2014 is provided in *Table 3* and a more detailed description in *Appendix B* which gives an indication of the size and frequency of scheduled programs at the Art Gallery.

**TABLE 3. SUMMARY OF SCHEDULED PROGRAMS, 2014**

	Frequency	
	Annual	Per Month (average)
<b>Small Programs</b> (typically less than 50 guests)	163	14
<b>Medium Programs</b> (typically 50 to 200 guests)	23	2
<b>Large Programs</b> (typically 200 to 400 guests)	4	0.3



## 5.0 CONCLUSIONS

The Art Gallery Renewal Project proposes a 30 percent increase in gross floor area. This increase in floor space will generate an additional four trips per PM peak hour. The existing intersections surrounding the AGGV operate at a good LOS and the increase in traffic due to the Art Gallery Renewal does not change the LOS or impact traffic around the AGGV. In 2014 there were 14 small scheduled programs and two medium scheduled programs at the AGGV per month. These small and medium scheduled programs are typically during the regular operating hours of the Art Gallery and don't significantly impact traffic during the PM peak hour. The large programs occur four times per year and occur in the evenings, outside of the PM peak hour.

The AGGV entrance is proposed to be relocated to Wils Spencer Place to consolidate the driveway access to the site. On-street parking along the south of Wils Spencer Place is proposed to increase the available width of asphalt for drivers to enter and exit the site. The restriction of on-street parking also eliminates vehicles parking up to the stop bar and reducing the width of Wils Spencer Place at Moss Street. Curb extensions are proposed to move the stop bar closer to Moss Street and increasing drivers' ability to see approaching vehicles. The curb extensions will also restrict on-street parking and pick-up/drop-off on Moss Street that can also impact Wils Spencer Place motorists' sight lines. The curb extensions also have the benefit of increasing pedestrian visibility.


















## Appendix A SYNCHRO BACKGROUND AND REPORTS

### HCM Unsignalized Intersection Capacity Analysis

#### 3: Moss Street/School D/W & Fort Street










2015-01-14

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	5	928	58	0	0	0	0	3	102	8	6	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.63	0.92	0.97	0.92	0.92	0.92	0.92	0.75	0.77	0.50	0.50	0.92
Hourly flow rate (vph)	8	1009	60	0	0	0	0	4	132	16	12	0
Pedestrians					41			64			25	
Lane Width (m)					0.0			3.6			3.6	
Walking Speed (m/s)					1.2			1.2			1.2	
Percent Blockage					0			5			2	
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (m)												
pX, platoon unblocked												
vC, conflicting volume	25			1132			1124	1143	639	721	1173	25
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	25			1132			1124	1143	639	721	1173	25
tC, single (s)	4.1			4.1			7.5	6.5	6.9	7.5	6.5	6.9
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	99			100			100	98	67	92	93	100
cM capacity (veh/h)	1569			580			135	186	401	193	179	1023
Direction, Lane #	EB 1	EB 2		NB 1								
Volume Total	512	564		136								
Volume Left	8	0		0								
Volume Right	0	60		132								
cSH	1569	1700		388								
Volume to Capacity	0.01	0.33		0.35								
Queue Length 95th (m)	0.1	0.0		12.4								
Control Delay (s)	0.2	0.0		19.2								
Lane LOS	A			C								
Approach Delay (s)	0.1			19.2								
Approach LOS				C								
<b>Intersection Summary</b>												
Average Delay				2.8								
Intersection Capacity Utilization				47.0%			ICU Level of Service			A		
Analysis Period (min)				15								

## HCM Unsignalized Intersection Capacity Analysis

## 7: Moss Street &amp; Wilspercer









2015-01-14

						
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (veh/h)	7	1	5	97	65	4
Sign Control	Stop			Free	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.58	0.25	0.63	0.76	0.86	0.33
Hourly flow rate (vph)	12	4	8	128	76	12
Pedestrians	14				1	
Lane Width (m)	3.6				3.6	
Walking Speed (m/s)	1.2				1.2	
Percent Blockage	1				0	
Right turn flare (veh)						
Median type				None	None	
Median storage veh						
Upstream signal (m)						
pX, platoon unblocked						
vC, conflicting volume	240	96	102			
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	240	96	102			
tC, single (s)	6.4	6.2	4.1			
tC, 2 stage (s)						
tF (s)	3.5	3.3	2.2			
p0 queue free %	98	100	99			
cM capacity (veh/h)	739	955	1486			
Direction, Lane #	EB 1	NB 1	SB 1			
Volume Total	16	136	88			
Volume Left	12	8	0			
Volume Right	4	0	12			
cSH	783	1486	1700			
Volume to Capacity	0.02	0.01	0.05			
Queue Length 95th (m)	0.5	0.1	0.0			
Control Delay (s)	9.7	0.5	0.0			
Lane LOS	A	A				
Approach Delay (s)	9.7	0.5	0.0			
Approach LOS	A					
Intersection Summary						
Average Delay		0.9				
Intersection Capacity Utilization		19.2%		ICU Level of Service	A	
Analysis Period (min)		15				



# HCM Unsignalized Intersection Capacity Analysis8: Moss Street & Gallery Entrance

2015-01-14

						
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (veh/h)	0	0	6	102	66	0
Sign Control	Stop			Free	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.92	0.92	0.50	0.76	0.86	0.92
Hourly flow rate (vph)	0	0	12	134	77	0
Pedestrians	14					
Lane Width (m)	0.0					
Walking Speed (m/s)	1.2					
Percent Blockage	0					
Right turn flare (veh)						
Median type				None	None	
Median storage (veh)						
Upstream signal (m)						
pX, platoon unblocked						
vC, conflicting volume	249	91	91			
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	249	91	91			
tC, single (s)	6.4	6.2	4.1			
tC, 2 stage (s)						
tF (s)	3.5	3.3	2.2			
p0 queue free %	100	100	99			
cM capacity (veh/h)	734	967	1504			
Direction, Lane #	NB 1	SB 1				
Volume Total	146	77				
Volume Left	12	0				
Volume Right	0	0				
cSH	1504	1700				
Volume to Capacity	0.01	0.05				
Queue Length 95th (m)	0.2	0.0				
Control Delay (s)	0.7	0.0				
Lane LOS	A					
Approach Delay (s)	0.7	0.0				
Approach LOS						
Intersection Summary						
Average Delay			0.4			
Intersection Capacity Utilization			13.6%	ICU Level of Service	A	
Analysis Period (min)			15			

# HCM Unsignalized Intersection Capacity Analysis11: Gallery Exit & Wilspencer
















2015-01-14

	→	↘	↙	←	↖	↗
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑			↑	↘	↗
Volume (veh/h)	2	0	0	9	0	6
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	2	0	0	10	0	7
Pedestrians						
Lane Width (m)						
Walking Speed (m/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage (veh)						
Upstream signal (m)						
pX, platoon unblocked						
vC, conflicting volume			2		12	2
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			2		12	2
tC, single (s)			4.1		6.4	6.2
tC, 2 stage (s)						
tF (s)			2.2		3.5	3.3
p0 queue free %			100		100	99
cM capacity (veh/h)			1620		1008	1082
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	2	10	7			
Volume Left	0	0	0			
Volume Right	0	0	7			
cSH	1700	1700	1082			
Volume to Capacity	0.00	0.01	0.01			
Queue Length 95th (m)	0.0	0.0	0.1			
Control Delay (s)	0.0	0.0	8.3			
Lane LOS			A			
Approach Delay (s)	0.0	0.0	8.3			
Approach LOS			A			
Intersection Summary						
Average Delay			2.9			
Intersection Capacity Utilization			13.3%	ICU Level of Service	A	
Analysis Period (min)			15			

### HCM Unsignalized Intersection Capacity Analysis

#### 3: Moss Street/School D/W & Fort Street

2015-01-14










												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	5	928	60	0	0	0	0	3	104	8	6	0
Sign Control		Free			Free			Stop			Stop	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.63	0.92	0.97	0.92	0.92	0.92	0.92	0.75	0.77	0.50	0.50	0.92
Hourly flow rate (vph)	8	1009	62	0	0	0	0	4	135	16	12	0
Pedestrians					41			64			25	
Lane Width (m)					0.0			3.6			3.6	
Walking Speed (m/s)					1.2			1.2			1.2	
Percent Blockage					0			5			2	
Right turn flare (veh)												
Median type		None			None							
Median storage (veh)												
Upstream signal (m)												
pX, platoon unblocked												
vC, conflicting volume	25			1135			1125	1144	640	723	1175	25
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	25			1135			1125	1144	640	723	1175	25
tC, single (s)	4.1			4.1			7.5	6.5	6.9	7.5	6.5	6.9
tC, 2 stage (s)												
tF (s)	2.2			2.2			3.5	4.0	3.3	3.5	4.0	3.3
p0 queue free %	99			100			100	98	66	92	93	100
cM capacity (veh/h)	1569			579			135	186	400	191	178	1023
Direction, Lane #	EB 1	EB 2	NB 1	SB 1								
Volume Total	512	566	139	28								
Volume Left	8	0	0	16								
Volume Right	0	62	135	0								
cSH	1569	1700	387	185								
Volume to Capacity	0.01	0.33	0.36	0.15								
Queue Length 95th (m)	0.1	0.0	12.8	4.2								
Control Delay (s)	0.2	0.0	19.4	27.9								
Lane LOS	A		C	D								
Approach Delay (s)	0.1		19.4	27.9								
Approach LOS			C	D								
<b>Intersection Summary</b>												
Average Delay			2.9									
Intersection Capacity Utilization			47.1%		ICU Level of Service				A			
Analysis Period (min)			15									



## HCM Unsignalized Intersection Capacity Analysis

## 7: Moss Street &amp; Wilspercer

2015-01-14

						
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (veh/h)	9	1	11	97	67	6
Sign Control	Stop			Free	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.58	0.25	0.63	0.76	0.86	0.33
Hourly flow rate (vph)	16	4	17	128	78	18
Pedestrians	14				1	
Lane Width (m)	3.6				3.6	
Walking Speed (m/s)	1.2				1.2	
Percent Blockage	1				0	
Right turn flare (veh)						
Median type				None	None	
Median storage (veh)						
Upstream signal (m)						
pX, platoon unblocked						
vC, conflicting volume	265	101	110			
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	265	101	110			
tC, single (s)	6.4	6.2	4.1			
tC, 2 stage (s)						
tF (s)	3.5	3.3	2.2			
p0 queue free %	98	100	99			
cM capacity (veh/h)	711	949	1475			
Direction, Lane #	EB 1	NB 1	SB 1			
Volume Total	20	145	96			
Volume Left	16	17	0			
Volume Right	4	0	18			
cSH	750	1475	1700			
Volume to Capacity	0.03	0.01	0.06			
Queue Length 95th (m)	0.6	0.3	0.0			
Control Delay (s)	9.9	1.0	0.0			
Lane LOS	A	A				
Approach Delay (s)	9.9	1.0	0.0			
Approach LOS	A					
Intersection Summary						
Average Delay		1.3				
Intersection Capacity Utilization		22.4%		ICU Level of Service	A	
Analysis Period (min)		15				

## HCM Unsignalized Intersection Capacity Analysis

## 11: Gallery Exit &amp; Wilspencer

2015-01-14

	→	↘	↙	←	↖	↗
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↘			↖	↗	
Volume (veh/h)	2	0	7	9	0	8
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	2	0	8	10	0	9
Pedestrians						
Lane Width (m)						
Walking Speed (m/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage (veh)						
Upstream signal (m)						
pX, platoon unblocked						
vC, conflicting volume			2		27	2
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			2		27	2
tC, single (s)			4.1		6.4	6.2
tC, 2 stage (s)						
tF (s)			2.2		3.5	3.3
p0 queue free %			100		100	99
cM capacity (veh/h)			1620		983	1082
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	2	17	9			
Volume Left	0	8	0			
Volume Right	0	0	9			
cSH	1700	1620	1082			
Volume to Capacity	0.00	0.00	0.01			
Queue Length 95th (m)	0.0	0.1	0.2			
Control Delay (s)	0.0	3.2	8.4			
Lane LOS		A	A			
Approach Delay (s)	0.0	3.2	8.4			
Approach LOS			A			
Intersection Summary						
Average Delay			4.5			
Intersection Capacity Utilization			16.7%	ICU Level of Service	A	
Analysis Period (min)			15			

## Appendix B SUMMARY OF SCHEDULED PROGRAMS



Summary of Scheduled Programs from January-December 2014

Traffic Impact Assessment | Transportation Review

Art Gallery of Greater Victoria Renewal Project

	January	February	March	April	May	June	July	August	September	October	November	December
Urban Events			Urbanite	Urbanite		Urbanite					Urbanite	
Program Contributions	Opening Reception			Opening Reception Exhibit Opening	Children's Exhibit Opening Summer Season Opening				Exhibit Opening Fall Season Opening			
Meetings		Gallery Associates Meeting	Gallery Associates Meeting	Associates General Meeting	Associates General Meeting	Associates Annual General Meeting Annual General Meeting						
Public Programs	Concert Lecture x2	Concert x2 Lecture Family Sunday	Concert Lecture Family Sunday	Concert Lecture Family Sunday	Lecture x2		Screening Lecture		Screening x3 Lecture x2	Lecture Family Sunday	Family Sunday	Family Sunday
Tours	Drop-in Tour	Drop-in Tour x9 Curators Tour Art Interest Tour x4	Drop-in Tour x12 Curators Tour Art Interest Tour x4	Drop-in Tour x8 Art Interest Tour x4	Drop-in Tour x12 Curators Tour Art Interest Tour x2	Drop-in Tour x11 Art Interest Tour x2	Drop-in Tour x9 Curators Tour x2	Drop-in Tour x13	Drop-in Tour x8 Art Interest Tour x2	Drop-in Tour x10 Curators Tour x2 Art Interest Tour x2	Drop-in Tour x12	Drop-in Tour x5 Curators Tour
Other Events			Art Show Reception x2			Book launch		Slow Fashion Week x3			Animation Workshops x2	Print making Workshop

Scheduled Program Size		Scheduled Program Frequency	
		Per month (Average)	Per year (Total)
Small Scheduled Programs	0-50 people	14	163
Medium Scheduled Programs	50-200 people	2	23
Large Scheduled Programs	201 or more people		4

Scheduled Programs occur approximately 190 times throughout the year

## Description of Scheduled Programs from January-December 2014

## Traffic Impact Assessment I Transportation Review

## Art Gallery of Greater Victoria Renewal Project

Event Name	Size	Event Frequency (per year)	During/After Opening Hours	Description
Drop-in Tour	Small	110	During	Offer visitors a chance to learn more about current exhibits; included in the price of admissions. These happen several times a week
Curators Tour	Small	8	During	Professional curator guides the tour, included in admission
Art Interest Tour	Small	20	During	This is a discussion based tour and included in the price of admission
Concert	Small	5	During	A group of musicians come to the Art Gallery and perform music. Tickets can be up to \$35
Screening	Small	4	During	When the Art Gallery showcases a film
Lecture	Small	11	During	A special guest comes and provides a lecture about the arts
Family Sunday	Medium	6	During	Children and guardians are welcome to the gallery for arts and crafts and film screenings. This is included in the price of admission
Urbanite	Large	3	After	Is an adult event with liquor, exhibition tours, local music and hands on activities. This event occurs three times over the year
Fairfield Gonzales Gala	Large	1	After	A gala which includes music, wine tasting, food and an auction.
Opening Reception	Medium	2	During/After	Members have the opportunity to speak with the curator and then it is open to the public.
Exhibit Opening	Medium	2	During	New exhibit is showcased and open to the members and public for a designated amount of time
Children's Exhibit Opening	Medium	1	During	New children's exhibit is showcased and open to the members and public for a designated amount of time
Summer/Fall Season Opening	Medium	2	After	Typically occurs coinciding with an exhibit opening. There is a private members preview before it is open to the public
Gallery Associates Meeting	Small	2	During	A meeting which is open to anyone who is interested in joining the association
Associates General Meeting	Small	2	During	A meeting which is open to anyone who is interested in joining the association
Associates Annual General Meeting	Small	1	During	A meeting for members of the association to discuss the past years activities, reports
Annual General Meeting	Medium	1	After	A meeting for everyone to present the years previous activities, fiscal reports and election of members for the board of directors for the next year.
Art Show Reception	Medium	2	During	Art is showcased and for sale for a specific artist.
Book Launch	Medium	1	During	The launch of a new book by an author. Refreshments are provided
Slow Fashion Week	Medium	3	During	Various artists present their work at multiple venues. This is included in the price of admission
Animation Workshops	Medium	2	During	Free with admission, guests will participate in creating a series of animated abstract films. Space is limited
Print Making Workshops	Medium	1	During	An introduction course to printmaking processes. Included in the price of admission

Scheduled Program Size		Scheduled Program Frequency (per year)
Small Scheduled Programs	0-50 people	163
Medium Scheduled Programs	50-200 people	23
Large Scheduled Programs	201 or more people	4

Scheduled Programs occur approximately 190 times throughout the year

# Art Gallery of Greater Victoria

## Tree Retention and Construction Damage Mitigation Plan



Prepared by: Talbot Mackenzie & Associates





## **Talbot Mackenzie & Associates**

**Consulting Arborists**

May 5, 2015

Art Gallery of Greater Victoria  
% CitySpaces Consulting Ltd.  
844 Courtney Street, 5th Floor  
Victoria BC V8W 1C4

**Assignment:** To visually examine and inventory the existing trees on the Art Gallery of Greater Victoria property and inventory any existing trees on municipal property and within 3 metres of the property line that could potentially be impacted by the proposed construction activity. The inventory is provided in spreadsheet format and includes information such as: tag number, tree species, size (d.b.h.), crown spread, calculated critical root zone (C.R.Z.), health and structural condition, relative tolerance to construction impacts and general remarks and recommendations for mitigating any associated risk. Review the proposed construction and renovation plans and comment on how they may impact the existing tree resource. Provide comprehensive tree retention and construction damage mitigation plans for the demolition, construction and renovation portions of the project for those trees deemed suitable to retain given their existing health and structural condition and the proposed impacts from the construction activity.

**Methodology:** During the month of October 2014, we visited the Art Gallery of Greater Victoria property several times in order to visually examine the tree resource and document our findings. Using the construction and renovation plans provided, we estimated the potential impacts that may occur during the demolition, construction and landscaping phases of the proposed project.

**Observations:** Based on our visual examination of the trees on the property, on the municipal boulevard and within 3 metres of the Art Gallery of Greater Victoria property lines, we found that the trees examined were in generally good health. The tree population examined consists of Garry oak, Douglas fir, elm, Giant sequoia, Atlas cedar, along with ornamental species such as juniper and Cryptomeria. The majority of the trees on the property are Garry oak trees and are exhibiting many of the health and structural concerns that we often find in urban tree populations such as this. These concerns include large deadwood, end weighted limbs, a history of flush cut wounds and poor pruning practices, and decay associated with old pruning wounds. Additional concerns more unique to this property are found in the parking areas, where there is also a history of lower trunk damage from impacts from vehicles. Most of the concerns observed can be addressed through standard pruning practices, and the majority of the trees examined would benefit from being pruned to clean their crowns of any dead, diseased or weak limbs and pruned to reduce weight on any limbs showing indications of excessive end weight.

.../2

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May 5, 2015

AGGV Tree Retention Plan

Page 2

**Potential Impacts:** We anticipate that the greatest potential impacts to the existing tree resource could occur during any demolition activity of the existing buildings, construction of the proposed new additions and the redesigns and construction of the parking areas.

**Recommendations:**

- **Trees designated for further examination:** We examined Garry oak trees 295, 279 and 299 more closely and have prepared a separate report on our findings. From this examination, we recommend that tree #295 be removed due to existing structural and health concerns. Trees numbered 279 and 299 are possible to retain at this time, but will require pruning and monitoring as mentioned in our report regarding these three trees.
- **Tree Removal:** Based on the most recent discussions, we anticipate it will be necessary to remove Atlantic cedar #262, spruce #266, Garry oaks 271, 274, 284 and 287, Holly #285, and Douglas-fir #286 for the proposed renovations, construction and parking areas and Garry oak tree #295 due to existing structural concerns.
- **Barrier fencing:** Protect the remaining portions of the trees critical root zone with barrier fencing (see attached sketch). The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing (see attached diagram). The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.
- **Demolition:** Once the extent of the proposed demolition is decided upon, we will develop areas for demolition equipment to be located and areas where demolition debris can be loaded out and taken off of the site.
- **Material storage:** Areas must be designated for material storage and staging during the construction process. Ideally these areas will be located outside of the tree protection areas that will be isolated by barrier fencing. Should it be necessary to store material temporarily within any of the tree protection areas, the project arborist must be consulted.

.../3

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- **Methods to avoid soil compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:
  - Installing a layer of hog fuel at least 20 cm in depth and maintaining it in good condition until construction is complete.
  - Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15 cm over top.
  - Placing two layers of 19mm plywood.
  - Placing steel plates.
- **Pruning:** We anticipate that it may be necessary to prune some of the existing trees for building clearances. Once the demolition and construction techniques are decided upon, it may be necessary to prune additional trees for clearance for machinery access, scaffolding, etc. We recommend that all of the trees to be retained on the property be pruned to clean the crowns of any dead diseased or weak limbs and be pruned to reduce weight on any limbs showing indications of excessive end weight.
- **Blasting and rock removal:** We anticipate that blasting may be required to level several of the rock areas on the property. If it is necessary to blast areas of bedrock near critical root zones of trees to be retained, the blasting to level these rock areas should be sensitive to the root zones located at the edge of the rock. Care must be taken to assure that the area of blasting does not extend into the critical root zones beyond the building and road footprints. The use of small low-concussion charges, and multiple small charges designed to pre-shear the rock face, will reduce fracturing, ground vibration, and reduce the impact on the surrounding environment. Only explosives of low phytotoxicity, and techniques that minimize tree damage, are to be used. Provisions must be made to store blast rock, and other construction materials and debris, away from critical tree root zones.
- **Servicing:** At this time, we have not reviewed any proposed servicing upgrades, but recommend that, wherever possible, they be located outside of the critical root zones of trees to be retained. Once we have reviewed any proposed servicing upgrade plans we can provide further comments on how they may impact the trees to be retained and how we would recommend mitigating any of the potential impacts.
- **Excavation:** We recommend that any necessary excavation that is proposed for within the critical root zones of trees to be retained be completed under the direction of the project arborist. If it is found that the excavation cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.

.../4

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May 5, 2015

## AGGV Tree Retention Plan

Page 4

- **Washout area:** It may be necessary to designate any area on the property for washing out cement and masonry tools and equipment. This area should be located away from the critical root zones of any trees to be retained.
- **Paved areas over critical root zones of trees to be retained:** In areas that are proposed for parking areas over the critical root zones of trees to be retained, we recommend that floating permeable paving techniques are used. See attached specifications. (The exact specifications may change during the construction phase depending on the extent of the proposed paving.)
- **Landscaping:** Any proposed landscaping within the critical root zones of trees to be retained must be reviewed with the project arborist.
- **Arborists Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
  - Locating the barrier fencing.
  - Reviewing the report with the project foreman or site supervisor.
  - Locating work zones and machine access corridors where required.
  - Supervising excavation for any areas within the critical root zones of trees to be retained including any proposed retaining wall footings and review any proposed fill areas near trees to be retained.
- **Review and site meeting:** Once the development receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any demolition, site clearing or other construction activity occurs.

Please do not hesitate to call us at 250-479-8733 should you have any further questions.  
Thank You.

Yours truly,  
Talbot Mackenzie & Associates



Tom Talbot & Graham Mackenzie  
ISA Certified, & Consulting Arborists

Encl. 5-pages tree inventory, 1-page key to headings in tree resource table, 1-page barrier fencing specifications, 1-page site sketch with tree locations, 2-pages floating permeable parking specifications.

#### Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure or can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

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October 2014

**TREE RESOURCE**  
Art Gallery of Greater Victoria

1

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown Spread(m)</i>	<i>Condition Health</i>	<i>Condition Structure</i>	<i>Relative Tolerance</i>	<i>Remarks / Recommendations</i>
0261	162	19.4	Sequoiadendron	12.0	Good	Fair	Moderate	Flattened top.
0262	111	11.1	Atlantic cedar	14.0	Good	Fair	Good	Large secondary stem removed historically, crown raised. Confined rooting area.
0263	135	16.2	Sequoiadendron	10.0	Good	Fair	Moderate	One-sided.
0264	50	5.0	Garry oak	15.0	Fair	Fair	Good	Small deadwood.
0265	50	5.0	Garry oak	16.0	Fair	Fair	Good	Cavity in limb over street, small deadwood.
0266	40	4.0	Spruce	5.0	Good	Fair	Good	Recently clearance pruned from building.
0267	61	6.1	Garry oak	20.0	Fair	Fair	Good	Large deadwood over sidewalk.
0268	71	7.1	Garry oak	19.0	Fair	Fair	Good	Large deadwood over street and sidewalk, end-weighted limbs over street.
0269	50	5.0	Garry oak	20.0	Fair	Fair	Good	Large deadwood over street and sidewalk, end-weighted limbs over street.
0270	50	5.0	Garry oak	8.0	Fair/poor	Fair	Good	Health stress, suppressed, small deadwood, end-weighted over street.
0271	57	5.7	Garry oak	14.0	Fair	Fair	Good	Health stress evident, large deadwood. Will likely require pruning for new construction.
0272	35	3.5	Garry oak	12.0	Fair	Fair	Good	Suppressed, small deadwood. Endweighted over street.

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October 2014

**TREE RESOURCE**  
Art Gallery of Greater Victoria

2

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown Spread(m)</i>	<i>Condition Health</i>	<i>Condition Structure</i>	<i>Relative Tolerance</i>	<i>Remarks / Recommendations</i>
0273	47	4.7	Garry oak	8.0	Fair	Fair	Good	End-weighted over street, large deadwood.
0274	55	5.5	Garry oak	10.0	Fair	Fair	Good	End-weighted, potential canopy/building conflict. Some indications of health stress.
0275	37	3.7	Garry oak	10.0	Fair	Fair/poor	Good	Leaning over street, nesting hole in old pruning wound. Sparse foliage.
0276	35	3.5	Garry oak	15.0	Fair	Fair	Good	End-weighted over street, large deadwood over street.
0277	60	6.0	Garry oak	12.0	Fair	Fair	Good	Large deadwood. Some endweighted limbs.
0278	74	7.4	Garry oak	16.0	Fair	Fair	Good	Mechanical injury on limb over entrance, end-weighted, history of large scaffold removal, potential canopy/building conflict.
0279	56	5.6	Garry oak	10.0	Fair	Fair	Good	Rooted at edge of rock, root collar exposed. Limited rooting on backside of lean, end-weighted, possibly unstable. Closer examination recommended if retained. May be possible to prune heavily to reduce end-weight if retained. Monitor during high wind conditions.
0280	26	2.6	Horse chestnut	9.0	Fair	Fair	Good	Young tree, suppressed.
0281	38	3.8	Garry oak	12.0	Fair	Fair	Good	End-weighted over street.
0282	62	6.2	Garry oak	14.0	Fair	Fair	Good	End-weighted over street.
0283	47	4.7	Garry oak	14.0	Fair	Fair	Good	End-weighted over street.

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**TREE RESOURCE**  
Art Gallery of Greater Victoria

3

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown Spread(m)</i>	<i>Condition Health</i>	<i>Condition Structure</i>	<i>Relative Tolerance</i>	<i>Remarks / Recommendations</i>
0284	46	4.6	Garry oak	10.0	Fair	Fair	Good	Small deadwood. Some end-weighted limbs.
0285	19, 27, 31	6.0	Holly	6.0	Good	Fair	Good	Suckering at base, non-native species.
0286	69	6.9	Douglas-fir	10.0	Fair	Fair	Good	Crown raised, end-weighted. Surface root damage.
0287	48, 49	8.0	Garry oak	19.0	Fair	Fair	Good	Trunk seams, end-weighted, large deadwood, co-dominant. Trunk damage likely from vehicles.
0288	56	5.6	Garry oak	16.0	Fair	Fair	Good	End-weighted, large deadwood, health stress, dieback. Lower trunk damage, likely from vehicles.
0289	62	6.2	Garry oak	15.0	Fair	Fair	Good	Small deadwood. Lower trunk damage, likely from vehicles.
0290	29	2.9	Cryptomeria	6.0	Fair	Fair	Good	Recent small limb failure.
0291	51	5.1	Garry oak	10.0	Fair	Fair	Good	End-weighted, small deadwood.
0292	41	4.1	Garry oak	11.0	Fair	Fair	Good	Large deadwood over parking lot.
0293	66	6.6	Garry oak	15.0	Fair	Fair	Good	Large deadwood. Lower trunk damage, likely from vehicles.
0294	52	5.2	Garry oak	13.0	Fair	Fair	Good	Small deadwood.

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**TREE RESOURCE**  
Art Gallery of Greater Victoria

4

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown Spread(m)</i>	<i>Condition Health</i>	<i>Condition Structure</i>	<i>Relative Tolerance</i>	<i>Remarks / Recommendations</i>
0295	57	5.7	Garry oak	10.0	Fair	Fair/poor	Good	History of large scaffold removal, asymmetric form, bleeding from trunk wound, lower trunk damage, likely from vehicles. Fungus attached to old pruning wound. Closer examination recommended if retained.
0296	40	4.0	Garry oak	7.0	Fair	Fair	Good	Trunk wound, likely from vehicles. Epicormic growth.
0297	44	4.4	Garry oak	14.0	Fair	Fair	Good	End-weighted, leaning.
0298	61	6.1	Garry oak	15.0	Fair	Fair	Good	One-sided, large deadwood over street, end-weighted.
0299	41, 63	9.0	Garry oak	13.0	Fair	Fair	Good	Basal cavity, small deadwood. Lower trunk damage, likely from vehicles. Closer examination recommended.
0300	54	5.4	Garry oak	10.0	Fair	Fair	Good	Small deadwood, history of large scaffold removal. Lower trunk damage, likely from vehicles. High risk of failure associated with limb with tearout injury over parking area.
0301	60	6.0	Garry oak	13.0	Fair	Fair	Good	Large deadwood over parking lot. Lower trunk damage, likely from vehicles.
0302	72	7.2	Garry oak	14.0	Fair	Fair	Good	History of large scaffold removal, end-weighted.
0303	82	8.2	Garry oak	20.0	Fair	Fair	Good	History of large scaffold removal, rooted in rock, end-weighted, large deadwood.
0304	80	8.0	Garry oak	24.0	Fair	Fair	Good	Located in courtyard area, large deadwood.
0305	74	7.4	Garry oak	14.0	Fair	Fair	Good	Located in courtyard area, one-sided, possible <i>armillaria</i> , large deadwood.

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October 2014

**TREE RESOURCE**  
Art Gallery of Greater Victoria

5

<i>Tree #</i>	<i>d.b.h. (cm)</i>	<i>CRZ</i>	<i>Species</i>	<i>Crown Spread(m)</i>	<i>Condition Health</i>	<i>Condition Structure</i>	<i>Relative Tolerance</i>	<i>Remarks / Recommendations</i>
0306	44, 48, 54	11.0	Garry oak	14.0	Fair	Fair/poor	Good	Located in courtyard area, history of large limb removal, rooted at edge of rock, possible canker forming, heavily weighted over neighbouring property, restricted root area on backside of lean.
0307	112	11.2	Garry oak	20.0	Fair	Fair	Good	Located in courtyard area, history of large limb removal, large deadwood, rooted at edge of rock outcrop.
n.t. 1	15 - 45	5.0	Elm	10.0	Good	Fair	Good	Located on neighbour's property, no impacts anticipated.
n.t. 2	50	5.0	Elm	10.0	Good	Fair	Good	Located on neighbour's property, no impacts anticipated.
n.t. 3	65	5.5	Juniper	8.0	Fair	Fair	Moderate	Located on neighbour's property, no impacts anticipated.
n.t. 4	60	7.5	Douglas-fir	10.0	Good	Fair	Poor	Located on neighbour's property, no impacts anticipated.
n.t. 5 - 18	18 - 48	5.5	Douglas-fir	10.0	Fair	Fair	Poor	Previously topped, some building limb conflicts, last tree in row(n.t.18) rubbing on existing cantilevered roof. No impacts anticipated.

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### Key to Headings in Resource Table

d.b.h. – **diameter at breast height** - diameter of trunk, measured in centimetres at 1.4 metres above ground level

CRZ – **critical root zone** - estimated optimal size of tree protection zone based on tree species, condition and age of specimen and the species tolerance to root disturbance. Indicates the radial distance from the trunk, measured in metres.

Crown spread – indicates the diameter of the crown spread measured in metres to the dripline of the longest limbs.

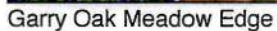
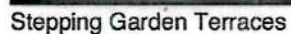
Condition health/structure –

- Good – no visible or minor health or structural flaw
- Fair – health or structural flaw present that can be corrected through normal arboricultural or horticultural care.
- Poor – significant health or structural defects that compromise the long-term survival or retention of the specimen.

Relative Tolerance – relative tolerance of the selected species to development impacts.



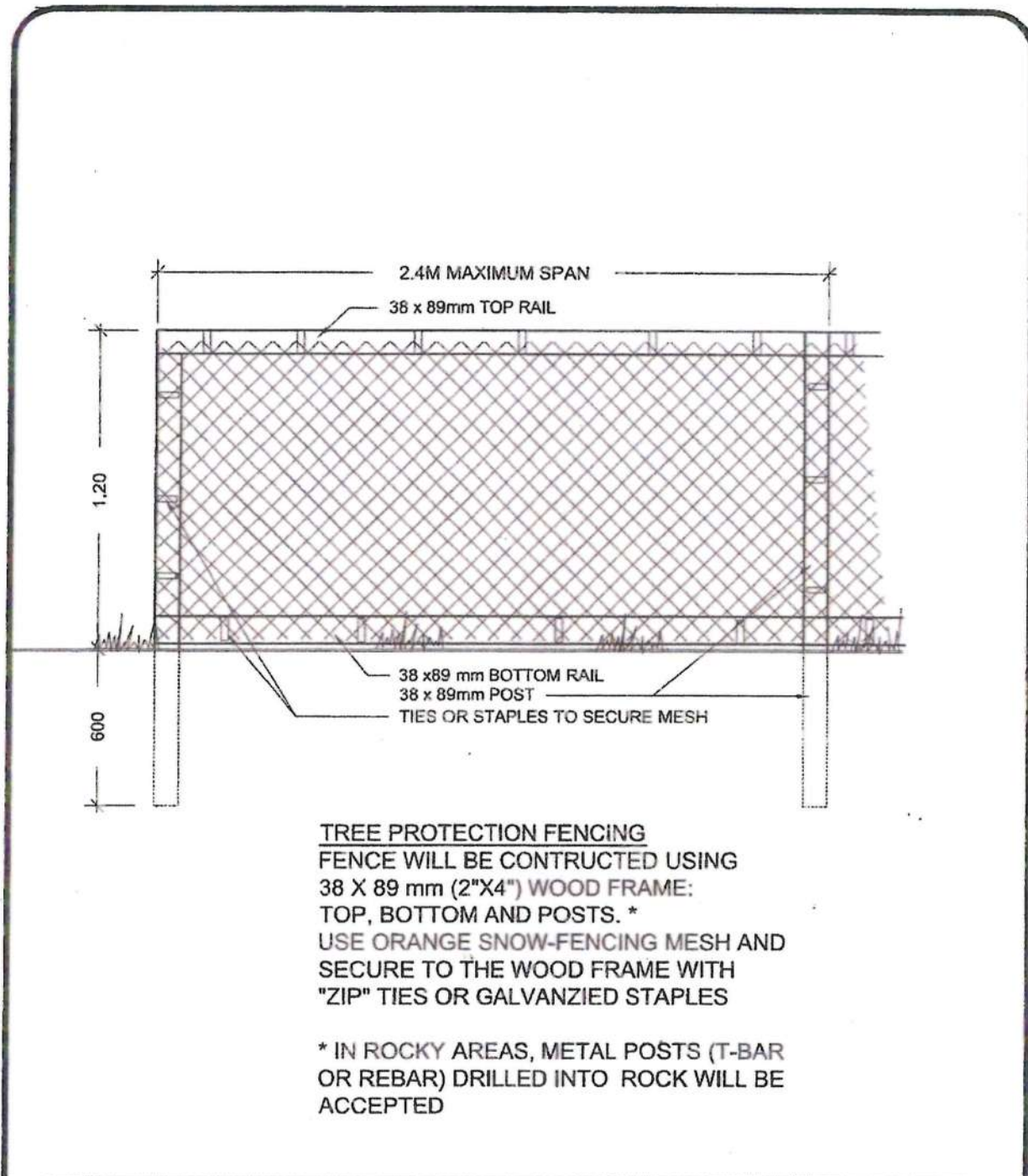




- Low, drought tolerant planting — or Garry Oak Meadow grasses in curb bump outs. Confirm final treatment with City.

**DURANTE KREUK LTD. LANDSCAPE ARCHITECTS**  
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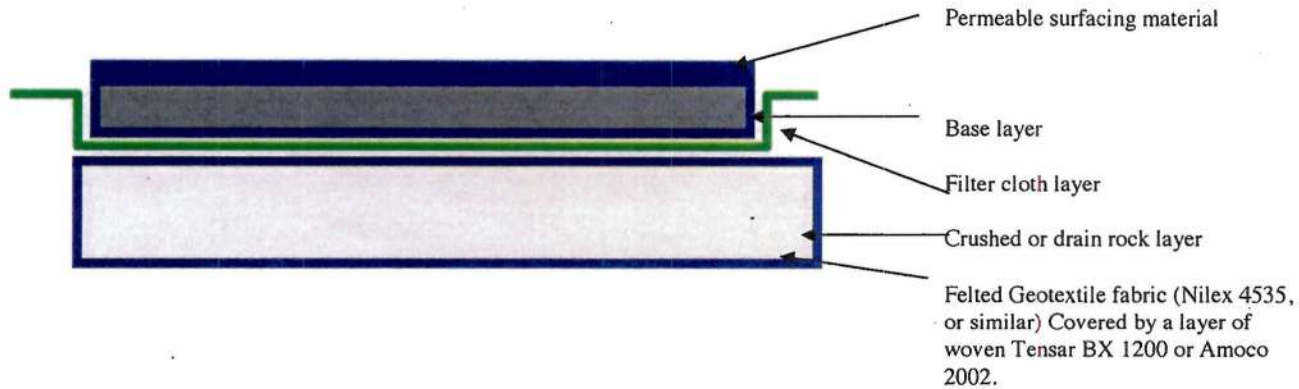
DETAIL NAME:

## TREE PROTECTION FENCING

DATE: Oct 30/07  
 DRAWN: DM  
 APP'D: RR  
 SCALE: N.T.S.

**E105**  
 DRAWING

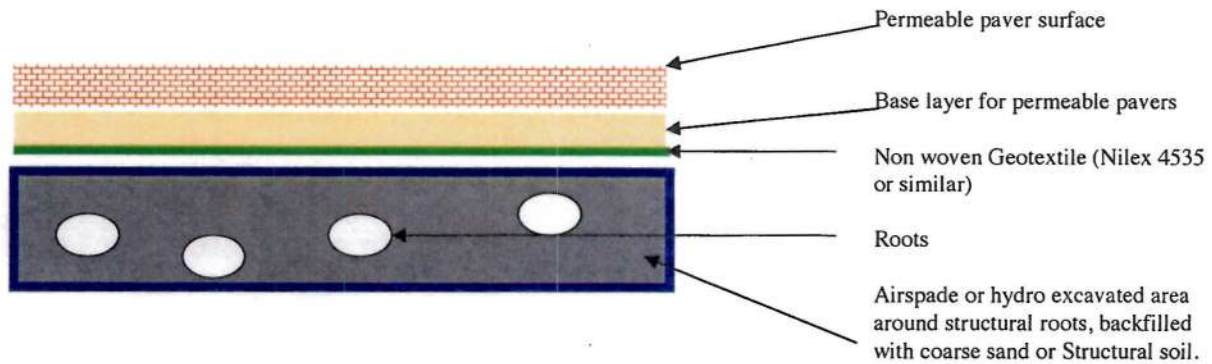
**Diagram – Site Specific Floating Driveway, Parking and Sidewalk Areas**



### **Specifications for Floating Driveway and Parking Areas**

1. Excavation for driveway or parking area construction must remove the sod layer only, where they encroach on the root zones of the protected trees
2. A layer of medium weight felted Geotextile fabric (Nilex 4535, or similar) is to be installed over the entire area of the critical root zone that is to be covered by the paving. Cover this Geotextile fabric with a layer of woven Amoco 2002 or Tensar BX 1200. Each piece of fabric must overlap the adjoining piece by approximately 30-cm.
3. A 10cm layer of torpedo rock, or 20-mm clean crushed drain rock, is to be used to cover the Geotextile fabric.
4. A layer of felted filter fabric is to be installed over the crushed rock layer to prevent fine particles of sand and soil from infiltrating this layer.
5. The bedding or base layer and permeable surfacing can be installed directly on top of the Geotextile fabric.

**Diagram –Permeable paver driveway crossing over Critical Root Zone**



**Specifications for permeable paver driveway crossing over critical root zone**

1. Excavate to a 6-8 inch depth, for the required permeable driveway surface, under the supervision of an ISA Certified Arborist.
2. Excavation for area around structural roots with an Airspade or by Hydro Excavation to bearing layer of soil if required.
3. Backfill area around roots with coarse sand or a structural soil mix
4. A layer of medium weight non woven Geotextile (Nilex 4535 or similar) is to be installed over the backfilled area of the driveway.
5. Construct base layer and permeable surface over Geotextile layer to required grade.





## ROCKLAND NEIGHBOURHOOD ASSOCIATION

February 15, 2015

Mayor and Council  
Helen Cain, Senior Planner  
City of Victoria



Re: AGGV, 1040 Moss Street Community Meeting

Thirty one neighbours and four Rockland Neighbourhood Association directors attended the January 22, 2015, community meeting for the AGGV development proposal. The response to the proposal was very positive, but concerns regarding implementation were raised.

While the AGGV explained that the expansion is primarily for operational improvement and that significant attendance increases are not expected, the major issue was parking, both during and post construction. Considerable concern was expressed about the limited parking on site for an enlarged gallery, and the need for a parking protocol was emphasized. It was suggested that parking be considered in the context of overlapping events at Langham Court and the AGGV, which was not considered in the initial transportation study. The recent construction at Central Middle School has resulted in an awareness of the need for a parking plan while construction is underway. It was felt there had been significant local inconvenience during the school construction; therefore, further work on parking and a protocol commitment is required.

Environmental concerns were expressed with regard to potential bird strikes on the expansive glazing, tree retention, and blasting. It is the RNA's expectation that the special glass to mitigate bird problems that is being investigated will be installed. Retention of the Garry oaks on site was promised, with only one slated for removal. The possibility of blasting received minimal discussion. A protocol and resources for neighbours should be clearly outlined and developed to neighbours' satisfaction.

Outside the parameters of the community meeting, questions have also come forward about the suitability of this residential location for a gallery.

Little concern was expressed about the proposed increase in height, and there was enthusiasm for the opening up of the exterior aspects of the Spencer Mansion and for the opportunity for the AGGV to enhance its ability to both conserve and display its collection more effectively.

Sincerely,

Janet Simpson, President

Rockland Neighbourhood Association

cc. Jon Tupper, AGGV; Carolynn Wilson, Moore Architecture Inc.,



## NOTES FROM CALUC MEETING AT THE ART GALLERY OF GREATER VICTORIA

7:00 pm, 22<sup>nd</sup> January, 2015, Art Gallery of Greater Victoria, 1040 Moss Street

**Bob June, Chair, RNA Land Use Committee:** Welcomed those present and thanked them for coming. He explained that the meeting is to discuss the proposal to make changes and improvements to the AGGV at 1040 Moss Street. No decisions will be made at this meeting – it is an opportunity for the Art Gallery to explain the proposals and for neighbours to ask questions. The City Council will consider the proposal and, after an official Public Hearing before them at which there will be an opportunity for neighbours to speak, it will then make the final decision.

**Jon Tupper, Director of the Art Gallery,** gave an overview of the reasons for proposing changes to the Art Gallery. Having the city's art gallery in a residential area is unusual in Canada, and presents particular challenges, but moving to a downtown site has been discussed and is not feasible at present. With 18,000 objects, the gallery is the largest in B.C., and visits have increased 75% since the last renovation in the 1950s, soon after Sara Spencer gave the Spencer mansion to the city. There have been many other changes since then: there are now 27 employees, about 380 volunteers, and far more technology is now available. The gallery has a serious storage problem, and needs to improve storage conditions, including security. The Asian collection is particularly important, not just to the local area but also as part of the Pacific Rim collections. The goals of the gallery have also changed, and there needs to be a greater focus on people, and making the gallery a more attractive place for people to visit, as well as putting greater emphasis on educational outreach through schools. At the moment very few children can be in the studio at one time, and this needs to be improved, as well as making the gallery more accessible to low income members of the community. The gallery is already a contributor to the community, having a lot of young members, and providing over \$200,000 to artists. It therefore needs to be 'refreshed'. The new proposal has an estimated cost of \$21m. It is expected that the federal government and the province will each provide \$7m, and there is considerable interest from politicians. The AGGV needs to provide the other \$7m, and \$3m of this has already been raised – it therefore needs to raise an additional \$4m.

**Oliver Lang and Tom Moore, Architects,** described the proposed plans in more detail. Mr. Lang explained that there had been an in-depth analysis of the site, involving many meetings. The main objectives are to have:

- Welcoming and dynamic public spaces;
- Better exhibition spaces with multifunctionality;
- Proper storage for art works in safe and secure conditions.



*The new building* height will be similar to that of the mansion, and it will be in keeping with the scale of the neighbourhood. It will complement rather than mimic the mansion. The ground floor will be opened up with glass so that the mansion will be more visible than before, and the 'box' will be raised above the open space. It will be adaptable and there will be a possibility of increasing the square footage in future. The plan is to have a constant exchange between people and the galleries, connecting all the various parts. There will be more space for educational activities, art classes, etc. The mezzanine will connect the new building to the attic of the mansion eventually, and the mansion will have better circulation of people. The public plaza will enable sculpture to be placed there, and events to be held there. The buildings will be more accessible.

*The landscaping* is considered very important and landscape plans will work with the natural and current garden landscape – the courtyard will be more intimate. The existing garry oaks are recognized as very important and as many as possible will be retained. Any trees removed will be replaced with new trees.

*Parking:* there will be 28 parking spaces (plus 23 street parking spaces). There is unlikely to be a significant increase in car trips to the gallery at normal times, and the traffic engineers consider that the number of parking spaces will be adequate. Improvements may be made to the Wilspencer/Moss junction.

*Heating/ventilation:* This will make little noise, and will have a low impact on the neighbourhood.

#### QUESTIONS/COMMENTS/ANSWERS:

**Janet Simpson** (1336 Richardson):

Q: There will be quite an expanse of glass in the new building – has the problem of birds flying into it been considered?

A: Yes, special glass will be used to prevent this.

Q: How many trees will be lost – any garry oaks?

A: One garry oak will be lost. New trees will be planted.

**Don Cal** (1059 Pentrelew):

Q: If the gallery wants to attract more people, where will they park? The Langham Court Theatre uses a lot of spaces when there is a performance there.

A: We have done studies, including counts during events at the gallery. Events that have 350 attendees take place about three times per year. We anticipate a small increase in parking demand initially, but not a large increase.

**Doug Woodall** (1011 Moss)

Q: Have you done a count when the Langham Court Theatre has a show on?

A: No, but we will do one.



**Kam Lidder** (1252 Wilspercer)

Q: It's often difficult now to park in front of my own house, especially when the gallery is rented out to special groups. More security is needed on those occasions.

A: The number of rentals to special groups has dropped recently.

Q: But parking outside our homes is still a problem.

**Verna Stone** (1261 Fort)

[I missed his name, and while Dave was whispering it to me, I missed what he said --- ooops! I wonder if anyone remembers? I think it was probably a comment on the difficulty of parking.]

**John Weaver** (1651 St. Francis Wood)

Q: It is odd to have an art gallery in a residential area, particularly as this is a regional facility. Is this a short- or long-term solution?

A: Both. We know that the gallery will eventually grow, but improvements are needed now and this may be sufficient for 20 years or for much longer.

**Pat Kidd** (1025 Moss)

Q: Glass can be a problem as it often leaks in the rain and makes the building too hot in the summer – has this been considered?

A: Yes, this will be glass which meets conservation standards, controls the amount of light entering the space, and meets UV regulations. The glazing will be north-facing, which mitigates the impact of the glass. There will also be large overhangs to prevent overheating. Standards are set for galleries and having no daylight creates an 'inhuman' space. The glass will give passers-by some visual interest as they will be able to see inside the ground level spaces, but people will not be able to see into the galleries and nor will people in the galleries be able to see into nearby homes. There will be a tree canopy.

**Don Hamilton** (1020 Pentrelew – for 44 years!)

Comment: We have endured parking problems in the area for a long time. Most houses have parking on site, but we do not. Further thought must be given to solutions to this problem.

**Damion (?)** (1070 Moss)

Q: Will roads be closed off during construction?

A: No.

Q: Do we have a date for construction?

A: Not yet. Have to go through approval process first.

**Kam Lidder** (1252 Wilspercer)

Q: The proposed construction will cost \$21m. but I wonder how much benefit it will provide. We don't want to see funds wasted.

A: The benefit will be mainly in operational improvement, and should not just be measured in increased attendance. The City needs to be proud of its gallery and its collections, so these improvements are very important.

**Q:** What is the time frame for construction?

**A:** This is still flexible, but it will probably be about 18 months before construction starts, and it will probably take about 16 months of construction to complete the project. Some things will be constructed off-site and brought in to minimize local disruption.

**Bob June** (1310 Manor Road)

**Q:** What about demolition and blasting in preparation for the new construction?

**A:** There will be some concrete cutting on site, and the concrete will be taken away. The construction team will try to keep noise and disruption to a minimum and will coordinate with the neighbourhood.

**Kam Lidder** (1252 Wilspencer)

**Q:** What about parking for construction workers – this could create additional problems? And what about work at weekends?

**A:** Construction workers could be brought to the site by bus to avoid taking up additional parking spaces. Any weekend work will be very limited.

**Dave Clark** (1010 Moss Street)

**Comment:** I live immediately next to the Art Gallery and I'm in full support of this proposal. I'm very glad the gallery will stay in this area. My family and I have benefitted from the having the gallery here, and we greatly value it as part of the cultural precinct in the neighbourhood. I do not have any problem with the slight increase in height which is proposed.

(APPLAUSE FROM THE FLOOR!)

**Don Cal** (1059 Pentrelew)

**Comment:** I like the art gallery too, but not in this location. Why pour \$21m. into this project? Rezoning just creates problems of noise, space and property values.

**General response from Tom Moore (architect), Oliver Lang (architect), Daniel (xxx?) (transportation planner):**

**Tom Moore** suggested that those concerned about parking should look at Daniel's parking studies to see what a huge amount of work has gone into this.

**Oliver Lang** said that the design team were well aware that parking would be a major issue. But there is very limited opportunity for creating more asphalt parking spaces on the site – where could we put them? We decided that having some plaza space, which would be valuable to the community, would be preferable to having 3 additional parking spaces. We can see what other mitigation is possible, e.g. providing more bicycle stalls.

**Daniel** recommended that people look at the visual presentations on display concerning traffic issues, parking issues, and demand management. The City Council will have all the TDM (traffic demand management) figures when the proposal goes to them. The proposal includes a bike storage shed, showers and lockers, to make it easier for staff to cycle to work. Subsidizing transit use could also be considered. But *most of the time* parking has been shown to be adequate, and 2-hour parking spaces are available on Moss. Special events may need more demand management, and there are potential institutional sites



nearby which might be used, e.g. the School, the Truth Centre. We could think about increasing the number of bike racks, providing chaperones for people to get to their cars parked further away.

**Don Cal** (1059 Pentrelew)

- Q: Will there really be only 7 events per years? People may want to use the new facilities more than they do the old ones, and traffic is likely to increase.
- A: The largest events held at the gallery are for 350 people. We will not be having more events.

**Art Hamilton** (1035 Moss)

- Q: Please explain to us the difference between the old and the new zoning.
- A: The current zoning is specifically for the existing building and its current use. The new Comprehensive Development zone allows a 20% increase in the floor area, and allows a second storey. It also allows a slight increase in special parking. However, the lot coverage does not change significantly. There will be a very slight density increase, but density will still be less than 1:1.
- A: Bob June (RNA) explained that this relatively low floor space ratio is advantageous to the neighbourhood.

**Pamela Manhas** (1320 Purcell)

- Q: I do some work from home, so I'm concerned about what phase of construction would be happening at what time.
- A: There will be a construction manager. A new method of rock removal will be used in place of blasting. There will also be a site superintendent and his/her phone number will be made available. You can also contact the art gallery about any concerns. Neighbours will be kept informed about what is happening.
- Q: Does this mean there will be no blasting?
- A: The renovated building will be lifted up, so some rock removal may be needed, but it is unlikely to be much.

**Pat Kidd** (1025 Moss) or possibly **Pat Woodall** (1011 Moss?)

- Q: I am terrified of blasting, insurance notwithstanding.
- A: There are techniques for mitigating the effects of rock removal.

**Kam Liddar** (1252 Wilspencer)

- Q: Even after this meeting, I am not clear on everything and will want more information.
- A: Please complete the Feedback form with any concerns. You are also welcome contact the design team for any further information that you need.



FEB 17 2015

Planning & Development Department  
Development Services Division**NEIGHBOUR FEEDBACK FORM**

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- ☒ I have reviewed in full the proposal and plans for the development at 1040 Moss St., AGGV
- ☒ I am aware of both the existing zoning and proposed zoning.
- ☒ I have been informed of the proposed number of dwellings.
- ☒ The plans I have seen include clearly-indicated heights, setbacks, and site coverage, plus context drawings to show views of how the development will fit the surroundings from all four sides
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- Or
- ☒ A proposal for blasting or tree removal has been explained to me.
- ☒ The proposed landscaping for our common property line is acceptable to me.
- ☒ The proponent's explanation addressed my major questions about the proposal.
- ☒ I realize that the plans I have seen may change considerably, and that it would also be in my best interest to view the plans presented at the community meeting.

Please check one of the following to indicate your objection to or support for this development as it has been proposed to date.

- ☒ I support the concept being proposed at this time.
- ☐ I do not have an opinion at this time.
- ☐ I am opposed to this development as it has been proposed.

I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): E. Tillig

Date: Jan 22/15

Address of the owner(s): 1147 Rockland

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca) ) if you have any questions or concerns.



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☐ I have reviewed *not in full yet.* the proposal and plans for the development at 1040 Moss St., AGGV

☒ I am aware of both the existing zoning and proposed zoning.

☒ I have been informed of the proposed number of dwellings.

☒ The plans I have seen include clearly-indicated heights, setbacks, and site coverage, plus context drawings to show views of how the development will fit the surroundings from all four sides

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Please check one of the following to indicate your objection to or support for this development as it has been proposed to date.

☒ I support the concept being proposed at this time. *(I look forward to it...)*

☐ I do not have an opinion at this time.

☐ I am opposed to this development as it has been proposed.

I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): *[Signature]*

Date: *Jan 22, 2015*

Address of the owner(s): *1267 Rockland Ave*

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ([www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.



Received

FEB 17 2015

Planning & Development Department  
Development Services Division**NEIGHBOUR FEEDBACK FORM**

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- ☒ I support the concept being proposed at this time.
- ☐ I do not have an opinion at this time.
- ☐ I am opposed to this development as it has been proposed.

I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): Art Hamilton (Art Hamilton) ☒

Date: 22 Jan 2015 Address of the owner(s): 1035 MOSS

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca) ) if you have any questions or concerns.



Can interesting meeting?

I want to emphasize that I'm (very much) in support of the changes proposed for the AG. - I don't think that the parking is an issue we can't resolve - there are many solutions that don't involve more parking spots.

Unfortunately, a number of speakers (public not the consultants) strayed from the focus on zoning change - Having written that, I will (to a small extent) do the same! I would very much like to see a public coffee/tea shop (or restaurant) up high that takes advantage of the excellent views that will be available from the top floor.

I think the consultants and AG staff and community association folks handled the meeting well - thanks for a job well done!



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Please check one of the following to indicate your objection to or support for this development as it has been proposed to date.

☒ I support the concept being proposed at this time. *LOOKS GREAT.*

☐ I do not have an opinion at this time.

☐ I am opposed to this development as it has been proposed.

I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): *[Signature]*

Date: JAN 22 2014 Address of the owner(s): 1302 ROCKLAND

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.

*HAD TO LEAVE EARLY*





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I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the <sup>neighbour</sup> owner(s): [Signature]

Date: 22 Jan 2014 Address of the <sup>neighbour</sup> owner(s): 802 LANGHAM COURT.

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.



Received  
City of Victoria

FEB 17 2015

Planning & Development Department  
Development Services Division

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I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s):

Date: Apr 30/15

Address of the owner(s): 1008 Cuthbert Gardens

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.

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I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): [Signature]  
Date: Jan 22, 2015 Address of the owner(s): 1149 ROCKLAND AV.

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.



FEB 17 2015

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Development Services Division**NEIGHBOUR FEEDBACK FORM**

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\_\_\_ I support the concept being proposed at this time.

\_\_\_ I do not have an opinion at this time.

✓ I am opposed to this development as it has been proposed.

*Not enough info was provided to tonight, therefore at this time I lean towards NO.*

I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): [Signature]

Date: 1/22/2015 Address of the owner(s): 1252 Wilsperence Place

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ( [www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.



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Planning & Development Department  
Development Services Division**NEIGHBOUR FEEDBACK FORM**

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- ☒ I am opposed to this development as it has been proposed.

I have the following comments or concerns about the proposal (please add a sheet):

Signature(s) of the owner(s): [Signature]

Date: JAN 22, 2015 Address of the owner(s): 1035 PENTRELEW PLACE

Thank you. Please do not hesitate to contact the appropriate director for zoning in the Rockland Neighbourhood Association ([www.rockland.bc.ca](http://www.rockland.bc.ca)) if you have any questions or concerns.

*See letter*



**November 25, 2014**

**Attention: Jon Tupper**

**Re: Art Gallery Rezoning**

**Dear Jon**

I thought it may be best to put my thoughts on paper in advance of our meeting. As you know I purchased my home at 1035 Pentrelew Place from the Art Gallery in June of 2000. I moved here from Dallas Road as I have enjoyed living here and have donated to the AGGV regularly but mostly during the Moss Street Paint In events. The AGGV was a good neighbour in the beginning when it came to removing an existing fence that was on my property and contributing to a new one. I even offered my house as a staging area when a movie was being filmed in the mansion.

In recent years however the initial allure of living next to the gallery has been fading. You're aware that there has been an ongoing issue with lights being left on which has resulted in roughly 6 to 7 calls to ask if they could please ensure they are turned off at night. This has improved significantly with your help but there are still nights where they are left on.

Another area of concern has been the parking in front of my house when there are events at the gallery. I've had to call the authorities on several occasions as late arrivals seem to abandon common sense when parking and have partially blocked my driveway. For the record I'm referring specifically to AGGV events as opposed to Langham Court Theatre events which can also create chaos however are not as significant due to proximity.

The biggest issue I've had in recent years has been the noise generated by events held at the AGGV involving the mansion. While they were a novelty when I first moved here I now find them to be a constant source of irritation and they seem to be increasing in frequency. I equate it to living next to a frat house as most often there is loud music and crowd noise which I can feel and hear inside my home, never mind trying to use my back yard. These events are sometimes during the day (i.e. weddings) but generally speaking the worst offences occur at night. The music and partying goes until 11 and then there is the clean up activity. Unfortunately a common theme at these gatherings is intoxicated people yelling and swearing. And once the party has stopped I hear the clean up staff working until midnight or later who are also guilty of foul language. I spent a lot of money to create a very private back yard with a hot tub and there's no possibility of using it on event nights. I was even asked to stop doing yard work one day as it was disturbing the event that was on at the time. This is not acceptable behavior and extends beyond what is meant to take place in residential neighbourhood.



Over the years the AGGV has publicly discussed how they need to be downtown to attract more tourist interest and walk in traffic. I find it unusual that they now want to spend a large sum of money to upgrade the existing facilities when the same problem will continue to exist. Not to mention that if an upgrade succeeds in attracting more people then we still have the "bull in a china shop" effect of a large enterprise in a residential area. As well, I work from home during the day and have clients attend my home frequently. Should there be an upgrade to the gallery then there will no doubt be a fairly long term impact of construction noise during the day which will further aggravate my position. I have considered selling my home but with this rezoning application and potential long term impact I doubt I could realize the full market potential. When we last met I suggested the AGGV could purchase my home if the space was required for the upgrade. Perhaps now you can better understand my motivation for this suggestion.

In closing I hope you can empathize with why I will be completely and unequivocally opposed to this rezoning process and subsequent upgrades. Of all the AGGV neighbours I am by far the most affected by not only its current format but especially in the event of the proposed upgrade. I've spoken with the City of Victoria zoning staff and the Rockland Neighbourhood Association and have been assured my sentiments will carry significant weight should there be a rezoning attempt. I'm aware that my position may not be favourable to many gallery supporters but they may not understand how this impacts me and my home. Barring any viable options proposed by the AGGV I will be committed to ensuring the rezoning does not take place. Again, my apologies to those affected and the hard work and money spent but I truly hope they understand.

Sincerely

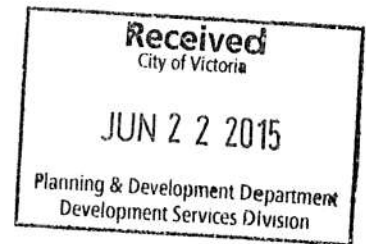
Jim Fields

1035 Pentrelew Place



June 22, 2015

Mayor and Council  
City of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6



To Mayor and Council:

Re: Art Gallery of Greater Victoria Renewal Plans

I'm writing in support of the Art Gallery of Greater Victoria's Moss street expansion projects.

Victoria is uniquely fortunate to have an art scene that has a vibrancy and sophistication commensurate with strong artistic communities much larger than our city. This is a great benefit to the people of Victoria, not only because it contributes greatly to the quality of our lives but also to our economy.

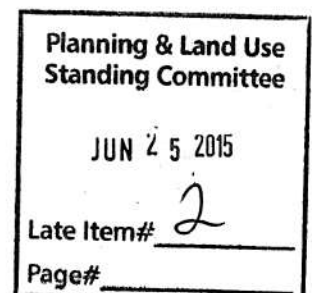
The AGGV has been a leading contributor to our vibrant arts sector for generations. I believe, both as a citizen and as a member of the cultural community in the City of Victoria, that the proposed expansion plans are critical to the institution's future sustainability, and for meeting the growing demands of being Victoria preeminent public art gallery.

Regional growth forecasts indicate a significant increase in population over the next ten years, and a major component and pillar of the health of the community is a strong and vibrant art gallery. This new facility will add an important resource to arts and cultural organizations in this community.

I greatly encourage the approval of this plan by City Council to achieve AGGV's vision for the visual arts in Victoria.

Gratefully for your consideration,

Patrick Corrigan  
Executive Director





June 23, 2015

Mayor and Council  
City of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6

To Mayor and Council:

Re: Art Gallery of Greater Victoria Renewal Plans

We are writing to you in support for the Art Gallery of Greater Victoria's efforts to renew their Moss Street building.

As a member of the cultural community in the City of Victoria and surrounding region and, more specifically, of the area east of downtown encompassing the Art Gallery of Greater Victoria and the Craigdarroch Castle Historical Museum, we strongly support the Gallery's plans for their facility renewal. Strong and vibrant cultural institutions are a crucial component of the health of the community.

The Gallery is one of the most important cultural institutions in Victoria. In order to continue developing and further enhance services to our community and visitors, the Gallery needs to improve its facilities on Moss Street. This new facility will become an important additional resource to arts and cultural organizations.

We hope you will join us in the support of the Gallery's plans and ensure that Victoria receives this new centre for presentation and promotion of visual arts, so much needed by this community.

Thank you for your consideration.

Best regards,

Stefan and Magda Opalski

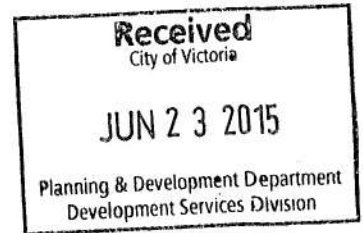
Pacific North-West Heritage Homes Foundation - Wentworth Villa  
Trustees  
1156 Fort St.  
Victoria, BC  
V8V 3K8

**LANGHAM  
★ COURT ★  
THEATRE**

**Victoria Theatre Guild &  
Dramatic School**  
805 Langham Crt,  
Victoria, BC V8V 4J3  
Box Office/Admin (250) 384-2142  
[www.langhamtheatre.ca](http://www.langhamtheatre.ca)

June 23, 2015

Mayor and Council  
City of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6



Dear Mayor and Council:

**Re: Art Gallery of Greater Victoria Renewal Plans**

Dear Mayor and Council,

Please accept this letter as support for the Art Gallery of Greater Victoria's application for rezoning. We feel that the Gallery is an essential cultural institution in our city and we support its efforts to remain relevant to a growing and changing population.

Langham understands the challenges of being accessible to the public while respecting the needs of neighbours to quietly enjoy their residences. In our experience, the Gallery has accomplished this balancing act extremely well and we hope the City will look favourably upon its plans.

Best Regards,

Luke Krayenhoff  
President  
Langham Court Theatre





*Tania Miller, Music Director*

June 22, 2015

Mayor and Council  
City of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6

To Mayor and Council:  
Re: Art Gallery of Greater Victoria Renewal Plans

Please regard this as our letter of support for the Art Gallery of Greater Victoria's efforts to renew their Moss Street building.

As a member of the cultural community in the City of Victoria and surrounding region, we strongly support the Gallery's plans for their facility renewal. Regional growth forecasts indicate a significant increase in population over the next ten years, and a major component and pillar of the health of the community is a strong and vibrant cultural precinct.

The Gallery is a significant component in the cultural fabric of our community and we believe strongly and passionately in its decision to evolve and improve its facilities on Moss Street. This new facility will add an important resource to arts and cultural organizations in this community.

We urge you to stand with us to ensure Victoria receives this centre for the celebration of visual art; the community the Gallery serves has waited many years for this to happen.

Thank you for your consideration.

Best regards,

A handwritten signature in black ink, appearing to read "Mitchell Krieger". The signature is fluid and cursive, with a long horizontal stroke at the end.

Mitchell Krieger, Executive Director  
Victoria Symphony  
620 View Street, Victoria V8W 1J6

**Janet Hawkins**

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**To:** Janet Hawkins (jhawkins@victoria.ca)  
**Subject:** FW: AGGV rezoning

**From:** Jim Fields [REDACTED]

**Sent:** Monday, Jun 8, 2015 11:54 AM

**To:** Helen Cain; Lisa Helps (Mayor); Marianne Alto (Councillor); Chris Coleman (Councillor); Ben Isitt (Councillor); Jeremy Loveday (Councillor); Margaret Lucas (Councillor); Pam Madoff (Councillor); Charlayne Thornton-Joe (Councillor); Geoff Young (Councillor)

**Subject:** AGGV rezoning

Good morning Mayor, Council and Helen.

I wanted to touch base with a few more considerations with regards to the art gallery rezoning issue. One concern is what level of credence is given to the studies that were supplied by independent firms on behalf of the AGGV. I know they have indicated in their proposal that parking is not an issue but I maintain it is an issue now and will only get worse should a new facility be built. I have attached two photos that were taken Monday, May 11<sup>th</sup> at approximately 11 a.m. and show that the gallery parking lot was full so the overflow went immediately to an area that is residential only.

Also, the graphic representations of what the new gallery will look like from different angles are subliminally different in favour of the gallery. In the attached Moss View the perspective has been changed so that the new building looks roughly the same size as the existing building which it won't of course. The Willspencer view has had the top cropped off so you don't get a sense of the enormity of the new addition. In the Pentrelew View they have altered the angle so that the one with the new building in it includes more of the Spencer Mansion which again mitigates the impact of the addition. And in all the views the tones and colours of the new building have been muted to reduce the visual impact of a building that does not suit the character of the Rockland neighbourhood.

Despite repeated requests to the gallery to be considerate of the noise levels they had an event on May 27<sup>th</sup>. The noise level was again far in excess of what our area bylaws allow. As a quiet zone we are supposed to be below 55 decibels during the day up to 10 p.m. and 45 decibels after that. I've attached a recording made just before 11 p.m. and my phone's decibel reading was between 60 and 65. It was recorded from the side of my house that faces the gallery's courtyard but I was standing in room with the window open. As with the parking, the AGGV says they will ensure this will not be problem going forward but why would they not be doing anything about these problems now?

Lastly, I made up some posters to place on telephone poles in our neighbourhood (attached) and I was approached by several people who also feel strongly that the gallery should not be enlarged. One of them lives directly across from the gallery on Willspencer and is tired of the parking and noise issues and apparently finding bottles on her lawn. She indicated that she had approached the AGGV but said that it was like the people at the gallery don't care about the neighbours. I think that speaks volumes.

Thanks as always for your time and considerations.

Jim Fields  
 1035 Pentrelew Place

Planning & Land Use Standing Committee	
JUN 25 2015	
Late Item#	2
Page#	



**Janet Hawkins**

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**Subject:** FW: Public Feedback - 1040 Moss  
**Attachments:** Lot Plan.pdf; Feb 27 Recording.m4a; AGGV Land Contract.pdf; Pentrelew View.pdf; Moss View.pdf; Willspencer View.pdf

**From:** Jim Fields <mailto:jimfield@shaw.ca>  
**Sent:** Monday, April 20, 2015 2:09 PM  
**To:** Lisa Helps (Mayor); Marianne Alto (Councillor); Chris Coleman (Councillor); Ben Isitt (Councillor); Jeremy Loveday (Councillor); Margaret Lucas (Councillor); Pam Madoff (Councillor); Charlayne Thornton-Joe (Councillor); Geoff Young (Councillor)  
**Cc:** 'Janet Simpson'; [donaldhamilton@shaw.ca](mailto:donaldhamilton@shaw.ca)  
**Subject:** Rezoning application for the Art Gallery of Greater Victoria

Dear Mayor and Council

Firstly, thank you all so much for taking the time to read and hopefully respond this email. While it may represent a mere drop in the bucket of your daily emails it is of huge importance to myself and my neighbourhood so I respectfully ask that you give it due consideration.

As some of you already know, I own the property at 1035 Pentrelew Place and as you can see from the attached lot view, I would definitely be one of, if not the most affected by the AGGV rezoning should it proceed. I want to not only express my concerns but as well, hopefully try to understand the rezoning process from your viewpoint in terms of what weight you give to those most directly affected. My concern to be honest is that the decision to rezone may be swayed by gallery supporters who are not affected by being in close proximity. I want to be very clear, I support art in the community and I have supported the AGGV with donations since moving here in 2000. The unfortunate situation is that the AGGV is already an issue for local residents in terms of parking and noise issues so any increase in size and scope would only compound this situation.

**Parking.** The AGGV has spent considerable time and money during the planning stages to give the appearance that they are concerned about parking but they have not really addressed the actual issues. It is irresponsible to suggest the impact on our area will not worsen with a larger gallery. Currently, during daytime events, the parking requirements exceed the AGGV's current venue and therefore populates the surrounding areas. This is not including the many special evening events where surrounding streets are choked with cars and traffic. Despite the AGGV's planners suggesting alternative parking will be promoted, patrons of the gallery will continue to squeeze in as close to the entrance as possible as it's human nature. I've previously had to ask for cars to be ticketed as they park with a distinct lack of care and have blocked my driveway. And this is without a theatre night at Langham Court. The area is simply not meant to handle the kind of traffic generated by the gallery which can only escalate with an expansion.

**Noise.** This may not be as much of a concern for others in the area but it is a major problem for my home. I've spent a considerable amount of time and money creating a relaxing environment in my back yard, especially in the evenings. I've installed a hot tub under a gazebo which is situated about 6 feet from the south east corner of the gallery courtyard. During the many functions that the gallery has, the attendees utilize the courtyard. This has two effects, one is that they have the doors open to the courtyard and the music is so loud it's easy to hear inside my home with the windows closed. The second is that more often than not, there is alcohol served to patrons which results in loud intoxicated behaviour. I have attached a sound file which I recorded February 27<sup>th</sup> between 9 and 10 p.m. with my phone (not a sophisticated recording device!). I also



checked the db level and it was definitely above bylaw limits. This was while in my hot tub even though it sounds like I'm at the event. Sadly one of the patrons felt the need to urinate in this corner which was just adding insult to injury. Now consider that all this happened after I had met with Jon Tupper and expressed my frustration with the noise and rowdiness. Definitely not what I would consider a good neighbour and again, it's not unreasonable to expect this to increase with larger gallery functions. As well there are plans for a roof top lounge which will also be a factor.

**Height.** The 50 year land contract between the City and the AGGV which does not expire until 2026 is very clear that with the exception of minor variations, the height of the building must stay within the confines of the contract. Adding another large storey onto the building will quite simply dwarf my home. I've attached a page from the AGGV renewal document (Pentrelew View) which gives some idea of the change in height although they chose not to use the same photo angle for their rendering which mitigates the height impact. Sadly the amount of visible blue sky from my property will be diminished.

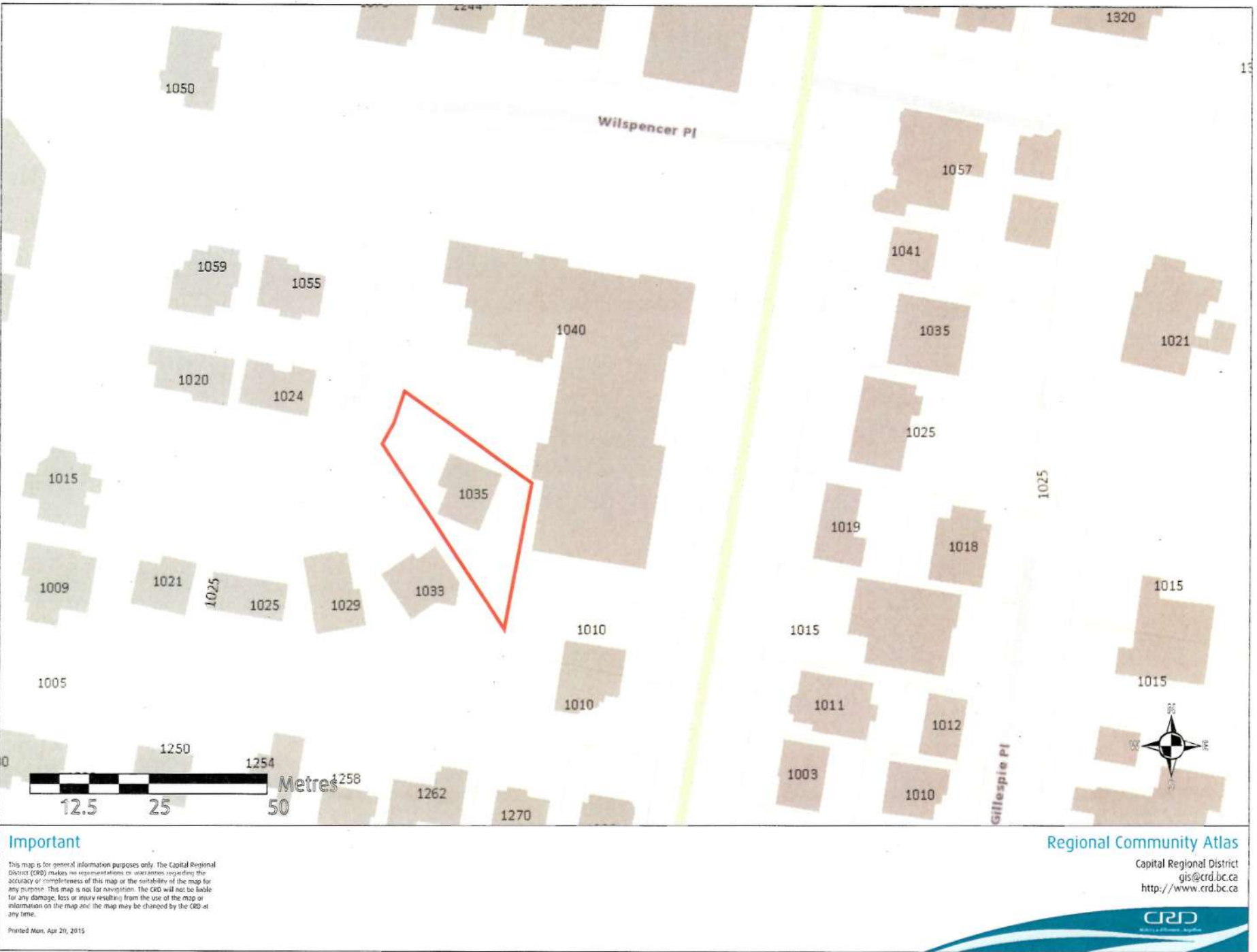
**Design.** If you consider what the Rockland neighbourhood signifies, which to me is the original character of an early Victoria, then the proposed design of the gallery expansion is simply outlandish and ill conceived. Rockland consists of mostly stately residences of varying sizes that represent some of the most prominent architects of Victoria. When the AGGV was created, the newer building was designed and constructed to be an understated element in order to highlight Spencer Mansion and to blend into the surrounding neighbourhood behind it's abundant tree camouflage. When viewed from every angle, the historic Spencer building is what stands out. Should this rezoning proceed then the character and elegance of this building will be lost. It's like playing Mozart and heavy metal at the same time, one will definitely drown out the other. If you view the attachments (Moss View and Wilsperencer View), hopefully you will see what I see. A garish modern building that is extremely out of place given the character that Rockland exudes. Oddly enough they planner has used a cropped photo in the Wilsperencer View page so as to hide the impact of the height of the building.

In closing, I hope I have been able to present my thoughts in a manner that will resonate with you all should this come to a vote. If the gallery wants to expand then they should be committed to a highly visible and accessible location conducive to increased traffic like most galleries in the world.

I am considering starting a petition so could you please let me know if this is an acceptable vehicle for representing neighbourhood views? Feel free to contact me and if any of you would like to visit my property and walk the area I'd appreciate it very much and thanks to Pam Madoff for already visiting. Thanks again for your considerations.

Yours sincerely,

Jim Fields  
1035 Pentrelew Place



Status: Registered

Doc #: E38871

RCVD: 1976-I

NO. 6883

A B Y - L A W

To authorize execution of  
a Land Use Contract between  
The Corporation of the City  
of Victoria and Art Gallery  
of Greater Victoria

E38871

The Municipal Council of the Corporation of  
the City of Victoria enacts as follows:

1. This by-law may be cited as the "Art Gallery  
of Greater Victoria Land Use Contract Authorization  
By-law, 1975".

2. A Land Use Contract shall be entered into with  
Art Gallery of Greater Victoria in respect of lands  
in the City of Victoria in the Province of British  
Columbia described as, First:

Lots 33, 34 and Lot A,  
(D. D. 272472-1),  
Fairfield Farm Estate,  
Victoria City,  
Plan 3866

and Secondly:

Lot 19,  
Fairfield Farm Estate,  
Victoria City,  
Plan 3866

3. The said Contract shall be in the form of a  
draft thereof, filed with and initialed by the City  
Clerk.

4. The execution of the said Contract on behalf of  
the City is hereby authorized.



Status: Registered

Doc #: E38871

RCVD: 1976

Passed by the Municipal Council the 13th day of  
November , A. D., 1975.

Reconsidered, adopted and finally passed by an  
affirmative vote of at least two-thirds of all the  
members of the Municipal Council the 11th day of  
December , A. D., 1975 after a Public Hearing  
duly executed, notified and held.

"F.M. WALLER"

"G.P.A. POLLEN"

CITY CLERK

MAYOR (L.S.)

Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQST:

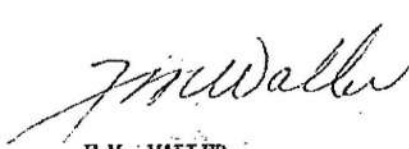
2  
COPY OF RESOLUTION PASSED BY THE VICTORIA CITY  
COUNCIL AT ITS MEETING HELD ON 26TH FEBRUARY, 1976

E38871

RE EXTENSION OF TIME FOR REGISTRATION OF LAND USE CONTRACT -  
ART GALLERY OF GREATER VICTORIA.

THAT, pursuant to the provisions of paragraph 12 of the Land  
Use Contract with the Art Gallery of Greater Victoria dated  
12th December, 1975, the period of days stipulated by the con-  
tract for its registration in the Land Registry be extended by  
a further period of 60 days.

I HEREBY CERTIFY that the above is a true copy.

  
F.M. WALLER,  
CITY CLERK,  
VICTORIA, B.C.

Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQST: 201

1

3

E38871

THIS LAND USE CONTRACT made in triplicate  
the 12 day of December A.D. 1975.

BETWEEN:

THE CORPORATION OF THE CITY OF VICTORIA,  
a municipality constituted under the laws  
of the Province of British Columbia

(hereinafter called "the City")

OF THE ONE PART

AND:

ART GALLERY OF GREATER VICTORIA,  
a society duly incorporated under the  
provisions of The Societies Act having  
an office at 1040 Moss Street, Victoria,  
British Columbia

(hereinafter called "the Owner")

OF THE OTHER PART

WHEREAS:

APR-76 695008 Lsd 3

A. It is provided by Subsection (2) of Section 702A  
of the Municipal Act, as amended, that a municipal council  
may by by-law amend a zoning by-law to designate areas of  
land within a zone as development areas;

B. The lands hereafter described are lying within  
a zone as defined and delineated by By-law Number 4382,  
being a by-law of the City cited as the "Zoning By-law,  
1956", as amended, and the Municipal Council of the City  
has by a by-law Number 6844, cited as the "Zoning By-law,  
1956, Amendment By-law (No.431), 1975" amended the said  
By-law Number 4382 to designate the said lands within the  
said zone as a development area;

C. It is provided by Subsection (3) of the aforesaid  
Section 702A of the Municipal Act that upon the application  
of the owner of land in a development area or his agent the  
Municipal Council may by by-law, notwithstanding any by-law of the  
Municipality or Sections 712 or 713 of the Municipal Act enter

From reg. Land Registry Act (S.C. 50)  
18 day of April 1976  
received at the time  
of registration on the register  
H. T. Macdonald, Registrar of the  
Land Registry Office

checked by G. W. W. + O.K.

1976  
NATURE OF INTEREST Land Use Contract  
DECLARED VALUE  
DISPOSITION OF C.T.  
PLEASE MERGE

APPLICANT  
AS SOLICITOR/AGENT FOR  
THE CORPORATION OF THE  
CITY OF VICTORIA,  
1 CENTENNIAL SQUARE,  
VICTORIA, B.C. V8V 1P6  
PHONE 385-5711  
% VICTORIA REGISTRY SERVICES INC.



Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQST: 1

- 2 -

4

into a land use contract containing such terms and conditions for the use and development of the land as may be mutually agreed upon and that thereafter the use and development of the land shall notwithstanding any by-law of the Municipality or the said Sections 712 or 713 be in accordance with the land use contract;

D. The Owner is the registered owner of an estate in fee simple absolute in possession in and to the said lands.

E. An application has been made on behalf of the owner of the lands, as defined in the Municipal Act, to the Municipal Council of the City for this land use contract;

F. It is provided by Subsection (4) of said Section 702A of the Municipal Act that a land use contract entered into as aforesaid shall have the force and effect of a restrictive covenant running with the land and shall be registered in the Land Registry Office by the Municipality;

G. It is provided by Subsection (6) of the said Section 702A of the Municipal Act that a municipal council shall not enter into a land use contract until it has held a public hearing, notice of which shall have been published in the manner prescribed in Section 703 of the Municipal Act and except upon the affirmative vote of at least two-thirds of all members of the council;

H. The Municipal Council of the City has held a public hearing with respect to the matter of this land use contract, notice of which was duly published in the manner prescribed;

I. This land use contract and the entering into of the same by the City have been duly authorized by By-law No. 6883 cited as the "Art Gallery of Greater Victoria Land Use Contract Authorization By-law, 1975", which by-law was adopted by an affirmative vote of at least two-thirds of all the members of the Municipal Council of the City at the time and

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2c

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Doc #: E38871

RCVD: 1976-04-07 RQST: 2

- 4 -

thirty-four (34) surface parking spaces.

- 3816815  
22
- (ii) Lot 19, Fairfield Farm Estate, Victoria City,  
Plan 3866 shall not be used except for retention of the existing residence thereon as a single family dwelling until such time as in the opinion of the City Council the prevailing traffic conditions warrant use of the said lot for the provision of additional parking and upon Council so resolving the Owner shall at its expense within ninety days of such resolution demolish or remove the existing residence thereon and construct thirteen (13) automobile parking spaces as designated in the site plan of the drawings under the notation "future parking" and from the date of demolition or removal of the said residence the said lot shall not be used except for parking and uses incidental thereto.

2. Before and during the course of construction the Owner may apply for minor modifications to the said drawings, not having the effect of increasing or reducing the number of storeys of the proposed building or of changing the essential nature, appearance or character of the building or the uses thereof, if such application is necessary in order to comply with generally accepted engineering or safety standards and practices or to comply with building or fire prevention regulations.

3. An application pursuant to paragraph 2 may be granted in writing by the Director of Community Development, in his discretion, or may be referred by him to the City's Municipal Council for its decision in its discretion, and he shall in any event refer to the Council any application for permission to increase the height or density of any part of the building.



Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQST: 1

- 5 -

4. If, due to technological evolution or other reasons, automobiles are no longer in general use, or cannot gain access to the said lands the City Council may, by a vote of at least two-thirds of all its members and from time to time, permit the areas reserved for automobile parking to be put to other uses, ancillary to the principal use of the said Art Gallery building.

5. If there is any inconsistency between the wording of this land use contract and the description on the said drawings of the uses and enjoyment of the said lands and building then the wording used in the land use contract shall prevail.

6. The Owner prior to registration of this contract will at its expense consolidate by Subdivision Plan Lots 33, 34 and Lot A (D.D.272472-1) Fairfield Farm Estate, Victoria City, Plan 3866 into one parcel and no part of the lands mentioned in this contract shall after its execution be subdivided without the prior consent in writing of the City.

7. The covenants on the part of the Owner herein shall be binding upon and run with the said lands and every part thereof, and shall enure to the benefit of and be enforceable by and against the City, the Owner and their respective successors and assigns.

8. The Owner acknowledges that it has not been induced to enter into this contract with the City by any representation of fact or law made by or on behalf of the City.

9. At the expiration of the period of fifty (50) years referred to in paragraph 1 hereof the use of the said lands shall be controlled by the provisions of the Zoning By-law of the City in force in respect of the zone comprising the said lands at that time, and, in default of such Zoning By-law, shall be governed by the provisions of this land use contract until a

Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQ

- 6 -

Zoning By-law applicable to these lands is enacted. If the use of these lands pursuant to the terms of this contract is in conflict with the provisions of the Zoning By-law in force at the expiration of the period of fifty years as aforesaid then such use shall be deemed to be a lawful non-conforming use.

10. The City covenants and agrees with the Owner that notwithstanding anything to the contrary contained in the aforesaid "Zoning By-law, 1956" or any amendment thereto or any by-law or by-laws that may hereafter be adopted in substitution for or in place thereof but subject always to this land use contract and to any other applicable by-law or by-laws of the City for the time being in force and to any and all statutes, regulations, rules and orders affecting the said lands or the use thereof for the construction, reconstruction or maintenance of the said building or the use thereof the Owner may lawfully undertake and carry to completion the work of constructing the said building on the said lands and may thereafter use the said building and the said lands in the manner and for the purpose hereinbefore set forth until this land use contract expires at the end of fifty years, PROVIDED ALWAYS that any zoning or other by-law now or hereafter in force in respect of the said lands or any zone or area comprising the said lands shall, to the extent that it is consistent with the previous provisions of this land use contract, apply to and govern the use of the said lands.

11. This land use contract shall be null and void ab initio notwithstanding the execution thereof unless within ninety (90) days after the execution hereof by the City it has been registered in the Land Registry Office in the City of Victoria as a first charge against the said lands of which Lots 33, 34 and Lot "A" (D.D.272472-1) Fairfield Farm Estate, Victoria City, Plan 3866 shall have been first consolidated into one parcel, having priority over any and all other restrictive

Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQ

- 7 -

covenants and any and all liens, entries, judgments, mortgages, agreements, leases or other encumbrances or charges of whatsoever kind or description save and except that certain restrictive covenant registered under No.232986-G, Right of Way registered under No.406043-G and Crown reservation No.92441-G; PROVIDED that if the City shall not within the period of fifteen (15) days after the execution hereof apply to register this land use contract as aforesaid the Owner may and is hereby irrevocably authorized to apply to register the same as the agent of the City and the City shall for that purpose deliver to the Owner a fully executed copy of this land use contract duly attested and in all respects in registerable form together with a true copy of the by-law authorizing execution of the same by the City, certified as such by the City Clerk.

12. The City may, before the expiration of the period of ninety days mentioned in the preceding paragraph extend in writing such period of ninety days, and may further in writing extend such period during any extension or extensions thereof.

13. The Owner shall not be entitled to compensation from the City for any easement reasonably expropriated by the City for public utilities except to the extent that the expropriation causes or results in structural or material changes, affecting any building or structure on the said lands.

14. The Owner may grant any easement or charge required by any government or local authority having the power to demand or expropriate such easement or charge, anything to the contrary herein contained notwithstanding.

15. Time shall be of the essence of this land use contract.

IN WITNESS WHEREOF the corporate seals of the City



Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQ

- 8 -

10

and the Owner have been hereunto affixed in the presence of  
their proper officers duly authorized in that behalf, the day  
and year first above written.

The Corporate Seal of THE CORPORATION  
OF THE CITY OF VICTORIA was hereunto  
affixed in the presence of:

*J. M. Walsh*  
CITY CLERK

*P. H. Miller*  
MAYOR

The Corporate Seal of ART GALLERY  
OF GREATER VICTORIA was hereunto  
affixed in the presence of:

*A. M. (on)* PRESIDENT  
*Virginia H. H. H. H.* HON. SECRETARY

Doc #: E38871

RCVD: 1976-04-07 RQST: 2

Form No. 55

Victoria Book & Stationery Co. Ltd.

## Land Registry Act

FORM Q. (Section 59).

***For the Secretary (or other Officer) of a Corporation***

I HEREBY CERTIFY that, on the 12<sup>th</sup> day of December, 1975  
at Victoria in the Province of British Columbia

FREDERICK MORRAN WALLER [whose identity

~~has been proved by the evidence on oath of..~~

who is] personally known to me, appeared before me and acknowledged to me that he is the CITY CLERK

THE CORPORATION OF THE CITY OF VICTORIA  
of \_\_\_\_\_, and that he is the person

who subscribed his name to the annexed instrument as CITY CLERK of the said CORPORATION

.....and affixed the seal of the..... said CORPORATION  
to the said instrument, that he was first duly authorized to subscribe his name as aforesaid, and affix the said  
seal to the said instrument and that such Corporation is legally entitled to hold and dispose of land in the  
Province of British Columbia.

IN TESTIMONY whereof I have hereto set my hand and Seal of Office at

Victoria, this 12<sup>th</sup> day of  
December, in the year of our Lord one thousand nine hundred  
and seventy-five

~~A. Henry Parks is and for the Province of British Columbia~~  
A Commissioner for taking affidavits for British Columbia.

NOTE.—Where the person making the acknowledgment is personally known to the officer taking the same, strike out the words in brackets.

Page

Status: Registered

Form No. 35.

Doc #: E38871

RCVD: 1976-04-07 RQST: 2

Victoria Book &amp; Stationery Co. Ltd.

**Land Registry Act**

FORM Q. (Section 59).

*For the Secretary (or other Officer) of a Corporation*

I HEREBY CERTIFY that, on the 5<sup>th</sup> day of November, 1975.  
 at Victoria, in the Province of British Columbia

DONALD McMILLAN COX [whose identity

has been proved by the evidence on oath of

who is] personally known to me, appeared before me and acknowledged to me that he is the

President of ART GALLERY OF GREATER VICTORIA, and that he is the person

who subscribed his name to the annexed instrument as President of the said ART GALLERY OF GREATER VICTORIA

and affixed the seal of the ART GALLERY OF GREATER VICTORIA to the said instrument, that he was first duly authorized to subscribe his name as aforesaid, and affix the said seal to the said instrument and that such Corporation is legally entitled to hold and dispose of land in the Province of British Columbia.

IN TESTIMONY whereof I have hereto set my hand and Seal of Office at

Victoria, this 5<sup>th</sup> day of November, in the year of our Lord one thousand nine hundred and seventy-five

[Signature]  
 A Notary Public in and for the Province of British Columbia  
 A Commissioner for taking affidavits for British Columbia.

NOTE.—Where the person making the acknowledgment is personally known to the officer taking the same, strike out the words in brackets.



Status: Registered

Doc #: E38871

RCVD: 1976-04-07 RQST: 20

PLAN # E38871

Too LARGE To FILM

# RENEWAL

## ART GALLERY OF GREATER VICTORIA

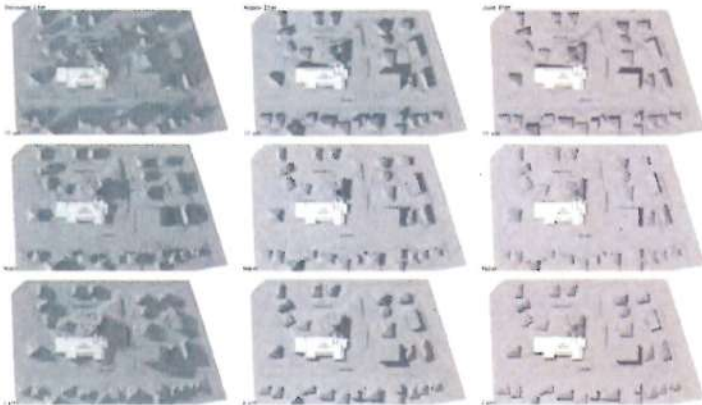
### VIEWS + SUN/SHADOW STUDIES



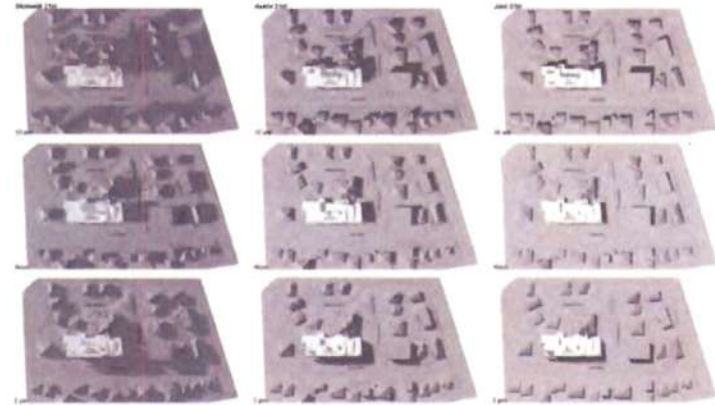
EXISTING VIEW FROM PENTRELEW



PROPOSED VIEW FROM PENTRELEW



SHADOW STUDIES OF EXISTING



SHADOW STUDIES OF PROPOSED



# RENEWAL

## ART GALLERY OF GREATER VICTORIA

### VIEWS



EXISTING VIEW FROM MOSS ST



PROPOSED VIEW FROM MOSS ST



**RENEWAL**

**ART GALLERY OF GREATER VICTORIA**

**VIEWS**



EXISTING VIEW FROM WILSPENCER



PROPOSED VIEW FROM WILSPENCER

**Janet Hawkins**

---

**Subject:** FW: Proposed AGGV rezoning

**From:** Helen Cain  
**Sent:** Monday, February 23, 2015 9:41 AM  
**To:** Monica Dhawan; Janice Appleby  
**Cc:** Jim Fields [mailto:jimfields@shaw.ca]  
**Subject:** FW: Proposed AGGV rezoning

Hi Monica and Janice,

I have spoken to Mr. Fields, and he wishes to have this correspondence provided to Mayor and Council.

Best,

Helen Cain MCIP RPP  
Senior Planner  
Community Planning and Sustainable Development  
City of Victoria  
1 Centennial Square, Victoria BC V8W 1P6

T 250.361.0282 F 250.361.0388



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**From:** Jim Fields [mailto:jimfields@shaw.ca]  
**Sent:** Friday, Feb 20, 2015 8:41 PM  
**To:** Helen Cain  
**Cc:** [vice-president@rockland.bc.ca](mailto:vice-president@rockland.bc.ca); [president@rockland.bc.ca](mailto:president@rockland.bc.ca)  
**Subject:** Proposed AGGV rezoning

Hi Helen. I felt it necessary to contact you and to add some further input regarding the letter you received from the Rockland Neighbourhood Association (attached). I'd like to address my concerns with this rezoning that are not covered in the letter. For the record my home at 1035 Pentrelew Place would be impacted most should this rezoning be allowed.

The first item is that it is inaccurate to suggest the Gallery is not expecting increases. They are hoping to increase square footage in order to display more art. There are also new areas that would be a draw such as a larger coffee shop and a roof top lounge. Just the very presence of a larger, newer art gallery would also surely be a factor in drawing larger crowds. I have already been dealing with noise issues with the AGGV and with the additions they plan I can only see this getting worse, especially with an outside lounge right above my back yard.

There are many of us in the area that are simply not happy about the parking as it exists now never mind after a renovation. During the meeting it was suggested that steps could be taken to introduce more bicycle parking and offsite parking areas. Sadly the simple truth is that the vast majority of art gallery patrons arrive by car and as most drivers are apt to do, they find the closest parking regardless of whether it's blocking residents driveways. The gallery also suggests that this doesn't happen very often but in fact it occurs quite regularly that our streets are plugged.

The letter also suggests that little concern was expressed about the proposed height of the building. Unfortunately I was not in a position to speak out about the height as I was relegated to the outer room due to a lack of seating. I have expressed my concerns about the proposed height previously by email to the RNA and as well I've had Pamela Madoff visit my home to view how the proposed changes would be a major impact on my residence. There is precious little light coming into my back yard area now and increasing the gallery by another floor or more would severely mitigate this as well as dramatically increase the institutional feel that should simply not exist in a residential neighbourhood. I have also spoken with my elderly neighbour at 1033 Pentrelew and while they are not able to attend meetings they are definitely not in favour of the rezoning and expansion either.

Please advise me of what course I need to take to ensure that my position is understood by planners, council and the Mayor. As the most affected resident in the area around the AGGV it is of paramount importance that this rezoning not be allowed to proceed. Surely those most affected should have the lion's share of the ability to deter this business from expanding in our quiet residential area.

Thank you for your time. I would welcome an opportunity to speak to you in person at your earliest convenience.

Yours sincerely,

Jim Fields  
1035 Pentrelew Place  
Victoria, BC, V8V 4J5





510 FORT STREET, 2ND FLOOR  
VICTORIA, BC V8W 1E6  
250.383.8833  
openspace@openspace.ca  
www.openspace.ca  
Charitable #11906 8815 RR 0001

Mayor and Council  
City of Victoria  
1 Centennial Square  
Victoria, BC  
V8W 1P6

June 25, 2015

To Mayor and Council:

Re: Art Gallery of Greater Victoria Renewal Plans

Open Space Arts Society writes in support for the Art Gallery of Greater Victoria's efforts to renew their Moss Street building.

As a member of the cultural community in the City of Victoria and surrounding region, we strongly support the Gallery's plans for their facility renewal. Regional growth forecasts indicate a significant increase in population over the next ten years, and a major component of the health of the community is a strong and vibrant cultural precinct.

The Gallery is a significant component in the cultural fabric of our community and we believe strongly and passionately in its decision to evolve and improve its facilities on Moss Street. This new facility will contribute important arts and cultural infrastructure in this community. As the major public gallery in the provincial capital, the AGGV's facility upgrade is overdue. Its programs and collections have outgrown the current facility.

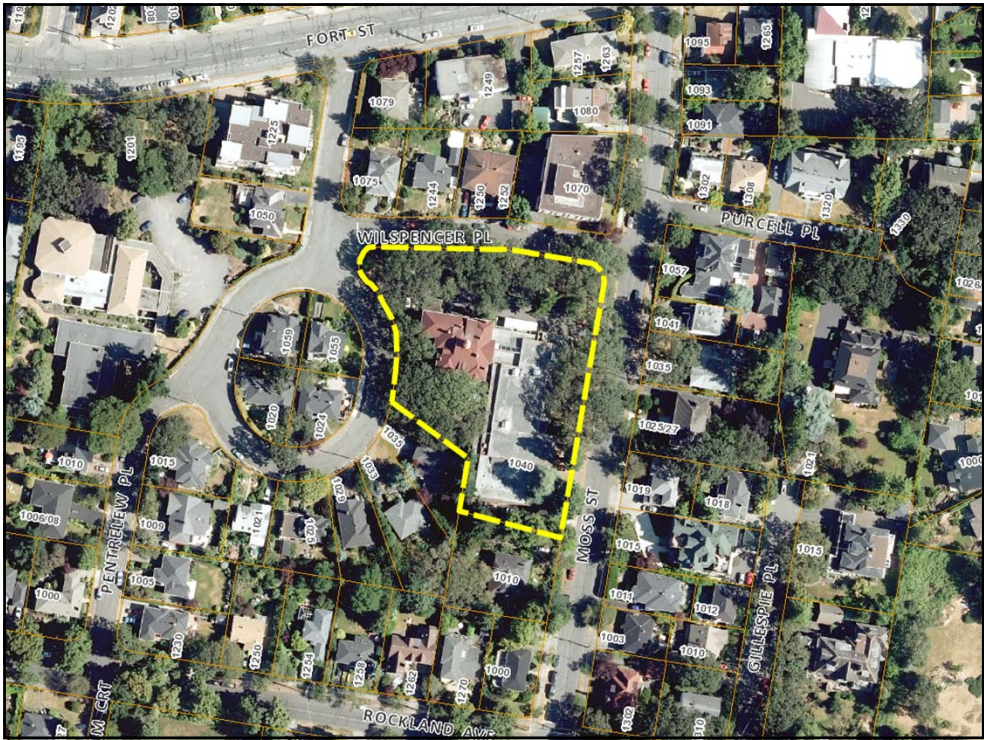
We urge you to stand with us to ensure Victoria receives this centre for the celebration of visual art; the communities served by the Gallery have waited years for this renewal.

Thank you for your consideration.

Yours truly,

A handwritten signature in black ink, appearing to read "Helen Marzolf".

Helen Marzolf  
Executive Director  
Open Space Arts Society  
510 Fort Street  
Victoria BC V8W 1E6



Wils Spencer Place: AGGV Front Entry





**Wilspencer Place: Spencer Mansion + addition**



**Pentrelew Place: Spencer Mansion**





**Moss Street: Side Elevation**



**Moss Street: Views of Spencer Mansion**



**Moss Street: Views of Spencer Mansion**



**Moss Street: Views of Spencer Mansion**





**Moss Street: Views of Spencer Mansion**



**Moss Street: Views of Spencer Mansion**





**Moss Street: Views of Spencer Mansion**



**Moss Street: Adjacent House**



**Moss Street: Streetscape**



**Wilspencer Place: Streetscape**





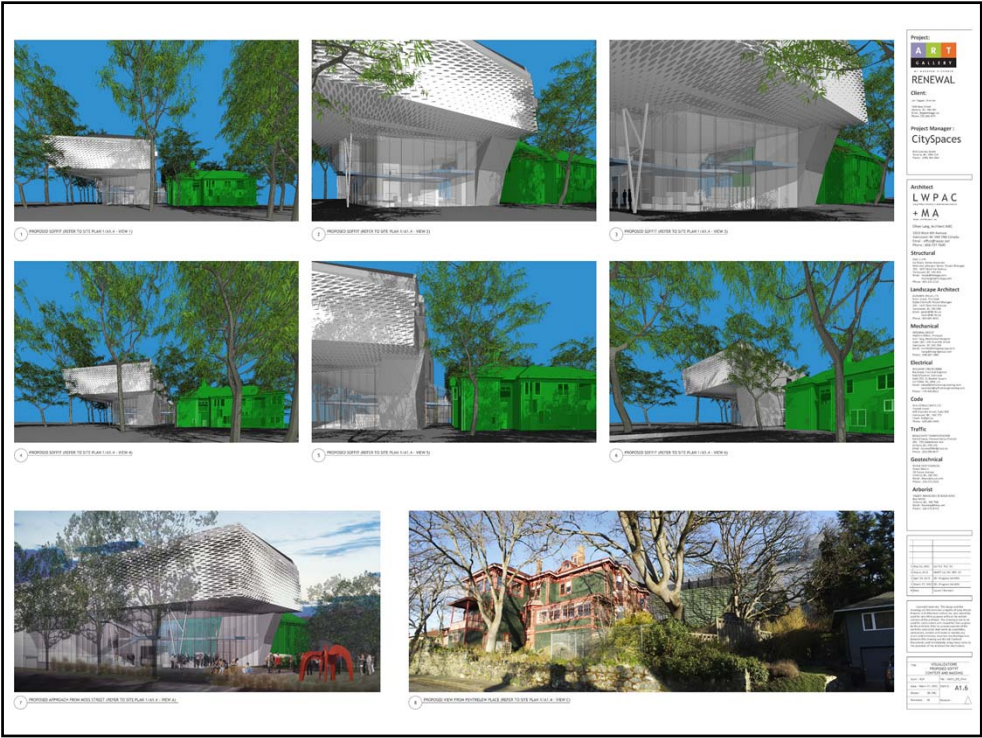
**Pentrelew Place: Adjacent House**

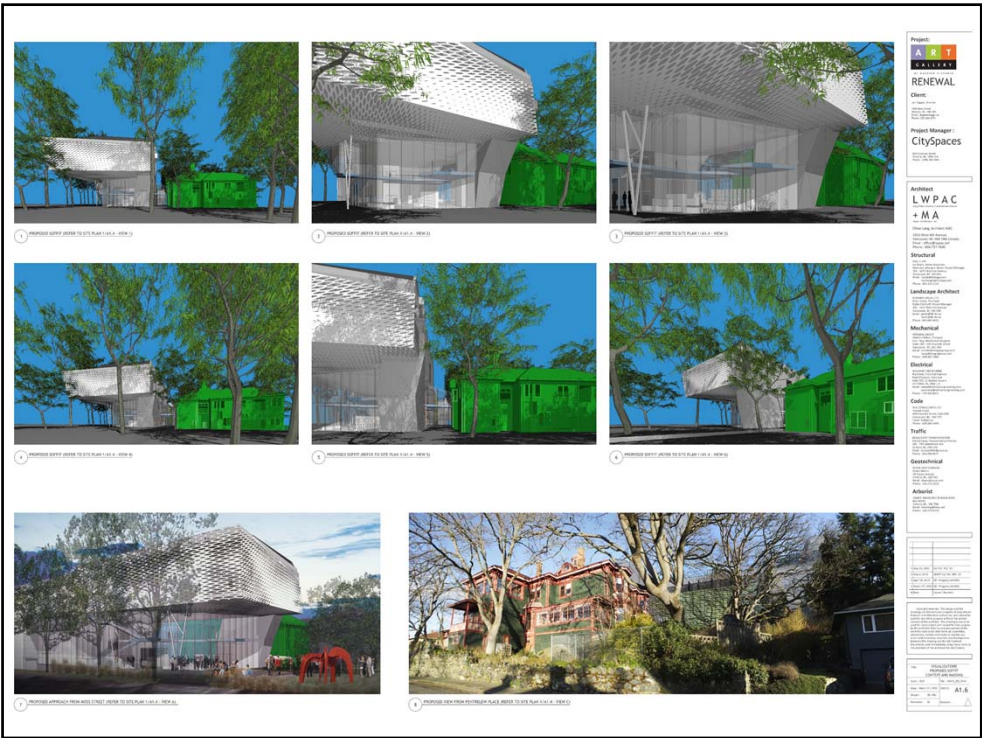


**Pentrelew Place: Streetscape**



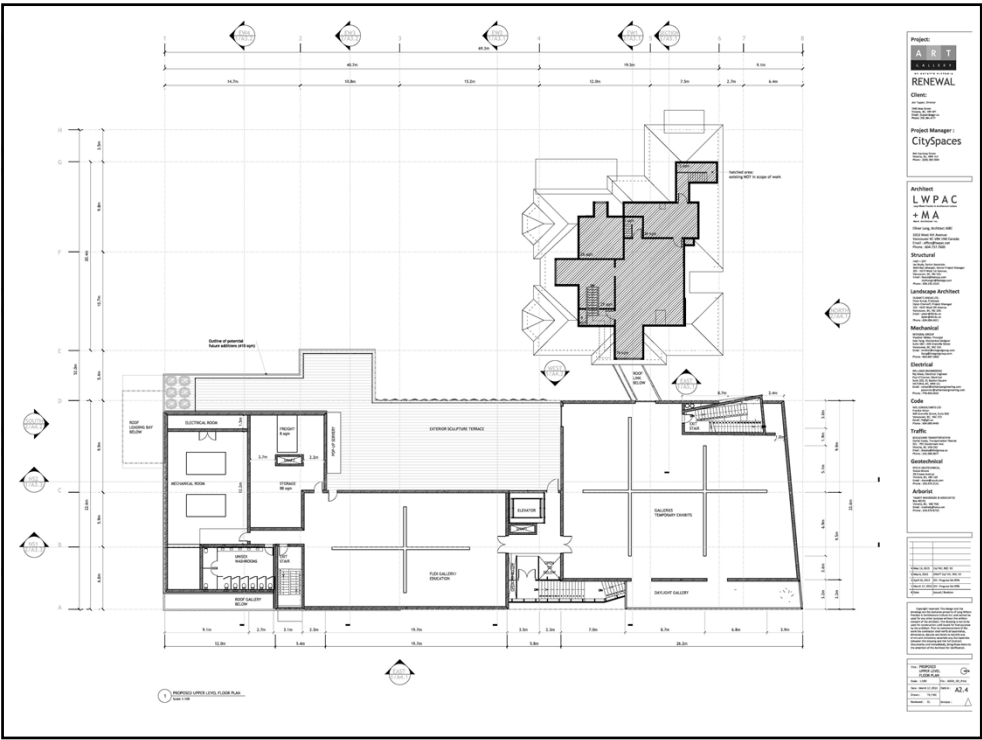
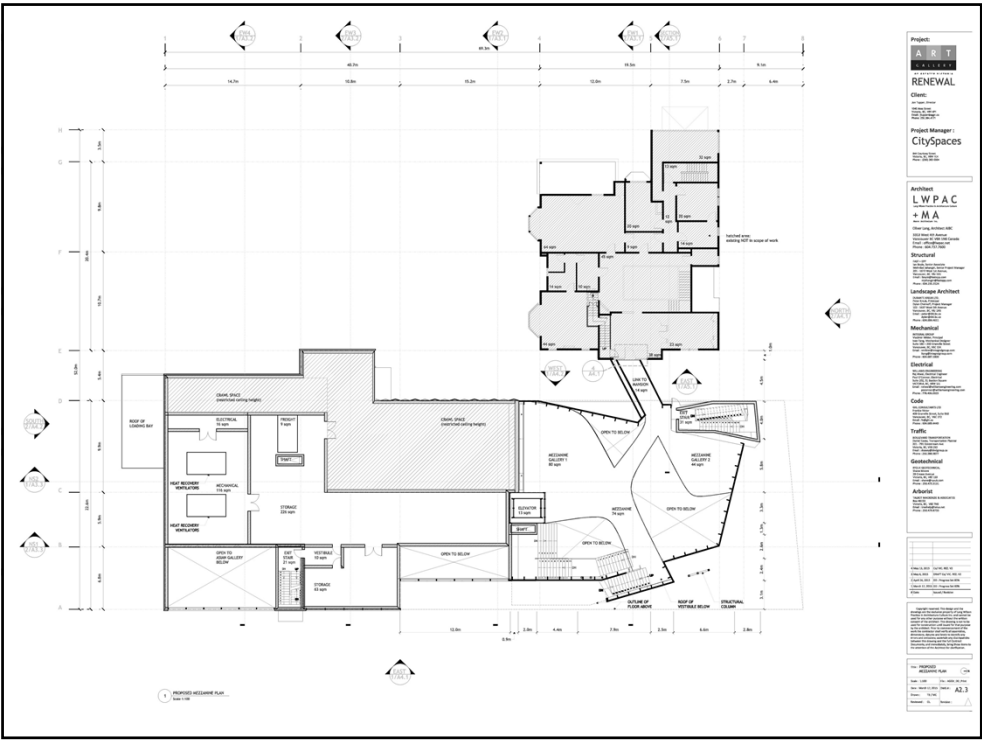










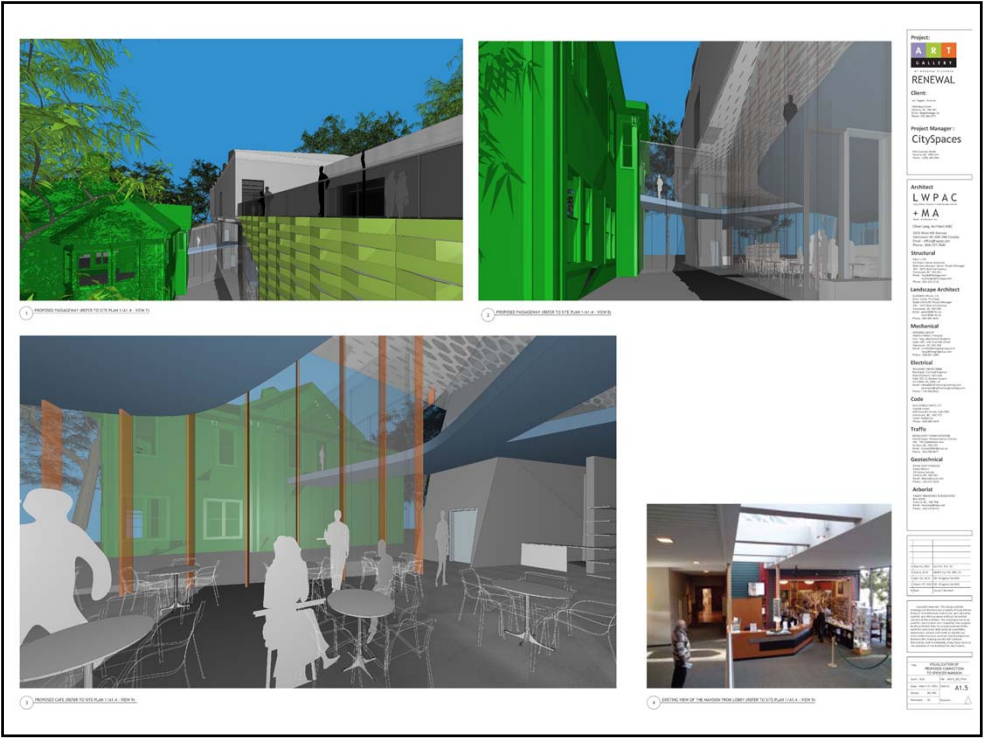


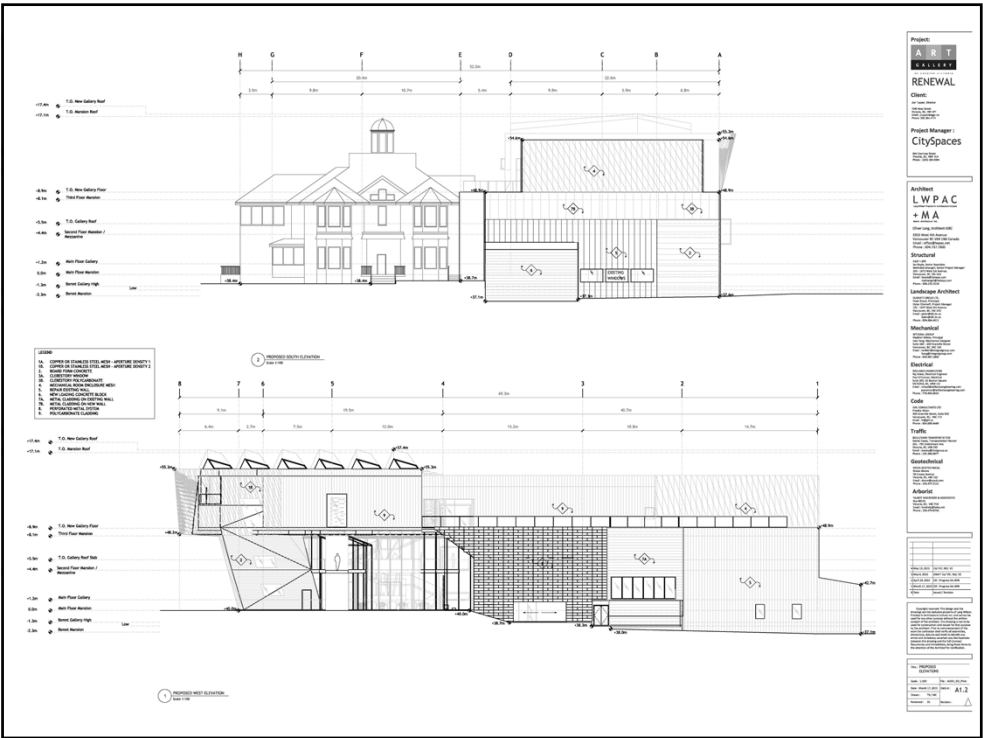
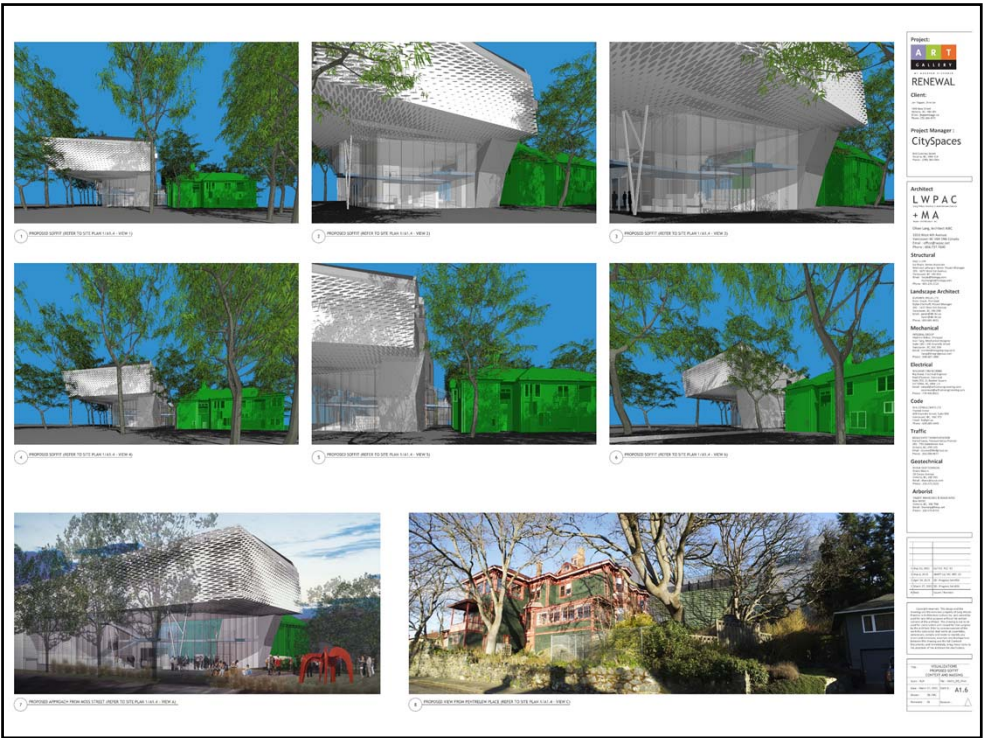




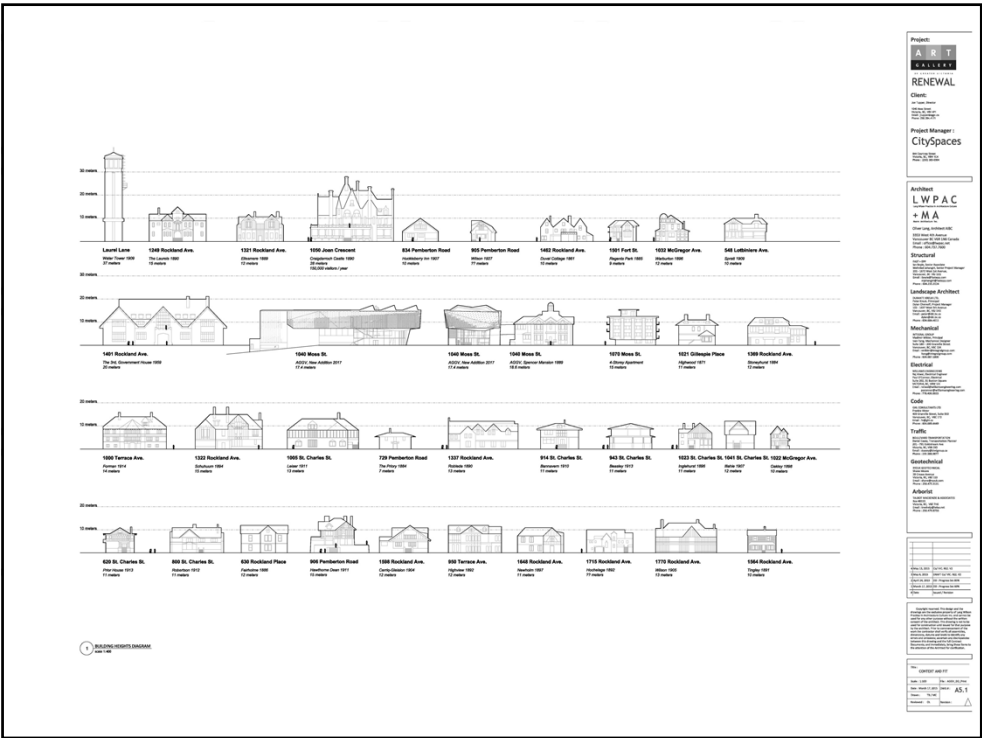


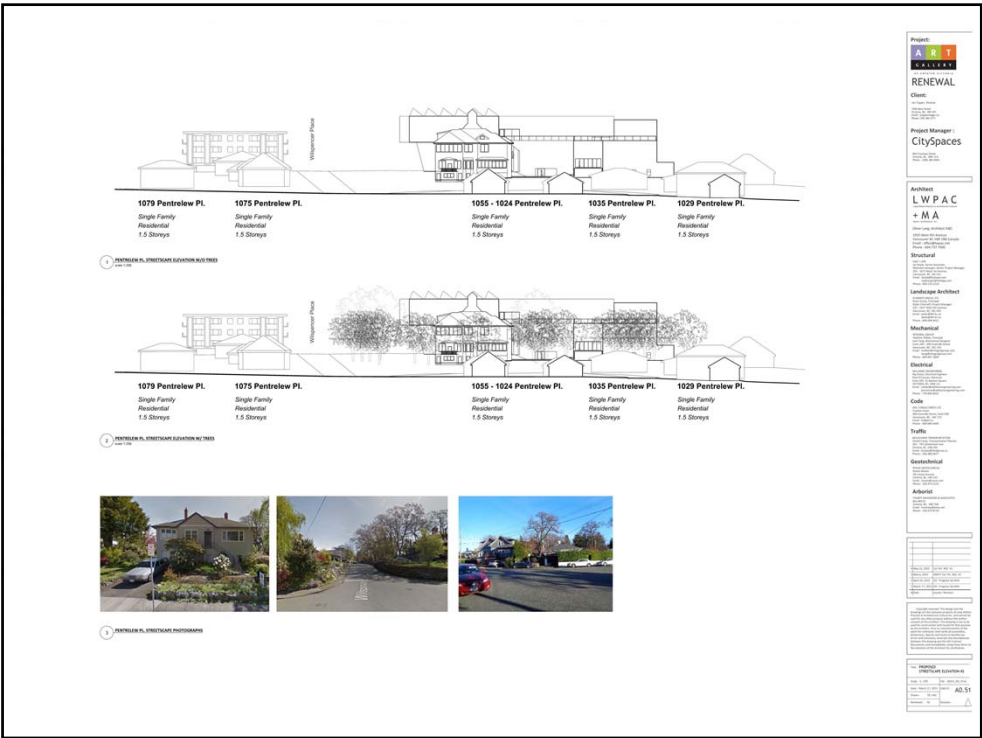
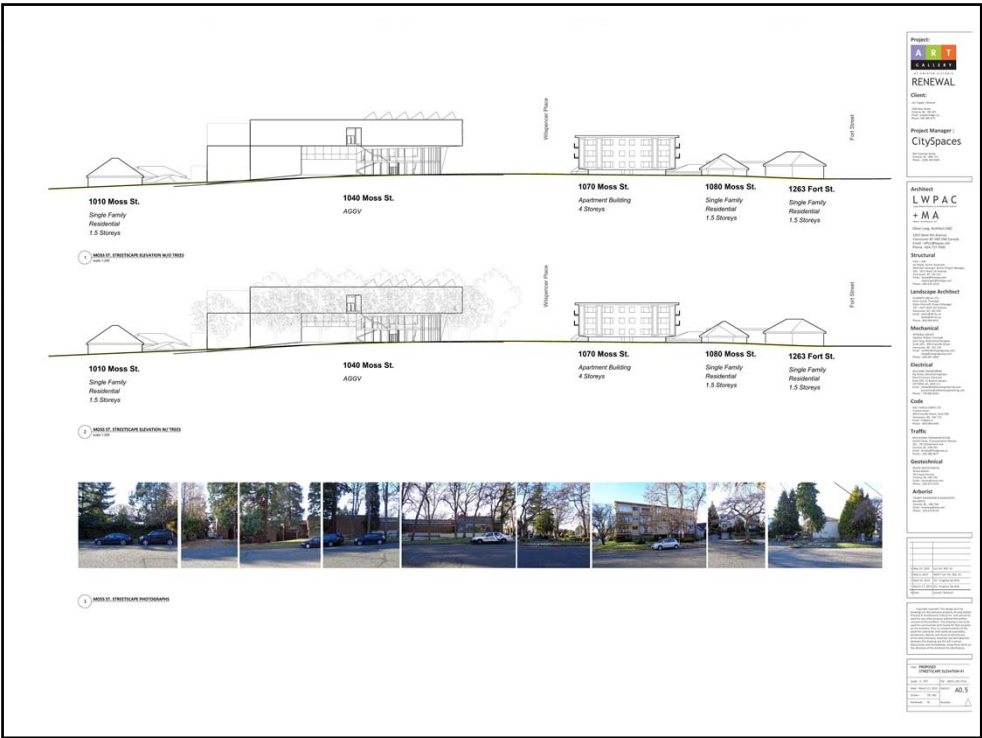


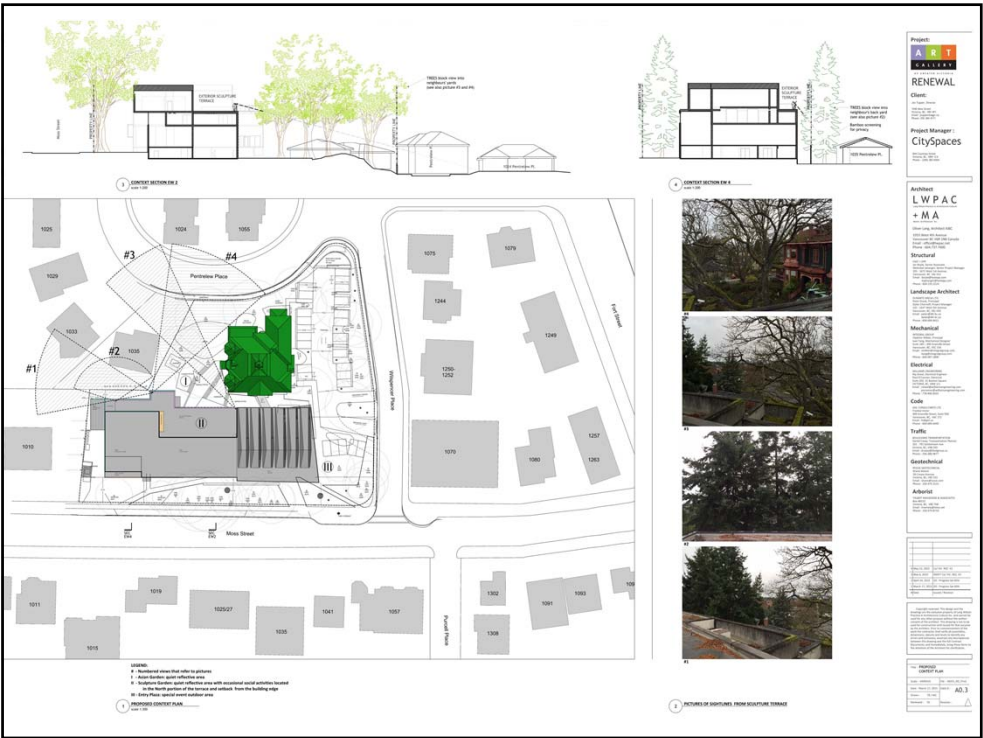
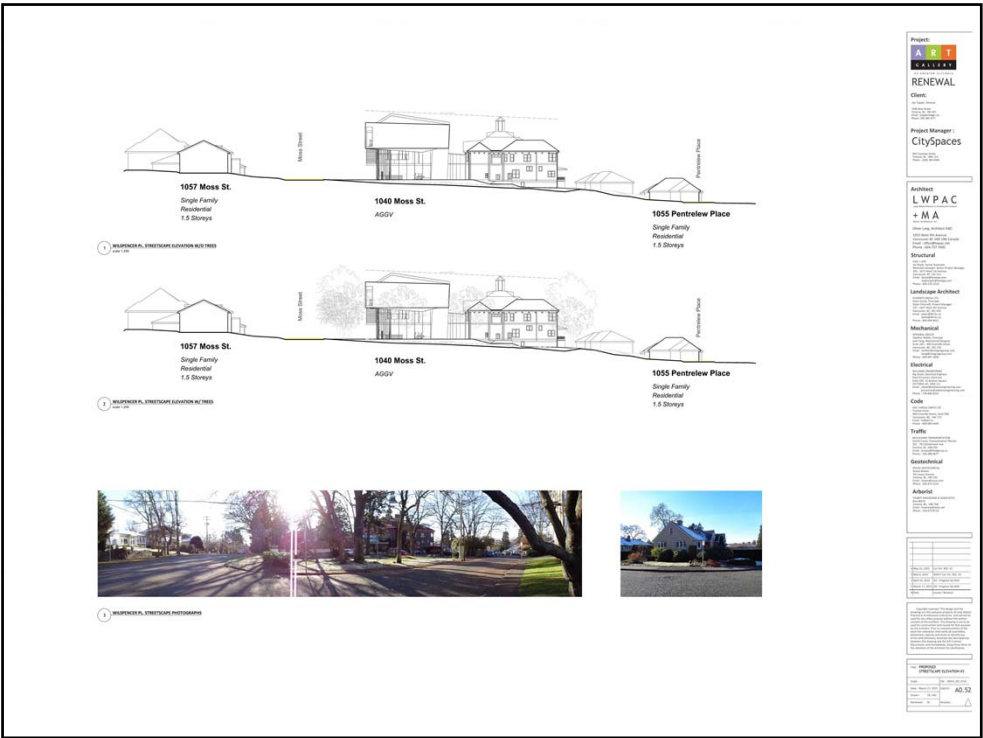




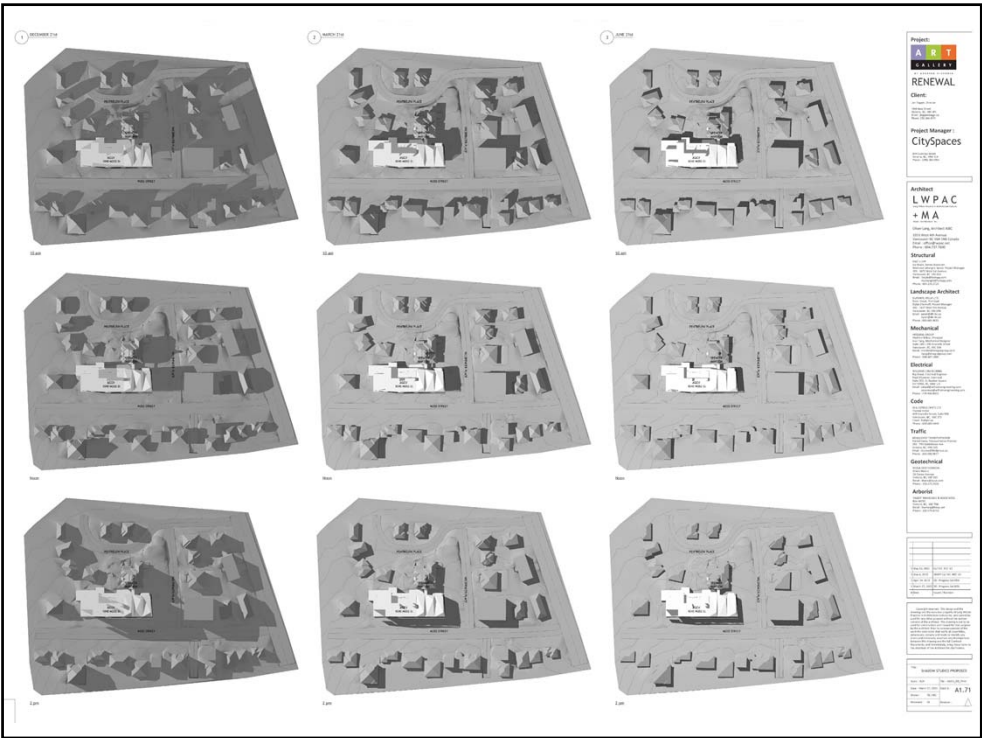
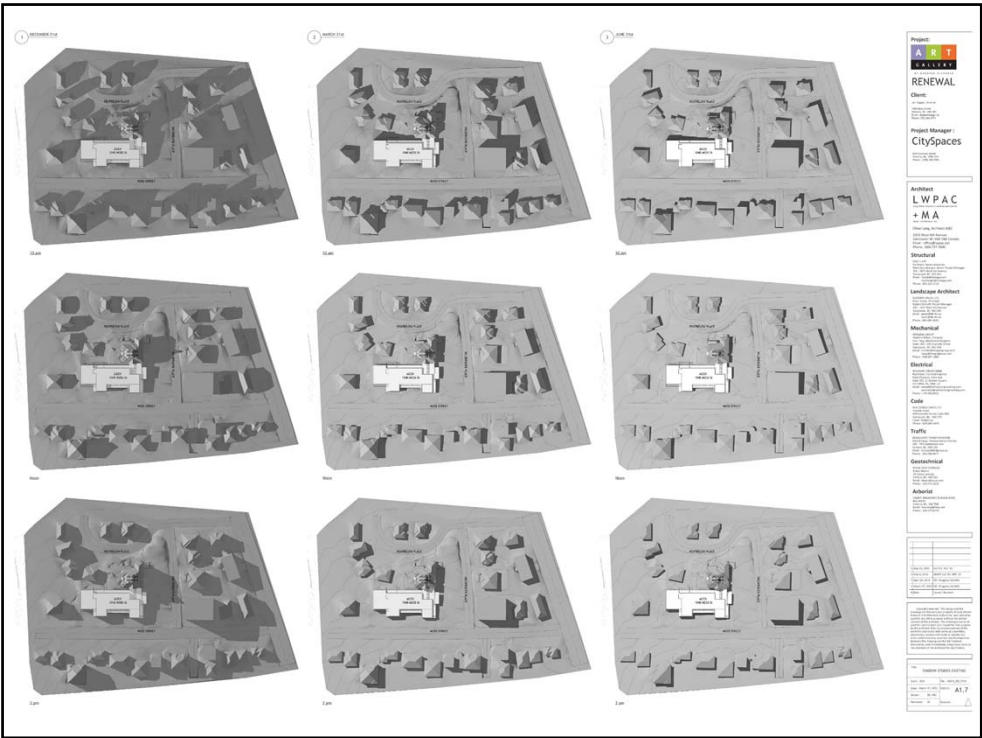










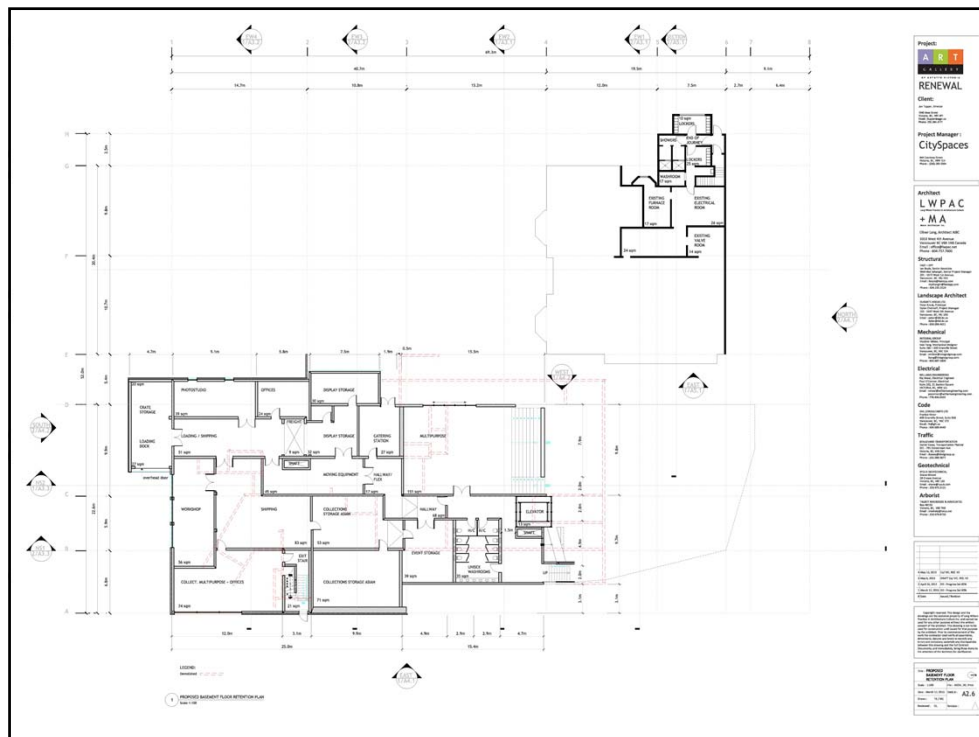


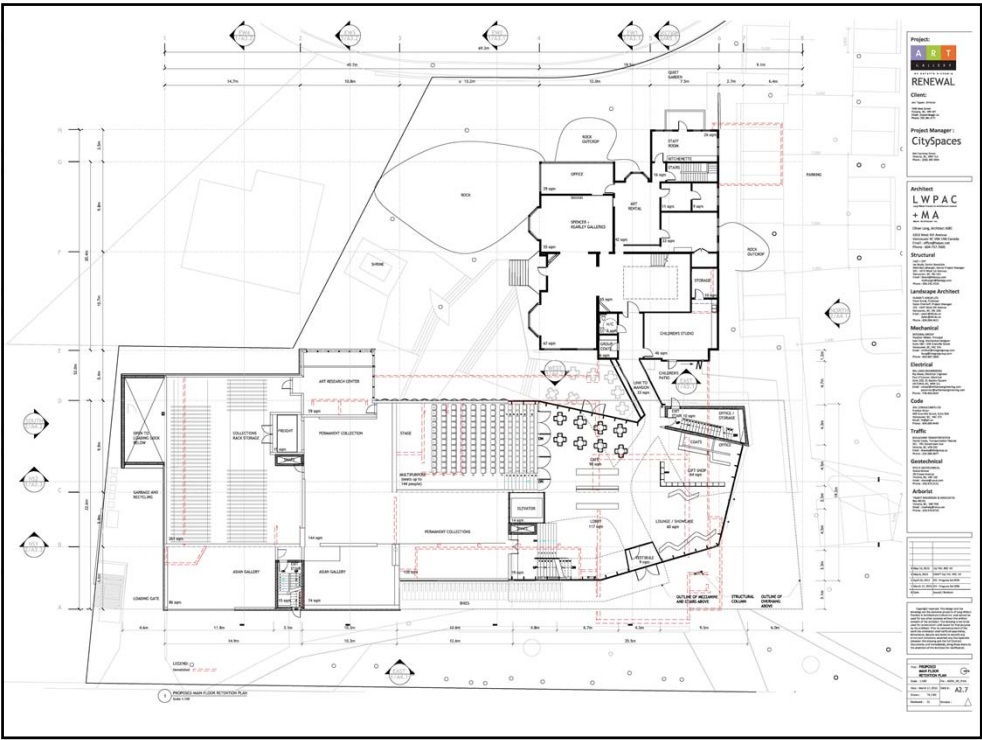




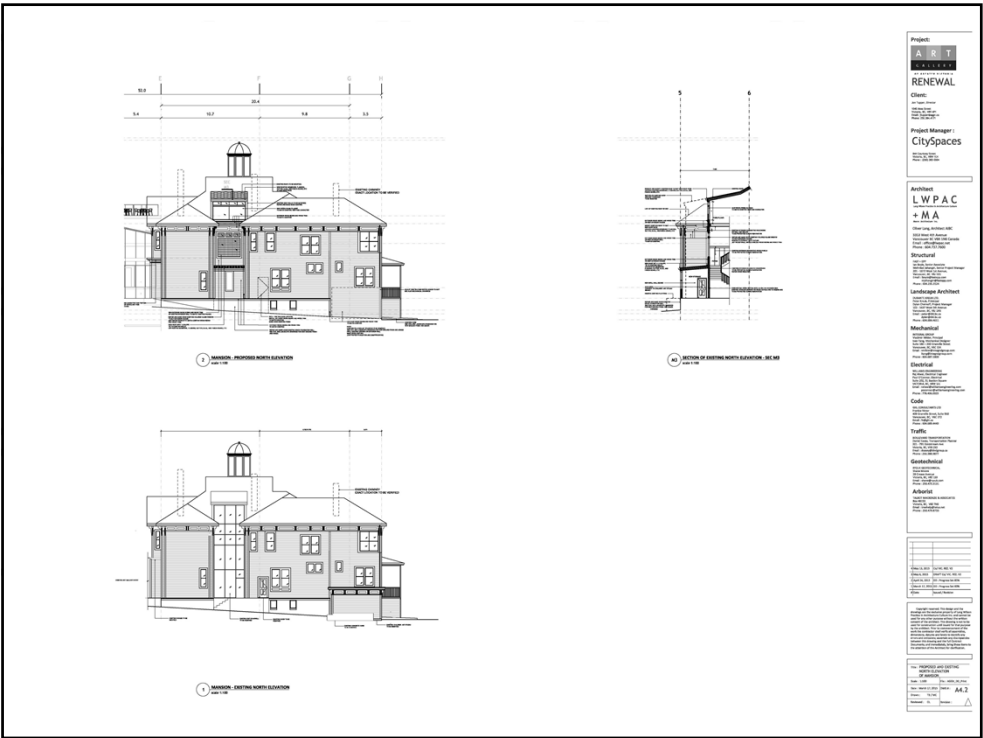
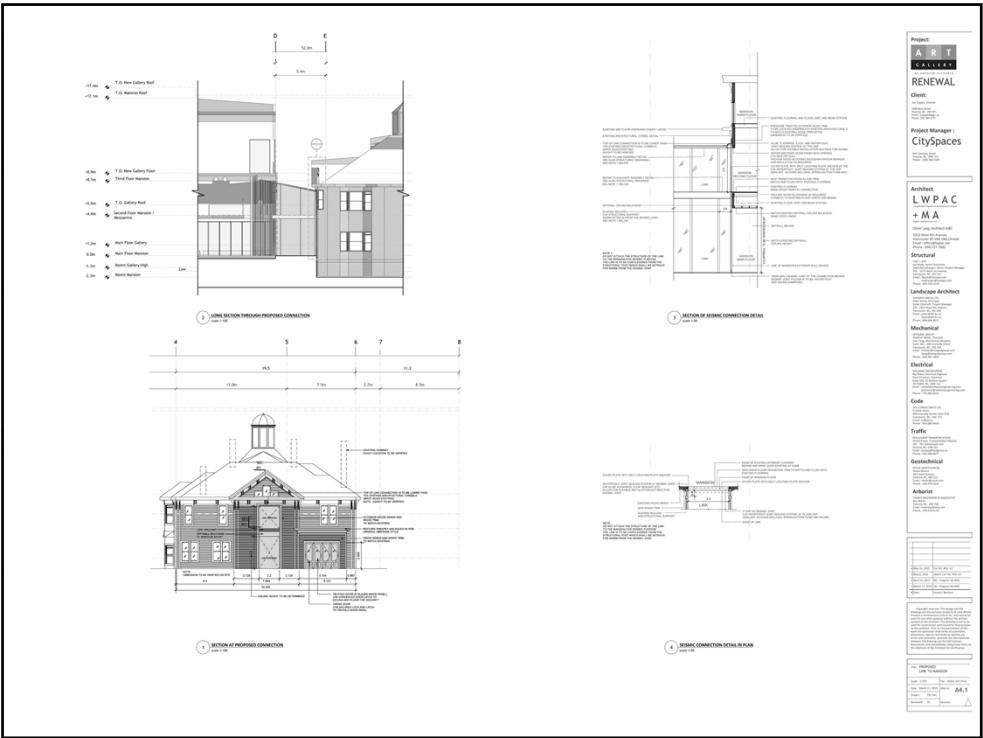


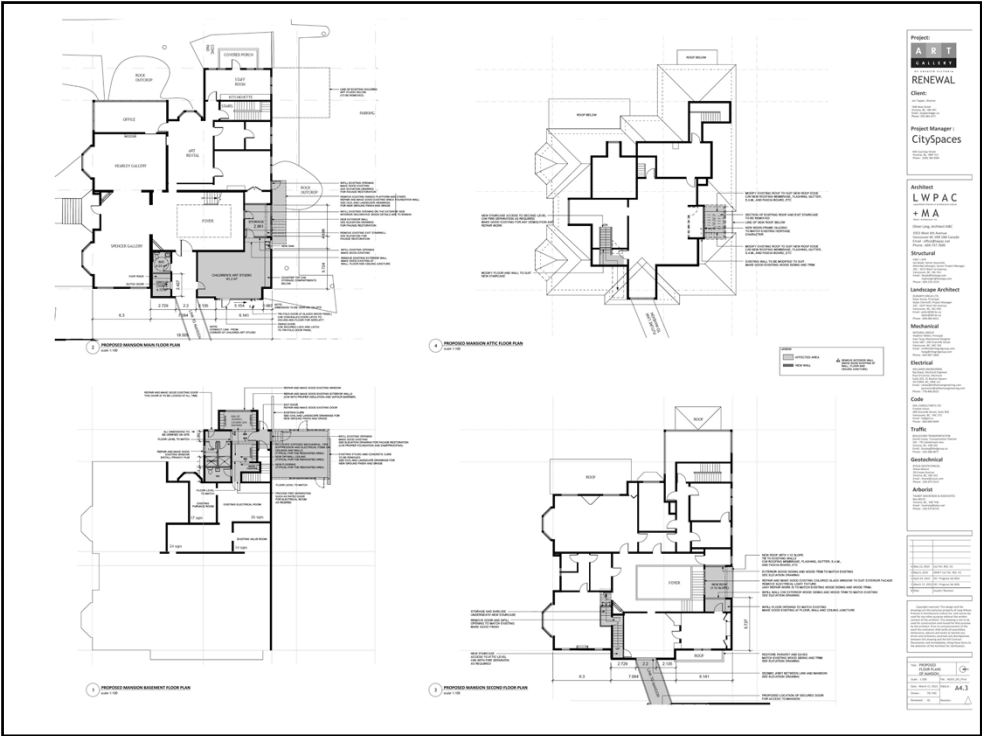














## Planning and Land Use Committee Report

### For the Meeting of June 25, 2015

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**To:** Planning and Land Use Committee      **Date:** June 12, 2015

**From:** Mike Wilson, Senior Planner – Urban Design, Development Services Division

**Subject:** **Rezoning Application No.00381 and Development Permit Application No. 000351 for 1002, 1008-1012 Pandora Avenue**  
**Application Ready to Proceed to Public Hearing**

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#### RECOMMENDATION

1. That Council rescind third reading of Housing Agreement (1002-1008, 1012 Pandora Avenue) Bylaw No. 14-069.
2. That Council amend the Housing Agreement (1002-1008, 1012 Pandora Avenue) Bylaw No. 14-069 by replacing the amended Schedule A that secures 11 non-market rental units.
3. That Council give third reading of Housing Agreement (1002-1008, 1012 Pandora Avenue) Bylaw No. 14-069 with an amended Schedule A that secures 11 non-market rental units.
4. That Council refer the Rezoning Application No. 00381 for consideration at a Public Hearing.
5. Following consideration of Rezoning Application No. 00381, that Council approve a Development Permit for 1002, 1008-1012 Pandora Avenue, in accordance with:
  - a. Plans for Rezoning Application No. 00381 and Development Permit Application No. 000351, stamped June 8, 2015;
  - b. Development meeting all *Zoning Regulation Bylaw* requirements;
  - c. The Development Permit lapsing two years from the date of this resolution.
6. That Council authorize staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m<sup>2</sup> of exposed shored face during construction, in a form satisfactory to staff. This is to accommodate shoring for construction of the underground parking structure at the property line.

#### LEGISLATIVE AUTHORITY

In accordance with Section 903 (c) of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.



In accordance with Section 905 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use or the density of the land from that permitted under the *Zoning Regulation Bylaw*.

## EXECUTIVE SUMMARY

The purpose of this report is to provide Council with new information that has been presented since Council's motion of September 11, 2014, which cancelled the Public Hearing for the *Zoning Regulation Bylaw* Amendment that would authorize Rezoning Application No.00381 for the property located at 1002, 1008-1012 Pandora Avenue. For background, staff have attached relevant staff reports along with the meeting minutes. Since Council's motion of September 11, 2014, the applicant has completed further consultation with the North Park Neighbourhood Association and the broader community through meetings and open houses.

As a result of this consultation, the applicant proposes the following amendments to the Application:

- the provision of 11 non-market rental units tied to the Housing Income Limits set for Victoria, for the life of the proposed building
- the provision of six additional bicycle parking stalls at grade (total of 24)
- the provision of raised planter beds for garden plots
- bicycle repair and wash station within the proposed building
- additional frontage improvements, including a curb bump out and planting on the north side of Mason Street immediately opposite the underground parking access point
- additional bump outs on Mason Street for traffic calming.

The recommendation provided above contains the appropriate language to advance the Rezoning Application for consideration at a Public Hearing.

## BACKGROUND

### Description of Proposal

On September 11, 2014, Council endorsed a motion to cancel the Public Hearing for the property located at 1002, 1008-1012 Pandora Avenue. Since this time, the applicant has conducted further consultation with the North Park Neighbourhood Association and the broader community. The following section provides details regarding the changes that are being advanced and the previous reports and minutes are also attached.

## ANALYSIS

### Proposed Non-Market Rental Housing

The proponent is volunteering to provide 11 non-market rental housing units which are consistent with the Housing Affordability and Housing Diversity policies within the *Official Community Plan*. As such, staff have prepared a revised Housing Agreement Bylaw for Council's consideration. The proposal is to secure five bachelor suites, four one-bedroom suites and two two-bedroom suites.

The proposed Bylaw secures the units within the building in-perpetuity and assigns rent maximums by unit type in accordance with the Housing Income Limits (HILs) for Victoria. Based on 2015 HILs rates, the following maximum rents would apply:

Unit Type	Housing Income Limits (2015)	Maximum Rent
Bachelor	\$29,500	\$737.50
1-Bedroom	\$34,500	\$862.50
2-Bedroom	\$43,000	\$1,075.00

#### Plan Amendments

The applicant has also made additional plan amendments based on feedback from the community. These include additional bicycle parking stalls, raised planter beds for garden plots and additional frontage improvements to Mason Street. The applicant has already committed to constructing a driveway crossing at the corner of Mason Street and Cook Street and now proposes additional frontage improvements, including a planted bump out on the north side of Mason Street immediately opposite the parking access point. The intent of the improvements is to establish screening of the adjacent homes to provide improved privacy for residents on the north side of the street. The applicant also proposes to construct bump outs to calm traffic on Mason Street.

#### Encroachment Agreement

The applicant proposes to excavate to the property line in order to construct an underground parking structure. Staff recommend for Council's consideration that Council authorize staff to execute an Encroachment Agreement for a fee of \$750 plus \$25 per m<sup>2</sup> of exposed shored face during construction. This is to accommodate shoring for construction of the underground parking structure at the property line.

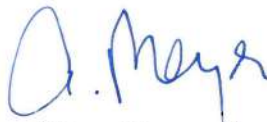
#### **CONCLUSIONS**

Since the Public Hearing which was set for September 11, 2014, was cancelled, the applicant has completed additional consultation with the community. The applicant has proposed that 11 units in the development be secured for non-market rental housing. The applicant has also committed to additional frontage improvements, bicycle racks and garden areas. Staff recommend for Council's consideration that Council consider forwarding the Application for consideration at Public Hearing in accordance with the recommendation provided.

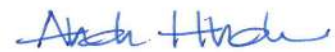
Respectfully submitted,



Mike Wilson  
Senior Planner – Urban Design  
Development Services Division



Alison Meyer, Assistant Director  
Development Services Division  
Sustainable Planning and  
Community Development  
Department



Andrea Hudson  
Acting Director  
Sustainable Planning  
and Community  
Development  
Department



Report accepted and recommended by the City Manager:



Jason Johnson

Date:

June 15, 2015

MW:aw

S:\TEMPEST\_ATTACHMENTS\PROSPERO\PL\REZ\REZ00381\REZ PLUC REPORT2.DOC

### List of Attachments

- Letter from Blue Sky Properties dated June 10, 2015
- Plans date stamped June 9, 2015
- Council Minute dated September 11, 2014
- Letter from Blue Sky Properties dated September 10, 2014.





June 10, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6



Attn: Mayor and Members of Council

Re: 1002-1008 and 1012 Pandora Avenue

Dear Mayor and Council,

The purpose of this letter is to provide an update on our application for 1002-1008 and 1012 Pandora Avenue.

Since requesting to delay to our public hearing last September, we have spent time revising our proposal and conducting additional public consultation. This consultation includes:

- Meeting with the North Park Neighbourhood Association (NPNA) Land Use Committee;
- Presentation to broader NPNA group at their regular monthly meeting;
- Two Neighbourhood Information Meetings;
- Phone call to update the owners of the Mason Street City Farm on the project;
- Various Meetings with smaller groups of stakeholders in the neighbourhood.

During these meetings we provided a history of the project and an update on our new proposal. These meetings were interactive in nature as we were seeking feedback on some of the new ideas that we are proposing.

These new ideas include the addition of resident garden plots and an urban agricultural education program; confirmation of pet-friendly building amenities; confirmation of cycling amenities; and the introduction of additional landscaping and traffic calming measures along Mason Street.

In addition, we introduced the idea of two additional options for consideration by the community:

Option 1 included the addition of new on-site public amenities in the form of a commitment to provide 5% of the residential rental units as affordable units and the provision of a new community meeting room to be available for use at no charge to the NPNA and other community groups.

As an alternative, Option 2 was developed to respond to some neighbours' continued concern about building massing and height along Mason Street. This option proposed the reduction of density and height, to lower the building facing Mason Street and Franklin Green Park from 4-storeys to 3-storeys. This option reduced the overall density from 2.35 FSR to 2.21, representing a loss of 11,790 sq.ft or 15 rental units.

These updates were presented to the NPNA at their May 2015 meeting.



In addition to this, BlueSky held 2 Neighbourhood Information Meetings on May 26<sup>th</sup>. Invitations were mailed to approximately 3,700 residential and business addresses in the surrounding area and notices were printed in the Victoria Times Colonist on May 19, 21 and 22. The purpose of the meetings was to present the updated project plans and to seek feedback on the two specific options being considered to see if there was a preference between Option 1 (on-site affordable housing and community meeting room) and Option 2 (reduced building height and density). Approximately 100 people attended the two sessions. On the specific question of whether there was a preference for either of the options, we received greater support for Option 1.

We were encouraged by the broad support for inclusion of affordable housing within the project. While some liked the idea of further reduced density, others felt that at 4-storeys the building was already appropriately scaled within the urban neighbourhood context and that the contribution of affordable housing would provide a greater public benefit.

Based on the feedback we received during the Neighbourhood Information Meetings and other stakeholder sessions, along with our interest in supporting greater housing affordability in Victoria, we have now elected to implement Option 1. Our plans have been revised to reflect the inclusion of the Community Meeting Room and we have documented our commitment to the provision of affordable housing in an updated Housing Agreement with the City. The Housing Agreement includes the requirement to provide 5% of the units (11 units) as affordable units with their rents linked to BC Housing's Housing Income Limits (HILs) rates, as suggested by City staff. These units will remain as affordable units in perpetuity, representing a significant and continuing public amenity contribution to the City.

To ensure that the affordable units are available to a wide variety of household configurations, including families, we are proposing a mix of unit sizes including five (5) Bachelor suites, four (4) 1 bedroom suites, and two (2) 2 bedroom suites.

To expand on the other changes to the proposal:

#### Urban Agriculture:

We have included 30 garden plots for use by residents of the building (this number could be expanded based on demand). In addition to providing the plots, we will be engaging with a local group to help facilitate the residents to learn how to plant and grow food in an urban setting. We believe this to be important from a sustainability perspective, but also community building within the project and have successfully implemented similar programs at our projects in Vancouver.

#### Pet Friendly Building:

We have heard from multiple people that it is difficult for pet owners to find rental apartments in Victoria as many landlords restrict pets. To confirm, we will be allowing pets in our building and will be taking additional steps to improve livability. These will include a Dog Wash station in the parkade and pet dropping clean-up stations.

#### Cycling Amenities:

This site is strategically located at the convergence of two major bike routes, Pandora Ave. and Vancouver St. This project will improve the frontage on both of the streets to match the planned cycling infrastructure. Recognizing that this is an important junction, we will be installing an outdoor bike service station and pump that will be available for use by the public. Also, to encourage more cycling trips to the





site, we have doubled the number of surface bike parking spaces at grade over the bylaw requirement. Our hope is that these extra spaces will encourage retail customers and visitors to the building to arrive by bike, thereby reducing the amount of vehicle traffic.

Mason Street:

We understand there have been recent changes to the Highway Access Bylaw. We have discussed these with the Staff and are told that even with these changes, we are still required to access our site off of Mason St. In addition to the traffic minimizing measures that we put into place last year to lessen the impact on the Mason St. residents, we have implemented new additional measures. These include a slight re-alignment of the street to allow for planting in front of the houses on the north side of Mason, immediately across from the entrance. We have also proposed traffic calming "bump outs" that will force traffic to slow down. A similar measure was taken on Leighton Road to much success and we are excited about contributing to implementing these design and traffic calming measures along the full length of Mason St. as an additional community amenity contribution. The idea of designing Mason St. following the "woonerf" or Dutch "living street" concept was first identified during our discussions with the NPNA and we look forward to working with City staff and the community through the detailed design and planting of these streetscape amenities.

While we have not secured any specific tenants for the commercial portion of the project, we have been open in sharing with the community the interest we have received from potential grocers. That said, the plans maintain flexibility to accommodate a mix of retailers to serve the local neighbourhood and the growing downtown population. It is important to us, and to the viability of downtown retail locations, to offer a balanced retail program, with the potential for larger tenants to support a diversity of smaller shops that together can create a vibrant and successful neighbourhood-serving venue. As the long-term owners and managers of the building, we are committed to ensuring the success of the project, which is directly linked to the success of the ground-floor retail space. We will be working to select tenants for the project that can meet local needs and contribute to the positive growth of the neighbourhood.

Our efforts over the last number of months have informed these further design refinements, resulting in a better plan with additional public amenity contributions that offer direct benefits to the local neighbourhood and to the broader city as a whole.

We respectfully ask that Council consider the application and allow our proposal to proceed to a Public Hearing. We are committed to investing in the positive growth of Victoria's downtown neighbourhoods and look forward to achieving a successful outcome for all stakeholders.

Regards,

A handwritten signature in black ink, appearing to read "Mark Kopinya", with a stylized flourish at the end.

Mark Kopinya  
Development Manager



## RESIDENTIAL/COMMERCIAL DEVELOPMENT

1008 - 1012 PANDORA AVENUE,  
VICTORIA, BC, V8V 3P5

DP REZONING SUBMISSION  
(Base Design Submission)

June 5th, 2015



**BlueSky**  
PROPERTIES



**CHRIS DIKEAKOS ARCHITECTS INC.**

T 604 291 2660 | 212-3869 HENNING DR | INFO@DIKEAKOS.COM  
F 604 291 2667 | BURNABY BC V5C 6N5 | WWW.DIKEAKOS.COM

**Received**  
City of Victoria

**JUN - 8 2015**

Planning & Development Department  
Development Services Division

### OWNER / DEVELOPER BLUESKY PROPERTIES

CONTACT: MARK MORVA  
SUITE 100-100 WEST HASTINGS ST  
VANCOUVER, BC V6P 2A4  
TEL: 604 291-1300  
FAX: 604 291-1300

### ARCHITECTURAL CHRIS DIKEAKOS ARCHITECTS INC.

CONTACT: ROBERT DAVIS  
SUITE 100-100 WEST HASTINGS ST  
VANCOUVER, BC V6P 2A4  
TEL: 604 291-1300  
FAX: 604 291-1300

### STRUCTURAL JOHN BRYSON & PARTNERS

CONTACT: JOHN BRYSON  
SUITE 100-100 WEST HASTINGS ST  
VANCOUVER, BC V6P 2A4  
TEL: 604 291-1300  
FAX: 604 291-1300

### MECHANICAL

**STANTEC**  
CONTACT: 100-111 DUNDAS STREET  
VANCOUVER, BC V6B 5A5  
TEL: 604 683-6000  
FAX: 604 683-6000

### ELECTRICAL

**STANTEC**  
CONTACT: 100-111 DUNDAS STREET  
VANCOUVER, BC V6B 5A5  
TEL: 604 683-6000  
FAX: 604 683-6000

### LANDSCAPE

**DURANTE KREUK LTD.**  
CONTACT: 20-20-20  
VANCOUVER, BC V6B 5A5  
TEL: 604 683-6000  
FAX: 604 683-6000

### SURVEYOR

**BRAD CUNNING LAND SURVEYING INC.**  
CONTACT: BRAD CUNNING  
100-100 WEST HASTINGS ST  
VANCOUVER, BC V6P 2A4  
TEL: 604 291-1300  
FAX: 604 291-1300

### BUILDING CODE CONSULTANT

**LMDG BUILDING CODE CONSULTANTS**  
CONTACT: LINDA MCGEE  
100-100 WEST HASTINGS ST  
VANCOUVER, BC V6P 2A4  
TEL: 604 683-6000  
FAX: 604 683-6000

### TRAFFIC CONSULTANT

**BUNT & ASSOCIATES ENGINEERING**  
CONTACT: BUNT & ASSOCIATES  
100-100 WEST HASTINGS ST  
VANCOUVER, BC V6P 2A4  
TEL: 604 683-6000  
FAX: 604 683-6000









Received  
City of Victoria  
  
JUN - 8 2015  
  
Planning & Development Department  
Development Services Division

<b>KEY PLAN</b>																					
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 CHRIS DIKLAKOS ARCHITECTS INC. 7011 13th Ave S, Suite 100, Burnaby, BC V5A 1S8																					
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CONSULTANT PROJECT: RESIDENTIAL - COMMERCIAL DEVELOPMENT 100-112 PANDORA AVENUE VICTORIA, BC	<b>Planning and Land Use Committee - 25 Jun 2015</b>																				
CONSULTANT: 																					
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DRAWN BY: Author CHECKED BY: Checker SCALE: 1/8" = 1'-0" PROJ NO.: PAR DATE: June 9th 2015	SHEET TITLE: SITE - CONTEXT																				
DRAWING NO.: A002																					





(A) PANDORA LOOKING WEST



(B) SITE LOOKING NORTH



(C) CORNER PANDORA & VANCOUVER



(D) PANDORA LOOKING EAST



(E) VANCOUVER ST LOOKING SOUTH



(F) SITE LOOKING SOUTH



(G) MASON ST CORNER



KEY PLAN

Received  
City of Victoria  
JUN - 8 2015  
Planning & Development Department  
Development Services Division

<b>KEY PLAN</b>																					
SCALE: MTS																					
NOTES																					
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OF RECORDS SUBMISSION	REVISION:																				
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<b>Planning and Land Use Committee - 25 Jun 2015</b>																					
<b>BlueSk PROPERTIES</b>																					
<b>CONSULTANT:</b>																					
<b>OWNER:</b>																					
<b>PROJECT:</b>																					
<b>RESIDENTIAL - COMMERCIAL DEVELOPMENT</b> 1038-1212 PANDORA AVENUE VICTORIA, BC																					
<b>DESIGNED BY:</b>																					
<b>DESIGNED BY:</b>																					
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<b>FILE NO. / PM:</b>																					
<b>DATE: JUN 2015</b>																					
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<b>A003</b>																					

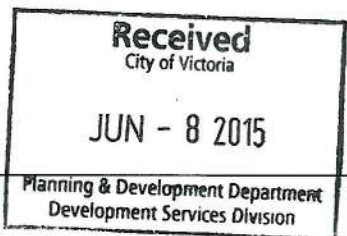




DRAWING NO.:	REV
A004	25 Jun

**Planning and Land Use Committee - 25 Jun 2015**





CHRIS DIAKOS  
ARCHITECTS INC.

**PROJECT:**

**RESIDENTIAL - COMMERCIAL  
DEVELOPMENT,  
5008-10 12 PANDORA AVENUE  
VICTORIA, BC.**

**BlueSky**  
PROPERTIES

ENCLOSURE

SHEET TITLE: PERSPECTIVE - CORNER OF MASS ST. & FRANKLIN AVE.

DRAWING NO.: A005





CHRIS DIKAKOS  
ARCHITECTS INC.

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**BlueSky**  
PROPERTIES

OC 000000, 7/20/77

DRIVEN BY: Author	e Com
CHECKED BY: Checker	
SCALE	
FILE NO.: 1000	
DATE: JAN 10, 2015	

SHEET TITLE:  
PERSPECTIVE - LEVEL  
2 COURTYARD

DRAWING NO.:	REV.
A006	25 J

## Planning and Land Use Committee - 25 Jun 2015





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City of Victoria

**JUN - 8 2015**

Planning & Development Department  
Development Services Division

KEY PLAN	
SCALE: NTS	
NOTES	
NO. REVISIONS	DATE
ISSUED FOR:	
OF RECORDS IS REVISION	REVISION
CONCEPT DESIGN PANEL RESPONSE	REVISION
CONCEPT DESIGN PANEL	REVISION
DEVELOPMENT PERMIT	REVISION
RECORDING IN INSTRUMENTS	REVISION
PLANNING MEETING	REVISION
DEVELOPMENT PERMIT	REVISION
RECORDING IN INSTRUMENTS	REVISION



7 804 281 1000 | 100 BAYVIEW AVENUE, SUITE 100, SCARBOROUGH, ONTARIO M1B 2Y1  
P 804 281 1000 | ALEXANDER@CDIARCH.COM | WWW.CDIARCH.COM

PROJECT:	
CLIENT:	
<b>BlueSky</b> PROPERTIES	
CONSULTANT:	
DRAWN BY: Author	SEAL:
CHECKED BY: Designer	
SCALE:	
PRINTED: P&M	
DATE: JUNE 09, 2015	
SHEET TITLE:	
PERSPECTIVE - CORNER OF VANCOUVER STREET & MASON STREET	
DRAWING NO.:	REV:
A007	

Planning and Land Use Committee - 25 Jun 2015

# B.C. LAND SURVEYOR'S SITE PLAN OF:

LOT 1 AND LOT 2, SUBURBAN LOT 15, VICTORIA CITY, PLAN 22437,  
EXCEPT PORTION OF LOT 2 IN PARCEL A 100 C70855, PLAN 29435)

SCALE = 1:400



1" = 40' (1:400)

## LEGEND

Elevations are spot heights based on the City of Victoria  
Integrated Survey Network 10-66A (Mean: +11,502m)

Grade spot and taken at the spot shown in  
guide scale of a curve line are in gutter.

Tree names and symbols representative to scale  
where tree location is critical, tree species  
and canopy should be confirmed by qualified arborist.

- SP 1 - denotes Utility Pole
- SP 2 - denotes Utility Pole with Transformer
- SP 3 - denotes Utility Pole with Light
- SP 4 - denotes Catch Basin
- SP 5 - denotes Manhole (Sanitary)
- SP 6 - denotes Manhole (Storm)
- SP 7 - denotes Manhole (City Lights)
- SP 8 - denotes Water Relief
- SP 9 - denotes Light Pole
- SP 10 - denotes Water Valve
- SP 11 - denotes Light Box
- SP 12 - denotes Traffic Sign
- SP 13 - denotes Gas Valve
- SP 14 - denotes Fire Hydrant

## TOTAL SITE AREA

7913.6 sq ft  
85181.3 sq ft

## MUNICIPALITY

Victoria

## ZONING

CA-1 (Lot 1)  
R-2 (Lot 2)

## PID No.

003-241-025 (Lot 1)  
003-240-487 (Lot 2)

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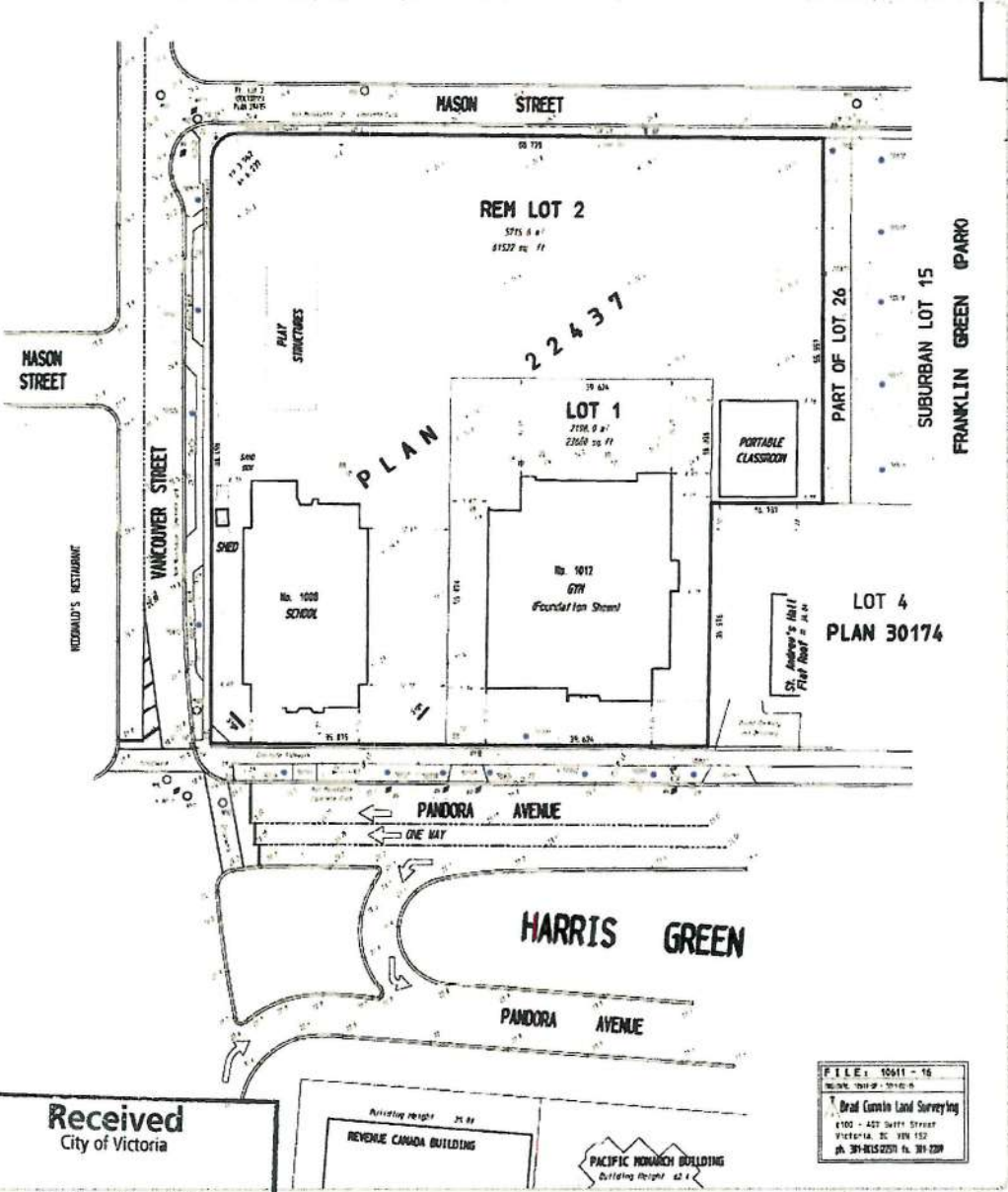
The City of Victoria does not warrant the accuracy or completeness of the information contained herein.

## TREE SCHEDULE:

TREE No.	SPECIES	Diameter (in)	Height (ft)
T0001	JAC	8.25	6.00
T0002	JAC	8.25	6.00
T0003	JAC	8.25	6.00
T0004	JAC	8.25	6.00
T0005	JAC	8.25	6.00
T0006	JAC	8.25	6.00
T0007	JAC	8.25	6.00
T0008	JAC	8.25	6.00
T0009	JAC	8.25	6.00
T0010	JAC	8.25	6.00
T0011	JAC	8.25	6.00
T0012	JAC	8.25	6.00
T0013	JAC	8.25	6.00
T0014	JAC	8.25	6.00
T0015	JAC	8.25	6.00
T0016	JAC	8.25	6.00
T0017	JAC	8.25	6.00
T0018	JAC	8.25	6.00
T0019	JAC	8.25	6.00
T0020	JAC	8.25	6.00

CERTIFIED CORRECT

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City of Victoria  
JUN - 8 2015  
Planning & Development Department  
Development Services Division



**KEY PLAN**  
SCALE: NTS  
NOTES

**REVISIONS:**

NO.	REVISIONS	DATE
1	ISSUED FOR:	
2	FOR RECORDING & SUBMISSION	2015/05/08
3	FOR RECORDING & SUBMISSION	2015/05/08
4	FOR RECORDING & SUBMISSION	2015/05/08
5	FOR RECORDING & SUBMISSION	2015/05/08
6	FOR RECORDING & SUBMISSION	2015/05/08
7	FOR RECORDING & SUBMISSION	2015/05/08
8	FOR RECORDING & SUBMISSION	2015/05/08
9	FOR RECORDING & SUBMISSION	2015/05/08
10	FOR RECORDING & SUBMISSION	2015/05/08

**CHUBB DIRLIKOS ARCHITECTS INC.**  
100-1012 PANDORA AVENUE  
VICTORIA, BC  
T 250 581 5881 F 250 581 5882 WWW.CHUBBDIRLIKOS.COM

**BlueSKY PROPERTIES**

**PROJECT:**  
RESIDENTIAL - COMMERCIAL  
DEVELOPMENT  
100-1012 PANDORA AVENUE  
VICTORIA, BC

**OWNER:**  
BlueSKY PROPERTIES

**CONSULTANT:**

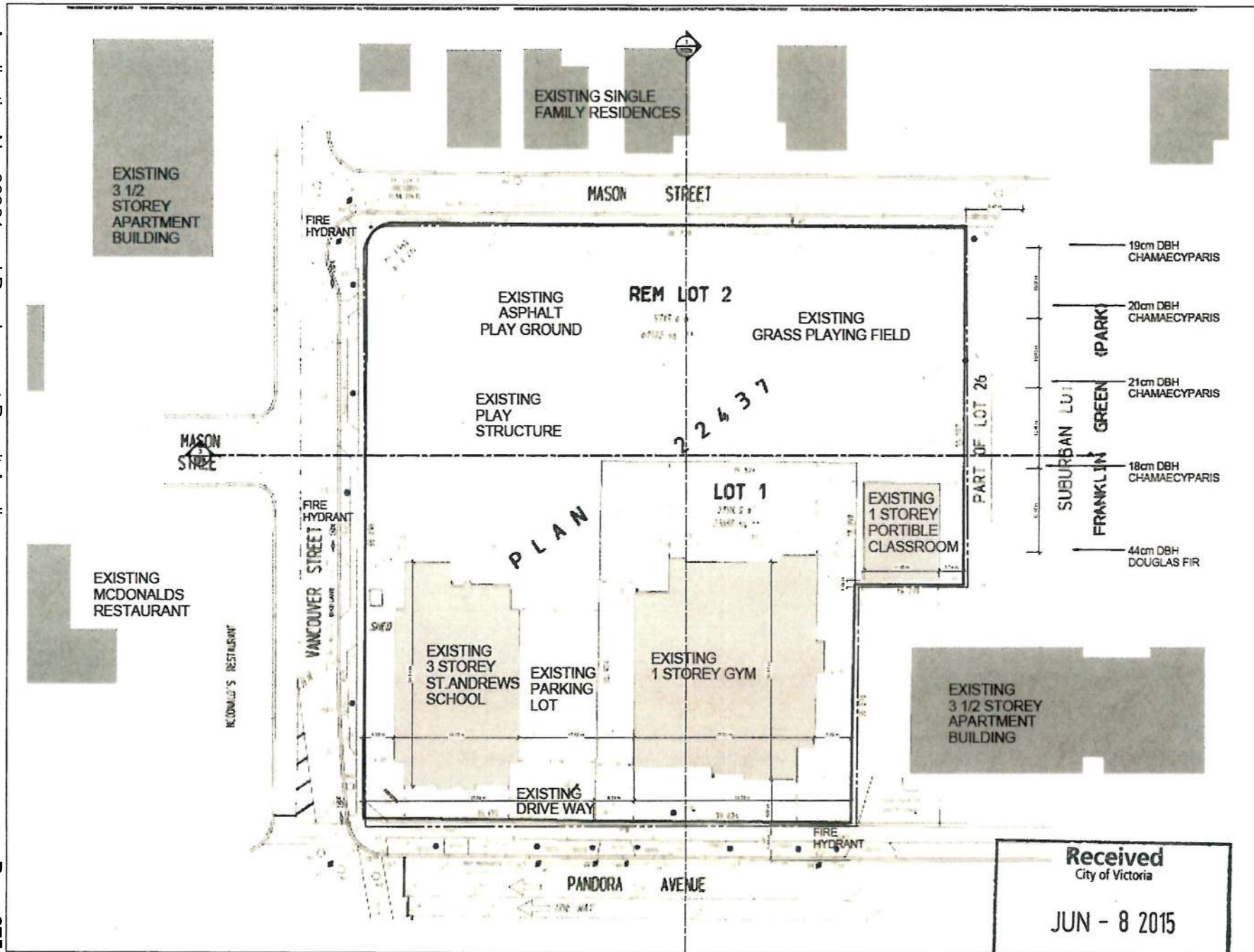
DESIGNED BY:	REVIEWED BY:
CHUBB DIRLIKOS	CHUBB DIRLIKOS
DATE: 2015/05/08	DATE: 2015/05/08

**SHEET TITLE:**  
SURVEY

**DRAWING NO.:**  
A101

**REV:**





**Received**  
City of Victoria

**JUN - 8 2015**

Planning & Development Department  
Development Services Division

<b>KEY PLAN</b>																									
SCALE: 1:500																									
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<p><b>CHRIS DIKEAKOS ARCHITECTS INC.</b></p> <p>700-100-1000 (VICTORIA) 250-100-1000 (VANCOUVER)</p>																									
<p><b>PROJECT:</b></p> <p>RESIDENTIAL - COMMERCIAL DEVELOPMENT 100-102 PANDORA AVENUE VICTORIA, BC</p>																									
<p><b>OWNER:</b></p> <p><b>BlueSky PROPERTIES</b></p>																									
<p><b>CONSULTANT:</b></p>																									
<p><b>DRAWN BY:</b> A102</p> <p><b>CHECKED BY:</b> Checker</p> <p><b>SCALE:</b> 1:500</p> <p><b>FILE NO:</b> 200</p> <p><b>SITE:</b> 100-102 PANDORA AVENUE</p>																									
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<p><b>DRAWING NO.:</b></p> <p><b>A102</b></p>																									



AS APPROVED	
REVISIONS:	
ISSUED FOR:	
OF RECORD SUBMISSION	000000
ADVISORY DESIGN PANEL RESPONSE	000000
LOCALITY DESIGN PANEL	000000
DEVELOPMENT PERMIT	000000
DESIGNING SUBMISSION	000000
PLANNING MEETING	000000
DEVELOPMENT PERMIT	000000
DESIGNING SUBMISSION	000000



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DRAWING NO.:	REV.
A103	25 JUN 1964

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JUN - 8 2015  
  
Planning & Development Department  
Development Services Division

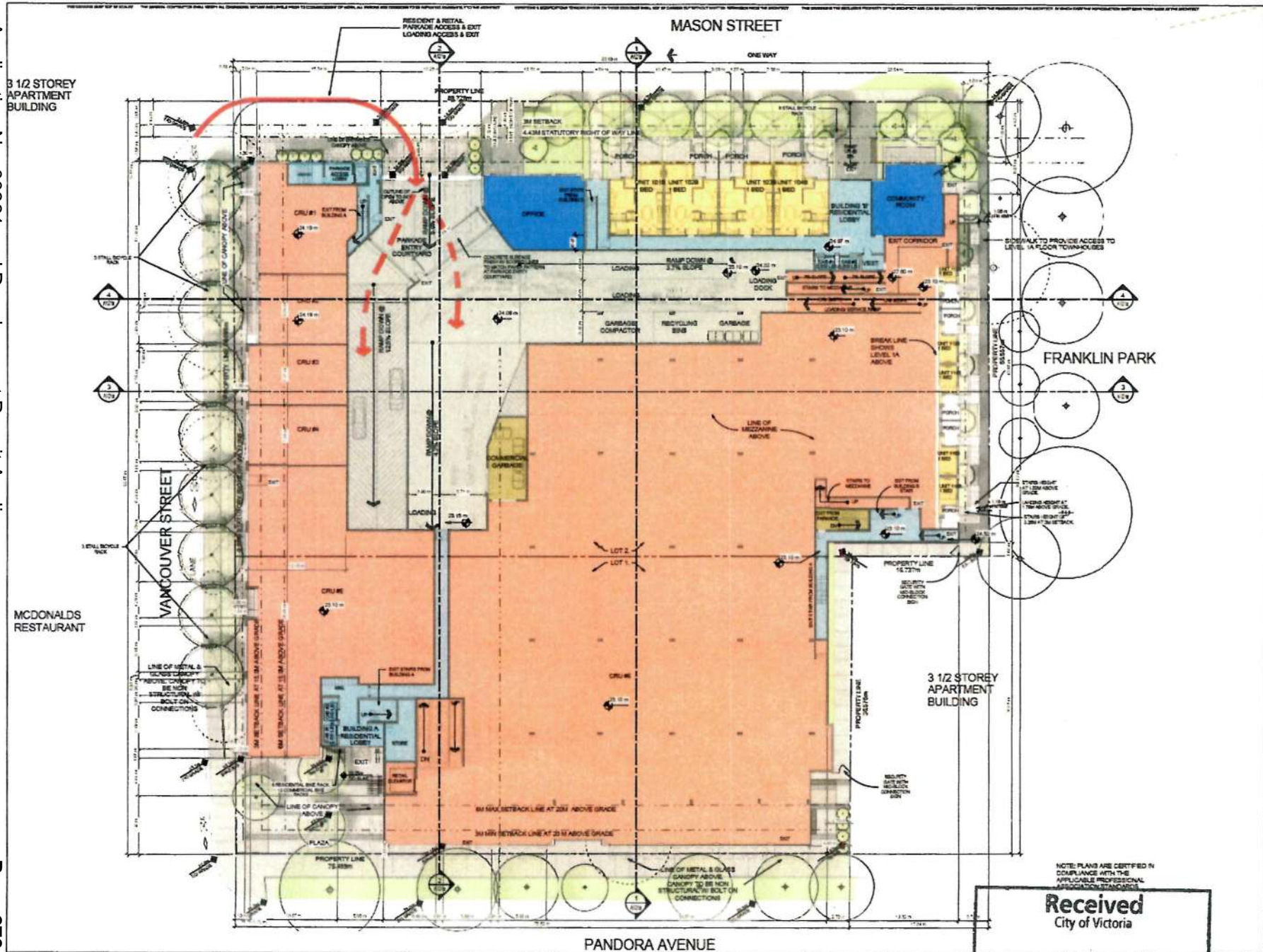












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3	FOR RECORD SUBMISSION	
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5	FOR RECORD SUBMISSION	
6	FOR RECORD SUBMISSION	
7	FOR RECORD SUBMISSION	
8	FOR RECORD SUBMISSION	
9	FOR RECORD SUBMISSION	
10	FOR RECORD SUBMISSION	



CHHIS DIKAKOS ARCHITECTS INC.

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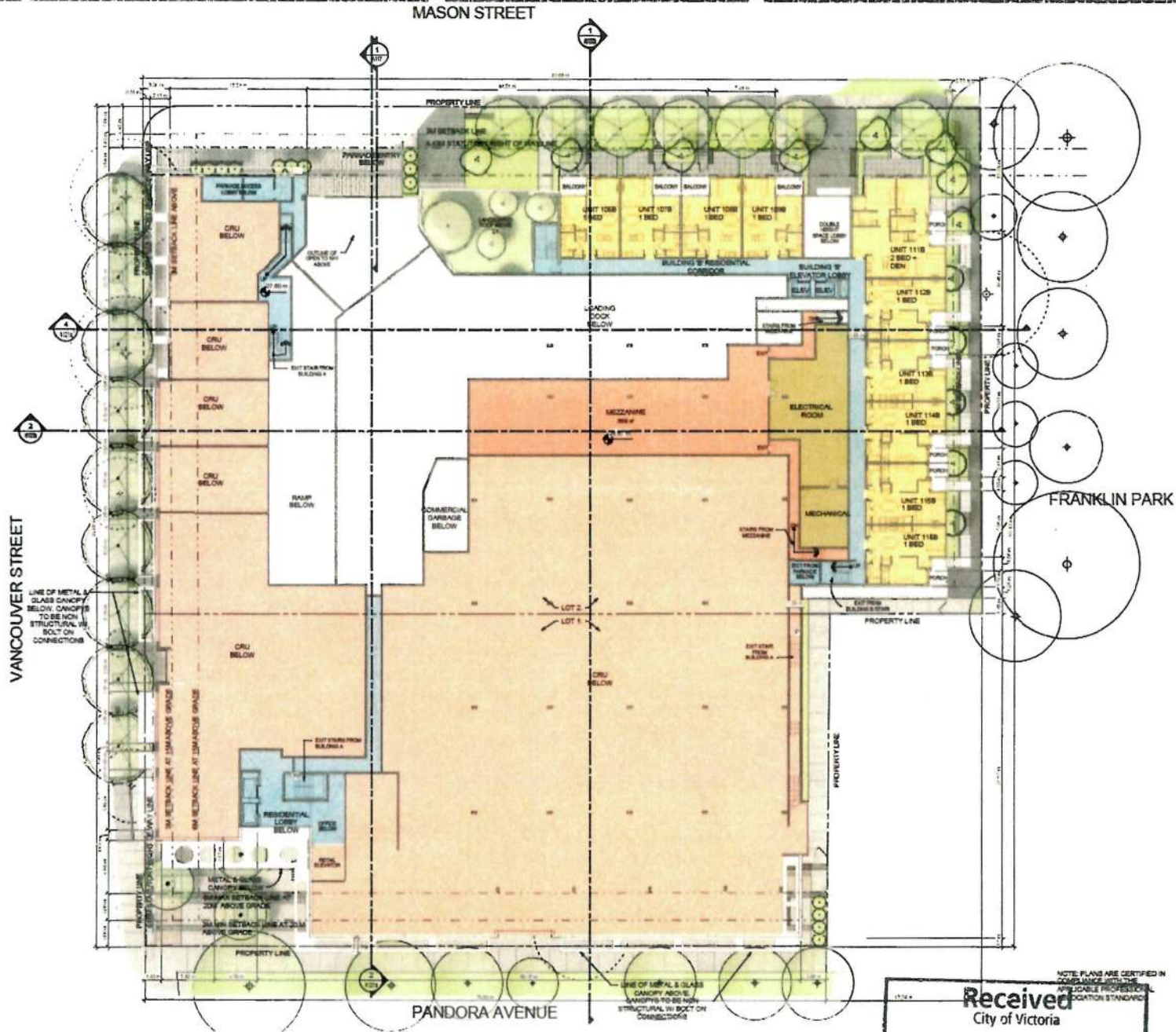
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KEY PLAN	
SCALE: N/A	
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REVISIONS:	
ISSUED FOR:	
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ARCHITECT DESIGN PANEL RESPONSE	4/27/2016
ARCHITECT DESIGN PANEL	5/25/2016
DEVELOPMENT PERMIT	4/20/2016
REZONING SUBMISSION	2/20/2016
PLANNING MEETING	2/20/2016
DEVELOPMENT PERMIT	2/20/2016
REZONING SUBMISSION	2/20/2016



CHRIS DIKRAKOS  
ARCHITECTS INC.

7801 10th Street, Suite 100, Victoria, BC V8P 1A1  
T: 250.381.1000 F: 250.381.1001 E: info@chrisdikrakos.com

CONSULTANT REPORTS:  
ARCHITECTURAL DESIGN: 2014-01-15  
PROJECT: 2014-01-15  
REVISION: 2014-01-15  
DATE: 2014-01-15

PROJECT:  
RESIDENTIAL - COMMERCIAL  
DEVELOPMENT  
1000-1012 PANDORA AVENUE  
VICTORIA, BC

OWNER:  
**BlueSky**  
PROPERTIES

CONSULTANT:

Drawn by: J. J. J.  
Checked by: J. J. J.  
Scale: 1:200  
File No: 100  
Date: June 25, 2015  
SHEET TITLE:  
LEVEL 1A

DRAWING NO.:  
A107

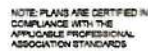
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JUN - 8 2015

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Planning and Land Use Committee - 25 Jun 2015



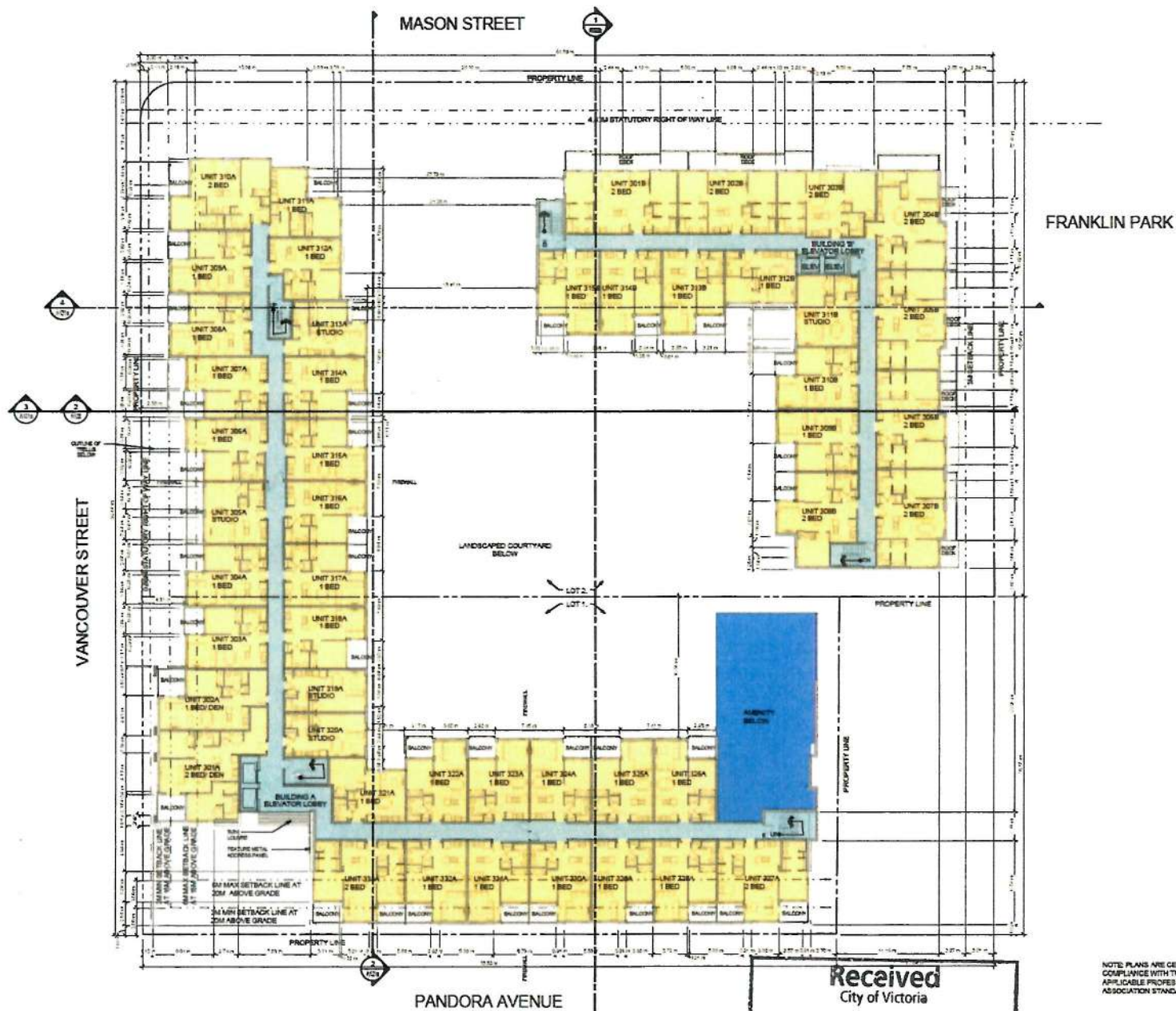


Planning & Development Department  
Development Services Division

FIRE COMPARTMENT AREAS				
LEVEL	SOUTH WEST	NORTH WEST	SOUTH EAST	BUILDING TOTAL
L6	960.0 SF		537.0 SF	
L5	1147.55 SF	829.6 SF	552.6 SF	
L4	1147.55 SF	435.2 SF	552.6 SF	
L3	1147.55 SF	435.2 SF	494.1 SF	1400.0 SF
L2	1147.55 SF	435.2 SF	732.5 SF	1495.3 SF
L1A				1737.5 SF
L1				1577.5 SF
TOTAL	4320.6 SF	2415.2 SF	2766.8 SF	4237.3 SF

Planning and Land Use Committee - 25 Jun 2015





NOTE: PLANS ARE CERTIFIED IN COMPLIANCE WITH THE APPLICABLE PROFESSIONAL ASSOCIATION STANDARDS

KEY PLAN  
SCALE: N/A  
NOTED



REVISIONS:

ISSUED FOR:

OF RECORDING SUBMISSION	2015/01/15
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CONCEPT DESIGN/FEASIBILITY RESPONSE	2015/01/15
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CONCEPT DESIGN/FEASIBILITY RESPONSE	2015/01/15
CONCEPT DESIGN/FEASIBILITY RESPONSE	2015/01/15
CONCEPT DESIGN/FEASIBILITY RESPONSE	2015/01/15



CHRIS DIKEAKOS ARCHITECTS INC.

100-1012 PANDORA AVENUE, VICTORIA, BC

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

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100-1012 PANDORA AVENUE, VICTORIA, BC

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100-1012 PANDORA AVENUE, VICTORIA, BC

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RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

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100-1012 PANDORA AVENUE, VICTORIA, BC

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RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

PROJECT:

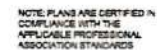
RESIDENTIAL - COMMERCIAL DEVELOPMENT

100-1012 PANDORA AVENUE, VICTORIA, BC

Received  
City of Victoria  
JUN - 8 2015  
Planning & Development Department  
Development Services Division

Planning and Land Use Committee - 25 Jun 2015

DRAWN BY: Author	SEA:
CHECKED BY: Owner	
SCALE: 1:50	
FILED: PM	
DATE: APR 16, 2015	
SHEET TITLE:	
LEVEL 3	
DRAWING NO.:	
A109	



Received  
City of Victoria

JUN - 8 2015

Planning & Development Department  
Development Services Division



CHRIS DIKEAKOS  
ARCHITECTS INC.

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E-mail:	info@china-hyundai.com.cn	Website:	www.china-hyundai.com.cn

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PROJECT \_\_\_\_\_

BlueSky  
PROPERTIES

CONSULTANT	
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DESIGNED BY: Author	SHEET TITLE:
CHECKED BY: Checker	
SCALE: 1:500	
PROJECT: TAN	
DATE: JUN 29, 2015	
LEVEL 4	

DRAWING NO.:	REV
A110	25 J

**Planning and Land Use Committee - 25 Jun 2015**





Planning & Development Department  
Development Services Division

DRAWING NO.:	REV.
A111	25 J

**Planning and Land Use Committee - 25 Jun 2015**



NOTE: PLANS ARE CERTIFIED IN COMPLIANCE WITH THE APPLICABLE PROFESSIONAL ASSOCIATION STANDARDS

Received  
City of Victoria

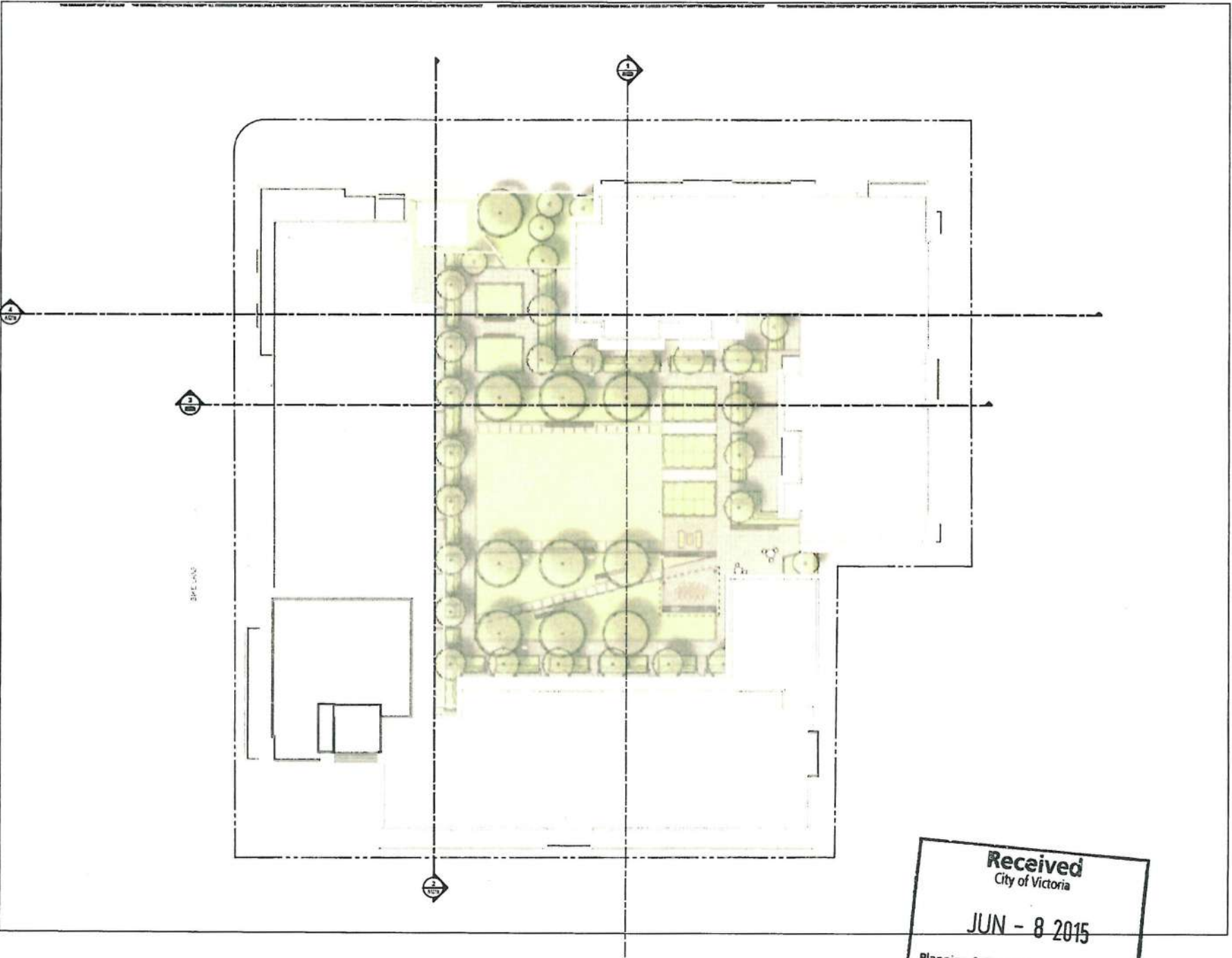
JUN - 8 2015

Planning & Development Department  
Development Services Division

<b>KEY PLAN</b> SCALE: NTA NOTES	
	
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OF RECORDING DISCUSSION _____	
ADVISORY DESIGN PANEL RESPONSE _____	
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RECORDING SUBMISSION _____	
PLANNING MEETING _____	
DEVELOPMENT PERMIT _____	
RECORDING SUBMISSION _____	
	
CHRIS DIKEAKOS ARCHITECTS INC.	
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CONSULTING FIRM: 1000-1000-1000   1000-1000-1000   1000-1000-1000 1000-1000-1000   1000-1000-1000   1000-1000-1000 1000-1000-1000   1000-1000-1000   1000-1000-1000	
PROJECT: RESIDENTIAL - COMMERCIAL DEVELOPMENT 1000-1000-1000   1000-1000-1000   1000-1000-1000 VICTORIA, BC	
ORDER: 	
CONSULTANT: 1000-1000-1000   1000-1000-1000   1000-1000-1000 1000-1000-1000   1000-1000-1000   1000-1000-1000 1000-1000-1000   1000-1000-1000   1000-1000-1000	
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CHECKED BY: Designer	SCALE: 1 : 500
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SHEET TITLE: LEVEL 6	
DRAWING NO.: A112	

**Planning and Land Use Committee - 25 Jun 2015**

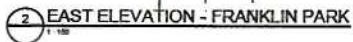
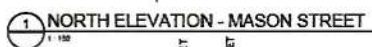




**Received**  
City of Victoria  
  
**JUN - 8 2015**  
  
Planning & Development Department  
Development Services Division

<b>KEY PLAN</b>																					
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<p><b>Planning and Land Use Committee - 25 Jun 2015</b></p>																					
<p><b>BlueSk PROPERTIES</b></p>																					
<p><b>CONSULTANT</b></p>																					
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<p>DRAWING NO.:</p> <p>A112a</p>	<p>REV:</p>																				





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City of Victoria

JUN - 8 2015

Planning & Development Department  
Development Services Division

1	PAINTED CONCRETE
2	BRICK
GLAZING	
3	WYLL VISION FRAME
4	CLEAR GLASS
5	PANORAM GLASS
6	METAL PANEL
7	METAL WINDOW FRAME
RAILING	
8	ALUMINIUM &
9	GLASS GUARDRAIL
	METAL GUARDRAIL
ELEVATION	
10	HARDIE PANEL
11	GLASS SKYLIGHT
12	CORRUGATED METAL
13	CANOPY METAL PANEL

REV. NO.	DATE
REVISIONS:	
ISSUED FOR:	
ADVISORY DESIGN PANEL RESPONSE	SECTION 4



CHRIS DIAKOS  
ARCHITECTS INC.

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 OF THE BUREAU OF LAND MANAGEMENT

**PROJECT**

**RESIDENTIAL - COMMERCIAL  
 DEVELOPMENT  
 1008-1012 PANDORA AVENUE  
 VICTORIA, BC**

**Plan**

**BlueSky**  
PROPERTIES

CONSULTANT	
------------	--

CREATED BY: Author	e Com
CHECKED BY: Chapter	
SCALE: 1 - 100	
PRINTED: PAN	
DATE: JUNE 09, 2018	

SHEET TITLE:  
NORTH/ EAST  
ELEVATIONS

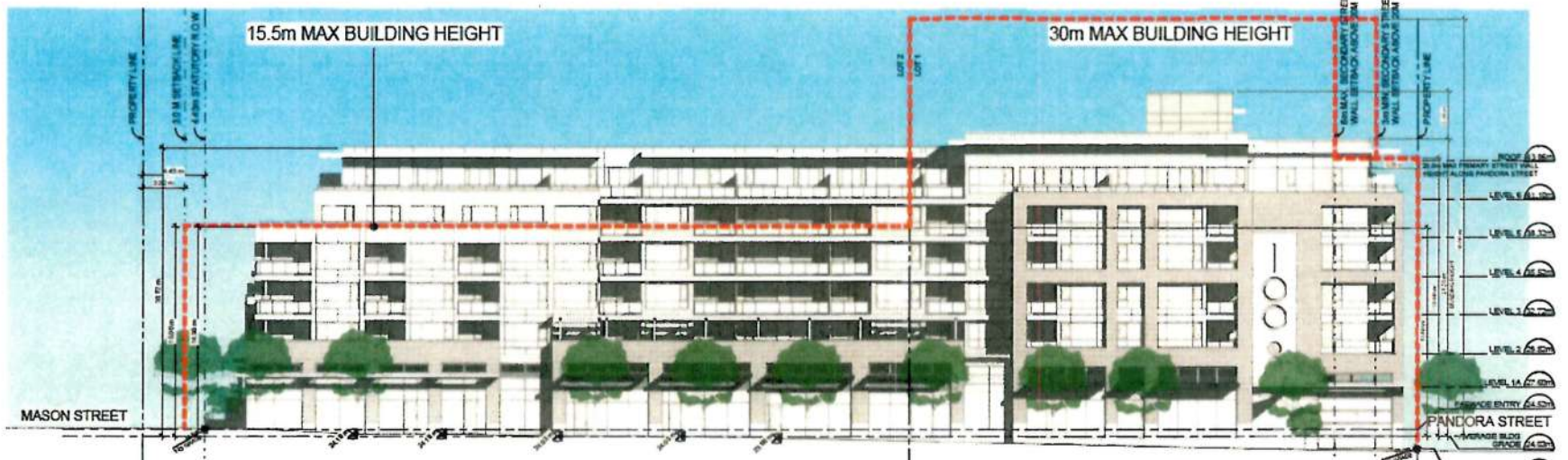
DRAWING NO.:	FORM
A113	5 J

## Planning and Land Use Committee - 25 Jun 2015





1 SOUTH ELEVATION - PANDORA STREET



2 WEST ELEVATION - VANCOUVER STREET

Received  
City of Victoria  
JUN - 8 2015  
Planning & Development Department  
Development Services Division

**MATERIALS LEGEND**

- 1 PAINTED CONCRETE
- 2 BRICK
- 3 GLAZING
- 4 VINYL WINDOW FRAME
- 5 CLEAR GLASS
- 6 SPANDREL GLASS
- 7 METAL PANEL
- 8 METAL WINDOW FRAME
- 9 ALUMINUM
- 10 ALUMINUM & GLASS GUARDRAIL
- 11 METAL GUARDRAIL
- 12 CORRUGATED METAL
- 13 CARPORT METAL PANEL

**ELEVATION**

- 10 HARDY PANEL
- 11 GLASS WINDOW
- 12 CORRUGATED METAL
- 13 CARPORT METAL PANEL

**REVISIONS**

NO.	REVISION	DATE
1	ISSUED FOR:	
2	ADVISORY DESIGN PANEL RESPONSE	1/10/14

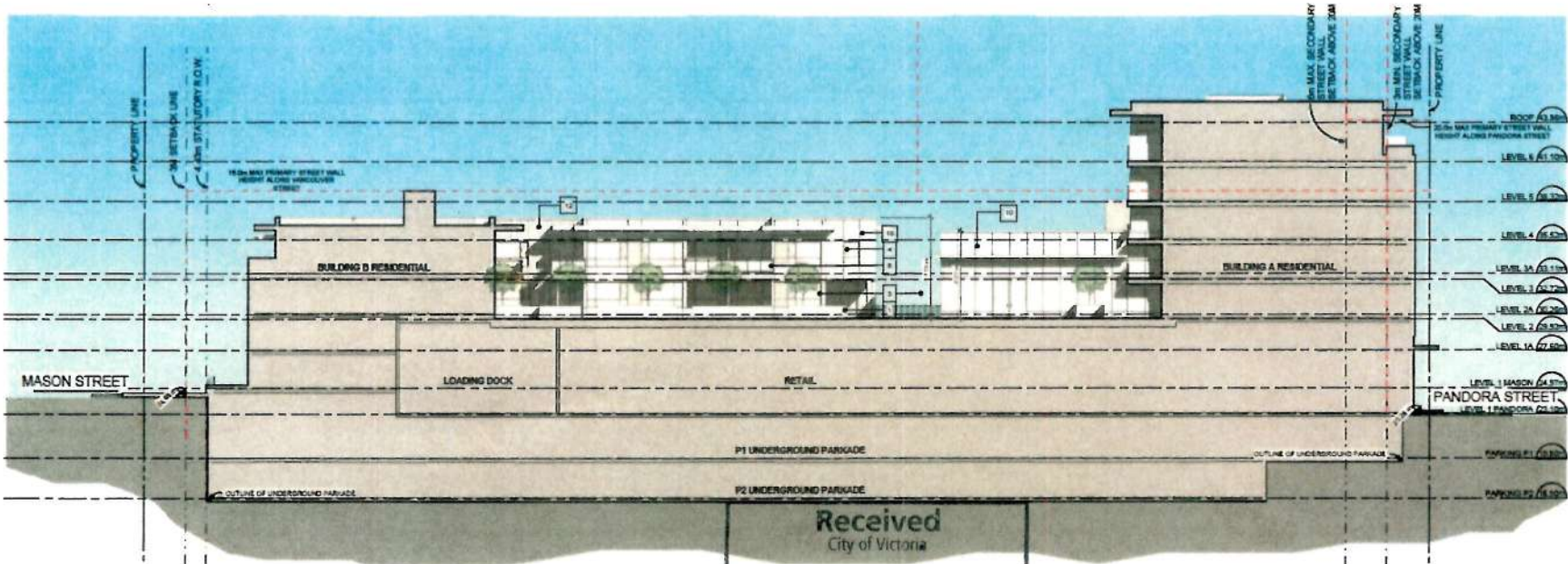
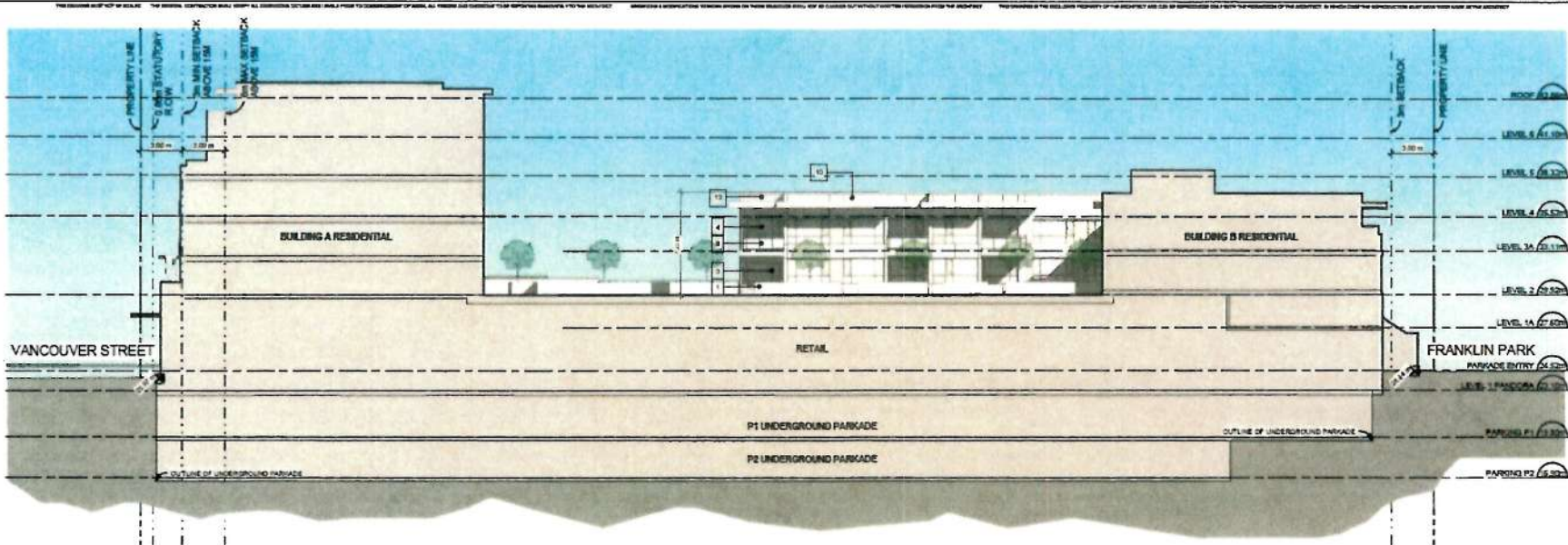
**BlueSk**  
PROPERTIES

**Planning and Land Use Committee - 25 Jun 2015**

**SOUTH WEST ELEVATIONS**

**DRAWING NO.:**  
A114





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City of Victoria  
JUN - 8 2015  
Planning & Development Department  
Development Services Division

**MATERIALS LEGEND**

- 1 PAINTED CONCRETE
- 2 BRICK
- GLAZING
- 3 VINYL WINDOW FRAME
- 4 CLEAR GLASS
- 5 SPRINGED GLASS
- 6 METAL PANEL
- 7 METAL WINDOW FRAME
- RAILINGS
- 8 ALUMINUM & BLACK QUARTZITE
- 9 METAL QUARTZITE
- ELEVATION
- 10 HARDY PANEL
- 11 CLEAR BACKLIGHT
- 12 CORRUGATED METAL
- 13 CANOPY METAL PANEL

ISSUED FOR:  
ADVISORY DESIGN PANEL RESPONSE

**CHRIS DIKEAKOS ARCHITECTS INC.**  
7 604 281 2882 | 1 800 665 6666 | info@chrisdikekos.com  
7 604 281 2882 | 1 800 665 6666 | info@chrisdikekos.com

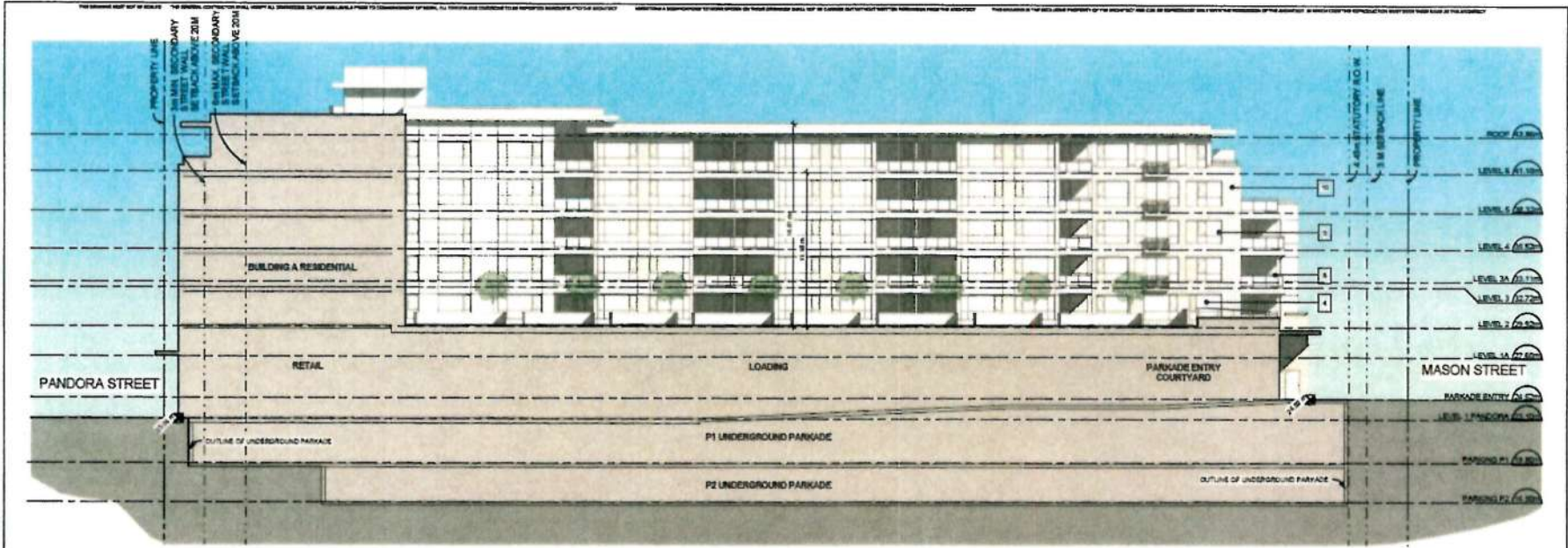
**BlueSky PROPERTIES**

**Planning and Land Use Committee - 25 Jun 2015**

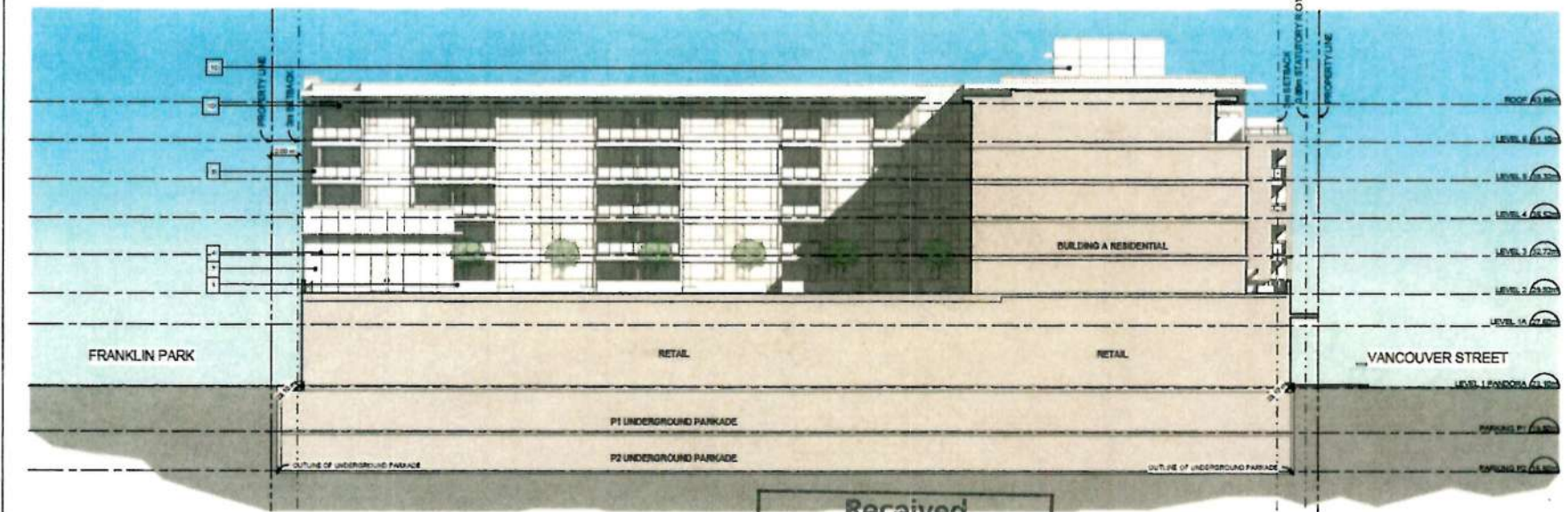
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INTERIOR COURTYARD ELEVATIONS

**DRAWING NO.:**  
A115





1 INTERIOR COURTYARD ELEVATION (LOOKING WEST)  
1:100



2 INTERIOR COURTYARD ELEVATION (LOOKING SOUTH)  
1:100

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City of Victoria

JUN - 8 2015

Planning & Development Department  
Development Services Division

MATERIALS LEGEND

- 1 PAINTED CONCRETE
- 2 BRICK
- 3 GLAZING
- 4 VINYL WINDOW FRAME
- 5 CLEAR GLASS
- 6 SPANDREL GLASS
- 7 METAL PANEL
- 8 METAL WINDOW FRAME
- 9 RAILINGS
- 10 ALUMINUM & GLASS GUARDRAIL
- 11 METAL GUARDRAIL
- 12 ELEVATION
- 13 HARDIE PANEL
- 14 GLASS (ELEVATION)
- 15 CORRUGATED METAL
- 16 CANOPY METAL PANEL

REVISIONS:	DATE
ISSUED FOR:	14/07/2014
ADVISORY DESIGN PANEL RESPONSE	

**CDN**  
CHRIS DIKEAKOS  
ARCHITECTS INC.  
701-221-1000 | 1-800-661-2828 | INFO@CDNARCH.COM  
2211 DUNDAS STREET WEST, SUITE 100, TORONTO, ONTARIO M6J 1B5

Planning and Land Use Committee - 25 Jun 2015

<p>OWNER: <b>BlueSky</b> PROPERTIES</p>	
<p>CONSULTANT:</p>	
<p>DRAWN BY: Author</p>	<p>SEAL:</p>
<p>CHECKED BY: Checker</p>	<p>SCALE: 1:100</p>
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<p>SHEET TITLE: INTERIOR COURTYARD ELEVATIONS</p>	
<p>DRAWING NO.: A116</p>	<p>DATE: JUN 25, 2015</p>





Planning & Development Department  
Development Services Division

## Planning and Land Use Committee - 25 Jun 2015



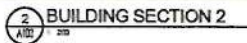


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Development Services Division

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## Planning and Land Use Committee - 25 Jun 2015

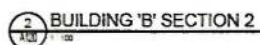
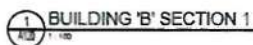




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Development Services Division

## Planning and Land Use Committee - 25 Jun 2015





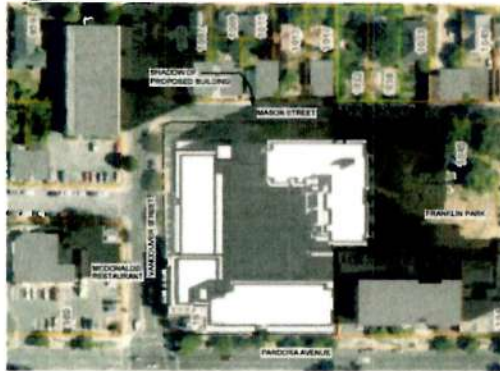
Planning & Development Department  
Development Services Division

## Planning and Land Use Committee - 25 Jun 2015

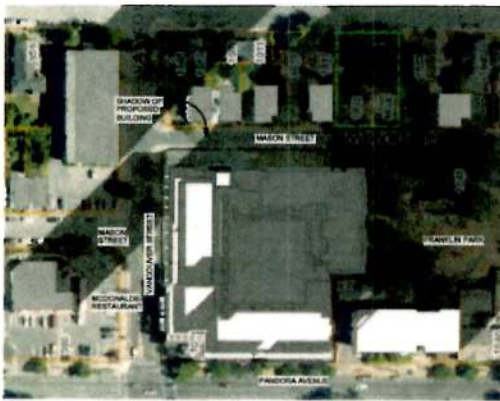




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A113 1:1000



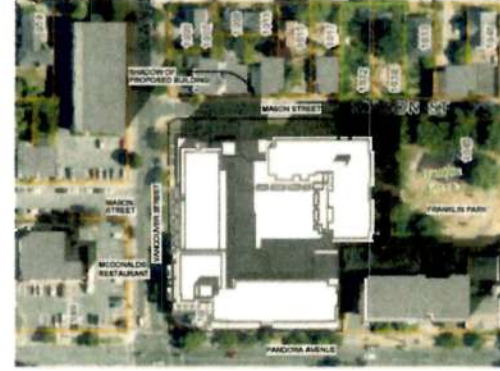
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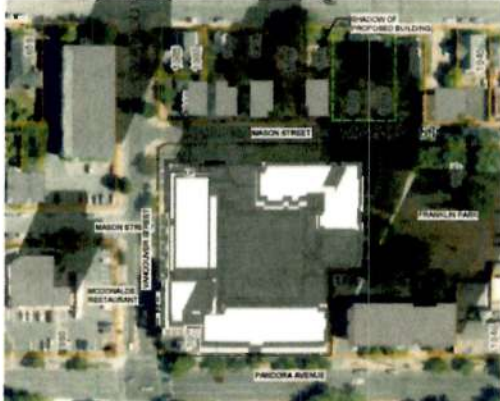
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2 Shadow Study June22 2pm  
A113 1:1000



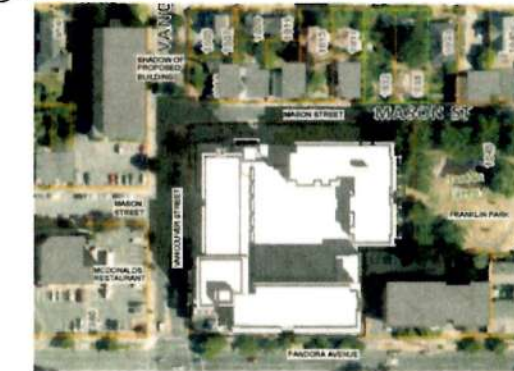
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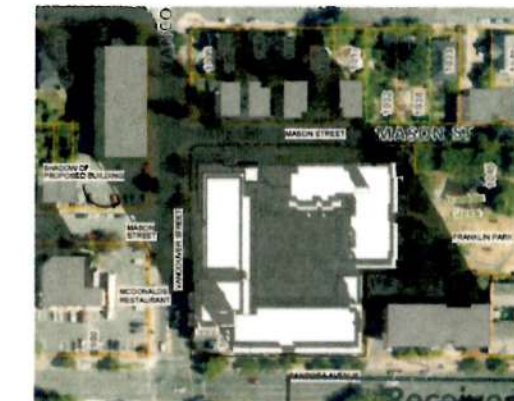
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3 Shadow Study June22 10am  
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6 Shadow Study Sept22 10am  
A113 1:1000



9 Shadow Study Dec22 10am  
A113 1:1000

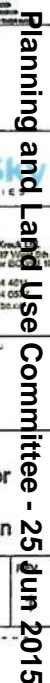
JUN - 8 2015

Planning & Development Department  
Development Services Division

<b>KEY PLAN</b>																															
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<b>CHRIS DIKEAKOS ARCHITECTS INC.</b> 100-1012 PANDORA AVENUE VICTORIA, BC V8P 1A1 TEL: 250-383-1234 FAX: 250-383-1235 WWW.CHRISDIKEAKOS.COM																															
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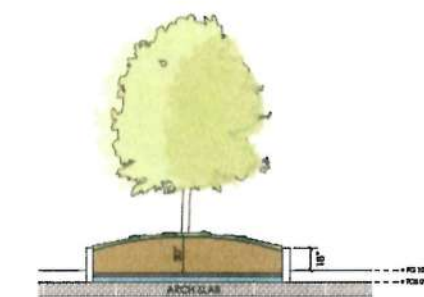
Planning and Land Use Committee - 25 Jun 2015





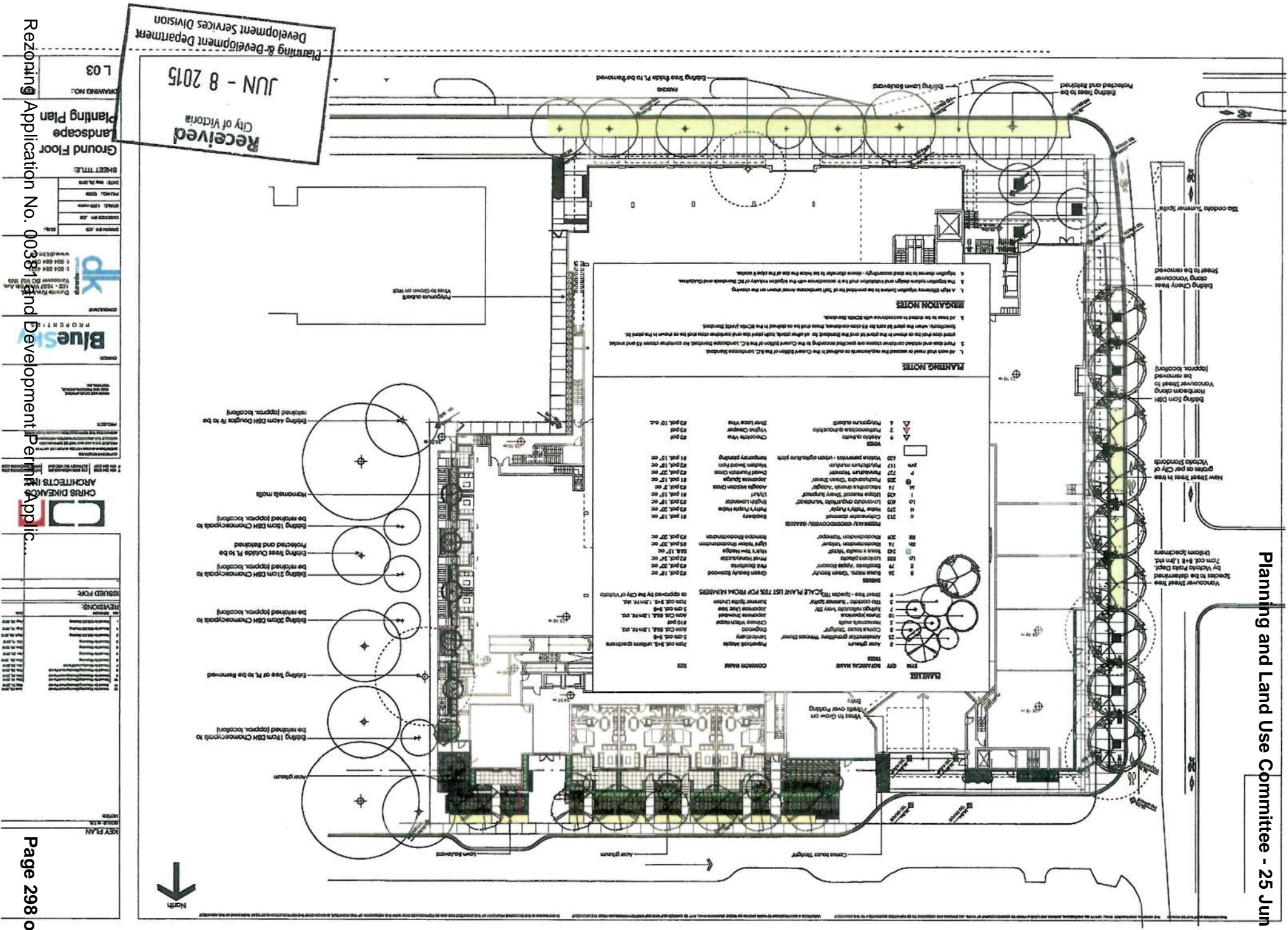
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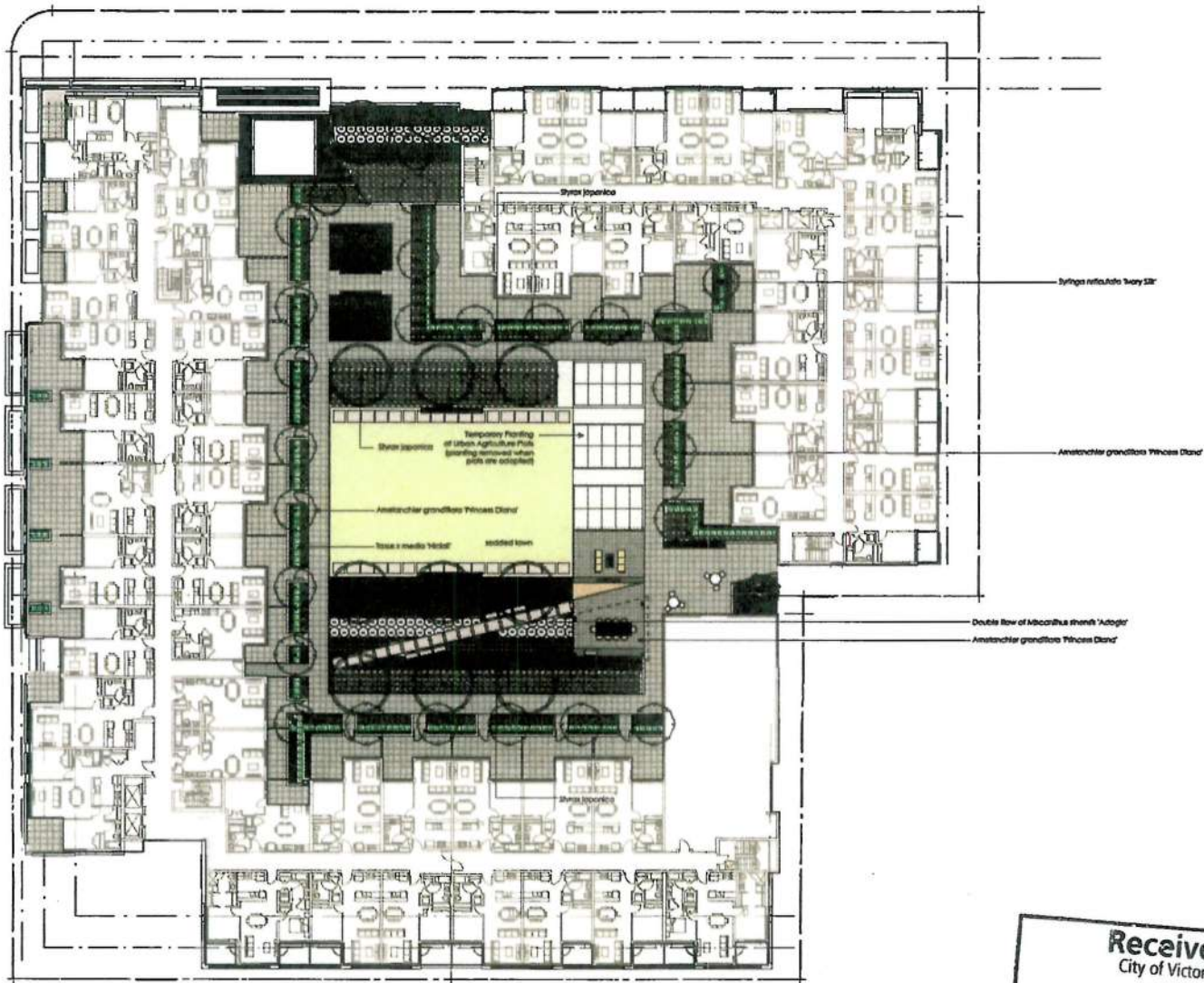



Planning & Development Department  
Development Services Division









**KEY PLAN**  
**SCALE: 1:100**  
**NOTES:**

1	Revised for Planning Department	April 15, 2015
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3	Revised for Planning Department	April 15, 2015
4	Revised for Planning Department	April 15, 2015
5	Revised for Planning Department	April 15, 2015
6	Revised for Planning Department	April 15, 2015
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15	Revised for Planning Department	April 15, 2015
16	Revised for Planning Department	April 15, 2015
17	Revised for Planning Department	April 15, 2015
18	Revised for Planning Department	April 15, 2015
19	Revised for Planning Department	April 15, 2015
20	Revised for Planning Department	April 15, 2015

**REVISIONS:**

**ISSUED FOR:**



**Planning and Land Use Committee - 25 Jun 2015**



**CONSULTANT:**  
 BlueSky Properties  
 100 - 1000 10th Ave.  
 Vancouver BC V6C 1A5  
 T: 604 684 4000  
 F: 604 684 4001  
 www.bskypro.com

DESIGNED BY: JDB	SCALE:
CHECKED BY: JDB	SCALE: 1:100
DATE: 05/05/2015	
SHEET TITLE:	

**Podium (Level 2)  
 Landscape  
 Planting Plan**

**DRAWING NO.:**  
 L 04

**Received**  
 City of Victoria  
**JUN - 8 2015**  
 Planning & Development Department  
 Development Services Division



**MINUTES – VICTORIA CITY COUNCIL**

**MEETING OF THURSDAY, SEPTEMBER 11, 2014, AT 7:00 P.M.**

**PLACE OF MEETING:**

Council Chambers, City Hall

**PRESENT:**

Mayor Fortin in the Chair, Councillors Alto, Coleman, Gudgeon, Helps, Isitt, Thornton-Joe, and Young

**ABSENT FOR A PORTION  
OF THE MEETING:**

Councillor Madoff

**STAFF PRESENT:**

J. Johnson, City Manager; P. Bruce, Fire Chief; D. Day, Director, Sustainable Planning and Community Development; K. Hamilton, Director of Citizen Engagement and Strategic Planning; J. Hawkins, Council Secretary; J. Jenkyns, General Manager, Victoria Conference Centre; D. Kalynchuk, Director, Engineering and Public Works; J. MacDougall, Acting Director of Parks, Recreation and Culture; K. Oberg, Manager of Culture, Sport & Neighbourhoods; C. Paine, Manager of Revenue; S. Thompson, Director of Finance; M. Wilson, Senior Planner; R. Woodland, Corporate Administrator; T. Zworski, City Solicitor

**POETRY READING**

Janet Rogers, Poet Laureate, read the poem "Surprise Me" from her latest book, Peace and Rest.

**APPROVAL OF AGENDA**

The Corporate Administrator outlined changes to the agenda.

*Councillor Alto requested that Jeff Hopkins from Learningstorm Education Society, re: Permissive Tax Exemption be added to the Request to Address section of the agenda.*

*Mayor Fortin requested that the agenda be amended to include cancellation of the public hearing for Rezoning Application No. 00381 for 1005-1008, 1012 Pandora Avenue, as requested by the applicant.*

**Motion:**

It was moved by Councillor Young, seconded by Councillor Coleman, that the agenda be approved as amended.

*Councillor Isitt said there was a motion at the previous meeting to postpone consideration of the public hearing which was defeated. He said he was in favour of opening the hearing tonight but not closing it.*

*Councillor Helps said she supports postponing the hearing as density in neighbourhoods is important and a postponement of this application will provide an opportunity to find a solution that works.*

*Councillor Gudgeon said there have been mistakes made in the process but the applicant has been willing to work with the neighbourhood and made concessions but the voice of the neighbourhood has not been heard.*

*Councillor Alto said that she supports postponing the hearing and she voted to postpone at the last meeting because the engagement process was still ongoing. This proposal needs more time to find a development that will work.*

*Councillor Young said this is the developer's request to postpone the hearing which is their right versus Council delaying the process.*

*Councillor Thornton-Joe said she voted against postponing at the last meeting in the hope that any changes were conveyed to the public before the hearing. But she wouldn't want to refuse the request, noting the postponement is at the applicant's cost.*

*Councillor Coleman said the request is unusual but the applicant has said they can make it a better project.*

*Mayor Fortin read the letter from the applicant and expressed approval for the developer wanting to work with the community.*

**Councillor Madoff entered Council Chambers at 7:28 p.m.**

*Councillor Gudgeon said there has been misinformation and urged the neighbourhood to listen to the developer and actually get to know the proposal better.*

Carried Unanimously





September 10, 2014

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Attn: Mayor and Members of Council

Re: 1002-1008 and 1012 Pandora Avenue

Dear Mayor and Council,

As Council is aware, we recently conducted a number of public information sessions to share the most recent plans with the community and to specifically communicate how the proposal has evolved with public input over the last two years. While we heard from a number of community members who support our proposal, we also know that others have ongoing concerns with respect to site access, building height and massing. As a result of these recent meetings, we have determined that given the scale and complexity of the proposal, we require more time to further consider and engage with stakeholders regarding key elements of the project.

As such, we respectfully request of Council to delay the Public Hearing so that we can complete further work with stakeholders before rescheduling the Public Hearing for a later date.

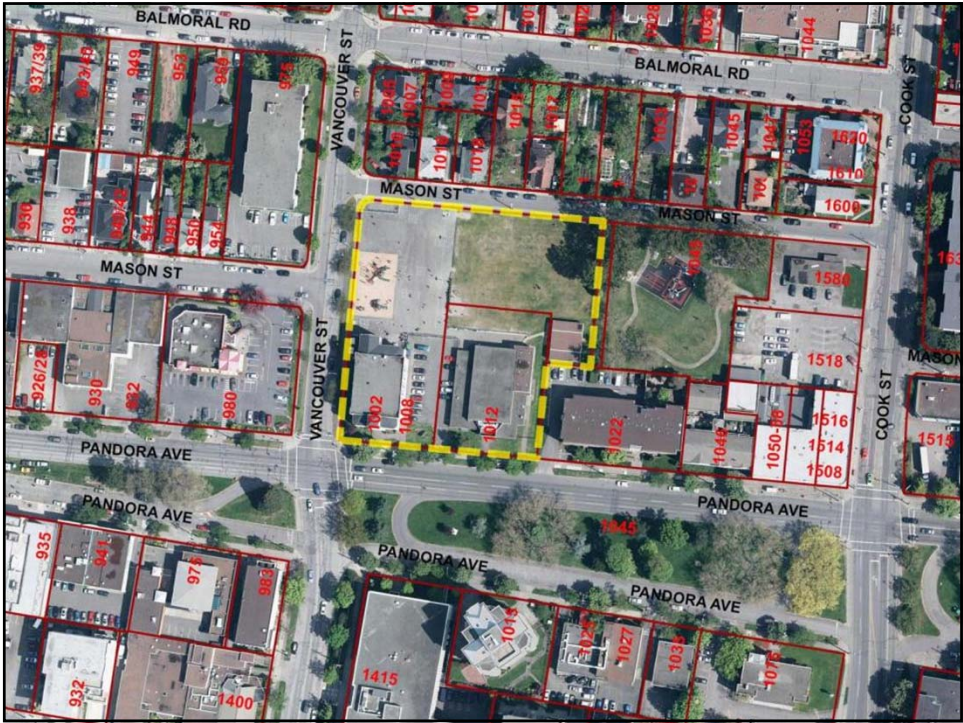
Regards,

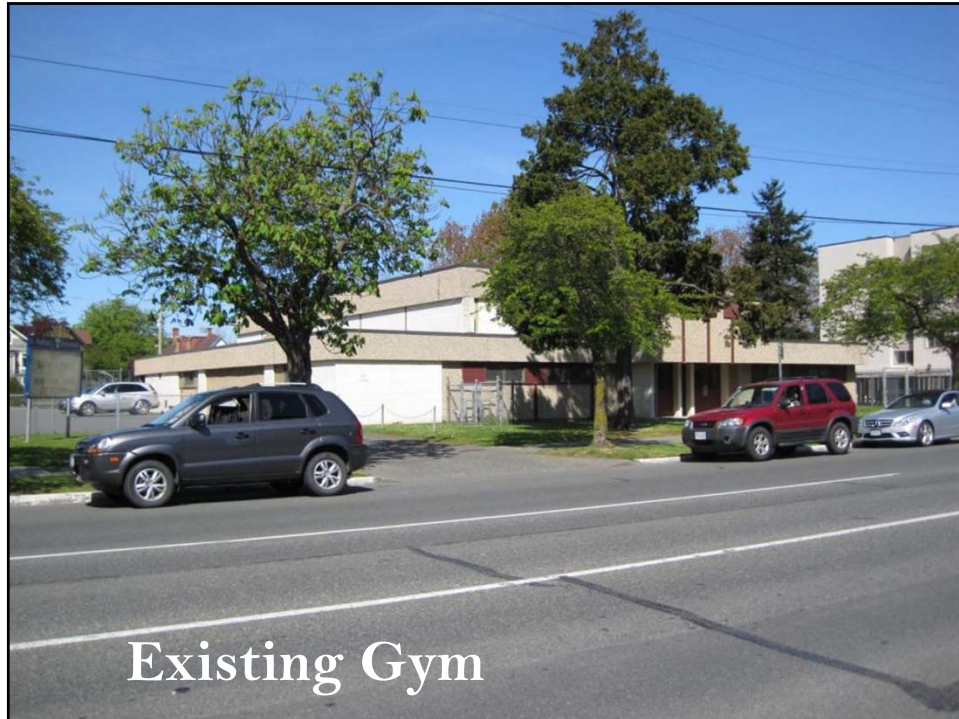
A handwritten signature in black ink, appearing to read "Mark Kopinya", with a long horizontal flourish extending to the right.

Mark Kopinya  
Development Manager









Existing Gym

### Relevant City Policies

#### **Official Community Plan (2012)**

##### ***North Park Neighbourhood Directions***

- New population and housing growth within walking distance of North Park Village
- Establish high-density mixed use area along Pandora Avenue

#### **Downtown Core Area Plan (2011)**

##### ***Residential Mixed Use District***

- Encourage active commercial uses at street level on Pandora Ave.
- Ensure well designed streets and public realm
- Consider sensitive transitions to surrounding Districts

#### **North Park Local Plan (1996)**

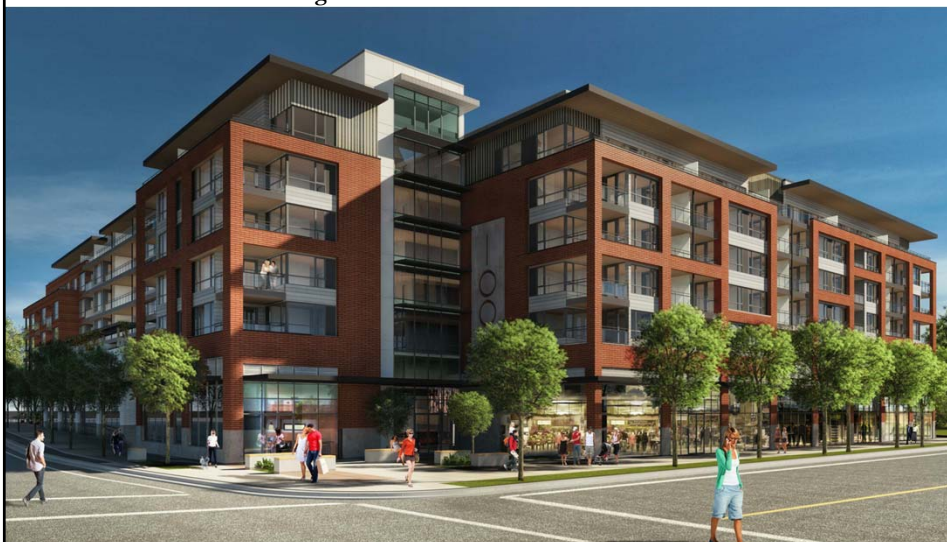
- Area where “major change (is) predicted”
- Vancouver Street at Pandora Ave. identified as a street head site



Pandora at Vancouver looking northeast



Pandora at Vancouver looking northeast



- Removal of school tower
- Additional building height and density fronting Pandora and Vancouver
- Landscaped open space at corner of Pandora Ave and Vancouver St is maintained

Mason Street looking southwest



- 6-storey building form
- Higher overall density

Mason Street looking southwest



- Reduction in Building Height and Density
- Maintain ground oriented unit entrances on Mason Street and Franklin Green

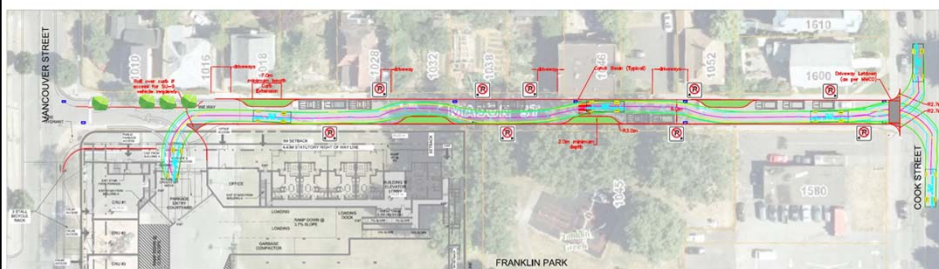


Mason Street at Vancouver St looking southeast



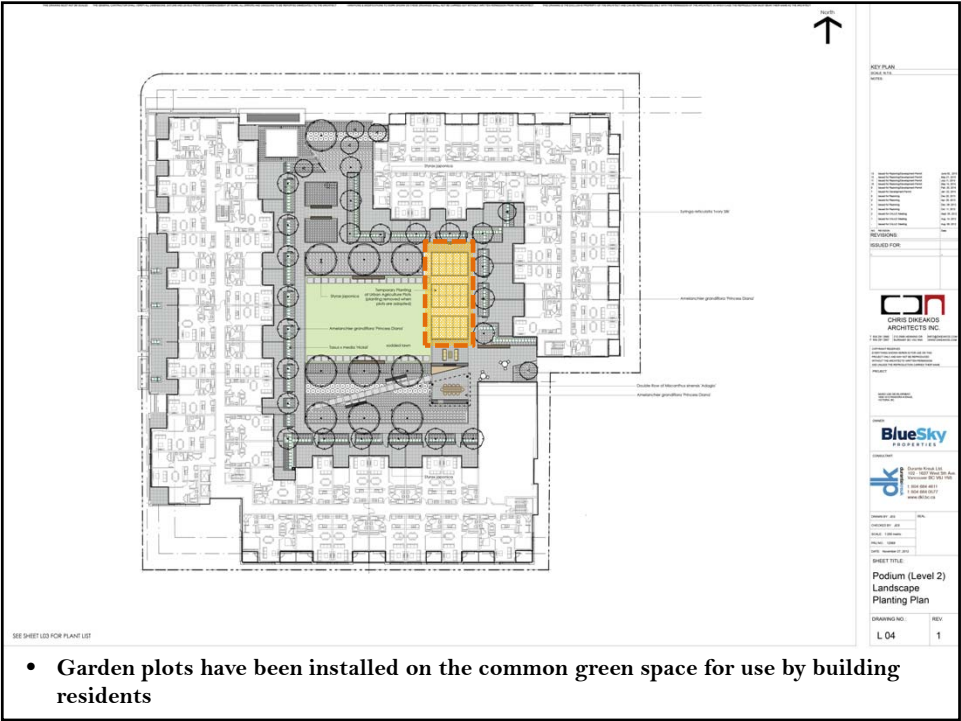
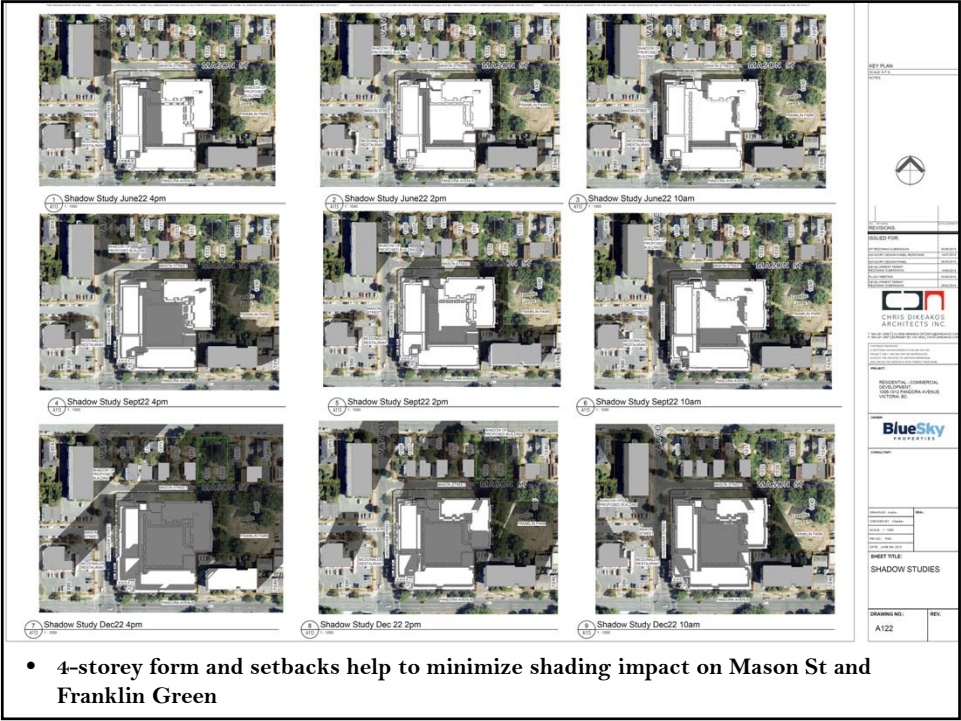
- Additional landscaping added adjacent to parking access
- Mason Street widened for a short portion of the block to allow for vehicle access

## Mason Street – Proposed Changes and Traffic Impacts



- New driveway ramp at Cook Street and Mason Street
- New planted or paved curb bump outs
- New plantings at 1010 and 1016 Mason Street





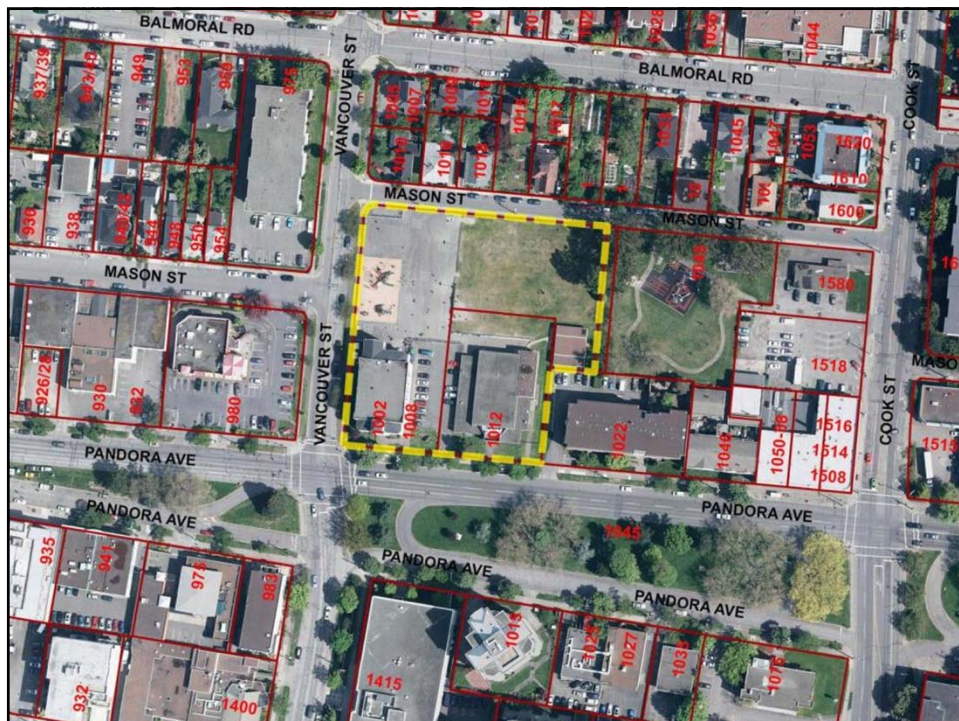
- Garden plots have been installed on the common green space for use by building residents

## Non-market rental housing

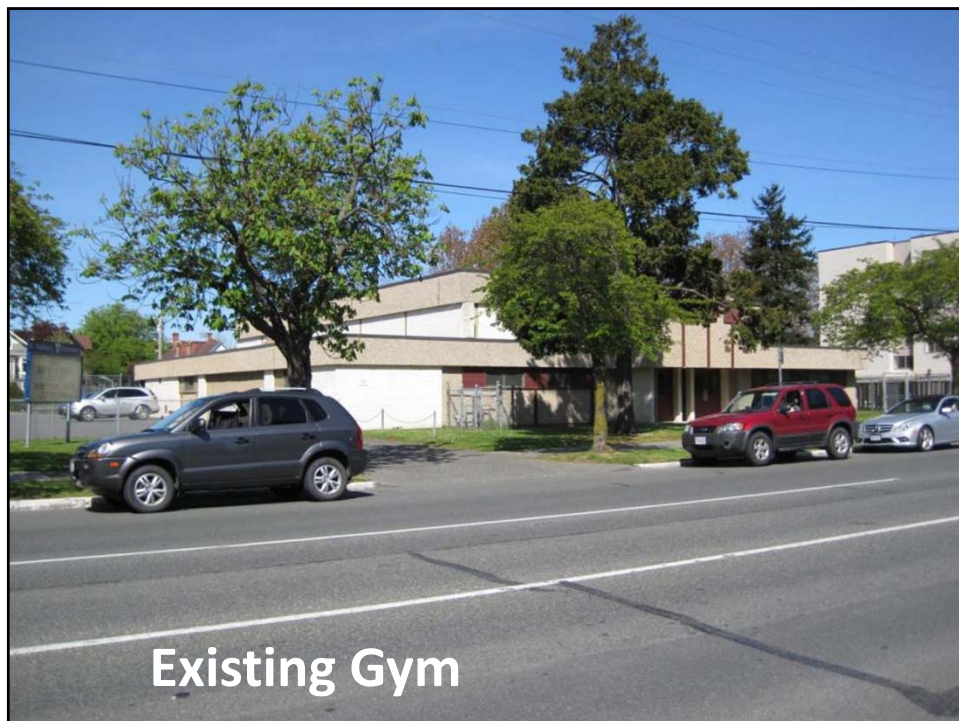
- Applicant is volunteering 11 units as non-market rental units in perpetuity
- Rents are tied to Housing Income Limits established by BC Housing

Unit Type	Housing Income Limits (2015)	Maximum Rent
Bachelor	\$29,500	\$737.50
1-Bedroom	\$34,500	\$862.50
2-Bedroom	\$43,000	\$1,075.00

- Rents levels are consistent Victoria Housing Fund Reserve Guidelines
- Housing Agreement Bylaw has been prepared

















## Planning and Land Use Committee Report

For the Meeting of June 25, 2015

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**To:** Planning and Land Use Committee      **Date:** June 11, 2015

**From:** Leanne Taylor, Planner, Development Services Division

**Subject:** Development Permit with Variances Application No. 000388 for 80 Saghalie Road

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### RECOMMENDATION

Staff recommend that Committee forward this report to Council and that after giving notice and allowing an opportunity for public comment, that Council consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 000388 for 80 Saghalie Road in accordance with:

1. Plans date stamped March 13, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - a. Part 10.42.27 - Increase the allowable maximum floor area for Commercial use from 190.00m<sup>2</sup> to 938.40m<sup>2</sup>;
  - b. Part 10.42.31 - Reduce the minimum required open site space from 50% to 45%;
  - c. Part 10.42.32 - Allow commercial uses on all floors rather than only the ground floor;
  - d. Part 10.42.34 (a) - Allow required parking to be located on-site rather than being enclosed;
  - e. Schedule C, Section C(5) - Reduce the required number of parking stalls from 14 to 8.
3. Register a legal agreement on title to limit the commercial use of the buildings and guarantee the future removal of the trailers within 15 to 20 years to the satisfaction of staff.
4. Final plans in to be accordance with the plans identified above the satisfaction of the staff."

### LEGISLATIVE AUTHORITY

In accordance with Section 920(2) of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the bylaw.



Pursuant to Section 920(8) of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

In accordance with Section 922 of the *Local Government Act*, Council may issue a Development Variance Permit that varies a *Zoning Regulation Bylaw* provided the Permit does not vary the use or density of land from that specified in the *Zoning Regulation Bylaw*.

## EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 80 Saghalie Road. The proposal is to permit an existing office building on-site and to subdivide the lands.

The following points were considered in assessing this Application:

- the proposal is inconsistent with the *Songhees Policy Plan and Design Guidelines 2008*, however, the existing office building and parking lot are temporary
- the existing site office building was installed on the subject property in 2006 to function as development and construction site offices and still remain on-site
- the applicant would like to keep the office building on the subject parcel to support the build-out of the project and, therefore, the building would have to be regulated as a permanent building rather than a temporary building
- the applicant would also like to subdivide Bayview Lot B (parent parcel) into two parcels, which requires Council approval
- the variances are related to increasing the total floor area of the commercial use and allowing the commercial use on all floors, reducing the minimum required open site space, reducing the total required number of parking spaces from 14 to 8 and allowing the parking to be unenclosed on-site.

## BACKGROUND

### Description of Proposal

The proposal is to permit an existing office building (prefabricated trailers) and to subdivide the lands.

The proposed variances are related to:

- increasing the allowable maximum floor area for Commercial use from 190m<sup>2</sup> to 938.40m<sup>2</sup>
- reducing the minimum required open site space from 50% to 45%
- allowing commercial use on all floors rather than contained only on the ground floor
- allowing the required parking to be surface parking rather than enclosed
- reducing the required number of parking spaces from 14 to 8.

### Sustainability Features

The applicant has not identified any sustainability features associated with this proposal.

## Active Transportation Impacts

The applicant proposes the following features which support active transportation:

- six bicycle spaces (3 Class 1 and 3 Class 2).

## Existing Site Development and Development Potential

The site is presently occupied by an existing office building and the remainder of the site is undeveloped. The maximum density (Floor Space Ratio) permitted on the site is 0.72:1 and could be developed as multiple dwellings, commercial and live-work.

## Data Table

The following data table compares the proposal with the SSR Zone, Saghalie Road District. An asterisk is used to identify where the proposal is less stringent than the existing zone.

Zoning Criteria	Proposal	Zone Standard SSR Zone
Site area (m <sup>2</sup> ) - minimum	3842	3842
Density (Floor Space Ratio) - maximum	0.24:1	0.72:1
Total commercial floor area (m <sup>2</sup> ) - maximum	938.4*	190.0
Height (m) - maximum	6.99	17
Storeys - maximum	2	5
Location of commercial use	All Floors*	Ground floor only
Open site space % - minimum	45*	50
Setbacks (m) - minimum		
Front (north)	10.9	3
Rear (south)	12.1	10
Side (east)	12.3	3
Side (west)	19.2	6
Parking - minimum	8*	14
Parking location	Surface (unenclosed)*	Enclosed
Bicycle parking stalls (minimum)	6	3

## Relevant History

The existing office building on the property was installed in 2006 as a site trailer for construction of Bayview Phase 1. Following completion of the project, the building was not removed and was converted to office uses and a sales centre in support of the Bayview project. The building improvements were carried out without Planning or Building Permit approvals from the City.



In August of 2014, Council passed a resolution to waive the application of the Clean Hands Policy for Planning Approvals for the site.

### **Community Consultation**

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on April 19, 2015, the proponent met with the Victoria West CALUC. A letter from the CALUC is attached to this report.

This Application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a Hearing of Council to consider the variances.

### **ANALYSIS**

#### **Development Permit Area and Design Guidelines**

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 13: Core Songhees. The existing building on-site was constructed without permit and without consideration of the *Songhees Policy Plan and Design Guidelines*.

The applicant recognizes that it may be challenging for the existing building to be considered consistent with the applicable Guidelines. Moreover, over the long term, it is the applicant's goal to develop the site with a new multi-unit residential building that is consistent with the *Zoning Regulation Bylaw* and the applicable design guidelines. As a result, the applicant is willing to enter into a legal agreement that indicates when the building would be removed from the site. The applicant is amenable to the following terms:

- The building shall only be used for a period of 15 years from the date of registration of the agreement on title.
- That after the 15-year term, the City may request that the owner remove the building from the lands within a one-year time frame, at the owner's cost.
- Notwithstanding the above, the Owner may, by notice in writing to the City's Director of Sustainable Planning and Community Development, not earlier than nine months and not later than six months prior to the expiry of the Term, request that the Term be extended for a further five-year period from the expiry of the Term. The Director will grant the Owner's request if the development is proceeding in a reasonably prudent manner.

Staff recommend that Council consider supporting the proposed terms as described above.

### **Regulatory Considerations**

#### **Parking Variance**

A parking variance is required as the existing parking layout does not provide the required number of parking spaces in accordance with Schedule "C": Off-street Parking Regulations. The existing office building requires 14 parking spaces. There are currently eight on-site parking spaces that comply with the regulations and 14 parking spaces that do not meet the minimum size and layout standards and cannot be counted towards the on-site parking calculation, and therefore the requested variance is of a technical nature. Staff have no concerns with the parking variance as there is sufficient on-street and off-street parking



available in the area. Should these lands redevelop in the future, the parking variance would no longer apply.

### Subdivision

The applicant proposes to subdivide the lot into two separate parcels. As there is no road frontage on Kimta Road, vehicle and emergency access would be provided by a long driveway adjacent to the E&N Railway and Kimta Road. From a site-planning perspective, this condition is not ideal, however, due to the constraints of the Railway Corridor and the slope of the site, this access road would provide access to parking garages and facilitate the required emergency access.

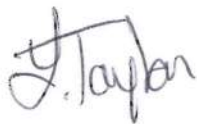
### **CONCLUSIONS**

The applicant is requesting the approval of the existing site office and sales centre on the subject lands. The applicant is willing to enter into a legal agreement to ensure that the building will be removed after a period of 15 or 20 years. Ultimately, it is the applicant's intent to construct a new multi-unit residential building on the property that is consistent with the *Zoning Regulation Bylaw* and the applicable design guidelines within the *Official Community Plan*.

### **ALTERNATE MOTION**

That Council decline Development Permit with Variances Application No. 000388 for the property located at 80 Saghalie Road.

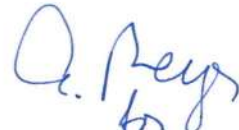
Respectfully submitted,



Leanne Taylor  
Planner  
Development Services Division



Alison Meyer, Assistant Director  
Development Services Division  
Sustainable Planning and  
Community Development  
Department



Andrea Hudson  
Acting Director  
Sustainable Planning  
and Community  
Development  
Department

Report accepted and recommended by the City Manager:



Jason Johnson

Date:

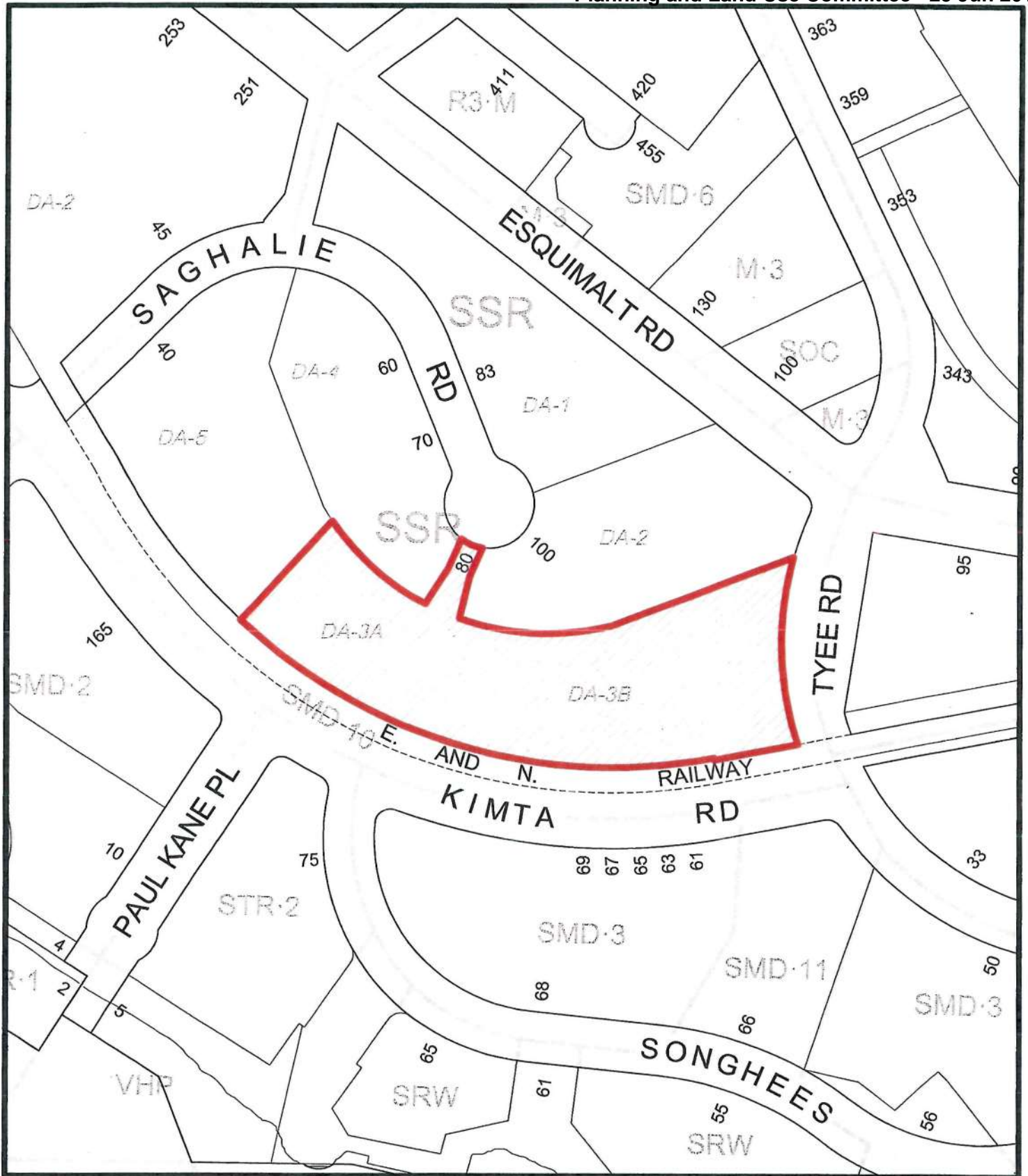
June 15, 2015

LT:aw

S:\TEMPEST\_ATTACHMENTS\PROSPERO\PL\DP\DP000388\DP DVP PLUC REPORT TEMPLATE1.DOC

**List of Attachments**

- Zoning map
- Aerial photo
- Letter from Victoria West Land Use Committee
- Letter from Focus Equities dated September 14, 2015
- Plans date stamped March 13, 2015.



80 Saghalie Road  
Development Permit #00388







80 Saghalie Road  
Development Permit #000388



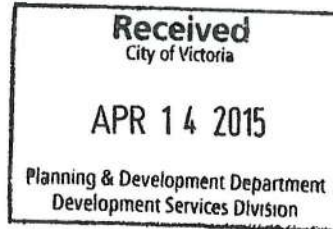


521 Craigflower Rd. Victoria, BC V9A 6Z5

info@victoriawest.ca www.victoriawest.ca



April 13, 2015



City of Victoria  
#1 Centennial Square  
Victoria, BC  
V8W 1P6

Attention: Alicia Ferguson, Secretary  
Sustainable Planning and Community Development Department,  
Development Services Division

Dear Alicia:

**Re: Development Permit Application #000388 for Saghalie Road**

On Thursday, April 19<sup>th</sup>, 2015, the Victoria West Community Association Land Use Committee met with the proponent of the above noted development permit application.

The Victoria West Land Use Committee has no objection to the requested variances.

Yours truly,

  
Doran Musgrove  
Chair, Victoria West Land Use Committee

DM/css



June 3, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Attention: Mayor and Council

Re: 80 Saghalie Road, Site Office Buildings, Development Permit Application with Variances

Dear Mayor Helps and Members of Council:

We are writing with regard to two upcoming Development Permit applications to permit subdivision of the subject parcel and to regulate the existing site office trailers, allowing them to remain in support of the ongoing build-out of the Bayview Place project.

#### **Subdivision Application**

The property at 80 Saghalie Road is part of the Bayview Place lands and received rezoning approval on October 24, 2013 to include seniors' housing as a permitted use on the eastern parcel, proposed Lot A. The subdivision will create the seniors' housing Lot A and retain the remnant Lot B for future mixed-use (multiple residential and commercial) development in accordance with the zoning. The preliminary plan of subdivision was submitted and reviewed during the rezoning process and was designed specifically to allow for the interim retention of the trailers on proposed Lot B to serve as the temporary site offices for the project.

#### **Construction History**

As background, the site office trailers were originally installed on the property in 2006 to function as the development and construction site offices when the initial Bayview One building was under construction. The buildings are composed of pre-fabricated trailers, assembled together to create the commercial office space.

Prior to installation, the project team engaged with the City of Victoria Planning and Building Department to seek direction on the necessary approvals and was advised that the City does not require Development Permits or Building Permits for such site office trailers. Applications for the required electrical and infrastructure services connection permits were submitted and issued by the City. The project's civil, structural and geotechnical engineers all provided input to the siting, layout and installation of the trailers on site. The trailers were installed on a concrete foundation to account for the sloped topography. The exterior of the trailers were clad in metal siding to present a high quality finish, to be commensurate with the Bayview Place development and respectful of the surrounding residential neighbourhood. This work to transform the previously used trailers into an attractive site office was advanced at significant expense to the project and was made in a concerted effort to be a good neighbor to the community while the project is under construction.

As the master developers of approximately 20 acres of land at Bayview Place, which includes the Bayview and Roundhouse properties, Focus Equities is responsible for ongoing build-out through a multi-phase development process. Accordingly, the site office trailers have been and will continue to be utilized to support overall development management as well as serving as a presentation sales centre for individual phases of the project, including Bayview One and Promontory. It is anticipated that the site office trailers will be required to support the build-out of the project over the coming years and that retention of the buildings in their current location would be less disruptive to the neighbourhood than relocating them around the site phase-by-phase. We believe Bayview Place is in a unique position relative to other development sites in Victoria in that the combined master plan includes at a minimum a further 8 future phases of construction. While we remain confident in the strength of Victoria's market, we



also know from past and current experience that the uptake or absorption of units is achieved at a slower pace than in other markets.

#### Required Approvals

We understand the City is now suggesting that the buildings be regulated as permanent buildings, rather than temporary buildings as was the intent and classification at original installation. We have been advised that the Development Permit applications referred to below are required.

There are two separate trailer assemblages, with the eastern building encompassing approximately 183 m<sup>2</sup> on the main floor and the western building encompassing approximately 267 m<sup>2</sup> on the main floor. The basement level includes approximately 487 m<sup>2</sup>. The total gross floor area is approximately 914 m<sup>2</sup>. Commercial use is permitted in the current zoning; the buildings do not exceed the permitted density of the zone; and the buildings are sited according to the zoning regulations. Attached for your information is documentation from RJC structural engineers with respect to the trailer assemblages.

Three Development Permit applications are submitted along with this letter. The first will allow subdivision of the property, resulting in a freestanding parcel for seniors' housing use on Lot A. The second DP application with variances will regulate the site office trailers on Lot B allowing them to remain as temporary buildings. The third DP Application allows for a parking variance, reducing the required parking spaces from 14 to 8 (note: the site presently provides 22 parking spaces, but only 8 conform to current City parking standards). The following variances are necessary to allow the existing trailers to remain as currently constructed:

- Vary the maximum amount of commercial floor area permitted in any one building from maximum of 190 m<sup>2</sup> to the amount as constructed.
- Vary the location of the commercial use from being limited to the ground floor of a building only to allow both ground floor and basement commercial use locations.
- Vary the requirement for parking to be enclosed to allow retention of the current surface parking area.
- Vary the minimum amount of Open Site Space to allow retention of the current surface parking area.
- Vary the parking requirement to 8 parking spaces instead of 14.

We note that the intent of the Songhees Hillside Urban Design Guidelines is to ensure a high quality neighbourhood setting and to regulate the form and character of permanent buildings and landscapes. The temporary trailers and the surrounding entry landscape are finished to a high quality, beyond that typical of other development sites and in keeping with the intent of the guidelines. However, as temporary buildings, they were not designed nor intended to meet the full spectrum of the Songhees Hillside Urban Design Guidelines.

Focus Equities is committed to advancing the Bayview Place development and achieving a positive community result, and asks that the Development Permit with Variances be granted to allow retention of the temporary buildings to serve the build-out of the project. The trailers were never intended to be permanent buildings and they will be removed when development of this portion of the site is advanced.

We have worked at length with staff in recent months to collaboratively reach a proposed resolution to this matter. A Section 219 Restrictive Covenant has been prepared and will be registered prior to advancement of the application to Public Hearing. The covenant limits the commercial use of the buildings to general office use related to real estate development, construction and marketing and as a show suite and discovery centre. The covenant also guarantees future removal of the trailers.

Respectfully,

David Fullbrook  
Focus Equities

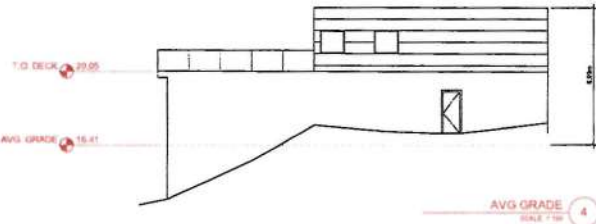




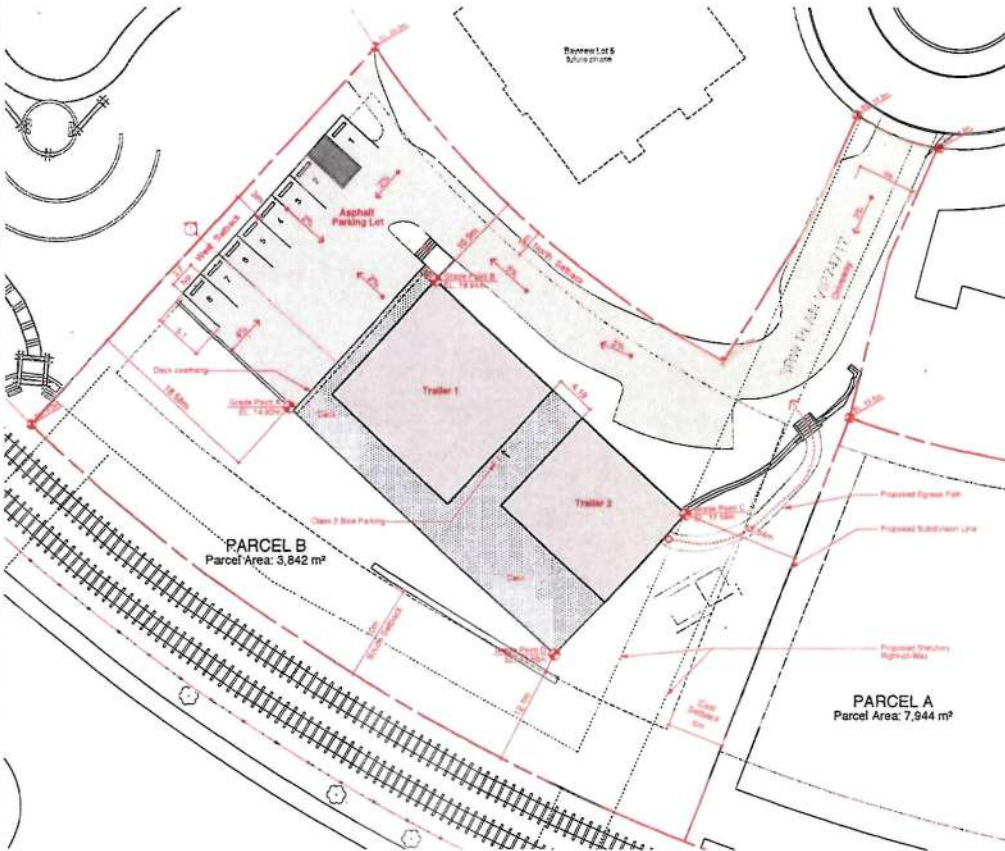
### Average Grade Calculation

Grade Points	Average of Points	Distance Between Grade Points	Totals
Points A&B	17.37	20m	347.40
Points B&C	16.7	37.3m	607.51
Points C&D	16.71	20m	314.20
Points D&A	16.58	37.3m	596.37
<b>Grade Calculation</b>			<b>1895.48</b>
	<b>Diameter of building</b>	<b>115.51</b>	
	<b>Avg. grade</b>	<b>16.40m</b>	

Note: Site Plan for grade point locations



AVG. GRADE SCALE 1:100 4

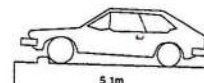


SURVEY SITE PLAN SCALE 1:200 3

### PROJECT INFORMATION TABLE

#### TEMPORARY OFFICE BUILDINGS 80 SAGHAIE ROAD, VICTORIA BC V8A 6A1

Zone (existing)	Zone Standard	Proposed
Site Area (m²)	SSR Zone 15A-3A	SSR Zone DA-3A
Uses	3842 m²	3842 sqm
	Multiple Buildings / Commercial / Live Work	Commercial - Part 3 / Occasional D
Area		749 sqm
Commercial Floor Area	Maximum 150 m² of any one building	838.4 sq m
Sprinklered	No	No
Staging	Commercial use may be located only on the ground floor of a building	Commercial use may be located on the ground floor and on the basement floor of the building
Floor Space Ratio	Maximum 0.72 to 1	0.24 to 1
Lot Coverage %	Maximum 40%	22% (note includes deck and stairs)
Open Site Space %	Minimum 50%	45 %
Height of Building (m)	Maximum 7m or 5 storey	7.0m (+23.41m finished)
Building Setbacks (m)		
	North 3m	10.9m
	East 5m	12.3m
	South 10m	12.1m
	West 5m	19.2m
Parking stalls on site	1 space per 65 m² = 14 spaces (existing)	8 on site
Bicycle parking storage	1,095 m² of GFA for the 1st 5000 m² = 2 spaces (existing) 50% Class 1 50% Class 2	8 spaces provided (2) Class 1 6 spaces provided (3) Class 2 (spaces provided on site)
Staging	All parking must be in enclosed parking structure	Surface parking to serve the temporary buildings



### DRAWING LIST

A101	Project Information / Survey Site Plan
D-0.2	Floor Plan - Ground Floor - As Built
D-1.2	Floor Plan - Second Floor - As Built
A-1.1	Elevations - As Built
A-1.2	Elevations - As Built
A102	Parcel Plan

### GENERAL NOTE - DIALOG

These drawings have been prepared in good faith based upon information furnished by others. While the information is believed to be reliable, the architect assumes no responsibility for the accuracy of the "as-built" drawings or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the architect. Those relying on this record drawings are advised to obtain independent verification of its accuracy.

**Received**  
City of Victoria

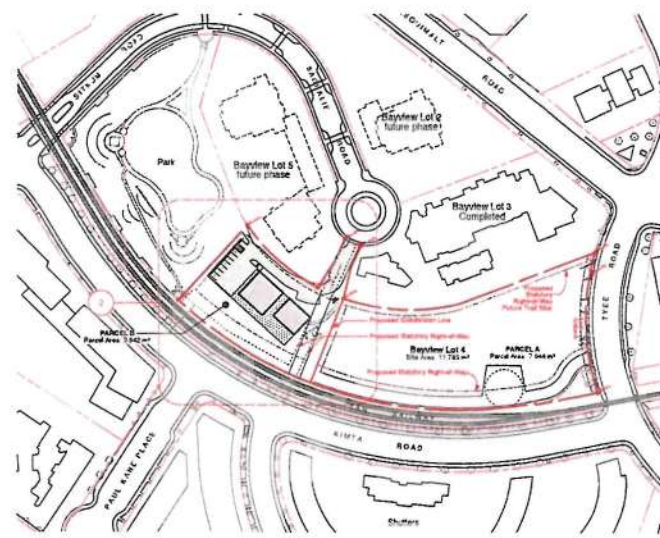
**JUN 03 2015**

Planning & Development Department  
Development Services Division

ISSUED FOR:  
A 12 MAY 15 Temporary Development Permit  
22 JUN 15 Redevelopment Permit

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

SECTION @ PARKING LOT SCALE 1:50 2



**METRIC**  
The metric system is used throughout this drawing. All dimensions are in meters. The metric system is used throughout this drawing. All dimensions are in meters.

**ARCHITECT & PRIME CONSULTANT**  
FOCUS EQUITIES  
1000 BAYVIEW AVE. SUITE 100  
VICTORIA BC V8W 2E1  
TEL: 250-383-1111  
WWW.FOCUS-EQUITIES.COM

**CODE CONSULTANT**  
FOCUS EQUITIES  
1000 BAYVIEW AVE. SUITE 100  
VICTORIA BC V8W 2E1  
TEL: 250-383-1111  
WWW.FOCUS-EQUITIES.COM

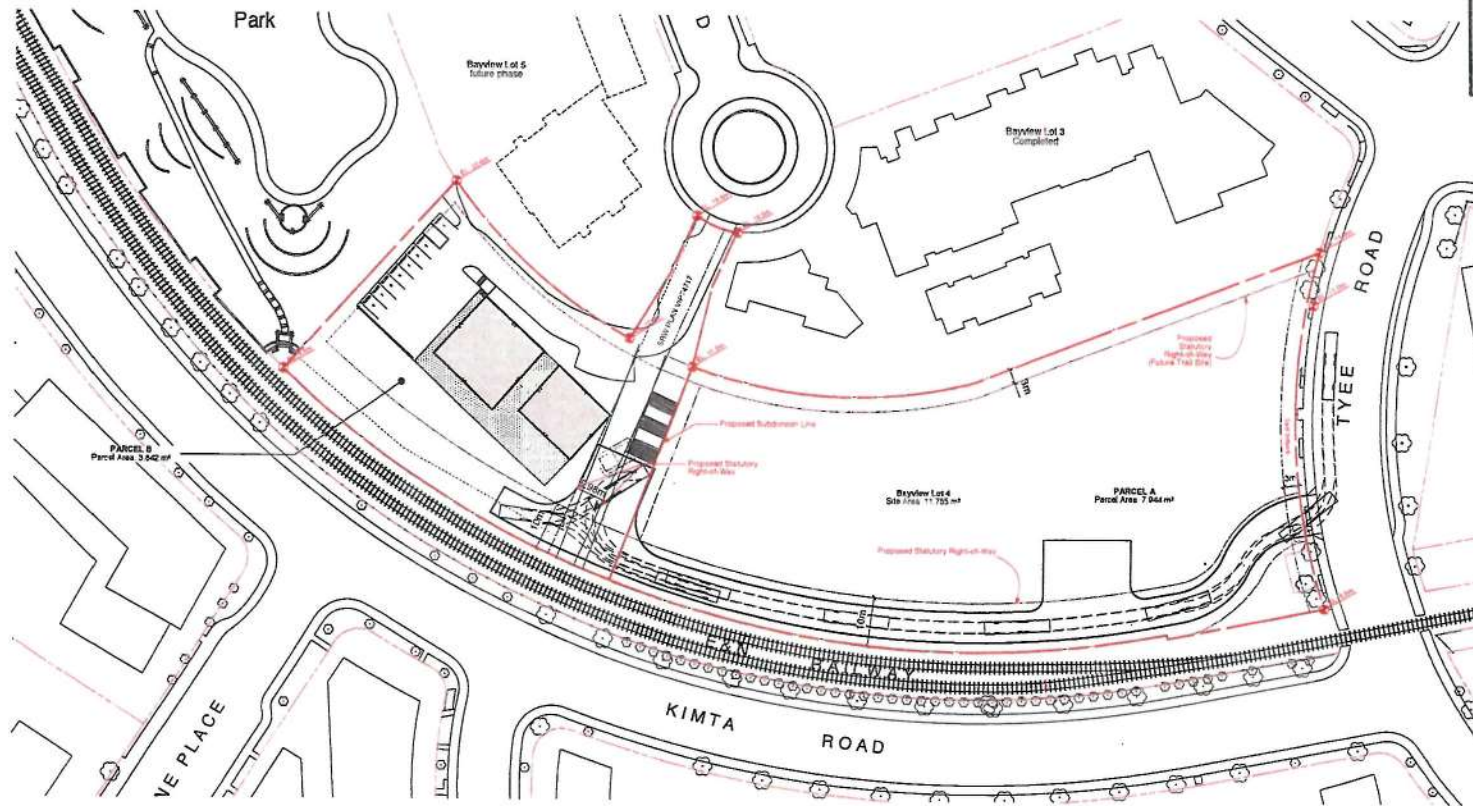
Focus Equities Office Trailers

88 Saghalie Road Victoria BC V8A 6A1

Project Information  
Site Plan

DRAWN BY: DATE: 2015-05-15

**A101**



**DIALOG**

**FOCUS  
EQUITIES**  
A MARSH COMPANY

Received  
City of Victoria

JUN 03 2015

Planning & Development Department  
Development Services Division

ISSUED FOR

- A 12 MAY15 - Tracked for Development Permit
- B 03 JUN15 - Released for Development Permit

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

METRIC

1:500 Scale  
All measurements are in metres unless otherwise stated.  
All measurements are to the centre of the road or railway line.  
All measurements are to the centre of the lot or parcel.  
All measurements are to the centre of the lot or parcel.  
All measurements are to the centre of the lot or parcel.

ARCHITECT & PRIME CONSULTANT

Focus Equities Office Trailers  
80 Rayfield Road Victoria BC V8A 0A1

CODE CONSULTANT

City of Victoria  
Planning & Development Department

SEAL

Focus Equities Office Trailers

80 Rayfield Road Victoria BC V8A 0A1

Parcel Plan

DRAWN

DATE: 05/05/15

CHECKED

A102

Planning and Land Use Committee - 25 Jun 2015











BAYVIEW PROPERTIES LTD.  
Suite 204, 31 Bevilston Square  
Victoria, British Columbia, V8W 1J1 Canada  
(250) 380-3832



BAYVIEW PROPERTIES

JOB SITE TRAILER OFFICE  
FIRST FLOOR

100 Soghah Road  
Victoria, British Columbia

No.	Notes and Revisions	By	Date
1	ISSUED FOR CONSTRUCTION	BC	15 MAY 08
2	REVISION FOR CONSTRUCTION	BC	15 MAY 08

All specifications, drawings, designs, materials, measurements, and quantities are subject to change without notice and shall be the responsibility of the client. Bayview Properties and its agents, and its subsidiaries, are not responsible for any errors or omissions in this document. This document is for informational purposes only and is not intended to be used as a basis for any legal action.

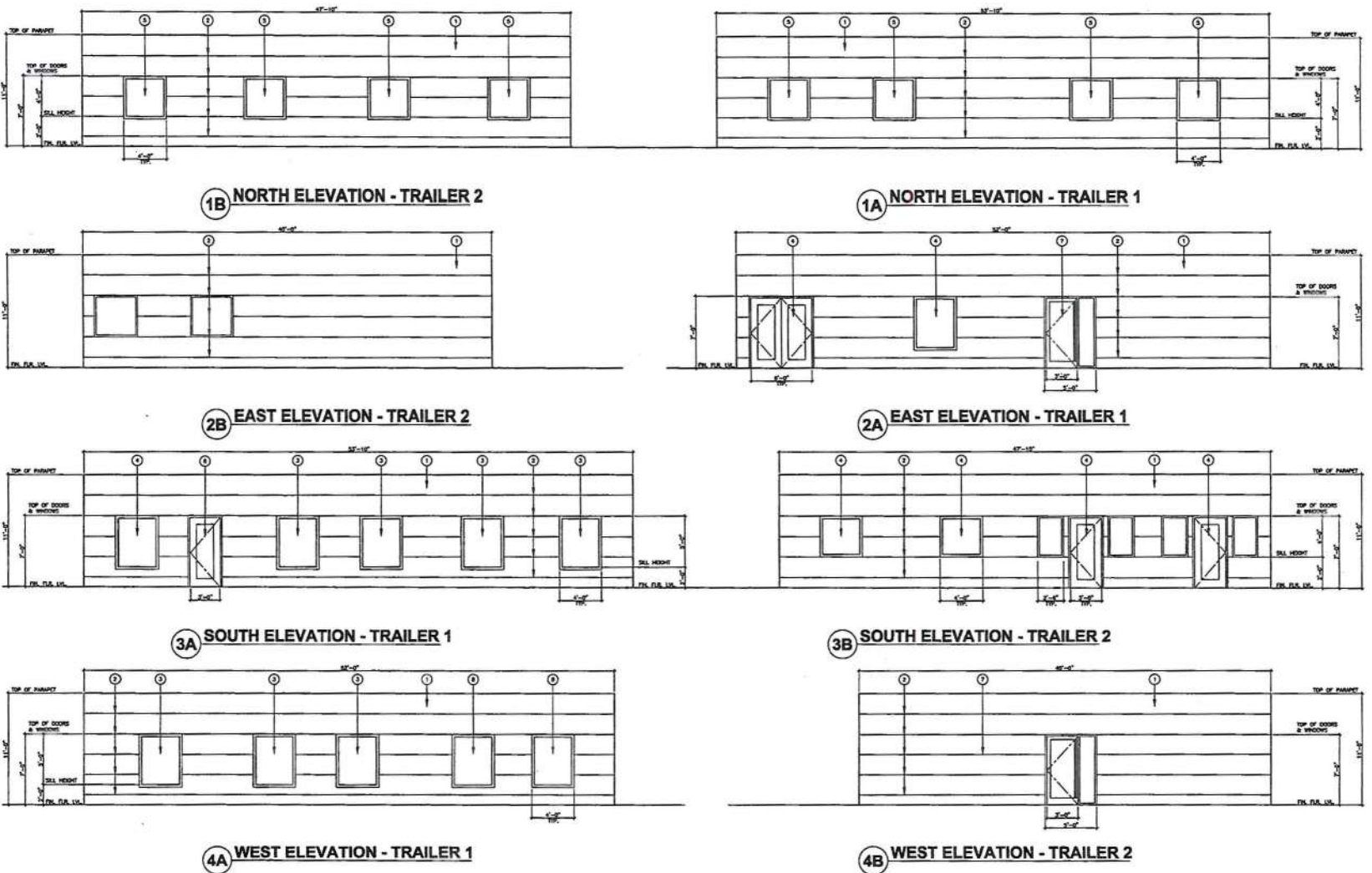
Client: BAYVIEW PROPERTIES

Project Director: \_\_\_\_\_  
Project Designer: \_\_\_\_\_  
Project Number: \_\_\_\_\_  
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A-1.

Planning and Land Use Committee - 25 June 2015



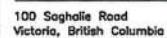
EXTERIOR ELEVATIONS

1/4" = 1'-0" 1

Received  
City of Victoria  
  
MAR 13 2015  
  
Planning & Development Department  
Development Services Division

- KEYNOTES
- (1) 10 Exterior Wall, 2'-0" wide metal cladding.
  - (2) 1'-0" metal.
  - (3) 10 4'-0" x 8'-0" Windows @ 2'-0" o.c. to match.
  - (4) 10 4'-0" x 8'-0" Windows @ 2'-0" o.c. to match existing.
  - (5) 10 4'-0" x 8'-0" Windows @ 2'-0" o.c. to match existing.
  - (6) 10 2'-0" x 7'-0" Door to match.
  - (7) 10 2'-0" x 7'-0" Hurricane Door with 2'-0" wide transoms slatlight.
  - (8) Reinforced (1) 4'-0" x 8'-0" Windows @ 2'-0" o.c.





$\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$	$\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$
--	--

Planning & Development Department  
Development Services Division

Planning and Land Use Committee - 25 Jun 2015

### A-1.2





## Planning and Land Use Committee Report For the Meeting of June 25, 2015

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**To:** Planning and Land Use Committee **Date:** June 2, 2015  
**From:** Murray G. Miller, Senior Heritage Planner  
**Subject:** Heritage Alteration Permit Application Nos. 00198, 00199 and 00200 for 521, 539 and 545 Superior Street

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### RECOMMENDATION

Staff recommend that the Committee forward this report to Council and that Council consider the following motion:

"That Council authorize the issuance of Heritage Alteration Permit Applications Nos. 00198, 00199 and 00200 for 521, 539 and 545 Superior Street, respectively, in accordance with:

1. Plans date stamped February 18, 2015.
2. Development meeting all *Zoning Regulation Bylaw* requirements.
3. Final plans to be generally in accordance with plans identified above as amended to the satisfaction of the Assistant Director, Community Planning, prior to the issuance of a Building Permit."

### LEGISLATIVE AUTHORITY

In accordance with sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

### EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations regarding three Heritage Alteration Permit Applications for the Heritage-Registered houses (presently located at 521, 539 and 545 Superior Street) to be relocated to 580, 588 and 584 Michigan Street, respectively.



The following points were considered in assessing this application:

- general consistency with the *Official Community Plan (OCP)*
- consistency with the *Standards and Guidelines for the Conservation of Historic Places in Canada*

## BACKGROUND

At its meeting on September 11, 2014, Council authorized the issuance of Heritage Alteration Permit Nos. 00184, 00187 and 00185, for 521, 539 and 545 Superior Street, for the relocation of the Jameson, John and Black Residences, respectively, subject to specified conditions being met prior to the issuance of Building Permits. Those conditions have now been met.

On May 14, 2015, Council considered the designation of three Heritage-Registered houses presently located at 521, 539 and 545 Superior Street (to be relocated to 580, 588 and 584 Michigan Street) in accordance with the applicant's relocation schedule dated April 23, 2015, and in accordance with Council's September 11, 2014 motion:

1. That Council consider giving first and second reading of the Heritage Designation Bylaws; and
2. That Council consider delaying the advancement of the Heritage Designation Bylaws to a Public Hearing until the legal descriptions of the new receiver sites have been provided.

The rehabilitation of the three houses will occur after the houses have been relocated. The relocation of the houses to their new foundations is scheduled to begin in October 2015. The applications associated with this report are being advanced to Council well ahead of the relocation of the houses so that all approvals regarding the relocation, designation and rehabilitation may be considered having regard to the applicant's amended construction schedule.

## Description of Proposal

The proposal outlined in Heritage Alteration Permit No. 00198 is to rehabilitate the house presently located at 521 Superior Street (after its relocation to 580 Michigan Street) and will involve the construction of new concrete footings on the receiver site with brick reclaimed from the existing foundations for use as a veneer to the new foundation walls that are visible above grade; new storm windows that are compatible with the character of the place; alteration of rear and side window/door openings in order to accommodate relocated windows and a new exit door; additions to the existing guardrails and constructing a new steel fire escape to comply with the Building Code; repairs to the exterior wood shingles; and the reconstruction of chimneys that are proposed to be removed to accommodate the relocation of the house.

The scope of the proposed work outlined in Heritage Alteration Permit No. 00199, for the Heritage-Registered property presently located at 539 Superior Street (to be relocated to 588 Michigan Street) is similar to that proposed for 521 Superior Street, except that the work does not involve dismantling of chimneys, the removal of wood fire escapes, additional doors for exiting or a rear porch.

The scope of the proposed work outlined in Heritage Alteration Permit No. 00200, for the Heritage-Registered property presently located at 545 Superior Street (to be relocated to 584 Michigan Street) is similar to that proposed for 521 Superior Street.

The scope of the proposed work for the three buildings is more particularly described in the plans prepared by Keay Cecco Architecture Ltd., date stamped February 18, 2015, and in the applicant's letter, date stamped February 18, 2015.

## **ANALYSIS**

The following sections provide a summary of the application's consistency with the relevant City policies and guidelines.

### **Official Community Plan**

The proposed development outlined in the applications is consistent with the OCP because it contributes to the goal of protecting and celebrating Victoria's cultural and natural heritage resources. In addition, a key strategic direction of James Bay would be met by the rehabilitation of these properties for a compatible use.

### **Standards and Guidelines for the Conservation of Historic Places in Canada**

(As applicable to all three buildings)

#### Exterior Walls

The proposal includes the repair of the exterior wood shingles and reusing reclaimed brick on the new concrete foundation walls. This will conserve and reinstate important character-defining elements of the building's exterior and is consistent with the Standards and Guidelines where it recommends designing a new addition in a manner that preserves the character-defining exterior walls of the historic building.

#### Doors and Windows

The rehabilitation of existing wood windows and the construction of new storm windows that are compatible with the character of the place will significantly improve the thermal performance of the exterior envelope and is consistent with the Standards and Guidelines where it recommends designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

#### Roof

Undertaking repairs to the roofs and rebuilding the chimneys above the roofline will reinstate an important character-defining element that is consistent with the Standards and Guidelines where it recommends repairing a roof assembly, including its functional and decorative elements, by using a minimal intervention approach.

#### Codes

Alterations to existing guardrail to rear and side openings and the construction of a new exit stair in order to comply with the Building Code is consistent with the Standards and Guidelines where it recommends complying with health, safety and security requirements in a manner that conserves the heritage value of the exterior wall assembly and minimizes impact on its character-defining elements.



## CONCLUSIONS

These applications to rehabilitate the three houses are consistent with the Standards and Guidelines in relation to exterior walls, doors and windows, roof elements and compliance with building codes. Staff therefore recommends that the Council consider supporting the applications subject to the conditions outlined in this report.

## ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application Nos. 00198, 00199 and 00200 for the properties presently located at 521, 539 and 545 Superior Street, to be relocated to 580, 588 and 584 Michigan Street, respectively.

Respectfully submitted,

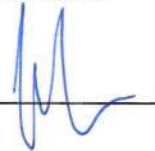


Murray G. Miller  
Senior Heritage Planner  
Community Planning Division



Andrea Hudson  
Acting Director  
Sustainable Planning and Community  
Development Department

Report accepted and recommended by the City Manager: \_\_\_\_\_



Jason Johnson

Date: \_\_\_\_\_

June 15, 2015

MGM/ljm

S:\TEMPEST\_ATTACHMENTS\PROSPERO\PL\HAP\HAP00198\521, 539 AND 545 SUPERIOR ST PLUC (HAP) REPORT\_2JUNE2015.DOC

## List of Attachments

- Subject map
- Relocation map
- Aerial photograph
- Plans dated February 18, 2015
- Letters from the owner, date stamped February 18, 2015.





Registered properties

521, 539 and 545 Superior Street  
(Will be 580, 584 & 588 Michigan Street)

Heritage Alteration Permits #00198, 00199 &amp; 00200

Heritage Designation Permits #00000145, 00146 & 00147





## RELOCATION SITE PLAN



# BRITISH COLUMBIA LEGISLATURE BUILDINGS



521, 539 and 545 Superior Street  
(Will be 580, 584 & 588 Michigan Street)

Heritage Alteration Permits #00198, 00199 & 00200

Heritage Designation Permits #00000145, 00146 & 00147

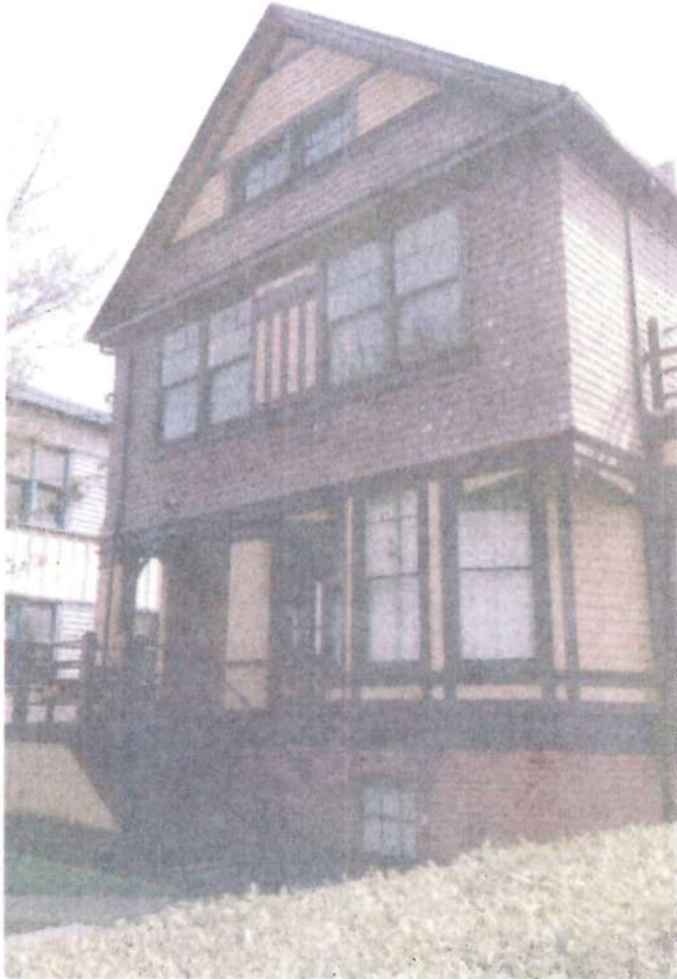
Heritage Alteration Permit Applications Nos. 00198, 00199 and...





# CAPITAL PARK - HERITAGE BUILDINGS

## 521 SUPERIOR BUILDING



**ARCHITECTURAL:**  
KEYAY CECCO ARCHITECTURE LTD.  
CONTACT: JOHN KEAY  
Phone: 250.382.3823  
Email: john@keayarchitecture.ca

A0.0 TITLE SHEET  
A1.0 SITE PLAN  
A2.0 PHOTOGRAPHS  
A2.1 PHOTOGRAPHS  
A3.0 DEMO PLANS - BASEMENT / MAIN  
A3.1 DEMO PLANS - 2ND / TOP  
A4.0 RENO PLANS - BASEMENT / MAIN  
A4.1 RENO PLANS - 2ND / TOP  
A5.0 ELEVATIONS  
A5.1 ELEVATIONS  
A6.0 SECTIONS  
A7.0 DETAILS  
A7.1 STAIR DETAILS

**STRUCTURAL:**  
READ JONES CHRISTOFFERSEN  
CONTACT: LEON PLETT  
Phone: 250.386.7794  
Email: lplett@rjc.ca

S1 PRELIMINARY DRAWINGS

**MECHANICAL:**  
WSP CANADA INC.  
CONTACT: CRAIG HARRISON & PAUL TIMMINS  
Phone: 250.384.5510  
Email: craig.harrison@wspgroup.com

M001 LEGEND & DRAWING LIST  
M100 521 - PLUMBING UNDER FLR & BASEMENT  
M101 521 - PLUMBING MAIN FLR & SECOND FLR  
M102 521 - PLUMBING THIRD FLR & DETAILS  
M200 521 - HVAC BASEMENT & MAIN FLR  
M201 521 - HVAC SECOND FLR & THIRD FLR  
M230 521 - HVAC DETAILS  
M300 521 - FP BASEMENT & MAIN FLOOR  
M301 521 - FP SECOND FLOOR & THIRD FLOOR

**ELECTRICAL:**  
APPLIED ENGINEERING SOLUTIONS LTD.  
CONTACT: JAY SINGH  
Phone: 250.381.6121  
Email: jsingh@appliedengineering.ca

**CIVIL:**  
WSP CANADA INC.  
CONTACT: STEPHEN CHILDS  
Phone: 250.384.5510  
Email: stephen.childs@wspgroup.com

C01 SITE SERVICING PLAN

**CODE CONSULTANT:**  
GHL CONSULTANTS LTD.  
CONTACT: FRANKIE VICTOR  
Phone: 604.689.4449  
Email: fv@ghl.ca

ATTACHED REPORT

**LANDSCAPE ARCHITECT:**  
PWL PARTNERSHIP LANDSCAPE  
ARCHITECTS INC.  
CONTACT: GRANT BRUMPTON  
Phone: 604.639.5218  
Email: gbrumpton@pwlpartnership.com

LDP 1.00 PRECEDENT IMAGES  
LDP 1.01 MATERIALS AND GRADING  
SITE PLAN

**INTERIOR DESIGNER:**  
KYLA BIDGOOD INTERIOR DESIGN  
CONTACT: KYLA BIDGOOD  
Phone: 250.589.0852  
Email: kyla@kylabidgood.com

ID-1.01 521 - BASEMENT FLOOR PLAN & RCP  
ID-1.02 521 - MAIN FLOOR PLAN & RCP  
ID-1.03 521 - UPPER FLOOR PLAN & RCP  
ID-1.04 521 - ATTIC FLOOR PLAN & RCP  
ID-3.01a 521 UNIT A KITCHEN FLOOR PLAN  
ID-3.01b 521 UNIT A KITCHEN ELEVATIONS  
ID-3.01c 521 UNIT B KITCHEN FLOOR PLAN  
ID-3.02a 521 UNIT B KITCHEN ELEVATIONS  
ID-3.02b 521 UNIT C KITCHEN FLOOR PLAN  
ID-3.03a 521 UNIT C KITCHEN ELEVATIONS  
ID-3.03b 521 UNIT D KITCHEN FLOOR PLAN  
ID-3.03c 521 UNIT D KITCHEN ELEVATIONS  
ID-3.04a 521 UNIT E KITCHEN FLOOR PLAN  
ID-3.04b 521 UNIT E KITCHEN ELEVATIONS  
ID-3.04c 521 UNIT F KITCHEN FLOOR PLAN  
ID-3.05a 521 UNIT F KITCHEN ELEVATIONS  
ID-3.05b 521 UNIT G KITCHEN FLOOR PLAN  
ID-3.05c 521 UNIT G KITCHEN ELEVATIONS  
ID-6.04 LIGHTING FIXTURE SCHEDULE

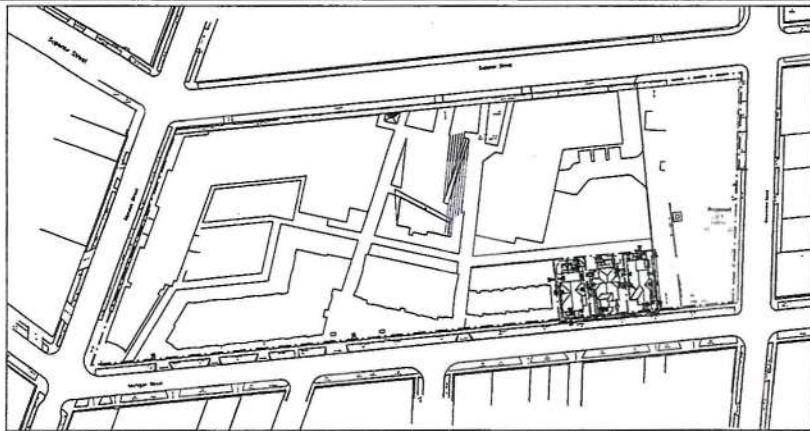
**HERITAGE CONSULTANT:**  
DONALD LUXTON AND ASSOCIATES INC.  
CONTACT: DONALD LUXTON  
Phone: 604.688.1216  
Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015

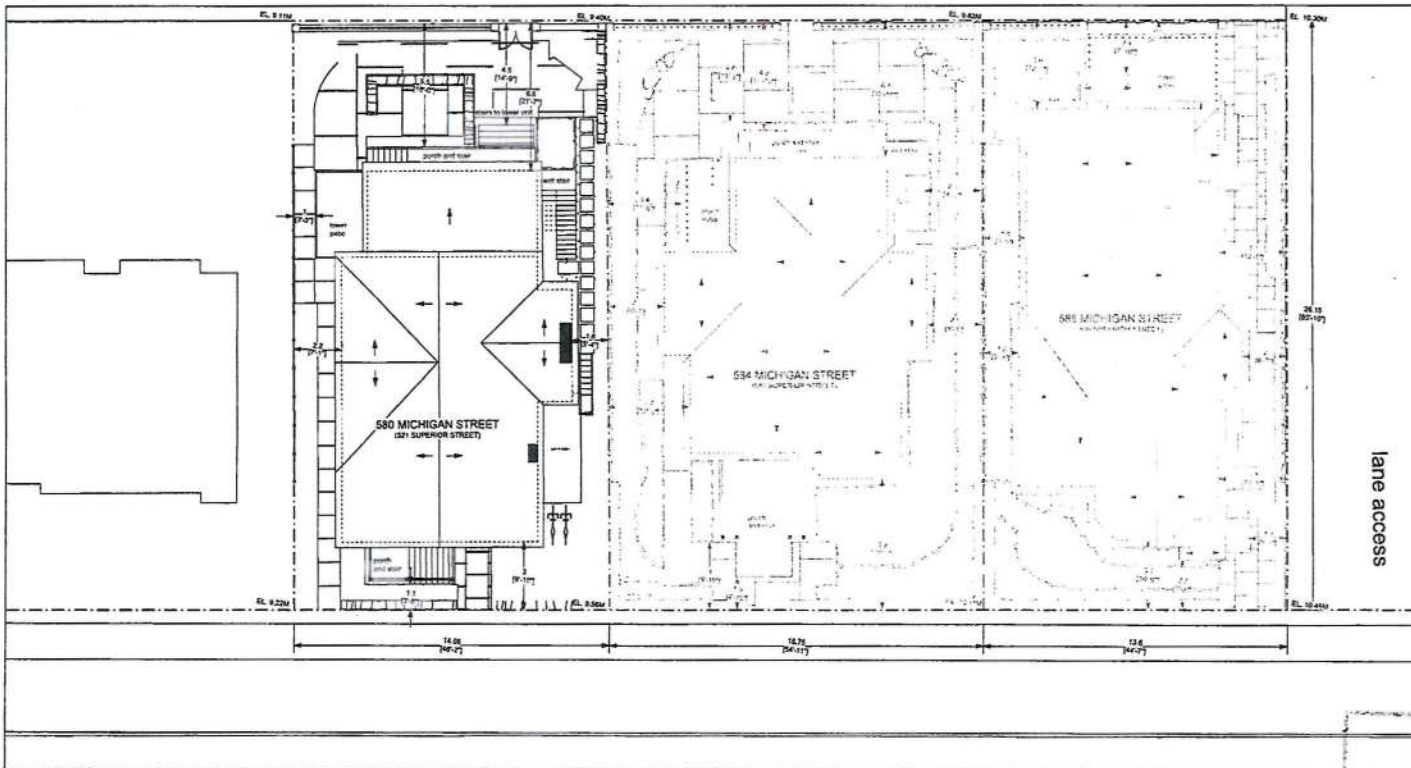


KEYAY CECCO ARCHITECTURE LTD.	
1124 Fort Street Victoria, BC Canada V8W 2P6 Office 250 382-3823 Fax 250 382-0413 www.keayceccoarchitecture.ca	
COMMENTS	
No.	Comments
1	PACKAGE FOR CONCEPT REVIEW #2 14.12.15 NP
2	SUBMISSION TO MAP 15.02.02 NP
3	REVISIONS TO CITY - MAP 15.02.11 NP
4	PACKAGE FOR CONCEPT REVIEW #3 15.02.16 NP
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NOT FOR CONSTRUCTION	
PROJECT	
- CAPITAL PARK - HERITAGE HOUSES 521 Superior Street, Victoria, BC	
SHEET TITLE	
- TITLE SHEET -	
SCALE AS SHOWN	JOB No. 1124 - 1406
DATE PLOTTED FEBRUARY 16, 2015	A0.0
DRAWN BY NP / JK	





1 OVERALL SITE PLAN  
1:1000



2 PARTIAL SITE PLAN  
1:100

PROJECT INFORMATION TABLE - 521 SUPERIOR:  
CIVIC ADDRESS: 580 MICHIGAN STREET  
LEGAL DESCRIPTION: LOT 2 OF LOTS 1720 - 1743  
VICTORIA CITY PLAN EPP388/2

ZONING: NEW ZONE  
SITE AREA (m<sup>2</sup>): 366 m<sup>2</sup>  
TOTAL FLOOR AREA (m<sup>2</sup>): 310 m<sup>2</sup>  
FLOOR SPACE RATIO: 0.87  
SITE COVERAGE: 53%  
OPEN SITE SPACE: 42.5%  
HEIGHT OF BUILDING (m): as per existing  
NUMBER OF STOREYS: 3  
PARKING STALLS ON SITE: 9  
BICYCLE PARKING NUMBER: 5 STORAGE (Class 1)  
2 HACK (Class 2)

BUILDING SETBACK (m):  
FRONT YARD: 3.0m  
REAR YARD: 6.6m  
WEST SIDE YARD: 2.2m  
EAST SIDE YARD: 1.6m

KEAY DECCO  
ARCHITECTURE LTD.

1114 Park Street, Victoria, BC Canada V8P 2P6  
Office: 250-380-0852 Fax: 250-380-0853  
e-mail: info@keaydecco.com

COMMENTS

NO.	REVISION	DATE	BY
1.	PACKAGED FOR CONCEPT REVIEW #1	14.12.16	MP
2.	TRANSMISSION FOR MAP	15.02.17	MP
3.	REVISIONS FOR CITY - MAP	16.02.16	MP
4.	PACKAGED FOR CONCEPT REVIEW #2	16.02.16	MP

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- CAPITAL PARK -  
HERITAGE HOUSES

521 Superior Street,  
Victoria, BC

- SITE PLAN -

SCALE	AS SHOWN	ICON	1124 - 1408
DATE PLOTTED	FEBRUARY 16, 2015		
DRAWN BY			
			A1.0

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City of Victoria

FEB 18 2015

Planning & Development Department  
Development Services Division



FRONT (SUPERIOR STREET) ELEVATION



WEST ELEVATION



ENTRY AND STAIR

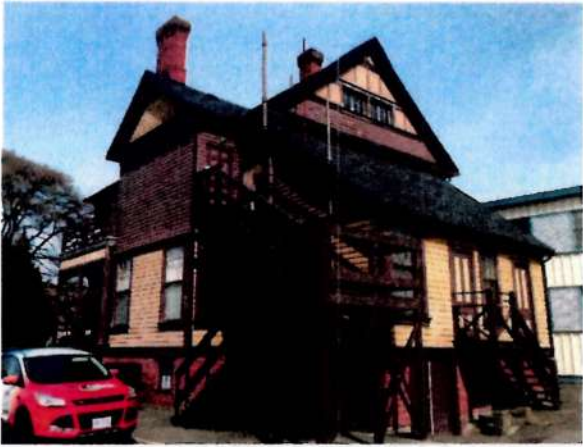
<b>KEY: CEGGO ARCHITECTURE LTD.</b> 124 Park Street, Victoria, BC, Canada V8W 2H9 Office: 250-580-0000 Fax: 250-580-0003 e-mail: info@keycego.com		
COMMENTS		
1. PACKAGE FOR CONCEPT REVIEW #2	DATE	BY
2. SUBMISSION FOR MAP	14.12.16 MP	
3. PACKAGE FOR CONCEPT REVIEW #3	15.02.16 MP	
GENERAL NOTES		
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PROJECT		
- CAPITAL PARK - HERITAGE HOUSES 521 Superior Street, Victoria, BC		
SHEET TITLE		
EXTERIOR AND INTERIOR PHOTOGRAPHS		
SCALE	KEY NO.	
AS SHOWN	1124 - 1405	
DATE PLOTTED	FEBRUARY 16, 2015	
BY	A2.0	

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Development Services Division





SOUTH ELEVATION



EAST ELEVATION



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<p><b>COMMENTS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PACKAGE FOR CONCEPT REVIEW #1</td> <td>14.12.14</td> <td>WSP</td> </tr> <tr> <td>2</td> <td>SUBMISSION FOR MAP</td> <td>15.02.15</td> <td>WSP</td> </tr> <tr> <td>3</td> <td>PACKAGE FOR CONCEPT REVIEW #2</td> <td>15.02.15</td> <td>WSP</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NO.	DESCRIPTION	DATE	BY	1	PACKAGE FOR CONCEPT REVIEW #1	14.12.14	WSP	2	SUBMISSION FOR MAP	15.02.15	WSP	3	PACKAGE FOR CONCEPT REVIEW #2	15.02.15	WSP																								
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3	PACKAGE FOR CONCEPT REVIEW #2	15.02.15	WSP																																							
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<p><b>PROJECT</b></p> <p>- CAPITAL PARK - HERITAGE HOUSES                  521 Superior Street, Victoria, BC</p>																																										
<p><b>PROJECT TITLE</b></p> <p>EXTERIOR PHOTOGRAPHS</p>																																										
<p><b>SCALE</b></p> <p>AS SHOWN</p>	<p><b>FORM</b></p> <p>1124 - 1408</p>	<p><b>DATE</b></p> <p>FEBRUARY 16, 2015</p>																																								
<p><b>DATE</b></p> <p>2/16/2015</p>	<p><b>SCALE</b></p> <p>A2.1</p>																																									
<p><b>RECEIVED</b>                  City of Victoria                  FEB 18 2015                  Planning &amp; Development Department                  Development Services Division</p>																																										



**GENERAL NOTES**

1. Clean, clear and retain bricks for re-use. Prior to dismantling, utilities with Architect installation of scaffolding that existing chimney can be measured and recorded. Do not dismantle prior to completion of recording.
2. First place masonry, all wood panel doors, frames and all moldings etc. and all components with the exception of the roof and roofline, to be removed as per architect's instructions, and the door and window schedules.
3. Remove radiators and heating lines (see mechanical drawings)
4. Remove and store all existing electrical panels and equipment.
5. Remove existing plumbing.
6. Confirm condition of electrical branch wiring. Review with the electrical consultant.

**Refer to the electrical drawings & specifications.**

7. Remove existing brick chimney and install new stone bricks for use in new brick veneer foundation wall. Note detail of window head arches.

8. Windows and trim in existing foundation wall to be removed with care and placed or retain in new foundation.
9. Remove all existing floors and planking to be replaced with new.
10. Remove all plaster/brick/ceilings (and hear where applicable).
11. Remove all carpet, vinyl tile, rubber base trim and window coverings.
12. Remove all existing walling.
13. Remove and store doors, old frames and trim as directed by the Architect.
14. Remove and store any equipment, artifacts, plumbing fixtures as directed by the Architect.
15. Provide the specifications, to be used in conjunction with these drawings.
16. Protect all openings created by this contract during strip-out and moving.
17. Provide security to Owner's specifications.



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CONSTRUCTION**

A3.0



[illegible]

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**- CAPITAL PARK -  
HERITAGE HOUSES**

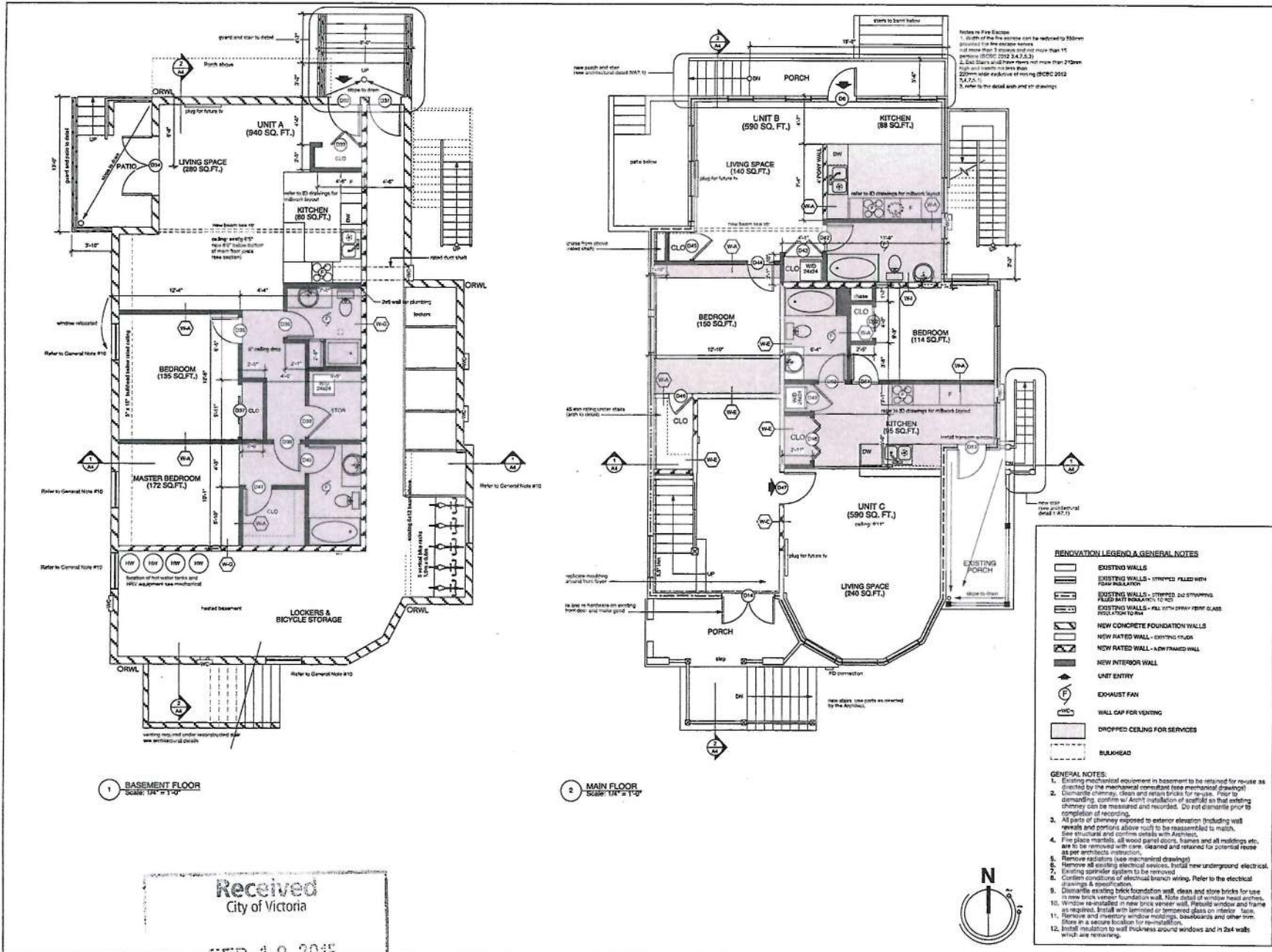
**521 Superior Street,  
Victoria, BC**

- DEMO PLANS -  
SECOND AND TOP FLOOR PLANS

SCALE AS SHOWN	JOB No. 1124 - 1408
DATE PLOTTED FEBRUARY 16, 2015	A3.1
FILE NUMBER NP	

Planning and Land Use Committee - 25 Jun 2015

Received  
City of Victoria  
FEB 18 2015  
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Development Services Division



<b>KEY BECCO ARCHITECTURE LTD.</b> 1124 Park Street, Victoria, BC, Canada V8W 2R6 Office 250-382-0423 Fax 250-382-0423 e-mail: info@beccoarchitecture.ca			
<b>COMMENTS</b>			
NO.	DESCRIPTION	DATE	BY
1	PACKAGE FOR COMMENT REVIEW #2	14.12.14	AP
2	REVISIONS TO MAP	16.02.15	AP
3	REVISIONS TO CITY + MAP	16.02.15	AP
4	PACKAGE FOR COMMENT REVIEW #3	16.02.15	AP
<b>GENERAL NOTES</b>			
Use of these drawings is limited to that identified in the submittal return. Do not construct from these drawings unless marked "Issued for construction". All drawings, plans, models, etc. are the property of Becco Architecture Ltd. and are not to be reproduced or used in any way without the expressed written consent of Becco Architecture Ltd.			
<b>NOT FOR CONSTRUCTION</b>			
<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 521 Superior Street, Victoria, BC			
<b>WEEK TITLE</b>			
<b>- CONSTRUCTION PLANS</b> BASEMENT AND MAIN FLOOR PLANS			
SCALE	AS SHOWN	REV. NO.	1124 - 1408
DATE ISSUED	FEBRUARY 16, 2015		
NO. OF SHEETS	16		
			A4.0

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City of Victoria  
FEB 10 2015  
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Development Services Division



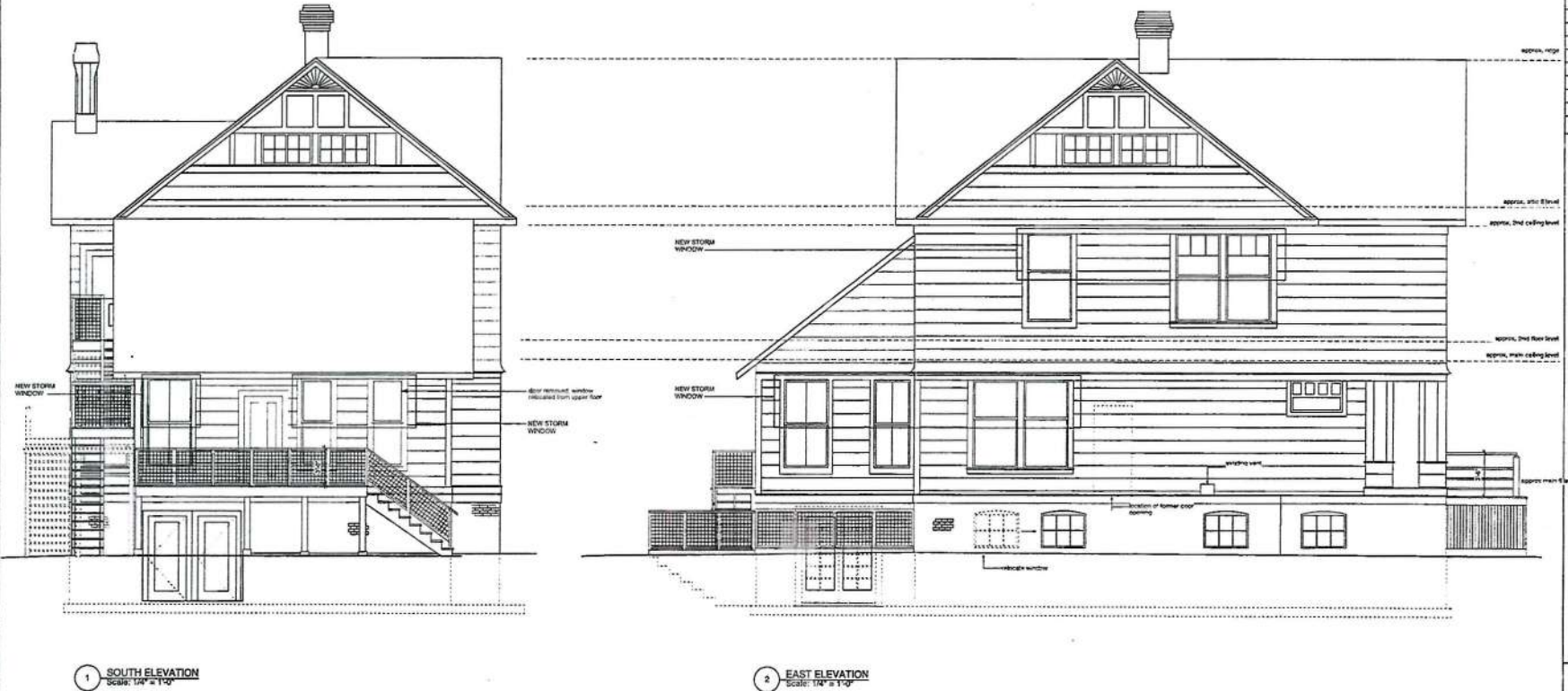




<b>KEY CECO ARCHITECTURE LTD.</b> 1124 First Street Victoria, B.C. Canada V8T 2W6 phone 250 382-4823 fax 250 382-4812 e mail: info@keyceco.com		
<b>COMMENTS</b>		
NO.	DESCRIPTION	DATE
1	PACKAGE FOR CONCEPT REVIEW #2	14.12.14 NP
2	SUBMISSION TO MAP	15.07.14 NP
3	REVISIONS TO CITY - MAP	15.02.13 NP
4	PACKAGE FOR CONCEPT REVIEW #3	15.02.14 NP
<b>GENERAL NOTES</b>		
Use of these drawings is limited to that identified in the SUBMITTAL COLUMN. Do not construct from these drawings unless "checked" (marked for construction). All elements, plans, models, etc. Have been reviewed by the City of Victoria and approved for construction. These drawings are not to be used for any other purpose without the written consent of the architect.		
<b>NOT FOR CONSTRUCTION</b>		
<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 521 Superior Street, Victoria, BC		
<b>SHEET TITLE</b>		
- ELEVATIONS -		
SCALE AS SHOWN	300% 1/24" = 1'-0"	A5.0
DATE PLOTTED	FEBRUARY 16, 2015	
PREPARED BY NP		

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City of Victoria  
FEB 18 2015  
Planning & Development Department  
Development Services Division





<b>KEY &amp; COO</b> <b>ARCHITECTURE LTD.</b> 1124 Fort Street Victoria, B.C. Canada V8T 2M7 office 250 362-0822 fax 250 362-0823 e mail info@keyandcoo.ca		
COMMENTS		
NO.	REVISION	DATE
1	PACKAGE FOR CONCEPT REVIEW #2	14.12.10 NP
2	SUBMISSION TO MAP	15.07.09 NP
3	REVISIONS TO CITY - MAP	15.02.10 NP
4	PACKAGE FOR CONCEPT REVIEW #3	15.02.10 NP
GENERAL NOTES		
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<b>NOT FOR CONSTRUCTION</b>		
PROJECT <b>- CAPITAL PARK - HERITAGE HOUSES</b> 521 Superior Street, Victoria, BC		
SHEET TITLE <b>- ELEVATIONS -</b>		
SCALE AS SHOWN	DATE PLOTTED	FILE NO.
FEBRUARY 16, 2015		1124 - 1408
DESIGNED BY		
NP		
		A5.1

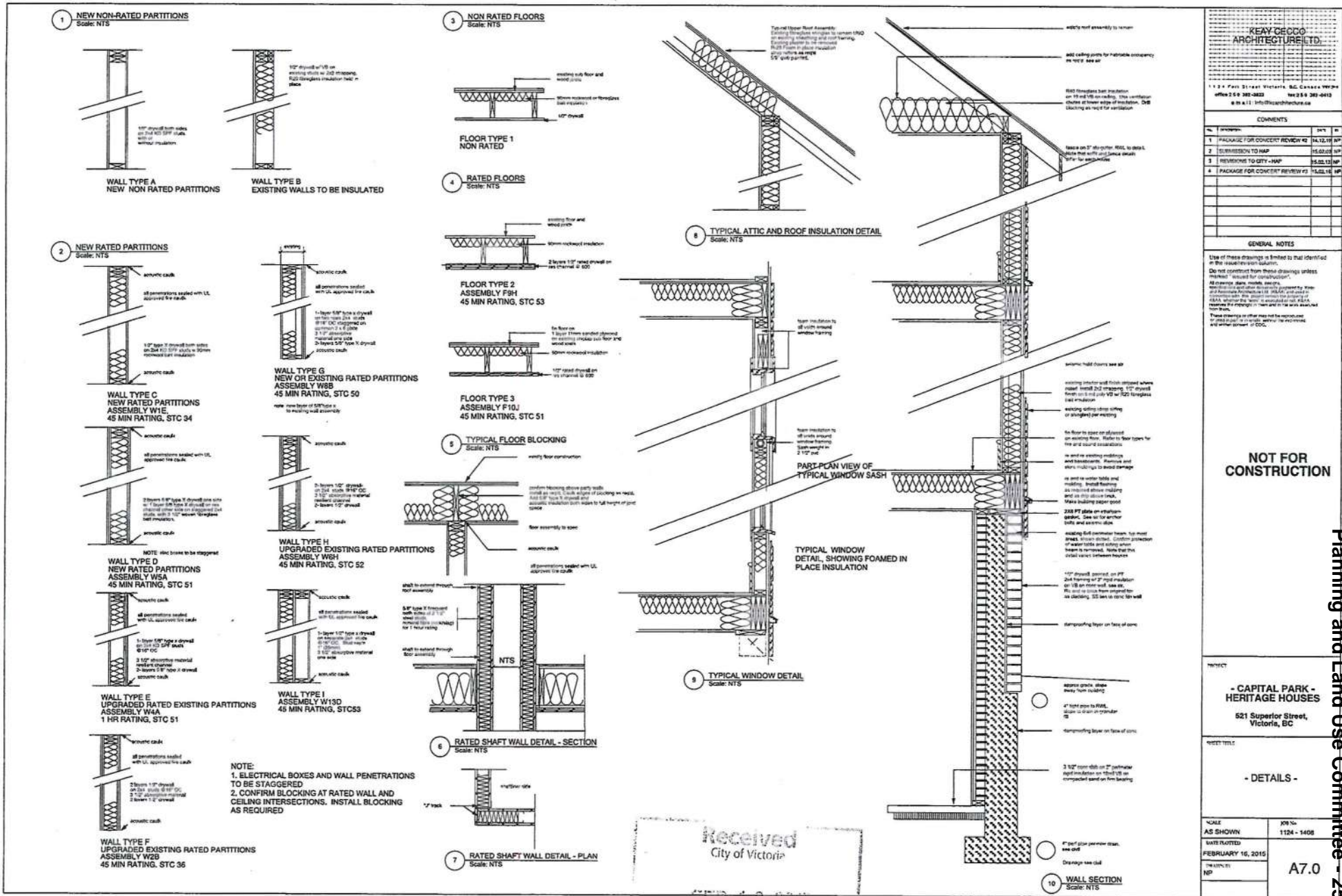
Received  
City of Victoria  
FEB 18 2015  
Planning & Development Department  
Development Services Division

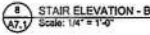


<b>KEY ARCHITECTURE LTD.</b> 1124 Fort Street, Victoria, BC Canada V8W 2H8 office 250 782-0821 fax 250 282-0412 email: info@keyarchitecture.ca			
COMMENTS			
NO.	DESCRIPTION	DATE	BY
1	PACKAGE FOR CONCEPT REVIEW #2	14.12.10	BP
2	SUBMISSION TO NHP	15.02.11	BP
3	REVISIONS TO CITY - NHP	15.02.11	BP
4	PACKAGE FOR CONCEPT REVIEW #3	15.02.11	BP
GENERAL NOTES			
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<b>NOT FOR CONSTRUCTION</b>			
PROJECT			
- CAPITAL PARK - HERITAGE HOUSES 521 Superior Street, Victoria, BC			
SHEET TITLE			
- SECTIONS -			
SCALE	JOB No.		
AS SHOWN	1124 - 1408		
DATE PLOTTED			
FEBRUARY 16, 2015			
THE ARCHITECT			
NP	A6.0		

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SCALE AS SHOWN	JOB No. 1124 - 1408
DATE PLOTTED FEBRUARY 16, 2015	A7.1
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Heritage Alteration Permit Applications Nos. 00198, 00199 an...

Page 351 of 455



PWL Partnership  
PWL Partnership is a partnership between  
PWL Properties Ltd. and  
PWL Properties Ltd. (PWL)  
PWL Properties Ltd. (PWL)  
PWL Properties Ltd. (PWL)  
PWL Properties Ltd. (PWL)



CONC=RT

REVISIONS AND DATES  
REV. DATE DESCRIPTION  
1. 2014/10/21 SUBMITTED TO MAP

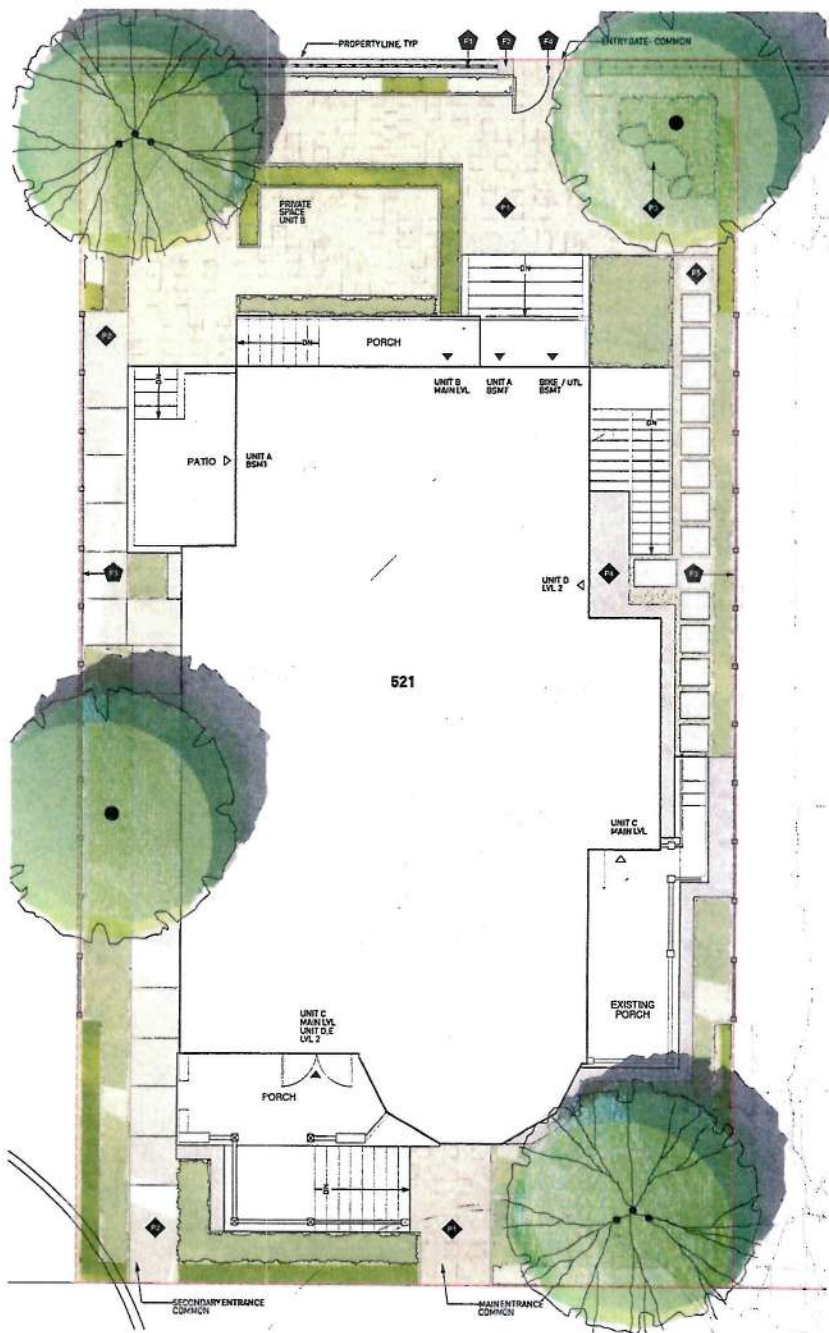
Capital Park  
Heritage Buildings  
Victoria, BC

MATERIALS PLAN

521 SUPERIOR STREET

DATE	1432
REV	1432 Plan - Heritage Building
DATE	12/07/15 at 2:04:23 PM
DATE	
DATE	

LDP 1.0



KEY	DESCRIPTION
1	UNIT PAVERS
2	CONCRETE WITH MEDIUM SAND BLAST FINISH
3	BOULDERS
4	GRANULAR SURFACING
5	STEPPING STONES

KEY	DESCRIPTION
1	2" GRANITE WALL WITH BLACK METAL PICKET FENCING
2	GRANITE PLASTER
3	4" TIMBER FENCE
4	ENTRY GATE





# CAPITAL PARK - HERITAGE BUILDINGS

## 539 SUPERIOR BUILDING

\* CONSULTANTS NOT IN HAP SUBMISSION GREYED OUT

**ARCHITECTURAL:**  
KEY DECCO ARCHITECTURE LTD.  
CONTACT: JOHN KEAY  
Phone: 250.382.3823  
Email: john@kdcarchitecture.ca

**STRUCTURAL:**  
READ JONES CHRISTOFFERSEN  
CONTACT: LEON PLETT  
Phone: 250.386.7794  
Email: lplett@rjc.ca

**MECHANICAL:**  
WSP CANADA INC.  
CONTACT: CRAIG HARRISON & PAUL TIMMINS  
Phone: 250.384.5510  
Email: craig.harrison@wspgroup.com

**ELECTRICAL:**  
APPLIED ENGINEERING SOLUTIONS LTD.  
CONTACT: JAY SINGH  
Phone: 250.381.6121  
Email: jsingh@appliedengineering.ca

A0.0 TITLE SHEET  
A1.0 SITE PLAN  
A2.0 PHOTOGRAPHS  
A3.0 DEMO PLANS - BASEMENT / MAIN  
A4.0 RENO PLANS - BASEMENT / MAIN  
A5.0 ELEVATIONS & STAIR DETAILS  
A6.0 SECTIONS  
A7.0 DETAILS

S1 PRELIMINARY DRAWINGS

M001 LEGEND & DRAWING LIST  
M110 539 - PLUMBING UNDER FLOOR & BASEMENT  
M111 539 - PLUMBING MAIN FLOOR DETAILS & SCHEMATICS  
M210 539 - HVAC BASEMENT & MAIN FLR  
M230 539 - HVAC DETAILS  
M310 539 - FP BASEMENT & MAIN FLOOR

E1

**CIVIL:**  
WSP CANADA INC.  
CONTACT: STEPHEN CHILDS  
Phone: 250.384.5510  
Email: stephen.childs@wspgroup.com

**CODE CONSULTANT:**  
GHL CONSULTANTS LTD.  
CONTACT: FRANKIE VICTOR  
Phone: 604.689.4449  
Email: fv@ghl.ca

**LANDSCAPE ARCHITECT:**  
PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.  
CONTACT: GRANT BRUMPTON  
Phone: 604.639.5218  
Email: gbrumpton@pwlpartnership.com

**INTERIOR DESIGNER:**  
KYLA BIDGOOD INTERIOR DESIGN  
CONTACT: KYLA BIDGOOD  
Phone: 250.589.0852  
Email: kyla@kylabidgood.com

C01 SITE SERVICING PLAN

ATTACHED REPORT

LDP 1.00 PRECEDNET IMAGES  
LDP 1.01 MATERIALS AND GRADING SITE PLAN

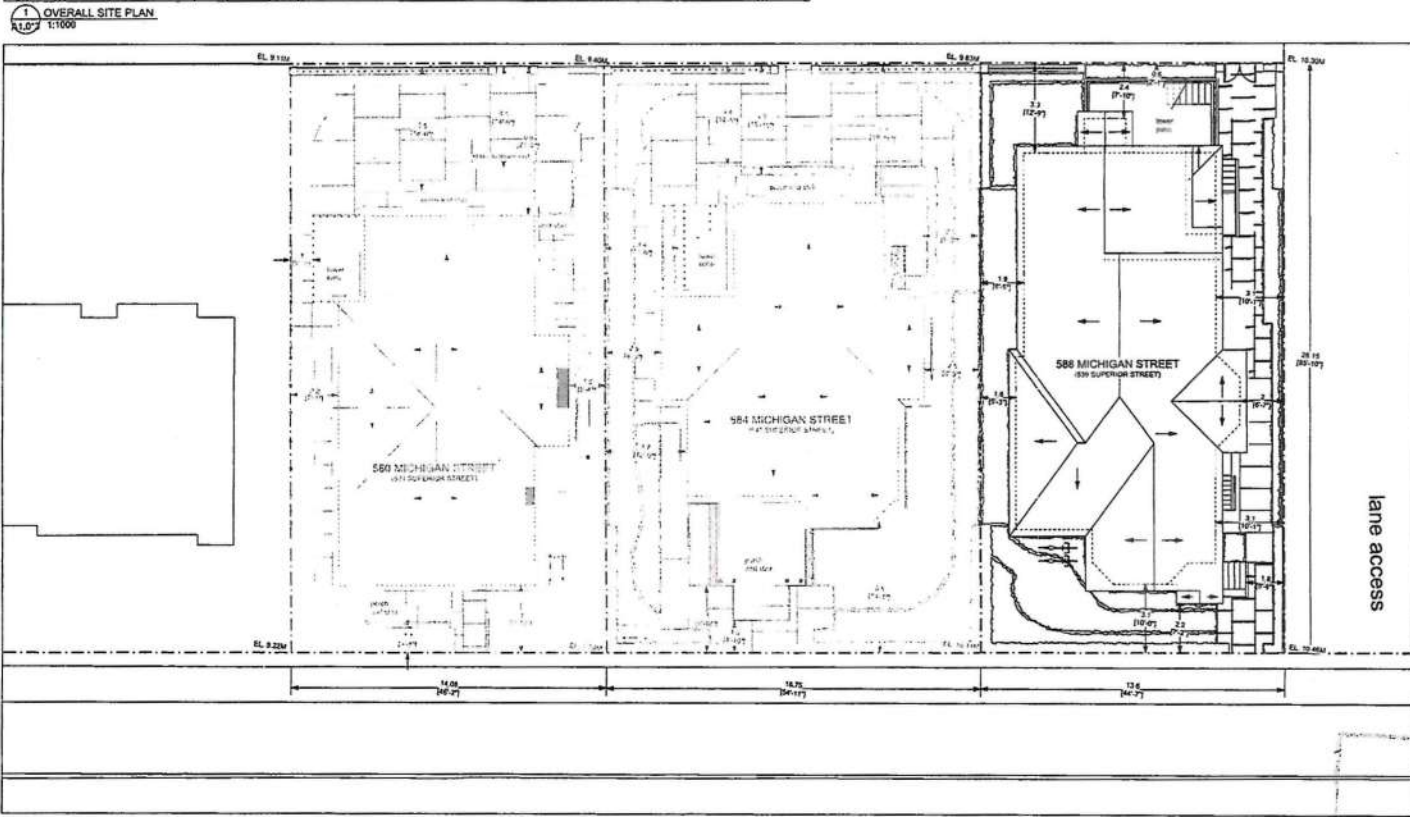
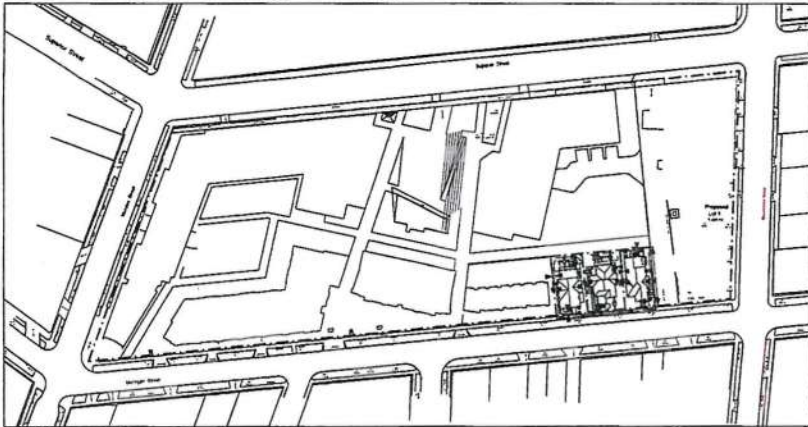
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ID-1.06 539 - MAIN FLOOR PLAN & RCP  
ID-3.06a 539 UNIT A KITCHEN FLOOR PLAN  
ID-3.06b 539 UNIT A KITCHEN ELEVATIONS  
ID-3.06c 539 UNIT A KITCHEN ELEVATIONS  
ID-3.07a 539 UNIT B KITCHEN FLOOR PLAN  
ID-3.07b 539 UNIT B KITCHEN ELEVATION  
ID-3.07c 539 UNIT B KITCHEN ELEVATION  
ID-3.08a 545 UNIT C KITCHEN FLOOR PLAN  
ID-3.08b 545 UNIT C KITCHEN ELEVATION  
ID-3.08c 545 UNIT C KITCHEN ELEVATION  
ID-6.04 LIGHTING FIXTURE SCHEDULE

**HERITAGE CONSULTANT:**  
DONALD LUXTON AND ASSOCIATES INC.  
CONTACT: DONALD LUXTON  
Phone: 604.688.1216  
Email: donald@donaldluxton.com

CONSERVATION PLAN - JANUARY 2015



KEY DECCO ARCHITECTURE LTD.		
124 Park Street, Victoria, BC, Canada V8T 2P9		
Office 250-382-3823	Fax 250-382-0433	
www.kdcarchitecture.ca		
COMMENTS		
No.	DESCRIPTION	DATE
1	PAYMENT FOR CONCEPT REVIEW #2	14.12.15 NP
2	SUBMISSION FOR HAP	15.01.16 NP
3	REVISIONS TO CITY - HAP	15.02.16 NP
4	PACKAGE FOR CONCEPT REVIEW #3	15.02.16 NP
GENERAL NOTES		
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NOT FOR CONSTRUCTION		
PROJECT		
- CAPITAL PARK - HERITAGE HOUSES		
539 Superior Street, Victoria, BC		
VISIT TITLE		
- TITLE SHEET -		
SCALE	AS SHOWN	1/8" = 1' - 1/4"
DATE PLOTTED	FEBRUARY 16, 2015	
DESIGNED BY	NP / JK	
A0.0		



**PROJECT INFORMATION TABLE - 539 SUPERIOR:**

CIVIC ADDRESS: 588 MICHIGAN STREET  
LEGAL DESCRIPTION: LOT 2 OF LOTS 1720 - 1743  
VICTORIA CITY PLAN EPP38872

ZONING: NEW ZONE  
SITE AREA (m<sup>2</sup>): 355 m<sup>2</sup>  
TOTAL FLOOR AREA (m<sup>2</sup>): 155 m<sup>2</sup>  
FLOOR SPACE RATIO: 0.43  
SITE COVERAGE: 54%  
OPEN SITE SPACE: 47%  
HEIGHT OF BUILDING (m): as per existing  
NUMBER OF STOREYS: 1  
PARKING STALLS ON SITE: 0  
BICYCLE PARKING NUMBER: 3 STORAGE (Class 1)  
2 RACK (Class 2)

BUILDING SETBACK (m):  
FRONT YARD: 3.1m  
REAR YARD: 2.4m  
WEST SIDE YARD: 1.6m  
EAST SIDE YARD: 1.8m

KEY: DECCO ARCHITECTURE LTD.		
1	2	3
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100	101	102

COMMENTS		
NO.	DESCRIPTION	DATE
1	PACKAGED FOR CONCRETE REVISION #2	14.12.16
2	TELEVISION FOR MAP	14.12.16
3	TELEVISION FOR CITY MAP	14.12.16
4	PACKAGED FOR CONCRETE REVISION #2	14.12.16

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PROJECT	
- CAPITAL PARK - HERITAGE HOUSES	
539 Superior Street, Victoria, BC	
SHEET TITLE	
- SITE PLAN -	
SCALE	AS SHOWN
DATE PLUMED	FEBRUARY 16, 2015
DESIGNED BY	
A1.0	

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A close-up photograph of a traditional wooden beam joint, showing the intricate craftsmanship of the joinery. The wood is dark and polished, with visible grain and texture. The joint is a complex interlocking of beams, typical of traditional Chinese architecture. The lighting is dramatic, highlighting the textures and the precision of the work.



**WEST ELEVATION**

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OF THE  
CONGRESS  
READINGS  
ROOM

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**SOUTH ELEVATION**



EAST ELEVATION



## BASEMENT DETAILS

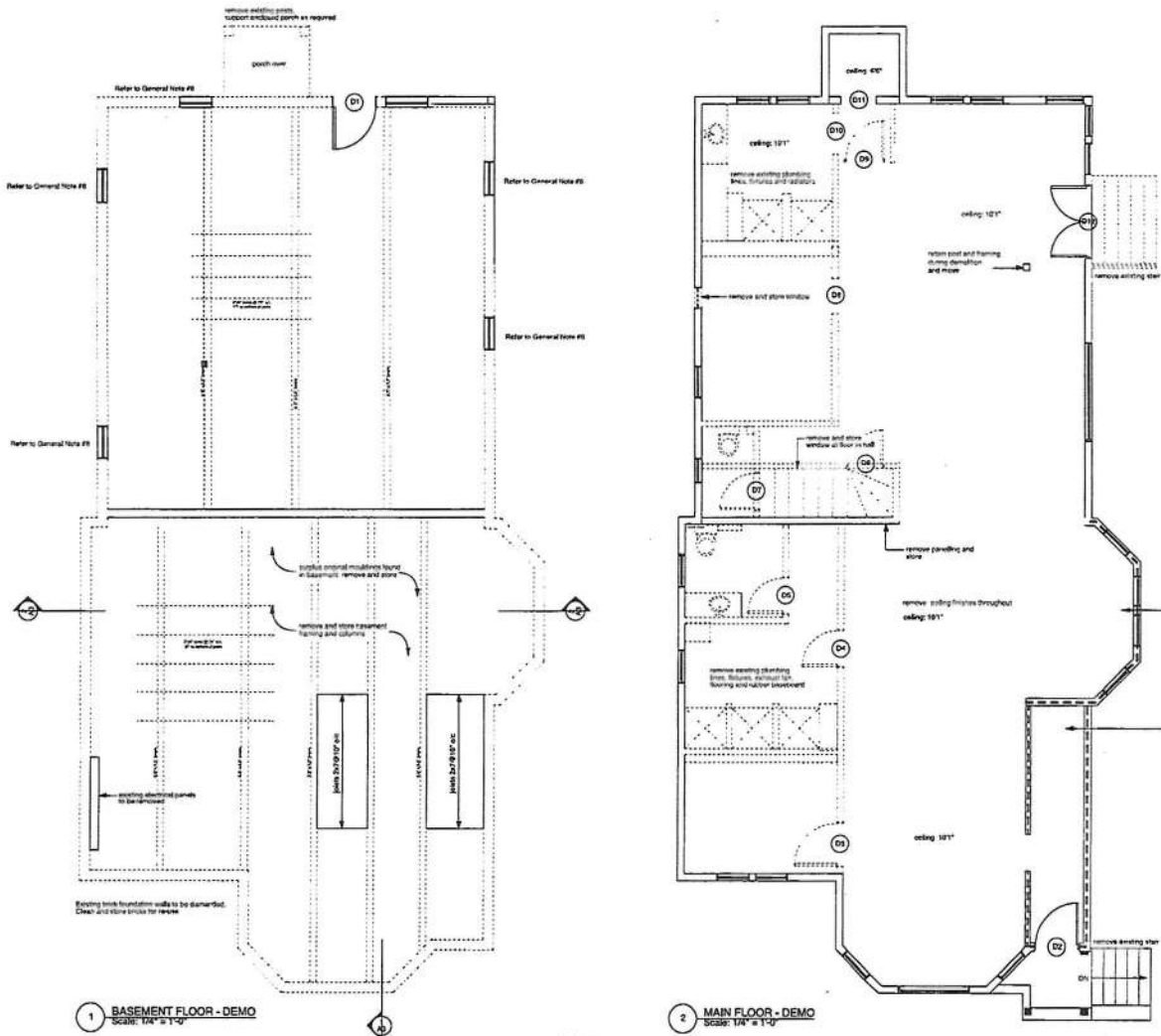
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PROJECT  
-CAPITAL PARK -  
HERITAGE HOUSES  
539 Superior Street,  
Victoria, BC  
96111712

## PHOTOGRAPHS

SCALE	NON N/A
AS SHOWN	1124 + 1408
DATE PLOTTED	
FEBRUARY 16, 2015	
DRAWN BY	
JK	

A-2.0



DEMOLITION LEGEND & GENERAL NOTES	
	EXISTING WALLS - DEMOLISH IN ORDER TO REUSE
	EXISTING WALLS - TO BE DEMOLISHED BY OTHER PLASTER
	WALLS TO BE REMOVED
	REFER TO DOOR SCHEDULE

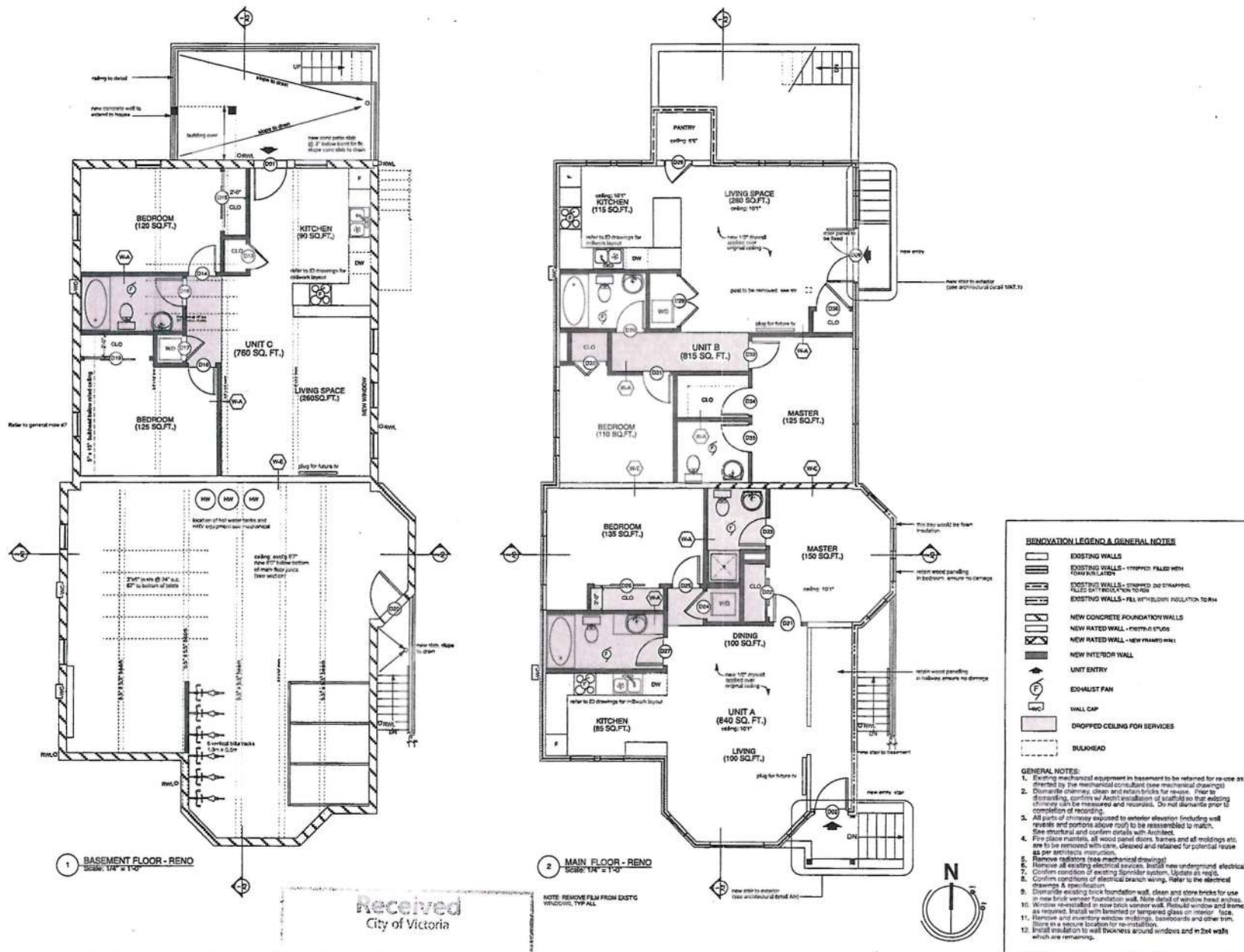
GENERAL NOTES:	
1.	Demolition of existing walls and retain bricks for reuse. Prior to demolishing, confirm with Architect installation of scaffold so that existing chimney can be measured and recorded. Do not dismantle prior to completion of recording.
2.	Fire place mantels, all wood panel doors, frames and all moldings etc. are to be removed with care, catalogued, cleaned and retained for potential reuse as per architect's instruction.
3.	Remove radiators and store heating lines (see mechanical drawings)
4.	Remove and store all existing electrical services.
5.	Confirm condition of existing sprinkler system. Update as required.
6.	Confirm condition of electrical branch wiring. Refer to the electrical drawings & specification.
7.	Dismantle existing brick foundation wall, clean and store bricks for use in new brick veneer foundation wall. Note detail of window head arches.
8.	Windows in existing foundation wall to be removed with care and stored for reuse in new foundation.
9.	Remove all existing fixtures and plumbing to be replaced with new.
10.	Remove all plaster/putty ceilings (and bannisters applicable).
11.	Remove all heating lines.
12.	Remove and store doors, window frames and trim as directed by the Architect.
13.	Remove and store any equipment, artifacts, plumbing fixtures as directed by the Architect.
14.	Refer to the specifications to be used in conjunction with these drawings.
15.	Protect all openings created by this contract during shoring and mousing.
17.	Provide security to Owner's specification.

KEY DECOR ARCHITECTURE LTD.		
1124 Port Street, Victoria, B.C. Canada V8V 2P6 phone 250-382-0653 fax 250-382-0653 e-mail: info@keydecor.com		
COMMENTS		
No.	DESCRIPTION	DATE
1	PACKAGE FOR CONCEPT REVIEW #2	14.12.14 NP
2	CONSTRUCTION FOR PLAN	15.01.14 NP
3	REVISIONS TO CITY - NHP	15.02.14 NP
4	PACKAGE FOR CONCEPT REVIEW #3	15.02.14 NP
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NOT FOR CONSTRUCTION		
PROJECT		
- CAPITAL PARK - HERITAGE HOUSES 539 Superior Street, Victoria, BC		
SHEET TITLE		
- DEMO PLANS - BASEMENT AND MAIN FLOOR PLANS		
SCALE	AS SHOWN	1124 - 1405
DATE	FEBRUARY 16, 2015	
DESIGNED BY	NP	A3.0

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7124 Fort Street Victoria, B.C. Canada V8V2Y9					
office 250 382-0823 fax 250 382-0415					
www.kc.ca info@keyceccoarch.com.bc.ca					
COMMENTS					
No.	DESCRIPTION	DWG	SF		
1	PACKAGE FOR CONCERT REVIEW #2	14,12,18	NP		
2	SUBMITTECH FOR MAP	15,01,26	NP		
3	REVISIONS TO CITY -MAP	15,02,XX	NP		
4	PACKAGE FOR CONCERT REVIEW #3	15,02,16	NP		
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<b>NOT FOR CONSTRUCTION</b>					
PROJECT					
<b>- CAPITAL PARK - HERITAGE HOUSES</b>					
539 Superior Street, Victoria, BC					
MEET TITLE					
<b>- RENO PLANS - BASEMENT AND MAIN FLOOR PLANS</b>					
SCALE AS SHOWN		JOB No 1124 - 1408			
DATE PREPARED FEBRUARY 16, 2015		A4.1			
DRAWN BY NP					



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Development Services Division



1 EAST ELEVATION  
Scale: 1/8" = 1'-0"



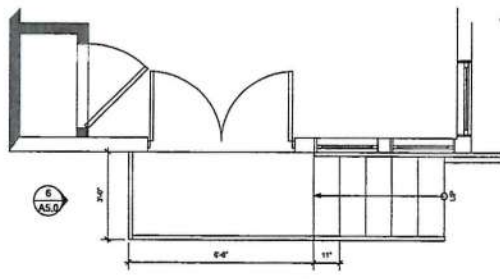
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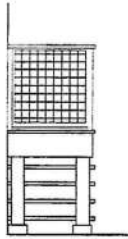
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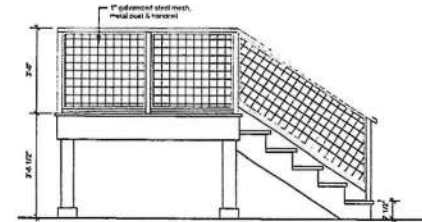
4 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



5 STAIR FLOOR PLAN - A  
Scale: 1/2" = 1'-0"



6 STAIR ELEVATION - A  
Scale: 1/2" = 1'-0"



7 STAIR ELEVATION - A  
Scale: 1/2" = 1'-0"

<p>KEAY DECIO ARCHITECTURE LTD.</p> <p>1121 Park Street Victoria, BC Canada V8T 1G6 phone 250 362-0833 fax 250 362-0413 e mail: info@keaydecio.com</p>																					
<p>COMMENTS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PACKAGE FOR CONCEPT REVIEW #2</td> <td>14.12.14</td> <td>NP</td> </tr> <tr> <td>2</td> <td>SUBMISSION FOR MAP</td> <td>15.01.15</td> <td>NP</td> </tr> <tr> <td>3</td> <td>REVISIONS TO CITY - MAP</td> <td>15.02.15</td> <td>NP</td> </tr> <tr> <td>4</td> <td>PACKAGE FOR CONCEPT REVIEW #3</td> <td>15.02.15</td> <td>NP</td> </tr> </tbody> </table>		No.	DESCRIPTION	DATE	BY	1	PACKAGE FOR CONCEPT REVIEW #2	14.12.14	NP	2	SUBMISSION FOR MAP	15.01.15	NP	3	REVISIONS TO CITY - MAP	15.02.15	NP	4	PACKAGE FOR CONCEPT REVIEW #3	15.02.15	NP
No.	DESCRIPTION	DATE	BY																		
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2	SUBMISSION FOR MAP	15.01.15	NP																		
3	REVISIONS TO CITY - MAP	15.02.15	NP																		
4	PACKAGE FOR CONCEPT REVIEW #3	15.02.15	NP																		
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<p>NOT FOR CONSTRUCTION</p>																					
<p>PROJECT</p> <p>- CAPITAL PARK - HERITAGE HOUSES</p> <p>539 Superior Street, Victoria, BC</p>																					
<p>SHEET TITLE</p> <p>ELEVATIONS &amp; STAIR DETAILS</p>																					
<p>SCALE</p> <p>AS SHOWN</p>	<p>REV No.</p> <p>1124 - 1408</p>																				
<p>DATE PREPARED</p> <p>FEBRUARY 16, 2015</p>																					
<p>DESIGNED BY</p> <p>NP</p>																					
<p>A5.0</p>																					

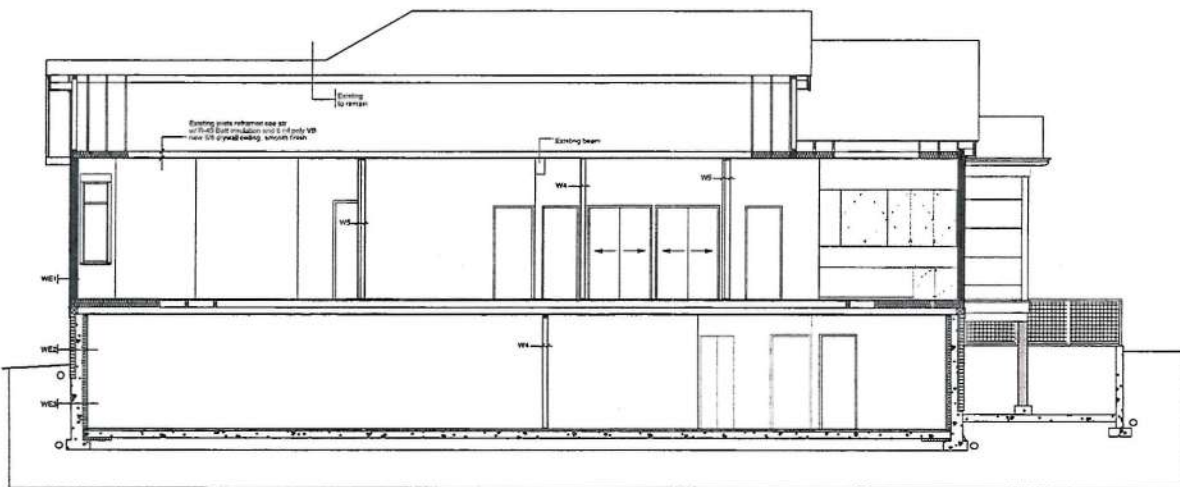
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City of Victoria

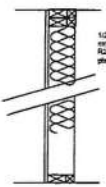
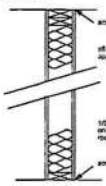
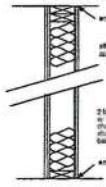
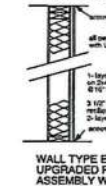
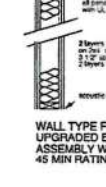
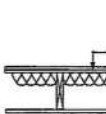
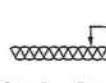
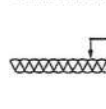
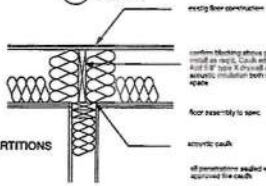
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Development Services Division

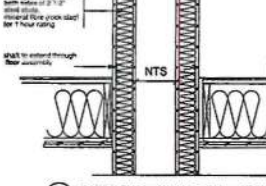


<b>KEY BECCO ARCHITECTURE LTD.</b> 1100 Park Street, Victoria, B.C. Canada V8T 2P6 phone 250 382-0823 fax 250 382-0813 e-mail: info@keybeccoarchitecture.ca	
<b>COMMENTS</b>	
NO.	DESCRIPTION
1	PACKAGE FOR CONCEPT REVIEW #2 14.12.14 NP
2	SUBMISSION FOR MAP 15.01.14 NP
3	REVISIONS TO CITY-MAP 15.02.14 NP
4	PACKAGE FOR CONCEPT REVIEW #3 15.02.14 NP
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<b>NOT FOR CONSTRUCTION</b>	
<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 539 Superior Street, Victoria, BC	
<b>SHEET TITLE</b> - SECTIONS -	
<b>SCALE</b> AS SHOWN	<b>SHEET NO.</b> 1124 - 1408
<b>DATE PLOTTED</b> FEBRUARY 16, 2015	<b>SCALE</b> A6.0
<b>DATE CHECKED</b> NP	

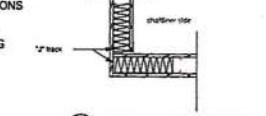


1 NEW NON-RATED PARTITIONS  
Scale: NTSWALL TYPE A  
NEW NON-RATED PARTITIONSWALL TYPE B  
EXISTING WALLS TO BE INSULATED2 NEW RATED PARTITIONS  
Scale: NTSWALL TYPE C  
NEW RATED PARTITIONS  
ASSEMBLY W1E,  
45 MIN RATING, STC 34WALL TYPE D  
NEW RATED PARTITIONS  
ASSEMBLY W5A  
45 MIN RATING, STC 51WALL TYPE E  
UPGRADED RATED EXISTING PARTITIONS  
ASSEMBLY W4A,  
1 HR RATING, STC 51WALL TYPE F  
UPGRADED EXISTING RATED PARTITIONS  
ASSEMBLY W2B  
45 MIN RATING, STC 363 NON RATED FLOORS  
Scale: NTSFLOOR TYPE 1  
NON RATED4 RATED FLOORS  
Scale: NTSFLOOR TYPE 2  
ASSEMBLY F5H  
45 MIN RATING, STC 53FLOOR TYPE 3  
ASSEMBLY F10J  
45 MIN RATING, STC 515 TYPICAL FLOOR BLOCKING  
Scale: NTS

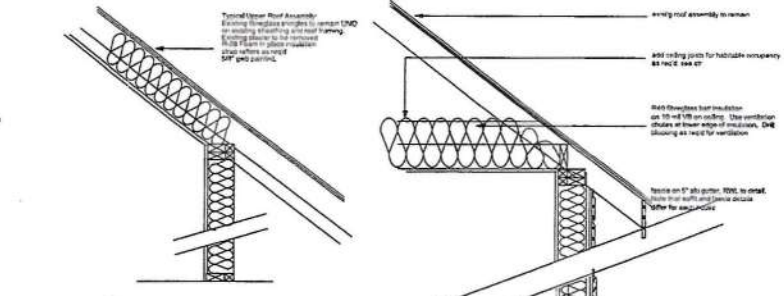
TYPICAL FLOOR BLOCKING



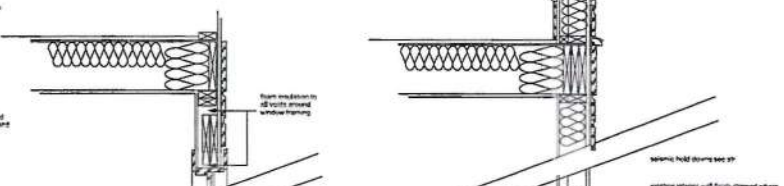
RATED SHAFT WALL DETAIL - SECTION



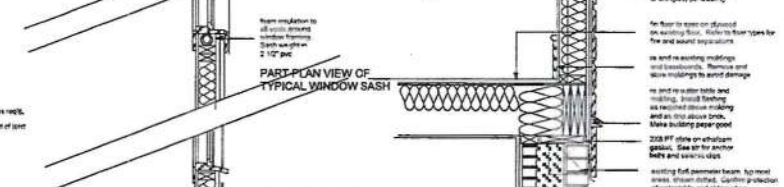
RATED SHAFT WALL DETAIL - PLAN

8 TYPICAL ATTIC AND ROOF INSULATION DETAIL  
Scale: NTS

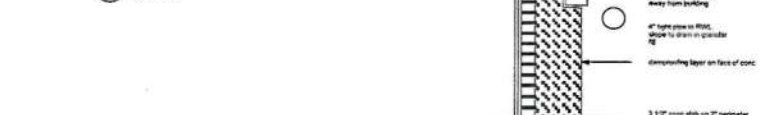
TYPICAL ATTIC AND ROOF INSULATION DETAIL



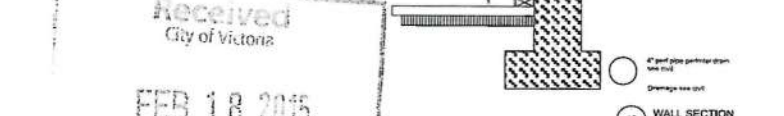
TYPICAL WINDOW DETAIL

TYPICAL WINDOW DETAIL  
SHOWING FOAMED IN  
PLACE INSULATION

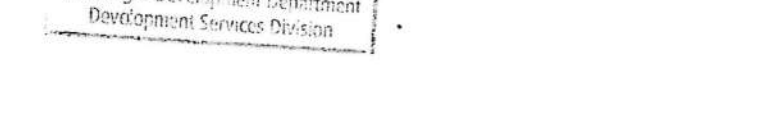
TYPICAL WINDOW DETAIL



TYPICAL WINDOW DETAIL



TYPICAL WINDOW DETAIL



TYPICAL WINDOW DETAIL

KEY: CECGO ARCHITECTURE LTD.			
1124 FORT STREET VICTORIA, BC CANADA V8T 2G5			
PHONE 250 382-0223		FAX 250 382-0413	
WWW.KDARCHITECTURE.COM			
COMMENTS			
NO.	DESCRIPTION	DATE	BY
1	PACKAGE FOR CONCEPT REVIEW #2	14.12.14	NP
2	SUBMISSION FOR MAP	15.01.15	NP
3	REVISIONS TO CITY - MAP	15.05.15	NP
4	PACKAGE FOR CONCEPT REVIEW #3	15.05.15	NP
GENERAL NOTES			
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NOT FOR CONSTRUCTION			
PROJECT			
- CAPITAL PARK - HERITAGE HOUSES			
539 Superior Street, Victoria, BC			
SHEET TITLE			
- DETAILS -			
SCALE		JOB No.	
AS SHOWN		1124 - 1408	
DATE ISSUED		A7.0	
FEBRUARY 16, 2015			
DRAWN BY			
NP			

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ARCHITECTURE LTD.  
1100 Park Street Victoria, BC Canada V8W 2H6  
office 250 282-0823 fax 250 282-0413  
e mail: info@keaydecco.com

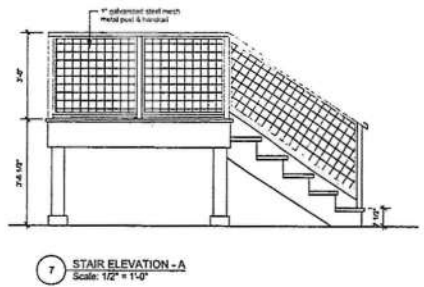
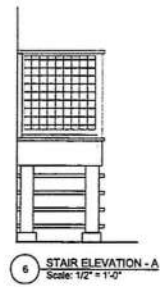
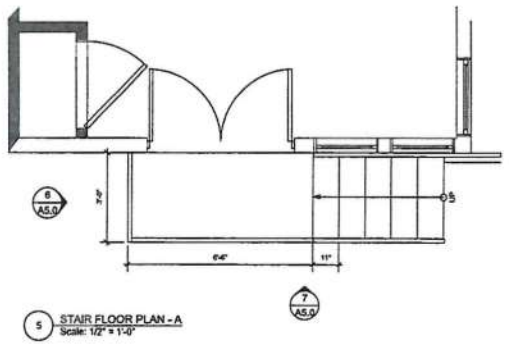
COMMENTS			
No.	Revision	By	Date
1	PACKAGE FOR CONCERT REVIEW #2	14.12.14	NP
2	SUBMISSION FOR MAP	15.01.15	NP
3	REVISIONS TO CITY - MAP	15.02.15	NP
4	PACKAGE FOR CONCERT REVIEW #3	15.02.15	NP

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All measures shown, unless noted, are approximate and not intended for construction.  
All dimensions are shown in feet and inches (Ft/In) and rounded to the nearest 1/4" or 1/2".  
All dimensions are shown in feet and inches (Ft/In) and rounded to the nearest 1/4" or 1/2".  
All dimensions are shown in feet and inches (Ft/In) and rounded to the nearest 1/4" or 1/2".  
All dimensions are shown in feet and inches (Ft/In) and rounded to the nearest 1/4" or 1/2".

**NOT FOR CONSTRUCTION**

PROJECT	
- CAPITAL PARK - HERITAGE HOUSES	
539 Superior Street, Victoria, BC	
SHEET TITLE	
SCALE	BY/NO.
AS SHOWN	1124 - 1408
DATE ISSUED	FEBRUARY 10, 2015
DESIGNED BY	
NP	



[illegible]





PWL Partnership  
PWL Partnership is a partnership between  
PWL Properties Ltd. and  
PWL Management Ltd.  
PWL Properties Ltd. is a  
PWL Management Ltd. is a  
PWL Properties Ltd. is a  
PWL Management Ltd. is a



CONCRETE

NO.	DATE	DESCRIPTION
1	02/10/14	SURVEY TO MAP

Capital Park  
Heritage Buildings  
Victoria, BC

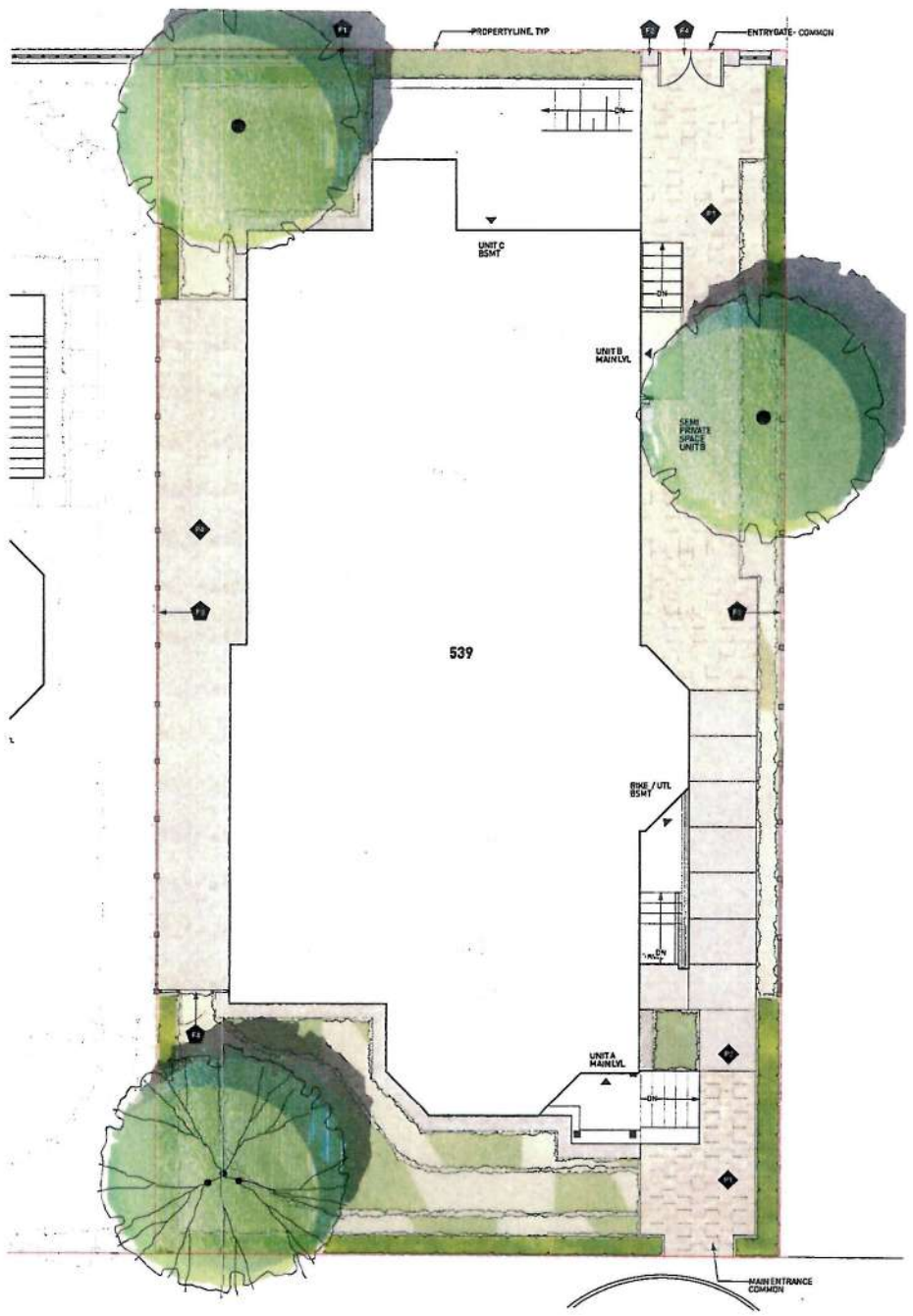
MATERIALS PLAN

539 SUPERIOR STREET

Scale: 1/4" = 1'0"

PROJECT NO.	1432
DATE	1432 Plan - Heritage Buildings
NOTED	12/21/15 at 2:04:48 PM
DRAWN	BY: [Name]

LDP 1.01



PAVING LEGEND	
KEY	DESCRIPTION
[Symbol]	UNIT PAVERS
[Symbol]	CP CONCRETE WITH MEDIUM SAND BLAST FINISH
[Symbol]	BOULDERS
[Symbol]	GRANULAR SURFACING
[Symbol]	STEPPING STONES

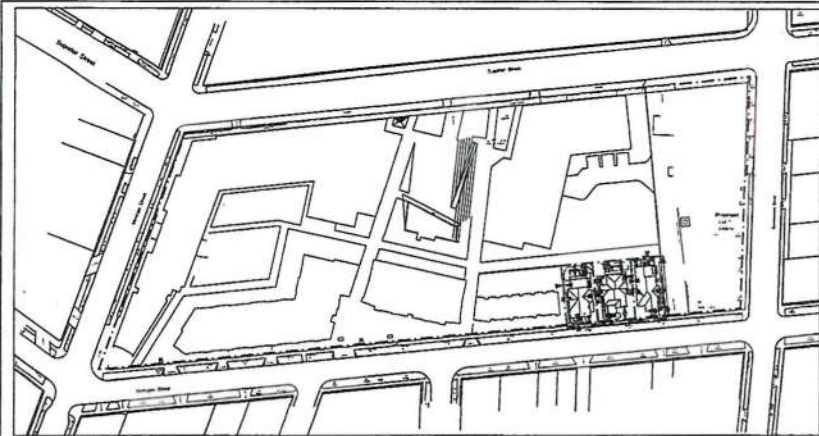
FURNISHING LEGEND	
KEY	DESCRIPTION
[Symbol]	2" GRANITE WALL WITH BLACK METAL PICKET FENCING
[Symbol]	GRANITE PLASTER
[Symbol]	4" TIMBER FENCE
[Symbol]	ENTRY GATE

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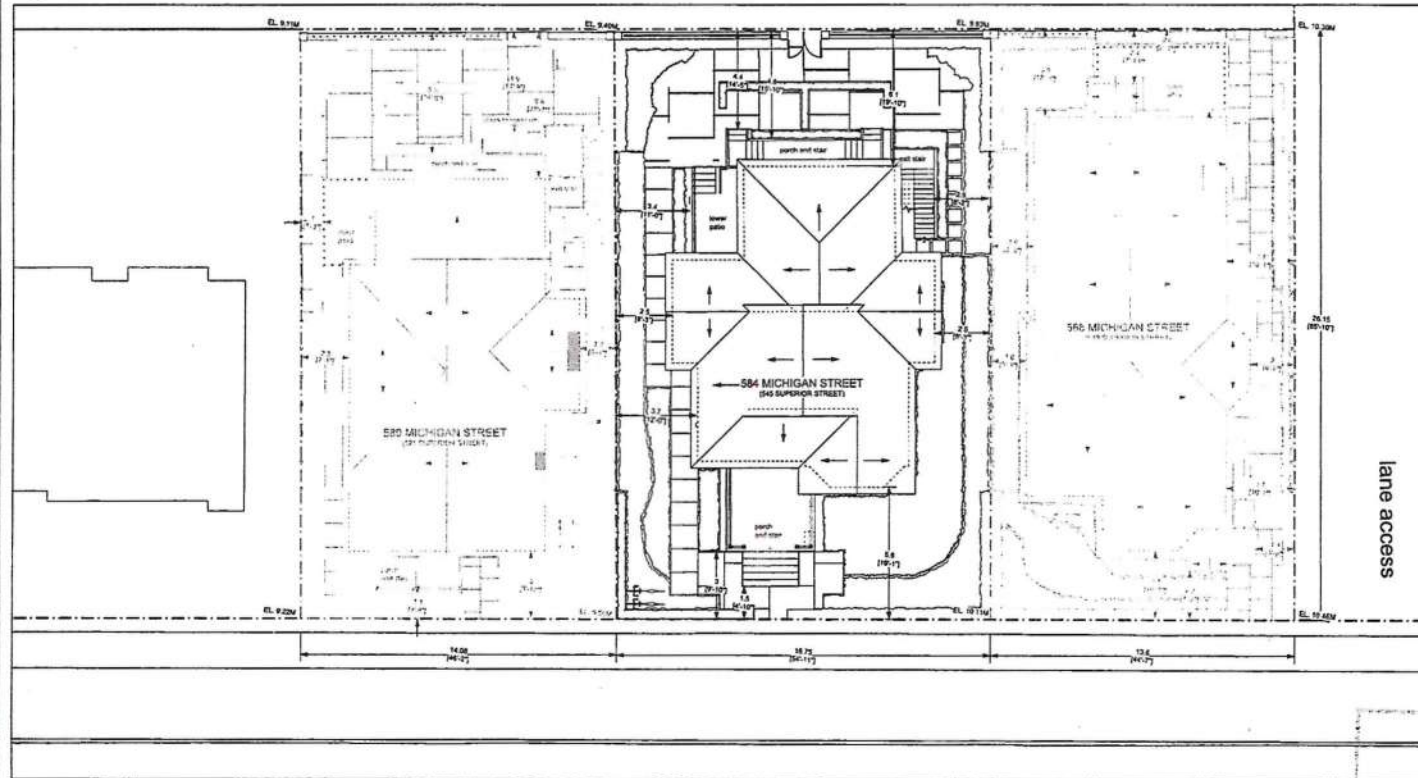
## A photograph of a two-story house with a prominent front porch supported by columns. The house has a gabled roof and decorative elements, including a circular ornament in the gable. A small sign above the porch entrance reads "545".

## Planning and Land Use Committee - 25 Jun 2015





OVERALL SITE PLAN  
A1.0  
1:1000



PARTIAL SITE PLAN  
A1.0  
1:1000

PROJECT INFORMATION TABLE - 545 SUPERIOR:  
CIVIC ADDRESS: 584 MICHIGAN STREET  
LEGAL DESCRIPTION: LOT 2 OF LOTS 1720 - 1743  
VICTORIA CITY PLAN EPF03872

ZONING: NEW ZONE  
SITE AREA (m<sup>2</sup>): 439 m<sup>2</sup>  
TOTAL FLOOR AREA (m<sup>2</sup>): 280 m<sup>2</sup>  
FLOOR SPACE RATIO: 0.68  
SITE COVERAGE: 40%  
OPEN SITE SPACE: 29%  
HEIGHT OF BUILDING (m): as per existing  
NUMBER OF STOREYS: 3  
PARKING STALLS ON SITE: 0  
BICYCLE PARKING NUMBER: 5 STORAGE (Class 1)  
2 RACK (Class 2)

BUILDING SETBACK (m):  
FRONT YARD: 5.5m  
REAR YARD: 6.1m  
WEST SIDE YARD: 2.5m  
EAST SIDE YARD: 2.5m

KEY: CECO  
ARCHITECTURE LTD.

1124 Fair Street Victoria BC Canada V8V 2M6  
office 250 382-0033 fax 250 382-0033  
e mail: info@keycecoarchitecture.ca

COMMENTS			
#	DESCRIPTION	DATE	#
1	PACKAGE FOR CONCEPT REVIEW #1	14.02.15	150
2	SUBMISSION FOR MAP	14.02.15	150
3	REVISIONS FOR CITY - MAP	15.02.15	150
4	PACKAGE FOR CONCEPT REVIEW #2	15.02.15	150

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NOT FOR  
CONSTRUCTION

PROJECT  
- CAPITAL PARK -  
HERITAGE HOUSES  
545 Superior Street,  
Victoria, BC

SHEET TITLE  
- SITE PLAN -

SCALE  
AS SHOWN  
DATE PLOTTED  
FEBRUARY 16, 2015  
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NORTH ELEVATION AND FRONT HALL



EAST ELEVATION



BASEMENT DETAILS



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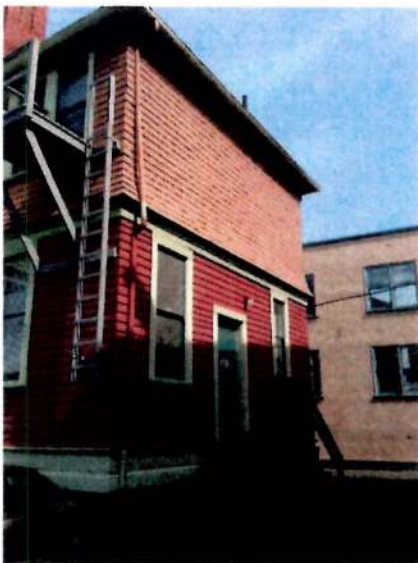
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<b>KEY-CECCO ARCHITECTURE LTD.</b> 1124 Fair Street, Victoria, BC Canada V8M 1Y1 Office 250 382-4822 Fax 250 382-4815 e mail 11105@keycecco.com		
<b>COMMENTS</b>		
No.	DESCRIPTION	DATE
1	PACKAGE FOR CONCEPT REVIEW #2	14.12.14 NP
2	TRANSMISSION TO NRP	15.03.15 NP
3	PACKAGE FOR CONCEPT REVIEW #3	15.03.15 NP
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<b>PROJECT</b>		
- CAPITAL PARK - HERITAGE HOUSES 545 Superior Street, Victoria, BC		
<b>SHEET TITLE</b>		
PHOTOGRAPHS		
SCALE	1124 - 1408	
AS SHOWN	A-2.0	
DATE PLOTTED	FEBRUARY 16, 2015	
DRAWN BY	JK	



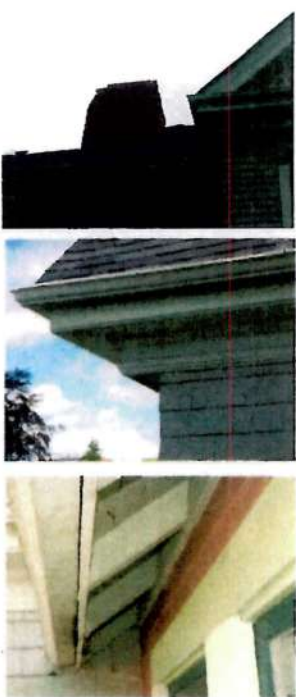
<b>KEY &amp; CECIO ARCHITECTURE LTD.</b> 1124 Park Street, Victoria, BC, Canada V8W 2H4 Office 250-362-0823 Fax 250-362-0413 e-mail: info@keyandcecio.com		
<b>COMMENTS</b>		
No.	DESCRIPTION	DATE
1	PACKAGE FOR CONCEPT REVIEW #1	14.12.14 NP
2	SUBMISSION TO HAP	15.02.15 NP
3	PACKAGE FOR CONCEPT REVIEW #2	15.02.15 NP
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<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 545 Superior Street, Victoria, BC		
<b>SHEET TITLE</b> PHOTOGRAPHS		
SCALE	SHEET NO.	
AS SHOWN	1124 - 1408	
DATE PLOTTED	A-2.1	
DRAWN BY		
JK		



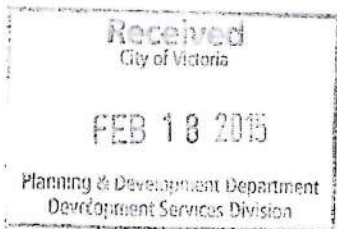
SOUTH ELEVATION



WEST ELEVATION



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 EXISTING WALLS - DRYWALL/PLASTER TO REMAIN  
 EXISTING WALLS - TO BE STRIPPED OF DRYWALL/PLASTER  
 WALLS TO BE REMOVED  
 Dx REFER TO DOOR SCHEDULE

GENERAL NOTES:

- GENERAL NOTES:**
1. Demolish chimney, clean and retain bricks for reuse. Do not demolish concrete. Attached radiator of boiler to be kept. Heat exchanger must be measured and recorded. Do not demolish prior to examination of recording.
  2. Five piece mantle, all wood panel doors, frames and all moldings etc., are to be removed in place, catalogued, cleaned and retained for potential reuse as per architect's instruction.
  3. Remove radiators and store heating lines (see mechanical drawings)
  4. Remove and store all existing electrical services.
  5. Confirm condition of existing electrical service, update as required.
  6. Confirm condition of electrical branch wiring. Refer to the electrical drawings for specification.
  7. Clean and setting brick foundation wall, clean and store bricks for use in new brick veneer foundation wall. Note detail of window head arches.

8. Windows in existing foundation wall to be removed with care and stored for reuse in new foundations.
9. Remove all exterior fixtures, and plumbing to be replaced with new.
10. Remove all plastered wall ceilings (and floor where applicable)
11. Remove all carpet, vinyl tile, rubber base trim and window coverings
12. Remove all heating lines
13. Remove and store doors, door frames and trim as directed by the Architect.
14. Remove and store any equipment, artifacts, plumbing fixtures as directed by the Architect.
15. Protect the specification, to be used in conjunction with these drawings.
16. Protect all openings created by this contract during work-up and moving.
17. Provide security to Owner's specification.

office 250 582-0923 fax 250 582-0413  
e-mail: info@hcm-constructors.ca

## COMMENTS

No.	DESCRIPTION	DATE	BY
1	PACKAGE FOR CONCERT REVIEW	10.17.15	NS
2	SUBMISSION TO HAR	10.22.15	NS
3	SUBMISSION TO CITY, HAR	10.23.15	NS
4	PACKAGE FOR CONCERT REVIEW	10.23.15	NS

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PROJECT

**- CAPITAL PARK -  
HERITAGE HOUSES**  
645 Superior Street,  
Victoria, BC

SHEET TITLE:

**- DEMO PLANS -**  
BASEMENT AND MAIN  
FLOOR PLANS

NAME \_\_\_\_\_

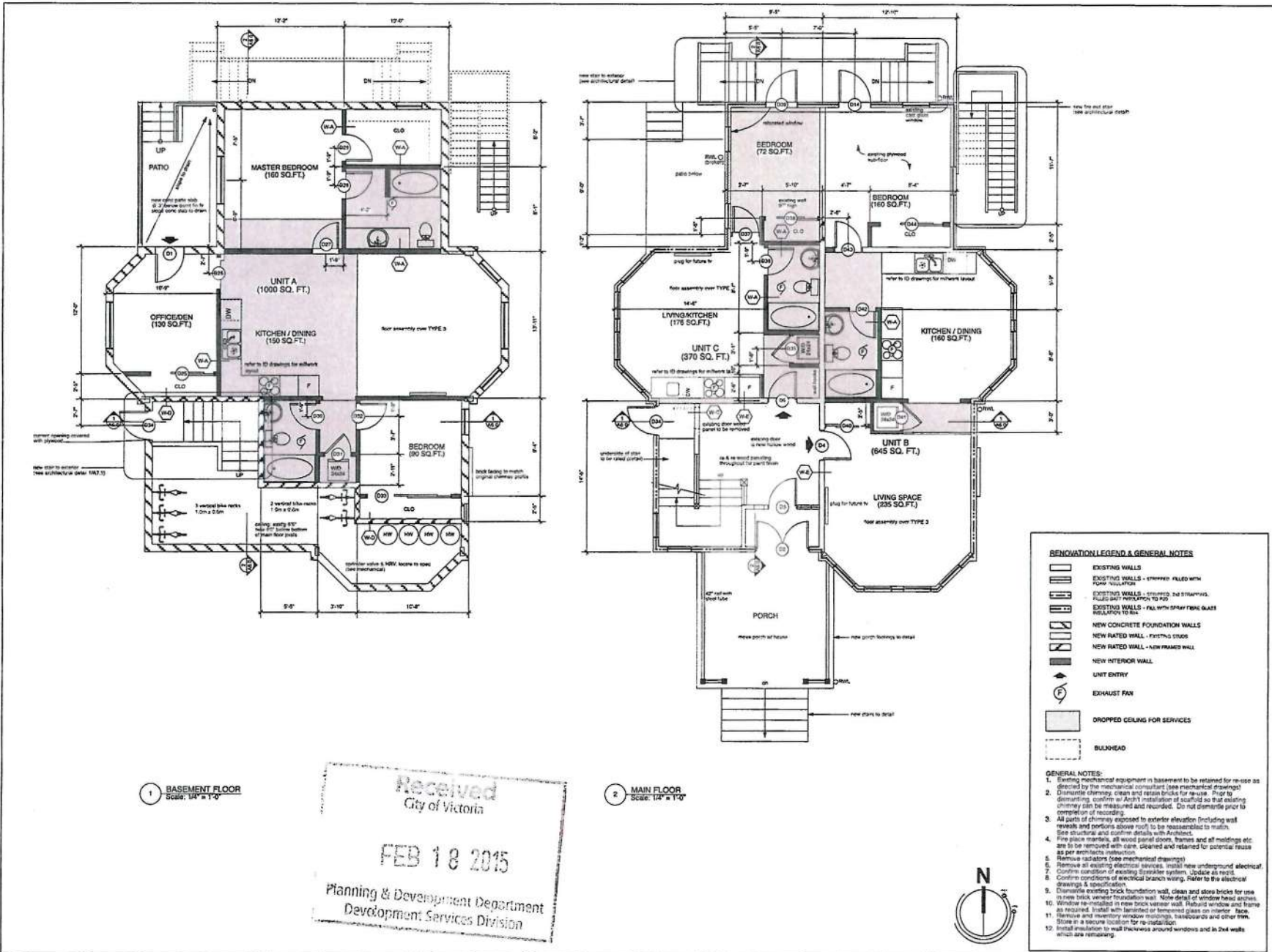
AS SHOWN

DATE PLOTTED \_\_\_\_\_

FEBRUARY 16, 2011

### A3.0





<b>KEY: CECO ARCHITECTURE LTD.</b> 1 - 24 East Street Victoria, BC Canada V8V 1N6 phone 250 382-0823 fax 250 382-0410 e-mail: info@cecoarchitecture.ca		
<b>COMMENTS</b>		
No.	DESCRIPTION	DATE
1	PACKAGE FOR CONCEPT REVIEW #2	14 12 18 NP
2	SUBMISSION TO NHP	15 02 05 NP
3	REVISIONS TO CITY - NHP	15 02 13 NP
4	PACKAGE FOR CONCEPT REVIEW #3	15 02 16 NP
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<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 545 Superior Street, Victoria, BC		
<b>CONSTRUCTION PLANS - BASEMENT AND MAIN FLOOR PLANS</b>		
SCALE	SHEET NO.	
AS SHOWN	1124 - 1408	
DATE REVISED		
FEBRUARY 18, 2015		
DESIGN BY		
NP	A4.0	

[illegible]







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<b>COMMENTS</b> 1. SUBMITTAL FOR CONCEPT REVIEW #1 14.02.15 2. SUBMISSION TO MAP 15.02.15 3. SUBMISSION TO CITY MAP 15.02.15 4. PACKAGE FOR CONCEPT REVIEW #2 15.02.15	
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<b>PARTICULAR</b> - CAPITAL PARK - HERITAGE HOUSES 845 Superior Street, Victoria, BC	
<b>SHEET TITLE</b> - ELEVATIONS -	
SCALE AS SHOWN DATE PLOTTED FEBRUARY 16, 2015 DRAWN BY [Signature]	JOB NO. 1124 - 1408 A5.0

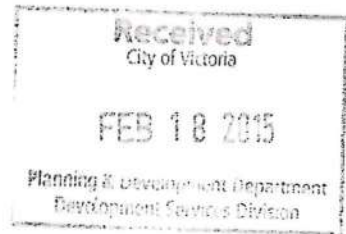
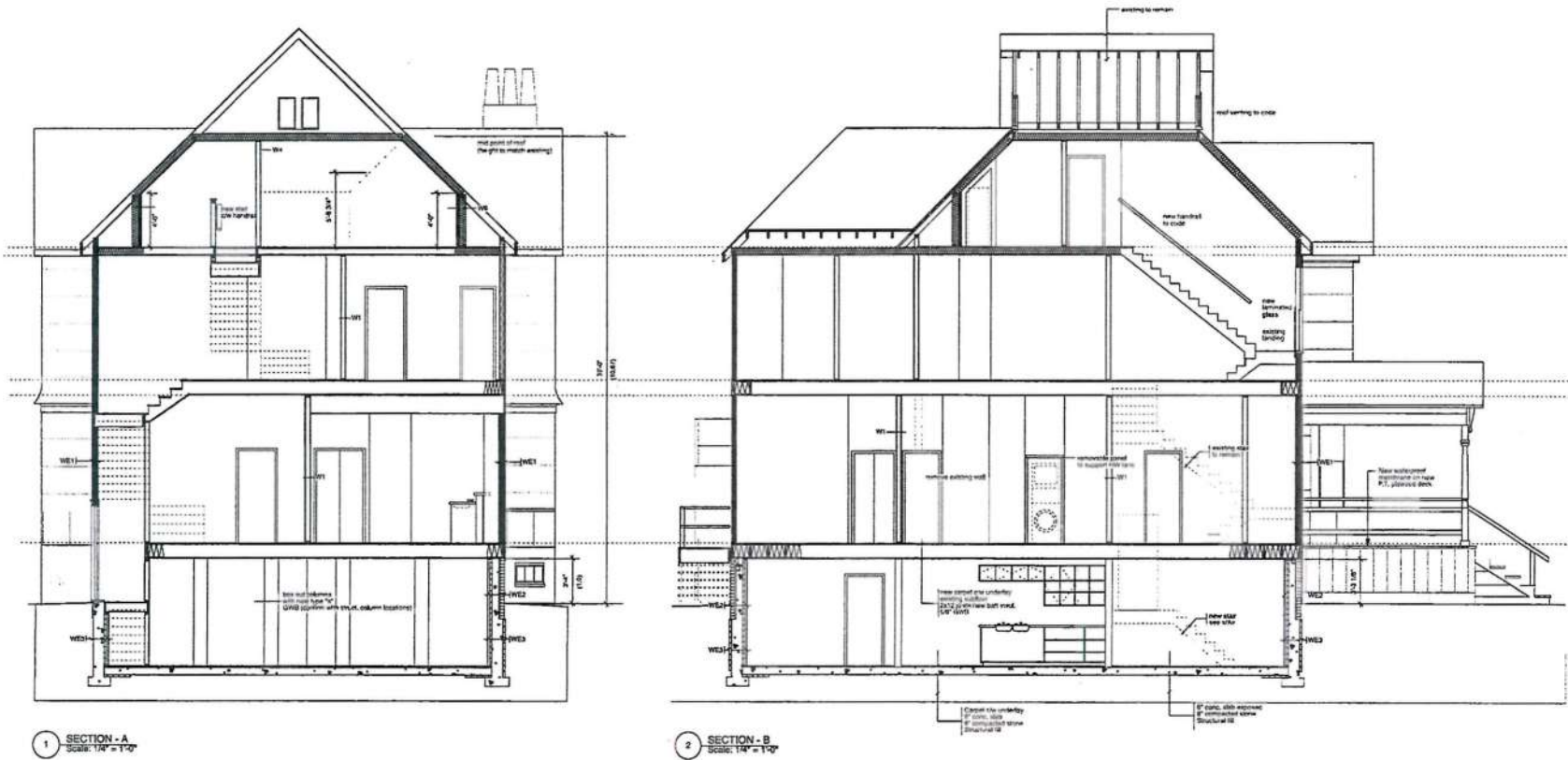
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<div>KEYAY CECOO ARCHITECTURE LTD.</div> <div>17 2nd FLOOR STANLEY STREET, VICTORIA, BC V8W 2E1 phone 250-382-0822 fax 250-382-0813 e-mail info@keaycecoo.ca</div>			
COMMENTS			
Nº	DESCRIPTION	DATE	BY
1	PROPOSED FOR CONCEPT REVIEW	14.07.14	KE
2	CONSTRUCTION TO MAP	15.02.15	KE
3	REVISION TO CONCEPT MAP	15.02.15	KE
4	PACKAGE FOR CONCEPT REVIEW	15.02.15	KE
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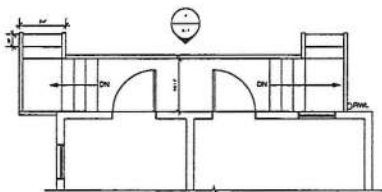
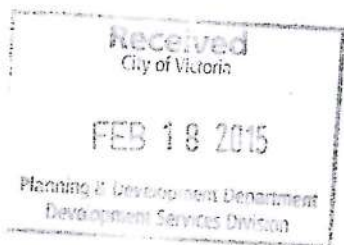


<b>KEY-CECCO ARCHITECTURE LTD.</b> 1124 14th Street, Suite 100, Victoria, BC V8W 2E1 Phone: 250-360-0873 Fax: 250-360-0873 e-mail: info@keycecco.ca	
<b>COMMENTS</b> 1. <b>ISSUED FOR CONCEPT REVIEW #1</b> 14.07.14 BY 2. <b>SUBMISSION TO RMR</b> 14.09.14 BY 3. <b>REVISION TO RMR</b> 14.09.14 BY 4. <b>PACKAGE FOR CONCEPT REVIEW #2</b> 14.09.14 BY	
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<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 545 Superior Street, Victoria, BC	
<b>HEET TITLE</b> - SECTIONS -	
<b>SCALE</b> AS SHOWN	<b>DATE</b> 1124 - 1408
<b>DATE PLOTTED</b> FEBRUARY 16, 2015	<b>SCALE</b> A6.0

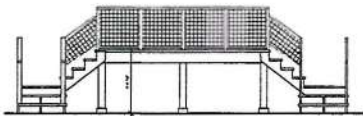




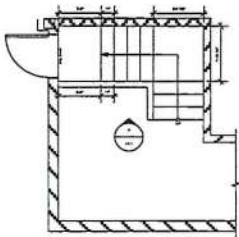
<b>KEYE CECIO ARCHITECTURE LTD.</b> 115 7' 0" 10' 0" STREET VICTORIA BC V8W 2G4 office 250-387-0822 fax 250-382-0473 e mail: info@keycecio.com	
<b>COMMENTS</b> 1. APPROVAL FOR CONCRETE REVIEW BY 15.02.15 2. SUBMISSION TO NAB 15.02.15 3. REFUSION TO CITY - NAB 15.02.15 4. PACKAGE FOR CONCRETE REVIEW BY 15.02.15	
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<b>NOT FOR CONSTRUCTION</b>	
<b>PROJECT</b> - CAPITAL PARK - HERITAGE HOUSES 546 Superior Street, Victoria, BC	
<b>SHEET TITLE</b> - STAIRS DETAILS -	
<b>SCALE</b> AS SHOWN	<b>KEY</b> 1124 - 1408
<b>DATE PLOTTED</b> FEBRUARY 16, 2015	<b>A7.1</b>
<b>DESIGN BY</b> RP	



3 STAIR FLOOR PLAN - B  
Scale: 1/4" = 1'-0"



4 STAIR ELEVATION - B  
Scale: 1/4" = 1'-0"

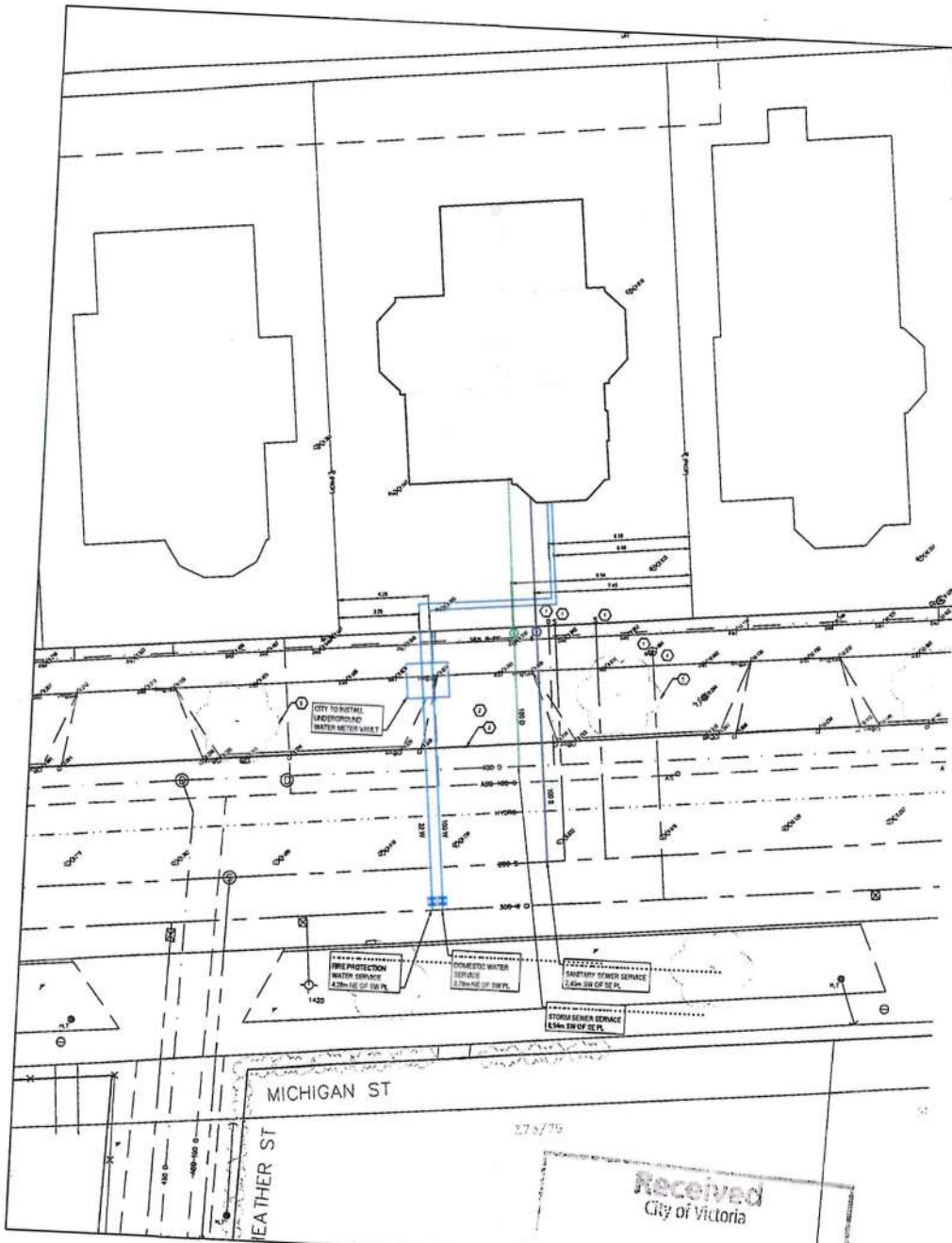


1 STAIR FLOOR PLAN - A  
Scale: 1/4" = 1'-0"



2 STAIR ELEVATION - A  
Scale: 1/4" = 1'-0"





#### KEY NOTES

1. EXISTING SERVICE TO BE ABANDONED AND REMOVED BY CITY AT DEVELOPER'S COST
2. EXISTING DRAINAGE TO BE REMOVED
3. EXISTING CURB TO BE REMOVED. NEW CURB TO BE INSTALLED ON PROPERTY FRONTAGE. COORDINATE WITH ADJACENT HERITAGE HOUST SETS.
4. EXISTING SIDEWALK PANEL TO BE REMOVED AND REINSTATED TO AS FOLLOWS OR BETTER CONDITION.
5. EXISTING TREE THIRTIETH/ADJACENT. SEE LANDSCAPE PLAN FOR TREE PROTECTION DETAILS.

- PROPOSED DRAIN SERVICE
- PROPOSED SEWER SERVICE
- PROPOSED WATER SERVICE

#### ENGINEERING NOTES

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS AND STANDARDS. CONSTRUCTION CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF VICTORIA DEPARTMENT PRIOR TO COMMENCING WORK. THESE PERMITS MUST BE OBTAINED FOR NEW OR EXISTING. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
2. ALL SERVICE LOCATIONS AND PROVISIONS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
3. CONTACT BC4 (H-ARM-44386), RICHMOND TELLUS DRIVE TABLE AND FORTRESS BC FOR UNDERGROUND UTILITY LOCATIONS. LOCATIONS SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
4. CAREFULLY RELOCATE EXISTING LANDSCAPE FEATURES, PLANTING AND SITE REINSTATEMENT TO AS FOLLOWS OR BETTER CONDITION.
5. EXISTING SERVICES MUST BE EXPOSED AND ELAVATIONS RELATED TO ENGINEER (BPM) PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT ENGINEER AND CITY TECHNICIAN IMMEDIATELY BEFORE A CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND EXISTING CONDITIONS.
6. CITY ENGINEER TO INSTALL NEW SERVICES AS ASSOCIATED AT THE DEVELOPER'S EXPENSE.
7. WATER SERVICE CONNECTIONS ARE INSTALLED TO THE PROPERTY LINE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES. THE STREETS SHALL BE SHIPPED CLEAN BY CONTRACTOR ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
8. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA SPECIFICATIONS BY LAW.
9. SERVICE OF ALL UNDESIRABLE EXISTING MATERIALS AS PER PROJECT SPECIFICATIONS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
10. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT BYLAW AND MINISTRY OF TRANSPORTATION SPECIFICATIONS. TRAFFIC CONTROL, SIGNAL, FOR WORK ON ROADWAYS.
11. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ALTERNATION, AND DETOUR. ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS.
12. ALL ASPHALT AND CONCRETE CURBS TO BE REPAIRED WITH CITY WITH SAW.
13. COORDINATE CONSTRUCTION OF ALL WORKS WITH RELEVANT CITY OF VICTORIA DEPARTMENTS.
14. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR RICHMOND TELLUS DRIVE GIRLS AND FORTRESS BC UTILITY CONNECTION DETAILS.
15. FIELD SURVEY COMPLETED BY POKEL AND ASSOCIATES APRIL 2014.

#### LEGEND

- SURFACE DETAIL**
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- UNDERGROUND SERVICES**
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UNDERGROUND SERVICE INFORMATION			
INFORMATION AT PROPERTY LINE	STORM/SEWER	SEWAGE TREATMENT	SEWAGE TREATMENT
PROPOSED DEPTH (m)	2.4m	1.4m	1.4m
PROPOSED ELEVATION (m)	7.25m	1.25m	1.25m
SEWAGE TREATMENT REQUESTED (m)	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES <input type="checkbox"/> NO

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WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		
	NAME	SIGNATURE	DATE
UTILITY	SCHEMATIC		
	TELUS		
	FORTE BC		
	SHW		
MUNICIPAL	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		

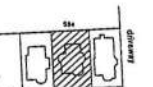
COMMENTS			
NO.	DESCRIPTION	DATE	BY
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GENERAL NOTES

1. THE DRAWING IS A PRELIMINARY DESIGN AND NOT A FINAL DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF VICTORIA DEPARTMENT PRIOR TO COMMENCING WORK. THESE PERMITS MUST BE OBTAINED FOR NEW OR EXISTING. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.



WSP  
WATER SERVICES  
TEL: 250-683-1111 FAX: 250-683-1112  
P.O. BOX 10000



Michigan Street  
KEY PLAN

NOT FOR CONSTRUCTION

PROJECT  
- CAPITAL PARK - HERITAGE HOUSES  
584 Michigan Street, Victoria, BC

SHEET TITLE  
SITE SERVICES PLAN

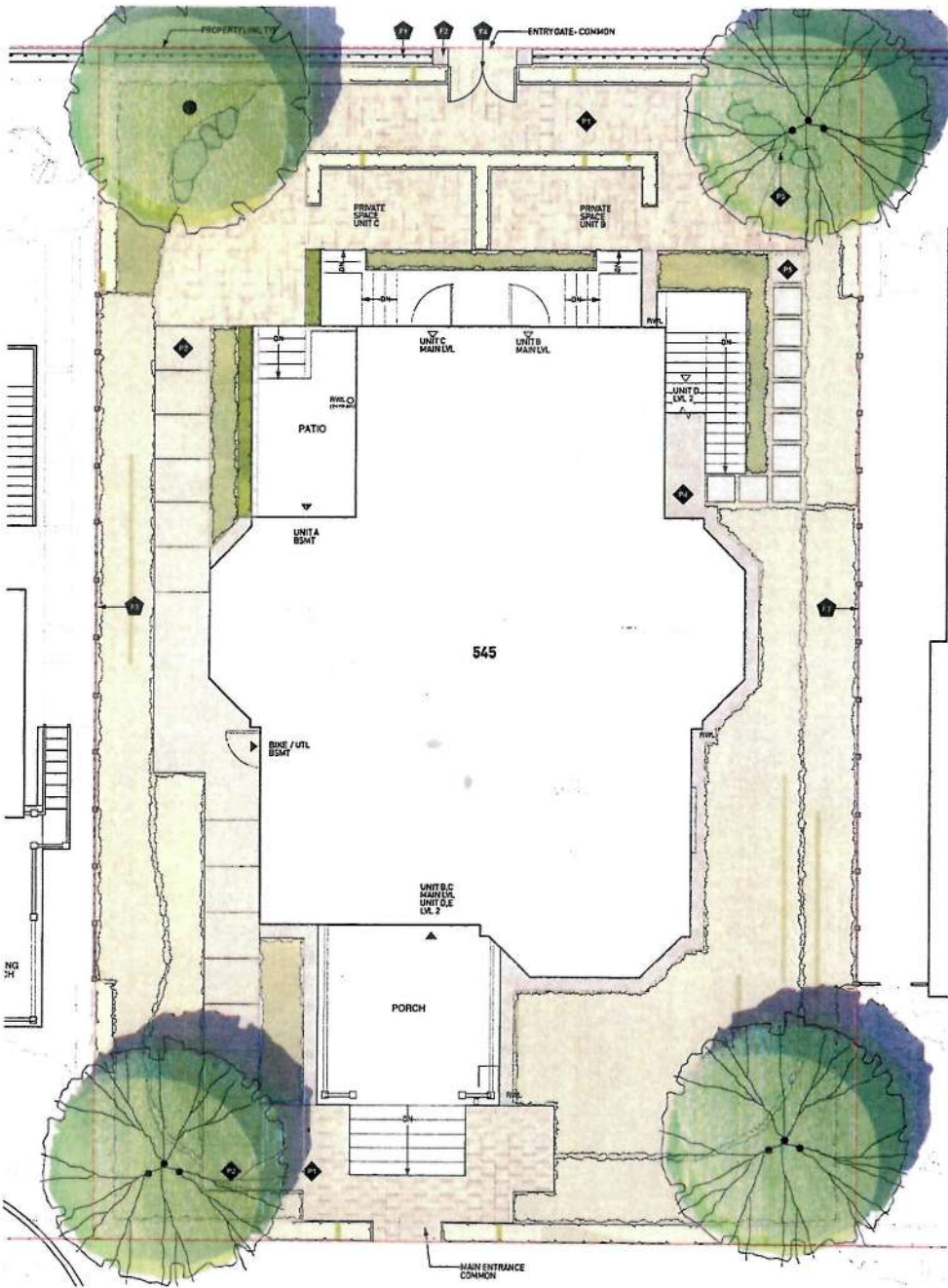
SCALE 1:100	FIG. NO. 145-14233-00-545
DATE PLOTTED 2015/02/16	
DRAWN BY Q.D.	
	C01

Received  
City of Victoria  
FEB 18 2015  
Planning & Development Department  
Development Services Division

Received  
City of Victoria  
FEB 18 2015  
Planning & Development Department  
Development Services Division

PAVING LEGEND	
KEY	DESCRIPTION
	UNIT PAVERS
	C/P CONCRETE WITH MEDIUM SAND BLAST FINISH
	BOULDERS
	GRANULAR SURFACING
	STEPPING STONES

FURNISHING LEGEND	
KEY	DESCRIPTION
	2' GRANITE WALL WITH BLACK METAL POINT FENCING
	GRANITE PLASTER
	6' TIMBER FENCE
	ENTRY GATE



PWL partnership

Architectural Services Ltd.  
1000 West 10th Avenue  
Victoria, BC V8M 1A1  
Tel: 250-383-1111  
Fax: 250-383-1112

Jawi Properties Ltd.  
CONCRETE

PROJECT: 545 SUPERIOR STREET  
DATE: 2015/01/21  
DESCRIPTION: SUBMITTAL TO MAP

PROJECT  
Capital Park  
Heritage Buildings  
Victoria, BC

PROJECT  
MATERIALS PLAN  
545 SUPERIOR STREET

Scale: 1/4" = 1'0"  
Sheet: 1432  
Date: 1/20/15 at 2:04:35 PM  
Author: PL-001-11

LDP 1.01



# South Block Development Corporation

3350 Douglas St. - Suite 100  
Victoria, BC V8Z 3L1  
Phone: 250 475-0338  
Fax: 250 475-0339

January 19, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Attention: Mayor and Council



**Re: Heritage Alteration Permit for 521 Superior Street**

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 521 Superior Street within the lands known as South Block in James Bay. This house, along with two others, are being relocated and rehabilitated as part of the comprehensive Capital Park development. This house was the subject of a previous application HAP 00184 which approved in concept the rehabilitation plan and the relocation plan for this home to 580 Michigan Street. Through this application we are seeking approval for the required alterations that will facilitate the relocation, repurposing and rehabilitation of this home.

As background information we have enclosed the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The most recent tenant in the building was a branch of the Canadian Legion and the interior has been significantly altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. Once relocated it is proposed that the home will be converted into five residential rental suites and the thermal, acoustic, seismic, and structural performance improved while maintaining the historic elements to the greatest extent possible.

To facilitate the relocation and adaptive reuse some alterations will need to be made to exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

- i. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. The brick from the existing foundation will be re-used as a veneer over the new concrete footings. The exterior brick details, including windows, will be replicated. There will be new basement access points.
- ii. The siding, trim and exterior finishes will be repaired and replaced with like materials as required.
- iii. The houses will be painted using a historically appropriate colour palate.
- iv. The chimneys will be documented and dismantled prior to the move. The exposed sections will be rebuilt with a brick face on a wood frame.
- v. The existing wood fire escape will be removed and replaced with a re-designed metal fire escape.
- vi. Additional exterior doors will be added as required for exiting by Code.
- vii. A stair will be added to the west side porch as required by Code.
- viii. Guard rails will be added to stairs and porches as required by Code.
- ix. The rear porch will be reconstructed.
- x. The existing windows will be rebuilt with the original materials and storm windows added as appropriate.

South Block Development Corporation has submitted a rezoning application to the City (No. 00457) for the South Block lands which includes the receiver site for 521 Superior Street. The rezoning contemplates 521 Superior Street, relocated to 580 Michigan Street, being converted into five residential rental suites.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or [karen.jawl@jawlproperties.com](mailto:karen.jawl@jawlproperties.com) or the architect John Keay at (250) 382-2823 or [john@kcarchitecture.ca](mailto:john@kcarchitecture.ca).

Sincerely,

South Block Development Corporation

Per:  
Karen Jawl



# South Block Development Corporation

---

3350 Douglas St. - Suite 100  
Victoria, BC V8Z 3L1  
Phone: 250 475-0338  
Fax: 250 475-0339

January 19, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Attention: Mayor and Council



**Re: Heritage Alteration Permit for 539 Superior Street**

---

Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 539 Superior Street within the lands known as South Block in James Bay. This house, along with two others, are being relocated and rehabilitated as part of the comprehensive Capital Park development. This house was the subject of a previous application HAP 00187 which approved in concept the rehabilitation plan and the relocation plan for this home to 588 Michigan Street. Through this application we are seeking approval for the required alterations that will facilitate the relocation, repurposing and rehabilitation of this home.

As background information we have enclosed the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The house is currently in use as a fitness facility and the interior has been altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. Once relocated it is proposed that the home will be converted into three residential rental suites and the thermal, acoustic, seismic, and structural performance improved while maintaining the historic elements to the greatest extent possible.

To facilitate the relocation and adaptive reuse some alterations will need to be made to exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

- i. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. The brick from the existing foundation will be re-used as a veneer over the new concrete footings. The exterior brick details, including windows, will be replicated. There will be new basement access points.
- ii. The siding, trim and exterior finishes will be repaired and replaced with like materials as required.
- iii. The houses will be painted using a historically appropriate colour palate.
- iv. The side porch will be reconstructed and stairs will be added as required by Code.
- v. Guard rails will be added to stairs and porches as required by Code.
- vi. The existing windows will be rebuilt with the original materials and storm windows added as appropriate.

South Block Development Corporation has submitted a rezoning application to the City (No. 00457) for the South Block lands which includes the receiver site for 539 Superior Street. The rezoning contemplates 539 Superior Street, relocated to 588 Michigan Street, being converted into three residential rental suites.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or [karen.jawl@jawlproperties.com](mailto:karen.jawl@jawlproperties.com) or the architect John Keay at (250) 382-2823 or [john@kcarchitecture.ca](mailto:john@kcarchitecture.ca).

Sincerely,

South Block Development Corporation



Per:  
Karen Jawl



# South Block Development Corporation

3350 Douglas St. - Suite 100  
Victoria, BC V8Z 3L1  
Phone: 250 475-0338  
Fax: 250 475-0339

January 19, 2015

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Attention: Mayor and Council

**Re: Heritage Alteration Permit for 545 Superior Street**



Dear Mayor and Council,

Please accept this application for a heritage alteration permit for the heritage registered home currently located at 545 Superior Street within the lands known as South Block in James Bay. This house, along with two others, are being relocated and rehabilitated as part of the comprehensive Capital Park development. This house was the subject of a previous application HAP 00185 which approved in concept the rehabilitation plan and the relocation plan for this home to 584 Michigan Street. Through this application we are seeking approval for the required alterations that will facilitate the relocation, repurposing and rehabilitation of this home.

As background information we have enclosed the Heritage Conservation Plan prepared by Donald Luxton for this property which includes historical information on the home and the guidelines to be followed for its rehabilitation. This report was the subject of the previous Heritage Alteration Permit.

The house was previously in use as office space and the interior has been altered. The exterior, however, remains relatively unchanged with most decorative elements intact. The house is sound, although it has suffered from deferred maintenance. Once relocated it is proposed that the home will be converted into five residential rental suites and the thermal, acoustic, seismic, and structural performance improved while maintaining the historic elements to the greatest extent possible.

To facilitate the relocation and adaptive reuse some alterations will need to be made to exterior heritage components of the house. The proposed alterations are shown in detail in the enclosed drawings. The intent of the proposed alterations is to minimize change to the home and to accurately replicate design elements where feasible and where information is available. Where changes are required, they have been located toward the rear of the building. The scope of the exterior alterations includes:

- i. New concrete footings will be constructed at the receiver site that maintain the current relationship of the building to grade. The brick from the existing foundation will be re-used as a veneer over the new concrete footings. The exterior brick details, including windows, will be replicated. There will be new basement access points.
- ii. The siding, trim and exterior finishes will be repaired and replaced with like materials as required.
- iii. The houses will be painted using a historically appropriate colour palate.
- iv. The chimneys will be documented and dismantled prior to the move. The exposed sections will be rebuilt with a brick face on a wood frame.
- v. The existing wood fire escape will be removed and replaced with a re-designed metal fire escape.
- vi. Additional exterior doors will be added as required for exiting by Code.
- vii. The rear porch will be reconstructed.
- viii. Guard rails will be added to stairs and porches as required by Code.
- ix. The existing windows will be rebuilt with the original materials and storm windows added as appropriate.

South Block Development Corporation has submitted a rezoning application to the City (No. 00457) for the South Block lands which includes the receiver site for 545 Superior Street. The rezoning contemplates 545 Superior Street, relocated to 584 Michigan Street, being converted into five residential rental suites.

Enclosed you will find a comprehensive package of materials prepared by the team of professionals we have engaged to oversee the rehabilitation of this special heritage resource. We recognize the value this house has to the community and look forward to seeing it revitalized to a condition that we can all be proud of. If you have any questions regarding this application or would like a tour of the house please feel free to contact the undersigned at (250) 414-4172 or [karen.jawl@jawlproperties.com](mailto:karen.jawl@jawlproperties.com) or the architect John Keay at (250) 382-2823 or [john@kcarchitecture.ca](mailto:john@kcarchitecture.ca).

Sincerely,

South Block Development Corporation



Per:  
Karen Jawl





## Planning and Land Use Report

For the Meeting of June 25, 2015

---

**To:** Planning and Land Use Committee      **Date:** June 5, 2015

**From:** Murray G. Miller, Senior Heritage Planner

**Subject:** Heritage Alteration Permit Application No. 00196 for 1202/1208 Wharf Street (Finlayson Building)

---

### RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council consider the following motion:

"That Council authorize the issuance of Heritage Alteration Permit Application No. 00196 for 1202/1208 Wharf Street in accordance with:

1. Revised plans date stamped June 4, 2015
2. Development meeting all *Zoning Regulation Bylaw* requirements
3. Final plans to be generally in accordance with the plans identified above to the satisfaction of the Assistant Director, Community Planning."

### LEGISLATIVE AUTHORITY

In accordance with sections 972 and 973 of the *Local Government Act*, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the heritage protection of the property, including: (i) conditions respecting the sequencing and timing of construction, (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and (iii) security. Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

### EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Heritage Alteration Permit Application for the property located at 1202/1208 Wharf Street. The proposal is to extend a lower level arbour from the existing deck to provide seasonal coverage to the patio.

The following points were considered in assessing this application:

- general consistency with the *Official Community Plan* (OCP)
- consistency with the relevant guidelines of DPA 9 (HC): Inner Harbour

- Statement of Significance
- the visual effects of various additions.

The Application was reviewed by the Heritage Advisory Panel at its May 12, 2015 meeting and the Panel recommended that Council consider declining the application because it was felt that the proposed work would further add to the visual clutter resulting from various additions.

Staff have worked with the applicant to address the relationship between the proposal and a number of existing elements that were previously constructed in and around the patio area since 2010 without a permit. As part of this application, the applicant has identified that some of those existing elements will be removed. In accordance with section 3.4 of the Land Use Procedures Bylaw, which sets out the delegated authority to approve minor amendments to approved plans, staff approved a proposal to rebuild/extend the existing bar. The revised proposal for the lower level arbour, which is the subject of this staff report, is consistent with relevant City policies; therefore, staff recommend that Council authorize the Heritage Alteration Permit for 1202/1208 Wharf Street.

## **BACKGROUND**

### **Description of Proposal**

The proposal is to extend a lower level arbour from an existing deck to provide seasonal coverage to an existing patio area.

### **ANALYSIS**

The following sections provide a summary of the application's consistency with the relevant City policies and guidelines.

#### **Official Community Plan**

The proposal is generally consistent with the OCP because it conserves the heritage value and special features of the Finlayson Building.

#### **Development Permit Area 9 (HC): Inner Harbour**

The OCP identifies this property within DPA 9 (HC): Inner Harbour, which includes a requirement to consider the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Standards and Guidelines) and the *Downtown Core Area Plan* (DCAP). In relation to the DCAP, the proposal is generally consistent with relevant policies because it conserves features of the Finlayson Building.

In relation to the Standards and Guidelines, the proposed arbour conserves the heritage value of the place and the work is compatible with, subordinate to, and distinguishable from the historic place. If the arbour were to be removed in the future, the essential form and integrity of the Finlayson Building would not be impaired.

### **Statement of Significance**

The building's form, as seen in its combined brick and stone construction, is a character-defining element. The various additions that have occurred since the building was designated in 1975 have and continue to have a visual impact on key character-defining elements. The Statement of Significance for the Finlayson Building is attached to this report.



## The Visual Effects Resulting from Various Additions

In 1988, a two-level deck structure was added to the south side of the building. These were subsequently enclosed in 1990. In 2009, the construction of the outdoor patio, tables, chairs and perimeter fence was followed by the addition of a modular kitchen in 2010. These elements are prominently located and have a cumulative visual impact on the setting of the Finlayson Building as well as Old Town.

The revised scope of this application, while contributing to the cumulative effects, has been mitigated by the owner's proposal to reduce the size of the proposed new work and remove the wooden banquetts at the north end of the fenced area, the wood archways bridging the gap in the fence accessing the sidewalk against the building, and the existing food bar.


## CONCLUSIONS

The revised proposal to extend a lower level arbour from the existing deck to provide seasonal coverage to the patio is consistent with relevant City policies and is compatible with the heritage values of the place. Staff, therefore, recommend that Council authorize the Heritage Alteration Permit for 1202/1208 Wharf Street.

## ALTERNATE MOTION

That Council decline Heritage Alteration Permit Application No. 00196 for the property located at 1202/1208 Wharf Street.

Respectfully submitted,




Murray G. Miller  
Senior Heritage Planner  
Community Planning



Andrea Hudson  
Acting Director  
Sustainable Planning and Community  
Development Department

Report accepted and recommended by the City Manager:



Jason Johnson

Date:

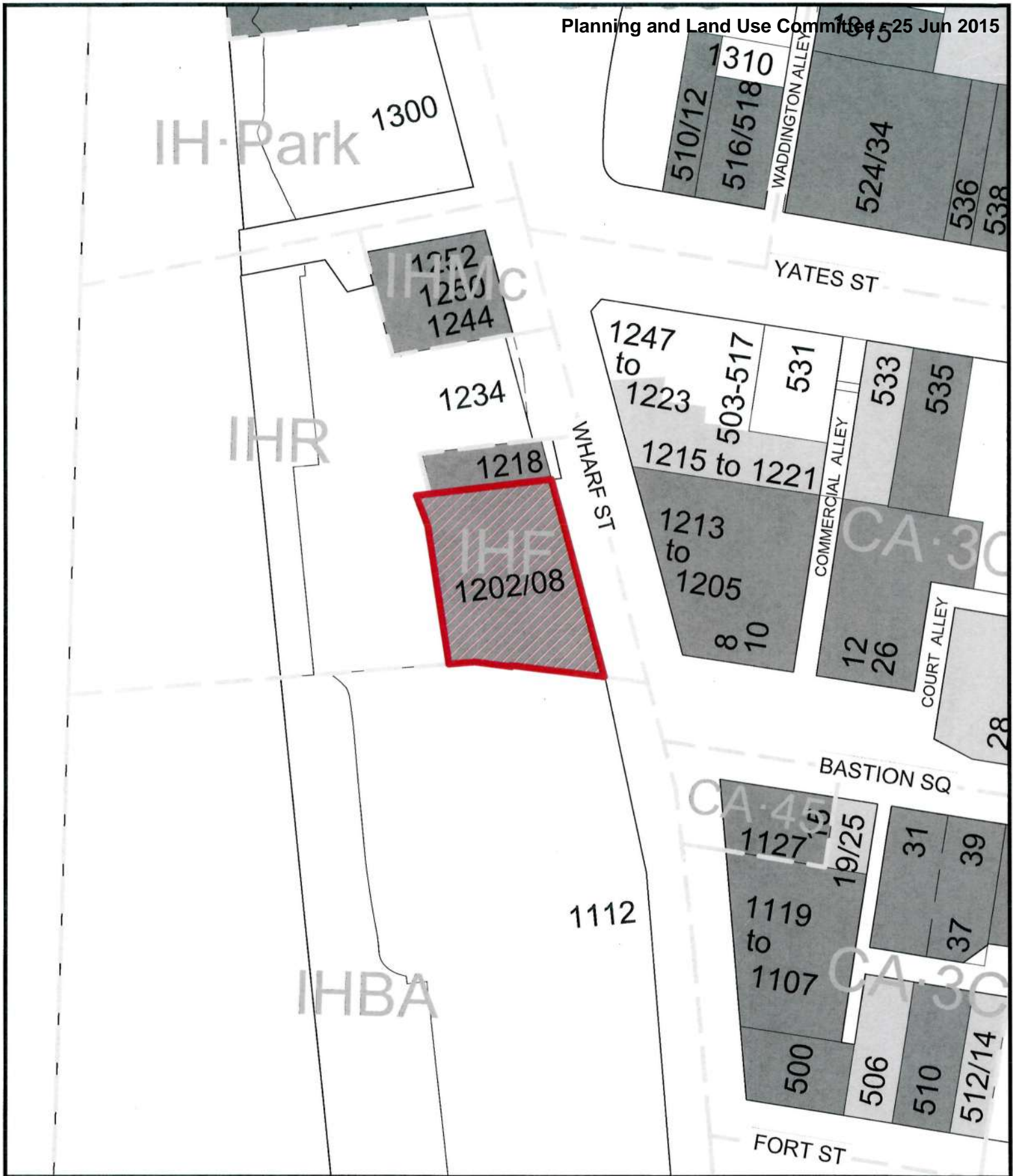
June 17, 2015

MGM/ljm

S:\TEMPEST\_ATTACHMENTS\PROSPERO\PL\HAPI\HAP00196\HAP PLUC REPORT1.DOC

## List of Attachments

- Subject map
- Photographs
- Statement of Significance
- Letter from architect, dated January 5, 2015
- Revised plans, date stamped June 5, 2015.



1202-1208 Wharf Street

Heritage Alteration Permit #00196

Designated

Registered







1202/1208 WHARF STREET - EXISTING





1202/1208 WHARF STREET - EXISTING



## 1202-1214 Wharf Street Finlayson Building



### Statement of Significance

#### **Description of Historic Place**

The Finlayson Building is a massive fieldstone and brick structure located on the western side of Wharf Street. It has the appearance of one storey at street level, and three storeys at rear.

#### **Heritage Value**

The Finlayson Building (1882) is valued as a hybrid of historic and modern architecture, which tells the story Victoria's evolving commercial and architectural history. Having supported a continuum of business activities ranging from nineteenth-century ship chandlers and provisioners to modern offices and restaurants, it speaks to the enduring commercial strength of the Inner Harbour. Its additive form and composite design, seen in its combined brick and stone construction, reflect how Victoria's early commercial trades laid a foundation for today's adaptive reuse of historic buildings.

Architecturally, it possesses both historic and modern elements which are of value to Victoria's heritage. It is one of the finest, and largest, examples of fieldstone construction still standing in Victoria, reflecting the utilitarian, vernacular style of the early warehouse trade in this area. Elements such as a completely hollowed-out bay and heavy-timbered galleries illustrate its innovative mid-1970s renovation and reflect the ideals of the early downtown revitalization movement.

The Finlayson Building also possesses heritage value as an example of the early large-scale warehouse buildings which once lined this side of Wharf Street. Much like the now-demolished 1858 Hudson's Bay Company warehouse which stood next door, its form makes maximum use of its exposure to both Wharf Street and the Inner Harbour waterway. It retains the character of this area as Victoria's most important early transshipment point. Constructed for prominent early politician and developer, Roderick Finlayson, this historic building is also a testament to the influence of successful businessmen in the establishment of Victoria as the key urban and commercial hub of the province in the late nineteenth century.

**1202-1214 Wharf Street  
Finlayson Building**

**Character-Defining Elements**

The character-defining elements of the Finlayson Building include:

- Its location within the Inner Harbour Precinct, and its relationship to both Wharf Street and the waterfront.
- Unobstructed views between the building and the water.
- Evidence of its original 1882 form, which makes maximum use of the topography.
- Its composite form, seen in its combined brick and stone construction.
- Surviving elements of its nineteenth century design, such as window and door openings.
- The character of surviving nineteenth-century stonework.
- The character of surviving nineteenth-century brickwork.
- Elements of its 1970s renovation which contribute to its heritage value, such as the hollowed-out bay on Wharf Street, upper recessed storey, and heavy-timbering.
- Its mixed commercial use, and storefronts along Wharf Street.
- Stone remnants of the Hudson's Bay Company warehouse which make up the southern end of the building.





**P R A X I S**  
architects inc.

Michael D. Levin, Architect, AIBC  
Robert Rocheleau, Architect, AIBC

401- 1245 Esquimalt Road, Victoria, B.C. V9A 3P2  
Tel: (250) 475-2702 • Fax: (250) 475-2701  
prax@telus.net



January 5, 2015

Mayor and Council  
City of Victoria  
#1 Centennial Square  
Victoria BC  
V8W 1P6

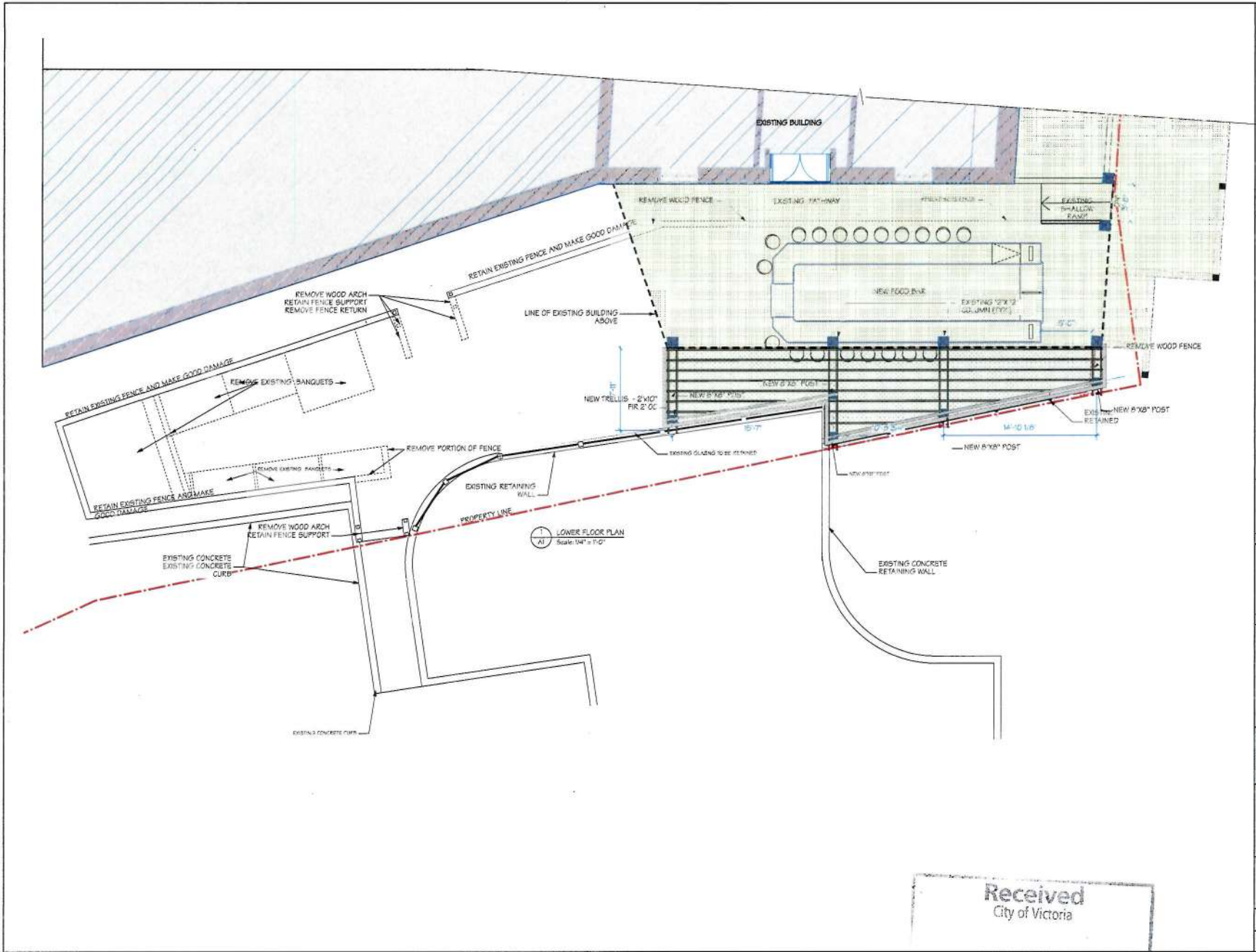
Re: Application for Heritage Alteration Permit  
Arbour Structure over Existing Outdoor Eating Area  
The Docks Restaurant  
1208 Wharf Street

Your Worship and Councillors

The Docks Restaurant has an existing outdoor dining patio situated at the lower ground level, west side of the restaurant. A portion of this patio is located under the existing Main Floor dining deck on the west and south sides of 1208 Wharfside. The outdoor patterned concrete patio extends out beyond the patio portion protected by the deck overhead. The operator would like to extend an arbour out from the existing building to provide seasonal coverage of the usable patio area. The basic premise is to extend the post and beam design of the existing deck structure and in between the beams alternate glazed areas with retractable accordian style awnings.

Yours Truly  
PRAXIS ARCHITECTS INC

Per: Michael Levin, MAIBC  
Director



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NOT FOR CONSTRUCTION

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3	JUNE 2015	REVISED FOR HAZARD IDENTIFICATION AND TRAFFIC COLLECTION FOR HERITAGE ALI PERMIT

**PRAXIS**  
ARCHITECTS INC.  
1400 - 1201 Bay Street, Suite 1000, Victoria, BC V8W 2E1  
TEL: 250-383-1111 FAX: 250-383-1112  
www.praxisarchitects.com

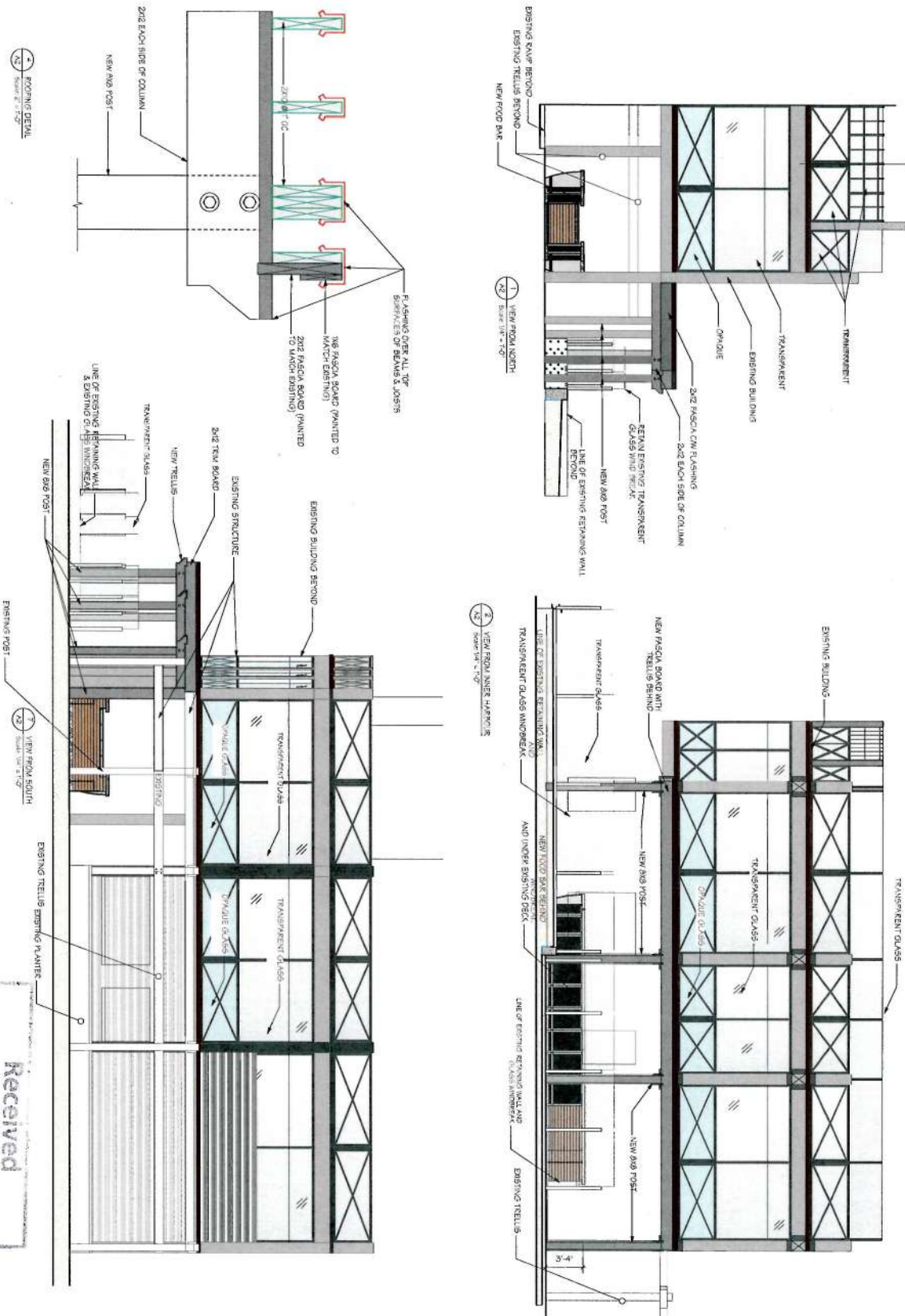
**PROJECT TITLE**  
THE DOCKS  
WHARF STREET  
1202 WHARF STREET  
VICTORIA, BC

SCALE	DRAWN	CHECKED	SHEET NO.
AS NOTED	M. DE	A1	
DATE	PROJECT NO.	REVISION	
OCTOBER 2014	14-01		

Received  
City of Victoria  
JUN 05 2015  
Planning & Development Department  
Development Services Division

Planning and Land Use Committee - 25 Jun 2015





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Documentary assistance:

# MP RAXIS

THE DOCKS  
WHARF STREET

WILLIAMSON, BRUCE  
VICTORIA, BC

ELEVATIONS &amp;

## DETAILS

DATE	2/2/2020	1/2/2020
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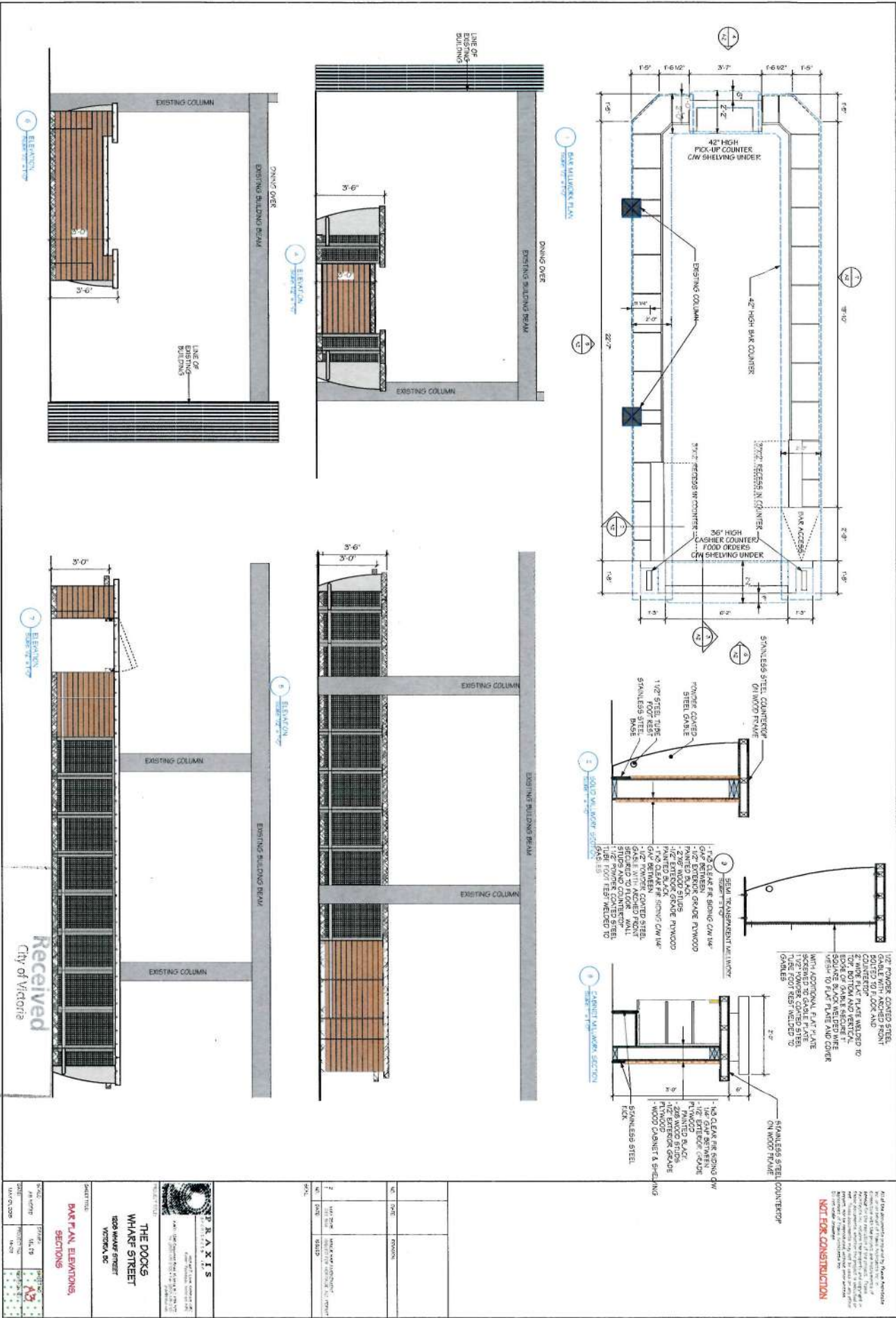
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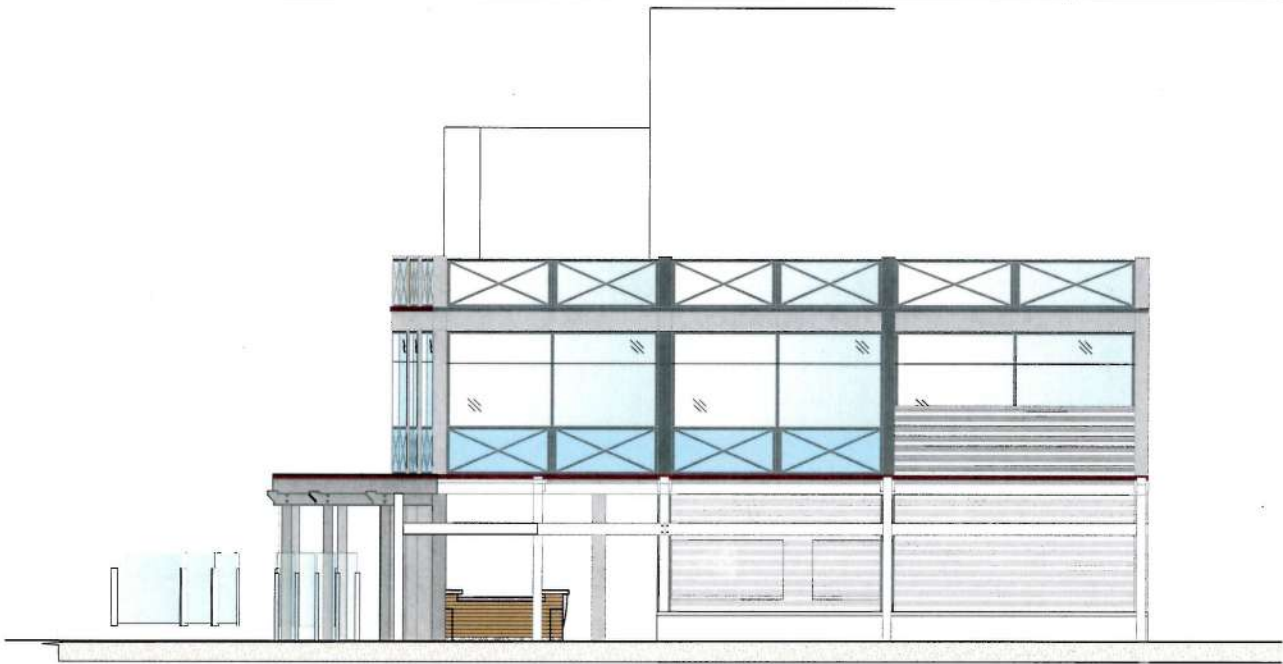
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Development Services Division



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Development Services Division





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## Planning and Land Use Committee Report

### For the Meeting of June 25, 2015

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**To:** Planning and Land Use Committee      **Date:** June 11, 2015

**From:** Alison Meyer, Assistant Director, Development Services Division

**Subject:** **Zoning Regulation Bylaw Improvement Project – Phase 2**  
 Alteration to Topography in Low-Density Residential Zones  
 Consultation and Next Steps

---

### RECOMMENDATION

Staff recommend that Committee forward this report to Council and that Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set in order to:

1. Add definitions of "finished grade" and "natural grade".
2. Amend the definitions of "site coverage" and "setbacks" and the applicable low density residential zones to include a requirement that raised-building features greater than 0.6m in height are subject to site coverage and setback regulations.

### LEGISLATIVE AUTHORITY

In accordance with Section 903 (c) of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

### EXECUTIVE SUMMARY

The purpose of this report is to update Council on the results of the community consultation that took place regarding the *Zoning Regulation Bylaw* as it pertains to alteration of topography in low-density residential zones and to advance the proposed *Zoning Regulation Bylaw* amendments for consideration at a Public Hearing.

In the Fall of 2012, Council endorsed a consultation process to engage the public and development community in a discussion of recommendations stemming from three reports (attached) on issues related to the alteration of grade as part of the development of properties in low-density residential zones. The consultation was carried out from August to the end of October 2013. The consultation included the posting of relevant material on the City's website, invitations to Community Associations and the development community to review the material

and provide comments, an advertised public Open House and a Focus Group session. Based on the feedback received as well as further staff consideration, the original recommendations have been reconsidered and revised. The delay in advancing this work was a result of an increase in complex development applications needing to be processed by staff combined with needing to ensure that any proposed measures would not result in unnecessary administrative burden or lengthy review and permitting processes.

One aspect of the work was to examine the feasibility of establishing regulations for retaining walls. During this review process, it was determined that it would be challenging to enforce and administer the regulations for retaining walls for the following reasons:

- retaining walls for landscaping purposes are generally not shown on building plans and do not require a building permit, therefore, there is no mechanism triggering a staff review
- landscaping is typically completed at the end of a project after the city has approved the plans and often after inspections are completed
- although issues associated with retaining walls periodically emerge, the city has received relatively few complaints related to retaining walls
- it would require additional staff time and resources to review plans and enforce the requirements for these types of zoning bylaw regulations
- only two of the eight consulted CRD municipalities regulate retaining walls, however, the feedback received from these two municipalities is that it is challenging to enforce and administer
- measures proposed in relation to hard-surfaced landscape features will address many issues related to retaining walls.

Another change that was considered was the possibility of introducing regulations pertaining to minimum standards for soft-surfaced landscaping. However, these types of amendments would require a new process, with significantly more resources, would be difficult to administer and may lead to community expectations that cannot be met; therefore, staff recommend, for Council's consideration against advancing this change further.

As noted in the staff recommendation provided for Council's consideration, amendments to the definitions of "finished grade" and "natural grade" are proposed to add clarity to how height is measured and new regulations related to raised-building features, such as decks and patios, are proposed which are aimed at addressing many of the issues that result from grade manipulation and the introduction of raised landscape features.

## BACKGROUND

In the Fall of 2012, Council considered three reports exploring various aspects of the development and alteration of land on sloped sites in low-density residential areas. The reports discussed how grade is calculated to determine building height, the use of retaining walls, the use of patios and stairs as well as hard-surface and soft-surface landscaping. A number of recommendations were presented for discussion and consideration. The original reports and a summary document (prepared as part of the consultation process) are attached to this report. With the presentation of these initial reports, Council endorsed a consultation process to engage the public and land development community.



The consultation process took place from August 2013 to the end of October 2013 and included:

- posting a summary of the issues, along with the original reports, on the City's website for review and comment
- invitations to the Community Associations and development community to review and comment on the material
- a public Open House (September 18, 2013) advertised on the City's website, in newspapers and with invitations sent to the Community Associations and development community
- display materials and surveys from the Open House were posted on the website along with an invitation to participate
- a Focus Group session (October 30, 2013) was held with interested parties.

While the numbers of participants that attended the Open House and Focus Group were small, the events provided a good forum for discussion of the issues and the exchange of ideas. This was especially true in the Focus Group session. Development industry representatives consistently raised the concern that any new regulation be measured against the potential additional cost and time added to the development process, which may negatively affect housing affordability, while neighbourhood representatives reiterated concerns about impacts of retaining structures on neighbours and the public realm and staff raised concerns about potential administrative challenges associated with regulating landscaping features. The survey results and the Focus Group Discussion Notes are attached to this report for information.

The delay in advancing this work was a result of an increase in complex development applications needing to be processed by staff combined with waiting to ensure that any proposed measures would not result in unnecessary administrative burden or lengthy review and permitting processes.

## ANALYSIS

The issues and analysis sections in this report are combined for each of the following topics:

- grade calculation in low-density residential areas
- regulation of retaining walls
- regulation of hard-surface landscape features
- regulation of soft-surface landscaping.

Each section below highlights the issue, provides a discussion of the feedback that was received through the consultation and offers a recommended approach based on community input, paired with regulatory, administrative and enforcement considerations that are pertinent to each topic.

### Grade Calculation in Low-Density Residential Areas

The issues associated with grade calculation in low-density residential areas are:

- Does the current method of calculating grade in relation to building height contribute to increased building height of sloped sites?
- Are there any changes or clarifications that could be introduced to improve the current regulations?



The way that grade is currently calculated is well understood and is relatively easy to administer. It does not allow the building height to be increased by manipulating the existing grade of a property and is consistent with best practices in other municipalities. The October 26, 2012, report recommends that the current method of calculating grade be retained. This was endorsed by those who attended the Open House and Focus Group session. It was also agreed that the addition of the definitions for "natural grade" and "finished grade" would help to clarify the current regulations. Staff recommend that Council retain the existing regulations on Grade Calculation and add definitions for "natural grade" and "finished grade."

### Regulation of Retaining Walls

The issues associated with the regulation of retaining walls are:

- Should retaining walls be regulated?
- How would new regulations be administered?

The use and perception of retaining walls proved to be a significant topic of interest throughout the consultation process. There was recognition of the need to use retaining walls in various ways on properties as a legitimate part of the development; however, there was also a concern expressed about the impact of retaining walls, especially on those properties that are below the retaining wall, including the public realm.

Creating a regulatory framework and administrative process that effectively deals with any situation while allowing for some flexibility to respond to specific site considerations is challenging. Some additional challenges with respect to regulating retaining walls are:

- retaining walls for landscaping purposes are generally not shown on building plans and do not require a building permit, therefore, there is no mechanism for staff to review
- landscaping is completed at the end of a project after the City has approved the plans and often after inspections are completed
- although issues associated with retaining walls periodically emerge, most concerns have, in fact, been related to raised-building features such as patios, decks and swimming pools
- it would require additional staff time and resources to review plans and enforce the requirements for these types of zoning bylaw regulations, particularly in instances where the retaining wall does not require a Building Permit.

Although it was suggested, through the consultation process, that there be some form of design review process, with the potential for a delegated staff approval, there is no legislative authority that would allow this for the vast majority of properties zoned for single family dwellings and duplexes. Delegated authority may only be granted by a Council to staff in instances where properties are subject to Development Permit Area regulations.

Only two of the eight consulted CRD municipalities regulate retaining walls, however, the feedback received from these two municipalities is that it is challenging to enforce and administer. Some other municipalities in British Columbia, usually characterized by hillier topography and greenfield development, do regulate retaining walls. However, they noted similar issues in dealing with retaining walls that are built "after the fact," that are not reviewed as part of a subdivision plan or building permit. In Victoria, the challenges associated with retaining walls have largely been in association with some form of deck or patio extension, which do trigger the need for a Building Permit, if over two feet in height. Given these unique



circumstances, new regulatory measures proposed in relation to hard-surfaced landscape features will address many of the issues related to retaining walls.

Considering the challenges described above combined with the potential of addressing many of the related issues through a different mechanism that will be discussed in the next section of this report, staff recommend that Council should not establish regulations for retaining walls.

#### Regulation of Hard-Surfaced Landscape or Raised-Building Features

The issues associated with the regulation of hard-surfaced landscape or raised-building features are:

- Should these types of features be regulated?
- What regulations would be appropriate?

The majority of respondents to the Open House agreed there should be some form of regulation for hard-surface landscape features. There was a general recognition, by both the community and development industry, that raised features created as part of a landscape that result in large hard-surface areas, especially those built out of concrete, can be an imposition on adjacent properties and the sides of these features are often perceived as retaining walls. There was, however, also a concern by some respondents that any regulation would negatively affect a property owner's rights. During the staff review and Focus Group, the current way that the Bylaw is interpreted to differentiate between concrete or stone landscape features and those made out of wood was discussed. Under this interpretation, wooden decks of any height attached to a building are subject to site coverage and setback requirements while raised patios and stairs made of concrete or stone, less than 1.52m (5 ft), are not. The photographs below show raised patios and concrete stairs that would be currently exempt from site coverage and setback regulations.



**Photos: Example of Raised-Building Features**



There were mixed reviews of the proposed 0.6m (2ft) height above which hard-surface landscape elements would be subject to building setback and site coverage requirements. Comments varied from not supporting any regulation to suggesting a lower maximum height. Permeability, related to the type of structure, was also raised as part of this discussion and is discussed further in the section on regulations for soft-surfaced landscaping.

As with retaining walls, the challenge is how to create a regulatory framework and administrative process that effectively deals with any given situation which also allows for some flexibility to respond to a specific site without introducing an unwieldy and time-consuming process.

During the consultation phase, the term "hard-surfaced landscape features" was utilized; however, as staff examined the issue further, a simplified more efficient approach was identified, which includes classifying these types of elements as "raised-building features". Details related to this revised approach are outlined below; however, the terms are considered interchangeable for the purposes of discussing the issues in this report.

Using the term "Raised-Building Feature" instead of "Hard-Surface Landscape Feature" would be more relevant to this section as "building" defined in the *Zoning Regulation Bylaw* means anything constructed or placed on a lot used or intended for supporting any use, such as a deck or patio attached or detached from the principal dwelling. The simplest and most effective way of dealing with raised-building features would be to make any feature, attached or detached from a building, above 0.6m (2 ft) in height, regardless of material, subject to building site coverage and setback regulations. This can be accomplished by amending the definitions of "site coverage" and "setbacks" and the applicable low density residential zones by adding the requirement that raised-building features are included in calculations referring to the proposed measurement. The diagram below, illustrates this approach.

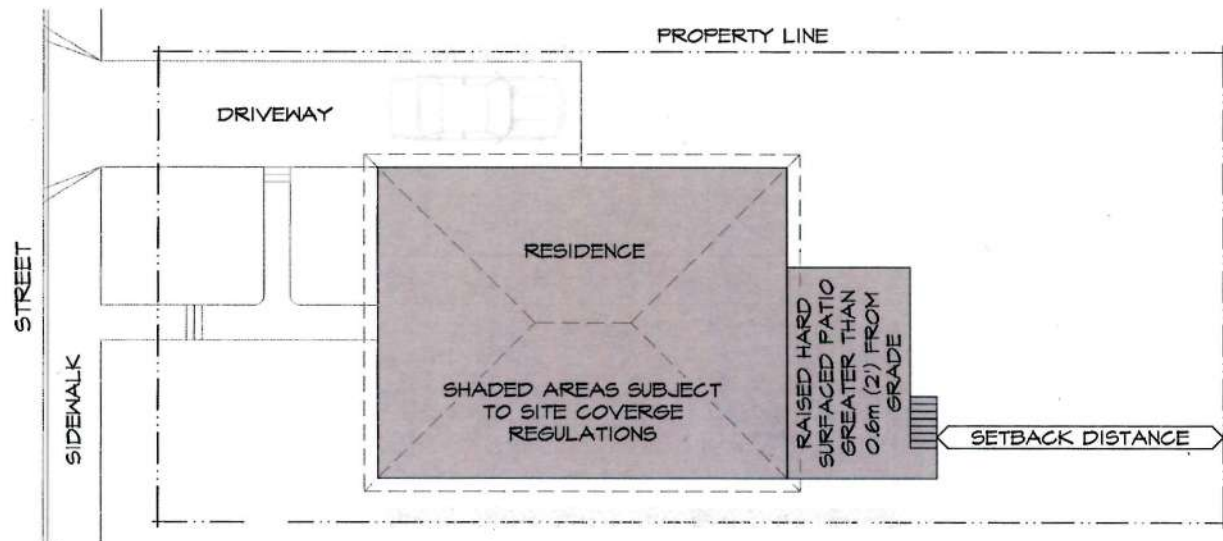


Diagram: Raised- Building Structures Greater than 0.6m (2ft)



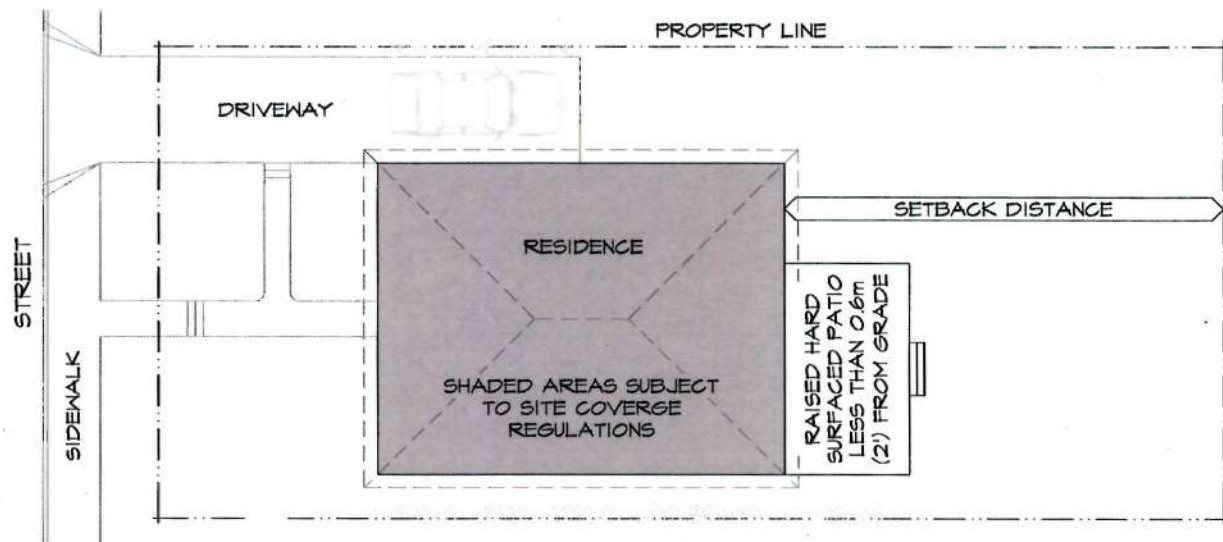


Diagram: Raised-Building Structures Less than 0.6m (2ft)

Given that a Building Permit is required for a structure over 0.6m (2ft) in height above finished grade, the introduction of this new regulation could be accommodated within existing staff review processes. The variance process would be available to potentially accommodate proposals that exceed the regulations. This approach would have provided the regulatory framework necessary to address the forms of development that occurred in the Rockland and Gonzales neighbourhoods that sparked neighbourhood concerns.

#### Regulation of Soft-Surfaced Landscaping

The issues associated with regulation of soft-surfaced landscaping are:

- Should soft-surfaced landscaping be regulated?
- What regulations would be appropriate?

Generally in low density residential zones, there is no requirement for a permit for landscaping and no legislative authority to regulate the details of landscaping beyond the basics such as the percentage of open site space. Additionally, during the consultation process, it was found that illustrations of different landscapes were interpreted differently, what one person considers "planted or natural", another person does not.

The majority of the respondents to the survey did not agree with the idea of regulating landscaping on private property. Generally, the community representatives were in favour of some form of regulation and the development industry representatives were not. This was true at both the Open House and Focus Group session. However, it became clear, from the Open House survey question, asking for respondent's perception of whether the illustrations of different landscapes showed a minimum of 50% of a lot's open space with natural or planted vegetation, that the perception of what form of landscaping is supportable or not, is a matter of personal opinion. The survey question, associated pictures and summary of the question are provided below.



**Survey Question:** From the pictures below, you can see that introducing a requirement to maintain a minimum of 50% of a lot's open space with natural or planted vegetation poses some regulatory challenges. Please tell us whether you think the following examples would meet the proposed standard. Circle yes if you think it would meet the minimum, no if it would not.



Yes: 3 No: 2



Yes: 4 No: 2



Yes: 2 No: 2 Not Sure: 1



Yes: 2 No: 3



Yes: 5 No: 0



Yes: 3 No: 2

During the Focus Group, there was further discussion about the importance of the perception of the front yard as opposed to the rear yard, the front yard being the "public" face of a property. However, it became apparent that one of the main concerns related to front yards centered on the amount of hard surface paving materials and permeability.

A percentage requirement for soft landscaping would be very difficult to administer and regulate in low-density residential areas. Landscaping is typically a very personal expression of preferred outdoor living space; creating and enforcing regulations would be very difficult and time consuming for staff. Moreover, beyond the development of a very basic zoning regulation, the City does not have the authority to dictate the finer details related to landscaping standards in low-density residential zones. In medium and higher density developments as well as intensive forms of low density such, as small lot houses, landscaping typically forms part of a design review and Development Permit approval.

Any new regulations related to landscaping in low-density residential areas would require a significant amount of staff resources to communicate and manage and new staff resources to administer the additional process and monitoring would be required likely requiring an additional full-time position. As pointed out in the October 29, 2012, report on this topic, this is not a common practice in other municipalities.



Since a considerable degree of interest in the topic of landscaping is related to a concern about the lot's permeability, it is worth noting that measures have been introduced through the City's *Storm Water Management Bylaw* that encourage residents of low-density housing forms to increase the degree of permeability of their properties. It would seem that this is a better approach to encouraging change in this regard, as compared to the regulatory approach of the *Zoning Regulation Bylaw*. Staff, therefore, recommend for Council's consideration that no further amendments be made at this time.

### Resource Impacts

Significant staff resources have already been devoted to researching, analyzing, reporting on and undertaking a community and industry consultation on issues associated with grade alterations in low-density residential areas. Although the impact of grade changes within low-density residential areas is sometimes perceived as having negative consequences within the immediate area, the far-reaching effects on the larger neighbourhood or City are often difficult to identify.

Adding the new definitions and regulations as outlined in this report will have a minimal impact on staff resources and the improved clarity may even reduce the staff time required to explain the existing regulations.

Undertaking further review or consultation on these topics will require continued staff dedication to this work and would likely delay fully commencing work to rewrite the parking regulation section of the *Zoning Regulation Bylaw*.

Maintaining the status quo requires no further staff resources, but has the disadvantage of not "cleaning-up" aspects of the existing *Zoning Regulation Bylaw* related to alteration to topography in low density residential zones that are presently unclear, which does currently represent a small expenditure of staff time to explain.

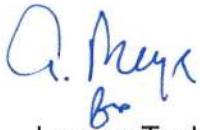
### CONCLUSIONS

Most of the concerns that have been raised through the consultation process are specific to a few areas within the City and a few sites in particular. There is, nonetheless, a benefit to making some changes to the *Zoning Regulation Bylaw*, such as adding definitions of "finished grade" and "natural grade", and amend the definitions of "site coverage" and "setbacks" and the applicable low density residential zones to include raised-building features greater than 0.6m in height are subject to site coverage and setback regulations. The proposed changes would minimize the potential for negative consequences resulting from grade and topography alteration.

## ALTERNATE MOTION

That Council receive the staff report and not proceed with the amendments to the *Zoning Regulation Bylaw*.

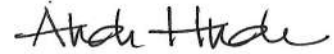
Respectfully submitted,



Leanne Taylor  
Planner  
Development Services Division



Alison Meyer, Assistant Director  
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Sustainable Planning and  
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Department



Andrea Hudson  
Acting Director  
Sustainable Planning  
and Community  
Development  
Department

Report accepted and recommended by the City Manager:



Jason Johnson

Date:

June 19, 2015

LT:aw

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## List of Attachments

- Zoning Bylaw Improvement Project - Phase 2: *Grade Calculations in Low-Density Residential Areas* - October 26, 2012
- Zoning Bylaw Improvement Project - Phase 2: *Retaining Walls and Associated Alteration of Lot Topography* - October 26, 2012
- Zoning Bylaw Improvement Project - Phase 2: *Patios, Stairs and other Hard-Surfaced "Landscaped" Features* - October 29, 2012
- September 18, 2013, Open House Survey Feedback
- October 30, 2013, Focus Group Discussion Notes.





## DECISION REQUEST REPORT

### Governance & Priorities Standing Committee

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**DATE:** October 26, 2012

**PREPARED BY:** Ian Scott, Senior Planner

**ENDORSED BY:** Deb Day, Director, Planning and Development

**SUBJECT:** Zoning Regulation Bylaw Improvement Project – Phase 2:  
Grade Calculations in Low Density Residential Areas

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#### Executive Summary

The purpose of this report is to provide Council with information, analysis and recommendations regarding proposed improvements to the City of Victoria's *Zoning Regulation Bylaw*. This project is part of Phase 2 of the Zoning Regulation Bylaw Improvement Project and addresses Council's direction to staff to review "Grade Calculations in Low Density Residential Areas".

Issues related to grade and the perception of building height are very complex. Upon commencing this work, it was apparent that a simple set of bylaw amendments related to how grade and building height are calculated would not address all the issues. There are four key issues in need of discussion and exploration to fully understand and potentially address the concerns raised, including:

- (a) the current calculation of grade and the existing measures in place that prevent manipulation of building height measurements;
- (b) the potential of making new *Zoning Regulation Bylaw* amendments related to maximum height of retaining walls;
- (c) the potential of making new *Zoning Regulation Bylaw* amendments related to maintaining minimum soft landscaping standards;
- (d) the possibility of undertaking a future work program item related to the perceived height of residential buildings on sloped sites.

This report focuses on the first issue on the list above - the calculation of grade and building height. The other issues are addressed in separate reports.

The principal conclusion of this review is that the current method established by the *Zoning Regulation Bylaw* for calculating grade and determining permitted building height is consistent with best-practices. Therefore, staff is recommending that it not be modified. The current definition of "grade" does not allow additional building height when rock or soil has been added around a building. Additionally, the current definition of "grade" results in a lower permitted building height when rock or soil has been removed from a lot around the building.

In summary, under the current definitions and regulations a taller building cannot be achieved by altering the grade or topography of a property. While no significant issues have been

encountered to date in terms of administering the regulations related to calculating grade and determining building height, adding definitions to the *Zoning Regulation Bylaw* for "finished grade" and "natural grade" will ensure no ambiguity as to the meaning of these terms.

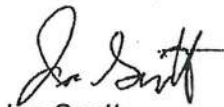
Adding these definitions will not fundamentally change how grade is calculated and it will simply lend clarity. Therefore, public consultation would not be essential. However, if Council decides to advance consultation related to the issues explored in the following reports, there would be a ready-made opportunity to share information with the community related to these new definitions.

#### Recommendation:

That Council direct staff to:

1. Prepare the necessary *Zoning Regulation Bylaw* amendments to add "finished grade" and "natural grade" definitions to the *Zoning Regulation Bylaw*.
2. Provide an opportunity for public information-sharing in conjunction with public engagement efforts outlined in the companion reports on retaining walls and hard-surfaced landscaping, only if Council advances the recommendations outlined in those reports for public engagement.
3. Forward the *Zoning Regulation Bylaw* amendment bylaw for consideration at a Public Hearing.

Respectfully submitted,



Ian Scott  
 Senior Planner  
 Development Services



Deb Day  
 Director  
 Planning and Development



Peter Sparanese  
 General Manager  
 Operations

Report accepted and recommended by the City Manager: \_\_\_\_\_  
 Gail Stephens

IS:aw

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## 1. Purpose

The purpose of this report is to provide Council with information, analysis and recommendations regarding the current method used to calculate grade and the existing regulations that are in place to prevent the artificial manipulation of building height. This is the first of four reports on a series of topics that relate to grade, retaining walls, landscaping and perception of building height on sloped sites.

## 2. Background

As a result of the Zoning Regulation Bylaw Improvement Project, there were a number of amendments made to the *Zoning Regulation Bylaw* (ZRB) which will help to maintain neighbourhood character and mitigate negative impacts of development on surrounding neighbours in the low density residential areas of Victoria.

On June 16, 2011, Council directed staff to commence Phase Two of the Improvement Project with the following motion:

*Endorse the revised Phase 2 work plan of the Zoning Regulation Bylaw Improvement Project to include the following studies:*

- (a) *Review of Commercial Zoning in Residential Neighbourhoods*
- (b) *Landscape Standards and Parking Design/Surface Material*
- (c) *Grade Calculations in Low Density Residential Areas*
- (d) *Soil Deposition and Removal Regulations.*

This report addresses topic (c) Grade Calculations in Low Density Residential Areas. The companion reports on retaining walls, soft landscaping and perceived building height on sloped sites do have some overlap with topics (b) and (d).

Large parts of Victoria include significant variation in topography as illustrated in Appendix A. The recent trend in Victoria for sloped-site development has been towards minimum-sized lots with uses built to maximum permitted floor areas. With modern building and blasting techniques, it has become less costly to make large alterations to the land and the finished grade of the lot. New architectural styles have become more popular and new homes, irrespective of architectural style, typically have full-height basements and larger garages visible from the street. Yards are being altered significantly with the construction of retaining walls and other features to provide building access, circulation around the building, construction of driveways and outdoor living spaces. In part, the alteration of the land around low density buildings is occurring to meet minimum driveway slope requirements of the *Highway Access Bylaw* and the ZRB. In other circumstances, these alterations are occurring to provide access to secondary suites in basements.

Some of these recent development trends have been perceived to have negative impacts on the public realm or neighbouring properties, including:

- large massing of buildings out of character with the neighbourhood
- loss of privacy for adjoining neighbours associated with raised yards or patios
- shadowing of adjacent properties by buildings, large retaining walls and raised yards

- concerns about whether retaining walls have been built to adequate safety and drainage standards
- construction impacts associated with soil and rock removal.

## 2.2 Project Scope

Single family dwellings, duplexes, small lot houses, garden suites, house conversions as well as attached and semi-attached dwellings are permitted within low density areas of Victoria and include properties in the following common zones or other similar site-specific zones:

- R1-A, Rockland Single Family Dwelling District (also permits attached or semi-attached dwellings)
- R1-B, Single Family Dwelling District
- R1-G, Gonzales Single Family Dwelling District
- R-2, Two Family Dwelling District
- R1-S1, Restricted Small Lot (One Storey) District
- R1-S2, Restricted Small Lot (Two Storey) District.

For the purpose of zoning and building regulations, the term “grade” has a few different common definitions, which can sometimes create confusion. For clarity, this report and the companion reports will use the following terms.

- “Grade” will be defined using the ZRB definition of this term. The ZRB definition is a calculated average based on reference to the exterior of a building and is defined as:

*“Grade” means an elevation calculated as the average of the elevations of natural grade or finished grade level whichever is lower at any and all points at which any part of a building comes into contact with the surface of the lot, excluding any artificial mounds of earth or rocks placed at or near the wall of the building, and excluding the minimum window well width and depth as required by the British Columbia Building Code.*

- “Finished Grade” will be used to refer the finished elevation (height) of the ground following construction or land altering activities.
- “Natural Grade” will be used to refer to the elevation (height) of the ground prior to any land alteration or construction. Where land alteration or construction has occurred some time in the past, determining natural grade relies on historical records or interpolation based on surrounding natural grades.
- “Slope” will be used to refer to the amount of inclination of the ground surface or installed services.
- “Grading plan” will be used to refer to a plan that generally documents the following:
  - (a) natural grade and finished grade at important reference points such as property boundaries, building edges, building entrances, driveway entrances and top and bottom of retaining walls;
  - (b) slope of driveways, walkways, outdoor areas and sometimes services;
  - (c) materials used for finishing finished grade.



### 3.0 Issues

The issues associated with grade calculations in low density areas are:

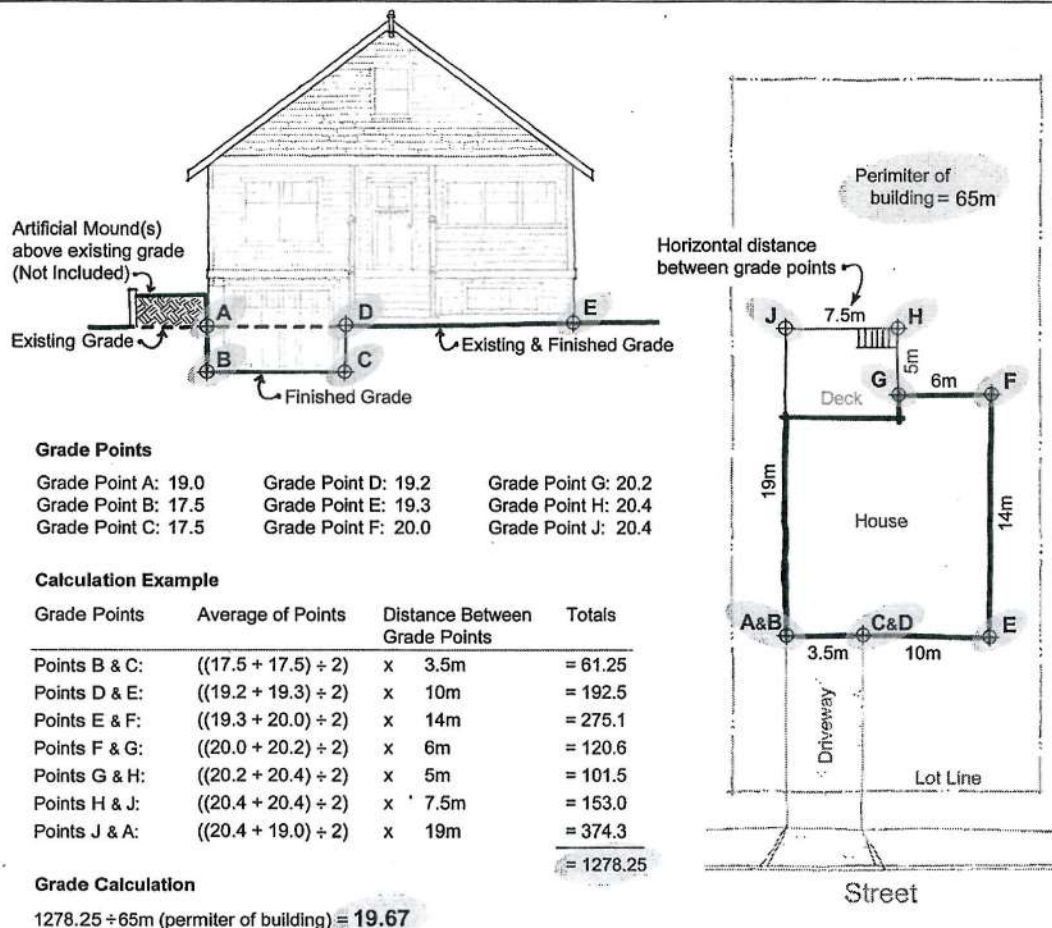
- grade calculation and building height
- finished grade and natural grade definitions.

### 4.0 Analysis

#### 4.1 Grade Calculation and Building Height

Grade, as defined by the ZRB, is a calculation of the average elevation (height) of the ground around a building. Elevation is measured as the geodetic elevation in reference to mean sea level. As illustrated by Figure 1, this means considering the height of the ground at many points around the perimeter of the building. At each point, the lower of either finished grade or natural grade is used to establish an average grade, weighted by the length of each wall segment. Maximum permitted building height is then measured from this reference grade. This method of calculating grade is applied equally to flat and sloped sites.

**Figure 1:** Illustration of how “grade” is calculated based on the definition established in the *Zoning Regulation Bylaw*



On a relatively flat lot, grade will be at an elevation similar to elevation of the ground on all sides of the building. In contrast, as illustrated in Figure 2, on a sloped site the elevation of the ground on the up-slope side of the building will be above grade while on the down-slope side of the building the elevation of the ground will be below grade. Building height is measured from the grade reference elevation to the portion of the roof with the highest elevation. For a sloped roof this is defined as the midpoint and for a flat roof this is defined as the uppermost point.

**Figure 2. No Grade Change** - Location of grade and resulting permitted building height when the natural grade of the lot is not altered through construction.

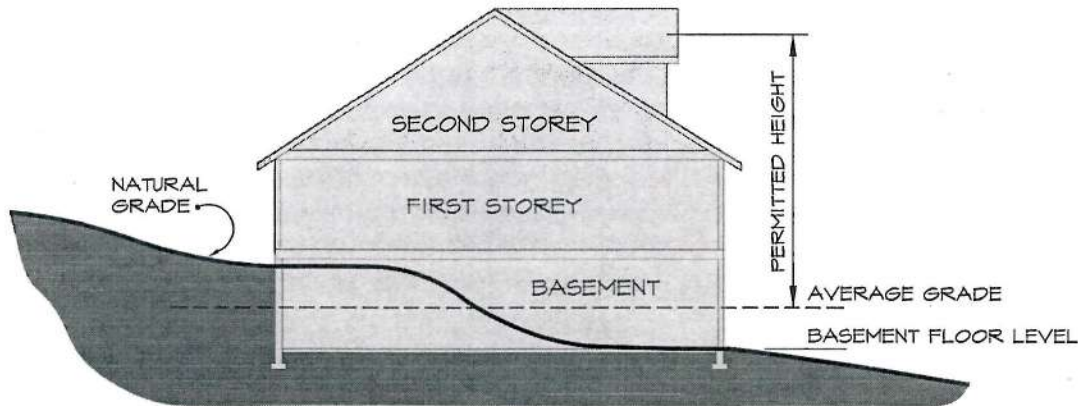
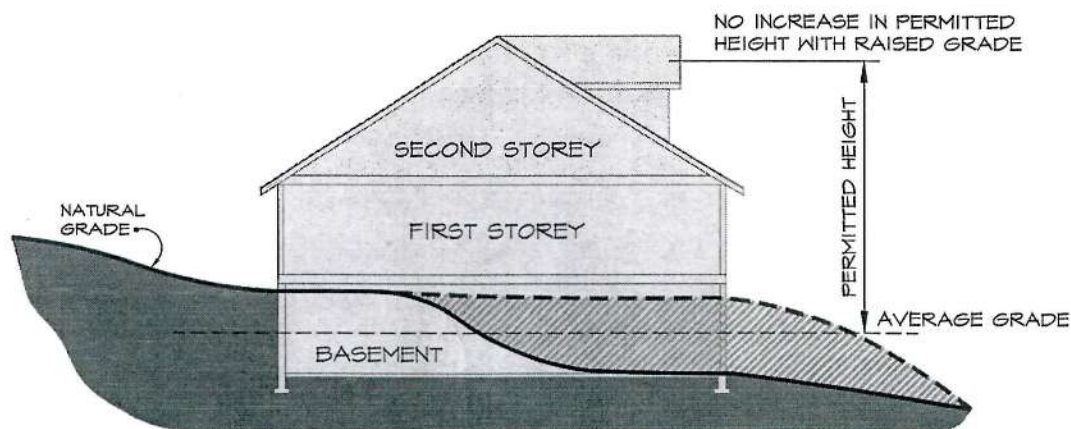


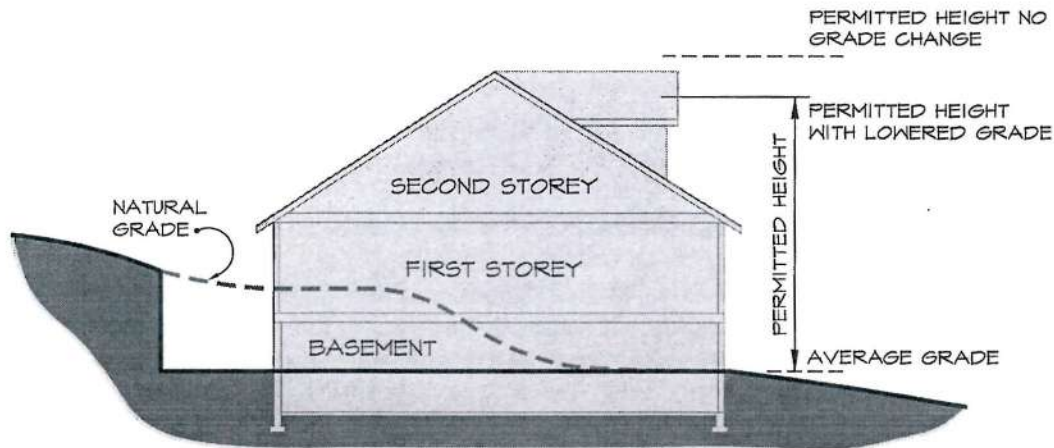
Figure 3 illustrates that when soil or rock is added to a site and the resulting finished grade is higher than natural grade, the ZRB definition of grade ensures that the permitted building height does not increase. Thus, if a property owner berms their property, the resulting building is no higher than would have been the case otherwise. In the situation where the finished grade of a property is permanently lowered through excavation, as illustrated in Figure 4, then the permitted height of the building decreases. Despite this, the actual height of the constructed building can be identical to what could have occurred pre-excavation, but simply at an overall lower elevation.

**Figure 3. Berming** - Location of grade and resulting permitted building height when the finished grade of the lot is raised above natural grade. Berming does not result in increased building height.





**Figure 4. Excavation** - Location of grade and resulting permitted building height when the finished grade of the lot is lower than natural grade. Excavation results in a lower elevation permitted building height.



The preceding analysis illustrates that the existing ZRB grade definition, which considers the lower of either finished grade or natural grade, provides no incentive in terms of increased building height for berming or excavating a property. In comparison, with a grade definition that considered only finished grade, berming could result in a building sitting at a higher height than would be permitted without berming. Similarly, where the grade definition considers only natural grade, through excavation the lower levels of the building will be below the reference natural grade and thus physically higher than the height of the building as defined by zoning.

While alternative definitions of grade are used in other municipalities (see Appendix B), the current ZRB definition is consistent with best-practices and provides a method for establishing a grade reference point which does not result in taller buildings being permitted.

#### 4.2 Finished Grade and Natural Grade Definitions

This review has identified that one of the limitations of the existing ZRB grade definition is that both natural grade and finished grade are not defined by the ZRB. Where development occurs on a property that has not previously been altered, the natural grade of the land is readily measured by a surveyor. However, in the case of redevelopment, natural grade may have disappeared. In this case, the practice has been to establish natural grade based on contour maps or estimated based on the elevation of the land on adjacent lots or street. Finished grade is the elevation of the land after construction.

None of the challenging sites that have given rise to this report are the result of not having a definition for natural grade or finished grade. In part, this is because natural grade and finished grade are generally understood concepts used by land surveyors and other professionals. Nonetheless, staff is recommending that a definition of "natural grade" and "finished grade" be added to the ZRB to ensure that the public, property owners, developers, builders, professionals and staff share a common understanding. In particular, the definition of natural grade will address how to calculate natural grade in circumstances where natural grade has been altered

and records do not exist that document the pre-existing natural grade of the property. The ZRB amendments being recommended in the companion reports will rely on reference to both natural grade and finished grade.

## 5.0 Options

### *Option 1 (staff recommendation)*

That Council direct staff to:

1. Prepare the necessary *Zoning Regulation Bylaw* amendments to add “finished grade” and “natural grade” definitions to the *Zoning Regulation Bylaw*.
2. Provide an opportunity for public information-sharing in conjunction with public engagement efforts outlined in the companion reports on retaining walls and hard-surfaced landscaping, only if Council advances the recommendations outlined in those reports for public engagement.
3. Forward the *Zoning Regulation Bylaw* amendment bylaw for consideration at a Public Hearing.

### *Option 2*

That Council receive the report *Zoning Regulation Bylaw Improvement Project – Phase 2: Grade Calculations in Low Density Residential Areas* for information and not introduce new definitions for “finished grade” or “natural grade”.

### *Option 3*

That Council direct staff to consult the public on the recommendations contained in the staff report *Zoning Regulation Bylaw Improvement Project – Phase 2: Grade Calculations in Low Density Residential Areas* along with the public consultation recommended in the companion reports and report back to Council.

## 6.0 Resource Impacts

There are no anticipated resource impacts with the recommendation contained in this report.

## 7.0 Conclusions

The alteration of land is a required component of new building construction. The analysis presented in this report has demonstrated that the existing grade definition does not provide any incentive to alter the topography of a lot for the purpose of being able to increase the building height. Moreover, where finished grade is lowered, the resulting permitted building height is also lowered. As such, there is no need to adjust current definitions of grade, although adding definitions for finished grade and natural grade will clarify the meaning of these concepts.

Despite this conclusion, there are issues associated with building on and altering of the topography of lots. These issues are analyzed in more detail in three companion reports.

- *Zoning Regulation Bylaw Improvement Project- Phase 2: Retaining Walls and Associated Alteration of Lot Topography*
- *Zoning Regulation Bylaw Improvement Project- Phase 2: Patios, Stairs and*



*Other Hard-Surfaced "Landscaping" Features*

- *Zoning Regulation Bylaw Improvement Project- Phase 2: Perceived Building Height on Sloped Lots.*

**8.0 Recommendation**

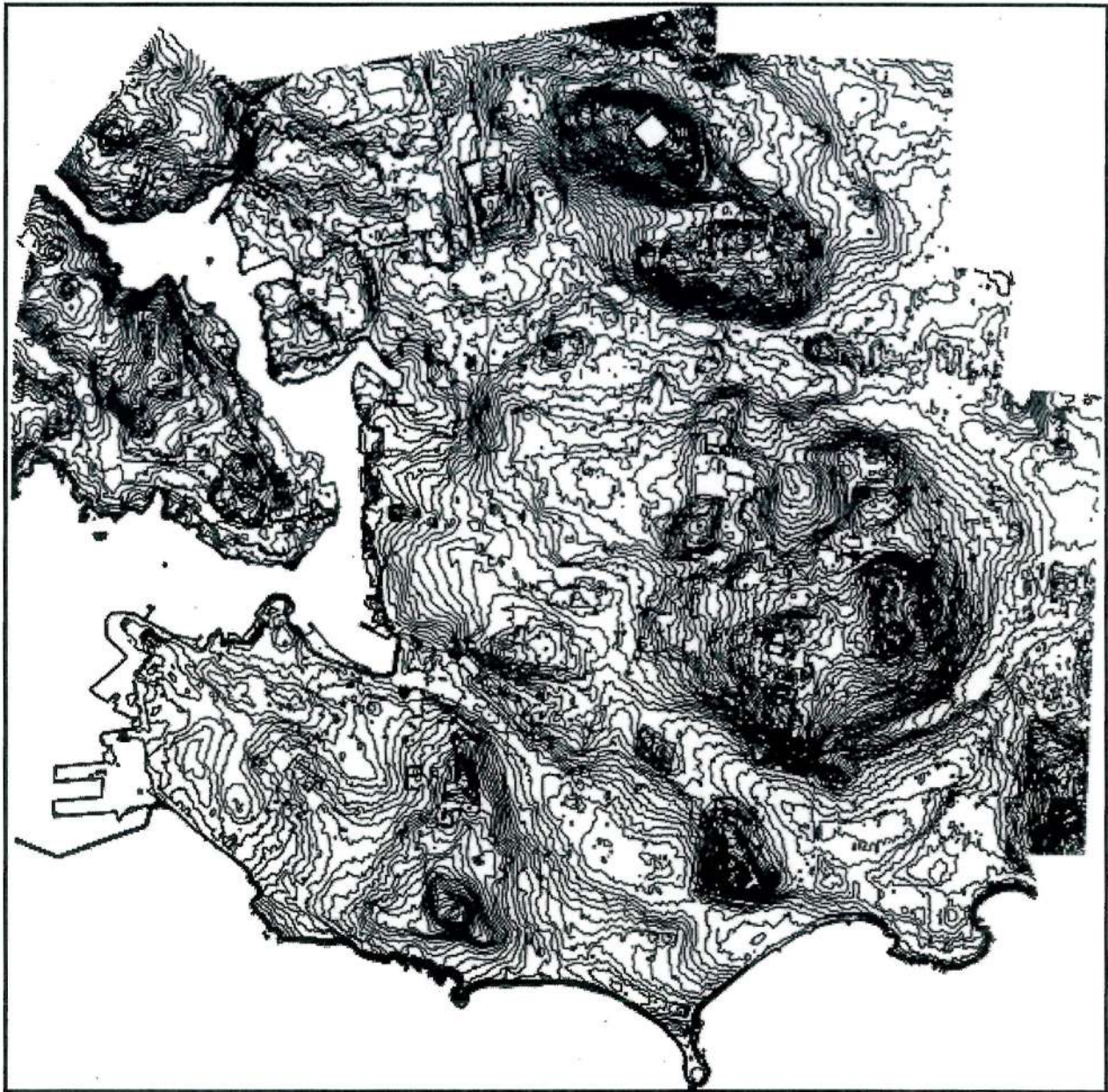
That Council direct staff to:

1. Prepare the necessary *Zoning Regulation Bylaw* amendments to add "finished grade" and "natural grade" definitions to the *Zoning Regulation Bylaw*.
2. Provide an opportunity for public information-sharing in conjunction with public engagement efforts outlined in the companion reports on retaining walls and hard-surfaced landscaping, only if Council advances the recommendations outlined in those reports for public engagement.
3. Forward the *Zoning Regulation Bylaw* amendment bylaw for consideration at a Public Hearing.

**9.0 List of Attachments**

- Appendix A: Topography Map of Victoria – 1 m Contours
- Appendix B: Grade and Retaining Wall Comparison, Select CRD Municipalities.

**Appendix A. Topography Map Victoria – 1m contours**





**Appendix B. Grade and Retaining Wall Comparison, Select CRD Municipalities**

Municipality	Grade method	Artificial grade changes considered in building height calculations	Regulate Finished grade	Regulate Retaining walls	Retaining wall height limits	Lot coverage includes decks/ patios
Victoria	Perimeter natural or finished grade (lowest)	yes	no	no	no	Decks only
Central Saanich	Perimeter natural grade	no	no	no	Yes, same height as fences	Decks only
Highlands	Four points finished grade	no	no	no	no	Decks only
Langford	Perimeter finished grade	no	no	no	no	Decks only
Oak Bay	Four points natural grade	yes	no	yes	1.2 (stepping at 1.5:1 ratio)	Yes, patios on-grade
Saanich	Perimeter natural or finished grade (lowest)	yes	no	no	no	no
Sooke	Four points natural grade	no	no	no	no	No, provided deck is free-draining
View Royal	Perimeter natural or finished grade (lowest average)	yes	no	yes	Yes, same height as fences	Yes, when higher than 0.3m



## DECISION REQUEST REPORT

### Governance & Priorities Standing Committee

**DATE:** October 26, 2012

**PREPARED BY:** Ian Scott, Senior Planner, Development Services

**ENDORSED BY:** Deb Day, Director, Planning and Development

**SUBJECT:** **Zoning Regulation Bylaw Improvement Project - Phase 2:  
Retaining Walls and Associated Alteration of Lot Topography**

#### Executive Summary

The purpose of this report is to provide Council with information, analysis and recommendations regarding the possibility of introducing new regulations in the *Zoning Regulation Bylaw* that would limit retaining walls to a maximum height of 1.22 m. This is the second of four reports on a series of topics that relate to grade, landscaping and perception of building height on sloped sites.

There are currently no regulations that limit retaining wall height or the degree to which the grade of the land around a building may be altered. In the many sloped areas of Victoria, recent development trends have resulted in significant alteration of the topography as well as construction of large retaining walls. Some of these developments have caused concern due to their perceived visual impact on the public realm and neighbours, loss of privacy for adjacent neighbours, shadowing of neighbouring properties, altered drainage patterns and safety risks.

Staff have analyzed these issues as they relate to retaining walls and associated alteration of the lot topography, examined approaches used in other municipalities and recommend the following amendments to the *Zoning Regulation Bylaw*:

- adding a definition for "retaining wall" and "tiered retaining walls"
- introducing a maximum retaining wall height limit of 1.22 m (4 ft) with the provision for taller retaining walls adjacent to driveways and in sunken stairwells and window wells
- introducing a maximum slope of a 1 to 1.5 ratio (66.7%) for any tiered retaining walls with a minimum of 0.6 m (2 ft) of planted landscaping between the tiers.

These recommended changes will result in construction of lower-height retaining walls in setback areas that more closely follow the existing slope of the lot and more modest entrance features. The recommended changes may make it more challenging and costly to build on some sites, but will help ensure that buildings on sloped sites do not have an undue impact on the public realm or neighbours. There will remain the option for site-specific consideration of unique solutions through a variance application.

Since these proposed changes are significant, staff recommend that public engagement occur.



## Recommendations

1. That Council direct staff to undertake public engagement related to proposed amendments to low density residential zones of the *Zoning Regulation Bylaw* that would:
  - (a) add definitions for "retaining wall" and "tiered retaining walls" to establish the meaning of these terms;
  - (b) introduce a maximum retaining wall height limit (1.22 m) with the provision for taller retaining walls adjacent to driveways and in sunken stairwells and window wells;
  - (c) introduce a maximum slope of a 1 to 1.5 ratio (66.7%) for any tiered retaining walls with a minimum of 0.6 m of planted landscaping between the tiers.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.

Respectfully submitted,




Ian Scott  
 Senior Planner  
 Development Services

At.



Deb Day  
 Director  
 Planning and Development



Peter Sparanese  
 General Manager  
 Operations

Report accepted and recommended by the City Manager: \_\_\_\_\_  
 Gail Stephens

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## 1. Purpose

The purpose of this report is to provide Council with information, analysis and recommendations regarding the possibility of adding new regulations to the *Zoning Regulation Bylaw* (ZRB) that would limit retaining walls to a maximum height of 1.22 m. This is the second of four reports on a series of topics that relate to grade, landscaping and perception of building height on sloped sites.

## 2. Background

This report addresses issues related to the Phase 2 Zoning Regulation Bylaw Improvement Project, focused on "Grade Calculations in Low Density Residential Areas". Through this work, a number of interrelated issues, including issues pertaining to the construction of retaining walls and associated alterations of lot topography, were identified.

On sloped sites, significant alteration of land, facilitated with the construction of retaining walls, occurs for a variety of reasons including:

- providing outdoor living and gardening space
- providing access to basement areas
- providing pedestrian circulation from the building to the street or from the building to other areas of the lot
- providing raised side yard access to upper floors
- accommodating required driveway slope grades and basement garage access.

At present, the ZRB does not regulate the size or location of retaining walls. As a result, retaining walls are not subject to building setback or height regulations. Currently, the City's *Building Bylaw* requires a building permit for retaining walls 1.0 m or higher. Despite this existing Bylaw requirement, many retaining walls in the City of Victoria have been constructed without permit. Nonetheless, the building permit requirement addresses only structural issues and does not include any siting or height limitations.

### 3.0 Issues

The issues associated with retaining walls and associated alteration of lot topography include:

- retaining wall height and siting
- retaining wall definition
- retaining wall safety and drainage issues.

### 4.0 Analysis

#### 4.1 Retaining Wall Height and Siting

There are currently no ZRB regulations which limit the maximum height of retaining walls or limit where on a lot they may be sited. As a result, the construction of large retaining walls has occurred without any evaluation as to the impact they may have on the public realm or adjacent properties. In some circumstances, retaining walls have facilitated extensive excavation and in other circumstances extensive berming. Not only can the retaining wall have an impact itself, but the construction of a retaining wall can raise the elevation of a lot's topography which can provide increased opportunity for overlook from any raised areas.





As demonstrated in the compendium report on *Grade Calculation in Low Density Areas*, neither berming nor excavation can be used to increase permitted building height. Nevertheless, construction of a new building that meets zoning height and setback requirements can have both visual impacts and create overlook issues. In this context, the question for analysis is to what degree the lack of regulations related to the siting and height of retaining walls in required yards creates additional issues that should be addressed.

Another study topic included in the Phase 2 - Zoning Regulation Bylaw Improvement Project list, that Council approved, was "Soil Deposition and Removal Regulations". The power for a municipality to regulate soil deposit and removal is provided by the *Community Charter*. Soil deposit and removal regulations are typically applied by municipalities to properties that are not associated with new building development. These regulations also typically deal with the volume of material that is added or removed from a site and these volume-based restrictions are not well-suited to addressing the issues of the final configuration of a lot after soil deposit or removal. If Council considers that it is advisable to regulate the degree to which the yards of low-density development sites can be raised or lowered, regulating the height of retaining walls is the most straightforward method for doing so.

The approach to regulating retaining walls in other municipalities ranged from no regulations to regulations that permit retaining wall heights up to 3.0 m high, depending on the siting and inclusion of landscaped screening. Based on this review, it is recommended that the public and development industry be consulted on the following new retaining wall height limits:

- 1.22 m (4 ft) retaining wall height limit as measured from natural grade and finished grade, with no siting restrictions and with the following exemptions
- 2.0 m (6.6 ft) height limit to finished grade for a retaining wall parallel to a driveway and within 3.0 m (9.8 ft) of a building face
- no height limit for a retaining wall facing a sunken stairwell or window well
- an overall slope ratio of 1 to 1.5 (66.7% or 36 7/8°) for tiered retaining walls, with a minimum 0.6 m landscaping strip between tiers.

There would be no restriction on the siting of retaining walls that meet these proposed height restrictions.

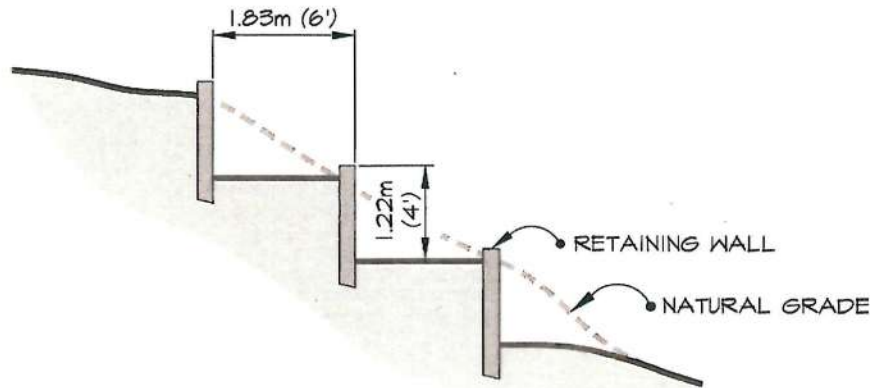
These recommended retaining wall regulations are designed to provide for some consistency with other ZRB regulations and industry practices including:

- 1.22 m (4 ft) retaining wall is an industry standard for pre-fabricated systems
- 1.22 m (4 ft) is the current height limit for fences erected in a front yard



- 1.22 m (4 ft) is the maximum height established by many municipal zoning bylaws
- 1.22 m (4 ft) high retaining wall is a height of retaining wall which is recognized to not require structural engineering
- a slope ratio of 1 to 1.5 (66.7%) is used as the ratio for tiered retaining wall systems in other municipalities, including Oak Bay.

**Figure 1:** Illustration of tiered retaining walls and proposed maximum slope of ratio 1 (vertical) to 1.5 (horizontal).



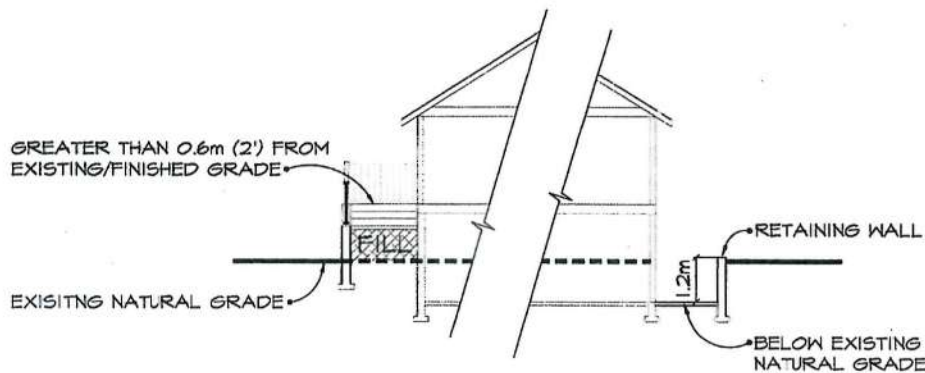
The proposed limits on retaining wall heights will require that house and landscape designers alter some of their practices. This will include considerations for the design of driveways for basement garages; of stairs and walkways to side doors; of outdoor spaces; stairs and walkways to front doors on sloping lots. Options still available include not siting the building right up to the setback line to provide space to build raised stairs outside the building; building smaller footprint homes; constructing detached rather than attached garages; and focusing on pedestrian circulation within buildings rather than providing more external pedestrian circulation options.

Staff have considered that part of the need for external circulation is to provide entrances to secondary suites, which are often in the basement or lowest level of a home. With the previously implemented changes to the ZRB that requires basement ceiling height to be no more than 1.2 m above average grade, it is inevitable that retaining walls will be necessary on many lots to provide direct access to these basement living spaces.

One of the outcomes of the proposed new regulations may be increased soil and rock removal related to side and rear entrances (see Figure 2). This may be the case because the recommended regulations make it more difficult than under existing regulations to build access to upper-floor levels (e.g. with raised stairs and walkways), but will permit excavation to allow lower floor entrances.



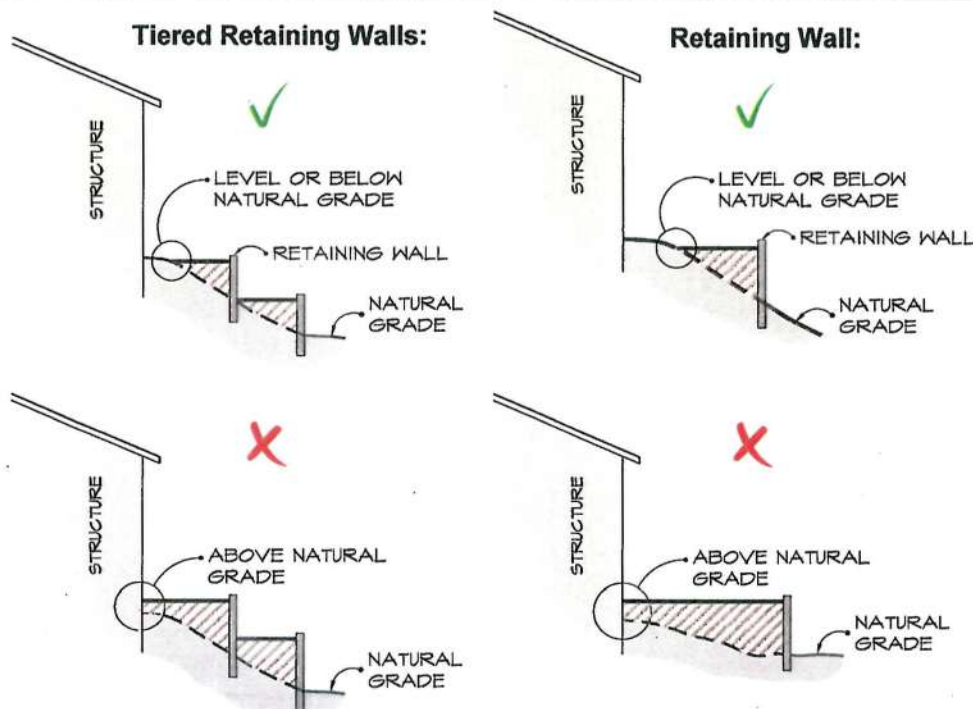
**Figure 2: Illustration of raised and partially sunken entrances.**



## 4.2 Retaining Wall Definition

Part of the issue is that walls are sometimes being constructed to raise the grade of the property and construct new built structures adjacent to buildings (e.g. raised patios) rather than truly *retaining* slopes. As such, staff is recommending a definition of “retaining wall” and “tiered retaining walls” (e.g. a series of retaining walls). These definitions would clarify that at least part of the area behind a retaining wall or at the top tiered retaining walls would need to be at or below natural grade (see Figure 3). This would exclude circumstances where a wall is used to raise the grade of land around a building to construct a raised patio or walkway. As such, whether it is a raised patio, raised walkway, deck or raised wooden stairway, these circumstances will be treated equally and need to meet ZRB setback requirements.

**Figure 3: Illustration of definition of what constitutes a retaining wall or tiered retaining walls as compared to using walls as a method build extensions to buildings.**



### 4.3 Retaining Wall Safety and Drainage Issues

As described above, the individual retaining wall height limit is a height which does not require professional engineering. Therefore, individual retaining walls built to be in compliance with the proposed ZRB requirements should not pose any safety issues provided they are built using normal construction methods. The existing *Building Bylaw* requires that a building permit be obtained for the construction of a retaining wall greater than 1.0 m in height that directly supports a building, but does not currently apply to a retaining wall (of any height) that is not associated with the building.

In the case of tiered retaining walls, retaining walls built within the maximum slope of 1 to 1.5 proposed by this report are recommended to be designed by a professional engineer based on engineering best-practices. However, unless the tiered retaining walls are associated with a building foundation then the City currently has no building permit requirement.

Staff are currently in the process of reviewing the Building Bylaw and will be considering how to most appropriately align the City's building regulations with any ZRB amendments that are implemented by Council.

The existing *Plumbing Bylaw* requires that impervious surfaces drain into a public storm sewer. However, some exemptions apply for single family dwelling and duplex lots, including driveway areas not larger than 40 m<sup>2</sup>. The *Plumbing Bylaw* also specifies that stormwater cannot be directed onto an adjoining lot. In addition, where redevelopment occurs on a lot which is at a lower elevation than the adjacent lots, the *Plumbing Bylaw* requires the installation of a curtain drain. Where a building permit is required for a retaining wall or tiered retaining walls then drainage issues would be addressed through that process. Given the recommended individual retaining wall height limits and the circumstances in which this size of retaining wall will be constructed, the requirements of the *Plumbing Bylaw* that require a connection to a stormwater system will generally not apply.

### 5.0 Public Engagement

As the recommended amendments to the ZRB proposed in this report may have an impact on the public and property owners, it is recommended that members of the public and development professionals be engaged to review and comment.

The proposed engagement strategy would consult more extensively with those professionals in the construction and renovation industry who have experience designing buildings and sites that comply with the ZRB. For members of the public, the strategy would be to inform while providing opportunity for comment and feedback.

Staff recommends the following engagement activities:

1. Consultation meeting(s) with individuals representing the following groups:
  - Certified BC Land Surveyors
  - Architects
  - Landscape Architects
  - Geotechnical Engineers
  - House Designers
  - Homebuilders



- Developers
  - Realtors.
2. Publication on the City's website outlining the proposed changes and providing an opportunity to submit comments or fill out a survey online, in addition to written submissions.
  3. Letters to each of the Community Association Land Use Committees with an explanation of the proposed changes and inviting their comment.

## 6.0 Options

### Option 1 (staff recommendation)

1. That Council direct staff to undertake public engagement related to proposed amendments to low-density residential zones of the *Zoning Regulation Bylaw* that would:
  - (a) add definitions for "retaining wall" and "tiered retaining walls" to establish the meaning of these terms;
  - (b) introduce a maximum retaining wall height limit (1.22 m) with the provision for taller retaining walls adjacent to driveways and in sunken stairwells and window wells;
  - (c) introduce a maximum slope of a 1 to 1.5 ratio (66.7%) for any tiered retaining walls with a minimum of 0.6 m of planted landscaping between the tiers.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.

### Option 2

That Council receive the staff report Zoning Regulation Bylaw Improvement Project - Phase 2: Retaining Walls and Associated Alteration of Lot Topography for information and not proceed with landscape-related amendments to the *Zoning Regulation Bylaw*.

### Option 3

That Council direct staff to prepare *Zoning Regulation Bylaw* amendments to the low-density residential zones, and to forward the *Zoning Regulation Bylaw* amendment bylaw for consideration at a Public Hearing, that would:

- (a) add definitions for "retaining wall" and "tiered retaining walls" to establish the meaning of these terms;
- (b) introduce a maximum retaining wall height limit (1.22 m) with the provision for taller retaining walls adjacent to driveways and in sunken stairwells and window wells;
- (c) introduce a maximum slope of a 1 to 1.5 ratio (66.7%) for any tiered retaining walls with a minimum of 0.6 m of planted landscaping between the tiers.

## 7.0 Resource Impacts

It is expected that, if implemented, the proposed changes to the ZRB will have the following resource impacts:

### Impact on the public:

- Owners and developers will need to work more within the natural grade levels of a property. On some sites this may increase development costs.
- Requirement for more complete site grading and retaining wall information will add to the cost of preparing building permit applications in terms of survey costs and production of grading plans. Currently, grading issues are typically not an element that is considered in much detail until later in the construction process.
- Some property owners and developers may have to make a variance application.

### Impact on City staff time:

- Review of building permits and associated grading plans will require more staff time.
- Validation of works on-site to ensure compliance with bylaws and plans will require staff to conduct more frequent site visits.
- There are approximately 30 applications per year for new single-family and duplex homes, which would be the primary focus of these new regulations. However, for the majority of these applications, the existing site topography means that the new regulations will have minimal impact. For some applications, the new regulations may lead to slightly longer permit processing periods. Over the past few years, staff has had to spend a large amount of time on a few files due to issues related to grade and height calculations and alteration of lot topography. Staff expects that the process of requiring concept grading plans at the building permit stage will lead to identification of grading issues earlier in the building process, which will result in reduced demands on staff time in the long run.

## 8.0 Conclusions

The alteration of land is a required component of new building construction. This report identifies that the ZRB does not limit the height of retaining walls, which has resulted in the construction of some large retaining walls, causing concern. Retaining wall height limits are a feature in many B.C. municipalities and staff recommends the implementation of similar retaining wall height limits in the City's ZRB. This report also recommends a definition of "retaining wall" and "tiered retaining walls" that will ensure that retaining walls are associated with retaining slopes and not used as a technique to avoid building setback regulations.

The proposed new regulations will be a significant change when compared to how some recent projects have been constructed, and will require designers and builders to work more with the existing topography of the lot. House and landscape designers may need to alter some of their practices for designing driveways, side and rear door entrances, outdoor living spaces and front door access. However, many options are still available. Where unique circumstances exist, an application for a variance is also an option.



## 9.0 Recommendations

1. That Council direct staff to undertake public engagement related to proposed amendments to low-density residential zones of the *Zoning Regulation Bylaw* that would:
  - (a) add definitions for "retaining wall" and "tiered retaining walls" to establish the meaning of these terms;
  - (b) introduce a maximum retaining wall height limit (1.22 m) with the provision for taller retaining walls adjacent to driveways and in sunken stairwells and window wells;
  - (c) introduce a maximum slope of a 1 to 1.5 ratio (66.7%) for any tiered retaining walls with a minimum of 0.6 m of planted landscaping between the tiers.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.



## DECISION REQUEST REPORT

### Governance & Priorities Standing Committee

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**DATE:** October 29, 2012

**PREPARED BY:** Ian Scott, Senior Planner

**ENDORSED BY:** Deb Day, Director, Planning and Development

**SUBJECT:** **Zoning Regulation Bylaw Improvement Project – Phase 2**  
Patios, Stairs and other Hard-Surfaced “Landscaping” Features

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#### Executive Summary

The purpose of this report is to provide Council with information, analysis and recommendations to consider amendments to the *Zoning Regulation Bylaw* to modify the definitions for “site coverage” and “landscaping” and to introduce minimum soft landscaping requirements for low density residential areas. This is the third of four reports on a series of topics that relate to grade, landscaping and perception of building height on sloped sites.

Currently, hard-surfaced elements such as stairs, patios and walkways are considered landscaping elements that are not subject to *Zoning Regulation Bylaw* setback and site coverage regulations. Where hardscaping becomes a dominant element of a yard, this can appear to “extend” the building and emphasize any changes that may have occurred to the lot’s topography or the perceived impacts of the massing of the new building. This phenomenon is particularly pronounced on a sloped site but can also be observed on a relatively flat site.

Staff have analyzed these issues as they relate to significant landscape changes, examined approaches used in other municipalities and recommend the following amendments to the *Zoning Regulation Bylaw* for low density residential zones:

- amended definition of “site coverage” to include only elements covered by a roof or greater than 0.6 m (2 ft) in height from finished grade or natural grade
- amended definition of “landscaping” to include only surfacing of the lot and stairs no higher than 0.6 m (2 ft) from finished grade or natural grade
- introduction of minimum “soft landscaping” requirements for the front yard, the lot as a whole and rear yard of some zones
- defining “soft landscaping” to include natural areas or areas with a minimum of 50% planted vegetation.



The proposed modified site coverage regulations and inclusion of minimum soft-landscaping regulations will assist with better integration of new development in low density residential areas with established character. In addition, the proposed soft-landscaping requirements will have a positive effect on maintaining green space in low density residential areas and potentially improve the quality of stormwater generated from these sites. However, these new regulations would be a significant departure from current practices and may be seen as overly intrusive by some.

Since the proposed changes are a departure from past practices, public engagement is recommended.

### Recommendation

1. That Council direct staff to undertake public engagement related to proposed amendments to low density residential zones of the *Zoning Regulation Bylaw* that would:
  - amend the definition of "site coverage" to include only elements covered by a roof or greater than 0.6 m (2 ft) in height from finished grade or natural grade
  - amend the definition of "landscaping" to include only surfacing of the lot and stairs no higher than 0.6 m (2 ft) from finished grade or natural grade
  - introduce minimum "soft landscaping" requirements, defined as natural areas or areas with soil planted with vegetation, for the front yard, the lot as a whole and rear yard of some zones
  - define "soft landscaping" to include natural areas or areas with a minimum of 50% planted vegetation.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.

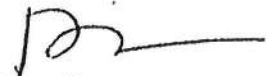
Respectfully submitted,



Ian Scott  
 Senior Planner  
 Development Services



Deb Day  
 Director  
 Planning and Development



Peter Sparanese  
 General Manager  
 Operations

Report accepted and recommended by the City Manager: \_\_\_\_\_

Gail Stephens

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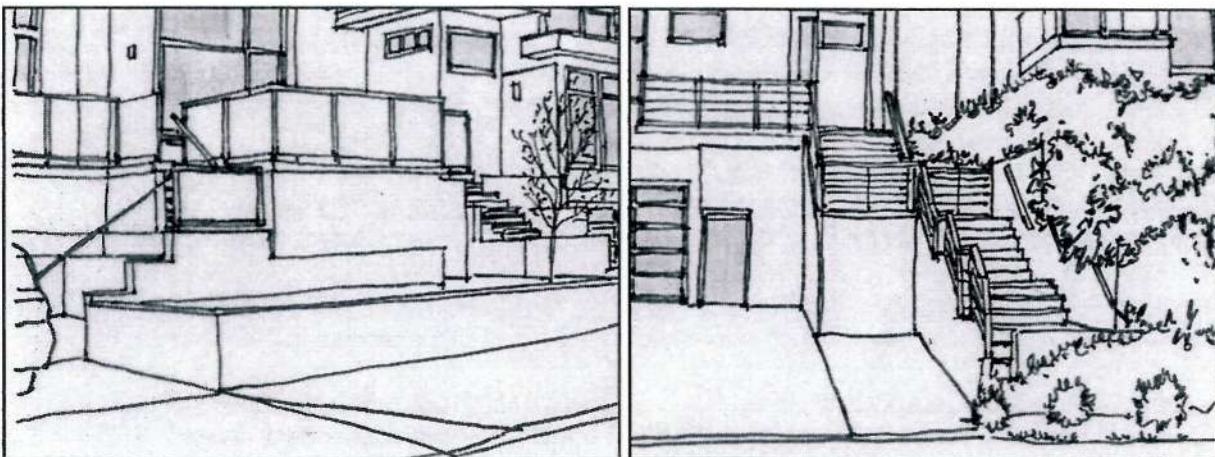
## 1. Purpose

The purpose of this report is to provide Council with information, analysis and recommendations regarding the possibility of amending the *Zoning Regulation Bylaw* (ZRB) to modify the “site coverage” and “landscaping” definitions and to introduce soft-landscaping standards for low-density residential areas. This is the third of four reports on a series of topics that relate to grade, landscaping and perception of building height on sloped sites.

## 2. Background

This report addresses issues related to the Phase 2 Zoning Regulation Bylaw Improvement Project focused on “Grade Calculations in Low Density Residential Areas.” Through this work, a number of interrelated issues, including issues pertaining to the construction of retaining walls and associated alterations of lot topography, were identified.

Construction of hard-surfaced patios, stairs, walkways and other landscaping features have not been subject to regulations for building setbacks, maximum site coverage or minimum open site space. In recent years, this has led to the construction of larger hard-surfaced (typically concrete) stairs and raised patios. This trend has occurred in part to avoid minimum setback and site coverage regulations that apply to wood stairs and decks.



## 3.0 Issues

The issues associated with patios, stairs and other hard-surfaced “landscaping” features include:

- site coverage and landscaping definitions
- soft landscaping standards.

## 4.0 Analysis

### 4.1 Site Coverage and Landscaping Definition

The ZRB definitions for “site coverage” and “building” have been interpreted for some years by staff as excluding any hard-surfaced feature such as concrete stairs and patios provided they were no higher than 1.52 m (5 ft). The need to make this interpretation results from the fact that



the term “structure” included in the “site coverage” definition and the term “landscaping”

included in the “building” definition are not defined by the ZRB. As a result, these elements are currently not subject to either site coverage or setback regulations. In contrast, wooden stairs and decks are interpreted to be subject to both site coverage and setback regulations because they were not construed as being part of the landscaping of a site and are considered part of a structure. This interpretation was established at a time when the cost of construction with concrete and other hard-surfaced materials dissuaded most builders and homeowners from building large hard-surfaced structures. Over time, this distinction has resulted in larger hard-surfaced (typically concrete) stairs and raised patios, which are not subject to minimum setback and maximum site coverage regulations.

The discrepancy with one set of regulations applying if constructed out of wood and a different set of rules applying if constructed out of a concrete is not appropriate when the form and function are identical. However, there are other cases when hard-surface stairs, patios and walkways have very different form and function and applying the existing regulations for wooden stairs and decks would not be appropriate. This includes:

- stairs and walkways located within yards on sloped lots that allow for gentle and more subtle transitions between the street level or driveways and building entrances
- small sets of stairs designed to blend into other parts of the landscaping
- at-grade or sunken patios, stairs and walkways
- patios behind retaining walls that blend with the natural grade on one or more sides.

In practice, sloped lots often have a mix of stairs, landings, walkways, decks and patios, some of which may be supported on at least one side by a retaining wall. It is challenging to determine and define which elements are extensions of the building versus which elements are simply providing an outdoor living space or pedestrian access over sloped terrain.

In terms of modifying existing definitions, the following ZRB amendments are recommended:

- redefining “site coverage” to include only those parts of the building below a roof or any uncovered structure higher than 0.6 m (2 ft) from finished grade and natural grade, and excluding any features constructed at finished grade behind a retaining wall; and
- defining “landscaping” to include any feature, regardless of material, built on finished grade or any stairs, regardless of material, no higher than 0.6 m (2 ft) from finished grade or natural grade.

Figure 1 illustrates how the existing and proposed regulations pertaining to site coverage and setbacks apply on a site. Under existing conditions, uncovered decks are subject to site coverage, while uncovered patios are not. Under the new proposed regulations, it is the height of these features from natural grade and finished grade that is the important characteristic. On first examination, the proposed new regulations appear to open up the possibility for the construction of new decks, patios and stairs that were previously not permitted. However, given the existing interpretation of the ZRB definitions which places few limits on the construction of these elements if hardscaped, the proposed new regulations will actually reduce the scale of hard-surfaced features that may be constructed and limit their placement in setback areas. Even though low-height, uncovered wooden decks or stairs could be constructed to a greater



Patios, Stairs and other Hard-Surfaced "Landscaping" Features

extent than currently, the proposed regulations will reduce the opportunity for the construction of hard-surfaced features.

**Figure 1:** Illustration of how existing and proposed site coverage (shaded areas) and setback regulations apply under the existing ZRB regulations and the proposed ZRB regulations.

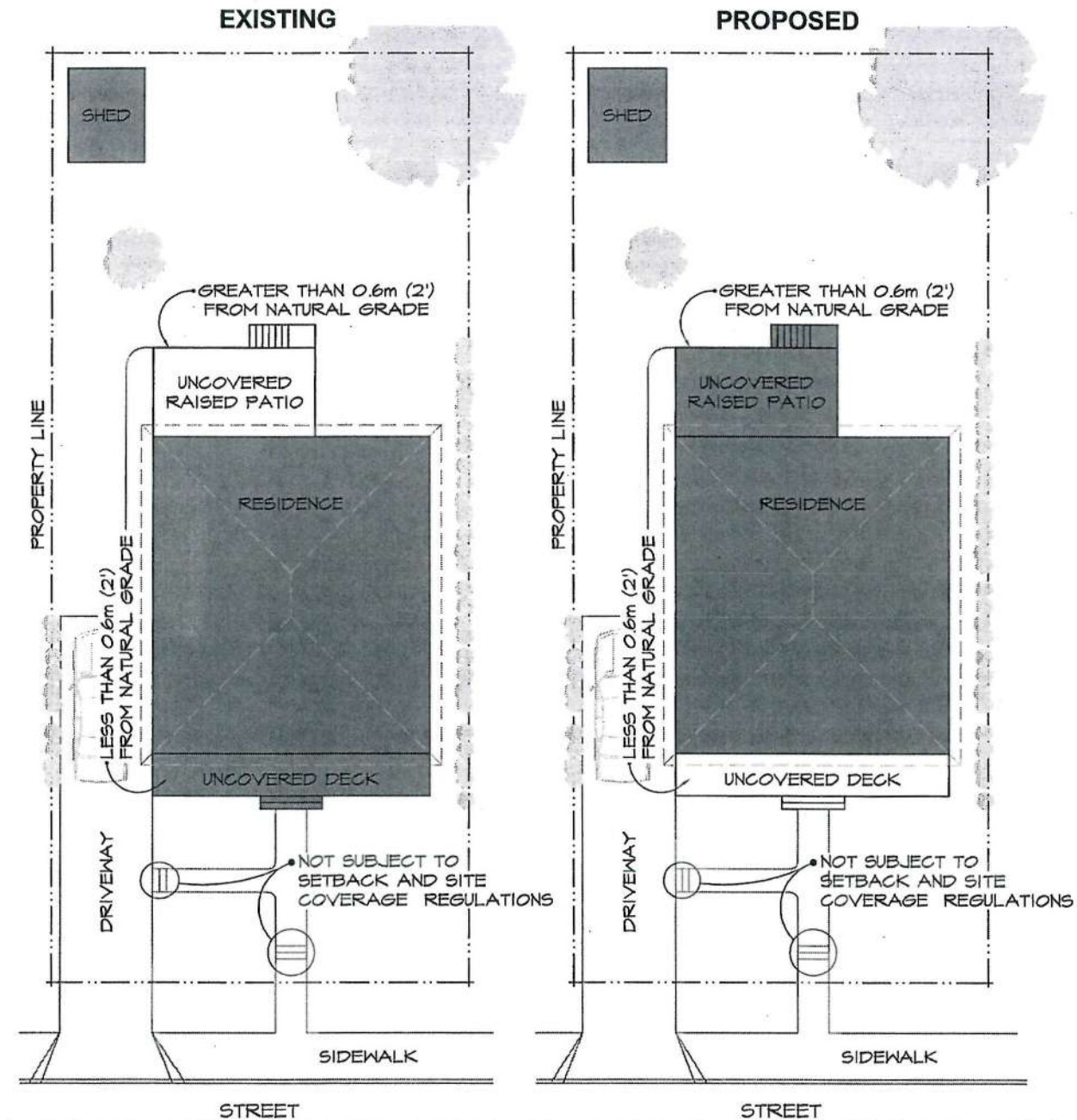


Figure 2 illustrates how these regulations will be applied to a sloping lot and to retaining walls. Where an uncovered patio is built in an area where grade has been raised adjacent to a building, it is subject to setback requirements and, if greater than 0.6 m (2 ft) in height, it will also be considered part of the site coverage. This is exactly how a wooden deck would also be treated. However, on a sloping site where a retaining wall has been used to flatten a site, then



## Patios, Stairs and other Hard-Surfaced "Landscaping" Features

an uncovered patio built at finished grade behind this retaining wall would not be subject to setback requirements and would not be considered part of site coverage.

**Figure 2:** Shaded areas below represent components that would be subject to site coverage regulations under the proposed new ZRB regulations. Any raised patio is subject to minimum setback regulations, while a patio built behind a retaining wall at finished grade is not.

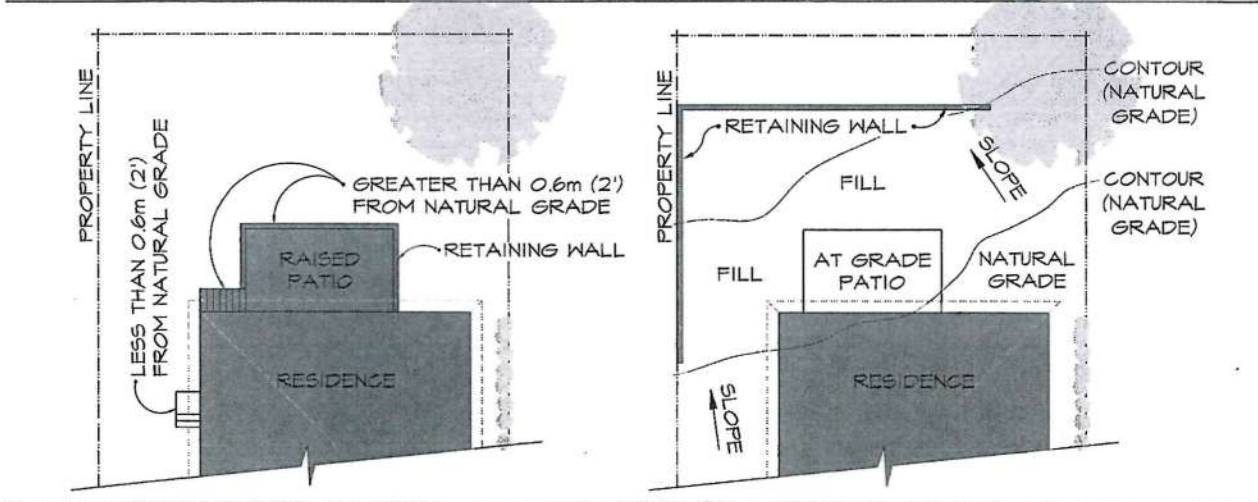
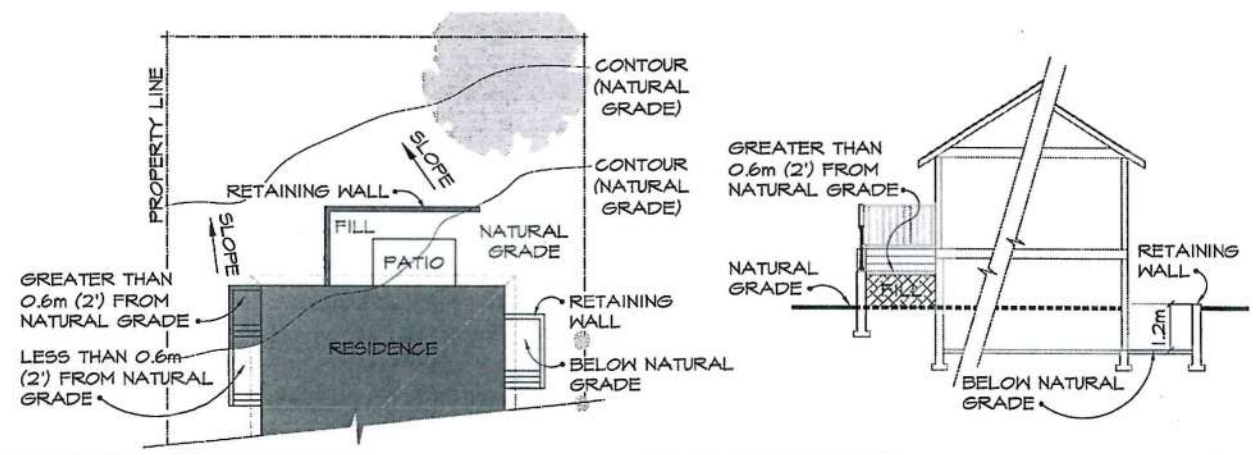


Figure 3 details how the proposed new ZRB amendments would apply to stairs. Where a retaining wall (1.22 m [4 ft] high or less) is constructed to facilitate on-site excavation, then minimum setback requirements and site coverage maximums would not apply. In contrast, where a wall is used to build landings or stairs higher than 0.6 m (2 ft), for example to gain access to an upper level, then both setback and site coverage requirements apply. Any walkways at or below natural grade and stairs that are less than 0.6 m (2 ft) high are not subject to minimum setback requirements and are not included in site coverage.

**Figure 3:** Any landings above natural grade and stairs higher than 0.6 m (2 ft) are subject to minimum setback requirements and are included in site coverage. In contrast, where these features are at or below finished grade, or where the stairs are not higher than 0.6 m (2 ft), then minimum setback and maximum site coverage requirements do not apply.





Patios, Stairs and other Hard-Surfaced "Landscaping" Features

The 0.6 m (2 ft) height limit above finished grade means that, in most circumstances, a guard or rail would not be required by the *BC Building Code* for the decks, stairs, walkways and patios built under these new regulations. Structures with railings or guards are more visually intrusive and do not appear as low-scale, landscaping elements. However, in some cases they will still be required for safety purposes or at the landowner's choice.

Table 1 summarizes the combined effect of the proposed amended "site coverage", "landscaping" and new retaining wall definitions and height limits (discussed in the companion report on retaining walls).

**Table 1:** Combined effect of proposed amendments to site coverage, landscaping and new retaining wall definition and height limits.

	Included in Site Coverage	Subject to Setback Requirements
Retaining walls 1.22 m (4 ft) or less	NO	NO
Lawns, gardens, driveways, patios, walkways at finished grade, including finished grade behind retaining walls	NO	NO
Stairs 0.6 m (2 ft) high or less	NO	NO
Uncovered patios, decks, walkways, landings 0.6 m (2 ft) high or less	NO	YES
Roofed areas of buildings, covered structures and any uncovered stairs, decks, patios, walkways and similar structures greater than 0.6m (2 ft) high.	YES	YES

#### 4.2 Soft Landscaping

Despite the definition changes recommended in the preceding section, it will still be possible to cover significant portions of a lot with hard surfacing. Hard surfacing of yards can emphasize the extent of development and large building massing. One solution may be to include minimum soft landscaping requirements within low density zones. This approach would align with some of the other initiatives of the City, including encouraging green development, the Stormwater Utility project and implementation of landscape standards (another Phase 2 Zoning Regulation Bylaw Improvement Project component which has not been commenced). Requiring minimum soft landscaping through zoning has been used in other B.C. and Canadian municipalities.

Currently, there are minimum open-site space requirements in the low density residential R1-G Zone and R-2 Zone. However, hard-surfaced elements such as walkways, concrete stairs or patios fit within the current definition of open site space. As a result, minimum open-site space requirements do not achieve much more than minimum building setback requirements. Switching to require a minimum amount of planted soft landscaping for a property as a whole and specifically for the front yard has a number of advantages, including:

- limiting the amount of hard-surfaced areas for sloped and level properties alike
- having more landscaping which tends to soften the appearance of new buildings
- providing greater opportunity for rainwater infiltration, which aligns with the City's sustainable rainwater management and climate change goals



- aligning the ZRB more closely with the permeable/non-permeable surface approach of the proposed Stormwater Utility being considered for implementation.

Soft landscaping would be defined as those areas covered by natural, undisturbed land or areas planted with a minimum of 50% vegetation. This may include such features as grasscrete paving systems which are typically more than 50% void space with soil. However, it would not include elements such as pavers, gravel or permeable concrete. Staff examined a number of different properties in each of the low density residential zones to establish the recommended minimum soft landscaping standards as outlined in Table 2.

**Table 2:** Proposed minimum soft landscaping requirements for low density zones and remaining percentage of the lot that could be hard-surfaced. Where the maximum site coverage allotment is not used then there would be additional space available for hard-surfaced elements.

	R1-B	R1-G	R1-S2	R-2	R1-A
Minimum Soft Landscaping (%)	35	45 <sup>1</sup>	35	30	50
Minimum Front Yard Soft Landscaping (%)	50	50	50	40	60
Existing Maximum Site Coverage (%)	40	30	40	40	40
Maximum percentage of hard-surfaced lot area when <u>site coverage is maximized</u>	25	25	25	30	10

1. Replaces existing minimum open site space requirement of 50%

While the regulation of soft landscaping would address some of the issues raised with regard to new developments, it does have some limitations. Firstly, it may be viewed by some as a regulation that intrudes too much into individual use of property and individual preferences with respect to aesthetics, yard care and use of outdoor space. Secondly, landscaping is an element that requires no permit for a property owner to alter. As such, while there will be some opportunity at the building permit stage for new developments to confirm compliance with the soft landscaping requirements, compliance will be voluntary and any bylaw enforcement would be complaint-driven. Thirdly, as a new zoning regulation, the legal non-conforming provisions of the *Local Government Act* would apply. As such, an existing baseline would need to be established based on aerial photography or satellite imagery. The City does have access to these resources, but staff have not yet evaluated to what degree additional work may be required for this purpose.

## 5.0 Public Engagement

As the recommended amendments to the ZRB proposed in this report would potentially have a significant impact, staff recommends that both the public and professionals involved in development be engaged to review and comment on the proposals.

The recommended ZRB amendments related to “site coverage” and “landscaping” are relatively technical in nature. For these elements, the recommended scope of public engagement should be similar to that proposed for the new retaining wall regulations and definitions, and consist of an engagement strategy that would include more extensive consultation with members of the construction and renovation industry who have experience designing buildings and sites that comply with the ZRB. However, for the soft landscaping regulations, more extensive public engagement strategies are recommended.

Staff recommends the following engagement activities:

- Consultation meeting(s) with individuals representing the following groups:
  - Certified BC Land Surveyors
  - Architects
  - Landscape Architects
  - Geotechnical Engineers
  - House Designers
  - Homebuilders
  - Developers
  - Realtors.
- Publication on the City's website outlining the proposed changes and providing an opportunity to submit comments or fill out a survey online, in addition to written submissions.
- Letters to each of the Community Association Land Use Committees with an explanation of the proposed changes and inviting their comment.
- Convening a Public Open House, particularly related to the soft landscaping regulations.

## 6.0 Options

### Option 1 (staff recommendation)

1. That Council direct staff to undertake public engagement related to proposed amendments to low density residential zones of the *Zoning Regulation Bylaw* that would:
  - amend the definition of “site coverage” to include only elements covered by a roof or greater than 0.6 m (2 ft) in height from finished grade or natural grade
  - amend the definition of “landscaping” to include only surfacing of the lot and stairs no higher than 0.6 m (2 ft) from finished grade or natural grade
  - introduce minimum “soft landscaping” requirements, defined as natural areas or areas with soil planted with vegetation, for the front yard, the lot as a whole and rear yard of some zones
  - define “soft landscaping” to include natural areas or areas with a minimum of 50% planted vegetation.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.

### Option 2

That Council receive the staff report Zoning Regulation Bylaw Improvement Project – Phase 2: Patios, Stairs and Other Hard-Surfaced “Landscaping” Features for information and not proceed with landscape-related amendments to the *Zoning Regulation Bylaw*.



Option 3 (limited change)

1. That Council direct staff to undertake public engagement related to proposed amendments to low density residential zones of the *Zoning Regulation Bylaw* that would:
  - amend the definition of “site coverage” to include only elements covered by a roof or greater than 0.6 m (2 ft) in height from finished grade or natural grade
  - amend the definition of “landscaping” to include only surfacing of the lot and stairs no higher than 0.6 m (2 ft) from finished grade or natural grade.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.

Option 4

That Council direct staff to prepare the necessary *Zoning Regulation Bylaw* amendments and forward the amendment bylaw for consideration at a Public Hearing, which would:

- amend the definition of “site coverage” to include only elements covered by a roof or greater than 0.6 m (2 ft) in height from finished grade or natural grade
- amend the definition of “landscaping” to include only surfacing of the lot and stairs no higher than 0.6 m (2 ft) from finished grade or natural grade
- introduce minimum “soft landscaping” requirements, defined as natural areas or areas with soil planted with vegetation, for the front yard, the lot as a whole and rear yard of some zones
- define “soft landscaping” to include natural areas or areas with minimum 50% planted vegetation.

## 7.0 Resource Impacts

It is expected that, if implemented, the proposed changes to the ZRB will have the following resource impacts:

Impact on the public:

- Owners and developers will need to work more within the natural grade levels of a property. On some sites this may increase development costs.
- Requirement for more complete site grading information will add to the cost of preparing the Building Permit Applications in terms of survey costs and production of grading plans. Currently, grading issues are typically not an element that is considered in much detail until later in the construction process.
- Some property owners and developers may have to make a variance application.

Impact on City staff time:

- Review of building permits and associated grading plans will require more staff time.
- Validation of works on-site to ensure compliance with bylaws and plans will require staff to conduct more frequent site visits.

- These changes, as compared to those recommended in the companion retaining wall report, will likely generate more inquiries.
- There are approximately 30 applications per year for new single-family and duplex homes, which would be the primary focus of these new regulations. However, some renovation projects will also need to consider the new regulations. For some applications, the new regulations may lead to slightly longer permit processing periods.
- The new regulations will primarily be enforced through bylaw complaints and, where these occur, would increase the workload for bylaw enforcement staff.

## 8.0 Conclusions

Construction of stairs, walkways, decks and patios are an integral part of the use of land for residential purposes. In recent years, there have been examples where the current ZRB interpretation of what constitutes a structure or landscaping has resulted in large and extensive examples of hard-surfaced patios, walkways and stairs. This report recommends definition change and new, minimum soft landscaping requirements, which will result in less extensive hard surfacing of lots.

With these new regulations, house and landscape designers may need to alter some of their designs for entrances, outdoor living spaces and yards. However, options are available to the homeowner, including not siting the building right up to the required setback lines, building smaller footprint homes and focusing on internal building circulation rather than providing so many external circulation options. Where unique circumstances exist, an application for a variance is also an option.

Staff is also recommending that more extensive community consultation be undertaken related to the potential establishment of minimum soft landscaping requirements in low density residential zones. These requirements would represent a more significant change to the ZRB but would address issues related to the extensive hard surfacing of property and resulting lack of the softening benefits of planted landscaping.

## 9.0 Recommendation

1. That Council direct staff to undertake public engagement related to proposed amendments to low density residential zones of the *Zoning Regulation Bylaw* that would:
  - amend the definition of “site coverage” to include only elements covered by a roof or greater than 0.6 m (2 ft) in height from finished grade or natural grade
  - amend the definition of “landscaping” to include only surfacing of the lot and stairs no higher than 0.6 m (2 ft) from finished grade or natural grade
  - introduce minimum “soft landscaping” requirements, defined as natural areas or areas with soil planted with vegetation, for the front yard, the lot as a whole and rear yard of some zones
  - define “soft landscaping” to include natural areas or areas with a minimum of 50% planted vegetation.
2. That staff report the results of the public engagement to the Governance and Priorities Standing Committee for consideration and further direction.



## Sept. 18<sup>th</sup>, 2013 Open House Survey Feedback

Thirteen people attended the September 18, 2013 Open House, 7 of completed surveys. The following feedback was provided to survey questions:

### Average Height and Grade Calculations

1) Do you think that adding definitions for "finished grade" and "natural grade" add clarity to determining building height? Yes or No. Comments?			
Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes. Definitions are always helpful</li> <li>• Yes. I agree it will help clarify</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes, add definitions, Historic grade needs to be recorded and retained. Needs requirement for a current survey if there is any indication the grade has been modified or manipulated over time</li> </ul>	<ul style="list-style-type: none"> <li>• Yes. Agree with the incorporation of the proposed definitions to offer clarity is a prudent amendment</li> </ul>	<ul style="list-style-type: none"> <li>• Yes, good idea, will ensure no ambiguity</li> </ul>

### Retaining Walls

2) Do you think the City should regulate the height and scale of retaining walls? Yes or No. Comments?			
Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>• No. Or maybe impose a max height of 6ft (fence height).</li> <li>• No- Guidelines might be useful, but they are landscape and unless they connect with the house foundations or connected patios, can remain as "landscape"</li> <li>• Yes. Up to 4' "exposed" wall. 4' OK apart/not[?] from existing or natural.</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes! Absolutely necessary to protect the privacy properties and to protect the integrity of the streetscape and public realm</li> </ul>	<ul style="list-style-type: none"> <li>• Yes, with the exceptions notes (adjacent to driveways, sunken stairways, window wells).</li> </ul>	<ul style="list-style-type: none"> <li>• Yes. In many cases may not be required but in extreme/excessive situation regulation will be useful. Proposed height of 1.2m is an appropriate number</li> </ul>



## Sept. 18<sup>th</sup>, 2013 Open House Survey Feedback

Just exposed finished.

3) Does the proposed limit for retaining walls of 1.22 m (4 ft) in height seem about right? Yes or No. If no, what do you think the limit should be?

Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>No, 6ft.</li> <li>This varies with every site.</li> <li>Yes. See #2 [which said: "Yes. Up to 4' "exposed" wall. 4' OK apart most from existing or natural. Just exposed finished."]</li> </ul>	<ul style="list-style-type: none"> <li>Yes. Height Regulation seems to be about equal to that for fences, seems equitable.</li> <li>No. Given that fences are restricted to 6 ft in height a 4 ft retaining wall's overview negates the privacy a fence should afford. Retaining walls height should be predicated on retaining privacy in adjacent properties. The rationale for choosing 4 ft is weak, as is the lack of requirements for structured engineering.</li> </ul>	<ul style="list-style-type: none"> <li>NO. I feel 5 feet would be more appropriate as to match the current regulations governing the maximum height of a concrete landscaping element in a yard.</li> </ul>	<ul style="list-style-type: none"> <li>Yes, with tiered landings of 0.6m minimum.</li> </ul>

4) Does the proposed maximum slope ratio of 1 (vertical) to 1.5 (horizontal) for tiered retaining walls seem about right? Yes or No. If no, what do you think the limit should be?

Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>6 vertical, 2 horizontal</li> <li>Yes.</li> <li>"Yes. Up to 4' "exposed" wall. 4' OK apart most from existing or natural. Just exposed finished."</li> </ul>	<ul style="list-style-type: none"> <li>Yes. Not too steep, sounds logical</li> <li>No. This leads to building pyramid structures. The minimal limit should be 1:2</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> </ul>





## Sept. 18<sup>th</sup>, 2013 Open House Survey Feedback

5) Do you have any other ideas about how the city could regulate retaining walls?

Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>It will most often be an engineering issue</li> <li>Above a certain height, a structural P.Eng. should be involved. I would suggest a 6'0" +/-2m</li> <li>I feel this will accomplish the intent.</li> </ul>	<ul style="list-style-type: none"> <li>No comment</li> <li>"Normal construction standard" is vague. All retaining walls should require an engineer's certificate, given our high-probability earthquake zone. The City should require retrospective engineering reviews of all retaining walls over 4 ft. drainage and water flow must be addressed so there is no impact on adjacent properties</li> </ul>	<ul style="list-style-type: none"> <li>No</li> </ul>	<ul style="list-style-type: none"> <li>The ability to send to ADP, if required, might be helpful. Note: extreme circumstances which would provide staff with independent opinion.</li> </ul>

### Hard Surface Landscape Structures

6) Do you think the City should regulate hard landscape structures? Yes or No. Comments?

Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>No</li> <li>Yes for permeability &amp; stormwater management.</li> <li>Yes. Only on rear yards &amp; front yards. Max 50% unless front &amp; rear yards are under a certain size, then not at all. ie: R1-S2</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes. Hard landscaping is increasing the building foot print</li> </ul>	<ul style="list-style-type: none"> <li>No. It is unduly restrictive to homeowner rights as well as individual preference for landscaping treatment. 99% of homeowners act responsibly. Don't create regulation for the 1% which will have unintended negative consequences for the 99%</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> </ul>



## Sept. 18<sup>th</sup>, 2013 Open House Survey Feedback

7) Does the proposed limit of making hard landscape structures that are over 0.6m (2 ft) above grade subject to building setback and site coverage restrictions seem about right? Yes or No. If no, what do you think it should be? Comments?

Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>No. 4'</li> <li>2'0" is fine (site depending)</li> <li>No. The existing concrete exemption is adequate.</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>No. Even at 2 ft it can impact neighbour's privacy. Tiering would respect adjacent properties privacy</li> </ul>	<ul style="list-style-type: none"> <li>No. 5 feet appears a far more appropriate threshold. A patio railing is never &lt;2 feet. See comments re: #6 on homeowner rights/preferences. [said it is unduly restrictive to large number for small number of issues]</li> </ul>	<ul style="list-style-type: none"> <li>Yes, 0.6m is the 'correct' number... as pointed out in your report, surfaces greater than 0.6m will require guardrails, which will visually raise the height thus justify regulation.</li> </ul>

8) Do you have any other ideas about how the city could regulate hard landscape structures?

Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>See point #6 [which said: "Yes for permeability &amp; stormwater management."]</li> <li>No. It's really not as big a problem as this appears.</li> </ul>	<ul style="list-style-type: none"> <li>No comment</li> </ul>	<ul style="list-style-type: none"> <li>No new regulations required on this topic. Potential for unintended negative consequences is significant and scope of the existing problem is minor.</li> </ul>	<ul style="list-style-type: none"> <li>Very tough to craft one formula that will be fair and logical for all situations, as your photo board highlights. Perhaps require landscape architect if certain percentage is desired.</li> </ul>





## Sept. 18<sup>th</sup>, 2013 Open House Survey Feedback

### Minimum Soft Landscaping Standards

9) Do you think the City should regulate Soft Landscaping? Yes or No. Comments?			
Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>No</li> <li>No- except for weed mitigation. However, we will need to change fence bylaws to stop deer (much higher than current).</li> <li>No. This is beyond Bylaw. Some personal choice should be okay.</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes – for exactly the reasons outlined: better integration in low density residential areas, maintaining Greenspace, and improved stormwater retention. We like higher R1-A minimum soft landscaping as it supports the Rockland Neighbourhood Plan</li> </ul>	<ul style="list-style-type: none"> <li>No. See comment on point #6 re: homeowner rights/individual preference.</li> </ul>	<ul style="list-style-type: none"> <li>Same as above [said it would be tough to do uniformly]... perhaps try and work with the applicant if a situation seems extreme, some applicants (most) will likely listen while a few will dig in and refuse change... or require a landscape architect be involved if the 50% is not met.</li> </ul>

**Pictures:** Yes/ No. From the pictures below, you can see that introducing a requirement to maintain a minimum of 50% of a lot's open space with natural or planted vegetation poses some regulatory challenges. Please tell us whether you think the following examples would meet the proposed standard. Circle yes if you think it would meet the minimum, no if it would not.



Yes: 3 No: 2



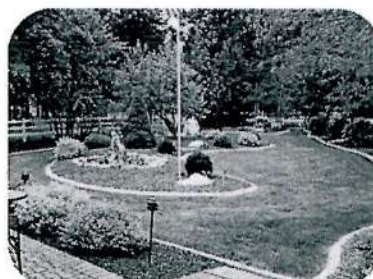
Yes: 4 No: 1



Yes: 2 No: 2 Not Sure: 1



Yes: 2 No: 3



Yes: 5 No: 0



Yes: 3 No: 2



## Sept. 18<sup>th</sup>, 2013 Open House Survey Feedback

10) Do you have any other suggestions about how the City could regulate soft landscaping?			
Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>Any permeable surface is soft landscape except asphalt.</li> </ul>	<ul style="list-style-type: none"> <li>No comment</li> <li>The City should enable higher fencing for deer damage protection</li> </ul>	<ul style="list-style-type: none"> <li>No comment</li> </ul>	<ul style="list-style-type: none"> <li>Possibly based on an average of adjacent properties.</li> </ul>

10) Would you support the regulation of soft landscaping on your property? Yes or No. Comments:			
Designers	Residents	UDI	Other
<ul style="list-style-type: none"> <li>No</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes, as President and Vice-President of the Rockland Neighbourhood Association we would support it on our properties</li> </ul>	<ul style="list-style-type: none"> <li>No</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> </ul>

### General

#### Other Comments/Questions:

**Designers** - Regulations should be clear and concise.

**Rockland Community Association** – With regard to Phase 2 – Perceived Building Heights on sloped sites, the mass of several new buildings in Rockland has been of great concern to the neighbourhood. In the past, large homes had breathing space, which is no longer so. Therefore, the RNA is on record requesting a floorspace ratio as in R1-G, which would help to address perceived height.





## October 30, 2013 - Focus Group Notes

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Notes taken from the discussion at a Focus Group held on October 30, 2013:

### Retaining Walls

- Generally ratio seems okay
- Landscape Architect would like to see more flexibility in maximum if the overall slope meets a certain grade
- Could be too restrictive for smaller properties
- Downside impacts most important – landscaping is important and visual screening
- Think about a maximum cumulative height restriction
- Concern about how more regulation limits the use of land and affects housing affordability
- Possible design review that would allow staff to approve plans
- Don't add to process by making the regulations so cumbersome that it forces everything through a variance process
- Rockland thinks 4 feet is too high
- Concern over seismic stability and drainage

### Hard Surfaced Landscape Structures

- Questions over what constitutes a structure
- More regulation adds to time and process and cost of housing
- This is more about design. Establish a design review with staff having the ability to approve plans
- Recommended regulations seem reasonable
- Don't differentiate between wood and concrete

### Soft Landscaping

- Permeability is an important concern and should be encouraged
- Concerns about over regulation and how you would enforce or administer it
- More important for the front yard rather than the rear yard – some municipalities require a certain percentage of the front yard to be "landscaped" (50%?)
- How do you control design or "good taste"?
- Design review?
- Rockland Neighbourhood supports regulating landscaping





## Zoning Regulation Bylaw Improvement Project – Phase 2

Alteration to Topography in  
Low-Density Residential Zones:  
Consultation and Next Steps

### Four Key Topic Areas

- Grade calculation in low-density residential areas
- Regulation of retaining walls
- Regulation of hard-surface landscape features or Raised-Building Features
- Regulation of soft-surface landscaping

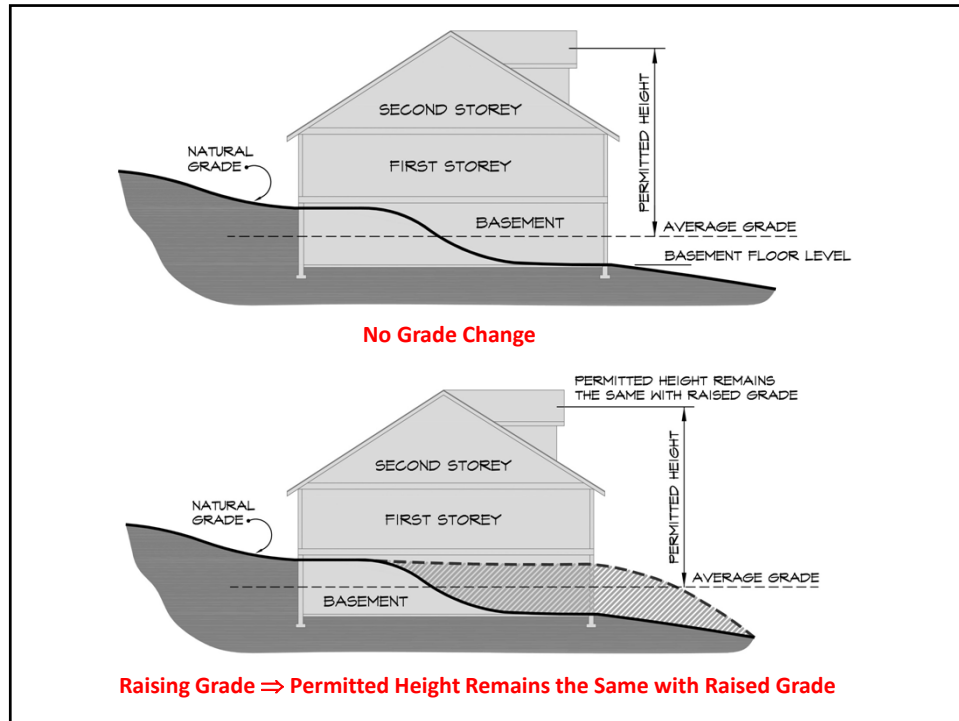
## Public Consultation

- The consultation process included the following:
  - Posting of relevant material on the City's website
  - Invitations to Community Associations and the development community to review the material and provide comments
  - An advertised public Open House and a Focus Group Session

## Grade Calculation in Low-Density Residential Areas

- **Does the current method of calculating grade in relation to building height contribute to increased building height of sloped sites?**
  - No, it does not allow the building height to be increased by manipulating the existing grade of a property and is consistent with best practices in other municipalities.





## Grade Calculation in Low-Density Residential Areas

- **Are there any changes or clarifications that could be introduced to improve the current regulations?**
  - The current method of calculating grade should be retained, and add definitions for “natural grade” and “finished grade.”

## Regulation of Retaining Walls

- **Should retaining walls be regulated?**
  - There are challenges associated with regulating retaining walls. Challenges include the following:
    1. retaining walls for landscaping purposes are not shown on building plans and do not require a building permit
    2. landscaping is completed at the end of a project
    3. city has received relatively few complaints
    4. additional staff time and resources required to administer and enforce zoning bylaw regulations.
  - Many of the issues related to retaining walls would be addressed by proposed measures for hard-surfaced landscape features.
- **The recommendation is to not establish regulations for retaining walls.**

## Regulations of Hard-Surfaced Landscape or Raised-Building Features

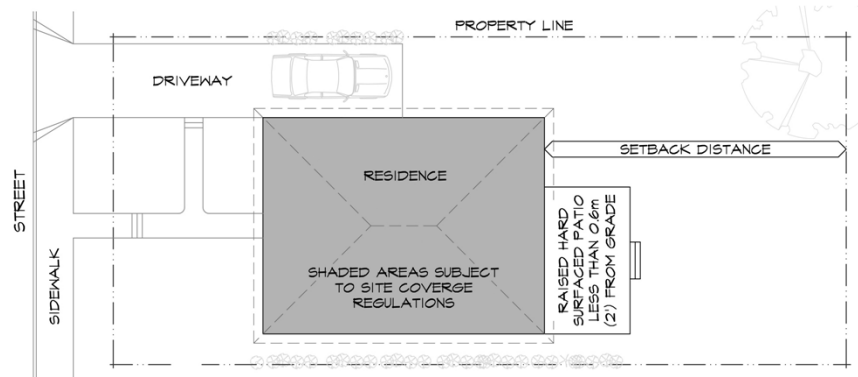




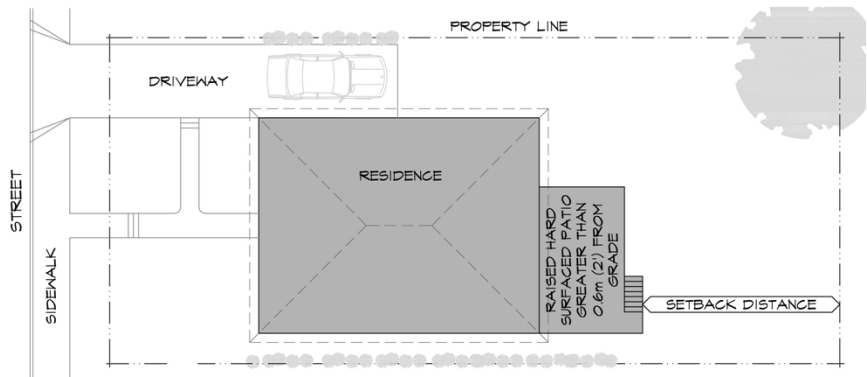
## Regulations of Hard-Surfaced Landscape or Raised-Building Features

- **Should these types of features be regulated?**
  - Yes, there should be some form of regulation.
- **What regulations would be appropriate?**
  - Any raised-building feature, attached or detached from a building, above 0.6m (2ft) in height and regardless of material, are subject to building site coverage and setback regulations.

## Raised-Building Structures Less than 0.6m



## Raised-Building Structures Greater than 0.6m



## Regulation of Soft-Surfaced Landscaping

**Question:** From the pictures below, you can see that introducing a requirement to maintain a minimum of 50% of a lot's open space with natural or planted vegetation poses some regulatory challenges. Please tell us whether you think the following examples would meet the proposed standard.





## Regulation of Soft-Surfaced Landscaping

- **Should soft-surfaced landscaping be regulated?**
  - Regulating soft-surfaced landscaping would require a new process, with significantly more resources, would be difficult to administer and may lead to community expectations that can't be met.
  - The majority of respondents to the survey did not agree with the idea of regulating landscaping on private property.
  - The main concern was to do with a lot's permeability. The new measures introduced through the City's **Storm Water Management Bylaw** encourage residents of low-density housing forms to increase the degree of permeability of their properties.
- **The recommendation is not to regulate soft-surface landscaping.**

## Recommendations

1. Add definitions of **"finished grade"** and **"natural grade"**.
2. Amend the definitions of **"site coverage"** and **"setbacks"** and the applicable **low density residential zones** to include a requirement that **raised-building features** greater than 0.6m (2ft) in height are subject to site coverage and setback regulations.