



REVISED AGENDA - VICTORIA CITY COUNCIL

Thursday, July 23, 2020

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Due to the COVID-19 Pandemic, public access to City Hall is not permitted. This meeting may be viewed on the City's webcast at www.victoria.ca

Pages

A. CONVENE COUNCIL MEETING

B. APPROVAL OF AGENDA

C. READING OF MINUTES

C.1	<u>Minutes from the Special Council to Follow Committee of the Whole meeting held June 4, 2020</u>	1
C.2	<u>Minutes from the daytime meeting held June 25, 2020</u>	8
C.3	<u>Minutes from the daytime meeting held July 2, 2020</u>	19

D. PROCLAMATIONS

D.1	<u>"World PVNH Disorder Awareness Day" - August 7, 2020</u>	28
*D.2	<u>"Hibashuka Remembrance Week" - August 2 to 9, 2020</u>	29

Addenda: New Item

Pending approval at the July 23, 2020 COTW Meeting

E. REPORTS OF COMMITTEES

E.1 Committee of the Whole

E.1.a	Report from the July 16, 2020 COTW Meeting	30
-------	--------------------------------------------	----

[Link to the July 16, 2020 COTW Agenda](#)

E.1.a.a Strategic Grant Review Committee Recommendations

E.1.a.b Council Member Motion: Support for Destination Greater

Victoria and VIATEC to promote local economic recovery

- E.1.a.c Local Government Recommendation for the Herbert Collins Group Inc. at 1010 Cook Street
- E.1.a.d Youth Bus Passes - Proposed Funding September to December 2020
- E.1.a.e Council Member Motion: Ending Street Checks in the City of Victoria
- E.1.a.f Council Member Motion: International Decade for People of African Descent

F. UNFINISHED BUSINESS

- F.1 Development Permit with Variances Application No. 00040 and Heritage Alteration Permit with Variance No. 00015 for 2251 Lydia Street 33

An update report regarding a Development Permit with Variances Application and a Heritage Alteration Permit with Variance recommending that the application proceed to opportunity for public comment.

*G. CORRESPONDENCE

- *G.1 Letter from the Corporation of the District of Saanich 55

A letter dated March 11, 2020 regarding an invitation to collaborate on the BC Motor Vehicle Act Pilot Project.

H. BYLAWS

- H.1 Bylaws for 2649-2659 Douglas Street and 735 Hillside Avenue: Rezoning Application No. 00664, Development Permit Application No. 000123, and Heritage Designation Application No. 00180 62

A report recommending:

- 1st and 2nd readings of:
 - Zoning Regulation Bylaw, Amendment Bylaw (No. 1222) No. 20-047
 - Heritage Designation (2659 Douglas Street) Bylaw No. 20-049
- 1st, 2nd, and 3rd readings of:
 - Housing Agreement (2649, 2651, 2655, 2657 And 2659 Douglas Street And 735 Hillside Avenue) Bylaw (2020) No. 20-048

The application is ready to proceed to Public Hearing and proposes to increase the density in order to construct an approximately six-storey, multi-unit residential building, as well as heritage-designate, renovate and add an additional storey to the existing building and convert the upper storeys to residential.

***H.2 DEFERRED: Bylaw for 2558 Quadra Street: Rezoning Application No. 00707 and Development Permit with Variances Application No. 00141**

82

A report recommending:

- ~~1st and 2nd readings of:~~
 - ~~Zoning Regulation Bylaw, Amendment Bylaw (No. 1225) No. 20-054~~
- ~~1st, 2nd, and 3rd readings of:~~
 - ~~Housing Agreement (2558 Quadra Street) Bylaw (2020) No. 20-055~~

~~The application is ready to proceed to Public Hearing and proposes to permit a five-storey affordable rental building with commercial on the ground level.~~

I. CLOSED MEETING

MOTION TO CLOSE THE JULY 23, 2020 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

- *Section 90(1)(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;*
- *Section 90(1)(c) labour relations or other employee relations;*
- *Section 90(1)(e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;*
- *Section 90(1)(f) law enforcement, if the council considers that disclosure could reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment;*

- *Section 90(1)(g) litigation or potential litigation affecting the municipality.*

Section 90(2)A part of a council meeting must be closed to the public if the subject matter being considered relates to one or more of the following:

- *Section 90(2)(b)the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party;*

J. APPROVAL OF CLOSED AGENDA

K. READING OF CLOSED MINUTES

L. UNFINISHED BUSINESS

M. CORRESPONDENCE

N. NEW BUSINESS

N.1 Land - Community Charter Section 90(1)(e)

N.2 Land - Community Charter Section 90(1)(e)

*N.3 Appointments - Community Charter Section 90(1)(a)

*N.4 Intergovernmental Relations - Community Charter Section 90(2)(b)

N.5 Law Enforcement/Litigation - Community Charter Section 90(1)(f) and 90(1)(g)

N.6 Employee Relations - Community Charter Section 90(1)(c)

O. CONSIDERATION TO RISE & REPORT

P. ADJOURNMENT



MINUTES – SPECIAL VICTORIA CITY COUNCIL

June 4, 2020, 2:40 P.M.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

Special Council Meeting

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Dubow, Councillor Young, Councillor Isitt

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, C. Coates - City Clerk, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, P. Bellefontaine - Acting Director of Engineering & Public Works, J. Jensen - Head of Human Resources, K. Hoese - Director of Sustainable Planning and Community Development, A. Meyer - Assistant Director of Development Services, A. Hudson - Assistant Director of Community Planning, C. Havelka - Deputy City Clerk, J. O'Connor - Deputy Director of Finance, K. Moore - Head of Business and Community Relations, C. Mycroft - Manager of Executive Operations, A. James - Head of Strategic Operations, P. Angelblazer - Committee Secretary

B. APPROVAL OF AGENDA

Moved By Councillor Alto

Seconded By Councillor Dubow

That the agenda be approved.

CARRIED UNANIMOUSLY

D. REPORTS OF COMMITTEES

D.1 Committee of the Whole

D.1.a Report from the June 4, 2020 Special Committee of the Whole

D.1.a.a COVID-19 Recovery Motions Report Back

D.1.a.a.a Appendix A – H.1.c. Supporting the Recovery of the Arts and Culture Sector:

Moved By Councillor Loveday

Special Council to follow Committee of the Whole Minutes

June 4, 2020

Seconded By Councillor Dubow

That Council:

- Direct staff to shift funding allocated for the Cultural Infrastructure and Cultural Space Roadmap towards a one-time only Everyday Creativity Grant program during COVID pandemic.
- Direct staff to report back on the Everyday Creativity Grant program criteria and process by end of June 2020.
- That funding for the cultural spaces grant program and art spaces roadmap be allocated as part of the 2021 budget.

CARRIED UNANIMOUSLY

D.1.a.a.b

Appendix B – H.1.h. COVID -19 Community Recovery Grants Program

Moved By Councillor Alto

Seconded By Councillor Dubow

That Council authorize:

1. An increase in the funding for the My Great Neighbourhood COVID-19 grant stream by \$100,000 funded from 2020 contingencies.
2. A rolling intake from June to December 2020, giving the City Manager the decision-making power to approve the grants following an internal staff review.
3. A grant threshold up to \$5000 per grant application to best support as many city-based business, organization, neighbourhood, or other entity directly affected by COVID-19.
4. An increase in the funding for the current intake of the Strategic Plan Grants by \$100,000 and that unspent funds from the Canada Day Special Duty policing, first 3 officers for special events, coordinated implementation of Pandora Task Force, Protocol and Reconciliation Dialogues totaling \$310,000 to be repurposed for the strategic plan grants second intake and the remaining amount would come from the 2020 contingency.

Direct staff to undertake a second round of Strategic Plan grants of up to \$250,000 with an exclusive focus on recovery projects,

- that Council review the applications;
- that the due date is July 15, 2020; and,
- that funds are dispersed as soon as is practicable.

CARRIED UNANIMOUSLY

D.1.a.a.c Appendix C – H.1.i. COVID Recovery Housing Security

Moved By Councillor Isitt

Seconded By Councillor Dubow

That Council endorse the following Victoria Housing Strategy priorities in 2020 to improve housing security as part of COVID-19 recovery:

1. Advance and support the rapid supply of affordable and supportive housing in the neighbourhoods throughout the city, with government partners and non-profit housing providers;
2. Bring forward an expanded Rental Property Standards of Maintenance Bylaw for consideration;
3. Develop a Rental Property Licensing Bylaw to prevent renovations and demovictions;
4. Explore the creation of a non-profit administered rent bank on a pilot basis.

FOR (7): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (7 to 1)

D.1.a.a.d Appendix D – H.1.i. Capital Projects

Moved By Councillor Alto

Seconded By Councillor Dubow

That Council receive the following for information.

That Council direct staff to share all of these projects with the Federal Ministry of Infrastructure and Communities and find out which ones are most likely to be funded and report

back to Council with a prioritized list based on the Ministry's feedback.

Amendment:

Moved By Councillor Loveday

Seconded By Councillor Dubow

Including the skate and bike park at Topaz Park and Heron point and Raynor Point Bridges

CARRIED UNANIMOUSLY

On the main motion as amended:

That Council receive the following for information.

That Council direct staff to share all of these projects with the Federal Ministry of Infrastructure and Communities and find out which ones are most likely to be funded and report back to Council with a prioritized list based on the Ministry's feedback including the skate and bike park at Topaz Park and Heron point and Raynor Point Bridges.

CARRIED UNANIMOUSLY

D.1.a.a.e

Appendix E – H.1.b. Open Air Recovery –Support for Restaurants and Cafes in Public Spaces

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That Council endorse the proposed program described in Appendix E - H.1.b. *Open Air Recovery – Support for Restaurants and Cafes in Public Spaces*.

CARRIED UNANIMOUSLY

D.1.a.a.f

Appendix E - H.1.d. Increasing Physical Distancing for Pedestrians in Public Space

Moved By Councillor Isitt

Seconded By Councillor Loveday

That Council endorse the proposed programs to provide additional space for physical distancing for pedestrians.

CARRIED UNANIMOUSLY

Moved By Councillor Isitt
Seconded By Councillor Loveday

That Council endorse the proposed closure for the section along Fort and View Street.

FOR (6): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday, and Councillor Potts,

OPPOSED (2): Councillor Young, and Councillor Thornton-Joe

CARRIED (6 to 2)

D.1.a.a.g Appendix E – H.1.g. Assistance with Recovery Phase for Business and H.1.n Hospitality Industry

Moved By Councillor Alto
Seconded By Councillor Loveday

That Council adopt the proposed *Business Recovery from Pandemic Bylaw* that would:

- Temporarily delegate all Development Permits and Heritage Alteration Permits proposing outdoor commercial use, with or without parking variances, to staff subject to the applicant providing the City with an irrevocable undertaking to remove any construction or alteration authorized by the Permit within six months and to restore the property to its current conditions.
- Waive fees for all delegated Development Permits and Heritage Alteration Permits proposing outdoor commercial use, with or without parking variances.

CARRIED UNANIMOUSLY

D.1.a.a.h Appendix E - H.1.f. Commercial Loading Zones to Free Time Limited Zones

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council endorse the approach to commercial loading zones described below within the context of broader demands for these zones plus potential for use to support Covid19 recovery efforts.

CARRIED UNANIMOUSLY

D.1.a.a.i Appendix E - Liquor Licensing changes resulting from the COVID-19 pandemic

Moved By Councillor Loveday
Seconded By Councillor Potts

That Council direct staff to inform the General Manager of the Liquor and Cannabis Regulation Branch in writing that Council pre-approves all liquor primary and manufacturer establishments in the City of Victoria who may apply for expanded liquor service area before October 31, 2020.

CARRIED UNANIMOUSLY

E. BYLAWS

E.1 Vehicles for Hire Bylaw

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council:

1. Give first, second, and third readings to Vehicles for Hire Bylaw, Amendment Bylaw (No. 21), No. 20-071
2. Reconsider and adopt Vehicles for Hire Bylaw, Amendment Bylaw (No. 21), No. 20-071

CARRIED UNANIMOUSLY

E.2 Business Recovery from Pandemic Bylaw

Moved By Mayor Helps
Seconded By Councillor Alto

That Council:

1. Give first, second, and third readings to Business Recovery from Pandemic Bylaw, No. 20-072
2. Reconsider and adopt Business Recovery from Pandemic Bylaw, No. 20-072

CARRIED UNANIMOUSLY

F. ADJOURNMENT

Moved By Councillor Alto

Seconded By Councillor Potts

That the Committee of the Whole Meeting be adjourned at 2:52 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



MINUTES - VICTORIA CITY COUNCIL

June 25, 2020, 2:00 P.M.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Due to the COVID-19 Pandemic, public access to City Hall is not permitted.

This meeting may be viewed on the City's webcast at www.victoria.ca

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, and Councillor Young

**PRESENT VIA
ELECTRONIC
PARTICIPATION:** Councillor Isitt

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, C. Coates - City Clerk, T. Soulliere - Director of Parks, Recreation & Facilities, T. Zworski - City Solicitor, B. Eisenhower - Head of Engagement, K. Hoese - Director of Sustainable Planning and Community Development, P. Bellefontaine - Acting Director of Engineering & Public Works, A. Hudson - Assistant Director of Community Planning, C. Havelka - Deputy City Clerk, C. Mycroft - Manager of Executive Operations, K. Moore - Head of Business and Community Relations, A. James - Head of Strategic Operations, P. Angelblazer - Committee Secretary

B. APPROVAL OF AGENDA

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the agenda be approved.

CARRIED UNANIMOUSLY

C. READING OF MINUTES

C.1 Minutes from the daytime meeting held May 21, 2020

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

Council to Follow Committee of the Whole Minutes

June 25, 2020

That the minutes from the daytime meeting held May 21, 2020 are adopted
CARRIED UNANIMOUSLY

D. PROCLAMATIONS

D.1 "Pride Week" - June 28 to July 5, 2020

Moved By Councillor Alto
Seconded By Councillor Thornton-Joe

That the following proclamation be endorsed:

1. "Pride Week" - June 28 to July 5, 2020

CARRIED UNANIMOUSLY

D.2 "Parachute National Injury Prevention Day" - July 6, 2020

Moved By Councillor Thornton-Joe
Seconded By Councillor Loveday

That the following proclamation be endorsed:

1. "Parachute National Injury Prevention Day" - July 6, 2020

CARRIED UNANIMOUSLY

E. REPORTS OF COMMITTEE

E.1 Committee of the Whole

E.1.a Report from the June 18, 2020 COTW Meeting

**E.1.a.a 580 and 582 Niagara Street: Rezoning Application No. 00721
(James Bay)**

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No.00721 for 580-582 Niagara Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution on the property's title to secure:
 - a. a Statutory Right of Way, to the satisfaction of the Director of Engineering; and
 - b. a Housing Agreement to secure two of the four units as rental in perpetuity.

CARRIED UNANIMOUSLY

**E.1.a.b324/328 Cook Street and 1044, 1048 and 1052/1054
Pendergast Street: Rezoning Application No. 00634 and DPV
No. 000527 - Advance for Consideration after Signage
Replaced (Fairfield)**

Council discussed the following:

- *Concerns about the proposal's affordability*

Moved By Councillor Young
Seconded By Councillor Alto

Rezoning Application No. 00634

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00634 for 324/328 Cook Street and 1044, 1048 and 1052/1054 Pendergast Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of the following legal agreements:
 - a. Statutory Right-of-Way securing 1.38 metres of the site adjacent to Pendergast Street, to the satisfaction of the Director of Engineering and Public Works.
 - b. Housing Agreement ensuring that future strata bylaws cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development.
 - c. Section 219 Covenant securing an amenity contribution in the amount of \$136,163.47 toward the Local Amenities Reserve Fund, to the satisfaction of the Director of Sustainable Planning and Community Development.
 - d. Section 219 Covenant to secure the construction of the following public realm improvements, to the satisfaction of the Director of Engineering and Public Works:
 - i. raingardens along Pendergast Street;
 - ii. enhanced boulevard planting and low seating walls;
and
 - iii. permeable and impermeable concrete sidewalk pavers.

- e. Section 219 Covenant to secure the maintenance of the proposed rain gardens and boulevard planting for a period of one year to the satisfaction of the Director of Parks, Recreation and Facilities.
 - f. Section 219 Covenant securing an amenity contribution in the amount of \$161,356.80 toward the Victoria Housing Reserve Fund, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Update report to Council on the potential acquisition of the commercial strata unit located at 380 Cook Street at 25% below market value.

Development Permit with Variance No. 000527

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council and after the Public Hearing for Rezoning Application No. 00634, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00527 for 324/328 Cook Street and 1044, 1048, 1052/1054 Pendergast Street, in accordance with:

1. Receipt of final plans, generally in accordance with the plans date stamped October 9, 2019, with refinement of the artwork panels and to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase the building height from 13.5m to 16.2m (to the projecting portions of the roof).
3. The Development Permit lapsing two years from the date of this resolution.”

FOR (6): Mayor Helps, Councillor Alto, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, and Councillor Young

OPPOSED (2): Councillor Dubow, and Councillor Isitt

CARRIED (6 to 2)

E.1.a.c Electric Vehicle Ready Requirements for New Construction

Moved By Councillor Loveday

Seconded By Councillor Alto

That Council:

1. Direct staff to forward Zoning Amendment Bylaw Nos. 20-001 and 20-075 to require that Electric Vehicle (EV) readiness be

Council to Follow Committee of the Whole Minutes

June 25, 2020

provided for all new residential development and five percent of new institutional, commercial and industrial development to the July 9th Council meeting for introductory readings.

2. Direct staff to monitor EV demand and the use of charging infrastructure in institutional, commercial and industrial land uses and bring forward recommended amendments to the requirement levels as deemed necessary.

CARRIED UNANIMOUSLY

E.1.a.d Council Member Motion: Alternative Response

Council discussed the following:

- *The aims and composition of the Community Wellness and Peer-Informed Taskforce*

Moved By Councillor Alto

Seconded By Councillor Potts

1. A) That Council direct staff to report back on how to develop a framework for an accessible, culturally safe, and appropriate Alternative Response model in time for consideration as part of Council's 2021 budget deliberations, and that this process include research to review and consider other municipalities' approaches to alternative response models including the Cahoots model, and consideration of what community wellness and safety means to communities in Victoria.

B) That the first public dialogue of what community wellness and safety means to communities in Victoria be achieved via a virtual community town hall (due to social distancing requirements) and an information gathering period, ensuring a range of opportunities for individuals and communities to engage, and strong representation of those disproportionately harmed within the current system namely black, Indigenous, and POC communities, TNB2s people, persons with lived and living experience (PWLLE) of poverty, homelessness, mental health challenges, or substance use. This engagement will help inform the development of an Alternative Response and other actions that support community wellness and safety. Funding to be drawn from the unused engagement budget of Councillor Potts or remaining Community Wellness Task Force budget.
2. That Council appoints one or more council liaisons to attend the community partner meetings and engagement sessions that are held in the development of the Alternative Response model.

3. That Council endorse the three overarching statements of the Community Wellness Task Force.
4. That funding for this initial project development work be drawn from the remaining research budget in the Community Wellness Task Force budget and the 2020 contingency if needed.

Amendment:

Moved By Councillor Dubow

Seconded By Mayor Helps

5. **That staff report back on how they plan to engage.**

CARRIED UNANIMOUSLY

On the main motion as amended:

1. A) That Council direct staff to report back on how to develop a framework for an accessible, culturally safe, and appropriate Alternative Response model in time for consideration as part of Council's 2021 budget deliberations, and that this process include research to review and consider other municipalities' approaches to alternative response models including the Cahoots model, and consideration of what community wellness and safety means to communities in Victoria.

B) That the first public dialogue of what community wellness and safety means to communities in Victoria be achieved via a virtual community town hall (due to social distancing requirements) and an information gathering period, ensuring a range of opportunities for individuals and communities to engage, and strong representation of those disproportionately harmed within the current system namely black, Indigenous, and POC communities, TNB2s people, persons with lived and living experience (PWLLE) of poverty, homelessness, mental health challenges, or substance use. This engagement will help inform the development of an Alternative Response and other actions that support community wellness and safety. Funding to be drawn from the unused engagement budget of Councillor Potts or remaining Community Wellness Task Force budget.
2. That Council appoints one or more council liaisons to attend the community partner meetings and engagement sessions that are held in the development of the Alternative Response model.
3. That Council endorse the three overarching statements of the Community Wellness Task Force.

4. That funding for this initial project development work be drawn from the remaining research budget in the Community Wellness Task Force budget and the 2020 contingency if needed.
5. That staff report back on how they plan to engage.

CARRIED UNANIMOUSLY

F. BYLAWS

F.1 Bylaws for 359-369 Tyee Road (Dockside Green): Development Permit Application No. 000550

Moved By Councillor Alto

Seconded By Councillor Loveday

That the following bylaw **be given first, second, and third readings:**

1. Housing Agreement (359, 363, & 369 Tyee Road) Bylaw (2020) No. 20-045
2. Housing Agreement (359, 363, & 369 Tyee Road) Bylaw (2020) No. 20-046

CARRIED UNANIMOUSLY

F.2 Bylaw for 1302 Finlayson Street: Rezoning Application No. 00687 and Development Permit with Variances Application No. 000546

Moved By Councillor Alto

Seconded By Councillor Potts

That the following bylaw **be given first and second readings:**

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1224) No. 20-051

CARRIED UNANIMOUSLY

F.3 Bylaw for 1023 Tolmie Avenue: Rezoning Application No. 00672 and Development Permit with Variances Application No. 00097

Moved By Councillor Loveday

Seconded By Councillor Potts

That the following bylaw **be given first and second readings:**

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1227) No. 20-064

CARRIED UNANIMOUSLY

G. CLOSED MEETING

Moved By Councillor Loveday

Seconded By Councillor Potts

MOTION TO CLOSE THE JUNE 25, 2020 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Section 90(1)(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;

Section 90(1)(c) labour relations or other employee relations;

Section 90(1)(e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

Section 90(1)(g) litigation or potential litigation affecting the municipality;

Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;

H. APPROVAL OF CLOSED AGENDA

Moved By Councillor Loveday

Seconded By Councillor Alto

That the closed agenda be approved.

Amendment:

Moved By Mayor Helps

Seconded By Councillor Alto

That the following items are referred to the next closed meeting:

- L.2 – Appointments – Community Charter Section 90(1)(a)
- L.3 – Appointments – Community Charter Section 90(1)(a)
- L.4 – Appointments – Community Charter Section 90(1)(a)

CARRIED UNANIMOUSLY

Amendment:

Moved By Mayor Helps

Seconded By Councillor Loveday

That the Agenda of the June 25, 2020, Closed Victoria City Council meeting be amended as follows:

Consent Agenda:

J.1 - Minutes from the closed meeting held May 21, 2020

J.2 - Minutes from the closed Committee of the Whole meeting held May 21, 2020

L.4 – Land – Community Charter Section 90(1)(e)

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

I. CONSENT AGENDA

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the following items be approved without further debate.

CARRIED UNANIMOUSLY

J.1 Minutes from the closed meeting held May 21, 2020

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the minutes from the closed meeting held May 21, 2020 be adopted.

CARRIED UNANIMOUSLY

J.2 Minutes from the closed Committee of the Whole meeting held May 21, 2020

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the minutes from the closed Committee of the Whole meeting held May 21, 2020 be adopted.

CARRIED UNANIMOUSLY

L.4 Land - Community Charter Section 90(1)(e)

Council discussed a land advice matter.

The motion was recorded and kept confidential.

K. UNFINISHED BUSINESS

K.1 Litigation / Legal Advice - Community Charter Section 90(1)(g)&(i)

Council discussed a litigation/legal advice matter

The motion was recorded and kept confidential.

L. NEW BUSINESS

L.5 Legal Advice - Community Charter Section 90(1)(i)

Council discussed a legal advice matter.

The motion was recorded and kept confidential.

L.6 Litigation / Legal Advice - Community Charter Section 90(1)(g)&(i)

Council discussed a litigation/legal advice matter.

The discussion was recorded and kept confidential.

All staff except for the City Manager withdrew from the meeting at 3:32 p.m.

L.7 Employee Relations - Community Charter Section 90(1)(c)

Council discussed an employee relations matter.

M. ADJOURNMENT

Moved By Councillor Alto

Seconded By Councillor Dubow

That the Council Meeting be adjourned at 3:45 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



MINUTES - VICTORIA CITY COUNCIL

July 2, 2020, 3:27 P.M.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Due to the COVID-19 Pandemic, public access to City Hall is not permitted.

This meeting may be viewed on the City's webcast at www.victoria.ca

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Potts, Councillor Thornton-Joe, Councillor Young

ABSENT: Councillor Isitt, Councillor Loveday, Councillor Dubow

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, C. Coates - City Clerk, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, J. Jensen - Head of Human Resources, K. Hoese - Director of Sustainable Planning and Community Development, C. Havelka - Deputy City Clerk, C. Mycroft - Manager of Executive Operations, AK Ferguson - Committee Secretary

B. APPROVAL OF AGENDA

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council add the Committee of the Whole Report of July 2, 2020 to the agenda.

CARRIED UNANIMOUSLY

C. READING OF MINUTES

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the following minutes be adopted:

1. Minutes from the daytime meeting held May 14, 2020
2. Minutes from the daytime meeting held May 28, 2020
3. Minutes from the daytime meeting held June 11, 2020
4. Minutes from the evening meeting held June 11, 2020

5. Minutes from the daytime meeting held June 18, 2020

CARRIED UNANIMOUSLY

D. REPORTS OF COMMITTEE

D.1 Committee of the Whole

D.1.a Report from the June 11, 2020 COTW Meeting

D.1.a.a Council Member Motion - Late Items for the Agendas

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That this matter be reviewed as part of the governance review.

CARRIED UNANIMOUSLY

D.1.b Report from the June 25, 2020 COTW Meeting

D.1.b.a 1023 Tolmie - Update Report for Rezoning Application No. 00672 and Development Permit with Variances Application No. 00097 for 1023 Tolmie Avenue (Hillside-Quadra)

Moved By Councillor Alto

Seconded By Councillor Young

Rezoning Application No. 00672

That first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set for the proposed development outlined in Rezoning Application No. 00672 for 1023 Tolmie Avenue.

Development Permit with Variances No. 00097

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00627, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00097 for 1023 Tolmie Avenue, in accordance with:

1. Plans date stamped April 6, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front yard setback on the south lot from 6.0m to 4.2m to the building and 3.0m to the deck;
 - ii. reduce the rear yard setback on the south lot from 6.0m to 3.5m;

- iii. reduce the south side yard setback on the south lot from 2.4m to 1.5m for any portion of a dwelling used for habitable space and which has a habitable window; and
 - iv. reduce the south side yard setback on the north lot from 2.4m to 1.73m for any portion of a dwelling used for habitable space and which has a habitable window.
3. The Development Permit lapsing two years from the date of this resolution.

CARRIED UNANIMOUSLY

**D.1.b.b BC Housing's Affordable Homeownership Program
Memorandum of Understanding**

Moved By Councillor Alto

Seconded By Councillor Potts

That Council authorize the Mayor and City Clerk to execute a memorandum of understanding ("MOU") with BC Housing, on the terms satisfactory to the City's Director of Sustainable Planning and Community Development, and in the form satisfactory to the City Solicitor, to guide the City of Victoria's participation in BC Housing's Affordable Home Ownership ("AHO") Program, generally in accordance with the following terms and conditions:

- a. that contributions by BC Housing in the form of below market construction financing, from the City in the form of extra density, parking and other zoning relaxations, and from the developer in the form of in-kind community amenity contributions, will be pooled to reduce the cost of home ownership to eligible participants;
- b. that for all AHO Program participants, homes will be sold to eligible purchasers at fair market value, but a portion of the purchase price (between 10% - 20%) will be covered by a 25 year interest free mortgage in favour of BC Housing (known as the second mortgage);
- c. that eligible purchasers must meet a number of eligibility criteria, principal among which is that their household income cannot exceed the 75th income percentile for families with children for units with two or more bedrooms, and for families without children for units with less than two bedrooms, as determined by BC Housing from time to time;
- d. that the second mortgage will not be repayable until the owner defaults on any mortgage registered against title, until there is a change of ownership to a non-qualifying buyer, or to a qualified buyer (through registration discharge of the existing mortgage and a new second mortgage on title of the new qualified buyer), or if the unit ceases to be the owner's principal residence during the first five years of ownership or the 25 year term ends;
- e. that when that mortgage is repayable, a percentage (between 10% - 20%) of the sale price equivalent to the percentage of the vendor's

original purchase price secured by that mortgage will be payable to BC Housing;

- f. that once each year all such second mortgage proceeds collected by BC Housing will be transferred to the Victoria Housing Reserve Fund, less 2% to cover its administration costs; and
- g. that this MOU is non-binding and nothing in the MOU is to be construed as limiting Council, the City, or any City official in exercising their discretion with regard to any rezoning, permitting or subdivision of lands.

CARRIED UNANIMOUSLY

D.1.b.c First Triannual Accountability Report 2020

Moved By Mayor Helps

Seconded By Councillor Potts

That Council receive this report for information.

CARRIED UNANIMOUSLY

D.1.b.d Sheltering in Place

Moved By Councillor Potts

Seconded By Mayor Helps

That Council reaffirms the existing direction, consistent with advice of Public Health Officials to reduce the risk of transmission of COVID-19, of sheltering-in-place through deferred enforcement of the 7am-7pm bylaw provision in locations where overnight sheltering is permitted until advice is received from the Provincial Health Officer or Island Health Medical Officer that updates or changes the direction from the June 8th guidance from the BC Centre for Disease Control, "Responses to Homeless Encampment Health Issues in the Context of COVID-19"

Direct staff to report back July 9 on access to basic needs such as clean water, hygiene, sanitation and basic services.

The City Manager report back if more budget is required for staffing in relation to sheltering in parks.

FOR (4): Mayor Helps, Councillor Alto, Councillor Potts, and Councillor Thornton-Joe
OPPOSED (1): Councillor Young

CARRIED (4 to 1)

**D.1.b.e 1010 Fort Street - Update for Rezoning Application No. 00643
(Harris-Green)**

Moved By Councillor Thornton-Joe

Seconded By Councillor Young

That Council decline Rezoning Application No. 00643 for the property located at 1010 Fort Street.

That Council decline Development Permit with Variances Application No. 00079 for the property located at 1010 Fort Street.

FOR (2): Councillor Thornton-Joe, and Councillor Young

OPPOSED (3): Mayor Helps, Councillor Alto, and Councillor Potts

DEFEATED (2 to 3)

Moved By Mayor Helps

Seconded By Councillor Alto

To refer the application back to staff to work with the applicant to develop a proposal more in keeping with all the design guidelines for the subject property.

CARRIED UNANIMOUSLY

Moved By Mayor Helps

Seconded By Councillor Alto

That Council direct staff to request that the applicant pay the \$250,000 into the city's housing reserve trust fund prior to the December 31, 2020 deadline.

CARRIED UNANIMOUSLY

D.1.b.f 2558 Quadra Street - Update to the Housing Agreement for Rezoning Application No. 00707

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council amend condition #2 in the March 12, 2020 Council resolution for the Rezoning Application No. 00707 at 2558 Quadra Street so that it reads:

1. Preparation and execution of a Housing Agreement for a term of 60 years to secure the building as rental, on terms to the satisfaction of the Director of Sustainable Planning and Community Development.

CARRIED UNANIMOUSLY

D.1.b.g Everyday Creativity Grant Program

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

That Council:

1. Approves the new one-time Everyday Creativity Grant Program and Guidelines.

2. Approves a rolling intake until December 31, 2020 and authorizes the City Manager to approve the grants following the staff review process.
3. Direct staff to report back at the end of the year on grant allocations and evaluation of the grant program.

CARRIED UNANIMOUSLY

D.1.b.h Ministerial Order M192 - Open Meetings Public Attendance

Moved By Councillor Potts

Seconded By Councillor Thornton-Joe

That Council, pursuant to Ministerial Order M192 of the Minister of Public Safety and Solicitor General, passed June 17, 2020, authorize that until there are changes to the restrictions on gatherings and social distancing requirements, all open meetings of Council, including Committee of the Whole shall be conducted without members of the public present in council chambers. That openness, transparency, accessibility and accountability of these meetings are ensured subject to the provision of:

1. Full live-stream webcasting and archived meetings on the City's website, including closed captioning services for all open meetings.
2. Public participation by electronic means for request to address council and question period for regular meetings of council.
3. Remote participation for opportunities for public comment and public hearings through:
 - a. Written submissions
 - b. Pre-recorded video submissions
 - c. Pre-registered speakers list (remote participation)
 - d. Real-time call-in during the hearing

CARRIED UNANIMOUSLY

D.1.b.i Council Member Motion - Financial Contribution toward the City of New Westminster's Legal Costs

Moved By Councillor Potts

Seconded By Mayor Helps

That Council authorize staff to offer an expenditure of \$5,000 from the 2020 contingency as a contribution toward the City of New Westminster's legal costs of defending an appeal in relation to the *Business Regulations and Licensing (Rental Units) Bylaw No. 6926*.

FOR (4): Mayor Helps, Councillor Alto, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (4 to 1)

D.1.c Report from the July 2, 2020 COTW Meeting

D.1.c.a Appointment of Bylaw Officers

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council approve the appointment of Tina Lockhart, Anna Kebaïen, and Tyrus Sleightholme:

1. As a Bylaw Officer pursuant to section 2(a) of the Inspection Bylaw (06-061); and
2. As a Business Licence Inspector for the City of Victoria

CARRIED UNANIMOUSLY

D.1.c.b Appointment of Animal Control Officer

Moved By Councillor Alto
Seconded By Councillor Thornton-Joe

That Tyson Taylor be appointed as

1. “Animal Control Officer” pursuant to section 49(1) of the Community Charter, and
2. That his appointment be rescinded upon termination of his employment by Victoria Animal Control Services Ltd.

CARRIED UNANIMOUSLY

D.1.c.c Proposed Capital Regional District Liquid Waste Management Core Area and Western Communities Service Establishment Bylaw No. 4304

Moved By Mayor Helps
Seconded By Councillor Potts

That Council consent to the adoption of Capital Regional District Bylaw 4304, “Liquid Waste Management Core Area and Western Communities Service Establishment Bylaw No. 1, 1995, Amendment Bylaw No. 3, 2020”

CARRIED UNANIMOUSLY

D.1.c.d. Increase Arts in Public Places Committee Membership

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

To amend the Terms of Reference for number of members to a minimum of 5 and a maximum of 7.

CARRIED UNANIMOUSLY

E. BYLAWS

E.1 Bylaws for 359-369 Tyee Road (Dockside Green): Development Permit Application No. 000550

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That the following bylaw **be adopted**:

1. Housing Agreement (359, 363, & 369 Tyee Road) Bylaw (2020) No. 20-045
2. Housing Agreement (359, 363, & 369 Tyee Road) Bylaw (2020) No. 20-046

CARRIED UNANIMOUSLY

F. CLOSED MEETING

Moved By Councillor Young

Seconded By Councillor Potts

MOTION TO CLOSE THE JULY 2, 2020 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

- *Section 90(1)(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;*
- *Section 90(1)(c) labour relations or other employee relations;*
- *Section 90(1)(f) law enforcement, if the council considers that disclosure could reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment;*
- *Section 90(1)(g) litigation or potential litigation affecting the municipality; and*
- *Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose.*

CARRIED UNANIMOUSLY

G. APPROVAL OF CLOSED AGENDA

K. NEW BUSINESS

K.1 Intergovernmental Relations - Community Charter Section 90(2)(b)

This matter was referred to the July 9, 2020 Closed Council Meeting

K.2 Appointment – Community Charter Section 90(2)(b)

Council discussed an appointment matter.

The discussion and motion were recorded and kept confidential.

K.3 Appointment – Community Charter Section 90(2)(b)

Council discussed an appointment matter.

The discussion and motion were recorded and kept confidential.

K.4 Appointment – Community Charter Section 90(2)(b)

Council discussed an appointment matter.

The discussion and motion were recorded and kept confidential.

K.5 Legal Advice/Litigation - Community Charter Section 90(1)(g) and (i)

Council discussed a Legal Advice/Litigation matter.

The discussion and motion were recorded and kept confidential.

K.6 Law Enforcement - Community Charter Section 90(1)(f)

Council discussed a law enforcement matter.

The discussion was recorded and kept confidential.

K.7 Employee Relations - Community Charter Section 90(1)(c)

Council discussed an Employee Relations matter.

The discussion was kept confidential.

M. ADJOURNMENT

Moved By Councillor Alto

Seconded By Councillor Potts

That the Closed Council Meeting be adjourned at 5:20 p.m.

CITY CLERK

MAYOR

“WORLD PVNH DISORDER AWARENESS DAY”

WHEREAS *August 7 has been declared World PVNH Disorder Awareness Day, as created in BC in 2012 by PVNH Support & Awareness founder, Yolaine Dupont, and recognized by PVNH experts in nine countries, including Canada; and*

WHEREAS *PVNH (Periventricular Nodular Heterotopia) is a rare neuronal migration disorder that affects babies, children and adults alike around the world; and*

WHEREAS *the City of Victoria is proud to support PVNH Support & Awareness, a BC-based patient organization that offers support to more than 550+ individuals and families affected by PVNH and other neuronal heterotopia disorders in Canada and in 33 other countries worldwide; and*

WHEREAS *PVNH is not known to most medical professionals; and*

WHEREAS *increased awareness, education and research are needed to find more effective treatments and therapies for side effects and, ultimately, a cure; and*

NOW, THEREFORE I do hereby proclaim Friday, August 7th, 2020 as “**WORLD PVNH DISORDER AWARENESS DAY**” on the **HOMELANDS** of the Lekwungen speaking **SONGHEES AND ESQUIMALT PEOPLE** in the **CITY OF VICTORIA, CAPITAL CITY** of the **PROVINCE** of **BRITISH COLUMBIA**.

IN WITNESS WHEREOF, I hereunto set my hand this July 23rd, Two Thousand and Twenty.

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored by:
Yolaine Dupont
PVNH Support & Awareness

“HIBASHUKA REMEMBRANCE WEEK”

WHEREAS *August 6th and 9th 2020 mark the 75th anniversary of the nuclear bombing of Hiroshima and Nagasaki; and*

WHEREAS *these are appropriate days for the world to stand with the Hibakusha, the survivors of the bombings and their families, to ensure that the tragedy is never repeated; and*

WHEREAS *Victoria area faith communities and peace organizations have united in the Bells for Peace Campaign, which will see church bells and memorial bells rung in remembrance across the region and around the world on August 6th and 9th at the hours the bombs dropped; and*

NOW, THEREFORE *I do hereby proclaim the week of August 2nd – 9th, 2020 as “HIBASHUKA REMEMBRANCE WEEK” on the HOMELANDS of the Lekwungen speaking SONGHEES AND ESQUIMALT PEOPLE in the CITY OF VICTORIA, CAPITAL CITY of the PROVINCE of BRITISH COLUMBIA.*

IN WITNESS WHEREOF, *I hereunto set my hand this July 23rd, Two Thousand and Twenty.*

**LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA**

Sponsored by:
*William Geimer
Victoria Multifaith Society
World Beyond War Victoria*

COMMITTEE OF THE WHOLE REPORT
FROM THE MEETING HELD JULY 16, 2020

For the Council meeting of July 23, 2020, the Committee recommends the following:

D.1 Strategic Grant Review Committee Recommendations

That Council approve the External Grant Review Committee's recommendations for grant awards for the Strategic Plan Grant program.

Allocate the entire amount requested to the Burnside Gorge Community Association to the Family Self Sufficiency Program for \$5,000 from contingency.

Allocate \$4,800 to Theatre Skam from contingency.

That \$2,250 be awarded to the Archaeology in Schools program from the balance of the contingency fund.

1. Amendments to Application Form:

- a. In Section Six, add this question:
 - What percentage of participants are residents of the City of Victoria?
- b. In Section Six, in response to "How many will benefit from the project or program?" add:
 - Request applicants to provide a short answer to this question.
- c. In Section Seven, add this question:
 - What is the minimum level of funding required for the program or project to occur? And provide room for comment.

2. The Application Process:

Direct staff to report to Council on an annual basis before the strategic plan grant process begins for direction from Council as to whether there should be a particular focus for the year's strategic grant stream and direct staff to request an annual strategic plan priority ranking from Councillors to assist in assessing the strategic plan grants.

Add to the grant application process:

- How did you consider the impact of the under-served communities in the development of your program?
- How does the program advance Council's stated values on equity?
- How does this program build community capacity and empower communities most impacted by inequalities?

D.1.c Council Member Motion: Support for Destination Greater Victoria and VIATEC to promote local economic recovery

That Council authorize grant funding for VIATEC in the amount of \$20,000 and Destination Greater Victoria in the amount of \$24,000, requested in their Strategic Grant Plan applications and that this funding be allocated from the 2020 Contingency fund.

G.1 Local Government Recommendation for the Herbert Collins Group Inc. at 1010 Cook Street

1. That Council direct staff to advise the Liquor and Cannabis Regulation Branch:
The Council of the City of Victoria supports the application of the Herbert Collins Group Inc. at 1010 Cook Street to receive a provincial cannabis retail store license with following comments:
 - a. The Council recommends that the LCRB issue a license to the Herbert Collins Group Inc. at 1010 Cook Street.
 - b. City staff did not raise any concerns about this referral in terms of community impacts.
 - c. The views of residents were solicited through a mail-out to property owners and occupiers within 100 meters of this address and to the relevant neighbourhood association.
The City sent 829 notices and received 15 letters in response. The City did not receive correspondence from the Fairfield-Gonzales Community Association for this referral.
Of the 15 respondents, 9 support issuing a license and 6 oppose issuing a license.
Respondents opposed to issuing a license identified the following issues: cannabis consumption in the area, safety and security of residents and property in the area, and compatibility with residential and recreational uses in the area.
 - d. The Council wishes the Province to make its own deliberations about the fact that this operation remained in operation for up to 2 weeks following legalization.
2. That Council direct staff to advise the LCRB of Council's recommendation subject to the applicant's compliance with applicable City bylaws and permits.

G.2 Youth Bus Passes - Proposed Funding September to December 2020

That Council:

1. Approve funding of up to \$200,000 from the 2020 contingency budget to fund fare free bus passes for youth 18 years and younger who live in the City of Victoria from September to December 2020
2. Direct staff to bring forward funding options for the continuation of this program or the establishment of a U-Pass program, depending on ridership levels, as part of the 2021 financial planning process

I.1 Council Member Motion: Ending Street Checks in the City of Victoria

That Council endorse the following resolution and direct staff to forward a copy to the Victoria and Esquimalt Police Board:

Resolution: Ending Street Checks in the City of Victoria

WHEREAS street checks occur when police or other law enforcement officers stop an individual for reasons: (1) not related to a reported or observed criminal offence, (2) not related to an investigation of a reported or observed criminal offence, or (3) not part of a random vehicle check;

AND WHEREAS carding is the practice of recording information about an individual who is the subject of a street check in a police database;

AND WHEREAS available data points to a pattern of discrimination against Black, Indigenous, people of colour (BIPOC) and unhoused people in the deployment of this tactic in various jurisdictions;

AND WHEREAS the harmful effects of street checks have been well-documented across Canada and found to disproportionately and negatively impact members of the BIPOC community and unhoused people;

AND WHEREAS the City of Victoria has adopted a strategic plan that includes ensuring a welcoming, compassionate and neighbourly atmosphere in our community where all people are welcomed, accepted, respected and encouraged to participate;
 AND WHEREAS the City of Victoria is committed to ending racism and has an important role to play in making a collective response to end fear-mongering, racism and human suffering;
 AND WHEREAS police boards and police departments should take into account the priorities, goals and objectives of local communities when establishing fiscal and operational policies;
 THEREFORE BE IT RESOLVED THAT Victoria City Council declares that street checks and carding are against the priorities, goals and objectives of the City of Victoria;
 AND BE IT FURTHER RESOLVED THAT Council requests that the Victoria and Esquimalt Police Board and the Victoria Police Department take immediate action to implement a ban on street checks and carding in the City of Victoria.

Council requests that the Police Chief and Director of Police Services present to Council with respect to provincial direction and current VicPD practices with respect to police checks.

I.2 Council Member Motion: International Decade for People of African Descent

Therefore, be it resolved as follows:

1. That the City of Victoria joins the government of Canada, the province of Ontario, the cities of Toronto and Ottawa, in acknowledging the International Decade for People of African Descent for the purpose of promoting respect, protection and fulfillment of all human rights and fundamental freedoms of people of African descent, as recognized in the Universal Declaration on Human Rights.
 That Council directs staff to report back at the Period 2 2020 Update on the resource implications of reporting back as part of the 2021 budget on how to implement the International Decade of People of African Descent from 2021-2024 including:
2.
 - i) Raising awareness in the general public about the heritage and culture of people of African descent and around the International Decade of People of African Descent's broader goals and actions in Victoria.
 - ii) Delivering anti-racism including anti-black racism training to prevent systematic racism in city policy, bylaws, programs and services.
3. Creating an advisory committee of people of African descent to work with and advise staff between 2021-2024 on the implementation of the International Decade for People of African Descent and commitment to People of African descent.
4. Developing a capacity building grant program for Black-led organizations, black business owners, and institutions supporting and working with people of African descent.
5. Tracking and demonstrating progress with respect to City hiring practices at all levels to reflect the diversity of the community.
6. Creating internship opportunities for people of African descent to diversify the city's workforce



Council Report

For the Meeting of July 23, 2020

To: Council **Date:** July 9, 2020

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Development Permit with Variances Application No. 00040 and Heritage Alteration Permit with Variance No. 00015 for 2251 Lydia Street**

RECOMMENDATIONS

Development Permit with Variances Application No. 00040

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00040 for 2251 Lydia Street, in accordance with:

1. Plans date stamped **June 2, 2020**
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the minimum rear yard setback on Lot 2 from 6.00m to 5.25m
 - ii. reduce the minimum (south) side yard setback on Lot 2 from 2.40m to 1.50m
 - iii. reduce the minimum (north) side yard setback on Lot 2 from 2.40m to 1.64m
 - iv. reduce the minimum rear yard setback on Lot 3 from 6.00m to 4.80m
 - v. reduce the minimum (east) side yard setback on Lot 3 from 2.40m to 1.50m.
3. The Development Permit lapsing two years from the date of this resolution"

Heritage Alteration Permit with Variance Application No. 00015

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Heritage Alteration Permit with Variances Application No. 00015 for 2251 Lydia Street for the existing house, in accordance with:

1. Plans date stamped **June 2, 2020**
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
 - i. reduce the minimum side yard setback from 1.5m to 0.6m

3. Final plans to be generally in accordance with the plans identified above to the satisfaction of the Assistant Director, Development Services Division, Sustainable Planning and Community Development, with the changes recommended by the Heritage Advisory Panel incorporated into the design.
4. Heritage Alteration Permit lapsing two years from the date of this resolution."

EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update regarding the Development Permit with Variances (DPV) Application for the property located at 2251 Lydia Street. The proposal is for the design and construction of two small lot single family dwellings in the R1-S2 Zone, Restricted Small Lot (Two Storey) District. Associated with this DPV Application is a separate Heritage Alteration Permit with Variance Application for the existing house. These applications will be considered together.

On September 5, 2019, Council passed a motion that included the following direction:

Development Permit with Variances Application No. 00040

That subject to the applicant making revisions to Development Permit with Variances Application No. 00040 for 2251 Lydia Street to the satisfaction of the Director of Sustainable Planning and Community Development to:

- 1. revise the design of Lot 2 (Lydia Street) to improve the street relationship and to change the size and/or glazing of windows on the south elevation; and**
- 2. revise the design of Lot 3 to create more consistency with the Small Lot House Design Guidelines.**

Then Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00040 for 2251 Lydia Street, in accordance with:

- 1. Plans date stamped May 14, 2019*
- 2. Development meeting all Zoning Regulation bylaw requirements, except for the following variances:*
 - i. reduce the minimum rear yard setback on Lot 2 from 6.00m to 5.25m*
 - ii. reduce the minimum (south) side yard setback on Lot 2 from 2.40m to 1.50m*
 - iii. reduce the minimum (north) side yard setback on Lot 2 from 2.40m to 1.64m*
 - iv. reduce the minimum rear yard setback on Lot 3 from 6.00m to 4.80m*
 - v. reduce the minimum (east) side yard setback on Lot 3 from 2.40m to 1.50m.*
- 3. The Development Permit lapsing two years from the date of this resolution"*

Heritage Alteration Permit with Variance Application No. 00015

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Heritage Alteration Permit with Variances Application No. 00015 for 2251 Lydia Street for the existing house, in accordance with:

- 1. Plans, date stamped June 24, 2019.*

2. *Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:*
 - i. *Part 1.23 - reduction of the minimum site yard setback from 1.5m to 0.6m*
3. ***Final plans to be generally in accordance with the plans identified above to the satisfaction of the Assistant Director, Development Services Division, Sustainable Planning and Community Development, with the changes recommended by the Heritage Advisory Panel incorporated into the design.***
4. *Heritage Alteration Permit lapsing two years from the date of this resolution."*

Revisions have been made to the proposed houses to better meet the Small Lot House Design Guidelines and to respond to the recommendations of the Heritage Advisory Panel (see bold in motion).

In summary, the design changes to the new Lydia Street house establish a better street relationship by emphasizing the porch (closer to the street, changing the pitch of the porch roof and adding soffit lighting) and simplifying the materials and palette. Living room windows on the south elevation will be obscured glass to address potential privacy issues.

The Denman Street house revisions create a better contextual fit and better street relationship. This has been achieved by simplifying the materials, introducing double dormers and design details to the entrance gable. Changes to the colour palette emphasize the architectural features of this house and are complementary to the adjacent dwellings.

The Heritage Advisory Panel recommended approval subject to the trim board feature on the house being continued along the top of the garage to better visually tie in with the house. This change has been incorporated into the building permit plans for this addition.

The recommendation provided for Council's consideration contains appropriate language to advance these applications to an Opportunity for Public Comment.

Respectfully submitted,



Lucina Baryluk
Senior Planner
Development Services Division



Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: July 16, 2020

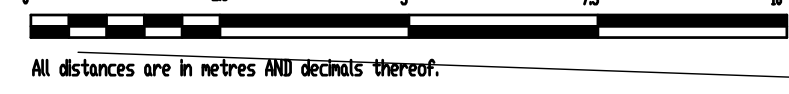
List of Attachments

- Attachment A: Revised plans dated June 2, 2020
- Attachment B: Revised material boards.

SITE PLAN
TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION WITH VARIANCES
PROPOSED LOT 2, SECTION 57,
VICTORIA DISTRICT, PLAN EPP

NEW LYDIA STREET HOUSE
Proposed LOT 2

SCALE = 1 : 100



All distances are in metres AND decimals thereof.

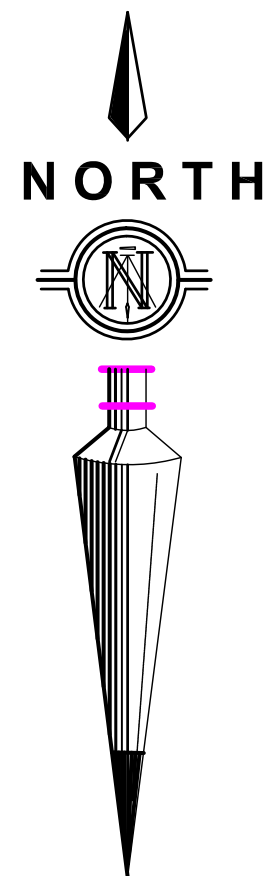
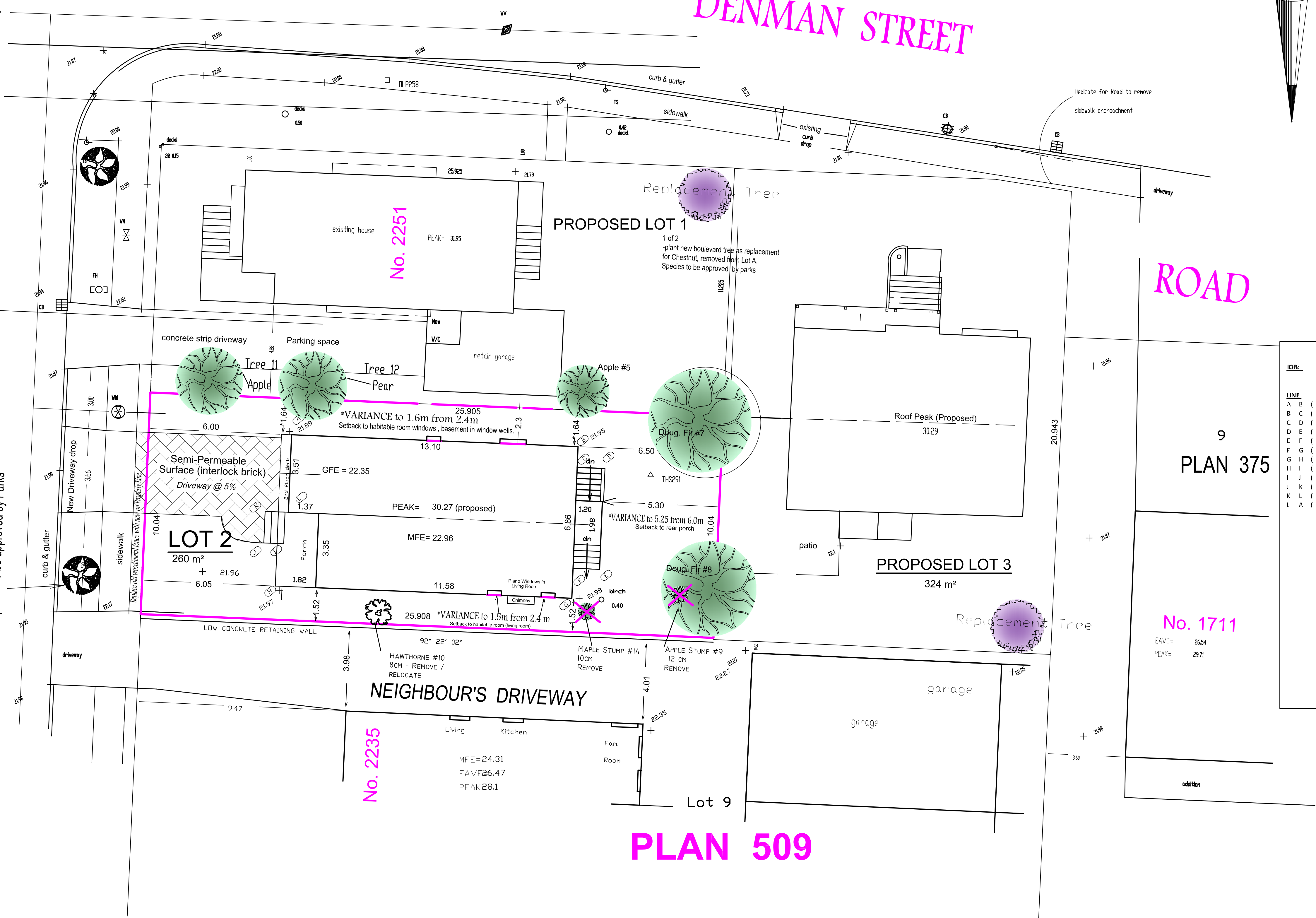
LEGEND

Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m)
Tree bases approximately to scale.

- UL L - denotes Utility Pole with light
- g - denotes guy wire
- CB - denotes Catch Basin
- WM - denotes Water Meter
- TS - denotes Traffic Sign
- FH - denotes fire hydrant
- RWL - denotes Rain Water leader
- 2227 + - denotes existing grade
- denotes Boulevard tree for development
- denotes replacement tree
- denotes existing tree

LYDIA STREET

2 of 2 new boulevard trees,
species to be approved by Parks



PROJECT INFORMATION TABLE

Zoning Item	By-Law Value	Provided
Zoning	R1-S2	
Site Area	260 m ²	260 m ²
Floor Area		
Basement Area >1.8m ceiling AG		55.3 m ² (596 sq.ft.) not incl.
Main Floor		59.3 m ² (639 sq.ft.)
Upper Floor		76.4 m ² (822 sq.ft.)
Attic > 2.10m ceiling		0
Excess Parking	>18.6 m ²	0 m ²
Total Floor Area	190 m ²	135.7 m ² (1461 sq.ft.)
Floor Space Ratio	0.6	0.46
Site Coverage %	40%	35.5 %
Open Site Space	N/A	50 %
Grade		21.96
Height of Building	7.50	7.24
Number of Storeys	2	2
Parking Stalls	1	1
Bicycle Parking	0	1
Building Setbacks		
Front Yard	6.0	6.01
Rear Yard	6.0	6.50 to house 5.30 *variance to 5.25
Flanking Yard	2.4	N/A
Side Yard (North)	1.5/2.4	1.64 *variance to 1.60 to Hab. Room
Side Yard (South)	1.5/2.4	1.52 *variance to 1.50 to Hab. Room

Average Grade Calc.

Date	26 March, 2019	File #	9419		
JOB:	2245 Lydia -Proposed Lot 2	CLIENT:	Cunnin		
LINE	FIRST CORNER ELEV.	SECOND CORNER ELEV.	AVG.	WALL LENGTH	Avg El x L
A B {	21.89 + 21.95	1/2 = 21.92 *	12.95 =	283.86	
B C {	21.95 + 21.95	1/2 = 21.95 *	2.50 =	54.88	
C D {	21.95 + 21.96	1/2 = 21.96 *	1.20 =	26.35	
D E {	21.96 + 21.96	1/2 = 21.96 *	3.00 =	65.88	
E F {	21.96 + 21.97	1/2 = 21.97 *	1.20 =	26.36	
F G {	21.97 + 21.98	1/2 = 21.98 *	1.36 =	29.89	
G H {	21.98 + 21.97	1/2 = 21.98 *	13.10 =	287.87	
H I {	21.97 + 21.95	1/2 = 21.96 *	2.00 =	43.92	
I J {	21.95 + 21.95	1/2 = 21.95 *	1.00 =	21.95	
J K {	21.95 + 21.95	1/2 = 21.95 *	1.35 =	29.63	
K L {	21.95 + 21.89	1/2 = 21.92 *	1.20 =	26.30	
L A {	21.89 + 21.89	1/2 = 21.89 *	3.51 =	76.83	
TOTALS			*	44.37	973.7
AVG. GRADE			Total Area/Total Wall Length		21.96
HEIGHT CALCULATION					
PEAK		30.27			
EAVE		29.13	Slanted Dormer		
MEAN		29.20			
HEIGHT		(Mean-Avg. Grade)	7.24		
BASEMENT CALCULATION					
Basement Ceiling		22.71			
AVER. GRADE		21.96			
Height above grade		0.75	= 0.75		
=					

11 May, 2020 - amend for rear basement stairs
14 Nov, 2019 - amend for CoV comments
5 March, 2019 - additional variance, building height and floor areas
15 August, 2018.

FILE: 9419 - 17

PROJECT: 9419/2 / 2018-08-15

Brad Cunnin Land Services

2225 Lydia Street

Victoria, BC V8M 1S2

ph: 250-480-7653

brad@cunnin.ca

CITY OF VICTORIA

Revisions

Received Date:
June 2, 2020

PROPOSED SINGLE FAMILY RESIDENCE

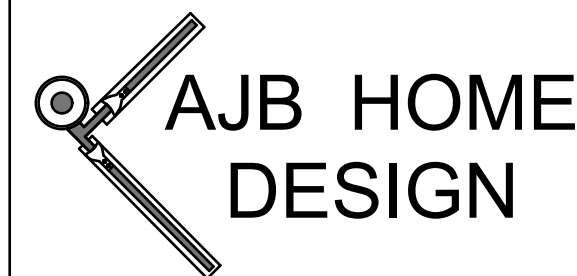
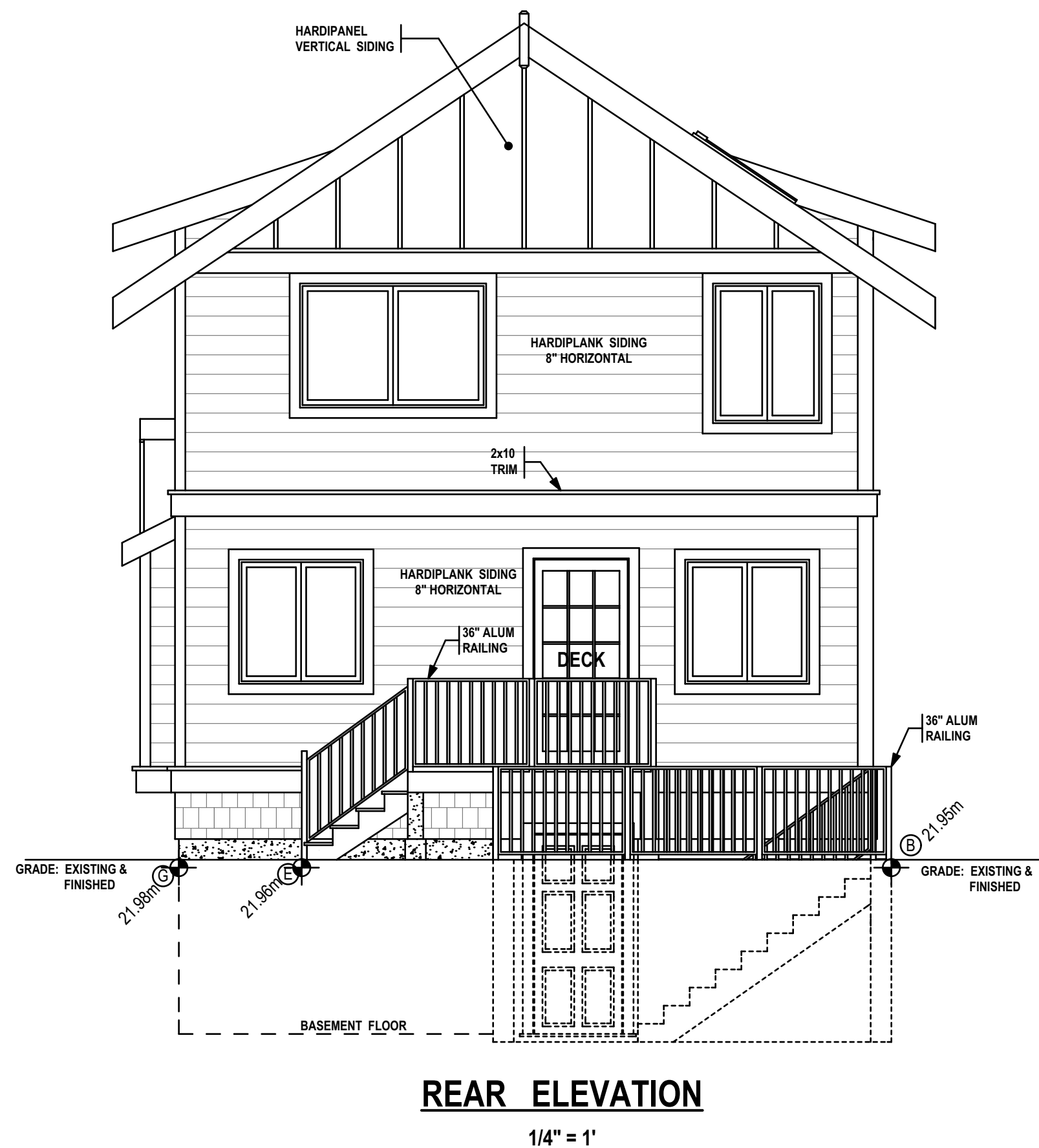
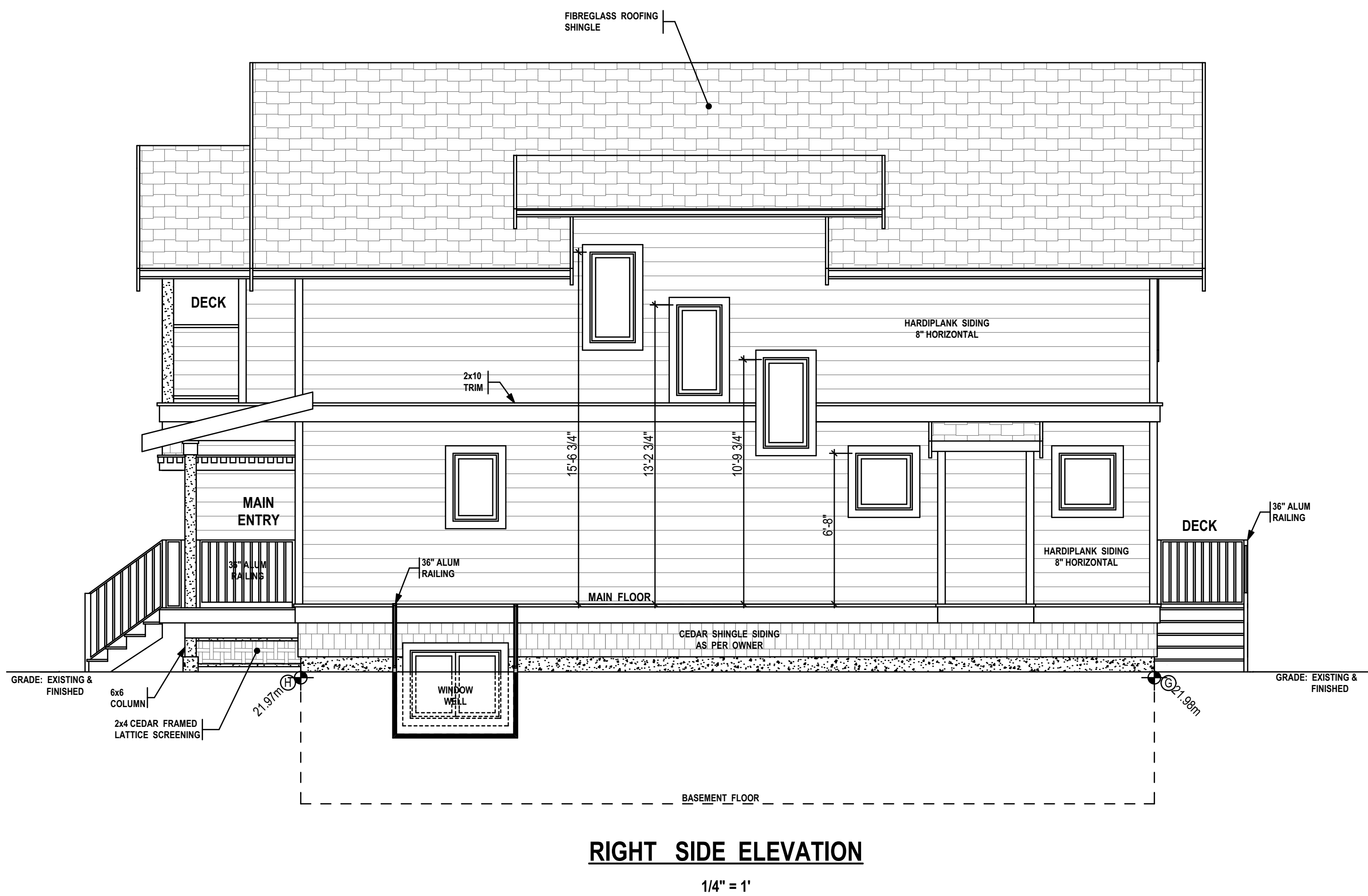
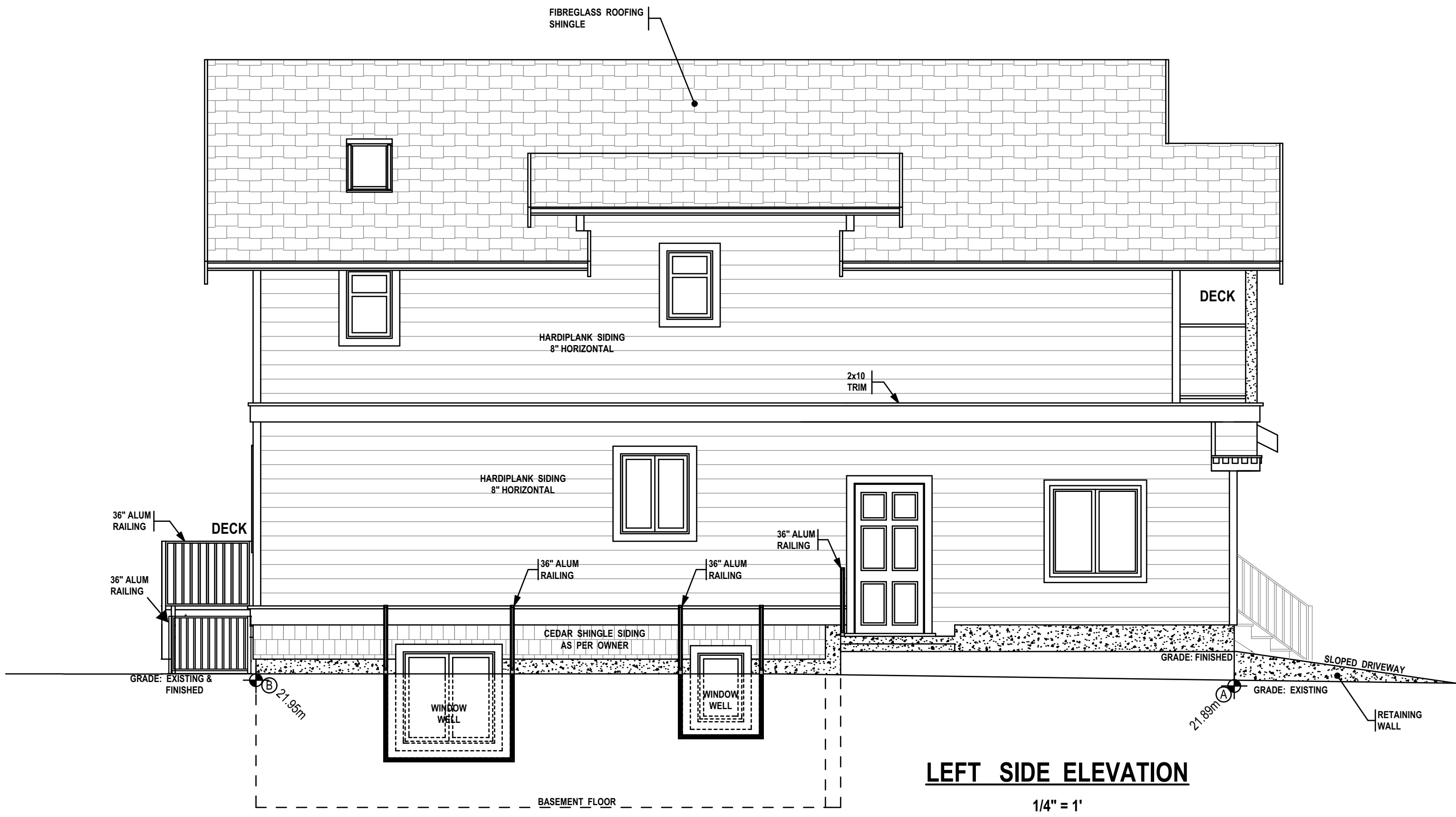
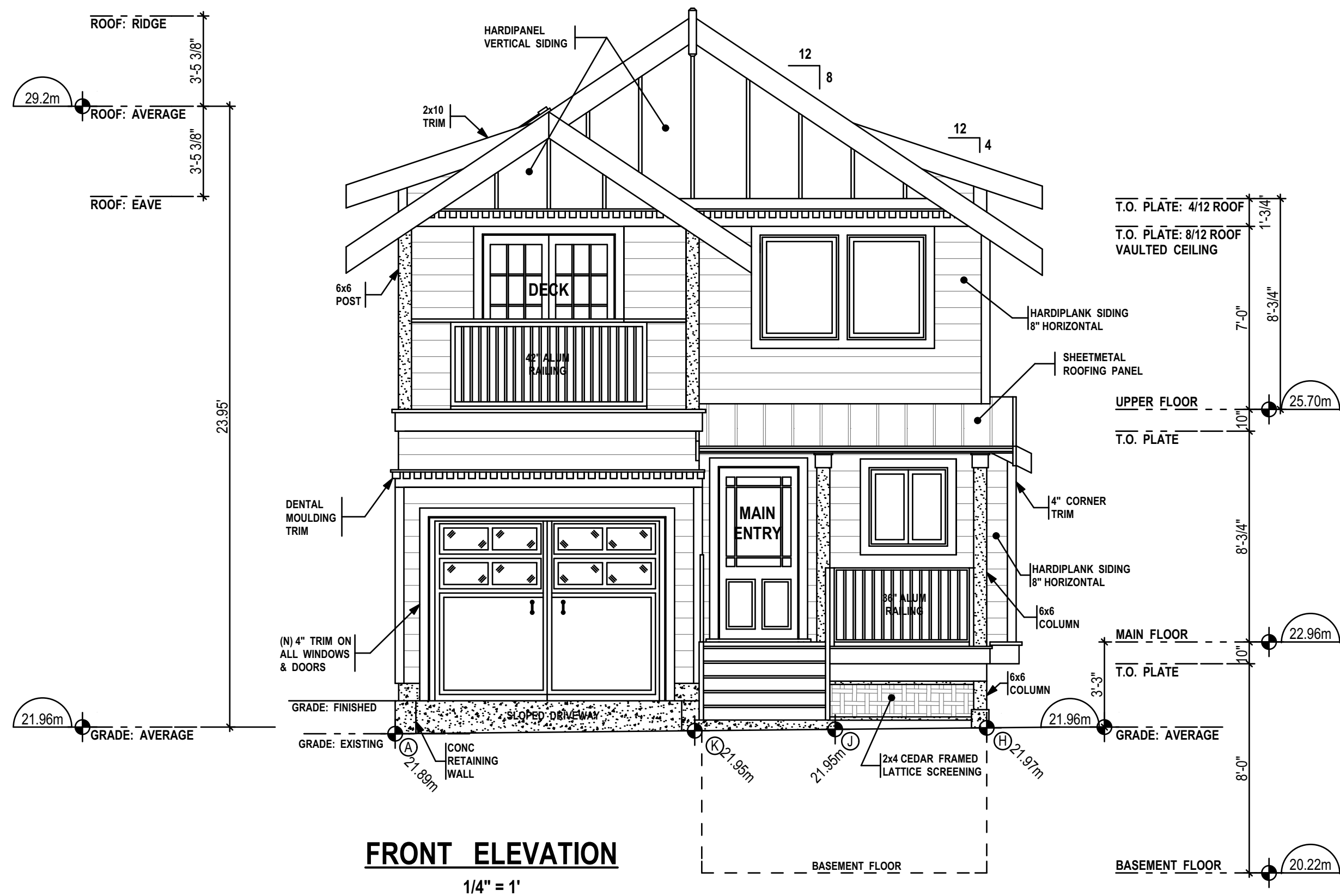
R1-S2

For: Brad Cunnin

2245 Lydia Street

Victoria, BC

A1 of 4



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
5	Oct 4/10	5th Preliminary Drawings
6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.

FOR: CUNNIN

DRAWN BY: Alan Bisson

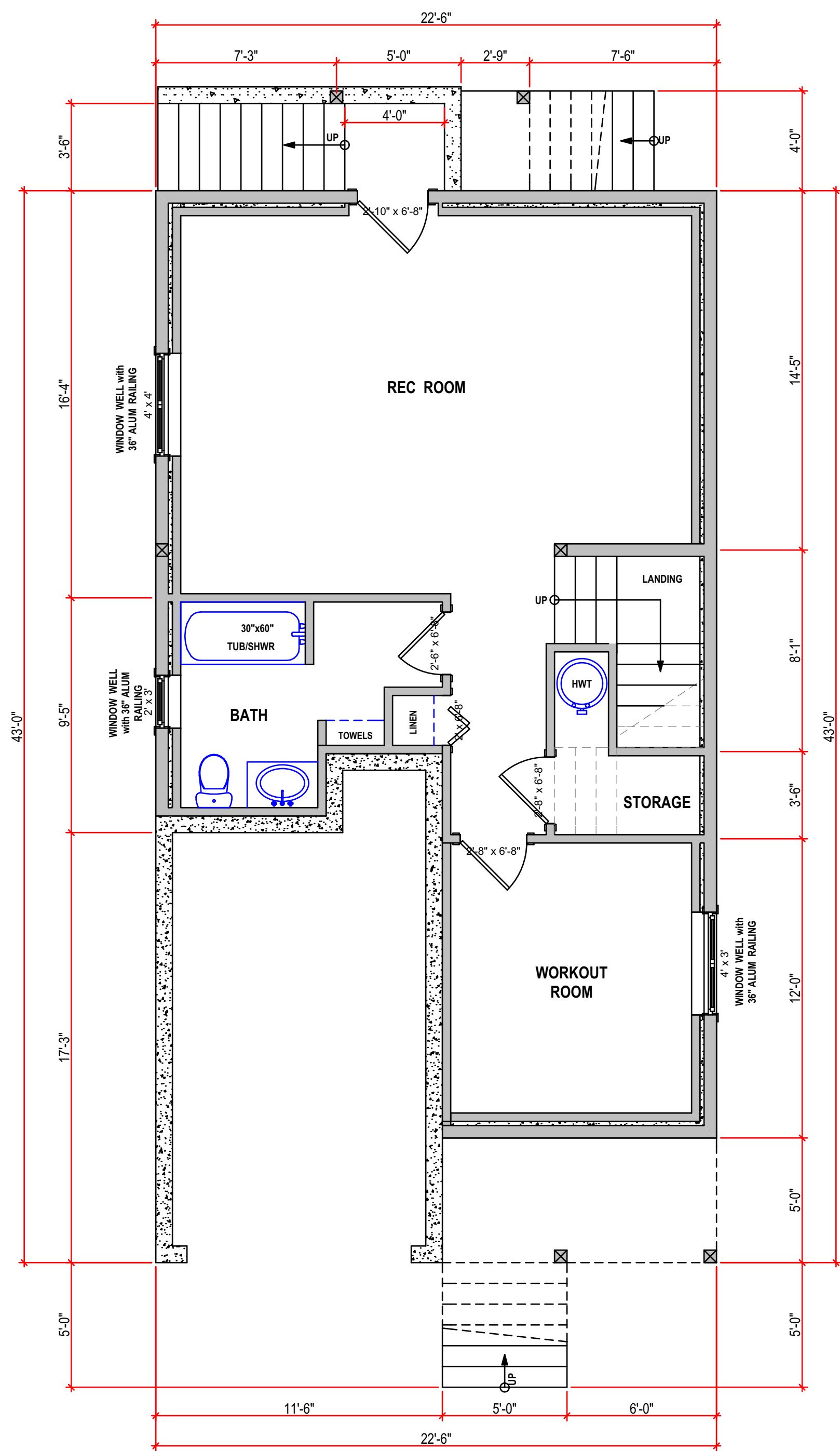
DRAWING NO.

A-2 of 4

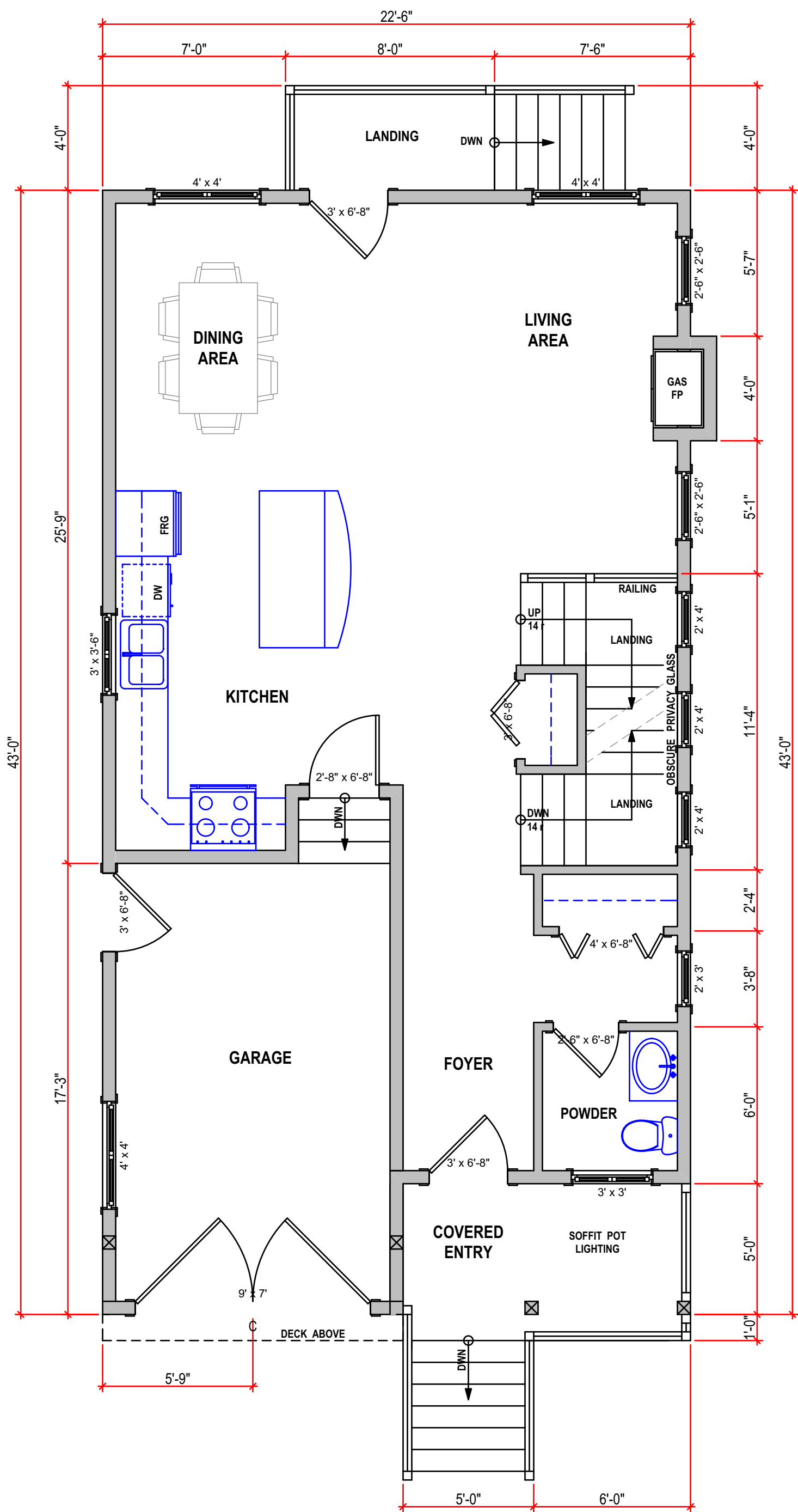
NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE BEARER OF THESE PLANS TO COPY, SCAN &/or BURN TO CD OR FLASH DRIVE THESE PLANS.

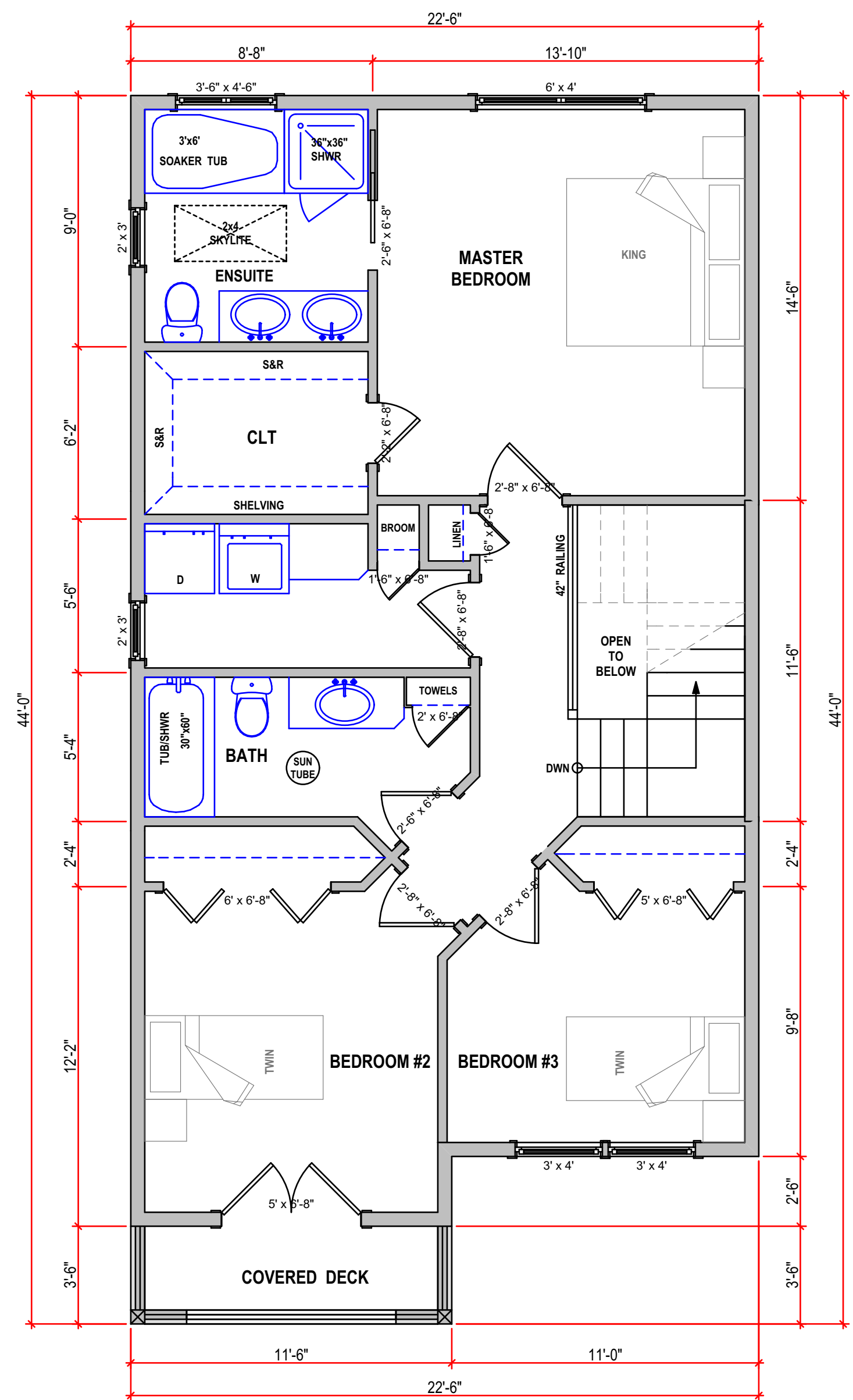
PRINT IN GREYSKALE



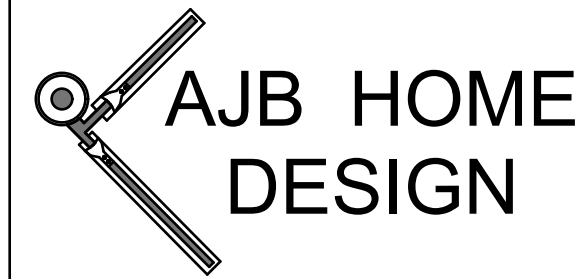
PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'



PROPOSED MAIN FLOOR PLAN
1/4" = 1'
PROPOSED LIVING SPACE @ 638.7 SQ/FT
NOTE: LIVING SPACE CALCULATED FROM EXTERIOR FACE OF EXTERIOR WALL



PROPOSED UPPER FLOOR PLAN
1/4" = 1'
PROPOSED LIVING SPACE @ 821.7 SQ/FT
NOTE: LIVING SPACE CALCULATED FROM EXTERIOR FACE OF EXTERIOR WALL.



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
5	Oct 4/10	5th Preliminary Drawings
6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings
16	May 12/20	16th Preliminary Drawings

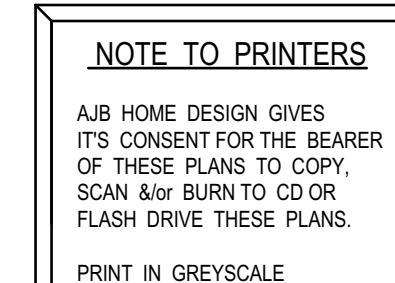
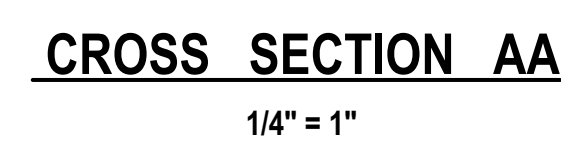
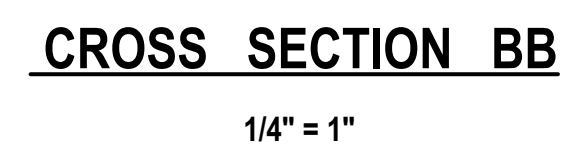
PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.
FOR: CUNNIN

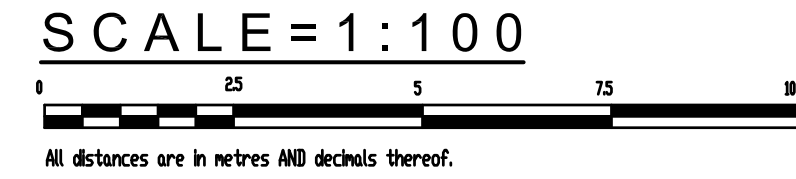
DRAWN BY: Alan Bisson
DRAWING NO.

NOTE TO PRINTERS
AJB HOME DESIGN GIVES
ITS CONSENT FOR THE BEARER
OF THESE PLANS TO COPY,
SCAN &or BURN TO CD OR
FLASH DRIVE THESE PLANS.
PRINT IN GREYSKALE

A-4 of 6

39

B.C. LAND SURVEYOR'S SITE PLAN
TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION WITH VARIANCES
PROPOSED LOT 3, SECTION 57,
VICTORIA DISTRICT, PLAN EPP

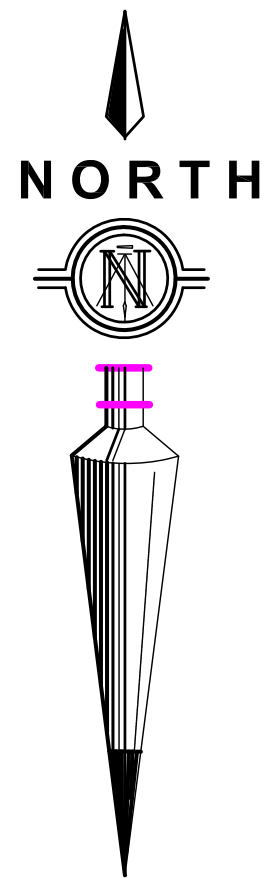


- LEGEND**
- Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m)
Tree bases approximately to scale.
- UPL - denotes Utility Pole with light
 - g - denotes guy wire
 - CB - denotes Catch Basin
 - WM - denotes Water Meter
 - WV - denotes Water Meter
 - TS - denotes Traffic Sign
 - FH - denotes fire hydrant
 - SC - denotes Service Connection Clean-out/Inspection Chamber
 - RWL - denotes Rain Water leader
 - 2227 + - denotes existing grade

LYDIA STREET

NEW DENMAN STREET HOUSE
Proposed LOT 3

DENMAN STREET



PROJECT INFORMATION TABLE

Zoning Item	By-Law Value	Provided
Zoning	R1-S2	
Site Area	260 m²	323 m²
Floor Area		
Basement Area >1.8m ceiling AG		55.3 m² (596 sq.ft.) not incl.
Main Floor		83.7 m² (901 sq.ft.)
Upper Floor		78.4 m² (844 sq.ft.)
Attic > 2.10m ceiling		0
Excess Parking	>18.6 m²	0 m²
Total Floor Area Incl Stairs	190 m²	162.10m² (1745 sq.ft.)
Floor Space Ratio	0.6	0.51
Site Coverage %	40%	35.5 %
Open Site Space	N/A	50 %
Grade		22.05
Height of Building	7.50	7.36
Number of Storeys	2	2
Parking Stalls	1	1
Bicycle Parking	0	multiple
Building Setbacks		
Front Yard	6.0	6.01
Rear Yard	6.0	6.01 to building 4.85 *Variance to 4.80
Flanking Yard	2.4	N/A
Side Yard (West)	1.5/2.4	3.04
Side Yard (East)	1.5/2.4	1.55 *Variance to 1.50

ROAD



Date	26 March, 2019	File #	9419		
JOB:	New Denman House - Lot 3	CLIENT:	Cunnin		
LINE	FIRST CORNER	SECOND CORNER	AVG	WALL LENGTH	Avg El x L
A B {	22.05 + 22.20	1/2 = 22.13 *	8.08 =	178.8	
B C {	22.20 + 22.20	1/2 = 22.2 *	5.08 =	112.8	
C D {	22.20 + 22.20	1/2 = 22.2 *	1.22 =	27.1	
D E {	22.20 + 22.10	1/2 = 22.15 *	3.27 =	72.4	
E F {	22.10 + 22.10	1/2 = 22.1 *	1.22 =	27.0	
F G {	22.10 + 22.00	1/2 = 20.8 *	2.42 =	53.4	
G H {	22.00 + 22.05	1/2 = 22.03 *	9.30 =	204.8	
H I {	22.05 + 20.85	1/2 = 21.45 *	0.15 =	3.2	
I J {	20.85 + 20.85	1/2 = 20.85 *	3.81 =	79.4	
J K {	20.85 + 22.00	1/2 = 21.43 *	0.15 =	3.2	
K L {	22.00 + 22.00	1/2 = 22 *	1.75 =	38.5	
L M {	22.00 + 22.00	1/2 = 22 *	2.44 =	53.7	
M N {	22.00 + 22.00	1/2 = 22 *	2.56 =	56.3	
N O {	22.00 + 22.05	1/2 = 22.03 *			
O A {	22.05 + 22.05	1/2 = 22.05 *	4.12 =	90.8	
TOTALS			*	45.57	1004.8
AVG. GRADE			Total Area/Total Wall Length		22.05
					22.05
HEIGHT CALCULATION					
PEAK		30.29			
EAVE		28.57			
MEAN		29.41			
HEIGHT		(Mean-Avg. Grade)		7.36	
BASEMENT CALCULATION					
Basement Ceiling		23.25			
AVER. GRADE		22.05			
Height above grade		1.20		= 1.20	
-					

No. 1711
EAVE= 26.54
PEAK= 29.71

PLAN 375

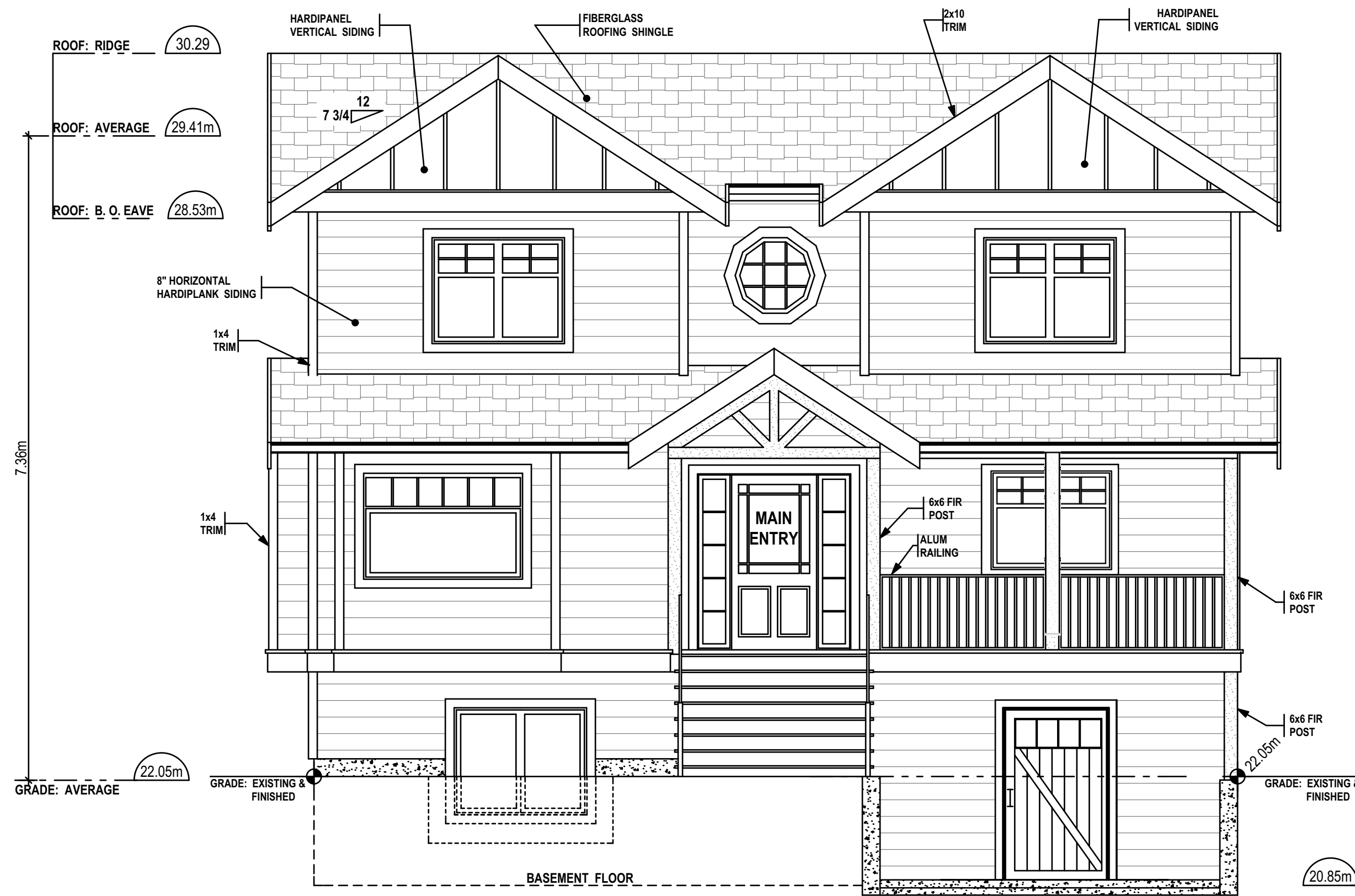
PROPOSED SINGLE FAMILY RESIDENCE
R1-S2

FOR: BRAD CUNNIN
NEW DENMAN STREET
HOUSE

26 March, 2019- edits for DP
15 August, 2018.

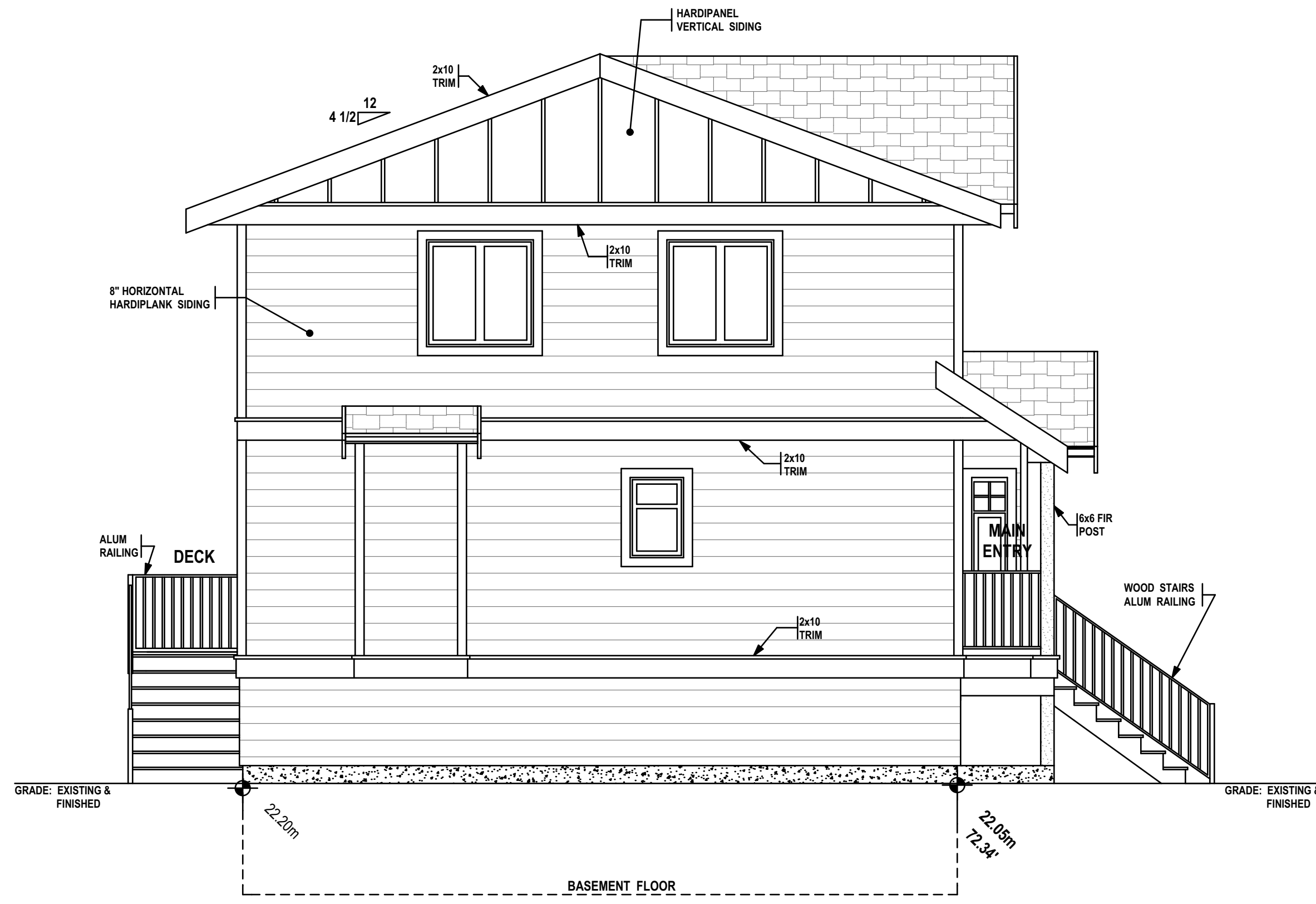
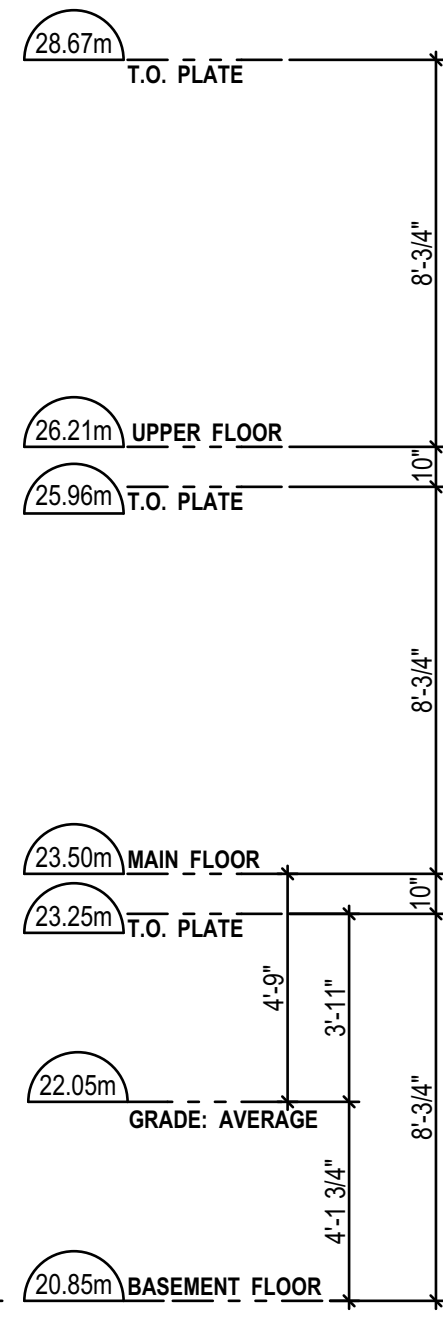
FILE: 9419 - 17
DATE: 2019-03-26 / 2018-08-15
Brad Cunnin Land Services
2225 Lydia Street
Victoria, BC V8W 1S2
ph. 250-480-9693

brad@cunnin.ca



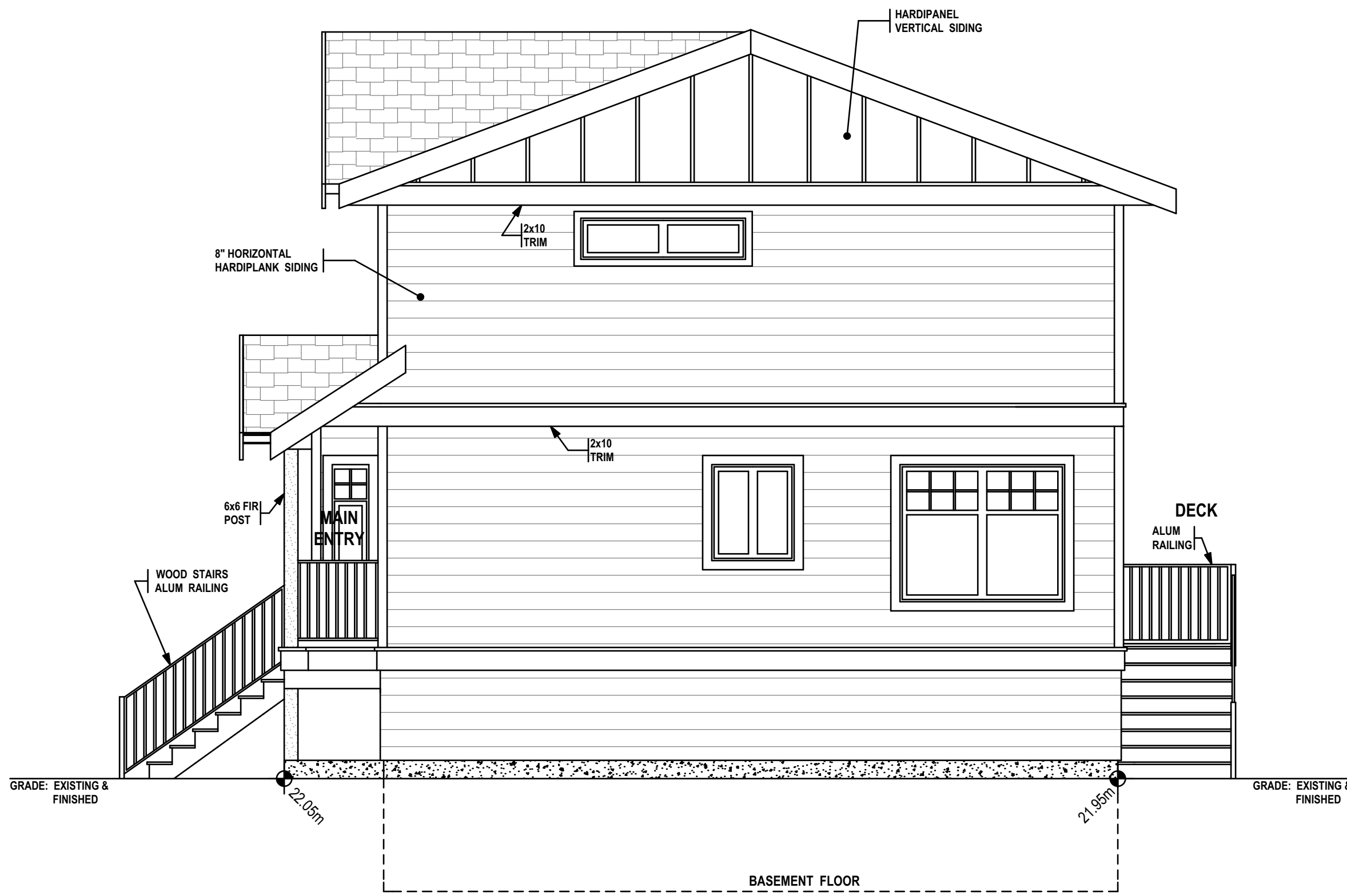
FRONT ELEVATION

1/4" = 1'



LEFT SIDE ELEVATION

1/4" = 1'



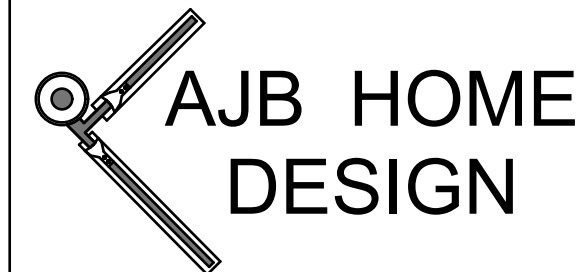
RIGHT SIDE ELEVATION

1/4" = 1'



REAR ELEVATION

1/4" = 1'



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomdesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
5	Oct 4/10	5th Preliminary Drawings
6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.

FOR: CUNNIN

DRAWN BY: Alan Bisson

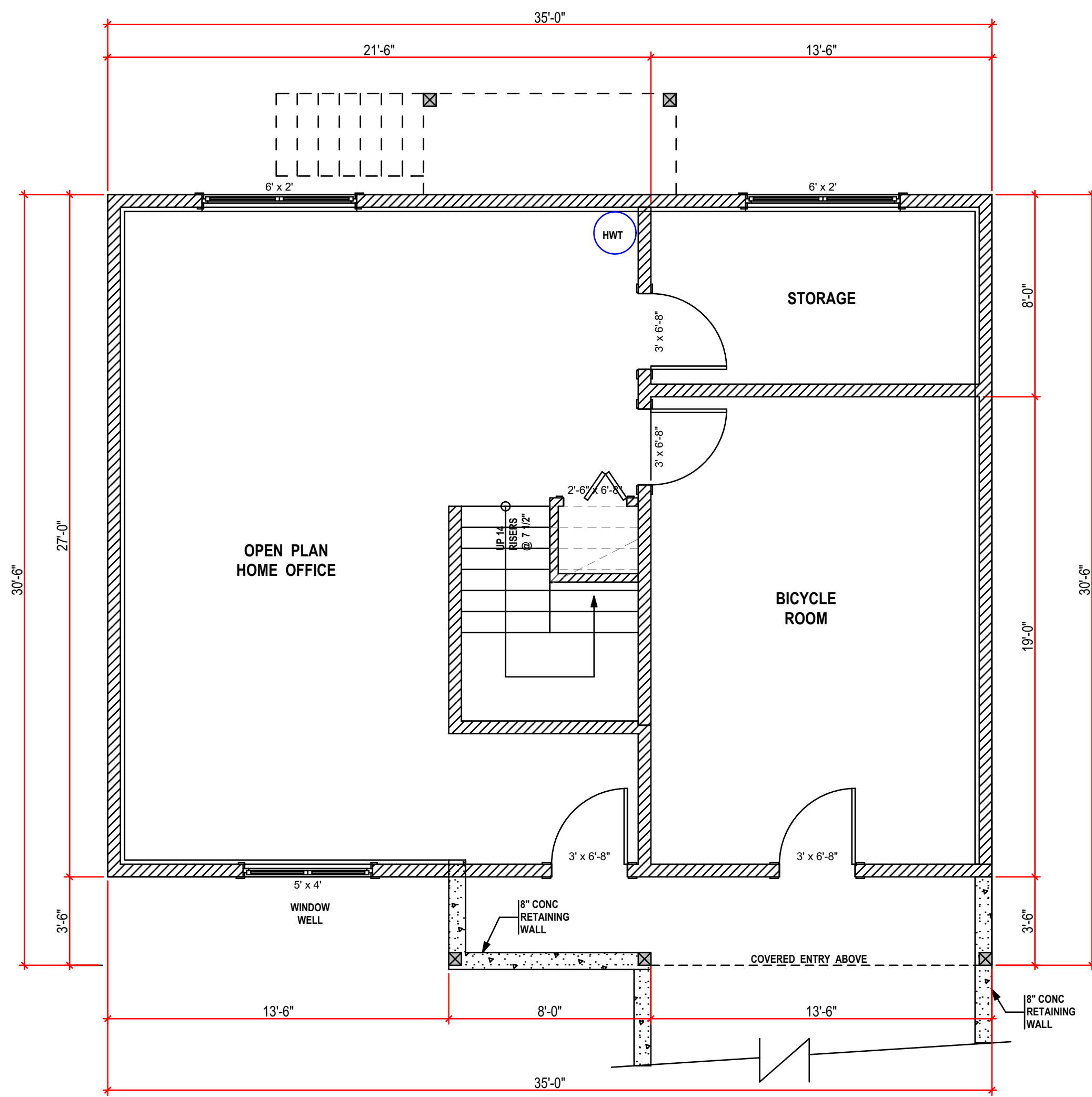
DRAWING NO.

A-1 of 6

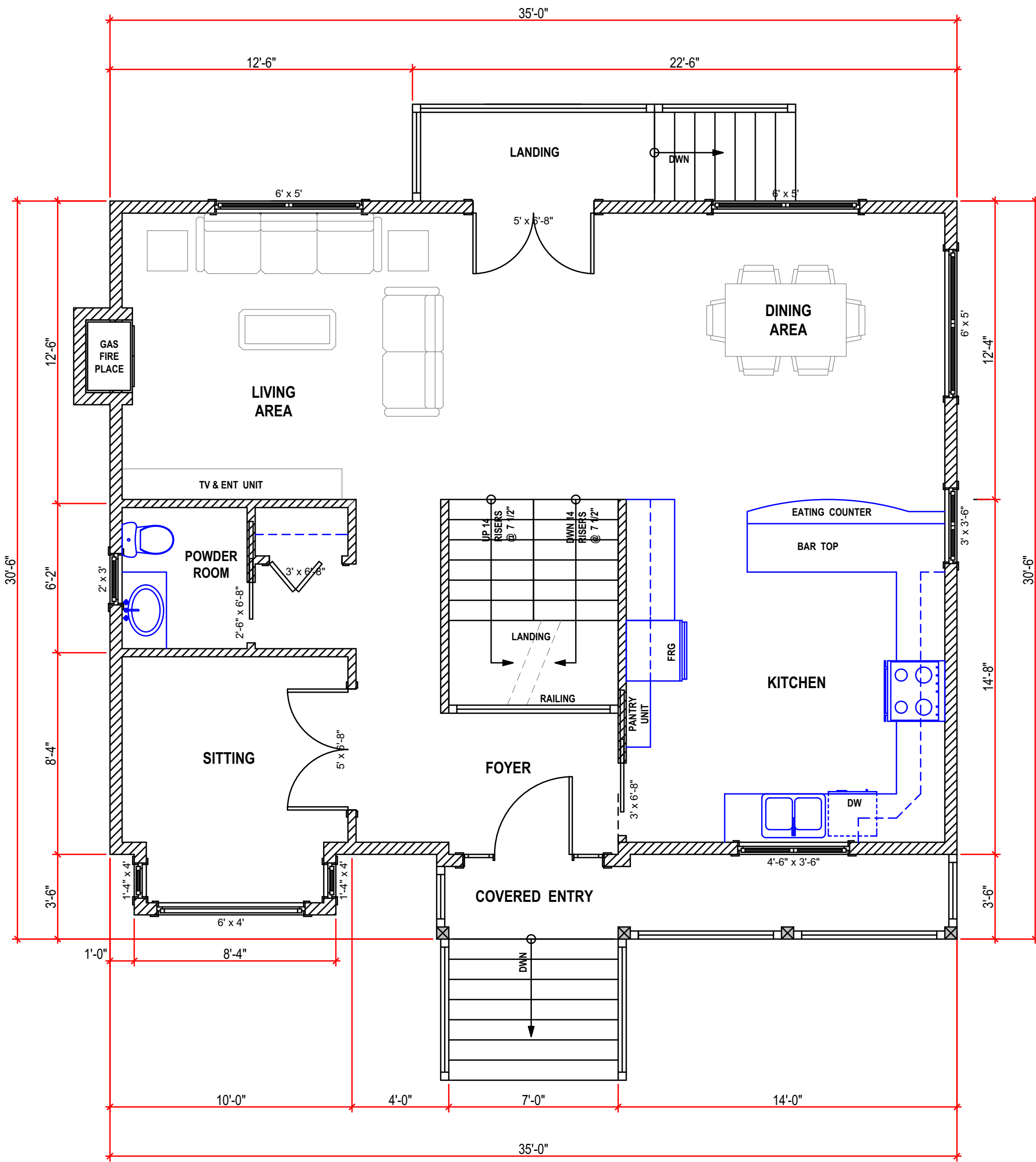
NOTE TO PRINTERS

AJB HOME DESIGN GIVES
ITS CONSENT FOR THE BEARER
OF THESE PLANS TO COPY,
SCAN &or BURN TO CD OR
FLASH DRIVE THESE PLANS.

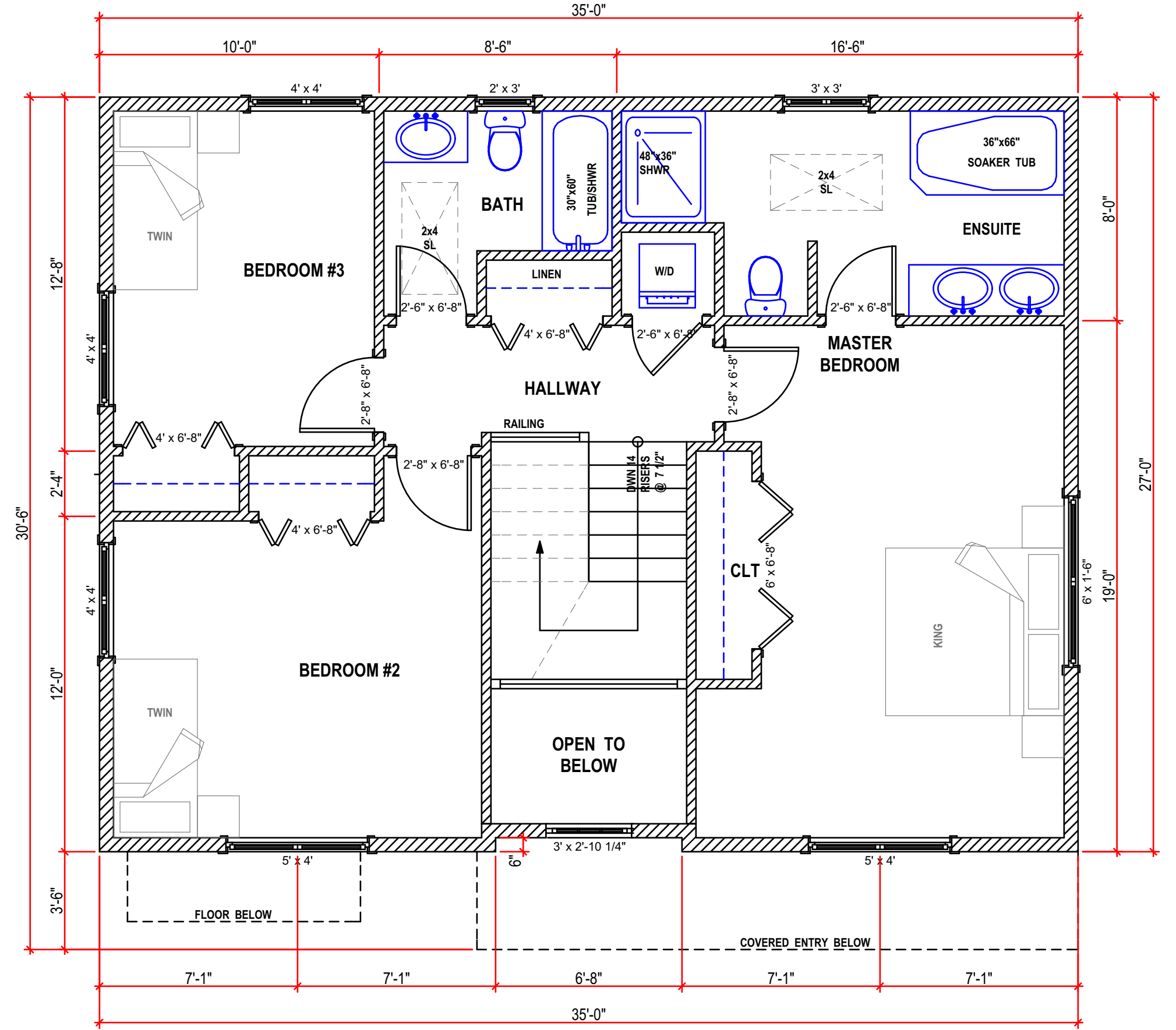
PRINT IN GREYSKALE



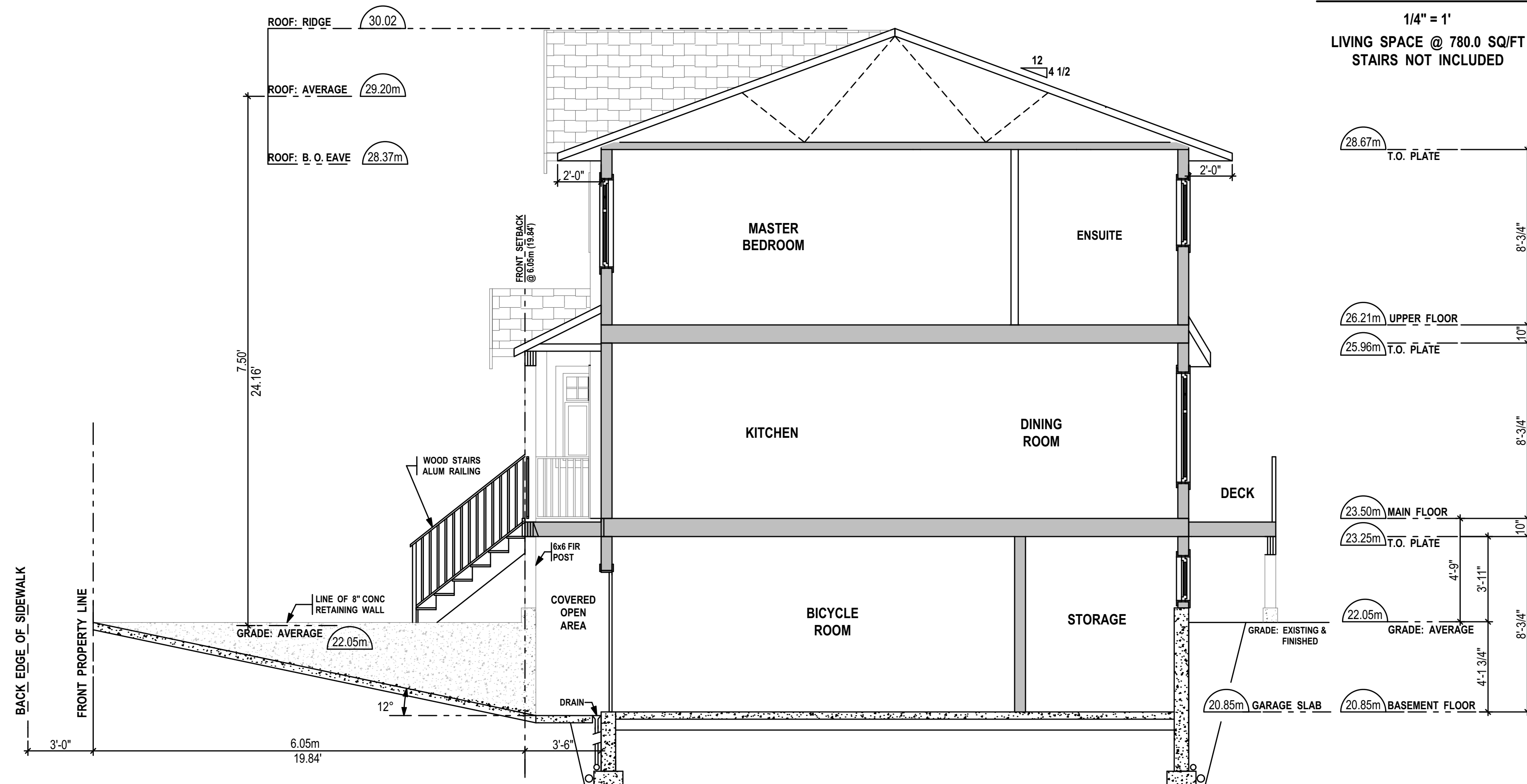
BASEMENT FLOOR PLAN
1/4" = 1'



MAIN FLOOR PLAN
1/4" = 1'
LIVING SPACE @ 780.0 SQ/FT
STAIRS NOT INCLUDED



UPPER FLOOR PLAN
1/4" = 1'
LIVING SPACE @ 825.0 SQ/FT
STAIRS INCLUDED



CROSS SECTION AA
1/4" = 1'

LEGEND

- POST (6x6 or 3-2X6 BLT-UP)
- BEARING POINT
- LINE OF FLOOR ABOVE
- LINE OF FLOOR BELOW
- BEAM FACE
- BEAM CENTRE
- BEAM FACE
- ENG ROOF GIRDER TRUSS
- 2x4 WALL
- 2x6 WALL
- 8" CONCRETE FOUNDATION WITH 8x16" CONT. FOOTINGS
- 8" CONCRETE CORBELLED FOUNDATION WITH 8x16" CONT. FOOTINGS
- 2x4 PONY WALL ON 8" CONCRETE FOUNDATION WITH 8x16" CONT. FOOTINGS
- 12" CONCRETE FOUNDATION WITH 4"x8" LIP FOR FULL HEIGHT REBAR AS REQUIRED
- ENGINEERED 8" CONCRETE FND WALL



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
5	Oct 4/10	5th Preliminary Drawings
6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE-SFD

SITE @
Lot 3 DENMAN ST.
FOR: CUNNIN

DRAWN BY: Alan Bisson

DRAWING NO.

A-2 of 6

NOTE TO PRINTERS

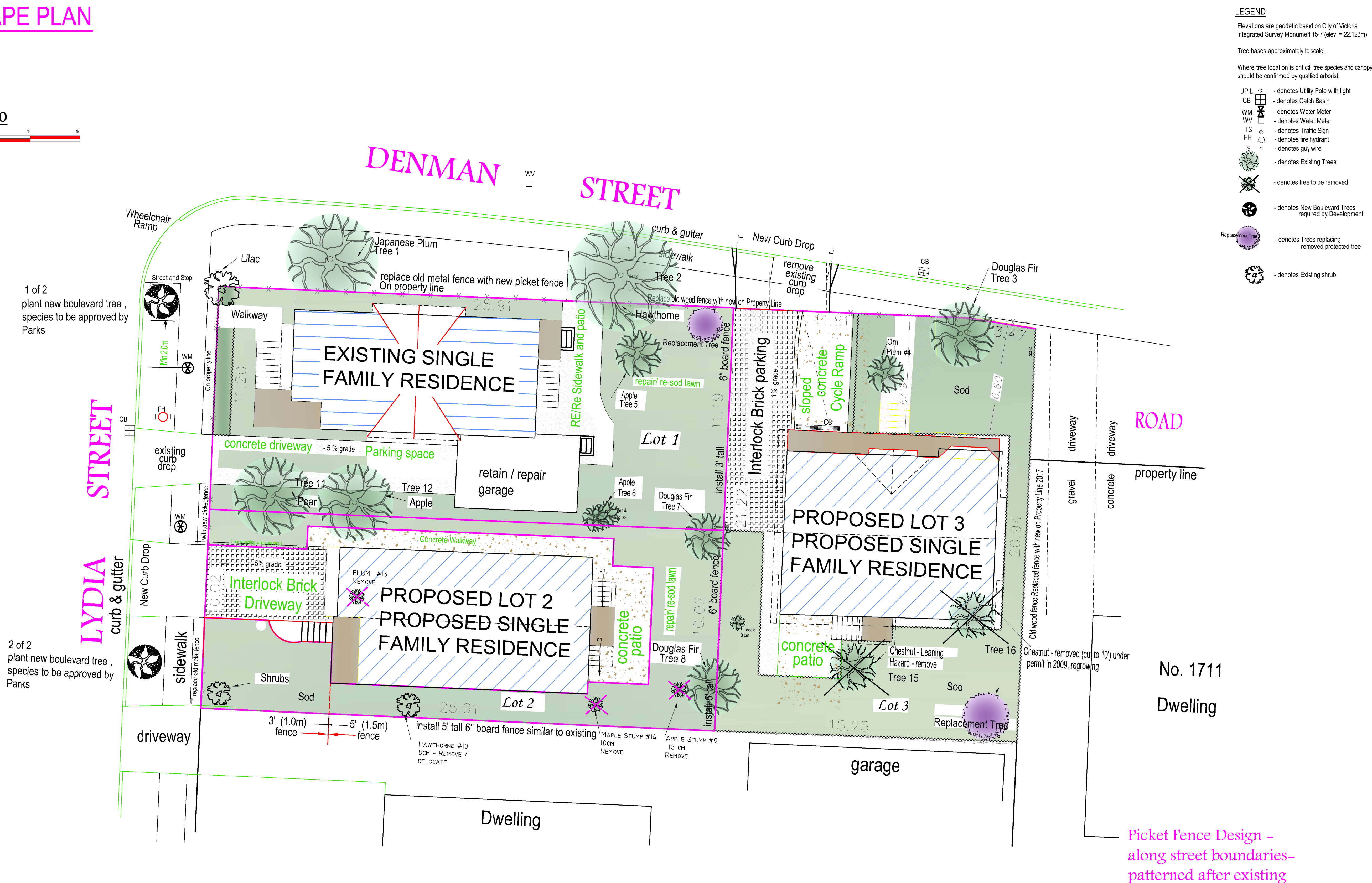
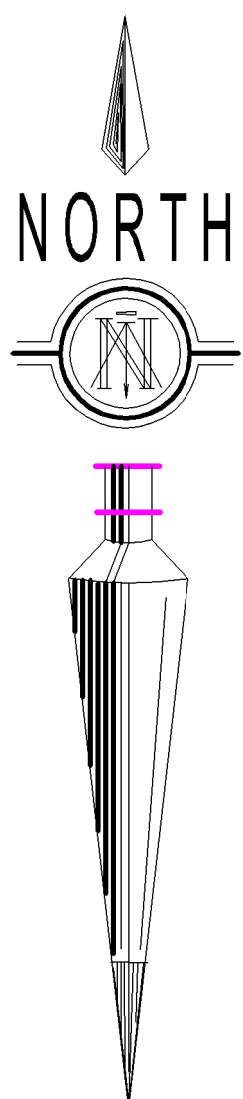
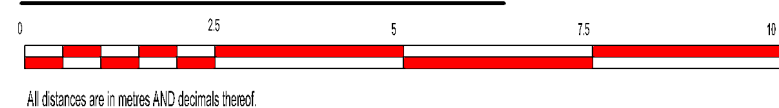
AJB HOME DESIGN GIVES ITS CONSENT FOR THE BEARER OF THESE PLANS TO COPY, SCAN &/OR BURN TO CD OR FLASH DRIVE THESE PLANS.

PRINT IN GREYSKALE

PROPOSED LANDSCAPE PLAN

DENMAN AND LYDIA

SCALE = 1 : 100



- LEGEND
- Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m)
- Tree bases approximately to scale.
- Where tree location is critical, tree species and canopy should be confirmed by qualified arborist.
- UP L - denotes Utility Pole with light
 - CB - denotes Catch Basin
 - WM - denotes Water Meter
 - WV - denotes Water Meter
 - TS - denotes Traffic Sign
 - FH - denotes fire hydrant
 - g - denotes guy wire
 - denotes Existing Trees
 - denotes tree to be removed
 - denotes New Boulevard Trees required by Development
 - denotes Trees replacing removed protected tree
 - denotes Existing shrub

Amended 14 Nov,2019

FILE : 9149 - 28
DWGDATE: 9149LAND / 2018-08-16
Brad Cunnin Land Services
2235 Lydia Street
Victoria, BC V8W 1S2
ph. (250)460-9693 / 250-727-2723



1711 DENMAN STREET
EXISTING RESIDENCE



FRONT ELEVATION
1/4" = 1'

1708 DENMAN STREET
PROPOSED RESIDENCE



2251 LYDIA STREET
PROPOSED RESIDENCE
(SIDE VIEW)

LYDIA STREET

STREETSCAPE OF DENMAN STREET

1/8" = 1'



2251 LYDIA STREET
PROPOSED RESIDENCE
(FRONT VIEW)



2243 LYDIA STREET
PROPOSED RESIDENCE

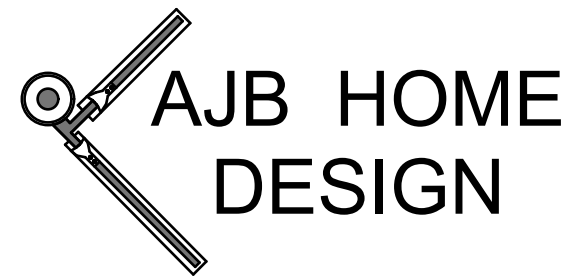


2235 LYDIA STREET
EXISTING RESIDENCE

DENMAN STREET

STREETSCAPE OF LYDIA STREET

1/8" = 1'



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
5	Oct 4/10	5th Preliminary Drawings
6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.

FOR: CUNNIN

DRAWN BY: Alan Bisson

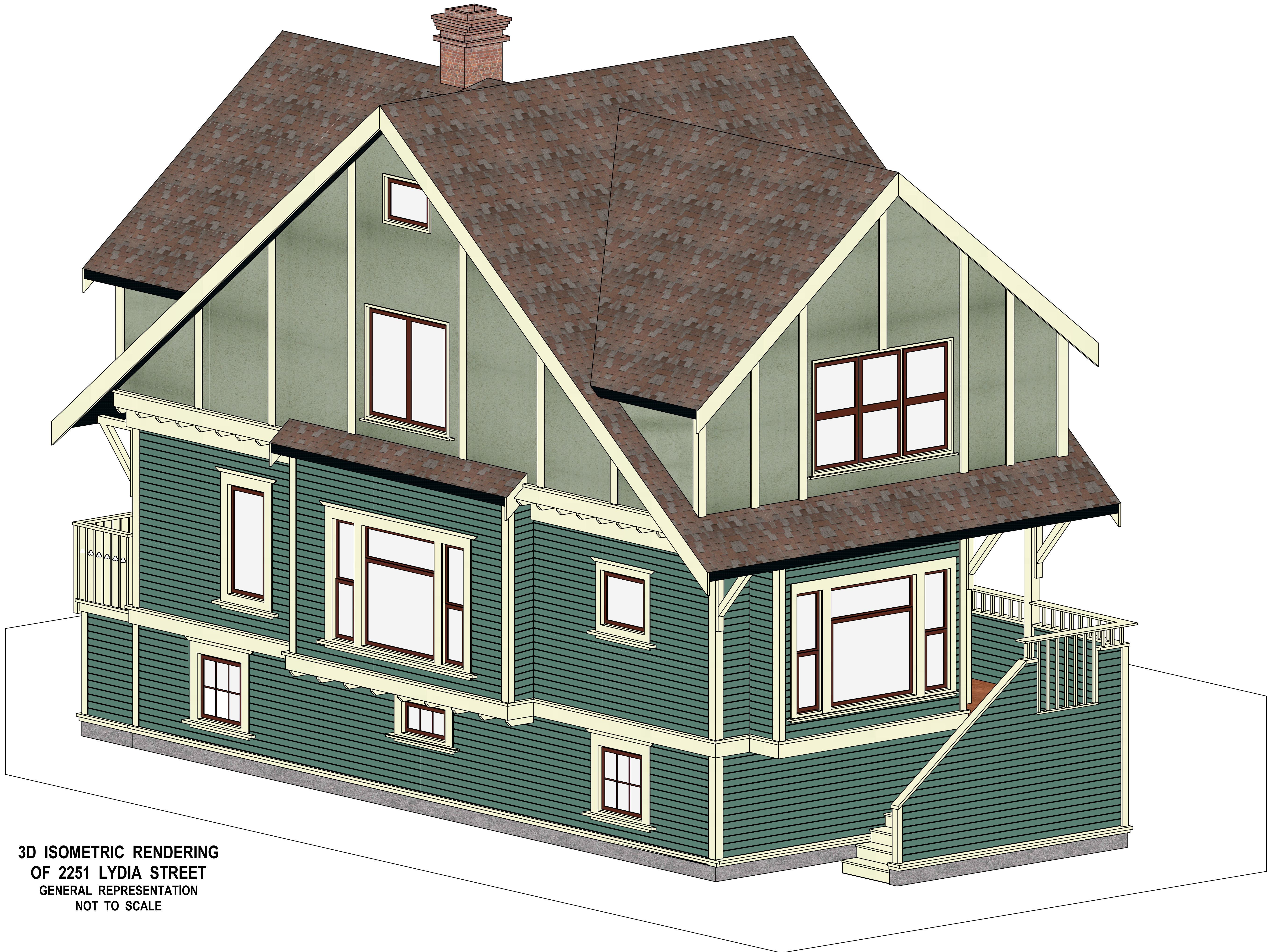
DRAWING NO.

A-6 of 6

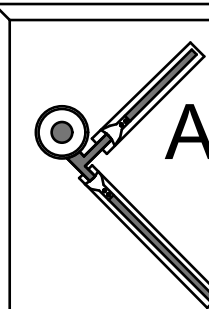
NOTE TO PRINTERS

AJB HOME DESIGN GIVES
ITS CONSENT FOR THE BEARER
OF THESE PLANS TO COPY,
SCAN &/or BURN TO CD OR
FLASH DRIVE THESE PLANS.

PRINT IN GREYSCALE



3D ISOMETRIC RENDERING
OF 2251 LYDIA STREET
GENERAL REPRESENTATION
NOT TO SCALE



**AJB HOME
DESIGN**

#314-663 Goldstream Avenue
Victoria BC, V9B 2W3
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

#	DATE	DESCRIPTION
1	March 28/19	Streetscape & Renderings
2	April 12/19	Streetscape & Renderings Revised

PROJECT TYPE
STREETSCAPE & RENDERING
OF LYDIA & DENMAN
DEVELOPMENT

SITE: LYDIA & DENMAN
DEVELOPMENT

CLIENT: CUNNIN

DRAWN BY: Taylor SB

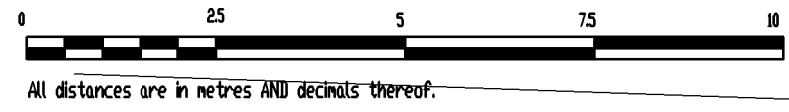
DRAWING NO.
A-1 of 2

SITE PLAN

TO ACCOMPANY HERITAGE ALTERATION PERMIT APPLICATION WITH VARIANCE

PROPOSED LOT 1, SECTION 57,
VICTORIA DISTRICT, PLAN EPP

SCALE = 1 : 100



LEGEND

Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m) Tree bases approximately to scale.

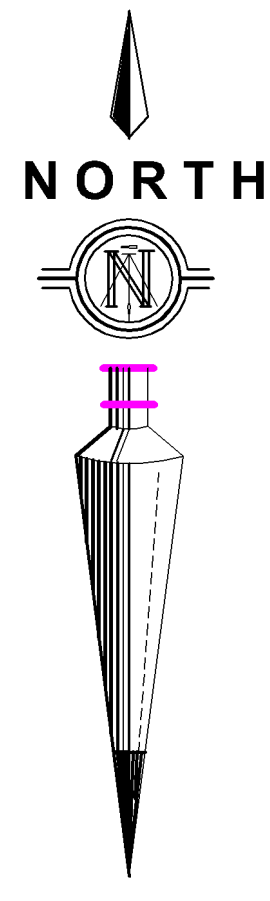
- UPL - denotes Utility Pole with light
- g - denotes guy wire
- CB - denotes Catch Basin
- WM - denotes Water Meter
- TS - denotes Traffic Sign
- FH - denotes fire hydrant
- RWL - denotes Rain Water leader
- 2227 + - denotes existing grade
- denotes New Boulevard Trees required by Development
- denotes Trees replacing removed protected tree
- denotes Existing shrub
- denotes Existing tree

EXISTING LYDIA STREET HOUSE

On Proposed LOT 1

DENMAN STREET

LYDIA STREET



PROJECT INFORMATION TABLE

Zoning Item	By-Law Value	Provided
Zoning	R1-S2	
Site Area	260 m²	291 m²
Floor Area		
Basement Area >1.8m ceiling AG		64.1 m² (699 sq.ft.) not incl.
Main Floor Area		73.2 m² (787.6 sq.ft.)
Upper Floor Area		76.1 m² (819.4 sq.ft.)
Attic > 2.10m ceiling		0
Excess Parking	>18.6 m²	1.2 m²
Total Floor Area	190 m²	150.7 m² (1622 sq.ft.)
Floor Space Ratio	0.6	0.52
Site Coverage %	40%	34.4 %
Open Site Space	N/A	36 %
Grade		21.93
Height of Building	7.50	N/C 8.22 (From High Ridge to High eave)
Number of Storeys	2	N/C 3 (Existing)
Parking Stalls	1	2
Bicycle Parking	0	
Building Setbacks		
Front Yard	6.0	N/C 3.27 (Existing)
Rear Yard	6.0	9.69 to building - 7.39 to garage
Flanking Yard	2.4	N/C 0.50 (Existing)
Side Yard (South)	1.5/2.4	0.61 *Variance to 0.60

N/C denotes non-conforming but pre-existing

Average Grade Calc.
After foundation replacement

JOB: 2251 Lydia		CLIENT: Cunin	
LINE	FIRST CORNER ELEV.	SECOND CORNER ELEV.	AVG. WALL LENGTH
A B	21.93	21.89	14.02
B C	21.89	21.90	1.98
C D	21.90	21.90	1.83
D E	21.90	21.90	3.61
E F	21.90	21.90	2.29
F G	21.90	21.60	0.20
G H	21.60	21.60	1.20
H I	21.60	22.00	0.20
I J	22.00	22.00	2.21
J K	22.00	22.00	6.20
K L	22.00	21.60	0.20
L M	21.60	21.60	3.25
M N	21.60	22.10	4.47
N O	22.10	22.00	0.30
O P	22.00	22.05	5.64
P Q	22.05	22.05	4.75
Q R	22.05	22.00	5.75
R A	22.00	21.93	6.75
TOTALS			64.85
AVG. GRADE			21.93
HEIGHT CALCULATION			
PEAK	31.95		
EAVE	28.35		
MEAN	30.15		
HEIGHT	(Mean Avg. Grade)		8.22
BASEMENT CALCULATION			
Basement Ceiling	23.62		
AVG. GRADE	21.93		
Height above grade	1.69		1.69

Building Note:

Existing house has had foundation reconstructed, house is now 10cm lower than before. It is in the same location. Concrete in the location of garage rebuild has been poured, but no construction or building permit has been commenced, pending the outcome of a DP application.

NOTES

- All connections to municipal services to be 100mm PVC installed at 2% unless otherwise indicated.
- All works to be performed to applicable by-laws and codes. No work to be performed from these drawings unless these drawings are approved by Municipality. All works subject to municipal inspection and approval.
- Location of existing services are as per Municipal records, and must be field verified. Care to be exercised in trenching for actual locations.
- Final service connection elevations are dependent on depth of existing service mains. Where critical, final service connection elevations to be verified before commencing any residential construction.

5 March, 2019

FILE: 9149 - 17

PROJECT: 9149-17

Broad Cunin Land Services

2251 Lydia Street

Victoria, BC V8T 1Y9

ph. 250-408-9693

broad@cunin.ca

2251 Lydia Street

Subdivision of Am Lot 10, Blk 2, Sec 57, Plan 509

BENCHMARK: 15 - 29

DRAWING: 9149-Lot 1

DRAWN: BWC

CHECKED: BWC

DATE: 18 March, 2018

ELEVATION: = 24.39m

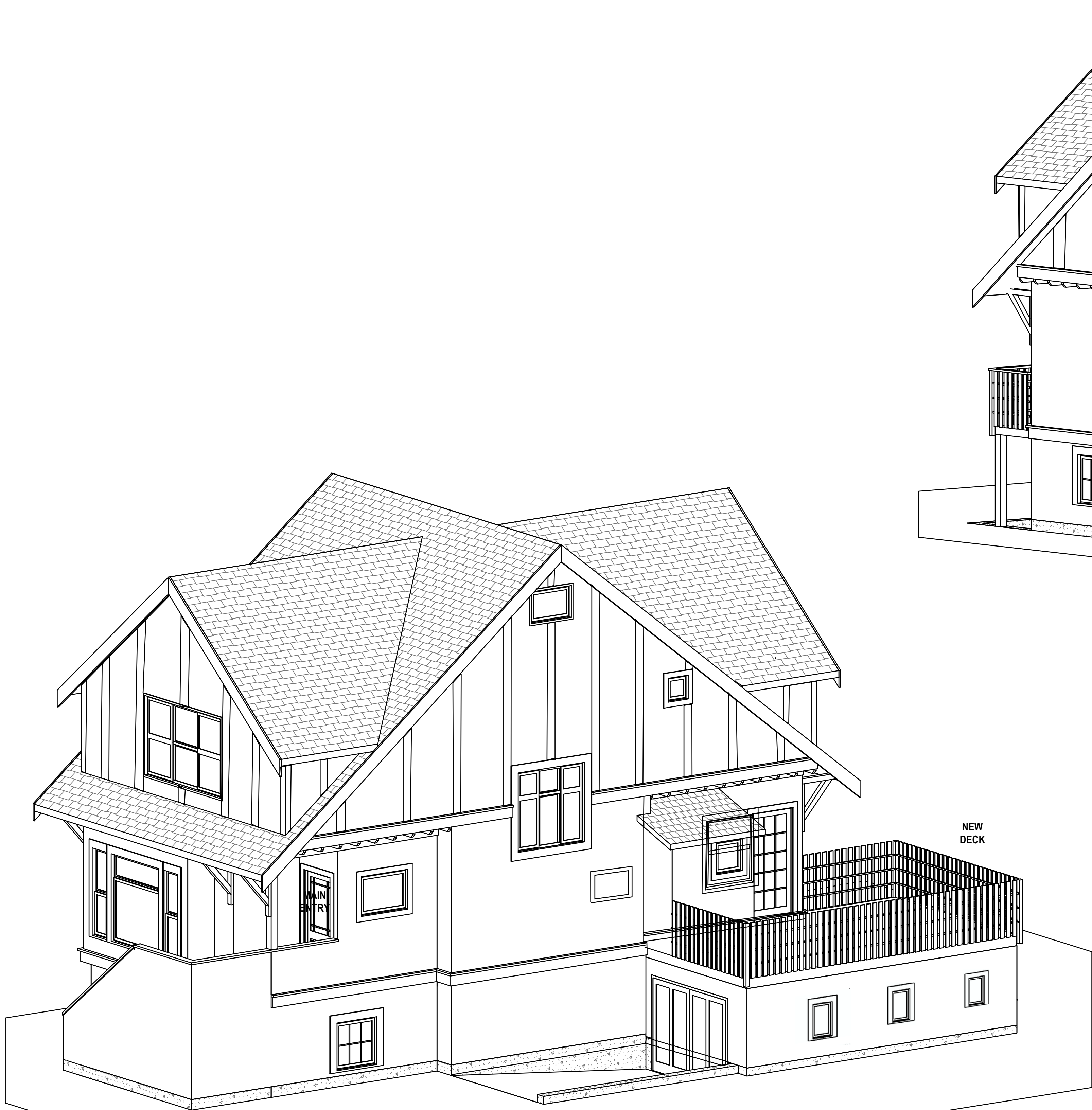
2235 Lydia Street

Victoria, BC V8T 1Y9

(250) 480-9693

broad@cunin.ca

1 of 1



3D VIEW - FRONT PROPOSED

NTS

NOTE: THIS 3D VIEW IS A GENERAL REPRESENTATION OF THE PROJECT AND IS ONLY MENT TO HELP WITH COMMUNICATIONS BETWEEN ALL PARTIES. REFER TO DRAWINGS FOR ACCURATE DETAILS.

3D VIEW - FRONT PROPOSED

NTS

NOTE: THIS 3D VIEW IS A GENERAL REPRESENTATION OF THE PROJECT AND IS ONLY MENT TO HELP WITH COMMUNICATIONS BETWEEN ALL PARTIES. REFER TO DRAWINGS FOR ACCURATE DETAILS.

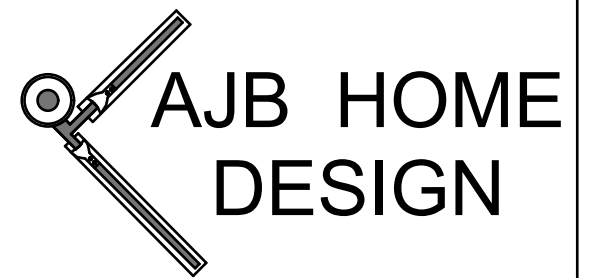
- VERSION OF THE N.B.C. THE B.C.B.C. THE B.C.B.C. MUNICIPAL BYLAWS AND ZONING REGULATIONS.
2. SPANS FOR BEAMS, FLOOR JOISTS, ROOF RAFTER AND CEILING JOISTS ARE AS PER "THE SPAN BOOK" BY THE CANADIAN WOOD COUNCIL.
 3. DO NOT SCALE FROM PLANS. WORK ONLY TO DIMENSIONS INDICATED.
 4. ALL CONSTRUCTION WORK IS TO BE DONE WITH A BUILDING PERMIT.
 5. ALL ELECTRICAL WORK IS TO BE DONE WITH AN ELECTRICAL PERMIT, TO THE ELECTRICAL CODE AND BY A REGISTERED ELECTRICAL CONTRACTOR.
 6. ALL PLUMBING WORK IS TO BE DONE WITH A PLUMBING PERMIT, TO THE PLUMBING CODE AND BY A REGISTERED PLUMBING CONTRACTOR.
 7. ALL SMOKE DETECTORS TO BE INTERCONNECTED & WIRED TO 110 VOLT.
 8. FLASHING REQUIRED OVER ALL EXPOSED OPENINGS. ALL END DAMS @ 2.5mm (1")
 9. RAIN SCREENING IS TO BE AS PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE BC BUILDING CODE
 10. ALL MATERIALS USED ON THIS JOB ARE TO MEET APPLICABLE BC BUILDING CODE STANDARDS AND HAVE APPROPRIATE DOCUMENT NUMBERS AS PER SECTIONS 5.10 & 5.11
 11. THESE DRAWINGS SHOW SPECIFIC CONSTRUCTION METHODS AND MATERIALS USED ON THIS PROJECT. IT IS UNDERSTOOD THAT CHANGES OR SUBSTITUTIONS TO THOSE METHODS AND MATERIALS MAY OCCUR. ANY CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT OF THE APPLICABLE MUNICIPALITY. ANY REQUIRED ADDITIONAL DOCUMENTATION IS TO BE SUPPLIED BY OTHER.
 12. THE FOLLOWING LIST CONTAINS MAIN ITEMS THAT ARE NOT PART OF THESE PLANS AND MAY BE REQUESTED BY THE MUNICIPALITY.
THEY ARE TO BE SUPPLIED BY OTHER AND ARE THE RESPONSIBILITY OF THE OWNER/BUILDER TO OBTAIN.
 - LEGAL SITE SURVEY.
 - THE CORRECT SITING OF THE HOUSE ON THE PROPERTY.
 - ALL SITE SERVICES.
 - STRUCTURAL ENGINEER'S REPORTS, (SCHEDULE B).
 - ALL OTHER ENGINEERING.
 - LAYOUTS AND FOR ENGINEERING FOR TRUSS, BEAM AND FLOOR SYSTEMS.
 - HEATING SYSTEM(S).
 - VENTILATION CALCULATIONS & CHECK LIST.
 - GEOTECHNICAL REPORTS.
 - ARBORIST REPORTS.

DISCLAIMER:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR and/or THE OWNER TO CHECK AND VERIFY ALL ASPECTS OF THE PLANS PRIOR TO START OF ANY CONSTRUCTION OR DEMOLITION.
- AJB HOME DESIGN IS NOT RESPONSIBLE FOR ERRORS and/or OMISSIONS
- THESE PLANS REMAIN THE PROPERTY OF AJB HOME DESIGN AND CAN BE RECLAIMED AT ANY TIME UPON WRITTEN REQUEST.
- ALL DIMENSIONS OF EXISTING STRUCTURE ARE +/- AND ARE TO BE CONFIRMED ON SITE. CHANGES TO BLUEPRINTS MAY BE REQUIRED.

NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE BEARER OF THESE PLANS TO COPY, SCAN &/or BURN TO CD OR A FLASH DRIVE. PRINT IN GREYSKALE.



#314-663 Goldstream Ave.
Victoria BC, V9B 2W9
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE

NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

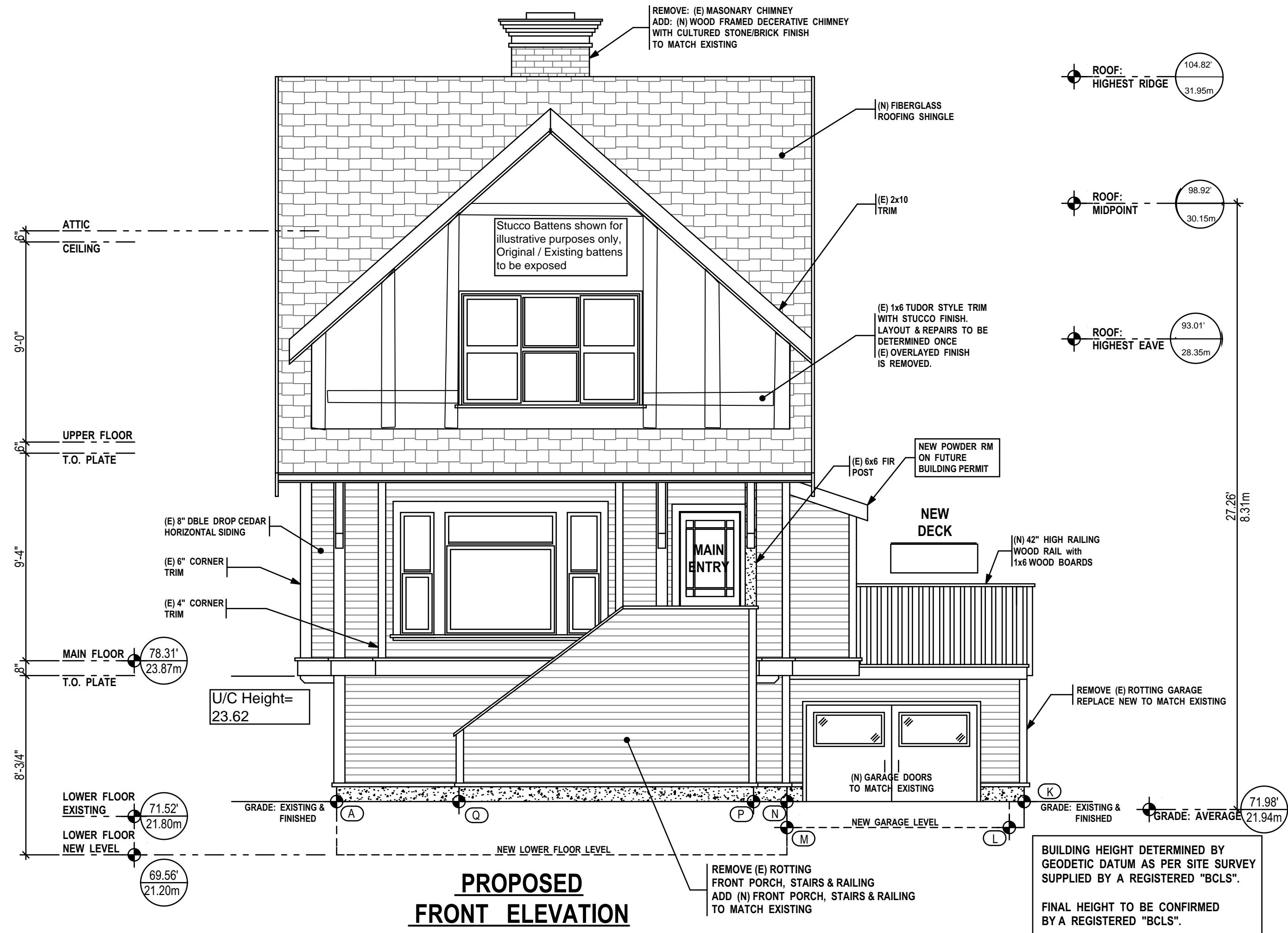
SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

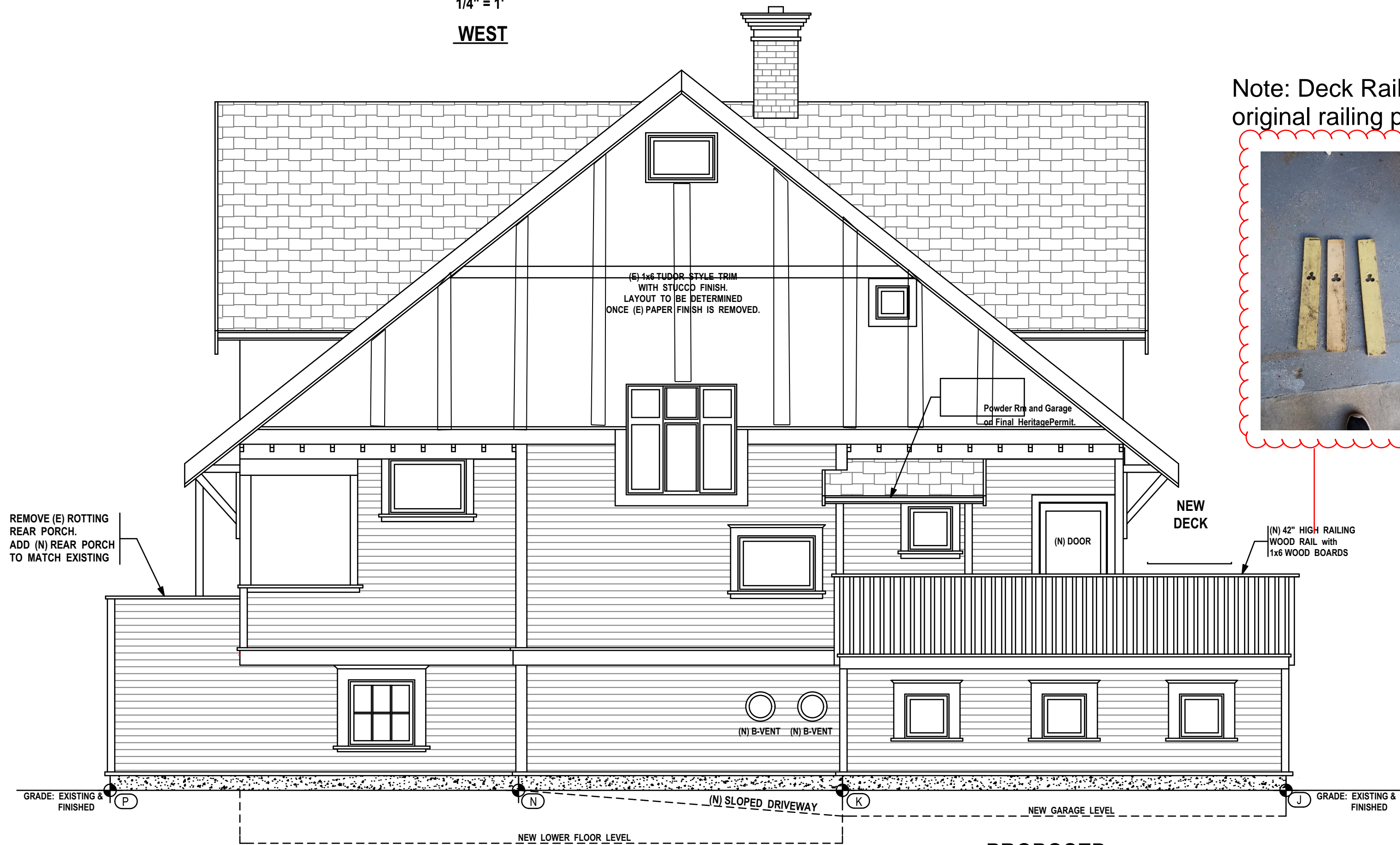
DRAWING NO.

A-1 of 6



**PROPOSED
FRONT ELEVATION**

1/4" = 1'
WEST



**PROPOSED
RIGHT SIDE ELEVATION**

1/4" = 1'
SOUTH

Note: Deck Rails will match
original railing pickets



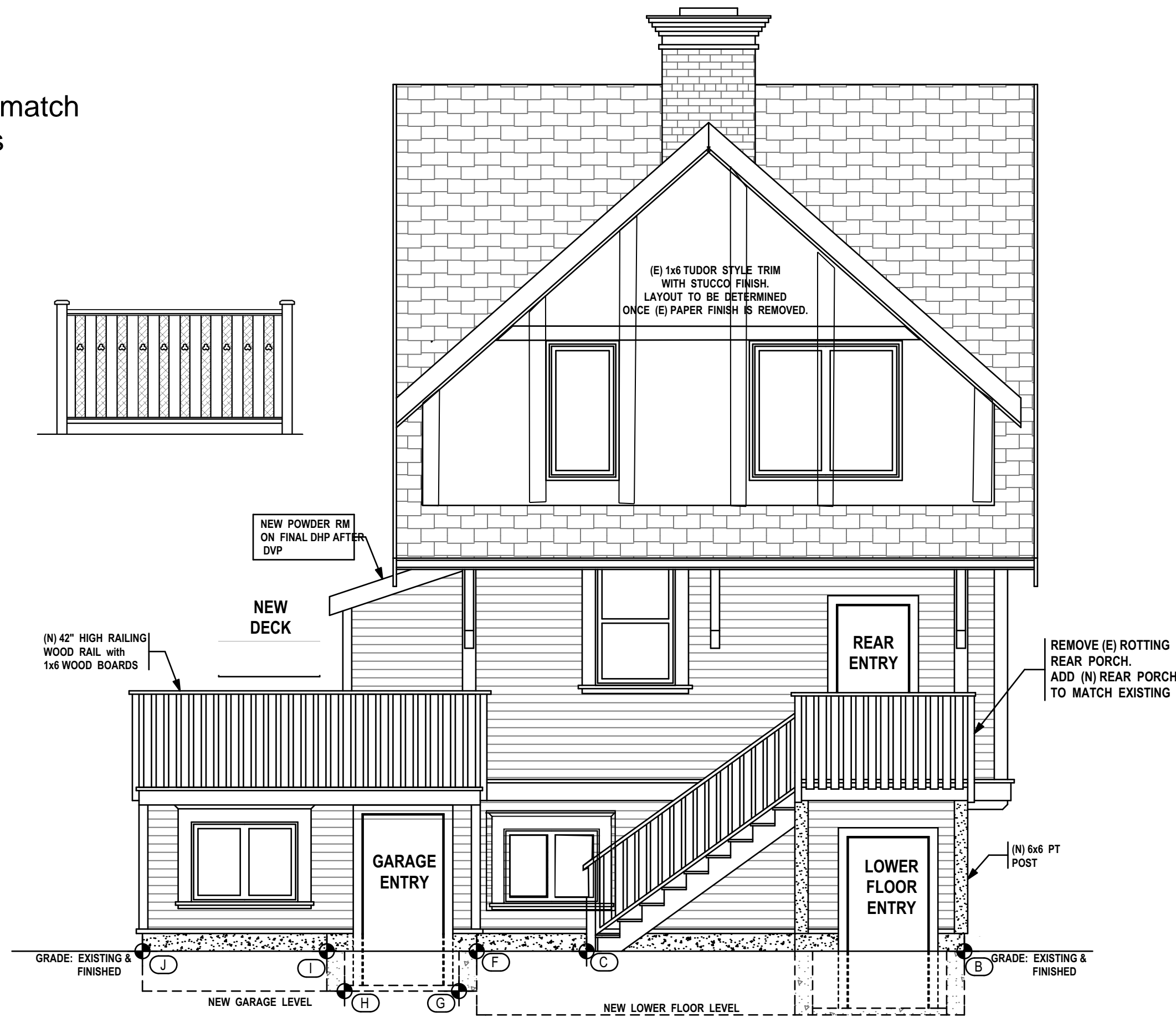
TYPICAL:
ALL WINDOWS TO BE
UPGRADED WITH (N) DOUBLE
GLAZING FIT INTO (E) WOOD
WINDOW SASH.
PG 40 WIND & RAIN RATED.
AS PER BCBC 9.23.13

TYPICAL:
FLASHING REQUIRED OVER
ALL EXPOSED OPENINGS.
ALL END DAMS @ 2.5mm (1").
AS PER DETAILS.



**PROPOSED
LEFT SIDE ELEVATION**

1/4" = 1'
NORTH

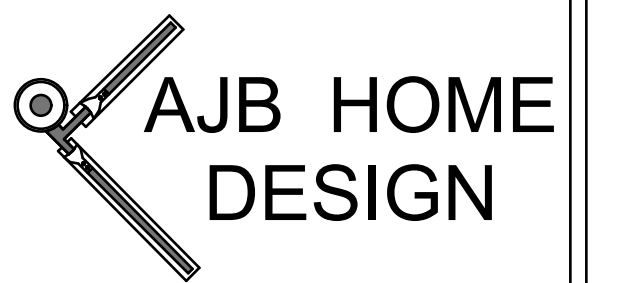


**PROPOSED
REAR ELEVATION**

1/4" = 1'
EAST

NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE
BEARER OF THESE PLANS TO COPY, SCAN &/or
BURN TO CD OR A FLASH DRIVE.
PRINT IN GREYSCALE.



#314-663 Goldstream Ave.
Victoria BC, V9B 2W9
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE

NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

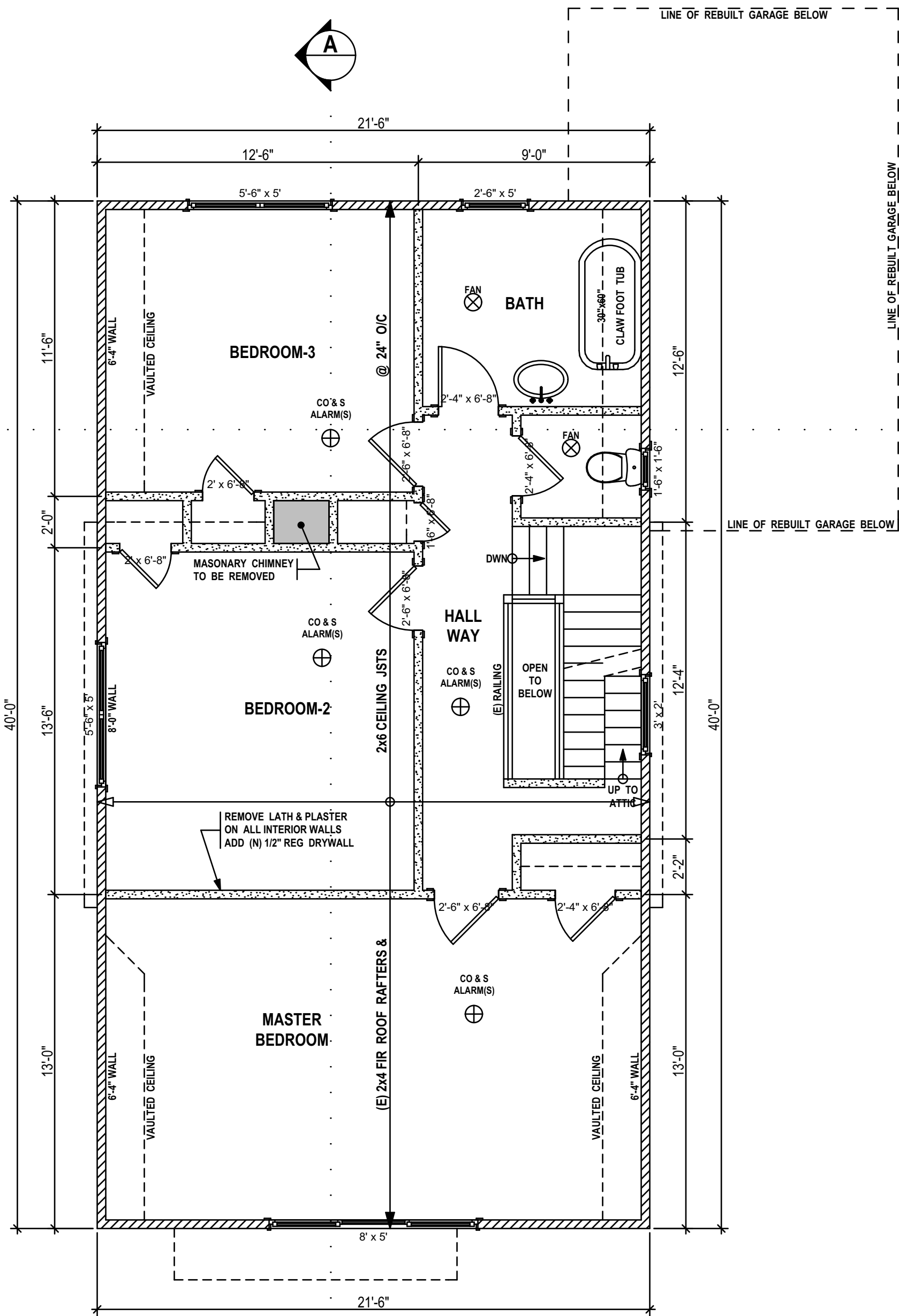
SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

DRAWING NO.

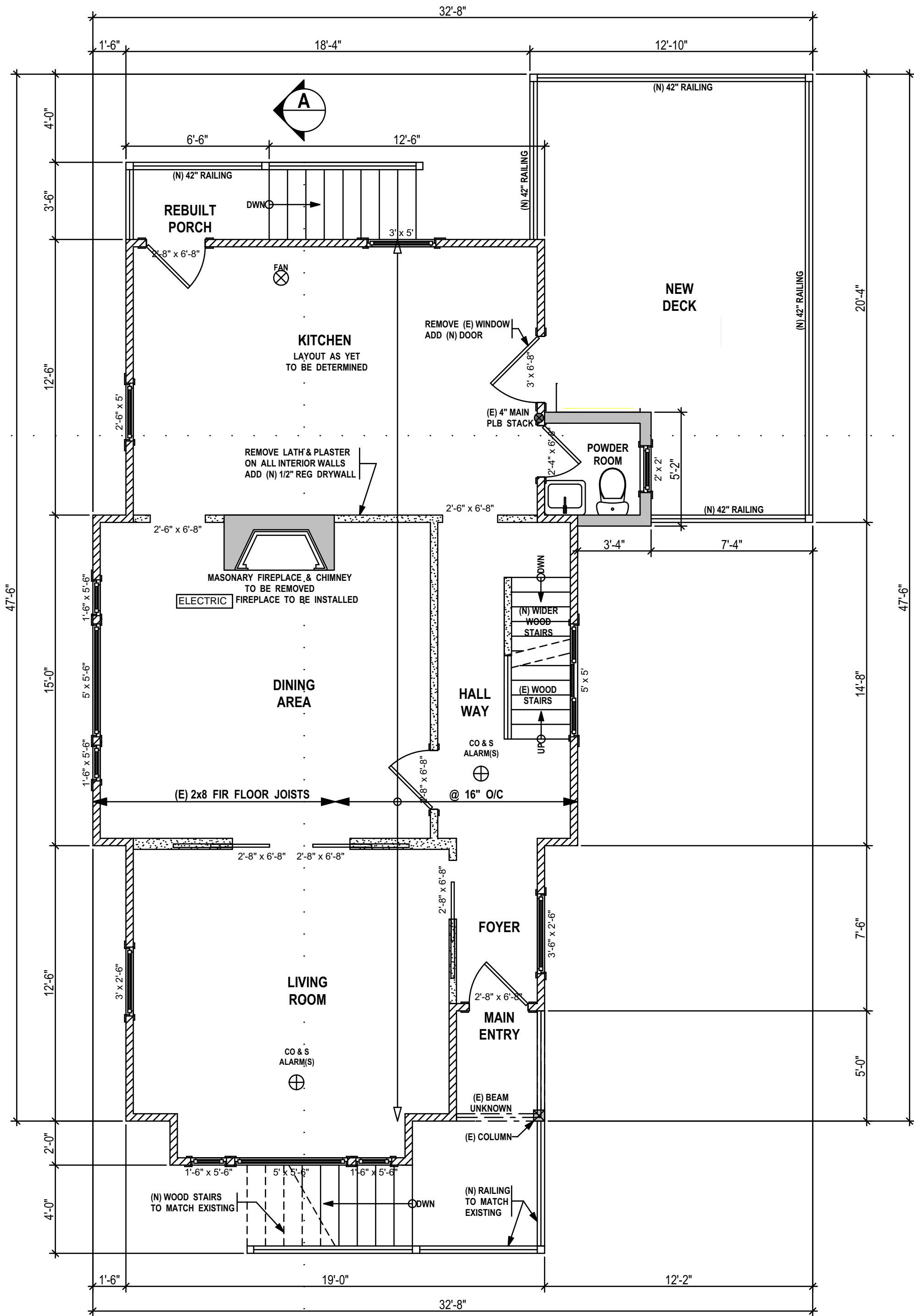
A-2 of 6



EXISTING UPPER FLOOR PLAN

1/4" = 1'

LIVING SPACE: TOTAL PROPOSED @ 819.4 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL



EXISTING MAIN FLOOR PLAN

1/4" = 1'

LIVING SPACE: TOTAL PROPOSED @ 787.6 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL

LEGEND

(N) = NEW ITEM (E) = EXISTING ITEM	FAN CEILING EXHAUST FAN CO & S ALARM CARBON MONOXIDE & SMOKE ALARMS) ALL INTERCONNECTED
POST (6x6 or 3-2X8 BLT-UP)	FRAME ON SITE
BEARING POINT OF LOAD FROM ABOVE	

BEAMS & GIRDERS BEAM FACE BEAM CENTRE BEAM FACE HEADER: OVER WINDOW OR DOOR ENG ROOF GIRDER TRUSS	FLOOR JOISTS & ROOF TRUSS NOTATION DIRECTION OF SPAN
---------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------

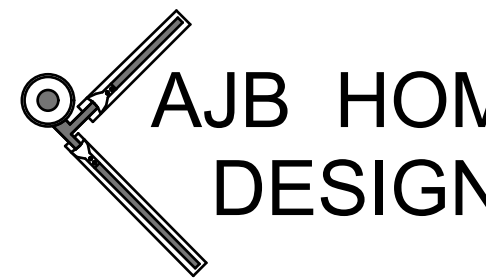
DIMENSION PLACEMENT O/S O INSIDE FACE OF EXTERIOR WALLS O CENTER OF INTERIOR WALLS & WINDOWS	GEODETIC DATUM FROM LEGAL SITE SURVEY BY A.B.C.S. 28.6m 100.0 METERS FEET METERS
----------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------

ROOM SIZES NOTATION ROOM SIZES ARE FROM INSIDE FACE OF WALL, TO INSIDE FACE OF WALL. ROOM SIZES ARE SHOWN AS 10'-6"x12'-8". O THE FIRST NUMBER (10'-6") BEING THE WIDTH (FROM LEFT TO RIGHT) O THE SECOND NUMBER (12'-8") BEING THE DEPTH (UP AND DOWN)	
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--

WALLS TYPES 4" EXISTING WALL 6" EXISTING WALL 4" NEW WALL 6" NEW WALL EXISTING INTERIOR 4" STUD WALL REMOVE: EXISTING LATH & PLASTER ADD: NEW 1/2" REG DRYWALL EXISTING-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS NEW-1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS	EXISTING EXTERIOR WALL: REMOVE: (E) EXTERIOR FINISH & ADD: (N) 1/2" DRYWALL WALL TO BE REMOVED EXISTING CONCRETE FOUNDATION FOOTINGS UNKNOWN NEW CONCRETE FND WITH CONT. CONCRETE FOOTINGS NEW CORBELLED CONCRETE FND WITH CONT. CONCRETE FOOTINGS
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE
BEARER OF THESE PLANS TO COPY, SCAN &/or
BURN TO CD OR A FLASH DRIVE.
PRINT IN GREYS CALE.



#314-663 Goldstream Ave.
Victoria BC, V9B 2W9
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE

NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

DRAWING NO.

A-3 of 6

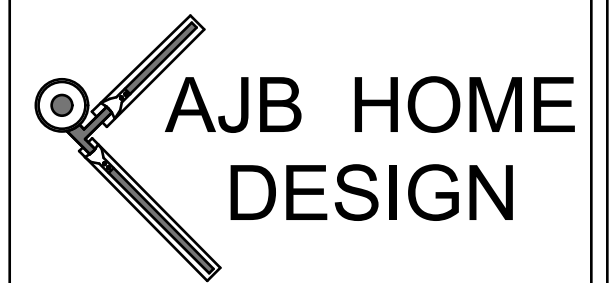
LIVING SPACE: TOTAL PROPOSED @ 721.1 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL

**LIVING SPACE: TOTAL PROPOSED @ 723.5 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL**

Comment 1.3 label all roomns

NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE
BEARER OF THESE PLANS TO COPY, SCAN &/or
BURN TO CD OR A FLASH DRIVE.
PRINT IN GREYSCALE.



#314-663 Goldstream Ave.
Victoria BC, V9B 2W9
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE

NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

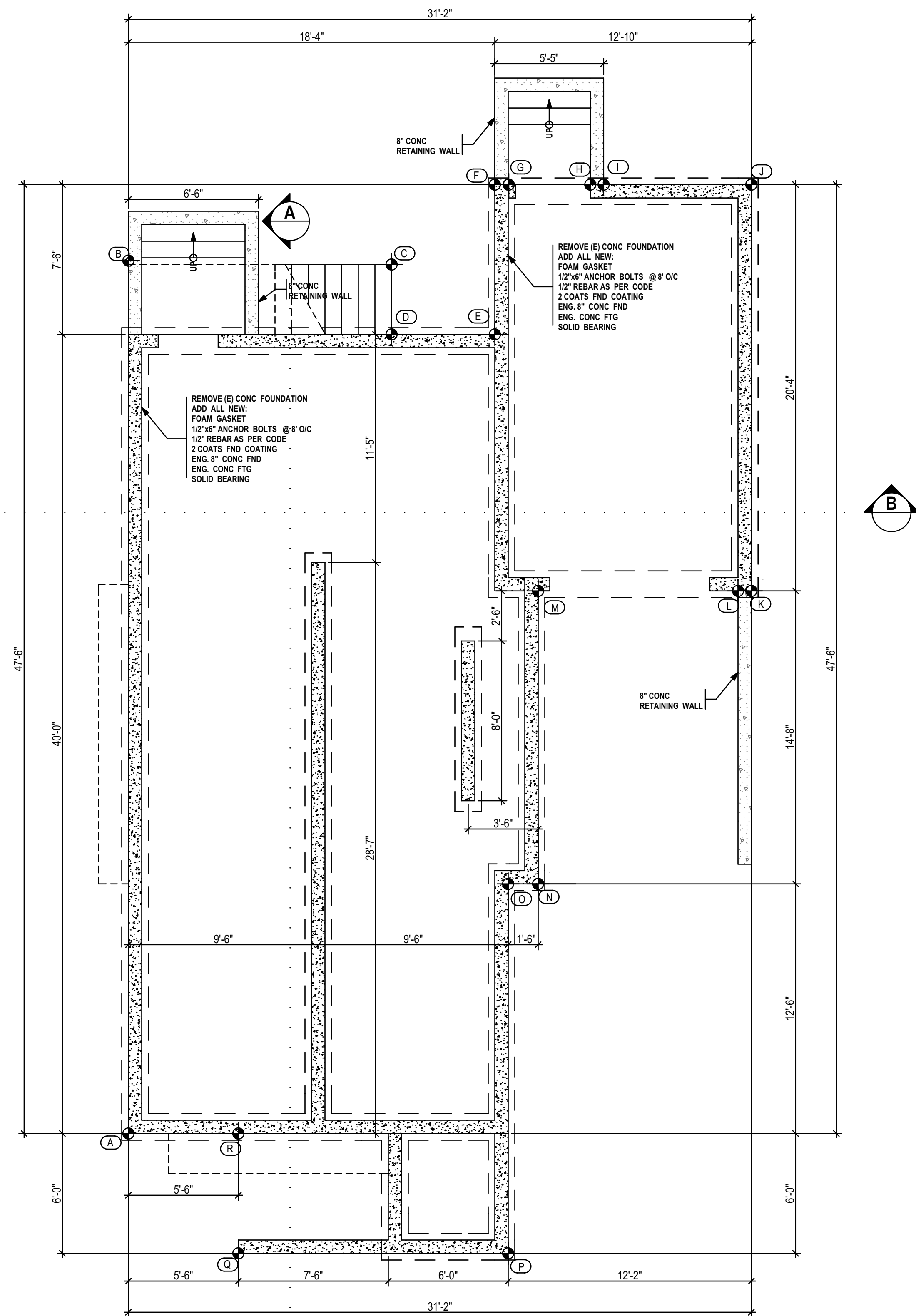
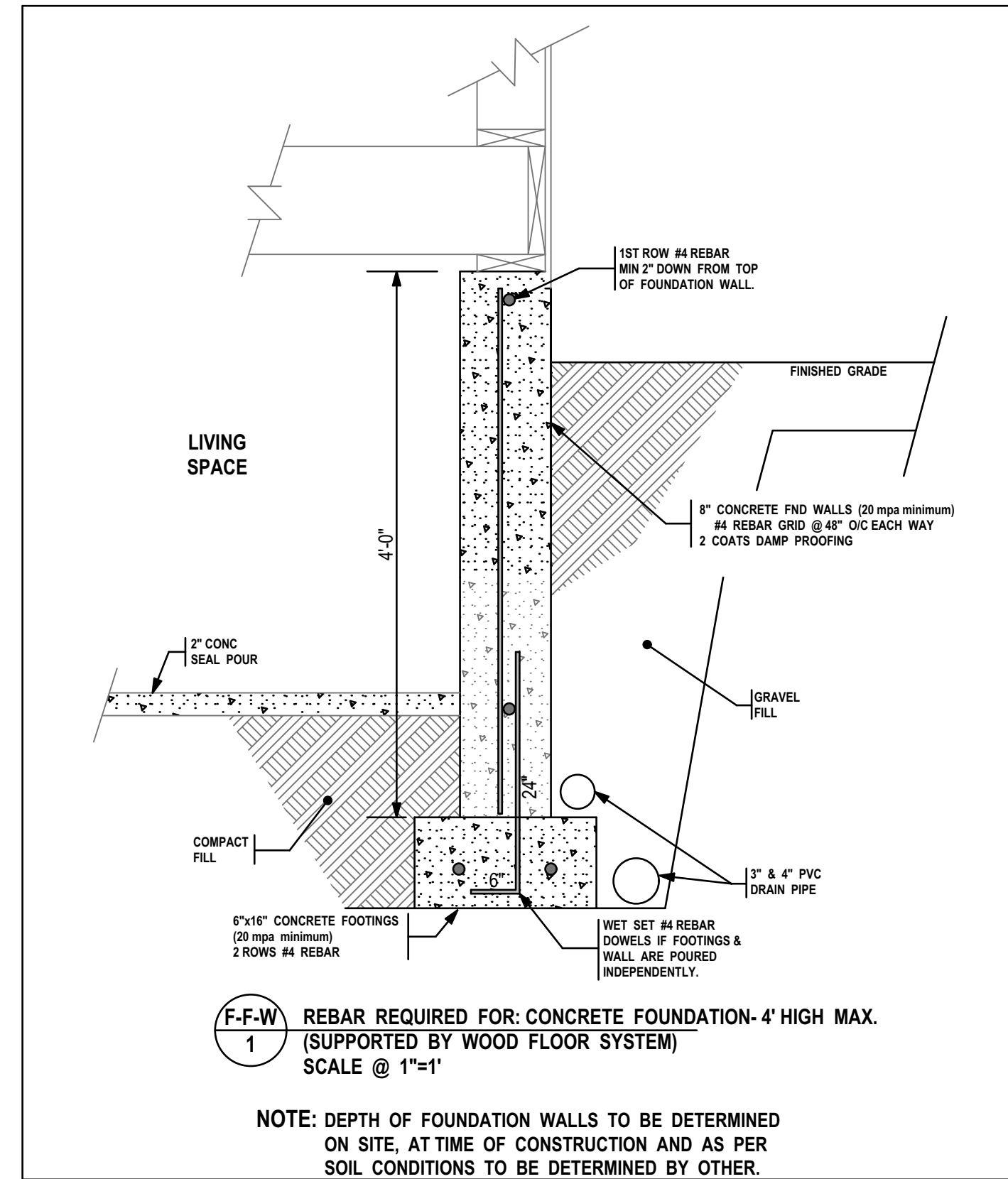
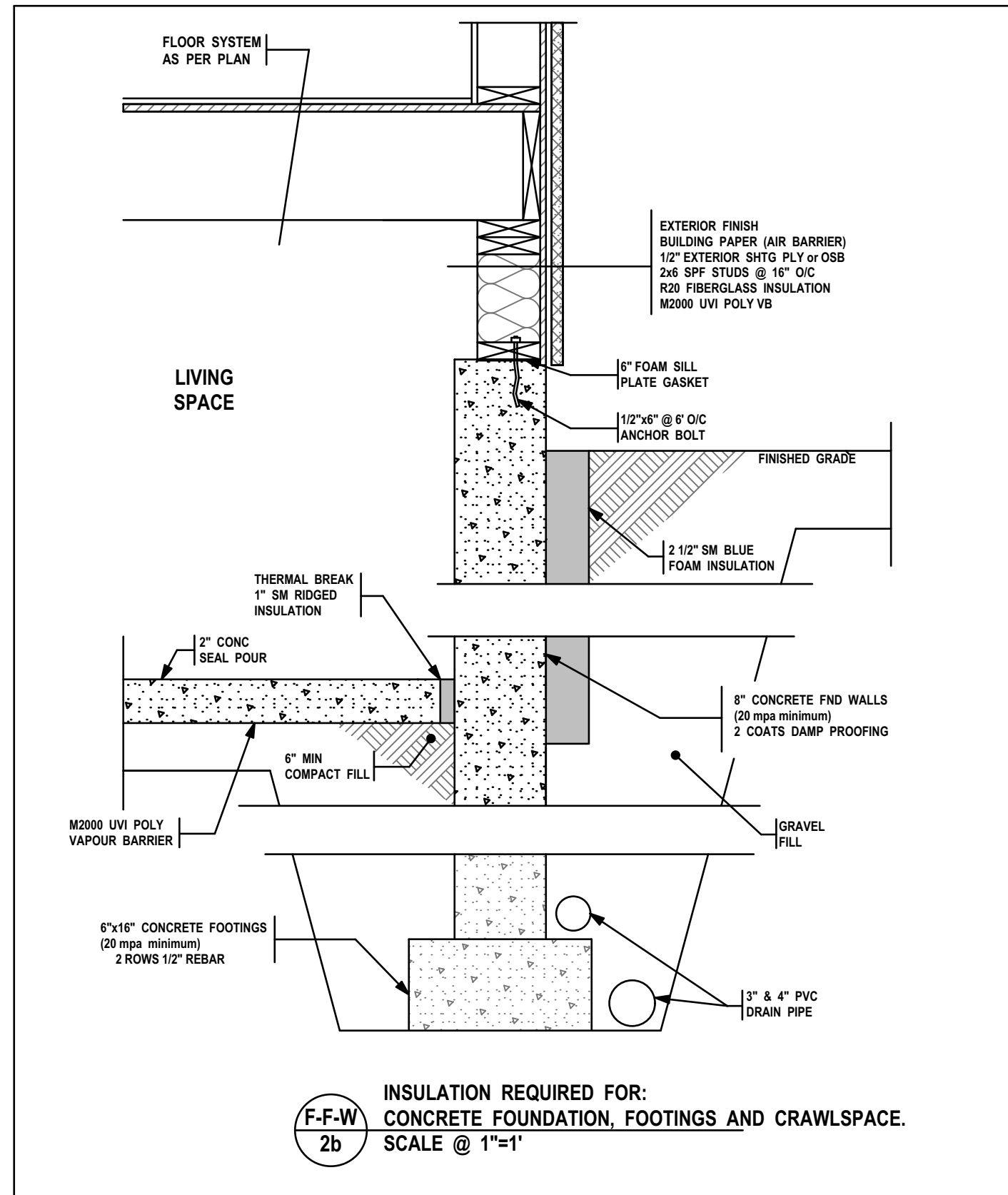
SITE: 2251
LYDIA ST










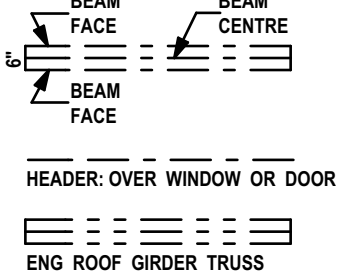
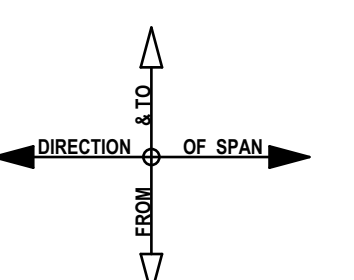
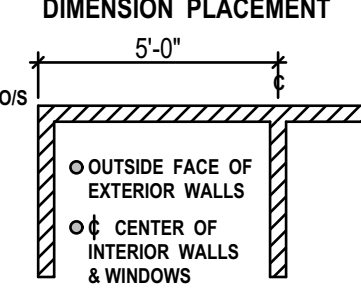
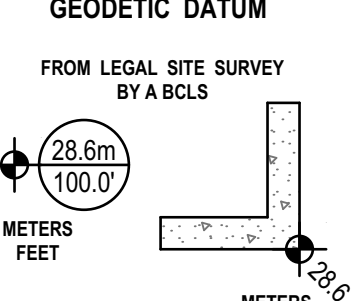






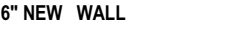

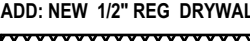
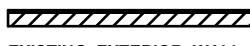
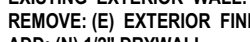
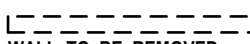





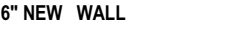

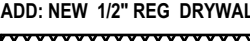
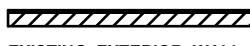
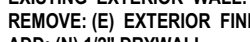
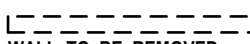





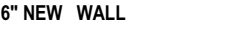

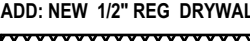
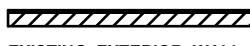
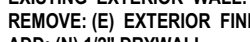
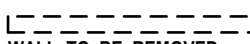

FOR: BC HOMES

DRAWN BY: Alan Bisson

DRAWING NO.

A-4 of 6

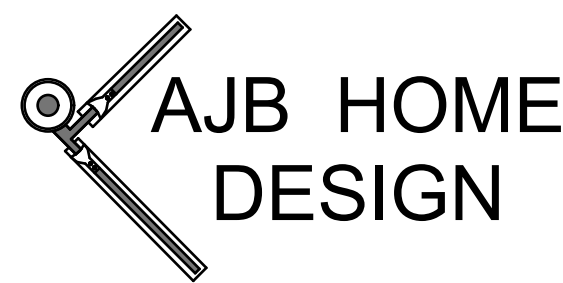


<p align="center">LEGEND</p> <table border="0"> <tr> <td>(N) = NEW ITEM</td> <td> CEILING EXHAUST FAN</td> </tr> <tr> <td>(E) = EXISTING ITEM</td> <td>CO & S ALARM</td> </tr> <tr> <td><input checked="" type="checkbox"/> POST (6x6 or 3-XLZ BLUP)</td> <td> CARBON MONOXIDE & SMOKE ALARM(S) ALL INTERCONNECTED</td> </tr> <tr> <td><input checked="" type="checkbox"/> BEARING POINT OF LOAD FROM ABOVE</td> <td> FRAME ON SITE</td> </tr> </table>		(N) = NEW ITEM	 CEILING EXHAUST FAN	(E) = EXISTING ITEM	CO & S ALARM	<input checked="" type="checkbox"/> POST (6x6 or 3-XLZ BLUP)	 CARBON MONOXIDE & SMOKE ALARM(S) ALL INTERCONNECTED	<input checked="" type="checkbox"/> BEARING POINT OF LOAD FROM ABOVE	 FRAME ON SITE
(N) = NEW ITEM	 CEILING EXHAUST FAN								
(E) = EXISTING ITEM	CO & S ALARM								
<input checked="" type="checkbox"/> POST (6x6 or 3-XLZ BLUP)	 CARBON MONOXIDE & SMOKE ALARM(S) ALL INTERCONNECTED								
<input checked="" type="checkbox"/> BEARING POINT OF LOAD FROM ABOVE	 FRAME ON SITE								
<p align="center">BEAMS & GIRDERS</p> 	<p align="center">FLOOR JOISTS & ROOF TRUSS NOTATION</p> 								
<p align="center">DIMENSION PLACEMENT</p> 	<p align="center">GEODETIC DATUM</p> <p>FROM LEGAL SITE SURVEY BY A BCLS</p> 								
<p align="center">ROOM SIZES NOTATION</p> <p><input type="checkbox"/> ROOM SIZES ARE FROM INSIDE FACE OF WALL, TO INSIDE FACE OF WALL.</p> <p><input type="checkbox"/> ROOM SIZES ARE SHOW AS 10'-6"x12'-3".</p> <p><input type="checkbox"/> THE FIRST NUMBER (10'-6") BEING THE WIDTH (FROM LEFT TO RIGHT) </p> <p><input type="checkbox"/> THE SECOND NUMBER (12'-3") BEING THE DEPTH (UP AND DOWN) </p>									
<p align="center">WALLS TYPES</p> <table border="0"> <tr> <td>  4" EXISTING WALL  6" EXISTING WALL  4" NEW WALL  6" NEW WALL  EXISTING INTERIOR 4" STUD WALL REMOVE: EXISTING LATH & PLASTER ADD: NEW 1/2" RES DRYWALL  EXISTING-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS  NEW-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS </td> <td>  EXISTING EXTERIOR WALL: REMOVE: (E) EXTERIOR FINISH & ADD: 1/2" DRYWALL  NEW EXTERIOR WALL: WALL TO BE REMOVED  NEW CORBELLED CONCRETE FOUNDATION FOOTINGS UNKNOWN  NEW CONCRETE FND WITH CONT. CONCRETE FOOTINGS </td> </tr> </table>		 4" EXISTING WALL  6" EXISTING WALL  4" NEW WALL  6" NEW WALL  EXISTING INTERIOR 4" STUD WALL REMOVE: EXISTING LATH & PLASTER ADD: NEW 1/2" RES DRYWALL  EXISTING-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS  NEW-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS	 EXISTING EXTERIOR WALL: REMOVE: (E) EXTERIOR FINISH & ADD: 1/2" DRYWALL  NEW EXTERIOR WALL: WALL TO BE REMOVED  NEW CORBELLED CONCRETE FOUNDATION FOOTINGS UNKNOWN  NEW CONCRETE FND WITH CONT. CONCRETE FOOTINGS						
 4" EXISTING WALL  6" EXISTING WALL  4" NEW WALL  6" NEW WALL  EXISTING INTERIOR 4" STUD WALL REMOVE: EXISTING LATH & PLASTER ADD: NEW 1/2" RES DRYWALL  EXISTING-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS  NEW-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS	 EXISTING EXTERIOR WALL: REMOVE: (E) EXTERIOR FINISH & ADD: 1/2" DRYWALL  NEW EXTERIOR WALL: WALL TO BE REMOVED  NEW CORBELLED CONCRETE FOUNDATION FOOTINGS UNKNOWN  NEW CONCRETE FND WITH CONT. CONCRETE FOOTINGS								

<p>SCALE @ 2"=1"</p>	<p>SCALE @ 2"=1"</p>	<p>SCALE @ 2"=1"</p>
<p>NOT TO SCALE</p> <p>DETAIL: F-H1 HEADER TRIM FLASHING</p>	<p>NOT TO SCALE</p> <p>DETAIL: F-H1 WINDOW HEADER FLASHING</p>	<p>NOT TO SCALE</p> <p>DETAIL: F-S1 SILL TRIM FLASHING</p>
<p>NOT TO SCALE</p> <p>DETAIL: F-S1 WINDOW SILL FLASHING</p>	<p>NOT TO SCALE</p> <p>DETAIL: F-T1 TRIM FLASHING-TOP</p>	<p>NOT TO SCALE</p> <p>DETAIL: F-TB1 TRIM FLASHING-BOTTOM</p>

NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE
BEARER OF THESE PLANS TO COPY, SCAN &/or
BURN TO CD OR A FLASH DRIVE.
PRINT IN GREYSCALE.



#314-663 Goldstream Ave.
Victoria BC, V9B 2W9
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE

NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

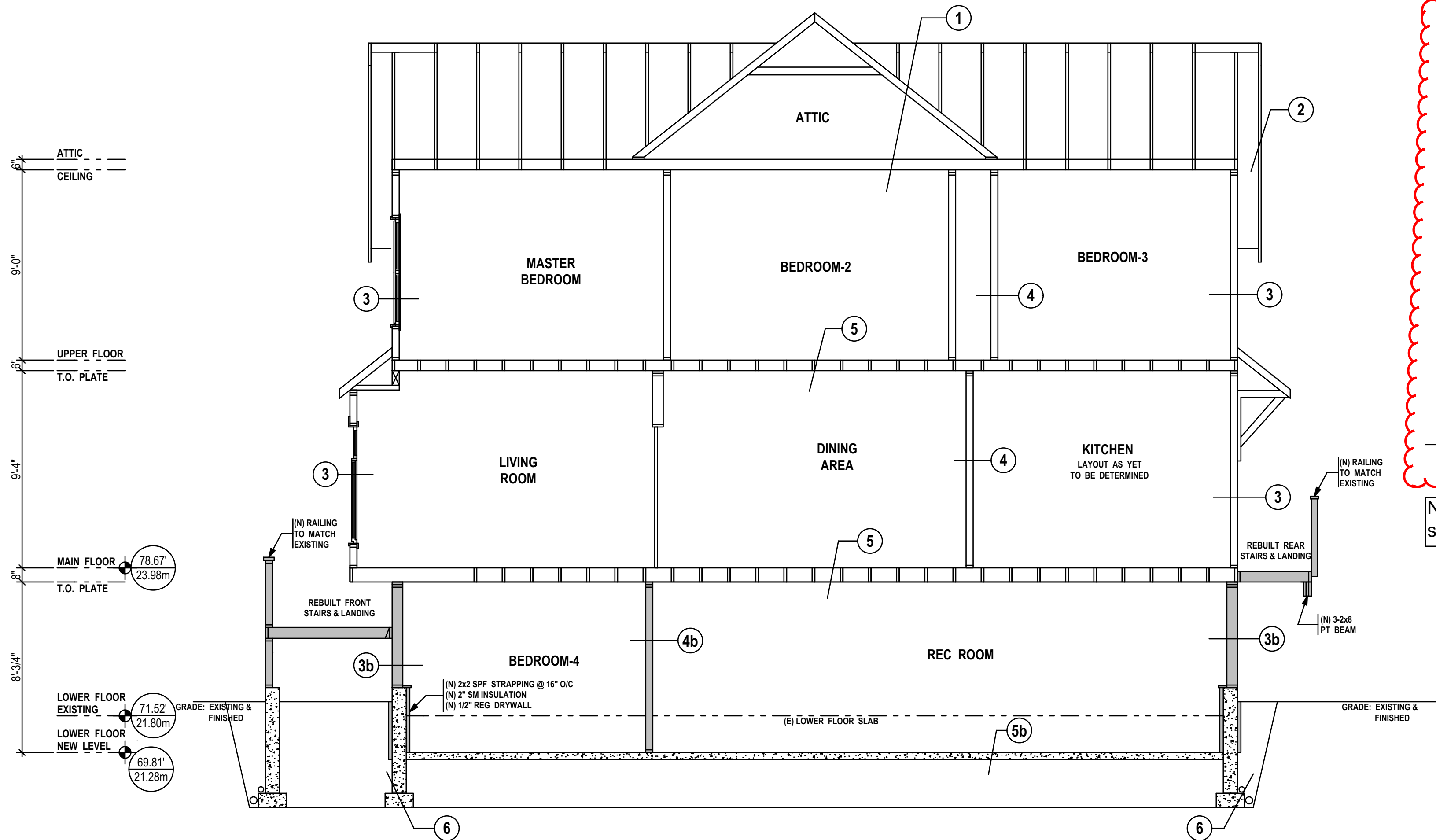
SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

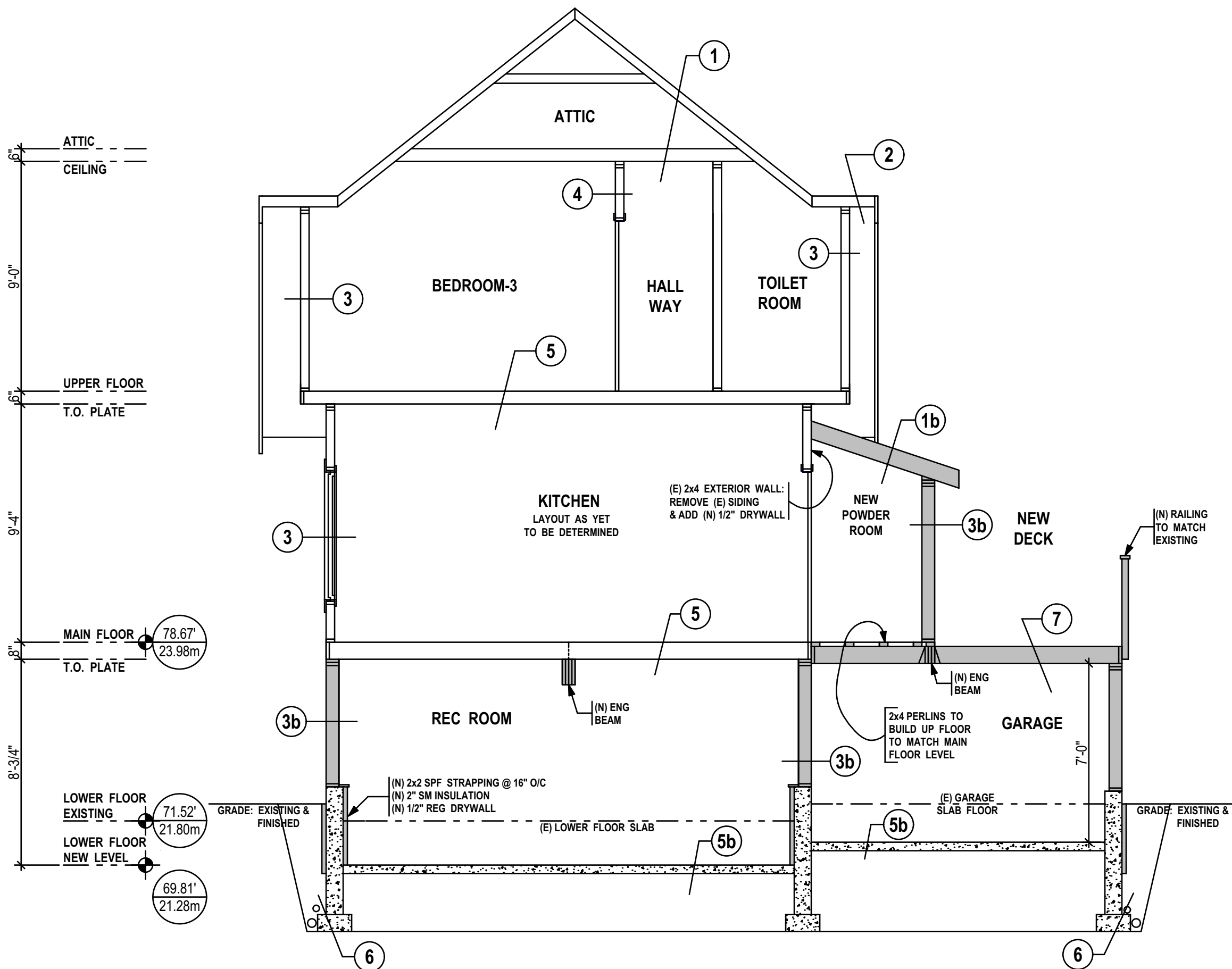
DRAWING NO.

A-5 of 6



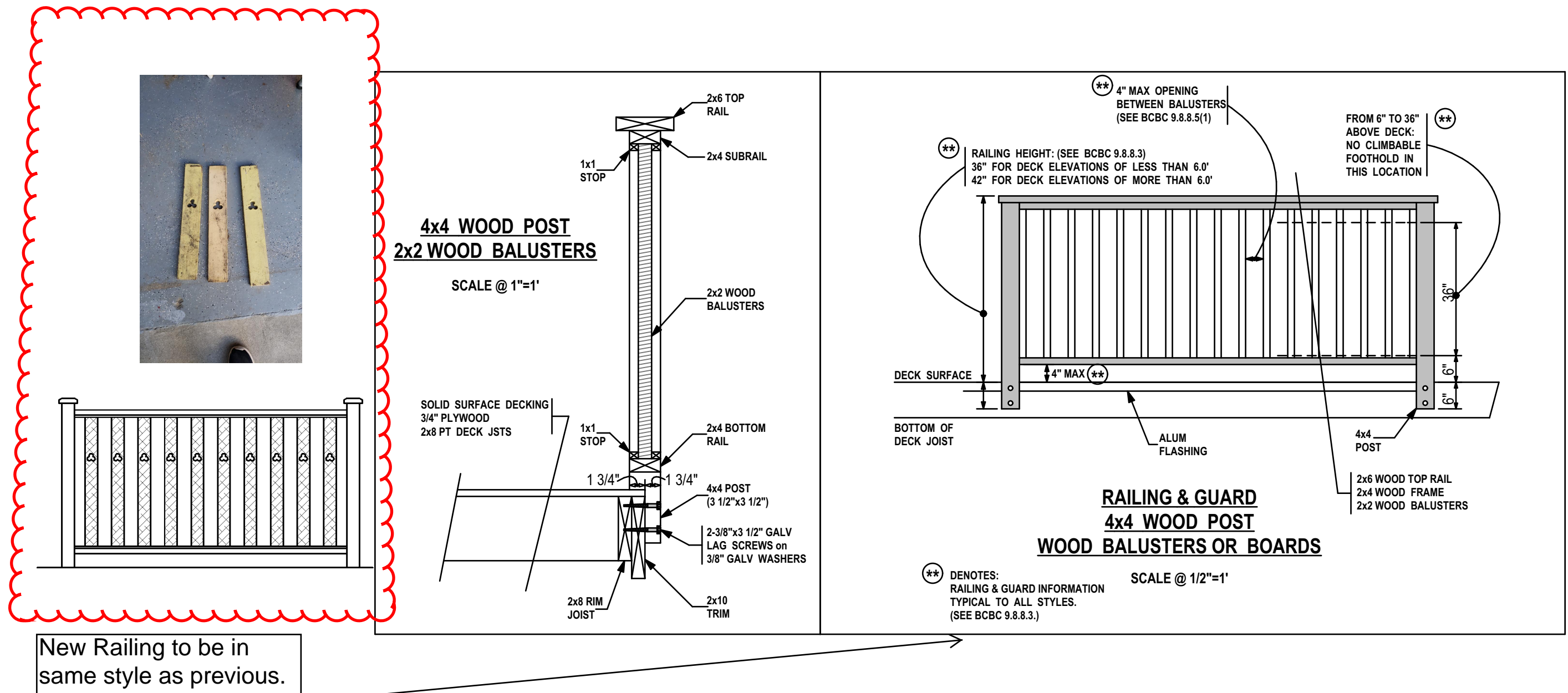
CROSS SECTION AA

1/4" = 1"



CROSS SECTION BB

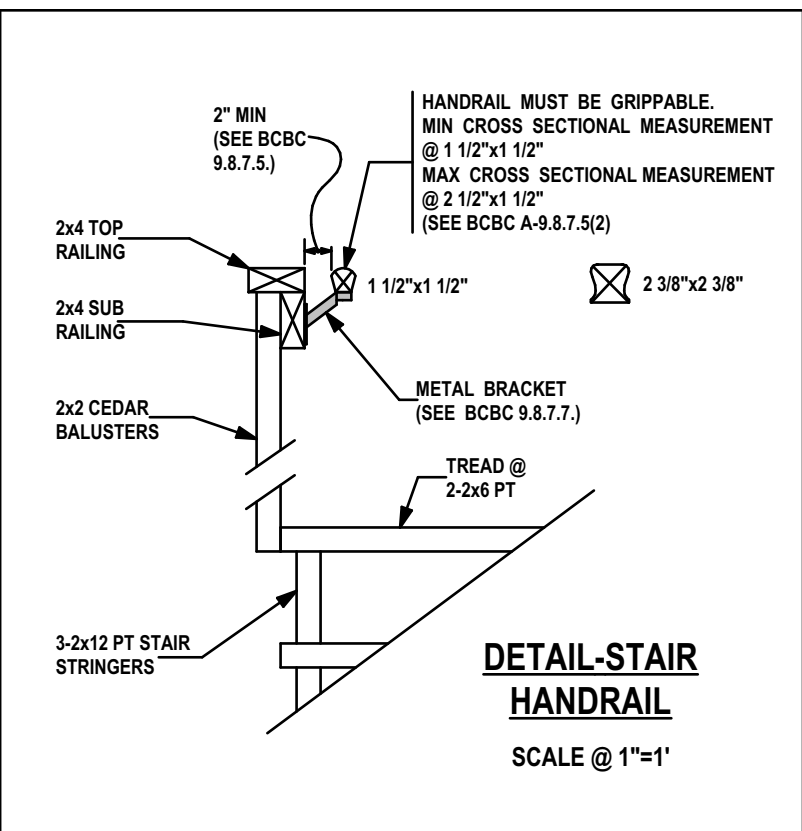
1/4" = 1"



CROSS SECTION SPECIFICATIONS

- ALL MATERIALS, USED ON THIS JOB, ARE TO MEET APPLICABLE BC BUILDING CODE STANDARDS, MANUFACTURES SPECIFICATIONS AND HAVE APPROPRIATE DOCUMENT NUMBERS AS PER SECTIONS 5.10 & 5.11.
- ANY MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT OF THE APPLICABLE MUNICIPALITY. ANY REQUIRED ADDITIONAL DOCUMENTATION IS TO BE SUPPLIED BY OTHER.
- RAIN SCREENING IS TO BE AS PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE BC BUILDING CODE.
- (E) = EXISTING ITEMS (N) = NEW ITEMS

- 1 ROOF
 - (N) FIBERGLASS ROOFING SHINGLES
 - (N) BUILDING PAPER
 - (E) 3/4\" SHEETING
 - (E) 2x4 ROOF RAFTERS @ 24\" O/C
 - (N) 1:300 VENTILATION-(N) 10-ROOF VENTS @ 50sq(in EACH)
 - (N) R40 FIBERGLASS INSULATION
 - (N) M2000 UVI POLY VIB (CAN/CGSB-51.34-M86)
 - (N) 1/2\" REG DRYWALL
- 2 SOFFIT/FACIA/GUTTER
 - (N) SOFFIT, FACIA & GUTTER TO MATCH EXISTING
- 3 EXTERIOR WALLS
 - (E) STUCCO FINISH (ON UPPER FLOOR)
 - (E) 4\" DBLE DROP HORZ SIDING (ON MAIN FLOOR)
 - (E) BUILDING PAPER (AIR BARRIER)
 - (E) 3/4\" EXTERIOR SHEETING
 - (E) 2x4 FIR STUDS @ 16\" O/C
 - (E) LATH & PLASTER
- 3b EXTERIOR WALLS
 - (N) 4\" DBLE DROP HORZ SIDING
 - (N) BUILDING PAPER (AIR BARRIER)
 - (N) 1/2\" OSB EXTERIOR SHEETING
 - (N) 2x6 SPF STUDS @ 16\" O/C
 - (N) R20 INSULATION
 - (N) M2000 UVI POLY VAPOUR BARRIER
 - (N) 1/2\" REG DRYWALL
- 4 INTERIOR WALLS
 - REMOVE (E) LATH & PLASTER
 - (E) 2x4 STUDS @ 16\" O/C
 - (N) 1/2\" REG DRYWALL BOTH SIDES
- 4b INTERIOR WALLS
 - (N) 2x4 SPF STUDS @ 16\" O/C
 - (N) 1/2\" REG DRYWALL BOTH SIDES
- 5 FLOOR SYSTEM
 - (N) FLOOR COVERING
 - (E) 3/4\" SHEETING
 - (E) 2x6 FIR FLOOR JOISTS @ 16\" O/C (ON UPPER FLOOR)
 - (E) 2x8 FIR FLOOR JOISTS @ 16\" O/C (ON MAIN FLOOR)
 - (E) X BRIDGING @ 7\" O/C
 - (N) 1/2\" REG DRYWALL
- 5b CONCRETE FLOOR
 - (N) 4\" CONCRETE SLAB (25 mpa-minimum)
 - (N) M2000 UVI POLY VAPOUR BARRIER
 - (N) 6\" MIN COMPACT FILL
- 6 FOUNDATION AND FOOTINGS
 - REMOVE (E) CONC FOUNDATION
 - (N) 8\" ENG CONCRETE FND
 - (N) ENG CONC FOOTINGS
 - (N) 2 COATS DAMP PROOFING
 - (N) 2.5\" SM RIDGED INSULATION
 - (N) 3\" & 4\" DRAIN PIPE GRAVEL FILL
- 7 ROOF/DECK
 - (N) 70 MIL VINYL DECKING (ROOFING GRADE)
 - (N) 3/4\" T&G PLYWOOD SHEETING
 - (N) 3/4\" T&G PLYWOOD SHEETING
 - (N) 2x6 SPF ROOF/DECK JOISTS @ 12\" O/C
 - (N) 2 lb-R33 URETHANE SPRAY FOAM, MEDIUM DENSITY, CLOSED CELL INSULATION
 - 1/2\" REG DRYWALL



NOTE TO PRINTERS

AJB HOME DESIGN GIVES ITS CONSENT FOR THE BEARER OF THESE PLANS TO COPY, SCAN &/or BURN TO CD OR A FLASH DRIVE. PRINT IN GREYSCALE.

AJB HOME DESIGN

#314-663 Goldstream Ave.
Victoria BC, V9B 2W9
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE
NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

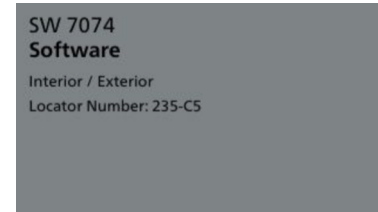
DRAWING NO.

A-6 of 6

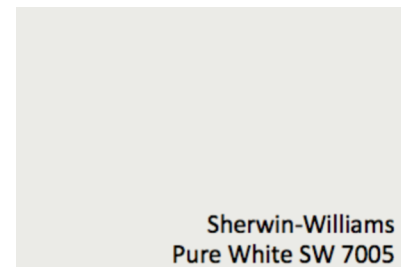
Colour Scheme & Materials Board 2246 Lydia Street



Lower Horizontal Siding – SW7674



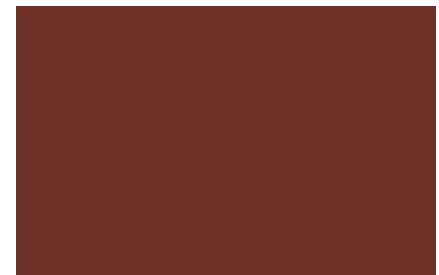
Tudor Style Hardiplank in Gables – SW 7074



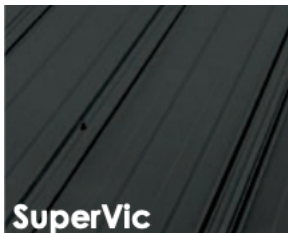
All Trim, Soffits and Railings – SW 7005



Roof - IKO asphalt shingles – Aged Redwood

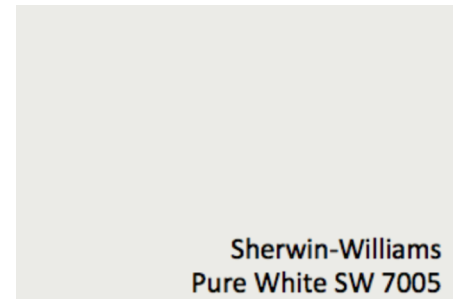
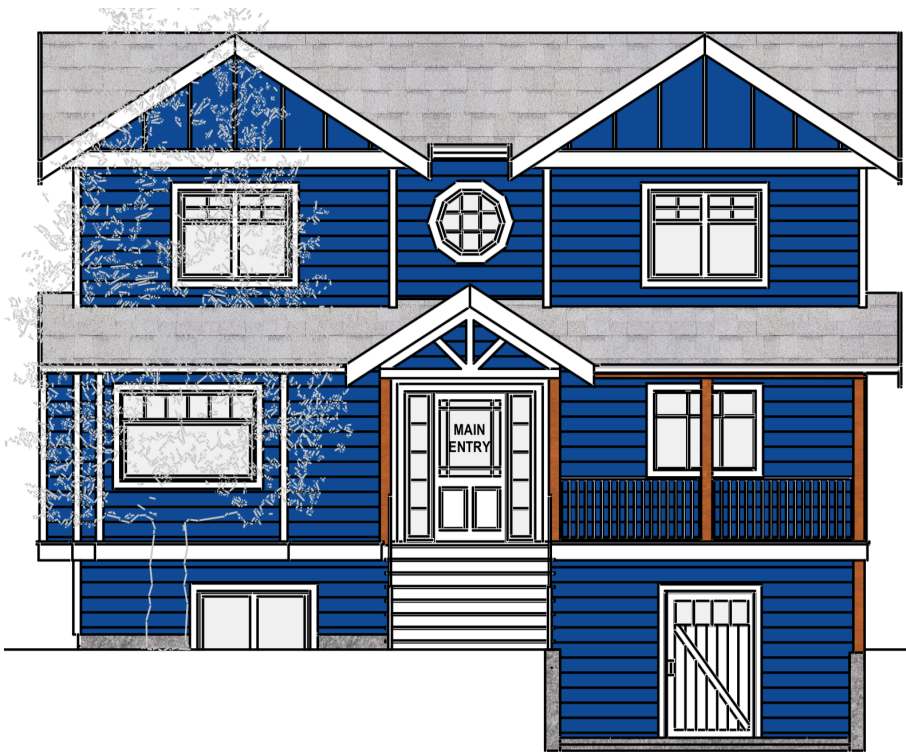


Exterior Doors – Rustic Red – SW 7593

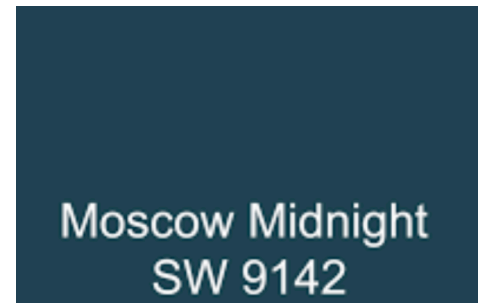


Porch Roof – SuperVic Roofing in Graphite

Colour Scheme & Materials Board 2246 Lydia Street



Sherwin-Williams
Pure White SW 7005
All Trim, Soffits, Bike Storage Door
and Railings – SW 7005



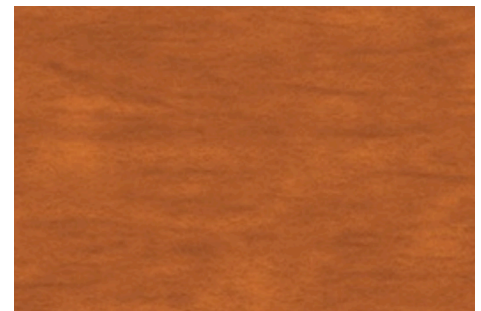
Moscow Midnight
SW 9142
All Exterior Siding – Moscow
Midnight – SW9142

Roof - IKO asphalt shingles – Aged Redwood

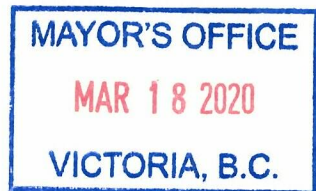


Dual Grey

Roof – IKO Asphalt Shingles – Dual Grey



Main Entrance Door, gable, posts and
porch railings stained wood – Cedar
Bark SW3511.



The Corporation of the District of Saanich | Mayor's Office
770 Vernon Avenue Victoria BC V8X 2W7 | T 250-475-5510 | F 250-475-5440 | www.saanich.ca

March 11, 2020

Mayor & Council
City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

VIA EMAIL: mayor@victoria.ca

Dear Mayor Helps & Council:

RE: Invitation to collaborate on BC Motor Vehicle Act Pilot Project

As you may be aware, on November 25, 2019, Saanich Council in open meeting sent a letter to Premier John Horgan requesting a review of the default speed limits defined in the *Motor Vehicle Act* (MVA). Our community has, as does yours, a vast number of residential roads. Many of these are without sidewalks and it is simply inappropriate for a driver to legally operate their vehicle at 50km/h with children walking and cycling on the same road.

While it is technically and legally possible to create bylaws and install signage on each of these roads, it would be far easier to update the MVA and begin a cultural shift that prioritizes safety, over speeding, on roads that should place families and our most vulnerable users first.

On February 6, we received a response from the Honourable Claire Trevena, Minister of Transportation and Infrastructure, that outlines the potential for two phases of pilot projects in the area of road safety which would be enabled through regulation under the provisions in part 13 of the MVA. These pilot projects would be initiated by local government through an application process to the Ministry. The first phase pilot project has been selected and focuses on the use of zero emission mobility devices and involves micro-mobility devices (sidewalk scooters, skateboards, etc.). More germane to the issue of road speeds, the second phase includes pilot projects where the Ministry will "work with interested municipalities to lower the default speed limit on their streets." Please see letter, attached.


As there is no longer time to wait, we are asking our staff to begin work on forming a proposal to the Ministry that would set the statutory speed limit to 40km/h on streets without

a yellow centreline (residential roads) for Phase 2 of the pilot program. To highlight the regional importance of the issue and to maintain consistency we ask that you consider joining in this proposal development and including your Municipality in the pilot project. We appreciate that you may already have approaches in line with this. My staff and I would be pleased to meet with you about this proposal at your convenience and request. Ideally a regional or sub regional approach may be possible.

We will be holding a series of meetings with technical staff in the second quarter of this year. If you are supportive of this initiative, please ask your senior staff to reach out to our Engineering Department for an invitation to join these meetings. The purpose of these meetings would be to discuss the opportunities, challenges, alternatives, and risks of this proposal prior to when the next round of applications are due, likely in the third quarter of this year.

Like us, your streets are your products and the time to support our most vulnerable transportation users is now. Please consider joining us in taking a leadership role to make meaningful change to improve road safety for all residents across the region.

Sincerely,



Fred Haynes
Mayor

Attachment

cc: Saanich Council
Paul Thorkelsson, CAO
Harley Machielse, Director of Engineering



FEB 06 2020

His Worship
Mayor Fred Haynes
District of Saanich
770 Vernon Avenue
Victoria BC V8X 2W7

Reference: 290420

Dear Mayor Haynes,

Re: B.C. Motor Vehicle Act

Premier John Horgan has asked me to respond on his behalf to your letter regarding the B.C. Motor Vehicle Act (MVA). I am sorry it has taken me so long to respond.

Safety is our top priority, and I agree speed limits play an important role in keeping everyone safe. The ministry is considering the request to amend statutory speed limits in the MVA; however, such a change would represent a significant policy and regulatory shift that would affect all road users.

As you likely know, the government amended the MVA last year to allow for pilot projects that would research, test and evaluate new regulatory approaches to matters not currently set out in the MVA framework. Pilot projects will provide opportunities for the provincial government to work with local communities to support active transportation and better protect vulnerable road users.

The first phase of pilot projects in 2020 will focus on the use of emerging zero-emission mobility devices, such as e-scooters. A second phase of pilot projects could allow the ministry to work with interested municipalities to lower the default speed limit on their streets.

The ministry is accepting proposals for the first phase of pilot projects until 4 p.m. on March 6, 2020, for potential implementation in summer 2020. More information on the pilot projects and a proposal package for interested communities is available through the ministry's website at: <https://news.gov.bc.ca/releases/2020TRAN0005-000033>

.../2

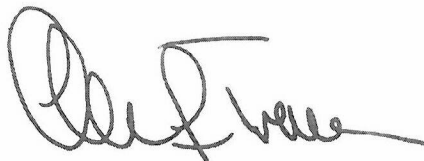
The ministry looks forward to working with local communities like yours to expand the use of active transportation and keep pedestrians, cyclists and other road users safe. If you have any questions about the pilot projects, please contact the ministry at 236 478-0460 or at MVA.Pilot.Project@gov.bc.ca.

As you are aware, my colleague, the Honourable Mike Farnworth, Minister of Public Safety and Solicitor General, is also working to improve road safety. In 2019, RoadSafetyBC implemented the Intersection Safety Camera program, an initiative that has proved very successful in reducing crashes at high-risk intersections with cross traffic. After the successful 100 per cent activation of red-light cameras at 140 of B.C.'s most crash-prone, dangerous intersections, the Province announced it would be taking further action by adding automated speed enforcement technology at 35 high-speed and high-crash Intersection Safety Camera locations. To learn more, you can read the news release at: <https://news.gov.bc.ca/releases/2019PSSG0047-000861>.

Additionally, RoadSafetyBC expanded the provincial Administrative Driving Prohibition program following the federal legalization of cannabis. The program expanded to include drug-affected driving, extended zero tolerance provisions for drivers in the graduated licensing program to apply to drugs, strengthened and enhanced review processes for 24-hour prohibitions, and aligned the MVA with amendments to the Criminal Code contained in Bill C-46.

Thank you for taking the time to write.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Claire Trevena', written in a cursive style.

Claire Trevena
Minister

Copy to: Premier John Horgan

Honourable David Eby
Attorney General
MLA, Vancouver-Point Grey

.../3

Honourable Mike Farnworth
Minister of Public Safety and Solicitor General
MLA, Port Coquitlam

Honourable Rob Fleming
Minister of Education
MLA, Victoria-Swan Lake

Honourable Carole James
Minister of Finance
Deputy Premier
MLA, Victoria-Beacon Hill

Honourable Lana Popham
Minister of Agriculture
MLA, Saanich South

Mitzi Dean
MLA, Esquimalt-Metchosin

Adam Olsen
MLA, Saanich North and the Islands

Andrew Weaver
MLA, Oak Bay-Gordon Head



The Corporation of the District of Saanich | Mayor's Office

770 Vernon Avenue Victoria BC V8X 2W7 | T 250-475-5510 | F 250-475-5440 | www.saanich.ca

November 28, 2019

via email: premier@gov.bc.ca

The Honourable John Horgan, M.L.A.
Premier of British Columbia
PO Box 9422 Stn Prov Govt
Victoria, BC V8W 9V1

Dear Premier Horgan:

RE: Modernizing the Motor Vehicle Act

We compliment you that British Columbia is recognized as a leader on so many levels. Consequently, Saanich Council received with disappointment your Deputy Director, South Coast Region's letter of November 5, 2019 (attached). We believe continued inaction to update the Motor Vehicle Act is concerning and contradicts a number of Provincial plans, studies and publications. We question why outdated statutory speed limits are retained while we continue to see unacceptable fatalities, collisions, and serious injury rates on our roads, far higher than many other progressive countries.

For the past three years local governments have been waiting, hoping, for change following the Ministry of Public Safety and Solicitor General's January 2016 publication of *Moving to Vision Zero: Road Safety Strategy Update and Showcase of Innovation in British Columbia*. And then the March 2016 publication from the Provincial Health Officer, *Where the Rubber Meets the Road: Reducing the Impact of Motor Vehicle Crashes on Health and Well-being in British Columbia*. Understandably, there was a period of silence as these documents circulated through government agencies and local municipalities followed by the Provincial Election in early 2017.

In the past couple of years we've seen two more plans, *Move Commute Connect* from CleanBC in December 2018 and most recently the *BC Active Transportation Design Guide*. Taken together, we have four excellent planning documents and it is time for action. Specifically, significant updates to the Motor Vehicle Act to support, protect and encourage healthy transportation choices and much safer roads.

The current legislative reality of enacting municipal bylaws to change the speed limit on every block of every street is an administrative burden, but not one that can't be overcome. Rather, it is the financial burden and visual clutter of having to install the tens of thousands of signs province-wide that is at issue. More importantly, the current piecemeal nature in which speed

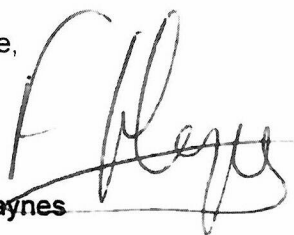
limits are being lowered lacks consistency, effectiveness and safety. More cost-effective, consistent and safer solutions rest with changes that can be made through the Motor Vehicle Act.

We are looking for changes to your laws governing our roads to help end the epidemic of road crash fatalities, serious injuries, collisions, and near misses. We believe this is an opportunity for leadership from our Honourable Premier in directing action similar to the nation-leading impaired driving laws enacted in 2011 which were followed by an immediate and sustained drop in fatalities and serious injuries.

The broad and far reaching support for this change across British Columbia is shown by endorsed resolutions at UBCM in 1999, 2003, 2006, 2009, 2011, 2015, and 2019. As fellow politicians we understand that some issues are so large they transcend multi-election cycles and party lines. This is evident by the repeated discussions at UBCM. Road safety is not a political issue that can be continuously delayed and deferred, with endless studies and reports that wither with each change of government. We must do better. We can do better.

On behalf of the District of Saanich, and in the spirit of your leadership for all communities in British Columbia, we respectfully ask that you act swiftly and make the changes to the Motor Vehicle Act needed to improve road safety in our wonderful province.

With hope,



Mayor Haynes

cc:

Saanich Council
The Honourable Claire Trevana, MLA, Minister of Transportation & Infrastructure
MLA s of Greater Victoria
Mayors of British Columbia
President of the Union of British Columbia Municipalities



Council Report

For the Meeting of July 23, 2020

To: Council **Date:** July 9, 2020

From: Karen Hoesle – Director of Sustainable Planning and Community Development

Subject: 2649-2659 Douglas Street and 735 Hillside Avenue: Rezoning Application No. 00664, Development Permit Application No. 000123, and Heritage Designation Application No. 00180

RECOMMENDATION

That the following bylaws be given first and second readings:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1222) No. 20-047
2. Heritage Designation (2659 Douglas Street) Bylaw No. 20-049.

And that the following bylaw be given first, second, and third readings;

1. Housing Agreement (2649, 2651, 2655, 2657 And 2659 Douglas Street And 735 Hillside Avenue) Bylaw (2020) No. 20-048.

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaws No. 20-047, No. 20-048, and No. 20-049.

The issue came before Council on December 12, 2019 where the following resolution was approved:

Rezoning Application No. 00664

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00664 for 2649-2659 Douglas Street and 735 Hillside Avenue, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. *Preparation and execution of the appropriate legal agreements in order to secure the following:*
 - a. *All dwelling units remain rental in perpetuity.*
 - b. *A Statutory Right-of-Way of 3.57m on Hillside Avenue to the satisfaction of the Director of Engineering and Public Works.*
 - c. *Provide a bus shelter on Hillside Avenue in accordance with the site plans dated November 4, 2019, and to the satisfaction of the Director of Engineering and Public Works.*

- d. Provide two car share vehicles; two assigned car share parking spaces on-site; 151 car share memberships (one for each dwelling unit); a \$100 of driving credits for each resident; and 40 electric bicycle charging stations (11 OV wall outlets) in the underground parkade, to the satisfaction of the Director of Sustainable Planning and Community Development.
- e. Purchase 100 transit passes through BC Transit's EcoPass program to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Council authorizing street-level projecting canopies and cornices over the City Right-of-Way on 2649-2659 Douglas Street and 735 Hillside Avenue, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.

Development Permit Application No. 00123

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00123 if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00123 for 2649- 2659 Douglas Street and 735 Hillside Avenue, in accordance with:

1. Plans date stamped November 4, 2019.
2. Development meeting all Zoning Regulation Bylaw requirements.
3. The Development Permit lapsing two years from the date of this resolution."

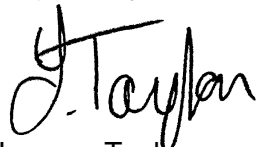
Heritage Designation Application No. 000180

That concurrent with Rezoning Application No. 00664, if it is approved, Council approve the designation of the property located at 2659 Douglas Street as a Municipal Heritage Site, consistent with plans dated November 4, 2019 and pursuant to Section 611 of the Local Government Act.


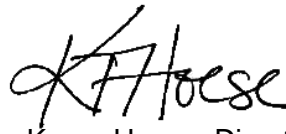
With regard to the pre-conditions that Council set in relation to these applications, staff can report that the applicant has executed the following legal agreements:

- A housing agreement to ensure that all dwelling units remain rental in perpetuity
- Section 219 Covenants securing the following items:
 - a 3.47m Statutory Right-of-Way on Hillside Avenue
 - a bus shelter on Hillside Avenue in accordance with the site plans dated November 4, 2019
 - two car share vehicles; two assigned car share parking spaces on-site; 151 car share memberships (one for each dwelling unit); a \$100 of driving credits for each resident; and 40 electric bicycle charging stations (110V wall outlets)
 - 100 transit passes through BC Transit's EcoPass program
- An encroachment agreement to authorize street-level projecting canopies and cornices over the City Right-of-Way on 2649-2659 Douglas Street and 735 Hillside Avenue.

Respectfully submitted,



Leanne Taylor
Senior Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: July 17, 2020

List of Attachments

- Bylaw No. 20-047
- Bylaw No. 20-048
- Bylaw No. 20-049

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the CR-DH Zone, Douglas-Hillside District, and to rezone land known as 2649, 2651, 2655, 2657 and 2659 Douglas Street and 735 Hillside Avenue from the C1-NN Zone, Suburban Centre District, and C1-N Zone, Neighbourhood Shopping District, to the CR-DH Zone, Douglas-Hillside District.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1222)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of Schedule “B” under the caption PART 4 – General Commercial Zones by adding the following words:

“4.101 CR-DH Douglas-Hillside District”
- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 4.100 the provisions contained in Schedule 1 of this Bylaw.
- 4 The following lands, which are shown hatched on the attached map forming part of this Bylaw as Appendix 1, are removed from the C1-NN Zone, Suburban Centre District, and placed in the CR-DH Zone, Douglas-Hillside District:
 - a) land known as 2655, 2657 and 2659 Douglas Street (legally described as PID 026-816-415, Lot A, Section 4, Victoria District Plan VIP81776); and
 - b) land known as 735 Hillside Avenue (legally described as PID 026-816-423, Lot B, Section 4, Victoria District Plan VIP81776).
- 5 The following lands, which are shown cross-hatched on the attached map forming part of this Bylaw as Appendix 1, are removed from the C1-N Zone, Neighbourhood Shopping District, and placed in the CR-DH Zone, Douglas-Hillside District:
 - a) land known as 2649 and 2651 Douglas Street (legally described as PID 005-942-748, Lot 1, Section 4, Victoria District Plan 5915).

READ A FIRST TIME the day of 2020

READ A SECOND TIME the day of 2020

Public hearing held on the day of 2020

READ A THIRD TIME the day of 2020

ADOPTED on the day of 2020

CITY CLERK

MAYOR

PART 4.101 – CR-DH ZONE, DOUGLAS-HILLSIDE DISTRICT**4.101.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. bakery
- b. club
- c. financial service
- d. high tech
- e. home occupation subject to the regulations in Schedule “D”
- f. multiple dwelling
- g. office, including medical and dental services
- h. personal service
- i. restaurant
- j. retail.

4.101.2 Community Amenity

As a condition of additional density pursuant to Part 4.101.4, the following community amenity must be provided:

- a. all dwelling units within a multiple dwelling must be secured through a legal agreement as rental in perpetuity.

4.101.3 Lot Area

<u>Lot area</u> (minimum)	4800m ²
---------------------------	--------------------

4.101.4 Floor Space Ratio

- | | |
|---------------------------------------------------------------------------------------------------------|-------|
| a. <u>Floor space ratio</u> (maximum) | 2:1 |
| b. <u>Floor space ratio</u> , where the amenities have been provided pursuant to Part 4.101.2 (maximum) | 2.5:1 |

4.101.5 Height

Principal <u>building height</u> (maximum)	19.5m
--------------------------------------------	-------

PART 4.101 – CR-DH ZONE, DOUGLAS-HILLSIDE DISTRICT**4.101.6 Setbacks**

- | | |
|-----------------------------------------------------------------------------------------|-------|
| a. Douglas Street <u>setback</u> (minimum) | 0m |
| b. Hillside Avenue <u>setback</u> (minimum) | 0m |
| c. Interior <u>lot</u> line (east) (minimum) | 5.25m |
| d. Southerly <u>lot</u> line (minimum) | 5m |
| Except for the following: | |
| i. that portion of the principal <u>building</u> within 39m of Douglas Street (minimum) | 3m |

4.101.7 Site Coverage, Open Site Space

- | | |
|-------------------------------------|-----|
| a. <u>Site Coverage</u> (maximum) | 62% |
| b. <u>Open site space</u> (minimum) | 27% |

4.101.8 Vehicle and Bicycle Parking

- | | |
|----------------------------------|----------------------------------------------------------------------------------------------------------|
| a. Vehicle parking (minimum) | Subject to the regulations in Schedule "C" except as otherwise specified by the regulations in this Part |
| b. Residential parking (minimum) | 53 parking spaces |
| c. Commercial parking (minimum) | 25 parking spaces |
| d. Visitor parking (minimum) | 10 parking spaces |
| e. Bicycle parking (minimum) | Subject to the regulations in Schedule "C" |



HOUSING AGREEMENT(Pursuant to section 483 of the *Local Government Act*)

BETWEEN:

THE CORPORATION OF THE CITY OF VICTORIA#1 Centennial Square
Victoria, B.C. V8W 1P6

(the "City")

AND:

2659 DOUGLAS STREET HOLDINGS LTD. (Inc. No.
BC0703174)#200 – 1785 West 4th Avenue
Vancouver, B.C. V6E 2M6

(the "Owner")

AND:

CANADIAN WESTERN BANK2200 – 666 Burrard Street
Vancouver, B.C. V6C 2X8

(the "Existing Chargeholder")

WHEREAS:

- A. Capitalized terms used herein will have the respective meanings ascribed to them in section 1.1 of this Agreement, unless the context otherwise clearly requires or they are elsewhere defined herein;
- B. Under section 483 of the *Local Government Act* (British Columbia), the City may, by bylaw, enter into a housing agreement with an owner regarding the occupancy of the housing units identified in the agreement, including but not limited to terms and conditions referred to in section 483(2) of the *Local Government Act*;
- C. The Owner is the registered owner in fee simple of the lands and premises located in the City of Victoria, Province of British Columbia, with the following civic addresses and legal descriptions:
 - (a) 2655, 2657 & 2659 Douglas Street, Victoria, B.C. and legally described as: Parcel Identifier: 026-816-415 Lot A Section 4 Victoria District Plan VIP81776;
 - (b) 735 Hillside Avenue, Victoria, B.C. and legally described as: Parcel Identifier: 026-816-423, Lot B Section 4 Victoria District Plan VIP81776; and
 - (c) 2649 & 2651 Douglas Street, Victoria, B.C. and legally described as: 005-942-748, Lot 1 Section 4 Victoria District Plan 5915,
 (collectively, the "Lands");

{251488-503734-01283157;4}

- D. The Owner has applied to the City to rezone and redevelop the Lands, which redevelopment will include:
- (a) the revitalization of the Scott Building will include residential rental housing units with commercial uses on the ground floor; and
 - (b) the construction of the New Building, which will contain rental housing units;
- E. The City and the Owner wish to enter into this Agreement, as a housing agreement pursuant to section 483 of the *Local Government Act*, to secure the agreement of the Owner that all Dwelling Units within the Development on the Lands will be used and held only as rental housing.

NOW THIS AGREEMENT WITNESSES that pursuant to section 483 of the *Local Government Act*, and in consideration of the premises and covenants contained in this agreement (the "**Agreement**"), the parties agree each with the other as follows:

1. DEFINITIONS

1.1 In this Agreement:

- (a) "**Business Day**" means Monday to Friday, other than any such day which is a statutory holiday in Victoria, British Columbia;
- (b) "**Development**" means the New Building and the Scott Building, consisting of the Dwelling Units and related facilities thereon, to be located on the Lands;
- (c) "**Director**" has the meaning ascribed to the term in section 4.1;
- (d) "**Dwelling Units**" means any or all, as the context may require, of the approximately one hundred and fifty-one (151) self-contained residential rental dwelling units within the Development and includes any dwelling unit that is developed on the Lands in future, whether as part of the Development or otherwise, and "**Dwelling Unit**" means any of such residential dwelling units located on the Lands;
- (e) "**Immediate Family**" includes a person's spouse, child, grandchild, parent, grandparent, sibling, niece and nephew, and includes the Immediate Family of the person's spouse;
- (f) "**Land Title Office**" means the Land Title Office located in the City of Victoria;
- (g) "**New Building**" means the proposed residential rental housing building to be constructed immediately east of the Scott Building on the Lands, as more particularly described in Recital D;
- (h) "**Non-owner**" means a person other than a Related Person or the Owner;
- (i) "**Owner**" includes a person who acquires an interest in the Lands or any part of the Lands or the Development and is thereby bound by this Agreement, as referred to in section 8.3;

{251488-503734-01283157;4}

- (j) **"Related Person"** includes, where the registered or beneficial owner of the Lands or Dwelling Unit, as applicable, is:
 - (i) a corporation or society;
 - (ii) an officer, director, shareholder, or member of such corporation or society, or of another entity which is a shareholder or member of such corporation or society;
 - (iii) an Immediate Family of a person to whom paragraph (ii) applies, or
 - (iv) an individual, an Immediate Family of the registered or beneficial owner;
- (k) **"Scott Building"** means the existing mixed use building located on the Lands which is proposed to be revitalized to include a residential addition and extension, as more particularly described in Recital D;
- (l) **"Strata Corporation"** means, for the portions of the Lands or any building on the Lands that is subdivided under the *Strata Property Act* (British Columbia), a strata corporation as defined in that Act, including the Owner while in control of the strata corporation and subsequently the individual strata lot owners collectively acting as the strata corporation;
- (m) **"Strata Plan"** means a strata plan filed in respect of the Lands or any subdivided portion thereof pursuant to the *Strata Property Act*; and
- (n) **"Tenancy Agreement"** means a tenancy agreement pursuant to the Residential *Tenancy Act* that is regulated by that Act.

2. DWELLING UNITS TO BE USED AND OCCUPIED ONLY AS RENTAL UNITS

- 2.1 The Owner covenants and agrees that the Dwelling Units shall only be used as rental housing in perpetuity, and for that purpose shall only be occupied by a Non-owner under the terms of a Tenancy Agreement between the Owner and the Non-owner who occupies the Dwelling Unit.

3. NO RESTRICTIONS ON RENTALS

- 3.1 The Owner covenants and agrees that the Owner shall not take any steps, or enter into any agreements, or impose any rules or regulations whatsoever, the effect of which would be to prevent or restrict the Owner of a Dwelling Unit from renting that Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.
- 3.2 Without limiting the generality of section 3.1, the Owner covenants and agrees that it will not make application to deposit a Strata Plan for or in respect of the Lands or a building on the Lands unless the strata bylaws in no way restrict rental of any Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.

4. REPORTING

- 4.1 The Owner covenants and agrees to provide to the City's Director of Sustainable Planning and Development (the **"Director"**), within thirty (30) days of the Director's written request, a report in writing confirming that:

{251488-503734-01283157;4}

- (a) all Dwelling Units are being rented to Non-owners or are vacant, and
- (b) all other requirements of this Agreement are being complied with by the Owner and the Development,

along with such other information as may be requested by the Director from time to time.

- 4.2 The Owner hereby authorizes the City to make such inquiries as it considers necessary in order to confirm that the Owner is complying with this Agreement.
- 4.3 The Owner acknowledges that it is within the City's sole discretion to consent or not to consent to modifications of this Agreement and that such consent may be withheld for any reason.

5. NOTICE TO BE REGISTERED IN LAND TITLE OFFICE

- 5.1 Notice of this Agreement (the "**Notice**") will be registered in the Land Title Office by the City at the cost of the Owner in accordance with section 483 of the *Local Government Act*, and this Agreement is binding on the parties to this Agreement as well as all persons who acquire an interest in the Lands after registration of the Notice.

6. LIABILITY

- 6.1 The Owner agrees to indemnify and saves harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reason of or arising out of failure of the Owner to comply with the terms and conditions of this Agreement, or otherwise that would not have arisen "but for" this Agreement.
- 6.2 The Owner hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Owner now has or hereafter may have with respect to or by reason of or arising out of the fact that the Lands are encumbered by and affected by this Agreement, or otherwise that would not have arisen "but for" this Agreement.

7. PRIORITY AGREEMENT

- 7.1 The Existing Chargeholder, as the registered holder of a charge by way of a mortgage and an assignment of rents against the lands legally described:

- (a) Parcel Identifier: 026-816-415 Lot A Section 4 Victoria District Plan VIP81776; and
- (b) Parcel Identifier: 026-816-423, Lot B Section 4 Victoria District Plan VIP81776, (together, the "**Charged Lands**"),

which said charges are registered in the Land Title Office at Victoria, British Columbia, under numbers CA6440282 and CA6440283, respectively, for and in consideration of

{251488-503734-01283157;4}

the sum of One Dollar (\$1.00) paid by the City (the receipt whereof is hereby acknowledged), agrees with the City that upon filing of a Notice with the Land Title Office that the Lands are subject to this Agreement, pursuant to section 483(5) of the *Local Government Act*, this Agreement shall be an encumbrance upon the Charged Lands in priority to the said charges in the same manner and to the same effect as if Notice had been filed prior to the said charges.

8. GENERAL PROVISIONS

8.1 NOTICE. If sent as follows, notice under this Agreement is considered to be received:

- (a) upon confirmation of delivery by Canada Post if sent by registered mail,
- (b) on the next Business Day if sent by email with no notice of failure to deliver being received back by the sender, and
- (c) on the date of delivery if hand-delivered, and

in the case of the City, addressed to:

City of Victoria
#1 Centennial Square
Victoria, B.C. V8W 1P6

Attention: Director of Sustainable Planning and Community Development
Fax: 250-361-0386
Email:

and in the case of the Owner, addressed to:

2659 Douglas Street Holdings Ltd.
#200 – 1785 West 4th Avenue
Vancouver, B.C. V6E 2M6

Attention: Andrew Rennison
Email: andrewrennison@primexinvestments.com

or upon registration of a Strata Plan, to the Strata Corporation, and to the Owner of any Dwelling Unit that is subject to the restrictions under section 2.1.

If a party identifies alternate contact information in writing to another party, notice is to be given to that alternate address.

If normal mail, email or facsimile service is interrupted by strike, work slowdown, force majeure, or other cause,

- (d) notice sent by the impaired service is considered to be received on the date of delivery, and
- (e) the sending party must use its best efforts to ensure prompt receipt of a notice by using other uninterrupted services, or by hand-delivering the notice.

8.2 TIME. Time is of the essence of this Agreement.

{251488-503734-01283157;4}

- 8.3 **BINDING EFFECT.** This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors, and permitted assignees. In accordance with section 483(6) of the *Local Government Act*, this Agreement and all obligations hereunder is binding on all who acquire an interest in the Lands, and the Owner only during the Owner's ownership of any interest in the Lands, and with respect only to that portion of the Lands of which the Owner has an interest.
- 8.4 **WAIVER.** The waiver by a party of any failure on the part of the other party to perform in accordance with any of the terms or conditions of this Agreement is not to be construed as a waiver of any future or continuing failure, whether similar or dissimilar.
- 8.5 **HEADINGS.** The division of this Agreement into articles and sections and the insertion of headings are for the convenience of reference only and will not affect the construction or interpretation of this Agreement.
- 8.6 **LANGUAGE.** Words importing the singular number only will include the plural and vice versa, words importing the masculine gender will include the feminine and neuter genders and vice versa, and words importing persons will include individuals, partnerships, associations, trusts, unincorporated organizations and corporations and vice versa.
- 8.7 **LEGISLATION.** Reference to any enactment includes any regulations, orders or directives made under the authority of that enactment, and is a reference to that enactment as consolidated, revised, amended, re-enacted or replaced, unless otherwise expressly provided.
- 8.8 **EQUITABLE REMEDIES.** The Owner acknowledges and agrees that damages would be an inadequate remedy for the City for breach of this Agreement and that the public interest strongly favours specific performance, injunctive relief (mandatory or otherwise), or other equitable relief, as the only adequate remedy for a default under this Agreement.
- 8.9 **CUMULATIVE REMEDIES.** No remedy under this Agreement is to be deemed exclusive but will, where possible, be cumulative with all other remedies at law or in equity.
- 8.10 **ENTIRE AGREEMENT.** This Agreement when executed will set forth the entire agreement and understanding of the parties as at the date it is made.
- 8.11 **FURTHER ASSURANCES.** Each of the parties will do, execute, and deliver, or cause to be done, executed, and delivered all such further acts, documents and things as may be reasonably required from time to time to give effect to this Agreement.
- 8.12 **AMENDMENT.** This Agreement may be amended from time to time, by consent of the Owner and a bylaw duly passed by the Council of the City and thereafter if it is signed by the City and the Owner.
- 8.13 **LAW APPLICABLE.** This Agreement is to be construed in accordance with and governed by the laws applicable in the Province of British Columbia.
- 8.14 **NO DEROGATION FROM STATUTORY AUTHORITY.** Nothing in this Agreement shall:
- (a) limit, impair, fetter or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the

{251488-503734-01283157;4}

fullest extent that the City is enabled and no permissive bylaw enacted by the City, or permit, licence or approval, granted, made or issued thereunder, or pursuant to statute, by the City shall estop, limit or impair the City from relying upon and enforcing this Agreement; or

- (b) relieve the Owner from complying with any enactment, including the City's bylaws, or any obligation of the Owner under any other agreement with the City.

- 8.15 SEVERABILITY.** If any section, term or provision of this Agreement is found to be partially or wholly illegal or unenforceable, then such sections or parts will be considered to be separate and severable from this Agreement and the remaining sections or parts of this Agreement, as the case may be, will be unaffected thereby and will remain and be enforceable to the fullest extent permitted by law as though the illegal or unenforceable parts or sections had never been included in this Agreement.
- 8.16 JOINT AND SEVERAL.** The Owner, if more than one, are jointly and severally obligated to perform and observe each and every of the covenants, warranties and agreements herein contained by the Owner to be observed and performed.
- 8.17 COUNTERPARTS.** This Agreement may be executed in counterparts and delivered by emailed PDF file, each of which will have the same effect as if all parties had signed the same document. Each counterpart shall be deemed to be an original. All counterparts shall be construed together and shall constitute one and the same Agreement.
- 8.18 EFFECTIVE DATE.** This Agreement is effective as of the date of the signature of the last party to sign.

[Remainder of page intentionally left blank. Signature page follows.]

IN WITNESS WHEREOF the parties hereto have set their hands and seals as of the day and year last below written.

THE CORPORATION OF THE CITY OF)
VICTORIA by its authorized signatory:)

_____)

Karen Hoese, Director of Sustainable Planning)
and Community Development)

Date signed: _____, 2020)

2659 DOUGLAS STREET HOLDINGS LTD.)
by its authorized signatory(ies):)

)
_____)

Print Name: E. Le Remison)

_____)
Print Name: _____)

Date signed: June 12, 2020

CANADIAN WESTERN BANK)

by its authorized signatory(ies):)

_____)

Print Name: _____)

_____)

Print Name: _____)

Date signed: _____, 2020

IN WITNESS WHEREOF the parties hereto have set their hands and seals as of the day and year last below written.

THE CORPORATION OF THE CITY OF
VICTORIA by its authorized signatory:

Karen Hoese, Director of Sustainable Planning
and Community Development

Date signed: _____, 2020

2659 DOUGLAS STREET HOLDINGS LTD.
by its authorized signatory(ies):

Print Name: _____

Print Name: _____

Date signed: _____, 2020

CANADIAN WESTERN BANK

by its authorized signatory(ies):

Print Name: **CRAIG GUNNING**
AVP COMMERCIAL ACCOUNTS

Print Name: _____

Date signed: **JEREMY BLOY**, 2020
SR MANAGER, BUSINESS DEVELOPMENT
COMMERCIAL BANKING

Spence

KENNA CHRISTINE SPENCE
A Commissioner for taking Affidavits
for the Province of British Columbia
300 - 750 Cambie Street
Vancouver, BC V6B 0A2
Phone: 1-855-716-2265
Expiry Date: June 30, 2022

As to all signatures)

NO. 20-049

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to designate the exterior of the building located at 2659 Douglas Street to be protected heritage property.

Under its statutory powers, including Section 611 of the *Local Government Act*, the Municipal Council of The Corporation of the City of Victoria enacts the following provisions:

1. This Bylaw may be cited as the “HERITAGE DESIGNATION (2659 DOUGLAS STREET) BYLAW”.
2. The exterior of the building as indicated in the diagram in Schedule A attached to this Bylaw and located at 2659 Douglas Street, legally described as PID: 026-816-415, Lot A, Section 4, Victoria District, Plan VIP81776, is designated to be protected heritage property.

READ A FIRST TIME the _____ day of _____ 2020.

READ A SECOND TIME the _____ day of _____ 2020.

Public Hearing Held On the _____ day of _____ 2020.

READ A THIRD TIME the _____ day of _____ 2020.

ADOPTED on the _____ day of _____ 2020.

CITY CLERK

MAYOR

Schedule 'A'



North Elevation

Note: Designation excludes digital sign



West Elevation



Council Report

For the Meeting of July 23, 2020

To: Council **Date:** July 9, 2020
From: C. Coates, City Clerk
Subject: 2558 Quadra Street: Rezoning Application No. 00707 and Development Permit with Variances Application No. 000141

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1225) No. 20-054

And that the following bylaw be given first, second, and third readings:

2. Housing Agreement (2558 Quadra Street) Bylaw (2020) No. 20-055

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaws No. 20-054 and No. 20-055.

The issue came before Council on March 12, 2020 where the following resolution was approved:

2558 Quadra Street: Rezoning Application No. 00707 and Development Permit with Variances Application No. 000141

Rezoning Application No. 00707 for 2558 Quadra Street

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00707 for 2558 Quadra Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of legal agreements to secure a Statutory Right-of-Way of 3.2m off Quadra Street, to the satisfaction of the Director of Engineering.
2. Preparation and execution of a Housing Agreement to secure the building as rental in perpetuity and to secure 19 units as affordable and 21 units as below market in perpetuity, defined by the VHRF guidelines that were in existence on March 19, 2019, to the satisfaction of the Director of Sustainable Planning and Community Development.

Development Permit with Variances Application No. 00141 for 2558 Quadra Street

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00707, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00141 for 2558 Quadra Street, in accordance with:

1. Plans date stamped February 12, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. decrease the rear yard setback from 4.53m to 2.90m to the steps;
 - ii. decrease the north side yard setback from 4.53m to 0m to the parkade and 2.52m to the building face; and
 - iii. decrease the south side yard setback from 4.53m to 0m to the parkade and 3.89m to the building face.
3. Revised plans, to the satisfaction of the Director of Sustainable Planning and Community Development and the Director of Engineering, addressing staff comments regarding the public realm.
4. The Development Permit lapsing two years from the date of this resolution."

Respectfully submitted,



Chris Coates
City Clerk

Report accepted and recommended by the City Manager:



Date: July 17, 2020

List of Attachments:

- Bylaw No. 20-054
- Bylaw No. 20-055

PART 4.100– C1-QV2 ZONE, QUADRA VILLAGE (2558 QUADRA) DISTRICT**4.100.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Uses permitted in the C1-QV Zone, Quadra Village District, subject to the regulations set out in Part 4.52 of the Zoning Regulation Bylaw, except as otherwise specified by the regulations of this Part 4.100.

4.100.2 Total Floor Area, Floor Space Ratio

- a. Total floor area (maximum) 2826m²
- b. Floor space ratio (maximum) 2.28:1

4.100.3 Height, Storeys

- a. Principal building height (maximum) 18.15
- b. Storeys (maximum) 5

4.100.4 Vehicle and Bicycle Parking

- a. Vehicle parking for all uses combined (minimum) 30 spaces
- b. Bicycle parking (minimum) Subject to the regulations in Schedule “C”

CITY OF WEST

KINGS RD

MARK ST

QUADRA ST

STARS SCHOOL

Lot A 11029 (highlighted with a red border)

Other Lots and Features:

- Lot 132: 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909,



