



REVISED AGENDA - COMMITTEE OF THE WHOLE

Thursday, July 8, 2021, 9:00 A.M.

6TH FLOOR BOARDROOM, CAPITAL REGIONAL DISTRICT, 625 FISGARD STREET, VICTORIA, B.C.

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Due to the COVID-19 Pandemic, public attendance at Council Meetings is not permitted. This meeting may be viewed on the City's webcast at www.victoria.ca

Meeting will recess for a lunch break between 12:30 p.m. and 1:15 p.m.

Pages

A. APPROVAL OF AGENDA

B. CONSENT AGENDA

Proposals for the Consent Agenda:

- C.1. Minutes from the meeting held June 3, 2021
- C.2. Minutes from the meeting held June 17, 2021
- C.3. Minutes from the meeting held June 24, 2021
- F.1. 1012 Richardson Street - Heritage Variance (Fairfield)
- G.1. Appointment of two Bylaw Officers
- G.2. Proclamation - Wrongful Conviction Day
- G.3. Proclamation - Kidney Disease Awareness Day

C. READING OF MINUTES

C.1.	<u>Minutes from the meeting held June 3, 2021</u>	1
C.2.	<u>Minutes from the meeting held June 17, 2021</u>	19
C.3.	<u>Minutes from the meeting held June 24, 2021</u>	27

D. UNFINISHED BUSINESS

E. Presentations

E.1.	<u>Presentation from Mayor Haynes – Kings Park funding Request</u>	35
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A presentation from Mayor Haynes regarding a request to contribute funding for the protection of the Kings Road Community Nature Green Space.

F. LAND USE MATTERS

*F.1.	<u>1012 Richardson Street - Heritage Alteration Permit with Variances Application No. 00025 (Fairfield)</u>	50
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Addendum: Presentation

A report regarding a Heritage Alteration Permit with Variances Application to alter the heritage-designated, two-storey house on the property located at 1012 Richardson Street, and recommending that it move to an opportunity for public comment.

*F.2.	<u>1609 Fort Street - Development Permit with Variance Application No. 00170 (South Jubilee)</u>	86
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Addenda: Correspondence and Presentation

A report regarding a development permit with variances application for the property located at 1609 Fort Street in order to to expand the existing liquor store floor area and make exterior changes, and is recommending that it move forward to an opportunity for public comment.

G. STAFF REPORTS

G.1.	<u>Appointment of two Bylaw Officers</u>	125
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Reports regarding the appointment of two new Bylaw Officers.

G.2.	<u>Proclamation - Wrongful Conviction Day</u>	127
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A report regarding the proclamation for Wrongful Conviction Day, October 2, 2021.

G.3.	<u>Proclamation - Kidney Disease Awareness Day</u>	130
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A report regarding the proclamation for National Polycystic Kidney Disease Awareness Day, September 4, 2021.

H. NOTICE OF MOTIONS

I. NEW BUSINESS

I.1.	<u>Council Member Motion - Funding for the protection of the Kings Road Community Nature Green Space</u>	133
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A Council Member Motion regarding funding for the protection of the Kings Road Community Nature Green Space.

I.2.	<u>Council Member Motion: Making Permanent Victoria's Street Patio Policy</u>	143
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A Council Member Motion regarding closures of travel lanes to facilitate increased public space and/or zones for permitted commercial use, beginning

with 1300 Block on Gladstone from Fernwood Street to Stanley Avenue as pilot program.

J. Workshop

***J.1. Strategic Plan Workshop and 2022 Budget Motions**

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Addendum: Attachment

A Council Member Motion regarding the Strategic Plan Workshop for the 2022 Budget.

K. ADJOURNMENT OF COMMITTEE OF THE WHOLE



MINUTES - COMMITTEE OF THE WHOLE

June 3, 2021, 9:00 A.M.

6TH FLOOR BOARDROOM, CAPITAL REGIONAL DISTRICT, 625 FISGARD STREET,
VICTORIA, B.C.

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Andrew, Councillor Thornton-Joe, Councillor Young

PRESENT ELECTRONICALLY: Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, P. Bruce - Fire Chief, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, J. Jensen - Head of Human Resources, K. Hoese - Director of Sustainable Planning and Community Development, A. Meyer - Assistant Director of Development Services, C. Havelka - Deputy City Clerk, L. Van Den Dolder - Assistant City Solicitor, J. Biem - Assistant City Solicitor, K. Moore - Head of Business and Community Relations, S. Perkins - Manager of Bylaw & Licensing, C. Mycroft - Manager of Executive Operations, G. Milne - Head of Strategic Operations, P. Rantucci - Head of Strategic Real Estate, M. Sandhu - Head of Service Innovation & Improvement, P. Bellefontaine - Director of Engineering & Public Works, S. Stoltz - Committee Secretary

Mayor Helps acknowledged the tragedy of the 215 children who died at the former Kamloops Indian Residential School with a moment of silence.

A. **APPROVAL OF AGENDA**

Moved By Councillor Andrew
Seconded By Councillor Thornton-Joe

That the agenda be approved.

Amendment:

Moved By Mayor Helps
Seconded By Councillor Thornton-Joe

That a sharing item be added to the agenda.

That the items proposed on the consent agenda be removed from the consent agenda.

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

Mayor's Sharing

Mayor Helps took a moment to recognize and to thank North Park businesses and many others for stepping up to help their stranded neighbours after the May 26 apartment fire.

C. READING OF MINUTES

C.1 Minutes from the meeting held April 15, 2021

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That the minutes from the COTW meeting held April 15, 2021 be adopted.

CARRIED UNANIMOUSLY

C.2 Minutes from the meeting held May 6, 2021

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That the minutes from the Committee of the Whole meeting held May 6, 2021 be adopted with the noted corrections.

CARRIED UNANIMOUSLY

Motion to go into a closed Committee of the Whole meeting at 9:13 a.m.

Moved By Councillor Isitt
Seconded By Councillor Andrew

MOTION TO CLOSE THE JUNE 3, 2021 COMMITTEE OF THE WHOLE MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the Community Charter for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the Community Charter, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

- Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose.

CARRIED UNANIMOUSLY

Legal Advice – Community Charter Section 90(1)(i)

Committee discussed a legal advice matter.

The conversation and motions were recorded and kept confidential.

The open Committee of the Whole meeting reconvened at 9:15 a.m.

E. LAND USE MATTERS

E.1 931 McClure Street – Rezoning Application No. 00669 and Development Permit with Variances Application No. 00127 (Fairfield)

Committee received a report dated May 20, 2021 from the Director of Sustainable Planning and Community Development regarding the Rezoning Application 00669 and Development Permit with Variances application No. 00127 for the property located at 931 McClure Street in order to construct a five-storey building with approximately 15 dwelling units, and recommending that it move forward to a Public Hearing.

Moved By Mayor Helps
Seconded By Councillor Alto

Rezoning Application No. 00669 for 931 McClure Street

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00669 for 931 McClure Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Revisions to the proposed rooftop decks to address potential privacy impacts, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation and execution of legal agreements for the following, in a form satisfactory to the City Solicitor and the Director of Sustainable Planning and Community Development:
 - a. to ensure that future strata bylaws cannot restrict the rental of units to non-owners (except for two below-market ownership units)
 - b. to secure two one-bedroom units as below-market housing (below market housing offered for sale at 15% below market rate, in perpetuity) with the Capital Regional District
 - c. to secure a commitment to building design and construction meeting Step 4 of the BC Energy Step Code
 - d. to secure the following transportation demand management measures:
 - i. one car share membership per dwelling unit;

- ii. five hundred dollars in car share usage credits per membership; and
 - iii. five long term bicycle parking stalls in addition to the requirements under Schedule C of the Zoning Regulation Bylaw.
3. Secure a community amenity contribution in the amount of \$11,568.75 towards the Local Amenities Fund, to the satisfaction of the Director of Sustainable Planning and Community Development.

Development Permit with Variances Application No. 00127

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00669, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 00127 for 931 McClure Street, in accordance with:

1. Plans date stamped April 15, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. increase the maximum site coverage from 60% to 72%;
 - ii. reduce the minimum parking requirement from 19 stalls to ten stalls;
 - iii. reduce the minimum rear yard setback from 4.0m to 1.12m (first storey and balconies) and 3.0m (above the first storey);
 - iv. reduce the front setback from 5.0m to 0m for the front stairs and 2.25m for balconies;
 - v. increase the building height from 15.5m to 16.0 (main roof) and to 18.87m (roof access).
3. The Development Permit lapsing two years from the date of this resolution.”

Committee discussed:

- *Challenges regarding accessibility and lighting plans*
- *The desire for a more current community response on the application*
- *Support for the redesign, but concerns regarding the lot size*
- *Concerns related to escalating construction costs*

Moved by Councillor Isitt

Seconded By Councillor Dubow

That Council refer this matter to staff to work with the applicant to address concerns that have been raised by adjacent residents and report back to Council.

FOR (5): Councillor Young, Councillor Andrew, Councillor Thornton-Joe, Councillor Isitt, Councillor Dubow

OPPOSED (4): Mayor Helps, Councillor Potts, Councillor Alto, Councillor Loveday

CARRIED (5 to 4)

Committee recessed at 10:25 a.m.

Committee reconvened at 10:32 a.m.

E.2 610 - 624 Herald Street and 611 - 635 Chatham Street - Development Permit with Variances Application No. 00156 (Downtown)

Councillor Isitt recused himself at 10:35 a.m. due to a non-pecuniary conflict of interest, as he is the director of a society that's a tenant of a nearby building.

Committee received a report dated May 20, 2021 from the Director of Sustainable Planning and Community Development regarding the Development Permit with Variance Application No. 00156 for the properties located at 610-624 Herald Street and 611-635 Chatham Street in order to construct two buildings that range in height from four to six storeys with ground floor commercial units as well as approximately 278 residential units, and recommending that it move forward to an opportunity for public comment.

Committee discussed:

- *Parking, and how it will fit into the area; proposal is providing more parking than what is required*

Moved By Councillor Andrew

Seconded By Councillor Thornton-Joe

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. The Development Permit lapsing two years from the date of this resolution.”

Committee discussed:

- *Market value of the units; it is proposed as market rentals at this time*
- *Fits within the context of the town; rejuvenation of old town, appropriate design*

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Mayor Helps

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. **That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.**
7. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

Committee discussed:

- *Whether or not other buildings' views would be obscured by this building*
- *Concerns with the omissions of Chinese culture in the building design*

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Andrew

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. **Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.**
8. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

Committee discussed:

- *How the application is consistent with the Old Town guidelines and Official Community Plan*

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.

2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
8. **Further consideration of adherence to Old Town and in particular Chinatown guidelines**
9. The Development Permit lapsing two years from the date of this resolution."

Amendment to the amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.

7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
8. **Further consideration of adherence to Old Town and in particular Chinatown guidelines in relation to Section 2.4 character defining elements, Section 4 Rhythm of buildings in Old Town, and Section 5.3 8 in consideration of corner lots.**
9. The Development Permit lapsing two years from the date of this resolution.”

FOR (1): Councillor Thornton-Joe

OPPOSED (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Young,

DEFEATED (1 to 7)

Amendment to the amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
8. **Further consideration of subtle enhancements to adhere adherence to Old Town and in particular Chinatown guidelines**
9. The Development Permit lapsing two years from the date of this resolution.”

FOR (4): Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe

OPPOSED (4): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Young,

DEFEATED (4 to 4)

On the amendment:

FOR (3): Councillor Dubow, Councillor Loveday, Councillor Thornton-Joe,

OPPOSED (5): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Potts, Councillor Young,

DEFEATED (3 to 5)

On the main motion as amended:

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
8. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

Councillor Isitt returned to the meeting at 11:35 a.m.

E.3 701 Tyee Road - Development Permit with Variances Application No. 00080 (Victoria West)

Committee received a report dated May 20, 2021 from the Director of Sustainable Planning and Community Development to present Council with information, analysis and recommendations for a Development Permit with Variances Application No. 00080 to construct approximately 38 dwelling units in a six-storey multi-unit residential building, and recommending that it move forward to an opportunity for public comment.

Moved By Councillor Andrew
Seconded By Councillor Alto

That Council, subject to the execution of a Housing Agreement ensuring that no restrictions are placed on the rental of dwelling units within this building, to the satisfaction of the Director of Sustainable Planning and Community Development, and after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 00080 for 701 Tyee Road, in accordance with:

1. Plans date stamped April 27, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce front (west) setback from 2m to nil for parking levels 1 and 2
 - ii. reduce side (south) setback from 3.5m to nil for parking levels 1 and 2.
3. The Development Permit lapsing two years from the date of this resolution.”

Committee discussed:

- *Concerns ensuring that amenities are delivered in a timely matter*

CARRIED UNANIMOUSLY

F. STAFF REPORTS

F.1 2020 Annual Report - Parks and Open Spaces Master Plan and Urban Forest Master Plan

Committee received a report dated May 23, 2021 from the Director of Parks, Recreation and Facilities regarding the actions initiated and completed in 2020 associated with the Parks and Open Spaces Master Plan and Urban Forest Master Plan.

Committee recessed at 11:52 a.m.

Committee reconvened at 11:58 a.m.

Moved By Mayor Helps
Seconded By Councillor Isitt

That Council receive this report for information.

Committee discussed:

- *Support for biological diversity & restoration of natural ecosystems*
- *Offering public access times, such as summer camp programs & programs for seniors*
- *Future potential plans for Beacon Hill Park*

CARRIED UNANIMOUSLY

Committee recessed at 12:28 p.m. and reconvened at 1:17 p.m.

Councillor Dubow recused himself at 1:30 p.m. as he lives nearby Royal Athletic Park.

Moved By Councillor Young

Seconded By Councillor Thornton-Joe

Motion to extend the meeting until 4p.m.

CARRIED UNANIMOUSLY

Councillor Andrew put forward a Notice of Motion regarding the possibility of opening Royal Athletic Park to at least 3 days a week to the public, to be considered at a future meeting.

Councillor Dubow returned at 2:15 p.m.

F.2 2020 Annual Report - Community Centre Operations

Committee received a report dated April 23, 2021 from the Director of Parks, Recreation and Facilities regarding the operation of the City's community and seniors' centres for 2020.

Committee discussed:

- *Programming for youth, such as playgrounds*
- *Downturns in participation due to COVID, and a return to a more extensive participation rate in the coming year*

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That Council receive this report on the operation of the community and seniors' centres for information.

CARRIED UNANIMOUSLY

F.3 Appointments of Council members as Alternates to the CRD Water Supply Commission

Committee received a report dated May 19, 2021 from the City Clerk regarding the appointment of Council members as Alternates to the CRD Water Supply Commission.

Moved By Councillor Loveday
Seconded By Councillor Thornton-Joe

That Council:

1. appoint:
 - a) Councillor Potts as first alternate
 - b) Councillor Andrew as second alternate
 - c) Councillor Alto as third alternateto the Capital Regional District Water Supply Commission.
2. forward this motion to the daytime Council meeting of June 3, 2021.

CARRIED UNANIMOUSLY

H. NEW BUSINESS

H.2 Council Member Motion - Release and Monitoring of Repeat Offenders living in Community while awaiting disposition of charges

Committee received a Council Member Motion dated May 30, 2021 from Councillor Thornton-Joe and Councillor Alto regarding a request that the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) regarding the release and monitoring of repeat offenders living in the community while awaiting disposition of charges.

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council request the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) to express the City of Victoria's concern that those charged with violent offences or with numerous repeat offences are being released on a "promise to appear" or released from the court prematurely, and to further ask the provincial government to find ways to keep such individuals held in custody until charge disposition or until an informed determination of their potential risk to public safety can be made, and/or to provide sufficient funds for policing to assist with and support these individuals while they are living in community while awaiting disposition.

Committee discussed:

- *Concerns regarding municipal vs federal authority, since Criminal Law is a federal jurisdiction*
- *Social supports for those struggling with charges*

Moved By Councillor Andrew
Seconded By Councillor Thornton-Joe

Motion to vote on the question and discontinue debate

FOR (1): Councillor Andrew
OPPOSED (8): Mayor Helps, Councillor Young, Councillor Isitt, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Alto

DEFEATED (8 to 1)

Amendment:

Moved By Councillor Loveday
Seconded By Councillor Isitt

That Council request the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) to express the City of Victoria's concern that those charged with violent offences ~~or with numerous repeat offences~~ are being released on a "promise to appear" or released from the court prematurely, and to further ask the provincial government to find ways to keep such individuals held in custody until charge disposition or until an informed determination of their potential risk to public safety can be made, and/or to provide sufficient funds for policing to assist with and support these individuals while they are living in community while awaiting disposition.

Amendment to the amendment:

Moved By Mayor Helps
Seconded By Councillor Thornton-Joe

That Council request the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) to express the City of Victoria's concern that those charged with violent or serious offences ~~or with numerous repeat offences~~ are being released on a "promise to appear" or released from the court prematurely, and to further ask the provincial government to find ways to keep such individuals held in custody until charge disposition or until an informed determination of their potential risk to public safety can be made, and/or to provide sufficient funds for policing to assist with and support these individuals while they are living in community while awaiting disposition.

CARRIED UNANIMOUSLY

On the amendment:

FOR (7): Mayor Helps, Councillor Andrew, Councillor Alto, Councillor Isitt, Councillor Dubow, Councillor Loveday, Councillor Potts
OPPOSED (2): Councillor Young, Councillor Thornton-Joe

CARRIED (7 to 2)

Amendment:

Moved By Councillor Potts
Seconded By Councillor Dubow

That Council request the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) to express the City of Victoria's concern that those charged with violent or serious offences are being released on a "promise to appear" or released from the court prematurely, and to further ask the provincial government to find ways to keep such individuals held in custody until charge disposition or until an informed determination of their potential risk to public safety can be made, and/or to provide sufficient funds ~~for policing~~ to assist with and support these individuals while they are living in community while awaiting disposition.

FOR (4): Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts
OPPOSED (5): Mayor Helps, Councillor Andrew, Councillor Alto, Councillor Thornton-Joe, Councillor Young

DEFEATED (4 TO 5)

Amendment:

Moved By Councillor Loveday
Seconded By Councillor Dubow

That Council request the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) to express the City of Victoria's concern that those charged with violent or serious offences are being released on a "promise to appear" or released from the court prematurely, and to further ask the provincial government to find ways to keep such individuals held in custody until charge disposition or until an informed determination of their potential risk to public safety can be made, and/or to provide sufficient funds **for community safety and social support** for policing to assist with and support these individuals while they are living in community while awaiting disposition.

FOR (6): Mayor Helps, Councillor Young, Councillor Isitt, Councillor Dubow, Councillor Loveday, Councillor Potts
OPPOSED (3): Councillor Andrew, Councillor Alto, Councillor Thornton-Joe

CARRIED (6 to 3)

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That the letter also be sent to CRD councils.

CARRIED UNANIMOUSLY

On the main motion as amended:

That Council request the Mayor to write to David Eby (Attorney General and Minister Responsible for Housing), Josie Osborne (Minister of Municipal Affairs), and Mike Farnworth (Minister of Public Safety and Solicitor General) to express the City of Victoria's concern that those charged with violent or serious offences are being released on a "promise to appear" or released from the court prematurely, and to further ask the provincial government to find ways to keep such individuals held in custody until charge disposition or until an informed determination of their potential risk to public safety can be made, and/or to provide sufficient funds for policing, for community safety and social support to assist with and support these individuals while they are living in community while awaiting disposition.

That the letter also be sent to CRD councils.

CARRIED UNANIMOUSLY

H.3 Sheltering Update (Verbal)

Staff provided an update regarding the sheltering situation in Beacon Hill Park. The Manager of Bylaw and Licensing outlined the number of people who have moved from the park into housing since the ban on 24/7 sheltering was reinstated, and the number of daytime structures remaining in the park. She noted enforcement strategies such as ticketing and impounding, and that these measures have been successful. She noted that their priority is to ensure that encampments do not return, and recommended continuing to ensure that rules are enforced until such a time as that is no longer required.

Moved By Councillor Thornton-Joe

Seconded By Councillor Andrew

That Council receive this report for information.

Committee discussed:

- *The number of people still sheltering in the parks.*
- *Staff insight on the types of belongings in the parks, and how items required for sheltering are dealt with.*

- *Effective forms of outreach.*

CARRIED UNANIMOUSLY

H.1 Council Member Motion - Beacon Hill Park Sheltering

Committee received a Council Member Motion dated May 23, 2021 from Mayor Helps regarding the recent history with respect to sheltering in parks, and ground work for the future in the immediate and medium term.

Moved By Mayor Helps

Seconded By Councillor Alto

That Council direct staff to:

1. Bring forward amendments to the Parks Regulation Bylaw to add Beacon Hill Park to the list of parks prohibited for overnight sheltering for a two year period from the date of bylaw adoption.
2. Report back to Council with any additional considerations to those outlined in this report with respect to the condition of Beacon Hill Park and plans for remediation, and with any additional advice or recommendations staff have with respect to overnight sheltering in City parks.
3. Report back to Council in May 2023 with an update on the progress of park remediation so that Council can determine whether to extend the prohibition on sheltering in Beacon Hill Park beyond the initial two-year period.

Moved By Councillor Dubow

Seconded By Councillor Potts

Motion to postpone this matter until the next COTW in order for council members to determine if they can participate.

FOR (4): Councillor Potts, Councillor Dubow, Councillor Loveday, Councillor Isitt
OPPOSED (5): Mayor Helps, Councillor Young, Councillor Thornton-Joe, Councillor Andrew, Councillor Alto

DEFEATED (5 to 4)

Committee discussed:

- *The need to help people get into shelters & complex care*
- *The need for more resources in the future*

Moved By Councillor Alto

Seconded By Councillor Andrew

Motion to extend the meeting to 4:30 p.m.

CARRIED UNANIMOUSLY

Committee discussed:

- *How this motion will give a much-needed respite to the park*
- *How long this ban will last*

Moved By Councillor Young

Seconded By Councillor Alto

Motion to extend the meeting until 4:45 p.m.

CARRIED UNANIMOUSLY

On the main motion:

FOR (7): Mayor Helps, Councillor Young, Councillor Thornton-Joe, Councillor Andrew, Councillor Alto, Councillor Loveday, Councillor Isitt

OPPOSED (2): Councillor Potts, Councillor Dubow

CARRIED (7 to 2)

Councillor Isitt provided a Notice of Motion regarding the possibility of renaming Trutch street, to be considered at the June 10th Committee of the Whole meeting.

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Andrew

Seconded By Councillor Alto

That the Committee of the Whole Meeting be adjourned at 4:37 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



MINUTES - COMMITTEE OF THE WHOLE

June 17, 2021, 9:00 A.M.

6TH FLOOR BOARDROOM, CAPITAL REGIONAL DISTRICT, 625 FISGARD STREET,
VICTORIA, B.C.

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Thornton-Joe, Councillor Young

PRESENT ELECTRONICALLY: Councillor Dubow, Councillor Potts

PRESENT FOR A PORTION OF THE MEETING: Mayor Helps

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, P. Bruce - Fire Chief, T. Zworski - City Solicitor, K. Hoese - Director of Sustainable Planning and Community Development, T. Soulliere - Director of Parks, Recreation & Facilities, N. Sidhu – Assistant Director of Parks, Recreation & Facilities, R. Kenney - Assistant Director of Transportation, R. Batallas - Senior Planner, J. Biem – Assistant City Solicitor, J. Jensen - Head of Human Resources, A. Meyer - Assistant Director of Development Services, A. Hudson - Assistant Director of Community Planning, C. Havelka - Deputy City Clerk, J. O'Connor - Deputy Director of Finance, K. Moore - Head of Business and Community Relations, C. Mycroft - Manager of Executive Operations, G. Milne – Head of Strategic Operations, M. Sandhu - Head of Service Innovation & Improvement, M. Fedyczkowska - Legislation & Policy Analyst, C. Kingsley - City Clerk, S. Stoltz - Committee Secretary

Mayor Helps acknowledged with thanks Fire Chief Paul Bruce's years of service to the City, as he is retiring.

A. APPROVAL OF AGENDA

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That the agenda be approved.

Amendment:

Moved By Councillor Isitt

Seconded By Councillor Young

Consent Agenda:

- F.3 – Proclamation - International Medical Cannabis Day
- H.2 – Council Member Motion: UBCM Resolution: Inclusion of Allied Health Workers, including mental health counselling specialties, and physical/ occupational therapists to help communities combat the opioid crisis

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

B. CONSENT AGENDA

Moved By Councillor Loveday
Seconded By Councillor Alto

That the following items be approved without further debate

CARRIED UNANIMOUSLY

F.3 Proclamation - International Medical Cannabis Day

Committee received a report dated June 15, 2021 from the City Clerk regarding the proclamation for International Medical Cannabis Day, June 11, 2021.

Moved By Councillor Loveday
Seconded By Councillor Alto

That the International Medical Cannabis Day Proclamation be forwarded to the June 17, 2021 Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

H.2 Council Member Motion: UBCM Resolution: Inclusion of Allied Health Workers, including mental health counselling specialties, and physical/ occupational therapists to help communities combat the opioid crisis

Committee received a Council Member Motion recommending the City of Victoria endorse the resolution regarding the Inclusion of Allied Health Workers, including mental health counselling professionals Inclusion of Allied Health Workers, including mental health counselling specialties, and physical/ occupational therapists to help communities combat the opioid crisis.

Moved By Councillor Loveday
Seconded By Councillor Alto

That Council:

1. Endorse the following resolution and direct staff to forward copies to the Union of British Columbia Municipalities and member local governments, requesting favourable consideration:

Resolution: Inclusion of Allied Health Workers, including mental health counselling professionals Inclusion of Allied Health Workers, including mental health counselling specialties, and physical/ occupational therapists to help communities combat the opioid crisis:

WHEREAS the opioid crisis and mental health challenges affect at least 1 in 5 BC residents and has been compounded by the COVID-19; at the same time, evidence shows that access to upstream services such as counselling related specialties and physical/ occupational therapy decreases opioid use and/or provides better health intervention outcomes, but these are not accessible to many residents as they are not covered and are much too expensive through fee for services;

WHEREAS communities are currently struggling to meet the needs of our residents, between funding of community programs and increased mental health calls for first responders, which already comprise between 20-30% of local government expenditures and are not often the most appropriate service to support people in crisis;

THEREFORE BE IT RESOLVED THAT UBCM request that the Province expand access to and funding for allied health professionals, particularly mental health counselling specialties, and physical/ occupational therapy related specialties, through expansion of team-based care through not-for-profit delivery including community health centres, available to all BC residents regardless of their immigration status and income, throughout the province.

AND that the Province of BC increased support and funding for Peer Navigators as part of the BC Mental Health and Addictions Strategy.

2. That this motion be forwarded to the daytime Council Meeting of June 17th for consideration.

CARRIED UNANIMOUSLY

E. LAND USE MATTERS

E.1 2316 Howard Street - Development Permit with Variances

Council received a report dated June 3, 2021 from the Director of Sustainable Planning and Community Development regarding a Development Variance Permit Application for the property located at 2316 Howard Street, to reduce the required motor vehicle parking from one stall to nil, and recommending that it move to an opportunity for public comment.

Councillor Isitt recused himself at 9:06 a.m. due to a non-pecuniary conflict of interest, as an individual who he previously worked with owns property in close proximity to this parcel.

Moved By Councillor Alto
Seconded By Councillor Andrew

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Variance Permit Application No. 00262 for 2316 Howard Street, in accordance with:

1. Plans date stamped April 21, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. reduce motor vehicle parking from one stall to nil.
3. The Development Variance Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

Councillor Isitt returned to the meeting at 9:07 a.m.

F. STAFF REPORTS

F.1 T1 Update

Council received a report dated June 11, 2021 from the City Manager providing a summary of major highlights, accomplishments, and challenges for the period of January 1 – April 30, 2021.

Committee discussed:

- *Appreciation for City staff's hard work*
- *Access to services throughout the City*

Moved By Mayor Helps
Seconded By Councillor Thornton-Joe

That Council receive this report for information.

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Thornton-Joe
Seconded By Councillor Loveday

That Council direct staff to report back as part of the 2022 budget process on options and implications of installing a play feature in the downtown.

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Dubow
Seconded By Mayor Helps

That Council direct staff to report back on the budget implications in 2022 for the development and implementation of anti-racism training for all city staff, beginning with Council and senior management.

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Dubow

Seconded By Councillor Isitt

That Council direct staff to report back with progress on the hiring of consultants for the anti-racism training, to the T2 report.

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Dubow

Seconded By Councillor Loveday

That Council direct staff to report back on the implications in the 2022 budget of creating an internship program at the City for under-represented populations, after engaging with consultants with the expertise required and engaging with the advisory committee of the International Decade for People of African Descent and Welcoming Cities committee, and with CUPE.

Amendment:

Moved By Councillor Dubow

Seconded By Councillor Isitt

That Council direct staff to report back on the implications in the 2022 budget of creating an internship program at the City for under-represented populations, after engaging with consultants with the expertise required and engaging with the ~~International Decade of People of African Descent (IDPAD) Advisory Committee~~ and Welcoming Cities committees, and with CUPE.

CARRIED UNANIMOUSLY

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Andrew

That Council direct staff to report back on the implications in the 2022 budget of creating an internship program at the City for under-represented populations., ~~after engaging with consultants with the expertise required and engaging with the International Decade of People of African Descent (IDPAD) Advisory Committee and Welcoming Cities committees, and with CUPE.~~

CARRIED UNANIMOUSLY

On the motion as amended:

That Council direct staff to report back on the implications in the 2022 budget of creating an internship program at the City for under-represented populations.

CARRIED UNANIMOUSLY

Mayor Helps left the meeting at 10:53 a.m.

Committee recessed at 10:53 a.m. and reconvened at 11:00 a.m. with Councillor Andrew in the Chair.

F.2 Options for Processing Kitchen Scraps Originating in Victoria

Committee received a report dated June 1, 2021 from the Director of Engineering & Public Works regarding options for processing kitchen scraps originating in Victoria.

Moved By Councillor Young
Seconded By Councillor Alto

That Council direct staff to:

1. Continue hauling kitchen scraps to existing composting facilities on Southern Vancouver Island.
2. Continue to work with the CRD to monitor opportunities for regional organics processing with enhanced environmental benefits.

Amendment:

Moved By Councillor Isitt
Seconded By Councillor Dubow

That Council direct staff to:

1. Continue hauling kitchen scraps to existing composting facilities on Southern Vancouver Island.
2. Continue to work with the CRD to monitor opportunities for regional organics processing with enhanced environmental benefits **and report back to Council on the progress of these discussions by Q2 2022.**

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

H. NEW BUSINESS

Motion to amend the agenda:

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That the agenda be amended to add New Business.

CARRIED UNANIMOUSLY

Councillor Thornton-Joe and Councillor Isitt, Councillor liaisons to the Honorary Citizen awards, took a moment to share that they recently met with staff and reviewed how the awards would look like in 2021 due to the COVID-19 pandemic. They noted that nominations are now open and will be closing on July 25th, after which committee will deliberate on who the recipients will be this year. They noted how these awards are a good opportunity to honour people who have contributed to our community.

H.1 **Council Member Motion: UBCM Resolution: Provincial Support for TRC, MMIWG2S and UNDRIP Recommendations**

Committee received a Council Member Motion dated June 10, 2021 from Councillor Dubow, Councillor Isitt, Councillor Loveday, and Councillor Potts recommending that the City of Victoria endorse the resolution regarding Provincial Support for TRC, MMIWG2S and UNDRIP Recommendations, and forward it for consideration at the 2021 Union of British Columbia Municipalities (UBCM) convention.

Moved By Councillor Dubow

Seconded By Councillor Isitt

That Council:

1. Endorse the following resolution and direct staff to forward copies to the Union of British Columbia Municipalities and member local governments, requesting favourable consideration:

Resolution: Provincial Support for Action and Implementation of Truth and Reconciliation Calls to Action, Missing and Murdered Indigenous Women, Girls and Two-Spirit People Calls for Justice, and the United Nations Declaration on the Rights of Indigenous Peoples

WHEREAS local governments in British Columbia are integral for the implementation of the Truth and Reconciliation Commission (TRC) of Canada Calls to Action, Murdered Indigenous Women, Girls and Two-Spirit People, (MMIWG2S) Calls for Justice, and the United Nations Declaration on the Rights of Indigenous Peoples (UNDRIP) but have the least resources to do the work meaningfully.

AND WHEREAS local governments are committed to advancing truth, justice, and reconciliation, and understanding that each Aboriginal community has different and diverse histories, making local context and consultation critical to meaningful action;

THEREFORE BE IT RESOLVED THAT UBCM call on the Province of British Columbia to provide support and equitable access to funding for trauma-informed, Indigenous-led education, training, and policy guidance for local governments and associated law enforcement and emergency services to implement municipal-specific recommendations from the TRC, MMIWG2S, and UNDRIP.

2. That this motion be forwarded to the daytime Council Meeting of June 17th for consideration.

CARRIED UNANIMOUSLY

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Alto

Seconded By Councillor Young

That the Committee of the Whole Meeting be adjourned at 11:46 a.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



MINUTES - COMMITTEE OF THE WHOLE

June 24, 2021, 9:00 A.M.

6TH FLOOR BOARDROOM, CAPITAL REGIONAL DISTRICT, 625 FISGARD STREET,
VICTORIA, B.C.

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Young

PRESENT ELECTRONICALLY: Councillor Andrew (left at 9:47 a.m. and returned at 12:04 p.m.), Councillor Isitt (left at 11:38 a.m.)

ABSENT FOR A PORTION OF THE MEETING: Councillor Andrew (left at 9:47 a.m. and returned at 12:04 p.m.), Councillor Dubow (joined the meeting at 9:08 a.m.), Councillor Isitt (left at 11:38 a.m.)

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, C. Kingsley - City Clerk, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, K. Hoese - Director of Sustainable Planning and Community Development, A. Meyer - Assistant Director of Development Services, A. Hudson - Assistant Director of Community Planning, C. Havelka - Deputy City Clerk, L. Van Den Dolder - Assistant City Solicitor, J. O'Connor - Deputy Director of Finance, K. Moore - Head of Business and Community Relations, C. Mycroft - Manager of Executive Operations, M. Sandhu - Head of Service Innovation & Improvement, G. Milne - Head of Strategic Operations, M. Cittone - Senior Planner, P. Bellefontaine - Director of Engineering & Public Works, G. Diamond - Council and Committee Secretary

A. APPROVAL OF AGENDA

Moved By Councillor Loveday
Seconded By Councillor Alto

That the agenda be approved.

Amendment:

Moved By Councillor Alto
Seconded By Councillor Potts

Consent Agenda:

- C.1 - Minutes from the meeting held May 20, 2021
- C.2 - Minutes from the meeting held June 10, 2021
- F.3 - Bastion Square 2021 Project Funding
- H.2.1 - Council Member Motion: Federation of Canadian Municipalities Anti-racism and Equity Committee Application

CARRIED UNANIMOUSLY

**On the main motion as amended:
CARRIED UNANIMOUSLY**

B. CONSENT AGENDA

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That the following items be approved without further debate

CARRIED UNANIMOUSLY

C.1 Minutes from the meeting held May 20, 2021

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That the minutes from the COTW meeting held May 20, 2021 be adopted.

CARRIED UNANIMOUSLY

C.2 Minutes from the meeting held June 10, 2021

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That the minutes from the COTW meeting held June 10, 2021 be adopted.

CARRIED UNANIMOUSLY

F.3 Bastion Square 2021 Project Funding

Committee received a report from the Head of Community and Business Relations regarding a request by the BSRA for funding for 2021 improvements to Bastion Square.

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council:

1. Authorize staff to release \$93,000 from the Bastion Square Market Fund to the BSRA for improvement projects in 2021.
2. That the above motion be forwarded to the daytime Council meeting of June 24 for ratification.

CARRIED UNANIMOUSLY

H.2.1 Council Member Motion: Federation of Canadian Municipalities Anti-racism and Equity Committee Application

Committee received a Council Member Motion dated June 22, 2021 from Councillor Dubow regarding Councillor Dubow's application to join the Federation of Canadian Municipalities Anti-Racism and Equity Committee.

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

BE IT RESOLVED that Council of the City of Victoria, British Columbia endorse Councillor Sharmarke Dubow to apply to the FCM Anti-racism and Equity Committee, Standing Committee Application for non-Board Members; and,

BE IT FURTHER RESOLVED that Council assume all reasonable costs associated with Councillor Sharmarke Dubow attending FCM's committee meeting if successful.

That this motion be forwarded to the daytime Council meeting of June 24, 2021 for consideration.

CARRIED UNANIMOUSLY

F. STAFF REPORTS

F.1 Future Housing Needs and Gaps in Official Community Plan Capacity

Committee received a report dated June 10, 2021 from the Director of Sustainable Planning and Community Development regarding findings of technical studies and analyses of Victoria's future housing needs and capacity to meet them based on the Official Community Plan (OCP), and recommendations for addressing gaps between existing capacity and future needs.

Councillor Dubow joined the meeting at 9:06 a.m.

Committee discussed the following:

- *Intergenerational housing is an action in the Housing Strategy that will be explored next year*

- *Unused large setbacks throughout the city could be repurposed for more townhouses and mid-density forms of housing*
- *The province is making improvements to the Residential Tenancy Act in July and staff will bring an analysis*

Moved By Mayor Helps
Seconded By Councillor Potts

That Council:

1. Receive this report on Victoria's future housing needs and gaps in Official Community Plan capacity for information and to inform future City policy initiatives.
2. Update Phase 2 of Village and Corridor Planning to include Oaklands, the eastern portion of the Hillside Avenue Corridor and the Shelbourne Street Corridor (areas originally approved for Phase 3), in addition to the planned process for Stadacona Village, Oak Bay Ave Village, Jubilee Village and related corridors (areas originally approved for Phase 2).
3. Update Phase 3 of Village and Corridor Planning to consider additional opportunities to add capacity along the Fairfield Road Corridor and the Skinner Street Corridor in addition to the planned process for the James Bay area (originally approved for Phase 3).
4. Direct staff to report back to Council with a proposed comprehensive planning process for the Douglas Street Corridor as part of the Official Community Plan Annual Review 2022 (the 10-year review that will be reported to Council in 2023).

CARRIED UNANIMOUSLY

Councillor Andrew left the meeting at 9:47 a.m.

Committee recessed at 10:24 and reconvened at 10:31 a.m.

Councillor Isitt was absent when the meeting reconvened

F.2 2022 Draft Budget Update

Committee received a report dated June 7, 2021 from the Deputy City Manager and Chief Financial Officer regarding an update on the development of the draft 2022 Financial Plan and to seek direction on mitigation strategies.

Committee discussed the following:

- *Council will hold a strategic plan workshop on July 8th*
- *The hiring of some positions will be delayed if it does not have an operational impact*
- *Levels of service are determined based off historical data*

Moved By Councillor Loveday
Seconded By Councillor Alto

That Council:

1. Direct staff to develop a draft 2022 Financial Plan for Council's consideration in October 2021 that:
 - a. Provides for continued services and service levels
 - b. Provides options for mitigation strategies that build on those used in 2020 and 2021 that could achieve a lower tax increase including:
 - i. Vacancy management
 - ii. Travel, conference and training budget savings
 - iii. Capital budget property tax funding reallocation to operating budget
 - iv. Use of remaining Restart Grant (if UBCM grant application for Strengthening Communities is successful)

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Thornton-Joe

Seconded by Mayor Helps

That staff report back on the implications of adding the Our Place funding request for storage and extended hours as part of the annual budget.

FOR (6): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (6 to 1)

F.4 North Park Neighbourhood Association Funding Request for Use of Royal Athletic

Committee received a report dated June 14, 2021 from the Director of Parks, Recreation and Facilities regarding the options and implications of a funding request from the North Park Neighbourhood Association for the use of the Royal Athletic Park facility.

Councillor Isitt rejoined the meeting at 11:15 a.m.

Committee discussed the following:

- *Letter from North Park Neighbourhood Association provides a rationale for hosting programs and events at RAP*

Moved By Councillor Potts

Seconded By Councillor Dubow

That Council award a \$9,985.22 grant to the North Park Neighborhood Association to fund the cost of hosting programs and events at Royal Athletic Park in 2021.

Amendment:

Moved by Councillor Dubow
Seconded by Councillor Isitt

That Council award a \$9,985.22 grant to the North Park Neighborhood Association **to engage with VIRCs, the Intercultural Association, the Muslim Association Mosque** and fund the cost of hosting programs and events at Royal Athletic Park in 2021.

Amendment to the amendment:

Moved by Councillor Isitt
Seconded by Councillor Alto

That Council award a \$9,985.22 grant to the North Park Neighborhood Association ~~to engage with VIRCs, the Intercultural Association, the Muslim Association Mosque and~~ fund the cost of hosting programs and events at Royal Athletic Park in 2021 **and encourage the NPNA to engage with the VIRCs, the Intercultural Association, and the Muslim Association Mosque.**

CARRIED UNANIMOUSLY

On the amendment:

That Council award a \$9,985.22 grant to the North Park Neighborhood Association fund the cost of hosting programs and events at Royal Athletic Park in 2021 **and encourage the NPNA to engage with the VIRCs, the Intercultural Association, and the Muslim Association Mosque.**

Amendment to the amendment:

Moved by Mayor Helps
Seconded by Councillor Alto

That Council award a \$9,985.22 grant to the North Park Neighborhood Association fund the cost of hosting programs and events at Royal Athletic Park in 2021 ~~and encourage~~ **and thank the NPNA to for engaging with the VIRCs, the Intercultural Association, and the Muslim Association Mosque to develop their programming.**

DEFEATED UNANIMOUSLY

On the amendment:

That Council award a \$9,985.22 grant to the North Park Neighborhood Association fund the cost of hosting programs and events at Royal Athletic Park in 2021 **and encourage the NPNA to engage with the VIRCs, the Intercultural Association, and the Muslim Association Mosque.**

CARRIED UNANIMOUSLY

On the main motion as amended:

That Council award a \$9,985.22 grant to the North Park Neighborhood Association fund the cost of hosting programs and events at Royal Athletic Park in 2021 and encourage the NPNA to engage with the VIRCs, the Intercultural Association, and the Muslim Association Mosque.

CARRIED UNANIMOUSLY

Councillor Isitt left the meeting at 11:38 a.m.

Committee recessed at 11:40 a.m. and reconvened at 11:45 a.m.

F.5 Project Plan for Central Library Feasibility Study

Committee received a report dated June 15, 2021 from the Director of Parks Recreation and Faculties regarding an overview of the proposed project plan to redevelop the Central Library, as well as progress made to date.

Councillor Andrew returned to the meeting at 12:04 p.m.

Committee discussed the following:

- *The opportunity for the library to be a community gathering place, example is Halifax library*
- *The lack of services during the pandemic due to constraints at the Central Branch*

Moved By Mayor Helps
Seconded By Councillor Alto

That Council approve the proposed project plan for the Central Library Feasibility Study as detailed in this report.

CARRIED UNANIMOUSLY

H. NEW BUSINESS

H.1 Update on Functional Zero Homelessness

Committee received a verbal update from the Mayor on Functional Zero Homelessness.

Committee discussed the following:

- *The definition of Functional Zero Homelessness*
- *The flows of funding from the province*
- *Staff are currently working on a report back on lessons learned from the pandemic*

- *The role of the different agencies involved of Functional Zero Homelessness*

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Alto

Seconded By Councillor Potts

That the Committee of the Whole Meeting be adjourned at 12:33 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



The Corporation of the District of Saanich | Mayor's Office

770 Vernon Avenue Victoria BC V8X 2W7 | T 250-475-5510 | F 250-475-5440 | www.saanich.ca

Via email: mayor@oakbay.ca

June 7, 2021

Mayor and Council
District of Oak Bay Municipal Hall
2167 Oak Bay Avenue
Victoria, BC V8R 1G2

Dear Mayor Murdoch and District of Oak Bay Council:

Re: Request to contribute funding for the protection of the Kings Road Community Nature Green Space

I hope you are all very well as we head into the summer months.

On April 26, 2021, Saanich Council considered a [report from the Mayor's Standing Committee for Fundraising for the Kings Road Community Nature Green Space \(KCNGS\)](#) that recommended as follows:

- To contribute \$1.7M from the sale of the Willis Point Property (PID: 009-825-220, Section 127, Lake District Part E ½ of W ½) towards the protection of KCNGS;
- to request funds from Oak Bay and Victoria given the sub-regional nature and connectivity of the space, towards the protecting of KCNGS; and
- to extend the fundraising period by one year to March 2022.

Council resolved to postpone discussion on the contribution of \$1.7M from the sale of the Willis Point Property until replies are received from the District of Oak Bay and the City of Victoria, and to extend the fundraising period. A copy of the Mayor's Standing Committee's report is attached. The minutes of the April 26 Council meeting are available on our [website](#).

Saanich acquired the lands from BC Hydro in 2019 for \$5.5 million. This was enabled through payment of \$1,475,920 from the Land Sale Reserve Fund and \$4,040,400 in temporary borrowing. To avoid selling off portions of the 2.2 hectares for development to recover some of the cost, a fundraising initiative is underway to seek contributions to recover \$2.7M, or 50 per cent.

I write to ask for your kind consideration to assist funding the capital costs to secure protection of 100 per cent of this neighborhood natural green space. We understand the financial impacts of the COVID-19 pandemic place difficult fiscal impacts on municipalities. We are hopeful of a contribution in the range of \$60,000 – \$90,000 from Oak Bay and some \$250,000 – \$400,000 from Victoria.

Together with the potential of \$1.7M from the sale at Willis Point these sums move us closer to the goal of \$2.75M. Community fundraising reached \$36,000 before being completely stalled by the COVID-19 pandemic.

Located close to our shared municipal borders deep in the “panhandle region” of Saanich next to the Royal Jubilee Hospital, this green space provides an important sub-regional local park for residents in our three municipalities (Map 1). When its future is secured the community is committed to restoring KCNGS and the riparian areas along the creek with the planting of additional trees and native and climate-resistant species creating a thriving urban natural space forest and watercourse.

The recent experience with the COVID-19 pandemic reinforces our conviction that urban green spaces provide significant benefits to the mental health and physical wellbeing of our community. The close proximity of KCNGS to Royal Jubilee Hospital and the cancer clinic provides patients, their families, and hospital staff with opportunities to experience the recuperative and healing benefits of this natural green space.

This acquisition aligns with proclamations of the 2021-2030 UN Decade of Ecosystem Restoration, our need to avoid “paving over nature” in 2021, the utilization of nature-based solutions to climate change, and the 2011 Bowker Creek Blueprint endorsed by Oak Bay, Victoria, and Saanich.

As envisioned in the [Bowker Creek 100 Year Blueprint](#), the KCNGS is the cornerstone for restoration of a half a kilometer of the Reach 7 Bowker Creek greenway from Richmond Road to Trent Street. Providing a major step towards restoration of the entire Bowker Creek watercourse it will build on the restoration undertaken by the Oak Bay and give momentum to Victoria’s greenway corridor for Reaches 8 and 9.

Reach 7 is the fulcrum for the future greenway connecting Oak Bay, Victoria, and Saanich. Achieving the collective vision for the “Bowker Creek Greenway” will bring direct access for the residents of Oak Bay and Victoria to the regional trails and greenway systems a significant step closer to realization (Map 2).

The multi-generational, youth-led interest in protecting KCNGS was demonstrated over two decades ago by the initiative of Oak Bay student Maia Green (Fig. 1). Protecting the full area will help Oak Bay, Victoria, and Saanich meet our climate goals.

In summary, this initiative has important regional benefits to the communities in the Bowker Creek watershed with regard to climate response, sustaining biodiversity, access to nature, improved hydrological function, active transportation, enjoyment, health, and wellbeing.

We would appreciate an opportunity to present at a Committee of the Whole or Council meeting to share more information with you and to obtain an understanding of the next steps in fundraising to secure in perpetuity this natural green space for our three municipalities.

Sincerely,

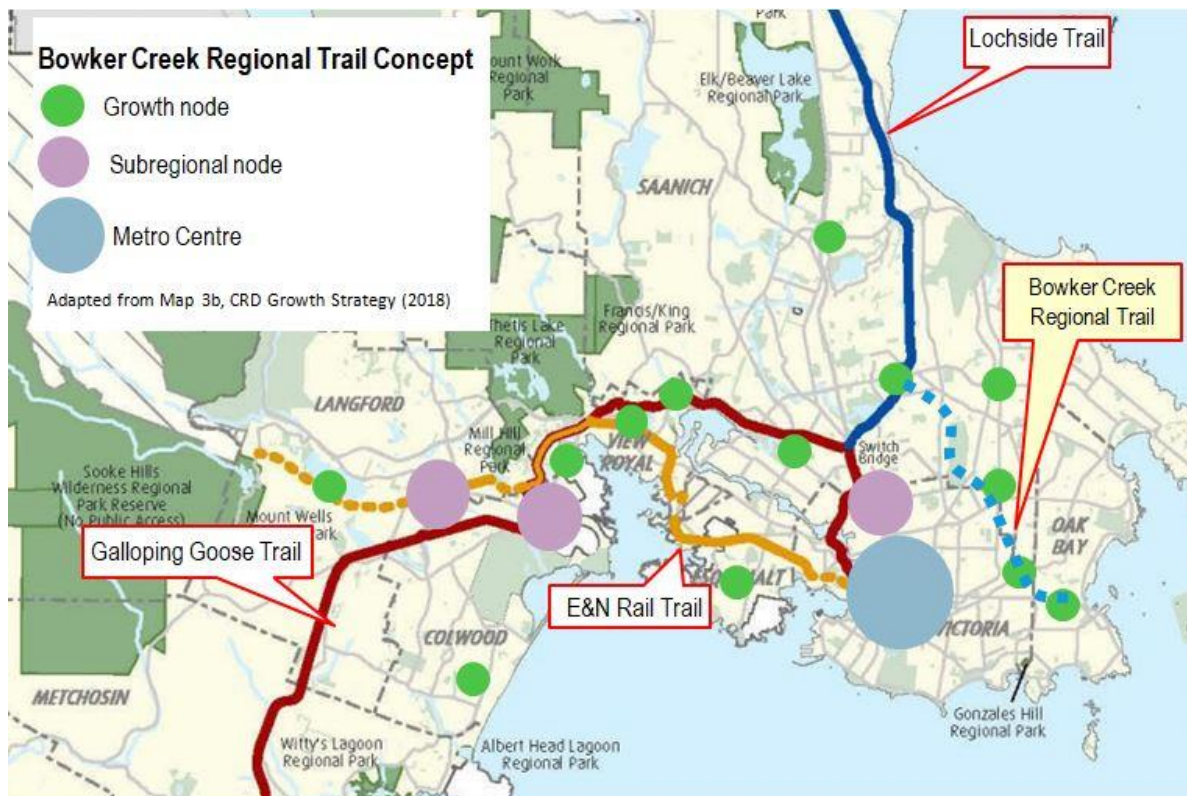


Fred Haynes
Mayor
Attachment

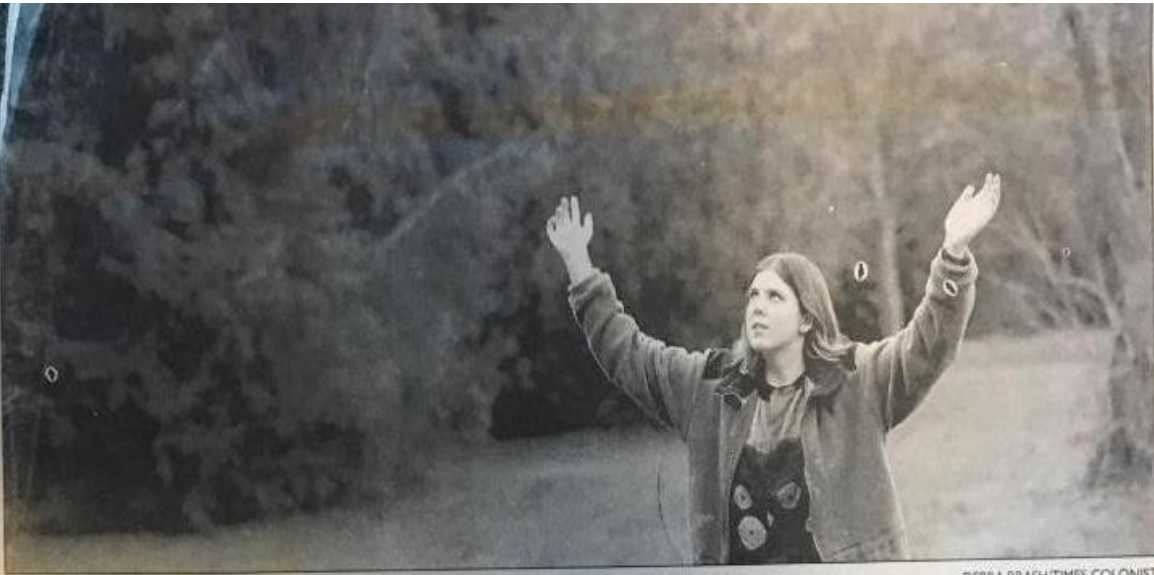
cc: Saanich Council
City of Victoria Mayor and Council
Mayor’s Standing Committee on Fundraising for KCNGS
Friends of Bowker Creek



Map 1. Proximity of the KCNGS to Victoria and Oak Bay and Jubilee Hospital



Map 2. Connection through the Bowker Creek Greenway to access Regional Trails



DEBRA BRASH/TIMES COLONIST

Oak Bay High student Maia Green wants to preserve park between Haultain Street and Kings Road.

▼ ROYAL JUBILEE HOSPITAL

Student fights parking lot

By Louise Dickson
Times Colonist staff

Oak Bay high school student Maia Green is trying to save a neighbourhood park from being plowed into a temporary parking lot for employees at Royal Jubilee Hospital.

Green, a Grade 11 student and a representative of the school's environmental club, is circulating a petition protesting the proposed conversion of the 2.2 hectare park between Kings Road and Haultain Street into more than 400 parking spaces.

"I'm upset the politicians decided to choose the easiest way to deal with the problem," Green said Sunday. "I think they should have been more creative to benefit more people."

So far Green and several friends have collected about 600 signatures. She is hoping to encourage Victoria-Hillside MLA Steve Orcherton to find other ways of finding parking for about 500 cars which will be needed when construction begins on the new Vancouver Island Cancer clinic at RJH in April.

In December, local politicians said construction of the clinic could start if con-

struction of an \$8-million parkade was put on hold, and if a temporary solution to the parking problems at the hospital could be found.

One of the key options being looked at by the B.C. Building Corp., which has overall authority to fast-track the clinic, is converting the park — on land owned by B.C. Hydro — into temporary parking spots.

Since the announcement, Orcherton has attended two meetings with community associations. A final meeting will be held at 7 p.m. Wednesday at Begbie Hall.

Orcherton said he will examine every option at the Wednesday meeting.

"But tied to each option is the number of parking spots that could be provided and the cost associated with it."

The MLA said he is considering creating additional parking spots at Royal Jubilee Hospital. He is also studying park-and-ride and park-and-carpool proposals.

In the past week, Orcherton has canvassed people in the neighbourhood to see if anyone has a parking spot in their driveway that could be used by hospital staff.

"I've talked to a hundred people and they're clear they don't want us to use the

Hydro land. But I have to be clear as well. I don't want to see another delay in the building of the cancer clinic," said Orcherton.

"The priority is health care, but the stumbling block for the past eight years has also been temporary parking. It's crazy. We have to move forward."


Orcherton said he will make his recommendations on how to solve the parking in the first week of February.

"It may be a combination of options. I'll try to decide what is the least irritant to the people in the community. But I don't think I'll be able to please everybody."

Meanwhile, Green is canvassing local churches to see how many spaces they might have available for hospital staff parking on weekdays. She also believes more hospital staff should make use of the transit system.

"The first time I saw the park, I thought it was a totally magical place. I had no idea it was there," said Green. "It's just so beautiful. It has a meadow, a mini-forest and a creek right next to it. You can walk under an archway of trees on the path next to the creek."

Figure 1. Maia Green, Oak Bay student campaigns to preserve the Kings Road Green Space



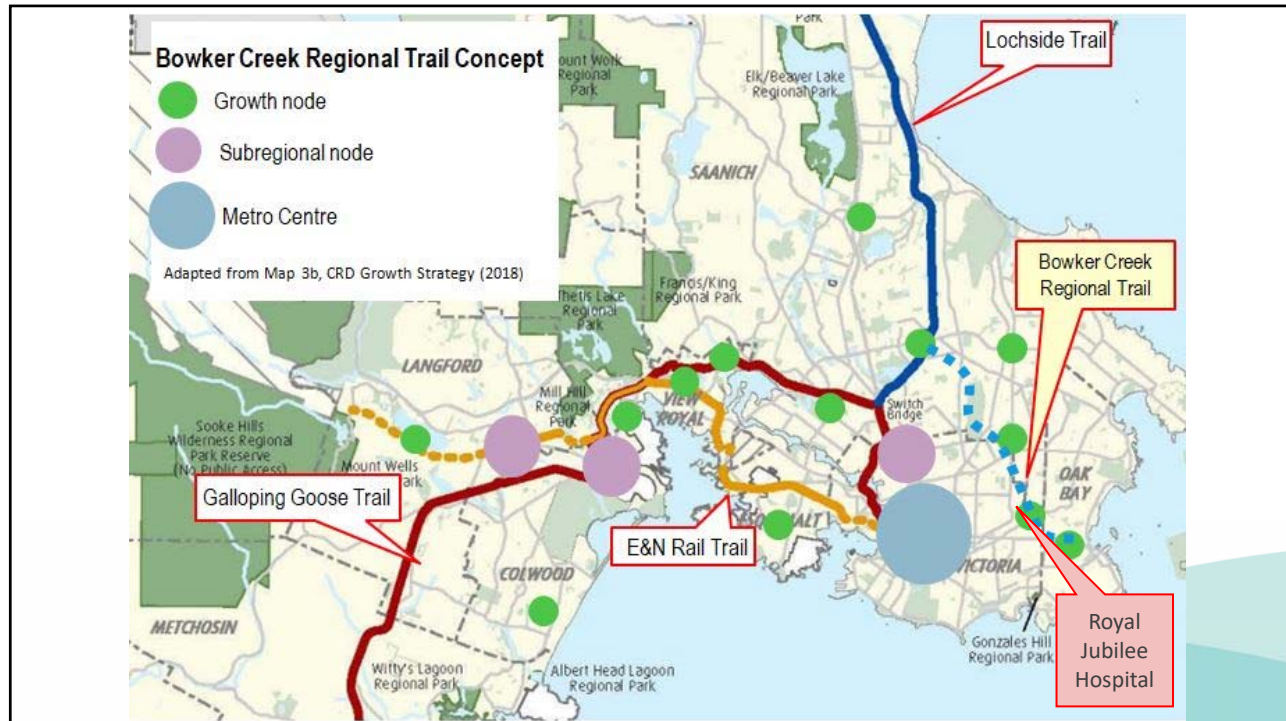
Kings Community Nature Green Space “KCNGS”

July 8, 2021

1

Our Ask = Contribution of	
\$250,000 - \$400,000	From Victoria
\$60,000 - \$90,000	From Oak Bay
Part of community goal of \$2.75 M	
Towards purchase price of \$5.5 M	
With potential from \$1.7 M land sale	

2



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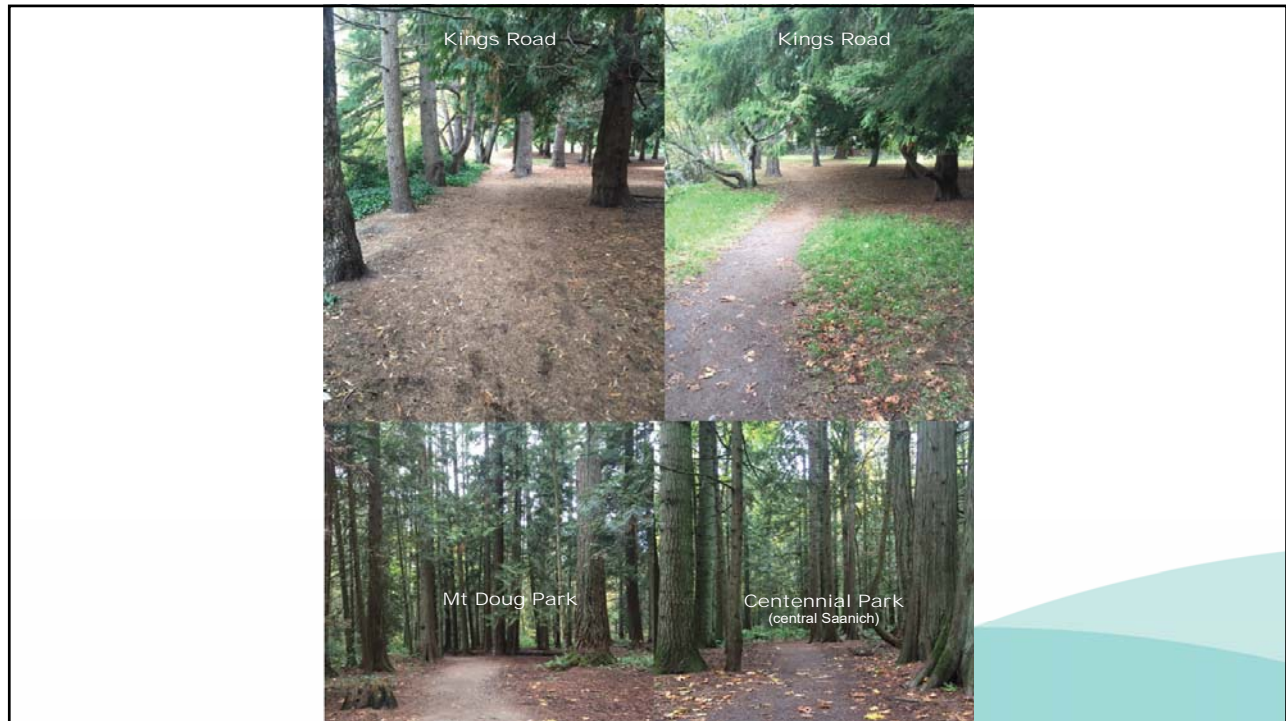
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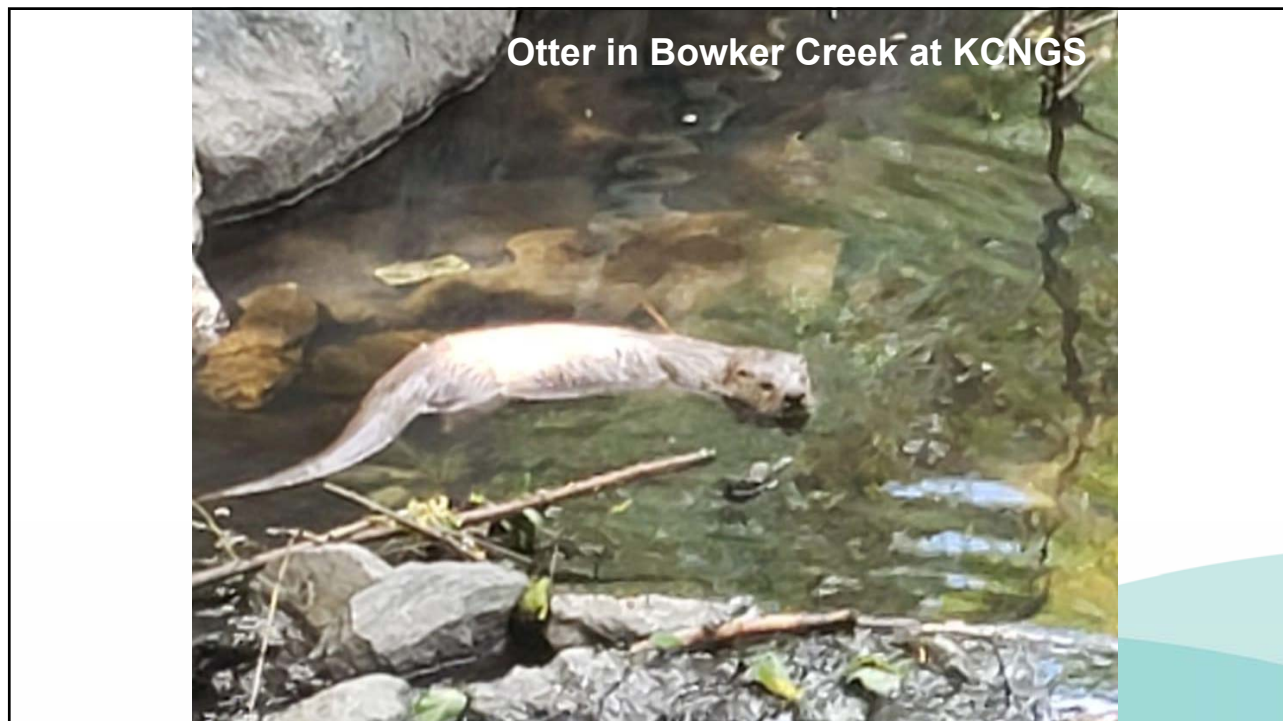
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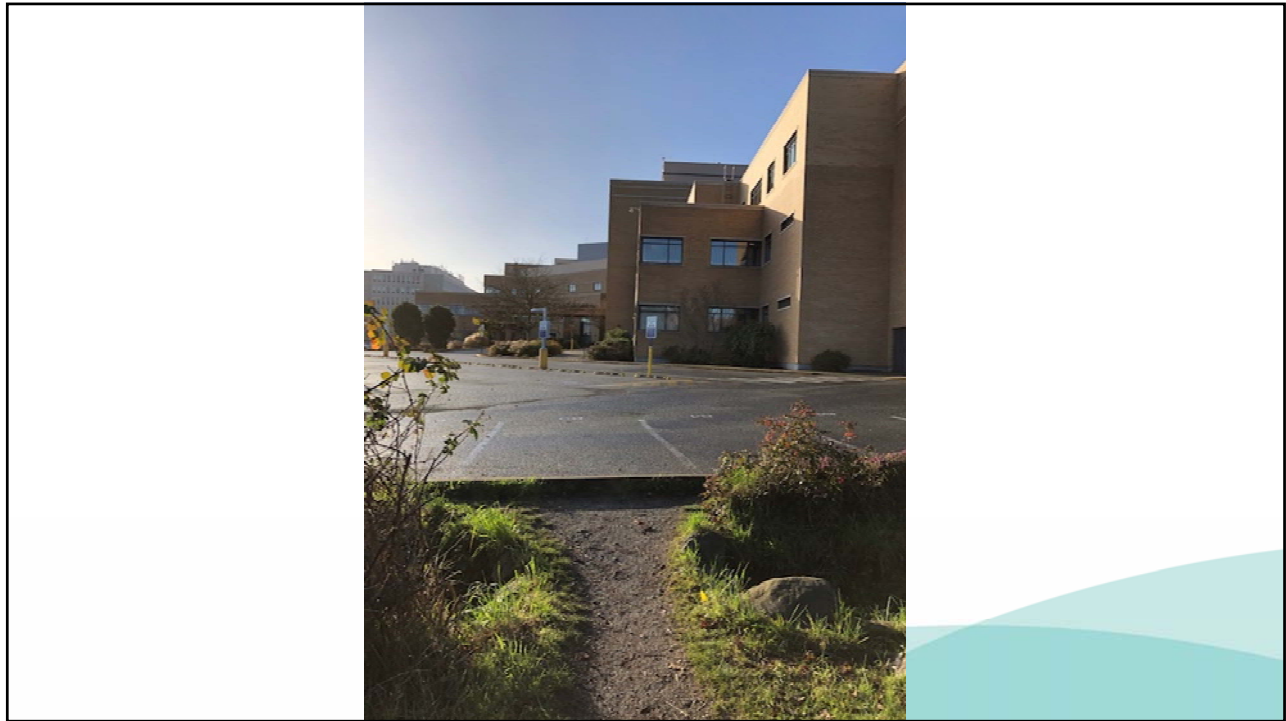
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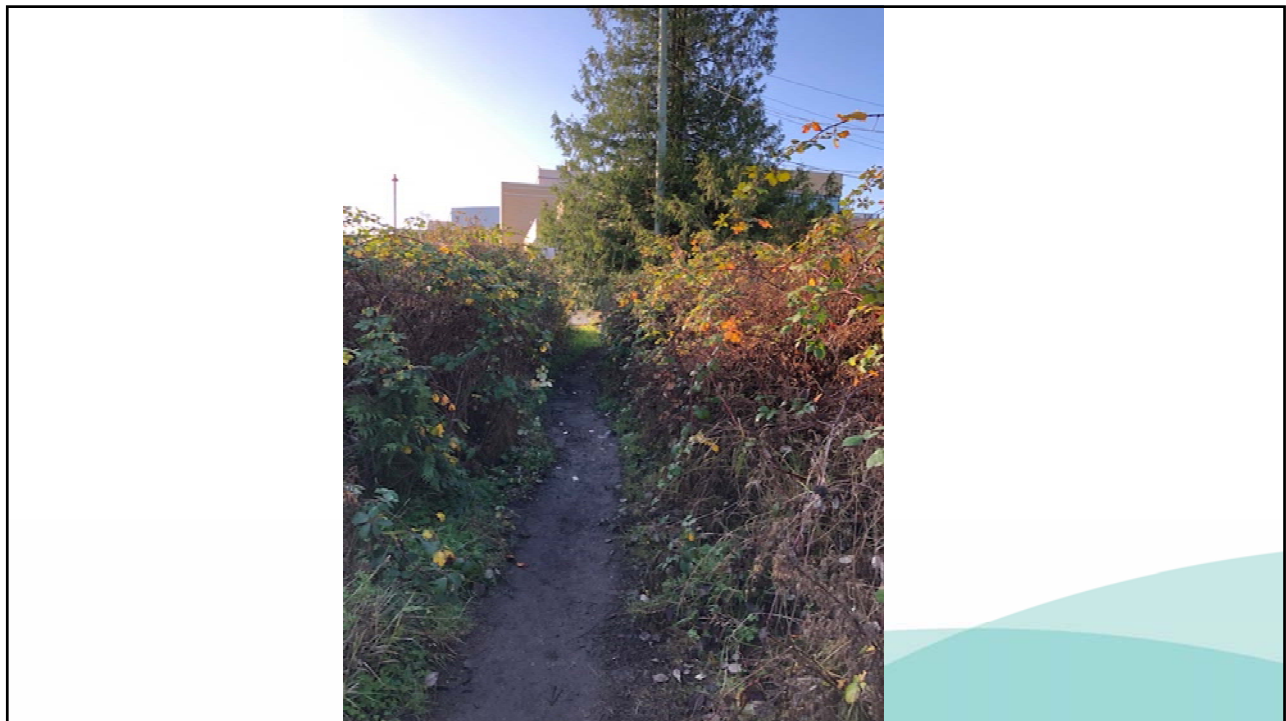
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DEBRA BRADSHAW/STAFF PHOTOGRAPHER

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Committee of the Whole Report

For the Meeting of July 8, 2021

To: Committee of the Whole **Date:** June 24, 2021

From: John O'Reilly, Senior Heritage Planner, Sustainable Planning and Community Development

Subject: Heritage Alteration Permit with Variances Application No. 00025 for 1012 Richardson Street

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Heritage Alteration Permit with Variances Application No. 00025 for 1012 Richardson Street, in accordance with:

1. Plans, date stamped June 10, 2021.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase building height from 7.6 metres to 9.2 metres;
 - ii. decrease the rear yard setback from 9.29 metres to 1.35 metres;
 - iii. decrease the east side yard setback from 1.5 metres to 1.27 metres;
 - iv. decrease the west side yard setback from 3 metres to 2.58 metres;
 - v. decrease the combined side yard setback from 4.5 metres to 3.9 metres.
3. Plan revisions to remove one of the proposed front yard parking spaces and to illustrate a driveway crossing that complies with the Highway Access Bylaw, to the satisfaction of the Director of Engineering.
4. Heritage Alteration Permit with Variances lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Sections 617 (2)(c) of the *Local Government Act*, a Heritage Alteration Permit may vary the Zoning Bylaw. In accordance with section 618, Council may issue a Heritage Alteration Permit which may be subject to terms consistent with the purpose of the

heritage protection of the property, including:

- (i) conditions respecting the sequencing and timing of construction,
- (ii) conditions respecting the character of the alteration or action to be authorized, including landscaping and the siting, form, exterior design and finish of buildings and structures and
- (iii) security.

Council may refuse to issue a Heritage Alteration Permit for an action that, in the opinion of Council, would not be consistent with the purpose of the heritage protection of the property.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis, and recommendations for a Heritage Alteration Permit with Variances Application for the heritage designated property located at 1012 Richardson Street. The property is occupied by a two-storey Italianate style residence constructed in 1892 and designed by John Teague, the architect of Victoria City Hall.

The application is consistent with heritage policies under Chapter 8: “Placemaking - Urban Design and Heritage” of the *Official Community Plan* (the “OCP”), which supports new additions that conserve and enhance heritage property, as consistent with the *National Standards and Guidelines for the Conservation of Historic Places in Canada* (the “Standards and Guidelines”). The proposal is generally consistent with the *Fairfield Neighbourhood Plan (2019)*. It is also generally consistent with the Standards and Guidelines.

The variances proposed are minor in nature, however, the front yard parking spaces do not comply with Schedule C – Off Street Parking Regulations and Schedule G - House Conversion Regulations. In addition, while the front yard is not heritage-designated, it is the foreground for the house, and the additional parking detracts from the appearance of the heritage-designated property. It is recommended that Council approve the application subject to the applicant revising the plans to eliminate one of the proposed parking spaces and to allow one parking stall which is legal non-conforming to remain.

BACKGROUND

Description of Proposal

The application is to alter the heritage-designated, two-storey house located at 1012 Richardson Street. Proposed renovations include:

- construction of a porch and new entry on the east side of the house
- extension of a box bay window on the east side of the house to enlarge the dining room of the ground floor unit, with an additional window to be added
- construction of a new covered porch and patio at the northeast corner of the house facing the rear yard
- construction of a 21 square foot addition to square off the northwest corner of the house and create a more functional bedroom inside the house.

The following variances are required to facilitate this application:

- increase building height from 7.6 metres to 9.2 metres

- decrease the rear yard setback from 9.29 metres to 1.35 metres
- decrease the east side yard setback from 1.5 metres to 1.27 metres
- decrease the west side yard setback from 3 metres to 2.58 metres
- decrease the combined side yard setback from 4.5 metres to 3.9 metres.

The property enjoys legal non-conforming rights for one parking stall to be located in the front yard; however, at some point in the past, a second parking stall and wider drive-way crossing were installed without City permissions. The applicant is proposing to legalize the second parking stall; however, staff are recommending that the parking be limited to one stall. This topic is discussed in more detail in the Analysis section of this report.

Affordable Housing

The applicant proposes the creation of two new strata residential units which would increase the overall supply of housing in the area.

Tenant Assistant Policy

The proposal is to renovate an existing building which will convert the building from a single-family dwelling into a two-family dwelling. No existing rental units or tenants are impacted; therefore, staff did not request a Tenant Assistance Plan.

Sustainability

The applicant is proposing to use permeable pavers in the construction of a new sidewalk on the east side of the existing house, which staff requested to improve on-site stormwater management.

Active Transportation

The application proposes a bicycle storage room in the basement, accessed by a new sloped ramp constructed at the west side of the house.

Accessibility

No accessibility improvements are proposed beyond what is required through the *British Columbia Building Code*.

Data Table

The following data table compares the proposal with the existing R-K Zone, Medium Density Attached Dwelling District. An asterisk is used to identify where the proposal does not meet the existing Zone.

Zoning Criteria	Proposal	R-K Zone
Site area (m ²) – minimum	445	260
Density (Floor Space Ratio) – maximum	0.54	0.6:1

Zoning Criteria	Proposal	R-K Zone
Total floor area (m ²) – maximum	242.58	267
Height (m) – maximum	9.2m* (Height increase is technical in nature and due to the lowering of average grade for new bike ramp)	7.6m
Storeys – maximum	2	2.5
Site coverage (%) – maximum	27	40
Open site space (%) – minimum	>30	30
Setbacks – minimum		
Front (Richardson Street)	7.54m	7.5m
Rear (south)	1.35m*	9.29m
Side (east)	1.27m*	1.5m
Side (west)	2.58m*	3.0m
Combined side yards	3.85m*	4.5m
Vehicle parking - minimum	2* (Located in front yard)	1 (legal non-conforming - Schedule G does not permit any parking in the front yard of heritage designated houses)

Description of Historic Place

1012 Richardson is a 2.5-storey wood frame Italianate residence, which is part of a cluster of historic homes on Vancouver Street in Fairfield. The house was constructed in 1892. The property has heritage value for its association with foreign investment and speculative housing in the late 1800s, and with the architect John Teague. A full description of the building's heritage significance is attached. Character defining elements include:

- its Italianate features including deeply overhanging eaves, wooden arcaded porch, double storey box bay windows, prominent front entrance with wood stairs, decorative bargeboards, and bands of fish scale shingles
- eyebrow window in the peak of the gable
- form and pattern of fenestration
- relationship between the house and remainder of the cluster
- uniformity of setbacks, building height and mass throughout the cluster.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on March 18, 2021, the application was referred for a 30-day comment period to the Fairfield CALUC. At the time of writing this report, a letter from the CALUC had not been received.

This application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Official Community Plan

The proposal is generally consistent with the policies of the *Official Community Plan (OCP, 2012)*, which promote the conservation of heritage property for current and future generations (Policy 8(j)) and supports new additions that conserve and enhance heritage property consistent with the Standards and Guidelines. The architect has designed the new porch addition to complement the existing house through close emulation of its architectural detailing. The changes are not significant alterations to the exterior form and will facilitate the use of the house for two residential units, supporting the long-term conservation of the building.



2009

2011

The approval of two front yard parking spaces would be somewhat inconsistent with policy 8.48 of the OCP, which states “integrate off-street vehicle parking in a way that does not dominate development or streetscapes”. Although the parking spaces take up less than half of the lot width, the second parking space occupies 13.77 square metres (148 square feet) of the front

yard, which could otherwise be landscaped. Additionally, it does have a visual impact compared to the previous configuration with one space. Images are provided above for a comparison.

Fairfield Neighbourhood Plan (2019)

The proposal is generally consistent with the first goal under Chapter 10 - Heritage, of the *Fairfield Neighbourhood Plan (2019)*, which states that applicants should conserve the historic character of significant buildings and streets in the neighbourhood. Under policy 10.4.5 and 10.4.6, the Neighbourhood Plan supports relaxed regulatory guidelines, including variances to setbacks and sensitive building additions, in order to facilitate the conversion of heritage houses into more than one unit.

Standards and Guidelines for the Conservation of Historic Places in Canada

The most significant alteration proposed is the addition of a porch to the east side of the house, which derives its detailing from other parts of the house. Standard 11 of the Standards and Guidelines states that new additions are to be both compatible with and distinguishable from the historic place:

- 11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.*

The Standards and Guidelines further explain that compatibility consists of using materials, assemblies and construction methods that are well suited to existing materials, with compatible service lives and durability. The proposed porch addition utilizes fir posts and fir brackets, aluminum guardrails and ornamental details cut into ¾" plywood. ¾" G1S plywood is proposed for the molding details. The ball and spindle posts in the porch spandrel under the roofline would be made from wood. The stair and deck would be concrete. The upper balustrade will be executed in aluminum, with aluminum finials. About distinguishability, the Standards and Guidelines states that a new addition should be "*visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.*"

The new porch faithfully emulates the existing form and detailing of the house, which translates into a very close fit. The architect has stated his intention is to achieve distinguishability to the "trained eye" rather than the average viewer. In staff's interpretation, there are a spectrum of design approaches that can achieve distinguishability and the new porch achieves this through the modern materials like the aluminum guardrails. For example, instead of imitating the elaborate, flowery cresting from the two-storey box bay on the front of the house, the guardrail above the porch will use simple square pickets. The new porch addition is setback over two metres from the front façade, which further distinguishes it from the house.

The alterations to the box bay on the east elevation behind the new porch are concealed from the street and qualitatively minor. An additional double hung sash window would be added to the existing pair and the roofline of the box bay altered from its current hipped profile to a shed roof design. The box bay on the side elevation is insignificant to the overall composition of the building and in staff's opinion, the proposed alterations are consistent with the character of the house. It is noted that the panel molding details of the upper trim board are missing on the altered box bay.

Changes to the rear elevation of the building are also minor and include the enlargement of a rear patio, a corresponding widening of the roof overhead and a 21-square foot addition to the ground floor at the northwest corner of the house. The sloped roof would be extended overtop of this addition. An existing landing with a decorative balustrade would be removed. The rear landing is not identified as a character-defining element of the house and removal does not detract from the overall arrangement of features on the rear of the house. The addition at the northwest corner would be finished in the same cladding as the remainder of the house and extends an existing square bump out from the middle of the rear ground floor to the corner of the house, which squares off the floor plan.

Tree Preservation Bylaw

There are no impacts to bylaw protected trees as part of this application.

Regulatory Considerations

Setback Variances

Four of the proposed variances relate to reduced setbacks. The addition at the northwest corner of the building is flush with the existing west elevation, however a variance is required to allow it to achieve the same non-conforming 2.58m side yard setback as the remainder of the building instead of the standard requirement of 3.0m. This addition also triggers a technical rear yard setback variance because the side property line has a 90-degree jog at this location. The setback is measured to the jogged portion of the lot line, instead of to the further rear yard property line.

The applicant proposes to increase the depth of a bay window on the east side of the house by two feet, bringing it closer to the side lot line. This requires a variance requesting a reduction from 1.5m to 1.27m. However, a functional 1.2 metre side yard is still maintained along the length of the bay window and porch, meeting the general intent of the Zoning Bylaw.

A combined side yard variance is needed to reduce this requirement from 4.5m to 3.85m because the existing west side yard setback of 2.58m does not conform with the Zoning Bylaw standard of 3.0m and the bay window will decrease the east side yard setback to 1.27 metres.

Height Variance

There is also a technical variance related to height. The building height is not being altered, but the construction of a sloped ramp accessing the basement bicycle storage room “lowers” the grade from which the height is measured, resulting in a change to the measurement but not the actual perceived height.

Parking

The applicant is seeking retroactive approval for a second parking space in the front yard that was installed without a permit. In order to provide access to both parking spaces in the front yard, the driveway crossing would need to be widened to meet Zoning and Highway Access Bylaw requirements. Historically, the house had one front yard parking space and enjoys legal conforming-rights for one stall to be permitted in the front yard. A second unpermitted space was added in 2010. The current driveway crossing is too narrow to allow direct and unobstructed access to the west parking space in accordance with Zoning Bylaw aisle requirements in Schedule C. Backing out of the existing west parking space requires a diagonal

turning movement across the sidewalk, creating potential safety issues for pedestrians, and it appears that vehicles are driving over the grassed boulevard, resulting in compacted soil, which will impact the adjacent tree along with increasing ongoing maintenance of the boulevard. The existing driveway is also connected directly to the driveway crossing of the neighbouring property creating an existing 7m wide concrete letdown. Widening up to the maximum dimension of 4.5 metres (approximately a 1m widening), as permitted in the Highway Access Bylaw, would create a larger continuous concrete apron and could have impacts on the health of the adjacent boulevard tree, which is 2.2m from the existing driveway. The applicant has provided an arborist report, however, it does not evaluate potential impacts to the boulevard tree.

Under Schedule G - House Conversion Regulations, no front yard parking is permitted for heritage-designated properties. This regulation is in place to preserve the landscaped foreground of historic buildings. Because of this and to enhance on-site permeability, increased landscaping and to ensure pedestrian safety and the health of the boulevard tree, it is recommended that only one front yard parking space, which is a legal non-conforming condition, be permitted.

Highway Access Bylaw

If Council chooses to approve the proposal in its current form, the applicant would need to widen the driveway crossing to meet the design requirements of Schedule "B" of the Highway Access Bylaw. Schedule B of the Bylaw contains standard driveway crossing widths and flare depths at the roadway and permits a maximum driveway crossing width of 4.5 metres.

Heritage Advisory Panel

The application was reviewed by the Heritage Advisory Panel ("HAPL") at its April 13, 2021 meeting and Panel members made the following recommendation:

That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit with Variances Application No. 00025 for 1012 Richardson Street be approved with the following changes:

- *The retainment of the original railing on the backyard porch.*

The proposal includes the removal of a landing and a scroll cut railing at the rear of the house. HAPL recommended that the scroll cut railing be retained and reused. In response, the applicant revised the plans to show the balcony railing reintegrated into the new porch on the east side of the house. HAPL was not requested to review the variances, so did not provide commentary on the front yard parking.

CONCLUSIONS

The proposal to alter the existing heritage-designated house to facilitate its conversion to a duplex is generally consistent with the Official Community Plan and Fairfield Neighbourhood Plan. The associated variances to permit reduced setbacks and an increased building height are minor in nature. However, in staff's opinion, the extra front yard parking space detracts from the appearance of the heritage property from the street and increases the risk of pedestrian conflicts and damage to the boulevard. Approval would be inconsistent with the general intent and purpose of Schedule G - House Conversion Regulations. Staff therefore recommend that Council consider approving the proposal, subject to the applicant revising plans to eliminate one proposed front yard parking space and narrowing the driveway crossing to the minimum required.

ALTERNATE MOTIONS

Option 1 (With Two Parking Stalls)

That Council authorize the issuance of Heritage Alteration Permit Application No. 00025 for 1012 Richardson Street, in accordance with:

1. Plans, date stamped June 10, 2021.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase building height from 7.6 metres to 9.2 metres;
 - ii. decrease the rear yard setback from 9.29 metres to 1.35 metres;
 - iii. decrease the east side yard setback from 1.5 metres to 1.27 metres;
 - iv. decrease the west side yard setback from 3 metres to 2.58 metres;
 - v. decrease the combined side yard setback from 4.5 metres to 3.9 metres;
 - vi. increase the number of front yard parking spaces from 1 to 2;
 - vii. decrease the drive aisle dimension from 7.0 metres to 1.5 metres.
3. Final plans to be generally in accordance with the plans identified above to the satisfaction of the Assistant Director, Development Services Division, Sustainable Planning and Community Development.
4. Minor plan amendments to illustrate a driveway crossing that complies with the Highway Access Bylaw, to the satisfaction of the Director of Engineering.
5. Heritage Alteration Permit with Variances lapsing two years from the date of this resolution.

Option 2 – Decline

That Council decline Heritage Alteration Permit Application No. 00025 for 1012 Richardson Street.

Respectfully submitted,

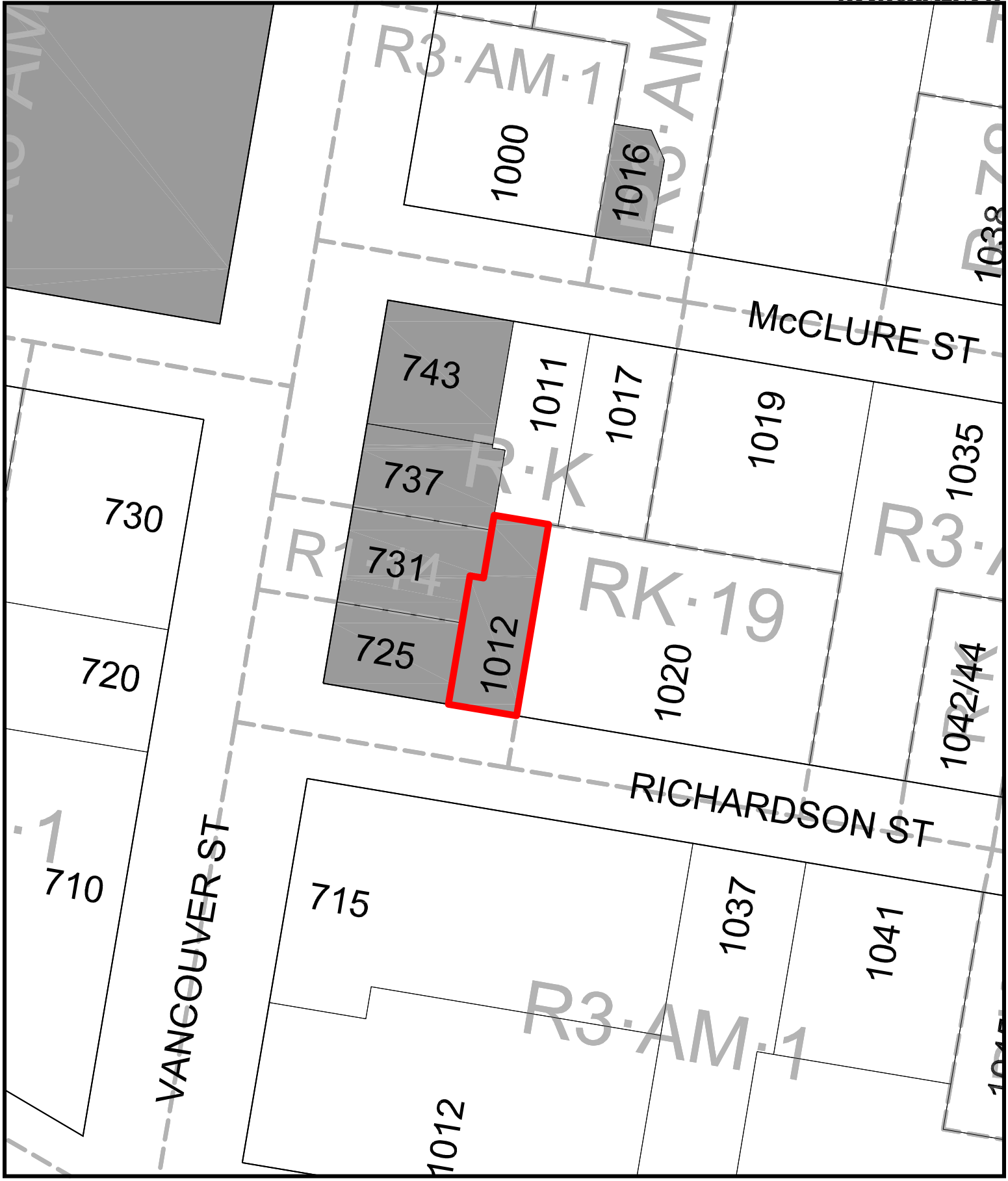
John O'Reilly
Senior Heritage Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped June 10, 2021
- Attachment D: Applicant's letter dated February 15, 2021
- Attachment E: Statement of Significance
- Attachment F: Heritage Advisory Panel Minutes - April 13, 2021.



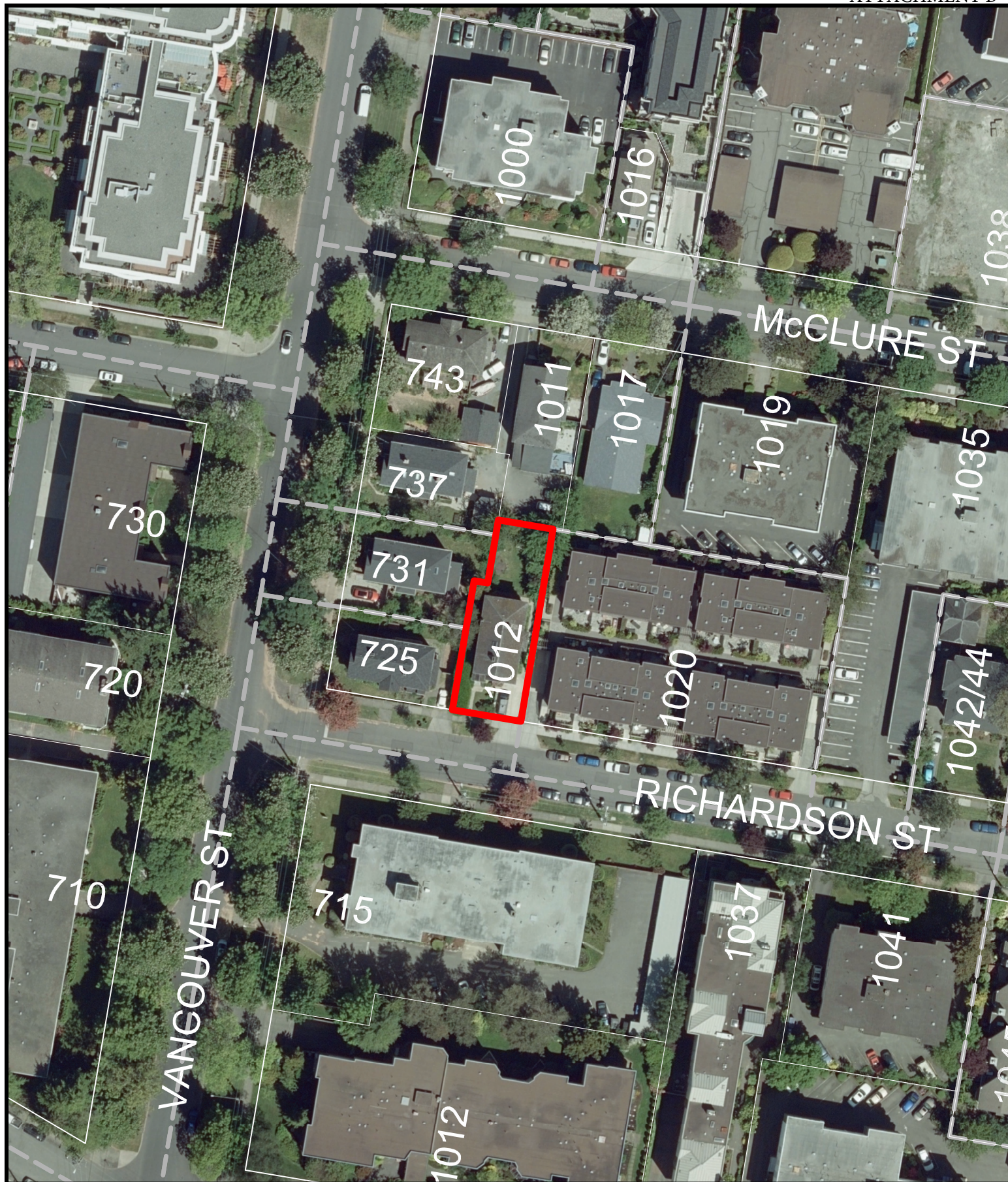
1012 Richardson Street

Heritage Alteration Permit w. Variances #00025



Designated Registered





1012 Richardson Street

Heritage Alteration Permit w. Variances #00025



Designated

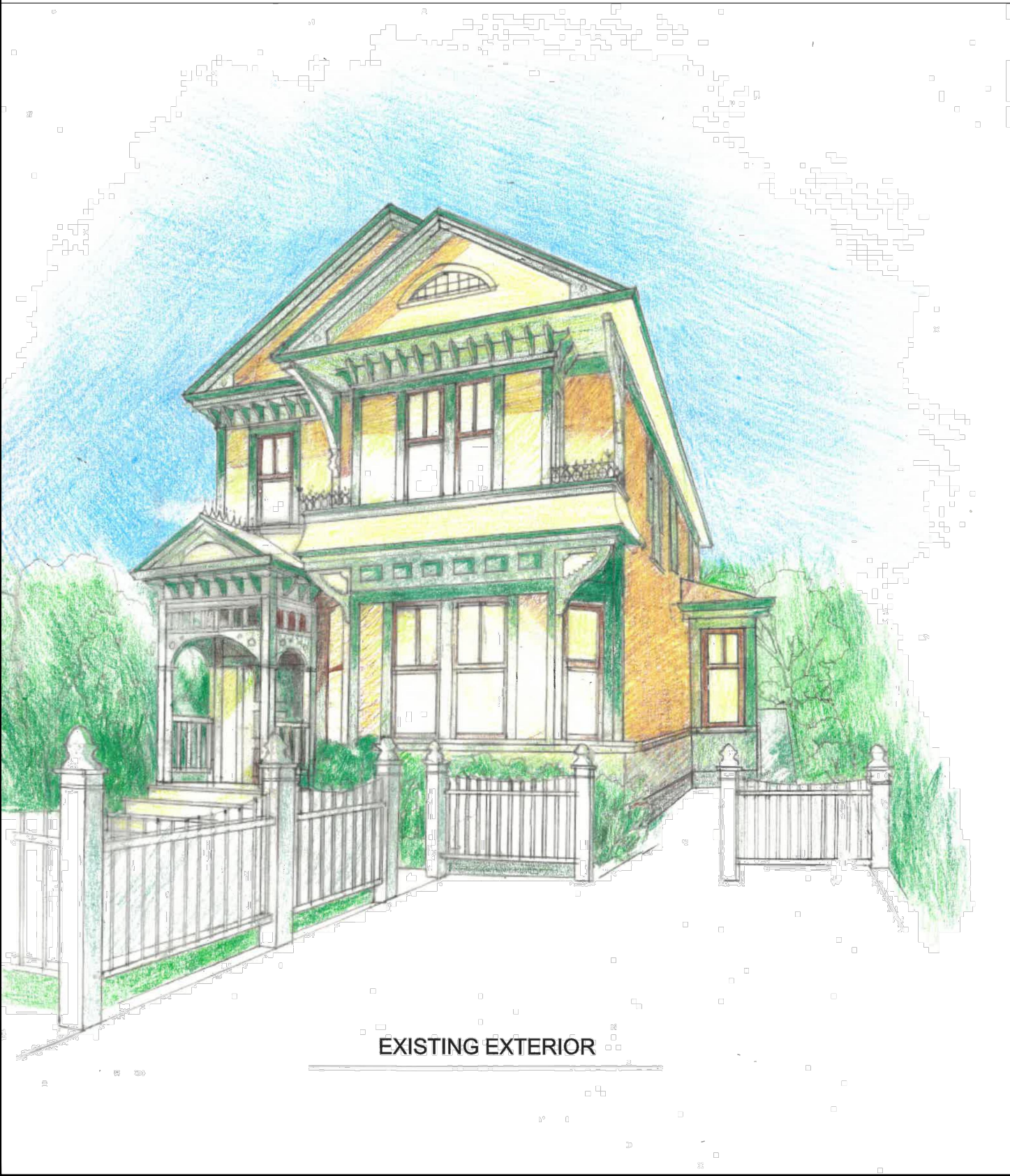


Registered



1012 RICHARDSON DUPLEX CONVERSION AND HERITAGE ALTERATION

1012 AND 1014 RICHARDSON STREET, VICTORIA BC V8V 3C5
ISSUED FOR HERITAGE ALTERATION PERMIT
FEBRUARY 15 2021



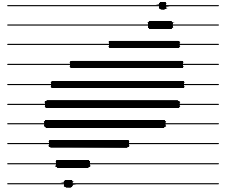
EXISTING EXTERIOR



PROPOSED NEW PORCH

 **Original Submission**
Received Date:
March 10, 2021

Client		
Client		
1	10/12/19	Issued for Building Permit
No.	Date	Revision
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Consultant

1012 RICHARDSON DUPLEX
1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
EXISTING AND PROPOSED ELEVATION SKETCHES

Scale 3/8" = 1'		
Drawn RI	Check RI	Partner RI
Project No. 19128		
Date FEB 15 2021	Phase No.	Sheet No. A-00 61

1012 AND 1014 RICHARDSON STREET VICTORIA BC V8V 3C5

PROJECT DIRECTORY

IREDALE GROUP ARCHITECTURE
16 BASTION SQUARE
VICTORIA BC
V8W 1H9

T: 250.381.5582

CONTACT: RICHARD IREDALE
richard@iredale.ca

A-01 SITE PLAN, WALL/ROOF SCHEDULES, ZONING NOTES, CODE
A-02 MAIN FLOOR
A-03 UPPER FLOOR
A-04 NORTH AND SOUTH ELEVATION
A-05 EAST AND WEST ELEVATION
A-06 DETAILS

A6-07 BUILDING ENVELOPE DETAILS, RSI VALUES
S-0 STRUCTURAL NOTES
S-01 FOUNDATION AND MAIN FLOOR FRAMING
S-02 UPPER FLOOR AND ROOF FRAMING
S-03 SHEAR WALL AND FRAMING DETAILS

P1 EXSTG WALL RETROFITTED FOR 45 MIN. RATING
CEDAR SIDING ON DIAGONAL 1 X 4 SHIPLAP
30# BUILDING PAPER
2 X 6 WOOD STUDS @ 16" O.C.
R 28 ACCOUSTIC BATT INSULATION
3/4" PLASTER
Add 5/8" type x GWB

P2 EXISTNG UNRATE INTERIOR PARTITION
SAME AS P1 BUT NO 5/8" GWB

1/2" GWB
2x4 WOOD STUDS @ 16" O.C
ACOUSTIC BATT INSULATION
1/2" GWB

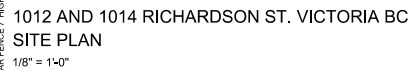
P3 NEW INTERIOR PARTITION / SHEAR WALL
 $\frac{1}{2}$ " GWB
 1/2" PLY SHEATHING, 8D NAILING @ 2" O.C.
 2x4 WOOD STUDS @ 16" O.C
 ACOUSTIC BATT INSULATION
 $\frac{1}{2}$ " GWB

P4 EXSTG 45 MIN. WALL RETROFITTED W/ 5/8" TYPE X GWB
(STC 50, 45 MIN F.R.R.)
EXISTING 1/2" GWB
EXSTG. 2 X 6 STUDS @ 16" O.C.
NEW ACCOUSTIC BATT ROXUL SOUND INSULATION
NEW 1/2" PLY 3" NAILING @ 2" O.C.
NEW 5/8" TYPE X GWB

FLOOR SCHEDULES 45 MIN F.R.R (STC 50)

F1 - EXISTING FLOOR ASSEMBLY
3/4" OAK FLOORING
2" CONCRETE TOPPING
1/2" ENTANGLED POLYPROPYLENE SOUND MAT
3/8" PLYWOOD
2X10 JOISTS @ 16" O.C
1" TYPE X DRYWALL (3/8" GYPROCK PLASTER EQUIVALENT)

45 MIN FIRE RESISTANT RATING BETWEEN SUITES
STC SOUND RATING OF 50 BETWEEN SUITES
SPRINKLERED: NO



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1012 RICHARDSON
DUPLEX


1012 AND 1014
RICHARDSON ST.
VICTORIA BC

Drawing Title

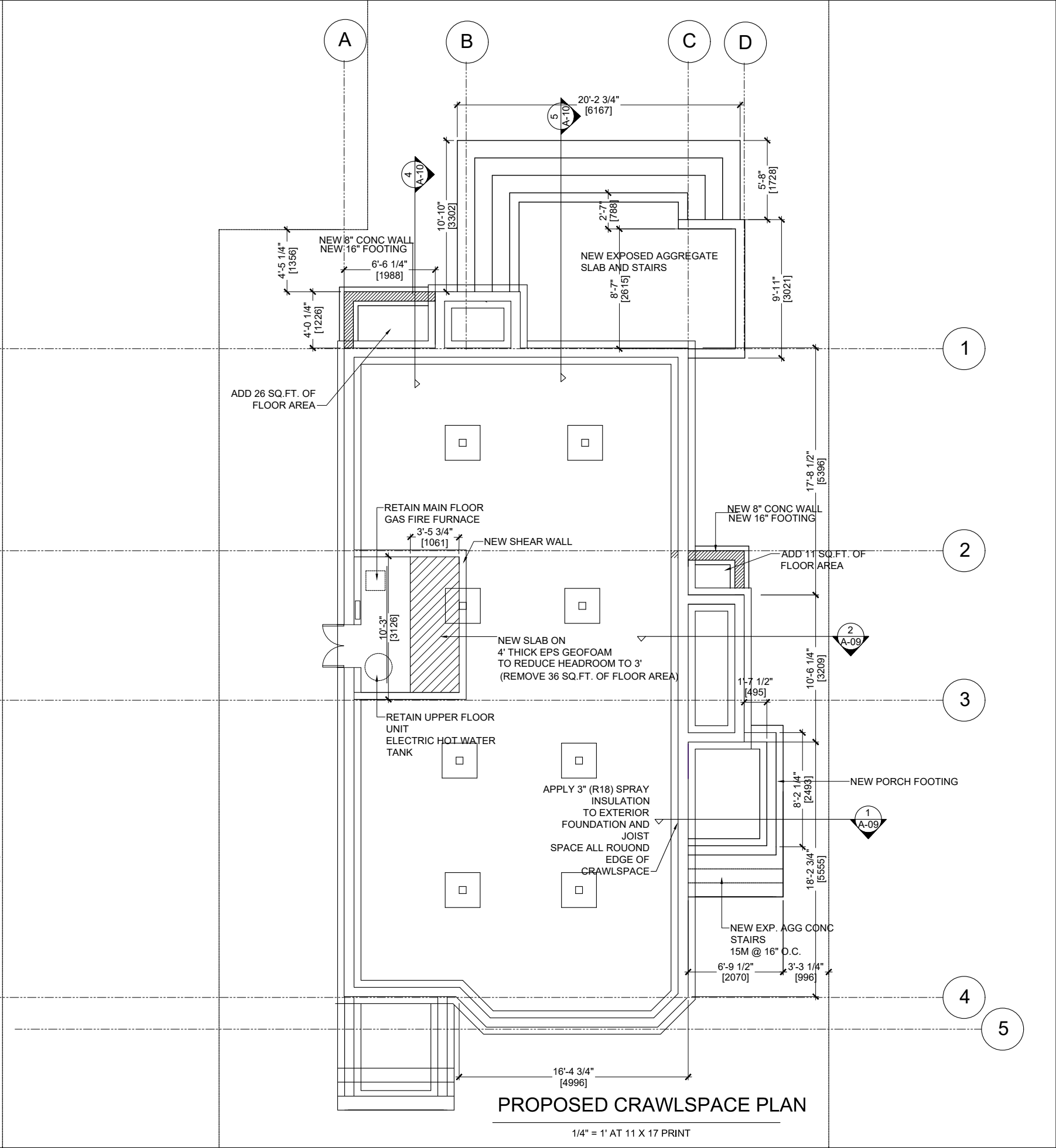
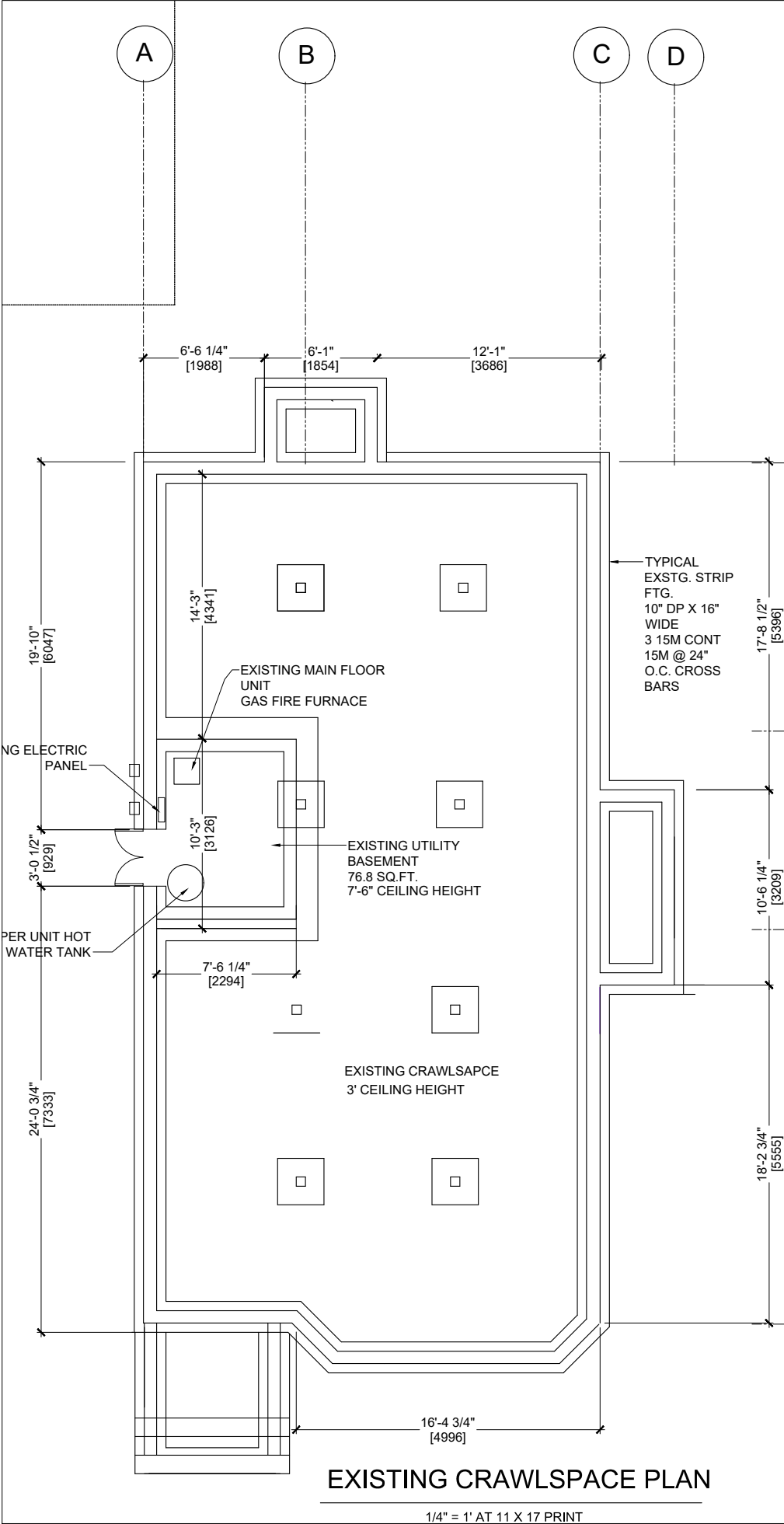
SITE
PLAN

Scale $1/8" = 1'$

Drawn	RI	Check	RI	Partner	RI
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	Project No.
	19128

Date	Phase No.	Sheet No.
DEC 12 2019		A-0



Client
Client

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No.	Date	Revision

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VICTORIA BC

Drawing Title
CRAWLSPACE PLAN

Scale
3/8" = 1'

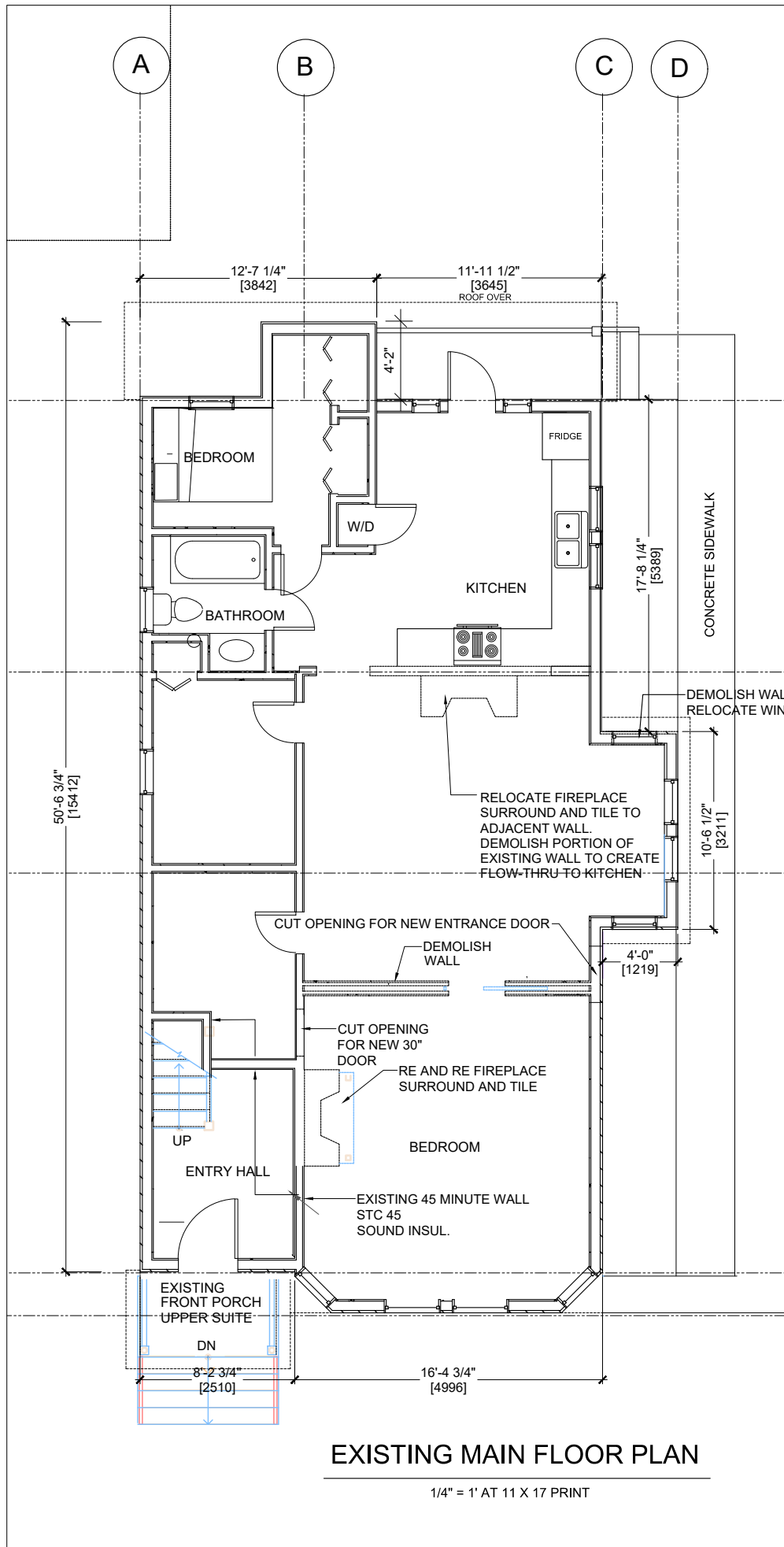
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Date
FEB 15 2021

Project No.
19128

Phase No.
A-02

Sheet No.
63

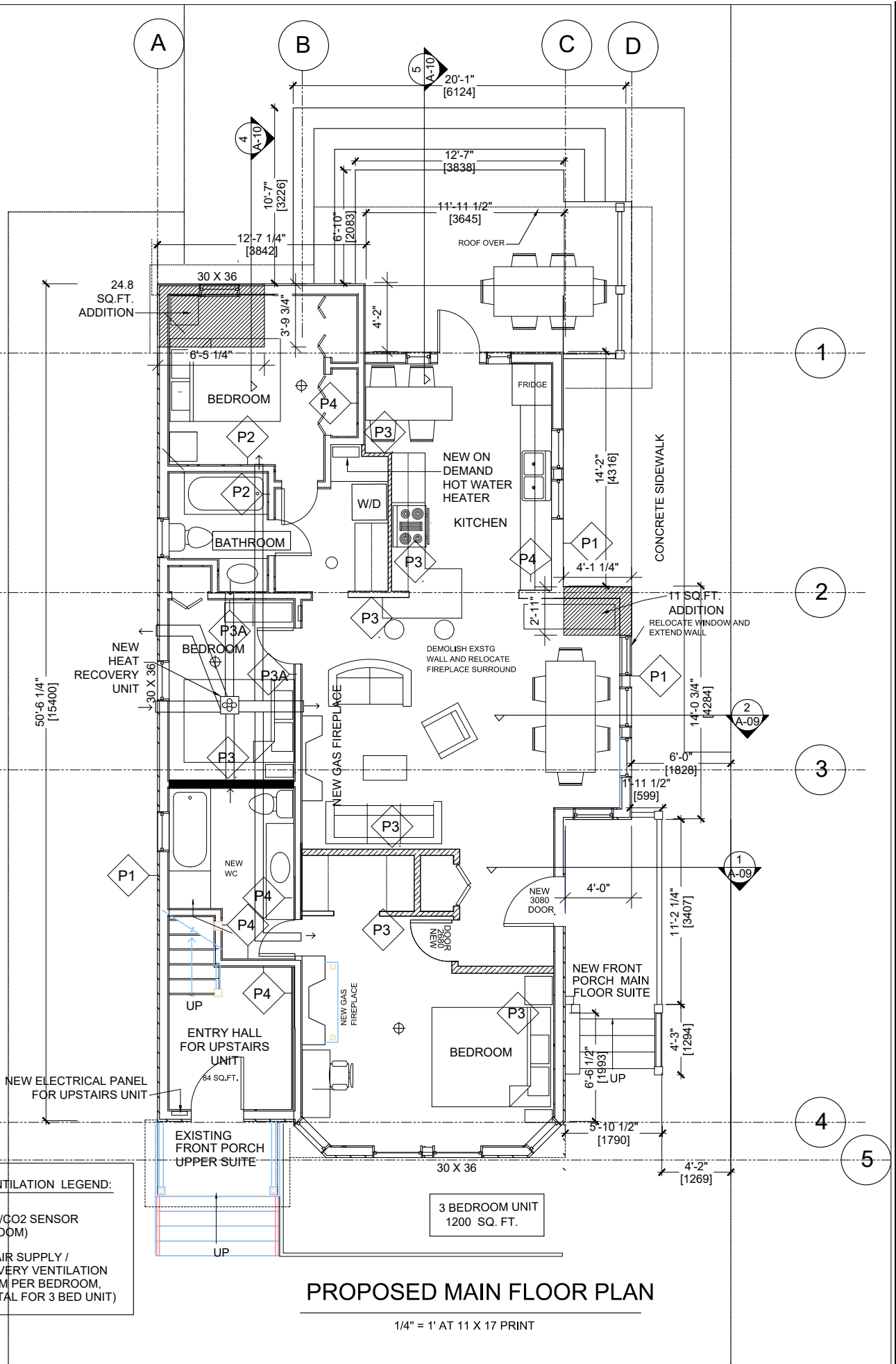


EXISTING MAIN FLOOR PLAN

1/4" = 1' AT 11 X 17 PRINT

SAFETY AND VENTILATION LEGEND:

- ⊕ HEAT/SMOKE/CO2 SENSOR (1 PER BEDROOM)
- ⊕ EXHAUST / AIR SUPPLY / HEAT RECOVERY VENTILATION UNIT (40 CFM PER BEDROOM, 120 CFM TOTAL FOR 3 BED UNIT)



PROPOSED MAIN FLOOR PLAN

1/4" = 1' AT 11 X 17 PRINT

Client
Client

No.	Date	Revision
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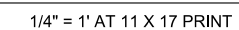
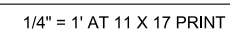
1012 RICHARDSON DUPLEX
1012 AND 1014 RICHARDSON ST.
VICTORIA BC


Drawing Title
MAIN FLOOR PLAN

Scale
3/8" = 1'

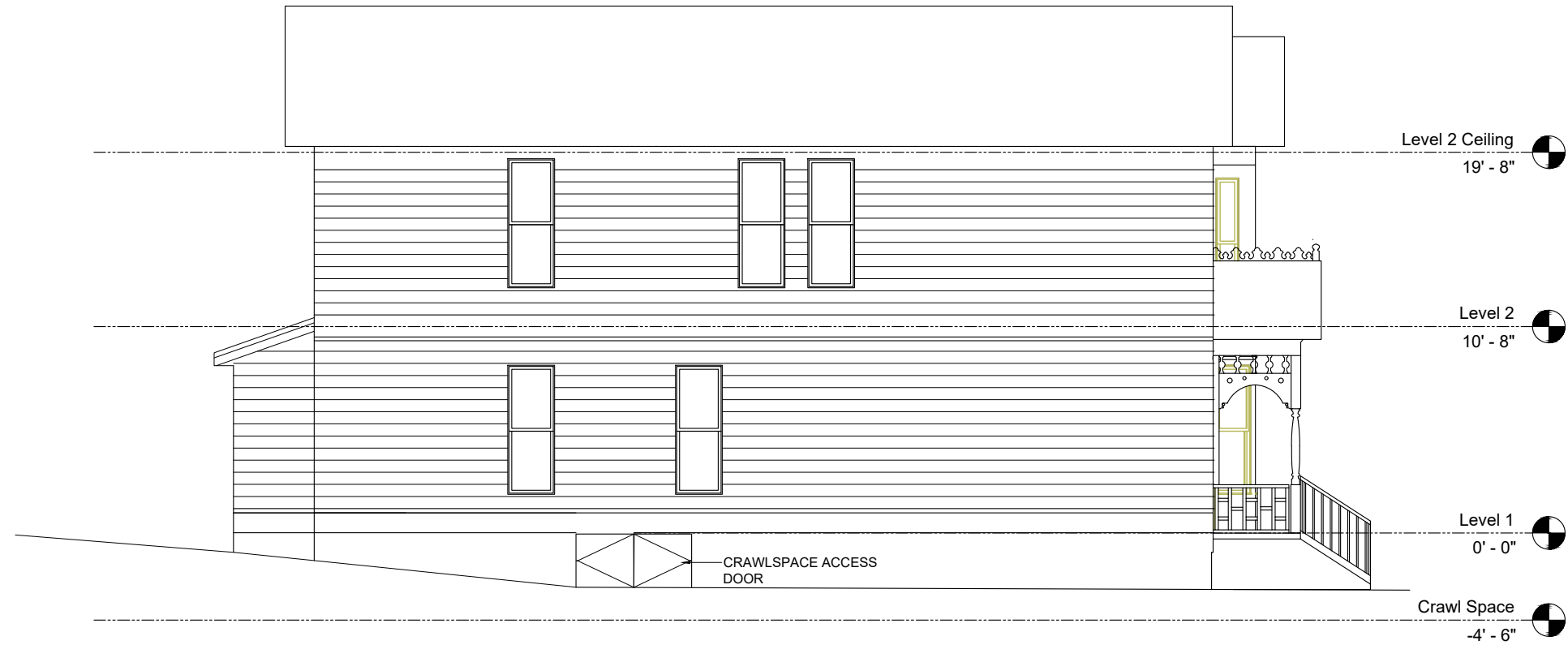
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Date	DEC 12 2019	Phase No.		Sheet No.	A-03

64



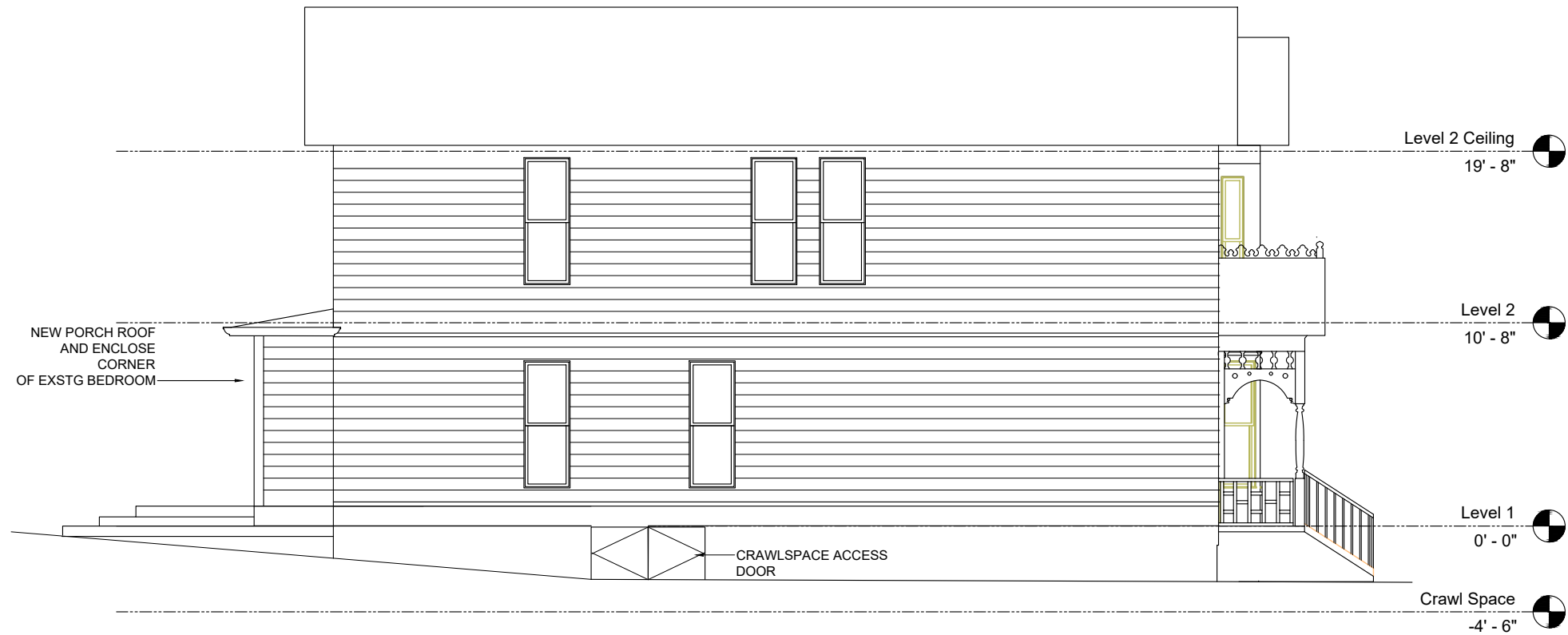
 EXHAUST / AIR SUPPLY /
HEAT RECOVERY VENTILATION
UNIT (40 CFM PER BEDROOM,
120 CFM TOTAL FOR 3 BED UNIT)

35



EXISTING WEST ELEVATION

1/4" = 1' AT 11 X 17 PRINT



PROPOSED WEST ELEVATION

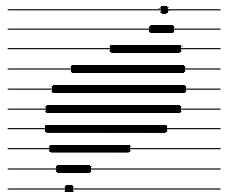
1/4" = 1' AT 11 X 17 PRINT

Client

Client

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VICTORIA BC

Drawing Title

WEST ELEVATION

Scale

1/4"=1'-0"

Drawn	RI	Check	RI	Partner	RI
Project No.		19128			
Date	FEB 15 2021		Phase No.	A-05	
				66	



EXISTING EAST ELEVATION



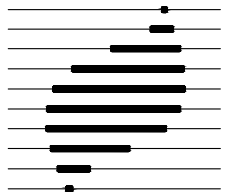
PROPOSED EAST ELEVATION

Client

Client

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No.	Date	Revision

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VICTORIA BC

Drawing Title

EAST ELEVATION

Scale

1/4"=1'-0"

Drawn	RI	Check	RI	Partner	RI
Project No.			19128		
Date	Phase No.		Sheet No.		
FEB 15 2021			A-06		

67



EXISTING SOUTH ELEVATION

1/4" = 1' AT 11 X 17 PRINT



PROPOSED SOUTH ELEVATION

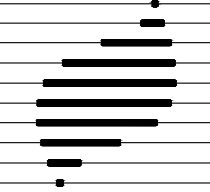
1/4" = 1' AT 11 X 17 PRINT

Client

Client

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VICTORIA BC

Drawing Title
SOUTH ELEVATION

Scale
3/8" = 1'

Drawn	RI	Check	RI	Partner	RI
Project No.		19128			
Date	Phase No.		Sheet No.		
FEB. 10 2021			A-07		

68



EXISTING NORTH ELEVATION

PROPOSED NORTH ELEVATION

1/4" = 1' AT 11 X 17 PRINT

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Client

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No.	Date	Revision

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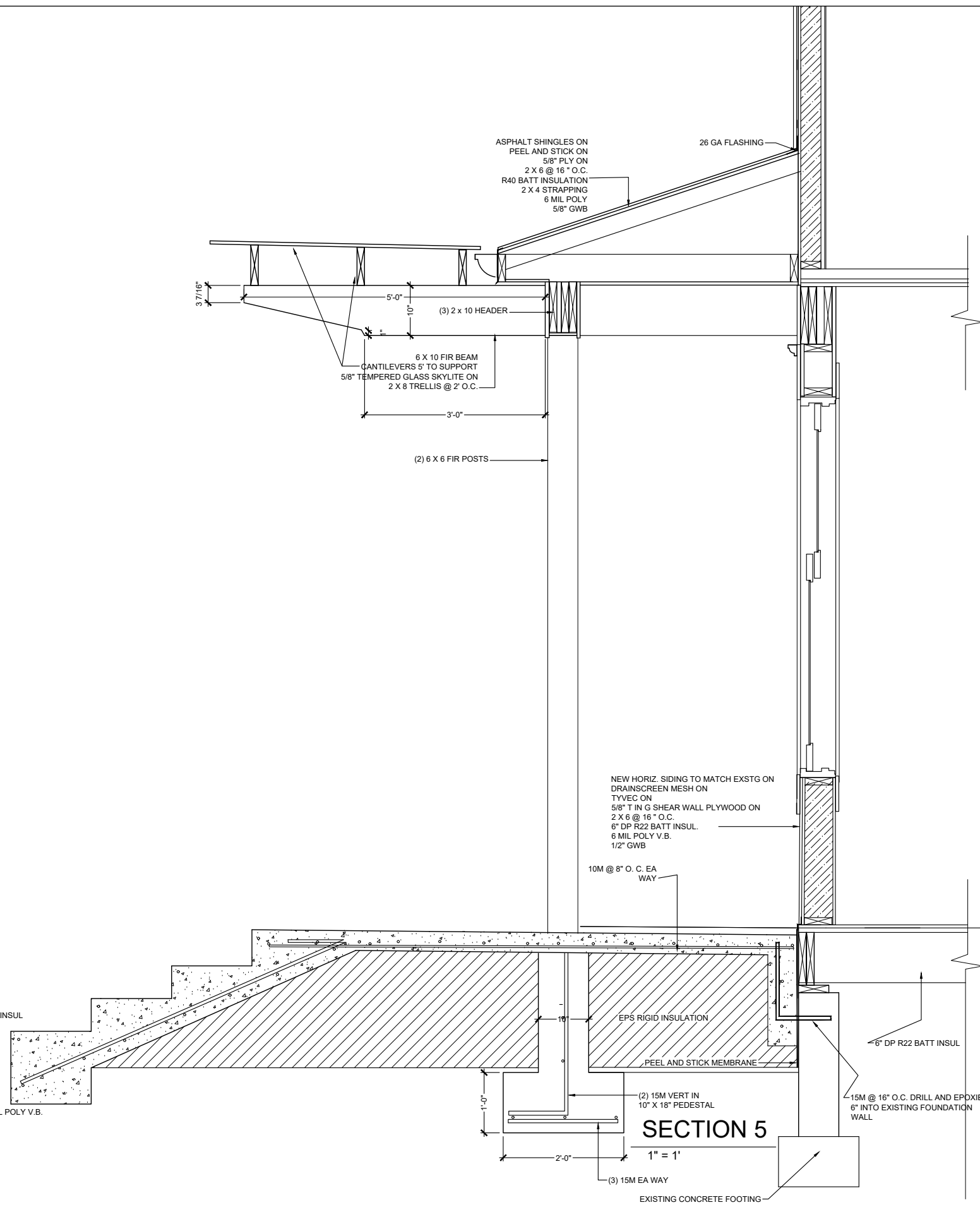
1012 AND 1014 RICHARDSON ST.
VICTORIA BC

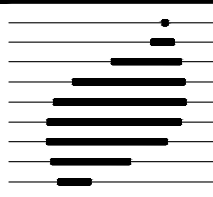

Drawing Title
NORTH ELEVATION

Scale
3/8" = 1'

Drawn	RI	Check	RI	Partner	RI
Project No.		19128			
Date	Phase No.		Sheet No.		
DEC 12 2019			A-08		

69



Client Client		
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No.	Date	Revision
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Consultant		
1012 RICHARDSON DUPLEX 1012 AND 1014 RICHARDSON ST. VICTORIA BC		
Drawing Title DETAILS 2		
Scale 3/8" = 1'		
Drawn	RI	Check
		RI
Project No.		Partner
19128		RI
Date	Phase No.	Sheet No.
MARCH 1 2021		A10 71

LIST OF ABBREVIATIONS			
ABBREV.	DESCRIPTION	ABBREV.	DESCRIPTION
A.B.	ANCHOR BOLT	LSL	LAMINATED STRAND LUMBER
ADJ.	ADJUSTABLE	L.S.V.	LONG SIDE VERTICAL
ALT.	ALTERNATE	LVL	LAMINATED VENEER LUMBER
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
B.C.E.	BOTTOM CHORD EXTENSION	MECH.	MECHANICAL
BLDG.	BUILDING	MIN.	MINIMUM
BM.	BEAM	M.S.R.	MACHINE STRESS-RATED
BOT.	BOTTOM	MTL.	METAL
CANTIL.	CANTILEVER	N.I.C.	NOT IN CONTRACT
C.J.P.	CAST IN PLACE	N.S.	NEAR SIDE
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE
C.L.	CENTRELINE	O/C	ON CENTRE
CLR.	CLEAR	O.C.	ON CENTRE
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OPG	OPENING
CONT.	CONTINUOUS	OPNG.	OPENING
C.P.	COMPLETE PENETRATION	OPP.	OPPOSITE
		OSB	ORIENTED STRAND BOARD
		OWSJ	OPEN WEB STEEL JOIST
CW	COMPLETE WITH		
DET.	DETAIL	PL.	PLATE
D.FIR	DOUGLAS FIR	PLY	PLYWOOD
DIAM.	DIAMETER		
DL	DEAD LOAD	P.SL	PARALLEL STRAND LUMBER
DP.	DEEP		
DWG.	DRAWING	R	RADIUS
DWL.	DOWEL	RAD.	RADIUS
DWLS.	DOWELS	R.D.	ROOF DRAIN
EA.	EACH	REINF.	REINFORCED, REINFORCEMENT
E.E.	EACH END	REQ'D	REQUIRED
E.F.	EACH FACE	REV.	REVISION, REVISED
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEV.	ELEVATION	RTN.	RETURN
ELEC.	ELECTRICAL	RW	REINFORCED WITH
EQ.	EQUAL	SOF	STEP-DOWN FOOTING
E.S.	EACH SIDE	SOL	SUPERIMPOSED DEAD LOAD
E.WAY	EACH WAY	SEL.	SELECT
E.W.	EACH WAY	SIM.	SIMILAR
		S.I.B.B.	SHORT LEGS BACK TO BACK
EXIST.	EXISTING	S.O.G.	SLAB ON GRADE
EXP.	EXPANSION	SPEC.	SPECIFICATION
EXT.	EXTERIOR	S-P-F	SPRUCE PINE FIR
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
FIN.	FINISH OR FINISHED	STAG.	STAGGERED
FLR.	FLOOR	STD.	STANDARD
		STIFF.	STIFFENER
		STIR.	STIRRUPS
FTG.	FOOTING	STL.	STEEL
	GAUGE	STRUC.	STRUCTURAL
		STRUCT.	STRUCTURAL
G.L.	GRID LINE	SQ.	SQUARE
GLB	GLULAM BEAM	S.W.	SHORT WAY
HEM-FIR	HEMLOCK FIR	SYM.	SYMMETRICAL
H	HORIZONTAL		
H & V	HORIZONTAL AND VERTICAL	T & C	TENSION AND COMPRESSION
		T & G	TONGUE AND GROOVE
HORIZ.	HORIZONTAL	T.J.	TIE JOIST
HT.	HEIGHT	THK.	THICK
H.S.C.	HORIZONTALLY SLOTTED CONNECTION	THRU	THROUGH
HSS	HOLLOW STRUCTURAL STEEL		
INT.	INTERIOR	T.O.C.	TOP OF CONCRETE
JT.	JOINT	T.O.S.	TOP OF SLAB
L	ANGLE	TYP.	TYPICAL
L.G.	LONG	U.N.O.	UNLESS NOTED OTHERWISE
LL	LIVE LOAD	UIS	UNDERSIDE
LL.B.B.	LONG LEGS BACK TO BACK	V	VERTICAL
LL.H.	LONG LEG HORIZONTAL	VERT.	VERTICAL
LL.V.	LONG LEG VERTICAL	W/	WITH
Lp	LENGTH OF EMBEDMENT	W.W.M.	WELDED WIRE MESH
L.S.H.	LONG SIDE HORIZONTAL		

GENERAL

READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND DOCUMENTS. REPORT CONFLICTS TO THE ARCHITECT BEFORE COMMENCING WORK.

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES TO THE ARCHITECT.

ALL FORMWORK, SHORING, TEMPORARY SUPPORT, AND BRACING OF THE STRUCTURE DURING CONSTRUCTION (IF REQUIRED) IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BC IN ACCORDANCE WITH W.C.B. REGULATIONS.

INSPECTION

ALL STRUCTURAL ITEMS MUST BE INSPECTED BY THE STRUCTURAL ENGINEER OR BY ANOTHER SUITABLE QUALIFIED PERSON RESPONSIBLE TO THE STRUCTURAL ENGINEER.

IN GENERAL, NOTIFY THE ENGINEER AT LEAST 2 DAYS IN ADVANCE FOR A STRUCTURAL INSPECTION. EXCAVATIONS MUST BE INSPECTED BEFORE FORMING COMMENCES. REINFORCING STEEL AND POUR CONDITIONS MUST BE INSPECTED BEFORE EACH CONCRETE POUR. WOOD FRAMING, LUMBER AND GLULAM BEAMS, PLYWOOD SHEAR WALLS, AND PLYWOOD ROOF AND FLOOR DIAPHRAGMS MUST BE INSPECTED BEFORE BEING COVERED WITH SHEATHING, ROOFED OVER, OR CONCEALED WITH CANT STRIPS.

LOADS ASSUMED IN DESIGN

LOADS AS PER 2012 CBC PART 9 AND 2010 NBC SUPPLEMENT:

SUPERIMPOSED DEAD LOADS:

ROOF MAIN FLOOR = 0.75 kPa (15.6 PSF) = 3.5 kPa (75 PSF)

SUPERIMPOSED DEAD LOADS ARE NON-STRUCTURAL. DEAD LOADS DUE TO ARCHITECTURAL TOPPINGS, FINISHES, PARTITIONS, ETC.

LIVE LOADS:

FLOOR (DAYCARE) = 3.5 kPa (73.10 PSF)

SNOW LOAD:

Ss = 2.4 kPa (50.13PSF)
Sr = 0.4 kPa (8.35 PSF)

+ ADDITIONAL BUILT-UP SNOW LOADS PER CBC & NBC

WIND LOAD:

q = 0.75 kPa (15 PSF) FOR 1/10
q = 1.0 kPa (20 PSF) FOR 1/30

SEISMIC:

Sa(0.2)=0.88
Sa(0.5)=0.62
Sa(1.0)=0.33
Sa(2.0)=0.17

SITE CLASS D

Vb = 0.6W

SOIL BEARING CONDITIONS

SOIL BEARING CAPACITY ASSUMED 400kPa
8KSF @ 8'-0" BELOW GRADE

USE PILES AS SHOWN ON DRAWINGS

PREPARE SITE FOR FOUNDATIONS AS RECOMMENDED IN GEOTECHNICAL REPORT JOB# 04100 BY GYH CONSULTING LTD. DATED DECEMBER 24, 2010 AND REVISED JULY 11, 2011.

REFER TO THE GEOTECHNICAL REPORT FOR DETAILS REGARDING STRUCTURAL FILL.

AFTER EXCAVATION AND BEFORE CONSTRUCTING FOUNDATIONS, HAVE THE GEOTECHNICAL ENGINEER THAT PREPARED THE ABOVE REPORT OR ANOTHER QUALIFIED PERSON RESPONSIBLE TO THE GEOTECHNICAL ENGINEER INSPECT AND CONFIRM THE DESIGN SOIL BEARING PRESSURE AND STABILITY OF THE FOUNDATION BEARING SOILS.

PLACE AND COMPACT BACKFILL ONLY AFTER COMPLETION OF FRAMING OF THE MAIN FLOOR.

CONCRETE

QUALITY ASSURANCE

CONCRETE DESIGN SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD A23.3-04 "DESIGN OF CONCRETE STRUCTURES." ALL MATERIALS AND METHODS OF PLACING SHALL TO CONFORM TO THE REQUIREMENTS OF CSA STANDARDS A23.1-04 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" AND A23.2-04 "METHODS OF TEST AND STANDARD PRACTICES FOR CONCRETE."

PRODUCTS

FORMWORK:

FORM MATERIALS TO BE OF SUFFICIENT STRENGTH TO WITHSTAND PRESSURE FROM CONCRETE WITHOUT BOW OR DEFLECTION. FOR EXPOSED CONCRETE SURFACES PROVIDE SUITABLE PANEL-TYPE MATERIAL TO OBTAIN CONTINUOUS, STRAIGHT, SMOOTH EXPOSED SURFACES. GREASE FORMS WITH TWO COATS OF CLEAN OIL PRIOR TO PLACING CONCRETE. PROVIDE 12 mm (1/2") ASPHALT IMPREGNATED FIBRE BOARD AT ALL JOINTS ABUTTING VERTICAL CONCRETE.

CONCRETE:

USE PORTLAND CEMENT TO ASTM C150, TYPE 1.

USE AGGREGATES TO ASTM C33 EXCEPT WHERE LOCAL AGGREGATES OF PROVEN DURABILITY ARE AVAILABLE AND HAVE BEEN ACCEPTED BY THE ENGINEER.

MINIMUM 28-DAY CONCRETE STRENGTHS TO BE AS FOLLOWS:

Fc = 15 MPa FOR SKIN COATS
Fc = 20 MPa FOR FOOTINGS
Fc = 20 MPa FOR SLABS ON GRADE
Fc = 25 MPa FOR WALLS/BEAMS/SUSPENDED SLABS

WATER TO BE POTABLE. AIR-ENTRAIN BETWEEN 4.5% AND 7% ENTRAINMENT AIR FOR CONCRETE EXPOSED TO WEATHER. USE 2% TO 4% FOR OTHER CONCRETE. FLY ASH (TO ASTM C618, TYPE F) TO NOT EXCEED 25% OF CEMENT CONTENT BY WEIGHT. SLUMP FOR CONCRETE FOOTINGS, WALLS, AND PIERS: 150 mm (6"). SLUMP FOR SLABS-ON-GRADE: LESS THAN 100 mm (<4").

PROVIDE A POLISHED STEEL TROWEL FINISH TO CONCRETE FLOOR.

PROVIDE CURING AND PROTECTION OF CONCRETE FOR HOT, COLD, OR DRY WEATHER AS PER CAN/CSA A23.1 - CHAPTER 21.

TESTING:

ALL CONCRETE POURS TO INCLUDE 3 TEST CYLINDERS BROKEN AT 7 AND 28 DAYS. TEST RESULTS TO BE FORWARDED TO THE STRUCTURAL ENGINEER. TESTING TO BE DONE BY A RECOGNIZED TESTING LAB AT THE CONTRACTOR'S EXPENSE.

REINFORCEMENT:

REINFORCING TO BE DEFORMED BARS HAVING A YIELD STRENGTH OF 400 MPa. STIRRUPS AND TIES MAY HAVE A YIELD STRENGTH OF 300 MPa. DETAIL AND BEND BARS ACCORDING TO CAN/CSA - A23.1 LATEST EDITION, FOR REFERENCE. LENGTHS OF TENSION AND COMPRESSION LAP SPLICES ARE GIVEN IN THE TABLES BELOW:

CLASS B - CASE 1 TENSION LAP SPLICES		COMPRESSION LAP SPLICES	
BAR	LENGTH	BAR	LENGTH
10M	450 mm (1'-6")	10M	300 mm (1'-0")
15M	600 mm (2'-0")	15M	450 mm (1'-6")
20M	700 mm (2'-4")	20M	600 mm (2'-0")
25M	1200 mm (4'-0")	25M	750 mm (2'-6")

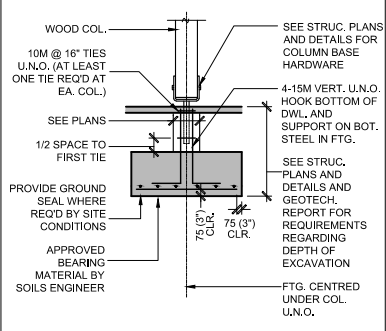
USE CLASS B - CASE 1 TENSION LAP SPLICES UNLESS NOTED OTHERWISE. COMPRESSION LAP SPLICES MAY BE USED ONLY WHERE EXPLICITLY NOTED ON PLANS OR DETAILS.

CONCRETE COVER OF REINFORCING TO BE 75 mm (3") WHERE POURED AGAINST EARTH, 50 mm (2") ELSEWHERE.

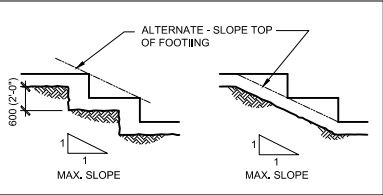
EPOXY ANCHORS:

EPOXY ANCHORS INTO CONCRETE TO BE GALVANIZED THREADED STEEL RODS CONFORMING TO ASTM STANDARD A307 WITH A YIELD STRENGTH OF 400 MPa. ANCHORED TO BASE MATERIAL WITH HILTI HIT HY150 ADHESIVE OR APPROVED EQUIVALENT. SEE PLANS AND SECTIONS FOR ANCHOR LOCATIONS, SIZES, AND EMBEDMENT DEPTHS.

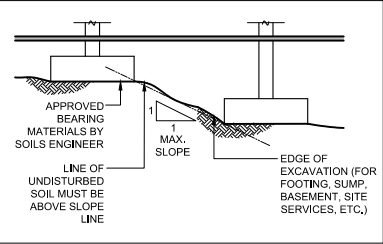
TYPICAL WOOD COLUMN FOOTING



TYPICAL STEPPED WALL FOOTINGS

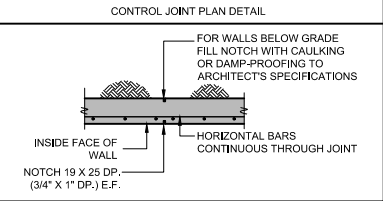


TYPICAL FOOTING ADJACENT TO EXCAVATION



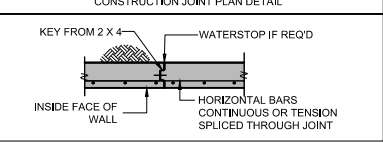
WALL CONTROL JOINT

FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE, PROVIDE CONTROL JOINTS AT 6100 (20'-0") O.C. MAX. U.N.O. ON PLAN.



WALL CONSTRUCTION JOINT

(CONSTRUCTION JOINT CAN REPLACE CONTROL JOINT)



WALL NOTES

1. UNLESS OTHERWISE NOTED, WALLS SHALL BE REINFORCED AS FOLLOWS:

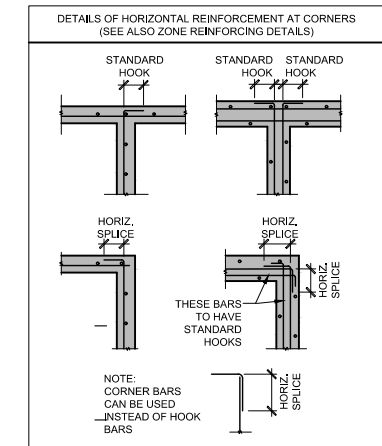
WALL REINFORCEMENT		
WALL	VERTICAL	HORIZONTAL
150 (6")	10M @ 460 (18") VERT.	10M @ 330 (13") HORIZ.
200 (8")	10M @ 330 (13") VERT.	10M @ 250 (10") HORIZ. OR 15M @ 510 (20")
250 (10")	10M @ 250 (10") VERT.	10M @ 200 (8") HORIZ. OR 15M @ 380 (15")
250 (10")	15M @ 510 (20") VERT.	10M @ 200 (8") HORIZ. OR 15M @ 380 (15")
300 (12")	10M @ 460 (18") VERT. E.F. STAG.	10M @ 330 (13") HORIZ. E.F. STAG.
330 (13")	10M @ 380 (15") VERT. E.F. STAG.	10M @ 280 (11") HORIZ. E.F. STAG.

FOR OTHER THICKNESSES, REINFORCEMENT TO BE PROPORTIONAL TO ABOVE.

15M @ 510 (20") MAY BE SUBSTITUTED FOR 10M @ 380 (13") WITH THE APPROVAL OF IREDALE GROUP. FOR WALLS WITH A SINGLE LAYER OF STEEL, THE WALL REINFORCING SHALL BE PLACED IN THE CENTRE OF THE WALL UNLESS NOTED OTHERWISE.

2. ALL WALL REINFORCING SHALL BE CONTINUOUS, WITH HOOKS OR CORNER BARS USED AT ALL WALL JUNCTIONS. EXTEND HOOKS TO FAR FACE OF WALL. CORNER BARS TO BE LOCATED ON OUTSIDE FACE OR CENTRE OF WALL.

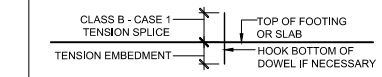
3. HORIZONTAL AND VERTICAL SPLICES SHALL BE CLASS B - CASE 1 TENSION SPLICES, UNLESS NOTED OTHERWISE. HORIZONTAL BARS NEED NOT BE CONSIDERED TOP BARS.



4. ENDS OF ALL WALLS SHALL HAVE 2-15M VERTICALS LAPPED 635 mm (25") UNLESS OTHERWISE NOTED ON DRAWINGS.

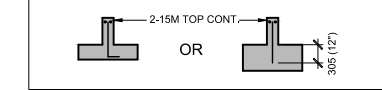
5. ADD 2-15M PARALLEL TO ALL EDGES AND EXTENDING 635mm (25") BEYOND CORNERS AT OPENINGS IN WALLS. WHERE OPENING WIDTH IS EQUAL TO OR GREATER THAN 760 mm (2'-6"), ADD 15M X 915 mm (3'-0") LG. DIAGONAL BARS AT CORNERS.

6. UNLESS NOTED OTHERWISE, PROVIDE DOWELS AT BOTTOM OF WALLS (I.E. AT FOOTINGS OR WHEREVER WALL BEGINS) AS SHOWN BELOW. DOWELS TO MATCH VERTICAL STEEL.



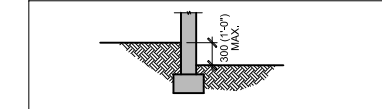
7. UNLESS NOTED OTHERWISE, PROVIDE U-BARS WHERE FLOORS ARE SUPPORTED FROM THE BOTTOM OF WALLS.

8. SEE ARCHITECTURAL DRAWINGS FOR EXTENT AND LOCATION OF CONCRETE UPSTAND WALLS, PLANTER WALLS, AND CURBS. UNLESS NOTED OTHERWISE, PROVIDE REINFORCING AS GIVEN IN ITEM 1. VERTICAL BARS TO BE EMBEDDED IN MAIN STRUCTURE AS SHOWN BELOW.



9. UNLESS NOTED OTHERWISE ALL RETAINING WALLS BELOW GRADE AND ALL EXTERIOR WALLS EXPOSED TO THE WEATHER ABOVE GRADE DETAIL SHALL HAVE CONTROL JOINTS. CONSTRUCTION JOINT MAY REPLACE CONTROL JOINT WHERE REQUIRED. THE LOCATION OF CONTROL JOINTS IN EXPOSED CONCRETE WALLS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

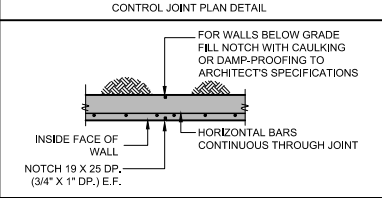
10. UNLESS NOTED OTHERWISE, AT NO POINT DURING CONSTRUCTION SHALL THE DIFFERENCE IN BACKFILL LEVELS ON EITHER SIDE OF INTERIOR FOUNDATION WALLS (OR ANY OTHER FOUNDATION WALLS NOT DESIGNED TO RETAIN SOIL) EXCEED 300 mm (1'-0").



11. DO NOT PLACE BACKFILL AGAINST CONCRETE FOUNDATION WALLS UNTIL WALLS ARE AT LEAST 14 DAYS OLD MIN., OR UNTIL GROUND FLOOR SYSTEM OR TEMPORARY BRACING IS INSTALLED TO ADEQUATELY SUPPORT THE WALLS.

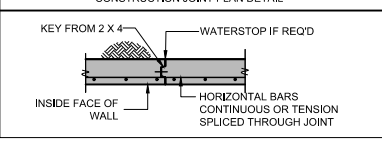
WALL CONTROL JOINT

FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE, PROVIDE CONTROL JOINTS AT 6100 (20'-0") O.C. MAX. U.N.O. ON PLAN.



WALL CONSTRUCTION JOINT

(CONSTRUCTION JOINT CAN REPLACE CONTROL JOINT)



WOOD FRAMING

QUALITY ASSURANCE:

WOOD DESIGN SHALL CONFORM TO CAN/CSA-086-01 "ENGINEERING DESIGN IN WOOD."

LUMBER SHALL CONFORM TO CAN/CSA-0141-05 "SOFTWOOD LUMBER", THE NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER, AND SHALL HAVE A MAXIMUM 15% MOISTURE CONTENT AT TIME OF INSTALLATION.

PRODUCTS:

SIZES: ALL MEMBER DESIGNATIONS SHOWN ON PLANS ARE NOMINAL DIMENSIONS EXCEPT WHERE NOTED "FULL SIZE", IN WHICH CASE THE MEMBER DESIGNATION DENOTES THE TRUE SIZE OF THE MEMBER ON DRAWINGS.

LUMBER GRADE: HEM-FIR No. 2 OR BETTER UNLESS NOTED OTHERWISE ON DRAWINGS.

PLYWOOD: D-FIR-L SHEATHING GRADE TO CSA 0121-M1978 AND CAN/CSA-0325.0-92; EXTERIOR GRADE FOR WALLS AND ROOF.

NAILS: 65mm (2 1/2") COMMON 8d NAILS UNLESS NOTED OTHERWISE. CONFORM TO CSA B111-1974 "WIRE NAILS, SPIKES AND STAPLES"; THIN GAUGE NAILING GUN STAPLES OR NAILS ARE NOT ACCEPTABLE.

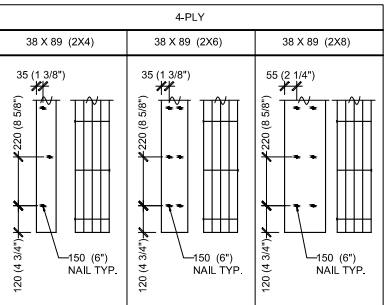
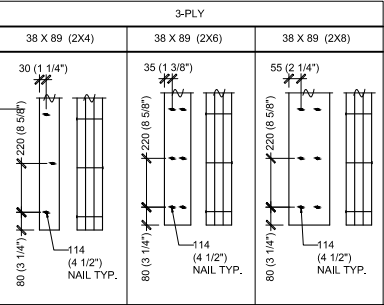
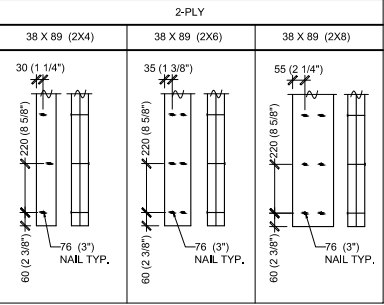
BOLTS: ASTM A307 UNLESS NOTED OTHERWISE.

USE ONLY STAINLESS STEEL FASTENERS WITH ACQ. PRESSURE TREATED LUMBER TYP.

REFER TO TYPICAL WOOD FLOOR, ROOF, AND WALL DETAILS FOR TYPICAL FRAMING CONDITIONS.

BUILT-UP COLUMNS

FASTEN TOGETHER INDIVIDUAL LAMINATIONS OF BUILT-UP COLUMNS AS SHOWN IN THE DIAGRAM BELOW. NAILING MAY BE OMITTED WHERE THE BUILT-UP COLUMN IS INCORPORATED INTO A STUD WALL AND SHEATHING IS ADEQUATELY NAILED TO EACH MEMBER.



Client
Client

10/12/19
No. Date
Revision
Issued for Building Permit

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IREDALE GROUP ARCHITECTURE

202-ONE ALEXANDER ST
VANCOUVER BC V6A 1B2

1-800-736-5581 F-604.736-5585
www.iredale.ca

Seal
Consultant

1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
STRUCTURAL NOTES

Scale
3/8" = 1'

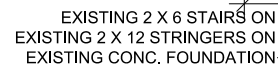
Drawn RI Check RI Partner RI

Date
MARCH 2021

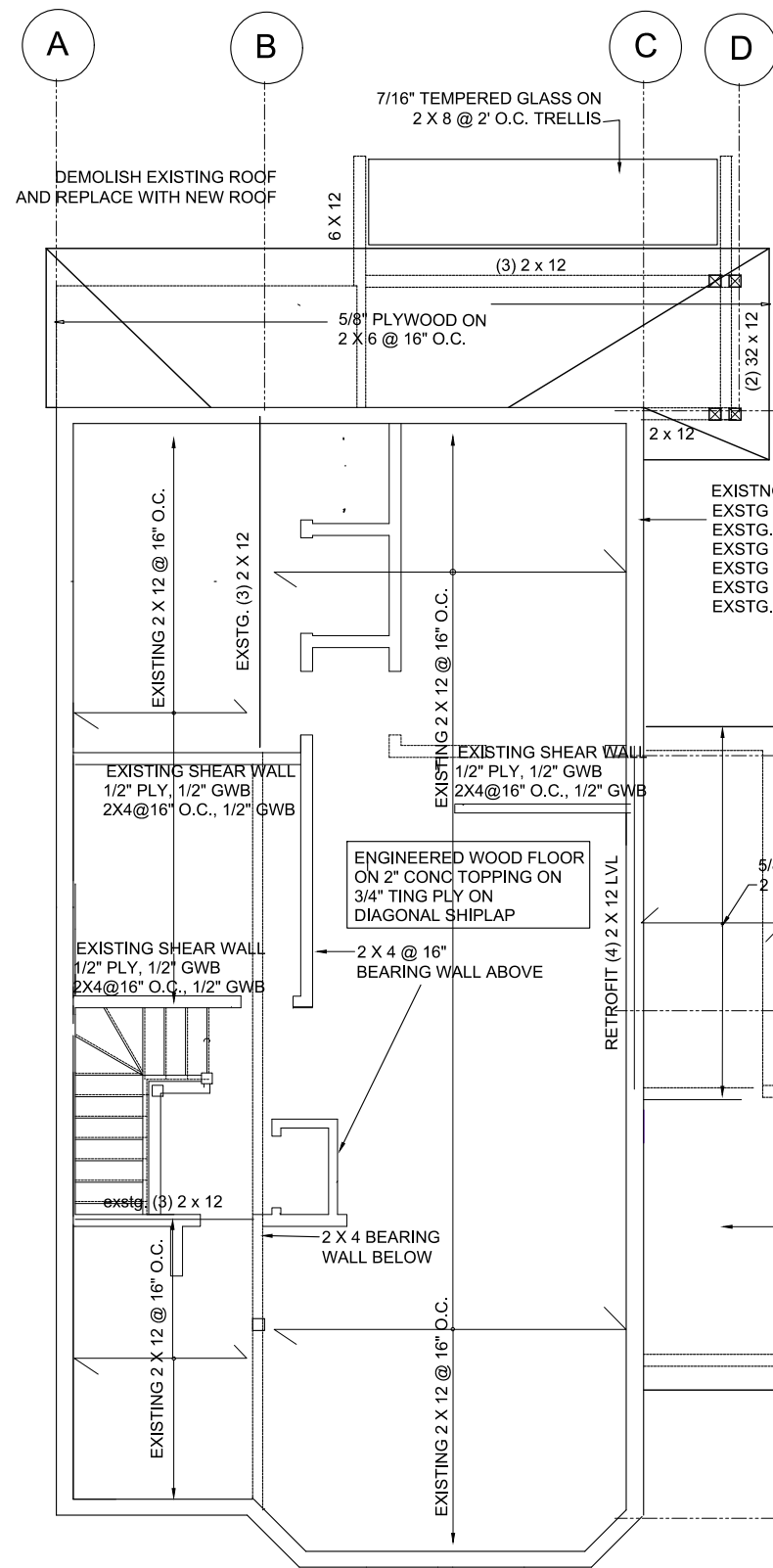
Project No.
19128

Phase No.
S-00

Sheet No.
72

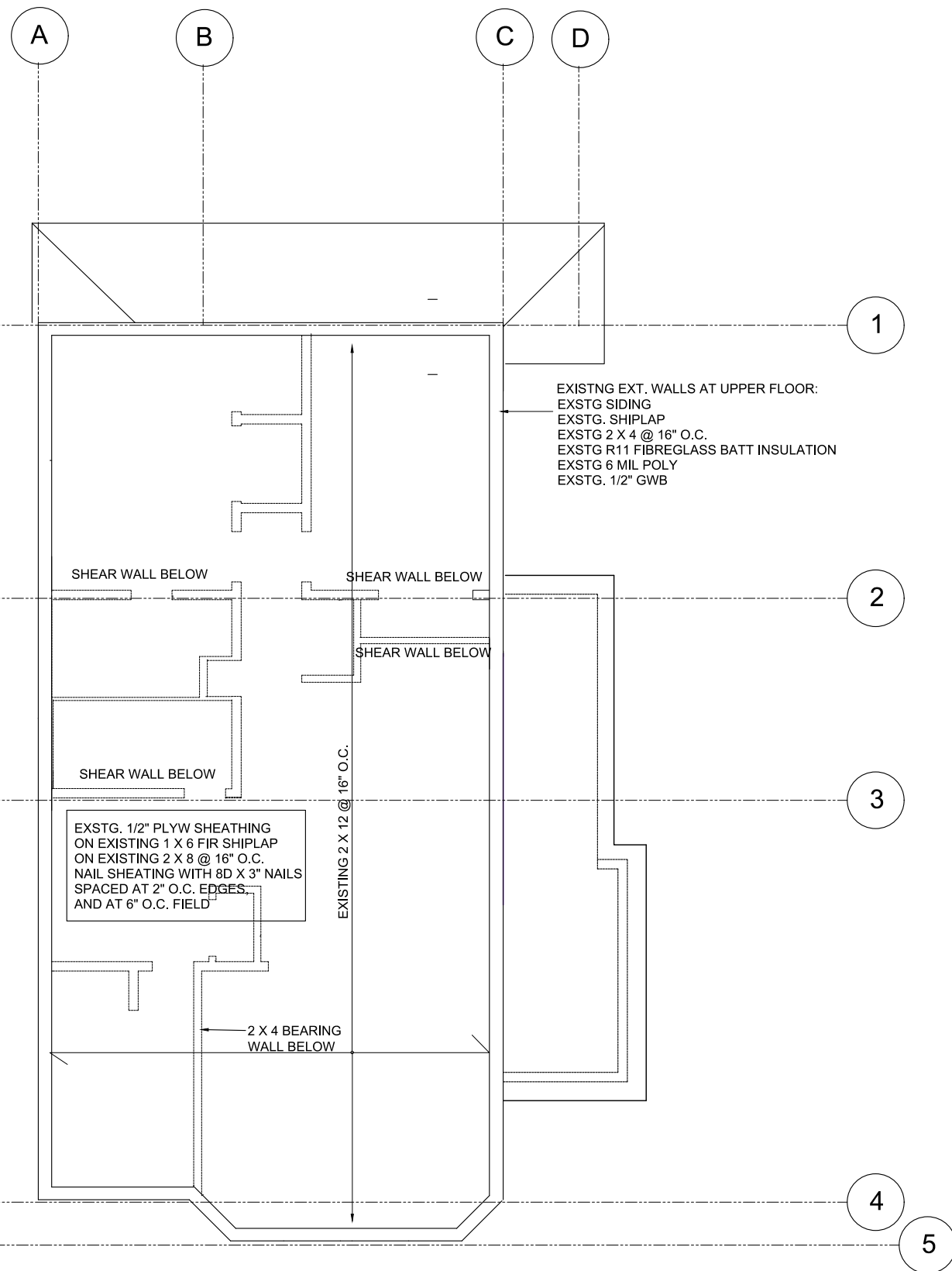


1/4" = 1' AT 11 X 17 PRINT



UPPER FLOOR FRAMING PLAN

1/4" = 1' AT 11 X 17 PRINT



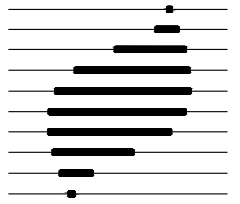
ATTIC FLOOR FRAMING PLAN

1/4" = 1' AT 11 X 17 PRINT

Client
Client

1	10/12/19	Issued for Building Permit
No.	Date	Revision

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Consultant

1012 RICHARDSON
DUPLEX

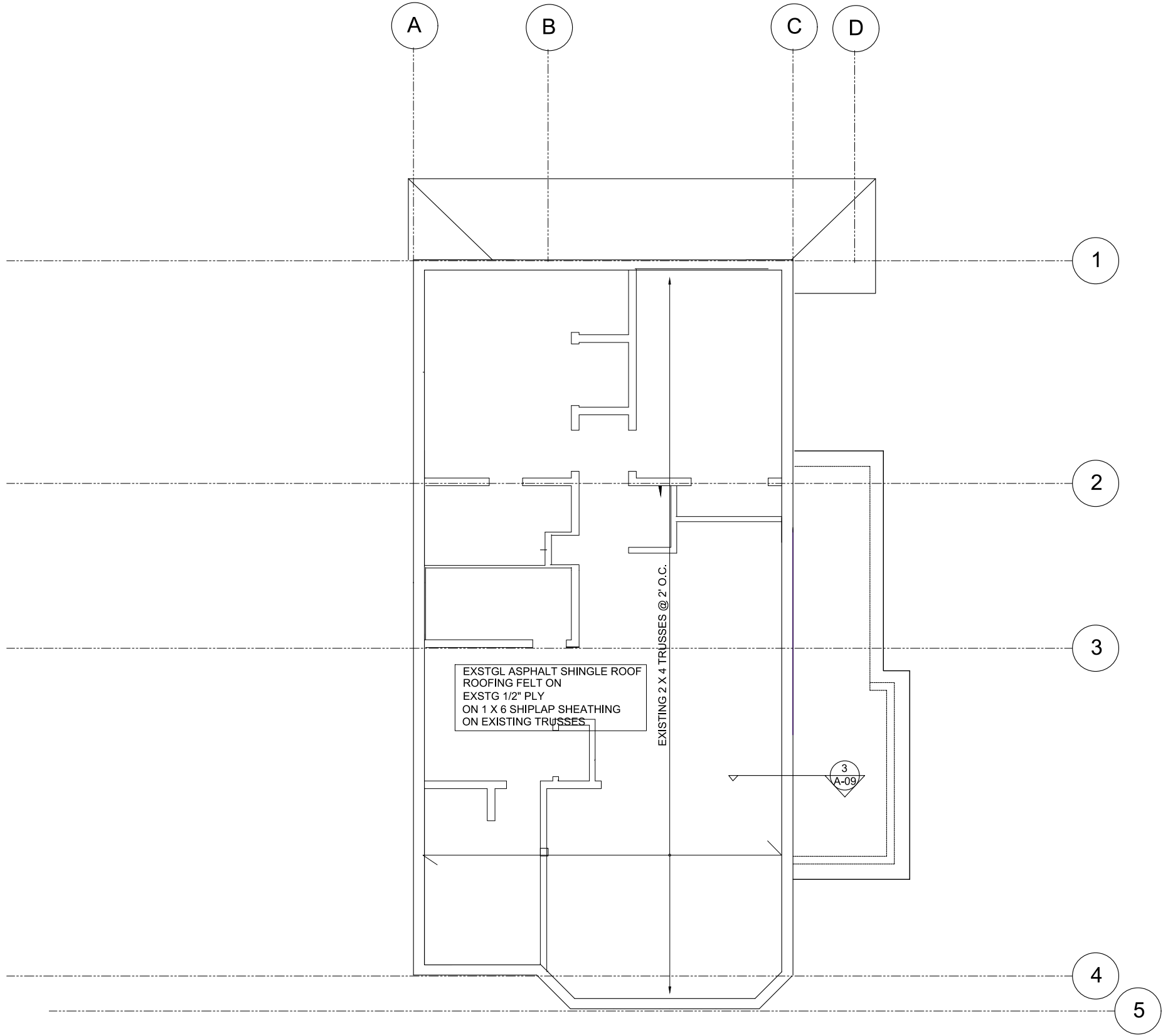
1012 AND 1014
RICHARDSON ST.
VICTORIA BC

Drawing Title
UPPER FLOOR AND ATTIC
FRAMING PLAN

Scale
1/4" = 1'

Drawn	RI	Check	RI	Partner	RI
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N ↑	Project No.	
	19128	
Date	Phase No.	Sheet No.
MARCH 2021	75	S-03



ROOF FRAMING PLAN

1/4" = 1' AT 11 X 17 PRINT

Client Client		
1	10/12/19	Issued for Building Permit
No.	Date	Revision
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Seal

Consultant

1012 RICHARDSON DUPLEX

1012 AND 1014
RICHARDSON ST.
VICTORIA BC

Drawing Title

ROOF
FRAMING PLAN

Scale

1/4" = 1'

Drawn	RI	Check	RI	Partner	RI
		Project No.			
		19128			
Date	Phase No.		Sheet No.		
MARCH 2021			S-04		



February 15 2021

Attn: City of Victoria
Heritage Planner and Heritage Advisory Commission

Dear Sirs,

Re: Proposed East Porch Addition, 1012 Richardson, Victoria BC

Please find attached plans for a porch addition to the existing 1892 Heritage-Designated duplex at 1012 Richardson Victoria BC. The building comprises a main floor and upper floor unit, each 3 bedrooms.

The purpose of the proposed porch addition on the east side is to give the main floor unit (which currently enters through the back kitchen door) an attractive street entrance. The roof of this new porch will give the upper floor unit a small east-facing balcony.

Structurally, the proposed porch is an addition to the existing east-facing bay window.

The porch design proposes to match the victorian detailing of the rest of the house. A custom made spindle frieze, above this an architrave panel with Victorian style brackets, and above this a curved "mansard" porch roof matches existing façade elements. The new porch will be "in style" and yet have a graceful look of its own.

We look forward to discussing the design with you in more detail as the application progresses.

Respectfully submitted,

Richard H. Iredale, Architect AIBC, MRAIC, P.Eng., LEED AP, Principal
Partner, Iredale Architecture

Address: 1012 Richardson Street

Description of historic place:

1012 Richardson Street is a two-and-one-half storey wood frame Italianate residence, part of the Vancouver Street cluster in the heart of Victoria's Fairfield neighbourhood.

Heritage value:

The historic place, built in 1892, has value for its architecture, how its construction illustrates foreign investment and speculative housing in the late-nineteenth-century, for its architect, for its reflection of the emerging heritage movement in the 1970s, and for its restoration that served as a catalyst for restoration in the neighbourhood.

1012 Richardson Street has heritage value as one of six extant examples of eight houses built at the end of the nineteenth century for British investor Hedley Chapman. The B.C. Land and Investment Agency, who at one time owned or controlled half the real estate in Victoria, acted as agents and arranged for the construction of the houses by contractors Bishop and Sherborne. Two years later, the Agency advised Chapman to sell due to a decline in property values. Mrs. Gertrude Chapman purchased all lots and houses as an investment and held title until 1908 when she subdivided the property into six lots, moved two houses further down Vancouver Street and sold the remaining six. This cluster clearly illustrates the early speculative rental market, a trend begun in Victoria's early building boom.

All the houses are identical in size and layout but have subtle differences in architectural embellishments. The Italianate styling reflects the architectural tastes of the late 19th century with these examples more modest expressions of the villas owned by more affluent owners. The occupations of early residents reflects the growth of the middle class. This building was rented by a succession of different tenants including a contractor, a drygoods merchant with a small store, and a widow.

The property is also valued as an example of modest domestic architecture by architect John Teague, better known for larger, institutional commissions in the City such as Victoria City Hall, the Church of Our Lord, and the Masonic Temple. That he was most comfortable with the Italianate idiom in residential architecture is evident both in these examples and his larger commissions for Victoria's elite.

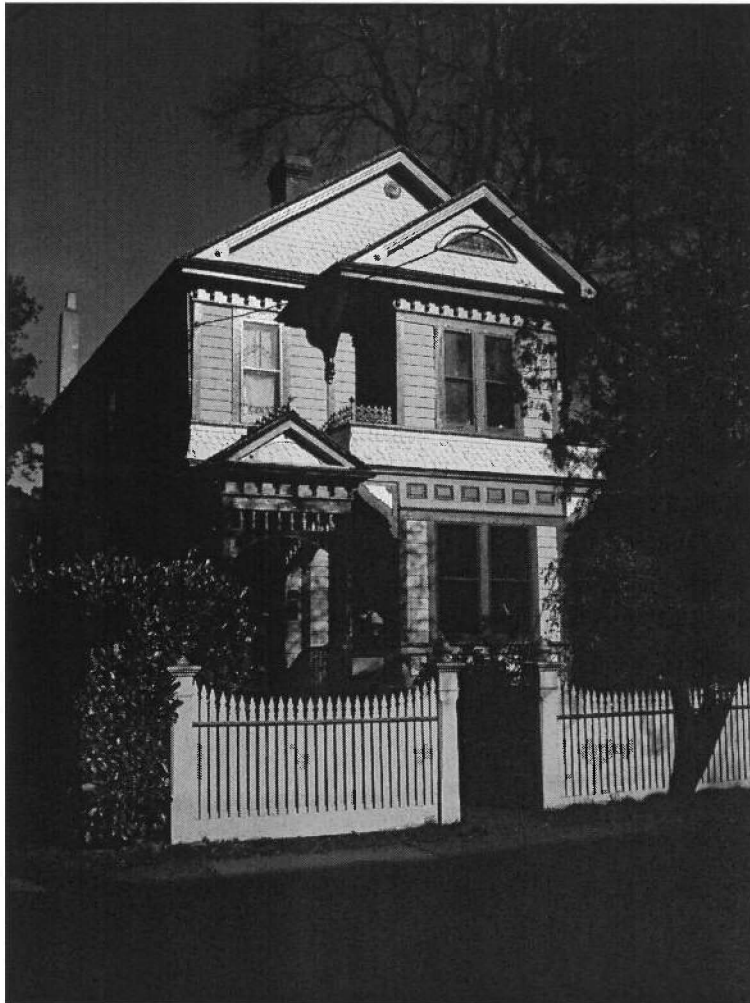
This cluster of houses is valued by the Fairfield neighbourhood. In 1977, the City, responding to a Fairfield Community Association request, designated five of the six remaining buildings: today, they serve as a reminder of the emerging heritage program in Victoria at that time.

This house was the first of the group to be restored. A local carpenter and early heritage conservationist completed a historically accurate restoration in 1979, serving as a catalyst for the remainder of the grouping.

Character-defining elements:

The heritage character of 1012 Richardson Street is defined by the following elements:

- characteristics of the Italianate style including deeply overhanging eaves with ornamental brackets, wooden arcaded porch, double storey box bay windows, prominent front entrance with wood stairs, decorative bargeboards, and bands of fish scale shingles
- eyebrow window in peak of gable
- form and pattern of fenestration
- relationship between this house and the rest of the cluster
- uniformity of setbacks, building height, and mass throughout the cluster



1012 Richardson Street, oblique view from the southwest, 2007

1012 Richardson St (ex-8 Richardson) 1892
Hedley Chapman
Architect: John Teague
Contractors: Bishop & Sherborne

British investor Hedley Chapman had this house built as part of a group of eight houses in 1892 (see **725-43 Vancouver St**, Fairfield). This house's front bay is on the right, and it has a full side gable. It has sunburst brackets with seven rounded-end sunbeams, and strapwork on its bargeboards. There are roundels on the bargeboards and on the entry-porch face. It has fretwork on the peak of the porch roof, and ironwork decorations above the corners of the first-floor pent roof. There is a ceramic bearded face in the gable peak, likely a modern addition. (see c.1900 photo)

The earliest known occupant of this house was William Spencer Hampson, who lived here in 1894. Hampson was a drygoods merchant. He left Victoria with his family the following year. In 1895 Gertrude Cunningham bought all eight houses, and lived in this house briefly with her husband, Robert A. Cunningham and son Jeffrey. William G. Pinder lived here in 1897 (**1139 Burdett**, Fairfield).

From 1898-c.1908, this was home to Mrs Katherine Eliza Wallace (Raymur, c.1818-1909), widow of Capt Marshall Wallace. Kate was born in Halifax, NS, and came to BC possibly in the 1870s, likely as a widow. She lived here with her two grandchildren, Frances (**1564 Rockland**, Rockland) and Cecil Tyrwhitt-Drake. Kate's



1012 Richardson St, 2002

VHF / Derek Trachsel

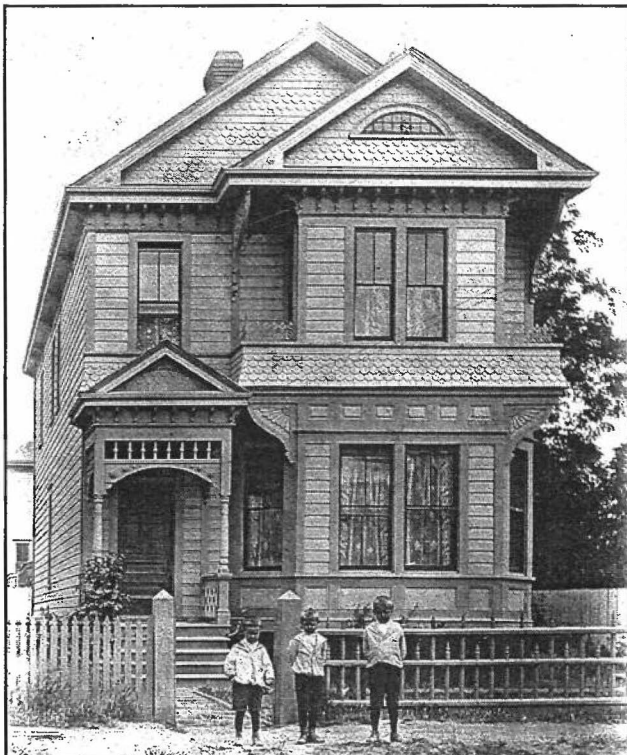
daughter Cecilia Isabella (c.1853-1889) married coal merchant William H. Tyrwhitt-Drake, brother of Justice Montague Tyrwhitt-Drake (c.1836-1898) in 1882. Kate became guardian of the children following the death of her daughter and son-in-law in 1889 and 1898. Kate was sister of Capt James Arnold Raymur (1823-1882), who commanded vessels in the West Indies before entering the lumber industry in BC. He came to Victoria in 1864, and in 1869 became manager of Hastings Mills on Burrard Inlet.

Between 1909 and 1925, various people occupied the house, but it was vacant for some time in the early 1920s.

The Bigelow family bought the house by 1926 and lived here until moving to Florence Lake in the early 1940s. William (1863-1945) and Rose Ann (Gray, 1863-1957) Bigelow were born in Quebec and Chatham, ON, respectively. William was a farmer and labourer. Daughter Blanche G. Bigelow lived here until 1930 when she married John G. Thomson.

George W. and Margaret Steele lived here in 1946, followed by Gordon and Laura Slater in 1949. Gordon was a salesman at Les Palmer. Boilermaker J. Louis Bowman and his wife Edna bought this house in 1951 and lived here for two years.

In 1979 owner Bill Murphy won a Hallmark Society Award for his meticulous restoration of this house.



1012 Richardson St, Bunny Thompson is small boy on left, c.1900 coll Murphy family



1012 Richardson St, rear, 1984
VHF / Norm Spanos

8. **1012 Richardson Street- Heritage Alteration Permit with a Variance Application No. 00025**

John O'Reilly provided a brief introduction.

Panel Questions and Comments

- Why is aluminum the selected material and not wood? The proposed upper deck railing is using aluminum to complementarily work with the wrought iron fretwork.
- What is the distinction between imitation and emulation relating to the detail? The porch is not a modern design, this addition is distinguishing itself from the rest of the house and not aiming to match the detailing on the house and would not be considered imitation.
- Could the rear porch railing in the backyard of the property be used elsewhere? It could and is being looked into.

Motion:

Moved by Aaron Usatch

Seconded by Jim Kerr

That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit with Variances Application No. 00025 for 1012 Richardson Street be approved with the following changes:

- The retainment of the original railing on the backyard porch.

Carried (unanimous)

1012 Richardson Street (HAV00025)

- Proposed: a porch addition to the existing 1892 Heritage-Designated house at 1012 Richardson
- The building comprises a main floor and upper floor unit, each 3 bedrooms.
- porch addition gives the main floor unit an attractive street entrance.
- The roof of this new porch will give the upper floor unit a small east-facing balcony.



1

1012 Richardson Street (HAV00025)

CDE's

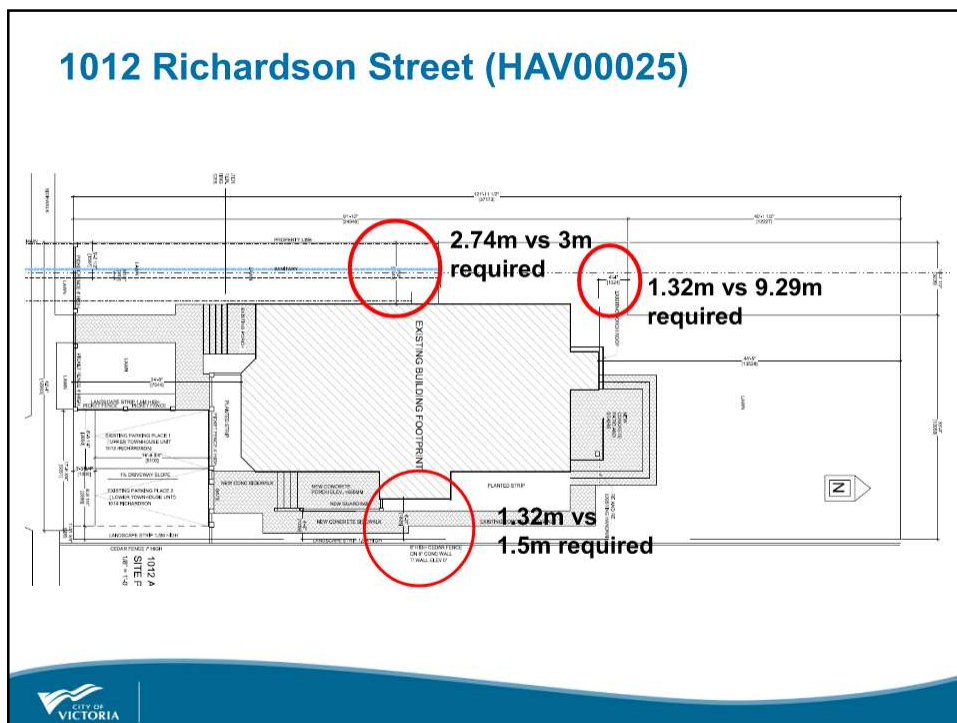
- its Italianate features including deeply overhanging eaves, wooden arcaded porch, double storey box bay windows, prominent front entrance with wood stairs, decorative bargeboards, and bands of fish scale shingles
- eyebrow window in the peak of the gable
- form and pattern of fenestration
- relationship between the house and remainder of the cluster
- uniformity of setbacks, building height and mass throughout the cluster



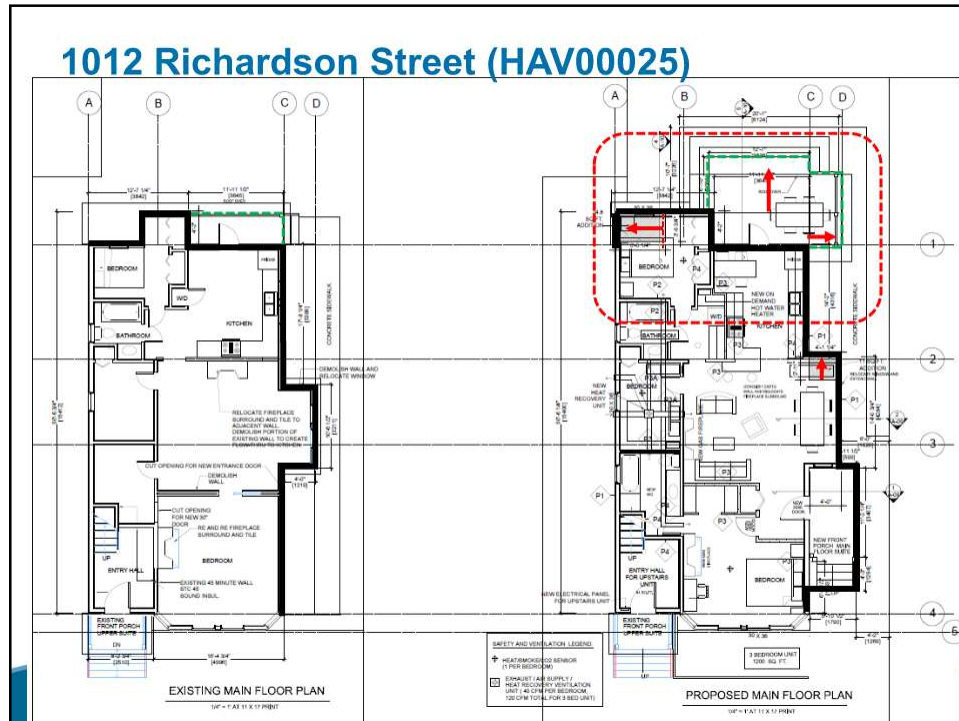
2



3



4



5



6

1012 Richardson Street (HAV00025)



7

1012 Richardson



8



Committee of the Whole Report For the Meeting of July 8, 2021

To: Committee of the Whole **Date:** June 28, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variance Application No. 00170 for 1609 Fort Street

RECOMMENDATION

That after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00170 for 1609 Fort Street, in accordance with:

1. Plans date stamped June 3, 2021.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
 - i. Increase the total floor area for a liquor store (maximum) from 241m² to 453.8m².
3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variance Application for the property located at 1609 Fort Street. The proposal is to expand the current liquor store within the existing building. The variance is related to increasing the floor area of a liquor retail store above the maximum permitted in the zone.

The following points were considered in assessing this application:

- The subject property is within Development Permit Area 5: Large Urban Village. The applicable design guidelines are the *Oak Bay Avenue Land Use and Design Guidelines* (2001). There are changes proposed to the openings on the exterior of the building along Fort Street, and landscaping to enhance the streetscape.
- The proposal is generally consistent with the *Liquor Retail Store Rezoning Policy*, which notes that stores larger than 275m² are to be considered on a case-by-case basis. The proposal is to increase the liquor store size from 241.0m² to 453.8m².

BACKGROUND

Description of Proposal

The proposal is to expand the liquor retail store within the existing building. Minor exterior changes to the building are also proposed as well as landscaping. Specific details include:

- changing doors and glazing
- new landscaping to enhance Fort Street.

The proposed variances are related to increasing the total floor area for a liquor store from 241.0m² to 453.8m². A Development Permit with Variance was approved on February 25, 2021, to increase the maximum total floor area for liquor retail sales from 241.0m² to 327.0m², as well as design changes. Since that time, a restaurant in the building closed, so this application is to expand the liquor store to include that unit (an additional 126.8m² of floor area than the proposal approved in February 2021).

Sustainability

The applicant has not identified any sustainability features associated with this proposal.

Land Use Context

The Fort Street and Oak Bay Avenue intersection is within the Stadacona Large Urban Village as identified in the *Official Community Plan*, and has a mix of commercial, mixed-use, and multi-unit buildings. There is a long-term care home located at 1650 Fort Street.

Active Transportation

The applicant has not identified any active transportation impacts associated with this application.

Public Realm

No public realm improvements beyond City standard requirements are proposed in association with this Development Permit Application.

Accessibility

No accessibility improvements are proposed beyond what is required through the *British Columbia Building Code*.

Existing Site Development and Development Potential

The site is presently a two-storey commercial building. Under the current C1-J Zone, Limited Commercial Junction District, the property could be developed at a density of 0.55:1 Floor Space Ratio (FSR) and with the uses proposed; however, it could also be developed to accommodate retail, offices, restaurant, and residential mixed-use.

Data Table

The following data table compares the proposal with the existing C1-J Zone, Limited Commercial Junction District. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone.

Zoning Criteria	Proposal	Existing Zone
Site area (m ²) – minimum	1614.90	
Density (Floor Space Ratio) – maximum	0.55	0.55
Total floor area (m ²) – maximum	886.30	n/a
Liquor Retail Store Floor Area (m ²) – maximum	453.80* (previously approved - 327.00)	241.00
Parking – minimum	20	17
Short term bicycle parking – minimum	8	n/a
Long term bicycle parking - minimum	n/a	n/a

Relevant History

Rezoning and Development Permit Applications were approved May 28, 2015, to permit a Liquor Retail Store with a maximum floor area of 241.0m². A Delegated Development Permit was approved December 8, 2020 to enclose the balconies on the second storey in order to expand office space and to replace exterior materials. A Development Permit with Variance was approved on February 25, 2021 to increase the maximum total floor area for liquor retail sales from 241.0m² to 327.0m², as well as design changes. Since that time, a restaurant in the building closed, so this application is to further expand the liquor store.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on April 29, 2021 this application was referred for a 30-day comment period to the South Jubilee CALUC. An email dated April 14, 2021 is attached to this report which states they have no comments or objections to the expansion.

Consistent with the *Liquor Retail Store Rezoning Policy*, the application was referred to School District No. 61 and the Victoria Police Department on April 29, 2021. No comments from the School District have been received at the time of writing this report. Correspondence was received from Victoria Police Department which states they do not have comments regarding this application, and this correspondence is attached to this report.

Consistent with the Policy, the applicant also petitioned residents and owners of neighbouring lots as to the acceptability of the application. Two neighbours responded at the time of writing this report, both were in support of the application. The petition and results are attached to this report.

Consistent with the Policy, a letter of preliminary approval from the Province of BC, Liquor and Cannabis Regulation Branch has been obtained and is attached to this report.

This application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Official Community Plan (OCP)

The *Official Community Plan* (OCP) identifies this property with in DPA 5: Large Urban Villages. The OCP supports liquor stores within Large Urban Villages to provide a range of commercial and community services. Within this DPA, the Oak Bay Village Design Guidelines apply. The proposal is generally consistent with the Guidelines in terms of revitalizing existing buildings, creating a coordinated approach to design and using 'traditional' building materials. Minor changes are proposed to the exterior as well as, additional landscaping on the Fort Street frontage.

Local Area Plan – Jubilee Neighbourhood Plan

The *Jubilee Neighbourhood Plan* envisions the area as needing physical improvements to reinforce the neighbourhood commercial areas as vibrant, pedestrian oriented places for local shopping and services. The proposal includes additional entries along the Fort Street façade, and revitalizing the landscaping along this edge, which will improve the streetscape and relationship to the street.

Liquor Retail Store Rezoning Policy

Although not strictly applicable to a Development Permit with Variance Application, staff have assessed the application against the *Liquor Retail Stores Rezoning Policy*. The application meets most of the goals of the policy, including locating in an existing liquor retail location, distance from a school, and minimum parking requirements. The proposal also creates a more active street facade along Fort Street. Whereas the entrance is currently accessed from the parking lot, there will also be entries along Fort Street. Finally, the policy notes that liquor retail stores in excess of 275m² are to be considered on a case-by-case basis. In this instance, the store is existing and within a Large Urban Village, which supports ground-oriented commercial uses. Therefore, staff believe a larger liquor retail store is supportable.

Tree Preservation Bylaw and Urban Forest Master Plan

There are no *Tree Preservation Bylaw* impacts with this application.

Statutory Right of Way

Staff requested statutory right-of-ways (SRW) as part of this application; however, the owner does not wish to provide these at this time but would consider it if there is a future overall redevelopment proposal.

Regulatory Considerations

A variance is proposed to increase the floor area for a liquor retail from 241.0m² to 453.8m². This is supportable given it is an existing liquor store that is expanding within the building into an additional commercial unit.

CONCLUSIONS

The proposal to expand the existing liquor store 1609 Fort Street would improve an existing commercial building, bring activity to a currently vacant store front, and further activate Fort Street. In this instance, a liquor retail store larger than 275m² in the *Liquor Retail Policy* is considered acceptable due to the location of the property on a prominent corner within an existing building in the Large Urban Village designation and meeting the advisory policies found within the *Liquor Retail Store Rezoning Policy*. Staff therefore recommend that Council consider supporting the application.

ALTERNATE MOTION

That Council decline Development Permit with Variance Application No. 00170 for the property located at 1609 Fort Street.

Respectfully submitted,

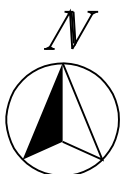
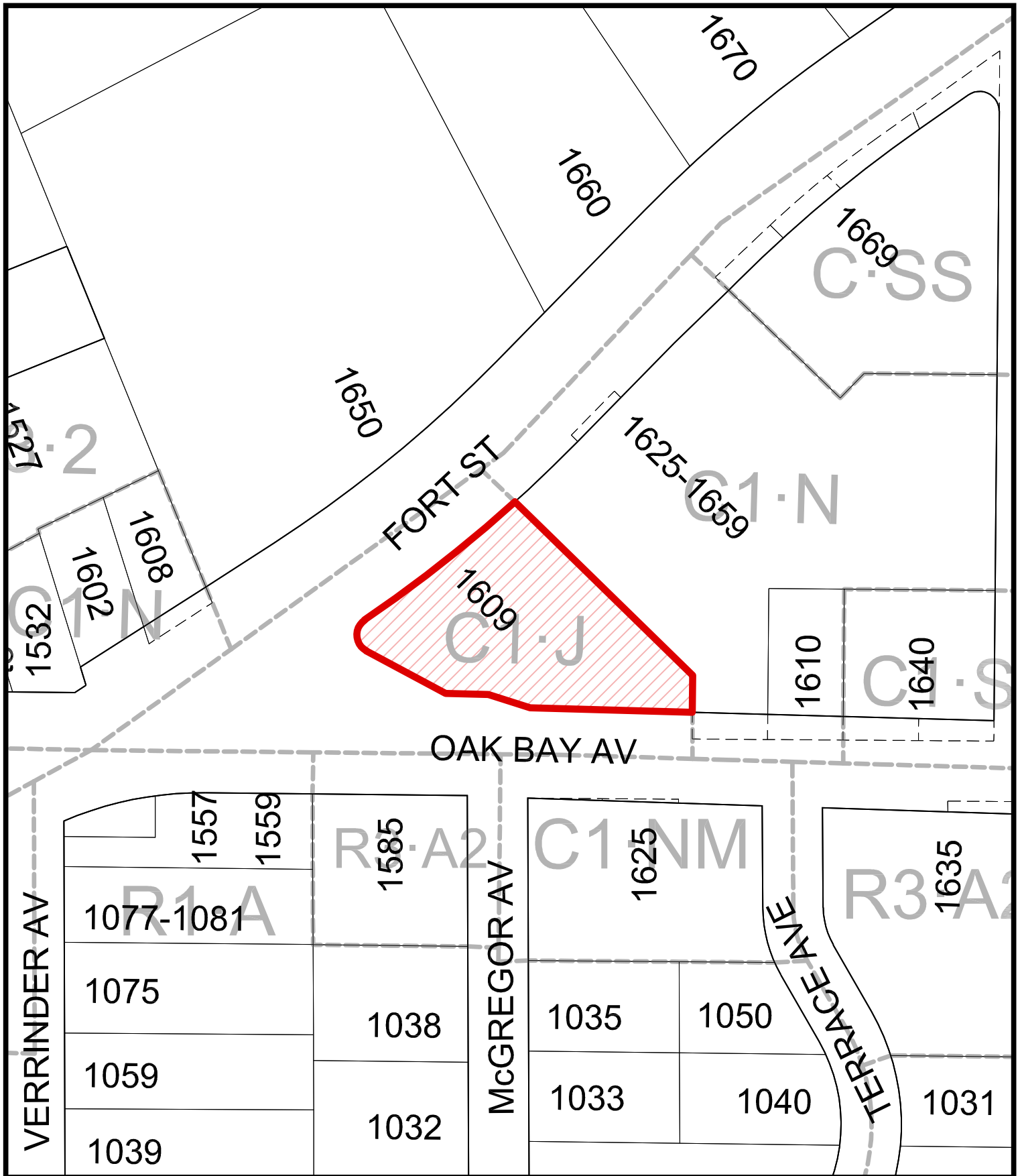
Chelsea Medd
Planner
Development Services

Karen Hoesse, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

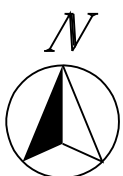
List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped June 3, 2021
- Attachment D: Letter from applicant to Mayor and Council dated June 18, 2021
- Attachment E: Liquor Retail Petition
- Attachment F: Community Association Land Use Committee email dated April 14, 2021
- Attachment G: Letter of Plan Approval in Principle from Province of BC, Liquor and Cannabis Regulation Branch dated June 14, 2021
- Attachment H: Referral Response from Victoria Police Department email dated April 29, 2021



1609 Fort Street
Development Permit with Variance No.00170





1609 Fort Street
Development Permit with Variance No.00170





EXISTING SITE LOCATION




EXISTING BUILDING - FORT STREET

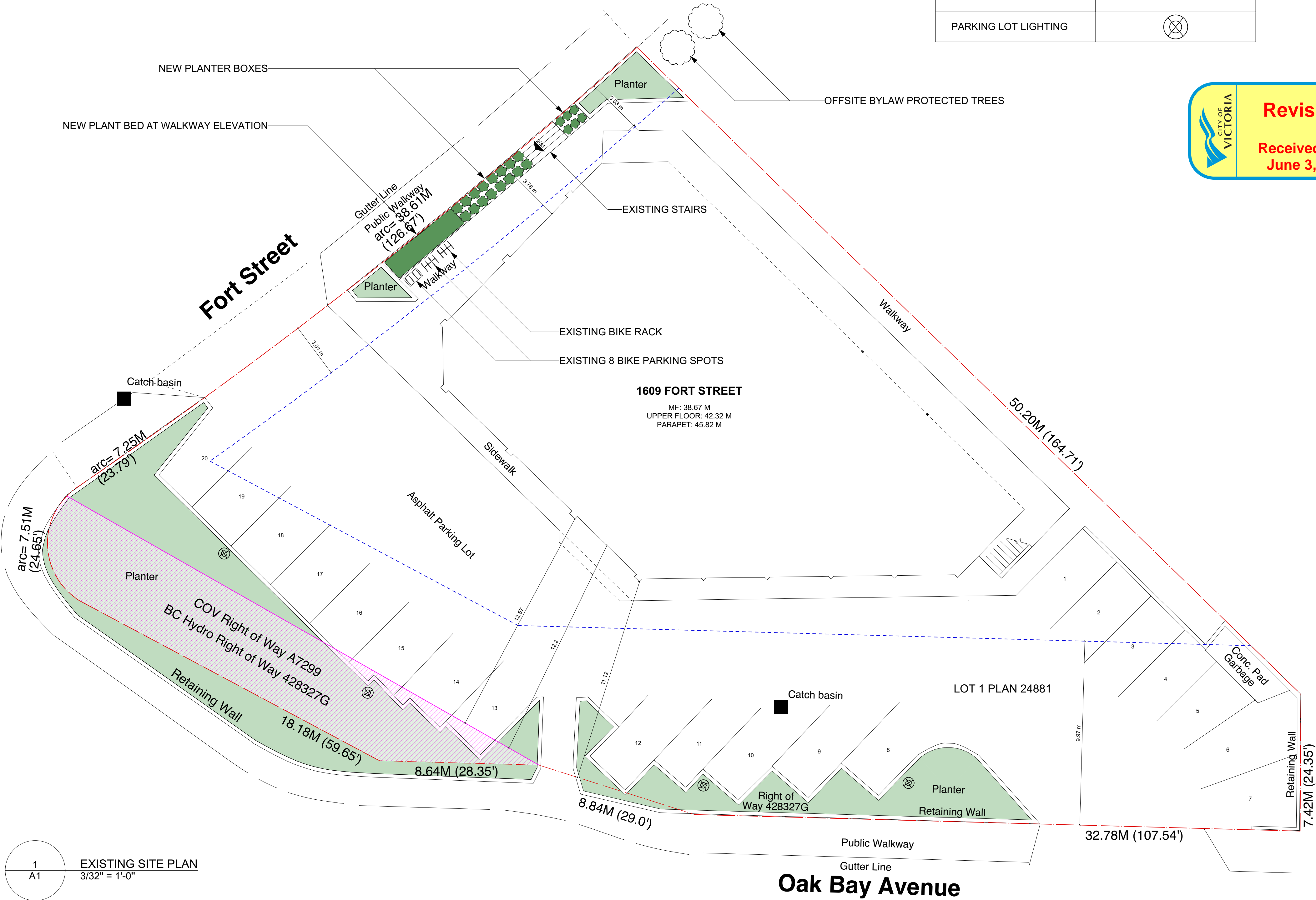


EXISTING BUILDING - OAK BAY AVENUE

DRAWING LEGEND	
EXISTING PROPERTY LINE	---
EXISTING SETBACKS	----
PARKING LOT LIGHTING	⊗



Revisions
Received Date:
June 3, 2021



ZONING DATA TABLE					
	ZONE STANDARD	PROPOSAL (IF DIFFERENT FROM ZONE STANDARD)			
ZONING	C1-J ZONE, LIMITED COMMERCIAL JUNCTION DISTRICT	-			
SITE AREA (m2)	NOT MENTIONED IN ZONE STANDARD	1614.9 sqm			
TOTAL FLOOR AREA (m2)	TOTAL ALLOWABLE IS 888.2 sqm	EXISTING:	886.3 sqm		
FLOOR SPACE RATIO	0.55 TO 1	0.549 TO 1			
SITE COVERAGE %	SHALL NOT EXCEED 30%	28.7%			
OPEN SITE SPACE %	NOT MENTIONED IN ZONE STANDARD	14.15%			
HEIGHT (m)	SHALL NOT EXCEED 8 m	7.15 m TO PARAPET			
NUMBER OF STOREYS	NOT MENTIONED IN ZONE STANDARD	2 STOREYS			
PARKING STALLS (NUMBER) ON SITE	SHALL BE PROVIDED IN ACCORDANCE WITH SCHEDULE 'C' - 17 REQUIRED	20 PARKING STALLS PROVIDED ON SITE			
BUILDING SETBACK (m)					
OAK BAY AVENUE	10.6 m	-			
FORT STREET	3 m	-			
INTERSECTION OF OAK BAY AVE AND FORT STREET	10.6 m	-			
VEHICLE PARKING REQUIREMENTS (BASED ON CITY OF VICTORIA SCHEDULE C)					
BUSINESS	USE	AREA (sqm)	SCHEDULE C CALCULATION	TOTAL SPACES	
SECOND FLOOR OFFICE SPACE	OFFICE	432.5	1 SPACES PER 55 sqm	8	
EXISTING VESSEL SPACE	RETAIL	327.0	1 SPACES PER 50 sqm	6.5	
PROPOSED VESSEL EXPANSION	RETAIL	126.8	1 SPACES PER 50 sqm	2.5	
TOTAL REQUIRED:				17	
TOTAL PROVIDED:				20	
BIKE PARKING REQUIREMENTS					
BUSINESS	USE	AREA (sqm)	LONG TERM CALCULATION	SHORT TERM CALCULATION	TOTAL SPACES
SECOND FLOOR OFFICE SPACE	OFFICE	432.5	1 SPACES PER 150 sqm = 2.9	1 SPACES PER 400 sqm = 1.1	4
EXISTING VESSEL SPACE	RETAIL	327.0	1 SPACES PER 200 sqm = 1.6	1 SPACES PER 200 sqm = 1.6	3.3
PROPOSED VESSEL EXPANSION	RETAIL	126.8	1 SPACES PER 200 sqm = 0.6	1 SPACES PER 200 sqm = 0.6	1.3
TOTAL PROVIDED & REQUIRED:					9 REQUIRED 12 PROVIDED

PROJECT:
VESSEL LIQUOR STORE EXPANSION

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

VESSEL LIQUOR STORE



ISSUED FOR: DATE:

REVISION NO.: DATE:
1 JUNE 2, 2021

SAC PROJECT NO.:
VES-03-21

DRAWN BY:
SL

DATE:
JUNE 2, 2021



SCALE:
AS NOTED

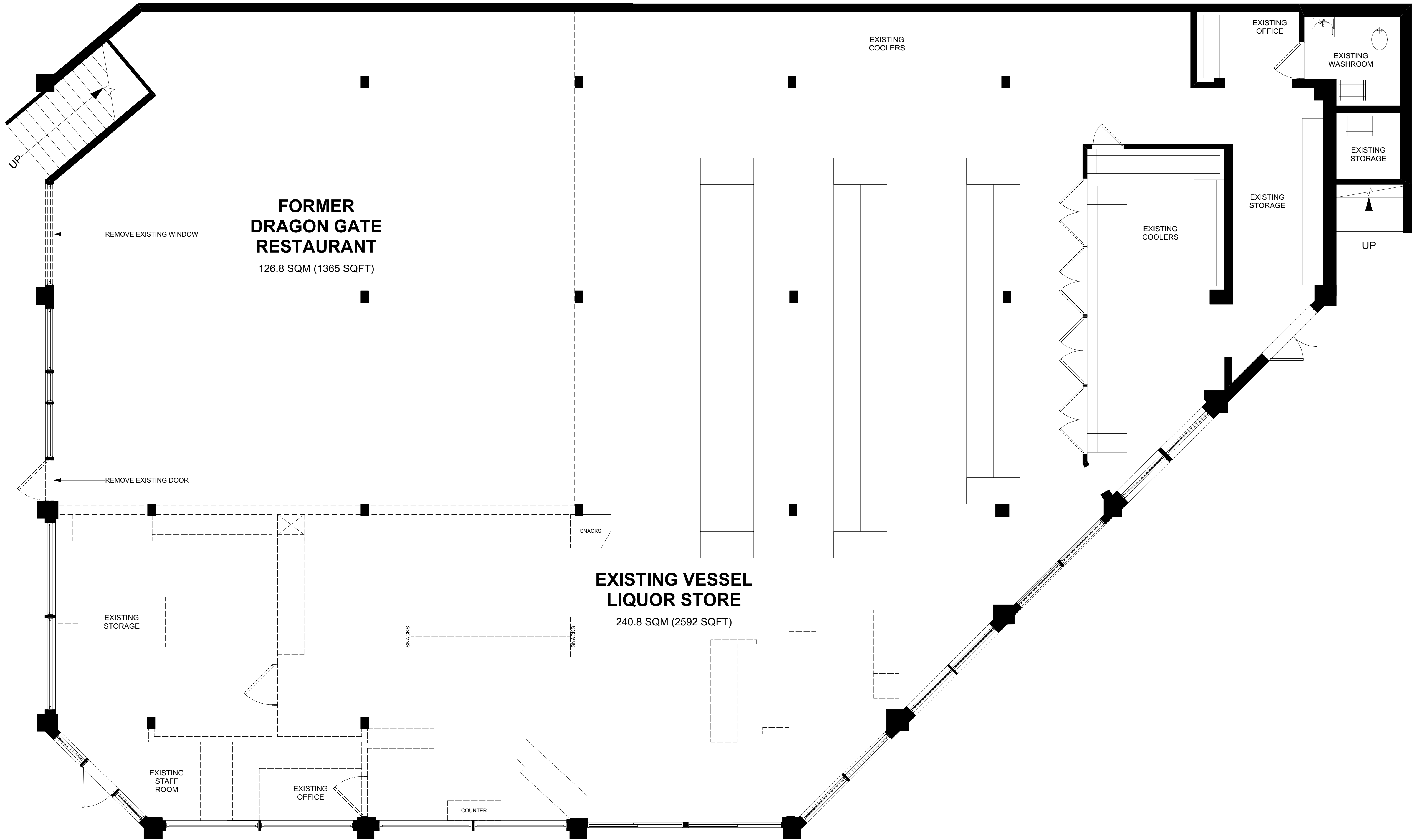
DRAWING TITLE:

SITE PLAN

DRAWING NUMBER:

A1

PARTITION LEGEND	
EXISTING - TO REMAIN	
EXISTING - TO REMAIN BE DEMOLISHED	



1
A2
EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT:
**VESSEL LIQUOR
STORE
EXPANSION**

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

**VESSEL LIQUOR
STORE**

steller
ARCHITECTURAL
CONSULTING
210-4252 Commerce Court
Victoria, BC, V8Z 4M2
250-294-8076

ISSUED FOR: DATE:

REVISION NO.: DATE:

SAC PROJECT NO.:
VES-03-21

DRAWN BY:
SL

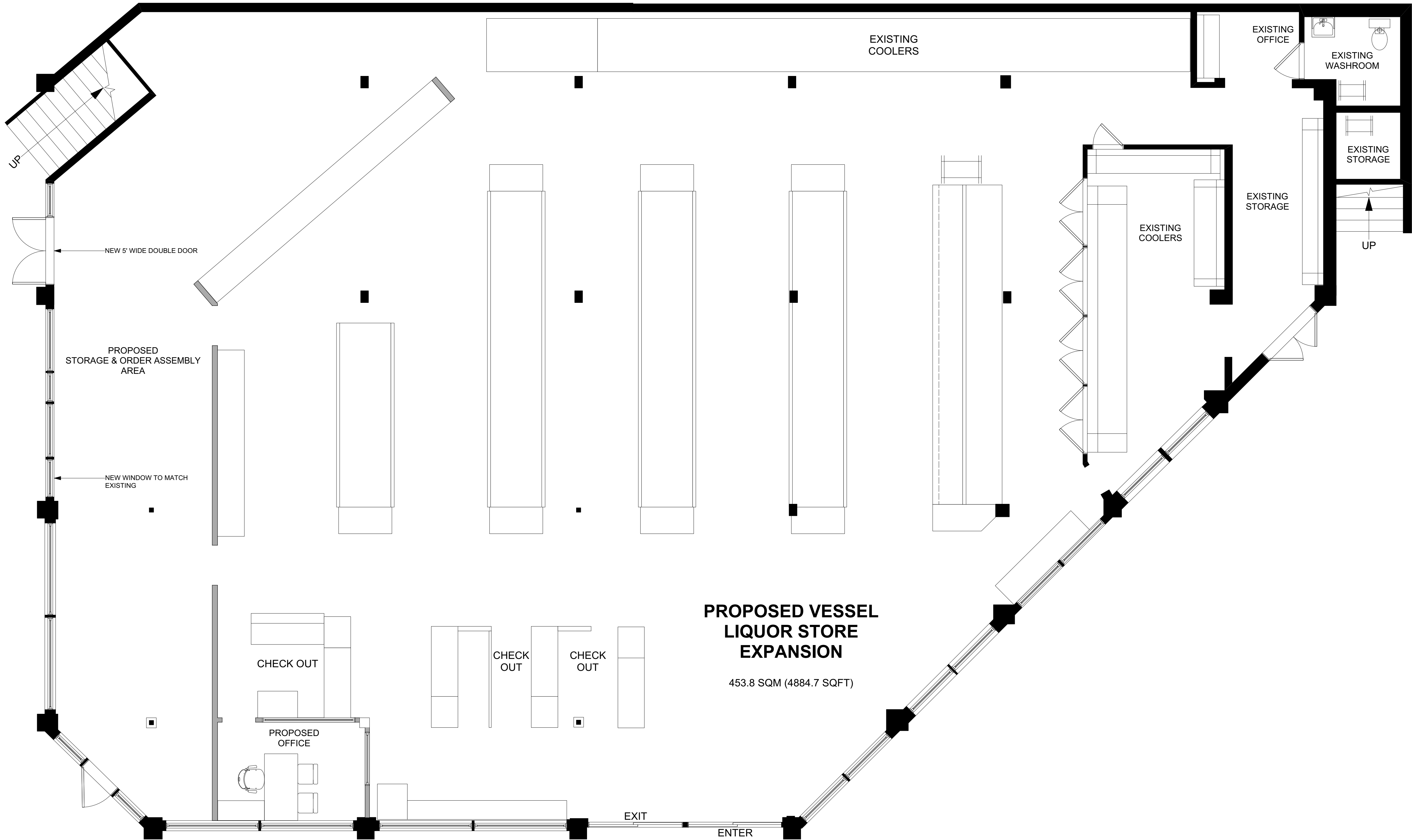
DATE:
JUNE 2, 2021

SCALE:
AS NOTED

DRAWING TITLE:
**EXISTING MAIN
FLOOR PLAN**

DRAWING NUMBER:
A2

PARTITION LEGEND	
EXISTING WALLS & PARTITIONS	<div></div>
NEW PARTITIONS	<div></div>



1
A3
EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT:
**VESSEL LIQUOR
STORE
EXPANSION**

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

**VESSEL LIQUOR
STORE**

steller
ARCHITECTURAL
CONSULTING
210-4252 Commerce Court
Victoria, BC, V8Z 4M2
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ISSUED FOR: DATE:

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DRAWN BY:
SL


DATE:
JUNE 2, 2021

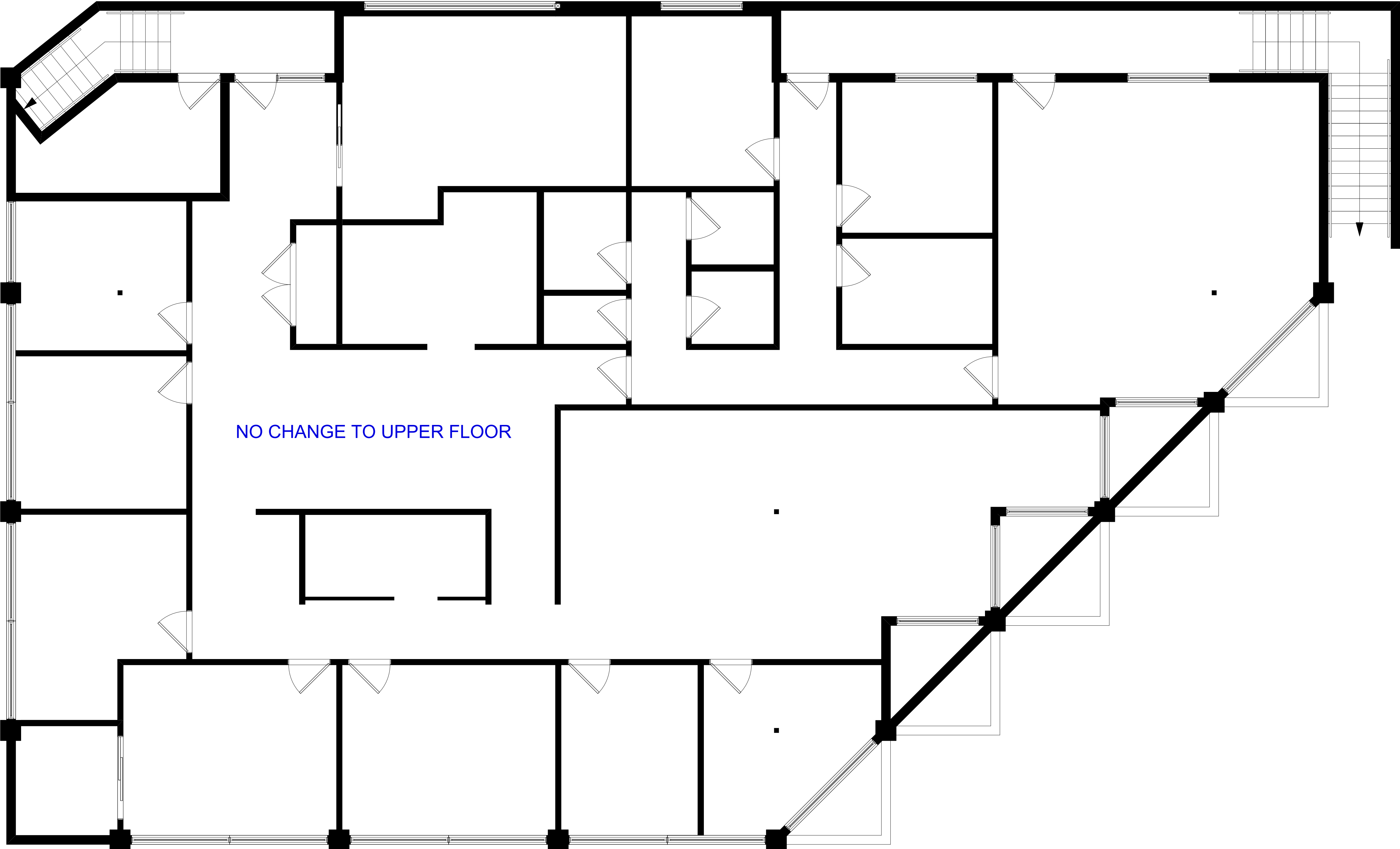
SCALE:
AS NOTED

DRAWING TITLE:
**PROPOSED MAIN
FLOOR PLAN**

DRAWING NUMBER:

A3

PARTITION LEGEND	
EXISTING WALLS & PARTITIONS	



1
A4
EXISTING UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT:
**VESSEL LIQUOR
STORE
EXPANSION**

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

**VESSEL LIQUOR
STORE**



ISSUED FOR:	DATE:

REVISION NO.:	DATE:

SAC PROJECT NO.:
VES-03-21

DRAWN BY:
SL

DATE:
JUNE 2, 2021

SCALE:
AS NOTED

DRAWING TITLE:
**EXISTING UPPER
FLOOR PLAN**

DRAWING NUMBER:

A4



1
A5
EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

NO CHANGE TO EAST ELEVATION

PROJECT:
VESSEL LIQUOR
STORE
EXPANSION

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

VESSEL LIQUOR
STORE

steller
ARCHITECTURAL
CONSULTING
210-4252 Commerce Court
Victoria, BC, V8Z 4M2
250-294-8076

ISSUED FOR: DATE:

REVISION NO.: DATE:

SAC PROJECT NO.:
VES-03-21

DRAWN BY:
SL

DATE:
JUNE 2, 2021

SCALE:
AS NOTED

DRAWING TITLE:

EXISTING EAST
ELEVATION

DRAWING NUMBER:

A5



1
A6
EXISTING ELEVATION
SCALE: 1:50



2
A6
PROPOSED ELEVATION
SCALE: 1:50

PROJECT:
**VESSEL LIQUOR
STORE
EXPANSION**

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

**VESSEL LIQUOR
STORE**

steller
ARCHITECTURAL
CONSULTING
210-4252 Commerce Court
Victoria, BC, V8Z 4M2
250-294-8076

ISSUED FOR: DATE:

REVISION NO.: DATE:

SAC PROJECT NO.:
VES-03-21

DRAWN BY:
SL

DATE:
JUNE 2, 2021

SCALE:
AS NOTED

DRAWING TITLE:
**EXISTING &
PROPOSED SOUTH
ELEVATION**

DRAWING NUMBER:

A6

Vessel Liquor Store Ltd.

1609 Fort Street
Victoria, BC V8R 1H8

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

June 17, 2021

Dear Mayor and Council

**Re: Development Permit with Variance for the Expansion of Vessel Liquor Store
1609 Fort Street, Victoria, BC
(the “Vessel Property”)**

Please see attached an application for the approval of a Development Permit with Variance (“DVP”) to facilitate an expansion of the Vessel Liquor Store (“Vessel”).

Background

The Vessel Property was first rezoned to allow for a liquor retail store in early 2015 and Vessel’s operations commenced later in the year. Over the ensuing five years, Vessel has developed its business in a professional manner which has resulted in many recognitions and awards including being voted the Best Liquor Store in the City three years in a row through the Times Colonist’s annual Readers’ Choice Awards.

In February of this year, a DVP was approved by City Council to allow expansion of Vessel into an adjoining 86.2 square metre (“m²”) space that was formerly occupied by Money Mart thus increasing the total area of Vessel to 327.0 m². Recently, due to economic factors, the remaining adjoining tenant to Vessel (Dragon Gate Restaurant) has closed. Vessel has secured this space to facilitate an additional 126.8 m² expansion which requires Council’s approval.

Proposal

The current proposal is to expand the 327.0 m² Vessel store by an additional 126.8 m², which would result in a total area of 453.8 m².

Neighbourhood Shopping at the Oak Bay Junction

The Vessel building, Vessel and the adjoining recently-opened Urban Grocer are under overall common management. These businesses together with Shoppers Drug Mart are synergistic and together provide much-needed services for the area.

Upgrade of the Vessel Property

At the recently-purchased Vessel Property, a refurbishment program has started with new landscaping and exterior lighting and the City’s approval to complete a major upgrade to the exterior and second floor of the building is in place. This will improve the visual appeal of the Vessel Property which is important given its prominent location at the junction of Fort Street and Oak Bay Avenue.

Vessel Supports Local Producers

Vessel has throughout been a very strong supporter of BC products. It is interesting to note that the local craft beer industry's sales have tripled over the last five years and the number of BC breweries have increased over nine years from 54 (2010) to 170 (2019) with +/- 20 more about to open.

Twenty-five hundred people (+/-) are currently employed in the craft beer brewing industry. Additionally there is also a constant burgeoning of BC wines and local craft distillery products (such as vodka and gin) becoming available. The growth in all of these offerings including imminent additional offerings means that Vessel needs more space.

Vessel and the Community

Vessel has always been about community and building on this relationship. They are consistent supporters of many organizations in the arts, sports, education and community outreach groups and of course BC suppliers with particular emphasis on "local".

Vessel and Education

Vessel uses its platform to provide educational opportunities for its staff, partners in the industry and members of the community. They have trained staff in local restaurants and have even partnered with competitors to train their staff; a recent example being their offer of an internship for a member of the Vinica Education Society which is focussed on diversifying the wine industry through innovative education and professional mentorships. One focus of Vessel is its support of people that are passionate about wine but are experiencing systemic barriers to participation and advancement and are working with them to develop new leaders in the industry.

Online Shopping

The reality of shopping patterns as affected by online shopping including delivery or pickup is a very real aspect of today's business world. Vessel is currently offering an experimental and limited online service and concurrently studying a basis to expand this service including curbside pickup.

Additional space will be required to pursue this and remain competitive in today's marketplace.

Size Comparison to Other Major Victoria Liquor Retail Outlet Competitors

Vessel Liquor Store	Current Size:	327.0 m²	
	Proposed Size:	453.8 m²	
<u>Liquor Retail Store</u>	<u>Location</u>	<u>Size</u>	<u>Proposed Size of Vessel by Comparison (+/-)</u>
Gov't Liquor Store	Fort and Foul Bay	926.5 m ²	49%
Gov't Liquor Store	Fairfield Plaza	530.0 m ²	86%
Gov't Liquor Store	Hillside Shopping Centre	785.0 m ²	58%
Cascadia	Quadra Village	594.0 m ² Approved by Council April 2018)	76%

As can be seen from the above, Vessel (when expanded) will be smaller than all of its major competitors noted above, that being between 49% and 86% of their sizes.

Why Vessel Wants to Expand

There is an industry principle as articulated by the Province of fairness and a level playing field. In this context, even when expanded, Vessel is at a significant size disadvantage to its main competitors. Simply put, Vessel requires more space to remain competitive including supporting local producers, its increasing customer base and to address the advent of online shopping.

Technical Details – Site Fully Complies Including Excess Parking

Aside from the requested variance for the increased retail liquor store area, our request complies with all other zoning and development guidelines. No expansion of the building's footprint is being proposed and the former restaurant use is being replaced with a retail use which results in a reduction of the overall parking requirements for the building. The City has approved a small second floor expansion of 91.1 m² enclosing former balcony areas. The entire second-floor space will be used for offices. The combination of the slightly-expanded second-floor office areas with the main floor retail being all Vessel, requires a total of 17 parking stalls and there are currently 20 stalls provided onsite.

Consultation

- **South Jubilee Community**

The Vessel Property is in the South Jubilee Community and details of the proposed DVP were provided to their Community Association Land Use Committee (CALUC). The Committee reviewed the proposed DVP and on April 14th they provided an email response to Chelsea Medd at the City of Victoria planning department advising that they “have no comments or objections to the expansion plans”.

- **The Rockland Neighbourhood Community**

We also met with the Rockland CALUC to discuss the proposed DVP, and Ross Borland (the Managing Partner of Vessel) and I met with their members on April 7th. The details of the proposed expansion were provided and there was discussion around parking, the planned upgrades to the building's exterior, the site and the size comparison to other liquor stores in the area. This included discussions related to details of our proposal. There were no objections to the DVP.

- **Petition of Adjacent Properties**

Although not a requirement for the DVP approval process, it was suggested by the City Planner that a petition of the neighbours be undertaken in the same manner as is done for a rezoning. On May 28, 2021 the attached notice was hand delivered to 70 residential and commercial addresses noted on the map. To date, there have been three letters of support received and no letters (or correspondence) in opposition. We will continue to receive input and will update the response status during the final review before council.

On behalf of Vessel, thank you for your consideration of this application.

Sincerely,



Trevor Dickie,
Project Coordinator for Vessel Liquor Store Ltd.

trevor@radcliffelane.com
(250) 858-5740

Attachment: Neighbourhood Petition Map and Address List

Information for Development Permit with Variance Application

Vessel Liquor Store – 1609 Fort Street

Vessel Liquor Store has made an application to the City of Victoria for the approval of a Development Permit with Variance that would allow the expansion of their existing operation into a vacant space that currently exists in the building. The total proposed expansion area is 1,365 square feet as illustrated in the blue shaded area in the drawing below. This would result in Vessel occupying the entire main floor of the building and will allow them to expand their product line to better serve their customers. A full renovation of the building was approved under a separate development permit and the construction has commenced to upgrade the exterior and second floor office space in the building. As part of the approval process, we are providing this information to the surrounding properties to receive any feedback you may have on the application or to answer any questions you may have.

We encourage you to complete the attached form and return it via mail, email, or you can text a photo of the completed form. The contact for the return of the form or any additional questions is:

Trevor Dickie
Email: trevor@radcliffelane.com
Cell/Text: (250) 858-5740

Vessel Liquor Store
1609 Fort Street
Victoria, BC, V8R 1H8
Attn: Trevor Dickie



LIQUOR RETAIL STORE DEVELOPMENT PERMIT WITH VARIANCE NOTICE

I Trevor Dickie have applied to the City of Victoria for the approval of a Development Permit with Variance of a property located at 1609 Fort Street to permit the expansion of the existing retail liquor store.

The City of Victoria has requested that the applicant inform residents and owners of neighbouring lots to determine the acceptability of the proposal.

Please review the plans and indicate the following:

NAME: (please print): _____

ADDRESS: _____

Are you the registered owner? Yes ☐ No ☐

I have reviewed the plans of the applicant and have the following comments:

- ☐ I support the application.
- ☐ I am opposed to the application.

Comments:

[illegible]

Date _____

Signature



Addresses List for Petition Circulation

Address
1557 Oak Bay Avenue
1559 Oak Bay Avenue
1585 Oak Bay Avenue
Unit #1 - 1585 Oak Bay Avenue
Unit #2 - 1585 Oak Bay Avenue
Unit #3 - 1585 Oak Bay Avenue
Unit #4 - 1585 Oak Bay Avenue
Unit #5 - 1585 Oak Bay Avenue
Unit #6 - 1585 Oak Bay Avenue
Unit #7 - 1585 Oak Bay Avenue
Unit #8 - 1585 Oak Bay Avenue
Unit #9 - 1585 Oak Bay Avenue
Unit #10 - 1585 Oak Bay Avenue
Unit #11 - 1585 Oak Bay Avenue
Unit #12 - 1585 Oak Bay Avenue
Unit #14 - 1585 Oak Bay Avenue
101 – 1625 Oak Bay Avenue
102 – 1625 Oak Bay Avenue
103 – 1625 Oak Bay Avenue
104 – 1625 Oak Bay Avenue
301 & 305 – 1625 Oak Bay Avenue
302 – 1625 Oak Bay Avenue
303 – 1625 Oak Bay Avenue
306 – 1625 Oak Bay Avenue
307 – 1625 Oak Bay Avenue
1610 Oak Bay Avenue

101 - 1640 Oak Bay Avenue
200 - 1640 Oak Bay Avenue
201 - 1640 Oak Bay Avenue
202 - 1640 Oak Bay Avenue
203 - 1640 Oak Bay Avenue
204 - 1640 Oak Bay Avenue
300 - 1640 Oak Bay Avenue
301 - 1640 Oak Bay Avenue
200 - 1625 Fort Street
1627 Fort Street
200 - 1627 Fort Street
222 - 1627 Fort Street
224 - 1627 Fort Street
225 - 1627 Fort Street
233 - 1627 Fort Street
235 - 1627 Fort Street
244 - 1627 Fort Street
245 - 1627 Fort Street
285 - 1627 Fort Street
300 - 1627 Fort Street
301 - 1627 Fort Street
305 - 1627 Fort Street
315 - 1627 Fort Street
325 - 1627 Fort Street
345 - 1627 Fort Street
350 - 1627 Fort Street
355 - 1627 Fort Street
400 - 1627 Fort Street
1629 Fort Street
1631 Fort Street
1633 Fort Street
1635 Fort Street
1637 Fort Street
1639 Fort Street
1641 Fort Street
1643 Fort Street
1645 Fort Street
1647 Fort Street
1649 Fort Street
1651 Fort Street
1653 Fort Street
1657 Fort Street
1659 Fort Street
1609 Fort Street
1602 Fort Street
1608 Fort Street
1650 Fort Street

We encourage you to complete the attached form and return it via mail, email, or you can text a photo of the completed form. The contact for the return of the form or any additional questions is:

Vessel Liquor Store
1609 Fort Street
Victoria, BC, V8R 1H8
Attn: Trevor Dickie



LIQUOR RETAIL STORE DEVELOPMENT PERMIT WITH VARIANCE NOTICE

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The City of Victoria has requested that the applicant inform residents and owners of neighbouring lots to determine the acceptability of the proposal.

Please review the plans and indicate the following:

NAME: (please print): _____

ADDRESS: _____

Are you the registered owner? Yes ☐ No ☐

I have reviewed the plans of the applicant and have the following comments:

- ☐ I support the application.
- ☐ I am opposed to the application.

Comments:

[illegible]

Date _____

Signature



Addresses List for Petition Circulation

Address
1557 Oak Bay Avenue
1559 Oak Bay Avenue
1585 Oak Bay Avenue
Unit #1 - 1585 Oak Bay Avenue
Unit #2 - 1585 Oak Bay Avenue
Unit #3 - 1585 Oak Bay Avenue
Unit #4 - 1585 Oak Bay Avenue
Unit #5 - 1585 Oak Bay Avenue
Unit #6 - 1585 Oak Bay Avenue
Unit #7 - 1585 Oak Bay Avenue
Unit #8 - 1585 Oak Bay Avenue
Unit #9 - 1585 Oak Bay Avenue
Unit #10 - 1585 Oak Bay Avenue
Unit #11 - 1585 Oak Bay Avenue
Unit #12 - 1585 Oak Bay Avenue
Unit #14 - 1585 Oak Bay Avenue
101 – 1625 Oak Bay Avenue
102 – 1625 Oak Bay Avenue
103 – 1625 Oak Bay Avenue
104 – 1625 Oak Bay Avenue
301 & 305 – 1625 Oak Bay Avenue
302 – 1625 Oak Bay Avenue
303 – 1625 Oak Bay Avenue
306 – 1625 Oak Bay Avenue
307 – 1625 Oak Bay Avenue
1610 Oak Bay Avenue

101 - 1640 Oak Bay Avenue
200 - 1640 Oak Bay Avenue
201 - 1640 Oak Bay Avenue
202 - 1640 Oak Bay Avenue
203 - 1640 Oak Bay Avenue
204 - 1640 Oak Bay Avenue
300 - 1640 Oak Bay Avenue
301 - 1640 Oak Bay Avenue
200 - 1625 Fort Street
1627 Fort Street
200 - 1627 Fort Street
222 - 1627 Fort Street
224 - 1627 Fort Street
225 - 1627 Fort Street
233 - 1627 Fort Street
235 - 1627 Fort Street
244 - 1627 Fort Street
245 - 1627 Fort Street
285 - 1627 Fort Street
300 - 1627 Fort Street
301 - 1627 Fort Street
305 - 1627 Fort Street
315 - 1627 Fort Street
325 - 1627 Fort Street
345 - 1627 Fort Street
350 - 1627 Fort Street
355 - 1627 Fort Street
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1629 Fort Street
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1633 Fort Street
1635 Fort Street
1637 Fort Street
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1641 Fort Street
1643 Fort Street
1645 Fort Street
1647 Fort Street
1649 Fort Street
1651 Fort Street
1653 Fort Street
1657 Fort Street
1659 Fort Street
1609 Fort Street
1602 Fort Street
1608 Fort Street
1650 Fort Street

LIQUOR RETAIL STORE DEVELOPMENT PERMIT WITH VARIANCE NOTICE

I Trevor Dickie have applied to the City of Victoria for the approval of a Development Permit with Variance of a property located at 1609 Fort Street to permit the expansion of the existing retail liquor store.

The City of Victoria has requested that the applicant inform residents and owners of neighbouring lots to determine the acceptability of the proposal.

Please review the plans and indicate the following:

NAME: (please print): KEN GRANT
ADDRESS: 1602 FORT ST.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

- ☒ I support the application.
☐ I am opposed to the application.

Comments:

THIS STORE HAS BEEN A GOOD ADDITION TO THE
AREA. NO PROBLEMS WITH THE EXPANSION.

May 29/21
Date

Ken Grant
Signature

Chelsea Medd

From: Gail
Sent: April 14, 2021 12:01 PM
To: Chelsea Medd
Cc: Trevor
Subject: 1609 Fort St expansion plans

DATE: April 14/21

RE: 1609 Fort St development and renovation plans as per Mar 15/21 email
ORIGINAL DPV 00148

Dear Ms. Medd:

The South Jubilee Land Use Committee has reviewed the revised plans submitted to us for review on March 15/21 by Trevor Dickie of Highbury Asset Management for the property at 1609 Fort St.

We feel the newest iteration does not require a South Jubilee community review meeting and we have no comments or objections to the expansion plans.

Sincerely,

Gail Anthony
Co-chair South Jubilee Land Use Committee

From: "Bendall, Esther LCRB:EX" [REDACTED]
Date: June 14, 2021 at 11:55:50 AM PDT
To: Leigh [REDACTED]
Cc: "Fearn, Harold (Gord) G LCRB:EX" [REDACTED]
Subject: RE: Vessel Liquor Store (#195411) Structural Change

Good morning Leigh, I have amended the lining of the AIP floor plan (see attachment). There was no need to amend the AIP letter as the wording encompasses the changes being made including the amendments. If you have any questions or concerns please don't hesitate to contact me.

Kindest Regards
Esther

Esther Bendall
Licencing Analyst
Ministry of Public Safety and Solicitor General
Liquor and Cannabis Regulation Branch
[REDACTED]

Liquor Licensees, we're modernizing! If you haven't yet, please set up your Business BCeID as soon as possible to ensure your smooth transition to our new online licensing portal. Starting in March you'll need your Business BCeID to manage your licence and submit applications.
[Learn more. Create account/BCeID. Questions?](#)

If you receive this e-mail in error, please notify the sender immediately and delete this e-mail from your system.

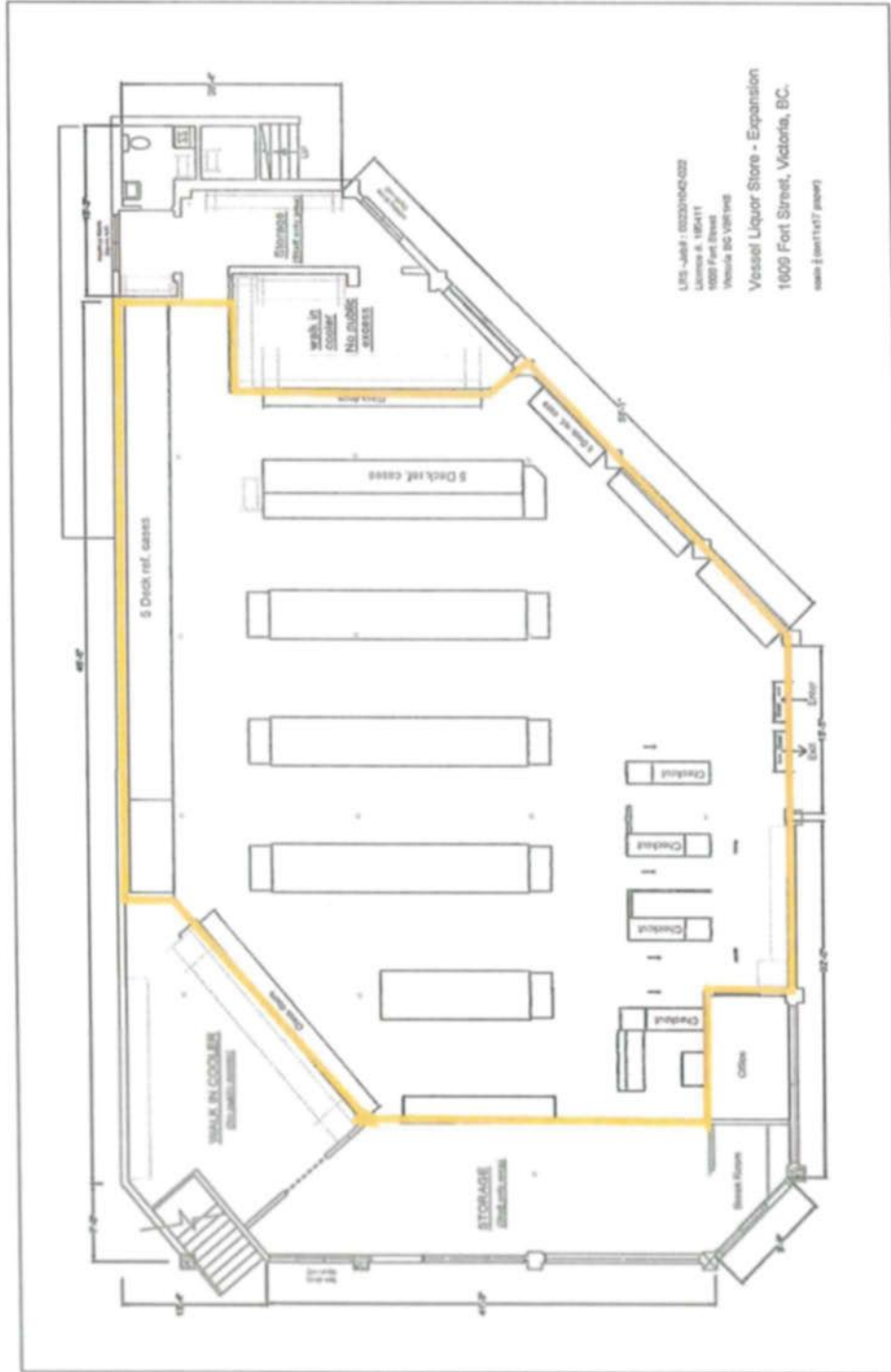
APPROVAL IN PRINCIPLE

Subject to the terms and /or conditions specified in the approval in principle letter(s) dated June 14, 2021

Job: # 010065
Max Person Capacity: N/A

Authority

Paula Goodell





Job#: 002301043-022

July 28, 2020

Vessel Liquor Store Ltd.
Via email: [adminoffice\(a\).radcliffelane.com](mailto:adminoffice(a).radcliffelane.com)

Dear Leigh Large:

**Re: Structural Change Application - Alteration/ Renovation
Vessel Liquor Store
Licensee Retail Store (LRS) - Liquor Licence#: 195411
Located at: 1609 Fort Street, Victoria, BC V8R 1H8
Plan Approval in Principle - Expires January 28, 2021**

This is in response to your submission of a structural change application which was received by the Liquor and Cannabis Regulation Branch (the Branch) on June 19, 2020.

As per the information provided in your application, as well as the submitted floor plans, you have proposed to expand the existing licensee retail store into the adjacent space.

The proposed renovation will consist of:

- Demolishing the wall separating the existing and proposed area;
- Expanding the retail space;
- Enclosing the doorway in the proposed area - no change to LRS entry; and
- Adding extra storage, a staff room, workstations and an office.

Based on my review of the floor plan layout, I am satisfied that the proposed layout complies with statutory and Liquor and Cannabis Regulation Branch policy provisions specific to an LRS. Please find attached one yellow lined floor plan bearing an "Approved, in Principle" (AIP) stamp.

In granting this approval in principle, please note that it is conditional upon the licensee's understanding and compliance with, but not limited to the following:

- All existing terms and conditions on the face of the LRS license will remain in effect;
- Minors must be accompanied by a parent or guardian who is shopping;
- When you verify a customer's age, you and your employees must ask for two pieces of identification;

**Liquor and Cannabis
Regulation Branch**

Mailing Address:
PO Box 9292 Stn Prov Govt
Victoria BC V8W 9J8

Location:
4th floor 645 Tyee Road
Victoria BC V9A 6X5
Phone: 250 952-5787
Facsimile: 250 952-7066

Website:
www.v.gov.bc.ca/liquorregulationandlicensing

- Line of sight from the sales counter must be adequate in order for staff to maintain effective management of the entire licensed establishment and must meet the liquor inspector's satisfaction at the time of the final inspection; and
- The LRS Terms and Conditions Guidebook is updated from time to time and it is important to be aware of any changes as noted within the guide. Click [here](#) to view the guide.

This approval in principle allows you to proceed with the changes as applied for; however, it does not imply final approval. If there are any changes to the submitted application, you are responsible for notifying the Branch as soon as possible. Please be aware that significant changes to your submitted proposal will require a new application, supporting documentation, and fees.

YOUR NEXT STEPS:

Please contact Liquor Inspector, Gord Fearn at 250-419-8719 or email Gord.Fearn@gov.bc.ca for a final inspection once the changes are complete.

- Please ensure that this letter as well as the enclosed approved in principle floor plan are both available for review at time of inspection. The floor plan has been yellow-lined, so please print in colour.
- It is recommended that an authorized signatory attend the final inspection; however, you may ask someone to attend on your behalf. Please ensure that the person attending the final inspection can make a decision or answer questions with respect to any compliance concerns on behalf of the licensees.

This plan approval in principle expires on January 28, 2021 If you are unable to complete construction and arrange for a final inspection prior to the expiry date, you **MUST** submit a written request to the Branch 30 days prior to expiry of AIP. The request should be accompanied by evidence demonstrating that the delay is beyond the control of the applicant. Where another authority is responsible for the delay, a letter from that authority outlining current status and schedule for completion should accompany the request for extension. Failure to request an extension will result in the application being considered abandoned and subsequently terminated on the expiry date noted above.

If all is in order and upon receipt of inspection photographs, comments and confirmation from Inspector Fearn that the physical layout of the establishment is as depicted on the enclosed floor plans and the final inspection is satisfactory, you will receive a final approval letter, an updated licence and an official validated floor plan to post within your establishment.

Please allow five business days for staff to finalize the application process once the final inspection has been successfully concluded.

If you require any further assistance, please do not hesitate to contact me at [REDACTED] or at [REDACTED]

Sincerely,

D Reimer

Danielle Reimer
Licensing Analyst
Liquor & Cannabis Regulation Branch

Attachment - AIP Floor Plan

cc: Gord Fearn, Liquor Inspector (via email)

From: Cochrane, Kari <kari.cochrane@vicpd.ca>

Sent: April 29, 2021 12:46 PM

To: Development Services email inquiries <DevelopmentServices@victoria.ca>

Subject: New Liquor Retail Store Variance Application Received for 1609 Fort Street – DPV No. 00170

Re: Liquor Retail Store Variance Application for 1609 Fort Street – DPV No. 00170

I have reviewed the documents provided on the Development Tracker for 1609 Fort St. This application is for an expansion to an existing liquor retail store, that is situated within a business development site. The expectation is that this would have little to no change with respect to community safety.

Kari



Sgt. Kari Cochrane
Operational Planning
Victoria Police Department
850 Caledonia Avenue
Victoria, BC, V8T 5J8
T:250-995-7218
C:250-882-3495
kari.cochrane@vicpd.ca

LIQUOR RETAIL STORE DEVELOPMENT PERMIT WITH VARIANCE NOTICE

I Trevor Dickie have applied to the City of Victoria for the approval of a Development Permit with Variance of a property located at 1609 Fort Street to permit the expansion of the existing retail liquor store.

The City of Victoria has requested that the applicant inform residents and owners of neighbouring lots to determine the acceptability of the proposal.

Please review the plans and indicate the following:

NAME: (please print): Chris Taylor
ADDRESS: Suite 301-1625 Oak Bay Avenue.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

- ☒ I support the application.
- ☐ I am opposed to the application.

Comments:

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.

Date _____

Signature

Development Permit with
Variance Application No. 00170
for
1609 Fort Street

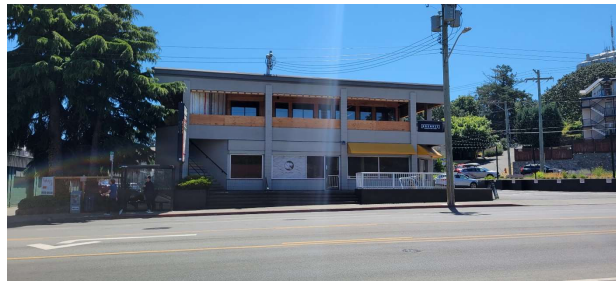


1



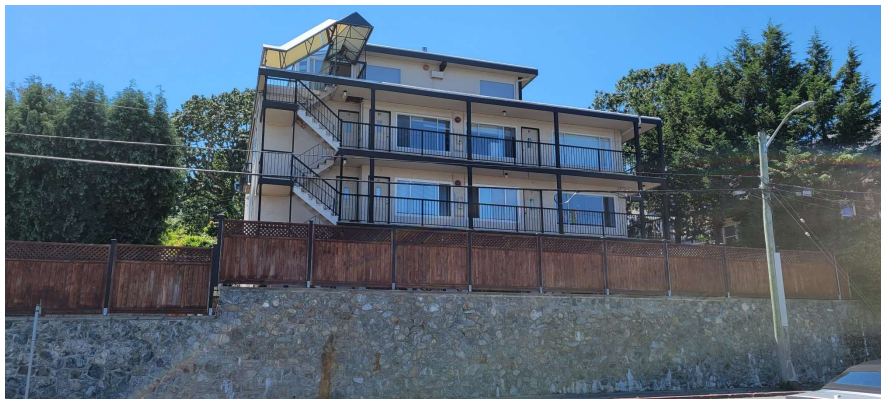
2

Subject Site



3

1585 Oak Bay Avenue (South)



4

1625 Oak Bay Avenue (South)



5

1650 Fort Street (North)

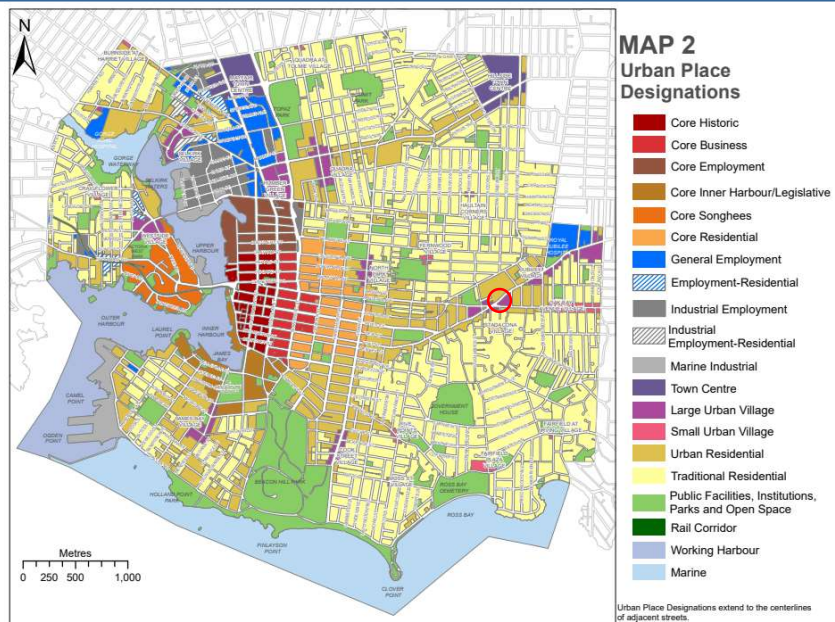


6

1625 Fort Street (East)



7



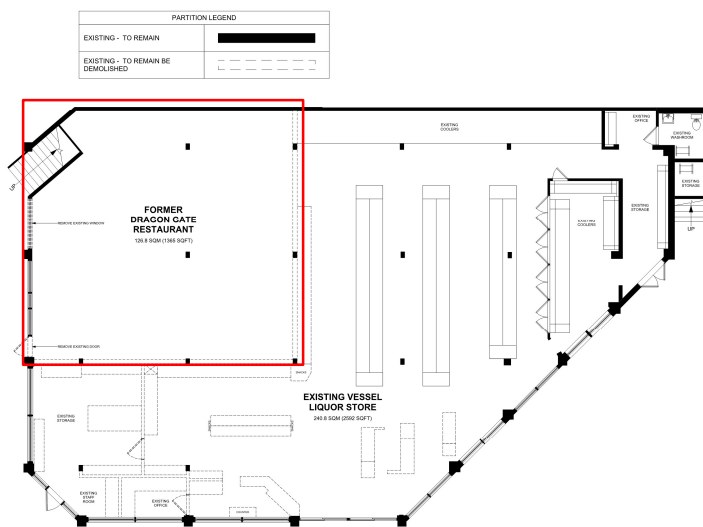
8

Site Plan



9

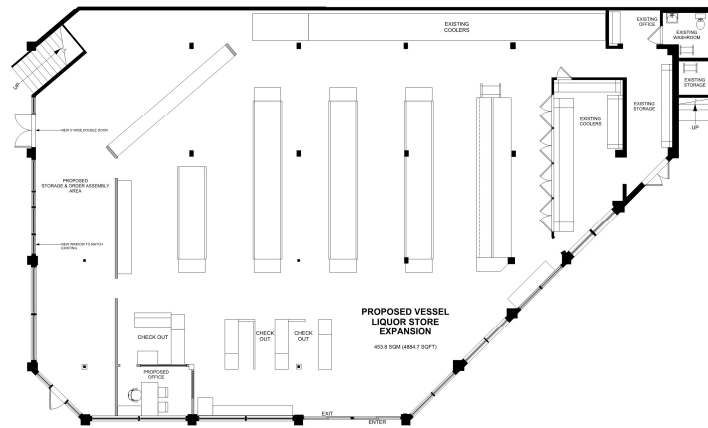
Existing 1ST Floor Plan



10

Proposed 1ST Floor Plan

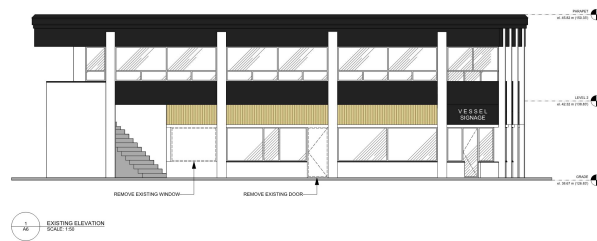
PARTITION LEGEND	
EXISTING WALLS & PARTITIONS	
NEW PARTITIONS	



11

Elevation (North)

Existing



Proposed



12

Elevation (South West)



*No change



13

Landscape Plan



14



Committee of the Whole Report

For the Meeting of July 8, 2021

To: Committee of the Whole **Date:** July 8, 2021
From: Shannon Perkins – Manager, Bylaw and Licensing Services
Subject: Appointment Bylaw Officer

RECOMMENDATION

That Council approve the appointment of Sonya Chohan

1. As a Bylaw Officer pursuant to section 2(a) of the Inspection Bylaw (06-061); and
2. As a Business Licence Inspector for the City of Victoria
3. That this motion be forwarded to the July 8 daytime Council meeting for approval

EXECUTIVE SUMMARY

Sonya Chohan has recently joined the City's Bylaw and Licensing Services staff filling the role of Bylaw Officer. To enable them to act with full capacity, a specific resolution of Council suggested above is required.

Respectfully submitted,

Shannon Perkins
Manager, Bylaw and Licensing Services

Report accepted and recommended by the City Manager



CITY OF VICTORIA

PROCLAMATION

“WRONGFUL CONVICTION DAY”

- WHEREAS** *the loss of one’s freedom due to a wrongful conviction has far-reaching and devastating consequences which not only affects the innocent individual’s life but also affects the quality of life of their families and has a harmful effect on society as a whole; and*
- WHEREAS** *wrongful convictions question the integrity and fairness of the criminal justice system and unless corrected undermines societies trust in their criminal justice system; and*
- WHEREAS** *Wrongful Conviction Day is a global movement dedicated to advocating for innocent individuals who have been wrongly convicted of a crime they did not commit. The implementation and recognition of this day is the start to reaching a broader audience regarding the importance surrounding miscarriages of justice. A proclamation will assist to advocate, educate, and create awareness around those miscarriages of justice in hope for reform to minimize the effect it could have on another individual.*

NOW, THEREFORE *I do hereby proclaim October 2nd, 2021, as “WRONGFUL CONVICTION DAY” on the HOMELANDS of the Lekwungen speaking SONGHEES AND ESQUIMALT PEOPLE in the CITY OF VICTORIA, CAPITAL CITY of the PROVINCE of BRITISH COLUMBIA.*

IN WITNESS WHEREOF, *I hereunto set my hand this 29th day of July, Two Thousand and Twenty-One.*

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored By:
International Wrongful
Conviction Day Committee

Committee of the Whole Report

For the Meeting of July 8, 2021

Appendix B

Council Meetings	Proclamations
9-Jan-20	Crime Stoppers Month - January 2020
23-Jan-20	International Day of Zero Tolerance for Female Genital Mutilation - February 6, 2020 Eating Disorder Awareness Week - February 1 to 7, 2020
13-Feb-20	Heritage Week 2020 - February 17 to 23, 2020 British Isles Historic Festival Day - February 22, 2020 Chamber of Commerce Week - February 17 to 21, 2020
27-Feb-20	International Women's Day and Week - March 8, 2020 and March 8 to 15, 2020 Tibet Day - March 10, 2020
12-Mar-20	Purple Day - March 26, 2020 World Down Syndrome Day - March 21, 2020 Parkinson's Awareness Month - April 2020
9-Apr-20	Human Values Day - April 24, 2020 Melanoma Awareness Month - May 2020
23-Apr-20	Global Love Day - May 1, 2020 Apraxia Awareness Day - May 14, 2020
14-May-20	National Missing Children's Month and Missing Children's Day - May 2020 and May 25, 2020 Falun Dafa Day - May 13, 2020 Do Something Good For Your Neighbour Day - May 16, 2020
28-May-20	Honouring the National Day of the Republic of Azerbaijan - May 28, 2020 National Accessibility Week - May 31, 2020
11-Jun-20	World Refugee Day - June 20, 2020 International Medical Cannabis Day - June 11, 2020 World Refrigeration Day - June 26, 2020 Longest Day of Smiles - June 20, 2020
18-Jun-20	International Women in Engineering Day - June 23, 2020
25-Jun-20	Pride Week - June 28 to July 5, 2020 Parachute National Injury Prevention Day - Jul 6, 2020
23-Jul-20	World PVNH Disorder Awareness Day - August 7, 2020 Hibashuka Remembrance Week - August 2 to 9, 2020
6-Aug-20	National Polycystic Kidney Disease Awareness Day - September 4, 2020 Mitochondrial Disease Awareness Week – September 13 to 19, 2020 International Overdose Awareness Day – August 31, 2020
3-Sep-20	United Way Month - September 2020 Jaswant Singh Khalra Day - September 6, 2020
1-Oct-20	International Day of Older Persons - October 1, 2020 Wrongful Conviction Day - October 2, 2020 Small Business Month - October 2020 Fire Prevention Week - October 4 – 10, 2020
8-Oct-20	Taoist Tai Chi Arts 50th Anniversary - November 7, 2020 Energy Efficient Day - October 7, 2020
15-Oct-20	Waste Reduction Week - October 19 to 27, 2020 World Pneumonia Day - Pneumolight - November 12, 2020
22-Oct-20	Respiratory Therapy Week - October 25 to 31, 2020
5-Nov-20	Respiratory Therapy Week - October 25 to 31, 2020
12-Nov-20	Rising Economy Week - November 16 - 20, 2020 Day of Awareness for Survivors of Financial Abuse and Economic Injustice - November 26, 2020 Orange Days: End Violence Against Women and Girls - November 25, 2020 to December 10, 2020 World Diabetes Day - November 14, 2020
3-Dec-20	National Day of Remembrance and Action on Violence Against Women - December 6, 2020



Committee of the Whole Report For the Meeting of July 8, 2021

To: Committee of the Whole
From: Curt Kingsley, City Clerk
Date: June 28, 2021
Subject: National Polycystic Kidney Disease Awareness Day – September 4, 2021

RECOMMENDATION

That the *National Polycystic Kidney Disease Awareness Day* Proclamation be forwarded to the July 29, 2021 Council meeting for Council's consideration.

EXECUTIVE SUMMARY

Attached as Appendix A is the requested *National Polycystic Kidney Disease Awareness Day* Proclamation. Council has established a policy addressing Proclamation requests. The policy provides for:

- A staff report to Committee of the Whole.
- Each Proclamation request requiring a motion approved at Committee of the Whole prior to forwarding it to Council for their consideration.
- Staff providing Council with a list of Proclamations made in the previous year.
- Council voting on each Proclamation individually.
- Council's consideration of Proclamations is to fulfil a request rather than taking a position.

A list of 2020 Proclamations is provided as Appendix B in accordance with the policy. Consistent with City Policy, Proclamations issued are established as fulfilling a request and does not represent an endorsement of the content of the Proclamation.

Respectfully submitted,

Curt Kingsley
City Clerk

List of Attachments

- Appendix A: Proclamation "National Polycystic Kidney Disease Awareness Day"
- Appendix B: List of Previously Approved Proclamations

Appendix B

Council Meetings	Proclamations
9-Jan-20	Crime Stoppers Month - January 2020
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13-Feb-20	Heritage Week 2020 - February 17 to 23, 2020 British Isles Historic Festival Day - February 22, 2020 Chamber of Commerce Week - February 17 to 21, 2020
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3-Dec-20	National Day of Remembrance and Action on Violence Against Women - December 6, 2020



CITY OF VICTORIA

PROCLAMATION

“NATIONAL POLYCYSTIC KIDNEY DISEASE AWARENESS DAY”

WHEREAS *Polycystic kidney disease (PKD) causes abnormal cysts to develop and grow in the kidneys and the enlargement of cysts causes kidney function to decline. It equally affects men, women and children – regardless of geography or ethnic origin; and*

WHEREAS *the PKD Foundation of Canada is the only national charitable organization dedicated to fighting PKD, a progressive, life-threatening genetic disease, through programs of research, advocacy, education, support and awareness in order to discover vital treatments and a cure for PKD and improve the lives of all it affects; and*

WHEREAS *on Sunday, September 26th, a virtual Walk to END PKD will take place nationwide to honour PKD patients and their friends & families fundraising for clinical research and fellowships, which will benefit all PKD patients, including many Victoria residents.*

NOW, THEREFORE *I do hereby proclaim September 4, 2021 as “NATIONAL POLYCYSTIC KIDNEY DISEASE AWARENESS DAY” on the HOMELANDS of the Lekwungen speaking SONGHEES AND ESQUIMALT PEOPLE in the CITY OF VICTORIA, CAPITAL CITY of the PROVINCE of BRITISH COLUMBIA.*

IN WITNESS WHEREOF, *I hereunto set my hand this 29th day of July, Two Thousand and Twenty-One.*

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored By:
Keara Johnson
PKD Foundation
of Canada



Council Member Motion
For the Committee of the Whole Meeting of July 8 2021

To: Committee of the Whole **Date:** June 30 2021
From: Mayor Helps, Councillor Alto and Councillor Isitt
Subject: Funding for the protection of the Kings Road Community Nature Green Space

BACKGROUND

The District of Saanich has requested funding from the City of Victoria and the District of Oak Bay to help protect the Kings Road Community Nature Green Space. Saanich acquired the lands from BC Hydro in 2019 for \$5.5 million. This was enabled through payment of \$1,475,920 from the Land Sale Reserve Fund and \$4,040,400 in temporary borrowing. To avoid selling off portions of the 2.2 hectares for development to recover some of the cost, a fundraising initiative is underway to seek contributions to recover \$2.7M, or 50 per cent.

The Kings Road Community Nature Green Space is located close to our shared municipal borders deep in the “panhandle region” of Saanich next to the Royal Jubilee Hospital. The green space provides an important sub-regional local park for residents in Saanich, Victoria and Oak Bay. When its future is secured, the community is committed to restoring the nature space and the riparian areas along Bowker Creek by planting additional trees and native and climate-resistant species creating a thriving urban natural space forest and watercourse.

This acquisition aligns with proclamations of the 2021-2030 UN Decade of Ecosystem Restoration, our need to avoid “paving over nature”, and the utilization of nature-based solutions to climate change. Protecting the full 2.2 hectare green space will help Oak Bay, Saanich, and Victoria to meet our climate goals.

The acquisition also supports implementation of the 2011 Bowker Creek Blueprint endorsed by Oak Bay, Victoria, and Saanich. As envisioned in the Bowker Creek 100 Year Blueprint, the Kings Road Community Nature Green Space is the cornerstone for restoration of a half a kilometer of the Reach 7 Bowker Creek greenway from Richmond Road to Trent Street. Providing a major step towards restoration of the entire Bowker Creek watercourse, it will build on the restoration undertaken by the Oak Bay and give momentum to Victoria’s greenway corridor for Reaches 8 and 9. Reach 7 is the fulcrum for the future greenway connecting Oak Bay, Victoria, and Saanich. Achieving the collective vision for the “Bowker Creek Greenway” will bring direct access for the residents of Oak Bay and Victoria to the regional trails and greenway systems a significant step closer to realization (See Map 2 in attached letter from Saanich).

The District of Saanich has requested a contribution from the City of Victoria of between \$250,000

and \$400,000 and a contribution from the District of Oak Bay of between \$60,000-\$90,000. Staff have recommended that an appropriate funding source for the City's contribution is the 2021 contingency budget.

At this point the City's 2021 contingency budget sits at somewhere between \$423,000 and \$658,000 remaining. Two items which have been provisionally allocated from the contingency budget are Tiny Homes \$110,000, and Additional Policing Support May – September \$125,000 can be funded through the UBCM Strengthening Communities' Services Program Grant, should the City be successful in that grant process. Given that we are just past halfway through the year and given that there are a number of unknowns even with the existing contingency budget allocations, we are recommending, subject to a number of conditions, that the City support the Kings Road Community Nature Green Space preservation effort with a donation of \$250,000.

This initiative has important regional benefits to the communities in the Bowker Creek watershed with regard to climate response, sustaining biodiversity, access to nature, improved hydrological function, active transportation, enjoyment, health, and wellbeing. It is recommended that, subject to a number of conditions, the City support the preservation effort with a donation of \$250,000.

RECOMMENDATIONS

That the City provide a donation of \$250,000 to Saanich for the preservation of the King's Road Community Nature Sanctuary subject to:

1. The District of Oak Bay making a contribution of at least \$60,000.
2. The total fundraising goal being met, ensuring preservation of the entire 2.2 hectare parcel.
3. A plaque or other appropriate measure recognizing the City's contribution on behalf of it's residents.
4. Registering a covenant on title to ensure that the parcel remains green space in perpetuity.
5. An agreement, that would require repayment of the grant (adjusted for inflation) if the land is used for a purpose other than publicly accessible community green space.

Respectfully submitted,


Mayor Helps

 
Councillor Alto Councillor Isitt



The Corporation of the District of Saanich | Mayor's Office

770 Vernon Avenue Victoria BC V8X 2W7 | T 250-475-5510 | F 250-475-5440 | www.saanich.ca

Via email: mayor@oakbay.ca

June 7, 2021

Mayor and Council
District of Oak Bay Municipal Hall
2167 Oak Bay Avenue
Victoria, BC V8R 1G2

Dear Mayor Murdoch and District of Oak Bay Council:

Re: Request to contribute funding for the protection of the Kings Road Community Nature Green Space

I hope you are all very well as we head into the summer months.

On April 26, 2021, Saanich Council considered a [report from the Mayor's Standing Committee for Fundraising for the Kings Road Community Nature Green Space \(KCNGS\)](#) that recommended as follows:

- To contribute \$1.7M from the sale of the Willis Point Property (PID: 009-825-220, Section 127, Lake District Part E ½ of W ½) towards the protection of KCNGS;
- to request funds from Oak Bay and Victoria given the sub-regional nature and connectivity of the space, towards the protecting of KCNGS; and
- to extend the fundraising period by one year to March 2022.

Council resolved to postpone discussion on the contribution of \$1.7M from the sale of the Willis Point Property until replies are received from the District of Oak Bay and the City of Victoria, and to extend the fundraising period. A copy of the Mayor's Standing Committee's report is attached. The minutes of the April 26 Council meeting are available on our [website](#).

Saanich acquired the lands from BC Hydro in 2019 for \$5.5 million. This was enabled through payment of \$1,475,920 from the Land Sale Reserve Fund and \$4,040,400 in temporary borrowing. To avoid selling off portions of the 2.2 hectares for development to recover some of the cost, a fundraising initiative is underway to seek contributions to recover \$2.7M, or 50 per cent.

I write to ask for your kind consideration to assist funding the capital costs to secure protection of 100 per cent of this neighborhood natural green space. We understand the financial impacts of the COVID-19 pandemic place difficult fiscal impacts on municipalities. We are hopeful of a contribution in the range of \$60,000 – \$90,000 from Oak Bay and some \$250,000 – \$400,000 from Victoria.

Together with the potential of \$1.7M from the sale at Willis Point these sums move us closer to the goal of \$2.75M. Community fundraising reached \$36,000 before being completely stalled by the COVID-19 pandemic.

Located close to our shared municipal borders deep in the “panhandle region” of Saanich next to the Royal Jubilee Hospital, this green space provides an important sub-regional local park for residents in our three municipalities (Map 1). When its future is secured the community is committed to restoring KCNGS and the riparian areas along the creek with the planting of additional trees and native and climate-resistant species creating a thriving urban natural space forest and watercourse.

The recent experience with the COVID-19 pandemic reinforces our conviction that urban green spaces provide significant benefits to the mental health and physical wellbeing of our community. The close proximity of KCNGS to Royal Jubilee Hospital and the cancer clinic provides patients, their families, and hospital staff with opportunities to experience the recuperative and healing benefits of this natural green space.

This acquisition aligns with proclamations of the 2021-2030 UN Decade of Ecosystem Restoration, our need to avoid “paving over nature” in 2021, the utilization of nature-based solutions to climate change, and the 2011 Bowker Creek Blueprint endorsed by Oak Bay, Victoria, and Saanich.

As envisioned in the [Bowker Creek 100 Year Blueprint](#), the KCNGS is the cornerstone for restoration of a half a kilometer of the Reach 7 Bowker Creek greenway from Richmond Road to Trent Street. Providing a major step towards restoration of the entire Bowker Creek watercourse it will build on the restoration undertaken by the Oak Bay and give momentum to Victoria’s greenway corridor for Reaches 8 and 9.

Reach 7 is the fulcrum for the future greenway connecting Oak Bay, Victoria, and Saanich. Achieving the collective vision for the “Bowker Creek Greenway” will bring direct access for the residents of Oak Bay and Victoria to the regional trails and greenway systems a significant step closer to realization (Map 2).

The multi-generational, youth-led interest in protecting KCNGS was demonstrated over two decades ago by the initiative of Oak Bay student Maia Green (Fig. 1). Protecting the full area will help Oak Bay, Victoria, and Saanich meet our climate goals.

In summary, this initiative has important regional benefits to the communities in the Bowker Creek watershed with regard to climate response, sustaining biodiversity, access to nature, improved hydrological function, active transportation, enjoyment, health, and wellbeing.

We would appreciate an opportunity to present at a Committee of the Whole or Council meeting to share more information with you and to obtain an understanding of the next steps in fundraising to secure in perpetuity this natural green space for our three municipalities.

Sincerely,

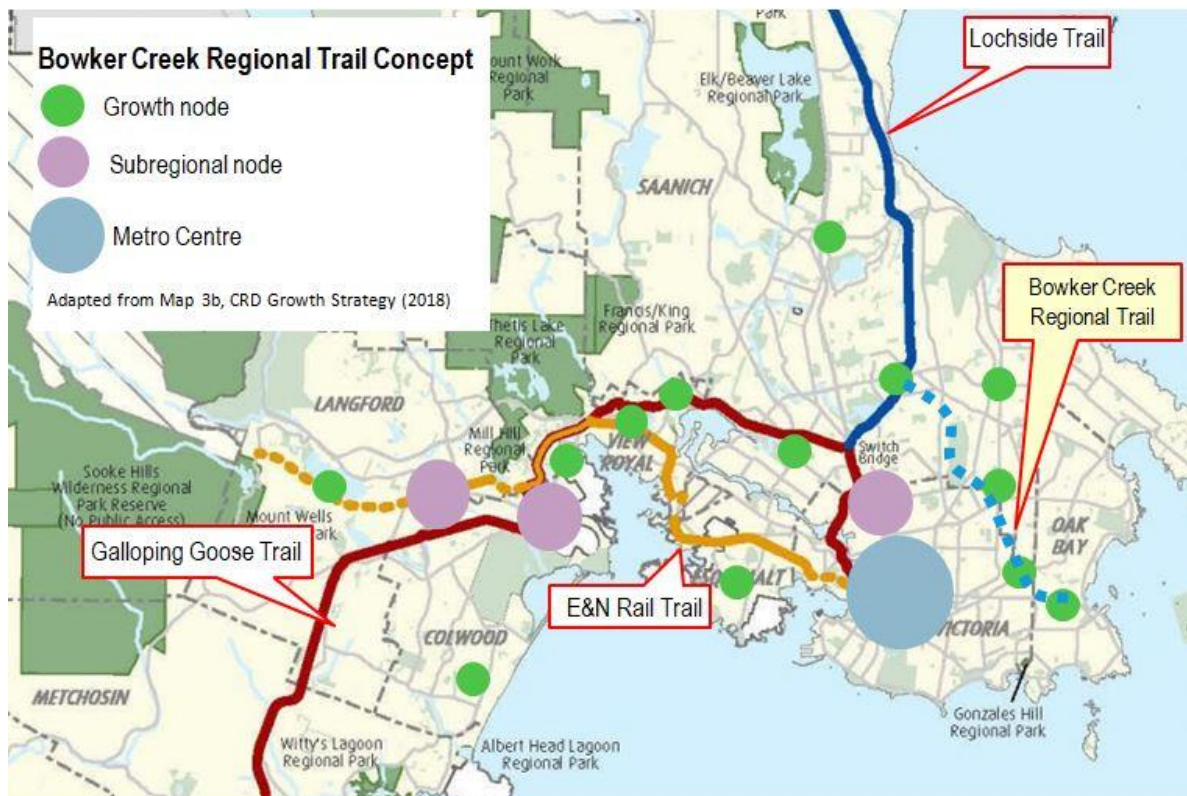


Fred Haynes
Mayor
Attachment

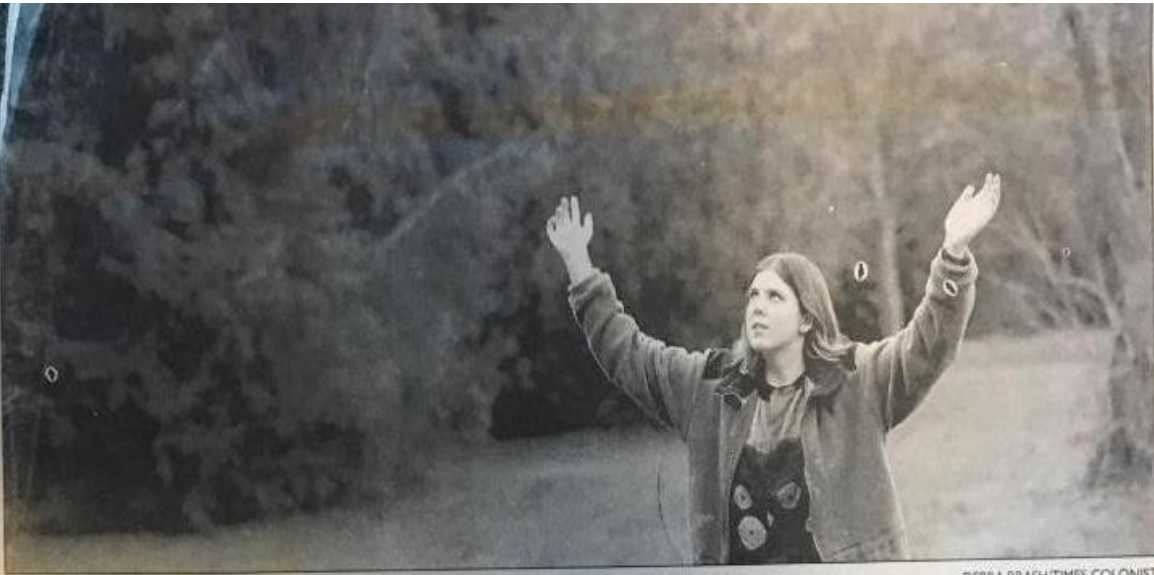
cc: Saanich Council
City of Victoria Mayor and Council
Mayor’s Standing Committee on Fundraising for KCNGS
Friends of Bowker Creek



Map 1. Proximity of the KCNGS to Victoria and Oak Bay and Jubilee Hospital



Map 2. Connection through the Bowker Creek Greenway to access Regional Trails



DEBRA BRASH/TIMES COLONIST

Oak Bay High student Maia Green wants to preserve park between Haultain Street and Kings Road.

▼ ROYAL JUBILEE HOSPITAL

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By Louise Dickson
Times Colonist staff

Oak Bay high school student Maia Green is trying to save a neighbourhood park from being plowed into a temporary parking lot for employees at Royal Jubilee Hospital.

Green, a Grade 11 student and a representative of the school's environmental club, is circulating a petition protesting the proposed conversion of the 2.2 hectare park between Kings Road and Haultain Street into more than 400 parking spaces.

"I'm upset the politicians decided to choose the easiest way to deal with the problem," Green said Sunday. "I think they should have been more creative to benefit more people."

So far Green and several friends have collected about 600 signatures. She is hoping to encourage Victoria-Hillside MLA Steve Orcherton to find other ways of finding parking for about 500 cars which will be needed when construction begins on the new Vancouver Island Cancer clinic at RJH in April.

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struction of an \$8-million parkade was put on hold, and if a temporary solution to the parking problems at the hospital could be found.

One of the key options being looked at by the B.C. Building Corp., which has overall authority to fast-track the clinic, is converting the park — on land owned by B.C. Hydro — into temporary parking spots.

Since the announcement, Orcherton has attended two meetings with community associations. A final meeting will be held at 7 p.m. Wednesday at Begbie Hall.

Orcherton said he will examine every option at the Wednesday meeting.

"But tied to each option is the number of parking spots that could be provided and the cost associated with it."

The MLA said he is considering creating additional parking spots at Royal Jubilee Hospital. He is also studying park-and-ride and park-and-carpool proposals.

In the past week, Orcherton has canvassed people in the neighbourhood to see if anyone has a parking spot in their driveway that could be used by hospital staff.

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Hydro land. But I have to be clear as well. I don't want to see another delay in the building of the cancer clinic," said Orcherton.

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Figure 1. Maia Green, Oak Bay student campaigns to preserve the Kings Road Green Space



The Corporation of the District of Saanich | Mayor's Office

770 Vernon Avenue Victoria BC V8X 2W7 | T 250-475-5510 | F 250-475-5440 | www.saanich.ca

Via email: mayor@victoria.ca

June 7, 2021

Mayor and Council
City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Dear Mayor Helps and City of Victoria Council:

Re: Request to contribute funding for the protection of the Kings Road Community Nature Green Space

I hope you are all very well as we head into the summer months.

On April 26, 2021, Saanich Council considered a [report from the Mayor's Standing Committee for Fundraising for the Kings Road Community Nature Green Space \(KCNGS\)](#) that recommended as follows:

- To contribute \$1.7M from the sale of the Willis Point Property (PID: 009-825-220, Section 127, Lake District Part E ½ of W ½) towards the protection of KCNGS;
- to request funds from Oak Bay and Victoria given the sub-regional nature and connectivity of the space, towards the protecting of KCNGS; and
- to extend the fundraising period by one year to March 2022.

Council resolved to postpone discussion on the contribution of \$1.7M from the sale of the Willis Point Property until replies are received from the City of Victoria and the District of Oak Bay, and to extend the fundraising period. A copy of the Mayor's Standing Committee's report is attached. The minutes of the April 26 Council meeting are available on our [website](#).

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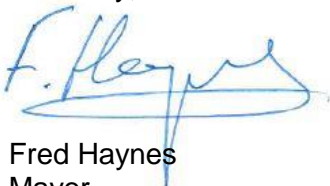
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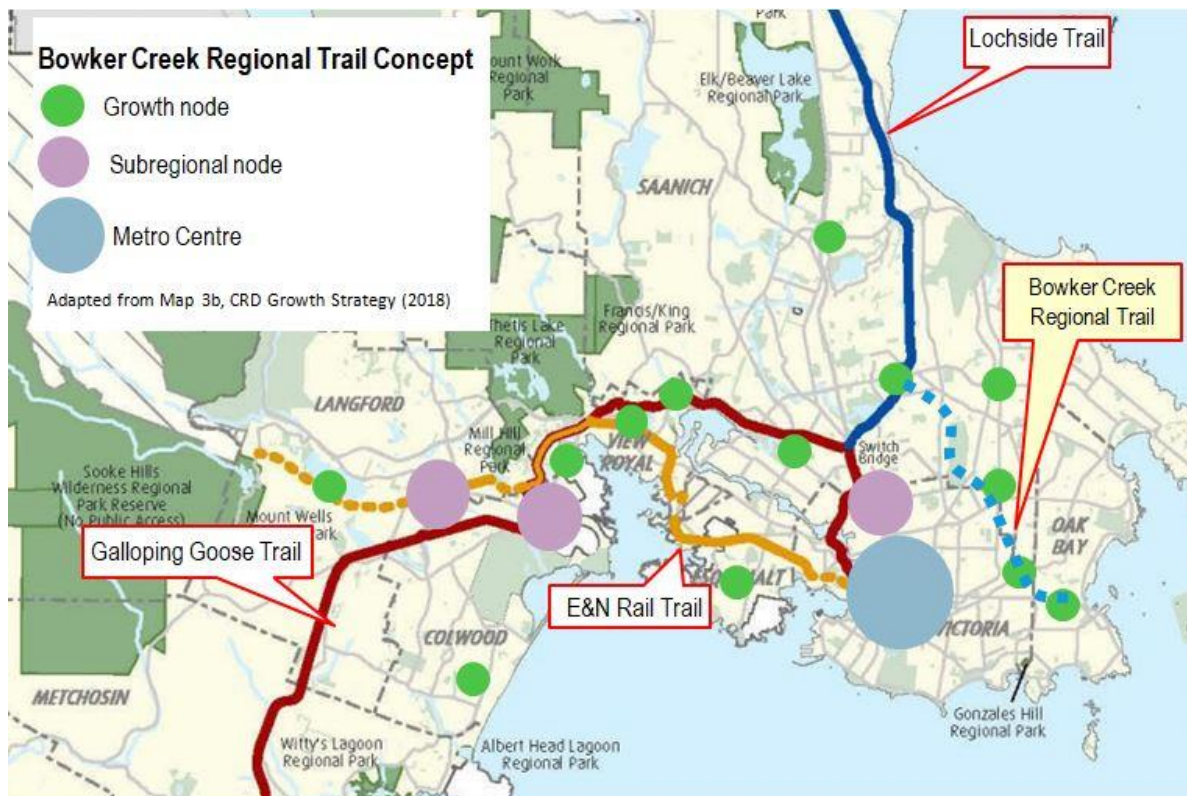


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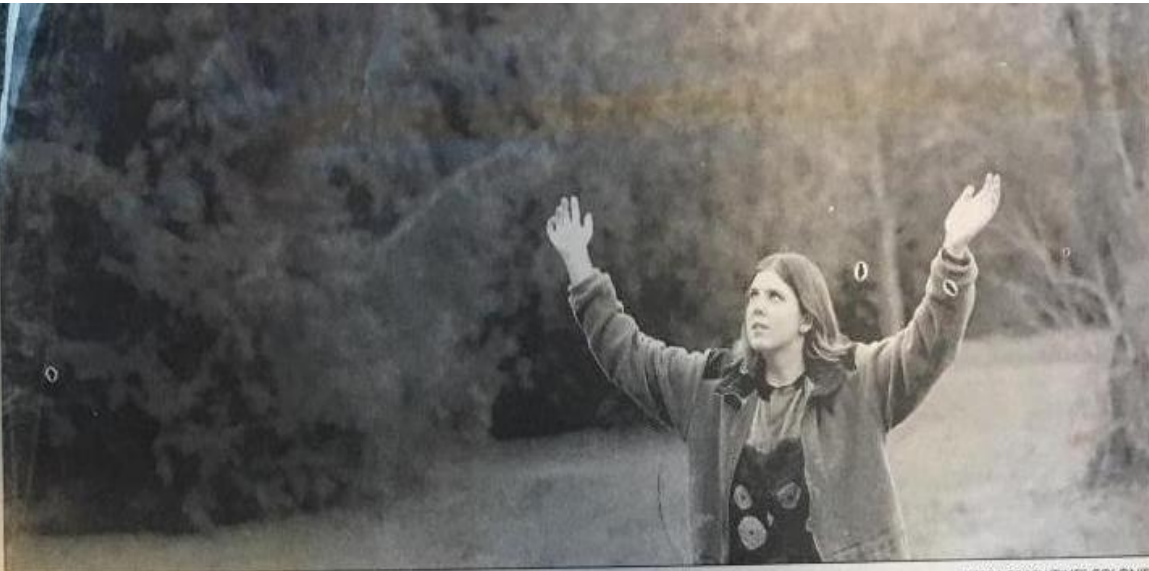
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Council Member Motion

For the Committee of the Whole Meeting of July 08, 2021

To: Committee of the Whole of July 08 **Date:** June 25, 2021
From: Sharmarke Dubow
Subject: **Making Permanent Victoria's Street Patio Policy**

BACKGROUND

In spring 2020, the City created temporary public space initiatives to help local businesses respond to the COVID-19 pandemic. These initiatives, part of Build Back Victoria, have been extended through to October 2021. In response to the great success of this pilot project, Council has received a petition from the Restaurants of Fernwood Square. (See attached.)

RECOMMENDATIONS

1. Council to accept letter appendix 1 and endorse it
2. Council to direct staff to also identify processes for facilitating permanent closures of travel lanes and/or full roadways to facilitate increased public space and/or zones for permitted commercial use, beginning with 1300 Block on Gladstone from Fernwood Street to Stanley Avenue as pilot program.
3. Council direct staff to report back to update and extend the current Business Recovery from Pandemic Bylaw (#20-072) prior to October 31, 2021

Attachments:

Appendix 1: letter from Restaurants from Fernwood Square

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Sharmarke Dubow".

Councillor Dubow

June 15, 2021

Mayor and Council
City of Victoria
#1 Centennial Square
Victoria BC V8W 1P6
mayorandcouncil@victoria.ca

Re: Making Permanent Victoria's Street Patio Policy

The last fifteen months have been devastating for local businesses in Victoria. Small businesses, the lifeblood of our local economy, are facing uncertain times. The hospitality industry in particular has carried the disproportionate brunt of restrictions and public health orders. Our businesses have been repeatedly shut down, and we have faced the stark reality of losing everything we have worked so hard for. And many did. On behalf of the restaurants of Fernwood Village, I implore your support to make permanent the street patios of Gladstone Avenue and Fernwood Square.

We are grateful that early on in the pandemic, our elected officials and staff at the City of Victoria snapped into action, pivoting to tear down red tape to allow us to quickly expand our outdoor spaces into the boulevards, sidewalks, and streets. This agility has been vital to our restaurants surviving the pandemic.

Two unexpected things happened: first, we collaborated closely with the City. We hope that this is a trend that continues. Second, adding outdoor seating to Gladstone Avenue has not only been essential to our survival, Fernwood Village has as a result transformed into a lively, sunny, streetscape. We are proud of the vibrant street culture on Gladstone Avenue that we all helped to cultivate.

Our expanded patios have fundamentally changed the way that our neighbours interact with each other and with us. Patios are not only essential to ensuring our survival in a post-COVID-19 world, but our neighbours and patrons love them, too! Sleepy Gladstone Avenue is now vibrant, walkable and as many of our patrons have noted, rather European. Our restaurants now sell outstanding food and drink, as well as a memorable community-based experience of intimate outdoor dining on Gladstone Ave.

.../2

We are both thrilled and humbled to read in a recent City survey that our little Fernwood Village was recognized as one of the top spaces that the public cares

about for more economic input and support. This economic boost has allowed us to hire over more than 100 staff. Our employees in turn live, work and spend at other local small businesses in Victoria. We need our expanded patios to keep hiring employees, growing our businesses.

We look forward to continued collaboration with the City; to not only aid in this recovery, but to make the changes necessary to build back better. We implore you: do not forget about us, the local small business. The impending end of COVID-19 is really only the end of our beginning. It will take us years to fully recover from the effects of this pandemic. COVID-19 has dumped a giant bag of lemons on the restaurants of Fernwood Village. We would love to take this opportunity to make sweet lemonade to serve on our patios for years to come!

Please, when the time comes: vote to make the current the outdoor patio seating a permanent addition to Gladstone Avenue, ahead of the current policy expiring in October 2021.

Thank you,

The Restaurants of Fernwood Square



Council Member Motion
For the Committee of the Whole Meeting of July 8 2021

To: Committee of the Whole **Date:** June 30 2021
From: Mayor Helps
Subject: Strategic Plan Workshop and 2022 Budget Motions

BACKGROUND

Each year staff prepares next year's budget over the summer and presents it to Council and the public in draft form in the fall. Each year during the budget presentation, Council passes a series of motions directing staff to report back on potential projects or expenditures for the upcoming year. The outcomes of these staff motions are reported back to Council at the same time as public feedback in January. This year to give staff more time for thoughtful consideration of Council direction and to allow for better planning, it is recommended that Council give thought earlier in the process to anything it may consider undertaking in 2022 that is not already:

- a.) In the 20-year Capital Plan
- b.) In the Strategic Plan
- c.) Part of regular city operations and existing service levels

In addition, as part of the budget process, Council also aligns its Strategic Plan with the budget to ensure that there are the financial and human resources to achieve the actions laid out in the plan.

At the beginning of the term, Council set a very ambitious Strategic Plan. Despite being one council member short for more than a year and governing through a global health pandemic while managing the challenges and uncertainty that came with it, many items in Council's Strategic Plan have been actioned. And the Strategic Plan has been amended since 2018 to add new and sometimes significant action items in response to emerging circumstances, such as the Office of Equity, Diversity and Inclusion.

We are heading into the last year of our term and it's clear at this point that it is not possible to achieve the 63 remaining action items in 2021 and 2022. Rather than have things a.) either drop off by default of because of lack of staff capacity or b.) try to achieve all the actions and not do any of them very well, I am recommending that Council reprioritize and eliminate some 2021 and 2022 action items.

In preparation for this workshop, each member of Council has been provided with a survey asking them to rank each 2021 item and each 2022 action in order of priority. (See Appendix A.) The totals for each action will be added up and divided by the number of councillors that took the survey. The 2021 actions and 2022 actions will then be ranked from highest priority to lowest

priority, based on the survey results from Council. This will form the basis for the workshop. Motions can be made to remove items from the Strategic Plan.

RECOMMENDATIONS

That Council:

1. Review the priority ranking that Council has given to 2021 and 2022 Strategic Plan action items and make any adjustments necessary.
2. Put forward any motions directing staff to report back on specific items for the 2022 budget.

Respectfully submitted,

Mayor Helps

Strategic Plan Pre-Workshop Survey for Council

In 2021 there are 35 of strategic plan items. Please rank these in order of importance 1 being most important, 35 being least important.

In 2022, there are 28 strategic plan items. Please rank these in order of importance 1 being most important, 28 being least important.

In preparation for the strategic plan workshop at Committee of the Whole on July 8th, we will average the results for each action item and rank them as a starting point for the discussion. Any questions of clarification, please email gmline@victoria.ca

NB Anything in the 2021 strategic plan already approved by Council and/or operationalized has not be included in the survey.

2021 Action Items from the Strategic Plan Rank from 1 to 35, where 1 is most important and 35 is least important.

	Good Governance and Civic Engagement
	Develop measurement and monitoring process to assess community happiness and well-being.
	Improve proactive disclosure of closed meeting records and decisions quarterly.
	Begin holding four town halls per year, one per quarter to engage residents, youth, business, organized labour and other stakeholders, including a tri-annual check in with Council on the topics for these town halls.
	Continue to implement Youth Strategy.
	Complete and implement Real Estate Strategy.
	Create a lobbyist registry.
	Reconciliation and Indigenous Relations
	Establish an Indigenous Relations function.
	Affordable Housing
	Implement rental-only zoning.
	Implement Market Rental Revitalization Program.

	Incentivize development of rental housing and look for further opportunities to expedite and simplify development processes for affordable rental housing.
	Incentivize and mandate the creation of family appropriate two- and three- bedroom rental units.
	Identify funding mechanisms to acquire land to facilitate federal, provincial and regional investment in affordable housing.
	Explore the expanded use of tax exemptions to create more affordable housing.
	Undertake a city-wide planning exercise to identify suitable locations for townhouses and houseplexes; Support houseplexes as a form of multi-unit housing that provide a sensitive transition within neighbourhoods; Support more family housing including townhouses and row houses; Support new ground-oriented housing forms and lock-off suites.
	Consider a comprehensive amendment to the Zoning Bylaw to permit all “Missing Middle” housing forms without need for rezoning or development permit.
	Explore opportunities for increasing food production on private land; Support food infrastructure including farmers markets, and storage and distribution; Support neighbourhood food/meal programs; Soil test and consider shade implications of City-owned land and potential land acquisition; Working with specialists in the field, explore agriculture water rates for food production in the city on land that is used principally for food production; Advocate to BC Assessment for farm classification for lands being used principally to grow food and consider lowering the tax rates for urban farms (once designated by BC Assessment) Work with non-profits to bring back the Sharing Backyards Program.
	Climate Leadership and Environmental Stewardship
	Facilitate tree planting events and celebrations in partnership with residents and community organizations, and other public bodies, including in the United Nations Trees in Cities Challenge.
	Mandate green shores practices on waterfront development.
	Increase protection for shoreline areas and Garry Oak ecosystem including the shoreline between Gonzales Bay and Ross Bay and the shoreline along Gorge Waterway.
	Introduce regulations to ban and/or restrict problematic single use items (coffee cups, take out containers, straws, etc.) while taking into consideration accessibility needs.
	Begin to plan for mitigating the inflow and infiltration issues on private property.
	Expedite implementation of the BC Step Code.

	Engage Burnside-Gorge and Victoria West residents on a streamlined process to update the management plans for the following parks and greenspaces, with a view toward improving ecological stewardship and low-impact recreation: Arm Street Park, Burleith Park, Banfield Park, Arbutus Park, and the public foreshore at the foot of Harriet Street.
	Work with the Greater Victoria Harbour Authority on options for shore power and lower emissions ground transportation.
	Sustainable Transportation
	Support greenway improvements in neighbourhoods; Including renewing Subdivision and Development Servicing Bylaw, Greenways Plan and associated City policies and bylaws to allow for alternate design treatments for shared streets on identified greenways.
	Lower speed limits on local neighbourhood streets to 30 km per hour.
	Strong, Liveable Neighbourhoods
	Develop a Municipal Alcohol Policy to address concerns brought forward by the Late Night Advisory Committee.
	Explore opportunities to expand the Quadra Village Community Centre and greenspace in partnership with the Downtown Blanshard Advisory Committee and the CRD.
	Review the Noise Bylaw.
	Review CALUC process including clear terms of reference for increasing diversity (youth, renters, etc.), capacity building, term limits and a transparent and democratic process for selecting members.
	Review and consider additional resources (financial and training) for CALUCs.
	Explore partnerships to create meeting space and a home base for the Downtown Residents Association.
	Facilitate a series of virtual engagement events to share community profile information and advance discussions on imbedding equity into the Engagement Framework.
	Work with the Greater Victoria Public Library to provide library services in the north end of the city.
	Continue the “Open Government Street to Pedestrians” pilot.

2022 Action Items from the Strategic Plan Rank from 1 to 28, where 1 is most important and 28 is least important.

	Good Governance and Civic Engagement
	Offer training to staff, Council members and community leaders in best practices in respectful facilitation; identify challenging topics for engagement in advance and ensure that everyone involved (staff and community leaders) have adequate training to lead engagement.
	Develop and implement processes for convening the community and gathering input on what the community is interested in giving input on — not only engaging when City Hall has a question for the community.
	Undertake a staff salary review.
	Reconciliation and Indigenous Relations
	Establish an Indigenous Relations function.
	Increase protection for Indigenous cultural heritage sites in land use and development processes.
	Appoint Indigenous Elders in Residence to provide advice on municipal programs, initiatives and operations.
	Deliver the experiential portion of the reconciliation training to those interested participants first.
	Affordable Housing
	Consider a grant program for secondary suites including those that are accessible and serve an aging population.
	Examine a grant program to incentivize the creation of affordable garden suites.

	Allow tiny homes and garden suites on lots that already have secondary suites or duplexes.
	Expand garden suite program to allow larger units on larger lots.
	Develop relevant partnerships and pilot a project matching seniors with extra bedrooms with eligible lodgers.
	Prosperity and Economic Inclusion
	Talk with industrial landowners, managers and users about industrial land — its use, zoning, taxation, etc. — review industrial land use and values every five years.
	Explore land use and business licence regulations to limit predatory lending and pay-day loans.
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	Health, Well-Being and a Welcoming City
	Create a Welcoming City Strategy (funding for implementation).
	Partner (potentially with the Downtown Victoria Business Association) to create a program to make businesses barrier free.
	Create an LGBTQi2S Task Force to create an LGBTQi2S Strategy.
	Crystal Pool and Wellness Centre Replacement.
	Climate Leadership and Environmental Stewardship
	Create Climate Champion program.
	Initiate a Parks and Open Spaces Acquisition Strategy to identify priorities for parkland acquisition that align with Official Community Plan, Parks and Open Spaces Master Plan, and other approved City plans.
	Explore opportunities for renewable energy generation and district energy opportunities.
	Sustainable Transportation
	Explore the expansion of fare-free public transit to low income people, seniors and other residents.
	Strong, Livable Neighbourhoods

	Establish a community centre for North Park.
	Review the Heritage Tax Exemption program.
	Explore the creation of a Jubilee Community Centre.
	Review the Ship Point Improvement Plan and consider funding options.
	Work with School District 61 to explore use of Sundance School as a community centre for a Jubilee.

2021 Action Items from the Strategic Plan Rank from 1 to 35, where 1 is most important and 35 is least important.

Good Governance + Civic Engagement

Reconciliation and Indigenous Relations

Affordable Housing

Climate Leadership and Environmental Stewardship

Sustainable Transportation

Strong Liveable Neighbourhoods

1	60	Establish an Indigenous Relations function.
2	67	Undertake a city-wide planning exercise to identify suitable locations for townhouses and houseplexes; Support houseplexes as a form of multi-unit housing that provide a sensitive transition within neighbourhoods; Support more family housing including townhouses and row houses; Support new ground-oriented housing forms and lock-off suites.
3	83	Implement Market Rental Revitalization Program.
4	86	Incentivize development of rental housing and look for further opportunities to expedite and simplify development processes for affordable rental housing.
5	87	Incentivize and mandate the creation of family appropriate two- and three- bedroom rental units.
6	87	Increase protection for shoreline areas and Garry Oak ecosystem including the shoreline between Gonzales Bay and Ross Bay and the shoreline along Gorge Waterway.
7	93	Complete and implement Real Estate Strategy.
9	100	Consider a comprehensive amendment to the Zoning Bylaw to permit all “Missing Middle” housing forms without need for rezoning or development permit.
10	100	Continue the “Open Government Street to Pedestrians” pilot.
11	101	Review CALUC process including clear terms of reference for increasing diversity (youth, renters, etc.), capacity building, term limits and a transparent and democratic process for selecting members.
12	102	Engage Burnside-Gorge and Victoria West residents on a streamlined process to update the management plans for the following parks and greenspaces, with a view toward improving ecological stewardship and low-impact recreation: Arm Street Park, Burleith Park, Banfield Park, Arbutus Park, and the public foreshore at the foot of Harriet Street.
8	102	Continue to implement Youth Strategy.

13	113	Implement rental-only zoning.
14	113	Mandate green shores practices on waterfront development.
15	114	Develop a Municipal Alcohol Policy to address concerns brought forward by the Late Night Advisory Committee.
16	116	Facilitate a series of virtual engagement events to share community profile information and advance discussions on imbedding equity into the Engagement Framework.
17	123	Begin holding four town halls per year, one per quarter to engage residents, youth, business, organized labour and other stakeholders, including a tri-annual check in with Council on the topics for these town halls.
18	119	Begin to plan for mitigating the inflow and infiltration issues on private property.
19	125	Lower speed limits on local neighbourhood streets to 30 km per hour.
20	129	Work with the Greater Victoria Harbour Authority on options for shore power and lower emissions ground transportation.
21	138	Explore opportunities to expand the Quadra Village Community Centre and greenspace in partnership with the Downtown Blanshard Advisory Committee and the CRD.
22	138	Review the Noise Bylaw.
23	140	Identify funding mechanisms to acquire land to facilitate federal, provincial and regional investment in affordable housing.
24	144	Explore partnerships to create meeting space and a home base for the Downtown Residents Association.
25	145	Review and consider additional resources (financial and training) for CALUCs.
26	146	Work with the Greater Victoria Public Library to provide library services in the north end of the city.
27	153	Expedite implementation of the BC Step Code.

28	155	Explore opportunities for increasing food production on private land; Support food infrastructure including farmers markets, and storage and distribution; Support neighbourhood food/meal programs; Soil test and consider shade implications of City-owned land and potential land acquisition; Working with specialists in the field, explore agriculture water rates for food production in the city on land that is used principally for food production; Advocate to BC Assessment for farm classification for lands being used principally to grow food and consider lowering the tax rates for urban farms (once designated by BC Assessment) Work with non-profits to bring back the Sharing Backyards Program.
29	155	Introduce regulations to ban and/or restrict problematic single use items (coffee cups, take out containers, straws, etc.) while taking into consideration accessibility needs.
30	157	Develop measurement and monitoring process to assess community happiness and well-being.
31	161	Improve proactive disclosure of closed meeting records and decisions quarterly.
32	167	Support greenway improvements in neighbourhoods; Including renewing Subdivision and Development Servicing Bylaw, Greenways Plan and associated City policies and bylaws to allow for alternate design treatments for shared streets on identified greenways.
33	168	Explore the expanded use of tax exemptions to create more affordable housing.
34	169	Facilitate tree planting events and celebrations in partnership with residents and community organizations, and other public bodies, including in the United Nations Trees in Cities Challenge.
35	205	Create a lobbyist registry.

2022 Action Items from the Strategic Plan Rank from 1 to 27, where 1 is most important and 27 is least important.

Good Governance + Civic Engagement

Reconciliation and Indigenous Relations

Affordable Housing

Prosperity and Economic Inclusion

Health, Well Being and a Welcoming City

Climate Leadership and Environmental Stewardship

Sustainable Transportation

Strong Liveable Neighbourhoods

1	49	Establish an Indigenous Relations function.
2	58	Initiate a Parks and Open Spaces Acquisition Strategy to identify priorities for parkland acquisition that align with Official Community Plan, Parks and Open Spaces Master Plan, and other approved City plans.
3	60	Deliver the experiential portion of the reconciliation training to those interested participants first.
4	63	Increase protection for Indigenous cultural heritage sites in land use and development processes.
5	69	Allow tiny homes and garden suites on lots that already have secondary suites or duplexes.
6	69	Partner (potentially with the Downtown Victoria Business Association) to create a program to make businesses barrier free.
7	71	Consider a grant program for secondary suites including those that are accessible and serve an aging population.
8	77	Create a Welcoming City Strategy (funding for implementation).
9	77	Review the Ship Point Improvement Plan and consider funding options.
10	90	Explore the creation of a Jubilee Community Centre.
11	92	Appoint Indigenous Elders in Residence to provide advice on municipal programs, initiatives and operations.
12	93	Examine a grant program to incentivize the creation of affordable garden suites.
13	93	Explore the expansion of fare-free public transit to low income people, seniors and other residents.
14	98	Develop and implement processes for convening the community and gathering input on what the community is interested in giving input on — not only engaging when City Hall has a question for the community.
15	101	Establish a community centre for North Park.

16	107	Create Climate Champion program.
17	111	Expand garden suite program to allow larger units on larger lots.
18	112	Talk with industrial landowners, managers and users about industrial land — its use, zoning, taxation, etc. — review industrial land use and values every five years.
19	112	Crystal Pool and Wellness Centre Replacement.
20	114	Develop relevant partnerships and pilot a project matching seniors with extra bedrooms with eligible lodgers.
21	115	Work with School District 61 to explore use of Sundance School as a community centre for a Jubilee.
22	126	Review the Heritage Tax Exemption program.
23	131	Offer training to staff, Council members and community leaders in best practices in respectful facilitation; identify challenging topics for engagement in advance and ensure that everyone involved (staff and community leaders) have adequate training to lead engagement.
24	143	Undertake a staff salary review.
25	143	Explore land use and business licence regulations to limit predatory lending and pay-day loans.
26	148	Create an LGBTQi2S Task Force to create an LGBTQi2S Strategy.
27	155	Explore opportunities for renewable energy generation and district energy opportunities.