



REVISED AGENDA - VICTORIA CITY COUNCIL

Thursday, July 15, 2021

6TH FLOOR BOARDROOM, CAPITAL REGIONAL DISTRICT, 625 FISGARD STREET, VICTORIA, B.C.

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Due to the COVID-19 Pandemic, public attendance at Council Meetings is not permitted. This meeting may be viewed on the City's webcast at www.victoria.ca

Pages

A. CONVENE COUNCIL MEETING

B. APPROVAL OF AGENDA

C. READING OF MINUTES

C.1. Corrected Minutes from the daytime meeting held November 12, 2020

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A section of the minutes were omitted when the minutes were adopted in 2020. That omission is now included and the minutes are before Council for consideration of adoption as corrected.

D. PROCLAMATIONS

E. REPORTS OF COMMITTEE

E.1. Committee of the Whole

E.1.a. Report from the July 15, 2021 COTW Meeting

Placeholder for time sensitive motions

E.1.a.a. Rezoning Application No. 00785 for Gorge Waterway Park

F. BYLAWS

F.1. Bylaw for 1314-1318 & 1324 Wharf St (Northern Junk) Rezoning Application No. 00701 and Heritage Alteration Permit No. 00236

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A report recommending:

- 1st and 2nd readings of:

- Zoning Regulation Bylaw, Amendment Bylaw (No. 1256), No. 21-061
- **1st, 2nd, and 3rd reading of:**
 - Housing Agreement (1314 and 1318 Wharf Street) Bylaw (2021), No. 21-062

The application is ready to proceed to Public Hearing and proposes to redevelop the existing heritage buildings with a residential, ground floor commercial, mixed use addition. This application is concurrent with Heritage Alteration Permit application No. 00236

F.2. Bylaw for 546 Yates St and 566-568 Yates St: Rezoning Application No. 00770

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A report recommending:

1st and 2nd readings of: Zoning Bylaw 2018, Amendment Bylaw (No. 9), No. 21-071

The application is ready to proceed to Public Hearing and proposes to allow for the use of Storefront Cannabis Retailer at 566-568 Yates Street and remove the use of Storefront Cannabis Retailer from 546 Yates Street.

F.3. Bylaw for Gorge Waterway Park District

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Pending approval at the July 15, 2021 meetings.

A report recommending:

- **1st and 2nd reading of:**
 - Zoning Regulation Bylaw, Amendment Bylaw (No. 1258), No. 21-072

The application is ready to proceed to public hearing and proposes to amend the Zoning Regulation Bylaw to allow for public docks, wharfs and piers.

F.4. Bylaw for Tax Incentive Bylaw for 727 Yates Street

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A report recommending:

- **1st, 2nd and 3rd readings of:**
 - Tax Exemption (727 Yates Street) Bylaw, No. 21-042

To assist in the preservation and rehabilitation of the heritage building located at 727 Yates Street known as the “Hall Block”, including the seismic upgrading

of the heritage building, by exempting a portion of the land from a portion of municipal property taxes for 10 years.

F.5. Bylaw for Land Use Procedure Bylaw

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Adoption of:

- Land Use Procedures Bylaw, Amendment Bylaw (No. 13). No. 21-055

To amend the Land Use Procedures Bylaw to require applicants to post development application signs on the site to notify the public of input opportunities prior to the submission of a development application and to participate in a community meeting where the Community Association Land Use Committee elects to host a meeting by electronic participation in place of an in-person community meeting during the COVID-19 pandemic.

***G. CORRESPONDENCE**

***G.1. Letter from the Corporation of the District of Saanich**

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Addendum: New Item

A letter from the Mayor of the Corporation of the District of Saanich to the Prime Minister regarding residential schools.

H. CLOSED MEETING

MOTION TO CLOSE THE JULY 15, 2021 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Section 90(1)(c) labour relations or other employee relations;

Section 90(1)(e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;

I. APPROVAL OF CLOSED AGENDA

- J. READING OF CLOSED MINUTES
- K. UNFINISHED BUSINESS
- L. CORRESPONDENCE
- M. NEW BUSINESS
 - M.1. Legal Advice - Community Charter Section 90(1)(i)
 - M.2. Land - Community Charter Section 90(1)(e)
 - M.3. Land - Community Charter Section 90(1)(e)
 - M.4. Employee Relations - Community Charter Section 90(1)(c)
- N. CONSIDERATION TO RISE & REPORT
- O. ADJOURNMENT



MINUTES - VICTORIA CITY COUNCIL

November 12, 2020, 3:07 P.M.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Dubow, Councillor Loveday (joined at 3:30 p.m.), Councillor Potts, Councillor Thornton-Joe, Councillor Young

ABSENT: Councillor Isitt

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, P. Bruce - Fire Chief, C. Coates - City Clerk, T. Soulliere - Director of Parks, Recreation & Facilities, T. Zworski - City Solicitor, B. Eisenhauer - Head of Engagement, K. Hoese - Director of Sustainable Planning and Community Development, C. Havelka - Deputy City Clerk, C. Mycroft - Manager of Executive Operations, AK Ferguson - Committee Secretary

B. APPROVAL OF AGENDA

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the agenda be approved

Amendment:

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the Committee of the Whole Report from November 12, 2020 be added to the agenda.

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

C. READING OF MINUTES

C.1 Minutes from the daytime meeting held October 15, 2020

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the minutes from the daytime meeting held October 15, 2020 be adopted.

CARRIED UNANIMOUSLY

D. PROCLAMATIONS

D.1 "Rising Economy Week" - November 16 - 20, 2020

Moved By Councillor Alto

Seconded By Councillor Dubow

That the following proclamation be endorsed:

- Rising Economy Week - November 16 - 20, 2020

CARRIED UNANIMOUSLY

D.2 "Day of Awareness for Survivors of Financial Abuse and Economic Injustice" - November 26, 2020

Moved By Councillor Alto

Seconded By Councillor Potts

That the following proclamation be endorsed:

- Day of Awareness for Survivors of Financial Abuse and Economic Injustice - November 26, 2020

CARRIED UNANIMOUSLY

D.3 "Orange Days: End Violence Against Women and Girls" – November 25, 2020 to December 10, 2020

Council discussed:

- *Whether it is possible to light up the fountain or City Hall in orange.*

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That the following proclamation be endorsed:

- Orange Days: End Violence Against Women and Girls - November 25, 2020 to December 10, 2020

CARRIED UNANIMOUSLY

D.4 "World Diabetes Day" – November 14, 2020

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That the following proclamation be endorsed:

- World Diabetes Day - November 14, 2020

CARRIED UNANIMOUSLY

F. REPORTS OF COMMITTEE

F.1 Committee of the Whole

F.1.a Report from the November 5, 2020 COTW Meeting

**F.1.a.a 611 and 629 Speed Avenue -Development Variance Permit
No. 00243 (Burnside)**

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No. 00243 for 611 and 629 Speed Avenue, in accordance with:

1. Plans date stamped October 14, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the site area of proposed strata lot 1 from 5340m² to 2112m²;
 - ii. reduce the site area of proposed strata lot 2 from 5340m² to 3237m²;
 - iii. reduce the required number of residential parking spaces from 65 to 16 for strata lot 1;
 - iv. reduce the required number of visitor parking spaces from 7 to 4 for strata lot 1.
3. The applicant must provide two car share vehicles, two designated car share parking spaces with energized electrical outlets each capable of 240 volts and 30 amps, 100 car share memberships and usage credits in Phase 1, to the satisfaction of the Director of Sustainable Planning and Community Development.
4. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY

**F.1.a.b 1002 Vancouver Street: Development Permit with Variance
Application No. 00154 (Fairfield)**

Moved By Councillor Young

Seconded By Councillor Thornton-Joe

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with a Variance Application No. 00154 for 1002 Vancouver Street, in accordance with:

- Plans date stamped August 19, 2020.
- Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the rear yard setback from 6.65 metres to 0.3 metres
 - ii. reduce the minimum parking requirement from 31 spaces to 10 spaces *Development Variance Permit Application No. 00195 reduced the parking requirement from 21 spaces to 12 parking spaces
- The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

F.1.a.c Equity Workshop - Update, Community Profile, Next Steps

Moved By Councillor Dubow

Seconded By Councillor Alto

That Council receive this report for information.

CARRIED UNANIMOUSLY

F.1.a.d 1133 Fort Street: Rezoning Application No. 00727 (Fairfield)

Moved By Councillor Young

Seconded By Councillor Thornton-Joe

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment and Land Use Contract Discharge Bylaw that would authorize the proposed development outlined in Rezoning Application No. 00727 for 1133 Fort Street, that first and second reading of the Zoning Regulation Bylaw Amendment and Land Use Contract Discharge Bylaw be considered by Council and a Public Hearing date be set.

CARRIED UNANIMOUSLY

F.1.a.e 1628 Edgeware Road: Rezoning Application No. 00726 and Development Permit with Variances Application No. 00138 (Oaklands)

Moved By Councillor Potts
Seconded By Councillor Alto

Rezoning Application No. 00726

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00726 for 1628 Edgeware Road, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

- Preparation and execution of a legal agreement to secure operational details including staffing and services offered, to the satisfaction of the Director of Sustainable Planning and Community Development.
- Preparation and execution of a statutory right-of-way of 1.18m along the rear lane, to the satisfaction of the Director of Engineering and Public Works.

Development Permit with Variances Application No. 00138

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00726, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00138 for 1628 Edgeware Road, in accordance with:

1. Plans date stamped October 5, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front yard setback from 7.5m to 6.75m
 - ii. reduce the rear yard setback from 9.14m to 8.3m
 - iii. reduce the combined side yard setbacks from 4.5m to 3.04m
 - iv. increase the site coverage from 40% to 41.4%
 - v. reduce the required vehicle parking from 6 stalls to 1 stall.
3. Registration of legal agreements on the property's title to secure the operation of the rest home facility, to the satisfaction of the Director of Sustainable Planning and Community Development.
4. Final plans to be generally in accordance with plans date stamped October 5, 2020.
5. The Development Permit lapsing two years from the date of this resolution."

FOR (5): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Potts, and Councillor Young

OPPOSED (1): Councillor Thornton-Joe

CARRIED (5 to 1)

F.1.a.f 1834 Stanley Avenue: Work Without Permit - Bylaw File #156641

Moved By Councillor Potts

Seconded By Councillor Young

1. That the Council direct the City Clerk to file a notice in the Land Title Office in relation to a property located at 1834 Stanley Avenue, legally described as *SECTION 75 VICTORIA PLAN VIP206 PARCEL B, E PT LOTS 14/15/16 HERITAGE DESIGNATION* indicating that a resolution relating to this property has been made under the authority delegated pursuant to Section 57(3) of the *Community Charter* and the provisions of the *Property Maintenance Delegation Bylaw*, and advise that further information regarding this resolution may be inspected at the Legislative & Regulatory Services Department in Victoria City Hall.

FOR (5): Mayor Helps, Councillor Dubow, Councillor Potts, Councillor Thornton-Joe, and Councillor Young

OPPOSED (1): Councillor Alto

CARRIED (5 to 1)

F.1.a.g 2021-2025 Draft Financial Plan

Moved By Councillor Potts

Seconded By Councillor Dubow

That Council receive this report for information and give further consideration on November 30, 2020.

CARRIED UNANIMOUSLY

F.1.a.h Council Member Motion: Extended Hours for Showers and Washrooms

Councillor Thornton-Joe advised she is still waiting for BC Housing and Island Health. She noted that Our Place will proceed with the initiative as there is a fundraising effort available.

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That the City continue to provide funding to Our Place through Emergency Management BC for shower services and to seek funding from Island Health and BC Housing to extend services to provide showers from 8am to 9pm daily.

That staff report back to Council should Emergency Management BC indicate that it intends to withdraw its funding.

CARRIED UNANIMOUSLY

F.1.a.i Council Member Motion: Access to Transit

Moved By Councillor Potts

Seconded By Councillor Dubow

- That the City of Victoria allocate up to \$2812.50 per month to the Community Social Planning Councils BC Transit Ticket Assistance Program, from the financial stability reserve, for the provision of transit fare for persons sheltering outdoors.
- That the City of Victoria work with the Coalition to End Homelessness, the Community Social Planning Council, and existing distributors to determine a distribution plan for transit fare.
- That this funding allocation be reviewed in 3 months time.

CARRIED UNANIMOUSLY

F.1.b Report from the November 12, 2020 COTW Meeting

F.1.b.a Implications of Sheltering Set-backs from Private Property Boundaries Adjacent to Parks and Open Spaces

Moved By Councillor Young

Seconded By Councillor Thornton-Joe

That Council direct staff to prepare a bylaw amendment for first reading, introducing a set back provision of 4 metres between a shelter erected in accordance with 16A of the Parks Regulation Bylaw, and adjacent private property.

FOR (5): Mayor Helps, Councillor Dubow, Councillor Potts, Councillor Thornton-Joe, and Councillor Young

OPPOSED (1): Councillor Alto

CARRIED (5 to 1)

F.1.b.b 1908, 1916, and 1920 Oak Bay Avenue - Update to Rezoning Application No. 00694 and Development Permit with Variances Application No. 000551

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

Rezoning Application No. 00694

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw amendments that would authorize the

proposed development outlined in Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of legal agreements to:
 - a. ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
 - b. secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i. \$25,000 towards the construction of a crosswalk
 - ii. one car share membership per dwelling unit
 - iii. one car share membership per commercial unit
 - iv. one hundred dollars in car share usage credits per membership
 - v. electric vehicle conduits for all underground parking stalls
 - vi. four electric vehicle charging stations
 - vii. 24 electric bike charging stations
 - viii. one bicycle repair station;
 - c. secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works; and
 - d. to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i. public realm improvements to Oak Bay Avenue and Redfern Street; and
 - ii. removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

Development Permit with Variances Application No. 000551

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue, in accordance with:

1. Plans date stamped September 29, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00m to 2.30m;

- ii. reduce the rear setback (north) from 6.00m to 5.30m;
 - iii. reduce the interior lot line setback (west) for the second and third storeys from 2.40m to 1.00m;
 - iv. reduce the interior lot line setback (west) for the second storeys from 2.40m to 0.15m for planter boxes;
 - v. reduce the flanking street setback (east) from 2.40m to 0.35m;
 - vi. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vii. reduce the number of residential vehicle parking spaces from 44 to 43;
 - viii. increase the distance between entrances and the short term bicycle parking from 15m to 48.1m;
 - ix. increase the number of storeys from 4 to 5;
 - x. increase the height from 15m to 17.68m.
3. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

F.1.b.c Sheltering Impacts Within the Downtown Victoria Business Association

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That Council receive this report for information and add Centennial Square to the list of prohibited spaces for camping with this provision to expire at the same time as those in section 16B of the Parks Regulation Bylaw.

Amendment:

Moved By Mayor Helps
Seconded By Councillor Alto

That Council receive this report for information and add Centennial Square to the list of prohibited spaces for camping with this provision to expire at the same time as those in section 16B of the Parks Regulation Bylaw **and that Council direct staff to bring back for Council's consideration this section in early March 2021**

FOR (4): Mayor Helps, Councillor Alto, Councillor Thornton-Joe, and Councillor Young

OPPOSED (2): Councillor Dubow, and Councillor Potts

CARRIED (4 to 2)

On the main motion as amended:

That Council receive this report for information and add Centennial Square to the list of prohibited spaces for camping with this provision to expire at the same time as those in section 16B of the Parks Regulation Bylaw and that Council direct staff to bring back for Council's consideration this section in early March 2021.

FOR (5): Mayor Helps, Councillor Alto, Councillor Potts, Councillor Thornton-Joe, and Councillor Young

OPPOSED (1): Councillor Dubow

CARRIED (5 to 1)

F.1.b.d Council Member Motion: Immediate Temporary and Long-Term Housing Solutions for People Sheltering in City Parks and repealing Temporary Adjustments to the Parks Regulation Bylaw

Moved By Mayor Helps
Seconded By Councillor Alto

1. That Council direct staff to work with a private land owner or use city-owned land for the construction of temporary tiny home clusters of no more than 30 units beginning with one pilot project in Q1 of 2021 subject to the availability of one year of operating funding from BC Housing.
2. That Council allocate a portion of the City's federal-provincial restart money to help fund solutions that will move people indoors.
3. That the City request the Province immediately open Oak Bay Lodge to people 55 years and older who are currently living in City parks and/or shelters until the vacant building is demolished for redevelopment.
4. That the City indicate to the Province that it supports the use of the two sites recently purchased by the Province on Yates Street and Meares Street for affordable, supportive housing and encourages the Province to begin construction of modular housing on those sites as soon as possible, respecting the City's design guidelines.
5. That the City of Victoria works with the Province and other partners to offer housing or indoor shelter with a path to permanent housing for everyone currently sheltering in City parks by March 31st 2021 and directs staff to bring forward amendments to the Parks Regulation Bylaw so that the temporary measures including 24/7 camping expire on March 31st 2021. Final adoption of these amendments are to be scheduled once it is clear that adequate housing and shelter space will be made available by the March 31st deadline.

6. That the City supports partner agencies in engaging people currently sheltering in City parks to determine their housing and support needs, to inform the operation of shelter and housing facilities and ensure access to safe and adequate housing for all.

Councillor Young requested that the motion be voted on separately.

Moved By Mayor Helps
Seconded By Councillor Alto

1. That Council direct staff to work with a private land owner or use city-owned land for the construction of temporary tiny home clusters of no more than 30 units beginning with one pilot project in Q1 of 2021 subject to the availability of one year of operating funding from BC Housing.

FOR (5): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (5 to 1)

Moved By Mayor Helps
Seconded By Councillor Alto

2. That Council allocate a portion of the City's federal-provincial restart money to help fund solutions that will move people indoors.

CARRIED UNANIMOUSLY

Moved By Mayor Helps
Seconded By Councillor Alto

3. That the City request the Province immediately open Oak Bay Lodge to people 55 years and older who are currently living in City parks and/or shelters until the vacant building is demolished for redevelopment.

CARRIED UNANIMOUSLY

Moved By Mayor Helps
Seconded By Councillor Alto

4. That the City indicate to the Province that it supports the use of the two sites recently purchased by the Province on Yates Street and Meares Street for affordable, supportive housing and encourages the Province to begin construction of modular housing on those sites as soon as possible, respecting the City's design guidelines.

FOR (5): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (5 to 1)

Moved By Mayor Helps
Seconded By Councillor Alto

5. That the City of Victoria works with the Province and other partners to offer housing or indoor shelter with a path to permanent housing for everyone currently sheltering in City parks by March 31st 2021 and directs staff to bring forward amendments to the Parks Regulation Bylaw so that the temporary measures including 24/7 camping expire on March 31st 2021. Final adoption of these amendments are to be scheduled once it is clear that adequate housing and shelter space will be made available by the March 31st deadline.

FOR (4): Mayor Helps, Councillor Alto, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (2): Councillor Dubow, and Councillor Young

CARRIED (4 to 2)

Moved By Mayor Helps
Seconded By Councillor Alto

6. That the City supports partner agencies in engaging people currently sheltering in City parks to determine their housing and support needs, to inform the operation of shelter and housing facilities and ensure access to safe and adequate housing for all

CARRIED UNANIMOUSLY

F.1.b.e Council Member Motion: Funding for Sanctuary Youth Centre

Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

That staff report back on availability of funding to provide \$27,490 to fund the Sanctuary Youth Drop In for an additional 3 hours on days that they are currently open and to provide funds for a day shelter in the event of extreme weather.

Councillor Loveday joined the meeting at 3:30 pm.

Amendment:
Moved By Councillor Thornton-Joe
Seconded By Councillor Alto

~~That staff report back on availability of funding to provide \$27,490~~ **be allocated from the Financial Stability Reserve** to fund the Sanctuary Youth Drop In for an additional 3 hours on days that they are currently open and to provide funds for a day shelter in the event of extreme weather.

CARRIED UNANIMOUSLY

On the main motion as amended:

That \$27,490 be allocated from the Financial Stability Reserve to fund the Sanctuary Youth Drop In for an additional 3 hours on days that they are currently open and to provide funds for a day shelter in the event of extreme weather.

CARRIED UNANIMOUSLY

F.1.b.f Grant Program for Emergency Social Services

Moved By Councillor Young

Seconded By Councillor Alto

1. That Council allocate up to \$100,000 from the federal-provincial restart funding to initiate a one-time grant program to deliver mobile hygiene and other social services.

CARRIED UNANIMOUSLY

G. BYLAWS

G.1 Bylaw for 324/328 Cook Street and 1044, 1048, and 1052/1054 Pendergast Street: Rezoning Application No. 00634 and Development Permit with Variance Application No. 000527

Moved By Councillor Young

Seconded By Councillor Alto

That Council give first and second reading of the Zoning Regulation Bylaw Amendment No. 20-081 (Amendment No. 1233), and give first, second and third readings of Housing Agreement (324 Cook Street) Bylaw No. 20-082.

CARRIED UNANIMOUSLY

H. NEW BUSINESS

H.1 Short Term Rental Business Licence Appeal Hearings

H.1.a Short Term Rental Appeal Hearing: 7-290 Superior Street

Council received a report dated November 5, 2020 from the City Clerk regarding the Short Term Business License Appeal for 7-290 Superior Street.

Councillor Potts recused herself from the meeting at 3:41 p.m. due to a pecuniary conflict of interest as her house is in close proximity to the residence in question.

The City Clerk outlined the process of compiling the information that comes before Council.

The Mayor outlined the process for the hearing before Council.

Council discussed:

- 1. The owner advertising the suite as a self-contained suite, which goes against our bylaw.*
- 2. It was noted that there is no cooking stove or fridge, and therefore making it unsuitable for the rental market.*

Moved By Councillor Young

Seconded By Councillor Thornton-Joe

That Council allow the reconsideration request of Jessica Tatlow and direct issuance of the 2020 short-term business licence for the premises at 7 - 290 Superior Street.

FOR (4): Mayor Helps, Councillor Loveday, Councillor Thornton-Joe, and Councillor Young

OPPOSED (2): Councillor Alto, and Councillor Dubow

CARRIED (4 to 2)

Councillor Potts rejoined the meeting at 4:05 pm.

H.1.b Short Term Rental Appeal Hearing: 42 Moss Street

Council received a report dated November 5, 2020 from the City Clerk regarding the Short Term Business License Appeal for 42 Moss Street.

The City Clerk outlined the process of compiling the information that comes before Council.

The Mayor outlined the process for the hearing before Council.

Council discussed:

- 1. That the property is clearly advertised as a functioning two-bedroom suite.*

Moved By Councillor Loveday

Seconded By Councillor Potts

That Council deny the reconsideration request of Birute Curran and uphold the Licence Inspectors decision to deny a short-term rental business licence for premises at 42 Moss Street.

CARRIED UNANIMOUSLY

I. CLOSED MEETING

Moved By Councillor Potts

Seconded By Councillor Young

MOTION TO CLOSE THE NOVEMBER 12, 2020 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Section 90(1)(c) labour relations or other employee relations;

Section 90(1)(f) law enforcement, if the council considers that disclosure could reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment; and

Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose.

CARRIED UNANIMOUSLY

J. APPROVAL OF CLOSED AGENDA

K. READING OF CLOSED MINUTES

N. NEW BUSINESS

N.1 Legal Advice - Community Charter Section 90(1)(i)

This item was deferred.

N.2 Legal Advice - Community Charter Section 90(1)(i)

Council discussed a Legal Advice matter.

The motion was recorded and kept confidential.

N.3 Law Enforcement - Community Charter Section 90(1)(f)

Council discussed a Law Enforcement matter.

The motion was recorded and kept confidential.

All staff, except the City Manager, were excused at 3:42 p.m.

N.4 Employee Relations - Community Charter Section 90(1)(c)

Council discussed an Employee Relations matter.

P. ADJOURNMENT

Moved By Councillor Loveday

Seconded By Councillor Potts

That the Council meeting adjourn.

Time: 4:07. p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



**Council Report
For the Meeting of July 15, 2021**

To: Council **Date:** July 8, 2021
From: C. Kingsley, City Clerk
Subject: 1314-1318 and 1324 Wharf Street: Rezoning Application No. 00294

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1256) No. 21-061

That the following bylaw be given first, second and third readings:

1. Housing Agreement (1314 and 1318 Wharf Street) Bylaw (2021), No. 21-062

BACKGROUND

Attached for Council's initial consideration are copies of the proposed Bylaw No. 21-061 and Bylaw No. 21-062

The issue came before Council on October 1, 2021 where the following resolution was approved:

1314 and 1318 Wharf Street: Update Report on Rezoning Application No. 00701 and Heritage Alteration Permit with Variances Application No. 00236 (Northern Junk) (Downtown)

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00701 for 1314 and 1318 Wharf Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Plan revisions to include frontage works and building access consistent with the City's Subdivision and Development Servicing Standards, revised long term bike parking spaces to meet the requirements set out in Schedule C of the Zoning Regulation Bylaw and minor plan corrections, to the satisfaction of the Director of Sustainable Planning and Community Development and Director of Engineering & Public Works.
2. That Council authorize the placement of Pad Mounted Transformer (PMT) on public property and work with the applicant to ensure the addition of the PMT is incorporated as an enhancement to the public realm with all associated expenses being born by the applicant to the satisfaction of the Director of Sustainable Planning and Community Development.
3. Preparation of the following agreements, registered on title by the applicant, to the satisfaction of City staff:

- a. Statutory right-of-way for public access over the area dedicated to the Harbour Pathway and the internal alley between the two heritage buildings, to the satisfaction of City staff;
 - b. Housing Agreement to secure 47 residential rental units as rental in perpetuity, to the satisfaction of the City Solicitor;
 - c. Section 219 Covenant to secure off-site tree replacement at a four to one ratio with a cash in lieu contribution with values set per the Tree Preservation Bylaw (Bylaw No. 05-106) for public realm improvements, and a cash in lieu contribution for offsite short term bicycle parking; and
 - d. A legal agreement to ensure that building amendments would be made along the north property line to comply with building code requirements should a building be proposed for the property located at 1324 Wharf Street.
4. That Council authorize the Mayor and City Clerk to execute encroachment agreements, to be executed at the time of the building permit approval, if the other necessary approvals are granted, in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works for:
 - a. building encroachments; and
 - b. anchor-pinning in the City right-of-way.

Heritage Alteration Permit with Variances No. 00236

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00701, if it is approved, consider the following motion:

“That Council authorize the issuance of Heritage Alteration Permit with Variances Application No. 00236 for 1314 and 1318 Wharf Street, in accordance with:

1. Plans date stamped August 10, 2020.
2. The Conservation Plan for the Caire and Grancini Warehouse at 1314 Wharf Street, date stamped October 22, 2019.
3. The Conservation Plan for the Fraser Warehouse at 1316-1318 Wharf Street, date stamped October 22, 2019.
4. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - a. Reduce the required short term bicycle parking spaces from 10 to 0; and
 - b. Increase the maximum permitted height from 8 metres to 21 metres.
5. Final plans to be generally in accordance with the plans identified above, to the satisfaction of the Director of Sustainable Planning and Community Development.
6. The applicant provide details regarding their intended process for commissioning a story wall for the north elevation of the building, including an artist selection process, scope and content, and an explanation for how their project will consider the Indigenous cultural heritage of the waterfront public realm, to the satisfaction of the Director of Sustainable Planning and Community Development.
7. The applicant providing a lighting plan for the heritage buildings, to the satisfaction of the Director of Sustainable Planning and Community Development.
8. That Council authorize the placement of Pad Mounted Transformer (PMT) on public property and work with the applicant to ensure the addition of the PMT is incorporated as an enhancement to the public realm to the satisfaction of the Director of Sustainable Planning and Community Development.
9. Heritage Alteration Permit lapsing two years from the date of this resolution”

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 21-061
- Bylaw No. 21-062

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw for the lands known as 1314 and 1318 Wharf Street in the IHH Zone, Inner Harbour Heritage District, to increase the maximum density.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1256)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in PART 8.22 as follows:
 - i. in section 2, by renumbering section 2 as section 2(a);
 - ii. by inserting the following new section immediately after section 2(a):

“(b) Where all of the following community amenities are provided, additional density may be achieved and the floor space ratio may not exceed 3.39 to 1:

 - (i) a monetary contribution of \$72,000 to be provided to the City’s Local Amenities Reserve Fund for the planting of trees.
 - (ii) a monetary contribution of \$2,500 to be provided to the City’s Downtown Core Area Public Realm Improvement Reserve Fund for the installation of short term bike racks.
 - (iii) a monetary contribution of \$16,000 to be provided to the City’s Downtown Core Area Public Realm Improvement for the construction of a future vehicle turn-around.”
 - iii. in section 3, by renumbering section 3 as section 3(a);
 - iv. by inserting the following new section immediately after section 3(a):

“(b) Projections into Height maximum:

 - (i) Rooftop Structures: 5.0m.”
 - v. In section 5, by renumbering section 5 as section 5(a);
 - vi. by inserting the following new section immediately after section 5(a):

“(b) Bicycle parking (minimum): Subject to the regulations in Schedule “C”.”
 - vii. by inserting the following new section after section 5(b):

“Definitions 6: (a) In this Zone, “Rooftop Structure” includes antennas, elevator penthouses, elevator landings, stair access and landings, mechanical equipment, chimneys, ventilation systems, solar heating panels, green roof systems and similar structures that project above a roof, are non-habitable and which may be enclosed or unenclosed.

(b) In this zone, “Projections into Height maximum” means the maximum Height that Rooftop Structures may project beyond the maximum Height in the zone.”

READ A SECOND TIME the day of 2021

Public hearing held on the day of 2021

READ A THIRD TIME the day of 2021

ADOPTED on the day of 2021

CITY CLERK

MAYOR

HOUSING AGREEMENT (1314 and 1318 Wharf Street) BYLAW
A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to authorize an agreement for RENTAL housing for the lands known as 1314 and 1318 Wharf Street, Victoria, BC.

Under its statutory powers, including section 483 of the *Local Government Act*, the Council of The Corporation of the City of Victoria in an open meeting enacts the following provisions:

Title

- 1 This Bylaw may be cited as the "HOUSING AGREEMENT (1314 and 1318 Wharf Street) BYLAW (2021)".

Agreement authorized

- 2 The Director of Sustainable Planning and Community Development is authorized to execute the Housing Agreement:
- (a) substantially in the form attached to this Bylaw as Schedule A;
 - (b) between the City and CROSSTOWN PROPERTIES (WHARF STREET) LTD, (INC.NO. BC0871551) or other registered owners from time to time of the lands described in subsection (c); and
 - (c) that applies to the lands known as 1214 and 1318 Wharf Street, Victoria, BC, legally described as:
PID: 031-303-153; Lot A of Lot 182-F Victoria City Plan EPP107260

READ A FIRST TIME the	day of	2021
READ A SECOND TIME the	day of	2021
READ A THIRD TIME the	day of	2021
ADOPTED on the	day of	2021

CITY CLERK

MAYOR



Council Report

For the Meeting of July 15, 2021

To: Council **Date:** July 15, 2021
From: C. Kingsley, City Clerk
Subject: 546 Yates Street and 566-568 Yates Street: Rezoning Application No. 00770

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Zoning Bylaw 2018, Amendment Bylaw (No. 9) No. 21-071

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 21-071.

The issue came before Council on June 10, 2021 where the following resolution was approved:

546 Yates Street and 566-568 Yates: Rezoning Application No. 00770 (Downtown)

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00770 to add the use of Cannabis Storefront Retailer to 566-568 Yates Street and remove it from 546 Yates Street, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set subject to submission and evaluation by staff of a Heritage Alteration Permit for the changes to the front entrance.

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 21-071

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Bylaw 2018 to permit a Storefront Cannabis Retailer at 566-568 Yates Street and to remove Storefront Cannabis Retailer as a permitted use at 546 Yates Street.

The Council of The Corporation of the City of Victoria, in an open meeting assembled, enacts the following provisions:

Title

- 1 This Bylaw may be cited as the “ZONING BYLAW 2018, AMENDMENT BYLAW (NO. 9)”.

Amendments

- 2 Bylaw No. 18-072, Zoning Bylaw 2018, is amended in section 8 of Part 4.4, Old Town District-1 Zone, by deleting row 82 and replacing it with the following as the new row 82:

<p>82. 566-568 Yates Street</p> <p>PID: 001-011-219, The East 1/2 of Lot 183, Victoria City, Except the South 56 Feet of the East 9 Inches Thereof</p>	<p>a. Storefront Cannabis Retailer is a permitted use</p>	<p>i. Only one storefront cannabis retailer at a time is permitted on the lot;</p> <p>ii. The use does not occupy more than 151m².</p>
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Commencement

- 3 This Bylaw comes into force on adoption.

READ A FIRST TIME the day of 2021

READ A SECOND TIME the _____ day of _____ 2021

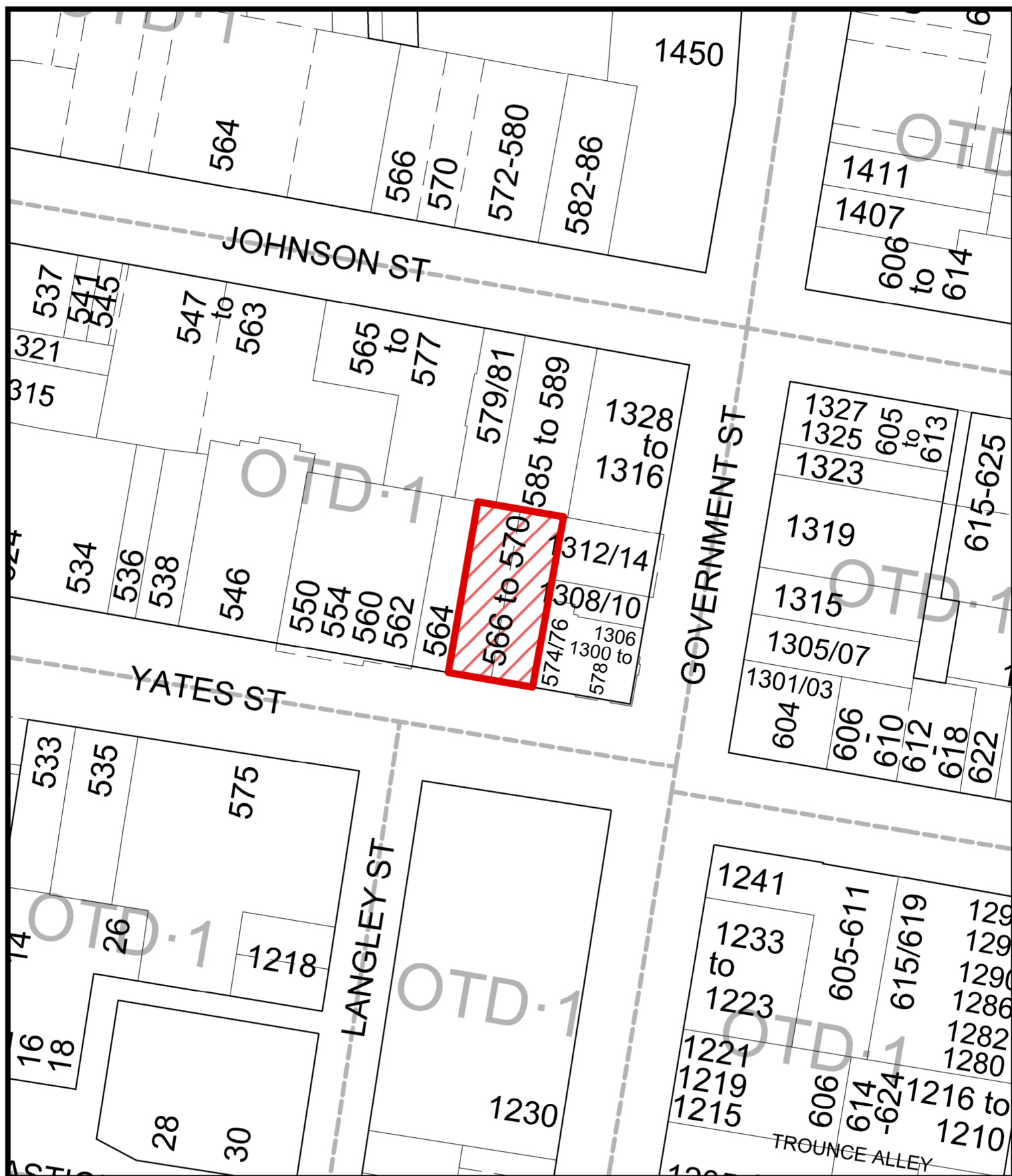
Public hearing held on the _____ day of _____ 2021

READ A THIRD TIME the _____ day of _____ 2021

ADOPTED on the _____ day of _____ 2021

CITY CLERK

MAYOR



566 to 570 Yates Street
Rezoning No.00770





**Council Report
For the Meeting of July 15, 2021**

To: Council **Date:** July 8, 2021
From: C. Kingsley, City Clerk
Subject: Gorge Waterway Park: Rezoning Application No. 00785

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1258) No. 21-072

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 21-072.

The issue will come before Council on July 15, 2021 where the following resolution is to be considered:

Rezoning Application No. 00785 for Gorge Waterway Park

1. That first and second reading of the Zoning Regulation Bylaw Amendment outlined in Rezoning Application No. 00785 for Gorge Waterway Park be considered by Council and a Public Hearing date be set.
2. That Council advance this matter for ratification at the July 15, 2021 daytime Council meeting and proceed with giving the bylaws introductory readings at this same meeting so that a Public Hearing can be scheduled for August 5, 2021.

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 21-072

NO. 21-072

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by amending the GWP Zone, Gorge Waterway Park District to allow for public docks, wharfs and piers.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW
(NO. 1258)”.
- 2 Schedule B of the Zoning Regulation Bylaw is amended by replacing Part 9.3 with the
provisions contained in Schedule 1 of this Bylaw.

READ A FIRST TIME the _____ day of _____ 2021

READ A SECOND TIME the _____ day of _____ 2021

Public hearing held on the _____ day of _____ 2021

READ A THIRD TIME the _____ day of _____ 2021

ADOPTED on the _____ day of _____ 2021

CITY CLERK

MAYOR

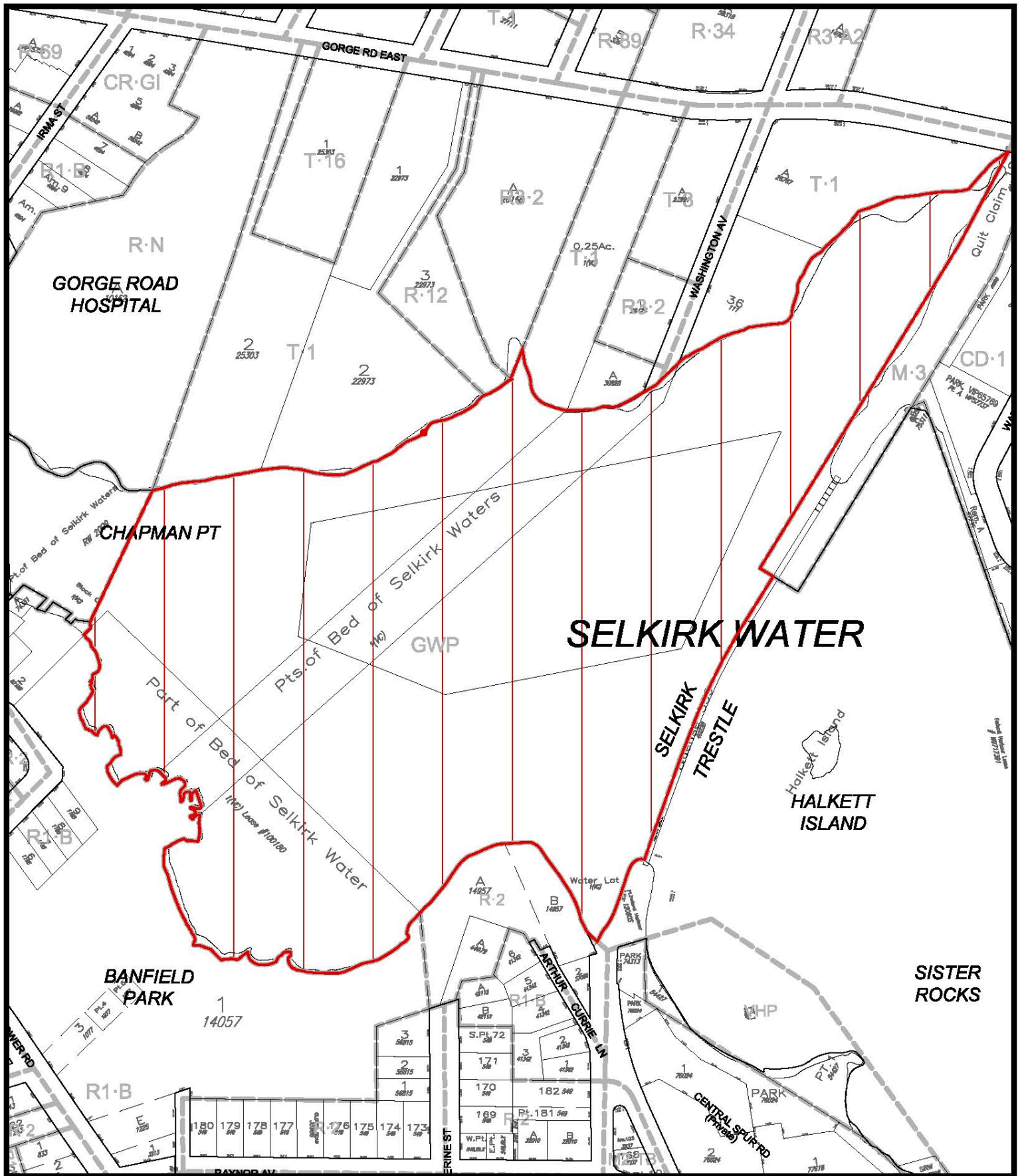
PART 9.3 – GWP ZONE, GORGE WATERWAY PARK DISTRICT**9.3.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Parks and uses accessory to parks, including public docks, wharfs, and piers
- b. Water related recreational activities

Without limiting the generality of any Section or Part of the Zoning Regulation Bylaw, including Section 17 of the Introduction and General Regulations, the following uses are not permitted in this Zone

- i. The anchoring or mooring of vessels for a continuous period exceeding 48 hours
- ii. The anchoring or mooring of vessels for more than 72 hours within a 30-day period
- iii. Live-aboard or float home as defined in Part 7.54.1 in the FWM zone, Fisherman's Wharf Marine District
- iv. Docks, wharfs and piers except as accessory park use



Public Docks within Gorge Waterway Park
Rezoning No.00785





Council Report

For the Meeting of July 15, 2021

To: City Council **Date:** June 30, 2021

From: Karen Hoes, Director, Sustainable Planning and Community Development

Subject: **Heritage Tax Exemption Bylaw No. 21-042 for 727 Yates Street**

RECOMMENDATION

That Council:

1. Give first, second and third reading to the Tax Exemption (727 Yates Street) Bylaw No. 21-042, and
2. Direct staff to set a date for final bylaw adoption after conducting statutory public notification.

LEGISLATIVE AUTHORITY

In accordance with Section 225 of the *Community Charter*, Council may exempt protected heritage property from taxation under section 197(1)(a) to the extent provided in the bylaw and subject to conditions established by the exemption agreement.

BACKGROUND

The purpose of this report is to present Council with the completed Heritage Tax Exemption Bylaw and notice for the property at 727 Yates Street (the "Hall Block"), in accordance with Council's motion of January 14, 2021:

1. *That Council instruct the City Solicitor to prepare a Tax Exemption Bylaw for 727 Yates Street for 9.08% of assessed value for 10 years, pursuant to Section 225 of the Community Charter, with the following conditions:*
 - a. *that the tax exemption take effect no earlier than 2022, after the expiry of the tax exemption for 719, 721-725 Yates Street, approved under bylaw 18-062*
 - b. *that a covenant identifying the tax exemption be registered on the title of the property and any possible future strata titles*
 - c. *that the final costs of seismic upgrading be verified by the Victoria Civic Heritage Trust.*

2. *That Council authorize amendments to the front façade rehabilitation strategy approved under Heritage Alteration Permit with Variances No. 00008, in accordance with Drawing H.1 by Studio One Architecture Inc., date stamped November 30, 2020.*

Council must give the Heritage Tax Exemption Bylaw three readings before staff can proceed to prepare and register a section 219 covenant on title of the property, which identifies the tax exemption and associated conditions.

After the Bylaw receives three readings, staff can provide legal notification for advertising in the newspaper once each week for two consecutive weeks prior to Council's final adoption of the bylaw.

Respectfully Submitted

John O'Reilly
Senior Heritage Planner
Development Services Division

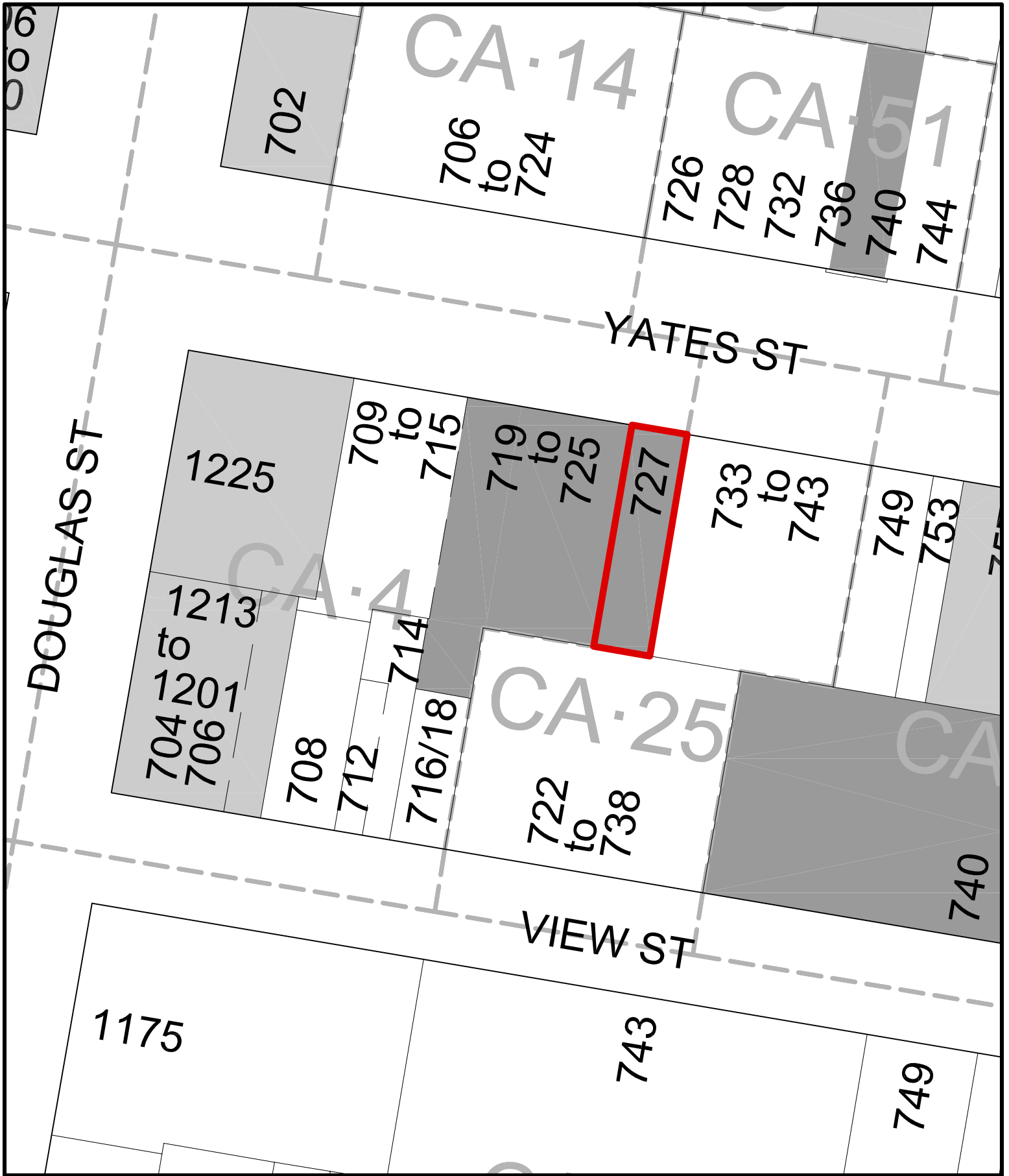
Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:

Date: _____

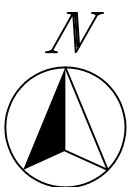
List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Committee of the Whole Report and Attachments, January 7, 2021
- Attachment D: Council Minutes, January 14, 2021
- Attachment E: Tax Exemption (727 Yates Street) Bylaw No. 21-042
- Attachment F: Notice of Proposed Permissive Tax Exemption



727 Yates Street

ATTACHMENT A



Heritage Alteration with Variance Permit #00008



Designated



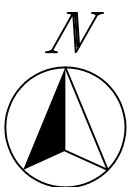
Registered





727 Yates Street

ATTACHMENT B



Heritage Alteration with Variance Permit #00008



Designated



Registered





Committee of the Whole Report For the Meeting of January 7, 2021

To: Committee of the Whole **Date:** December 22, 2020
From: Karen Hoes, Director, Sustainable Planning and Community Development
Subject: Tax Incentive Program Application No. 00031 for 727 Yates Street

RECOMMENDATIONS

- “1. That Council instruct the City Solicitor to prepare a Tax Exemption Bylaw for 727 Yates Street for 9.08% of assessed value for 10 years, pursuant to Section 225 of the *Community Charter*, with the following conditions:
 - a. that the tax exemption take effect no earlier than 2022, after the expiry of the tax exemption for 719, 721-725 Yates Street, approved under bylaw 18-062
 - b. that a covenant identifying the tax exemption be registered on the title of the property and any possible future strata titles
 - c. that the final costs of seismic upgrading be verified by the Victoria Civic Heritage Trust.
2. That Council authorize amendments to the front façade rehabilitation strategy approved under Heritage Alteration Permit with Variances No. 00008, in accordance with Drawing H.1 by Studio One Architecture Inc., date stamped November 30, 2020.”

LEGISLATIVE AUTHORITY

In accordance with Section 225 of the *Community Charter*, Council may exempt protected heritage property from taxation under Section 197(1)(a) to the extent provided in the bylaw and subject to conditions established by the exemption agreement.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations regarding an application for a ten-year partial tax exemption under the City's Tax Incentive Program to assist in the seismic upgrading of the heritage-designated building known as the Hall Block at 727 Yates Street. In 2018, Council approved the comprehensive renovation of the Hall Block (HAV No. 00008) to convert it into a mixed-use building with ground floor retail and an addition containing 11 residential suites. The approved project will conserve the majority of the Hall Block and includes a seismic upgrade that will achieve 100% seismic resistance under the 2018 BC Building Code. In addition to the seismic upgrade, the approved project will restore the front façade by removing the orange paint and reinstating the historic ground floor storefront of the building.

The total project budget is \$3,016,276 and the cost of seismic upgrading is estimated at \$309,711. The total value of the proposed property tax exemption over 10 years is less than the cost to seismically upgrade the building based on either current or projected property taxes after the renovation.

BACKGROUND

The Hall Block is a two-storey masonry building designed by architect John Teague and constructed in 1897 for developer Dr. F. W. Hall. John Teague is a significant local architect who also designed City Hall and the Masonic Temple at the corner of Fisgard and Douglas Streets. The building is one of the oldest surviving structures on Yates Street and an important contributor to the integrity of the historic streetscape. The two-storey portion of the building occupies the north half of the property, and a one-storey extension occupies the rear portion.

The Hall Block is situated on a consolidated lot that also includes the street addresses of 719 and 721-725 Yates Street and contains another two separate heritage buildings that received a tax exemption in 2012. This tax exemption is set to expire at the end of 2021. To avoid overlap, staff are recommending that the proposed tax exemption for 727 Yates Street only take effect in 2022, after the expiry of the tax exemption for 719 and 721-725 Yates Street. Staff also recommend that the tax exemption apply only to the floor space within the envelope of the Hall Block. Based on consultation with BC Assessment and the City's Finance Department, staff have calculated that this floor space represents 9.08% of the assessed value of the consolidated property.

The Tax Incentive Program (TIP) began in March 1998 to provide tax exemptions of up to 10 years to assist the owners of heritage-designated buildings with the high cost of seismic upgrading. Initially, the program was focused on accelerating the conversion of underused or vacant upper storeys of downtown heritage buildings to residential uses; however, the program was expanded to include non-residential rehabilitation projects on a case by case basis provided an independent financial analysis was carried out. The TIP has led directly to the creation of 699 residential units in 43 rehabilitated heritage buildings and attracted \$292 million in private investment primarily to the downtown.

Proposed Seismic Upgrade

The project is designed to 100% of the seismic design requirements of the 2018 BC Building Code.

The proposed seismic upgrade will remove the floor and roof structures of the Hall Block and replace them with a reinforced concrete transfer structure at the second level and new wood framing above. For the ground floor structure, seismic resistance will be provided by new concrete rigid frames in an east-west direction and concrete block shear walls in a north-south direction. Above the second storey, the building would be wood framed, with seismic resistance created through shear walls in east-west and north-south directions. The foundation of the building will also be replaced with a concrete foundation.

Heritage Alteration Permit with Variance No. 00008

The approved Heritage Alteration Permit authorized the rehabilitation of the Hall Block and construction of an addition at the rear of the property that extends over its roof. The addition is five-storeys tall at the rear, but terraces down towards the front of the property to mitigate visual impacts to the Hall Block. The development conserves the front and side walls of the Hall Block but replaces the building's interior with new concrete floor slabs and new construction to meet

the requirements of the 2018 BC Building Code. The third storey of the addition is almost entirely concealed beneath the parapet wall of the Hall Block, so the upper levels of the addition appear as a two-storey rooftop addition, with each level set progressively further back from the street. The application was granted variances to eliminate parking and reduce the east side yard setback. Once constructed, the building will contain 11 one-bedroom units.

The consolidation of 727 Yates Street with 719-725 Yates Street was undertaken to enable the renovated Hall Block to share the elevator, fire exit stair and long-term bicycle parking of the Churchill Building, which was renovated in 2012 by the same developer.

ANALYSIS

Staff recommend that Council consider supporting the project by approving the proposed tax exemption since it will contribute to the City's strategic objectives for the Core Business District, which include the conservation and enhancement of significant historic buildings.

The proposed tax exemption is consistent with the following policies:

Official Community Plan

The proposal to grant the project a tax exemption is generally consistent with the *Official Community Plan* (OCP), which states in Section 18: Emergency Management: *there is a 32% likelihood of a damaging earthquake event in the City before 2054*. Such a disaster is likely to require the demolition and extensive reconstruction of buildings and structures. As such, the OCP contains many policies urging the City's decision makers to prepare for such an event and incentivize the seismic upgrading of existing buildings. The proposal is consistent with policies under Section 8 - Placemaking: Urban Design and Heritage:

- 8.6 *Conserve and enhance the heritage value, character and special features of areas, districts, streetscapes, cultural landscapes and individual properties throughout the city.*
- 8.43 *Encourage high quality architecture, landscape and urban design to enhance the visual identity and appearance of the City*
- 8.50 *Encourage new development to avoid the demolition of heritage property, or one or more of its façades.*
- 8.51 *Continue to give consideration to tools available under legislation to protect or conserve heritage property including, but not limited to: heritage designation bylaws.*

The proposal is consistent with policies under Section 14: Economy of the *Official Community Plan* including the following:

- 14.33 *Continue to invest in the heritage character of the Downtown and other neighbourhoods through incentives for rehabilitation and seismic upgrades.*

The recommended option is consistent with Section 18: Emergency Management of the *Official Community Plan*, including:

- 18.16 *Continue incentives for seismic upgrades to owners of designated heritage property and consider incentives for non-heritage properties.*

Downtown Core Area Plan (DCAP)

The conservation of the building through designation, seismic upgrading and other restorative measures is consistent with Goal 4 of the DCAP:

4. *To ensure excellence in building types and design within the Downtown Core Area by:*

4.2. *Recognizing historic buildings for their value and benefit to the Downtown Core Area, and encouraging their rehabilitation, seismic upgrading and integration with new development.*

It is consistent with the following policies under Chapter 7 - Heritage:

7.26. *Encourage owners of property with heritage value or character in the Downtown Core Area, particularly landmarks or those in the Historic Commercial District and Inner Harbour District, to upgrade the seismic conditions of buildings and structures.*

7.29. *Continue and enhance incentives for heritage conservation such as, tax incentives, parking variances and other zoning variances, where broadly consistent with the policies for each District of the Downtown Core Area that are provided in this Plan.*

7.30. *Maintain and develop financial incentives for building rehabilitation, particularly seismic upgrading, for eligible heritage-designated commercial, institutional, industrial and residential property in the Downtown Core Area.*

Standards and Guidelines for the Conservation of Historic Places in Canada

The proposal is consistent with the *Standards and Guidelines for the Conservation of Historic Places in Canada* (the Standards and Guidelines). The applicant proposes to preserve and restore all character-defining elements on the primary elevations.

Resource Impacts

The project has a total construction cost of \$3,016,276 of which the cost of seismic upgrading is estimated at \$309,711.

The formula to determine how many years the tax exemption will apply is the rate of the current year's property tax (\$20,325.69 for 727 Yates Street alone) multiplied by the number of years required to reach an amount equal to or less than the estimated cost of seismic upgrading, up to a maximum of 10 years. The applicant has requested the full term of 10 years because the cost of the seismic upgrade (\$309,711) will exceed the cumulative value of a tax exemption for 100% of the assessed value for 10 years, which is \$203,256 (\$20,325.69 x 10).

$$\text{Cost of Seismic Upgrading} = \$309,711 > \$203,256 (\$20,325.69 \times 10)$$

Moreover, the tax exemption is limited to the remaining floor area inside the conserved portions of the Hall Block, which will be reduced in size after the new addition is constructed. The area in the Hall Block includes 1240 square feet of retail space on the ground floor and four one-bedroom residential units on levels two and three. Working with BC Assessment, staff determined that the assessed value of these areas will equal \$1,418,909, which would be subject to \$11,535 in annual taxes if the tax exemption did not apply. Of the \$11,535 in exempt annual taxes, the City's portion would be \$7,866.

The assessed value of the Hall Block alone (\$1,418,909) represents only 9.08% of the assessed value of the total consolidated property (\$15,628,537). This means the tax exemption is worth \$11,535 per year in property taxes or \$115,351 total over 10 years. Of the \$115,351 total, the City's portion would be \$78,656. This is less than the \$309,711 cost of seismic upgrading.

Over the 10-year period, the City will collect taxes on the remainder of the project, which will have an estimated assessed value of \$2,090,591. Given that the assessed value of the taxable portions of the project exceeds the current assessed value of the property, there will not be any decrease in present tax revenue to the City if the tax exemption is granted.

Victoria Civic Heritage Trust

The Victoria Civic Heritage Trust reviewed the application at their November 6, 2020 meeting. The Trust recommended that Council consider supporting a tax exemption for the heritage building floor area in relation to the total gross floor area of the consolidated property.

The board also recommended that the applicant undertake the following revisions prior to approval, to the satisfaction of the Senior Heritage Planner:

1. *Work with the project heritage consultant and Vintage Woodworks regarding appropriate historic detailing of the storefront design;*
2. *Submit to the City of Victoria the necessary engineering detail for the seismic upgrading of the parapet wall on the Yates Street building front; and*
3. *Confirm the method and details to make the main floor accessible*

The applicant submitted the attached Drawing H.1., which included refinements to the proportions of the transom window and storefront glazing. In staff's opinion, the refinements bring the storefront design into closer alignment with the architect's original plans for the building. The applicant has revised the building section to show a horizontal steel beam that will help restrain the parapet in a seismic event. The architect has also included a notation confirming that the main entrance of the building will be accessible to persons with disabilities and include an automatic door operator.

Accessibility

The main entrance of the building will be fully accessible to persons with disabilities. Upper storeys of the building can be accessed by the elevator in the adjacent Churchill Building, which also has an accessible entrance.

CONCLUSION

The proposed tax exemption will facilitate the rehabilitation and seismic upgrading of a building by a significant local architect, contributing to the historic integrity of Yates Street. The project advances the City's goals of enhancing heritage sites in the Core Business District while simultaneously providing additional residential units. Staff therefore recommend that Council consider supporting the application.

ALTERNATE MOTION

That Council decline Tax Incentive Program Application No. 00031 for 727 Yates Street.

Respectfully submitted,

John O'Reilly
Senior Heritage Planner
Sustainable Planning and Community
Development Department

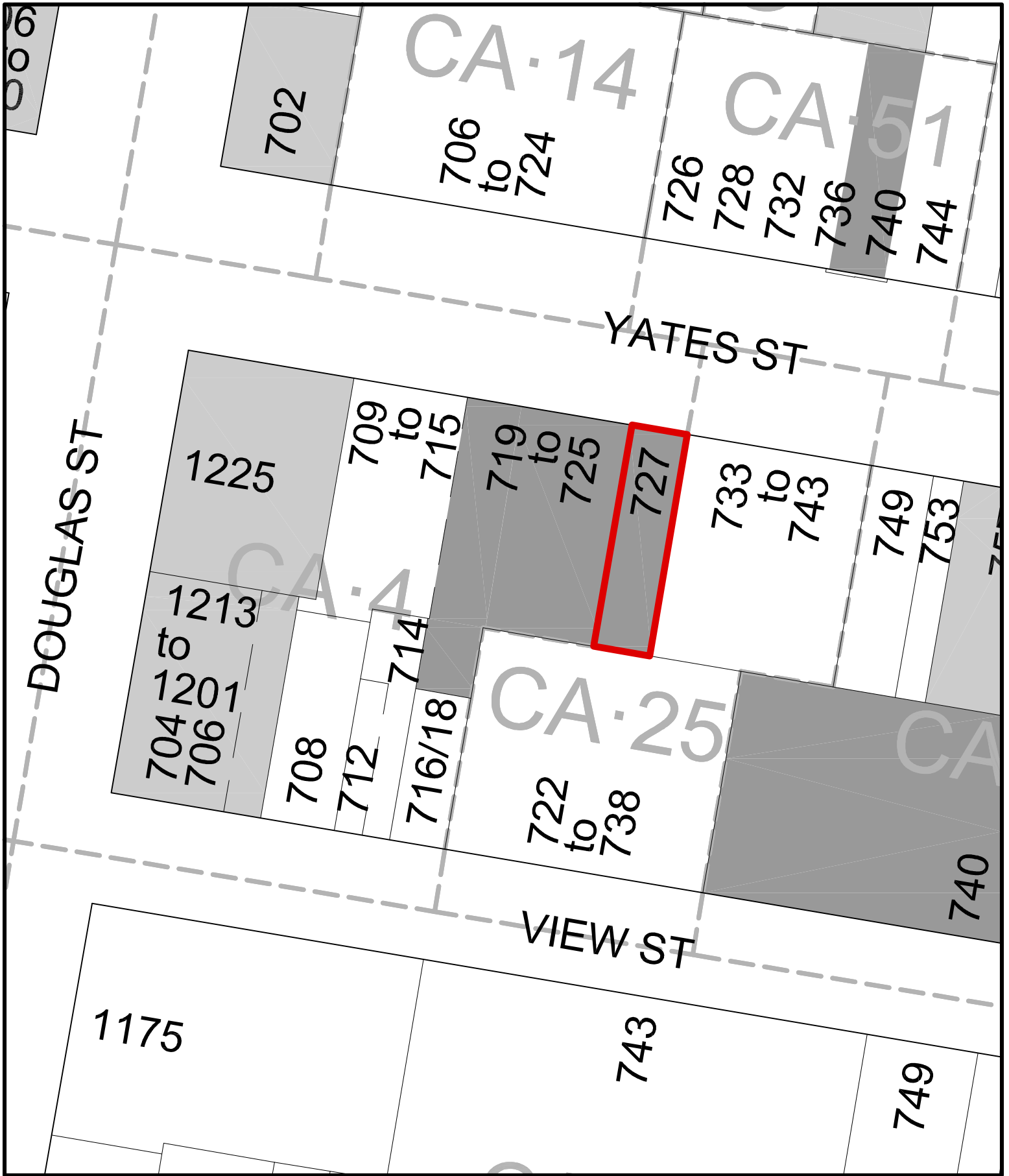
Karen Hoese, Director
Sustainable Planning and Community
Development Department

Susanne Thompson
Deputy City Manager/CFO
Finance Department

Report accepted and recommended by the City Manager

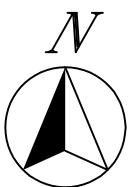
List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Photos
- Attachment D: Architectural Plans, dated October 7, 2020
- Attachment E: Architectural Plan H.1, dated November 30, 2020
- Attachment F: Hall Block Conservation Plan
- Attachment G: Letter from Victoria Civic Heritage Trust, dated November 6, 2020
- Attachment H: Letter from Primex Investments Ltd. date stamped October 7, 2020
- Attachment I: Seismic Upgrading Strategy by BMZ Structural Engineers, dated September 22, 2020.



727 Yates Street

Heritage Alteration with Variance Permit #00008



Designated



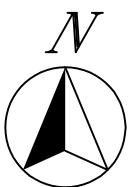
Registered





727 Yates Street

Heritage Alteration with Variance Permit #00008



Designated



Registered



Photographs- 727 Yates Street



Front Elevation



719-725 Yates Street



240 - 388 West 8th Ave.
Vancouver, B.C. V5Y 3K2
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Fax: 604 - 734 - 1121
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PROPOSED RENOVATION | 727 YATES STREET, VICTORIA, B.C.

ISSUED FOR BP

2019 NOV. 18

CONSULTANTS:

Architectural STUDIO ONE ARCHITECTURE INC. 240 - 388 West 8th Avenue Vancouver, BC V5Y 3K2 Tomas Wolf P: 604.731.3966 F: 604.734.1121	Heritage DONALD LUXTON & ASSOCIATES INC. 1030 - 470 Granville Street Vancouver, BC V6C 1V5 Donald Luxton P: 604.688.1216	Structural JOHN BRYSON & PARTNERS #700-609 West Hastings St. Vancouver, BC V6P 4W4 John Bryson P: 604.685.9533	Mechanical WILLIAMS ENGINEERING #202-31 Bastion Square Victoria, BC V8W 1J1 Domenico Cristini P: 778.406.0023	Electrical WILLIAMS ENGINEERING #202-31 Bastion Square Victoria, BC V8W 1J1 Domenico Cristini P: 778.406.0023	Building Code CFT ENGINEERING LTD. 1901 ROSSER AVE., UNIT 800 BURNABY B.C. V5C 6R6 Michael Linton P: 604.684.2384	Building Envelope AQUA COAST ENGINEERING LTD. UNIT 201-5155 LADNER TRUCK ROAD DELTA B.C. V4K 1W4 Daver Boibolan P: 604.946.9910
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[illegible][illegible][illegible][illegible]

J	NOV 18/19	ISSUED FOR BP
I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVISION
F	APR 26/19	ISSUED FOR 95% REVISION
E	JAN 31/19	ISSUED FOR 75% REVISION
D	DEC 21/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC. 20/17	ISSUED FOR H.A.P.
A	JAN. 25/17	ISSUED FOR DEVT INQUIRY
no.:	date:	description:

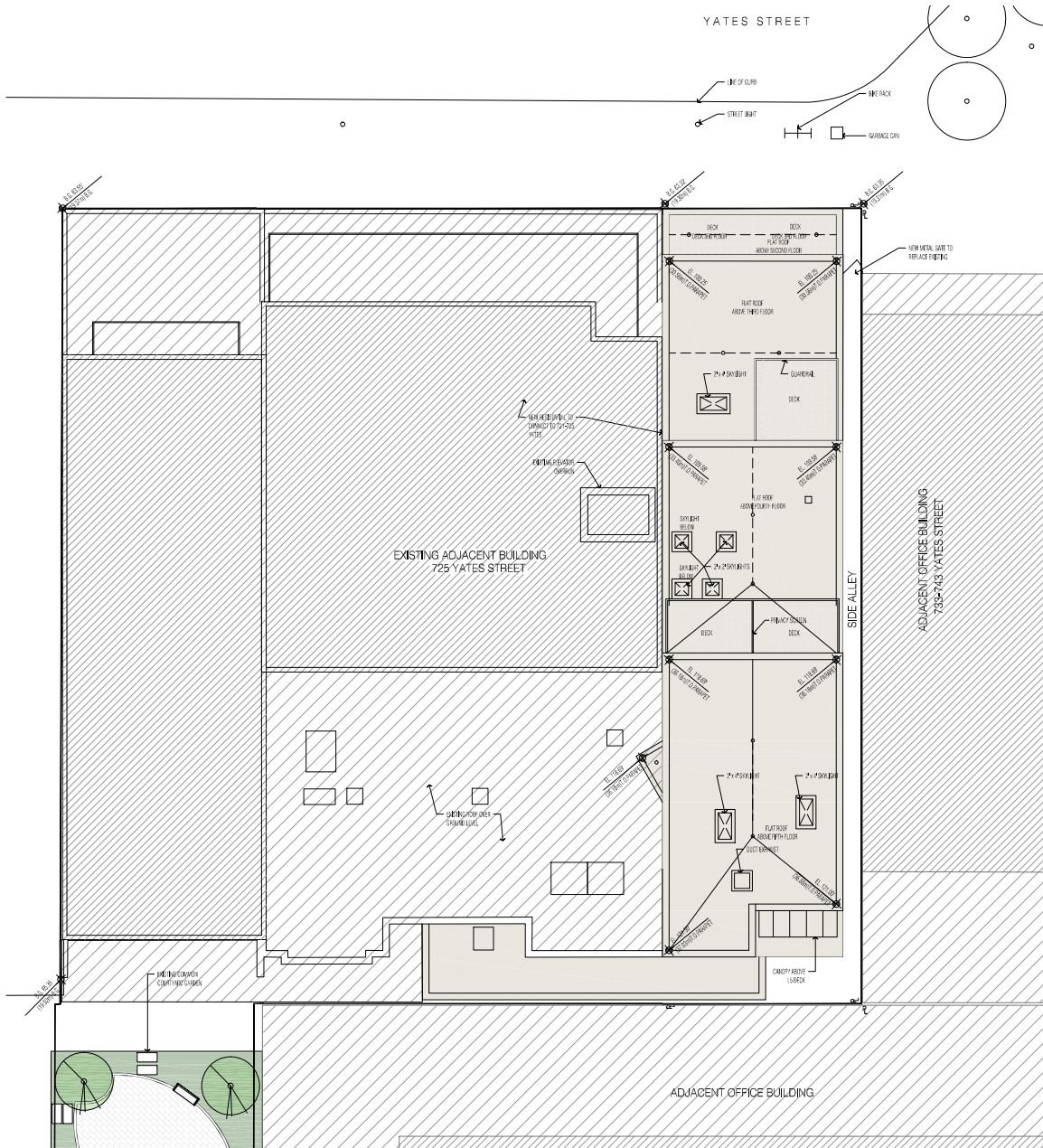
project title:
727 YATES STREET
VICTORIA, BC

drawing title:
WALL, FLOOR & ROOF
ASSEMBLIES
LEGEND & ABBREVIATIONS

project no.:	18036
drawn by:	JZ
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

AO.1



SITE PLAN
1/8" = 1'-0"

PROJECT INFORMATION TABLE			
	727 YATES (SCOPE OF PROPOSAL)	721 YATES (EXISTING)	TOTAL (AFTER CONSOLIDATION)
CIMC ADDRESS:	727 YATES STREET	719-725 YATES STREET	
LEGAL ADDRESS:	THE WESTERLY 30 FEET OF LOT 15, VICTORIA, CITY CA-4	LOT A OF LOTS 4, 16, 17 VICTORIA, MP88873 CA-4	CONSOLIDATION IN PROGRESS CA-4
ZONING:			
SITE DIMENSIONS:			129' x 120' (regular shape)
SITE AREA:	334.5 m ² (3 600 sf)	1117 m ² (12 023 sf)	1451.5 m ² (15 624 sf)
EXISTING BUILDING AREA (FSR):	371.3 m ² (3 997 sf)	3 260.4 m ² (35 095 SF)	
EXISTING FLOOR-SPACE RATIO:	1.11	2.92	
PROPOSED BUILDING AREA (FSR):	965.9 m ² (10 397 sf)	3 260.4 m ² (35 095 SF)	4226.3 m ² (45 492 SF)
PROPOSED FLOOR-SPACE RATIO:	2.89	2.92	2.91
SITE COVERAGE:	88%	73%	
OPEN SITE SPACE:	12%	27%	
NUMBER OF STOREYS:	5 (2 EXISTING + 3 ADDITIONAL)		
PARKING STALLS ON SITE:	0		
BICYCLE OFF-STREET PARKING:	12		
BUILDING SETBACKS:			
FRONT YARD:	0m		
REAR YARD:	0m		
WEST SIDE YARD:	0m		
EAST SIDE YARD:	0.85 m		

CODE REFERENCE
BC BUILDING CODE 2018

ZONING REQ'T & PROPOSED

SITE AREA:	1451.5 m ² (15 624 sf)	
	REQUIRED (CA-4 ZONE)	PROPOSED
FLOOR SPACE RATIO:	3.00	2.93
HEIGHT:	43.00m	17.52m (57.5ft)
STREET WALL HEIGHT:	10.0m	10.74m (EXISTING HERITAGE FACADE)
PARKING STALLS:	8	0
BICYCLE OFF-STREET PARKING:	12	12 (in basement of adjoining 725 Yates)
PARKING CALCULATION:	8 (11 res units x 0.7 = 7.7)	
BICYCLE REQ'T CALCULATION:	12 (RES: 11 = 11 units / 1 COMM: 1 = 260m ² / 205m ²)	

LEVEL	EXISTING			PROPOSED CONSOLIDATED			
	727 Yates	721 Yates	TOTAL	COMMERCIAL	RESIDENTIAL	TOTAL	
BASEMENT	0 SF	7 955 SF	7 955 SF	2 877 SF	5 078 SF	7 955 sf	33 SF ADDITION
GROUND FLOOR	2747 SF	9 309 SF	12 056 SF	12 089 SF	0 SF	12 089 SF	
2nd FLOOR	1250 SF	6 815 SF	8 065 SF	0 SF	9 489 SF	9 489 SF	1 424 SF ADDITION
3rd FLOOR	0 SF	6 922 SF	6 922 SF	0 SF	9 487 SF	9 487 SF	2 565 SF ADDITION
4th FLOOR	0 SF	6 452 SF	6 452 SF	0 SF	8 310 SF	8 310 SF	1 858 SF ADDITION
5th FLOOR	0 SF	5 597 SF	5 597 SF	0 SF	6 117 SF	6 117 SF	620 SF ADDITION
TOTALS	3 997 SF	43 050 SF	47 047 SF	14 966 SF	38 481 SF	53 447 SF	6 400 SF ADDITION
TOTAL FSR AREA	3 997 SF	35 095 SF	12 089 SF	12 089 SF	33 403 SF	45 492 SF	6 367 SF ADDITION
FSR	1.11	2.82	-	0.78	2.14	2.91	

UNIT MIX

TOTAL NEW UNITS (727 Yates):	11	(1 BEDROOM)	568 - 907 SF
EXISTING UNITS (721 Yates):	40	(STUDIO, 1BR, 1BR + DEN)	415 - 1060 SF

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J. NOV 18/19 ISSUED FOR BP
L. OCT 22/19 ISSUED FOR BP
L. OCT 22/19 ISSUED FOR BP AMENDMENT
G. JUN 13/19 ISSUED FOR 10% REVIEW
F. APR 26/19 ISSUED FOR 10% REVIEW
E. JAN 31/19 ISSUED FOR 10% REVIEW
D. DEC 04/18 ISSUED FOR 10% REVIEW
C. JUN 04/18 ISSUED FOR H.A.P.
B. DEC 20/17 ISSUED FOR H.A.P.
A. JAN 25/17 ISSUED FOR DEV. INDUSTRY

project title:
727 YATES STREET
VICTORIA, BC

drawing title:
STATISTICS &
SITE PLAN

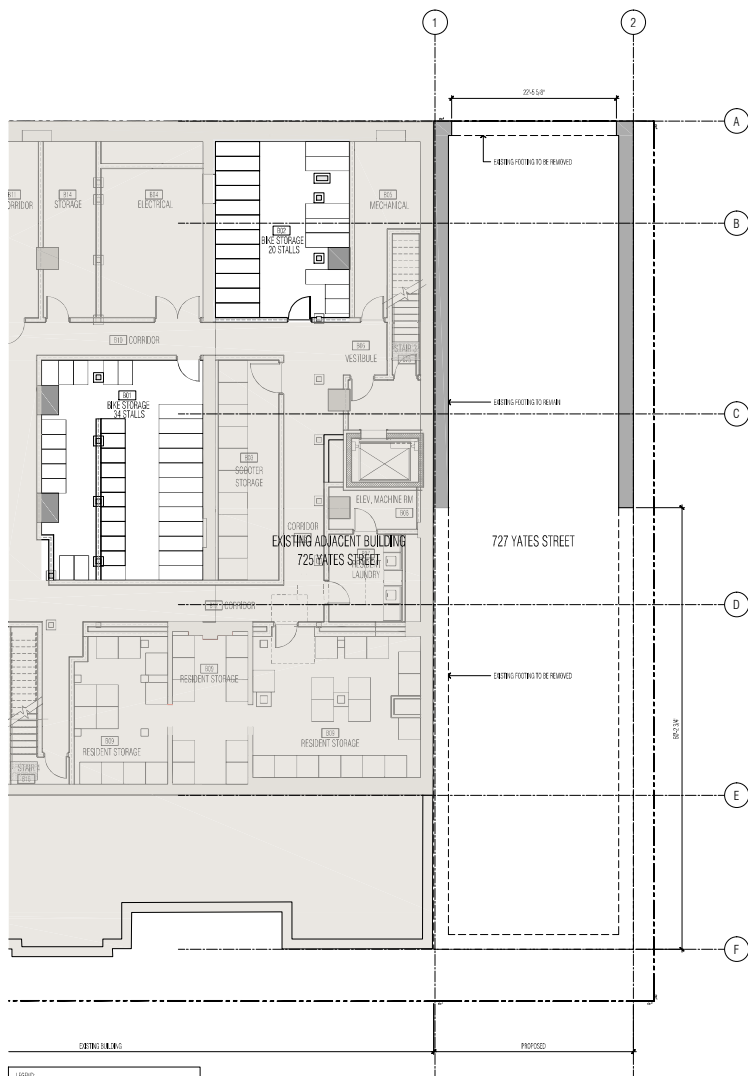
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checked by: JW
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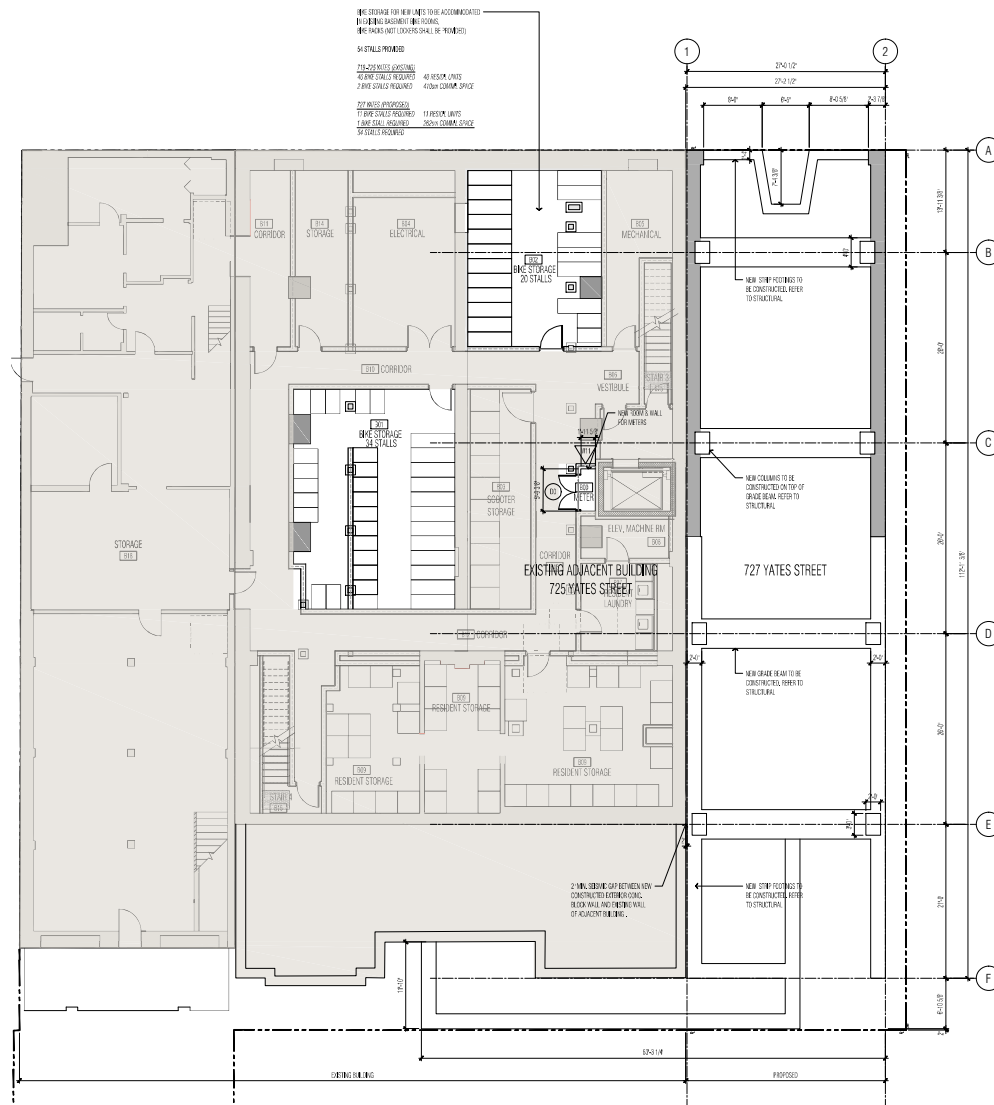
A0.2



3 CONTEXT PLAN



1 BASEMENT LEVEL EXISTING PLAN
scale: 1/8" = 1'-0"



2 BASEMENT LEVEL PROPOSED PLAN
scale: 1/8" = 1'-0"

J	NOV 18/19	ISSUED FOR BP
I	OCT 20/19	ISSUED FOR BP
H	OCT 23/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVIEW
F	APR 26/19	ISSUED FOR 90% REVIEW
E	JAN 21/19	ISSUED FOR 75% REVIEW
D	DEC 21/18	ISSUED FOR 50% REVIEW
C	JUNE 14/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JUN 25/17	ISSUED FOR DEVELOPMENT
no.	date	description
revisions		

project title:
727 YATES STREET
VICTORIA, BC


drawing title:
BASEMENT LEVEL
EXISTING & PROPOSED PLAN

project no.: 16036
drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

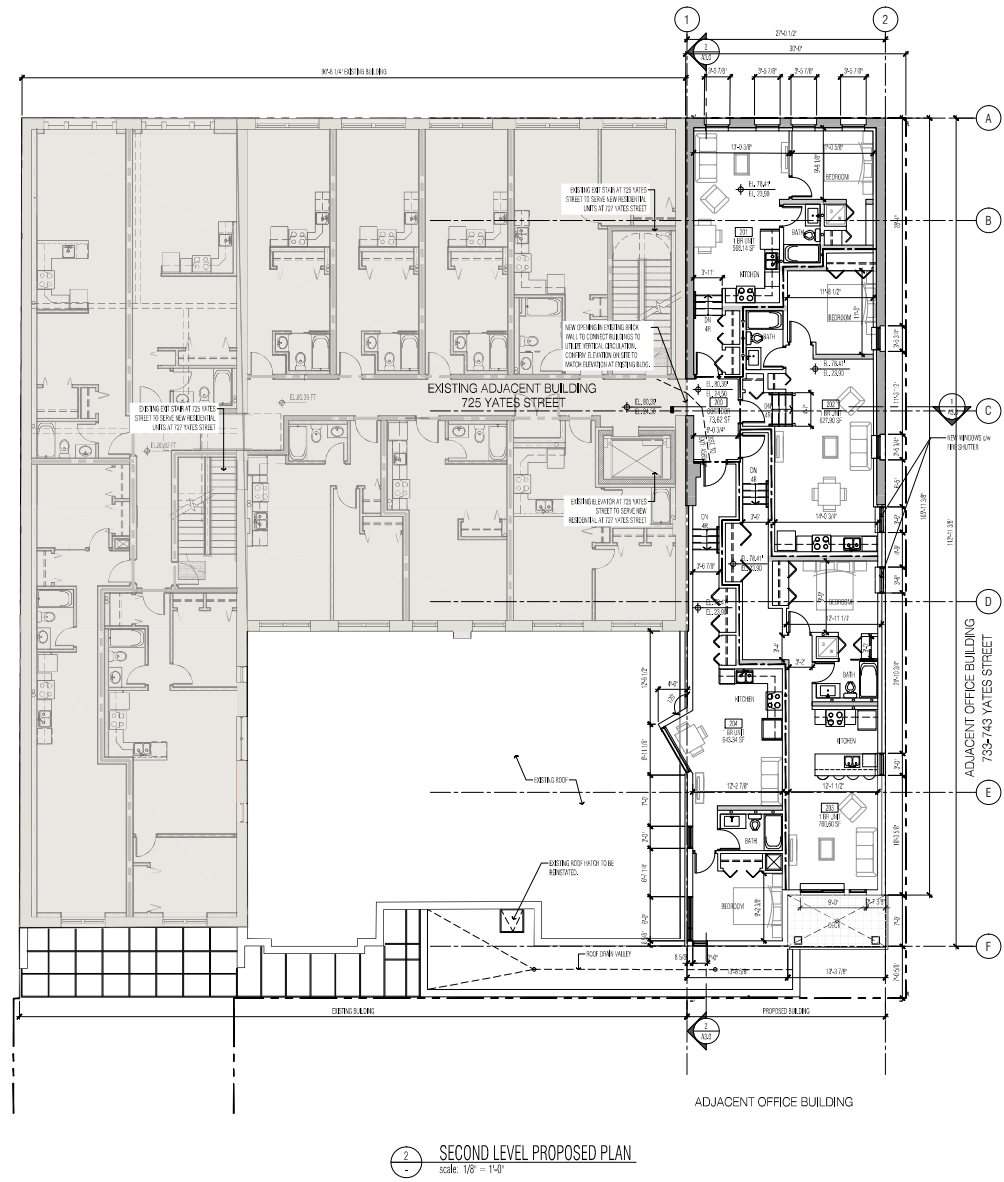
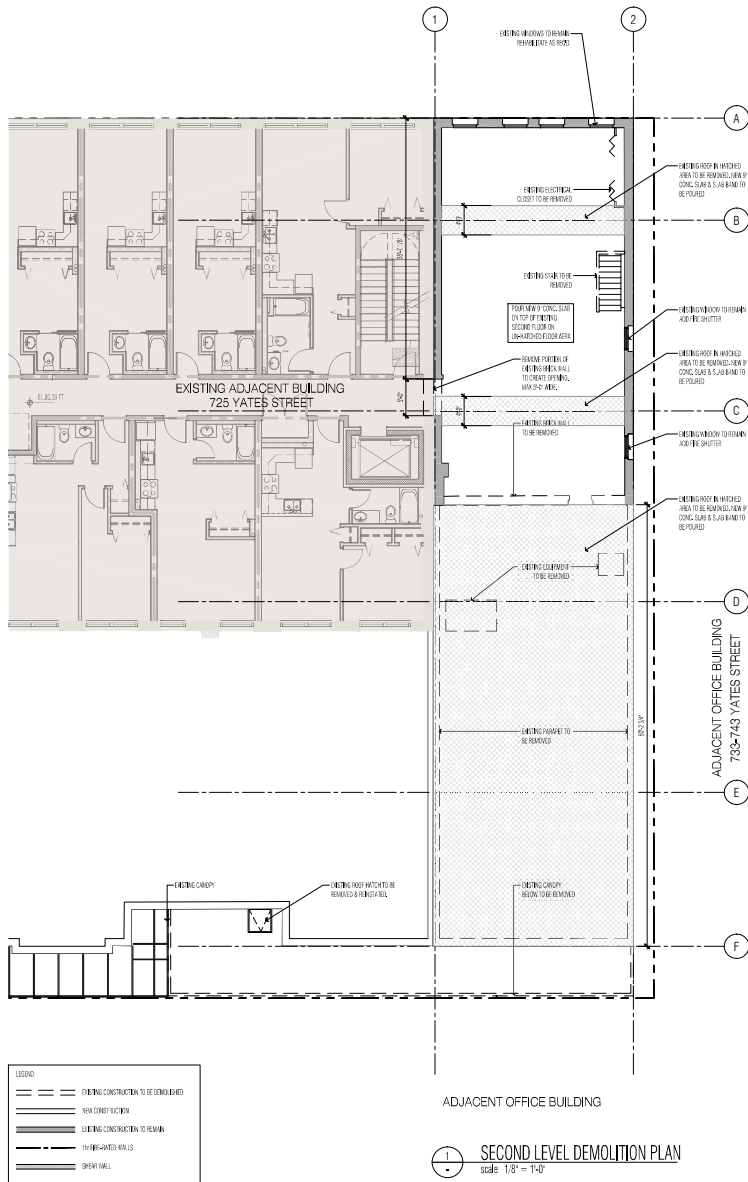
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project title:
727 YATES STREET
VICTORIA, BC

project no.: 16036	
drawn by: JZ	
checked by: JW	
date: NOV 18, 2019	
scale: AS NOTED	

A1.2





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I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR BP
G	JUN 13/19	ISSUED FOR 100% PERMITS
F	APR 26/19	ISSUED FOR 100% PERMITS
E	JAN 27/19	ISSUED FOR 100% PERMITS
D	DEC 21/18	ISSUED FOR 100% PERMITS
C	JUNE 14/18	ISSUED FOR 100% PERMITS
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no.	date	description
revisions		

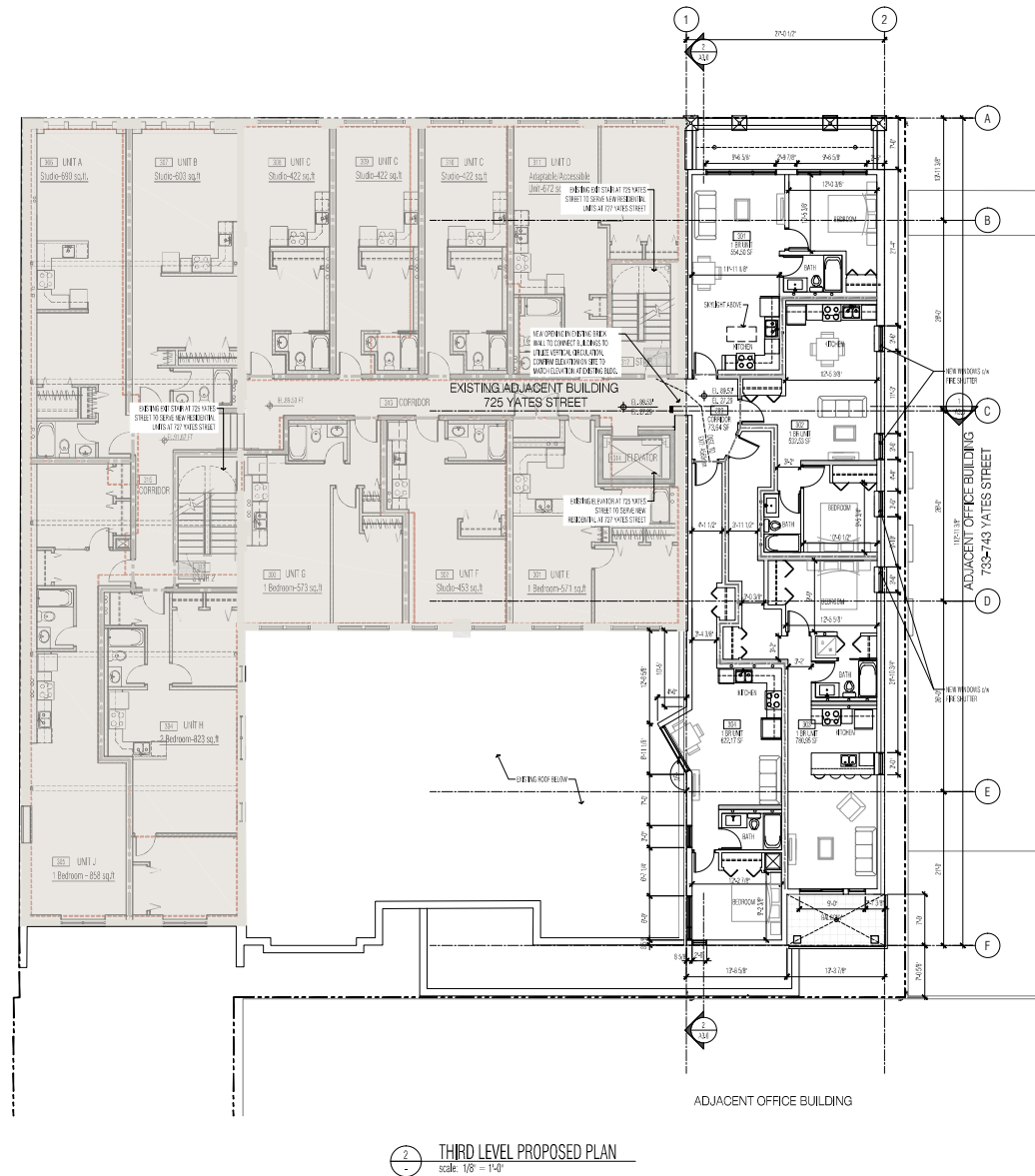
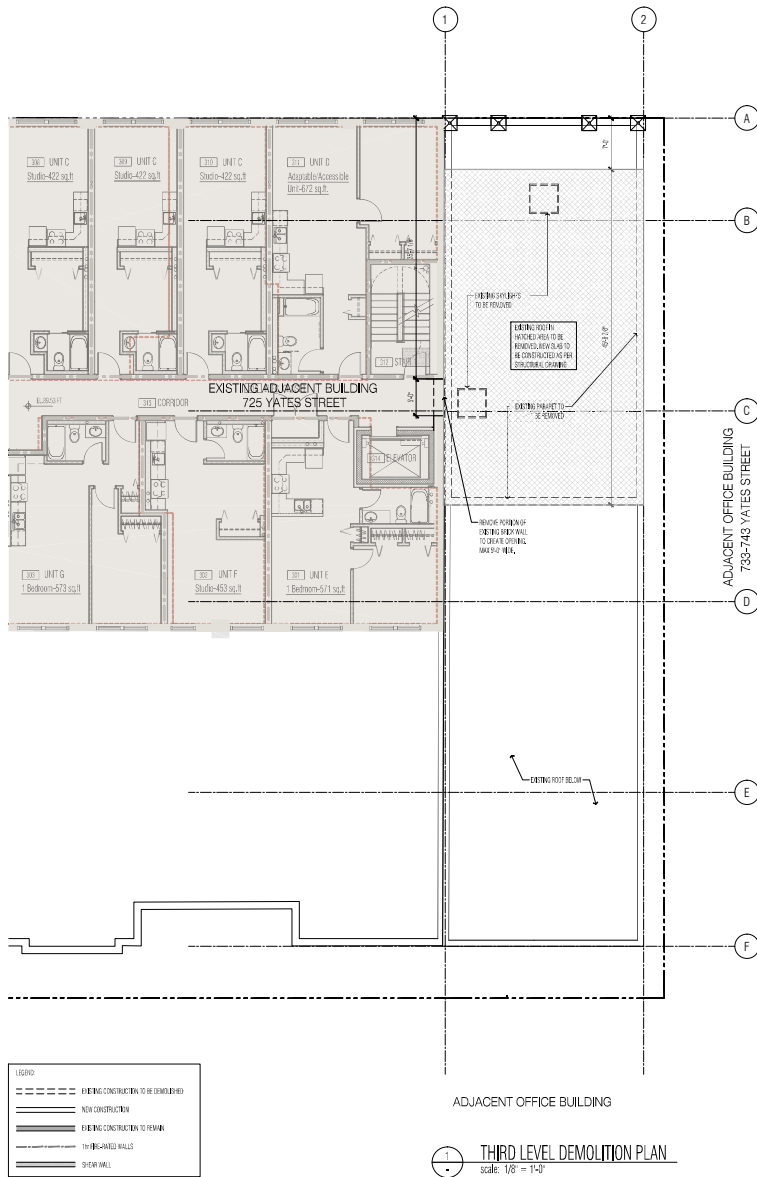
project title:
727 YATES STREET
VICTORIA, BC

drawing title:
SECOND LEVEL
DEMOLITION & PROPOSED PLAN

project no.: 16036
drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

A1.3



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I	OCT 20/19	ISSUED FOR BP
H	OCT 23/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% PERMITION
F	APR 26/19	ISSUED FOR 95% PERMITION
E	JAN 21/19	ISSUED FOR 75% PERMITION
D	DEC 21/18	ISSUED FOR 50% PERMITION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC. 20/17	ISSUED FOR H.A.P.
A	JAN. 25/17	ISSUED FOR DEVELOPMENT
no.	date	description
revisions		

project title:
727 YATES STREET
VICTORIA, BC

drawing title:
THIRD LEVEL
DEMOLITION & PROPOSED PLAN

project no.:	16036
drawn by:	JT
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

A1.4

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I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR BP
G	JUN 13/19	ISSUED FOR OP/AMENDMENT
F	APR 26/19	ISSUED FOR 95% REVIEW
E	JAN 27/19	ISSUED FOR 75% REVIEW
D	DEC 21/18	ISSUED FOR 50% REVIEW
C	JUNE 14/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JUN 25/17	ISSUED FOR DEVELOPMENT
no.	date	description
revisions		

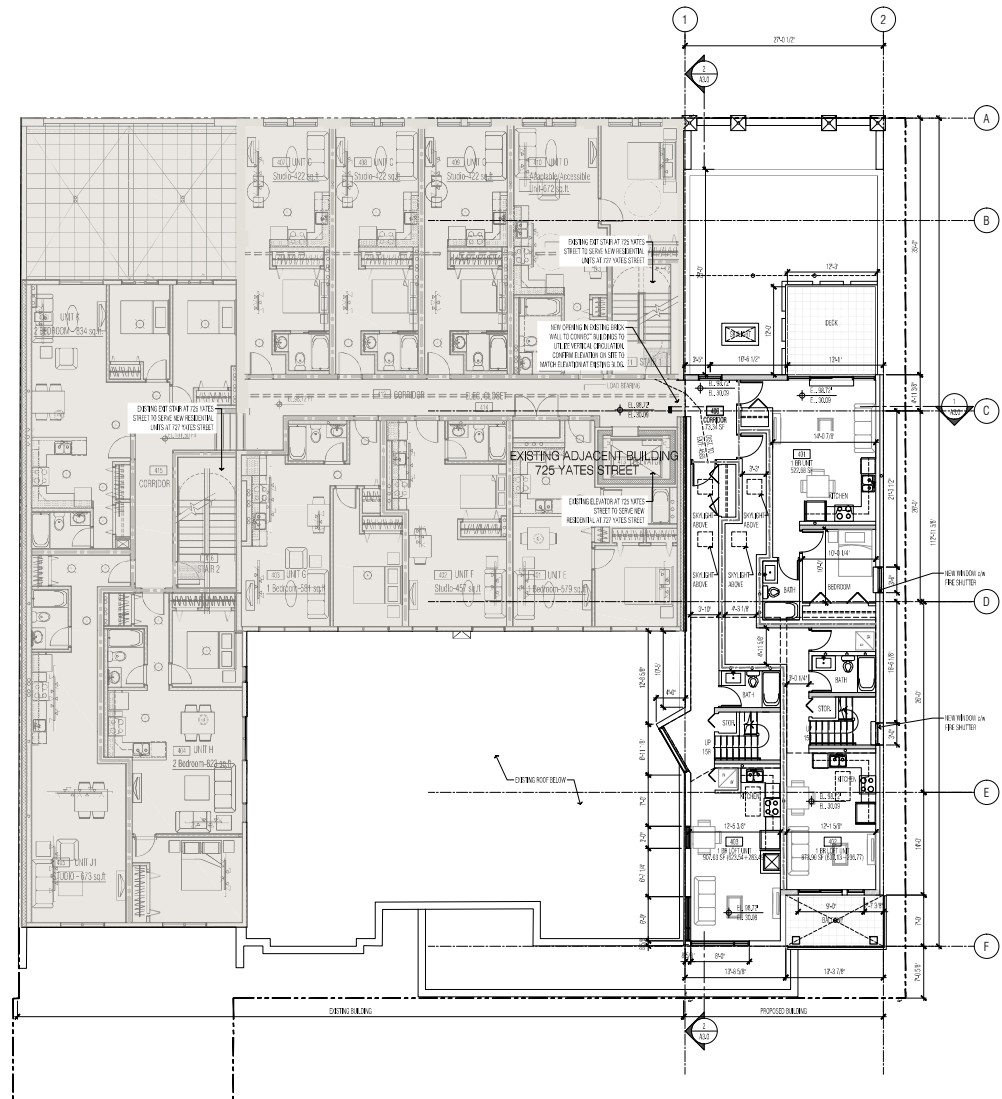
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727 YATES STREET
VICTORIA, BC

drawing title:
4TH LEVEL
PROPOSED PLAN

project no.:	16036
drawn by:	JT
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

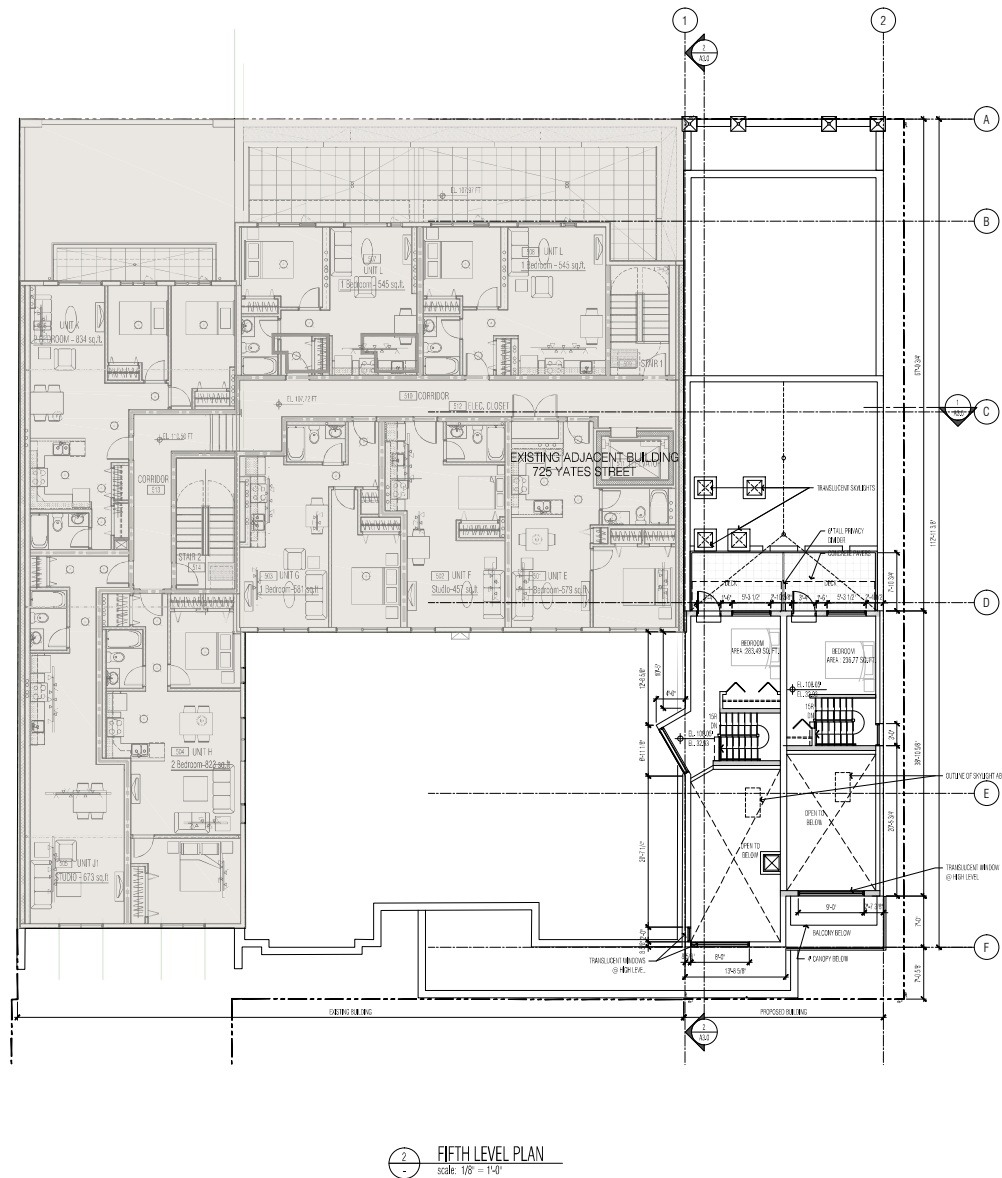
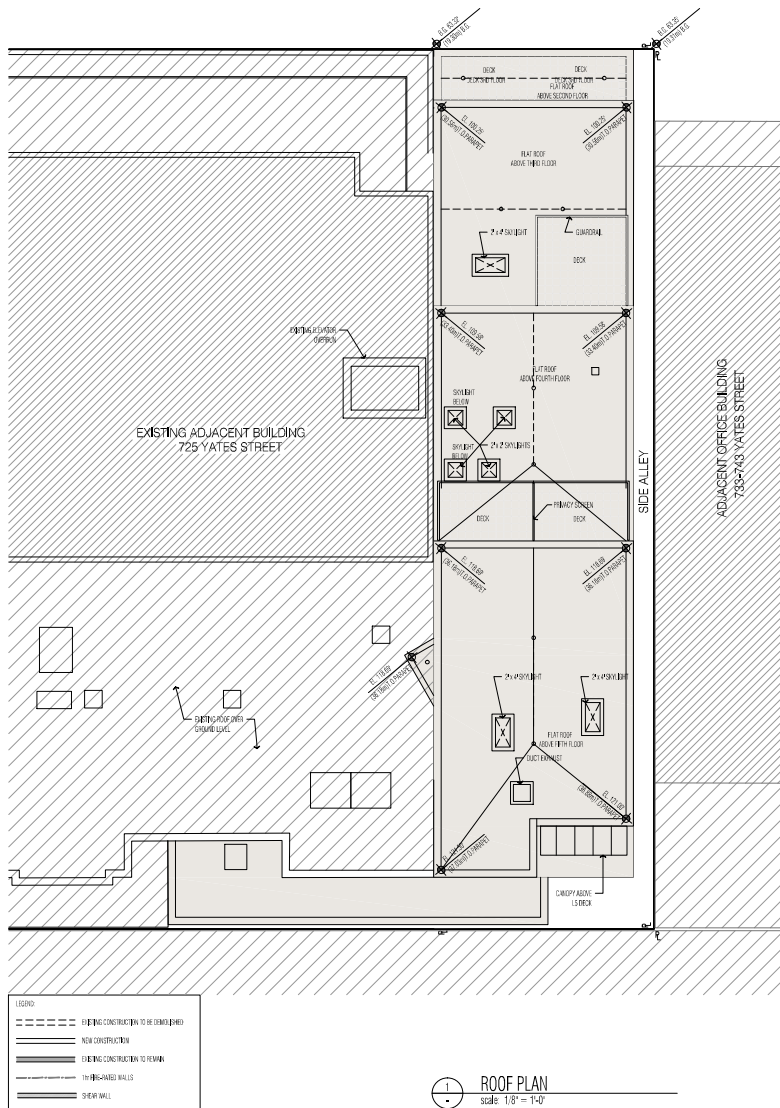
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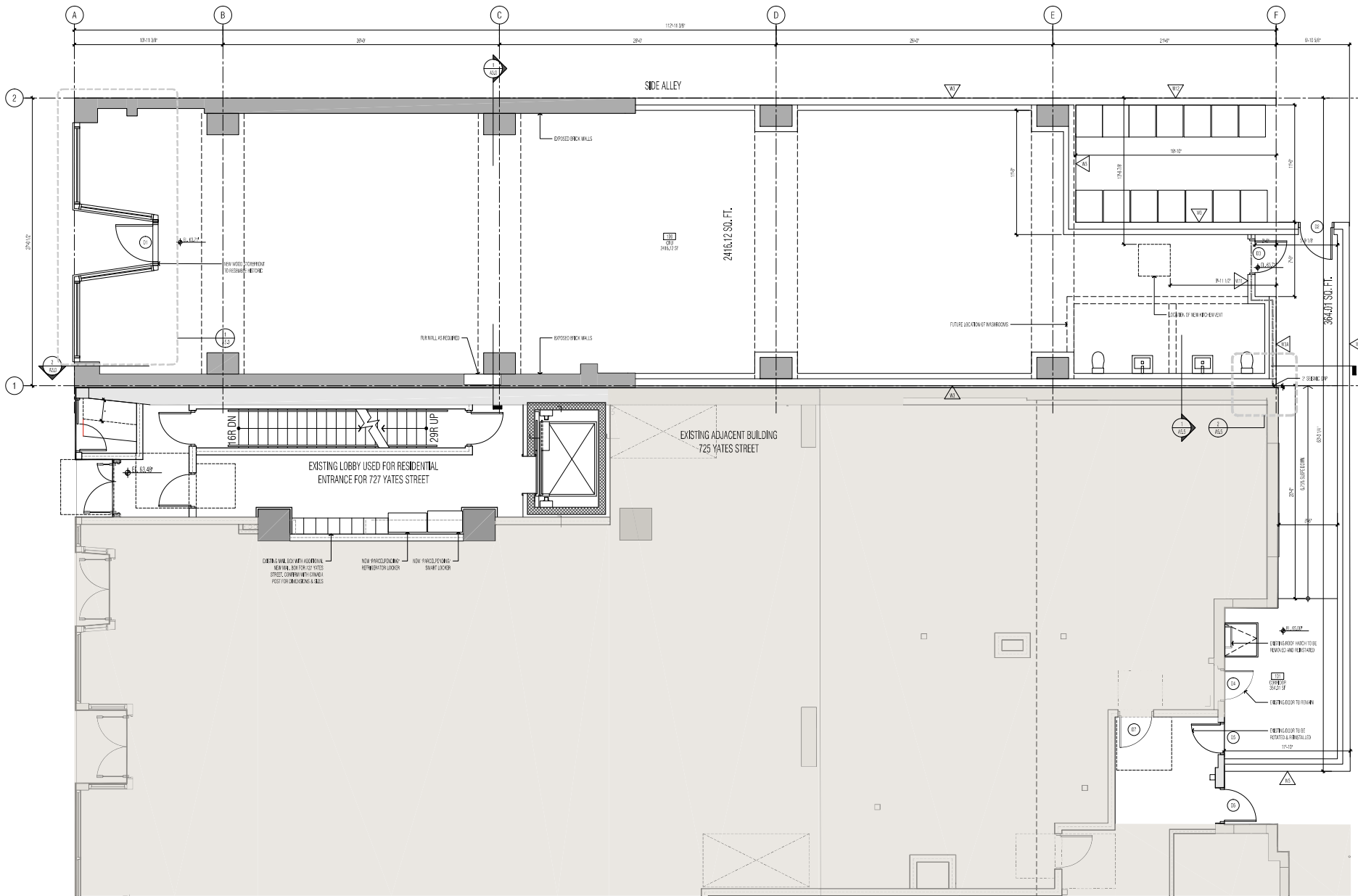
A1.5



FOURTH LEVEL PROPOSED PLAN
scale: 1/8" = 1'-0"

LEGEND:
EXISTING CONSTRUCTION TO BE DEMOLISHED
NEW CONSTRUCTION
EXISTING CONSTRUCTION TO REMAIN
1/4" THICK GARDER WALLS
SHED WALL





GROUND LEVEL ENLARGED PLAN
Scale: 1/4" = 1'-0"

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no.	date	description
J	NOV 19/19	ISSUED FOR BP
I	OCT 20/19	ISSUED FOR BP
H	OCT 20/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVISION
F	APR 26/19	ISSUED FOR 95% REVISION
E	JAN 27/19	ISSUED FOR 75% REVISION
D	DEC 21/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC. 20/17	ISSUED FOR H.A.P.
A	JAN. 25/17	ISSUED FOR DEVELOPMENT

project title:
727 YATES STREET
VICTORIA, BC

drawing title:
GROUND LEVEL
ENLARGED PLAN

project no.: 16038
drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:
A1.7



LEGEND

== == ==	EXISTING CONSTRUCTION TO BE DEMOLISHED
=====	NEW CONSTRUCTION
=====	EXISTING CONSTRUCTION TO REMAIN
--- --	1-1/2" RATED WALLS
=====	SHEAR WALL

drawing no.:

A1.8

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EXISTING CONSTRUCTION TO BE DEMOLISHED
NEW CONSTRUCTION
EXISTING CONSTRUCTION TO REMAIN
1/2" FIRE-RATED WALLS
SHEAR WALL

J	NOV 18/19	ISSUED FOR BP
I	OCT 20/19	ISSUED FOR BP
H	OCT 20/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% PERMITS
F	APR 26/19	ISSUED FOR 90% PERMITS
E	JAN 27/19	ISSUED FOR 75% PERMITS
D	DEC 21/18	ISSUED FOR 50% PERMITS
C	JUNE 14/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JAN 25/17	ISSUED FOR CONCEPT
no.	date	description
revisions		

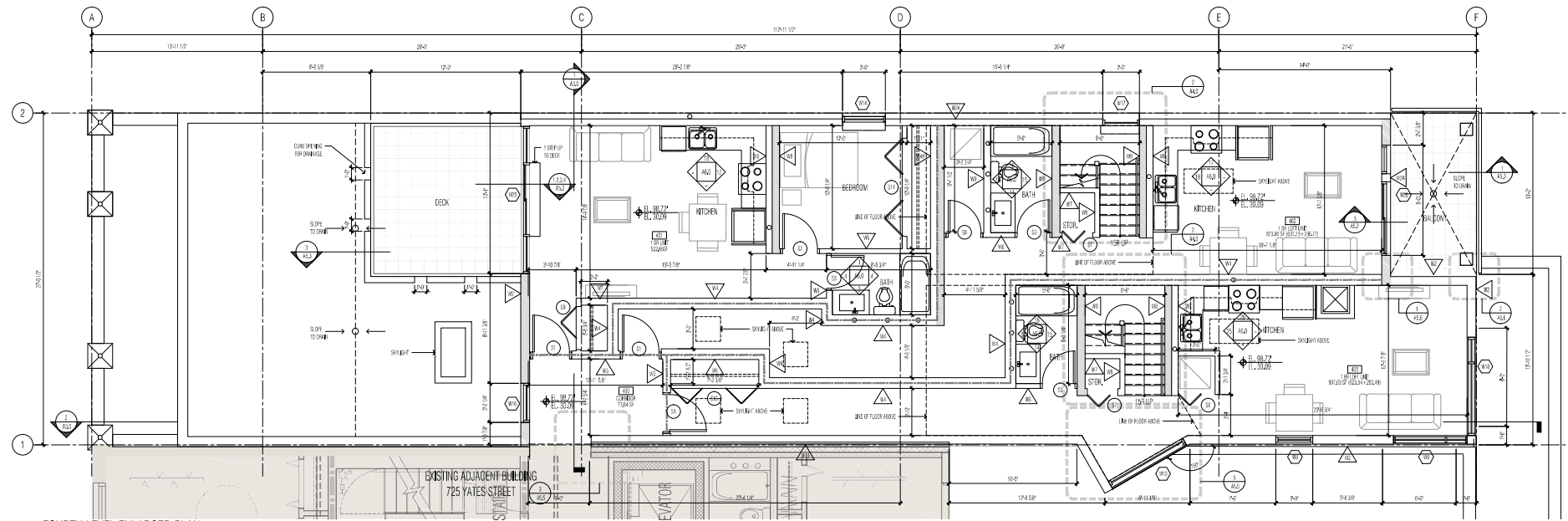
project title:
727 YATES STREET
VICTORIA, BC

drawing title:
FOURTH & FIFTH LEVEL
ENLARGED PLAN

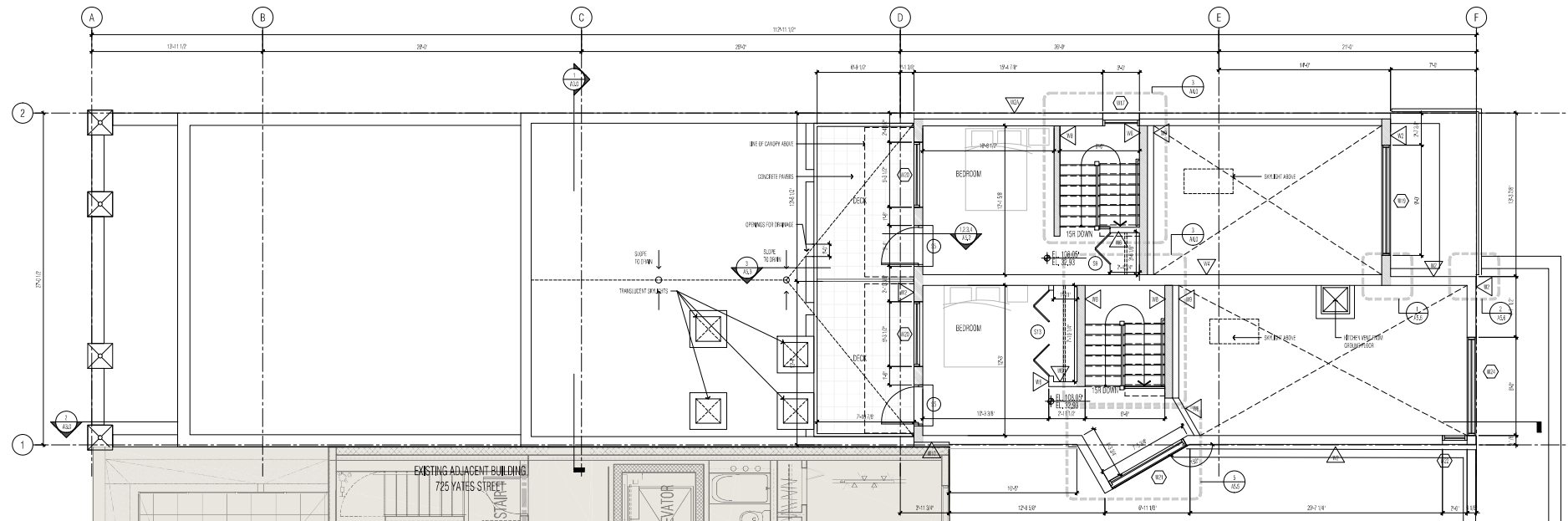
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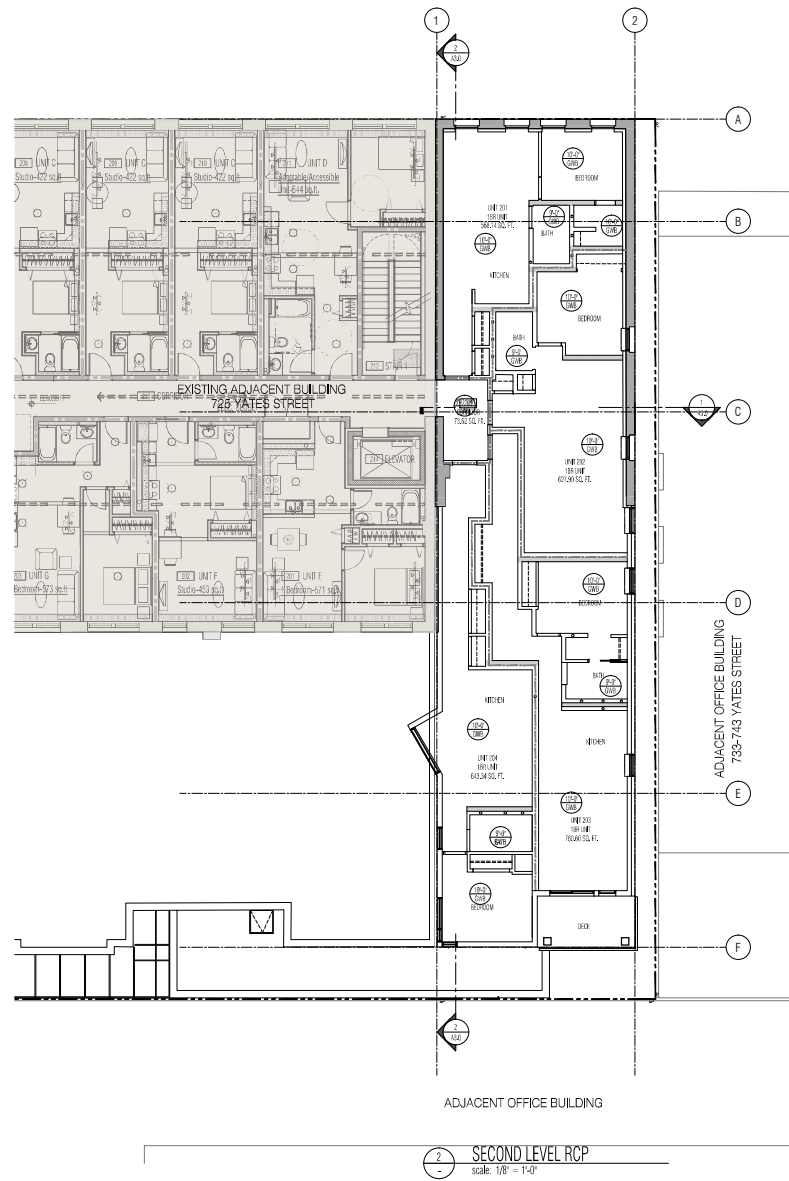
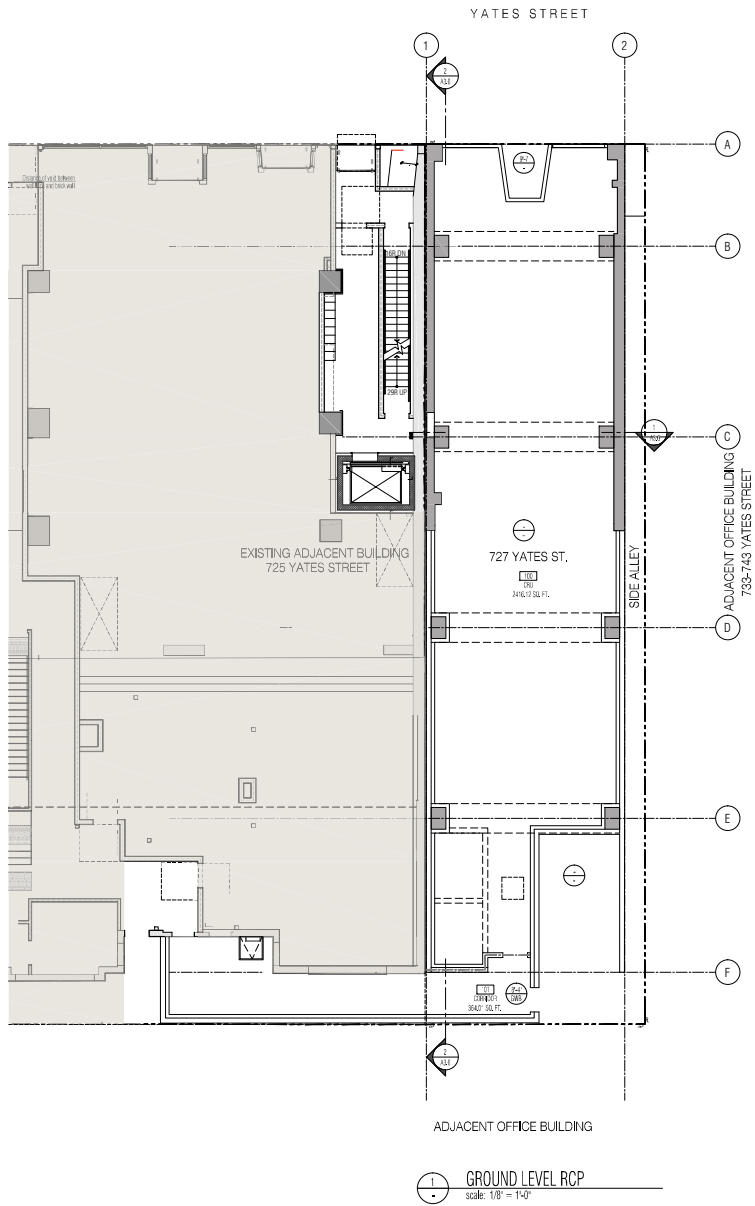
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FOURTH LEVEL ENLARGED PLAN
scale: 1/4" = 1'-0"



FIFTH LEVEL ENLARGED PLAN
scale: 1/4" = 1'-0"



J	NOV 19/19	ISSUED FOR BP
I	OCT 20/19	ISSUED FOR BP
H	OCT 23/19	ISSUED FOR OP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVIEW
F	APR 26/19	ISSUED FOR 95% REVIEW
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C	JUNE 04/18	ISSUED FOR H.A.P.
B	OCT. 20/17	ISSUED FOR H.A.P.
A	JUN 25/17	ISSUED FOR DEVI INQUIRY
no.	date	description
revisions		

project title:
727 YATES STREET
VICTORIA, BC


drawing title:
GROUND & SECOND
REFLECTED CEILING PLAN

project no.:	16036
drawn by:	JT
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

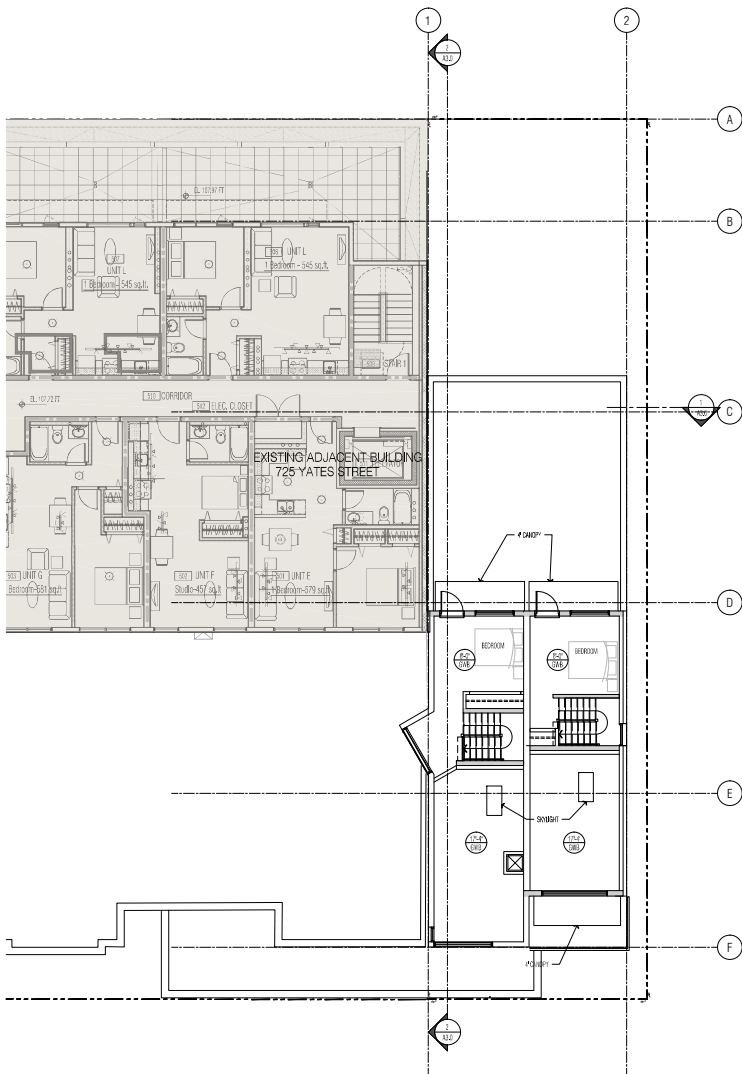
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- project title:
727 YATES STREET
VICTORIA, BC

project no.:	16036	
drawn by:	JZ	
checked by:	JW	
date:	NOV 18, 2019	
scale:	AS NOTED	

A1.11





1 FIFTH LEVEL RCP
scale: 1/8" = 1'-0"

J	NOV 18/19	ISSUED FOR BP
I	OCT 20/19	ISSUED FOR BP
H	OCT 20/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVIEW
F	APR 26/19	ISSUED FOR 95% REVIEW
E	JAN 27/19	ISSUED FOR 75% REVIEW
D	DEC 21/18	ISSUED FOR 50% REVIEW
C	JUNE 14/18	ISSUED FOR H.A.P.
B	DEC. 20/17	ISSUED FOR H.A.P.
A	JAN. 25/17	ISSUED FOR DEVELOPMENT
no.	date	description
revisions		

project title:
727 YATES STREET
VICTORIA, BC

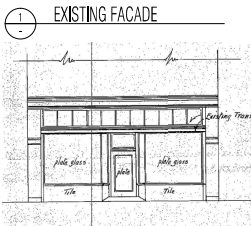
drawing title:
FIFTH LEVEL
REFLECTED CEILING PLAN

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drawn by:	JT	
checked by:	JW	
date:	NOV 18, 2019	
scale:	AS NOTED	

drawing no.:

A1.12

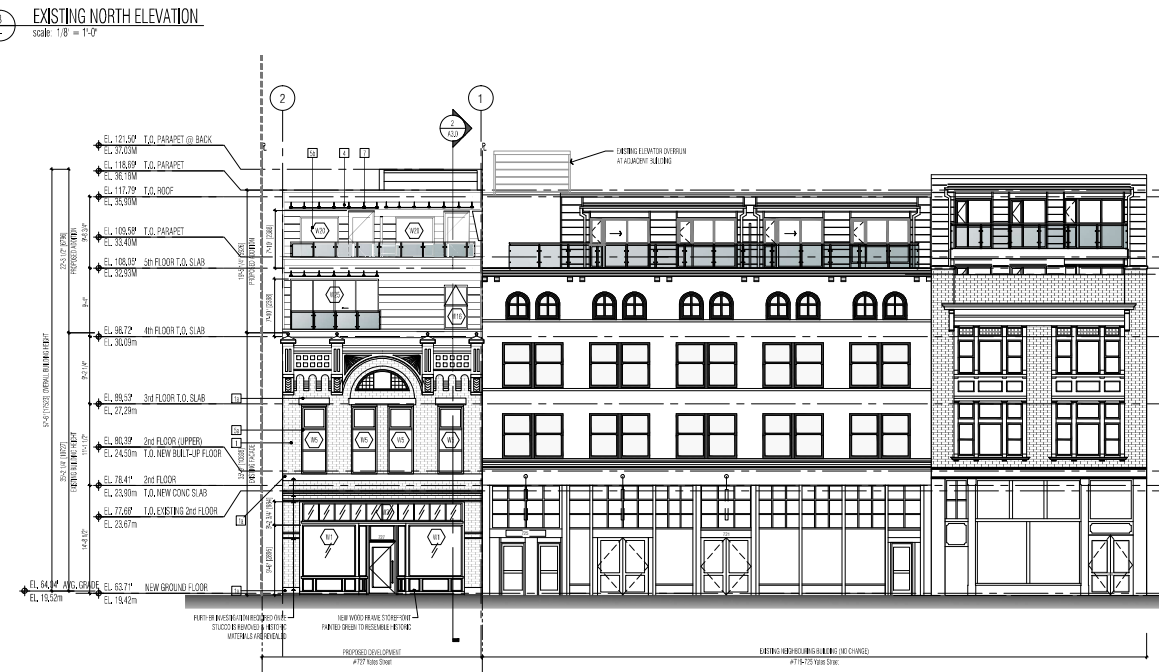
Project: 18088 - 727 Yates St. Victoria, BC
Drawing: 18088_001_01



2 HISTORIC FACADE REFERENCE
scale: 1/8" = 1'-0"

EXISTING MATERIALS LEGEND
1. EXISTING BRICK FACADE (STAMPED & REPAIRED)
2. EXISTING STONE BLOCKS (REPAIRS TO BE MATCHED)
3. EXISTING CONCRETE WALL (PTC)
4. NEW CONCRETE BLOCK (CMU) (PTC)
5. NEW 4" x 8" x 16" BRICK (REPAIRS TO BE MATCHED)
6. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
7. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
8. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
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19. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
20. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)

EXISTING PAINT SCHEDULE
1. EXISTING BRICK FACADE (STAMPED & REPAIRED)
2. EXISTING STONE BLOCKS (REPAIRS TO BE MATCHED)
3. EXISTING CONCRETE WALL (PTC)
4. NEW CONCRETE BLOCK (CMU) (PTC)
5. NEW 4" x 8" x 16" BRICK (REPAIRS TO BE MATCHED)
6. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
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11. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
12. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
13. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
14. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
15. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
16. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
17. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
18. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
19. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)
20. NEW 4" x 8" x 16" BRICK (NEW BRICKS TO BE MATCHED)



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revisions
J. NOV 18/19 ISSUED FOR BP
I. OCT 22/19 ISSUED FOR BP
L. OCT 22/19 ISSUED FOR BP
G. JUN 13/19 ISSUED FOR 75% PERMIT
F. APR 26/19 ISSUED FOR 75% PERMIT
E. JAN 21/19 ISSUED FOR 75% PERMIT
D. DEC 21/19 ISSUED FOR 75% PERMIT
C. JUN 04/19 ISSUED FOR H.A.P.
B. DEC 20/17 ISSUED FOR H.A.P.
A. JAN 25/17 ISSUED FOR DEV. INDUSTRY
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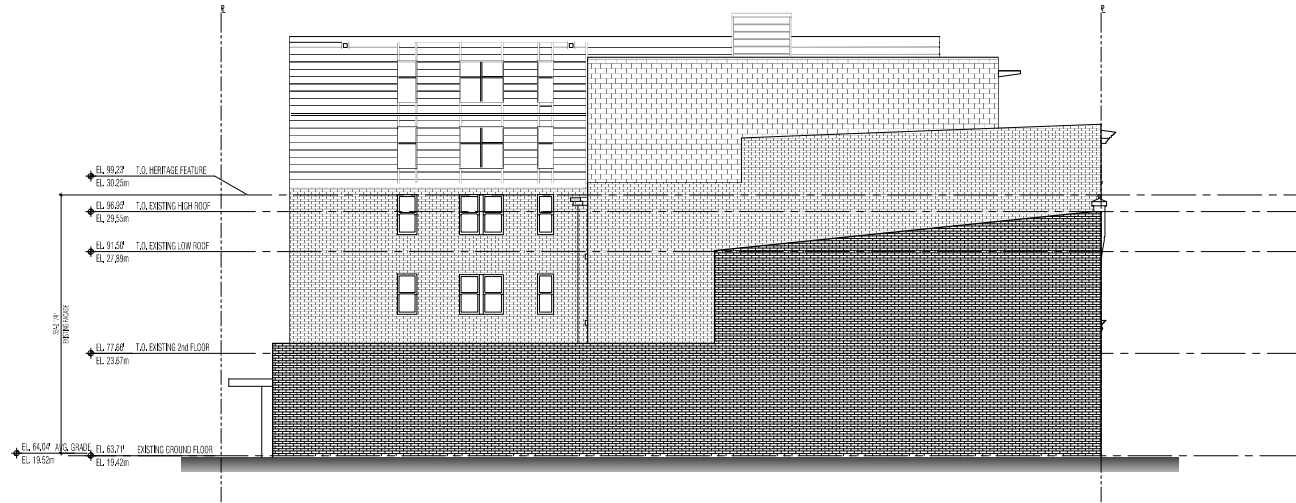
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727 YATES STREET
VICTORIA, BC

drawing title:
EXISTING & PROPOSED
NORTH ELEVATION

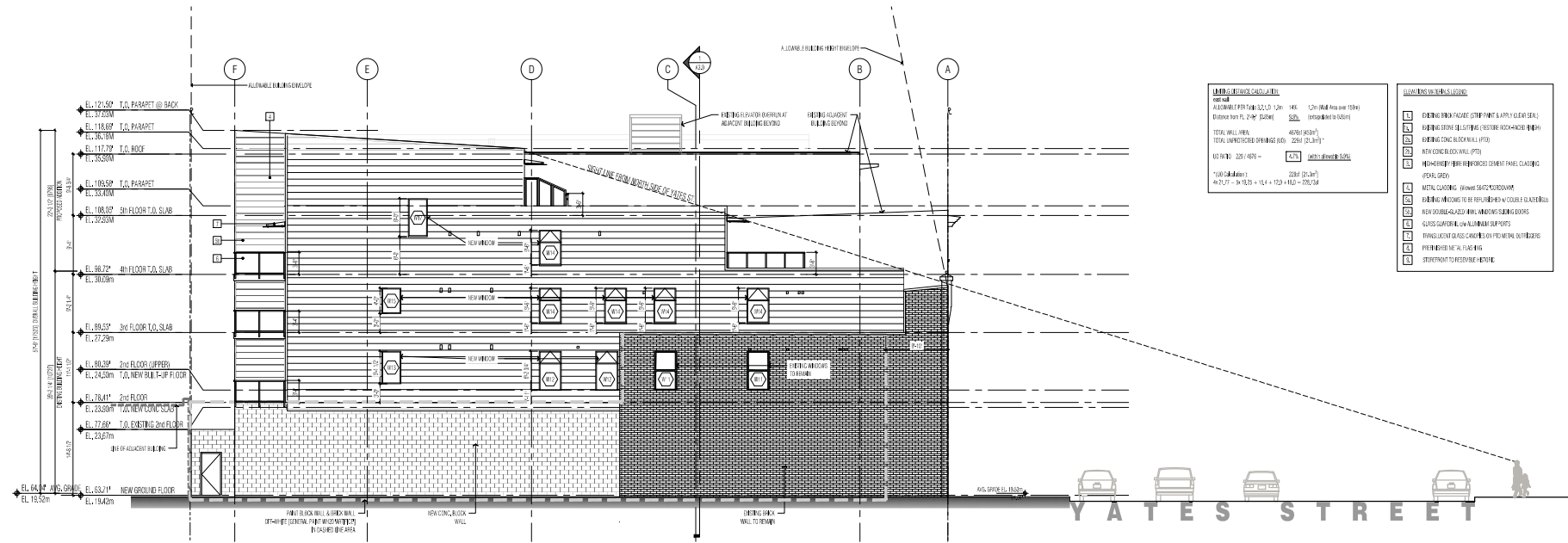
project no. : 18088
drawn by : JZ
checked by : JW
date : NOV 18, 2019
scale : AS NOTED

drawing no.:

A2.0



1 EXISTING EAST ELEVATION
scale: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
scale: 1/8" = 1'-0"

EXISTING MATERIALS CALCULATION	
new wall	
EXISTING BRICK FACED (STYP. PAINT & APPLY CLEAR SEAL)	145' 1.0m (Wall Area over 150sq)
EXISTING CONC. BLOCK WALL (PTD)	620' (approx. to 600sq)
EXISTING CONC. BLOCK WALL (PTD)	4076' (434sq)
EXISTING CONC. BLOCK WALL (PTD)	2264' (24.3sq)
TOTAL WALL AREA	4076' (434sq)
TOTAL UNFINISHED OPENING (SQ)	2264' (24.3sq)
NET FINISH	2264' (24.3sq)
FINISH MATERIAL	2264' (24.3sq)
FINISH MATERIAL	2264' (24.3sq)

EXISTING MATERIALS LIST	
1	EXISTING BRICK FACED (STYP. PAINT & APPLY CLEAR SEAL)
2	EXISTING CONC. BLOCK WALL (PTD)
3	EXISTING CONC. BLOCK WALL (PTD)
4	EXISTING CONC. BLOCK WALL (PTD)
5	EXISTING CONC. BLOCK WALL (PTD)
6	EXISTING CONC. BLOCK WALL (PTD)
7	EXISTING CONC. BLOCK WALL (PTD)
8	EXISTING CONC. BLOCK WALL (PTD)
9	EXISTING CONC. BLOCK WALL (PTD)
10	EXISTING CONC. BLOCK WALL (PTD)
11	EXISTING CONC. BLOCK WALL (PTD)
12	EXISTING CONC. BLOCK WALL (PTD)
13	EXISTING CONC. BLOCK WALL (PTD)
14	EXISTING CONC. BLOCK WALL (PTD)
15	EXISTING CONC. BLOCK WALL (PTD)
16	EXISTING CONC. BLOCK WALL (PTD)
17	EXISTING CONC. BLOCK WALL (PTD)
18	EXISTING CONC. BLOCK WALL (PTD)
19	EXISTING CONC. BLOCK WALL (PTD)
20	EXISTING CONC. BLOCK WALL (PTD)

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no.	date	description
1	NOV 18/19	ISSUED FOR BP
2	OCT 22/19	ISSUED FOR BP
3	OCT 22/19	ISSUED FOR BP AMENDMENT
4	JUN 13/19	ISSUED FOR 75% REMISION
5	APR 26/19	ISSUED FOR 75% REMISION
6	JAN 21/19	ISSUED FOR 75% REMISION
7	DEC 04/18	ISSUED FOR 75% REMISION
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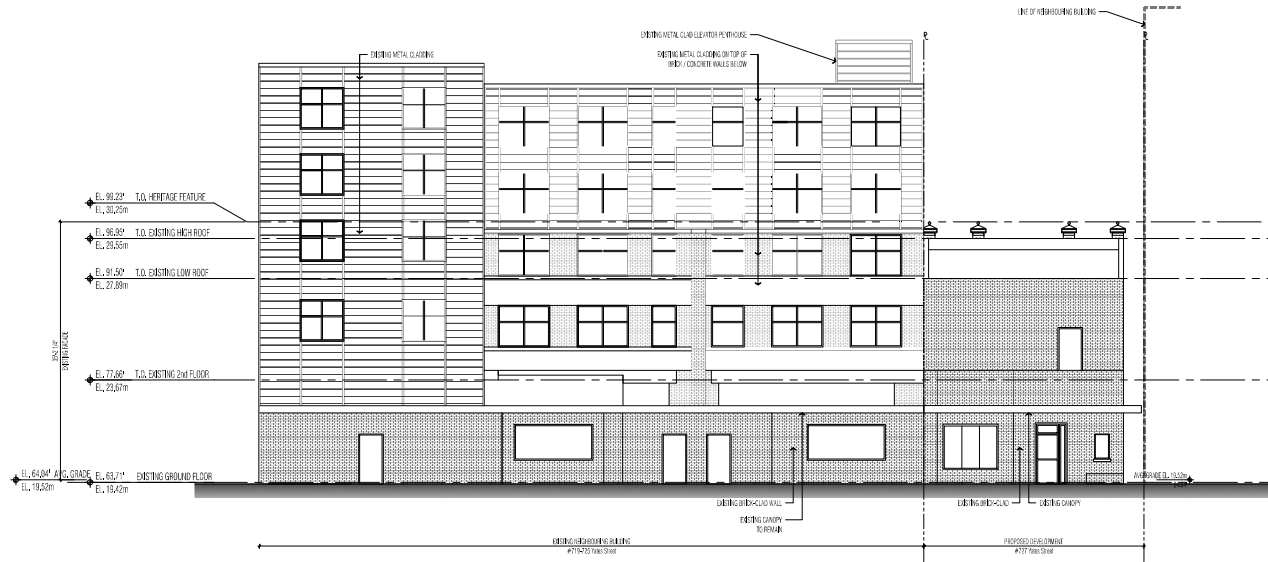
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727 YATES STREET
VICTORIA, BC

drawing title:
EXISTING & PROPOSED EAST
ELEVATION

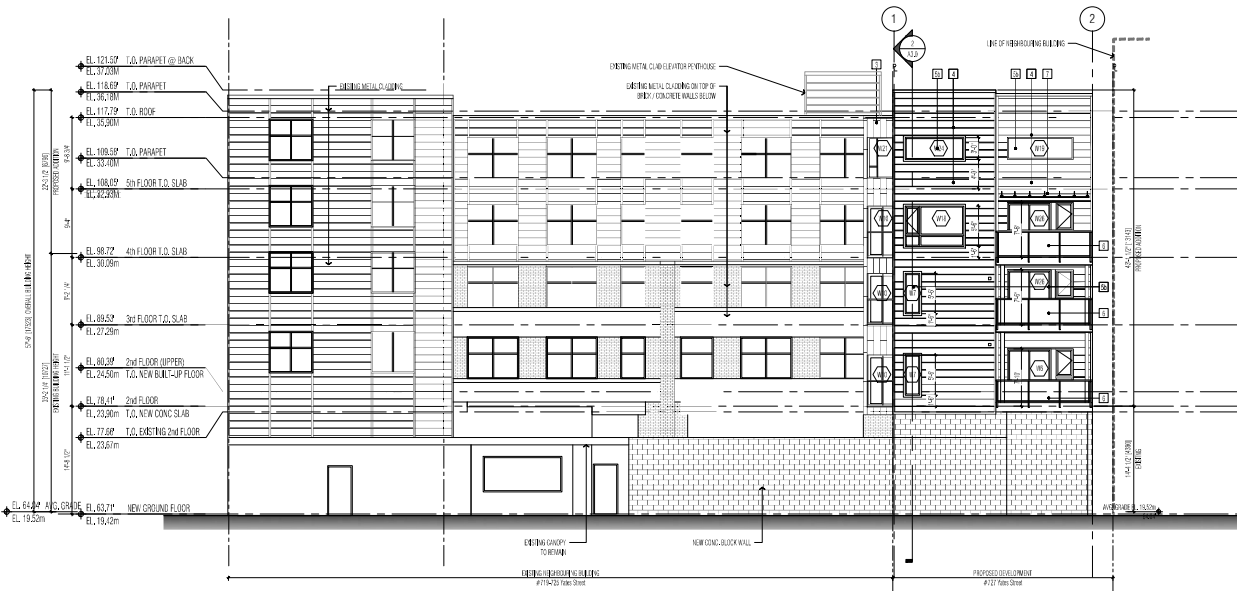
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drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

A2.1



1 EXISTING SOUTH ELEVATION
scale: 1/8" = 1'-0"



- EXISTING MATERIALS LEGEND
- 1 EXISTING CORNER FINISHED GYP/PLASTER (LARRY CLAY SEAL)
 - 2 EXISTING CLADDING (BRICKWORK FINISHED (BRICKWORK))
 - 3 EXISTING CONCRETE BLOCK WALL (PTC)
 - 4 NEW CONCRETE BLOCK WALL (PTC)
 - 5 HIGH-STRENGTH BRICK REINFORCED CONCRETE FRAME CLADDING (LOCAL ORDER)
 - 6 METAL CLADDING (STEEL BRICKWORK)
 - 7 EXISTING BRICKWORK TO BE REFINISHED (BRICKWORK CLAY SEAL)
 - 8 NEW BRICKWORK (CLAY SEAL) (BRICKWORK CLAY SEAL)
 - 9 GLASS CLADDING (CLAY SEAL) (BRICKWORK CLAY SEAL)
 - 10 TRANSPARENT GLASS CLADDING ON THE METAL CLADDING
 - 11 PREFINISHED METAL CLADDING
 - 12 STOREFRONT TO REMAIN (EXISTING)

2 PROPOSED SOUTH ELEVATION
scale: 1/8" = 1'-0"

no.	date	description
1	NOV 18/19	ISSUED FOR BP
2	OCT 22/19	ISSUED FOR BP
3	OCT 22/19	ISSUED FOR BP
4	JUN 13/19	ISSUED FOR BP
5	JUN 26/19	ISSUED FOR BP
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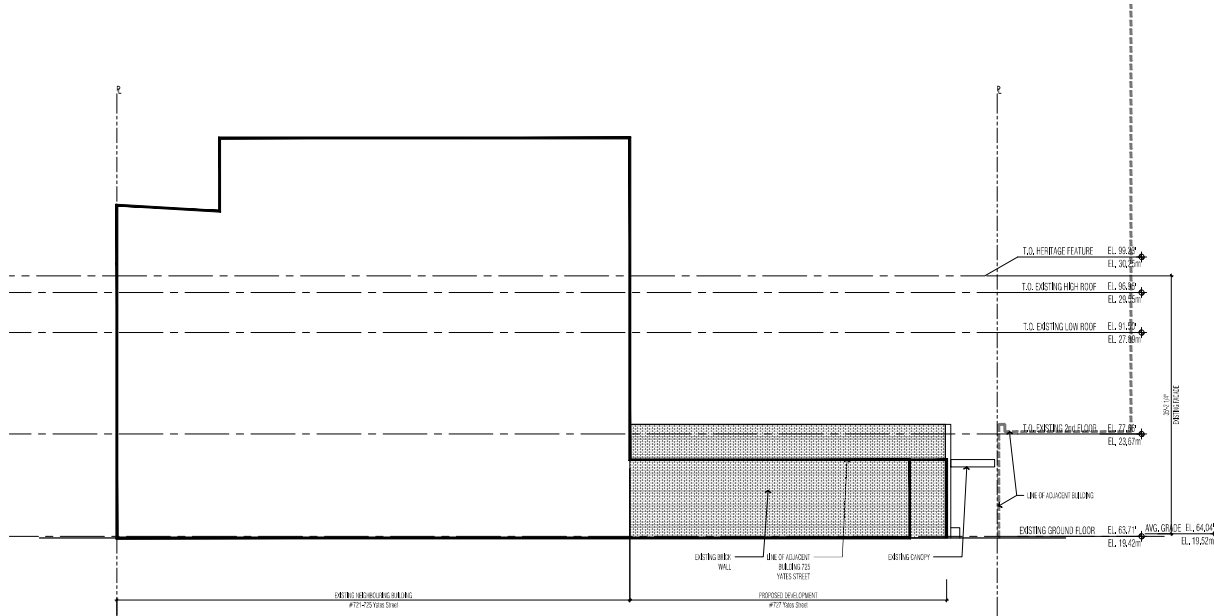
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727 YATES STREET
VICTORIA, BC

drawing title:
EXISTING & PROPOSED SOUTH
ELEVATION

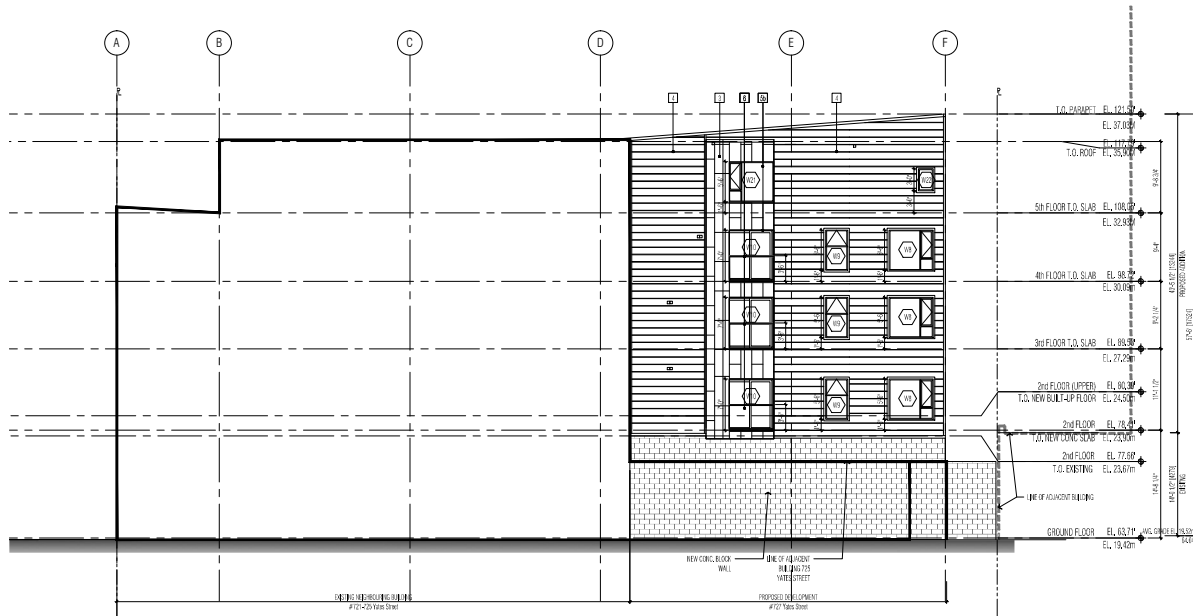
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drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

A2.2



1 EXISTING WEST ELEVATION
scale: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
scale: 1/8" = 1'-0"

EXISTING MATERIALS LEGEND	
1	EXISTING BRICK VENEER (CONCRETE BLOCK WITH BRICK VENEER)
2	EXISTING STONE CLADDING (EXISTING RED-BRICK ROOF)
3	EXISTING CONCRETE BLOCK WALL (PTD)
4	NEW CONCRETE BLOCK WALL (PTD)
5	NEW-HIGH-IMPACT POLYCARBONATE PANEL CLADDING (PTD, GROUND)
6	METAL CLADDING (STEEL SHEET PILING)
7	EXISTING BRICK VENEER (CONCRETE BLOCK WITH BRICK VENEER)
8	NEW STONE CLADDING (NEW-HIGH-IMPACT POLYCARBONATE)
9	GLASS ALUMINUM CURTAIN WALL
10	TRANSPARENT GLASS CURTAIN WALL WITH METAL OUTLETS
11	PRE-PAVED METAL PLATING
12	STOREFRONT TO PRESERVE HISTORY

no.	date	description
1	NOV 18/19	ISSUED FOR BP
2	OCT 22/19	ISSUED FOR BP
3	OCT 22/19	ISSUED FOR BP AMENDMENT
4	JUN 13/19	ISSUED FOR 10% REVISION
5	APR 26/19	ISSUED FOR 10% REVISION
6	JAN 21/19	ISSUED FOR 10% REVISION
7	DEC 21/18	ISSUED FOR 10% REVISION
8	JUN 04/18	ISSUED FOR H.A.P.
9	DEC 20/17	ISSUED FOR H.A.P.
10	JAN 25/17	ISSUED FOR DEV. REVIEW
11		
12		

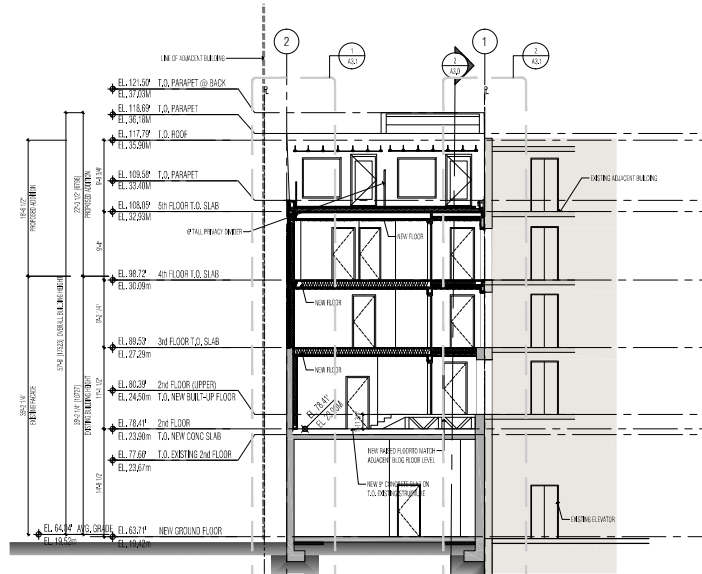
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727 YATES STREET
VICTORIA, BC

drawing title:
EXISTING & PROPOSED WEST
ELEVATION

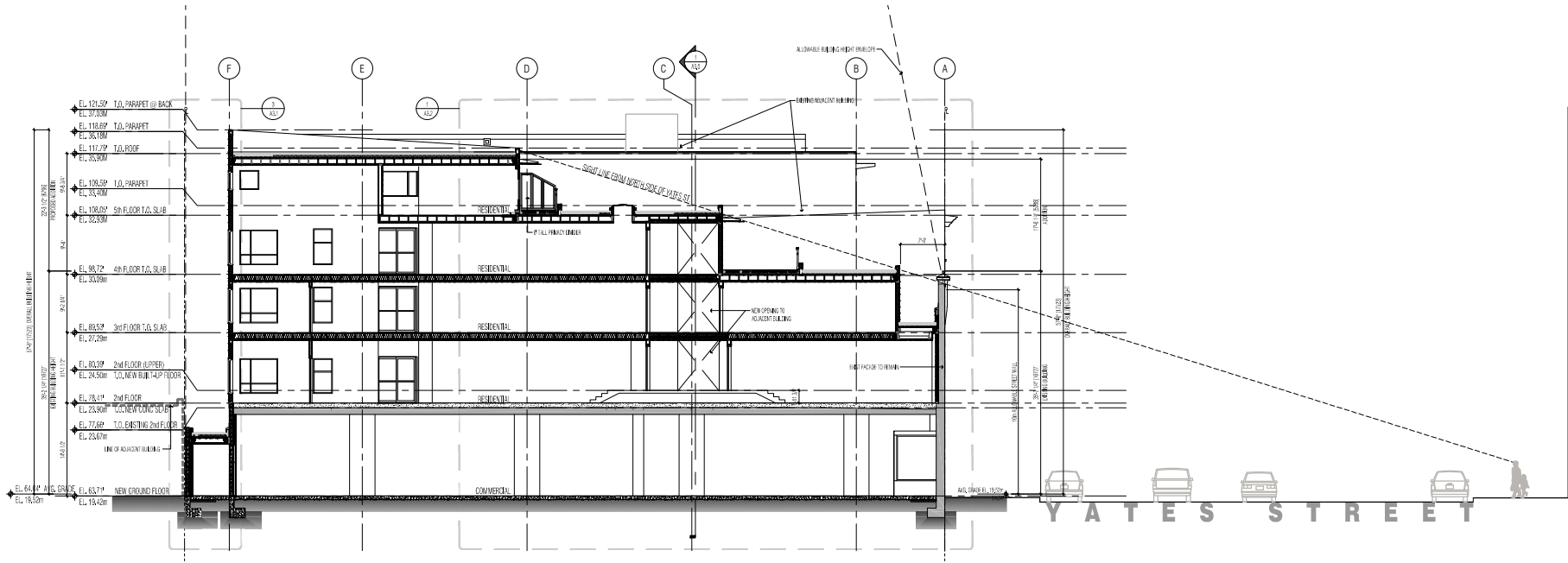
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date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

A2.3



SECTION
scale: 1/8" = 1'-0"



SECTION
scale: 1/8" = 1'-0"

J	NOV 18/19	ISSUED FOR BP
I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR DESIGN REVISION
F	APR 26/19	ISSUED FOR DESIGN REVISION
E	JAN 31/19	ISSUED FOR DESIGN REVISION
D	DEC 21/18	ISSUED FOR DESIGN REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JAN 25/17	ISSUED FOR DESIGN REVISION
no.	date	description
revisions		

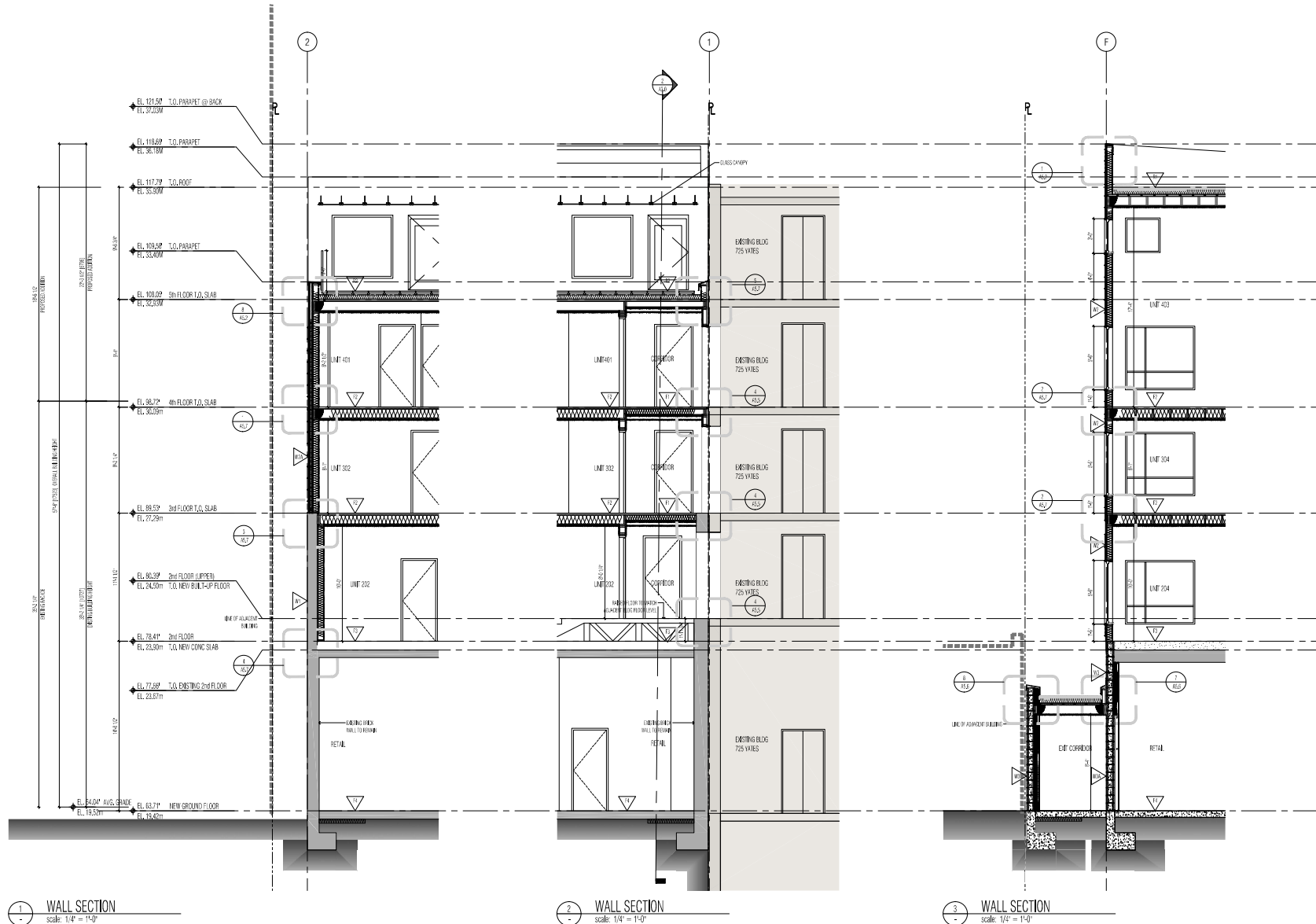
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727 YATES STREET
VICTORIA, BC

drawing title:
BUILDING SECTIONS

project no.: 19036
drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

A3.0



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I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR BP AMENDMENT
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F	APR 26/19	ISSUED FOR 95% REVISION
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D	DEC 21/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
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A	JAN 25/17	ISSUED FOR DEV. REVIEW
no.	date	description
revisions		

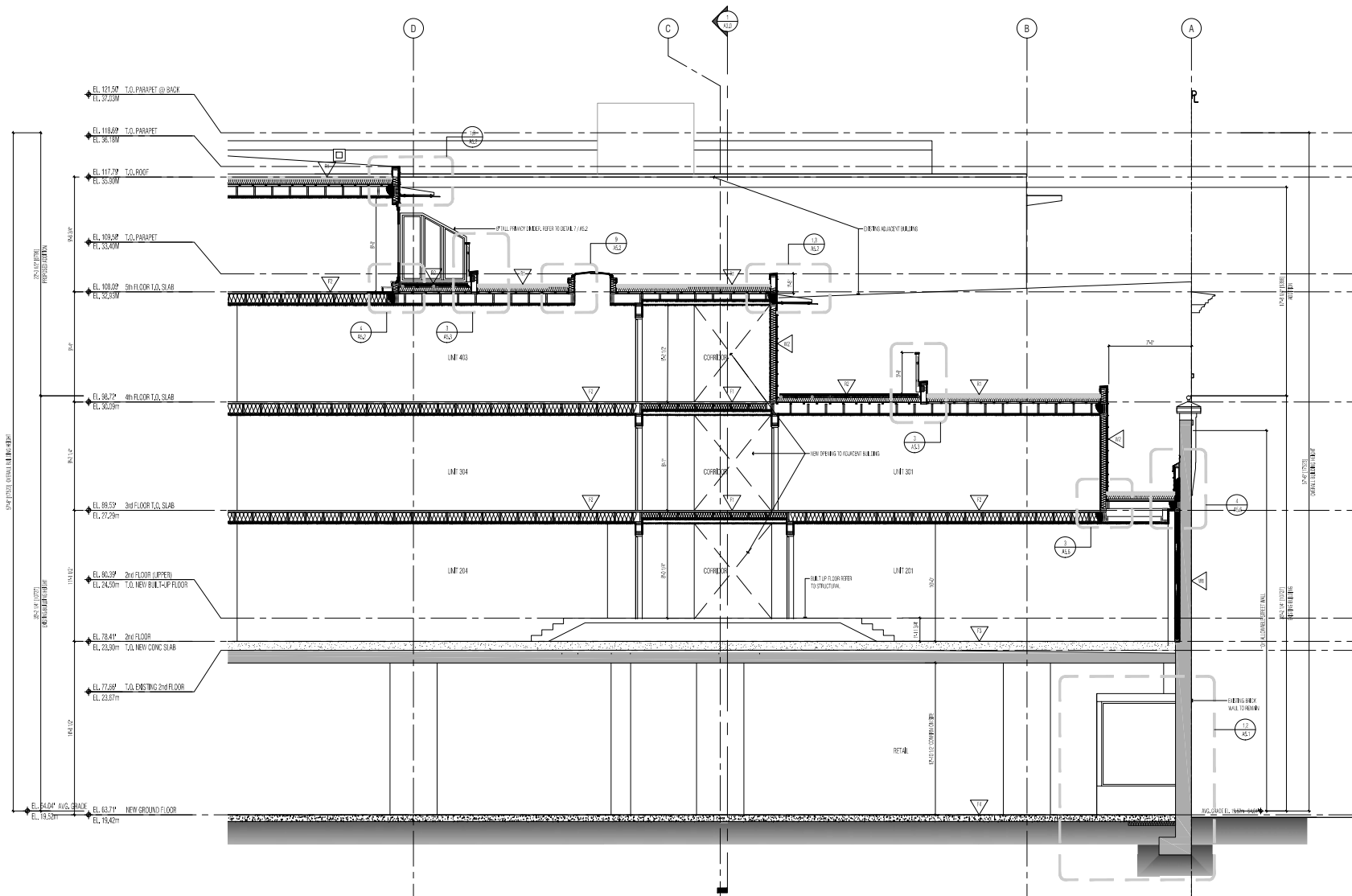
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VICTORIA, BC

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BUILDING SECTIONS

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drawn by:	JT
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

A3.1



1 WALL SECTION
scale: 1/4" = 1'-0"

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H	OCT 22/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR DESIGN REVIEW
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E	JAN 21/19	ISSUED FOR DESIGN REVIEW
D	DEC 21/18	ISSUED FOR DESIGN REVIEW
C	JUNE 04/18	ISSUED FOR H.A.P.
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no.	date	description
revisions		

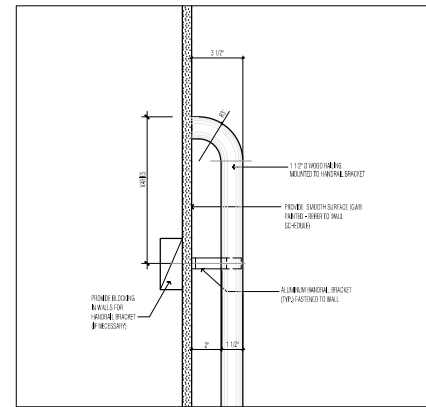
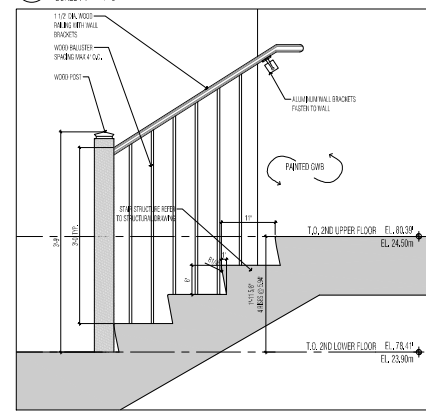
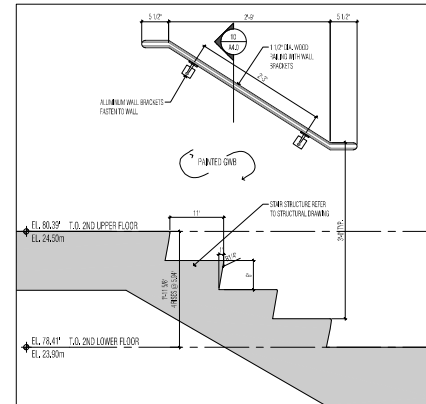
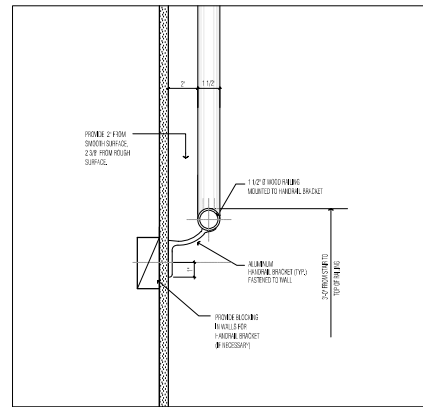
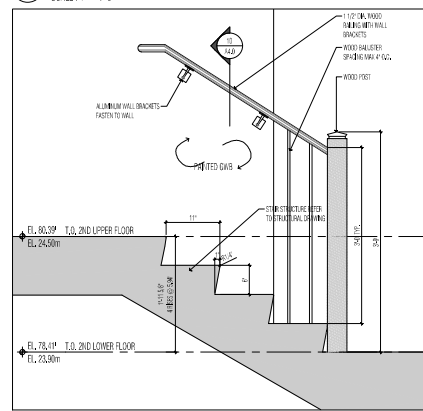
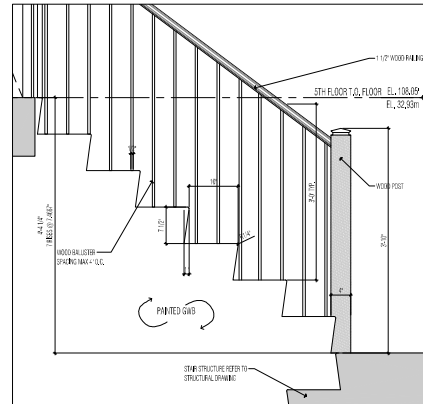
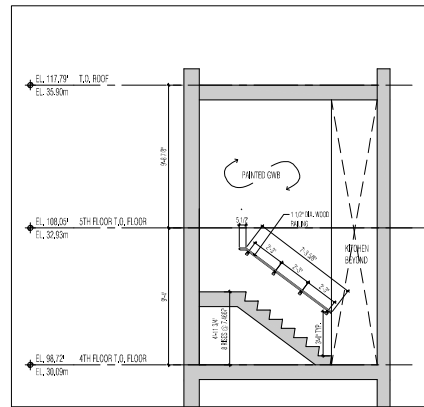
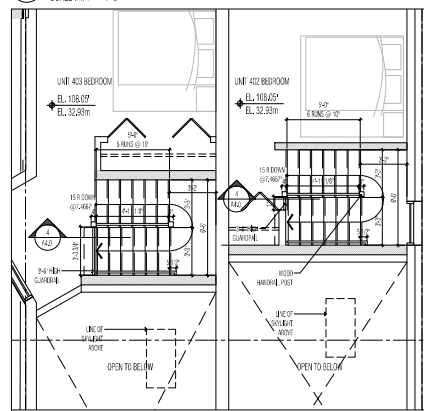
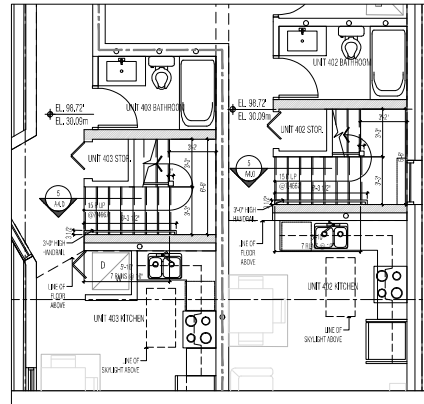
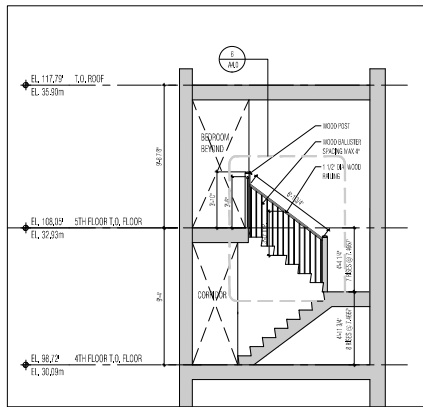
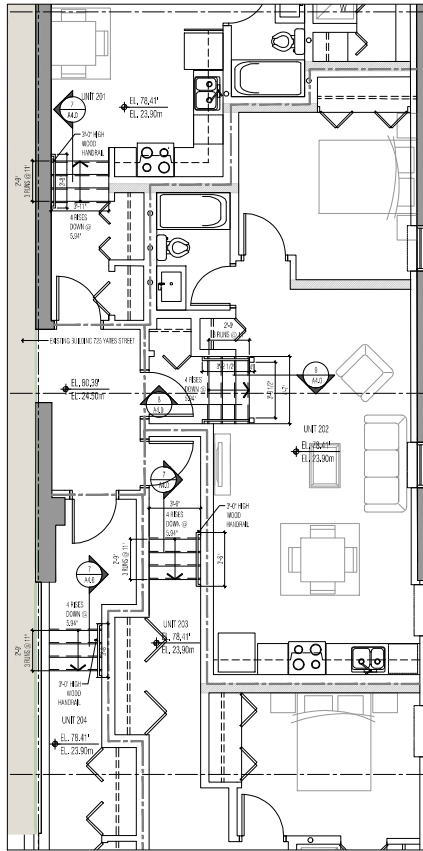
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727 YATES STREET
VICTORIA, BC

drawing title:
BUILDING SECTIONS

project no.:	19036
drawn by:	JT
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

A3.2



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no.	date	description
J	NOV 18/19	ISSUED FOR BP
L	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR BP AMENDMENT
G	JUN 13/19	ISSUED FOR 10% PERMISION
F	APR 26/19	ISSUED FOR 10% PERMISION
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B	DEC 20/17	ISSUED FOR 10% PERMISION
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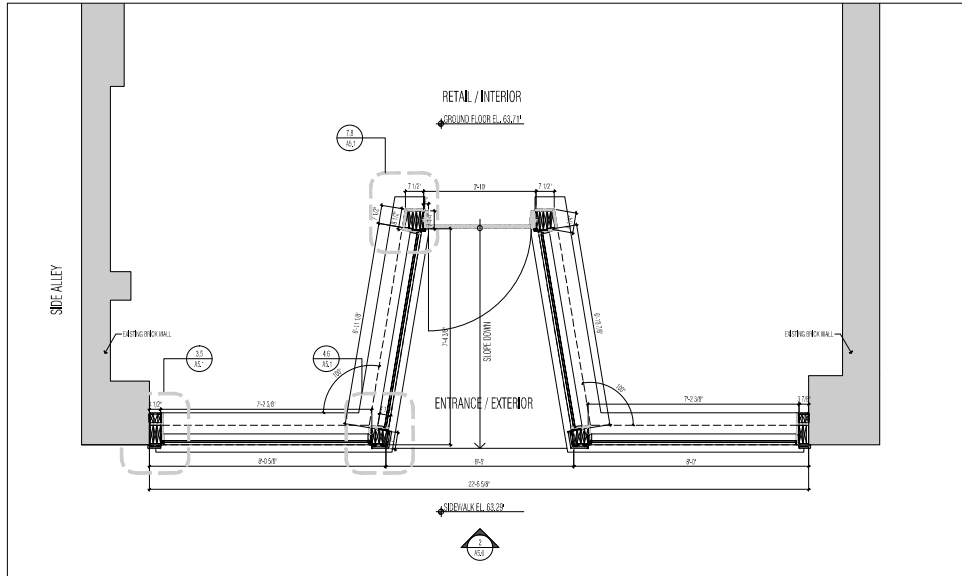
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727 YATES STREET
VICTORIA, BC

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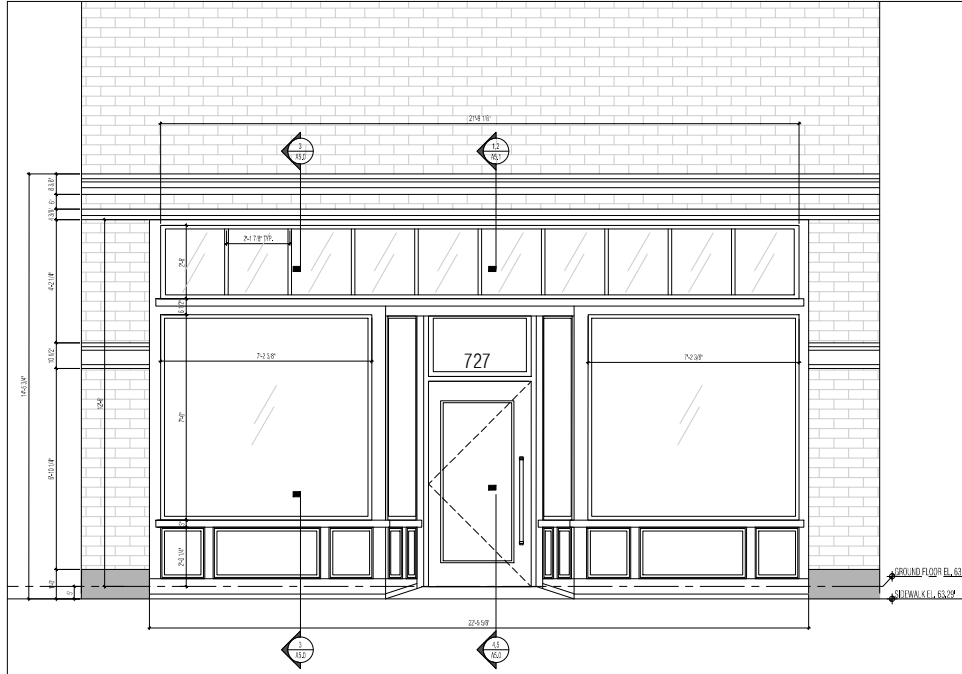
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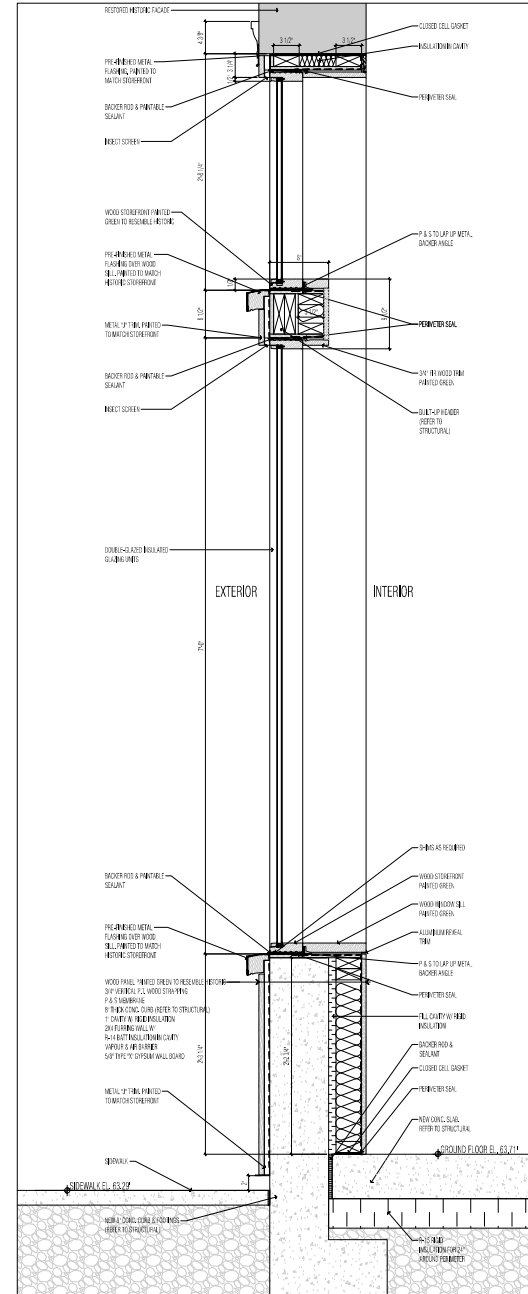
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1 STOREFRONT PLAN VIEW
SCALE: 1/2" = 1'-0"



2 STOREFRONT ELEVATION
SCALE: 1/2" = 1'-0"



3 SECTION
SCALE: 1/2" = 1'-0"

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J	NOV 18/19	ISSUED FOR BP
L	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR BP AMENDMENT
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D	DEC 21/18	ISSUED FOR DESIGN REVISION
C	JUN 04/18	ISSUED FOR H.A.P.
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A	JAN 25/17	ISSUED FOR DESIGN REVISION
no.	date	description
revisions		

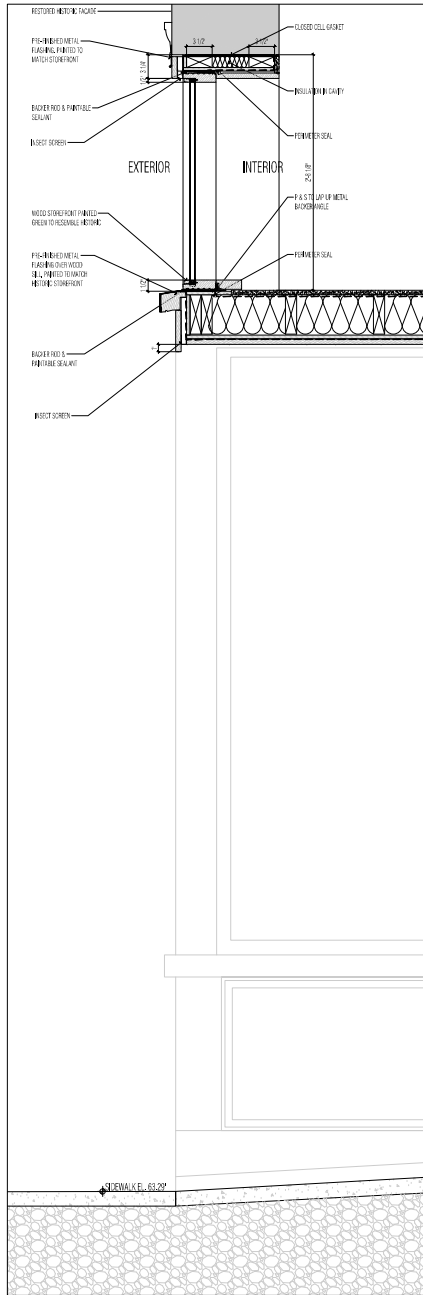
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727 YATES STREET
VICTORIA, BC

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DETAILS

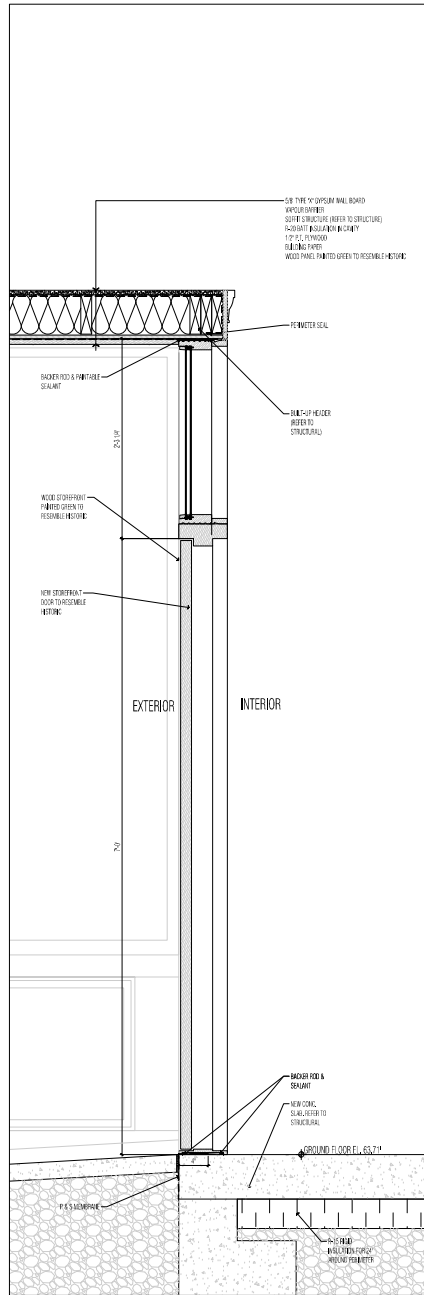
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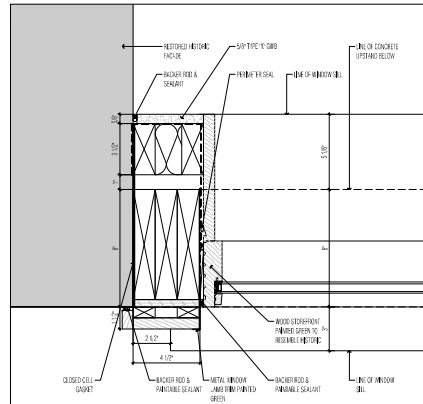
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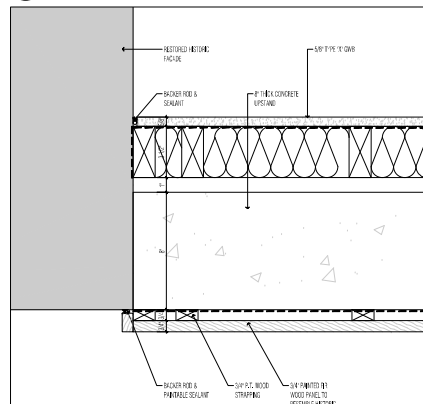
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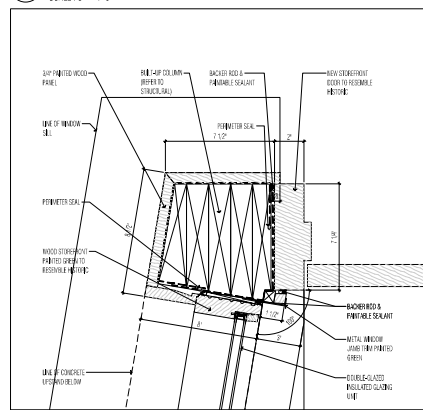
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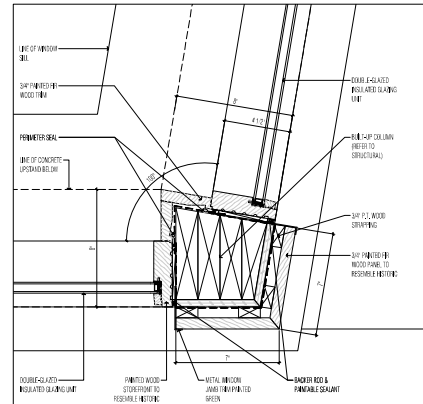
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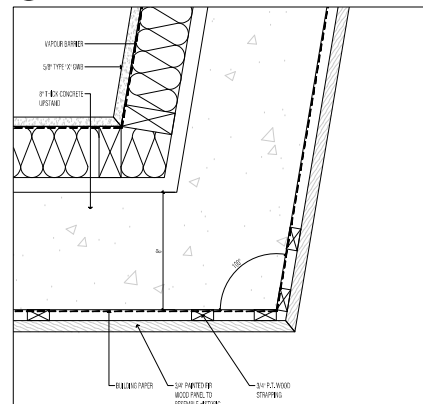
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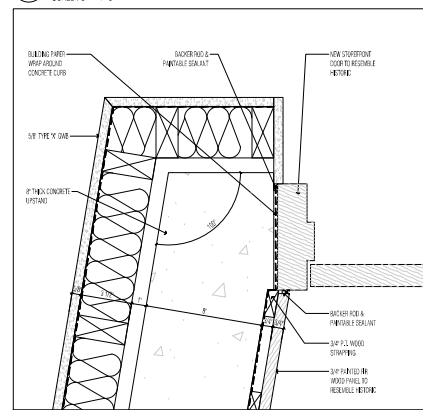
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SCALE: 3" = 1'-0"



6 DETAIL
SCALE: 3" = 1'-0"



7 DETAIL
SCALE: 3" = 1'-0"



8 DETAIL
SCALE: 3" = 1'-0"

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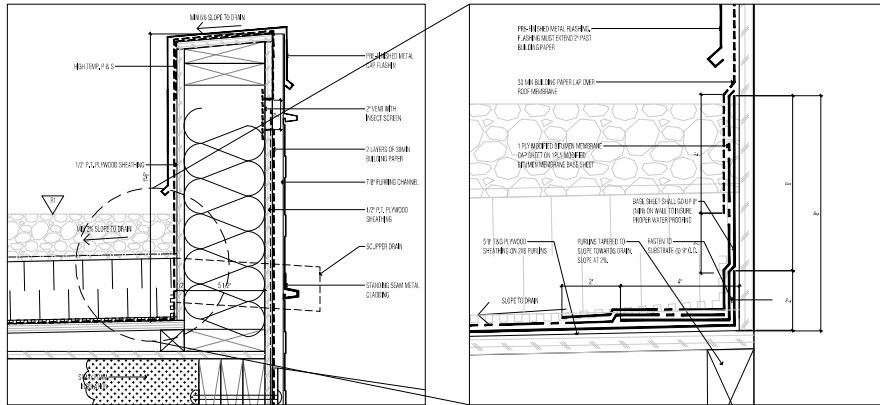
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G	JUN 13/19	ISSUED FOR DESIGN REVIEW
F	APR 26/19	ISSUED FOR 95% DESIGN
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D	DEC 21/18	ISSUED FOR 50% DESIGN
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JAN 25/17	ISSUED FOR DESIGN REVIEW

project title:
727 YATES STREET
VICTORIA, BC

drawing title:
DETAILS

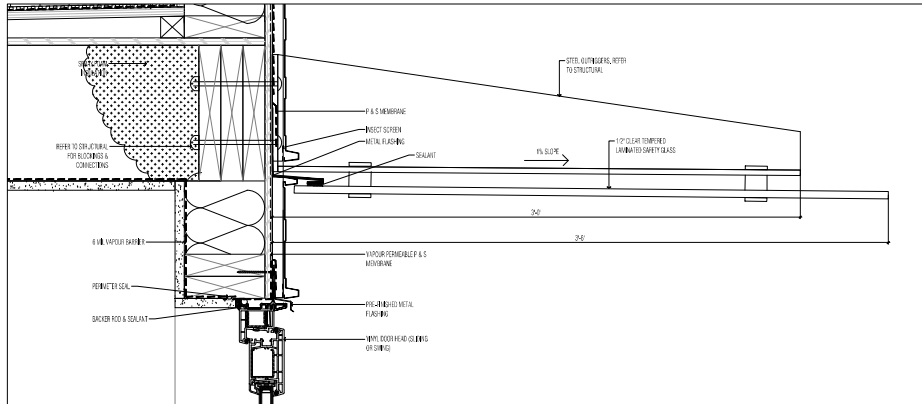
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drawing no.:
A5.1

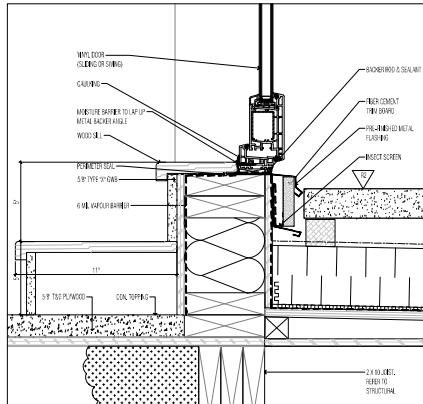


1 DETAIL
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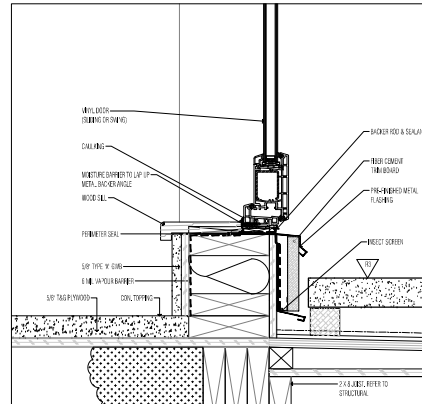
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SCALE: 3" = 1'-0"



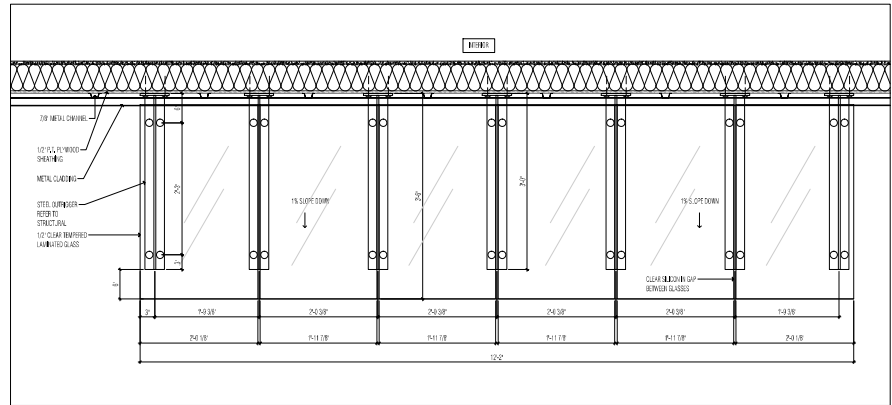
3 DETAIL
SCALE: 3" = 1'-0"



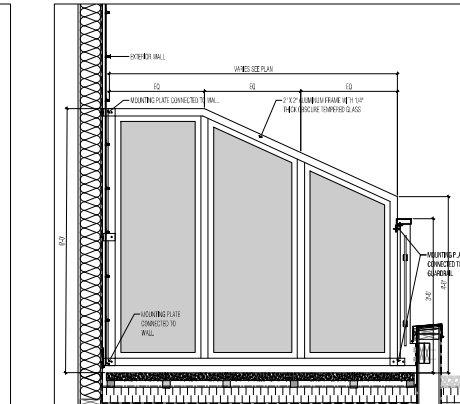
4 DETAIL
SCALE: 3" = 1'-0"



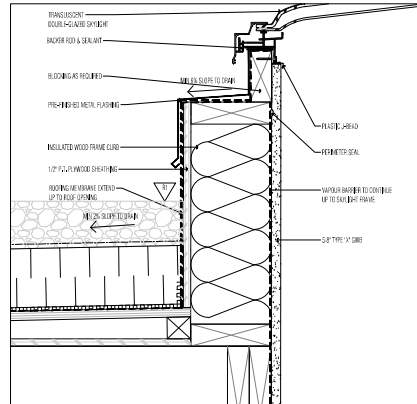
5 DETAIL
SCALE: 3" = 1'-0"



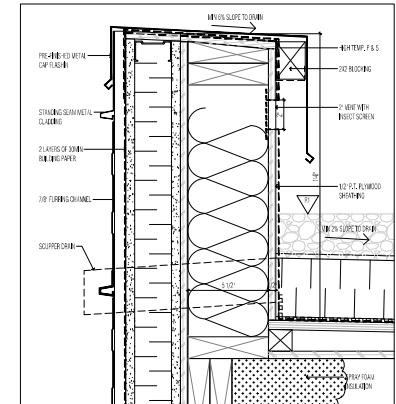
6 TYPICAL CANOPY PLAN VIEW
SCALE: 1\"/>



7 TYPICAL PRIVACY SCREEN DETAIL
SCALE: 3/4\"/>



8 TYPICAL SKYLIGHT DETAIL
SCALE: 3\"/>



9 DETAIL
SCALE: 3\"/>

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I.	OCT 22/19	ISSUED FOR BP
H.	OCT 22/19	ISSUED FOR BP AMENDMENT
G.	JUN 13/19	ISSUED FOR DESIGN REVISION
F.	APR 26/19	ISSUED FOR DESIGN REVISION
E.	JAN 21/19	ISSUED FOR DESIGN REVISION
D.	DEC 20/18	ISSUED FOR DESIGN REVISION
C.	JUN 04/18	ISSUED FOR H.A.P.
B.	DEC 20/17	ISSUED FOR H.A.P.
A.	JAN 25/17	ISSUED FOR DESIGN REVISION
no.	date	description
revisions		

project title:

727 YATES STREET
VICTORIA, BC

drawing title:

DETAILS

project no.:

19036

drawn by:

JT

checked by:

RW

date:

NOV 18, 2019

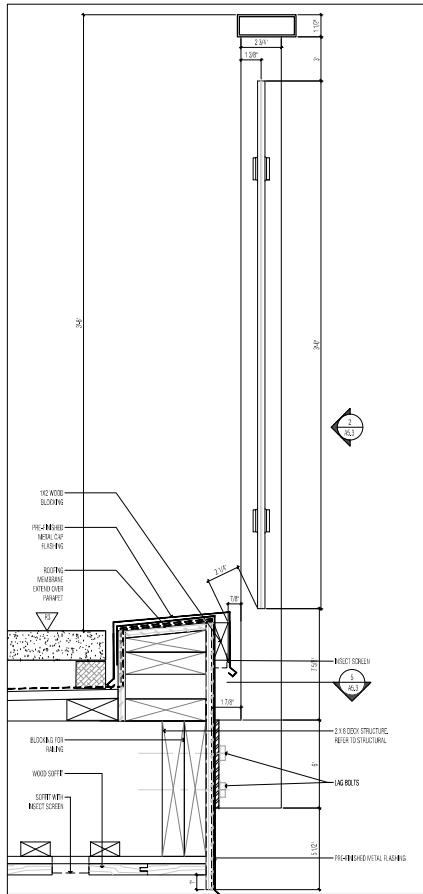
scale:

AS NOTED

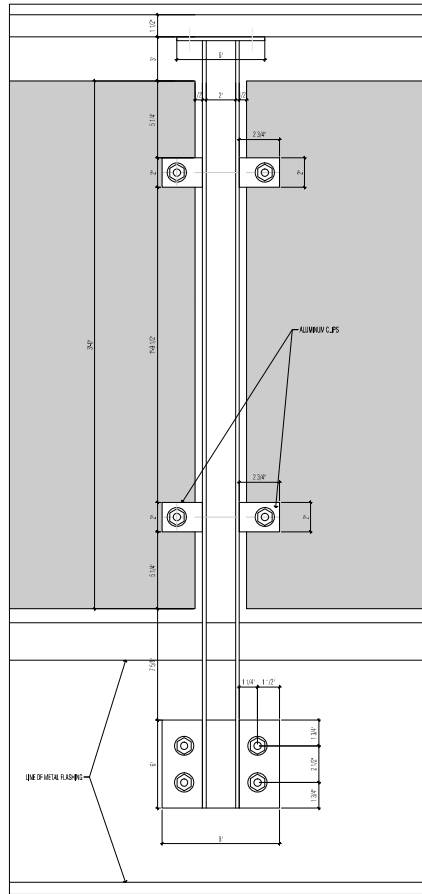
drawing no.:

A5.2

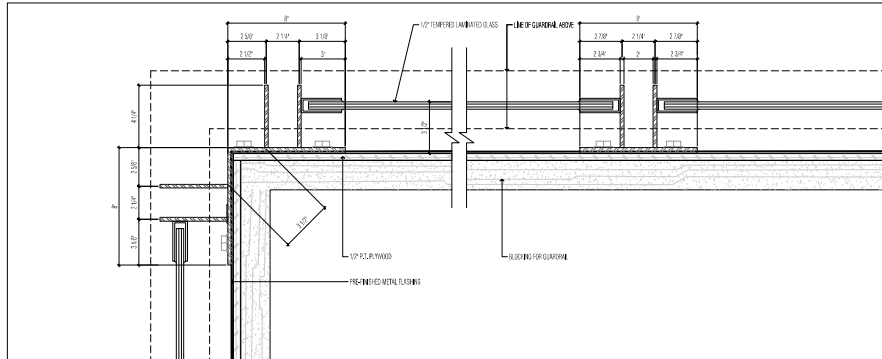
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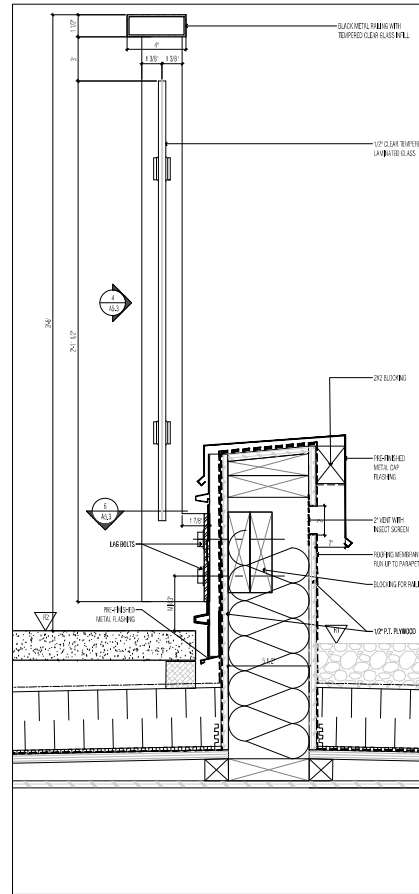
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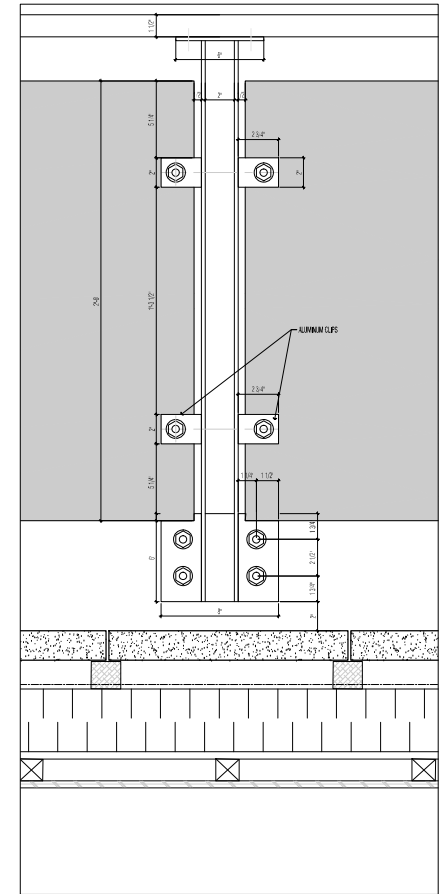
2 DETAIL
SCALE: 3" = 1'-0"



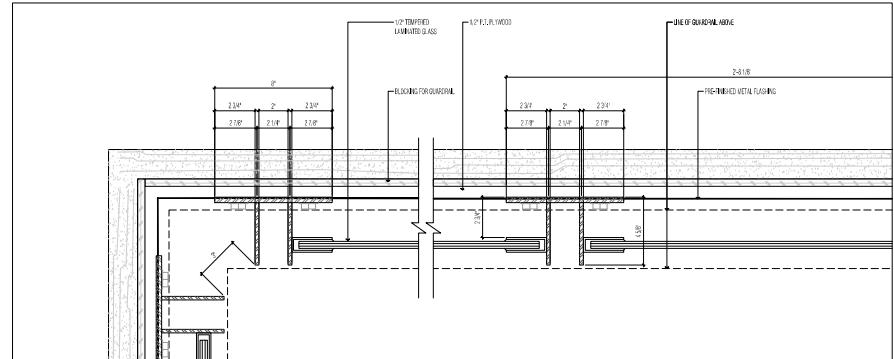
3 DETAIL
SCALE: 3" = 1'-0"



4 DETAIL
SCALE: 3" = 1'-0"



5 DETAIL
SCALE: 3" = 1'-0"



6 DETAIL
SCALE: 3" = 1'-0"

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J	NOV 18/19	ISSUED FOR BP
I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR DESIGN REVISION
F	APR 26/19	ISSUED FOR DESIGN REVISION
E	JAN 21/19	ISSUED FOR DESIGN REVISION
D	DEC 21/18	ISSUED FOR DESIGN REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JUN 25/17	ISSUED FOR DESIGN REVISION
no.	date	description
revisions		

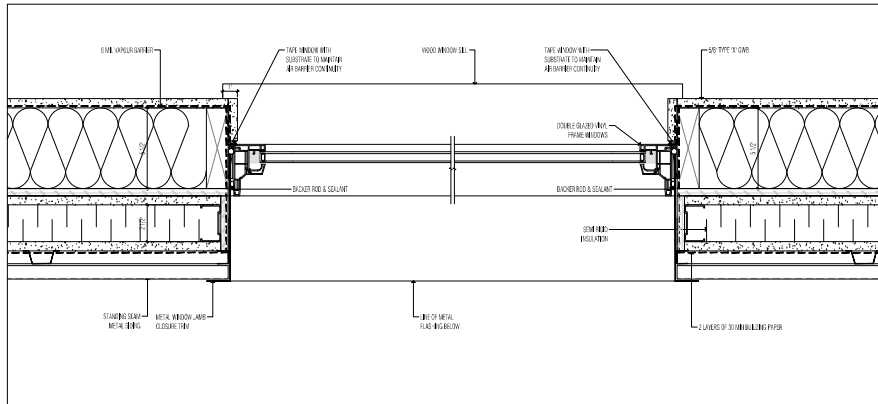
project title:
727 YATES STREET
VICTORIA, BC

drawing title:
DETAILS

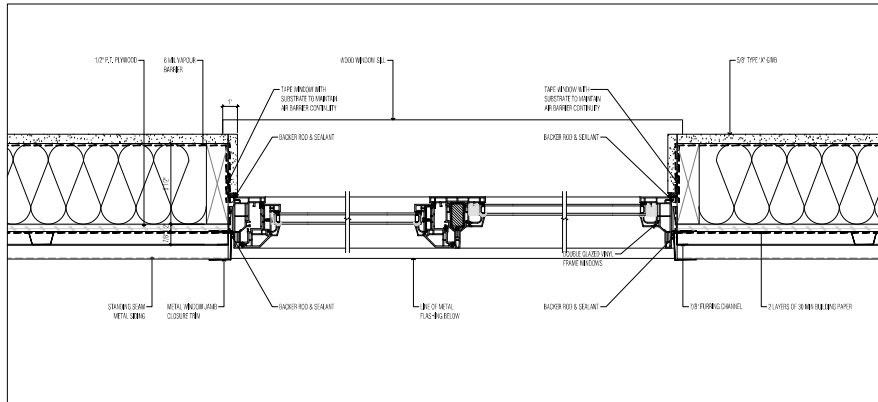
project no.: 19036
drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

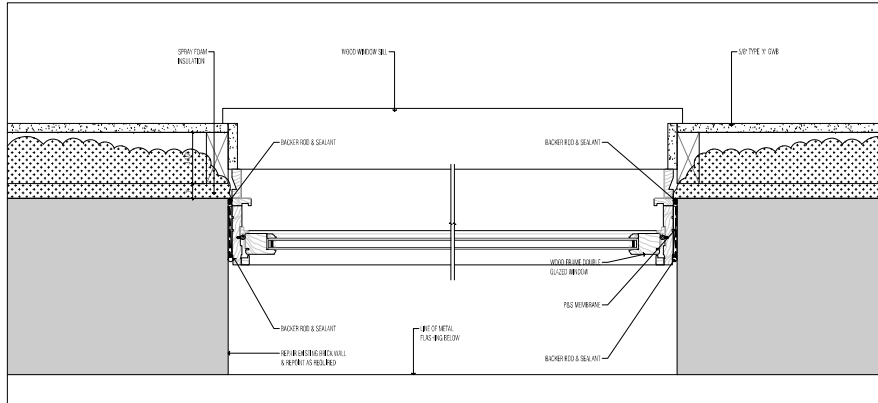
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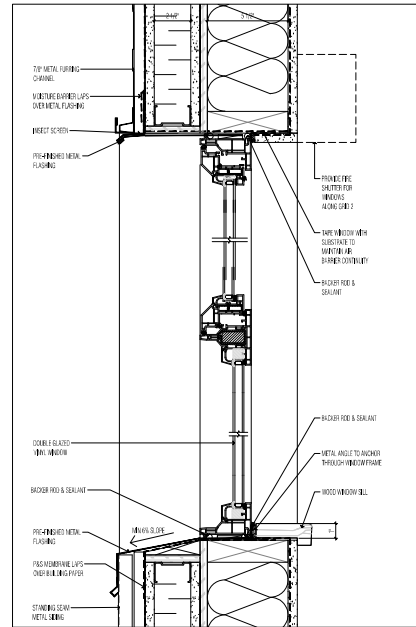
1 TYPICAL WINDOW JAMB DETAIL @ WALL TYPE W2A
SCALE: 3" = 1'-0"



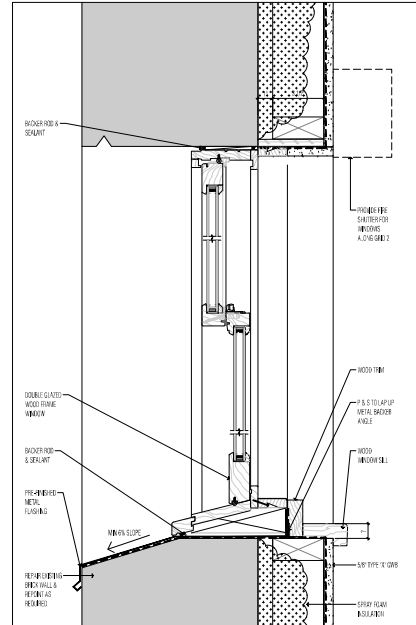
2 TYPICAL WINDOW JAMB DETAIL @ WALL TYPE W2
SCALE: 3" = 1'-0"



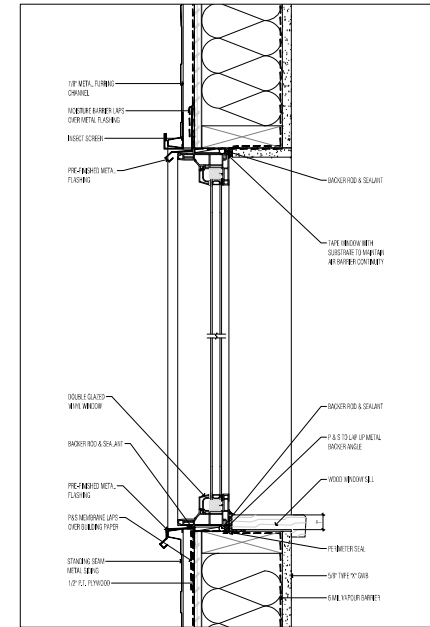
3 TYPICAL WINDOW JAMB DETAIL @ WALL TYPE W1
SCALE: 3" = 1'-0"



4 TYPICAL WINDOW HEAD & SILL DETAIL @ WALL TYPE W2A
SCALE: 3" = 1'-0"



5 TYPICAL WINDOW HEAD & SILL DETAIL @ WALL TYPE W1
SCALE: 3" = 1'-0"



6 TYPICAL WINDOW HEAD & SILL DETAIL @ WALL TYPE W2
SCALE: 3" = 1'-0"

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no.	date	description
J	NOV 18/19	ISSUED FOR BP
L	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR THIRD REVISION
F	APR 26/19	ISSUED FOR 50% REVISION
E	JAN 31/19	ISSUED FOR 75% REVISION
D	DEC 21/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JAN 25/17	ISSUED FOR DEV. INDUSTRY

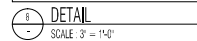
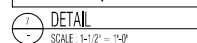
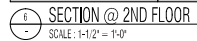
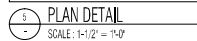
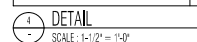
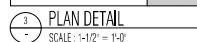
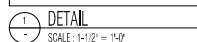
project title:
727 YATES STREET
VICTORIA, BC

drawing title:
DETAILS

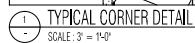
project no.: 19036
drawn by: JZ
checked by: JW
date: NOV 18, 2019
scale: AS NOTED

drawing no.:

A5.4



72

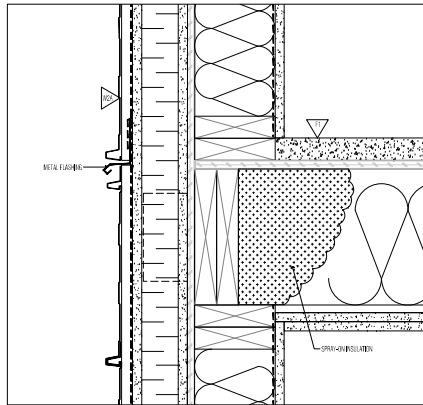


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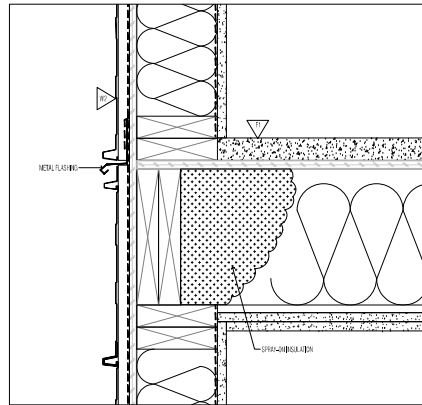
J	NOV 18/19	ISSUED FOR RP
I	OCT 22/19	ISSUED FOR RP
H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVISION
F	APR 26/19	ISSUED FOR 50% REVISION
E	JAN 31/19	ISSUED FOR 50% REVISION
D	DEC 17/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC. 20/17	ISSUED FOR H.A.P.
A	JAN, 25/17	ISSUED FOR DPM INQUIRY
no.:	date:	description:

drawing no.:

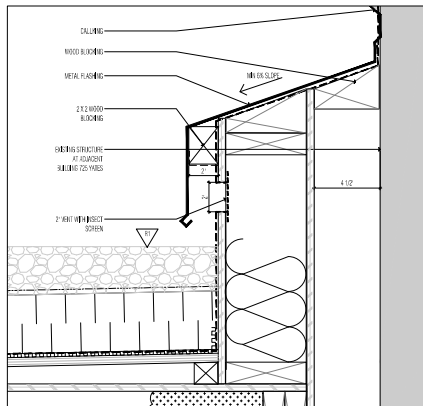
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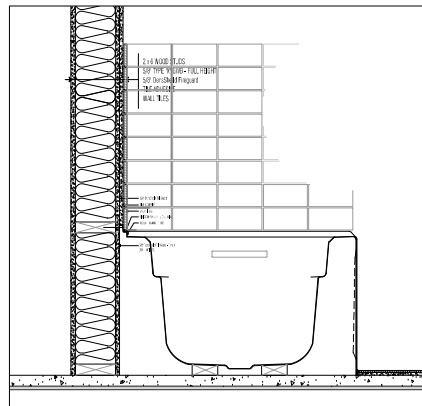
1 THROUGH WALL FLASHING DETAIL
SCALE: 3' = 1'-0"



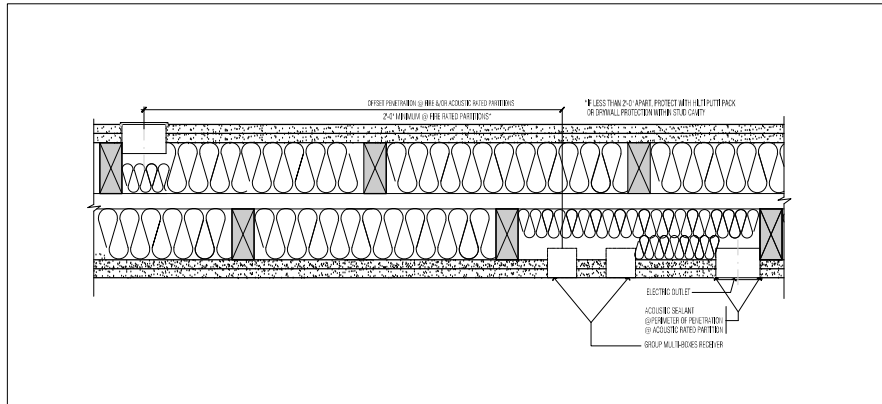
2 THROUGH WALL FLASHING DETAIL
SCALE: 3' = 1'-0"



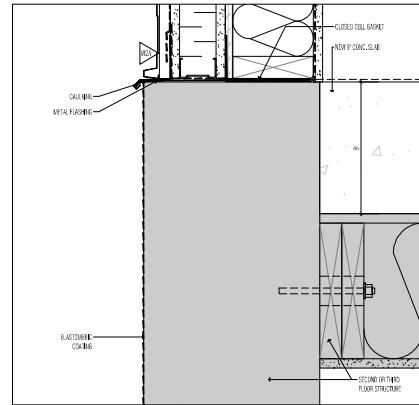
3 PARAPET DETAIL
SCALE: 3' = 1'-0"



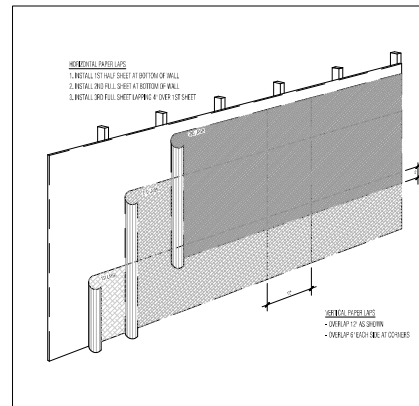
4 TYPICAL TUB DETAIL
SCALE: 1'-1/2" = 1'-0"



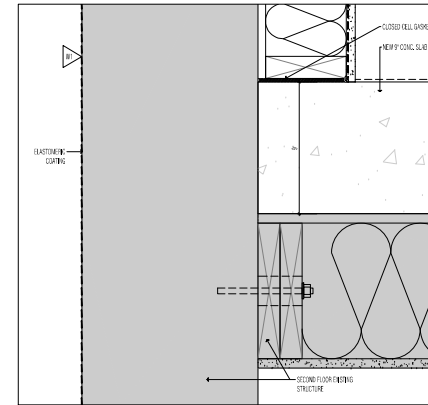
5 PENETRATION AT RATED WALL
SCALE: 3' = 1'-0"



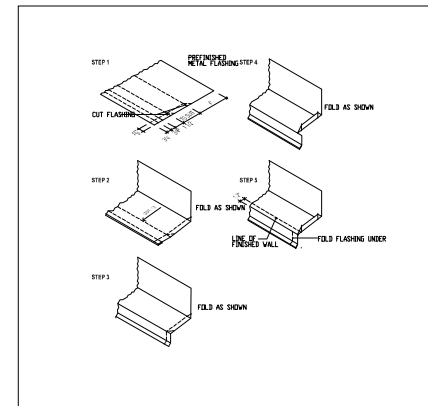
6 SECTION AT EXISTING BRICK WALL
SCALE: 3' = 1'-0"



7 TYPICAL BUILDING PAPER OVERLAPPING DETAIL
NTS



8 END DAM FLASHING DETAIL
SCALE: 3' = 1'-0"



9 END DAM FLASHING DETAIL
NTS

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H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR TOWER REVISION
F	APR 26/19	ISSUED FOR 75% REVISION
E	JAN 31/19	ISSUED FOR 75% REVISION
D	DEC 21/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC 20/17	ISSUED FOR H.A.P.
A	JAN 25/17	ISSUED FOR DEV. INDUSTRY
no.	date	description
revisions		

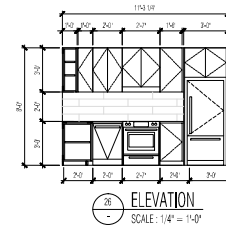
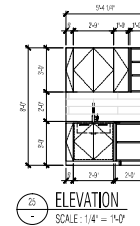
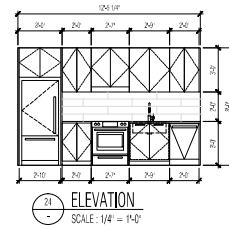
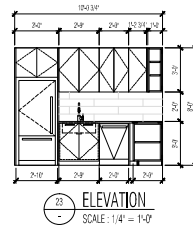
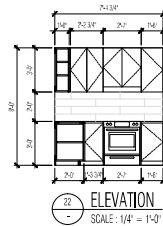
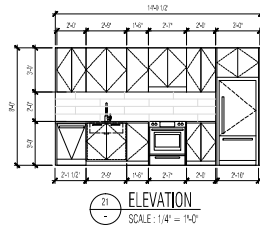
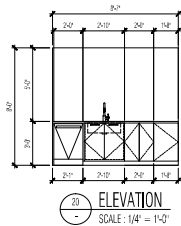
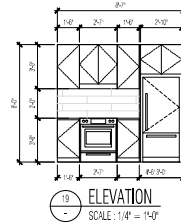
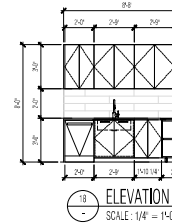
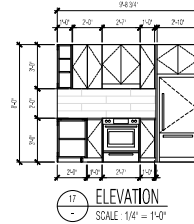
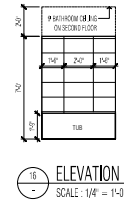
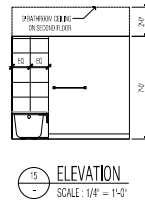
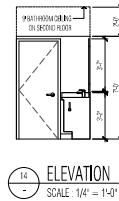
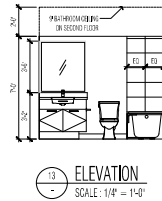
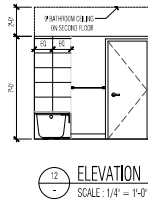
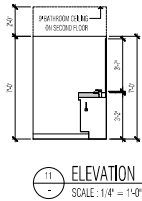
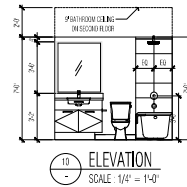
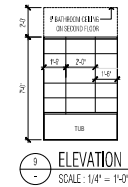
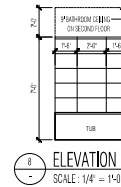
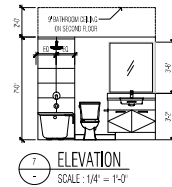
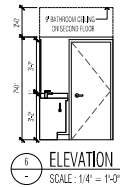
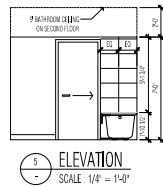
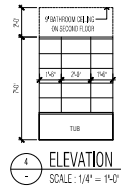
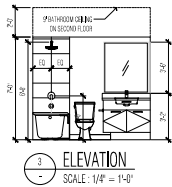
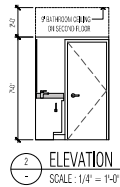
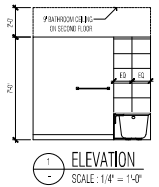
project title:
727 YATES STREET
VICTORIA, BC

drawing title:
DETAILS

project no.:	19036
drawn by:	JT
checked by:	AV
date:	NOV 18, 2019
scale:	AS NOTED

drawing no.:

A5.7



J	NOV 1979	ISSUED FOR BP
I	OCT 20 19	ISSUED FOR BP
H	OCT 20 19	ISSUED FOR BP AMENDMENT
G	JUN 13 19	ISSUED FOR 100% REVIEW
F	APR 26 19	ISSUED FOR 95% REVIEW
E	JAN 27 19	ISSUED FOR 75% REVIEW
D	DEC 21 18	ISSUED FOR 50% REVIEW
C	JUNE 04 18	ISSUED FOR H.A.P.
B	DEC 20 17	ISSUED FOR H.A.P.
A	JUN 25 17	ISSUED FOR DEVELOPMENT
no.	date	description
revisions		

project title:
727 YATES STREET
VICTORIA, BC

drawing title:
INTERIOR ELEVATIONS

project no.:	16036
drawn by:	JT
checked by:	JW
date:	NOV 18 2019
scale:	AS NOTED

drawing no.:

A6.0

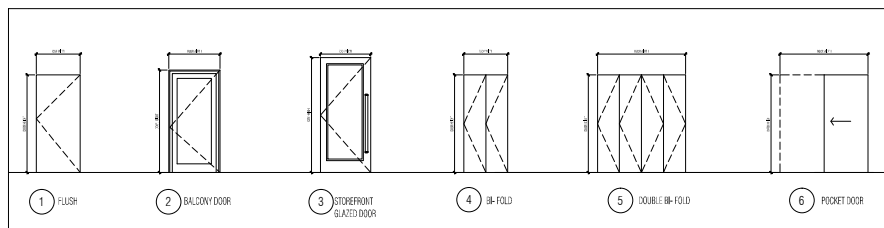
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			MAT	FIN.	MAT	FIN.	MAT	FIN.	MAT	FIN.	MAT	FIN.	MAT	FIN.	
BASEMENT															
001	WTR				DSB	P	DSB	P	DSB	P	DSB	P	DSB	P	-
GROUND FLOOR															
100	REAR SHED				DSB	P	DSB	P	DSB	P	DSB	P	DSB	P	-
101	CORRAGE				DSB	P	DSB	P	DSB	P	DSB	P	DSB	P	-
102	ENTRANCE				DSB	P	DSB	P	DSB	P	DSB	P	DSB	P	-

[illegible]

01	1 PERSONALITÄT	-	-	-	-	-	-	-	-	-	-
-	ENTP.	-	-	-	-	DMS	P	GMS	P	GMS	P
-	HEDER	-	-	-	DMS	P	-	-	-	GMS	P
-	LANGE ZEIT	DMS	P	-	-	-	-	GMS	P	GMS	P
-	HERZOGIN	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
-	SCHWIMMEN	DMS	P	DMS	CT	DMS	P	GMS	P	GMS	P
002	1 PERSONALITÄT	-	-	-	-	-	-	-	-	-	-
-	ENTP.	DMS	P	-	-	-	-	DMS	P	GMS	P
-	HEDER	DMS	P	DMS	P	-	-	-	GMS	P	GMS
-	LANGE ZEIT	-	-	DMS	P	DMS	P	GMS	P	GMS	P
-	HERZOGIN	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
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003	1 PERSONALITÄT	-	-	-	-	-	-	-	-	-	-
-	ENTP.	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
-	HEDER	DMS	P	DMS	P	-	-	GMS	P	GMS	P
-	LANGE ZEIT	-	-	DMS	P	DMS	P	GMS	P	GMS	P
-	HERZOGIN	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
-	SCHWIMMEN	DMS	P	DMS	CT	DMS	P	GMS	P	GMS	P
004	1 PERSONALITÄT	-	-	-	-	-	-	-	-	-	-
-	ENTP.	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
-	HEDER	DMS	P	DMS	P	-	-	GMS	P	GMS	P
-	LANGE ZEIT	-	-	DMS	P	DMS	P	GMS	P	GMS	P
-	HERZOGIN	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
-	SCHWIMMEN	DMS	P	DMS	CT	DMS	P	GMS	P	GMS	P
005	1 PERSONALITÄT	-	-	-	-	-	-	-	-	-	-
-	ENTP.	DMS	P	DMS	P	-	-	GMS	P	GMS	P
-	HEDER	DMS	P	DMS	P	-	-	GMS	P	GMS	P
-	LANGE ZEIT	-	-	DMS	P	DMS	P	GMS	P	GMS	P
-	HERZOGIN	DMS	P	DMS	P	DMS	P	GMS	P	GMS	P
-	SCHWIMMEN	DMS	P	DMS	CT	DMS	P	GMS	P	GMS	P

[illegible]

DOOR NO.	DOOR LOCATION	EIFE RATING	FRAME TYPE	PROGESS	MA1	FIN	DOOR	THICKNESS	WEIGHT	HEIGHT	WIDTH	MA2	FIN	THRESHOLD	CLOSER	LOCK SET	PASS SET	DEAD BOLT	HYC HOW	REMARKS
COMMERCIAL - BASEMENT																				
30	NETS ROOM		45	1	3	RS	P	2	1.30"	30"	72"	1	HW	F	+	+	+	+	+	FLIP BOLT
COMMERCIAL - GROUND FLOOR																				
31	STAFF REST ROOM		45	1	3	RS	P	1	1.30"	30"	72"	3	HW	F	+	+	+	+	+	-
32	STAFF REST ROOM		60	1	3	RS	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	-
33	STAFF REST ROOM		45	1	3	RS	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	-
34	STAFF REST ROOM		45	1	3	RS	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	FLIP BOLT
35	STAFF REST ROOM		45	1	3	RS	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	FLIP BOLT DOOR TO BE REWELD AND REHANGLED
36	STAFF REST ROOM		45	1	3	RS	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	-
37	STAFF REST ROOM		45	1	3	RS	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	FLIP BOLT
RESIDENTIAL																				
38	LAUNDRY ROOM		30	1	3	W	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	-
39	BEDROOM		45	1	3	W	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	-
40	BATHROOM		45	1	3	W	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	FLIP BOLT SET
41	POCKET ROOM		45	1	3	W	P	1	1.30"	30"	72"	6	HW	F	+	+	+	+	+	FLIP BOLT SET
42	BATHROOM		45	1	3	W	P	1	1.30"	30"	72"	1	HW	F	+	+	+	+	+	LOCK RE-ENGAGE UNIT
43	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
44	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
45	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
46	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
47	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
48	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
49	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
50	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
51	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
52	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
53	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F	+	+	+	+	+	+	+	+	+	+	+	PULL HANDLE
54	DOOR 1845012.20P		1.30"	30"	72"	6	HW	F												



DOOR REFERENCE NOTES:

- 1) ALL SOUND CORE DOORS TO BE 1-3/4" THICK GLULU.
- 2) ALL HOLLOW CORE DOORS TO BE 1-3/8" THICK GLULU.
- 3) DOORS NOT LOCATED IN DIRECTION OF CHIEF TRAVEL.
- 4) LATCHES TO BE PROVIDED ON ALL SINKING DOORS REQUIRING A FIRE-RESISTANT RATING.
- 5) HINGES FOR ALL DOORS OPEN OUTWARD FROM BUILDING SHALL BE NON-EXHAUSTIBLE.

PH - HINGE

ALL EXTERIOR PRESSED STEEL DOORS TO BE INSULATED STEEL DOORS.

OVERHEAD SECTIONAL DOOR & SECURITY HARDWARE AS PER MANUFACTURER'S

- 1) ALL SOUND CORE DOORS TO BE 1-3/4" THICK U.L.O.
- 2) ALL HOLLOW CORE DOORS TO BE 1-3/8" THICK U.L.O.
- 3) DOORS NOT LOCKED IN DIRECTION OF EXIT TRAVEL.
- 4) LATCHES TO BE PROVIDED ON ALL SAVING DOORS REQUIRING A FIRE-RESISTANT RATING.
- 5) HINGES FOR ALL DOORS OPEN OUTWARD FROM BUILDING SHALL BE NON-FRICKABLE.

FINISHING

- 6) ALL EXTERIOR PRESSED STEEL DOORS TO BE INSULATED STEEL DOORS.
- 7) OVERHEAD SECTIONAL DOOR & SECURITY HARDWARE AS PER MANUFACTURER.

- 1) ALL SOLID CORE DOORS TO BE 1-3/4" THICK UGLD.
- 2) ALL HOLLOW CORE DOORS TO BE 1-3/8" THICK UGLD.
- 3) DOORS NOT LOCKED IN DIRECTION OF EXIT TRAVEL.
- 4) LATCHES TO BE PROVIDED ON ALL SAVING DOORS REQUIRING A FIRE-RESISTANT RATING.
- 5) HINGES FOR ALL DOORS OPEN OUTWARD FROM BUILDING SHALL BE NON-REMOVABLE PIN-HINGE.
- 6) ALL EXTERIOR PRESSED STEEL DOORS TO BE INSULATED STEEL DOORS.
- 7) OVERHEAD SECTIONAL DOOR SECURITY HARDWARE AS PER MANUFACTURER'S RECOMMENDATION.

AD	ARCHITECTURAL CONCRETE PANEL
ACT	ADDITIONAL COVERING TILES
AL	ALUMINUM
BR	BRAID (EXPOSED)
CA	CANALITY & NOISE
CSF	CONCRETE SPRAY APPROPRIATING
CT	CRIMINAL TILES
FT	FRIGIDATED DURE
GB	GLASS BLOCK
GL	GLASS GLASS
GWB	GYPSUM WALL BOARD
IMP	INSULATED METAL PANEL
IP	INTERSECTING POINT
LM	LOW MEMBRANE
P	PAPER
PL/MA	PLASTIC LAMINATE
RCS	RUBBER GIVE SAGE
SPT	SPRINKLER
SSS	STRUCTURAL STEEL GLASSING
ST	STUCCO
T	TILE
VAC	VACUUM WALL COVERING
WCT	WALL COATING
WB	WOOD BOARD

AL	ALUMINUM
F	FACTORY FINISH
GL	GLASS
HCM	HOLLOW CORE METAL
HCM	HOLLOW CORE METAL
HM	HARDWOOD
MM	METAL MESH
P	PART
PS	PROCESSED STEEL
SCM	SOLID CORE WOOD
W	WOOD
INS-21	INSULATED STEEL
S	STAIN
PM	PER MANUFACTURER
V	VINYL
GL	GLASS GLAZING
SG	LAMINATED SAFETY GLASS

FINISH FLOOR LEGEND	
CONC.	CONCRETE
CP	CONCRETE PAVING

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J	NOV 18/19	ISSUED FOR BP
I	OCT 22/19	ISSUED FOR BP
H	OCT 22/19	ISSUED FOR DP AMENDMENT
G	JUN 13/19	ISSUED FOR 100% REVISION
F	APR 26/19	ISSUED FOR 95% REVISION
E	JAN 31/19	ISSUED FOR 75% REVISION
D	DEC 21/18	ISSUED FOR 50% REVISION
C	JUNE 04/18	ISSUED FOR H.A.P.
B	DEC. 20/17	ISSUED FOR H.A.P.
A	JULY 25/17	ISSUED FOR DEPT INQUIRY
no.:	date:	description:

project title:
727 YATES STREET
VICTORIA, BC

drawing title:
ROOM FINISH SCHEDULE &
DOOR SCHEDULE

project no.:	16036
drawn by:	J
checked by:	JW
date:	NOV 18, 2019
scale:	AS NOTED

drawing no. :

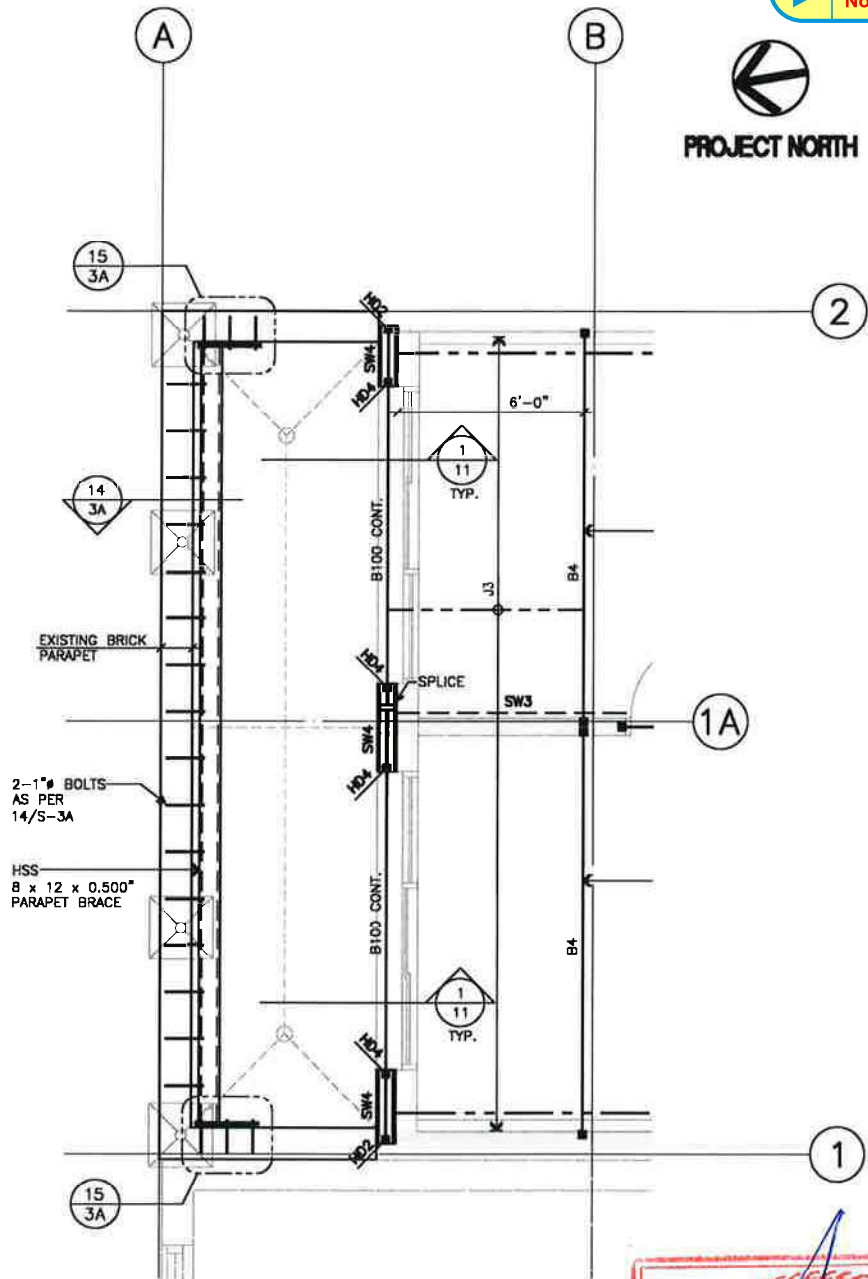
studio**one**
architecture inc.

project title:
727 YATES STREET
VICTORIA, BC

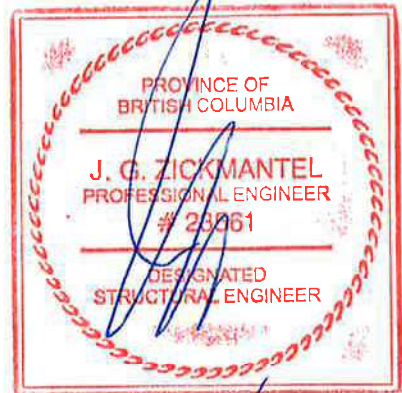
project no.:	16036
drawn by:	JZ
checked by:	JW
date:	NOV 18, 2019
scale:	1/4" = 1'-0"

A7.1





**PARTIAL PLAN 3RD FLOOR
SHOWING PARAPET BRACE**



NOV. 26/20

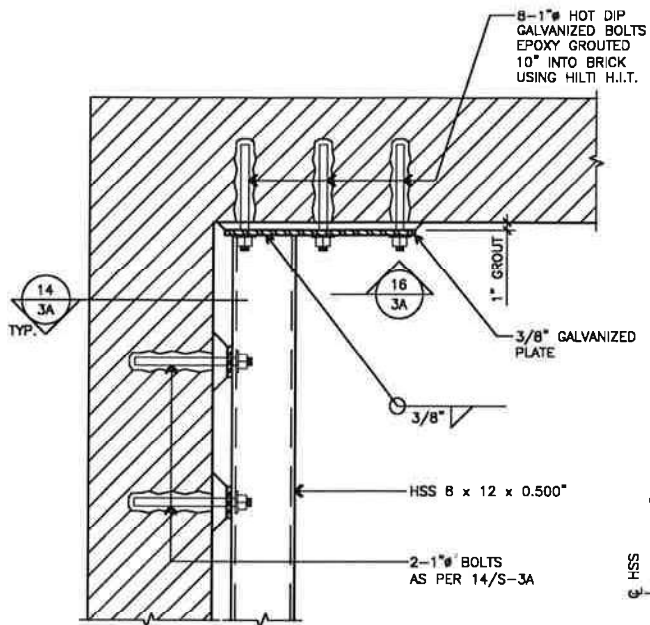
727 YATES STREET, VICTORIA, B.C.



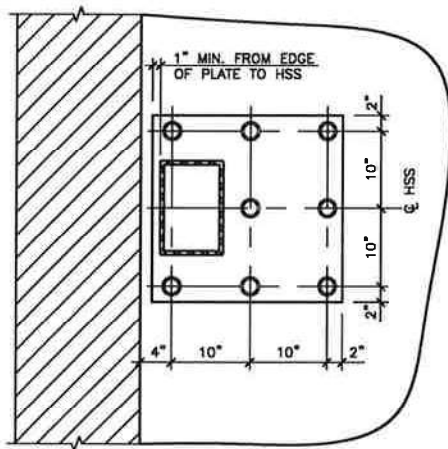
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SCALE: 1/4" = 1'-0"
DATE: NOV. 26/20
DRAWN: CF
CHECKED: JB
PROJ. No.: 90093-02

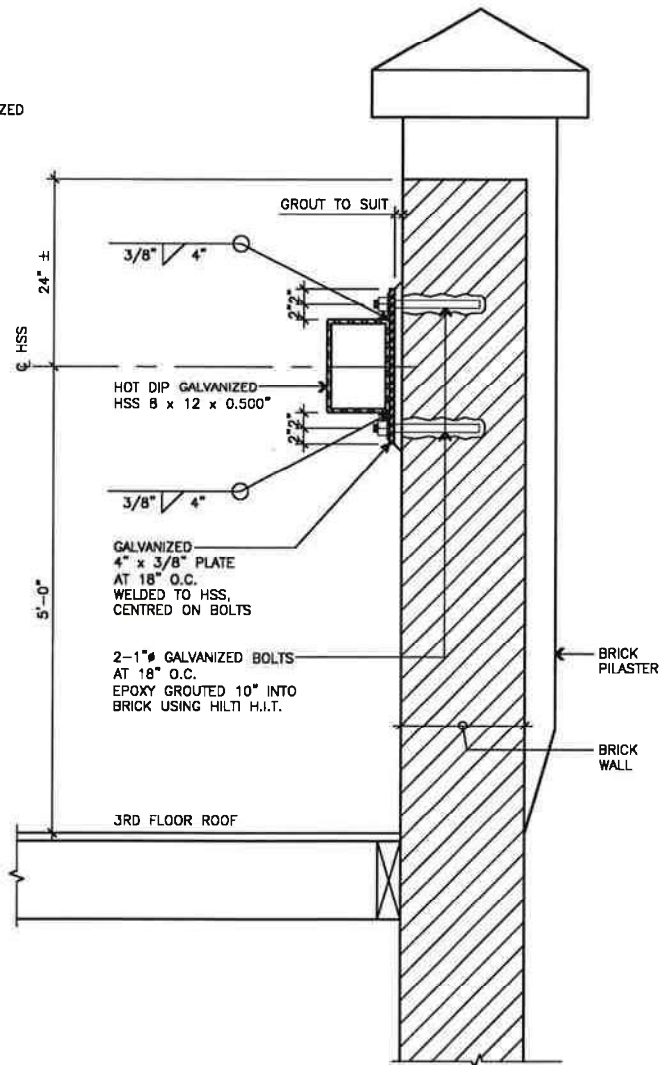
SK-1



15
3A
PLAN VIEW
3/4" = 1'-0"



16
3A
3/4" = 1'-0"



14
3A
3/4" = 1'-0"



727 YATES STREET, VICTORIA, B.C.



SEAL:

SCALE: AS SHOWN
DATE: NOV. 26/20
DRAWN: CF
CHECKED: JB
PROJ. No.: 90093-02

SK-2



HALL BLOCK

727-729 YATES STREET, VICTORIA, BC

CONSERVATION PLAN

AUGUST 2017

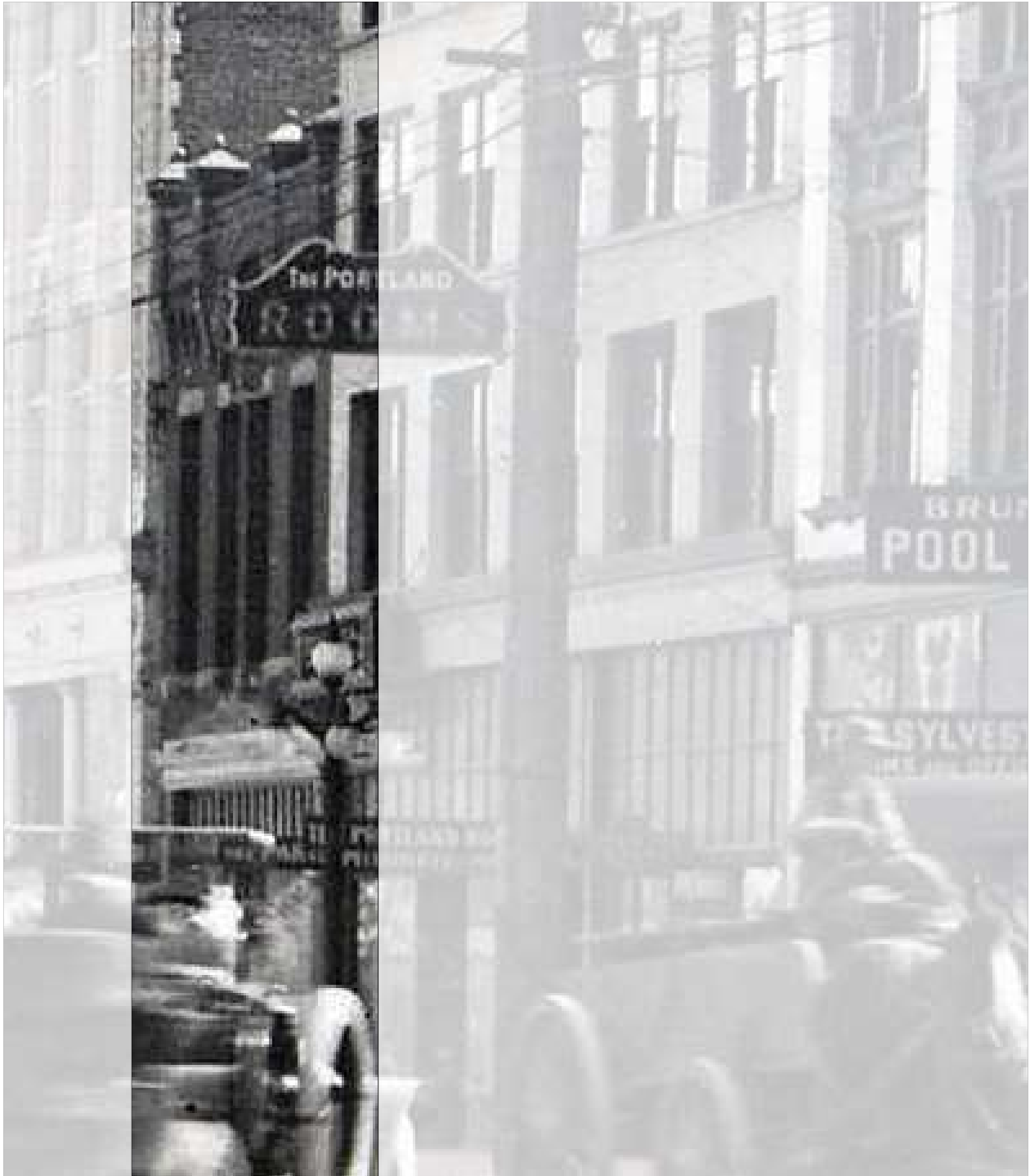
DONALD LUXTON
AND ASSOCIATES INC



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700 block Yates Street looking east from Douglas Street, 1912, John Howard Arthur Chapman (City of Victoria Archives M10005)

1.0 INTRODUCTION

HISTORIC NAME:	Hall Block
CIVIC ADDRESS:	727-729 Yates Street, Victoria
ORIGINAL OWNER:	Dr. Frank Walter Hall
CONSTRUCTION DATE:	1897
ORIGINAL ARCHITECT:	John Teague

The Hall Block is located at 727-729 Yates Street, and is valued for being one of the earliest surviving buildings along this block. It is a designated heritage building built in 1897, designed in Late Victorian-era style by architect John Teague for Dr. Frank Walter Hall.

A proposed rehabilitation scheme is being prepared by Studio One Architect Inc. that includes: consolidating the heritage asset with adjacent historic buildings (709-725 Yates Street); rehabilitating the storefront with historically appropriate design, based on available archival photos and drawings; and constructing a two-storey infill addition above roof level, recessed from the historic front facade along Yates Street.

This Conservation Plan is based on Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada*. It outlines the preservation, restoration, and rehabilitation that will occur as part of the proposed development.

2.0 HISTORIC CONTEXT



*Looking east on Yates Street from Douglas; Bank of Montreal Building at the lower right.
(BC Archives B-06958)*



*Arch commemorating the visit of Governor General the Earl Grey to Victoria. circa 1906
(BC Archives G-07084)*



700 Block On Yates Street, Victoria. (BC Archives, E-02737)



Detail photo showing historic front facade of Hall Block along Yates Street. (BC Archives, E-02737)

HISTORIC CONTEXT



727 Yates Street, City of Victoria Tax Assessment Photo, 1960. (City of Victoria Archives M01391)

3.0 STATEMENT OF SIGNIFICANCE

HALL BLOCK 727-729 YATES STREET

*(Existing Statement of Significance retrieved from
www.historicplaces.ca)*

Description of the Historic Place

This historic place is a small, two storey brick commercial building located on the south side of Yates Street. It is articulated by two decorative cornice panels, and an arched central upper storey window.

Heritage Value of the Historic Place

727-729 Yates Street is valued as a good example of the type of modest commercial building erected in the late nineteenth century as the city grew steadily eastward, away from the waterfront. Designed by architect John Teague and built in 1897 for local developer Dr. F. W. Hall, this small yet decorative 1897 building is one of the oldest surviving structures on this block of Yates Street. It is important to Victoria's commercial downtown because it exemplifies the heritage character of the City before the turn of the twentieth century, making it a significant contributor to the integrity of the historic streetscape in this area.

Character-Defining Elements

The character defining elements of 727-729 Yates Street include:

- its location on Yates Street as part of a row of historic buildings.
- its two storey stature.
- architectural elements relevant to its 1897 design by architect Teague, including its finely articulated brick and stone facade, upper storey double-hung wooden sash windows, and decorative cornice.
- its contribution to the continuity of the urban fabric of the street wall, seen in lack of front and side setbacks.
- interior elements relevant to its 1897 design.
- the integrity of the 1897 building envelope.

4.0 CONSERVATION GUIDELINES

4.1 STANDARDS AND GUIDELINES

The Hall Block is a municipally designated building, and is a significant historical resource in the City of Victoria. The Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the *Standards & Guidelines*, the work proposed for the Hall Block includes aspects of preservation, rehabilitation and restoration.

Preservation: *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

Restoration: *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

Rehabilitation: *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to the Hall Block should be based upon the Standards outlined in the *Standards & Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

STANDARDS

Standards relating to all Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining element to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.



9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

Additional Standards relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

4.2 CONSERVATION REFERENCES

The proposed work entails the Preservation, Restoration, and Rehabilitation of the exterior of the Hall Block. The following conservation resources should be referred to:

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010.
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

National Park Service, Technical Preservation Services. Preservation Briefs:

Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm>

Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

Preservation Brief 9: The Repair of Historic Wooden Windows.

<http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.

<http://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

Preservation Brief 11: Rehabilitating Historic Storefronts.

<http://www.nps.gov/tps/how-to-preserve/briefs/11-storefronts.htm>

Preservation Brief 32: Making Historic Properties Accessible.

<http://www.nps.gov/tps/how-to-preserve/briefs/32-accessibility.htm>

Preservation Brief 41: The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront.

<http://www.nps.gov/tps/how-to-preserve/briefs/41-seismic-retrofit.htm>

Preservation Brief 44: The Use of Awnings on Historic Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/44-awnings.htm>

4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation that will upgrade its structure and services to increase its functionality for commercial and retail uses. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored. An overall rehabilitation scheme has been prepared by Studio One Architecture Inc.

The major proposed interventions of the overall project are to:

- consolidate the heritage asset with adjacent historic buildings (709-725 Yates Street);
- rehabilitate the storefront with historically appropriate design based on available archival photos and drawings;
- construct two-storey infill addition above roof level, recessed from the historic front facade along Yates Street.

Due to the proposed addition to the historic building, all new visible construction will be considered a modern addition to the historic structure. The *Standards & Guidelines* list recommendations for new additions to historic places. The proposed design scheme should follow these principles:

- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Design for the new work may be contemporary or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.
- The new additions should be physically and visually compatible with, subordinate to and distinguishable from the preserved historic façade.

4.4 SUSTAINABILITY STRATEGY

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by reducing solid waste disposal, saving embodied energy, and conserving historic materials that are often less consumptive of energy than many new replacement materials.

In 2016, the Federal Provincial Territorial Ministers of Culture & Heritage in Canada (FPTMCHC) published a document entitled, *Building Resilience: Practical Guidelines for the Retrofit and Rehabilitation of Buildings in Canada* that is “intended to establish a common pan-Canadian ‘how-to’ approach for practitioners, professionals, building owners, and operators alike.”

The following is an excerpt from the introduction of the document:

*[Building Resilience] is intended to serve as a “sustainable building toolkit” that will enhance understanding of the environmental benefits of heritage conservation and of the strong interrelationship between natural and built heritage conservation. Intended as a useful set of best practices, the guidelines in **Building Resilience** can be applied to existing and traditionally constructed buildings as well as formally recognized heritage places.*

These guidelines are primarily aimed at assisting designers, owners, and builders in providing existing buildings with increased levels of sustainability while protecting character-defining elements and, thus, their heritage value. The guidelines are also intended for a broader audience of architects, building developers, owners, custodians and managers, contractors, crafts and trades people, energy advisers and sustainability specialists, engineers, heritage professionals, and officials responsible for built heritage and the existing built environment at all jurisdictional levels.

***Building Resilience** is not meant to provide case-specific advice. It is intended to provide guidance with some measure of flexibility, acknowledging the difficulty of evaluating the impact of every scenario and the realities of projects where buildings may contain inherently sustainable elements but limited or no heritage value. All interventions must be evaluated based on their unique context, on a case-by-case basis, by experts equipped with the necessary knowledge and experience to ensure a balanced*

consideration of heritage value and sustainable rehabilitation measures.

***Building Resilience** can be read as a stand-alone document, but it may also further illustrate and build on the sustainability considerations in the Standards and Guidelines for the Conservation of Historic Places in Canada.*

4.5 ALTERNATE COMPLIANCE

As a designated building on the Municipal Heritage Register, the Hall Block may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the British Columbia Building Code (BCBC).

4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the BCBC that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the “Alternative Compliance Methods for Heritage Buildings.”

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

4.5.2 ENERGY EFFICIENCY ACT

The provincial Energy Efficiency Act (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards & Guidelines for the Conservation of Historic Places in Canada* for further detail about “Energy Efficiency Considerations.”

The façade should be protected from movement and other damage at all times during demolition, excavation and construction work. Install monitoring devices to document and assess cracks and possible settlement of the masonry façade.

4.6 SITE PROTECTION & STABILIZATION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the building is left vacant, it should be secured against unauthorized access or damage through the use of appropriate fencing and security measures.

Additional measures to be taken include:

- Are smoke and fire detectors in working order?
- Are wall openings boarded up and exterior doors securely fastened once the building is vacant?
- Have the following been removed from the interior: trash, hazardous materials such as inflammable liquids, poisons, and paints and canned goods that could freeze and burst?



5.0 CONSERVATION RECOMMENDATIONS

A condition review of the Hall Block was carried out during a site visit in February 2017. All of the recommendations for the preservation, restoration, and rehabilitation of the historic façades are based on the site review, material samples and archival documents that provide valuable information about the original appearance of the historic building.

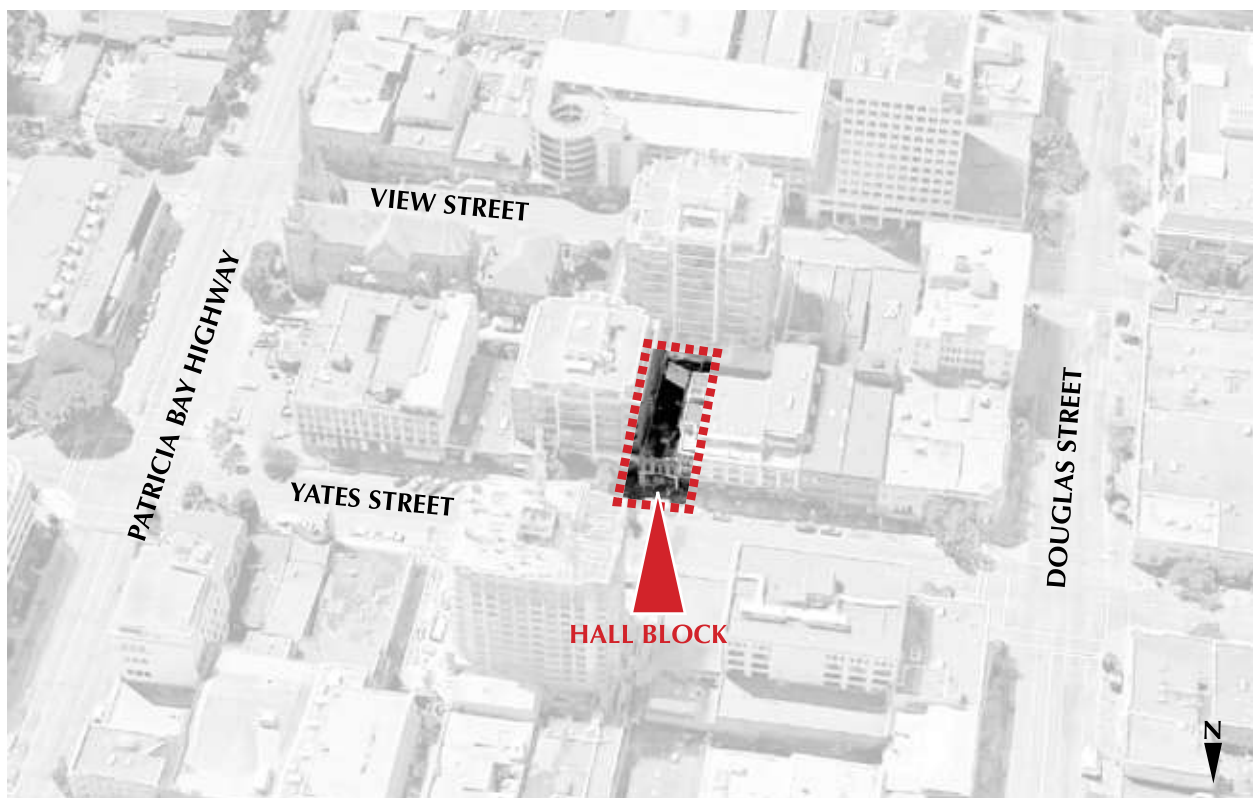
The following chapter describes the materials, physical condition and recommended conservation strategy for the Hall Block based on Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada*.

5.1 SITE

The Hall Block, addressed at 727-729 Yates Street is one of the oldest surviving commercial structures in the block. Similar to nearby historic buildings in this commercial area, the heritage asset was built to the front and side property lines, with a paved pathway along the side elevation to the east. Its location is an important character-defining element that will remain intact as part of the proposed rehabilitation scheme.

Conservation Strategy: Preservation

- Preserve the original location of the building. All rehabilitation work should occur within the property lines.
- Retain the main frontage along Yates Street.



Aerial view showing location of Hall Block at 727-729 Yates Street.

CONSERVATION RECOMMENDATIONS



Historic Front Facade of the Hall Block along Yates Street.



Detail photo showing historic front facade of the Hall Block and adjacent buildings along Yates Street. Note original storefront with transom ribbon, architectural metal cornice, and window openings with sandstone sill. (BC Archives, E-02737)

5.2 OVERALL FORM, SCALE & MASSING

The Hall Block is characterized by its two-storey height; rectangular plan; and historic front facade expressed symmetrically along the central bay.

A double-storey infill addition above the existing roof level is being proposed as part of the rehabilitation scheme. When viewed from the street level, the original overall form, scale, and massing of the heritage asset will remain intact because of the terraced configuration of the new addition, which includes a setback from the parapet wall along Yates Street.

Conservation Strategy: Rehabilitation

- Preserve the overall form, scale and massing of the building.
- The historic front façade should be retained.

5.3 EXTERIOR MASONRY WALLS

The Hall Block features original brick masonry wall construction that is typical of the commercial buildings along Yates Street. The storefront of the historic front facade along Yates Street has been rehabilitated in the past 50 years, while the second floor level show surviving original, exterior masonry walls in unsympathetic paint finish.

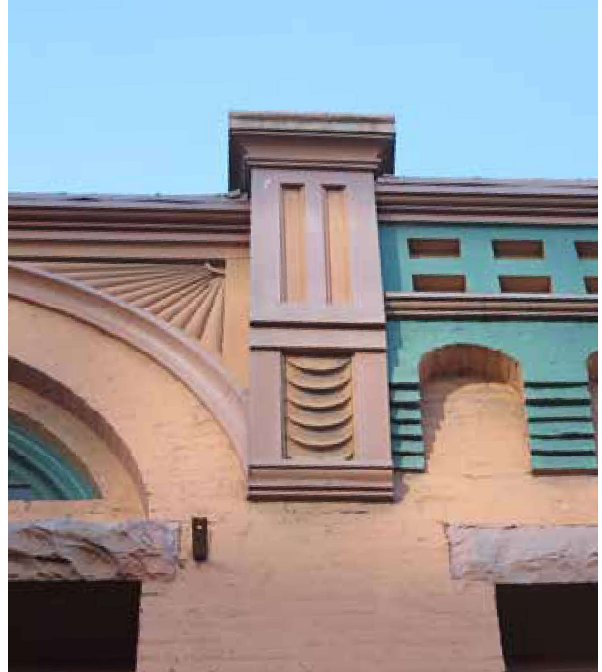
The existing storefront is characterized by later, storefront window assembly surrounded with unsympathetic parged concrete in painted finish. The masonry wall along the storefront level extends to east, with a metal gate at the return elevation that provides access to the paved pathway.

Based on archival images, the parged concrete cladding conceals the interface between the original storefront below (architectural metal cornice, and transom wood windows) and the window openings above. Further investigation is necessary to identify surviving original materials and their existing condition.

CONSERVATION RECOMMENDATIONS



Detail photo of storefront wall east extension, as viewed from behind along the side pathway.



Detail photo showing existing conditions of parapet with architectural metalwork and original masonry elements.



Detail photo showing existing condition of the masonry elements and architectural metalwork above storefront level of the historic front facade. Note existing parged concrete cladding at window sill to be removed.

Above the storefront, the historic front facade features surviving, original brick masonry units, with later painted finish that is similarly applied to the east and side elevations. The window openings feature surviving sandstone lintels with rock-faced finish, with the central bay window openings characterized by an extended stone lintel and an arched window opening with brick mould. Most of the original features of the parapet wall are also extant. It features original masonry detailing, with late-Victorian decorative elements in brick and architectural metalwork.

In general, the later cladding and surviving, original masonry elements above the storefront level appear to be in good condition, with signs of minor deterioration in localized areas, as evident by spalling, mortar deterioration (or loss altogether), peeling paint, holes in various sizes from redundant fasteners, discolouration, bird deposit staining, and some biological growth.

The exterior masonry of the historic front facade of the Hall Block are important character-defining elements of the heritage asset that should be preserved, and repaired as required. As part of the proposed rehabilitation scheme, deteriorated and missing masonry features of the historic front facade will be restored based on evidences from archival materials.

Conservation Strategy: Investigation & Restoration

- Preserve all surviving, original masonry elements whenever possible, and restore elements that are too deteriorated for safe use, or missing altogether.
- Undertake complete condition survey of condition of all masonry surfaces.
- Ensure drip kerf is cut at underside of sandstone sills to improve water-shedding capabilities.
- Determine whether or not it is feasible to remove the unsympathetic parged concrete cladding, including paint, to expose the original brick. Undertake test samples for paint

removal in an inconspicuous area using only approved restoration products. If paint removal is determined to be feasible, prepare removal specification. If not, prepare to repaint.

- If repainting is required, the colour of the front façade will be determined by the Heritage Consultant. When preparing the existing painted surface for repainting, be aware of the risk of existing lead paint, which is a hazardous material.
- Retain sound exterior masonry or deteriorated exterior masonry that can be repaired.
- Cleaning, repair and repointing specifications to be reviewed by Heritage Consultant.
- Overall cleaning of the masonry on the exterior front façade and rear elevation should be carried out. Do not use any abrasive methods that may damage the fireskin surfaces. Use a soft natural bristle brush and mild water rinse. Only approved chemical restoration cleaners may be used. Sandblasting or any other abrasive cleaning method of any kind is not permitted.
- If repointing of brickwork is required, rake out loose mortar material to a uniform depth. Take care that the arrises of the brick are not damaged. Work should only be undertaken by skilled masons. Do not use power tools to cut or grind joints; hand-held grinders may be used for the initial raking of horizontal joints after test samples have been undertaken and only if approved by the Heritage Consultant. Repoint mortar joints with new mortar that matches existing in consistency, composition, strength, colour and pointing profile; note the finely tooled profile of the original mortar joints.
- All redundant metal inserts and services mounted on the exterior walls should be removed or reconfigured.
- Any holes in the brick should be filled or replaced to match existing.

CONSERVATION RECOMMENDATIONS



Archival photo showing parapet of the historic front facade with original architectural metalwork.



Existing condition of rehabilitated architectural metalwork that resembles original based on archival photos.

5.4 ARCHITECTURAL METALWORK

The historic front façade of the Hall Block features existing projecting moulded metalwork and metal cap flashing along the parapet. Based on archival photos, it also included a projecting metal cornice above the storefront; the original profiles and location of the storefront cornice is documented in archival photos.

5.4.1 PARAPET METALWORK & CAP FLASHING

The top of the parapet is integrated with architectural metalwork characterized with late-Victorian era decorative elements. The surviving decorative pieces resemble the profile found in archival photos, and appear to be in good condition. The roof was inaccessible during the initial site visit, and further investigation is required to determine its condition and structural integrity. Viewed from street level, they appear to be in good condition, with evidence of some biological growth, and bird deposit staining.

The architectural metalwork along the parapet are important character-defining elements that should be preserved, and repaired as necessary.

Conservation Strategy: Preservation

- Evaluate the overall condition of the parapet cap flashing, if any, to determine whether more than protection, maintenance and limited repair or replacement in kind is required.
- Remove corrosion that may be discovered upon close inspection, patch and repair, caulk joints as required and apply appropriate primer for galvanized surfaces.
- Repair or replace deteriorated flashing, as required. Repairs should be physically and visually compatible.
- If new flashings are installed, ensure that the colour is compatible with the overall colour scheme.

5.4.2 STOREFRONT CORNICE

Based on archival photos of the Hall Block, the original storefront also featured a projecting metal cornice. This character-defining element has been removed as part of later rehabilitation in the past 50 years

As part of the proposed rehabilitation scheme, the storefront metal cornice will be restored in a historically appropriate manner that resembles the original feature based on archival photos.

Conservation Recommendation: Restoration

- Restore the storefront cornice in its original location based on archival photos, and finish with paint according to colour scheme developed by Heritage Consultant.

5.5 FENESTRATION

Windows, doors and storefronts are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation. — Standards and Guidelines for the Conservation of Historic Places in Canada.

5.5.1 STOREFRONTS

The original storefront of the Hall Block has been rehabilitated within the past 50 years, and has been replaced with the existing storefront that does not contribute to its historic character. Based on evidences from archival images, the original storefront featured a deep, recessed main entrance door, flanked by two display windows on both

sides, with a horizontal band of transom windows, and an architectural metal storefront cornice above.

The proposed rehabilitation scheme will include demolition of the existing, unsympathetic storefront with the street wall extension, and restoration of the storefront with a historically appropriate assembly.

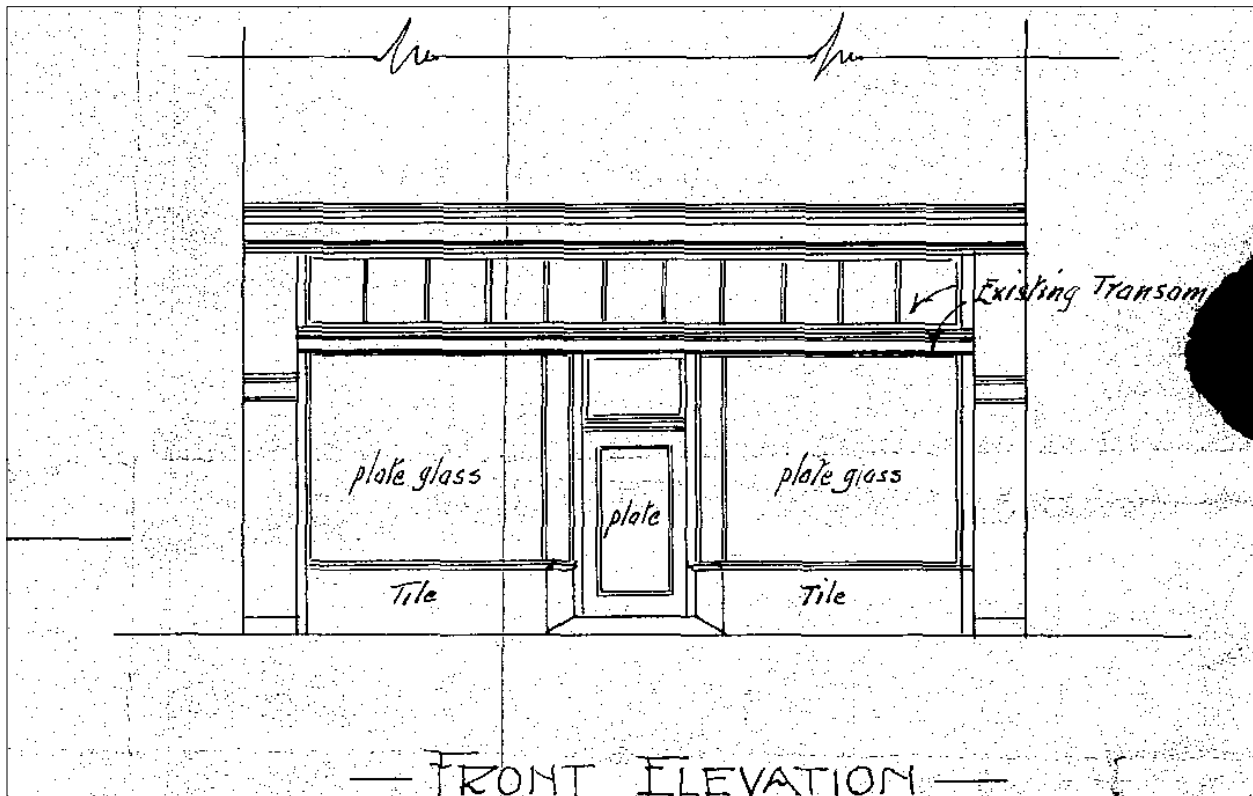
Conservation Strategy: Rehabilitation

- If a rehabilitated wooden storefront system is to be reinstated, reference the historic design as noted in archival images and original architectural drawings. The design of the rehabilitated storefronts should resemble the original historic precedents.
- Integrate commercial signs and new lighting systems as required.
- Provide new accessible entryways for the ground floor, as required.

5.5.2 WINDOWS

The historic front facade of the Hall Block features four original, tall window openings above the storefront level, characterized by surviving, original double-hung wood window assemblies with fixed, transom light. Above the paired window openings at the central bay is an arched window opening that is characterized by true divided multi-light, fixed wood window assembly.

In general, the extant original windows are in good condition, with minor signs of deterioration as a result of natural weathering. All original wood windows contribute to the historic character of the Hall Block, and should be preserved, and repaired as necessary.



Archival drawing showing historically appropriate storefront configuration of Hall Block, with original character-defining elements along Yates Street.



Conservation Strategy: Preservation

- Inspect for condition and complete detailed inventory to determine extent of recommended repair.
- Retain existing window sashes; repair as required.
- Preserve and repair as required, using in kind repair techniques where feasible.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by re-puttying and weather-stripping as necessary.
- Retain historic glass, where possible. Where broken glass exists in historic wood-sash windows, the broken glass should be replaced. When removing broken glass, the exterior putty should be carefully chipped off with a chisel and the glazier's points should be removed. The wood where the new glass will be rested on should be scraped and cleaned well, and given a coat of linseed oil to prevent the wood from absorbing the oil from the new putty. The new glass should be cut 1/16-1/8th smaller than the opening to allow for expansion and irregularities in the opening,



Top: Photo showing typical existing condition of original double-hung wood window assembly with transom light.

Bottom: Photo showing arched window opening and original multi-light wood-window assembly at central bay of the Hall Block.

to ensure the glazing does not crack due to natural forces. Window repairs should be undertaken by a contractor skilled in heritage restoration.

- Replacement glass to be single glazing, and visually and physically compatible with existing.
- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.

5.5.3 DOORS

No original doors were noted during the initial site visit. As part of the proposed rehabilitation scheme, all new doors should be sympathetic to the historic character of the building.

Conservation Strategy: Rehabilitation

- New doors should be visually compatible with the historic character of the building.

5.6 SIGNAGE

Commercial signs are an integral feature of historic commercial buildings. Different types of signs were fabricated in traditional materials with painted or three-dimensional letters, including fascia signs, projecting signs and painted window signs. Signs often reflect the ethnic history of a neighborhood and its character, as well as the social and business activities carried within it, and it is important to preserve or commemorate these markers of the building's social and economic history.

Conservation Strategy: Rehabilitation

When considering new signs on a heritage building, the design should be in accordance with the Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada*, which states that "new signage should be compatible with the building in terms of size, scale, material, style and colour. In addition, new signs should not obscure, damage or destroy character-defining elements of the building".

- New signs can be inspired by historical signs on the building, signs from an earlier era or contemporary materials that are sympathetic to the building.
- Sign fixings or hangers should be carefully attached to the building in the least intrusive manner possible. On masonry walls, consider attaching into mortar rather than brick or stone.
- Signs were historically illuminated with front lighting.

5.7 EXTERIOR COLOUR SCHEDULE





Part of the conservation process is to finish the building facade in historically appropriate paint colours. The upper facade has not been accessible; sampling of original colours has therefore not been possible. Once access is available, tests should be undertaken to determine whether or not paint can be removed from the masonry elements (brick and sandstone).

If possible, the paint should be carefully removed, and the masonry repaired. Further detailed review of the final colour scheme will be undertaken once testing can occur. Until then, the following potential colour treatment can be considered.

Conservation Strategy: Investigation

- Determine an appropriate historic colour scheme for exterior painted finishes.

PRELIMINARY COLOUR TABLE: HALL BLOCK, 727-729 YATES STREET

Element		Colour	Code	Sample	Finish
Brick & Storefront Flanking Columns		Stripped to original brick, or repainted in red brick colour	-	-	-
Sandstone		Stripped to original sandstone, and painted in Keim Mineral Paint colour to match original appearance	-	-	-
Window Sash, Frames & Storefront		Comox Green*	VC-19		High Gloss
Sheet metal elements in cornice	Colour on all protruding elements and four capping elements	Pendrell Green*	VC-18		Semi-Gloss
	Colour on all insets, sunbursts and receding panel elements	Pendrell Verdigris*	VC-22		Semi-Gloss
	Storefront Cornice	Comox Green*	VC-19		Semi-Gloss

*Paint colours come from Benjamin Moore's *Historical Vancouver True Colours*

6.0 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the Hall Block. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Report to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough maintenance plan will ensure the integrity of the Hall Block is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. As defined by the *Standards & Guidelines*, maintenance is defined as:

Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.

The assumption that newly renovated buildings become immune to deterioration and require less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

6.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

6.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards & Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends “using the gentlest means possible”. Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior material such as concrete and stucco wall surfaces and wood elements such as storefront frames. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive



cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.

6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. – must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building.

From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

6.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate.

The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the Hall Block, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

EXTERIOR INSPECTION

Site Inspection:

- ☐ Is the lot well drained? Is there pooling of water?
- ☐ Does water drain away from foundation?

Foundation

- ☐ Is bedding mortar sound?
- ☐ Moisture: Is rising damp present?
- ☐ Is any moisture problem general or local?
- ☐ Are there shrinkage cracks in the foundation?
- ☐ Are there movement cracks in the foundation?
- ☐ Is crack monitoring required?
- ☐ Is uneven foundation settlement evident?

Masonry

- ☐ Are moisture problems present? (Rising damp, rain penetration, condensation, water run-off from roof, sills, or ledges?)
- ☐ Is spalling from freezing present? Location?
- ☐ Is efflorescence present? Location?

- ☐ Is spalling from sub-florescence present? Location?
- ☐ Need for pointing repair? Condition of existing pointing and re-pointing?
- ☐ Is bedding mortar sound?
- ☐ Are weep holes present and open?
- ☐ Are there cracks due to shrinking and expansion?
- ☐ Are there cracks due to structural movement?
- ☐ Are there unexplained cracks?
- ☐ Do cracks require continued monitoring?
- ☐ Are there signs of steel or iron corrosion?
- ☐ Are there stains present? Rust, copper, organic, paints, oils / tars? Cause?
- ☐ Does the surface need cleaning?

Storefronts

- ☐ Are there moisture problems present? (Rising damp, rain penetration, condensation, water run-off from roof, sills, or ledges?)
- ☐ Are materials in direct contact with the ground without proper protection?
- ☐ Is there insect attack present? Where and probable source?
- ☐ Is there fungal attack present? Where and probable source?
- ☐ Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- ☐ Is any surface damaged from UV radiation?
- ☐ Is any wood warped, cupped or twisted?
- ☐ Is any wood split? Are there loose knots?
- ☐ Are nails pulling loose or rusted?
- ☐ Is there any staining of wood elements? Source?

Condition of Exterior Painted Materials

- ☐ Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
- ☐ Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- ☐ Paint cleanliness, especially at air vents?

Windows

- ☐ Is there glass cracked or missing?
- ☐ If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- ☐ If the glass is secured by beading, are the beads in good condition?
- ☐ Is there condensation or water damage to the paint?
- ☐ Are the sashes easy to operate? If hinged, do they swing freely?
- ☐ Is the frame free from distortion?
- ☐ Do sills show weathering or deterioration?
- ☐ Are drip mouldings/flushing above the windows properly shedding water?
- ☐ Is the caulking between the frame and the cladding in good condition?

Doors

- ☐ Do the doors create a good seal when closed?
- ☐ Are the hinges sprung? In need of lubrication?
- ☐ Do locks and latches work freely?
- ☐ If glazed, is the glass in good condition? Does the putty need repair?
- ☐ Are door frames wicking up water? Where? Why?
- ☐ Are door frames caulked at the cladding? Is the caulking in good condition?
- ☐ What is the condition of the sill?

Roof

- ☐ Are there water blockage points?
- ☐ Is there evidence of biological attack? (Fungus, moss, birds, insects)
- ☐ Are flashings well seated?
- ☐ Are metal joints and seams sound?
- ☐ Is there rubbish buildup on the roof?
- ☐ Are there blisters or slits in the membrane?
- ☐ Are the drain pipes plugged or standing proud?
- ☐ Is water ponding present?

INTERIOR INSPECTION

Basement

- ☐ Are there signs of moisture damage to the walls? Is masonry cracked, discoloured, spalling?
- ☐ Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- ☐ Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- ☐ Are walls even or buckling or cracked? Is the floor cracked or heaved?
- ☐ Are there signs of insect or rodent infestation?

Commercial Space

- ☐ Materials: plaster, wood, metal, masonry – are they sound, or uneven, cracked, out of plumb or alignment; are there signs of settlement, old, or recent (bulging walls, long cracks, etc)?
- ☐ Finishes: paints, stains, etc. – are they dirty, peeling, stained, cracked?
- ☐ Are there any signs of water leakage or moisture damage? (Mould? Water-stains?)

6.7.2 MAINTENANCE PROGRAMME

INSPECTION CYCLE:

Daily

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

Annually (Spring)

- Inspect masonry wall for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.

Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

Major Maintenance Work (as required)

- Thorough repainting and drain replacement; replacement of deteriorated building materials; etc.

APPENDIX A: RESEARCH SUMMARY

HISTORIC NAME: Hall Block
CIVIC ADDRESS: 727-729 Yates Street, Victoria
DATE OF CONSTRUCTION: 1897
ORIGINAL OWNER: F. W. Hall
ORIGINAL ARCHITECT: John Teague

ASSESSMENT INFORMATION

- 1879: Lot 15; 60' by 120'; Yates Street; L. Loewenberg; Land: \$700, Improvements: \$0.
- 1880-1882/83: Same.
- 1884: "1/2 Lot 15; 30' by 120'; Hugh Calwell; Land: \$350, Improvements: \$0." Penciled in.
- 1885: Second 1/2 Lot 15; Hugh Calwell; Land: \$1,000, Improvements: \$700.
- 1886-87-1888: Same.
- 1889: West 1/2 Lot 15; Hugh Calwell; Land: \$1,125, Improvements: \$1,000.
- 1890: Same.
- 1891: Land: \$4,500, Improvements: \$900.
- Note: Sold to Dr. F.W. Hall between 1892 and 1898.
- 1892: Land: \$4,500, Improvements: \$450.
- 1894: Land: \$3,900, Improvements: \$225.
- 1897: Land: \$2,500, Improvements: \$750.
- 1898: Dr. F.W. Hall; Land: \$2,500, Improvements: \$2,500.
- 1900 + 1905: Same.

PLUMBING PERMITS

- Plumbing Permit #636: 23.8.1897; for Dr. F.W. Hall, "Finch & Finch" written over; Office; John Teague, agent for owner.

NEWSPAPER REFERENCES:

- Victoria Daily Colonist, July 9, 1897, page 6: Dr. Frank W. Hall is erecting new office premises on Yates street, immediately adjoining the Bishop's palace.

DIRECTORIES:

1897 Henderson's B.C. Gazetteer & Directory, page 761:

- Hall & Co. Chemists and Druggists, Cor. Yates and Douglas
- Hall, Frank, physician, 103 Yates (now 757 Yates), h 61 Herald

VITAL EVENTS:

- Groom: Frank Walter Hall; Bride: Annie Elizabeth Davies; Event Type: Marriage; Registration Number: 1890-09-043665; Event Date: 1890-08-29; Event Place: Vancouver.



Victoria
CIVIC
HERITAGE
TRUST

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

6 November 2020

Attention: Mayor and Council

**Recommendation to City of Victoria
Approval of a Partial Ten Year Tax Exemption
Heritage Tax Incentive Program – Residential Use**

727 Yates Street – Hall Block (1897)

**Former Westerly 30 Feet of Lot 15 Victoria City;
Now part of Lot 1, Victoria City Plan, EPP101059
As consolidated with 719 Yates Street and 721–725 Yates Street**

PID 009-351-388 / Folio No 01022005

Dear Mayor and Council:

The Board of Directors of the Victoria Civic Heritage Trust reviewed a Tax Incentive Program application for **727 Yates Street** at its meeting held on 6 November 2020.

The owner requests a partial ten year tax exemption period for 727 Yates Street based on the scope of work for seismic upgrading as specified by the Project Engineer, John Zickmantel, MEng, PEng, StructEng, PE, SE, Bryson Markulin Zickmantel Structural Engineers, Vancouver.

The lowest total seismic upgrading cost is **\$309,711.00** as estimated by Brenton Construction Corp in a revised submission received on 15 October 2020. The second cost estimate dated 19 August 2020 from Tom Crosbie PQS, MRICS, Beacon Construction Consultants Inc was revised by VCHT to remove architectural costs for storefront replacement as well as non-structural work and demolition costs – see attached report from Beacon Construction Consultants and cost spreadsheet by VCHT. The revised cost for structural work at 727 Yates Street was **\$326,103.93**. Please note that ineligible contingency costs were removed from both seismic cost estimates, therefore the totals differ from the documents submitted by the applicant. In a letter dated 22 October 2020, John Bryson (BMZ) provided an order of magnitude cost estimate of **\$250,000.00 to \$300,000.00** for seismic upgrading in the Hall Block building, excluding contingency allowance, contractor mark-up, soft costs, and GST. This order of magnitude cost estimate is consistent with the seismic upgrading estimate provided by Brenton Construction Corp.

The total construction costs for 727 Yates Street were estimated in April 2020 by Brenton Construction Corp as **\$3,016,276.93**.

ELIGIBLE TERM OF TAX EXEMPTION: The 2020 property tax for 727 Yates Street is **\$20,325.69** for the property prior to consolidation. The value of a ten year tax exemption at the current 2020 property tax rate is **\$203,256.90** (10 years x \$20,325.69). Based on the formula used to determine the eligible term of the tax exemption under the Tax Incentive Program for Residential Uses, 727 Yates Street is eligible for the maximum ten year tax exemption as the cost of seismic upgrading exceeds the value of the existing property taxes multiplied by the maximum number of ten years.

Cost of seismic upgrading = **\$309,711.00** > **\$203,256.90** (\$20,325.69 x 10 years).

...2

HERITAGE PORTION FOR TAX EXEMPTION: The proposed project includes rehabilitation and seismic upgrading of the existing Hall Block (1897) heritage designated building that is eligible for a tax exemption, as well as construction of a new addition and rooftop additions that do not qualify for tax exemption. The amount of the tax exemption for the heritage portion of the project is calculated as a percentage of the floor areas of Levels 1-3 within the heritage building envelope in relation to the total gross floor area of the consolidated apartment building complex at 719, 721-725, and 727 Yates Street.

The building floor areas below are based on inside floor areas (per square foot) as provided by Studio One Architecture Inc. The floor areas were generated by an Auto CAD program based on the Building Permit drawings for the proposed work at 727 Yates Street as well as for the existing floor areas of The Churchill apartment complex at 719 Yates Street and 721-725 Yates Street. The floor areas within the original heritage building envelope of the Hall Block create 4 of 11 new rental residential units.

727 Yates Street–Hall Block (1897)	3,736 sf	=	<u>6.990%</u>	Tax Exempt Floor Area
727 Yates Street New Additions	6,661 sf	=	12.463%	
<u>719 and 721-725 Yates Street</u>	<u>43,050 sf</u>	=	<u>80.547%</u>	
Total Gross Floor Area	53,447 sf		100.00%	Total Gross Floor Area

Based on the floor areas listed above, the 10 year tax exemption for the heritage portion of the proposed project should be at the rate of **6.990%** of the assessed value for the consolidated property.

This percentage should be confirmed by City of Victoria to ensure that it fairly offsets the cost of seismic upgrading for the Hall Block based on BC Assessment's projected assessed value for the consolidated property. The final floor areas of Levels 1-3 in the heritage building and the final gross floor area of the consolidated property, and resulting eligible percentage, should also be verified by the City of Victoria prior to final approval of the tax exemption bylaw, based on final building permit or as-built drawings.

A technical review of the project was undertaken by our Architectural Conservation Committee (ACC) and Board of Directors on 6 November 2020. The Board of Directors passed the following motion of recommendation to the City of Victoria:

Subject to Council's approval, the project meeting all other City requirements, and verification of final costs and the heritage building floor area and resulting eligible percentage, the property at **727 Yates Street – Hall Block (1897)** is eligible for a **tax exemption period of ten (10) years** with the amount to be based on the final percentage of the heritage building floor area in relation to the total gross floor area of the consolidated property, for the assessed value of the consolidated property situated on the former legal property description of the Westerly 30 Feet of Lot 15 Victoria City and now part of the consolidated legal property description of Lot 1, Victoria City Plan, EPP101059 as consolidated with 719 Yates Street and 721-725 Yates Street.

Please do not hesitate to contact our office if you have any questions regarding our review.

Sincerely yours,


Clive Townley
President

copy: John O'Reilly, Senior Heritage Planner, City of Victoria



PRIMEX INVESTMENTS LTD.
#200 – 1785 West 4th Avenue
Vancouver BC, Canada
V6J 1M2

City of Victoria
1 Centennial Square
Victoria BC
V8W 1P6

Attn: John O'Reilly, MCIP RPP
Senior Planner- Heritage
Sustainable Planning and Community Development Department

Re: 727 Yates – Property Tax Incentive Program (TIP)

On behalf of Primex Investments Ltd, the Authorized Agent for 721 Yates Street Properties Ltd. I am pleased to submit this application for Victoria's Tax Incentive Program to help offset the costs of seismic upgrading for our heritage restoration of our building at 727 Yates Street.

Project Description:

The Hall Block has been identified as a designated heritage building. Originally constructed in 1897, it is our intent to undertake an adaptive reuse of the building, by converting the current vacant commercial component into a mixed-use building, with an upgraded commercial space with residential units in the upper stories.

It is our intent to preserve this historic building, while adding critical rental housing in Downtown Victoria, in a manner consistent with the Donald Luxton Heritage Report. This 'labour of love' will preserve a piece of critical Victoria history while enhancing Yates Street.

Project History:

Primex first considered the redevelopment of this building in 2017 and a Heritage Alteration Permit (HAP) was approved in 2018. Due to a variety of factors, including the City of Victoria's Building Permit requirements for lot consolidation and the resulting engineering and code challenges, and Primex' requirement to facilitate a cost-effective design, the project was unavoidably delayed.

The TIP mandates that no 'additive' works be undertaken prior to issuance of a tax exemption by City Council. Some strip-out and hazardous materials removal are currently being undertaken



associated with our Building Permit (issued in September 2020). The issuance of the Building Permit was critical to the future of the project, as the Heritage Alteration Permit was at risk of expiring if works were not undertaken as soon as possible.

To date, the work undertaken is only related to removing hazardous materials from the building's interior and other non-additive works to prepare the building for the required seismic upgrading and interior redevelopment. Additional 'additive' work is 'on-hold' pending the City's approval of our TIP application.

Background Information:

Per the City's Application Checklist, listed below is the required information for the project. Both hard and digital copies of the files are being submitted as part of this application.

- Architectural BP Drawings
- Architects Project Description
- Heritage Report (Donald Luxton)
- Title Search documents for 727 Yates and the neighbouring property – 721 Yates (these two properties are being consolidated per City requirements). A new title document for the consolidated properties is pending.
- A Legal Survey Plan
- Seismic Upgrading Cost estimate prepared by a Quantity Surveyor and related Structural Engineers Assessment
- Estimated Construction Schedule

We are excited to complete work on this project in 2021/2022 pending the positive response of City Council to our application for the Tax Incentive Program.

If we can provide any additional information or you need clarification of any details, please feel free to reach out to me at your convenience.

Sincerely

Greg Mitchell, M.PL., MCIP, RPP
Development Manager
Primex Investments for "721 Yates Street Properties Ltd"
#200 – 1785 West 4th Avenue
Vancouver BC, V6J 1M2



**Bryson Markulin Zickmantel
Structural Engineers**

#501 – 510 Burrard Street
Vancouver, B.C. V6C 3A8
(604) 685-9533 • bzmse.com

September 22, 2020

Primex Investments Ltd.
#200 – 1785 West 4th Avenue
Vancouver, B.C. V6J 1M2

Attention: Mr. Greg Mitchell, M.PL., MCIP, RPP

Delivered via email: greg@primexinvestments.com

Dear Sir:

**Re: Seismic Upgrading Strategy
727 Yates Street, Victoria, B.C.
BMZ Reference Number: 90093-01**

As requested, this letter describes the Seismic Upgrading work for the existing building at 727 Yates Street, Victoria, B.C.

The existing building at 727 Yates Street comprises the original old (approx 100 years old) two-storey unreinforced brick masonry structure with wood floors and roof and also, a one-story more recent addition (1950's vintage) made with concrete block masonry and wood roof, added at the rear. The building has no basement, so foundations are shallow footings with a ground floor concrete slab on grade.

The structural drawings submitted for a building permit show a one-story addition on top of the existing older two-story building, over most of the area of the older two-story structure, and a four-story addition, on top, over most of the newer one-story part of the building at the rear.

The structural drawings provide structural design criteria on drawing S1, and indicates that the new additional floors to the existing building are designed to 100% of the Seismic requirements of the B.C Building Code 2018 and that the existing structure (including the old two-story brick structure) is Seismically upgraded to meet 100% of the Seismic design requirements of the 2018 B.C. Building Code. As the existing Brick walls of the older two-story structure are to remain as is, two detailed Seismic requirements of the Code are identified on the structural drawings as "deficiencies" as these are not practical to correct in detail without completely replacing the old brickwork or completely rebuilding the old brickwork. The two deficiencies are:

1. The brick masonry walls of the old two-story structure are unreinforced. The Code requires all masonry walls in high Seismic zones are to be reinforced. To compensate for this deficiency, all unreinforced brick walls are designed for Code seismic design factors of $R_d=R_o=1.0$, which means the old brick walls are designed to remain "elastic" and not to be overstressed under the design earthquake seismic design forces.
2. There is no significant seismic separation gap between the brick walls of the older two-story building and the existing brick walls of the older brick building to the west. The Code requires a seismic gap between structures to avoid damage due to collision of moving structures during the design earthquake. Note that all new parts of the building structure do have a seismic gap between the new structures and the existing building to the west.

A description of the structural work for 727 Yates Street is as follows:

1. The existing brick walls of the older two-story part of the building are to remain wherever they are visible in the completed project. The existing brick walls are anchored to the new structure for all seismic loads required by the BC Building Code.
2. All floors and roofs for the renovated building are new. A new reinforced concrete transfer structure will exist at the second floor to support the new residential floors above the second floor, over the commercial space on the ground floor. The new reinforced concrete second-floor structure also provides the required two-hour fire separation between the commercial ground floor space and the residential floors above. Seismic resistance for the ground floor structure is provided by new reinforced concrete rigid frames in the east-west direction and new reinforced concrete block shearwalls in the north-south direction. The new structure above the second floor is all wood frame with seismic resistance provided by plywood shear walls in both the east-west and north-south directions.
3. An unusual added cost of the new structural work is that all new and existing foundations along the west side of 727 Yates Street must be lowered to match the level of the basement of the existing building to the west, in order to avoid adding large horizontal soil pressures that may damage the basement walls of the existing building to the west, due to increased structure loads from the new structure of 727 Yates Street.

We trust the foregoing comments are clear and are sufficient for your purposes at this time. Please call the writer if you have any questions.

Yours truly,

Bryson Markulin Zickmantel Structural Engineers


John G. Zickmantel, M.Eng., P.Eng., Struct.Eng., P.E., S.E.

Cc Jim Wong, Principal jim@studioonerachitecture.ca



SEP 22/20



MINUTES - VICTORIA CITY COUNCIL

January 14, 2021, 1:52 p.m.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Due to the COVID-19 Pandemic, public access to City Hall is not permitted.

This meeting may be viewed on the City's webcast at www.victoria.ca

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Andrew, Councillor Potts, Councillor Thornton-Joe, Councillor Young

PRESENT

ELECTRONICALLY: Councillor Dubow, Councillor Isitt, Councillor Loveday

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Director of Finance, C. Coates - City Clerk, P. Bruce - Fire Chief, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, J. Jensen - Head of Human Resources, K. Hoese - Director of Sustainable Planning and Community Development, C. Havelka - Deputy City Clerk, C. Mycroft - Manager of Executive Operations, AK Ferguson - Committee Secretary

A. CONVENE COUNCIL MEETING

B. APPROVAL OF AGENDA

Moved By Councillor Alto

Seconded By Councillor Potts

That the agenda be approved.

Amendment:

Moved By Councillor Alto

That the following items be added to the agenda:

- **E.1.b. b - Council Committee and Neighbourhood Liaison Appointments**
- **E.1.b.c - Emergency Social Services Grant - Meegan Community Care Tent**

CARRIED UNANIMOUSLY

On the main motion as amended:

Council (to follow COTW)

January 14, 2021

CARRIED UNANIMOUSLY

C. READING OF MINUTES

C.1 Minutes from the daytime meeting held November 12, 2020

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the minutes from the daytime council meeting held November 12, 2020 be adopted.

CARRIED UNANIMOUSLY

C.2 Minutes from the daytime meeting held November 26, 2020

The minutes were not attached to the agenda package and therefore this item was deferred to the January 21, 2021 meeting.

CARRIED UNANIMOUSLY

E. REPORTS OF COMMITTEE

E.1 Committee of the Whole

E.1.a Report from the January 7, 2021 COTW Meeting

E.1.a.a 727 Yates Street - Tax Incentive Program Application No. 00031 (Downtown)

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

1. That Council instruct the City Solicitor to prepare a Tax Exemption Bylaw for 727 Yates Street for 9.08% of assessed value for 10 years, pursuant to Section 225 of the Community Charter, with the following conditions:
 - a. that the tax exemption take effect no earlier than 2022, after the expiry of the tax exemption for 719, 721-725 Yates Street, approved under bylaw 18-062
 - b. that a covenant identifying the tax exemption be registered on the title of the property and any possible future strata titles
 - c. that the final costs of seismic upgrading be verified by the Victoria Civic Heritage Trust.
2. That Council authorize amendments to the front façade rehabilitation strategy approved under Heritage Alteration Permit with Variances No. 00008, in accordance with

Council (to follow COTW)

January 14, 2021

DrawingH.1 by Studio One Architecture Inc., date stamped
November 30, 2020.

CARRIED UNANIMOUSLY

E.1.a.b Appointment of Bylaw Officer - Chris Goldsmith

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That Council approve the appointment of Chris Goldsmith:

1. As a Bylaw Officer pursuant to section 2(a) of the Inspection Bylaw (06-061); and
2. As a Business Licence Inspector for the City of Victoria

CARRIED UNANIMOUSLY

E.1.a.c Appointment of Bylaw Officer - Amy Acheson

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That Council approve the appointment of Amy Acheson:

1. As a Bylaw Officer pursuant to section 2(a) of the Inspection Bylaw (06-061); and
2. As a Business Licence Inspector for the City of Victoria

CARRIED UNANIMOUSLY

E.1.a.d Greater Victoria Harbour Authority - Update on GVHA and draft 2019/2020 Financial Statements

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council receive this report for information.

CARRIED UNANIMOUSLY

E.1.a.e Heritage Property Tax Exemptions – Summary of Exemptions since 2006

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

That Council receive this report for information.

CARRIED UNANIMOUSLY

E.1.a.f Investing in Canada Infrastructure Program – Grant Funding Application

Moved By Councillor Alto

Seconded By Councillor Young

That Council:

1. Direct staff to submit a grant application for up to \$2.1 million in funding for the Government Street North Bicycle Master Plan Project from the Investing in Canada Infrastructure Program (ICIP) - COVID-19 Resilience Infrastructure Stream (CVRIS).
2. If the grant application is approved, authorize the City entering into a shared cost agreement with the Province of British Columbia, generally described in this report, on the terms acceptable to the Director of Finance and the Director of Engineering and Public Works and in a form acceptable to the City Solicitor.

CARRIED UNANIMOUSLY

E.1.a.g Motor Vehicle Act Pilot –Reduced Default Speed Limits on Local Roads

Moved By Councillor Isitt

Seconded By Councillor Loveday

That Council:

Direct staff to finalize any outstanding stakeholder engagement, pending approval of resources through the 2021 Financial Planning process, and prepare an application to participate in the Motor Vehicle Act Pilot Program to reduce default speed limits on local roads without a continuous centre line in the City of Victoria from 50 km/hr to 30 km/hr as per the 2019 – 2022 Strategic Plan.

FOR (6): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday and Councillor Potts

OPPOSED (3): Councillor Andrew, Councillor Thornton-Joe, and Councillor Young

CARRIED (6 to 3)

E.1.b Report from the January 14, 2021 COTW Meeting

E.1.b.a Use of Parking Lot at 940 Caledonia Ave for Transitional Tiny Home Community

Moved By Councillor Andrew

Seconded By Councillor Alto

1. That Council authorize Aryze Developments to apply for a temporary use permit in relation to up to 36,000 sq. ft of the

Council (to follow COTW)

January 14, 2021

Royal Athletic Park parking lot at 940 Caledonia Avenue (the “Site”) for a temporary Transitional Tiny Home Community on the Site for up to 30 homes.

2. That Council direct staff to work with BC Housing to negotiate a proposed lease or licence of occupation at a nominal rate for the use of the Site for the purpose of the Transitional Tiny Home Community that assumes the City and Aryze Developments (not BC Housing) sharing site remediation risks and removal of the temporary structures, on the terms satisfactory to the City’s Head of Strategic Real Estate and the Director of Parks, Recreation and Facilities, and in the form satisfactory to the City Solicitor, and to report back to Council for approval of the agreement.
3. That Council direct staff to expedite the processing of the temporary use permit application and other applications associated with the Transitional Tiny Home Community at the Site to be submitted by Aryze, and hold an opportunity for public comment.
4. That Council direct staff to return to Council as soon as possible to seek Council approval for funding from the federal-provincial Restart funding, to pay the proportion of the costs the City will be incurring for start up.
5. That all of this work be carried out in as expedient a way as possible with the aim that there is occupancy of the Tiny Home Community by no later than March 31st
6. That Council request City staff and the operator engaged by BC Housing to meet on a regular basis during the project planning phase for the Transitional Tiny Home Community with both housed and unhoused neighbours and once the project is established to establish a Community Advisory Committee with participation from nearby neighbours and residents of the Transitional Tiny Home Community, to respond to queries and concerns and to help ensure neighbourhood integration.
7. That Council authorization pursuant to Recommendations 1 to 6 does not limit Council’s or any City official’s discretion in relation to the approval of the temporary use permit or any other City approval pertaining to the Transitional Tiny Home Community, nor does the authorization create any rights or obligations aside from the right to apply for a temporary use permit in relation to the Site.

CARRIED UNANIMOUSLY

E.1.b.b Council Committee and Neighbourhood Liaison Appointments

Council discussed:

Council (to follow COTW)

January 14, 2021

- That correspondence be sent to all the committees advising of the changes.

Moved By Councillor Alto

Seconded By Councillor Potts

That Council approve the following appointments:

Victoria City Council Appointments to Boards and Committees
2018 - 2022

A. External Committees / Boards		
Capital Region Emergency Service Telecommunications (CREST)		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Young	Councillor Dubow	<ul style="list-style-type: none"> • Governed by the <i>Emergency Communications Corporations Act</i> • Provides emergency radio telecommunications for 50 emergency response agencies in BC's capital region
Canadian Capital Cities Organization Board		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe Councillor Alto	Councillor Loveday Councillor Young	<ul style="list-style-type: none"> • Representatives from each capital city working together to promote the historic, cultural, economic and symbolic heritage of the capitals in Canada. • Representatives from federal, provincial, territorial and municipal public sectors as well as the private sector.
Greater Victoria Harbour Authority - Board Member		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Alto	Councillor Alto	<ul style="list-style-type: none"> • The purpose of the GVHA is to manage and develop the harbour assets and operations. • To respond to and be reflective of community interests and work in cooperation with the

Council (to follow COTW)

January 14, 2021

		members and other stakeholders. <ul style="list-style-type: none"> The Board of Directors is comprised of member agencies and their respective nominees.
Greater Victoria Harbour Authority - Member Representative		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Isitt	Councillor Isitt	<ul style="list-style-type: none"> Each Member is represented by one individual who is chosen by the Member.
Greater Victoria Public Library Board		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Loveday	Councillor Alto	<ul style="list-style-type: none"> Governed by a Board of Trustees established under the <i>Library Act</i> Make policy within the legislation and regulations to support the GVPLB mission Oversee the GVPLB finances
Destination Greater Victoria Board of Directors		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Loveday	Councillor Andrew	<ul style="list-style-type: none"> The not-for-profit destination marketing organization working in partnership with more than 900 business members and municipalities in Greater Victoria to promote tourism.
Municipal Insurance Association of British Columbia (MIABC)		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Young	Councillor Isitt	<ul style="list-style-type: none"> Provide broad liability insurance coverage needed for member's financial security, stabilize liability insurance costs and offer risk

Council (to follow COTW)

January 14, 2021

		management education
Federation of Canadian Municipalities - Election to Board of Directors		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor may seek appointment to FCM		<ul style="list-style-type: none"> • Represent the interests of municipalities on policy & program matters that fall within federal jurisdiction • There are 8 Directors of the Board representing BC • Elections are held at the Annual AGM • The Board meets 3 times annually (phone/or in person)
Board of Cemetery Trustees of Greater Victoria		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Potts	Councillor Potts	<ul style="list-style-type: none"> • Established and governed under the <i>BC Cemetery and Funeral Service Act</i> and the <i>Community Charter</i> • Responsible for regulations for the use, operation and management of the property of the Board • Oversee the finance of the Board
Greater Victoria Airport Authority - Airport Consultative Committee		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Isitt	Councillor Isitt	<ul style="list-style-type: none"> • The meetings provide an opportunity for the public to learn more and engage with the Victoria Airport Authority

Council (to follow COTW)

January 14, 2021

Greater Victoria Family Court and Youth Justice Committee		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Dubow	Councillor Potts	<ul style="list-style-type: none"> Established under the <i>Provincial Court Act</i> Mandate is to protect youth in the justice system 1 Councillor or public appointee from each 13 municipalities
University of Victoria Liaison		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe	Councillor Dubow	<ul style="list-style-type: none"> Not clearly defined
Victoria Civic Heritage Trust – 2 appointees		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe Councillor Loveday	Councillor Thornton-Joe Councillor Dubow	<ul style="list-style-type: none"> Administers grant (incentives & funding) programs for the conservation and rehabilitation of legally protected commercial, industrial, and institutional heritage buildings, on behalf of the City: <ul style="list-style-type: none"> Building Incentive Program (BIP) - matching funds up to \$50,000 per building for eligible conservation work Design Assistance Grant (DAG) - matching funds up to \$2,000 per building for preliminary conservation services Seismic Parapet Incentive Program (PIP) - matching funds up to \$50,000 per building for voluntary seismic upgrading of heritage parapet and facade falling hazards PIP-Design Assistance Grant (PIP-DAG) - matching funds up to \$3,000 per building for preliminary engineering services Tax incentive Program (TIP) - assists the City with technical reviews and recommendations

Council (to follow COTW)

January 14, 2021

		for eligible Residential TIP and Non-Residential TIP projects
Victoria Heritage Foundation – 1 appointee		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Potts	Councillor Thornton-Joe	<ul style="list-style-type: none"> Administers a grant program to assist homeowners with the upkeep and rehabilitation of older homes, on behalf of the City. Helps support the conservation of the City's heritage houses through house grants, education and public awareness.
Victoria Parks and Recreation Foundation		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe	Councillor Potts	<ul style="list-style-type: none"> Its mission is to enhance the parks system, community leisure services, recreation services, public art and education within, but not restricted to, the City of Victoria; To receive and solicit donations and bequests of land, money and in kind gifts and services for an endowment fund and/or special projects. Administer donations and bequests. Hold title to real property that is dedicated to the public.
Victoria Regional Transit Commission – Mayor is standing Member (4 years) / Council nominated candidate is appointed to the Commission by the Province (2 years)		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information

Council (to follow COTW)

January 14, 2021

Councill Dubow	Councillor Isitt	<ul style="list-style-type: none"> Many decisions regarding transit services and funding in the Victoria region are made by this Commission. Commission members are appointed by the Lieutenant Governor in Council from persons holding elected office. It is responsible for determining route configurations and transit service levels; setting fares, reviewing and making recommendations for the annual operating budget and capital spending and raising the local share of the annual cost of transit service in the region.
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Community Action Plan on Discrimination

2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Alto Councillor Dubow	Councillor Potts Councillor Alto	<ul style="list-style-type: none"> The mandate is to address social and racial profiling in services in Victoria, in particular health and policing.

T'Mexw Treaty Advisory Committee

2018 - 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Alto	Councillor Alto	<ul style="list-style-type: none"> Coordinates and represents the interests of most Lower Vancouver Island local governments within the CRD representing their needs to the Te'Mexw Treaty negotiations

B. CRD Boards & Committees

CRD Board of Directors – 4 year appointment (position of Municipal Directors and Alternate Municipal Directors to the Capital Regional District Board and the Capital Regional District Hospital Board)

Mayor Helps
Councillor Isitt
Councillor Loveday
Councillor Young

Councillor Alto – 1st alternate
Councillor Dubow – alternate
Councillor Potts – alternate
Councillor Thornton-Joe – alternate

Council (to follow COTW)

January 14, 2021

Councillor Andrew – alternate		
Arts Commission – 4 year appointment if a CRD Director / 2 year appointment if not a CRD Director / Alternates may be nominated		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Loveday Alternate: Councillor Dubow	Councillor Loveday Alternate: Councillor Alto	<ul style="list-style-type: none"> Established as an independent community-based body to provide advice to the CRD on matters relating to the arts service that was established in 2001. Mandate to support arts in the community, public awareness and involvement, creation exhibition and performance of artistic works. The adjudicative body for arts funding programs
Regional Water Supply Commission – *** appointment of 1 Council member pending the completion of public input		
Term (4 years) Appointees (four)		Roles / Responsibilities / Information
Councillor Isitt Councillor Loveday Councillor Young *** Councillor Dubow		<ul style="list-style-type: none"> A commission to review any matter relating to the regional water supply service.
Regional Housing Trust Fund Commission		
2019 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe	Councillor Potts	<ul style="list-style-type: none"> A fund that provides capital grants for the acquisition, development and retention of housing. Is a key function of the Regional Housing Affordability Strategy, that helps leverage additional funds from other sources.
Royal and McPherson Theatres Society Advisory Committee		
2018 - 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Loveday Councillor Young	Councillor Alto Councillor Dubow	<ul style="list-style-type: none"> An Advisory role to provide advice to the RMTS Society

Council (to follow COTW)

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Climate Action Inter-Municipal Task Force		
Term (4 years)	Appointee (one)	Roles / Responsibilities / Information
Councillor Potts	Councillor Loveday	<ul style="list-style-type: none"> Meets bi-annually Share information, collaborate on projects, review current program deliverables and provide input on the direction of the CRD Climate Action Program
Island Corridor Foundation Advisory Committee		
Term		Roles / Responsibilities / Information
Appointment by CRD		A collaboration between First Nations and Regional District to protect the Island rail corridor
C. City Advisory Bodies		
Art in Public Places Committee		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe	Councillor Young	<ul style="list-style-type: none"> To advise the City on public art issues and trends relevant to public art initiatives in the City. To advise and consult on specific issues, such as donations and commissions of work. To nominate one of their members and other artists in the community to serve on the selection panel for specific art projects. To determine the type of competition to be held for a particular art project, and review the criteria for selection of the artist and/or artwork, the Call to Artists and the Competition Brief.
Renters' Advisory Committee		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information

Council (to follow COTW)

January 14, 2021

Councillor Dubow Councillor Loveday	Councillor Potts Councillor Andrew	<ul style="list-style-type: none"> To provide advise and recommendation on policies to increase rental housing stock; Improving conditions and wellbeing for renters; Strategic priorities relating to renters The impacts of provincial and federal legislation affecting tenants Enhancing access and inclusion for renters in developing municipal policy and civic life Other matters relevant to the interest of renters
South Island Prosperity Partnership		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Mayor Helps	Councillor Alto	<ul style="list-style-type: none"> A collaboration of private business, local government and post-secondary institutions creating a vehicle for economic development and to diversify the regional economy; Advise on to best deliver an economic development function to support small businesses.
Urban Food Table		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Isitt Councillor Loveday	Councillor Isitt Councillor Loveday	<ul style="list-style-type: none"> To bring together organizations, groups and individuals to work together to support increased urban food production as an important part of

Council (to follow COTW)

January 14, 2021

		developing a healthy, ecological and sustainable food system in Victoria.
City of Victoria Youth Council		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Dubow	Councillor Loveday	<ul style="list-style-type: none"> • A youth group that offers opportunities for civic engagement for youth on issues and initiatives in Victoria • Take action and raise awareness about issues important to youth • Work with Mayor, Council and staff to include youth perspectives in municipal processes and decisions.
Honorary Citizens Committee		
2018 - 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe Councillor Isitt	Councillor Thornton-Joe Councillor Isitt	<ul style="list-style-type: none"> • Meet to ensure there are a suitable number of nominations to choose from • Evaluate nominations and makes recommendations to Council • To recognize citizens for their service or achievements and having made an exceptional contribution to the City, who must be living in, or former residents of Victoria
Active Transportation Advisory Committee		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Isitt Councillor Young	Councillor Loveday Councillor Isitt	<ul style="list-style-type: none"> • Provides advice on strategies for promoting mode shift to active transportation, including proposed transportation expenditures; transportation issues and priorities; crosswalk

Council (to follow COTW)

January 14, 2021

		prioritization; the Pedestrian and Cycling Master Plan; Transit issues, priorities and projects and place-making initiative.
Downtown Victoria Business Association		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe	Councillor Young	<ul style="list-style-type: none"> To be a proactive champion for Victoria's downtown business community, promoting sustainable economic vitality through direct action and advocacy
Canada Day Liaison		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Thornton-Joe	Councillor Thornton-Joe	<ul style="list-style-type: none"> A collaboration between various agencies and stakeholders to produce a Canada Day event downtown
Welcoming Cities Task Force		
	2021-2022	Roles / Responsibilities / Information
Established in 2020	Mayor Helps and Councillor Dubow	<ul style="list-style-type: none"> To develop a Welcoming Cities Strategy and assess Victoria against Welcoming Standards To develop stronger, more inclusive communities and bridge the gaps between newcomers and long-time residents.
Accessibility Advisory Committee		
	2021 - 2022	Roles / Responsibilities / Information
Established in 2020	Councillor Potts Councillor Isitt	<ul style="list-style-type: none"> To inform and provide feedback to Council and staff on a range of City initiatives, program and services through an accessibility lens. Act as resource and provide advice to Council and staff on

Council (to follow COTW)

January 14, 2021

		the implementation of the Accessibility Framework and Short-Term Action Plan.
Seniors' Advisory Committee		
	2021 - 2022	Roles / Responsibilities / Information
Established in 2020	TBD	Staff to report back with draft Terms of Reference
City Family		
2018 - 2020	2021 - 2022	Roles / Responsibilities / Information
Mayor Helps Councillor Alto Councillor Isitt Councillor Thornton-Joe	TBD for 2021-2022: Councillor Alto Councillor Isitt Councillor Potts	<ul style="list-style-type: none"> Made up of members of the Songhees and Esquimalt Nations, other urban Indigenous people, the Mayor and select City Council members.
Royal and McPherson Theatres Society		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Alto	Councillor Andrew	<ul style="list-style-type: none"> Society founded in 1977 for the purpose of operating the two theatres. Works to maintain, preserve and further develop the Royal Theatre and McPherson Playhouse by providing governance and management of the organizations' resources.
Acting Mayor		
2018 - 2022		Roles / Responsibilities / Information
Rotation based on Alphabetical order of Councillors 2021 January Councillor Loveday		<ul style="list-style-type: none"> Council must establish a schedule for the appointment of members to fill the office of acting mayor on a rotating basis;

Council (to follow COTW)

January 14, 2021

February	Councillor Potts	<ul style="list-style-type: none">Responsible for acting in the place of the mayor when the mayor is absent or otherwise unable to act, or the office of mayor is vacant;Has the same powers and duties as the mayor in relation of the applicable matter.
March	Councillor Thornton-Joe	
April	Councillor Young	
May	Councillor Alto	
June	Councillor Andrew	
July	Councillor Dubow	
August	Councillor Isitt	
September	Councillor Loveday	
October	Councillor Potts	
November	Councillor Thornton-Joe	
December	Councillor Young	
Councillor Neighbourhood Liaisons		
2018 – 2020	2021 - 2022	Roles / Responsibilities / Information
Councillor Potts	Councillor Alto	Burnside Gorge Community Association
Councillor Isitt	Councillor Isitt	Hillside / Quadra Neighbourhood Action Group (downtown Blanshard Advisory Committee)
Councillor Thornton-Joe	Councillor Young	Downtown Residents Association
Councillor Young	Councillor Isitt	Fairfield Gonzales Community Association
Councillor Dubow	Councillor Dubow	Fernwood Community Association
Councillor Alto	Councillor Andrew	James Bay Neighbourhood Association
Councillor Alto	Councillor Thornton-Joe	North Jubilee Neighbourhood Association
Councillor Dubow Councillor Alto as Co-Liaison	Councillor Potts	North Park Neighbourhood Association
Councillor Isitt	Councillor Loveday	Oakland Community Association
Councillor Young	Councillor Thornton-Joe	Rockland Neighbourhood Association
Councillor Alto	Councillor Thornton-Joe	South Jubilee Neighbourhood Association
Councillor Loveday	Councillor Dubow	Victoria West Community Association

Council (to follow COTW)

January 14, 2021

Amendment:

Moved By Mayor Helps

Seconded By Councillor Isitt

And that these appointments be made immediately.

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

E.1.b.cEmergency Social Services Grant - Meegan Community Care Tent

Councillor Isitt recused himself at 2:07 p.m. due to a non-pecuniary conflict of interest as he is a director of the Red Cedar Café which is being considered for the Emergency Social Services Grant.

Councillor Loveday recused himself at 2:07 p.m. due to non-pecuniary conflict of interest as his partner works for a foundation that is being considered for a grant in the Emergency Social Services Grant stream.

Councillor Dubow recused himself at 2:07 p.m. due to non-pecuniary conflict of interest as his roommate works for a foundation that is being considered for a grant in the Emergency Social Services Grant stream.

Moved By Councillor Andrew

Seconded By Councillor Alto

That Council allocate an Emergency Social Services Grant of \$6,500 for the “Meegan Community Care Tent” to the Red Cedar Café Society as the grant recipient and permit holder.

Direct staff to continue to seek options for a location for the Meegan Community Care Tent, excluding Avalon Street.

FOR (5): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (5 to 1)

Councillor Dubow rejoined the meeting at 2:09 pm.

Councillor Isitt rejoined the meeting at 2:09 pm.

Councillor Loveday rejoined the meeting at 2:09 pm.

Council (to follow COTW)

January 14, 2021

F. BYLAWS

F.1 Bylaw for 1224 Richardson Street: Rezoning Application No. 000705

Moved By Councillor Alto

Seconded By Councillor Potts

That the following bylaw be given **1st and 2nd readings:**

- Zoning Regulation Bylaw, Amendment Bylaw (No. 1244) No. 21-013

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (8 to 1)

Moved By Councillor Alto

Seconded By Councillor Potts

That the following bylaw be given **1st, 2nd, and 3rd readings:**

- Housing Agreement (1224 Richardson Street) Bylaw (2021) No. 21-014

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (8 to 1)

F.2 Bylaw for 956 Heywood Avenue: Development Permit with Variances Application No. 00126

Moved By Councillor Potts

Seconded By Councillor Thornton-Joe

That the following bylaw be given **1st, 2nd and 3rd readings:**

- Housing Agreement (956 Heywood Avenue) Bylaw (2021) No. 21-005

FOR (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, and Councillor Potts

OPPOSED (2): Councillor Thornton-Joe, and Councillor Young

CARRIED (7 to 2)

F.3 Bylaw for Council Remuneration Amendment Bylaw

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

That the following Bylaw be **Adopted**:

- Council Remuneration Amendment (No. 1) Bylaw No. 21-015

CARRIED UNANIMOUSLY

F.4 Bylaw for Temporary Borrowing, 2021

Moved By Councillor Young

Seconded By Councillor Potts

That the following Bylaw be **Adopted**:

- Temporary Borrowing Bylaw, 2021 No. 21-004

CARRIED UNANIMOUSLY

F.5 Bylaw for Park Dedication (1850 Leighton Road)

Moved By Councillor Alto

Seconded By Councillor Isitt

That the following Bylaw be **Adopted**:

- Park Dedication (1850 Leighton Road) Bylaw No. 21-009

CARRIED UNANIMOUSLY

G. NEW BUSINESS

G.1 2020 By-Election Results

The Chief Election Officer provided the report pursuant to *Section 158* of the *Local Government Act*.

Moved By Councillor Thornton-Joe

Seconded By Councillor Alto

That Council receive this report for information.

CARRIED UNANIMOUSLY

H. CLOSED MEETING

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

Council (to follow COTW)

January 14, 2021

MOTION TO CLOSE THE JANUARY 14, 2021 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

- *Section 90(1)(c) labour relations or other employee relations;*
- *Section 90(1)(k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;*

CARRIED UNANIMOUSLY

J. READING OF CLOSED MINUTES

J.1 Minutes from the Closed Committee of the Whole Meeting held November 12, 2020

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the minutes from the closed Committee of the Whole meeting held November 12, 2020 be adopted.

CARRIED UNANIMOUSLY

J.2 Minutes from the Closed Council Meeting held November 12, 2020

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the minutes from the Closed Council meeting held November 12, 2020 be adopted.

CARRIED UNANIMOUSLY

M. NEW BUSINESS

M. 1 Municipal Service – Community charter Section 90(1)(k)

Council discussed an item of Municipal Service.

The discussion and motion were recorded and kept confidential.

The recording secretary was excused at 2:39 p.m.

M.2 Employee Relations – Community Charter Section 90(1)(c)

Council discussed an item of Employee Relations.

Council (to follow COTW)

January 14, 2021

The discussion was kept confidential.

M.3 Employee Relations – Community Charter Section 90(1)(c)

Council discussed an item of Employee Relations.

The discussion was kept confidential.

G. ADJOURNMENT

Moved By Councillor Andrew

Seconded By Councillor Alto

That the Closed Council Meeting be adjourned at 3:10 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR

NO. 21-042

TAX EXEMPTION (727 YATES STREET) BYLAW**A BYLAW OF THE CITY OF VICTORIA**

The purpose of this Bylaw is to assist in the preservation and rehabilitation of the heritage building located at 727 Yates Street known as the “Hall Block”, including the seismic upgrading of the heritage building, by exempting a portion of the land from a portion of municipal property taxes for 10 years.

Contents

- 1 Title
- 2 Definitions
- 3 Tax exemption
- 4 Delegation of signing authority
- 5 Coming into force

Under its statutory powers, including section 225 of the *Community Charter*, the Council of the Corporation of the City of Victoria enacts the following provisions:

Title

- 1 This Bylaw may be cited as the “TAX EXEMPTION (727 YATES STREET) BYLAW”.

Definitions

- 2 In this Bylaw,

“Heritage Building”

means the heritage building on the Land commonly known as the “Hall Block”;

“Improvements”

means all of the Heritage Building’s improvements that exist at any time during the 10-year period that section 3 is in effect;

“Land”

means the land, including its Improvements, located at civic address 727 Yates Street in Victoria, British Columbia, and legally described as:

PID: 031-179-291

LOT 1 VICTORIA CITY PLAN EPP101059.

Tax exemption

- 3 (1) If the conditions of the tax exemption agreement #21-042 attached at Schedule “A” to this Bylaw are fulfilled, 9.08% of the assessed value of the Land is exempt from property taxes imposed under section 197(1)(a)

of the *Community Charter* for a period of 10 consecutive calendar years, beginning either:

- (a) in the calendar year following the year this Bylaw comes into force on or before October 31; or
- (b) in the second calendar year following the year this Bylaw comes into force after October 31.

Delegation of Signing Authority

- 4 The Director of Sustainable Planning and Community Development is authorized to execute the tax exemption agreement substantially in the form attached at Schedule "A" to this Bylaw.

Coming into force

- 5** This Bylaw comes into force on the later of the following dates:
- (a) the day the City issues an occupancy permit for the Improvements on the Land; and
 - (b) January 1, 2022.

READ A FIRST TIME the _____ day of _____.

READ A SECOND TIME the _____ day of _____.

READ A THIRD TIME the _____ day of _____.

ADOPTED by at least 2/3 of all members of the Council on the _____ day of _____.

CITY CLERK

MAYOR

Schedule "A"
Tax Exemption Agreement #21-042

It's Your Neighbourhood



1 Centennial Square, Victoria, BC V8W 1P6 | 250.361.0571

NOTICE OF PUBLIC HEARING FOR A PERMISSIVE TAX EXEMPTION FOR 727 YATES STREET

(Mail Out Date)

1. PERMISSIVE TAX EXEMPTION:

The City of Victoria advises that it is considering proposed changes to 727 Yates Street Street:

Under the provisions of the *Community Charter*, the City of Victoria intends to grant a permissive 10-year tax exemption for 9.08% of assessed value of 727 Yates Street (the "Hall Block"), having a legal description of PID: 031-179-291, LOT 1, VICTORIA, EPP101059. The tax exemption is for the purpose of assisting in the seismic upgrading of the heritage-designated building. The amount of the tax exemption corresponds to the assessed value of the remaining floor area inside conserved portions of the Hall Block after the property is redeveloped. The area in the Hall Block includes 1240 square feet of retail space on the ground floor and four one-bedroom residential units on levels two and three.

The exemption would apply if:

- (a) the Victoria Civic Heritage Trust verifies and advises the City that the upgrading of the property is complete and fully paid for by the owner, and is in accordance with the B.C. Building Code;
- (b) a covenant pursuant to section 219 of the *Land Title Act* identifying the tax exemption and the restrictions on the use of the building stated in paragraph (c) below has been registered at the Land Title Office.
- (c) all residential dwelling units above the ground floor of the building are used for residential purposes

The estimated amount of municipal property taxes that would be imposed on the exempt portions of the property if it were not exempt for the year in which Bylaw 21-042 takes effect and the following two years is approximately \$11,535.

This application will be considered at a public hearing by City Council on:

Date: Thursday, DATE, 2021

Time: 6:30 p.m.

Location: Council Chambers, Victoria City Hall, 1 Centennial Square, Victoria, BC

Due to the COVID-19 pandemic, public access to City Hall is not permitted. Meetings may be viewed on the City's live stream webcast at www.victoria.ca.

All persons who believe their interest in property is affected by the proposed application will be given a reasonable opportunity to be heard. You may indicate your support or opposition to an Opportunity for Public Comment item in one of the following ways:

1. Submit written comments to Council:

You can provide your submission by email to publichearings@victoria.ca or by mail to Legislative Services, #1 Centennial Square, Victoria, BC V8W 1P6 or drop your submission in the mail slot on the right side of the Pandora Avenue entrance to City Hall. The deadline to receive submissions is by **2:00 p.m. the date of the meeting**. Written submissions will be published on the agenda at the meeting of Council at which this application will be considered.

2. Pre-recorded Video

Pre-recorded video submissions up to 5 minutes in length can be submitted and will be played at the meeting. The video should include:

- The Opportunity for Public Comment item
- Your first and last name
- Your address
- Whether you are in support of or opposed to the item

For further instructions email publichearings@victoria.ca or phone 250.361.0571. **The deadline to receive videos submissions is by 2pm the Tuesday before the meeting.**

3. Register to Speak Live

You can register to speak live via phone for up to 5 minutes. Once registered, you will be provided with a phone number to call to join the live meeting. To register to speak live and to receive further instructions, email publichearings@victoria.ca or phone 250.361.0571. **The deadline to register to speak live at the meeting is 2pm the day before the meeting.**

If you miss pre-registering, please [watch the live meeting](#) as there will be an opportunity for you to call in at the end of the list of registered speakers.

Please note that the opinions you express orally and any presentations you submit will be webcast live and will be recorded to form a part of the public record. Correspondence you submit will form part of the public record and will be published on the agenda when this matter is before Council. The City considers your address relevant to this matter and will disclose this personal information, as it informs Council's consideration of your opinion in relation to the subject property and is authorized under section 26(c) of FOIPPA Act. Your phone number and email will not be disclosed. For more information on the FOIPPA Act please email foi@victoria.ca.

Any questions pertaining to this proposed heritage permissive tax exemption should be directed to John O'Reilly, Senior Heritage Planner, at 250.361.0484 or joreilly@victoria.ca.

Relevant documents, the proposed bylaw, and information about this application will be published and available for public inspection on the City of Victoria's website within the online Council agenda at <http://www.victoria.ca/EN/main/city/mayor-council-committees/council-committee-meetings.html> the Friday prior to the meeting.

For more information contact Legislative Services at publichearings@victoria.ca or phone 250-361-0571.

LAND USE PROCEDURES BYLAW, AMENDMENT BYLAW (NO. 13)

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the *Land Use Procedures Bylaw* to require applicants to post development application signs on the site to notify the public of input opportunities prior to the submission of a development application and to participate in a community meeting where the Community Association Land Use Committee elects to host a meeting by electronic participation in place of an in-person community meeting during the COVID-19 pandemic.

Contents

1. Title
2. Amendments
3. Effective Date

Under its statutory powers, including Part 14 of the *Local Government Act*, the Council of the Corporation of the City of Victoria in a public meeting assembled enacts the following provisions:

Title

1. This Bylaw may be cited as the “LAND USE PROCEDURES BYLAW, AMENDMENT BYLAW (NO. 13)”.

Amendments

2. The Land Use Procedures Bylaw No. 16-028, 2016 is amended:
 - (a) in section 6(b), by striking out “.” and replacing it with “; and”;
 - (b) by adding the following new subsection 6(c) immediately after subsection 6(b):

“(c) post signage in accordance with Schedule C-1 of this Bylaw.”
 - (c) by striking out section 8A(a) and replacing it with:

“(a) If a state of local or provincial emergency has been declared in the City and in-person participation in a Community Meeting is inconsistent with the declaration or impractical,

 - i. Council or the Director may require the applicant to submit plans for the proposed development to the City to post online for public comment to the applicable CALUC not less than 30 days and not more than six months in advance of the application submission date, and
 - ii. a CALUC may elect to host a Community Meeting by electronic participation and if it does so, the applicant or its authorized designate must participate in such Community Meeting not more than six months in advance of the application submission date and comply with sections 6(b) and (c).”

- (d) by inserting Schedule C-1 attached at Appendix 1 to this Bylaw immediately after Schedule C.

Effective Date

3. This Bylaw comes into force on adoption.

READ A FIRST TIME the **24th** day of **June** 2021

READ A SECOND TIME the **24th** day of **June** 2021

READ A THIRD TIME the **24th** day of **June** 2021

ADOPTED on the _____ day of _____ 2021

CITY CLERK

MAYOR

Appendix 1

Schedule C-1

PROCEDURES FOR SIGN POSTING – PRE-APPLICATION PUBLIC INPUT

1. The City shall determine the specifications, format, and content of the sign or signs, and provide the specifications to the applicant or the applicant's agent.
2. The applicant shall, at its sole expense:
 - (a) prepare the sign or signs in accordance with the specifications provided by the City;
 - (b) post the sign or signs on the subject property for 30 consecutive days and no longer than 35 days, with such period of time to be calculated starting from the same day the plans are posted online by the City for public input;
 - (c) post additional signs if required by the City;
 - (d) maintain the sign or signs on the subject property for the duration of the notice period under section 1.
3. The applicant shall post the sign or signs in a prominent location, clearly visible from the street, and on the site that is subject to the application. The City shall determine the required number and location of the sign or signs, taking into account the configuration of the site and visibility to the public.



The Corporation of the District of Saanich | Mayor's Office

770 Vernon Avenue Victoria BC V8X 2W7 | T 250-475-5510 | F 250-475-5440 | www.saanich.ca

Sent via email: pm@pm.gc.ca

July 2, 2021

The Right Honourable Justin P.J. Trudeau, P.C., M.P.
Prime Minister of Canada
Office of the Prime Minister
80 Wellington Street
Ottawa, ON K1A 0A2

Dear Prime Minister Trudeau,

Re: Residential Schools

On June 21, 2021, Saanich Council considered a notice of motion and resolved as follows:

“Whereas the recent discovery of the remains of 215 aboriginal children at the site of a former Residential School on the Tk'emlúps te Secwépemc First Nation territory has once again brought to light the dark past of the Residential School system; and

Whereas there may be other sites in this country where similar conditions exist; and

Whereas some First Nations, Métis groups, or Inuit Councils may be interested in pursuing further investigation of these sites; and

Whereas the Federal Government announced on June 9, 2021, a commitment to earmark \$27M specifically toward assisting Indigenous communities in locating and memorializing children who died at residential schools;

Therefore be it resolved that Council authorize the Mayor to write to the Prime Minister and other federal and provincial officials, as appropriate, to request that:

- The Federal Government commit to providing adequate resourcing to any First Nation, Métis governed organization, or Inuit Council in Canada which requests – by way of a Band Council Resolution or other appropriate communication from a legitimately representative body of the organization – a desire to investigate, with ground penetrating radar or by other means, the possibility that remains of Residential School residents may be interred on the grounds of those former schools or elsewhere within their traditional territories.
- And that this resourcing also include funds to scientifically ascertain the identities of any found remains.
- And that this resourcing also include funds to repatriate any found remains to their families, clans, or nations of origin.

And be it further resolved that the letter include a request that the government implement the 94 recommendations of the Truth and Reconciliation Commission.

And be it further resolved that a copy of this Resolution be forwarded to all member municipalities of the Union of British Columbia Municipalities, with a request for their support of this initiative.”

A link to the notice of motion dated June 14 can be found [here](#). The meeting minutes will soon be available on our [website](#).

Yours Sincerely,

A handwritten signature in blue ink, appearing to read 'F. Haynes', with a stylized flourish underneath.

Fred Haynes
Mayor

c: The Honourable Chrystia Freeland, Deputy Prime Minister and Minister of Finance
 The Honourable Carolyn Bennett, Minister of Crown-Indigenous Relations
 The Honourable Dominic LeBlanc, President of the Queen's Privy Council for Canada and Minister of Intergovernmental Affairs
 The Honourable Ahmed D. Hussen, Minister of Families, Children and Social Development
 The Honourable Steven Guilbeault, Minister of Canadian Heritage
 The Honourable Marc Miller, Minister of Indigenous Services
 The Honourable John Horgan, Premier of British Columbia
 The Honourable Mitzi Dean, Minister of Children and Family Development
 The Honourable Lisa Beare, Minister of Citizens' Services
 The Honourable Selina Robinson, Minister of Finance
 The Honourable Murray Rankin, Minister of Indigenous Relations and Reconciliation
 Saanich Council
 British Columbia Municipalities