

REVISED AGENDA - COMMITTEE OF THE WHOLE

Thursday, November 25, 2021, 9:00 A.M. COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

The City of Victoria is located on the homelands of the Songhees and Esquimalt People Meeting will recess for a lunch break between 12:30 p.m. and 1:30 p.m.

Pages

Α.	APPE	OF A	AGENDA

*B. CONSENT AGENDA

Proposals for the Consent Agenda:

- C.1 Minutes from the Special Committee of the Whole meeting held November 1, 2021
- C.2 Minutes from the meeting held November 18, 2021
- F.2. Authority for Broad Street and Gladstone Avenue Pedestrian Priority Treatments
- F.6. Request for Removal from the Taxed Boulevard Program
- F.7. Proclamation Wear Red Canada Day
- H.2. Council Member Motion Electronic and mail notification for liquor license applications

C. READING OF MINUTES

*C.1. Minutes from the Special Committee of the Whole meeting held November 1, 2021

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Addendum: New Item

*C.2. Minutes from the meeting held November 18, 2021

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Addendum: New Item

D. UNFINISHED BUSINESS

*D.1. Clarification of adopted minutes from the January 18, 2021 Special Committee of the Whole meeting

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Addendum: New Item

E. LAND USE MATTERS

*E.1.	1230 Grant Street, 1209, 1218, 1219, 1220 and 1226 North Park Street, 1219 Vining Street, 1235 Caledonia Avenue, and 1211 Gladstone Avenue: Victoria Housing Reserve Fund Application				
	Addendum: Presentation				
	A report regarding information, analysis, and recommendations for a Victoria Housing Reserve Fund (VHRF) application from the Capital Regional Housing Corporation (CRHC) seeking \$1,065,000 to support the redevelopment of an 8,660m2 parcel that would result in 158 new affordable rental units in the heart of Fernwood.				
STAF	FF REPORTS				
*F.1.	Inflow and Infiltration Mitigation on Private Properties	210			
	Addendum: Presentation				
	A report providing Council with options to mitigate inflow and infiltration to the sanitary sewer collection system from private property.				
F.2.	Authority for Broad Street and Gladstone Avenue Pedestrian Priority Treatments	227			
	A report seeking Council's approval to delegate additional powers to the Director of Engineering for the purpose of regulating the movement of traffic pursuant to Part 3 Section 124 (4) (a) and (b) of the Motor Vehicle Act.				
*F.3.	Proposed Robert Street Heritage Conservation Area and OCP Amendment	232			
	Addendum: Presentation				
	A report regarding information, analysis and recommendations regarding the designation of a portion of Robert Street as a Heritage Conservation Area (HCA) by amending the Official Community Plan, 2012.				
*F.4.	Request to Study a Portion of Lewis Street as a Potential Heritage Conservation Area	303			
	Addendum: Presentation				
	A report regarding preliminary information, analysis and recommendations regarding a citizen request to designate a portion of Lewis Street as a Heritage Conservation Area.				
*F.5.	Victoria Warming and Cooling Centre Plan	341			
	Addenda: Report and Attachment				
	A report regarding the roles and responsibilities of the Provincial Government and the City of Victoria with respect to reducing the impacts to vulnerable				

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	community members during periods of extreme weather.	
F.6.	Request for Removal from the Taxed Boulevard Program	358
	A report regarding a request for the removal of the east side of the 200 block of Beechwood Avenue between Ross Street and Lillian Road from the Taxed Boulevard Program.	
F.7.	Proclamation - Wear Red Canada Day	363
	A report regarding the proclamation for Wear Red Canada Day, February 13, 2022.	
*F.8.	Community Garden Licences of Occupation and Delegation Bylaw	366
	Addendum: New Item	
	A report regarding the renewal of licences of occupation for four community gardens and direction regarding an amendment to the delegation bylaw enabling the Director of Parks, Recreation and Facilities to approve future renewals of licence agreements for community gardens.	
NOTI	CE OF MOTIONS	
NEW	BUSINESS	
H.1.	Council Member Motion – Recovering costs associated with climate change	
	That Council direct staff to provide an update in a closed meeting on options for recovering costs associated with climate change.	
H.2.	Council Member Motion – Electronic and mail notification for liquor license applications	
	That Council direct staff to report back in the next quarterly triannual update on the implications of a bylaw amendment to provide for electronic as well as mail notification of liquor license applications to Community Associations.	
*H.3.	Council Member Motion - Clover Point	379

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A Council Member Motion regarding long term plans for Clover Point.

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Addendum: New Item



November 1, 2021, 9:00 A.M. COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE The City of Victoria is located on the homelands of the Songhees and Esquimalt People Meeting will recess for a lunch break between 12:30 p.m. and 1:30 p.m.

PRESENT: Mayor Helps in the Chair, Councillor Andrew, Councillor Isitt (9:05

a.m.), Councillor Loveday, Councillor Potts, Councillor Thornton-

Joe, Councillor Young

PRESENT

ELECTRONICALLY: Councillor Alto

PRESENT

ELECTRONICALLY FOR A PORTION OF

THE MEETING: Councillor Isitt

ABSENT: Councillor Dubow

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager /

Director of Finance, T. Zworski - City Solicitor, B. Eisenhauer -

Head of Engagement, A. Meyer - Assistant Director of Development Services, C. Havelka - Deputy City Clerk, J. O'Connor - Deputy Director of Finance, K. Moore - Head of Business and Community Relations, C. Mycroft - Manager of Executive Operations, M. Sandhu - Head of Service Innovation & Improvement, J. Paul - Assistant Director of Engineering, P.

Bellefontaine - Director of Engineering & Public Works, C. Kingsley - City Clerk, S. Stoltz - Committee Secretary, G Milne, D. Atkinson -

Acting Fire Chief, S. Rasmussen – Legal Secretary.

A. APPROVAL OF AGENDA

Moved By Councillor Andrew Seconded By Councillor Thornton-Joe

That the agenda be approved.

CARRIED UNANIMOUSLY

F. STAFF REPORTS

F.1 2022 Draft Financial Plan

F.1.1 Questions for Additional Resource Requests (Appendices A, B & C)
Motion (continued from Oct 26):

To direct staff to reassess all crossing locations in proximity to all public schools, not just all those historically served, to determine recommended locations for crossing guard services, guided by both a technical warrant system , and staff judgement and perspective of school communities and include the amount needed to fund these positions in the 2023 budget.

Councillor Isitt joined the meeting in person at 9:05 a.m.

Committee discussed:

Potential impacts of projects

On the amendment:

FOR (5): Mayor Helps, Councillor Isitt, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe OPPOSED (3): Councillor Alto, Councillor Andrew, Councillor Young

CARRIED (5 TO 3)

On the main motion as amended:

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Thornton-Joe Seconded By Councillor Alto

That Our Place Extended Hours and Storage of Belongings \$100,000 be included as a supplemental request to be considered by the public as part of the budget engagement process.

Amendment:

Moved By Councillor Isitt Seconded By Councillor Thornton-Joe

That Council request that the Provincial government provide adequate funding to Our Place for these proposed service levels.

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

Motion arising:

Moved By Mayor Helps

Seconded By Councillor Loveday

New Assessed Revenue Policy Update

That this item be sent to the budget follow up meetings in January.

CARRIED UNANIMOUSLY

Councillor Thornton-Joe recused herself at 9:20 a.m. due to a conflict of interest, as she serves on a board regarding the following item.

Motion arising:

Moved By Mayor Helps Seconded By Councillor Alto

That \$100,000 ongoing funding for the Aboriginal Coalition to End Homelessness be included as a supplemental request to be considered by the public as part of the budget engagement process.

CARRIED UNANIMOUSLY

Councillor Thornton-Joe returned to the meeting at 9:22 a.m.

Motion arising:

Moved By Councillor Isitt Seconded By Mayor Helps

That this matter be referred to the 2023 Financial Plan.

Amendment:

Moved By Mayor Helps Seconded By Councillor Loveday

That this matter be referred to the 2023 Financial Plan to the COTW meeting when the storm water management plan is presented to Council.

Amendment to the amendment:

Moved By Councillor Isitt Seconded By Councillor Loveday

That this matter be referred to the 2023 Financial Plan to the COTW meeting when the storm water management plan is presented to Council and the 2023 Financial Plan.

CARRIED UNANIMOUSLY

On the amendment:

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Loveday **Seconded By** Councillor Potts

That \$140,000 for the staff position for Homelessness be included as a supplemental request to be considered by the public as part of the budget engagement process.

FOR (5): Mayor Helps, Councillor Alto, Councillor Isitt, Councillor Loveday, Councillor Potts
OPPOSED (3): Councillor Andrew, Councillor Thornton-Joe, Councillor Young

CARRIED (5 to 3)

Motion arising:

Moved By Councillor Alto Seconded By Councillor Andrew

That \$50,000 for Kings Road Park be included as a supplemental request to be considered by the public as part of the budget engagement process.

FOR (3): Councillor Alto, Councillor Andrew, Councillor Isitt OPPOSED (5): Mayor Helps, Councillor Loveday, Councillor Potts Councillor Thornton-Joe, Councillor Young

DEFEATED (3 TO 5)

Motion arising:

Moved By Councillor Isitt Seconded By Councillor Andrew

That staff report back as part of the budget process on the current degree of accessibility of the two Topaz Park washrooms

CARRIED UNANIMOUSLY

F.1.2 Questions for Departments

Councillor Andrew left the meeting at 9:51 a.m. and returned at 9:52 a.m.

1. Engineering and Public Works

Moved By Councillor Isitt Seconded By Councillor Loveday

That Council direct staff to report back on the implications of installing a marked mid-block crosswalk in the 2600 block of Quadra street.

Amendment:

Moved By Mayor Helps Seconded By Councillor Young

That Council direct staff to report back as part of the 2023 budget process on the implications of installing a marked mid-block crosswalk in the 2600 block of Quadra street.

FOR (6): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Potts, Councillor Thornton-Joe, Councillor Young OPPOSED (2): Councillor Isitt, Councillor Loveday

CARRIED (6 TO 2)

Committee discussed:

Processes regarding community desires for crosswalks

On the main motion as amended:

That Council direct staff to report back as part of the 2023 budget process on the implications of installing a marked mid-block crosswalk in the 2600 block of Quadra street.

FOR (3): Councillor Isitt, Councillor Loveday, Councillor Potts
OPPOSED (5): Mayor Helps, Councillor Alto, Councillor Andrew,
Councillor Thornton-Joe, Councillor Young

DEFEATED (3 TO 5)

Committee discussed:

Plans regarding future sidewalks

Committee recessed at 10:52 a.m. and reconvened at 10:57 a.m.

Moved By Councillor Isitt Seconded By Councillor Loveday

That staff report back on the implications of expediting the planning and detail design of the Ross Bay sidewalk and triple A improvements.

Amendment:

Moved By Councillor Isitt
Seconded By Councillor Young

That staff report back on the implications of a pilot project in 2022 on the Ross Bay waterfront expediting the planning and detail design of the Ross Bay sidewalk and triple A improvements.

FOR (2): Councillor Isitt, Councillor Loveday
OPPOSED (6): Mayor Helps, Councillor Alto, Councillor Andrew,
Councillor Potts, Councillor Thornton-Joe, Councillor Young

DEFEATED (2 TO 6)

On the main motion:

FOR (3): Councillor Isitt, Councillor Loveday, Councillor Potts OPPOSED (5): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Thornton-Joe, Councillor Young

DEFEATED (3 TO 5)

Committee discussed:

An overview of street cleaning services

2. Sustainable Planning and Community Development

Committee recessed at 12:12 p.m. and reconvened at 12:13 p.m.

Committee discussed:

The CALUCS and plans for 2022

Committee recessed for lunch at 12:28 p.m. and reconvened at 1:31 p.m.

Councillor Isitt rejoined the meeting virtually.

3. Information Technology

Committee discussed:

- The potential to donate technology/hardware that is nearing the end
 of its life to organizations in need, and challenges regarding this idea
- The use of eScribe in Legislative Services, and how using a different meeting software is not ideal due to eScribe's Closed Captioning capabilities

4. Finance

There were no questions.

5. Corporate Initiatives

There were no questions.

6. Real Estate

Committee discussed:

- Rezoning, OCP, and design requirements regarding density, and what the City can do to potentially expedite projects
- The cost of construction, and maximizing equity to then put back into projects
- The number of City properties that are being maximized through leases and other use
- The potential for tax revenue from selling properties

7. Legislative Services

Committee discussed:

 Consultation and general costs regarding the upcoming 2022 Municipal Election

8. City Manager

There were no questions.

9. <u>Fire</u>

Committee discussed:

 Statistics regarding the number of calls responded to, and the cost of responding to calls

10. <u>Legal</u>

There were no questions.

11. Engagement

Committee discussed:

- The Connect newsletter and frequency of its publication
- Participatory budgeting and how it relates to equity, diversity, and inclusion

12. Business and Community Relations

Committee discussed:

- The Public Art and Creation budget
- The Songhees Park expansion

13. Parks, Recreation and Facilities

Committee discussed:

- Projected increases in recreation revenue for indoor and outdoor programs, and predictions for the eventual return to pre-pandemic levels in the use of recreation facilities
- Challenges regarding staffing issues in the Crystal Pool Centre and the promotion of current opportunities
- Upgrades to playgrounds and parks, including replacing equipment, and other improvement programs

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Andrew Seconded By Councillor Loveday

That the Committee of the Whole Meeting be adjourned at 4:01 p.m.

CARRIED UNANIMOUSLY

CITY CLERK		MAYOR	



MINUTES - COMMITTEE OF THE WHOLE

November 18, 2021, 9:00 A.M. COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Helps in the Chair (arrived at 9:30 a.m.), Councillor Alto,

Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor

Potts, Councillor Thornton-Joe, Councillor Young

PRESENT

Councillor Dubow (arrived at 9:34 a.m.)

STAFF PRESENT:

ELECTRONICALLY:

J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Chief Financial Officer, C. Kingsley - City Clerk, C. Havelka - Deputy City Clerk, T. Zworski - City Solicitor, D. Manak - Chief Constable, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, J. Jensen - Head of Human Resources, D. Atkinson - Acting Fire Chief, K. Hoese - Director of Sustainable Planning and Community Development, A. Hudson - Assistant Director of Community Planning, P. Bellefontaine - Director of Engineering & Public Works, L. Van Den Dolder - Assistant City Solicitor, J. O'Connor - Deputy Director of Finance, P. Rantucci - Head of Strategic Real Estate, C. Mycroft - Manager of Executive Operations, G. Milne - Manager of Strategic

Operations, L. Berndt - Manager, Energy and Climate Action, A. Johnston - Planner, M. Angrove - Planner, M. Thomaidis - Planning Assistant, M. Fedyczkowska - Legislation & Policy

Analyst, G. Diamond - Council Secretary

GUESTS D. Gibson, G. Harris, A. MacKinnon, P. McKinnon, M. Sawa.

A. APPROVAL OF AGENDA

Councillor Thornton-Joe in the Chair

Moved By Councillor Alto Seconded By Councillor Loveday

That the agenda be approved.

Amendment:

Moved By Councillor Thornton-Joe **Seconded By** Councillor Isitt

Consent Agenda:

- C.1. Minutes from the meeting held October 14, 2021
- C.2. Minutes from the meeting held October 21, 2021
- C.3. Minutes from the Special COTW meeting held October 25, 2021
- C.4. Minutes from the Special COTW meeting held October 26, 2021
- C.5. Minutes from the meeting held October 28, 2021
- I.1. Council Member Motion: City of Victoria to Host AVICC in 2022

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

B. CONSENT AGENDA

Moved By Councillor Alto Seconded By Councillor Potts

That the following items be approved without further debate

CARRIED UNANIMOUSLY

C.1 Minutes from the meeting held October 14, 2021

Moved By Councillor Alto Seconded By Councillor Potts

That the minutes from the COTW meeting held October 14, 2021 be adopted.

CARRIED UNANIMOUSLY

C.2 <u>Minutes from the meeting held October 21, 2021</u>

Moved By Councillor Alto Seconded By Councillor Potts

That the minutes from the COTW meeting held October 21, 2021 be adopted.

CARRIED UNANIMOUSLY

C.3 Minutes from the Special COTW meeting held October 25, 2021

Moved By Councillor Alto Seconded By Councillor Potts

That the minutes from the Special COTW meeting held October 25, 2021 be adopted.

CARRIED UNANIMOUSLY

C.4 Minutes from the Special COTW meeting held October 26, 2021

Moved By Councillor Alto Seconded By Councillor Potts

That the minutes from the Special COTW meeting held October 26, 2021 be adopted.

CARRIED UNANIMOUSLY

C.5 Minutes from the meeting held October 28, 2021

Moved By Councillor Alto Seconded By Councillor Potts

That the minutes from the COTW meeting held October 28, 2021 be adopted.

CARRIED UNANIMOUSLY

I.1 Council Member Motion: City of Victoria to Host AVICC in 2022

Committee received a Council Member Motion dated November 12, 2021 from the Mayor seeking Council's approval to host the Association of Vancouver Island and Coastal Communities (AVICC) AGM and Convention, March 31 – April 2, 2022 at the Victoria Conference Centre.

Moved By Councillor Alto Seconded By Councillor Potts

That Council approves the City as host of the Association of Vancouver Island and Coastal Communities (AVICC) conference in 2022 and approves an in-kind contribution of \$26,513 and a cash contribution of up to \$6500.

CARRIED UNANIMOUSLY

D. <u>Presentations</u>

D.1 VicPD Q3 Community Safety Report Card

Committee received a presentation from the Chief Constable of the Victoria Police Department regarding the 2021 Q3 Community Safety Report Card from VicPD.

The Mayor arrived at 9:30 a.m. and assumed the Chair.

Councillor Dubow arrived at 9:34 a.m.

Committee discussed the following:

- The multiple factors that led to the increase in calls for service during the pandemic
- The methods VicPD staff use in drafting media releases and the reasons for providing information to the public
- That the recruitment incentive is intended to recruit the best officers from across the country and interest has been very high

Moved By Councillor Isitt Seconded By Councillor Andrew

That Council receive the report for information.

CARRIED UNANIMOUSLY

Committee recessed at 10:06 a.m. and reconvened at 10:11 a.m.

D.2 <u>Greater Victoria Public Library 2022 Budget and Five-Year Financial Plan</u>

Committee received a report dated November 12, 2021 from the Chair of the Greater Victoria Public Library Board regarding the Greater Victoria Public Library's 2022 Operating Budget and Five-Year Financial Plan for 2022-2026.

Andy MacKinnon, Maureen Sawa, and Paul Mckinnon presented on behalf of the Greater Victoria Public Library Board.

Committee discussed the following:

- That the BC OneCard allows inter-library use across jurisdictions through a provincial grant
- Recruitment has proved difficult across the organization and some of the savings has been due to vacant positions
- The GVPL will continue pursuing a hybrid model with online service delivery along with traditional services
- The potential for a new third branch within the City of Victoria to allow more equitable access

Moved By Councillor Alto Seconded By Councillor Loveday

That Council receive the report for information.

CARRIED UNANIMOUSLY

E. <u>UNFINISHED BUSINESS</u>

E.1 <u>Letter from the Regional District of Mount Waddington</u>

Committee received a letter dated August 27, 2021 from the Regional District of Mount Waddington regarding a regional contribution to the Lytton Fire Relief efforts.

Motion:

Moved By Councillor Thornton-Joe **Seconded By** Mayor Helps

That this matter be postponed indefinitely.

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Young OPPOSED (1): Councillor Isitt

CARRIED (8 to 1)

Notice of Motion from Councillor Isitt for the November 25, 2021 COTW meeting:

That Council direct staff to provide an update in a closed meeting on options for recovering costs associated with climate change.

E.2 <u>Letter from the Minister of Mental Health and Addictions</u>

Committee received a letter dated October 6, 2021 from the Minister of Mental Health and Addictions in response to a letter from the Mayor regarding the use of police resources for individuals apprehended under the Mental Health Act.

Moved By Councillor Alto Seconded By Councillor Potts

That Council receive the correspondence for information.

Motion to postpone:

Moved By Councillor Andrew Seconded By Councillor Loveday

That this item be postponed until later when G. Milne is available to provide further information.

CARRIED UNANIMOUSLY

E.3 <u>Council Member Motion: Partnership to Animate the Public Realm Downtown</u>

Committee received a Council Member Motion dated October 28, 2021 from Councillor Isitt regarding an invitation from the Quebec cultural organization Quartier des Spectacles Partnership for the City of Victoria to partner on the design and implementation of a cultural installation / participatory digital art piece in Downtown Victoria.

Motion to postpone:

Moved By Councillor Loveday **Seconded By** Councillor Andrew

That this item be postponed indefinitely

FOR (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe OPPOSED (2): Councillor Isitt, Councillor Young

CARRIED (7 to 2)

F. LAND USE MATTERS

F.1 1475 Fort Street: Update on Development Permit with Variances Application No. 00120 (Rockland)

Committee received a report dated November 4, 2021 from the Director of Sustainable Planning and Community Development regarding a Development Permit with Variances Application for the property located at 1475 Fort Street.

Committee discussed the following:

That some changes to the building envelope have changed but the setbacks remain the same

Moved By Councillor Loveday Seconded By Councillor Andrew

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00120 for 1475 Fort Street in accordance with:

- 1. Plans date stamped August 5, 2021
- 2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the vehicle parking from 45 stalls to 22 stalls;
 - ii. reduce the visitor parking from 3 stalls to 2 stalls;
 - iii. increase the building height from 12 metres to 12.92 metres;
 - iv. reduce the front setback from 10.5 metres to 1.80 metres (entrance canopy) and 3.53 metres (building);
 - v. reduce the rear setback from 6.46 metres to 3.96 metres:
 - vi. reduce the east side yard setback from 6.46 metres to **3.29 metres** (balconies and entrance canopy) and 4.93 metres (building);
 - vii. reduce the west side yard setback from 6.46 metres to 3.86 metres (balconies) and 5.75 metres (building):
 - viii. increase the site coverage from 40 percent to 47.60 percent;
 - ix. allow for an accessory structure to be located in the front yard rather than the rear yard.
- 3. Final plans generally in accordance with the plans date stamped **August 5**, **2021** with the following revision:

- i. changes to the panhandle driveway to comply with the *Highway Access Bylaw* and *BC Building Code* requirements, to the satisfaction of the Director of Engineering and Public Works.
- 4. Execution of a housing agreement securing in perpetuity a minimum of four one-bedroom dwelling units within the building as affordable rental housing units for people with low to median incomes with a monthly starting rent level of no more than \$875, to the satisfaction of the Director of Sustainable Planning and Community Development.
- 5. The Development Permit lapsing two years from the date of this resolution."

Amendment to add part 2:

Moved By Councillor Isitt Seconded By Councillor Loveday

That Council direct staff to provide clarification at the December 2 daytime Council meeting on the current tenancy of the building proposed for replacement and that this motion be considered at the daytime Council meeting of November 18, 2021.

CARRIED UNANIMOUSLY

On the part 1:

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00120 for 1475 Fort Street in accordance with:

- 1. Plans date stamped August 5, 2021
- 2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the vehicle parking from 45 stalls to 22 stalls;
 - ii. reduce the visitor parking from 3 stalls to 2 stalls;
 - iii. increase the building height from 12 metres to 12.92 metres;
 - iv. reduce the front setback from 10.5 metres to 1.80 metres (entrance canopy) and 3.53 metres (building);
 - v. reduce the rear setback from 6.46 metres to 3.96 metres;
 - vi. reduce the east side yard setback from 6.46 metres to **3.29 metres** (balconies and entrance canopy) and 4.93 metres (building);
 - vii. reduce the west side yard setback from 6.46 metres to 3.86 metres (balconies) and 5.75 metres (building);
 - viii. increase the site coverage from 40 percent to **47.60 percent**;
 - ix. allow for an accessory structure to be located in the front yard rather than the rear yard.
- 3. Final plans generally in accordance with the plans date stamped **August 5**, **2021** with the following revision:
 - i. changes to the panhandle driveway to comply with the *Highway Access Bylaw* and *BC Building Code* requirements, to the satisfaction of the Director of Engineering and Public Works.
- 4. Execution of a housing agreement securing in perpetuity a minimum of four one-bedroom dwelling units within the building as affordable rental

housing units for people with low to median incomes with a monthly starting rent level of no more than \$875, to the satisfaction of the Director of Sustainable Planning and Community Development.

5. The Development Permit lapsing two years from the date of this resolution."

FOR (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts
OPPOSED (2): Councillor Thornton-Joe, Councillor Young

CARRIED (7 to 2)

On the part 2:

That Council direct staff to provide clarification at the December 2 daytime Council meeting on the current tenancy of the building proposed for replacement and that this motion be considered at the daytime Council meeting of November 18, 2021.

CARRIED UNANIMOUSLY

F.2 <u>1905 Lee Avenue: Rezoning Application No.00710 and Development Permit</u> with Variances Application No. 000563 (South Jubilee)

Committee received reports dated November 5, 2021 from the Director of Sustainable Planning and Community Development regarding a proposal to rezone and subdivide the property to create two small lots, retain the existing dwelling on one lot and construct a new single-family dwelling on the new lot.

Motion:

Moved By Councillor Thornton-Joe Seconded By Councillor Loveday

That the application be referred back to staff to work with the applicant to try to meet the small lot house rezoning policy guidelines as well as Development Permit Option 1 motion:

Alternate Motion

<u>Development Permit with Variances Application No. 000563 for 1905 Lee</u> Avenue

That the applicant works with staff to revise the design and provide more information and return to Committee of the Whole:

- 1. Provide a shadow study for the proposed house in context with neighbouring properties.
- 2. Revisions to the plans to address the following, to the satisfaction of the Director of Sustainable Planning and Community Development:

Proposed new house:

- i. Step back the second storey on the north elevation
- ii. Reduce potential privacy impacts from bedroom windows

- iii. Provide landscaping around the above grade deck
- iv. Identify materials of pathway to house
- v. Show basement window wells on plans, and revise landscape plan to reflect this change
- vi. Make the entry more prominent by having an overhang
- vii. Show the proposed location of the utility pole, and that the pole relocation has been approved. Proposed location must comply with the Highway Access Bylaw and not impact existing trees or impede future planting of boulevard trees.

Existing House

- i. Provide a usable outdoor space for the existing house
 - 3. Once design revisions are made, discuss plans and re-petition immediate neighbours as per the Small Lot Policy.

Amendment:

Moved By Councillor Alto Seconded By Councillor Thornton-Joe

That the application be referred back to staff to work with the applicant to try to meet the small lot house rezoning policy guidelines as well as Development Permit Option 1 motion:

FOR (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe

OPPOSED (2): Councillor Isitt, Councillor Young

CARRIED (7 to 2)

On the main motion as amended:

That the application be referred back to staff to work with the applicant to try to meet the Development Permit Option 1 motion:

<u>Development Permit with Variances Application No. 000563 for 1905 Lee</u> Avenue

That the applicant works with staff to revise the design and provide more information and return to Committee of the Whole:

- 1. Provide a shadow study for the proposed house in context with neighbouring properties.
- 2. Revisions to the plans to address the following, to the satisfaction of the Director of Sustainable Planning and Community Development:

Proposed new house:

- i. Step back the second storey on the north elevation
- ii. Reduce potential privacy impacts from bedroom windows
- iii. Provide landscaping around the above grade deck
- iv. Identify materials of pathway to house
- v. Show basement window wells on plans, and revise landscape plan to reflect this change

- vi. Make the entry more prominent by having an overhang
- vii. Show the proposed location of the utility pole, and that the pole relocation has been approved. Proposed location must comply with the Highway Access Bylaw and not impact existing trees or impede future planting of boulevard trees.

Existing House

- i. Provide a usable outdoor space for the existing house
- 3. Once design revisions are made, discuss plans and re-petition immediate neighbours as per the Small Lot Policy.

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (8 to 1)

Committee recessed at 11:48 a.m. and reconvened at 11:52 a.m.

F.3 <u>715 Yates Street: Application for a New Liquor Primary Licence for Haunted Manor Mini-Golf & Ping Pong (Downtown)</u>

Committee received a report dated September 22, 2021 from the Director of Sustainable Planning and Community Development regarding an application by Haunted Manor Mini-Golf & Ping Pong for a Liquor Primary licence at 715 Yates Street.

Committee discussed the following:

• That this will allow more diversity in experiences for everyone downtown

Moved By Councillor Thornton-Joe **Seconded By** Councillor Loveday

That Council direct staff to provide the following response to the Liquor and Cannabis Regulation Branch:

 That Council, after conducting a review with respect to noise and community impacts, does support the application of Haunted Manor Mini-Golf & Ping Pong located at 715 Yates Street for a new liquor primary licence having hours of operation from 11am to 11pm daily with a total occupant load of 50 people.

The following comments are provided regarding the prescribed considerations:

- a. The impact of noise on the community near the establishment was considered in relation to the request, and the proposed hours, occupant load, and location are compatible with the area. Approval of the licence is not expected to result in unacceptable levels of noise.
- b. If the application is approved, it is anticipated to have a positive economic impact on the community as the approval supports the viability of the business as a local employer.
- c. The views of residents were solicited through a mailout to neighbouring property owners and occupiers within 100 metres of the licensed location

and a notice posted at the property. In response to the notification that went to 983 owners and occupants, the City received two letters in response to the notification. One letter was supportive of the application and was from the Downtown Residents Association and the other letter was opposed to the application.

d. Council recommends to the Province that the liquor primary licence be approved as proposed.

CARRIED UNANIMOUSLY

G. STAFF REPORTS

G.1 <u>Greater Victoria Rent Bank and Housing Security Program Request for Funding</u>

Committee received a report dated November 4, 2021 from the Director of Sustainable Planning and Community Development regarding a summary of the Greater Victoria Housing Security and Rent Bank Project to date and introduce the CSPC 2022 funding request, to be considered for approval during the 2022 Financial Plan process.

Committee discussed the following:

- That other municipalities have indicated they will be providing funding
- That the higher proportion of grant requests from Victoria reflects the higher proportion of renters compared to neighbouring municipalities

Moved By Councillor Alto Seconded By Councillor Potts

That Council:

- 1. Receive the following from the Community Social Planning Council:
 - a. funding request letter for the Greater Victoria Housing Security and Rent Bank program for 2022,
 - b. summary bulletin of the Greater Victoria Housing Security and Rent Bank 2021 pilot program.
- 2. Consider approving the requested \$110,000 for the Greater Victoria Housing Security and Rent Bank Program as part of the 2022 Financial Plan process.

CARRIED UNANIMOUSLY

G.2 <u>568 Yates Street: Recommendation for Jima Cannabis (Downtown)</u>

Committee received a report dated November 2, 2021 from the City Clerk regarding an application by Jima Cannabis at 568 Yates Street to obtain a provincial cannabis retail store license.

Committee recessed at 12:30 p.m. and reconvened at 1:30 p.m.

Councillor Andrew was not present when the meeting reconvened.

Committee moved to item G.3. as Planning staff was not present.

Councillor Andrew returned to the meeting at 1:38 p.m.

Committee discussed the following:

- The City followed the same process as previous applications
- That the DRA was sent a letter at the end of August

Moved By Councillor Loveday Seconded By Councillor Potts

1. That Council direct staff to advise the Liquor and Cannabis Regulation Branch (LCRB):

The Council of the City of Victoria supports the application of Jima Cannabis at 568 Yates Street to receive a provincial cannabis retail store license with the following comments:

- a. The Council recommends that the Liquor and Cannabis Regulation Branch issue a license to Jima Cannabis at 568 Yates Street.
- b. Bylaw and Licensing Services, the Victoria Police Department, and Sustainable Planning and Community Development did not raise any concerns about this referral in terms of community impacts.
- c. Residents' views were solicited through a mail-out to property owners and occupiers within 100 meters of this address and to the relevant neighbourhood association.

The City sent 887 notices and received no responses. The City did not receive correspondence from the Downtown Residents Association.

2. That Council direct staff to advise the LCRB of Council's recommendation subject to the applicant's compliance with applicable City bylaws and permits.

FOR (7): Mayor Helps, Councillor Andrew, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Young

OPPOSED (2): Councillor Alto, Councillor Isitt

CARRIED (7 to 2)

Notice of Motion from Councillor Isitt for the November 25, 2021 COTW meeting:

That Council direct staff to report back in the next quarterly/triannual update on the implications of a bylaw amendment to provide for electronic as well as mail notification of liquor license applications to Community Associations

G.3 2022 Strategic Plan Grants

Committee received a report dated October 18, 2021 from the Deputy Director of Finance regarding a follow up on Council motions related to the External Grant Review Committee's report on Strategic Plan Grant applications allocations which was presented to Council on June 10, 2021.

Motion:

Moved By Councillor Alto

That when the committee is considering applications under this heading also consider specific application for the four sub categories.

Failed to proceed due to no seconder

Moved By Councillor Isitt Seconded By Councillor Alto

That Council receive this report for information.

CARRIED UNANIMOUSLY

G.4 <u>Proposed Capital Regional District Climate Action and Adaptation Service</u> Establishment Bylaw Amendment Bylaw No. 4468

Committee received a report dated November 1, 2021 from the City Clerk regarding an amendment bylaw for the CRD Climate Action and Adaptation Service Establishment Bylaw.

Committee discussed the following:

 That the CRD relies on modelling from Environment Canada and the National Research Council to determine how it builds infrastructure

Motion to extend:

Moved By Councillor Loveday **Seconded By** Councillor Alto

That the meeting be extended until 3:00 p.m.

CARRIED UNANIMOUSLY

Moved By Councillor Loveday **Seconded By** Mayor Helps

That Council:

- Consent to the adoption of Capital Regional District Bylaw 4468, "Capital Regional District Climate Action and Adaptation Service Establishment Bylaw, 2008, Amendment Bylaw No. 2, 2021."
- 2. Forward this motion to the daytime Council meeting of November 18, 2021

CARRIED UNANIMOUSLY

I. NEW BUSINESS

1.2 Council Member Motion: Motion on Closing Museum Galleries

Committee received a Council Member Motion dated November 15, 2021 from Councillor Young and Councillor Andrew requesting that the Mayor write on behalf of council to the Provincial government and to Royal BC Museum board members to request galleries of the museum intended for redevelopment remain open to the public until consultation is completed.

Committee discussed the following:

- That certain groups are severely underrepresented in the current exhibitions
- The popularity of the exhibit and the memories locals have of it

Moved By Councillor Young Seconded By Councillor Andrew

That the mayor write on behalf of council to the Provincial government and to Royal BC Museum board members to request galleries of the museum intended for redevelopment remain open to the public until consultation is completed, themes for the replacement exhibits are determined, and detailed design is complete.

FOR (7): Councillor Andrew, Councillor Young

OPPOSED (2): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe

DEFEATED (2 to 7)

E.2 Letter from the Minister of Mental Health and Addictions

Motion to lift from the table:

Moved By Councillor Andrew Seconded By Councillor Alto

CARRIED UNANIMOUSLY

Committee discussed the following:

- The allocation of responsibility when an individual is released
- That the function of maintaining order and administering healthcare needs to be separate

Motion to postpone:

Moved By Councillor Isitt Seconded By Councillor Dubow That the motion to receive be postponed until other motions are considered.

CARRIED UNANIMOUSLY

Motion arising:

Moved By Councillor Andrew Seconded By Councillor Young

That the City of Victoria invoice Island Health for all and any hours that VicPD spend with patients seized under the Mental Health Act at Island Health facilities.

Amendment:

Moved By Councillor Isitt
Seconded By Councillor Young

Council requests that VicPD begins to record That the City of Victoria invoice Island Health for all and any hours and costs that VicPD spend with patients apprehended seized-under the Mental Health Act at Island Health facilities and provide these cost estimates to Council in the next quarterly/triannual report to Council.

CARRIED UNANIMOUSLY

Motion to extend:

Moved By Councillor Isitt Seconded By Councillor Loveday

That the meeting be extended until 3:15 p.m.

CARRIED UNANIMOUSLY

On the main motion as amended:

Council requests that VicPD begins to record all and any hours and costs that VicPD spend with patients apprehended under the Mental Health Act at Island Health facilities and provide these cost estimates to Council in the next quarterly/triannual report to Council.

CARRIED UNANIMOUSLY

Motion to lift the motion to receive from the table:

Moved By Councillor Alto Seconded By Councillor Loveday

That Council receive the correspondence for information.

FOR (8): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Young OPPOSED (1): Councillor Andrew

CARRIED (8 to 1)

J. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Loveday **Seconded By** Councillor Alto

That the Committee of the Whole Meeting be adjourned at 3:07 p.m.

CARRIED UNANIMOUSLY

CITY CLERK		MAYOR	



MINUTES - SPECIAL COMMITTEE OF THE WHOLE

January 18, 2021, 9:00 A.M. COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Andrew,

Councillor Thornton-Joe, Councillor Young

PRESENT Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor

ELECTRONICALLY: Potts

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager /

Director of Finance, C. Coates - City Clerk, P. Bruce - Fire Chief,

T. Zworski - City Solicitor, T. Soulliere - Director of Parks,

Recreation & Facilities, B. Eisenhauer - Head of Engagement, J. Jensen - Head of Human Resources, K. Hoese - Director of Sustainable Planning and Community Development, C. Havelka - Deputy City Clerk, J. O'Connor - Deputy Director of Finance, K. Moore - Head of Business and Community Relations, C. Mycroft - Manager of Executive Operations, M. Sandhu - Head of Service

Innovation & Improvement, J. Paul - Assistant Director of

Engineering, P. Bellefontaine - Director of Engineering & Public Works, A. Mahimwalla – Arts, Culture & Events Liaison, J. Ho – Community Energy Specialist, D. Lee – Manager Public Works Administration, G. Pemberton – Neighbourhood Liaison, L. Berndt – Manager Energy and Climate Action, D. Newman – Assistant Director of Facilities and Construction Management, N. Sutic-Bata

- Manager of Underground Utilities, M. Heiser - Committee

Secretary

A. APPROVAL OF AGENDA

Moved By Councillor Alto Seconded By Councillor Thornton-Joe

That the agenda be approved.

CARRIED UNANIMOUSLY

F. STAFF REPORTS

Mayor Helps delivered an overview of the day's proceedings.

Councillor Andrew joined the meeting at 9:06 am.

F.1 2021 Draft Financial Plan

F.1.1 Draft 2021 Financial Plan – Public Input Summary

Committee received a report dated January 15, 2021 from the Head of Engagement regarding public feedback and correspondence received during the consultation period for the 2021 Draft Financial Plan.

Moved By Mayor Helps **Seconded By** Councillor Thornton-Joe

That Council receive this report for information.

Committee discussed the following:

- Budgetary concerns as it relates to residents' age
- Weightings of responses demonstrated in the survey
- Representation of different priorities
- Separation of results for renters and non-renters
- Identification of residents' neighbourhoods

On the main motion:

CARRIED UNANIMOUSLY

F.1.2 2021-2025 Draft Financial Plan - Remaining Recommendations

Committee received a report dated January 7, 2021 from the Deputy City Manager and Chief Financial Officer regarding the remaining recommendations from the 2021-2025 Draft Financial Plan.

Moved By Councillor Isitt
Seconded By Councillor Loveday

- 1. That Council direct staff to reallocate \$10,000 in the 2021 Financial Plan from the Council Meeting Catering line item to the Housing Reserve Fund, in recognition of increased reliance on remote meetings and heightened economic hardship arising from the Covid-19 pandemic.
- 2. That this reallocation of funds be implemented with immediate effect.

Amendment:

Moved By Councillor Alto Seconded By Councillor Andrew

 That Council direct staff to reallocate \$10,000 in the 2021 Financial Plan from the Council Meeting Catering line item to the Housing Reserve Fund, in recognition of increased reliance on remote meetings and heightened economic hardship arising from the Covid-19 pandemic. 2. That this reallocation of funds be implemented with immediate effect and direct staff to remove from the 2022 budget the catering line item.

Amendment to the amendment:

Moved By Councillor Loveday Seconded By Councillor Isitt

- That Council direct staff to reallocate \$10,000 in the 2021 Financial Plan from the Council Meeting Catering line item to the Housing Reserve Fund, in recognition of increased reliance on remote meetings and heightened economic hardship arising from the Covid-19 pandemic.
- 2. That this reallocation of funds be implemented with immediate effect.

 and direct staff to remove from the 2022 budget the catering line item.
- 3. <u>reallocate the \$10,000 from the catering line item to the housing reserve fund on an ongoing basis.</u>

CARRIED UNANIMOUSLY

On the amendment: CARRIED UNANIMOUSLY

On the main motion as amended:

- That Council direct staff to reallocate \$10,000 in the 2021 Financial Plan from the Council Meeting Catering line item to the Housing Reserve Fund, in recognition of increased reliance on remote meetings and heightened economic hardship arising from the Covid-19 pandemic.
- 2. That this reallocation of funds be implemented with immediate effect.
- 3. Reallocate the \$10,000 from the catering line item to the housing reserve fund on an ongoing basis.

CARRIED UNANIMOUSLY

The Mayor requested Committee to identify any specific line items on the budget that they may want to adjust.

2021-2022 Budget for Mile Zero

Moved By Councillor Potts
Seconded By Councillor Andrew

That Council defer \$275,000 for the orphaned land at Mile Zero to the 2022 budget.

Committee discussed the following:

• Unspent funds in the reserve

- Work done to advance this project
- Improved pedestrian experience

FOR (5): Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Potts, Councillor Thornton-Joe

OPPOSED (4): Mayor Helps, Councillor Isitt, Councillor Loveday, Councillor Young CARRIED (5 to 4)

Committee recessed at 10:51 a.m. and reconvened at 10:59 a.m.

2021 VicPD Budget Funding

Moved By Councillor Isitt Seconded By Councillor Dubow

That Council not approve the salary line item in the VicPD Budget and request that the Police Board send a revised amount to Council that results in no net increase in the VicPD Budget in 2021.

Committee discussed the following:

- Quarterly updates from the Chief
- Involvement with the Police Board

Amendment:

Moved By Councillor Isitt Seconded By Councillor Dubow

That Council not approve \$747,000 of the salary line item in the VicPD Budget and request that the Police Board send a revised amount to Council that results in no net increase in the VicPD Budget in 2021.

CARRIED UNANIMOUSLY

Motion to go into a closed Committee of the Whole meeting at 11:38 a.m.

Moved By Councillor Loveday **Seconded By** Councillor Potts

MOTION TO CLOSE THE JANUARY 18, 2021 SPECIAL COMMITTEE OF THE WHOLE MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the Community Charter for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the Community Charter, namely:

Section 90(2) A part of a council meeting may be closed to the public if the subject matter being considered relates to one or more of the following:

 Section 90(2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial

- government or the federal government or both, or between a provincial government or the federal government or both and a third party;
- Section 90(2)(d) a matter that, under another enactment, is such that the public must be excluded from the meeting.

CARRIED UNANIMOUSLY

The open Committee of the Whole meeting reconvened at 11:50 a.m.

Councillor Loveday proposed an amendment; however, Mayor Helps ruled that the amendment was not germane to the main motion. Councillor Loveday appealed the decision and the question as to whether the Mayor was to be sustained was put to a vote:

FOR (5): Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Thornton-Joe, and Councillor Young
OPPOSED (3): Councillor Alto, Councillor Loveday, Councillor Potts

CARRIED (5 to 3)

The Chair's ruling was sustained.

On the main motion as amended:

That Council not approve \$747,000 of the salary line item in the VicPD Budget and request that the Police Board send a revised amount to Council that results in no net increase in the VicPD Budget in 2021.

FOR (4): Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts
OPPOSED (5): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Thornton-Joe, and Councillor Young

DEFEATED (4 to 5)

Moved By Councillor Loveday **Seconded By** Councillor Isitt

That Council request the Victoria Esquimalt Police Board report back with any budgetary savings due to reduced nightlife, lack of special events, and limited protest activity;

And that Council request the Victoria Esquimalt Police Board apply similar budget mitigation measures as the City of Victoria and report back to Council with budget savings found.

FOR (6): Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Young OPPOSED (3): Mayor Helps, Councillor Andrew, Councillor Thornton-Joe

CARRIED (6 to 3)

Legal Services

Moved By Councillor Alto Seconded By Councillor Young

That Council approve allocating additional new property tax revenue from new development as follows:

a. additional Legal Services resources of \$183,410

CARRIED UNANIMOUSLY

Youth Strategy

Moved By Councillor Andrew Seconded By Councillor Alto

That Council approve a one-time allocation of \$30,000 to continue the implementation of the Youth Strategy with funding from the one-time envelope as outlined in this report.

CARRIED UNANIMOUSLY

Mayor Helps requested Committee to deliberate whether there are any budget items they wish to add.

Create Victoria

Moved By Councillor Loveday Seconded By Councillor Alto

That Council fund the Create Victoria - Cultural Spaces Road Map \$25,000 and Create Victoria - Cultural Infrastructure Grant Program \$100,000 from the one-time envelope.

CARRIED UNANIMOUSLY

Banfield Park Swimming Dock - Study and Implementation

Moved By Councillor Isitt Seconded By Councillor Loveday

That Council allocate \$95,000 from a portion of \$3 million capital reallocation for the Banfield Park Swimming Dock - Study and Implementation.

Committee recessed at 12:33 p.m. and reconvened at 1:15 p.m.

On the motion:

CARRIED UNANIMOUSLY

Reconciliation Dialogues and Indigenous Relations Function - Options Development

Moved By Councillor Alto Seconded By Mayor Helps

That Council

- 1. fund \$40,000 from one-time funding for the Reconciliation Dialogues
- 2. fund \$37,500 from Corporate Consulting, for the Indigenous Relations Function Options Development

Amendment:

Moved By Councillor Alto Seconded By Mayor Helps

That Council

- 1. fund **up to** \$40,000 from one-time funding for the Reconciliation Dialogues
- 2. fund \$37,500 from Corporate Consulting, for the Indigenous Relations Function Options Development

CARRIED UNANIMOUSLY

Councillor Young requested that the numbered items within the motion be voted on separately.

That Council

 fund up to \$40,000 from one-time funding for the Reconciliation Dialogues

CARRIED UNANIMOUSLY

2. fund \$37,500 from Corporate Consulting, for the Indigenous Relations Function - Options Development.

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe OPPOSED (1): Councillor Young

CARRIED (8 to 1)

Vic West Skate Park Lighting

Moved By Councillor Potts Seconded By Councillor Dubow

That Council fund the Vic West Skate Park Lighting.

Committee discussed the following:

- Prominent use of the facility by city-wide residents
- Ensuring residents have the opportunity to recreate in unprecedented times.

Amendment:

Moved By Mayor Helps Seconded By Councillor Andrew

That Council fund the **preliminary planning work for** the Vic West Skate Park Lighting **at some point in 2021 and that the capital project be deliberated in 2022.**

FOR (6): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Thornton-Joe, Councillor Young OPPOSED (3): Councillor Isitt, Councillor Loveday, Councillor Potts

CARRIED (6 to 3)

Amendment:

Moved By Mayor Helps Seconded By Councillor Andrew

That Council fund the preliminary work for the Vic West Skate Park Lighting at some point in 2021 and that the capital project be delivered in 2022.

That Council fund up to \$85,000 from the \$3 million unallocated capital to undertake this preliminary work.

CARRIED UNANIMOUSLY

Main motion as amended:

That Council fund the preliminary work for the Vic West Skate Park Lighting at some point in 2021 and that the capital project be delivered in 2022.

That Council fund up to \$85,000 from the \$3 million unallocated capital to undertake this preliminary work.

CARRIED UNANIMOUSLY

International decade for people of African Descent

Moved By Councillor Dubow Seconded By Councillor Isitt

That Council fund up to \$25,000 from one-time funding and \$75,000 from corporate funding for the International decade for people of African Descent.

Amendment:

Moved By Mayor Helps Seconded By Councillor Dubow

That Council fund up to \$25,000 from one-time funding the Council strategic grant funding and fund \$75,000 from corporate funding for the International decade for people of African Descent.

FOR (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Thornton-Joe, Councillor Young OPPOSED (2): Councillor Dubow, Councillor Potts

CARRIED (7 to 2)

Amendment:

Moved By Councillor Dubow Seconded By Mayor Helps

That Council fund up to \$25,000 from the Council strategic grant funding to support leadership opportunities for children and youth of African descent and the grant program to be developed in consultation with the IDPAD advisory committee once it has been formed and fund \$75,000 from corporate consulting for the International decade for people of African Descent.

Councillor Thornton-Joe withdrew from the meeting at 2:41 p.m.

On the amendment:

FOR (7): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, Councillor Young OPPOSED (1): Councillor Andrew

CARRIED (7 to 1)

Councillor Thornton-Joe returned to the meeting at 2:46 p.m.

On the main motion as amended:

That Council fund up to \$25,000 from the Council strategic grant funding to support leadership opportunities for children and youth of African descent and the grant program to be developed in consultation with the IDPAD advisory committee once it has been formed and fund \$75,000 from corporate consulting for the International decade for people of African Descent.

CARRIED UNANIMOUSLY

Extended Hours for Our Place

Moved By Councillor Thornton-Joe **Seconded By** Councillor Alto

That Council fund the Extended Hours for Our Place for \$50,000 and Our Place - Storage of belongings, for \$50,000 from one-time.

Motion to postpone:

Moved By Councillor Isitt
Seconded By Councillor Young

That consideration of this matter be postponed until the January 25 special COTW meeting and that staff be directed to inquire with the Our Place Society as to whether they have sought other funding for this service.

CARRIED UNANIMOUSLY

South Island Prosperity Partnership

Moved By Mayor Helps Seconded By Councillor Alto

That SIPP be funded for \$218,962

Amendment:

Moved By Mayor Helps Seconded By Councillor Alto

That SIPP be funded for \$218,962 and staff report back at the January 25, meeting on allocating funding from these sources:

- Late Night Great Night
- · special events, and
- other funding sources

Amendment to the amendment:

Moved By Councillor Isitt Seconded By Mayor Helps

That SIPP be funded for \$218,962 and staff report back at the January 25, meeting on allocating funding from these sources:

- Late Night Great Night
- special events,
- increase in the property tax requisition, and
- other funding sources

CARRIED UNANIMOUSLY

On the amendment:

That SIPP be funded for \$218,962 and staff report back at the January 25, meeting on allocating funding from these sources:

- Late Night Great Night
- · special events,
- increase in the property tax requisition, and
- other funding sources

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe OPPOSED (1): Councillor Young

CARRIED (8 to 1)

On the main motion as amended:

That SIPP be funded for \$218,962 and staff report back at the January 25, meeting on allocating funding from these sources:

- Late Night Great Night
- special events,
- increase in the property tax requisition, and
- other funding sources

FOR (8): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe OPPOSED (1): Councillor Young

CARRIED (8 to 1)

I. ADJOURNMENT OF COMMITTEE OF THE WHOLE

Moved By Councillor Alto Seconded By Councillor Potts

CARRIED UNANIMOUSLY

That the Committee of the Whole Meeting be adjourned at 3:30 p.m.

CITY CLERK MAYOR



Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 10, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Victoria Housing Reserve Fund Application for 1230 Grant Street, 1209,

1218, 1219, 1220 and 1226 North Park Street, 1219 Vining Street, 1235

Caledonia Avenue, and 1211 Gladstone Avenue

RECOMMENDATIONS

That Council approve a grant from the Victoria Housing Reserve Fund to the Capital Regional Housing Corporation in the amount of \$500,000 to assist in the construction of a 158-unit affordable housing project at 1230 Grant Street, 1209, 1218, 1219, 1220 and 1226 North Park Street, 1219 Vining Street, 1235 Caledonia Avenue, and 1211 Gladstone Avenue, subject to the following conditions:

- 1. The execution of a Housing Fund Grant Agreement in a form satisfactory to the Director of Sustainable Planning and Community Development and the City Solicitor; with terms for the eligible use of the grant, reporting requirements, repayment, indemnification, and communication protocols.
- 2. The applicant fulfills the applicable requirements of the Victoria Housing Reserve Fund Guidelines.
- 3. \$250,000 shall be payable to the applicant upon execution of the Housing Fund Grant Agreement and the remaining balance of \$250,000 shall be payable to the applicant once the City has issued all required occupancy permits for the project.
- 4. That the passage of this resolution creates no legal rights for the applicant or any other person, or obligation on the part of the City, until and unless all agreements are fully executed by the City.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis, and recommendations for a Victoria Housing Reserve Fund (VHRF) application from the Capital Regional Housing Corporation (CRHC). The applicant is seeking \$1,065,000 to support the redevelopment of an 8,660m² parcel that would result in 158 new affordable rental units in the heart of Fernwood.

On October 28, 2021, Council approved the rezoning application, development permit and terms for a housing agreement that would secure the proposed units as rental for a minimum of 60 years along with the various affordability levels. The proposal envisions two apartment buildings and three attached townhouse buildings with 109 of the 158 homes aligning with the VHRF funding guidelines for people with low and very low incomes.

The VHRF has a current unallocated net balance of \$4,643,296 with no other grant applications for the September 30, 2021 intake. Therefore, approval of the \$1,065,000 grant requested by the applicant would result in a balance of \$3,578,296. If approved, the grant would also be subject to a Housing Fund Grant Agreement.

The VHRF guidelines set the maximum grant at \$500,000 per application, requiring Council to waive the guidelines for any grant exceeding this amount. Based on the number of deeply affordable units being provided on-site, a grant of \$500,000 would cover only 47 per cent of what the project would be eligible for based on the per unit funding levels in the guidelines. The applicant has requested Council waive the maximum grant amount due to cost escalations associated with the pandemic and the urgent community need for affordable housing. Consistent with the guidelines, staff recommend Council approve a \$500,000 grant; however, as there were no other applications received for this intake and the application supports many of the program priorities, an alternate recommendation is provided for Council consideration.

PURPOSE

The purpose of this report is to present Council with information, analysis, and recommendations for a Victoria Housing Reserve Fund (VHRF) grant application (Attachment 1) from the Capital Regional Housing Corporation, to support the construction of an affordable housing project at 1230 Grant Street, 1209, 1218, 1219, 1220 and 1226 North Park Street, 1219 Vining Street, 1235 Caledonia Avenue, and 1211 Gladstone Avenue (Attachment 2).

BACKGROUND

A rezoning application, development permit, and housing agreement were approved by Council at a Public Hearing on October 28, 2021, for the development of a 158-unit mixed-income affordable housing project on the lands between Caledonia Avenue and Grant Street adjacent to Victoria High School (Attachment 2). The applicant is proposing to construct two apartment buildings and three townhouse structures above an underground parkade that will provide 112 vehicle spaces and 194 long-term bicycle spaces. The applicant has applied for BC Housing funding under the Community Housing Fund to provide funding for 31 units of rental housing for people with very low incomes, 78 units for people with low incomes and 49 units at below market rents for people with moderate incomes.

The assembled parcel is the result of a partnership between the CRHC, BC Housing, School District No. 61, and the City of Victoria. To integrate the development with the local neighbourhood, the applicant has also built partnerships with Fernwood Neighbourhood Resource Group to operate the proposed 1,450 sq. ft. amenity space and deliver family and recreation programing. The project also includes a possible partnership with the Independent Living Society to operate the 15 proposed accessible units. Overall, this project would deliver much needed affordable housing near a major high school and provide valuable amenities that would benefit the local community.

ISSUES AND ANALYSIS

The application is consistent with the VHRF Guidelines and is the outcome of a land partnership between CRHC, BC Housing, City of Victoria, and the School District. The applicant has applied for funding for the 109 units that align with the VHRF Guidelines for individuals with very low-incomes and low-incomes. The other 49 units would be rented at below-market rates. The parcels proposed for redevelopment are currently owned by the School District and the City of Victoria and therefore are exempt from City of Victoria property taxes.

A portion of the site fronting Gladstone Avenue has 18 vacant CRHC townhouse units. These units will be demolished to form the larger redevelopment site. The applicant indicated that a building envelope condition assessment was completed in 2017 prior to determining if the site should be redeveloped. The assessment report indicated the townhouses were in poor condition due to water damage issues. Also, the report recommended replacement of all wood siding with a new rain screen wall assembly, full replacement of all windows, sliding glass doors, shingles, skylights, roof decks and balconies within two to three years. The results of the assessment highlight the challenges with maintaining aging buildings and provide insight as to the applicant's motivation to demolish the 18 units to pursue the redevelopment to create 140 net-new units.

Based on the size and condition of the consolidated parcel, the applicant is required to complete various off-site transportation works including roadway improvements and an 8m greenway that will run along the east side of the site linking Grant Street and Gladstone Avenue. These off-site works will benefit the broader community but are financially challenging for the applicant to absorb. The increased costs will require a larger mortgage for the project, translating to higher rents or higher operating subsidies to deliver the deep affordability. These additional costs are significant and could be offset by the VHRF grant.

The applicant indicated that rising costs due to the pandemic have challenged the financial viability of the project. Specifically, supply chain disruptions associated with COVID-19 resulted in higher materials costs for the project. Based on these unforeseen cost escalations the applicant has requested that Council waive the maximum grant of \$500,000, allowing the project to receive the full amount it would be eligible for (\$1,065,000) under the VHRF per unit funding levels.

Affordability Requirements

The applicant is proposing to deliver deeply affordable housing for people with low and very-low incomes. As shown in the table below the project proposes 109 units that meet VHRF guidelines under the BC Housing Affordability levels. Specifically, the applicant is applying for a grant to support 31 deep subsidy units for people with very low-incomes and 78 rent geared to income (RGI) units that align with the City's targets for people with low-incomes. The remaining 49 belowmarket units will be rented at below-market rates that are not eligible for a grant.

Unit Composition and Affordability Table

Unit Type	Number of Units	Target Income Group	Proposed Income Level	Proposed Monthly Rent	VHRF Eligible Grant	VHRF Total Contribution
	VER	Y LOW-INCO	ME UNITS / D	EEP SUBSID	Y UNITS	
Studio	14	Very Low (Deep Subsidy)	< \$19,999	\$375	\$7,500/unit	\$105,000
1-Bedroom	11	Very Low (Deep Subsidy)	< \$19,999	\$375	\$10,000/unit	\$110,000
2-Bedroom	5	Very Low (Deep Subsidy)	< \$19,999	\$570	\$15,000/unit	\$75,000

3-Bedroom	1	Very Low (Deep Subsidy)	< \$19,999	\$660	\$20,000/unit	\$20,000
	LOW-INCC	ME UNITS / F	RENT GEARE	D TO INCOME	E (RGI) UNITS	
1-Bedroom	26	Low (RGI)	\$20,000 to \$34,999	\$744	\$7,500/unit	\$195,000
2-bedroom	44	Low (RGI)	\$20,000 to \$34,999	\$980	\$10,000/unit	\$440,000
3-Bedroom	4	Low (RGI)	\$20,000 to \$34,999	\$1,321	\$15,000/unit	\$60,000
4-Bedroom	4	Low (RGI)	\$20,000 to \$34,999	\$1,479	\$15,000/unit	\$60,000
Total	109	Serving Low to Very Low Incomes			Total Per Unit G \$1,065	

Leveraging Additional Funding

In addition to working with partners to secure the land, the CRHC has applied to BC Housing under the Community Housing Fund. The applicant applied for a capital grant of \$18.5 million and annual operating subsidy of roughly \$900,000. This translates to an average monthly operating subsidy of roughly \$700 for the 109 Deep Subsidy and RGI units proposed for the project. The CRHC has also committed \$1,000,000 of their own funds to the project to reduce borrowing costs.

The CRHC will own and operate the units and is applying for grant funding to offset capital and mortgage debt borrowing costs. BC Housing looks favourably at applications where funding partnerships with local government partners are in place. The VHRF grant would be valuable in reducing borrowing costs for the project and assist the applicant to deliver deep affordability onsite, but ultimately this funding is complementary to BC Housing funding.

Project Priorities

The proposed project aligns with many of the objectives of the VHRF program, providing affordable housing for the following groups:

- Accessible units for people with disabilities (15 units are proposed)
- Family-friendly (99 units are 2, 3 or 4-bedroom units)
- Working singles and seniors
- Women with children

The project would create a new mixed-income community serving a range of incomes in a walkable area nearby urban villages, parks, and schools. Also, the redevelopment proposes 22 larger three-bedroom and four-bedroom family-friendly units adjacent to a major high school. With a range of unit types, future tenants would be able to move between different housing options as their life situation changes. Lastly, the project would provide housing for people at a high risk of homelessness.

¹ Funding for eligible projects under the Victoria Housing Reserve Fund Guidelines is allocated on a per unit basis, up to a maximum of \$500,000 per project unless otherwise approved by Council.

Legal Agreements

On May 14, 2020, Council directed staff to prepare legal agreements to ensure all residential rental units remain affordable or below market for 60 years in accordance with the City's definition of affordability and below market. A housing agreement was subsequently adopted on October 28, 2021, as a condition of the rezoning and staff have confirmed it satisfies the requirements of the VHRF. In addition, a covenant was registered on title to secure 14 three-bedroom units and 8 four-bedroom units. If Council approves the grant request, the applicant will also be required to enter into a Housing Fund Grant Agreement with the City of Victoria to secure conditions of the grant.

Tenant Assistance

The 18 townhouse units on the site will be removed prior to the redevelopment. The units are vacant with all tenant groups rehoused by CRHC. The applicant submitted a tenant assistance plan in September 2019 indicating all impacted tenants will be given right of first refusal to move back after the redevelopment is complete.

Capacity of the Victoria Housing Fund

The VHRF has a current unallocated balance of roughly \$4,643,296 and is anticipated to be supplemented with an annual contribution of \$660,000 in 2022, upon approval of the Financial Plan. For the September 2021 VHRF intake there were no other applications received. If Council approves the applicant's request for a grant of \$1,065,000, the VHRF would have a remaining unallocated balance of approximately \$3,578,296 for 2021 or \$4,143,296 if the project receives a \$500,000 grant as per the VHRF guidelines. The fund is well positioned to accommodate the funding request at this time.

OPTIONS AND IMPACTS

Option 1 – Approve the Grant as per the Guidelines (Recommended)

Approval of a \$500,000 grant request would be consistent with the program guidelines. However, this amount would support less than 50 per cent of the deeply affordable units based on the per unit grant amounts in the VHRF guidelines. This project meets many of the program priorities, including housing for individuals who are at risk of homelessness and would provide deep affordability for a minimum of 60 years.

Option 2 – Waive the Guidelines and Approve \$1,065,000 Grant

A major reason for establishing the maximum grant amount was to ensure the program could distribute funds to multiple projects when more than one application is received. However, as there was only one grant application for the September 2021 intake Council may consider waving the maximum grant amount. Moreover, this project aligns with many program priorities with 109 of the 158 proposed units at deeply affordable rates in a location close to services, schools, and parks. The applicant has indicated that rising costs due to the pandemic have challenged the financial viability of the project. The requested grant would help offset these unforeseen costs and assist the applicant in delivering deep affordability.

Alternate Recommendation

That Council approve a grant from the Victoria Housing Reserve Fund to the Capital Regional Housing Corporation in the amount of \$1,065,000 to assist in the construction of a 158-unit affordable housing project at 1230 Grant Street, 1209, 1218, 1219, 1220 and 1226 North Park Street, 1219 Vining Street, 1235 Caledonia Avenue, and 1211 Gladstone Avenue, subject to the following conditions:

- The execution of a Housing Fund Grant Agreement in a form satisfactory to the Director of Sustainable Planning and Community Development and the City Solicitor; with terms for the eligible use of the grant, reporting requirements, repayment, indemnification, and communication protocols.
- 2. The applicant fulfills the applicable requirements of the Victoria Housing Reserve Fund Guidelines.
- 3. \$532,500 shall be payable to the applicant upon execution of the Housing Fund Grant Agreement and the remaining balance of \$532,500 shall be payable to the applicant once the City has issued all required occupancy permits for the project.
- 4. That the passage of this resolution creates no legal rights for the applicant or any other person, or obligation on the part of the City, until and unless all agreements are fully executed by the City.

Accessibility Impact Statement

This grant request will have no accessibility impacts. The *British Columbia Building Code* regulates accessibility as it pertains to buildings. The applicant is proposing 15 accessible dwelling units, which would be designed in accordance with CSA B651-12 the National Standard of Canada for barrier free design, which exceeds the accessibility requirements of the *British Columbia Building Code*.

2019 - 2022 Strategic Plan

Providing grants to support the development of affordable rental housing supports multiple actions described within Strategic Objective Three: Affordable Housing as well as Strategic Objective Eight: Strong, Liveable Neighbourhoods.

Impacts to Financial Plan

Issuance of a \$500,000 or \$1,065,000 grant to the Capital Regional Housing Corporation will not affect the Financial Plan, as the current VHRF (unallocated) balance of \$4,643,296 is sufficient to fund this application.

Official Community Plan Consistency Statement

This project supports Official Community Plan policies related to working with the Capital Regional District and other partners to increase affordable housing supply. Also, the project supports OCP policies related to locating non-market housing near to Village Centres to ensure easy access to services and facilities necessary for daily living.

CONCLUSIONS

This grant application from the CRHC is well aligned with VHRF priorities and would support the construction of a significant and vital mixed-income affordable rental project that address the acute need for affordable rental housing in Victoria.

Respectfully submitted,

Ross Soward Karen Hoese, Director

Senior Planner – Housing Development Sustainable Planning and Community

Community Planning Division Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment 1: Application to the Victoria Housing Reserve Fund
- Attachment 2: Aerial Map
- Attachment 3: CRHC Board Vice-chair letter of support.



Capital Region Housing Corporation T: 250.388.6422

631 Fisgard Street
Victoria, BC, V8W 1R7

F: 250.361.4970 www.crd.bc.ca/crhc

September 29, 2021

File: Caledonia Redevelopment

Ross Soward, Senior Planner City of Victoria, 1 Centennial Square

RE: Caledonia Victoria Housing Reserve Fund Application

On behalf of the Capital Region Housing Corporation (CRHC), south Vancouver Island's largest social housing provider, please accept the enclosed Victoria Housing Reserve Fund grant application package requesting a financial contribution from the City of Victoria to support the Caledonia Affordable Housing Redevelopment. The Caledonia project consists of redeveloping an existing 18 unit townhouse complex and consolidating adjacent brownfield parcels into a consolidated 2.14 acre parcel in the heart of Fernwood that will support 158 affordable rental units in a mixed market community.

As you know, the Caledonia development has encountered delays during the municipal approval phase during the COVID-19 Pandemic. Our estimated costs of construction have continually increased as a result of trade and material shortages. Due to the increased costs incurred by the CRHC and it's partners, we request that the City of Victoria consider waiving the grant cap established by the program and allocate the full amount eligible of \$1,065,000.

Please let me know if you have any further questions or concerns on the enclosed.

Sincerely,

Kimberly Lemmon, MCIP, RPP

Kupely Lemmon

Manager, Planning & Development



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6

T 250.361.0382 E communityplanning@victoria.ca

Victoria Housing Reserve Fund Application Checklist

Please ensure all items below are included with your application. If you have questions about your eligibility, or about this or any part of the application package, please call or email the Community Planning Division using the contact information below.

> Completed application checklist Letter to Mayor and Council describing project and how it meets Victoria Housing Reserve Fund Program objectives as outlined in the Program Guidelines

Completed Application Form

Building plans

Site plans

Capital budget

10-year operating budget

I have read and understand the Victoria Housing Reserve Fund Guidelines:

Housing operator's most recent audited financial statements (including management letter if available)

Print Name Date

Applications will be accepted in person at City Hall, by mail, or by email. Please contact Community Planning to ensure receipt of your application package. The City of Victoria is not responsible for lost or missing applications.

Community Planning Division 1 Centennial Square, Victoria, BC V8W 1P6 Email: communityplanning@victoria.ca

Phone: **250.361.0382**



Capital Region Housing Corporation 631 Fisgard Street Victoria, BC, Canada V8W 1R7 T 250,388.6422 F 250,361,4970 www.crd.bc.ca/housing

September 29, 2021

Mayor and Council City of Victoria 1 Centennial Square Victoria BC, V8W 1P6

Dear Mayor Helps and Council:

Re: Victoria Housing Reserve Fund Application – Caledonia Redevelopment Project

We are pleased to submit an application for funding for a proposed redevelopment on the parcel of land located between 1211 Gladstone Avenue and 1209/1230 Grant Street. The Capital Region Housing Corporation is seeking a \$1,065,000 capital contribution from the Victoria Housing Reserve Fund. This contribution will help realize the project's vision of providing 158 new, sustainable and affordable units of housing within the Fernwood neighbourhood. This mixed-market housing project will add 140 net new rental units to the current 18 unit townhouse site to be redeveloped. Once constructed the project will provide affordable rental housing options for very low, low and moderate income individuals, families, women with children, seniors and persons with disabilities, including 15 accessible units.

Organization Information

The Capital Region Housing Corporation (CRHC) is a wholly-owned subsidiary of the Capital Regional District (CRD). As the largest housing provider in the Capital Region, the CRHC owns and/or manages over 1,800 rental units in 50 different properties across Greater Victoria. The CRHC Board is committed to improving and expanding housing opportunities in the region for households in core housing need. The Board's Strategic Plan focuses on increasing the number of rental units for households in core housing need by adding to the number of subsidized units, rent-geared-to-income units and near-market affordable rental units.

Project Description

The proposed development site consists of assembling nine under-utilized properties. The assembled 2.14 acre parcel will span from Gladstone Avenue to Grant Street. Site layout includes five separate buildings, of three 3-storey attached townhouses, one 5-storey apartment building, and one 4-storey apartment building. The total build-out will consist of 158 rental units including 14 studio units, 45 one-bedroom units, 77 two-bedroom units, 14 three-bedroom units and 8 four-bedroom units. The buildings will sit on an underground



concrete parkade with parking for 117 vehicles and 194 bicycles. Vehicular site access is from Grant Street and Caledonia Avenue.

The consolidated lot will require rezoning form the current R-K and R-2 zones to a site specific zone with a public hearing on the proposal expected in October 2021. The proposal increases the allowable density from an FSR of up to 0.6:1, allowing for up to 78 units, to an FSR of 1.29 which would allow for the proposed 158 units. Once completed, the project will further invigorate the Fernwood neighborhood, provide additional housing diversity that complements the eclectic make-up of the neighborhood, and encourage the use of multimodal transportation options, while increasing connectivity for pedestrians and active transportation throughout the neighbourhood.

Tenant Considerations

The CRHC has developed a tenant relocation policy which has been approved by the CRHC Board and have included a Tenant Assistance Plan as part of the rezoning and development permit application package. CRHC staff previously provided current tenants with information sessions about the proposed redevelopment, and have gone door-to-door to gather tenant feedback toward creating the relocation policy. See Appendix A: Tenant Relocation Policy September 2018.

CRHC has successful supported the relocation of all existing tenants to:

- Find alternate housing that meets their individual needs;
- Offer tenants a choice in new housing, including offering first right of refusal to return to the redevelopment upon completion;
- Offer frequent, accurate and timely information as the redevelopment process progresses.

Table 1: Project Specifics

Total site size (acres), ft ² (m ²)	2.146 acres	93,500 ft ² (8,681 m ²)	
Building Size, Gross Area (m ² .)	Townhouse 1:	26,447 ft ² (2,457 m ²)	
	Townhouse 2:	26,952 ft² (2,504 m²)	
	Townhouse 3:	7,825 ft² (727 m²)	
	5-Storey Apartment	: 40,871 ft² (3,797 m²)	
	4-Storey Apartment	: 35,166 ft² (3,267 m²)	
Building description	2 apartment buildin	gs and 3 townhouse buildings over an	
	underground concre	ete parkade.	
Building amenities	In suite Laundry, am	enity room building, secure	
	underground bicycle	e storage, private courtyard with	
	playground, shared community garden space.		
Number of units	158		
Parking	117 vehicles, 194 lo	ng-term bicycle, 30 short-term bicycle	



Site Access	Vehicular access on Grant Street and Vining Avenue.
	Pedestrian access from Gladstone Ave, Caledonia Ave,
	Vining St, North Park St and Grant St.
Unit Mix	14 Studio: 9%
	45 One-Bedroom: 28%
	77 Two-Bedroom: 49%
	14 Three-Bedroom: 9%
	8 Four-Bedroom: 5%

Funding/ Affordability Highlights

The CRHC has applied to the Building BC: Community Housing Fund program. The Building BC: Community Housing Fund provides grants valued between \$75,000 and \$150,000 per door dependent on unit size and a monthly operating subsidy to offset the cost of the mortgage. It also anticipates participation from the housing provider and other sources of equity. See Table 2 for the Project Financial Information including requested sources of funding.

Table 2: Project Financial Information

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Item	Baseline
Soft Costs	\$11,136,818
Hard Costs	\$47,359,520
Contingency	\$5,883,940
(A) Total Project Costs	\$64,380,279
Equity Contributions	
CRHC equity	\$1,000,000
Victoria Housing Reserve Fund	\$1,065,000
(B) Total Equity Contributions	\$2,065,000
(C) Mortgage serviced by operations*	\$43,840,279
(D) Building BC Contribution	\$18,475,000
(E) Total costs: (B)+(C)+(D)	\$64,380,279

^{*}Includes operating subsidy provided by BC Housing.

The budget and equity requirements are guided by the following unit income mix which is defined by the Building BC: Community Housing Fund program.

The project will target clients with low to moderate income levels. The project offers the following unit types based on BC Housing affordability definitions:

- 31 Deep Subsidy, very low income units:
 - o 14 studio units, 11 one-bedroom, 5 two-bedroom, 1 three-bedroom
- 78 Rent Geared to Income (RGI), low income units:





- o 26 one-bedroom, 44 two-bedroom, 4 three-bedroom, 4 four-bedroom
- 49 Affordable, moderate income units:
 - o 8 one-bedroom, 28 two-bedroom, 9 three-bedroom, 4 four-bedroom

The equity requested through the City of Victoria is aligned with the program guidelines and per unit funding assistance noted within Table 3 below.

Table 3: Unit Breakdown Chart

	Unit Breakdown Chart				
Unit Size	Rent*	Quantity	Income Bracket	Eligible Funding	Max Eligible Funding
Studio	\$375	14	Very Low	\$7,500	105,000
Studio	\$744	0	Low	\$5,000	\$0
Studio	\$1,200	0	Median	\$2,500	\$0
1 bedroom	\$375	11	Very Low	\$10,000	\$110,000
1 bedroom	\$744	26	Low	\$7,500	\$195,000
1 bedroom	\$1,500	8	Median	\$5,000	\$0
2 bedroom	\$570	5	Very Low	\$15,000	\$75,000
2 bedroom	\$980	44	Low	\$10,000	\$440,000
2 bedroom	\$1,800	28	Median	\$7,500	\$0
3 bedroom	\$660	1	Very Low	\$20,000	\$20,000
3 bedroom	\$1,321	4	Low	\$15,000	\$60,000
3 bedroom	\$2,100	9	Median	\$10,000	\$0
4 bedroom	\$700	0	Very Low	\$20,000	\$0
4 bedroom	\$1,479	4	Low	\$15,000	\$60,000
4 bedroom	\$2,400	4	Median	\$10,000	\$0
Total	Units	158			
	TOTAL FUNDING REQUEST: \$1,065,000				

^{*} Deep subsidy, RGI (Rent Geared to Income) and HILs rates per BC Housing definition and guidelines updated as of September 1, 2021

Upon the completion, the Caledonia project will add 158 new affordable, safe, attractive and sustainable units in a walkable, urban neighbourhood. The project contains 31 deep subsidy, 60 rent gear to income and 49 medium-income units for individuals, families, seniors and disabled individuals living independently without on-site supports. This development will provide a significant contribution to tackle current housing affordably issue in city.



Capital Region Housing Corporation 631 Fisgard Street Victoria, BC, Canada V8W 1R7

T 250,388.6422 F 250,361.4970 www.crd.bc.ca/housing

Since the unprecedented Covid-19 pandemic began, the construction industry has been impacted across the country and thus, we have witnessed huge increases in the costs for labour, materials and overhead construction costs. The Caledonia development has incurred delays and cost escalations that have impacted the total capital budget and jeopardizes the CRHC's ability to provide high quality, low cost non-market housing.

The CRHC requests Victoria City Council support through an equity contribution of \$1,065,000 in excess of the grant cap of \$500,000 to offset the cost of construction, based upon the current program guidelines and per unit funding allocation available.

Thank you for considering this application towards the Victoria Housing Reserve Fund (VHRF).

Please contact Kimberly Lemmon at <u>klemmon@crd.bc.ca</u> or 250-360-5675 should you require further information.

Sincerely,

Don Elliott, MUP Senior Manager, Regional Housing

Capital Region Housing Corporation



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6

T 250.361.0382 E housing@victoria.ca

Housing type (strata/apt etc.), number of units and sizes (bedrooms)

Victoria Housing Reserve Fund Application for Funding

The Victoria Housing Reserve Fund Program Guidelines contain important information on project eligibility and the application process. Please review the guidelines prior to completing an Application for Funding.

The entire Application for Funding must be completed along with all other documents identified on the Application Checklist. Please attach additional pages if more space is needed.

An appointment is strongly encouraged prior to applying for funding to ensure the project meets eligibility criteria. To make an appointment, email housing@victoria.ca.

If you have any questions about the criteria or the process, please contact the Community Planning Division at housing@victoria.ca or 250.361.0382.

1. Letter to Mayor and Council

2 Proponent Information

Please include a letter to Mayor and Council providing an executive summary of the proposed project including the amount of funding being requested. Please highlight key aspects of the proposed project and how it meets the objectives of the Victoria Housing Reserve Fund Program as outlined in the Program Guidelines.

2 Troponent information			
Organization Name	Non-profit Society	Yes	No 🗌
Contact Person/Position			
Business Address			
Telephone			
Email			
Date of Incorporation			
Canada Revenue Agency Charity #			
Previous Projects Funded through the Victoria Housing Reserve Fund, if any:			
I have read and understand the Victoria Housing Reserve Fund Program Guidelines			
I understand funding is a one-time, non-renewable grant $\ \square$			
Application Date mm/dd/yyyy			
Applicant Signature <u>Kubuly Lammon</u>			
3. Project Summary			
Submission of building and site plans are required as part of the application package.			
Address/location of project			
Developer and contact information (if different from the Proponent)			
Project Architect and contact information			
Owner and Operator of Housing			



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0382 E housing@victoria.ca

Victoria Housing Reserve Fund Application for Funding

Fund Request Summary

Please list the units which are proposed to receive funding in the table below. Please refer to the VHRF Guidelines for more information about the program's Affordability Levels and Grant Eligibility Amounts.

		identity the Allo	rdability Level	Eligible VHRF Grant per Unit	VHRF Total Contribution
Number of Units Monthly Rent Amount	City of Victoria Affordable Rents (Very Low, Low, Median)	BC Housing Rents (Deep Subsidy, RGI, HILs)			
		umber Rent	Monthly City of Victoria Rent Affordable Amount Rents (Very Low,	Monthly Rent Affordable Rents Amount Rents (Very Low, (Deep Subsidy,	Monthly Rent Affordable Rents (Very Low, (Deep Subsidy, per Unit Page 1)

Project Units Summary	
Total housing units on existing site: Total proposed units in the affordable housing project: Gross	Net
Target Population or Group as defined in the Program Guidelines (E.g., Se	eniors, youth, women and children, persons with disabilities, etc
Support services provided (if any)	
How does the project meet the objectives and project priorities of the Victo Guidelines?	ria Housing Reserve Fund Program as described in the Progran
What development approvals are required or have been received?	
what development approvals are required of have been received:	
Target Completion Date	



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0382 E housing@victoria.ca

Victoria Housing Reserve Fund Application for Funding

4. Experience and Capacity to Develop and Manage Affordable Housing

Outline the proponent's experience in the development and management of affordable housing. How does this project compare to this previous experience and the proponent's capacity to complete the project in the short-term and manage it over the long-term?
5. Project Financing and Sustainability
Describe how the funding model will support long-term financial sustainability and housing affordability. Please also attach a detailed Capital Budget and 10-year Operating Budget.
6. Partnerships
List partners in this project (developers, agencies, other levels of government etc.), and detail their involvement.



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0382 E housing@victoria.ca

Victoria Housing Reserve Fund Application for Funding

7. Tenant Assistance

Adherence with the <u>Tenant Assistance Policy</u> is required to be eligible to receive VHRF grant funding. Please identity whether a <u>Tenant Assistance Plan</u> is required as part of the development approvals for this project:
Yes, there are tenants at the existing site that will be displaced as a result of the proposed development and a Tenant Assistance Plan has been prepared.
No, tenants will not be displaced as a result of the proposed development.
Note: Please be advised that additional information may be requested as part of the Tenant Assistance Plan for Council's consideration.
8. Other Information
Provide any other information that supports your application.



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6

Tenant Assistance Plan

This form must be submitted with your rezoning or development application. For contact, please send questions to your development services planner.

SUMMARY: Instructions and steps for Developers and Property Owners

STEP 1	BACKGROUND: Understand your rights and responsibilities as a landlord. Please review the documents in the background section pertaining to relocating tenants and the City's rental replacement policies.
STEP 2	POLICY APPLICATION: Complete tenant impact assessment to determine the requirements of your application.
	Complete application requirement, including:
	a. Current Site Information
STEP 3	b. Tenant Assistance Plan
SIEFS	c. Tenant Communication Plan
	d. Appendix A - Current Occupant Information and Rent Rolls (For office use only)
	e. Appendix B - Correspondence with Tenants Communication (For office use only)
STEP 4	SUBMIT: Complete form and submit to:
31EF 4	a. Email digital copy of plan to housing@victoria.ca (include appendices)
STEP 5	REVISE: Applicant to update and return application requirements with staff input.
STEP 6	FINALIZE: City staff to finalize the review and signs off application requirements and used as attachment for the Committee of the Whole report.

BACKGROUND: Rights and Responsibilities of Landlords and Tenants

The rights and responsibilities of landlords and tenants are regulated by the Province and is set out in the Residential Tenancy Act.

Please refer to the City of Victoria's <u>website</u> for more information regarding the City of Victoria's rental housing policies. Supporting documents include:

- Tenant Assistance Instructions and Checklist
- Tenant Assistance Policy
- Frequently Asked Questions
- Sample Letter to Tenants
- Request for Tenant Assistance Form and Privacy Guidelines
- Final Tenant Assistance Report

POLICY APPLICATION: Tenant Impact Assessment to Determine the Requirements of your Application

Answer the questions below to determine whether a plan is required with your application:

Tenant Impact	Indicate:		Application Requirement
Are you redeveloping or demolishing a building that will result in loss of existing residential units?	Yes	No	If yes, complete the next question.
Does your work require the permanent relocation of tenant(s) out of the building?	Yes	No	If yes, complete and submit a tenant assistance plan.
Do you have tenant(s) who have been residing in the building for more than one year?	Yes	No	If yes, tenants are eligible under the tenant assistance plan

TENANT ASSISTANCE PLAN

A. Current Site Information

Site Address:	
Owner Name:	
Company Name:	
Tenant Relocation Coordinator (Name, Position, Organization):	

EXISTING RENTAL UNITS

Unit Type	# of Units	Average Rents (\$/Mo.)
Bachelor		
1 BR		
2 BR		
3 BR		
3 BR+		
Total		

B. Tenant Assistance Plan

For any renovation or redevelopment that requires relocation of existing tenants, the property owner must create a Tenant Assistance Plan that addresses the following issues:

- Early communication with the tenants
- Appropriate compensation
- Relocation assistance
- Moving costs and assistance
- Right of first refusal

The City has developed a Tenant Assistance Plan template that is available for applicant use. The template includes the required FOIPPA section 27(2) privacy notification which should be identified for tenants.

Please refer to the Tenant Assistance Policy with Tenant Assistance Plan guidelines for Market Rental and Non-Market Rental Housing Development.

Required under the Residential Tenancy Act

Notice to End Tenancies

A landlord may issue a Notice to End Tenancy only after all necessary permits have been issued by the City. In addition, landlords must give four months' notice to end tenancies for renovation, demolition, and conversions. Tenants have 30 days to dispute the notice.

For more information, please refer to the Landlord Notice to End Tenancy.

Renovations and Repairs

Renovations and repairs must be so extensive that they require the unit to be empty in order for them to take place, and the only way to achieve the necessary emptiness or vacancy is by terminating a tenancy. The RTA and associated guidelines provide specific guidance pertaining to whether a landlord may end a tenancy in order to undertake renovations or repairs to a rental unit.

For more information, please refer to Ending a Tenancy for Landlord's use of Property.

Right of First Refusal

In instances of renovations or repairs requiring vacancy, the RTA requires tenants be offered the right of first refusal to enter into a new tenancy agreement at a rent determined by the landlord. This right of first refusal applies only to a rental unit in a residential property containing 5 or more units, and there are financial penalties for non-compliance.

For more information, please refer to Tenant Notice: Exercising Right of First Refusal.

For full details, please check the Government of British Columbia website.

		APPLICANT	CITY STAFF
Tenant Assistance Plan Components		Tenant Assistance Plan	Did the Applicant meet policy?
	Date:	dd/mm/yyyy	dd/mm/yyyy
Compensation			Yes
Please indicate how you will be compensating the tenant(s).			No
Moving Expenses Please indicate how the			Yes
tenant(s) will receive moving expenses and assistance.			No
Relocation Assistance			Yes
Please indicate how the tenant(s) will receive relocation assistance.			No
Right of First Refusal			Yes
Please indicate whether the applicant is offering right of first refusal to the tenant(s). Please indicate your reasoning.			No
Tenants Requiring Additional Assistance			
Please indicate whether there are tenants requiring additional assistance. If so, please indicate how the applicant plans to provide additional support.			Yes No
Other Comments			
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		APPLICANT	
Tenant Communication Plan Components		Tenant Communication Plan	
	Date:	dd/mm/yyyy	
How and when did you inform tenants of the rezoning or development application?			
How will you be communicating to tenants throughout the rezoning or development application (including decisions made by Council)?			
What kind of resources will you be communicating to your tenants and how will you facilitate tenants in accessing these resources? (Please see the City's website for a list of resources)			
Have tenant(s) confirmed with you whether they request assistance? If so, please indicate the staff responsible or whether a third-party service is requested.			
Other communications notes:			

FINAL TAP Review - [For City Staff to complete]

Application received by			(City Staff) on	(Date)
Did the applicant meet TAP policy?	Yes	No		
Staff Comments on final plan:				



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Tenant Assistance Plan - Appendices

To protect tenant information, the appendices is only submitted with the Tenant Assistance Plan to housing@victoria.ca. For contact, please send questions to your development services planner.

The Tenant Assistance Plan includes the collection, use and disclosure of tenants' personal information for the purpose of achieving the goals contained in the Tenant Assistance Policy and guidelines. The collection, use and disclosure of tenants' personal information must comply with the Freedom of Information and Protection of Privacy Act (FOIPPA). Privacy requirements for compliance with FOIPPA have been adopted and expressed in privacy language in Tenant Assistance Plan documentation to ensure continued compliance.

For privacy compliance, please have:

- Applicants and tenants review and sign the Tenant Assistance Policy Compliance with FOIPPA
- Tenants fill and sign the Request for Tenant Assistance to return to applicant

APPENDIX A: Current Occupant Information and Rent Rolls (For office use only)

Please attach the current tenant information and rent rolls as Appendix A.

All Units (existing and former tenants within the past year)

Apartment Unit Number	Bedroom Type (Bachelor, 1 BR, 2 BR etc.)	Tenant Name (if none, list as vacant with reason for end of previous tenancy)	Does the Tenant Require Additional Assistance (Y/N)? If yes, what additional support?	Start Date of Tenancy	Current Monthly Rent Amount

APPENDIX A: Current Occupant Information and Rent Rolls (For office use only)

Apartment Unit Number	Bedroom Type (Bachelor, 1 BR, 2 BR etc.)	Tenant Name (if none, list as vacant with reason for end of previous tenancy)	Does the Tenant Require Additional Assistance (Y/N)? If yes, what additional support?	Start Date of Tenancy	Current Monthly Rent Amount

APPENDIX B: Correspondence with Tenants (For office use only)

The applicant is responsible for submitting a copy of all written correspondence and notification to tenants to City staff as Appendix B. For more information on supporting your tenants through development process, see the <u>Tenant Assistance Policy Guide</u>.

Appendix A:

POLICY		Tenant Relocation	Policy
AND PROCEDURES MANUAL	POLICY NO. 2.48	EFFECTIVE September 25, 2018	AMENDMENT NO.

1. Policy

This policy will ensure that the CRHC adheres to fair and transparent tenant relocation practices that abide with the British Columbia Residential Tenancy Act (BC RTA) and BC Housing's Guiding Principles on redevelopment and tenant relocation. This policy will assure that the redevelopment of aging affordable housing properties "will ensure that people in greatest housing need in the capital region will have improved access to housing that best meets those needs and that affordable housing residents currently living at sites slated for redevelopment will be considered first at all key stages of the redevelopment process."

2. Purpose

This policy outlines rehousing provisions for current affordable housing tenants in aging CRHC affordable housing communities that are being proposed for redevelopment.

3. Management of the Policy

This policy is managed by Regional Housing Services, the CRHC Tenant Services staff. Any modifications to this policy subsequent to implementation must be reviewed and approved by the CRHC Board.

4. Definitions

a) Affordable Market

Applicants from households with income over the Housing Income Limits (HILs) but below the moderate income limit can apply for low-end market housing. Low-to-moderate income households are defined as those whose income level is within the second quintile of the total household income of two persons or more in British Columbia. To be eligible for an affordable market unit, total household income must not exceed this amount at move-in.

¹ https://www.bchousing.org/partner-services/asset-management-redevelopment/redevelopment-process-princlples

b) Household Income Limits (HILS)

HILs is set by BC Housing and represents the income required to pay the average market rent for an appropriately sized unit in the private market.

c) Official Notice

Official Notice refers to an official provision of a "Notice to End Tenancy" that is provided to the tenant four months prior to demolition or renovation as per the Residential Tenancy Act (BC).

d) Rent Geared to Income (RGI)

To be eligible for rent-geared-to-income (RGI) or subsidized housing, the applicant's gross household income must be below certain income limits, as established by the (HILs).

e) Unofficial Notice

Unofficial Notice refers to the CRHC providing advance notification to tenants of a renovation or redevelopment 12 months prior to demolition in order to support the tenants in acquiring housing.

f) Vulnerable Tenants

Vulnerable tenants, those occupying rent-geared-to-income units such as seniors, persons with disabilities, or those living on very low incomes, are among those most affected by redevelopment or renovation. They often require more assistance in the relocation process as there are fewer choices available to them. These individuals also tend to be longer-term residents, and the process of moving may be more challenging for them.

5. Policy Priority

This policy takes priority over CRHC Policy 2.10 Applicant Eligibility.

6. Tenant Engagement

a) Informing of proposed redevelopment

CRHC tenants will be provided *Unofficial Notice* at least 12 months prior to demolition if a redevelopment of their community is proposed.

b) Tenant Relocation Plans

Once the funding is approved and a resolution by the CRHC Board is made to proceed with the redevelopment, the CRHC staff will meet with tenant households to develop individualized Tenant Relocation Plans (TRP).

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c) Design Consultation

Tenants will be provided opportunities to consult on the design of the proposed redevelopment throughout the process. Notice of these opportunities will be provided in writing.

d) *Updates*

Monthly updates will be provided in writing.

7. Tenant Relocation Plans (TRP)

- a) Staff will meet with Tenant Households to develop individualized TRP. These plans will support tenants in moving to an existing CRHC unit or with another social housing provider.
- b) TRP will take into consideration the requirements of *Vulnerable Tenants*. Additional financial compensation or support, such as partnering with health organizations and other non-profit services, may be requested for *Vulnerable Tenants* and will be reviewed for consideration in the TRP.
- c) The TRP will guide staff in providing appropriate housing choices based on employment, location of school(s) and health requirements.
- d) Tenants will be provided three offers of housing based on their choices and availability of CRHC housing.
- e) Offers of housing will reasonably accommodate medical requirements. Written confirmation by a health professional of medical accommodation requirements must be provided.
- f) Affordable Market tenants that meet the eligibility requirements will be offered CRHC units based on Canadian National Occupancy Standard guidelines.
- g) Affordable Market tenants that meet the eligibility requirements will be advised during the TRP meeting of the rental rates in CRHC communities. Tenants will be required to pay the rents that are applicable in their "chosen" community and the accompanying security deposit. Proof of income will be required.
- h) Rent-Geared-to Income (RGI) tenants that meet the eligibility requirements will be offered CRHC units based on Canadian National Occupancy Standard guidelines.

- Current Tenants who do not meet the eligibility requirements for RGI or affordable market housing will be provided with information on at least three rental options in the community that are rented for no more than 30% of their household income.
- j) Arrangement for an insured moving company or a flat-rate payout for moving expenses will be as follows:
 - i. A maximum of \$750 for bachelor and 1-bedroom households; and
 - ii. A maximum of \$1,000 for two or more bedroom households.
- k) Current tenants will be given right of first refusal to move back into the redevelopment and tenants must meet the eligibility requirements for the redevelopment.
- I) CRHC will work with other housing providers to secure appropriate housing for tenant households where applicable.
- m) Tenants will be provided with move-out cleaning instructions prior to vacating their current units.
- n) After completing a move-out inspection, CRHC may agree to the transfer of security deposits to the new unit for tenants relocating to CRHC units. Depending on the rent of the new unit, an additional damage deposit may be required, and the tenant will be required to make up the difference. Alternatively, if the rent is less, the tenant will receive a refund for the balance.

8. Reasonable Notice

All reasonable efforts will be made to house tenants prior to the demolition of the building. CRHC will provide at least four months' *Official Notice* to tenants prior to demolition as per the *Residential Tenancy Act (BC)*.

9. Tenant Relocation Report

CRHC must keep records and documentation for reporting purposes. At minimum that is to include:

- a) Names of the tenants;
- b) Accommodations provided;
- c) Outcome of their search for alternate accommodation; and
- d) A summary of the monetary value given to each tenant (e.g., moving costs, rent, etc.).

10. Municipal Tenant Relocation Policies

The CRHC will work in cooperation with those municipalities who have adopted tenant relocation guidelines or policies.

11. Related Legislation, Policies and Documents

- a) British Columbia Residential Tenancy Act
- b) BC Housing's Guiding Principles
- c) CRHC Policy 2.10 Applicant Eligibility
- d) CRHC Policy 2.11 Tenant Eligibility for Rent Supplement/RGI
- e) CRHC Policy 2.12 Occupancy Guidelines
- f) CRHC Policy 2.34 Pet Policy
- g) CRHC Policy 2.47 Smoke-Free

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CONTACT INFORMATION REGISTERED OWNER **Capital Regional Housing Corporation Rob Fowels** 208-737 Goldstream Ave. (250) 360-3315 Victoria, BC V9B 2X4 email: rfowles@crd.bc.ca BUILDER **Unitech Construction Management Derek Chichak** 2nd Floor - 1530 56th Street, (604) 943-8845 Delta, BC V4L 2A8 email: dchichak@unitechcm.ca ARCHITECT de Hoog & Kierulf architects **Charles Kierulf Architect AIBC** 250.658.3367 977 Fort Street, Victoria, BC V8V 3K3 email: crk@dhk.ca STRUCTURAL Sorensen Trilogy **Brian Lange** 215-737 Goldstream Ave. (778) 265-7360 Victoria BC V9B 2X4 email: Brianl@sorensentrilogy.ca MECHANICAL Williams Engineering Collin Cronkhite 31 Bastion Square #202 (778) 406-0023

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 E302 APT 1 - LEVEL 3 ELECTRICAL LAYOUT
E303 APT 1 - LEVEL 4 ELECTRICAL LAYOUT
 E304 APT 1 - LEVEL ROOF ELECTRICAL LAYOUT
 E400 APT 2 - LEVEL 1 ELECTRICAL LAYOUT
 E401 APT 2 - LEVEL 2 ELECTRICAL LAYOUT
 E402 APT 2 - LEVEL 3 ELECTRICAL LAYOUT
 E403 APT 2 - LEVEL 4 ELECTRICAL LAYOUT
E404 APT 2 - LEVEL 5 ELECTRICAL LAYOUT
 E405 APT 2 - ROOF ELECTRICAL LAYOUT
 E500 TH1 - L0 & L1 ELECTRICAL LAYOUT
 E501 TH1 - L2 & L3 ELECTRICAL LAYOUT
 E600 TH2 - L0 & L1 ELECTRICAL LAYOUT
 E601 TH2 - L2 & L3 ELECTRICAL LAYOUT
 E700 TH3 - L1 & L2 ELECTRICAL LAYOUT
 E800 APT UNIT ELECTRICAL LAYOUT
 E801 APT UNIT ELECTRICAL LAYOUT
 E802 APT UNIT ELECTRICAL LAYOUT
 E803 APT UNIT ELECTRICAL LAYOUT
E900 TH - TYPICAL UNIT ELECTRICAL LAYOUT
CIVIL
C00 COVER SHEET
C01 SITE GRADING PLAN
C02 PLAN & PROFILE OF GLADSTONE ST.
      STORM DRAIN
 C03 PLAN OF CALEDONIA AVE. AND
     PLAN & PROFILE OF NORTH PARK ST.
C04 PLAN & PROFILE OF VINING ST.
C05 PLAN & PROFILE OF GRANT ST.
C06 PLAN & PROFILE OF STORM DRAIN
C07 MISCELLANEOUS DETAILS
■ C08 SPOT ELEVATIONS & GRADING DETAILS
LANDSCAPE
 L0.00 LANDSCAPE COVER
 L0.01 GENERAL INFORMATION
```

L0.02 TREE/FURNISHING RETENTION & REMOVAL PLAN

L1.01 LANDSCAPE MATERIALS SOUTH L1.02 LANDSCAPE MATERIALS NORTH L1.03 CEC RETENTION & REINSTATEMENT PLAN L1.04 STORMWATER MANAGEMENT

L2.01 LANDSCAPE GRADING & DRAINAGE SOUTH L2.02 LANDSCAPE GRADING & DRAINAGE NORTH

PROJECT DESCRIPTION

CIVIC ADDRESS: 1230 GRANT STREET

1209,1218,1219,1220, and 1226 NORTH PARK STREET 1219 VINING STREET

1235 CALEDONIA AVENUE 1211 GLADSTONE AVENUE

LEGAL DESCRIPTION:

LOT 4 VIP205 SECTION SR VICTORIA

LOT 5 VIP205 SECTION SR VICTORIA

LOT 6 VIP205 SECTION SR VICTORIA

LOT 7 VIP205 SECTION SR VICTORIA

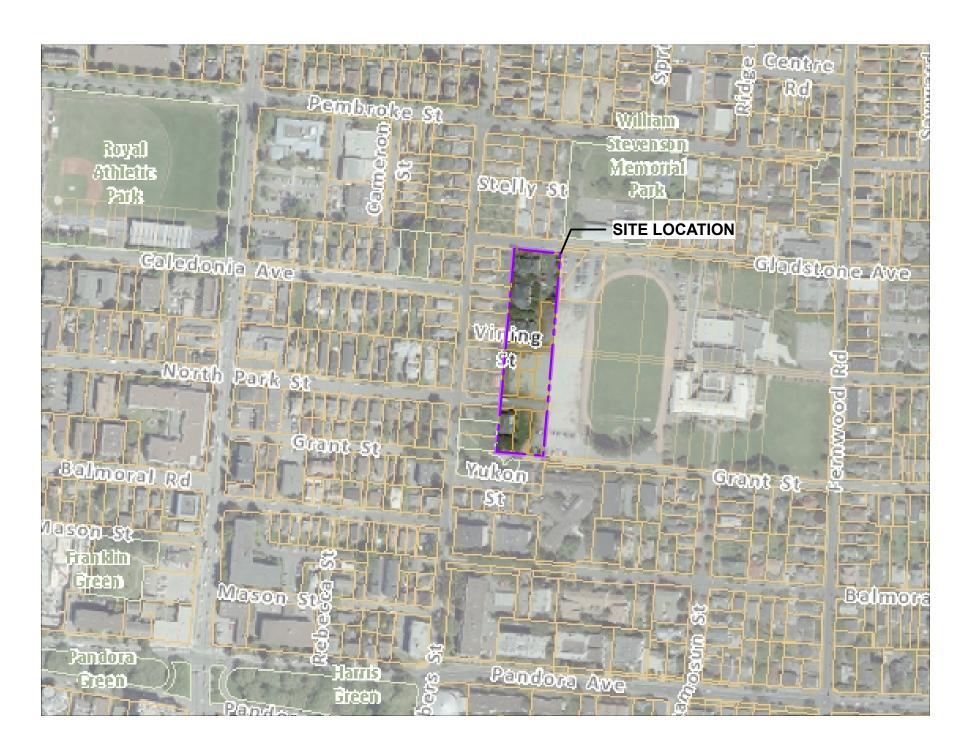
N 56' OF LOT 8 VIP205 SECTION SR VICTORIA REM LOT 8 VIP205 SECTION SR VICTORIA

LOT 9 VIP205 SECTION SR VICTORIA LOT 18 VIP205 SECTION SR VICTORIA

LOT A SECTION 53, SPRING RIDGE, VIP55528

PROJECT SUMMARY:

THE PROJECT INVOLVES THE DEVELOPMENT OF 158 AFFORDABLE HOUSING RESIDENTIAL UNITS AND SUPPORT FACILITIES IN 2 APARTMENT AND 3 TOWNHOUSE BUILDINGS OVER ONE BASEMENT LEVEL OF PARKADE. DEMOLITION OF EXISTING BUILDINGS AND SITE FEATURES BY OTHERS.





PROJECT DATA

ZONE : CD-17 (GLADSTONE COMPREHENSIVE	DEVELOPMENT DISTRICT)	
USES: RESIDENTIAL, PUBLIC		
	DEDMITTED/DEGUIDED	DDODOCED
OITE ADEA (2)	PERMITTED/REQUIRED	PROPOSED
SITE AREA (m²):	8,680.00 (min.)	8,681.1
TOTAL FLOOR AREA (m²):		
See Table 1.2	11,193.00 (max.)	11,166.0
PUBLIC BUILDING FLOOR AREA (m²):	140.00 (max.)	13
FLOOR SPACE RATIO:	4.00.4 ()	4.00.
(11,166/8,681.1 = 1.29)	1.29:1 (max.)	1.29:
AVERAGE GRADE (GEODETIC) (m): See A202A for calculation		
BUILDING 1: APT-1, APT-2, TH-1, TH-3 &		
PORTION OF PARKADE ABOVE NATURAL		
GRADE (>33.2m)	n/a	33
BUILDING 2: TH-2	n/a	32
SITE COVERAGE:	II/a	32
See A202B for calculation	57% (max.)	55
OPEN SITE SPACE:	07 70 (Max.)	
See A202C for calculation	40% (max.)	42°
BUILDING HEIGHTS (m)	40 /0 (max.)	72
See Table 1.3		
PRINCIPAL BUILDING (max.):	15.00 (max.)	< 15.0
Except for the following:	10.00 (110.1)	10.0
- Principal building within 89.50m of Gladstone		
Avenue (TH-2)	11.25 (max.)	11.17
NUMBER OF STOREYS:	()	
See Table 1.3	n/a	n
VEHICLE & BICYCLE PARKING		
See Table 1.4		
RAINIMI IM NICVA/ DI II	I DINC CETD A CI/C (m)	
	LDING SETBACKS (m)	7.0
GLADSTONE AVENUE (min.): Except for the following maximum projection into	7.00	7.0
the setback:		
-Steps:	1 46	0.0
GRANT STREET (min.):	1.46 7.00	0.0 7.0
SIDE YARD (EAST) (min.:	2.50	2.5
Except for the following maximum projection into	2.50	Ζ
the setback:		
-Steps	1.50	1 /
SIDE YARD (WEST) (min.):	4.00	1.4 4.0
SIDE TAND (WEST) (IIIIII.).	4.00	4.0
RESIDENTIA	L USE DETAILS	
TOTAL NUMBER OF NEW UNITS:		15
NEW UNIT TYPES:		STUDIO, ONE, TWO,
		THREE, & FOUR
	<u> </u>	BEDROOM
NEW GROUND ORIENTED UNITS:		5
MINIMUM NEW UNIT FLOOR AREA (m²):		3
TOTAL NEW RESIDENTIAL FLOOR AREA (m2):		11,16

APARTMENT 1 Level 1 Level 2	
Lovel 2	77
LEVEI Z	84
Level 3	84
Level 4	70
TOTAL APT-1 AREA	3,15
APARTMENT 2	
Level 1	76
Level 2	63
Level 3	80
Level 4	80
Level 5	66
TOTAL APT-2	3,68
TOWNHOUSE 1	
Level 0**	56
Level 1	58
Level 2	59
Level 3	63
TOTAL TH-1 AREA	1,80
** Does not contribute to FSR	
TOWNHOUSE 2 Level 0**	60
Level 1	59
Level 2	59
Level 3	63
TOTAL TH-2	
** Does not contribute to FSR	1,82
TOW/MILOUOF 0	
TOWNHOUSE 3	1 00
Level 1	22
Level 2	23
Level 3	24
TOTAL TH-3	70
TOTAL FLOOR AREA	11,16
*"Area" as defined is measured to the interior face of the	he exterior walls o
	cantilevered
the storey at floor level plus the area enclosed by any	or level, but does
the storey at floor level plus the area enclosed by any element that is within that storey and that is above floor not include of the following areas:	
the storey at floor level plus the area enclosed by any element that is within that storey and that is above floor not include of the following areas: a) areas used for parking or movement of motor vehicles	
the storey at floor level plus the area enclosed by any element that is within that storey and that is above floor not include of the following areas: a) areas used for parking or movement of motor vehicle b) areas used or intended to be used for required Bicycle.	
the storey at floor level plus the area enclosed by any element that is within that storey and that is above floor not include of the following areas: a) areas used for parking or movement of motor vehicles	cle Parking, Long

excluding floor space under a ceiling which is less than 1.8m above

1.2 - TOTAL FLOOR AREAS

As per City of Victoria Zoning Bylaw		
-	No. OF STOREYS	HEIGHT (m)
APARTMENT 1	4	12.300
APARTMENT 2	5	14.980
TOWNHOUSE 1	4	11.175
TOWNHOUSE 2	3	10.775
TOWNHOUSE 3	3	9.475

		PARKING REQ	UIREMENTS		
As per City of \	Victoria Zoning				
VEHICLE PARKING UNIT SIZE No. OF ZONING TOTAL					
UNIT SIZE	No. OF	TOTAL			
(m²)	UNITS	MULTIPLIER	(spaces)		
<45	3				
45-70	58	0.5	29		
>70	86	0.75	65		
TOTAL RESI	DENT PARKIN	G REQUIRED	96		
VISITOR	158	0.1	16		
TOTAL VIS	SITOR PARKIN	G REQUIRED	16		
TOTAL PA	RKING SPACE	S REQUIRED	112		
TOTAL PA	RKING SPACE	S PROVIDED	117		
Includes 5 Sur	face parking sp	paces			
	, ,	,4000			
	BICYCLE				
LONG TERM					
LONG TERM UNIT SIZE			TOTAL		
	BICYCLE	PARKING	TOTAL (spaces)		
UNIT SIZE	No. OF UNITS	ZONING MULTIPLIER			
UNIT SIZE (m²)	BICYCLE No. OF UNITS	PARKING ZONING	(spaces)		
UNIT SIZE (m²) <45 >45	No. OF UNITS	ZONING MULTIPLIER 1 1.25	(spaces)		
UNIT SIZE (m²) <45 >45 TOTAL VIS	No. OF UNITS	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180		
UNIT SIZE (m²) <45 >45 TOTAL VIS	BICYCLE No. OF UNITS 14 144 SITOR PARKIN	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180 194		
UNIT SIZE (m²) <45 >45 TOTAL VIS	BICYCLE No. OF UNITS 14 144 SITOR PARKIN	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180 194		
UNIT SIZE (m²) <45 >45 TOTAL VIS	BICYCLE No. OF UNITS 14 144 SITOR PARKIN RKING SPACE	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180 194		
UNIT SIZE (m²) <45 >45 TOTAL VIS TOTAL PA	BICYCLE No. OF UNITS 14 144 SITOR PARKIN RKING SPACE e greater of)	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180 194		
UNIT SIZE (m²) <45 >45 TOTAL VIS TOTAL PA SHORT TERM Residential (th 0.1 x 158 or 6.4	BICYCLE No. OF UNITS 14 144 SITOR PARKIN RKING SPACE e greater of)	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180 194		
UNIT SIZE (m²) <45 >45 TOTAL VIS TOTAL PA SHORT TERM Residential (th 0.1 x 158 or 6.4	No. OF UNITS 14 144 SITOR PARKIN RKING SPACE e greater of) 0 x 5	ZONING MULTIPLIER 1 1.25 G REQUIRED	(spaces) 14 180 194 194		

90% Review		21-03-16			
Issued for 90% BP Coordination		21-01-27			
Description Issued for 50% Coordination	De	20-11-25	Date	Rev -	
drawing file 1907.3 A001 Project Data.vwx	dr	21-03-16		plot date	
checked by CRK	ch	NLC		drawn by	
project number 1907	pr	N.T.S.		scale	

NOTE: All dimensions are shown in millimeters.

dHKa VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367	dHKarc NANAIMO OFFICE 102-5190 Du Nanaimo Bc T 1.250.585	: blin Way V9T 2K8
Caledonia Victoria BC		
Project Data		
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF DHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT	A001	revision no.

PROJECT DATA, Contiunted

		1.5 - UNIT MA	TRIX	
* Measured from	n the exterior face o		of party & corridor w	alls
** Indicates Acc			, ,	
		APARTMENTS	1 & 2	
LINUT TVDE	DECODIDEION	OH ANTITY	LIAUT ADEA (2) ##	TOTAL ADEA (
UNIT TYPE STUDIO	DESCRIPTION	QUANTITY	UNIT AREA (m²)**	TOTAL AREA (M
Unit Type A	1 Bath	14	34	47
31	!		!	
1 BEDROOM	T . = = T			. = -
Unit Type B	1 Bed / 1 Bath	36	49	1,76
Unit Type C** Unit Type D	1 Bed / 1 Bath 1 Bed / 1 Bath	2	54 47	<u>37</u>
Critic Type D	1 Dod / 1 Datii			<u> </u>
2 BEDROOM				
Unit Type E**	2 Bed / 1 Bath	5	79	39
Unit Type F	2 Bed / 1 Bath	2	67	13
Unit Type G	2 Bed / 1 Bath	4	65	25
Unit Type H	2 Bed / 1 Bath 2 Bed / 1.5 Bath	<u>4</u> 1	70 78	28
Unit Type I Unit Type J	2 Bed / 1.5 Bath	2	64	12
Unit Type K	2 Bed / 1 Bath		73	7
Unit Type L	2 Bed / 1 Bath	<u>'</u> 1	62	6
5 yp 5 _	123007.200.	<u> </u>		
3 BEDROOM				
Unit Type M	3 Bed / 1.5 Bath	7	89	62
Unit Type N	3 Bed / 1.5 Bath	2	87	17
Unit Type O	3 Bed / 1.5 Bath	1	88	8
Unit Type P**	3 Bed / 1.5 Bath	1	106	10
Unit Type Q	3 Bed / 1.5 Bath	1	89	8
4 BEDROOM				
Unit Type R	4 Bed / 1.5 Bath	2	108	21
Unit Type S	4 Bed / 1.5 Bath	2	114	22
Unit Type T	4 Bed / 1.5 Bath	2	98	19
	TOTALS			5,83
	<u>.</u>			,
	7	TOWNHOUSES 1	1,2 & 3	
2 BEDROOM				
2B T1	2 Bed / 1 Bath	8	83	66
2B T1A	2 Bed / 1 Bath	10	84	84
2B T2	2 Bed / 1 Bath	8	89	71
2B T2A	2 Bed / 1 Bath	10	90	90
2B T3	2 Bed / 1 Bath	3	81	24
2B T3A	2 Bed / 1 Bath	1	82 81	8 16
2B T3B 2B T4	2 Bed / 1 Bath 2 Bed / 1 Bath	2	89	35
2B T4A	2 Bed / 1 Bath	<u>4</u> 1	90	9
2B T4B	2 Bed / 1 Bath	2	89	17
2B T5A	2 Bed / 1 Bath	1	81	8
2B T6A	2 Bed / 1 Bath	<u>.</u> 1	89	8
2B T7	2 Bed / 1 Bath	1	82	8
2B T8	2 Bed / 1 Bath	1	87	8
2B T9	2 Bed / 1 Bath	1	79	7
2B T10	2 Bed / 1 Bath	1	87	8
2B T11**	2 Bed / 1 Bath	2	104	20
2 DEDDOOM				
3 BEDROOM	2 Dod / 1 E Doth	2	110	22
3B T1	3 Bed / 1.5 Bath	2	118	23
4 BEDROOM				
4B T1	4 Bed / 1.5 Bath	2	130	26
	TOTALS	61		5,43
		SUMMAR	(
	NITS	QUANTITY		
Studio		14		
1 Bed		45		
2 Bed		77	-	
3 Bed 4 Bed		<u>14</u> 8	-	
TOTAL		158		
TOTAL UNIT AF	ZFΔ	130		11,27
I O I AL UNIII AI	\ _			11,27

FUNCTION	DESCRIPTION OF UNITS/SPACES	m²/UNIT OR	No. OF UNITS	TOTAL m²
a.) RESIDENTIAL UNITS*	Studios		14	47
,	1 Bedroom		45	2,2
*See Table 1.5 - Unit Matrix for specific			77	6,3
unit type information.	3 Bedroom		14	1,3
unit type information.	4 Bedroom		8	9
RESIDENTIAL UNIT TOTAL	4 Beulooni		158	11,2
b.) RESIDENT'S AMENITY	ADT 1 Laundry Poom			
D.) RESIDENT S AWIENTT	APT 1 - Laundry Room			
	APT 2 - Laundry Room			
	APT 2 - Multipurpose Room			1
	APT 2 - Common Washroom			
RESIDENT'S AMENITY TOTAL				1
c.) CIRCULATION				
APARTMENT 1				
	Corridors and Lobby			3
Total of areas Levels 1 - 4	Stairs			1
	Elevators			
APARTMENT 2	•		l.	
·· =	Corridors and Lobby			3
Total of areas Levels 1 - 5	Stairs			<u>5</u> 1
rotal of alcas Levels 1 - 0	Elevators	+		<u> </u>
TOWNHOUSE 1	LIEVAIUIS			
TOWNHOUSE 1	Comidons and Lable		ı	
T / I / I I O O /	Corridors and Lobby			
Total of areas Levels 0 & 1	Stairs			
	Elevators			
TOWNHOUSES 2 & 3				
No interior public or semi-public	n/a	n/a	n/a	n/a
circulation spaces.	li/a	11/a	II/a	11/a
CIRCULATION TOTAL				1,0
d.) SERVICE ROOMS				
Located above grade.				
Localed above grade.				
ADADTMENIT 1				
APARTMENT 1	Janitaria Dagra			
APARTMENT 1 Total of areas Levels 1 - 4	Janitor's Room			
Total of areas Levels 1 - 4	Janitor's Room Electrical Closets			
	Electrical Closets			
Total of areas Levels 1 - 4 APARTMENT 2	Electrical Closets Janitor's Room			
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5	Electrical Closets			
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5	Electrical Closets Janitor's Room			
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5	Electrical Closets Janitor's Room			
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1	Janitor's Room Electrical Closets			
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1	Janitor's Room Electrical Closets Storage Room			
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1	Janitor's Room Electrical Closets			TOTAL
Total of areas Levels 1 - 4 APARTMENT 2	Janitor's Room Electrical Closets Storage Room			TOTAL
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL	Janitor's Room Electrical Closets Storage Room			TOTAI m²
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA	Janitor's Room Electrical Closets Storage Room			11,2
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY	Janitor's Room Electrical Closets Storage Room			TOTAI m² 11,2
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION	Janitor's Room Electrical Closets Storage Room			TOTAI m² 11,2 1
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS	Janitor's Room Electrical Closets Storage Room			TOTAI m² 11,2
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA)	Janitor's Room Electrical Closets Storage Room			m² 11,2 1 1,0
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS F.) GROSS LIVABLE AREA (GLA)	Janitor's Room Electrical Closets Storage Room			m² 11,2 1 1,0
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA) (a + b + c + d)	Janitor's Room Electrical Closets Storage Room			m² 11,2 1 1,0
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA) (a + b + c + d) Overall Building Efficiency	Janitor's Room Electrical Closets Storage Room			TOTAI m² 11,2 1
Total of areas Levels 1 - 4 APARTMENT 2 Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS	Janitor's Room Electrical Closets Storage Room			m² 11,2 1 1,0

1.6 - FUNCTIONAL PROGRAM

CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018

PARKADE
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)

BELOW GRADE PARKADE GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS OF ALL BUILDINGS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED FIRE SUPPRESSION - FULL SPRINKLERED ALLOWABLE HEIGHT - ANY HEIGHT ALLOWABLE AREA - ANY AREA CONSTRUCTION - NON COMBUSTIBLE FLOOR ASSEMBLIES - 2 HOUR SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION FIRE SUPPRESSION - FULL SPRINKLERED

HEIGHT - 1 STOREY
AREA - 3905 SM
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLY - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

PARTMENT 1

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.51 - GROUP C, UP TO 4 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 4 STOREYS
ALLOWABLE AREA - 1800 SM (BASED ON FOUR STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION

ROOF ASSEMBLY - NONE

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 4 STOREYS
AREA - 872 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

APARTMENT 2

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS & 18 M
ALLOWABLE AREA - 1800 SM (BASED ON FIVE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - 1 HOUR

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 5 STOREYS, 14.96 M
AREA - 831 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - 1 HOUR

TOWNHOUSE 1

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 3 STOREYS
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED HEIGHT - 3 STOREYS WITH BASEMENT AREA - 645 SM CONSTRUCTION - COMBUSTIBLE FLOOR ASSEMBLY - 45 MIN. SUPPORTING WALLS AND STRUCTURE - 45 MIN. ROOF ASSEMBLY - NONE

TOWNHOUSE 2

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 3 STOREYS
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 3 STOREYS WITH BASEMENT
AREA - 645 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF ASSEMBLY - NONE

WNHOUSE 3

OCCUPANCY CLASSIFICATIONS (TABLE 9.10.2.1)
GROUP C - RESIDENTIAL

FIRE-RESISTANCE RATINGS (TABLE 9.10.8.1)

USE - RESIDENTIAL (GROUP C)
MAXIMUM HEIGHT - 3 STOREYS
MAXIMUM AREA - 600 SM
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION

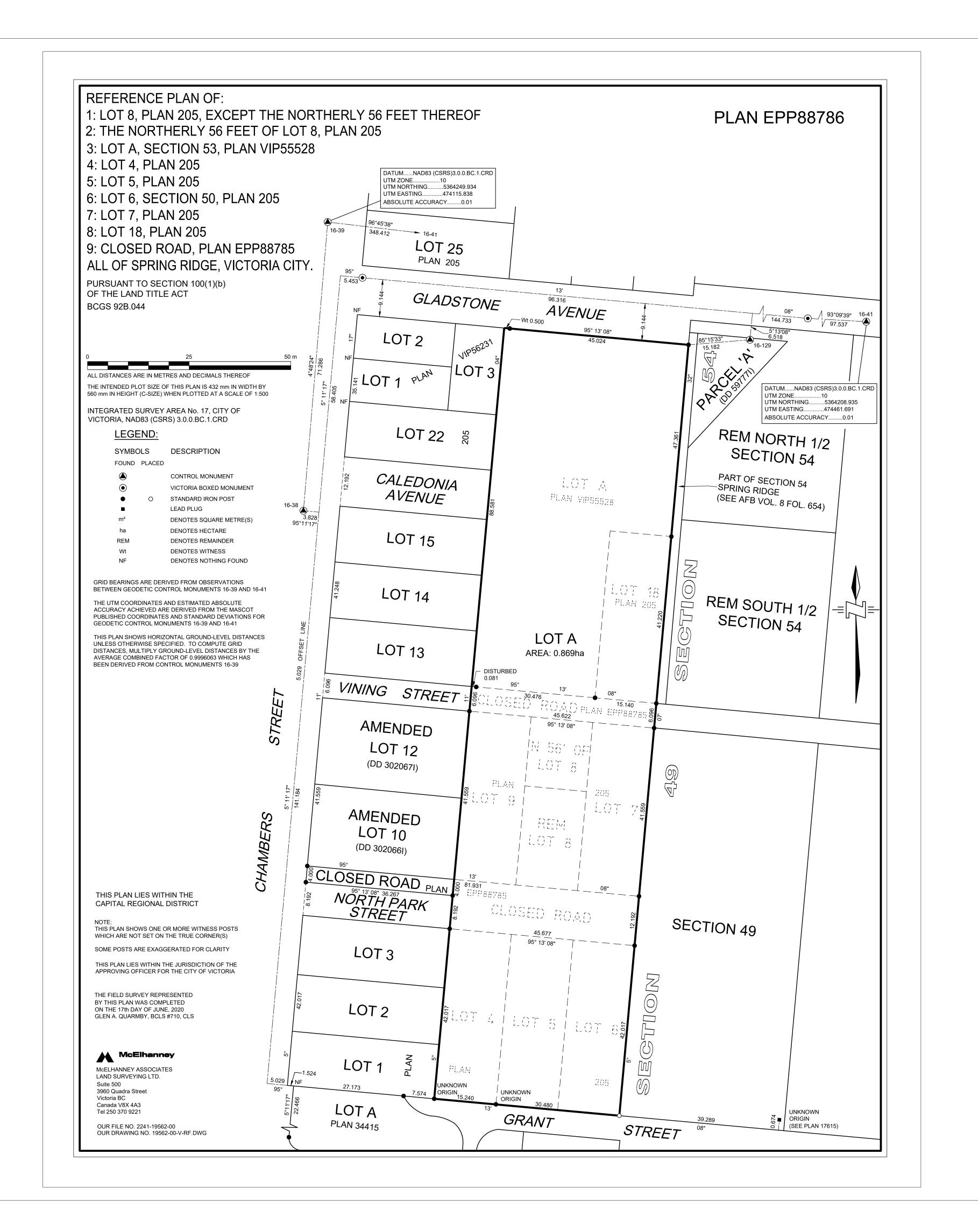
FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 3 STOREYS WITH BASEMENT
AREA - 253 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF ASSEMBLY - NONE

		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A001 Project Data.vwx
drawn by		NLC	checked by	CRK
scale		N.T.S.	project number	1907

NOTE: All dimensions are shown in millimeters.

dHKa VICTORIA OFFICE	dHK arc	
977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8
caledonia		
Victoria BC		
Project Data		
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	21-03-16		90% Review
	21-01-27		Issued for 90% BP Coordination
Date	20-11-25	Description	Issued for 50% Coordination
	21-03-16	drawing file	1907.3 A001 Project Data.vwx
	NLC	checked by	CRK
	N.T.S.	project number	1907
	Date	21-01-27 Date 20-11-25 21-03-16 NLC	21-01-27 Date 20-11-25 Description 21-03-16 drawing file NLC checked by

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NOTE: All dimensions are shown in millimeters.

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EXTERIOR WALL ASSEMBLIES

WALL TYPE NO.	WALL ASSEMBLY (PLAN)	CONSTRUCTION	CALCULATED EFFECTIVE R-VALUE	NOTES
WE1	WE1a WE1b WE1c WE1d Grid	FIBRE CEMENT CLADDING 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX (See Struct.) 75mm RIGID MINERAL WOOL INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE WE1a,c: 13mm PLYWOOD SHEATHING WE1b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) R14 min. 89mm FIBREGLASS BATT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER WE1c only: 13mm PLYWOOD SHEATHING WE1b only: 16mm PLYWOOD SHEATHING 16mm TYPE 'X' GYPSUM WALLBOARD	R26 EFF	FIBRE CEMENT PANEL OR FIBRE CEMENT SHINGLE OR FIBRE CEMENT LAPPED SIDING SEE ELEVATIONS FOR CLADDING LOCATIONS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS
WE2 WE2a	WE2 WE2a	FIBRE CEMENT CLADDING 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX 75mm RIGID MINERAL WOOL INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE WE2: 13mm PLYWOOD SHEATHING WE2a: 16mm PLYWOOD SHEATHING 38 x 140mm WOOD STUDS @ 400mm O.C. MAX R20 140mm FIBERGLASS BATT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER 16mm TYPE 'X' GYPSUM WALLBOARD	R31 EFF	FIBRE CEMENT PANEL OR FIBRE CEMENT SHINGLE OR FIBRE CEMENT LAPPED SIDING SEE ELEVATIONS FOR CLADDING LOCATIONS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
WE3	- Grid	90 mm BRICK VENEER (200mm MODULE) 26 mm AIR CAVITY SLOTTED BRICK TIES WITH INSULATION RETAINER 75mm RIGID MINERAL WOOL INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE 13mm PLYWOOD SHEATHING (See Struct.) 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) R14 min. 89mm FIBREGLASS BATT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER 16mm TYPE 'X' GYPSUM WALLBOARD	R26 EFF	BRICK VENEER CLAD EXTERIOR WALL
WE4	See struct.	DRAINAGE MAT BITUMINOUS DAMPPROOFING REINFORCED CONCRETE (see Struct. for KIM admix specs.)	R1.5 EFF	PARKADE EXTERIOR BELOW GRADE
WE5	See struct.	PAINT FINISH OR SBS MEMBRANE (see Spec.) REINFORCED CONCRETE (see Struct.)	R1.3 EFF	PARKADE EXTERIOR
WE6	See struct.	DRAINAGE MAT AND FILTER CLOTH LIQUID APPLIED WATERPROOFING MEMBRANE (60 mil DRY FILM THICKNESS) REINFORCED CONCRETE (See Struct.) 50 mm XPS BOARD INSULATION C/W P.T. WOOD BATTENS 0.15 POLY VAPOUR BARRIER 13 mm GYPSUM WALLBOARD	R12 EFF	PARKADE EXTERIOR BELOW GRADE INSULATED
WE7	See struct.	DRAINAGE MAT AND FILTER CLOTH LIQUID APPLIED WATERPROOFING MEMBRANE (60 mil DRY FILM THICKNESS) REINFORCED CONCRETE (See Struct.) 13 mm AIR GAP 38x89 mm P.T. WOOD STUDS @ 400 mm O.C. MAX RSI - 2.47 (R14) BATT INSULATION 0.15mm POLY VAPOUR BARRIER 13 mm GYPSUM WALLBOARD	R12 EFF	BELOW GRADE BASEMENT WALL
WE8		FIBRE CEMENT PANEL 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX (See Struct.) 75mm SEMI-RIGID INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE PLYWOOD SHEATHING (Refer to Struct. Shear wall Schedule for minimum thickness) 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. RSI 2.1 ACOUSTIC BATT INSULATION 25mm AIRSPACE 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. RSI 2.1 ACOUSTIC BATT INSULATION 6 mil. POLY VAPOUR BARRIER 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	R36 EFF	ELEVATOR SHAFT WALL ABOVE ROOF SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
WE9		FIBRE CEMENT PANEL 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX 75mm SEMI-RIGID INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE PLYWOOD SHEATHING (Refer to Struct. Shear wall Schedule for minimum thickness) 38 x 89mm WOOD STUDS @ 400mm O.C. R14 min. 89mm FIBREGLASS BAT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	R23.9 EFF	POP-UP ROOF WALLS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
WE10		FIBRE CEMENT PANEL 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX 75mm SEMI-RIGID INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS @ 400mm O.C. R14 min. 89mm FIBREGLASS BAT INSULATION TO FILL CAVITY 16mm PLYWOOD SHEATHING VAPOUR PERMEABLE SHEATHING MEMBRANE 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX FIBRE CEMENT PANEL	N / A	FIN WALLS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.

INTERIOR WALL ASSEMBLIES

WALL TYPE NO.	WALL ASSEMBLY (PLAN)	CONSTRUCTION	FIRE RATING	STC RATING	NOTES
W1	115	13mm GYPSUM WALLBOARD 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) 13mm GYPSUM WALLBOARD	N/A	N/A	TYPICAL INTERIOR PARTITION
W2	W2 W2a W2b W2c W2d	16mm TYPE 'X' GYPSUM WALLBOARD W4a,c: 13mm PLYWOOD SHEATHING W4b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) W4c: 13mm PLYWOOD SHEATHING W4d: 16mm PLYWOOD SHEATHING 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	N/A	TYPICAL INTERIOR PARTITION - RATED SUPPORTING WALL SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
W3	221	16mm TYPE 'X' GYPSUM WALLBOARD 38 x 140mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) 140mm MINERAL WOOL BATT INSULATION 16mm TYPE 'X' GYPSUM WALLBOARD	N/A	32 BCBC 2018 Table 9.10.3.1A Wall Type W1c sim.	PLUMBING PARTITION
W4	* NOTE: NO PENETRATIONS BACK TO BACK	16mm TYPE 'X' GYPSUM WALLBOARD 6 mil POLY AIRTIGHTNESS LAYER (on suite side only) W4a,c: 13mm PLYWOOD SHEATHING W4b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX ON 38 x 140mm PLATE (See Struct.) 2 layers 65mm ACOUSTIC BATT INSULATION one each side W4c: 13mm PLYWOOD SHEATHING W4d: 16mm PLYWOOD SHEATHING 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	52 BCBC 2018 Table 9.10.3.1A Wall Type W8a sim.	CORRIDOR PARTITION STAIR SEPARATION SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
W 5	*NOTE: NO PENETRATIONS BACK TO BACK	16mm TYPE 'X' GYPSUM WALLBOARD 6 mil POLY AIRTIGHTNESS LAYER (coord. location on site) W5a,c: 13mm PLYWOOD SHEATHING W5b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION W5c: 13mm PLYWOOD SHEATHING W5d: 16mm PLYWOOD SHEATHING 25mm AIRSPACE 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	61 BCBC 2018 Table 9.10.3.1A Wall Type W14a sim.	SUITE SEPARATION PARTITION ELEVATOR SHAFT [COORDINATE BLOCKING FOR ELEVATOR] SEE STRUCTURAL FOR SINGLE-SIDED SHEAR WALL LOCATIONS.
W6	*NOTE: NO PENETRATIONS BACK TO BACK	16mm TYPE 'X' GYPSUM WALLBOARD 6 mil POLY AIRTIGHTNESS LAYER (coordinate location on site) W6a,c: 13mm PLYWOOD SHEATHING W6b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION W6c: 13mm PLYWOOD SHEATHING W6d: 16mm PLYWOOD SHEATHING 25mm AIRSPACE W6c: 13mm PLYWOOD SHEATHING W6d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION W6a,c: 13mm PLYWOOD SHEATHING W6b,d: 16mm PLYWOOD SHEATHING	1 HR	61 BCBC 2018 Table 9.10.3.1A Wall Type W14a sim.	SUITE SEPARATION PARTITION SEE STRUCTURAL FOR DOUBLE-SIDED SHEAR WALL LOCATIONS.
W7	see struct.	REINFORCED CONCRETE WALL (see Struct.)	1 HR 1.5 HR 2 HR	N/A	CONCRETE PARTITION
W 8	A A A A A A A A A A A A A A A A A A A	REINFORCED CONCRETE WALL (see Struct.) 50mm POLY-ISO RIGID INSULATION ADHERED TO BLOCK 13mm GYPSUM WALLBOARD ADHERED TO INSULATION	1 HR 1.5 HR 2 HR	N/A	CONCRETE PARTITION [INSULATED AT PARKADE ELEVATOR LOBBIES]
W 9		190mm REINFORCED CONCRETE BLOCK (HOLLOW CORE UNITS TO BE ULC RATED)	1 HR 1.5 HR 2 HR	N/A	CONCRETE BLOCK PARTITION
W10	253	190mm REINFORCED CONCRETE BLOCK (HOLLOW CORE UNITS TO BE ULC RATED) 50mm POLY-ISO RIGID INSULATION ADHERED TO BLOCK 13mm GYPSUM WALLBOARD ADHERED TO INSULATION Effective R-Value: R12	2HR	N/A	CONCRETE BLOCK PARTITION [INSULATED AT PARKADE ELEVATOR LOBBIES]
W11	140	140 mm CONCRETE BLOCK FILLED WITH CONCRETE - interior and exterior finish as specified	1.5 HR 2HR	N/A	HOLLOW CORE UNITS TYPE L2 20S CONCRETE 15 MPA 28 DAYS
WH0	\tag{\tag{8}}	16 mm TYPE 'X' GYPSUM WALLBOARD 38 x 89mm WOOD STUDS ON FLAT @ 400mm O.C. ± 6mm AIRSPACE TO ADJACENT CONSTRUCTION	N/A	N/A	INTERIOR FURRED PARTITION
WH1	105	16 mm TYPE 'X' GYPSUM WALLBOARD 38 x 89mm WOOD STUDS @ 400mm O.C. ± 6mm AIRSPACE TO ADJACENT CONSTRUCTION	N/A	N/A	INTERIOR FURRED PARTITION
WH2	156	16 mm TYPE 'X' GYPSUM WALLBOARD 38 x 140mm WOOD STUDS @ 400mm O.C. ± 6mm AIRSPACE TO ADJACENT CONSTRUCTION	N/A	N/A	INTERIOR FURRED PARTITION
WS1		16 mm TYPE 'X' GYPSUM WALLBOARD 64 mm C-H STEEL STUDS @ 600mm O.C. 25 mm GYPSUM SHAFT LINER PANEL	1 HR	N/A	SHAFT WALL

Assemblies Notes

- Calculation of Fire Resistance Rating including Table D-2.3.4.A and Table D-2.3.4.E:
- 15.9 mm Type 'X' gwb 40 minutes
 Wd Studs 400 mm o.c. 20 minutes
 Total Fire Resistance 60 minutes
 Interior vertical fire separations shall be rated from both sides and include a gwb membrane on both
- both sides and include a gwb membrane on both sides (D-2.3.5.(1)).
 190 mm Hollow Concrete Units type N/S concrete: equivalent thickness 106 mm providing a Fire Resistance Rating of up to 1.5 hr (Table D-2.1.1). For 2hr F.R.R. grout block solid or provide ULC 2hr labeled block.
- 4. 1hr Fire Resistance Rating of ceiling membrane per BCBC 3.1.7.1.(4) on the basis of M2 in Table A-9.10.3.1.B. Openings permitted not in conformance to the requirements of Appendix D (BCBC 3.1.9.5.(1)).
- 5. All roof spaces to maintain minimum 63 mm clearance between top of batt insulation and u/s sheathing and be vented in accordance with BCBC 9.19.1.2 (minimum).
 6. Engineered cladding shop drawing is required for exterior wall assemblies.
- Tytorior oir barrier membrane must be installed a
- Exterior air barrier membrane must be installed as per manufacture recommendations.
- The suffix 'i' indicates the addition of mineral wool batt insulation to interior wall type noted.

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		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
olot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx
drawn by		LGF	checked by	CRK
scale		N.T.S.	project number	1907

NOTE: All dimensions are shown in millimeters.

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Dublin V Nanaimo BC V97 T 1•250•585•5810
project name Caledonia	
Victoria BC	
Wall Assemblies	

ELOOD VOCEMBLIES

FLOOR TYPE NO.	FLOOR ASSEMBLY (SECTION)	CONSTRUCTION	FIRE RATING	STC RATING	NOTES
F1		FLOOR FINISH AS SPECIFIED 38mm LIGHTWEIGHT GYPSUM-CONCRETE TOPPING LOW COMPRESSION SOUND MAT 16mm T&G PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) RSI 4.9 ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 400mm O.C. 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	68 BCBC 2018 Table 9.10.3.1B Floor Type F38c sim.	TYPICAL FLOOR (FIRE SEPARATION)
F2		FLOOR FINISH AS SPECIFIED 38mm LIGHTWEIGHT GYPSUM-CONCRETE TOPPING LOW COMPRESSION SOUND MAT 16mm T&G PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) 1 LAYERS 13mm GYPSUM WALLBOARD	45 MIN	43 BCBC 2018 Table 9.10.3.1B Floor Type F35e sim.	TYPICAL FLOOR WITHIN TWO LEVEL SUITE
F3	1 HR F.R.R. BY MEMBRANE ONLY NO PENETRATIONS (D-2.3.12)	FLOOR FINISH AS SPECIFIED 38mm LIGHTWEIGHT GYPCRETE TOPPING LOW COMPRESSION SOUND MAT 16mm T&G PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) RSI 2.1 ACOUSTIC BATT INSULATION 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD WITH NO PENETRATIONS OR OPENINGS PERMITTED (D-2.3.12) MECHANICAL CAVITY HANGERS (layout and spacing per Struct.) T-BARS (layout and spacing per plan) ACOUSTIC CEILING (see Specification)	1 HR	N/A	TYPICAL CORRIDOR FLOOR & CEILING
F4		FLOOR FINISH AS SPECIFIED REINFORCED CONCRETE SUSPENDED SLAB (see Struct.) SPRAY APPLIED FIBROUS INSULATION Effective R-Value : R15	2 HR	52 ⁺ BCBC 2018 Table 9.10.3.1B Floor Type F1b	MAIN FLOOR SUSPENDED SLAB
F5		VEHICULAR TRAFFIC MEMBRANE STRUCTURAL CONCRETE SLAB SLOPED TO DRAINS (see Struct.)	N/A	N/A	TYPICAL SUSPENDED PARKADE SLAB AND INTERNAL RAMPS
F6		CONCRETE SEALER STRUCTURAL CONCRETE SLAB SLOPED TO DRAINS (See Struct.) 10 mil POLY VAPOUR BARRIER (see Specifications) 150mm MIN. COMPACTED GRANULAR FILL	N/A	N/A	SLAB ON GRADE

DECK ASSEMBLIES

DECK TYPE NO.	DECK ASSEMBLY (SECTION)	CONSTRUCTION	NOTES
D1		VINYL DECK MEMBRANE 16mm PLYWOOD SHEATHING DECK JOISTS TAPERED MIN. 2% SLOPE TO DRAIN (sizing and spacing per Struct.) SOFFIT CLADDING AS SPECIFIED	BALCONY ASSEMBLY
D2		CONCRETE PAVERS OR C.I.P. CONCRETE PATHWAYS (see Landscape drawings and specs.) MINIMUM 50mm DRAINAGE MEDIUM DRAINAGE COMPOSITE PROTECTION BOARD 2 PLY SBS MODIFIED ROOF MEMBRANE STRUCTURAL CONCRETE SLAB MIN. 2% SLOPE TO DRAIN (see Struct.)	GROUND FLOOR PATIOS OR PATHWAYS
D3		GROWING MEDIUM: REFER TO LANDSCAPE ARCHITECT'S DRAWINGS AND SPECIFICATIONS FOR SOIL DEPTHS REQUIRED (Grass, Shrubs, Trees). NOTE: Maximum soil depth of 600mm - provide light weight filler (rigid insulation) to bring soil depths up to correct profiles. Refer to Mechanical for location of perforated drain pipes within planters. DRAINAGE COMPOSITE PROTECTION BOARD ROOT BARRIER (See Landscape for extent) 2 PLY SBS MODIFIED ROOF MEMBRANE STRUCTURAL CONCRETE SLAB MIN. 2% SLOPE TO DRAIN (see Struct.)	LANDSCAPED DECKS AND PLANTERS
D4		DECORATIVE ROCK 200mm MAX (see Landscape) DRAINAGE COMPOSITE PROTECTION BOARD 2 PLY SBS MODIFIED ROOF MEMBRANE STRUCTURAL CONCRETE SLAB MIN. 2% SLOPE TO DRAIN (see Struct.)	DRAINAGE BORDERS
D5		0.5mm URETHANE TRAFFIC TOPPING WEAR COURSE WITH AGGREGATE (heavy duty application required) 1.0mm URETHANE TRAFFIC TOPPING WATERPROOFING STRUCTURAL CONCRETE DECK MIN. 2% SLOPE TO DRAINS (see Struct.)	PARKING RAMP

ROOF ASSEMBLIES

ROOF TYPE NO.	ROOF ASSEMBLY (SECTION)	CONSTRUCTION	CALCULATED EFFECTIVE R VALUE	NOTES
R1	sloped roof 1 : 12	2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) 1 LAYER 13mm GYPSUM WALLBOARD	R33.5 EFF	MAIN ROOF - Apartment 1
R1r	sloped roof 1 : 12	2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD	R33.5 EFF	MAIN ROOF - Apartment 2 1 HR FRR REQUIRED AT ROOF BCBC 3.1.7.1.(4) - M2 in table A-9.10.3.1.B ⁴
R2		2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) TAPERS MIN. 2% SLOPE TO DRAIN ROOF JOISTS (sizing and spacing per Struct.) 1 LAYER 13mm GYPSUM WALLBOARD	R28 EFF	TYPICAL FLAT ROOF - Apartment 1 1 HR FRR REQUIRED AT ROOF BCBC 3.1.7.1.(4) - M2 in table A-9.10.3.1.B ⁴
R2r		2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) TAPERS MIN. 2% SLOPE TO DRAIN ROOF JOISTS (sizing and spacing per Struct.) 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD	R28 EFF	TYPICAL FLAT ROOF - Apartment 2 1 HR FRR REQUIRED AT ROOF BCBC 3.1.7.1.(4) - M2 in table A-9.10.3.1.B4
R3	VENT AREA NOT LESS THAN 1/150 OF INSULATED CEILING AREA	ASPHALT ROOF SHINGLES ROOFING UNDERLAYMENT PLYWOOD ROOF SHEATHING (see Struct.) ENGINEERED WOOD TRUSSES (see Struct.) RSI 7.0 (R40) THERMAL BATT INSULATION IN CAVITY 6 mil POLYETHYLENE SHEET 1 LAYER 13mm GYPSUM WALLBOARD	R36 EFF	TOWNHOUSE ROOF (See elevations for roof slope)
R4	sloped to drain - min. 2%	2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED TAPERED 38 x 89mm PURLINS @ 610mm O.C. MAX (provide 2% slope to drain) WOOD ROOF JOISTS (sizing and spacing per Struct.) SOFFIT CLADDING AS SPECIFIED	N/A	ENTRANCE CANOPY ROOF
R5		1.5 mm FULLY ADHERED VINYL DECK MEMBRANE 16 mm PLYWOOD SHEATHING 125 mm AVG. RIGID XPS INSULATION SLOPED TO DRAINS (75 mm MIN.) ADHERED VAPOUR BARRIER 16 mm PLYWOOD SHEATHING (See Struct.) DIMENSIONAL LUMBER/ENGINEERED ROOF JOISTS (see structural) 1 LAYER 13mm GYPSUM WALLBOARD	R28 EFF	DECK OVER HEATED SPACE

Assemblies Notes

Calculation of Fire Resistance Rating including Table D-2.3.4.A and Table D-2.3.4.E:

15.9 mm Type 'X' gwb 40 minutes
Wd Studs 400 mm o.c.
Total Fire Resistance 60 minutes Interior vertical fire separations shall be rated from

both sides and include a gwb membrane on both sides (D-2.3.5.(1)). 190 mm Hollow Concrete Units type N/S concrete: equivalent thickness 106 mm providing a Fire Resistance Rating of up to 1.5 hr (Table D-2.1.1). For 2hr F.R.R. grout block solid or provide ULC 2hr labeled block.

but shall include outer membrane of sheathing and cladding with spaces between the studs filled with insulation conforming to CAN/ULC-702, "mineral Fibre Thermal Insulation for Buildings" and having a mass of not less than 1.22 kg/m² if wall surface (D-2.3.5.(2)).

4. 1hr Fire Resistance Rating of ceiling membrane per BCBC 3.1.7.1.(4) on the basis of M2 in Table A-9.10.3.1.B. Openings permitted not in conformance to the requirements of Appendix D (BCBC 3.1.9.5.(1)).

All roof spaces to maintain minimum 63 mm clearance between top of batt insulation and u/s sheathing and be vented in accordance with BCBC 9.19.1.2 (minimum).

Engineered cladding shop drawing is required for exterior wall assemblies.

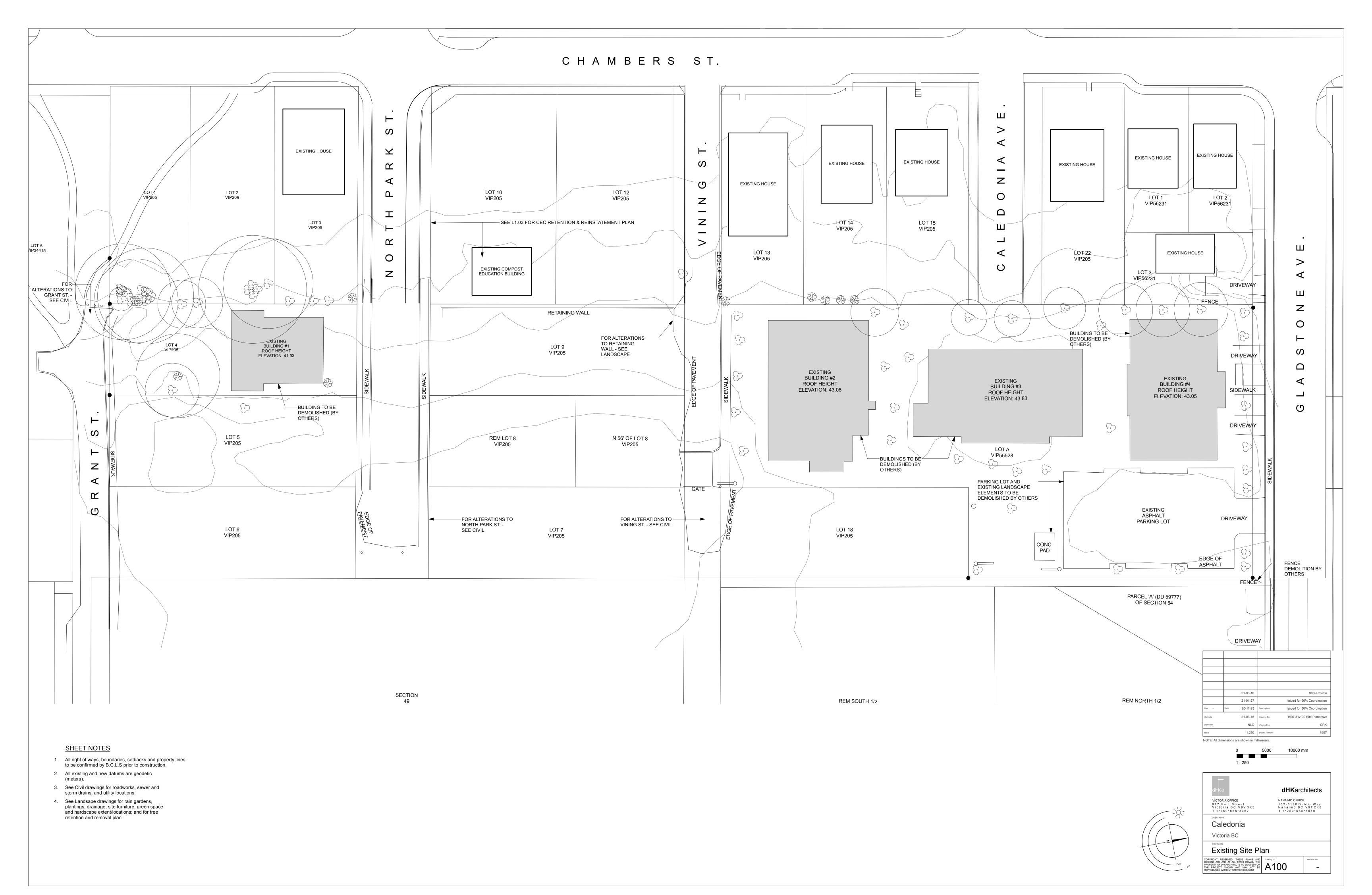
7. Exterior air barrier membrane must be installed as per manufacture recommendations.

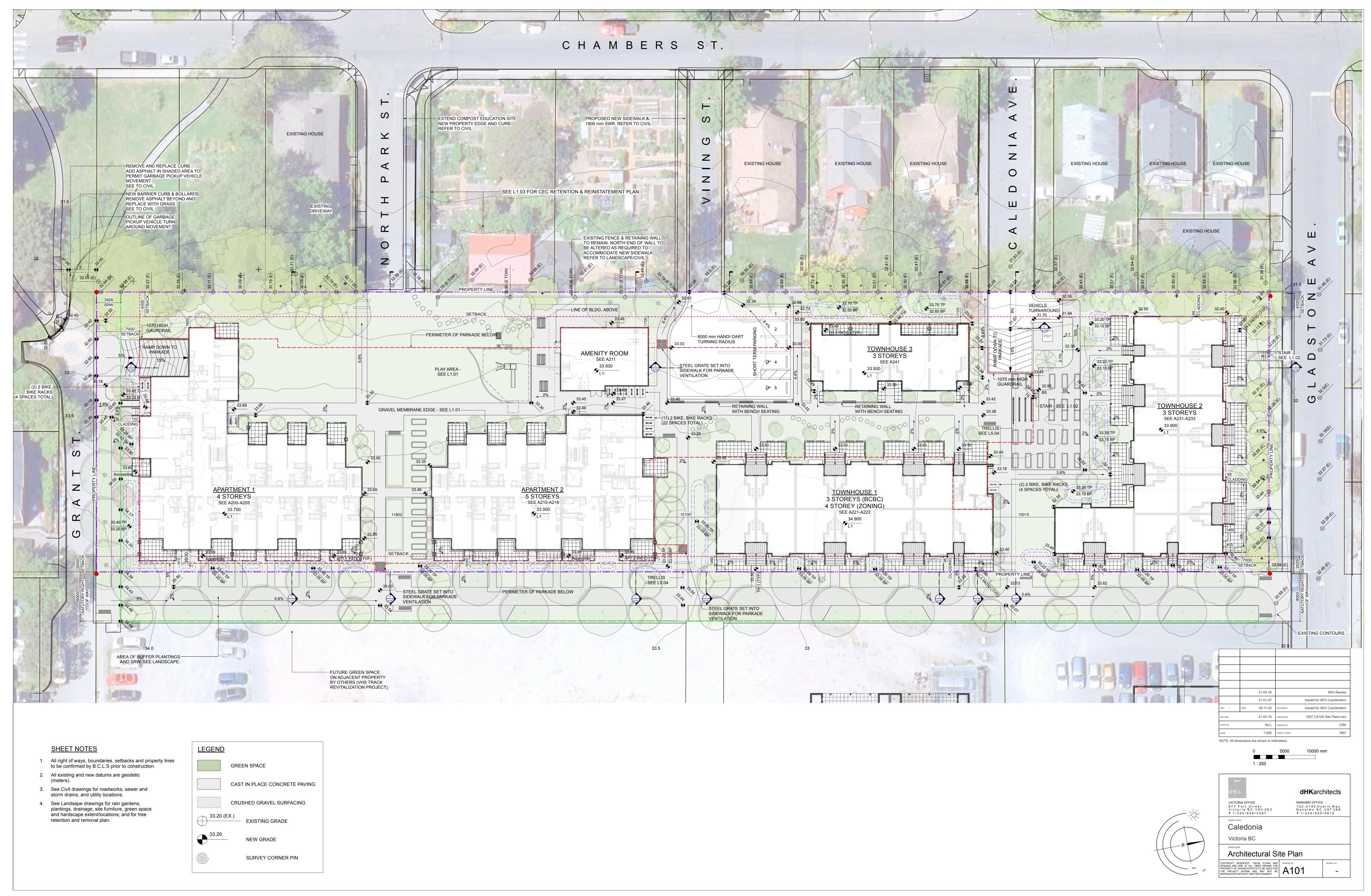
The suffix 'i' indicates the addition of mineral wool batt insulation to interior wall type noted.

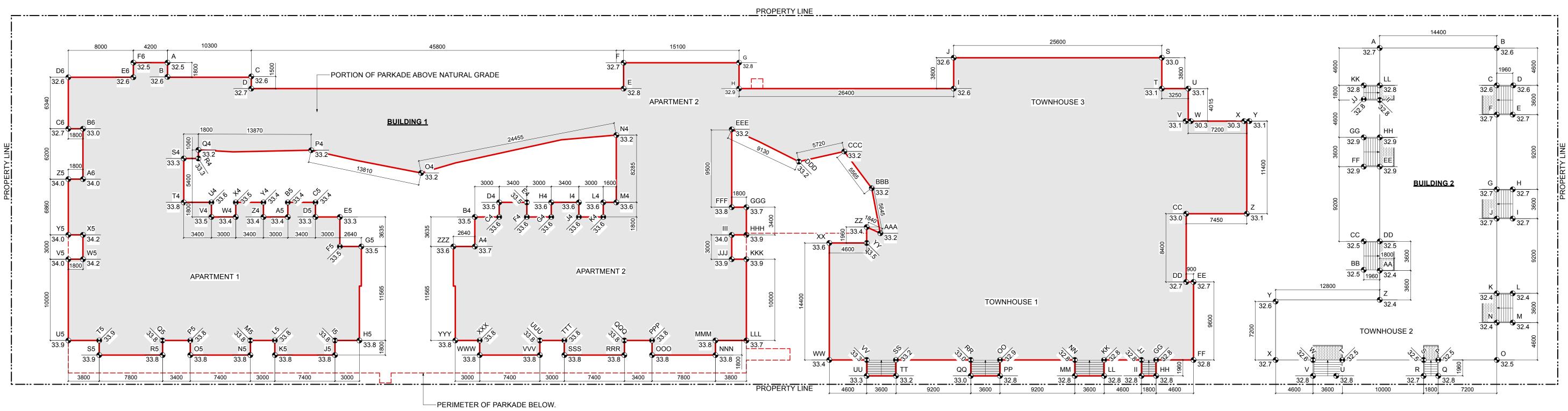
		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
ev -	Date	20-11-25	Description	Issued for 50% Coordination
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rawn by		LGF	checked by	CRK
cale		N.T.S.	project number	1907
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NOTE: All dimensions are shown in millimeters.

VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367	dHKarc NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1-250-585	blin Way
project name		
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Caledonia		
Victoria BC		
drawing title		
Floor & Roof As	ssemblies	
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF DHIKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT	A011	revision no.







A102 Average Grade
Scale: 1:250

BUILDING 1 - AVERAGE GRADE CALCULATION

INCLUDES SUM OF ALL PORTION OF BUILDINGS OVER PARKADE:

- 1.) APARTMENT 1 2.) APARTMENT 2 3.) TOWNHOUSE 1 4.) TOWNHOUSE 3

BUILDING 1								
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL		
A&B	32.5	32.6	2	32.6	1.80	58.6		
B&C	32.6	32.6	2	32.6	10.30	335.8		
C&D	32.6	32.7	2	32.7	1.50	49.0		
D&E	32.7	32.8	2	32.8	45.80	1500.0		
E&F	32.8	32.7	2	32.8	3.20	104.8		
F&G	32.7	32.8	2	32.8	15.10	494.5		
G&H	32.8	32.9	2	32.9	3.20	105.1		
H&I	32.9	32.6	2	32.8	26.40	864.6		
I&J	32.6	32.6	2	32.6	3.80	123.9		
J&S*	32.6	33.0	2	32.8	25.60	839.7		
S&T	33.0	33.1	2	33.1	3.80	125.6		
T&U	33.1	33.1	2	33.1	3.20	105.9		
U&V	33.1	33.1	2	33.1	4.02	132.9		
V&W	33.1	30.3	2	31.7	0.00	0.0		
W&X	30.3	30.3	2	30.3	7.20	218.0		
X&Y	30.3	33.1	2	31.7	0.00	0.0		
Y&Z	33.1	33.1	2	33.1	11.40	377.3		
Z&CC*	33.1	33.0	2	33.1	7.45	246.2		
CCⅅ	33.0	32.7 32.7	2	32.9 32.7	8.40	275.9 29.4		
DD&EE EE&FF	32.7 32.7	32.7	2	32.7	0.90	314.4		
FF&GG	32.7	32.8	2	32.8	9.60 4.60	150.9		
GG&HH	32.8	32.8	2	32.8	1.96	64.3		
HH&II	32.8	32.8	2	32.8	1.80	59.0		
II&JJ	32.8	32.8	2	32.8	1.96	64.3		
JJ&KK	32.8	32.8	2	32.8	4.60	150.9		
KK&LL	32.8	32.8	2	32.8	1.96	64.3		
LL&MM	32.8	32.8	2	32.8	3.60	118.1		
MM&NN	32.8	32.8	2	32.8	1.96	64.3		
NN&OO	32.8	32.9	2	32.9	9.20	302.2		
OO&PP	32.9	32.8	2	32.9	1.96	64.4		
PP&QQ	32.8	33.0	2	32.9	3.60	118.4		
QQ&RR	33.0	33.0	2	33.0	1.96	64.7		
RR&SS	33.0	33.2	2	33.1	9.20	304.5		
SS&TT	33.2	33.2	2	33.2	1.96	65.1		
TT&UU	33.2	33.3	2	33.3	3.60	119.7		
UU&VV	33.3	33.3	2	33.3	1.96	65.3		
VV&WW	33.3	33.4	2	33.4	4.60	153.4		
WW&XX	33.4	33.6	2	33.5	14.40	482.4		
XX&YY	33.6	33.5	2	33.6	4.60	154.3		
YY&ZZ	33.5	33.4	2	33.5	1.96	65.6		
ZZ&AAA	33.4	33.2	2	33.3	1.84	61.3		
AAA&BBB	33.2	33.2	2	33.2	5.65	187.4		
BBB&CCC	33.2	33.2	2	33.2	5.57	184.8		
CCC&DDD	33.2	33.2	2	33.2	5.72	189.9		
DDD&EEE	33.2	33.2	2	33.2	9.13	303.1		
EEE&FFF	33.2	33.8	2	33.5	9.50	318.3		
FFF&GGG	33.8	33.7	2	33.8	1.80	60.8		
GGG&HHH	33.7	33.9	2	33.8	3.40	114.9		
HHH&III	33.9	34.0	2	34.0	1.80	61.1		
III&JJJ	34.0	33.9	2	34.0	3.00	101.9		
JJJ&KKK KKK&LLL	33.9 33.9	33.9 33.7	2	33.9 33.8	1.80 10.00	61.0 338.0		

LLL&MMM	33.7	33.8	2	33.8	3.80	128.3
MMM&NNN	33.8	33.8	2	33.8	1.80	60.8
NNN&OOO	33.8	33.8	2	33.8	7.80	263.6
OOO&PPP	33.8	33.8	2	33.8	1.80	60.8
PPP&QQQ	33.8	33.8	2	33.8	3.40	114.9
QQQ&RRR	33.8	33.8	2	33.8	1.80	60.8
RRR&SSS	33.8	33.8	2	33.8	7.40	250.1
SSS&TTT	33.8	33.8	2	33.8	1.80	60.8
TTT&UUU	33.8	33.8	2	33.8	3.00	101.4
UUU&VVV	33.8	33.8	2	33.8	1.80	60.8
VVV&WWW	33.8	33.8	2	33.8	7.40	250.1
WWW&XXX	33.8	33.8	2	33.8	1.80	60.8
XXX&YYY	33.8	33.8	2	33.8	3.00	101.4
YYY&ZZZ	33.8	33.6	2	33.7	11.57	389.7
ZZZ&A4	33.6	33.7	2	33.7	2.64	88.8
A4&B4	33.7	33.5	2	33.6	3.64	122.1
B4&C4	33.5	33.6	2	33.6	3.00	100.7
C4&D4	33.6	33.5	2	33.6	1.80	60.4
D4&E4	33.5	33.5	2	33.5	3.40	113.9
E4&F4	33.5	33.6	2	33.6	1.80	60.4
F4&G4	33.6	33.6	2	33.6	3.00	100.8
G4&H4	33.6	33.6	2	33.6	1.80	60.5
H4&I4	33.6	33.6	2	33.6	3.40	114.2
l4&J4	33.6	33.6	2	33.6	1.80	60.5
J4&K4	33.6	33.6	2	33.6	3.00	100.8
K4&L4	33.6	33.6	2	33.6	1.80	60.5
L4&M4	33.6	33.6	2	33.6	1.60	53.8
M4&N4	33.6	33.2	2	33.4	8.29	276.7
N4&O4	33.2	33.2	2	33.2	24.46	811.9
O4&P4	33.2	33.2	2	33.2	13.81	458.5
P4&Q4	33.2	33.2	2	33.2	13.87	460.5
Q4&R4	33.2	33.3	2	33.3	1.06	35.2
R4&S4	33.3	33.3	2	33.3	1.80	59.9
S4&T4	33.3	33.8	2	33.6	5.40	181.2
T4&U4	33.8	33.6	2	33.7	3.40	114.6
U4&V4	33.6	33.5	2	33.6	1.80	60.4
V4&W4 W4&X4	33.5	33.4	2	33.5	3.00	100.4
	33.4	33.5	2	33.5	1.80	60.2
X4&Y4	33.5 33.4	33.4	2	33.5 33.4	3.40	113.7
Y4&Z4	33.4	33.4			1.80	60.1 100.2
Z4&A5		33.4	2 2	33.4	3.00	60.1
A5&B5 B5&C5	33.4 33.4	33.4 33.4	2	33.4 33.4	1.80 3.40	113.6
C5&D5	33.4	33.3	2	33.4	1.80	60.0
D5&E5	33.3	33.3	2	33.3	3.00	99.9
E5&F5	33.3	33.5	2	33.4	3.64	121.4
F5&G5	33.5	33.5	2	33.5	2.64	88.4
G5&H5	33.5	33.8	2	33.7	11.57	389.2
H5&I5	33.8	33.8	2	33.8	3.00	101.4
15&J5	33.8	33.8	2	33.8	1.80	60.8
J5&K5	33.8	33.8	2	33.8	7.40	250.1
K5&L5	33.8	33.8	2	33.8	1.80	60.8
L5&M5	33.8	33.8	2	33.8	3.00	101.4
M5&N5	33.8	33.8	2	33.8	1.80	60.8
N5&O5	33.8	33.8	2	33.8	7.40	250.1
O5&P5	33.8	33.8	2	33.8	1.80	60.8

VERAGE	GRADE F	OR BUILDI	NG 1:		Perimeter	Total	GRADE
	<u></u>	52.5		<u> </u>		.00.0	
-6&A	32.5	32.5	2	32.5	4.20	136.5	
E6&F6	32.6	32.5	2	32.6	1.80	58.6	
D6&E6	32.6	32.6	2	32.6	8.00	260.8	
C6&D6	32.7	32.6	2	32.7	6.34	207.0	
36&C6	33.0	32.7	2	32.9	1.80	59.1	
46&B6	34.0	33.0	2	33.5	6.20	207.7	
Z5&A6	34.0	34.0	2	34.0	1.80	61.2	
Y5&Z5	34.0	34.0	2	34.0	6.86	233.2	
X5&Y5	34.2	34.0	2	34.1	1.80	61.4	
N5&X5	34.2	34.2	2	34.2	3.00	102.6	
√5&W5	34.0	34.2	2	34.1	1.80	61.4	
J5&V5	33.9	34.0	2	34.0	10.00	339.5	
T5&U5	33.9	33.9	2	33.9	3.80	128.8	
S5&T5	33.9	33.9	2	33.9	1.80	61.0	
R5&S5	33.8	33.9	2	33.9	7.80	264.0	
Q5&R5	33.8	33.8	2	33.8	1.80	60.8	
P5&Q5	33.8	33.8	2	33.8	3.40	114.9	

BUILDING 2 - AVERAGE GRADE CALCULATION

INCLUDES:

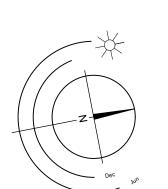
1.) TOWNHOUSE 2

TOWNHOL	JSE 2					
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL
A&B	32.7	32.6	2	32.7	14.40	470.2
B&C	32.6	32.6	2	32.6	4.60	150.0
C&D	32.6	32.6	2	32.6	1.96	63.9
D&E	32.6	32.7	2	32.7	3.60	117.5
E&F	32.7	32.7	2	32.7	1.96	64.1
F&G	32.7	32.7	2	32.7	9.20	300.8
G&H	32.7	32.7	2	32.7	1.96	64.1
H&I	32.7	32.7	2	32.7	3.60	117.7
I&J	32.7	32.7	2	32.7	1.96	64.1
J&K	32.7	32.4	2	32.6	9.20	299.5
K&L	32.4	32.4	2	32.4	1.96	63.5
L&M	32.4	32.4	2	32.4	3.60	116.6
M&N	32.4	32.4	2	32.4	1.96	63.5
N&O	32.4	32.5	2	32.5	4.60	149.3
O&P	32.5	32.5	2	32.5	7.20	234.0
P&Q	32.5	32.8	2	32.7	1.96	64.0
Q&R	32.8	32.7	2	32.8	1.80	59.0
R&S	32.7	32.5	2	32.6	1.96	63.9
S&T	32.5	32.5	2	32.5	10.00	325.0
T&U	32.5	32.8	2	32.7	1.96	64.0
U&V	32.8	32.8	2	32.8	3.60	118.1
V&W	32.8	32.6	2	32.7	1.96	64.1
W&X	32.6	32.7	2	32.7	4.60	150.2
X&Y	32.7	32.6	2	32.7	7.20	235.1
Y&Z	32.6	32.4	2	32.5	12.80	416.0
Z&AA	32.4	32.4	2	32.4	3.60	116.6
AA&BB	32.4	32.5	2	32.5	1.96	63.6
BB&CC	32.5	32.5	2	32.5	3.60	117.0
CCⅅ	32.5	32.5	2	32.5	1.96	63.7
DD&EE	32.5	32.9	2	32.7	9.20	300.8
EE&FF	32.9	32.9	2	32.9	1.96	64.5
FF&GG	32.9	32.9	2	32.9	3.60	118.4
GG&HH	32.9	32.9	2	32.9	1.96	64.5
HH&II	32.9	32.8	2	32.9	4.60	151.1
II&JJ	32.8	32.8	2	32.8	1.96	64.3
JJ&KK	32.8	32.8	2	32.8	1.80	59.0
KK&LL	32.8	32.8	2	32.8	1.96	64.3
LL&A	32.8	32.7	2	32.8	4.60	150.7

4	<u>AVERAGE</u>	GRADE	FOR	TOWNH	OUSE 2:
_					

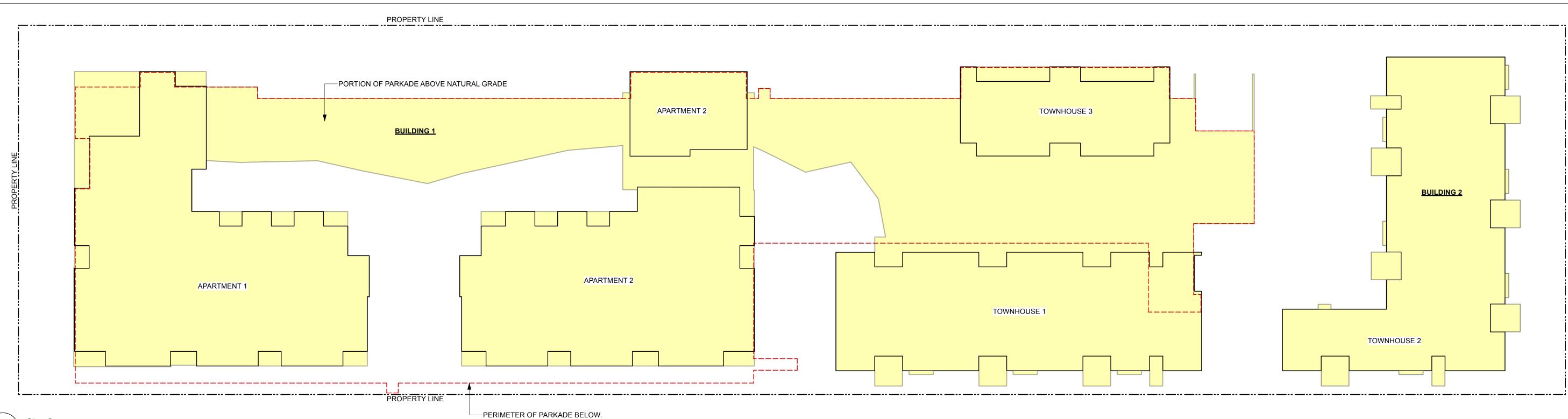
Perimeter	Total	GRADE = Total/Perimeter
162.36	5296.6	32.6

		21-03-16		90% Review
		21-01-27		Issued for 90% Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A100 Site Plans.vwx
drawn by		NLC	checked by	CRM
scale		1:250	project number	1907

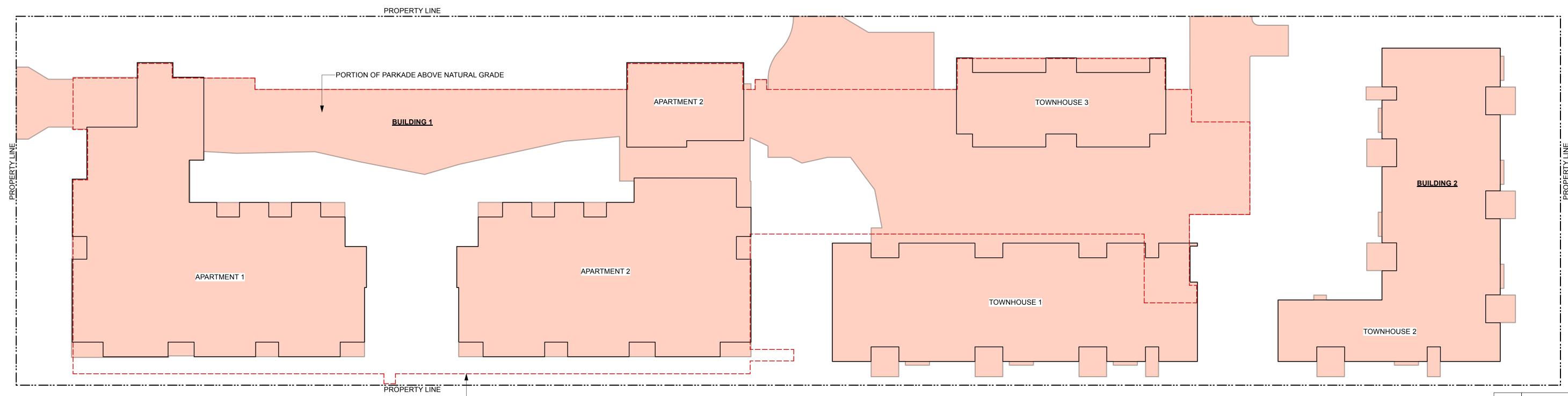


VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1 • 2 5 0 • 6 5 8 • 3 3 6 7	NANAIMO OFFICE 102-5190 Dublin Wa Nanaimo BC V9T 2K T 1-250-585-5810
project name	
Caledonia	
Victoria BC	

*NOTE: POINTS K,L,M,N,O,P,Q,R, AA AND BB ARE NO LONGER USED.









SITE COVERAGE - CALCULATION

SUM OF GROSS AREA OF LOT OCCUPIED BY ANY STRUCTURE INCLUDING:

- 1.) APARTMENT 1
- 2.) APARTMENT 2
- 3.) TOWNHOUSE 1 4.) TOWNHOUSE 3
- 5.) PORTION OF PARKADE ABOVE NATURAL GRADE (>33.2 m)

PROPOSED:
BUILDING AREA 4,748 m²/LOT 8681.14 m² = 55%

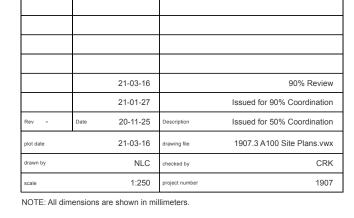
OPEN SITE SPACE - CALCULATION

PORTION OF THAT'S LANDSCAPED AND NOT OCCUPIED OR OBSTRUCTED LOT OCCUPIED BY ANY BUILDING OR PORTION OF BUILDING.

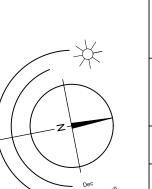
lue PERIMETER OF PARKADE BELOW.

- AREA INCLUDES
- 1.) APARTMENT 1
- 2.) APARTMENT 2 3.) TOWNHOUSE 1
- 4.) TOWNHOUSE 3 5.) PORTION OF PARKADE ABOVE NATURAL GRADE (>33.2 m)

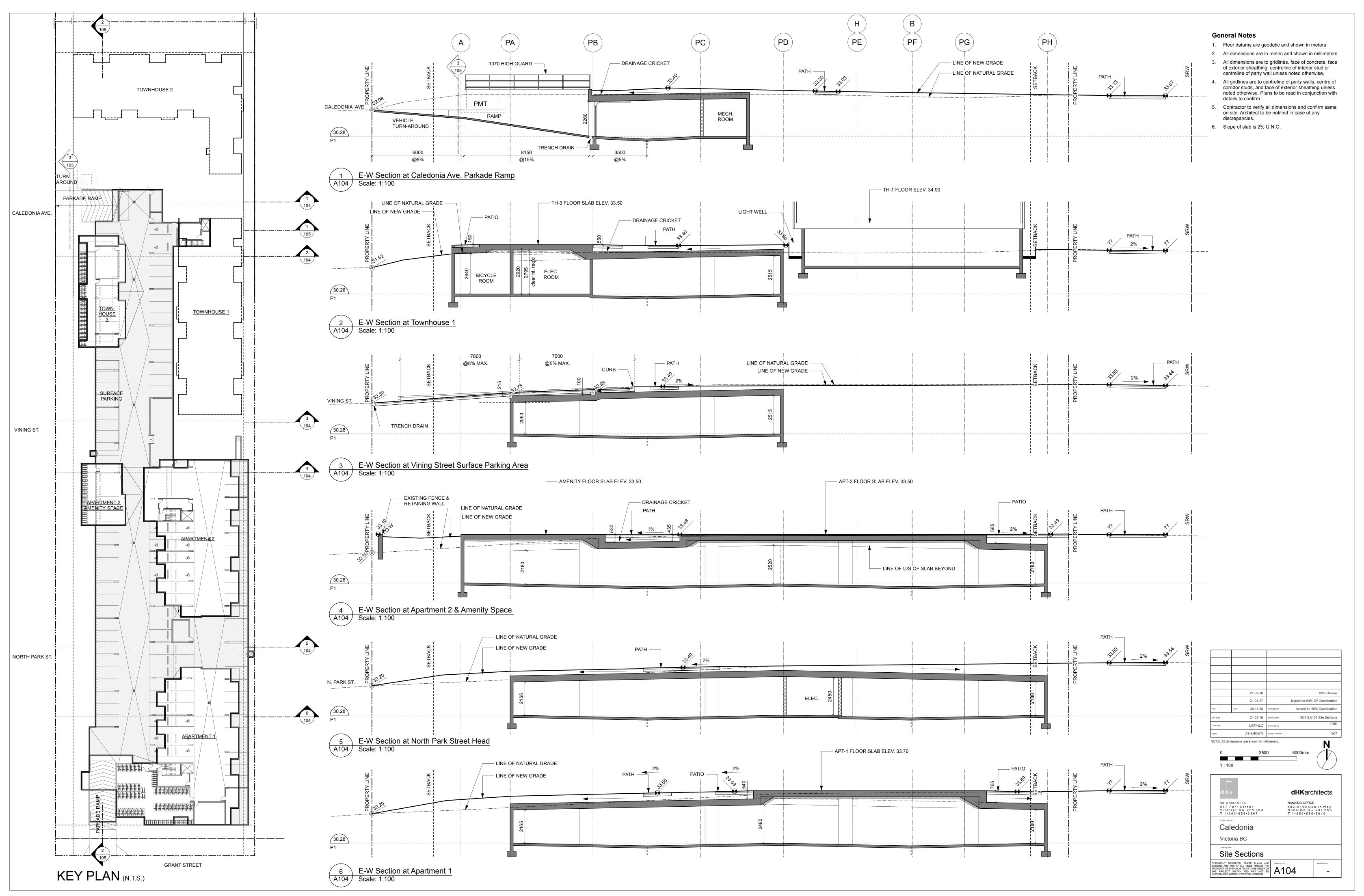
LOT 8,681.1m² - BUILDINGS, DRIVEWAYS & SURFACE PARKING 5,030.0 m² = 3,651.1 m²/8681.1 = 42%

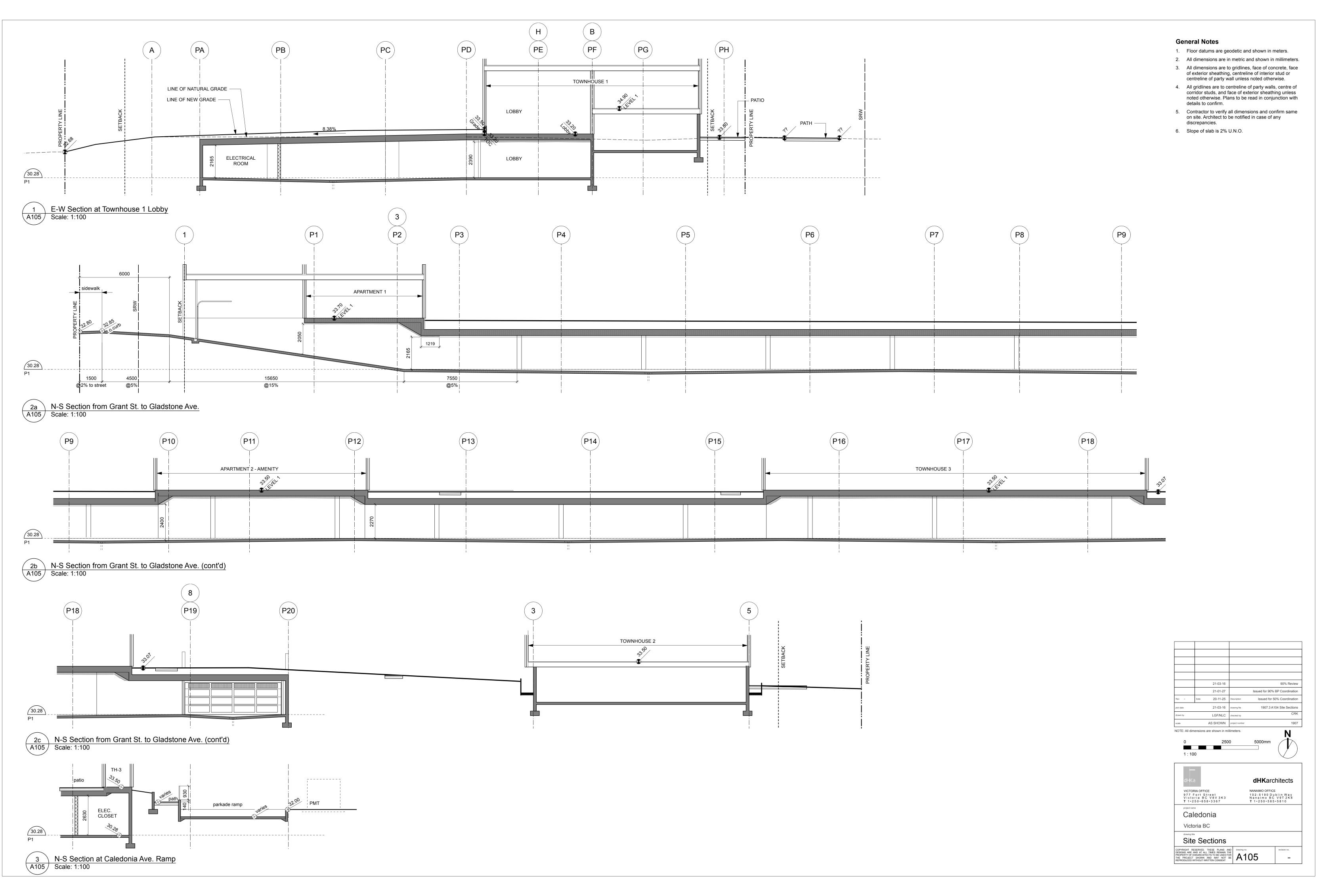


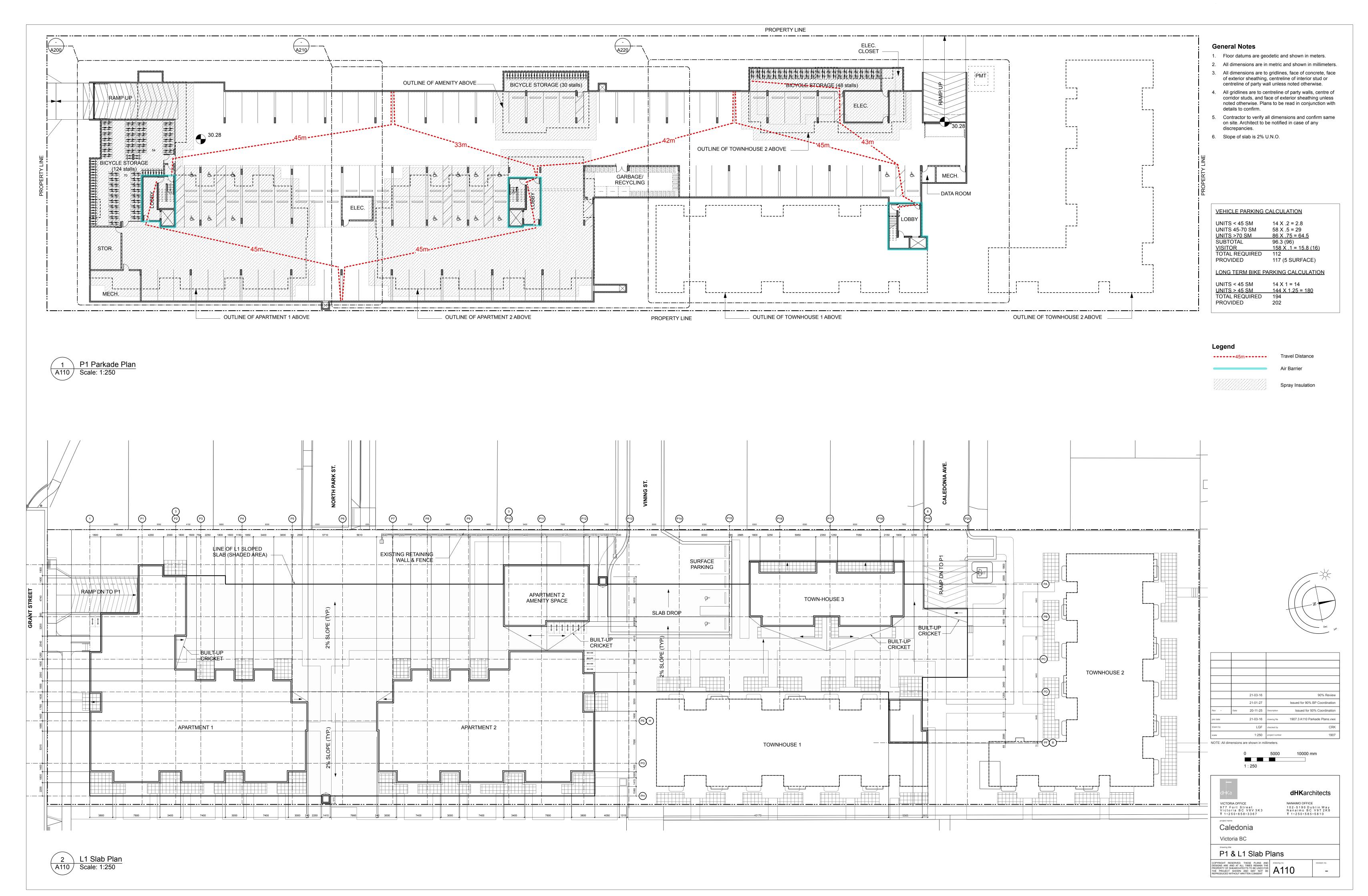
10000 mm

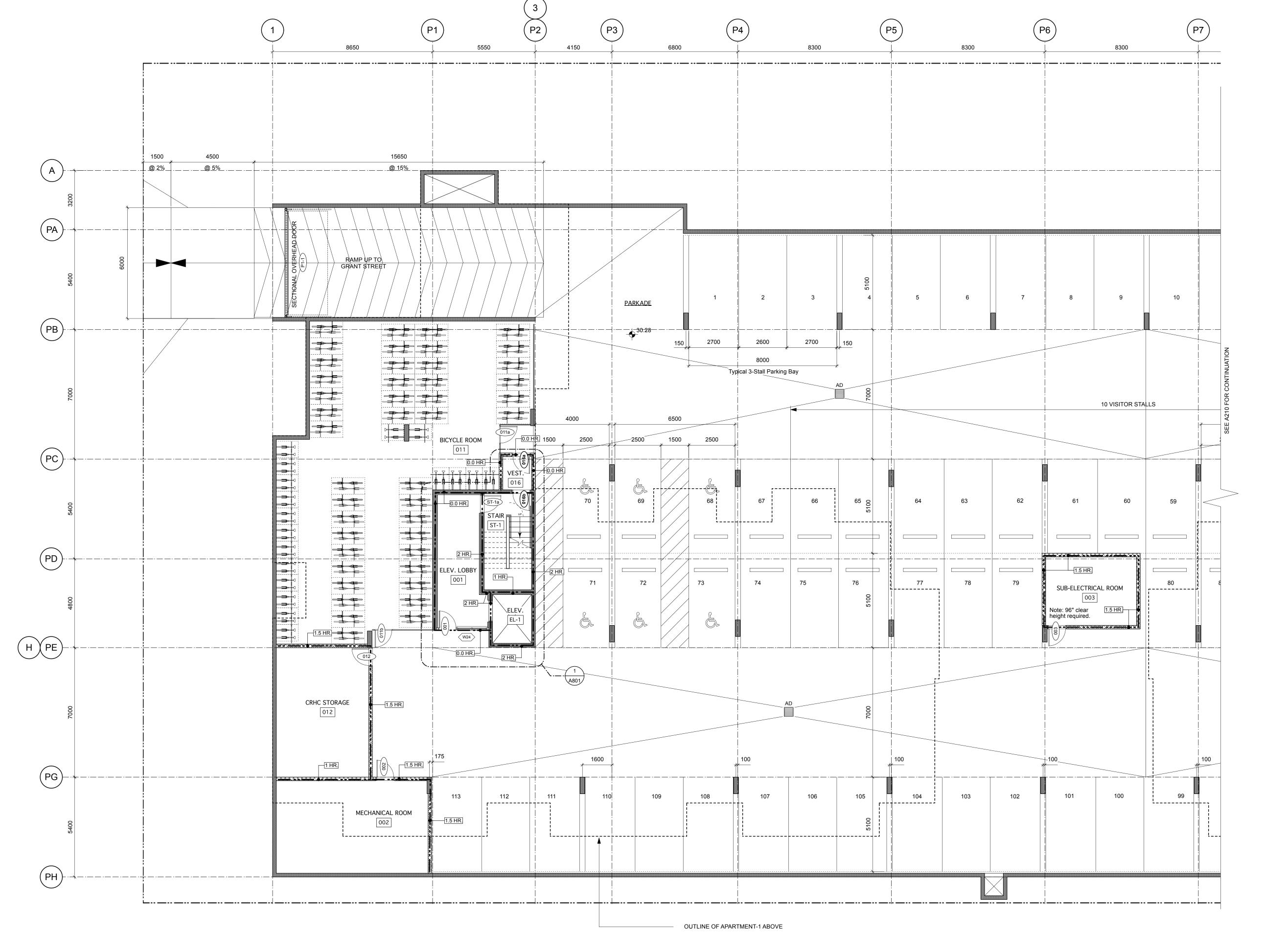


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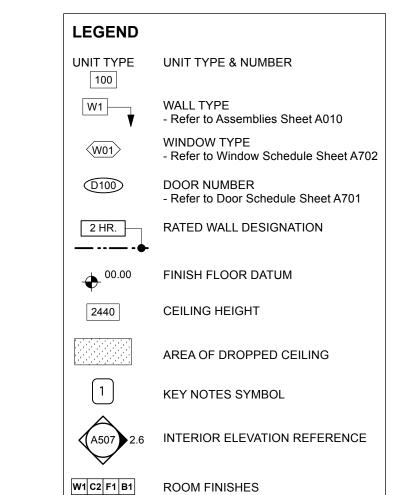




- 1. All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).
- 6. Windows not located with dimensions are located in line with

the windows from the floor below.

- 7. All vestibule and fire rated doors to be complete with self closing mechanism, lever hardware and positive latching strikes.
- 8. See architectural drawings for "rise" of all stairs. "Run" of all
- stairs to be 280 mm plus 23 mm nosing.
- 9. Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- 11. Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- 15. Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- 17. Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- 23. All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

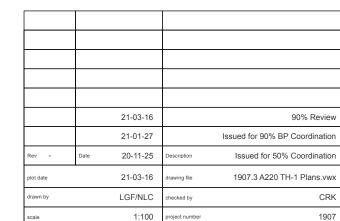












NOTE: All dimensions are shown in millimeters.



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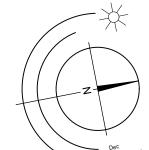
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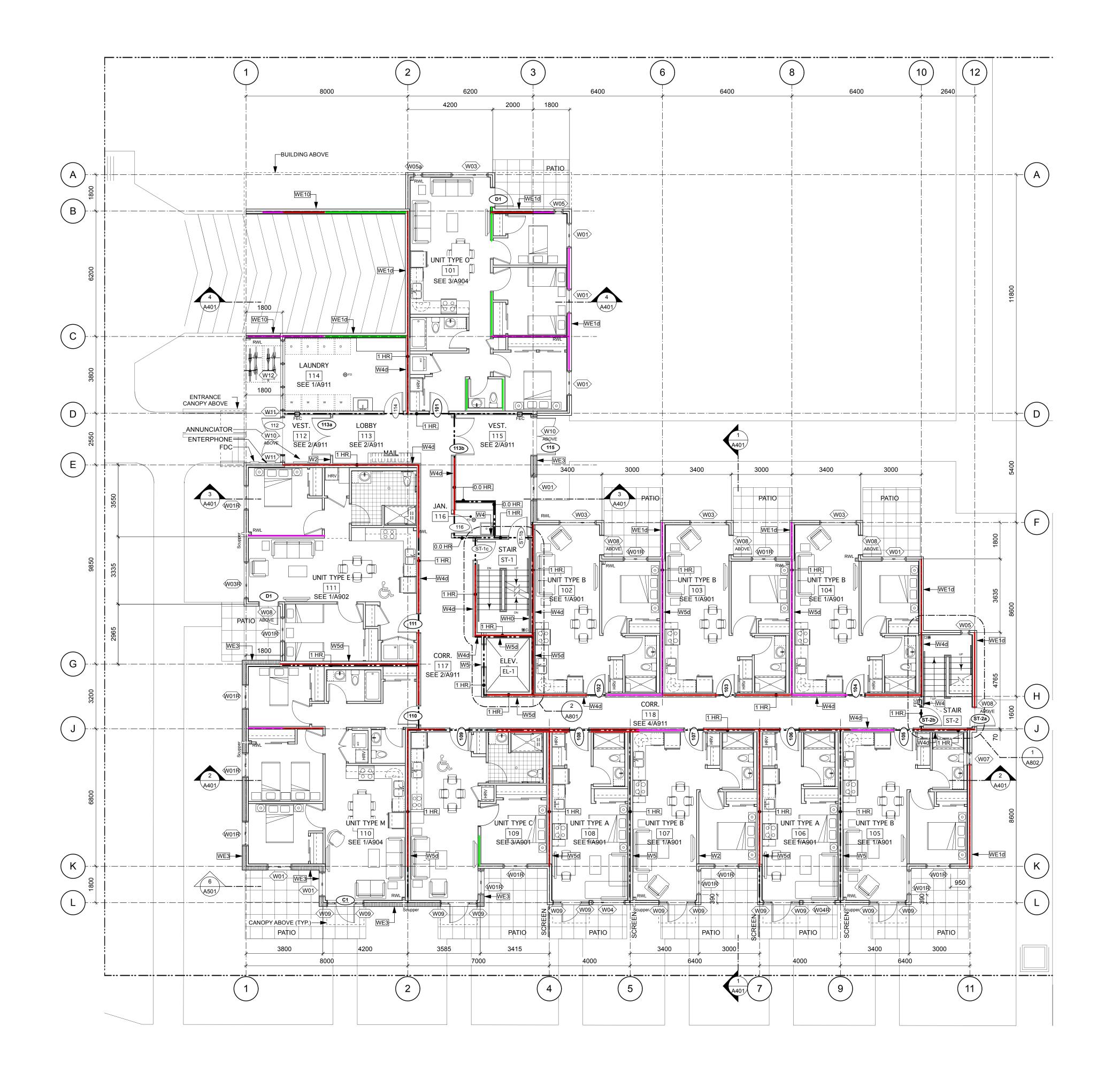


Caledonia

Victoria BC

APT-1 Parkade Plan

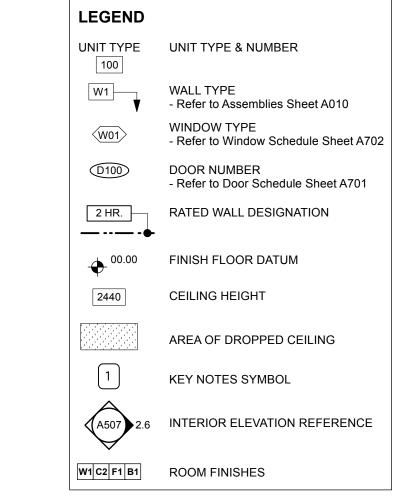




- All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- 2. All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).
- 6. Windows not located with dimensions are located in line with

the windows from the floor below.

- 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes.
- 8. See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- 9. Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- 11. Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

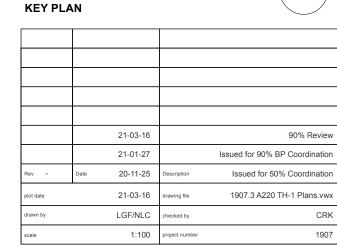














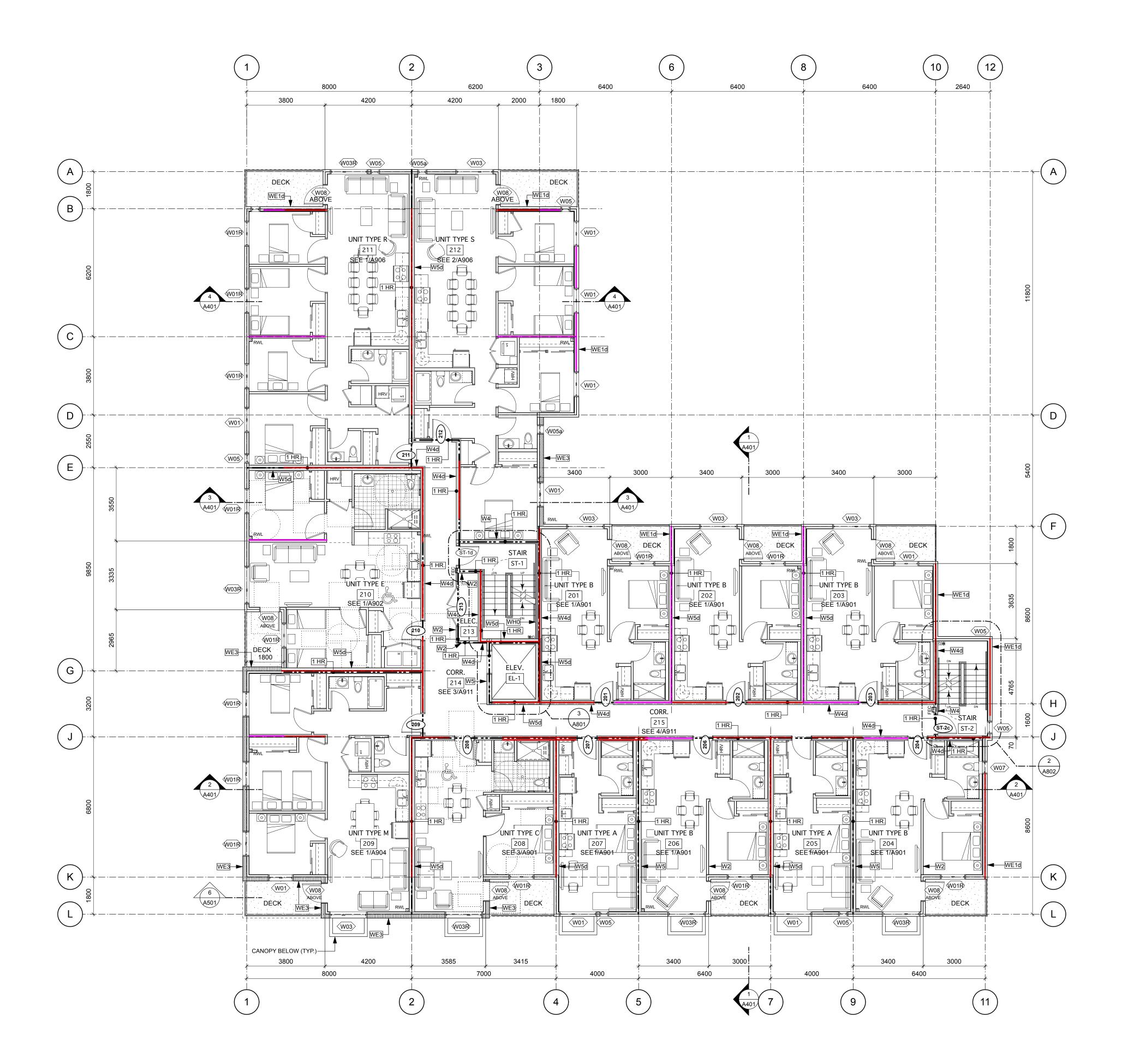




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APT-1 L1 Plan





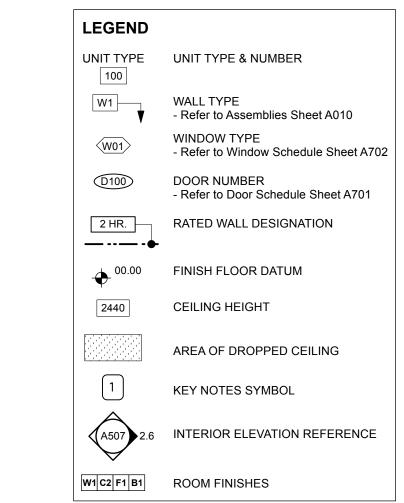
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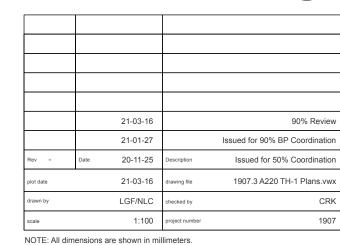












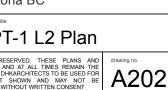


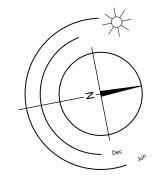


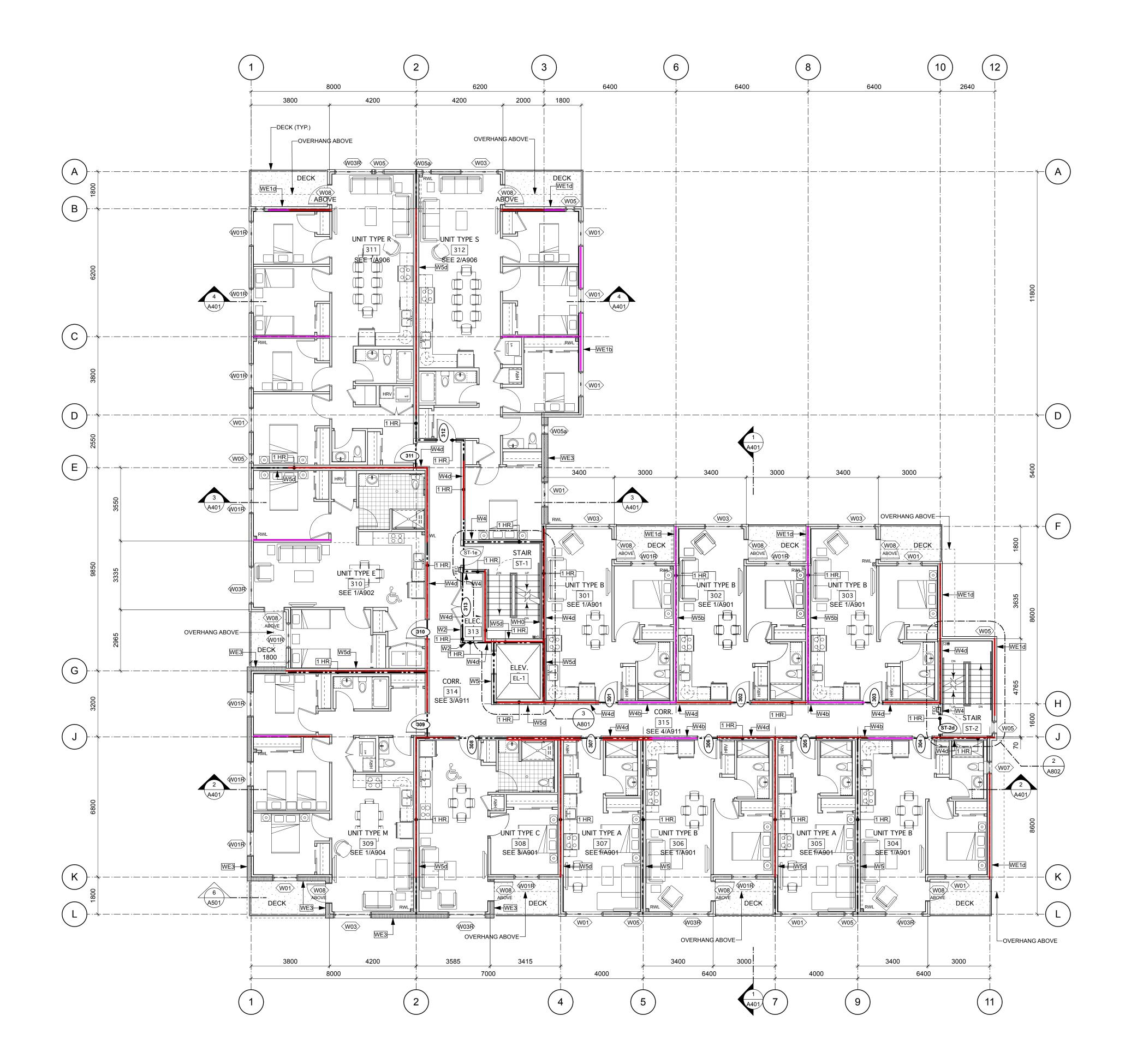
Caledonia

Victoria BC

APT-1 L2 Plan







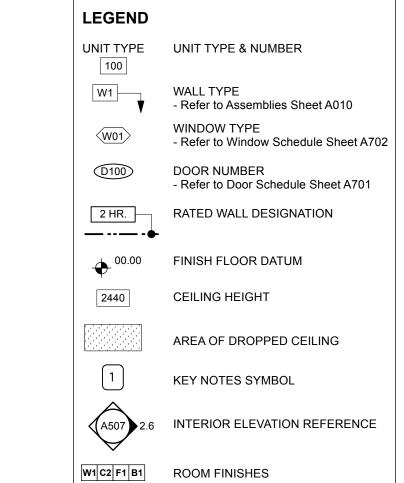
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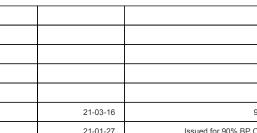


KEY PLAN

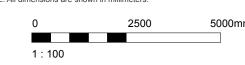




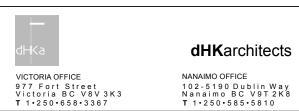




90% Review 21-01-27 Issued for 90% BP Coordination 20-11-25 Desc 21-03-16 drawing f 1907.3 A220 TH-1 Plans.vwx LGF/NLC checked by 1:100 project number NOTE: All dimensions are shown in millimeters.



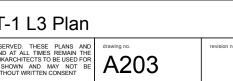


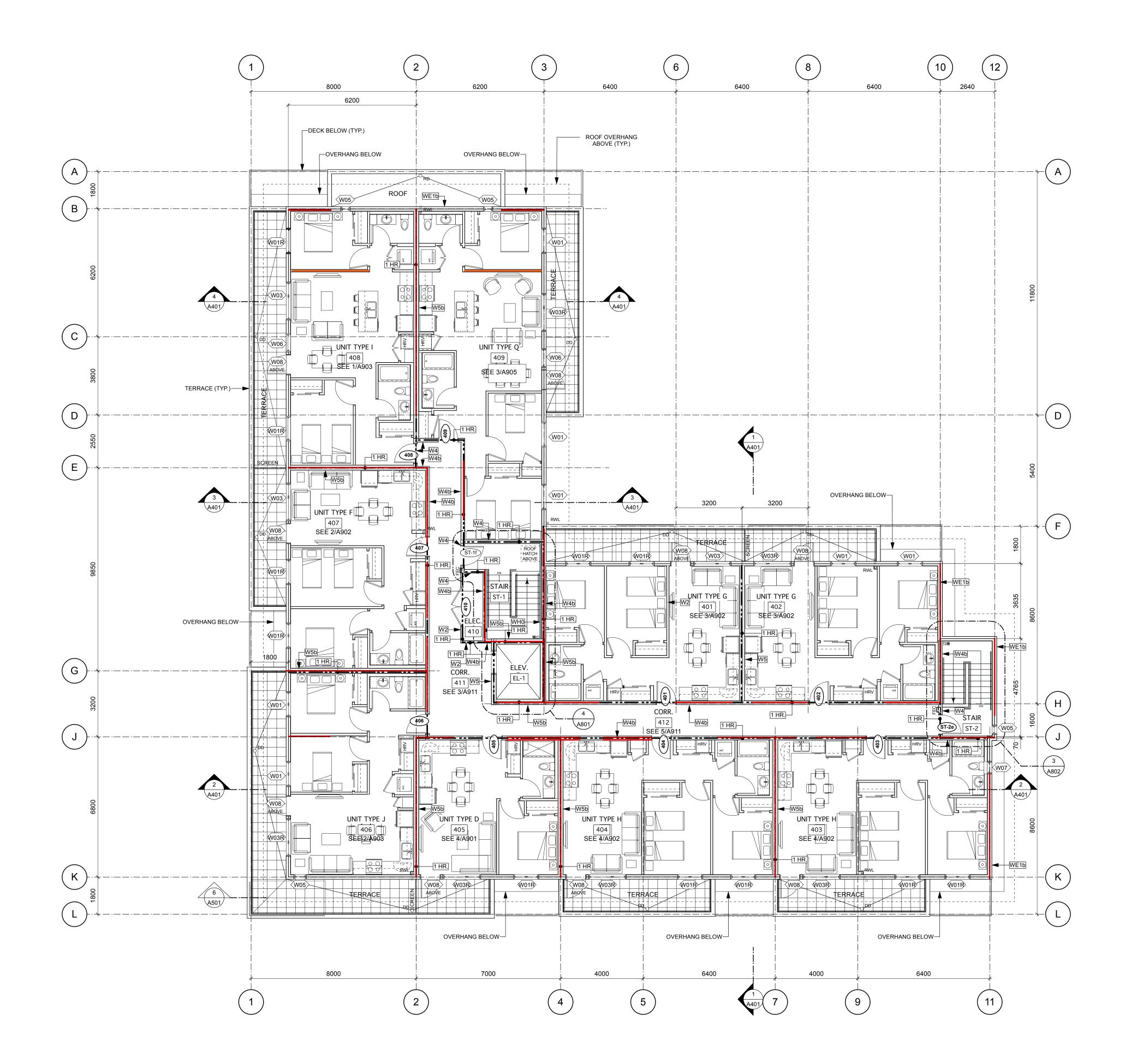


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APT-1 L3 Plan





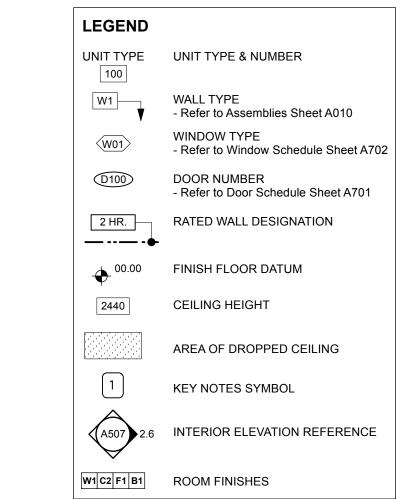
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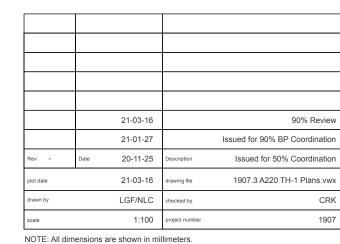














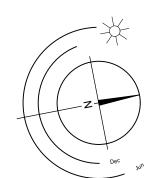


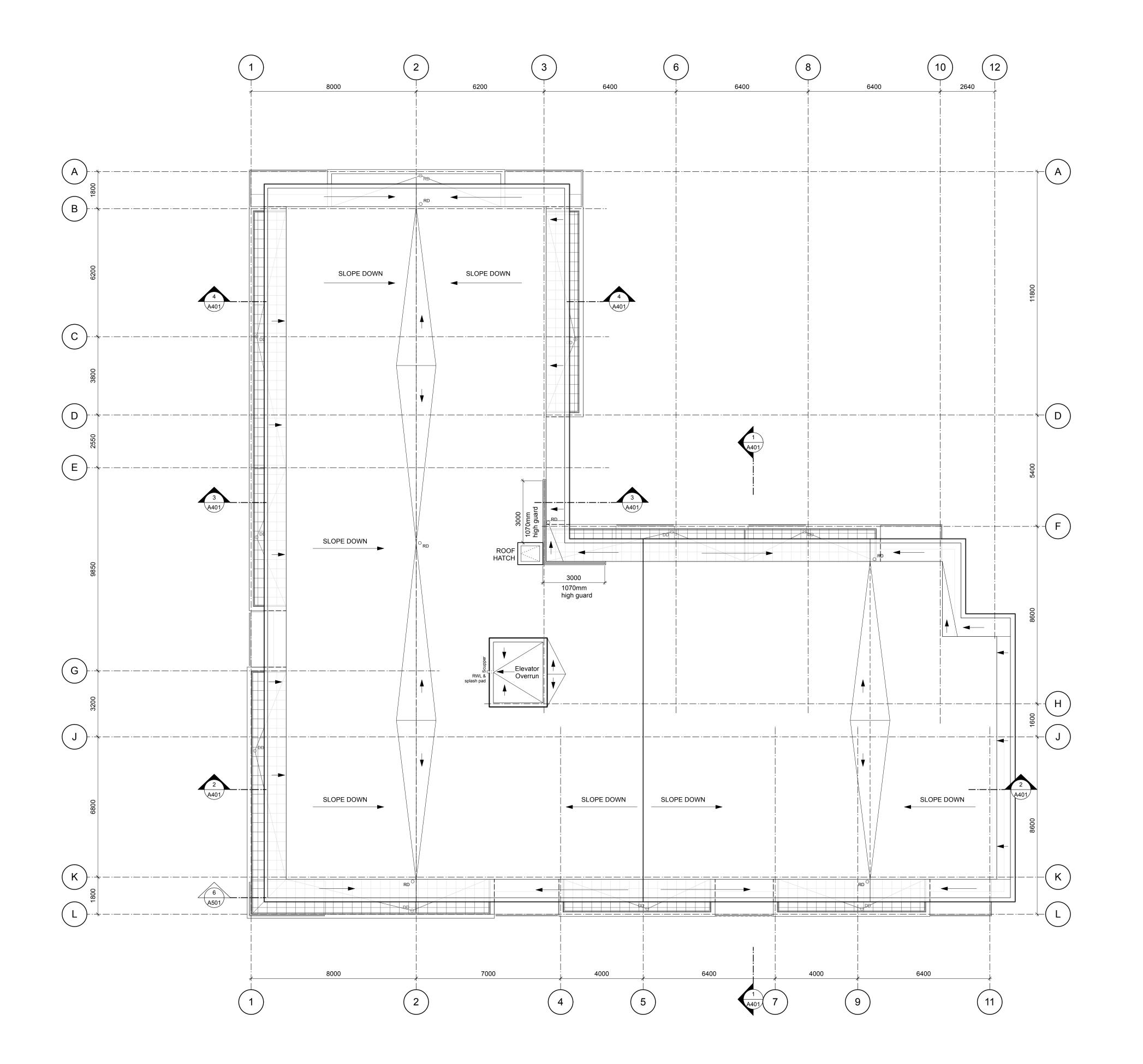
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APT-1 L4 Plan

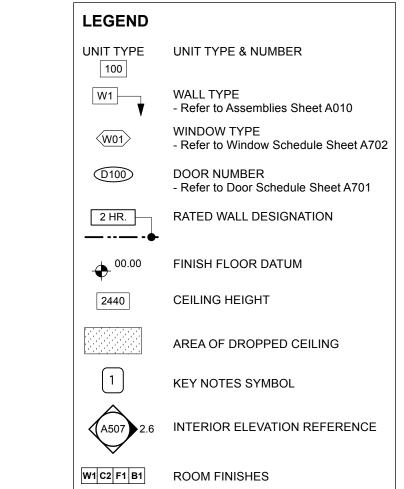




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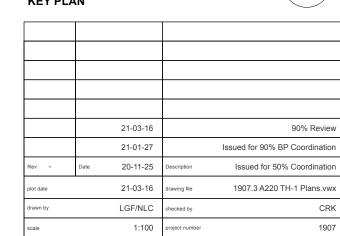


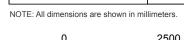


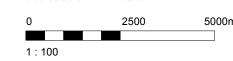












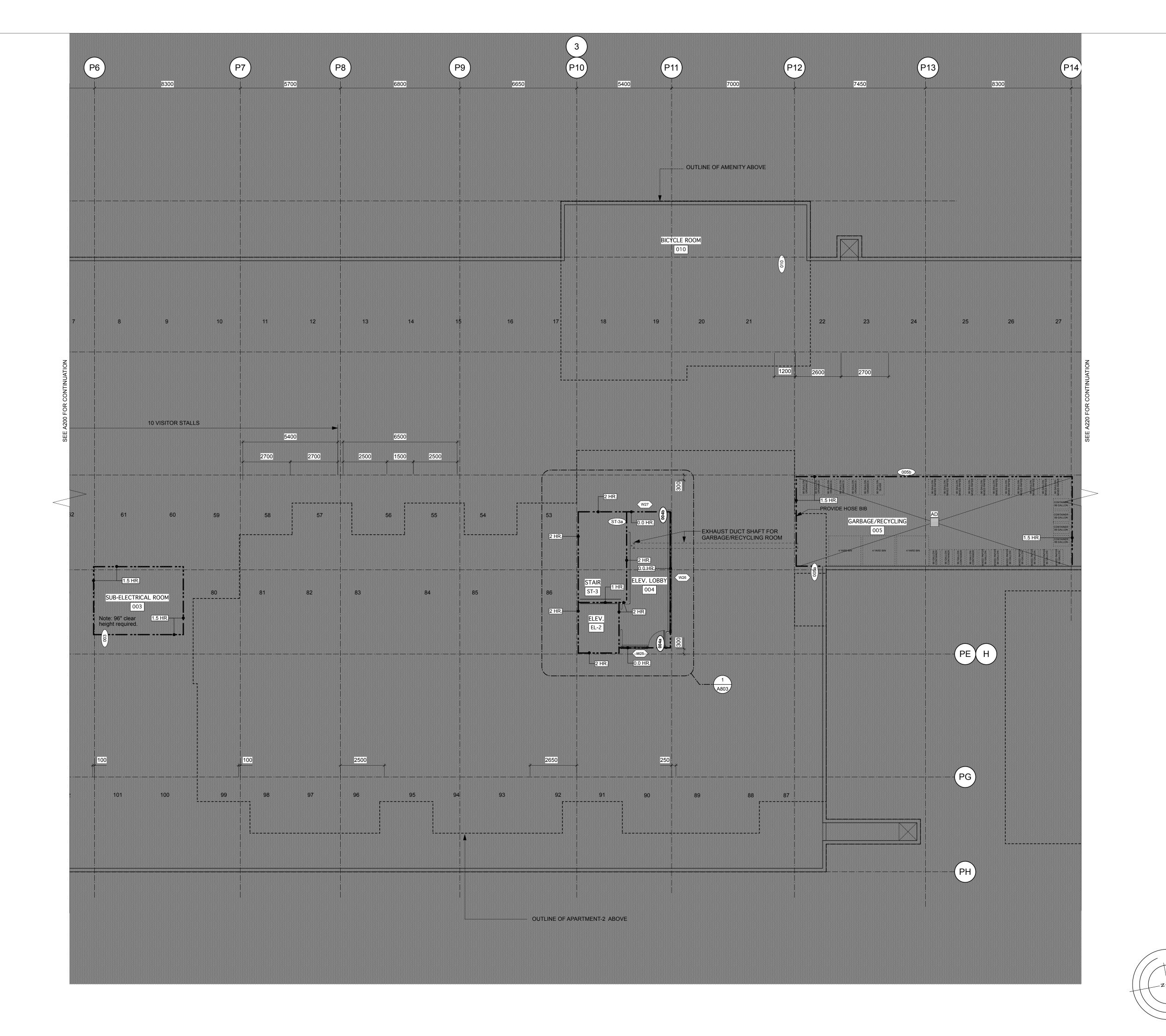




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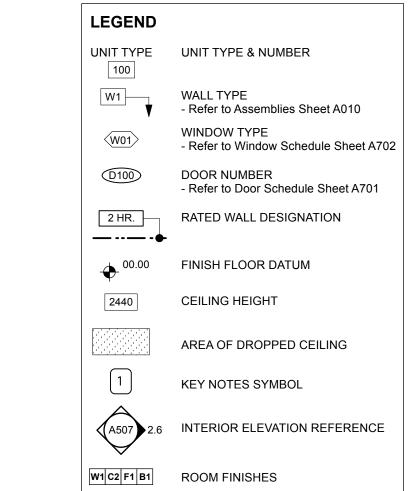
APT-1 Roof Plan



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KEY PLAN

		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx
drawn by		LGF/NLC	checked by	CRK
scale		1:100	project number	1907

NOTE: All dimensions are shown in millimeters.





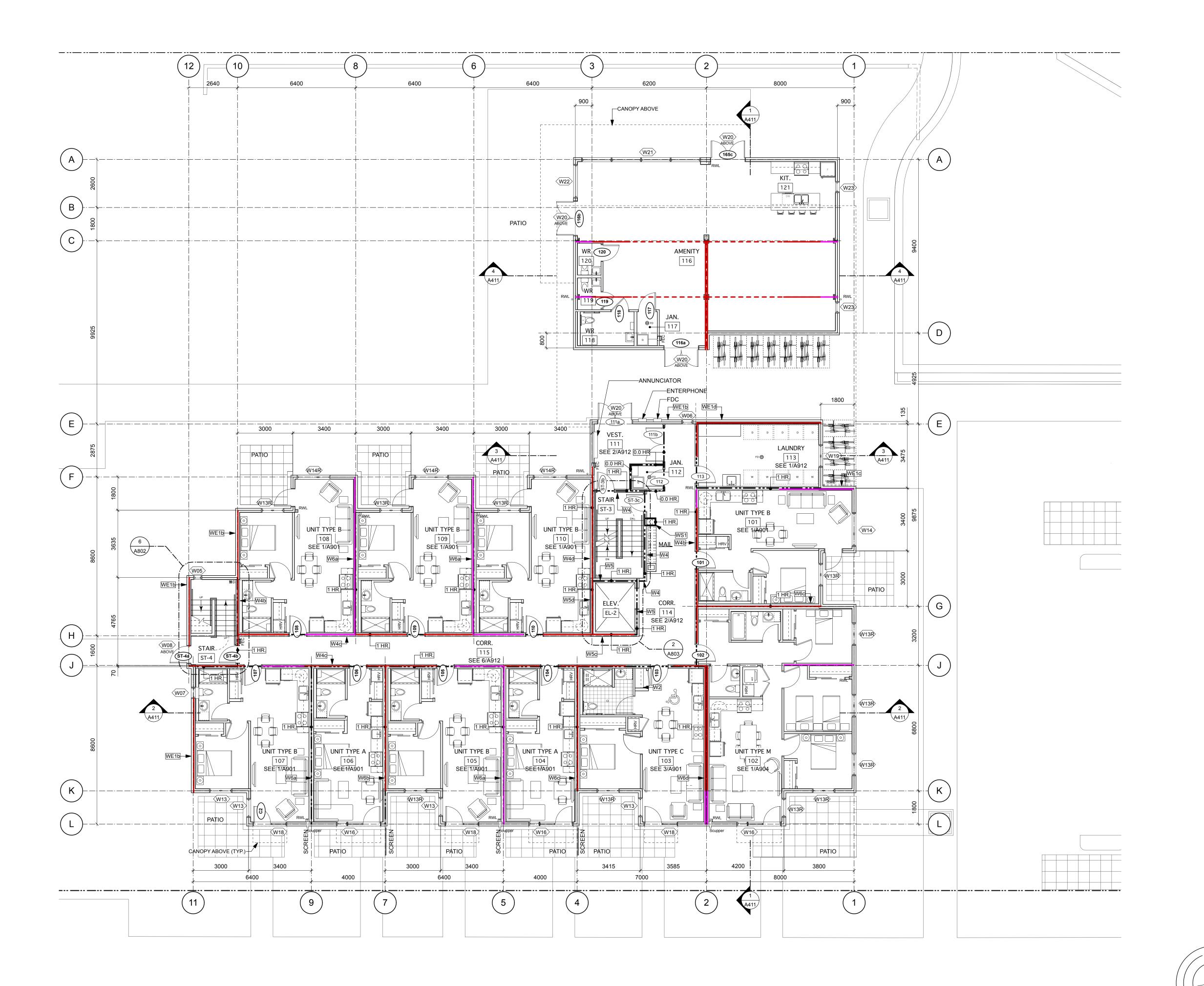
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APT-2 Parkade Plan

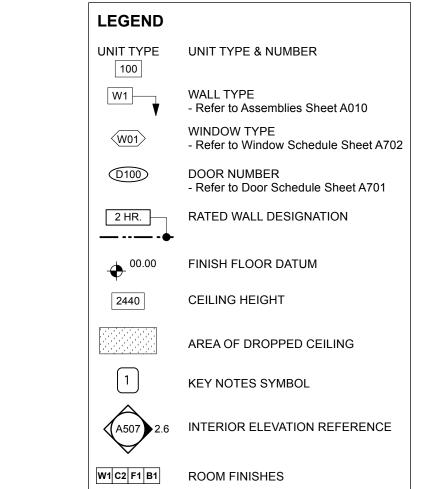




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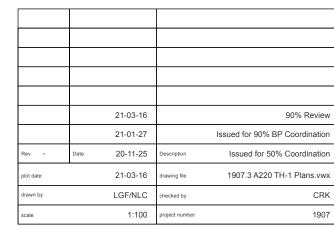




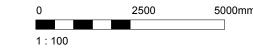




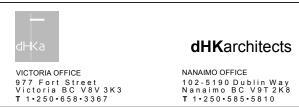




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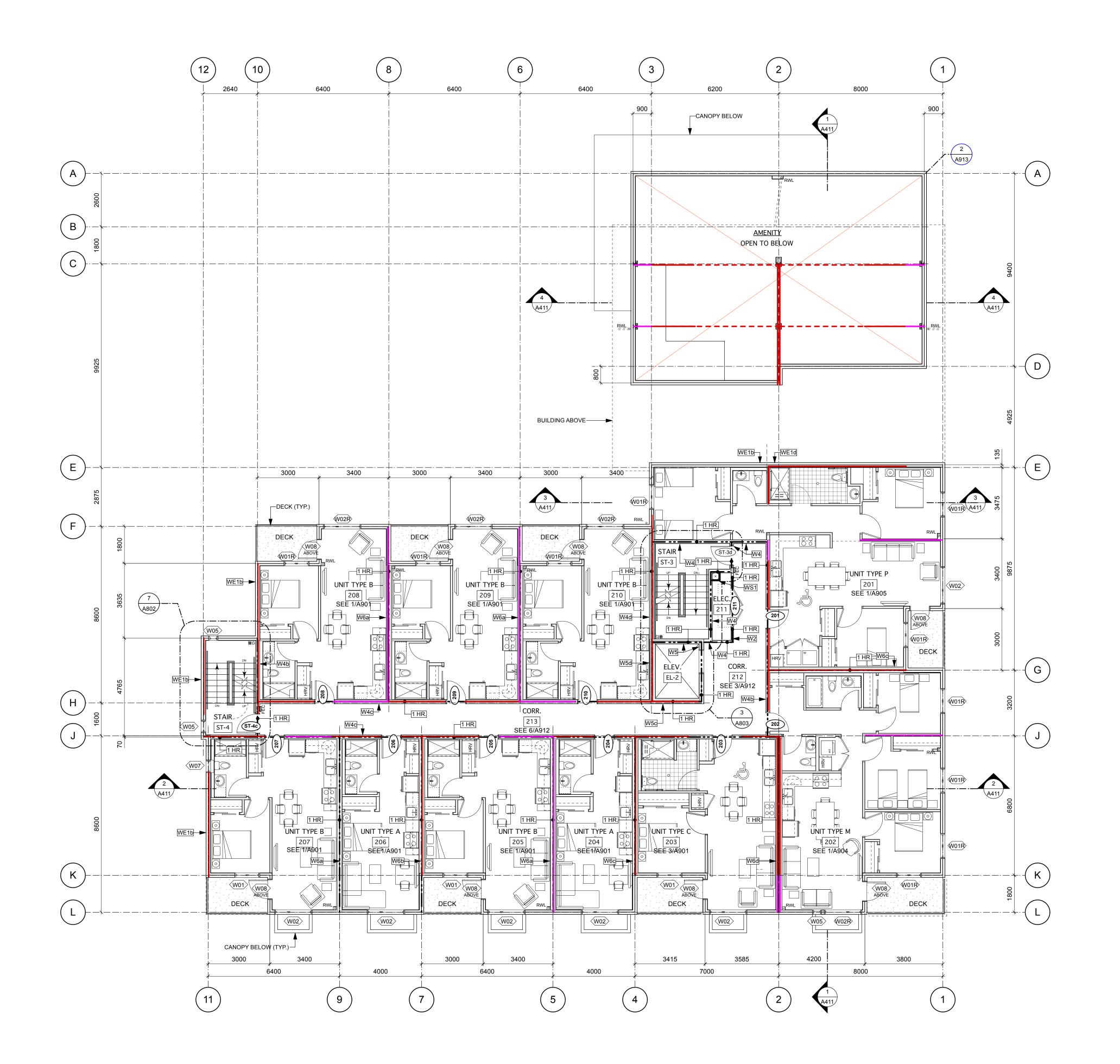






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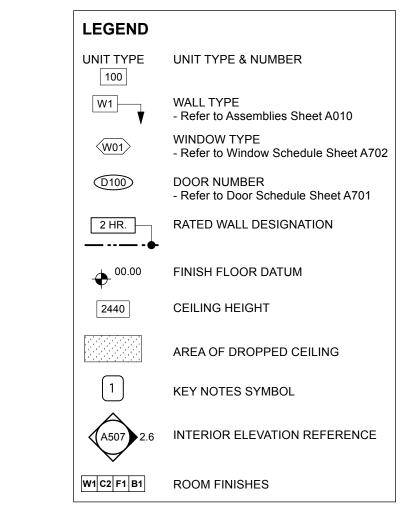
Victoria BC APT-2 L1 Plan



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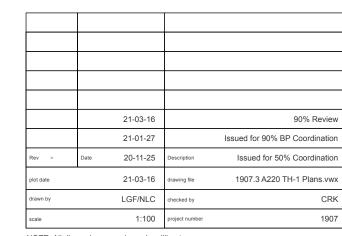


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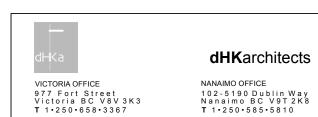








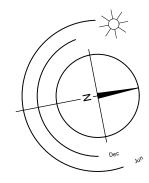


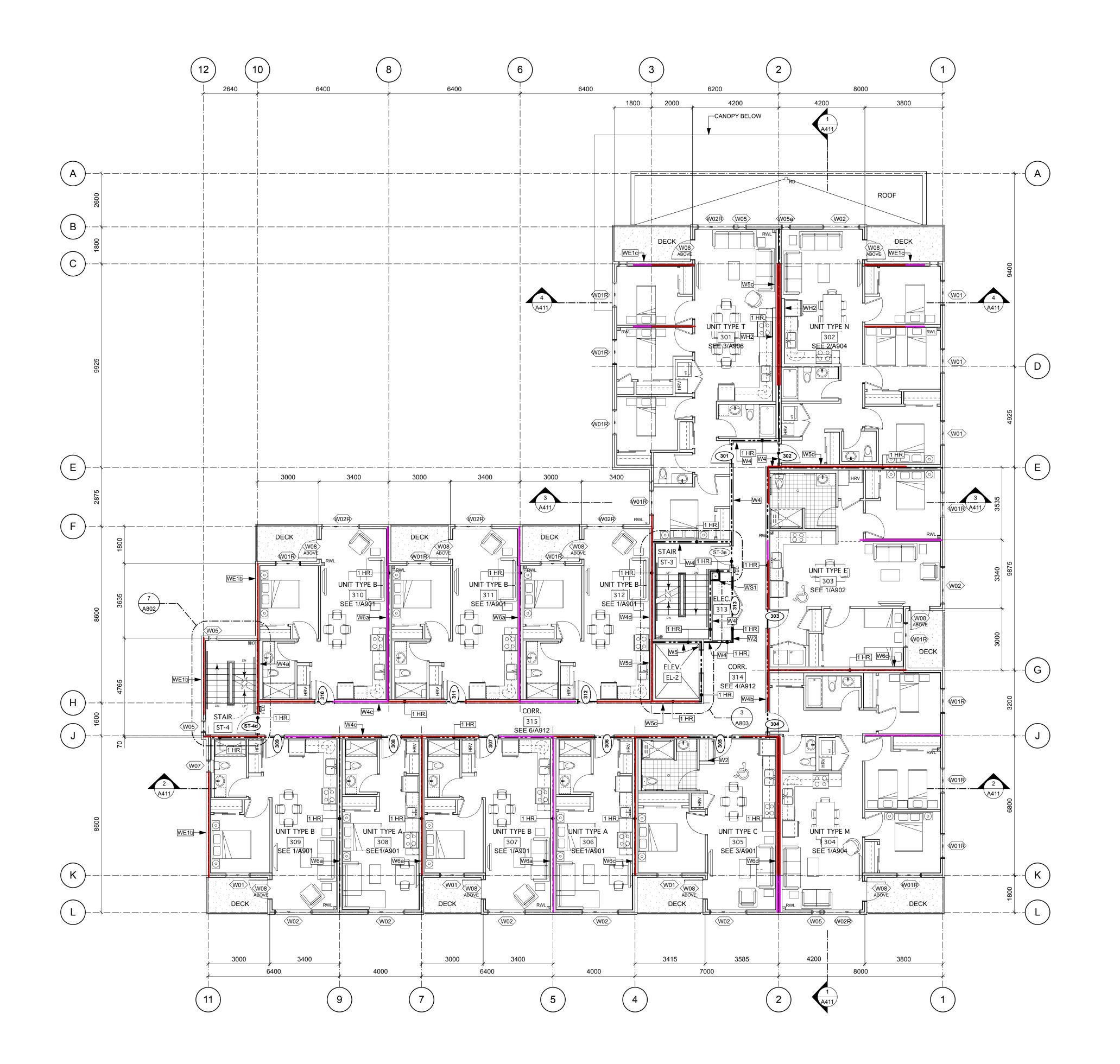


VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1.250.658.3367 Caledonia

Victoria BC

APT-2 L2 Plan

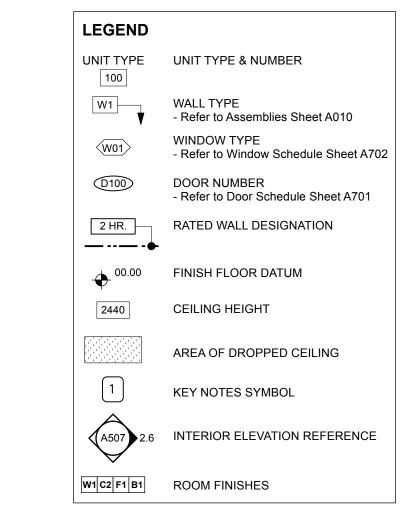




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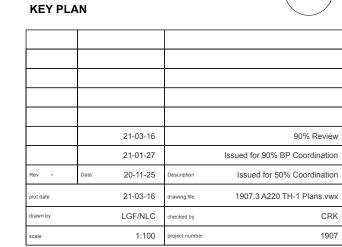














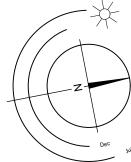


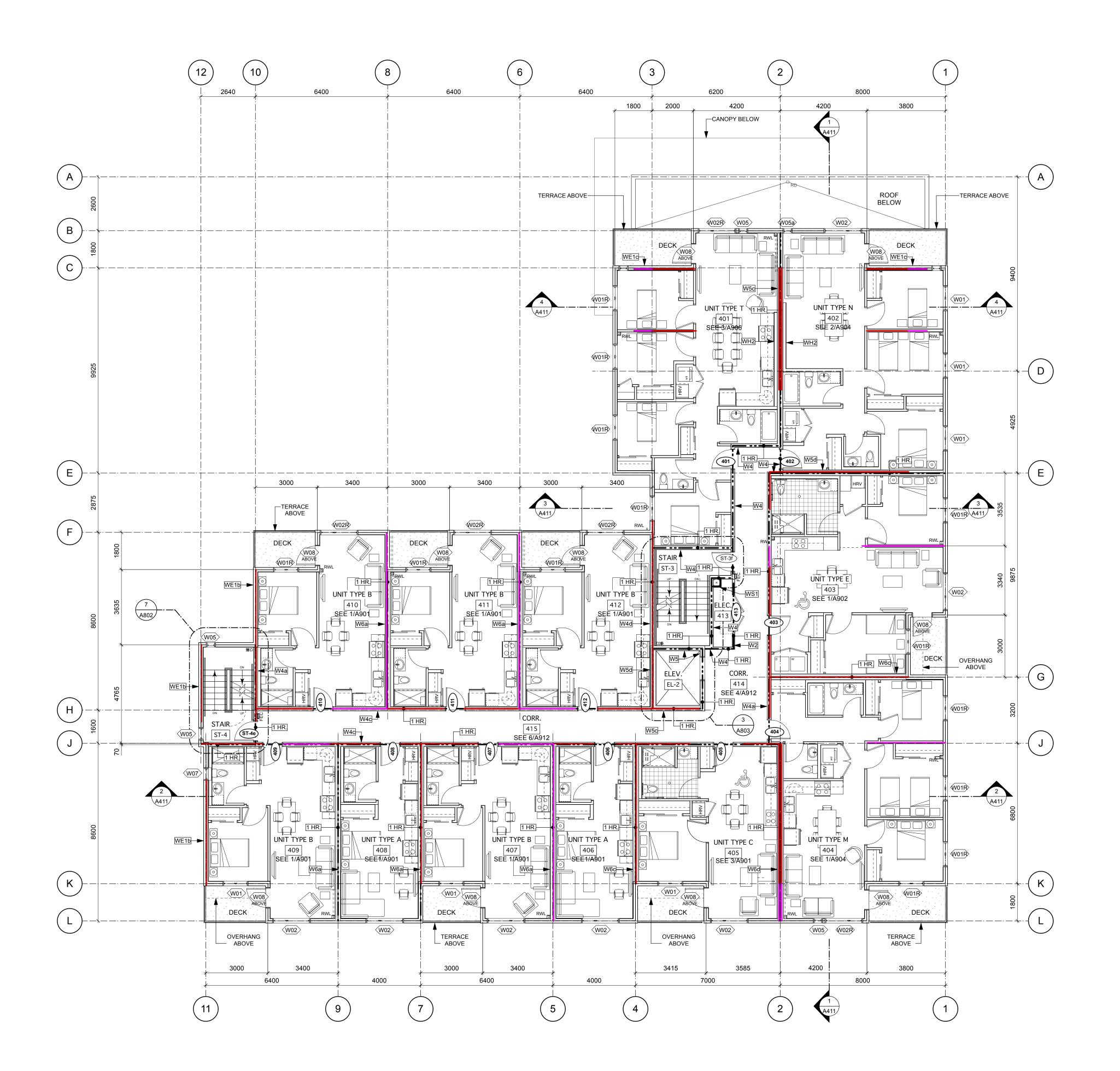


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Caledonia Victoria BC

APT-2 L3 Plan





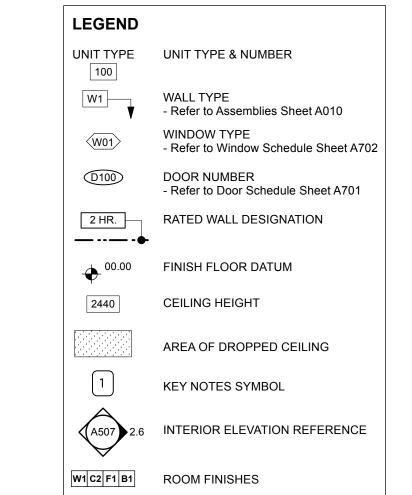
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- 2. All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
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- 4. Contractor to verify all dimensions and confirm same on site.
- Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).

the windows from the floor below.

- 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes.

6. Windows not located with dimensions are located in line with

- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- 9. Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

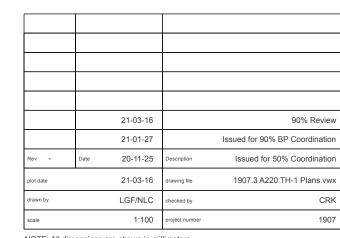


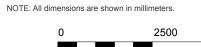






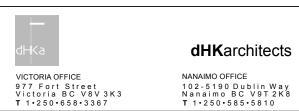






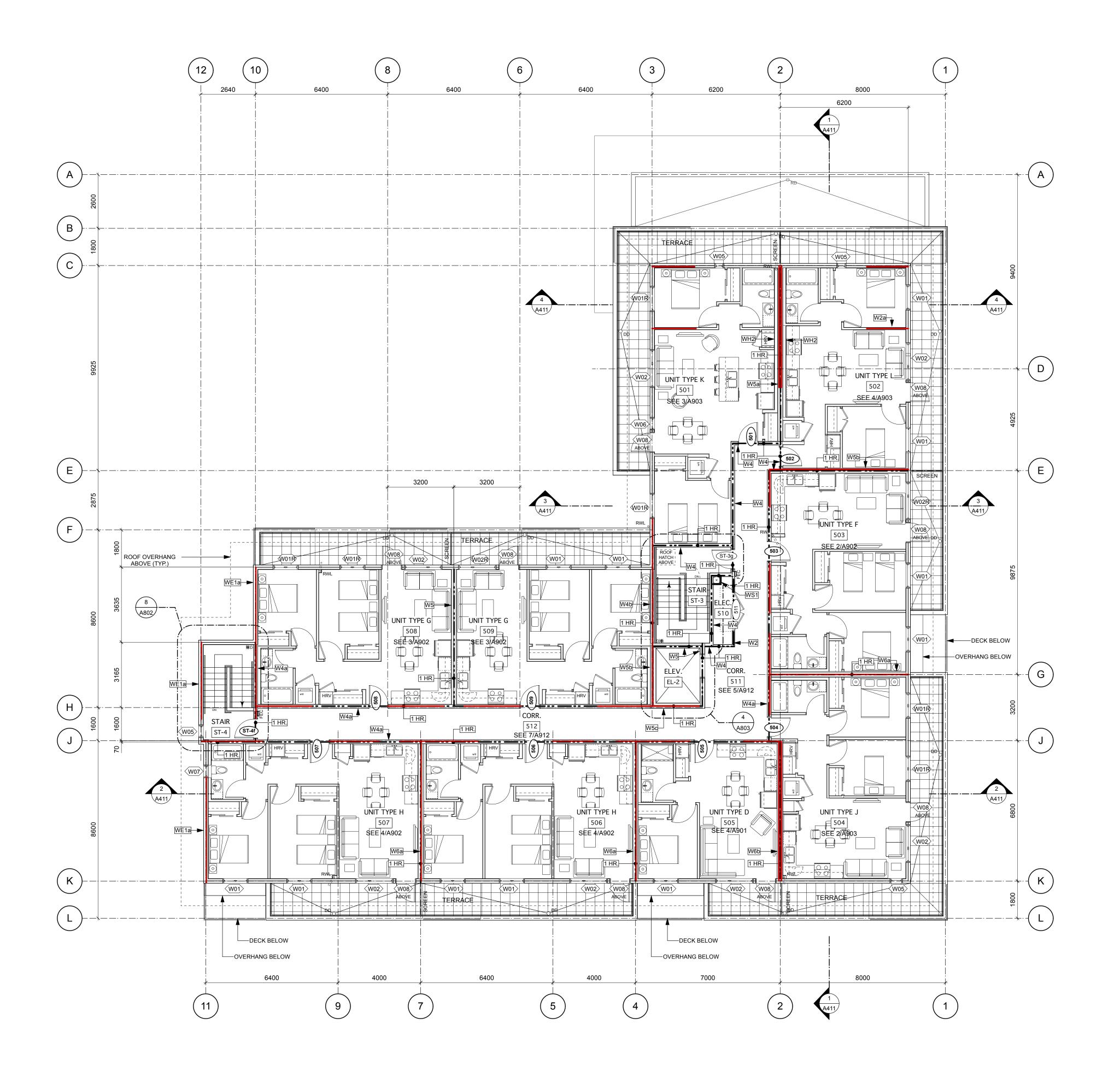






Caledonia Victoria BC

APT-2 L4 Plan



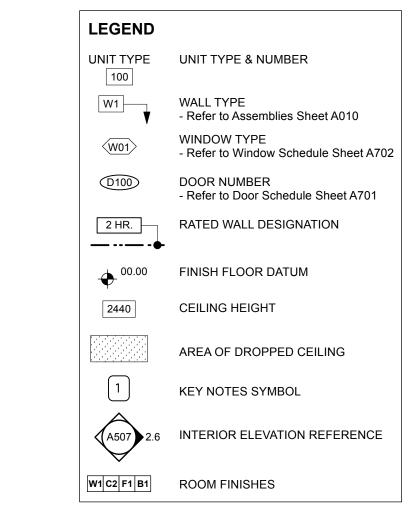
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- 7. All vestibule and fire rated doors to be complete with self closing

the windows from the floor below.

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6. Windows not located with dimensions are located in line with

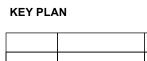
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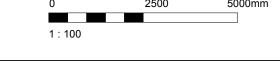






		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx
drawn by		LGF/NLC	checked by	CRK
scale		1:100	project number	1907





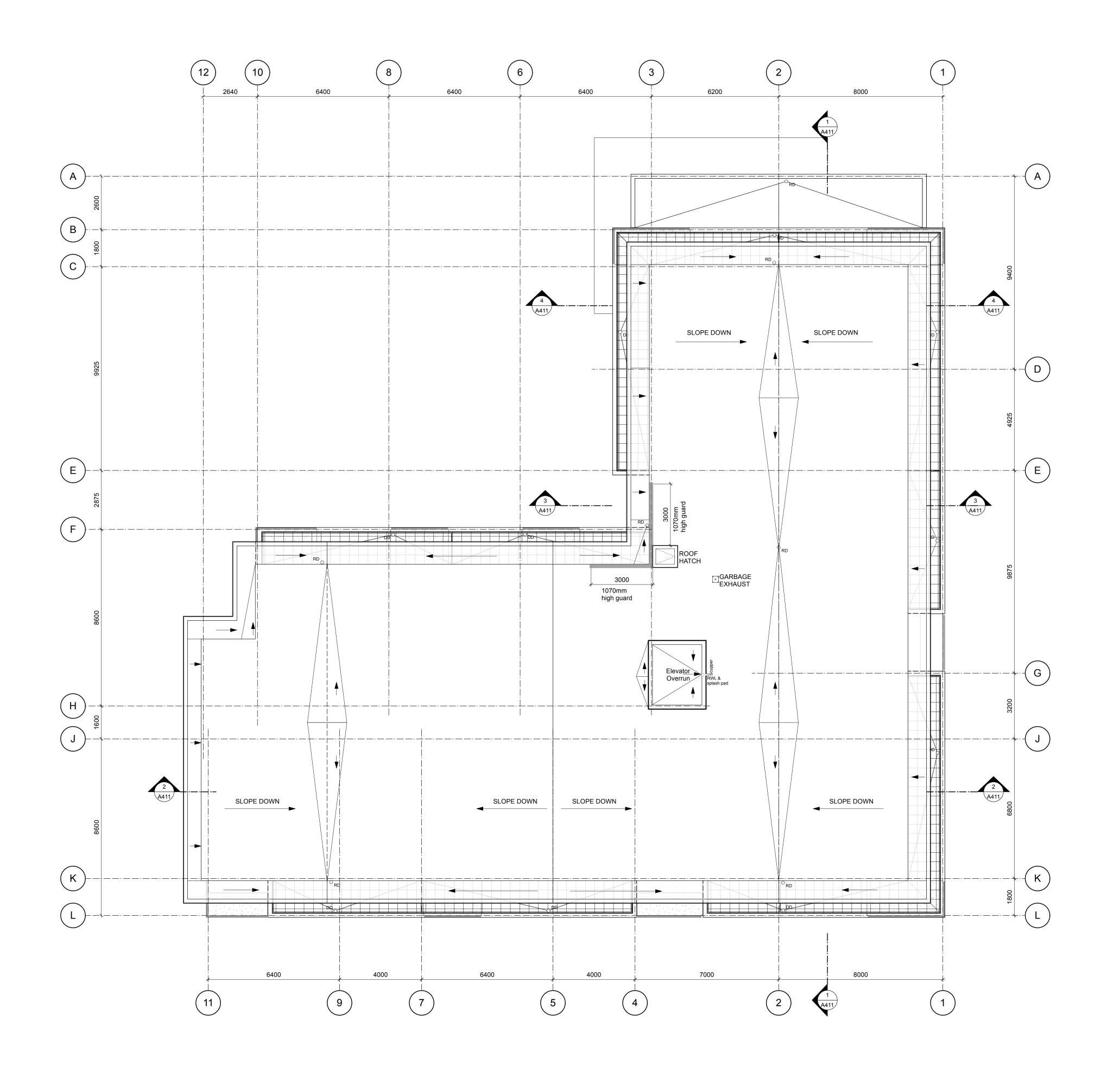


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Victoria BC

APT-2 L5 Plan

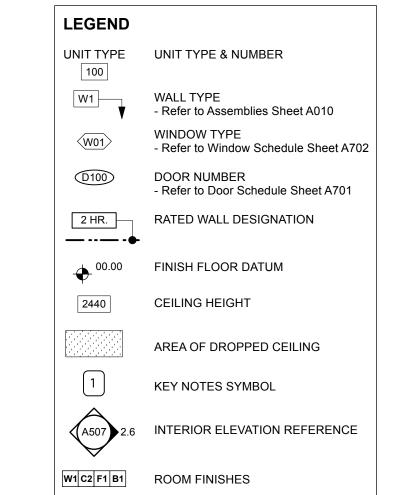


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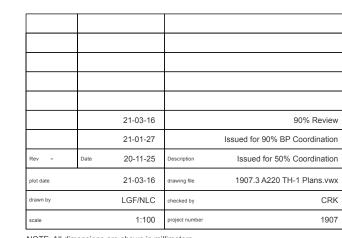


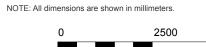






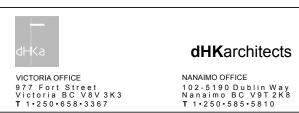






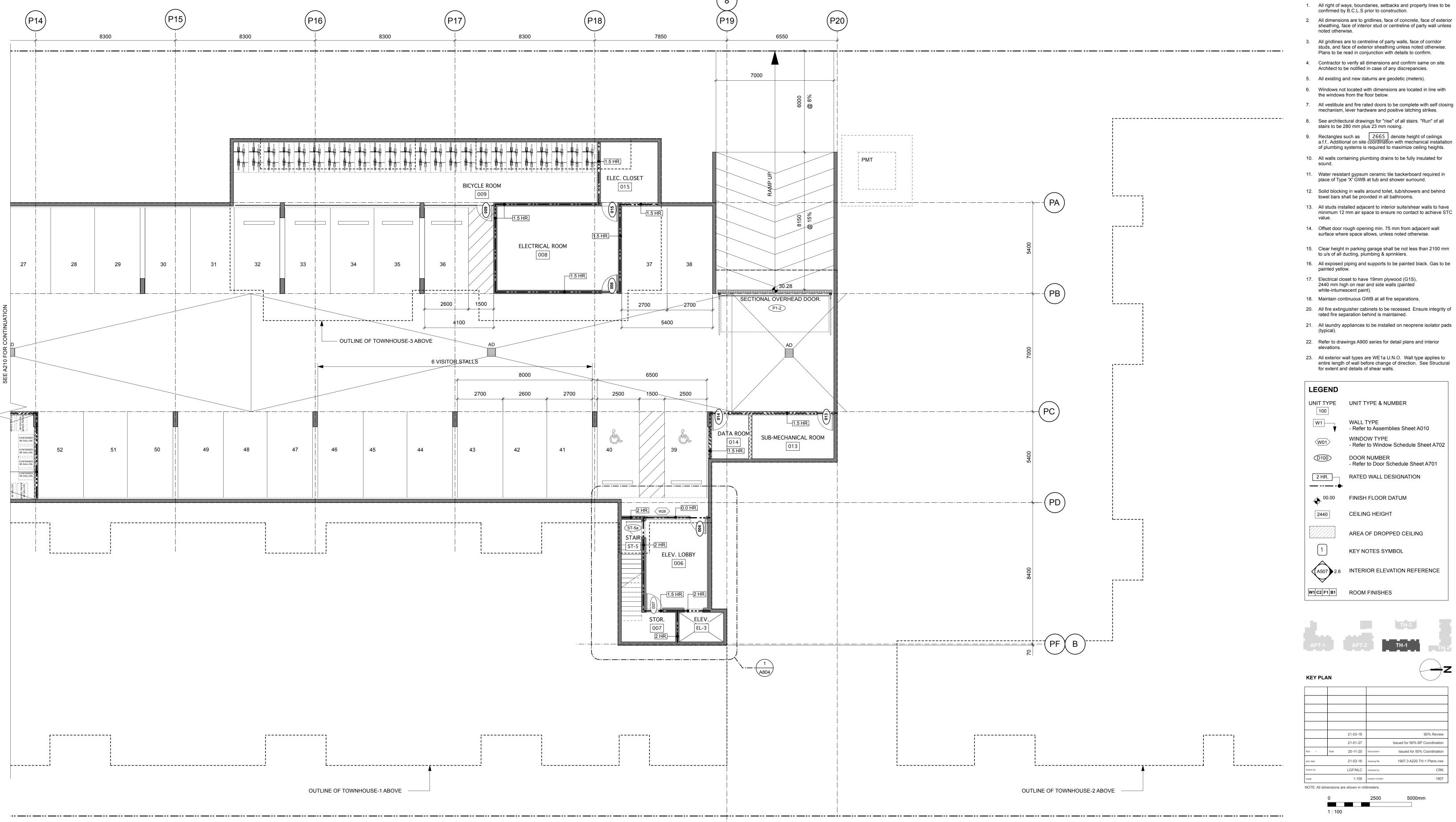


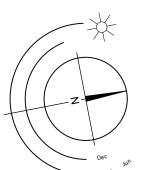




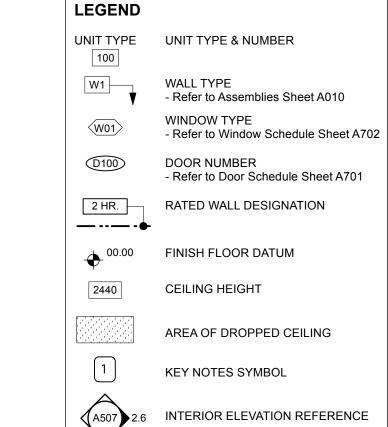
Caledonia Victoria BC

APT-2 Roof Plan





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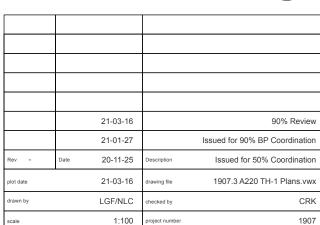




ROOM FINISHES







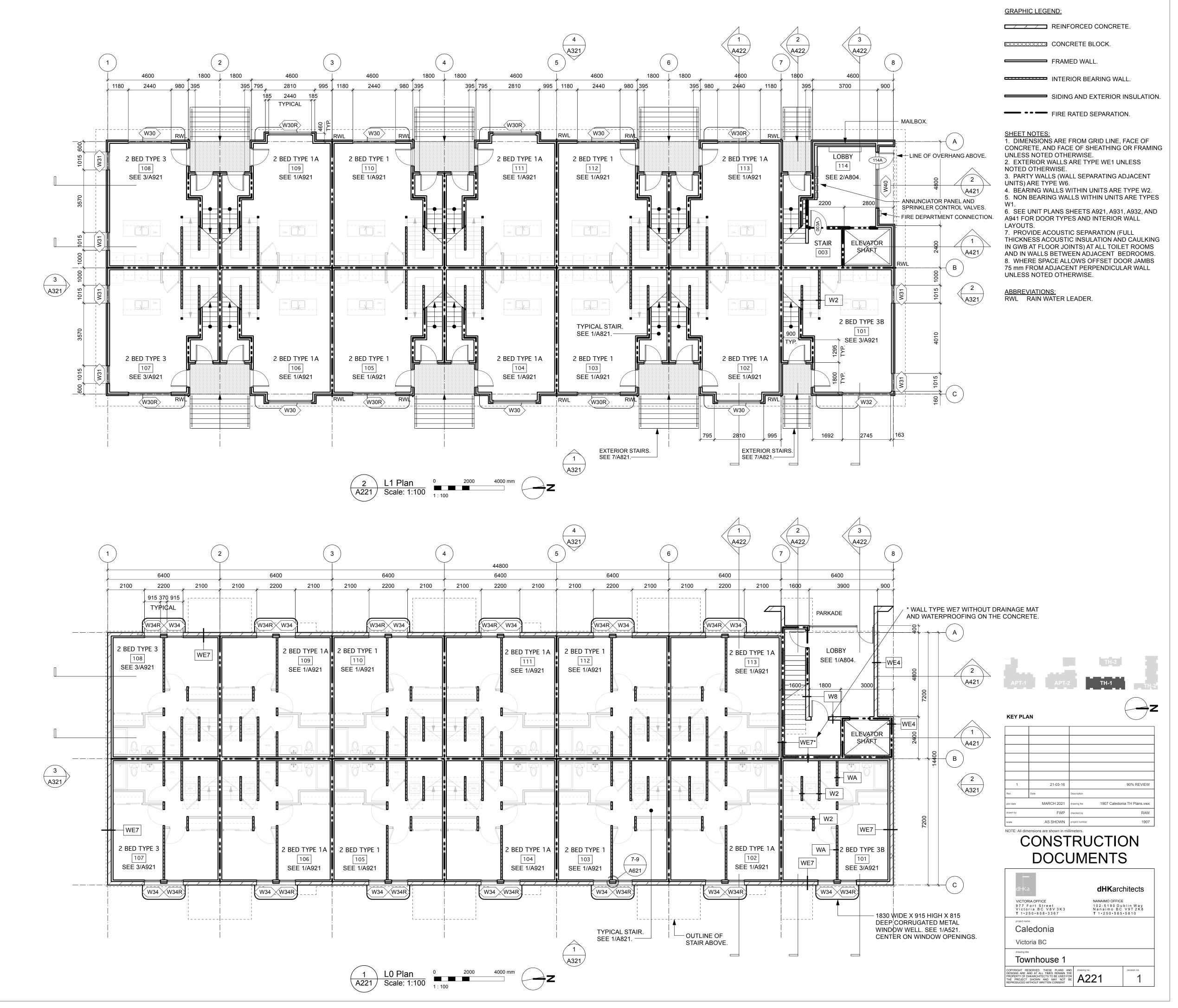
NOTE: All dimensions are shown in millimeters.

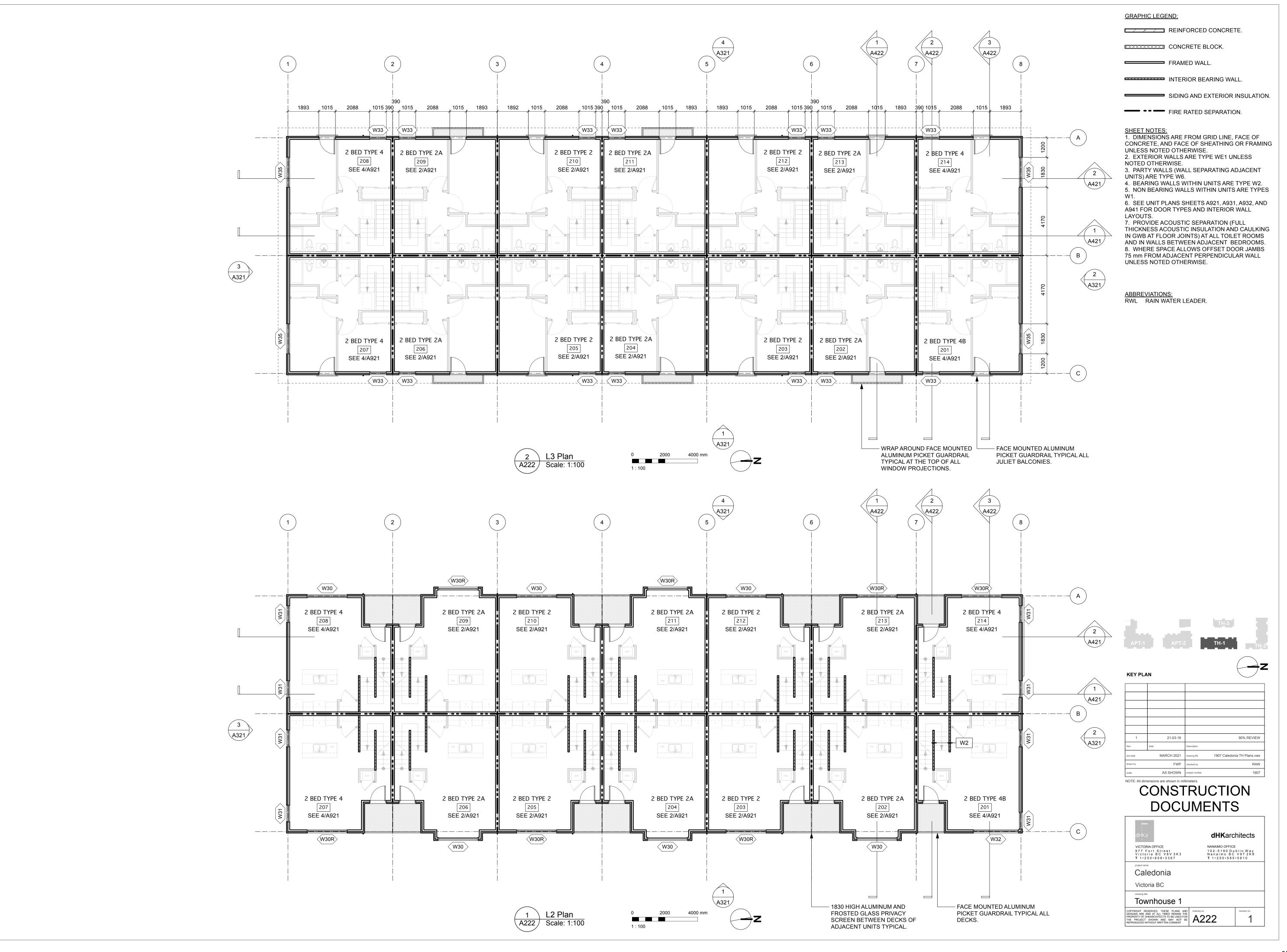


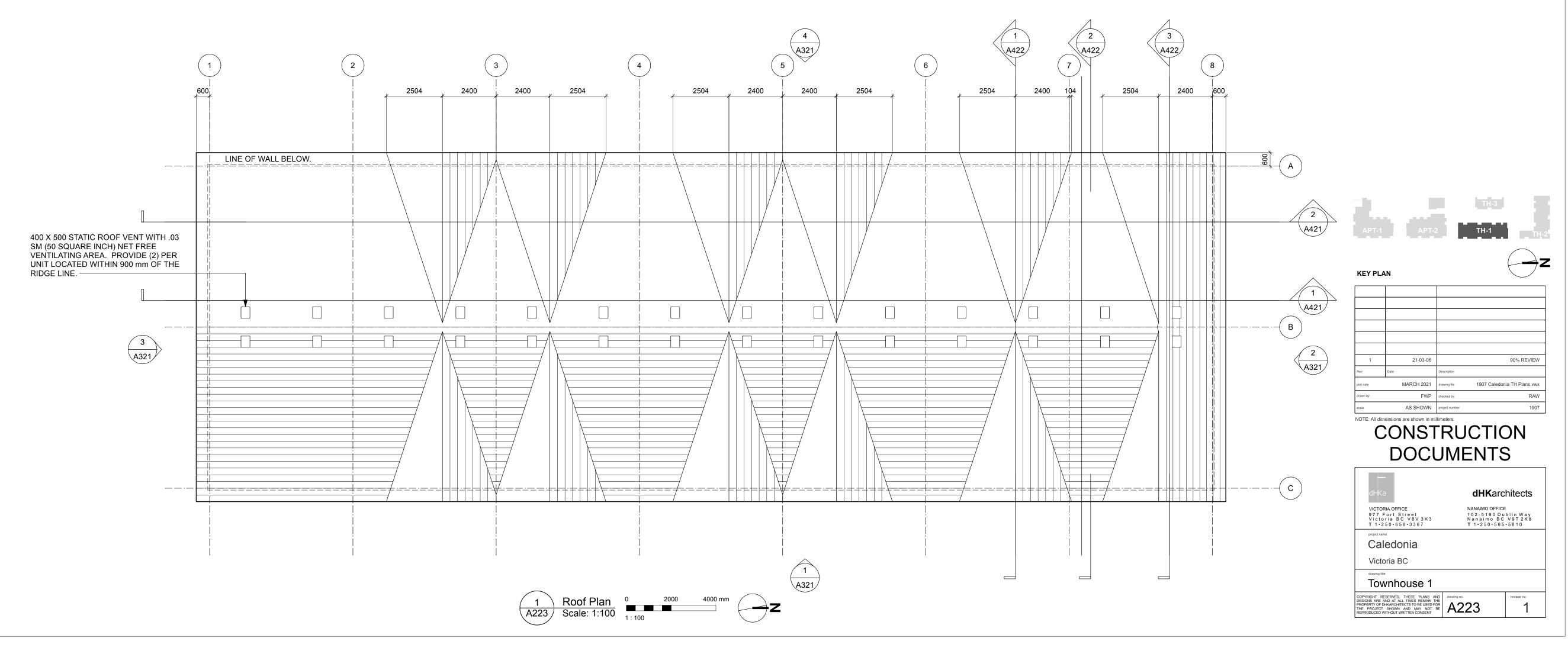


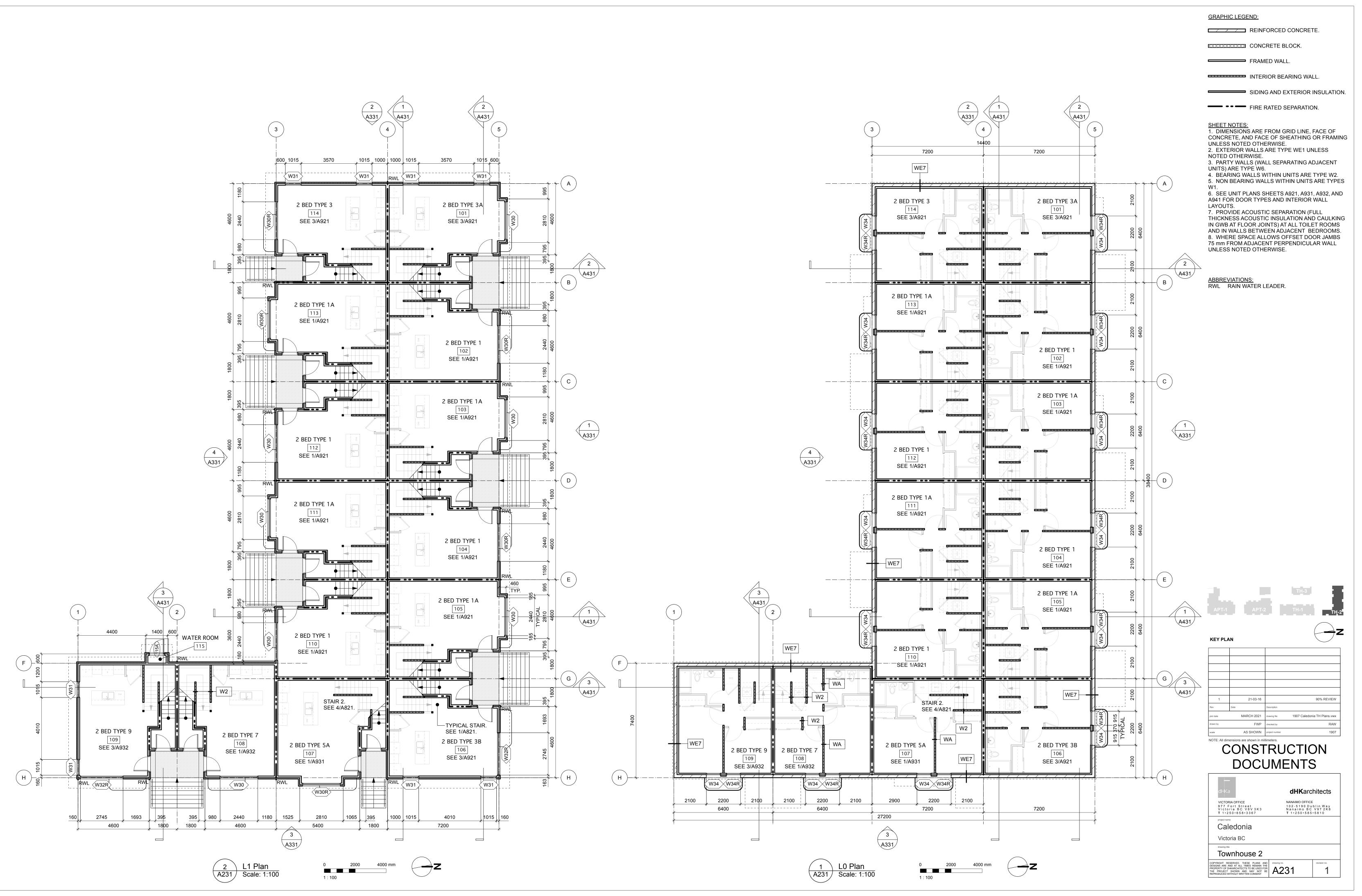
dHKarchitects 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810

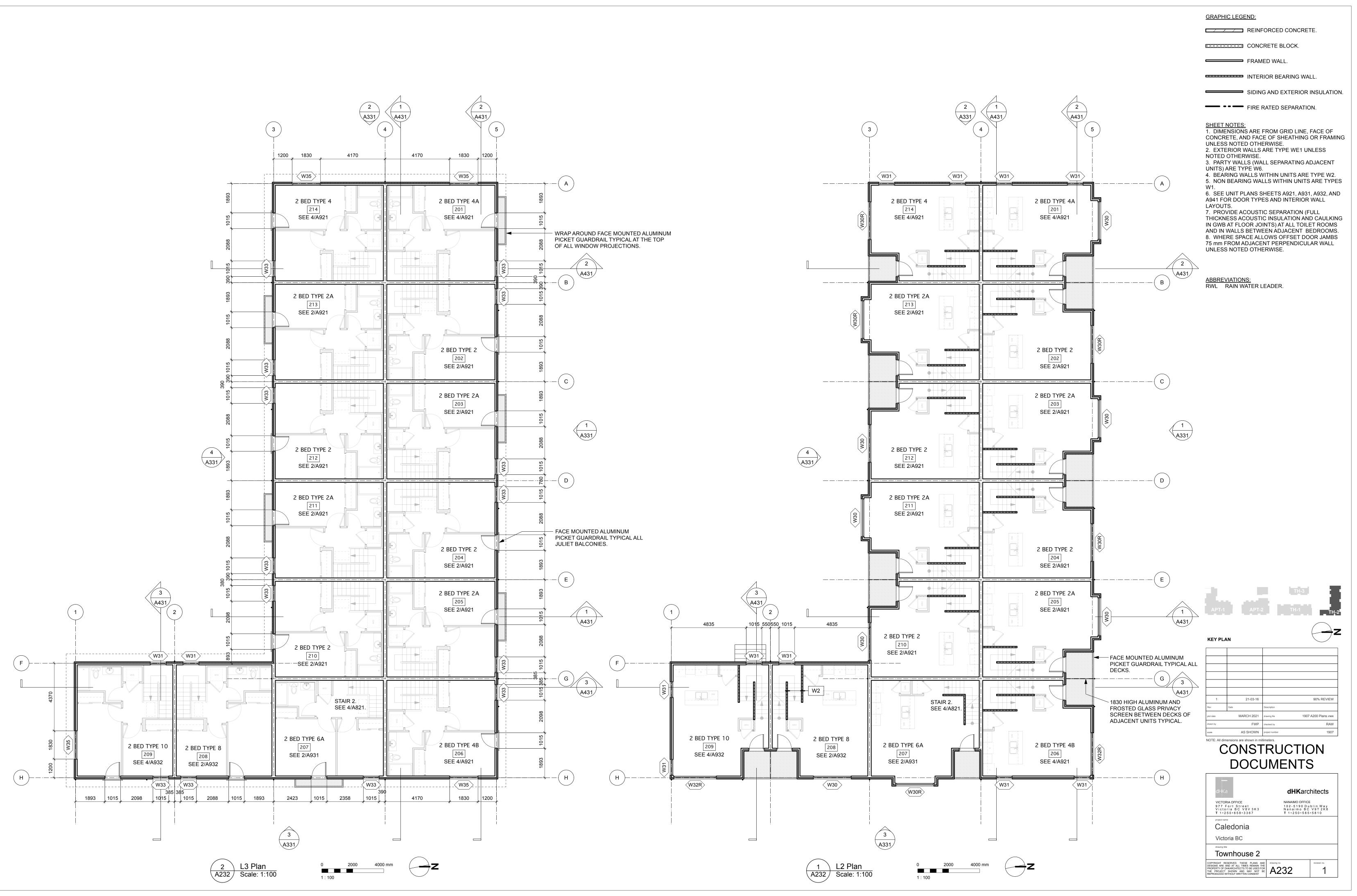
Victoria BC TH-1 Parkade Plan

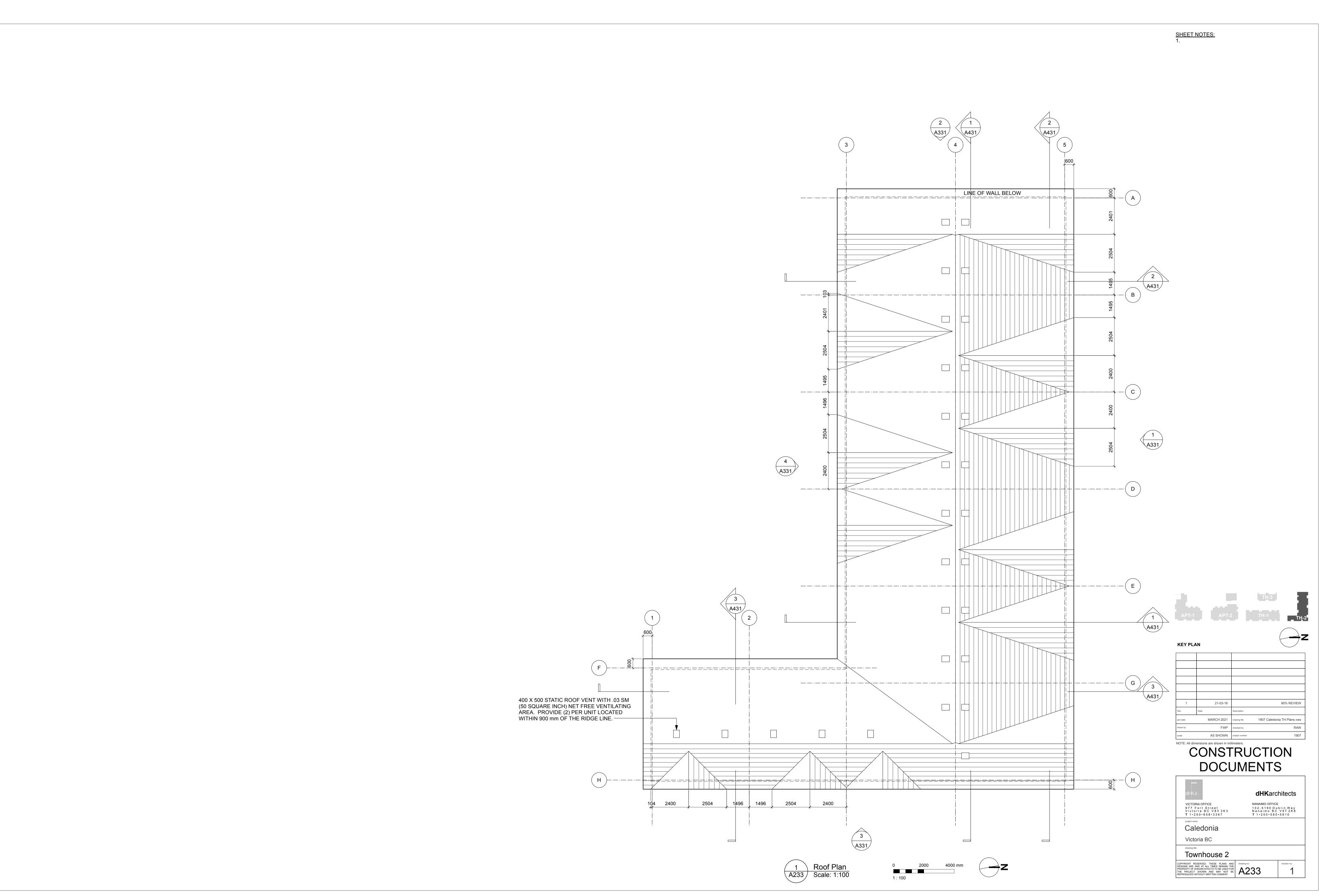


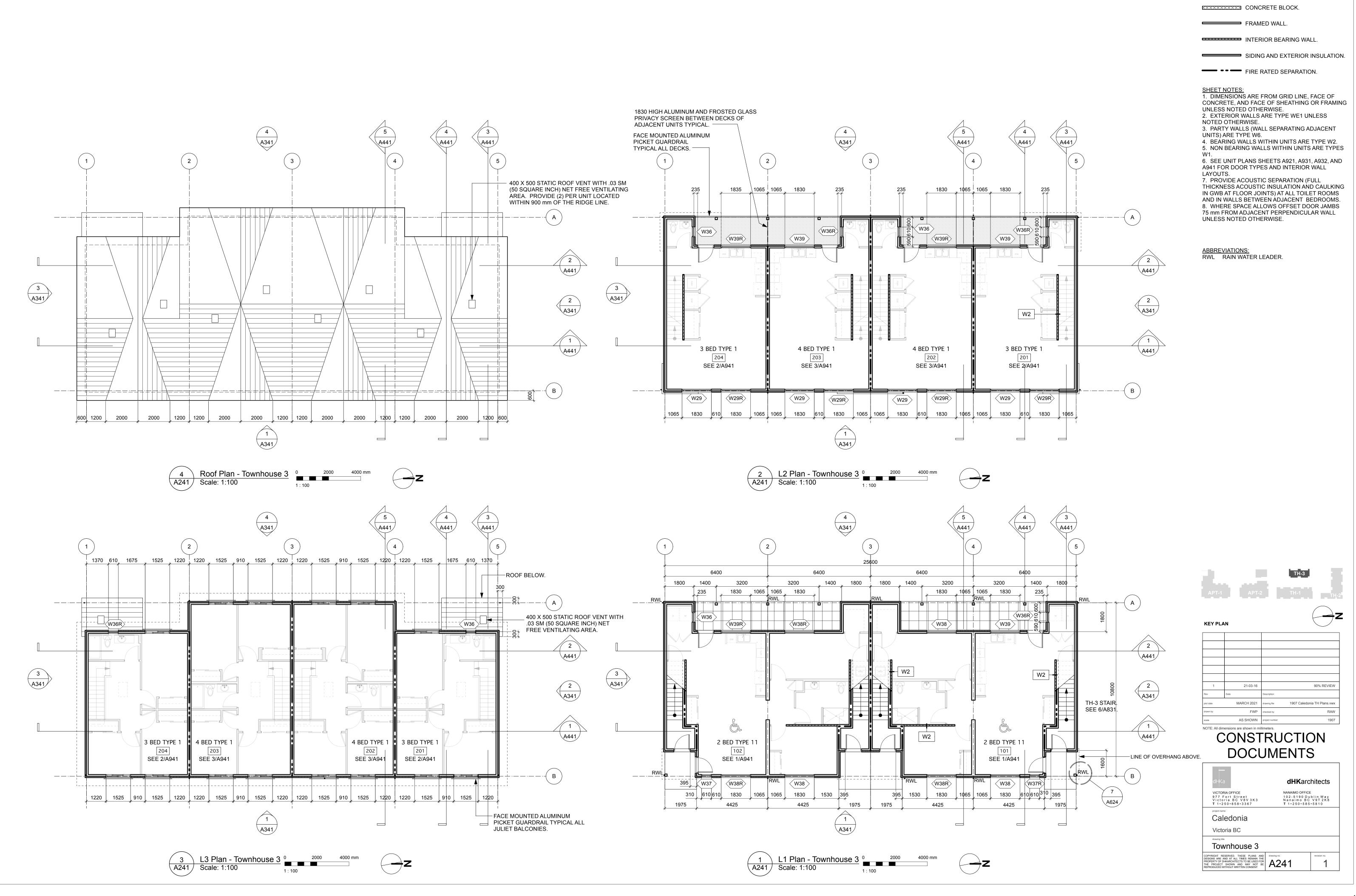






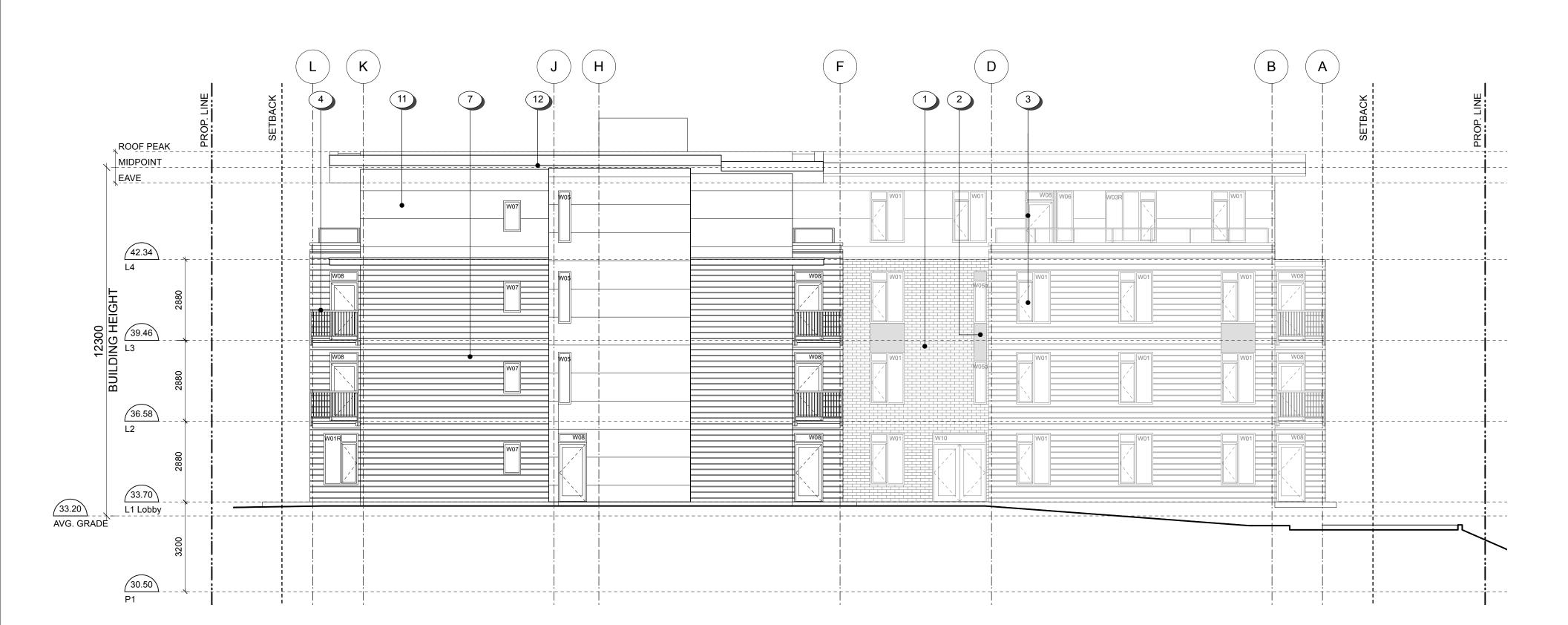




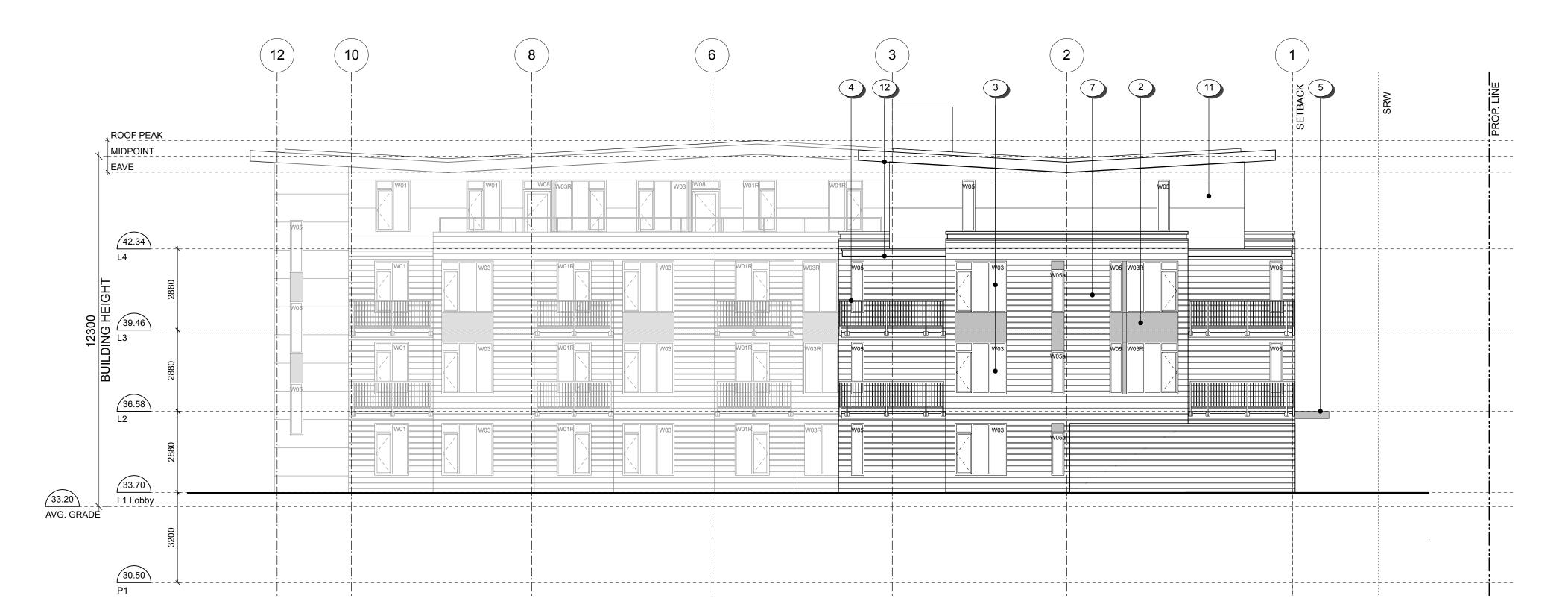


GRAPHIC LEGEND:

REINFORCED CONCRETE.



Apartment 1 - North Elevation
Scale: 1:100



A301 Apartment 1 - West Elevation
Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER Red Apartment 1 Only
- 2 FIBRE CEMENT PANEL Teal
- 3 VINYL WINDOWS & DOORS Teal PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING Teal
- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown
- 8 FIBRE CEMENT PANEL Warm Grey Apartment 2 Only
- 9 SOFFIT Warm Grey Apartment 2 Only
- 10 PAINTED CONCRETE Warm Grey 11 FIBRE CEMENT PANEL - Warm White
- SOFFIT Warm White
- 13 FIBRE CEMENT LAP SIDING Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING White
- 15 VINYL WINDOWS & DOORS Dark Grey
- PREFINISHED ALUMINUM GUARD & FRAME Dark Grey
- 17 METAL FLASHING Dark Grey
- 18 ASPHALT SHINGLES Warm Grey
- 19 FIBRE CEMENT SHINGLES Warm Grey
- VINYL WINDOWS & DOORS White
- 21 METAL DOWNSPOUT & FLASHING Light Warm Grey
- FIBRE CEMENT PANEL Dark Grey
- FIBRE CEMENT PANEL Light Grey
- ACCENT PAINT COLOUR Bright Orange
- 25 ACCENT PAINT COLOUR Bright Blue
- 26 ACCENT PAINT COLOUR Chartreuse



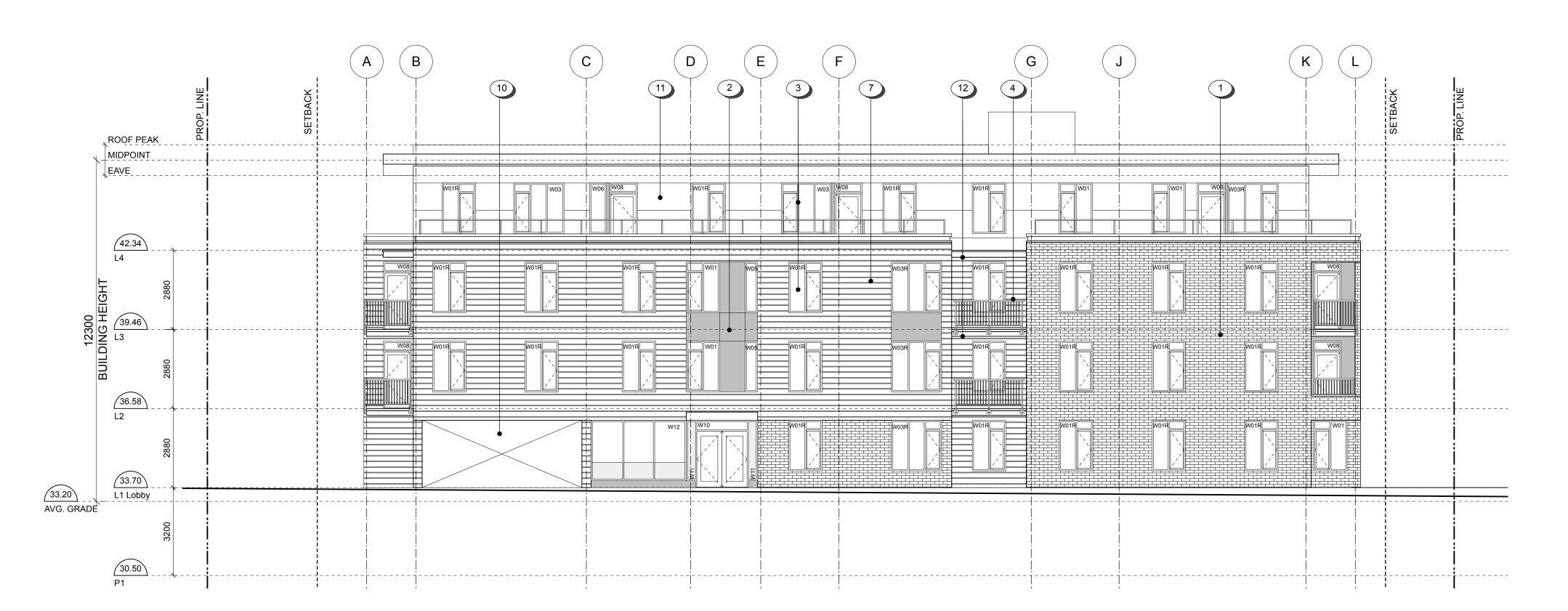


KEY PLAN

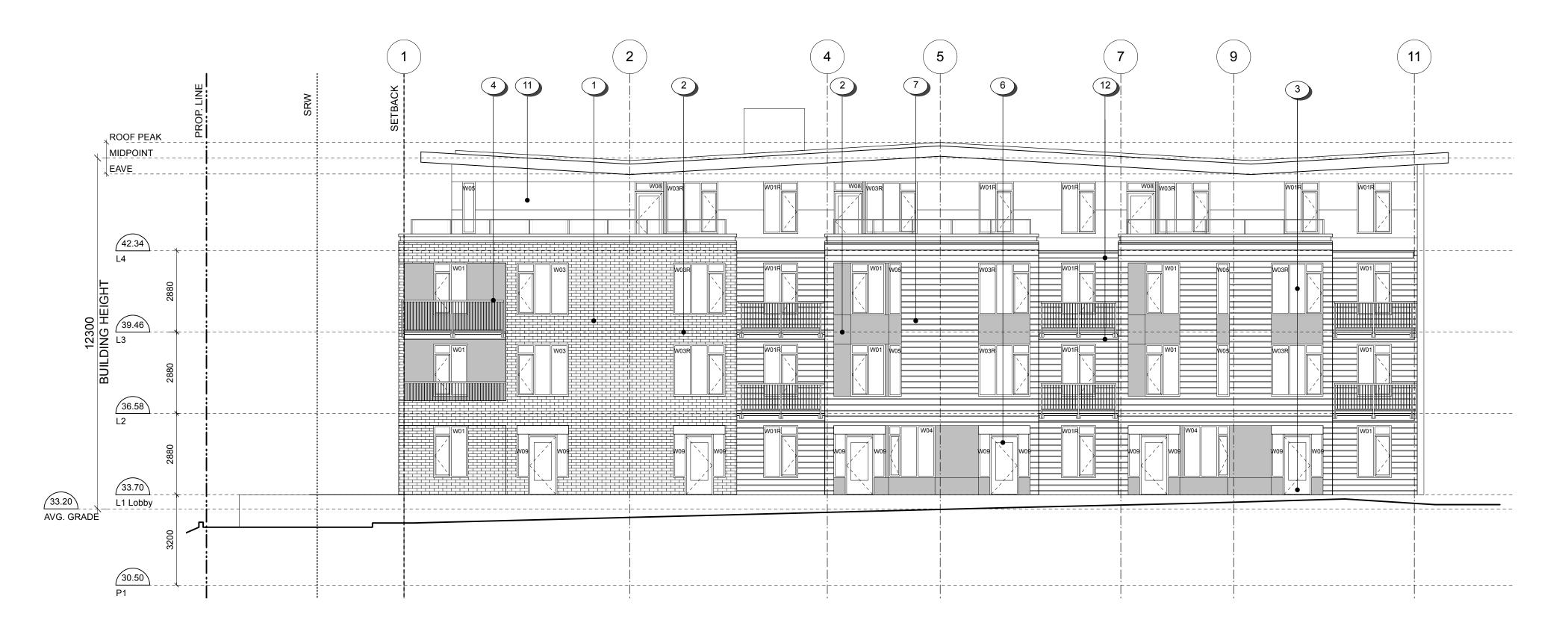
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		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A300 APT Elevations
drawn by		LGF	checked by	CRK
scale	•	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

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Caledonia	
Victoria BC	
APT-1 Elevations	



Apartment 1 - South Elevation
Scale: 1:100



Apartment 1 - East Elevation
Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER Red Apartment 1 Only
- 2 FIBRE CEMENT PANEL Teal
- 3 VINYL WINDOWS & DOORS Teal PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
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- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown
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- 14 FIBRE CEMENT LAP SIDING White
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- PREFINISHED ALUMINUM GUARD & FRAME Dark Grey
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- 19 FIBRE CEMENT SHINGLES Warm Grey
- VINYL WINDOWS & DOORS White
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- FIBRE CEMENT PANEL Dark Grey
- FIBRE CEMENT PANEL Light Grey
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- 25 ACCENT PAINT COLOUR Bright Blue
- 26 ACCENT PAINT COLOUR Chartreuse





KEY PLAN 90% Review Issued for 90% BP Coordination

1907.3 A300 APT Elevations

1:100 project number NOTE: All dimensions are shown in millimeters.

LGF checked by

21-03-16

	dHKa	dHKarchitects
	VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T2K8 T1•250•585•5810
	Caledonia	
_	Victoria BC drawing title APT-1 Elevations	



1 Apartment 2 - North Elevation A311 Scale: 1:100



2 Apartment 2 - West Elevation A311 Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER Red Apartment 1 Only
 - ,
- 2 FIBRE CEMENT PANEL Teal
- 3 VINYL WINDOWS & DOORS Teal
 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS Teal
- 5 METAL FLASHING Teal
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- Communication and the second s
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21-03-16	90% Review		
21-01-27	Issued for 90% BP Coordination		
Rev - Date	20-11-25	Description	Issued for 50% Coordination
plot date	21-03-16	drawing file	1907.3 A300 APT Elevations
drawn by	LGF	checked by	CRK
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

0 2500 5000

1:100

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1 · 2 5 0 · 6 5 8 · 3 3 6 7

Project name

Caledonia

Victoria BC

dHKarchitects

NANAIMO OFFICE
102 · 5 1 9 0 Dublin Way
Nanaimo BC V 9 T 2 K8
T 1 · 2 5 0 · 5 8 5 · 5 8 1 0

Project name

Caledonia

Victoria BC

drawing title

APT-2 Elevations



Apartment 2 - South Elevation
Scale: 1:100



Apartment 2 - East Elevation
Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER Red Apartment 1 Only
- 2 FIBRE CEMENT PANEL Teal
- 3 VINYL WINDOWS & DOORS Teal
- PREFINISHED ALUMINUM GUARD, FRAME & PICKETS Teal
- 5 METAL FLASHING Teal
- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown

8 FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only

- 9 SOFFIT Warm Grey Apartment 2 Only
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- SOFFIT Warm White
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KEY PLAN

90% Review Issued for 90% BP Coordination 20-11-25 De 21-03-16 LGF checked I 1:100 project number

NOTE: All dimensions are shown in millimeters.

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977 Fort Street
Victoria BC V8V 3K3
T 1 • 250 • 658 • 3367 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T2K8 T 1•250•585•5810 Caledonia Victoria BC

APT-2 Elevations





SHEET NOTES:

1. BOTTOM OF FASCIA AND TOP OF GABLE PROJECTIONS ARE APPROXIMATELY 500 mm

OVERHANG WITH DIFFERENT ROOF PITCH.

LOWER AT HIP ROOF TO MAINTAIN DEPTH OF ROOF

1A

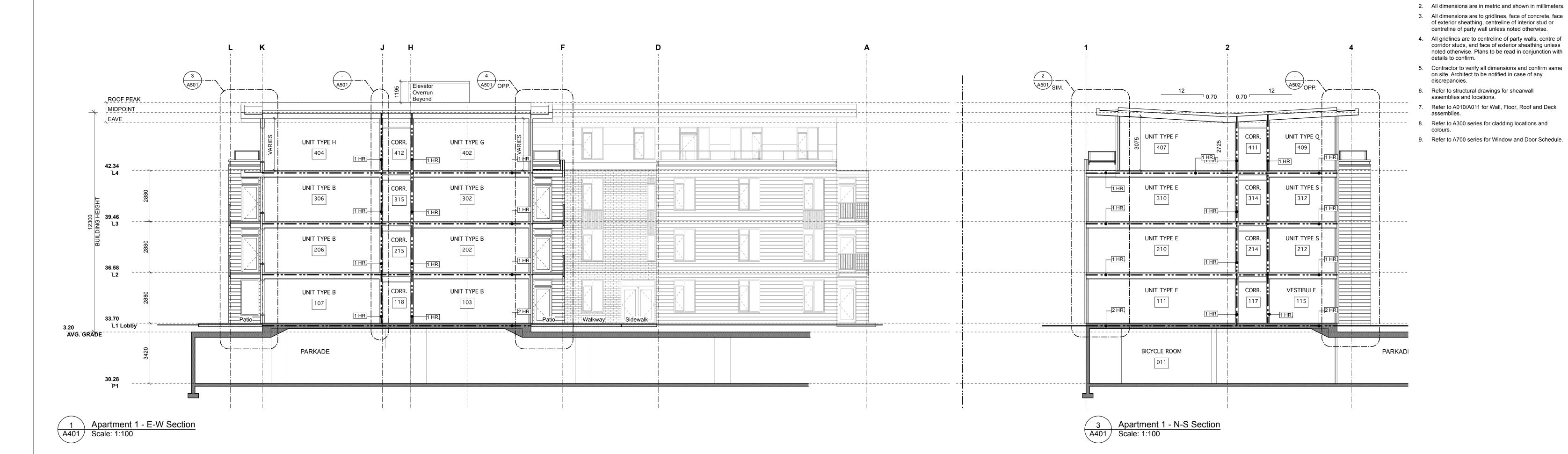
CONCRETE - PAINT COLOUR WARM GREY.

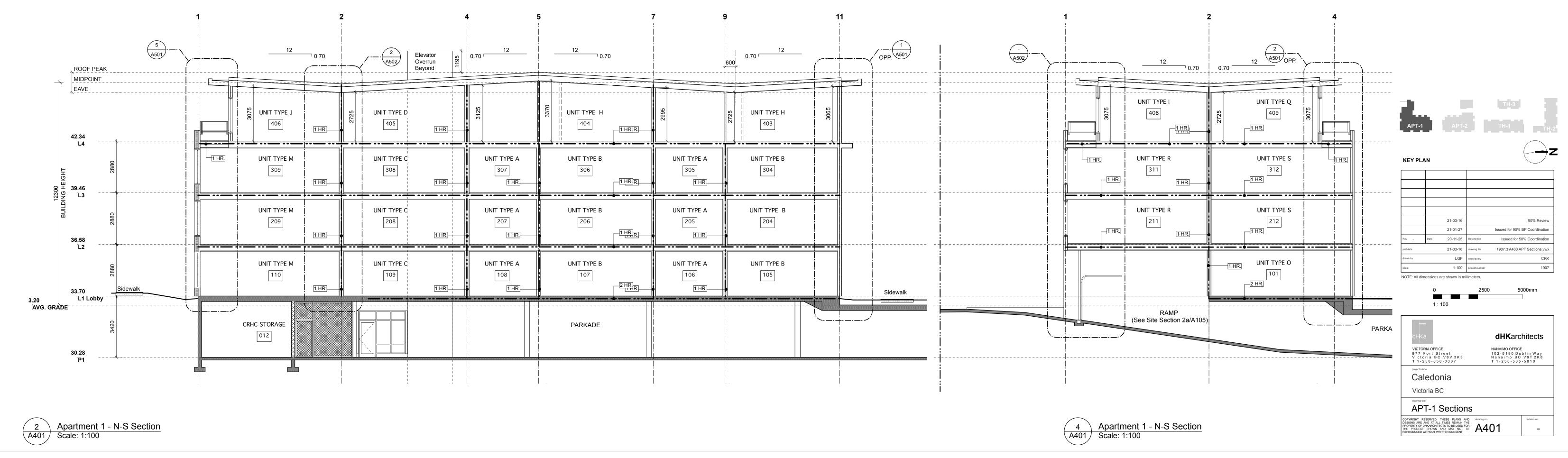
COLOUR & MATERIALS LEGEND

FIBER CEMENT LAP SIDING - COLOUR MEDIUM BLUE GREY.

FIBER CEMENT LAP SIDING - COLOUR WHITE.

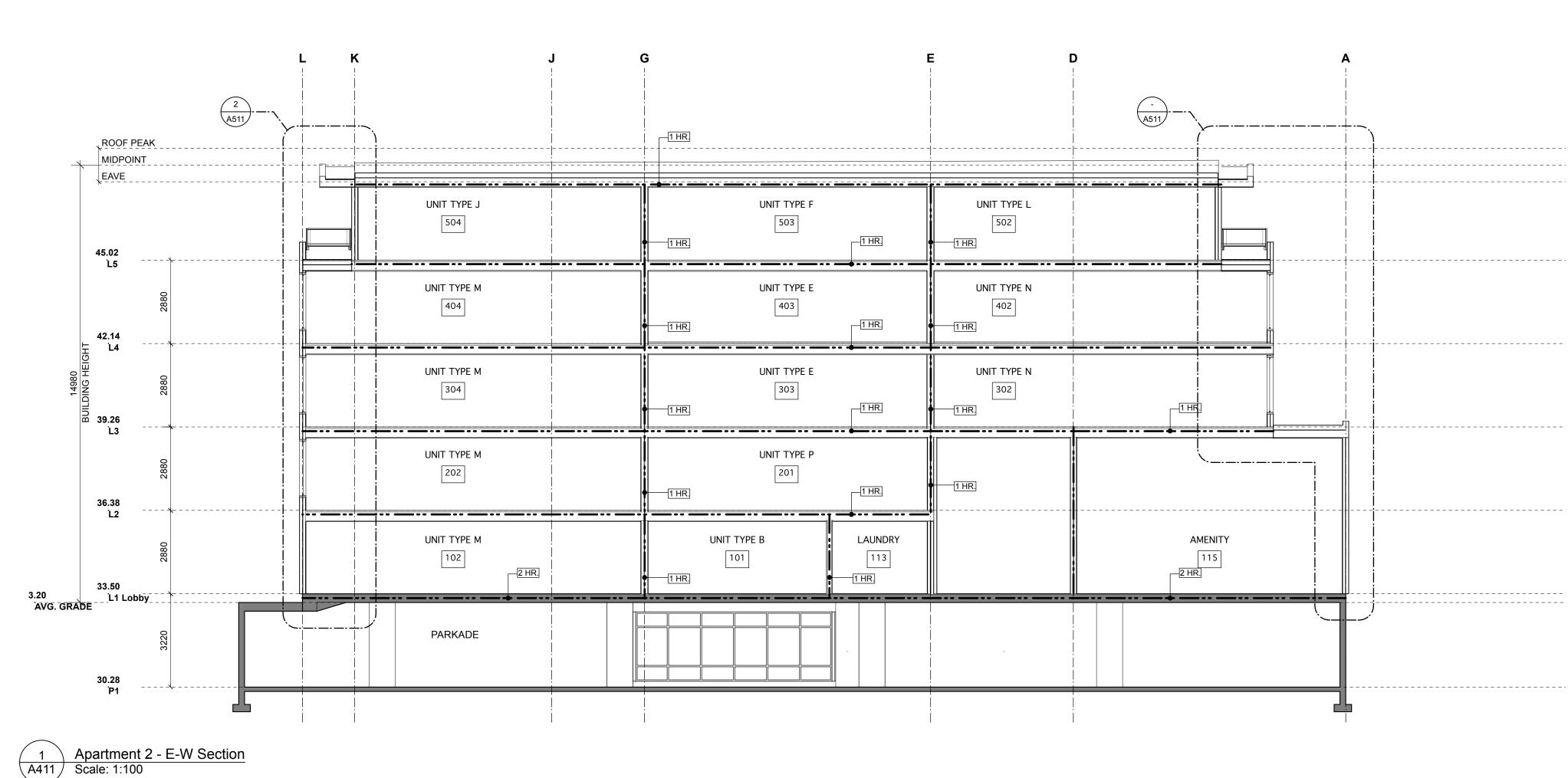


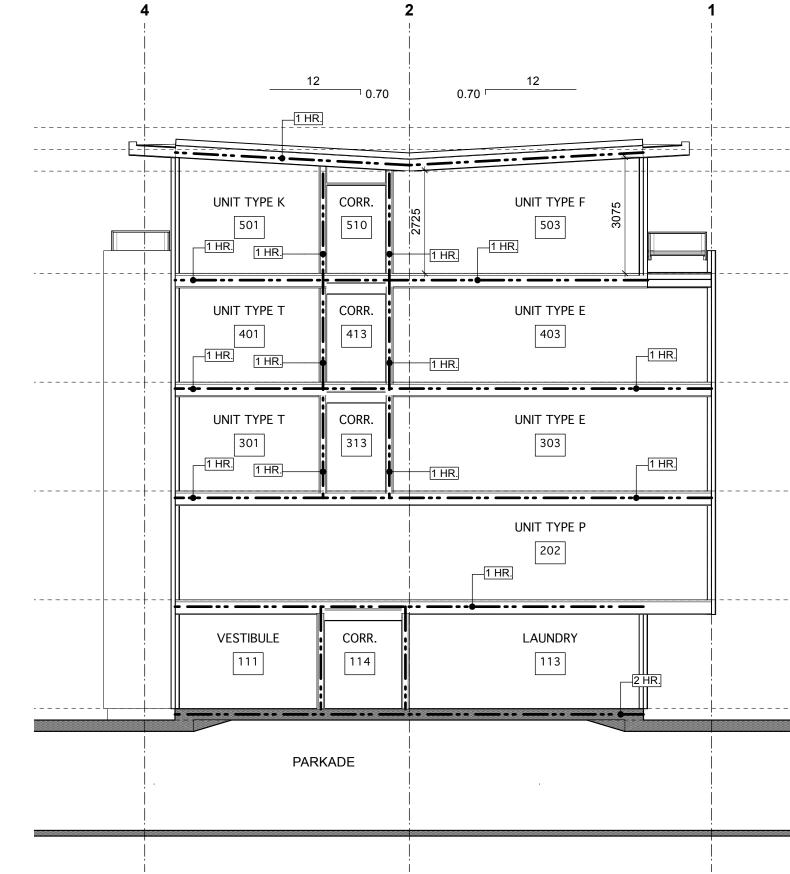




General Notes

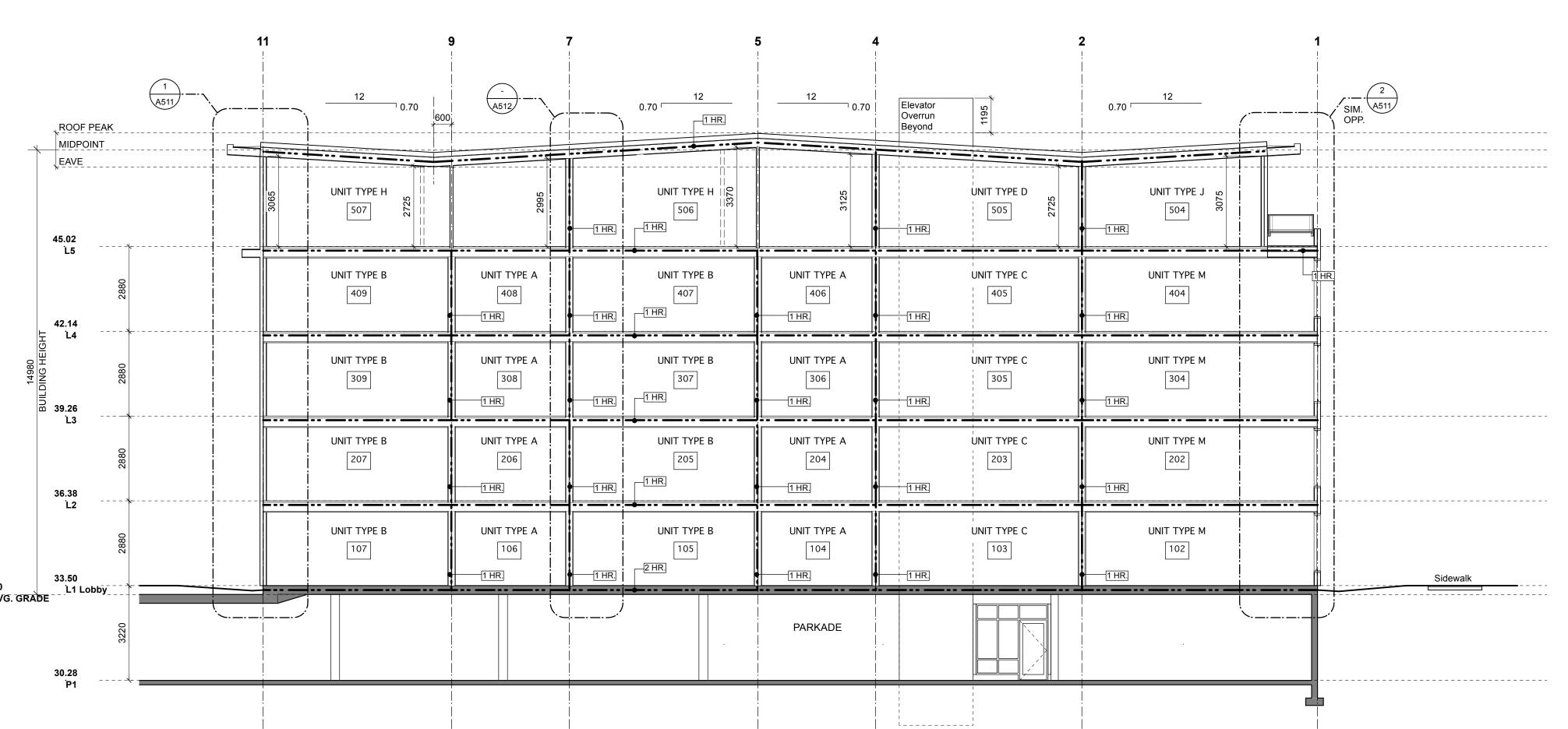
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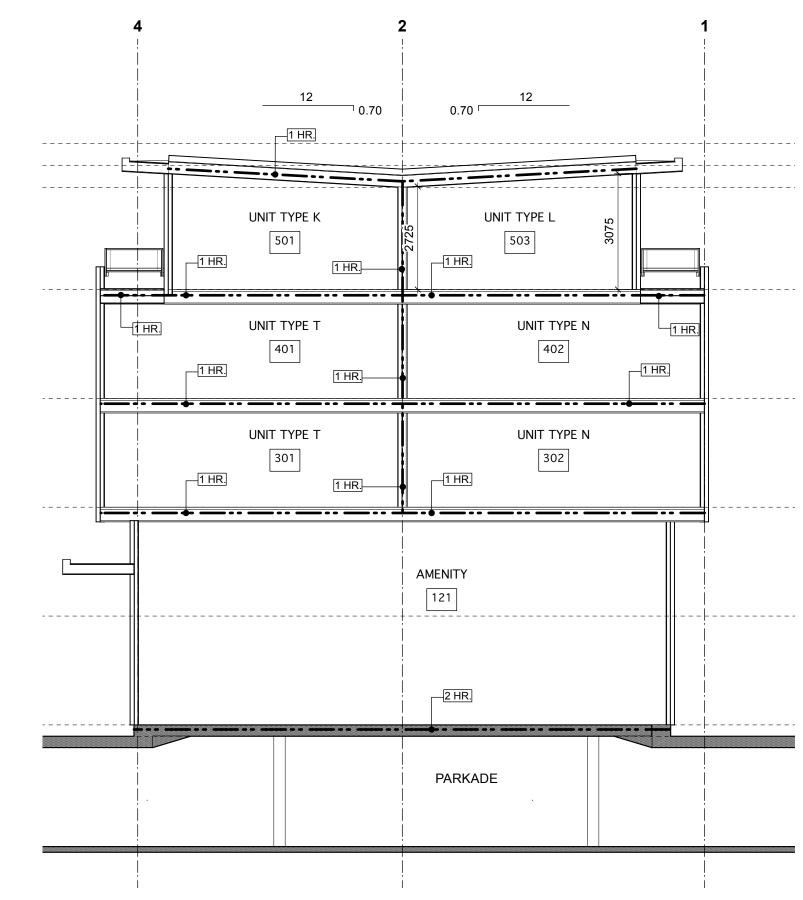




Apartment 2 - N-S Section
Scale: 1:100

Apartment 2 - N-S Section
Scale: 1:100





General Notes

- 1. Floor datums are geodetic and shown in meters.
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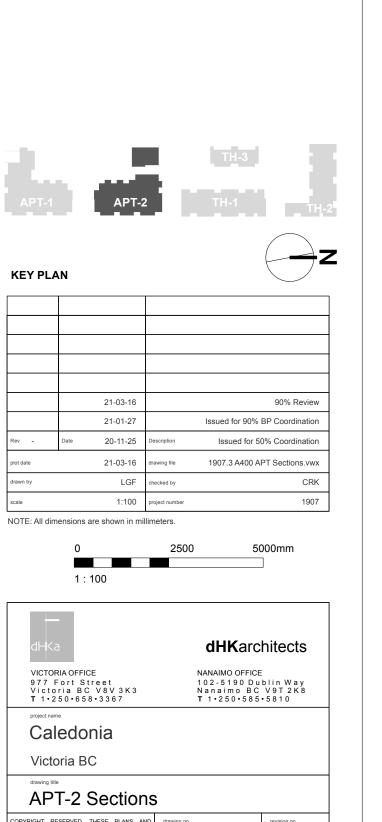
 5. Contractor to verify all dimensions and confirm same

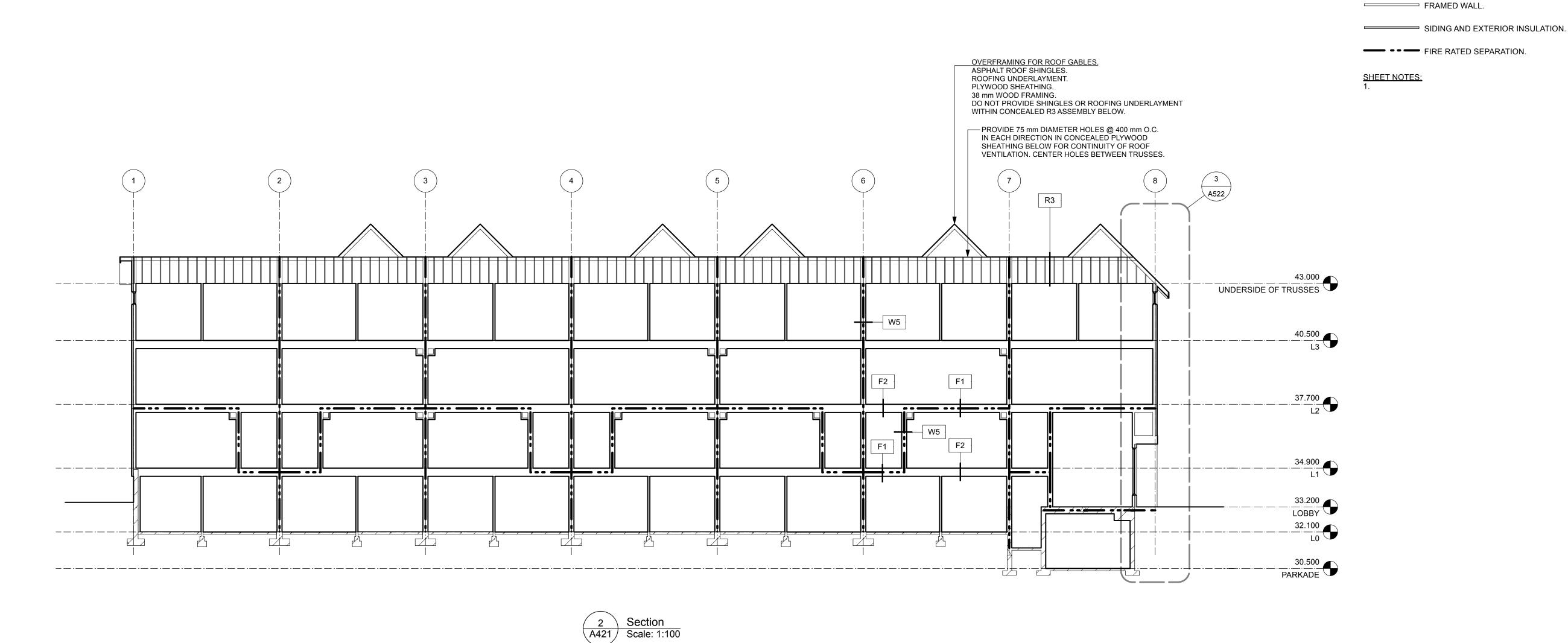
on site. Architect to be notified in case of any

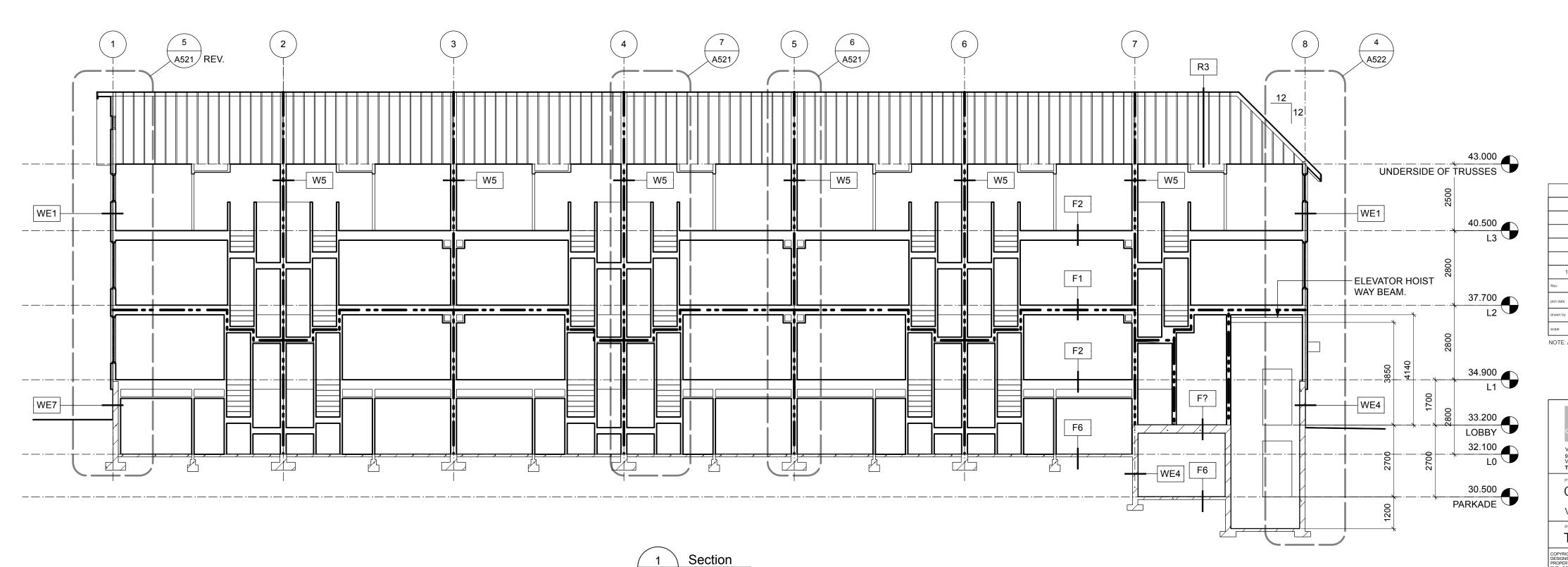
- 6. Refer to structural drawings for shearwall
- assemblies and locations.7. Refer to A010/A011 for Wall, Floor, Roof and Deck

discrepancies.

- assemblies.
- Refer to A300 series for cladding locations and colours.
- 9. Refer to A700 series for Window and Door Schedule.



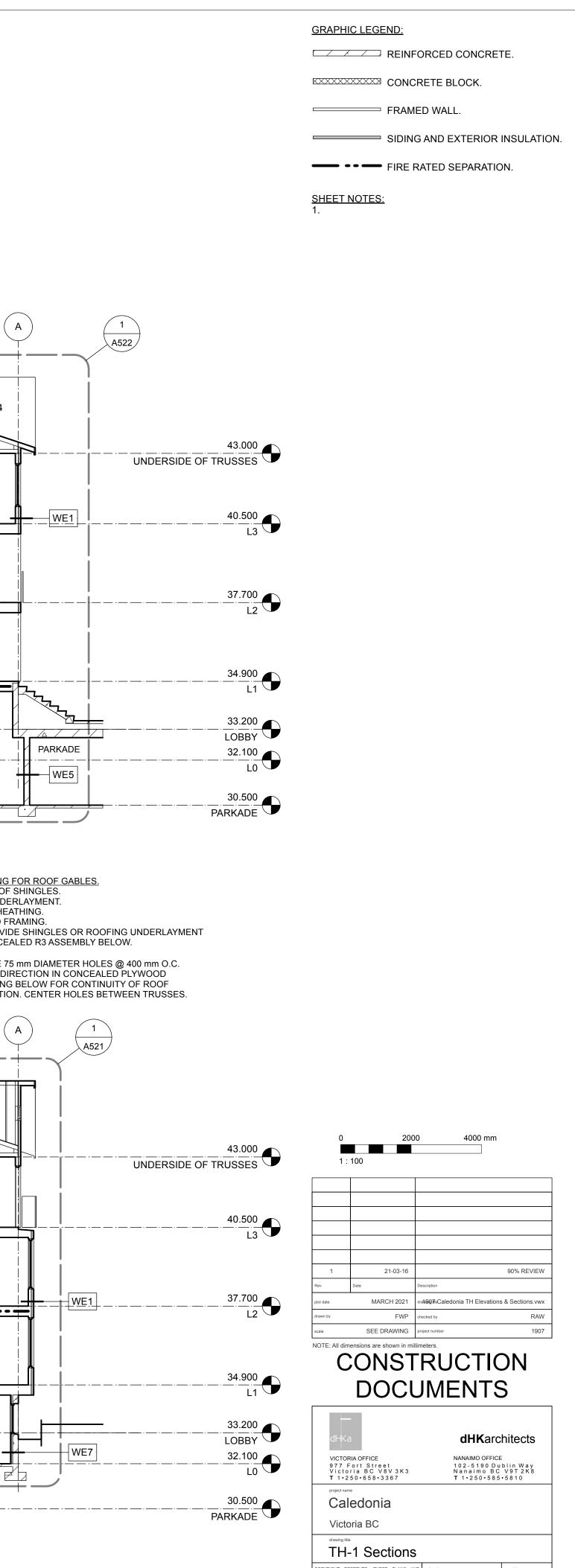


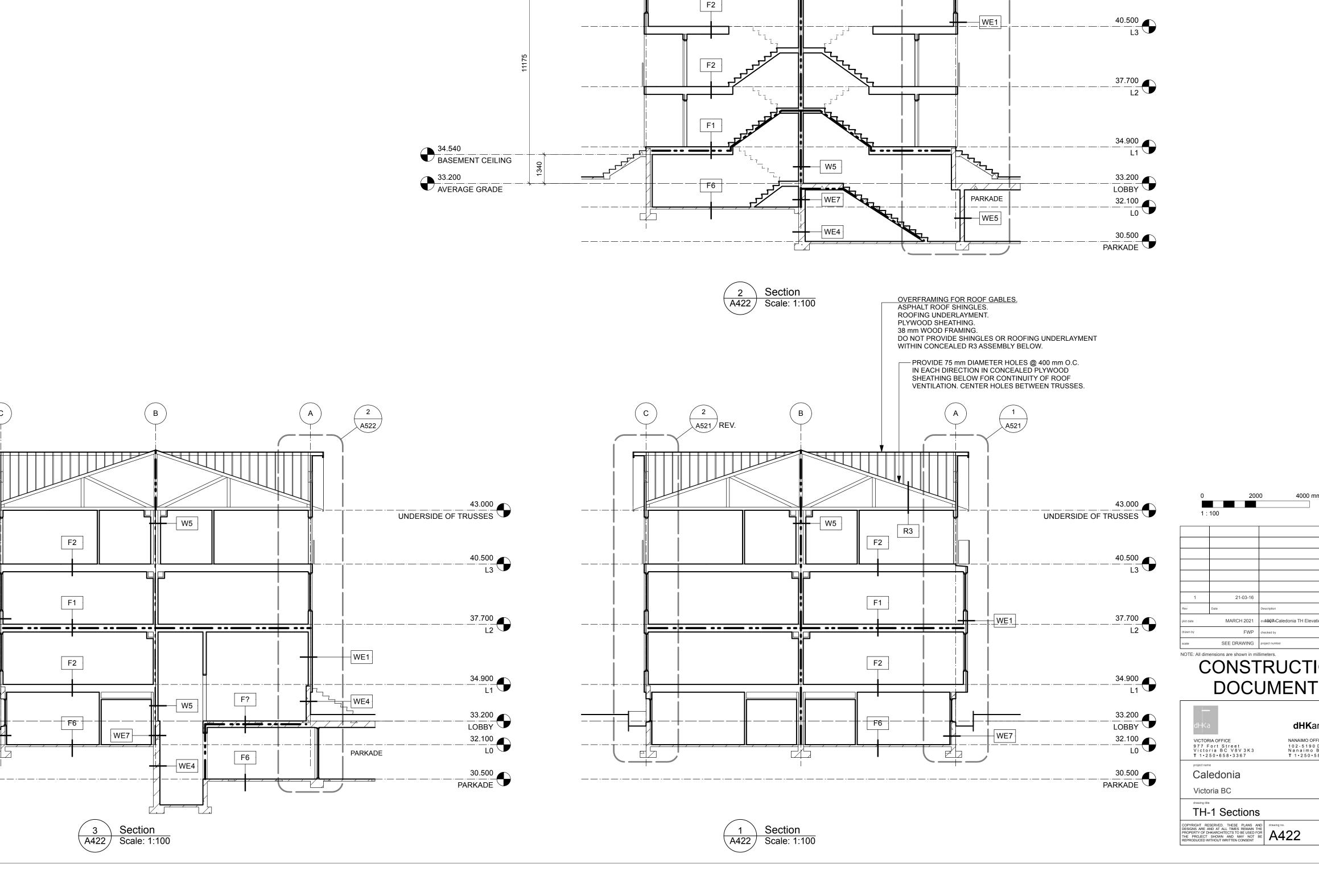


GRAPHIC LEGEND:

REINFORCED CONCRETE.

CONCRETE BLOCK.





44.375 MIDPOINT

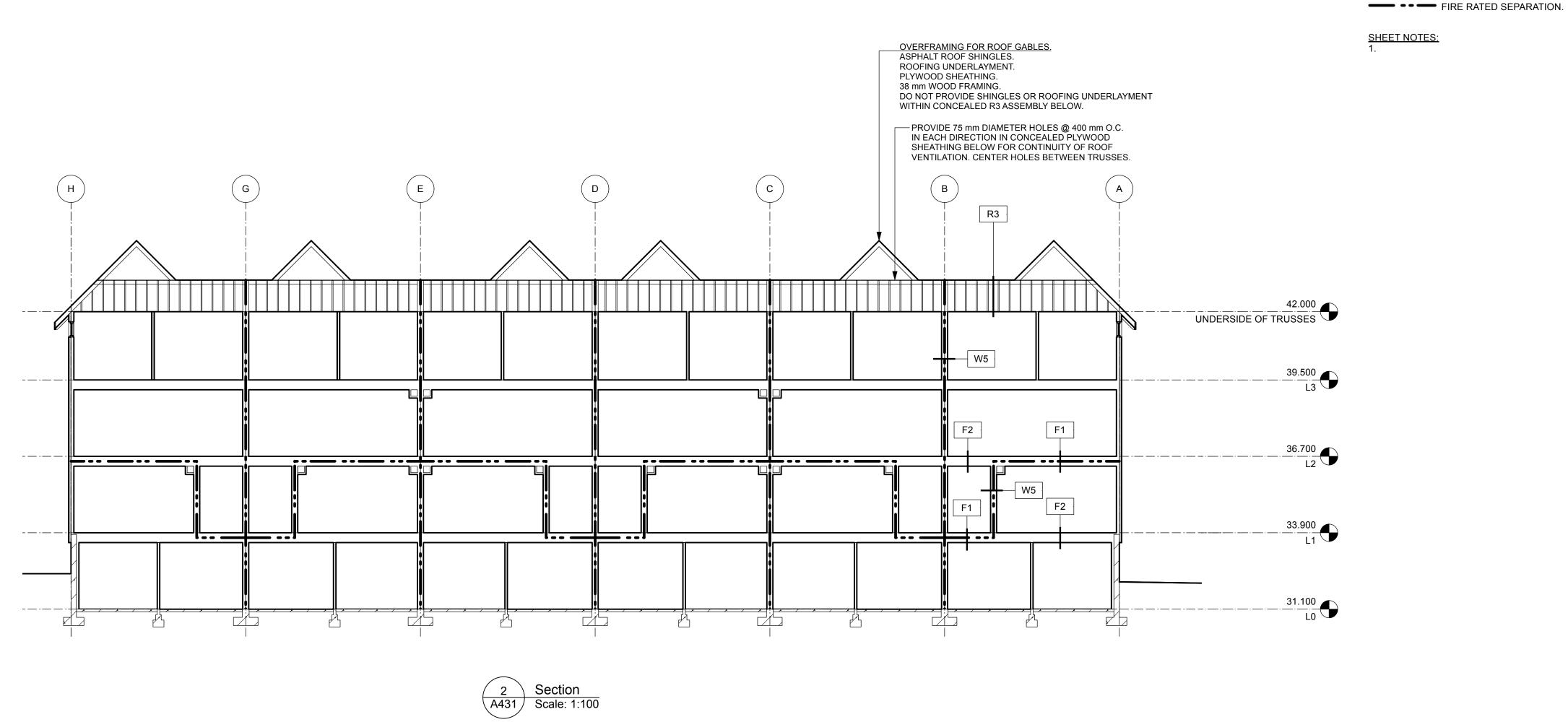
42.950 EAVE

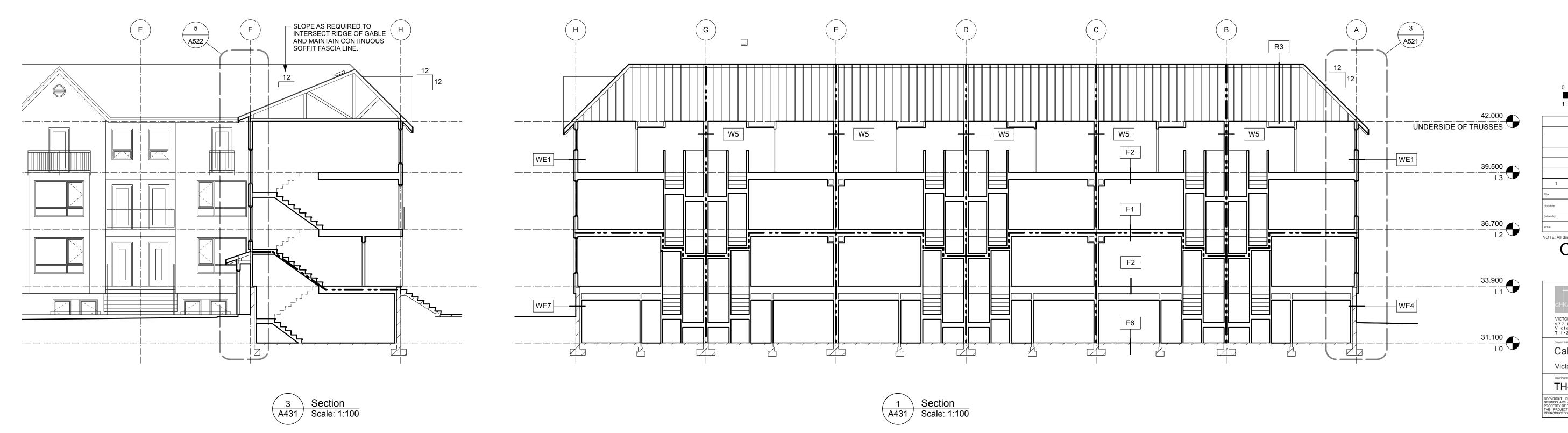
F2

F2

____WE1___

WE7





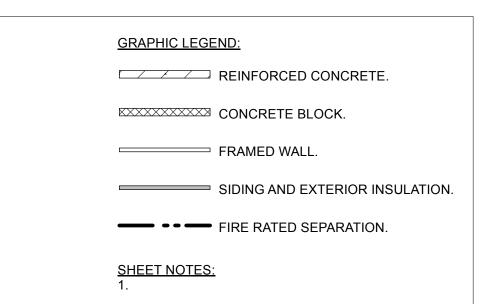
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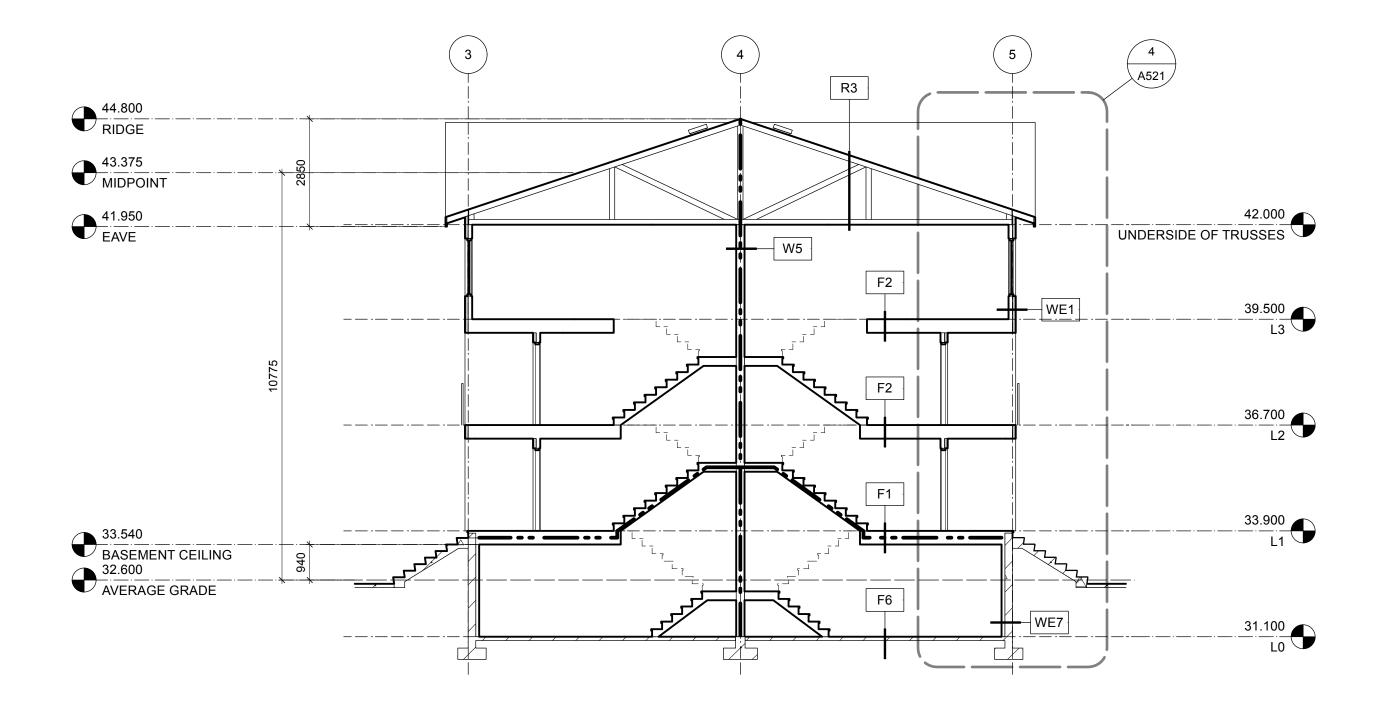
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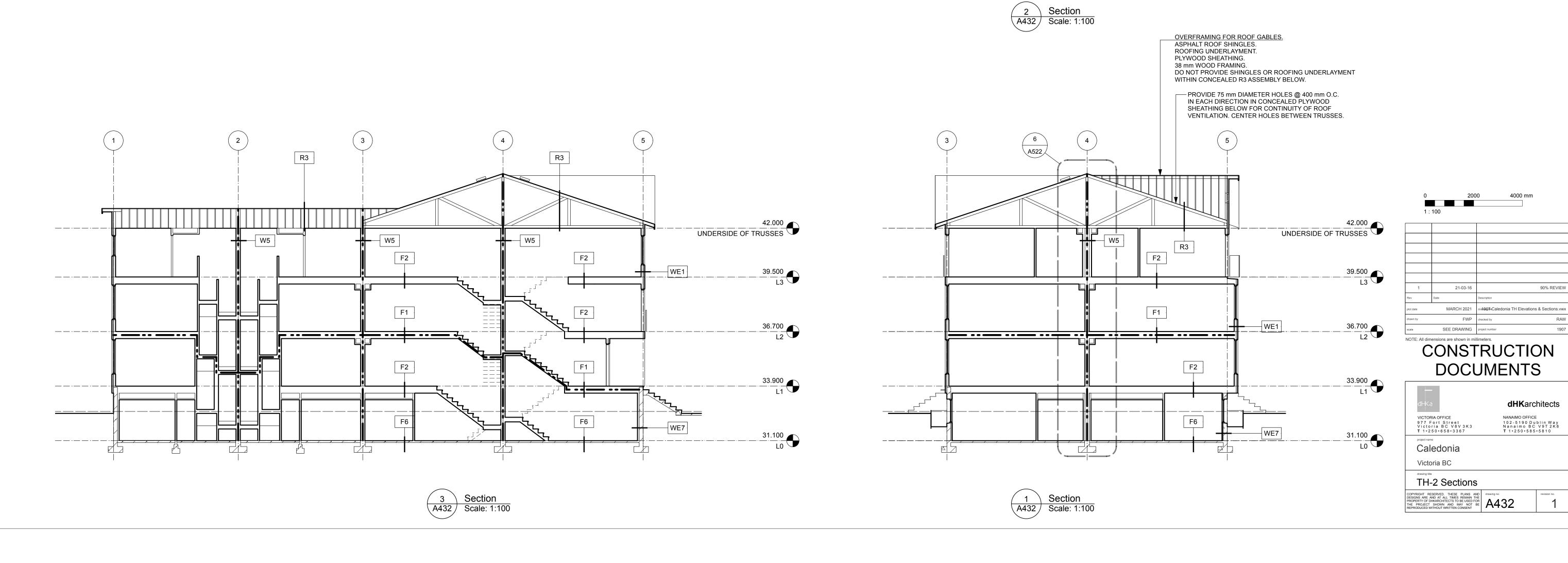
SIDING AND EXTERIOR INSULATION.

CONCRETE BLOCK.

FRAMED WALL.



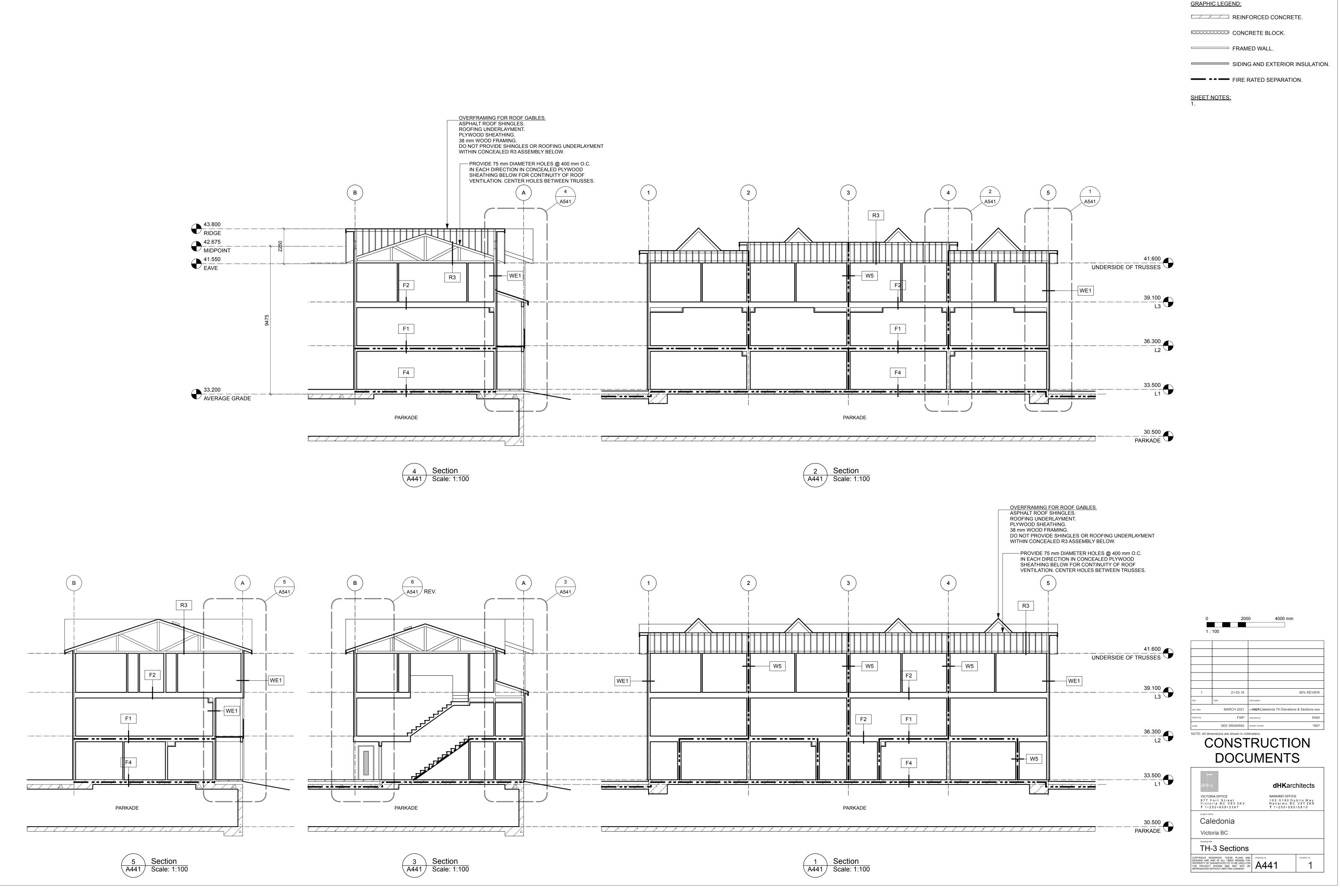


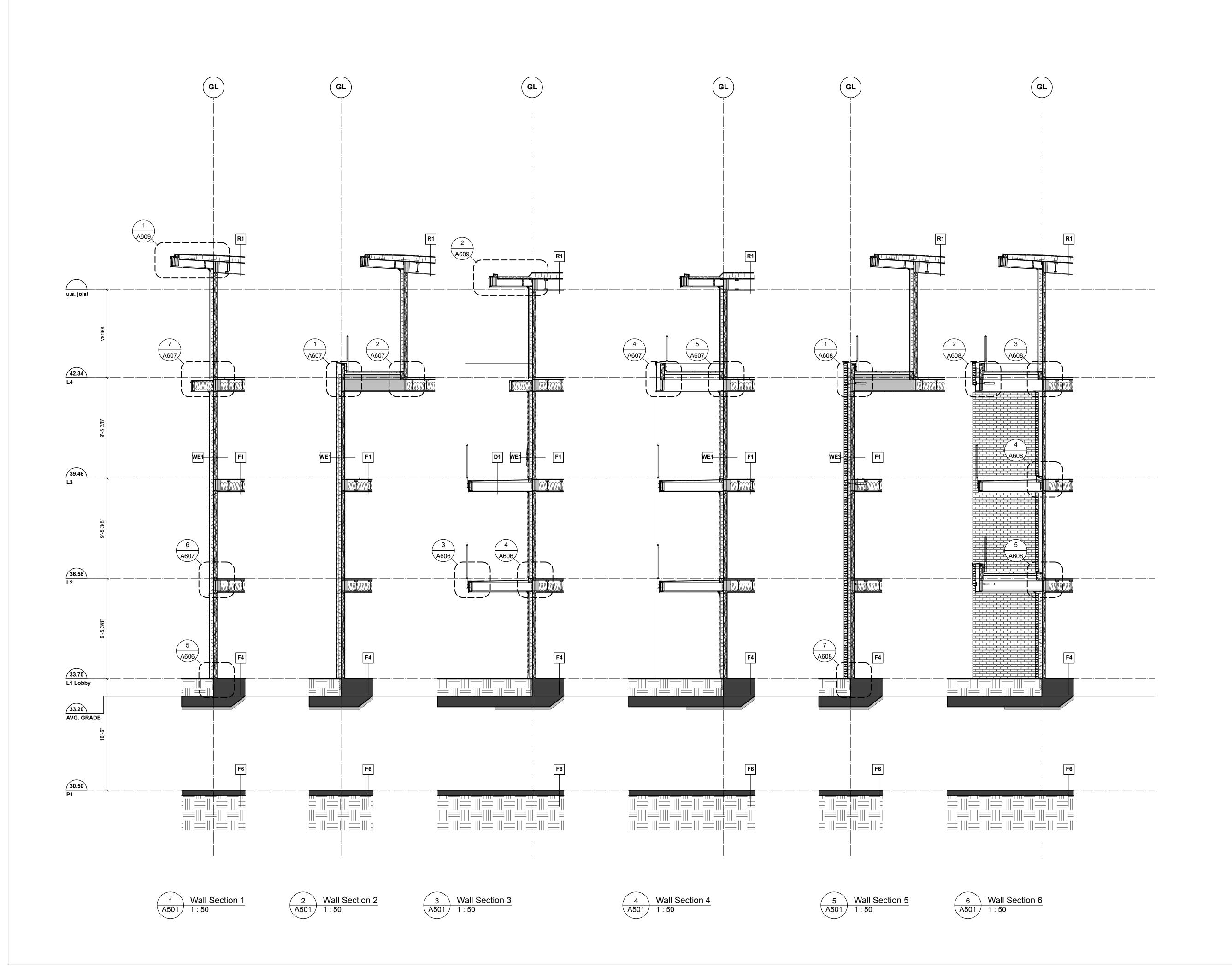


90% REVIEW

dHKarchitects

NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810





		21-03-16		Issued for 90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
lot date		21-03-16	drawing file	1907.3 A501 Wall Sections.vwx
lrawn by		GAR	checked by	RAW
cale		1:50	project number	1907
OTE: All				

NOTE: All dimensions are shown in millimeters.

0 1250 mm 2500 mm

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1 · 250 · 658 · 3367

Project name

Caledonia

CHKarchitects

NANAIMO OFFICE
102 · 5190 Dublin Way
Nanaimo BC V9T 2K8
T 1 · 250 · 585 · 5810

Victoria BC

drawing title

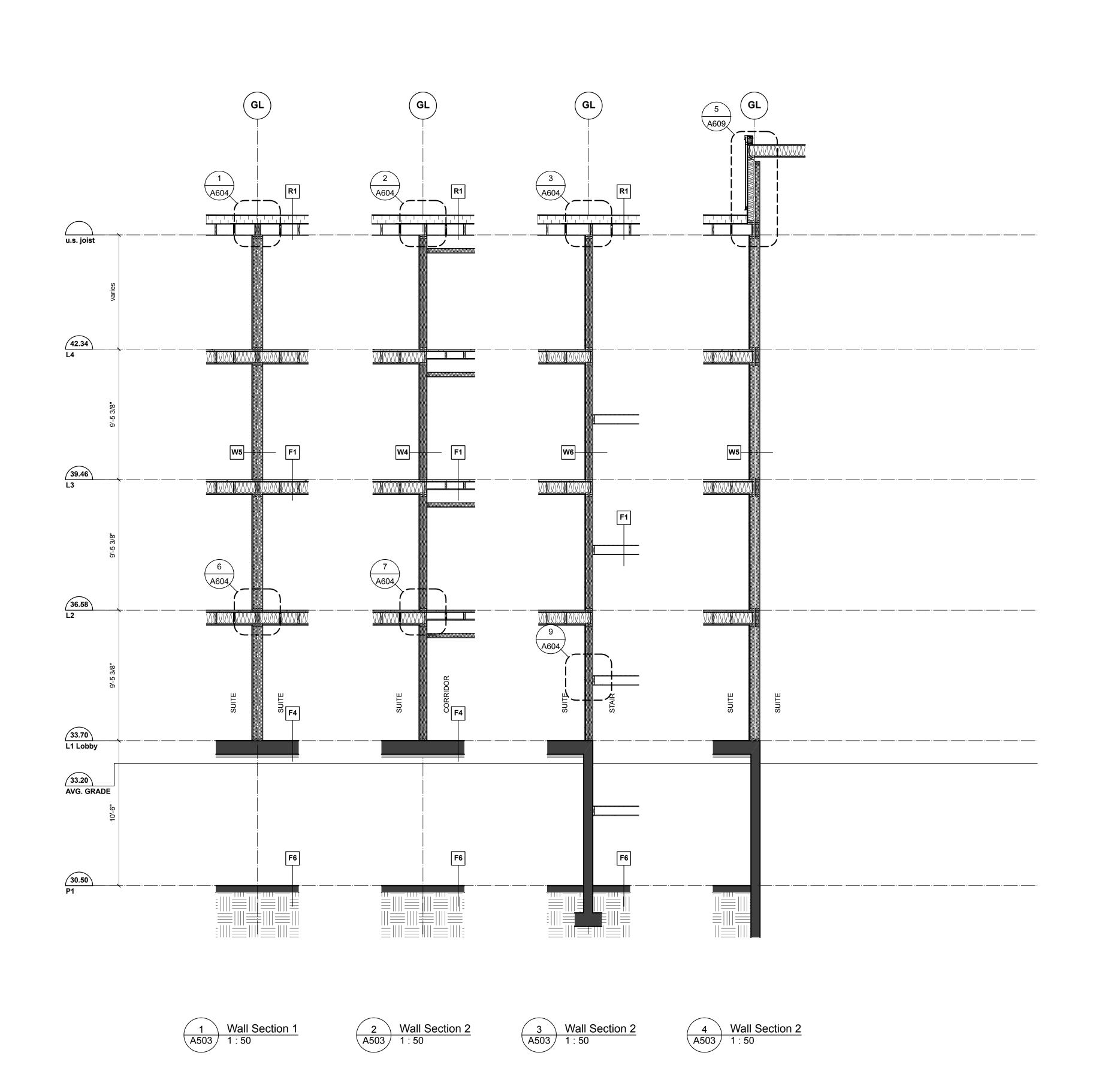
APT-1 Wall Sections

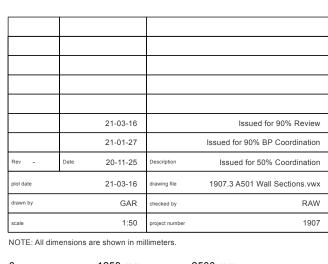
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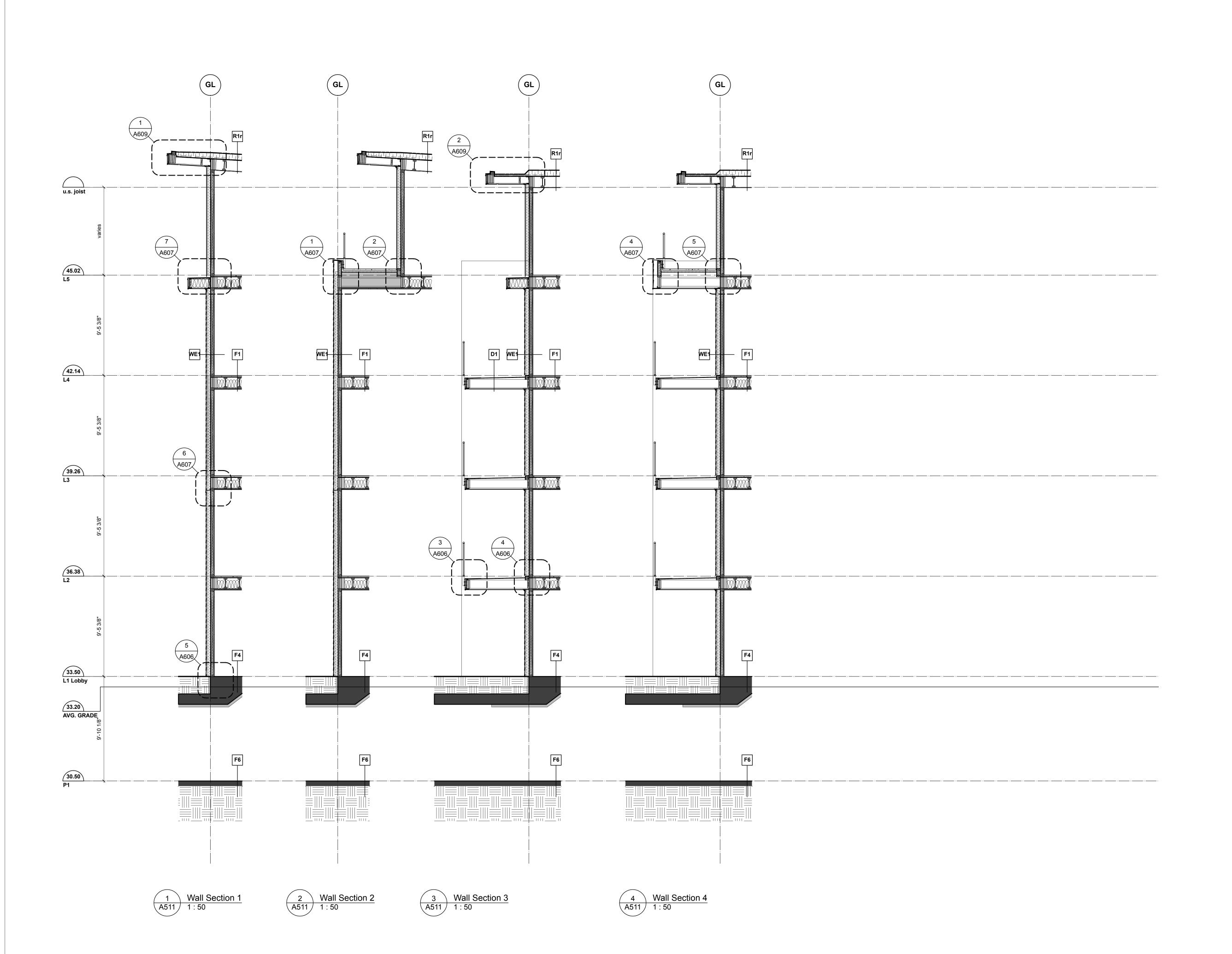
0 1250 mm 2500 mm

dHKarchitects VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1+250+658+3367 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810

Caledonia Victoria BC

APT-1 Wall Sections

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		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
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drawn by		GAR	checked by	RAV
scale		1:50	project number	190

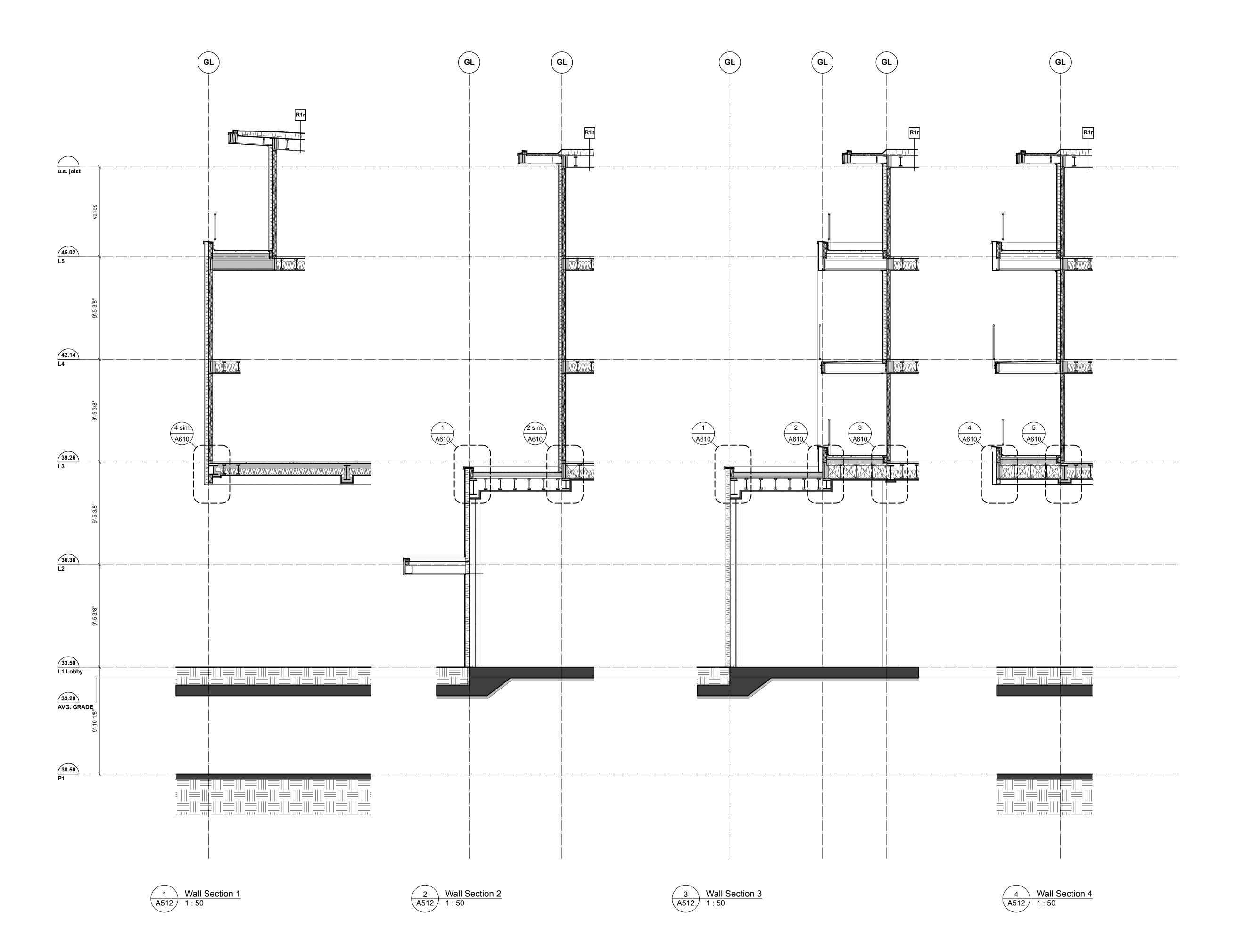
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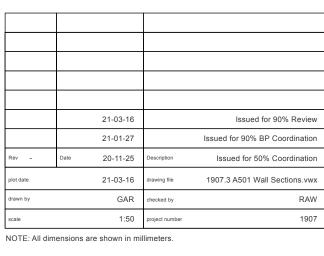
-	
dHKa	dHK architects
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Victoria BC	

APT-2 Wall Sections

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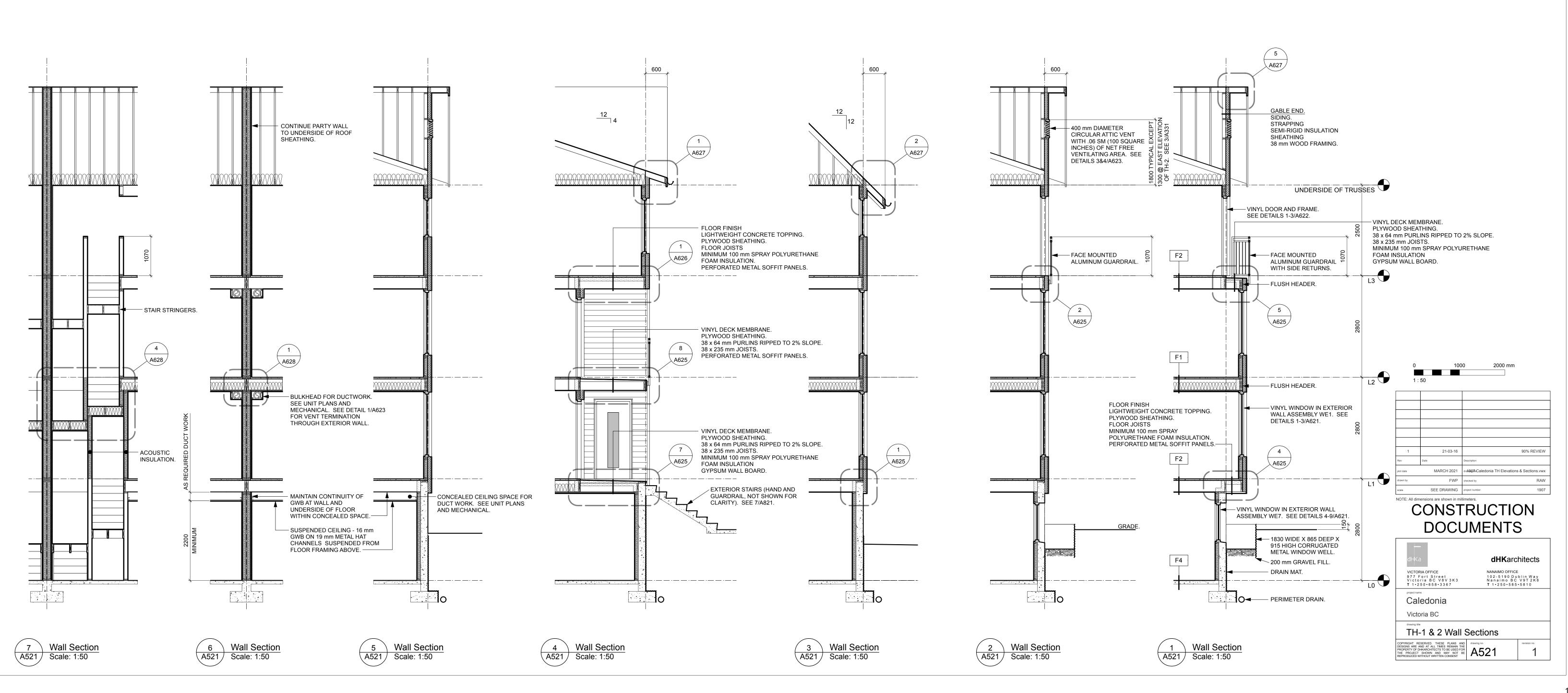
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Victoria BC V8V 3K3
T 1+250+658+3367 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810 Caledonia

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APT-2 Wall Sections

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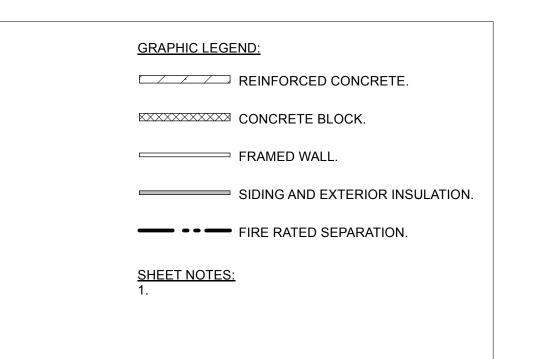
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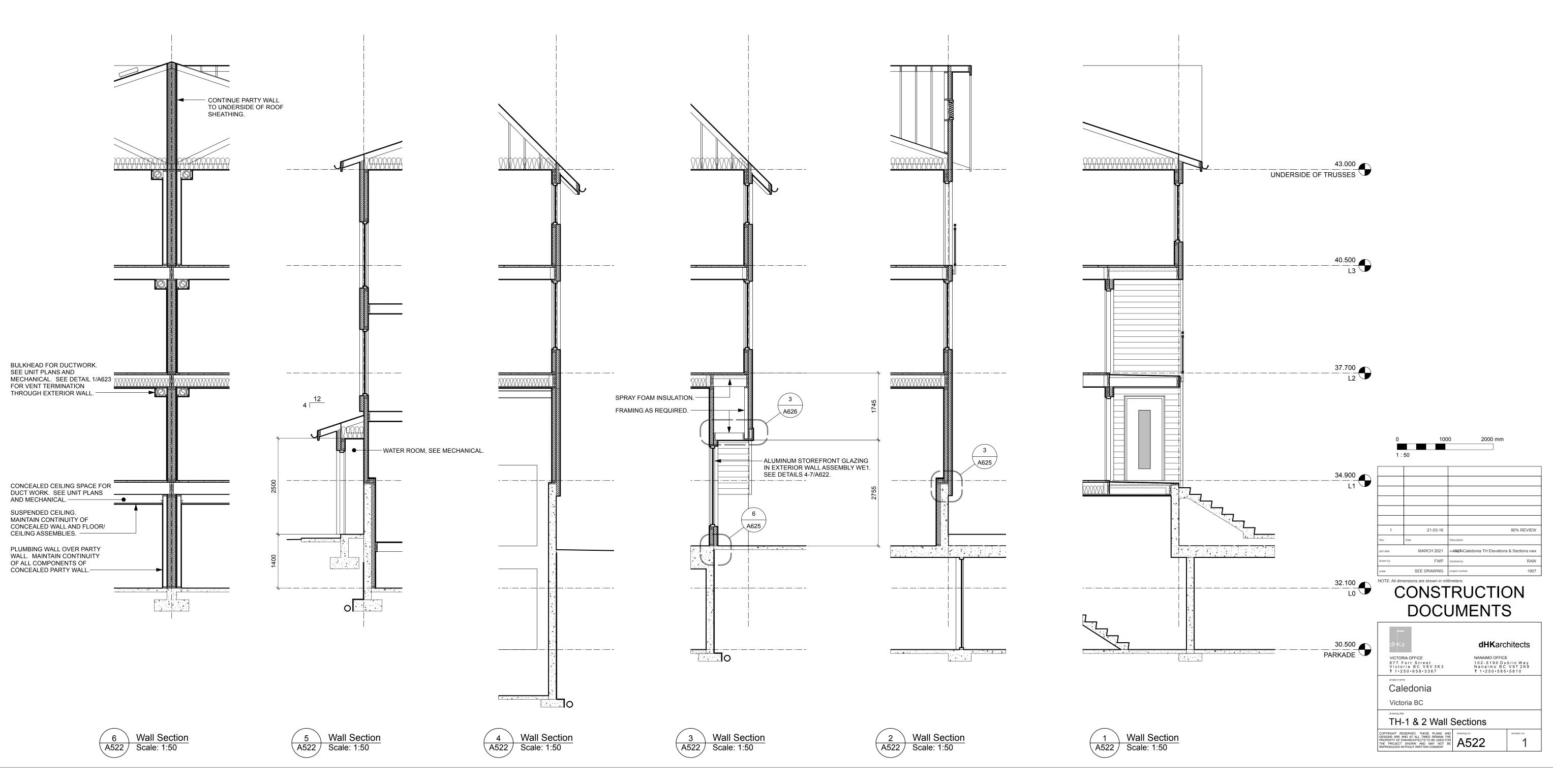
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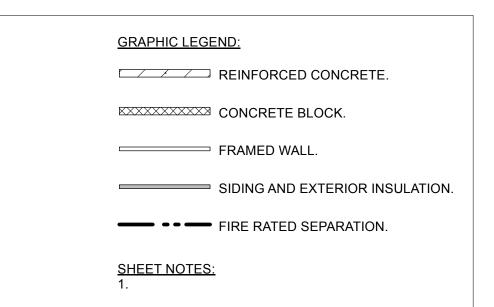
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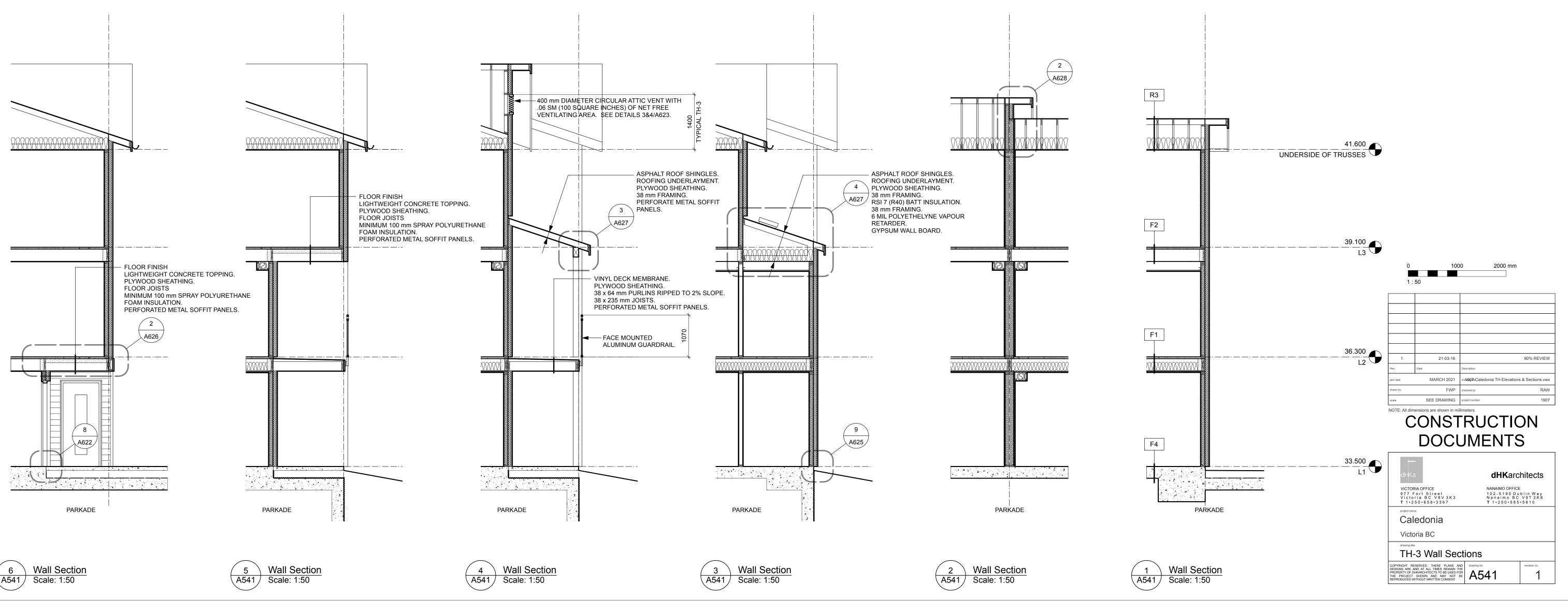
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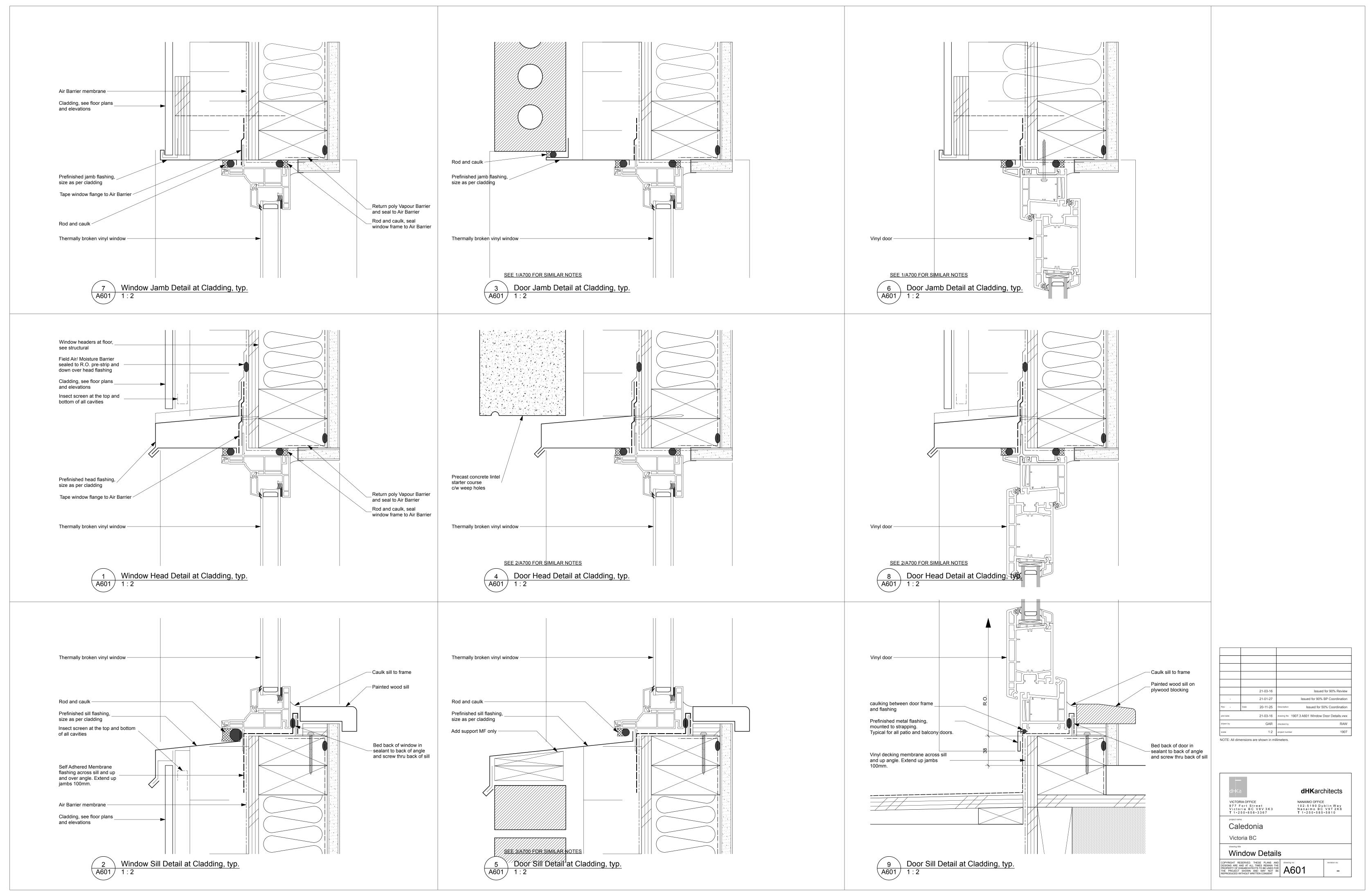
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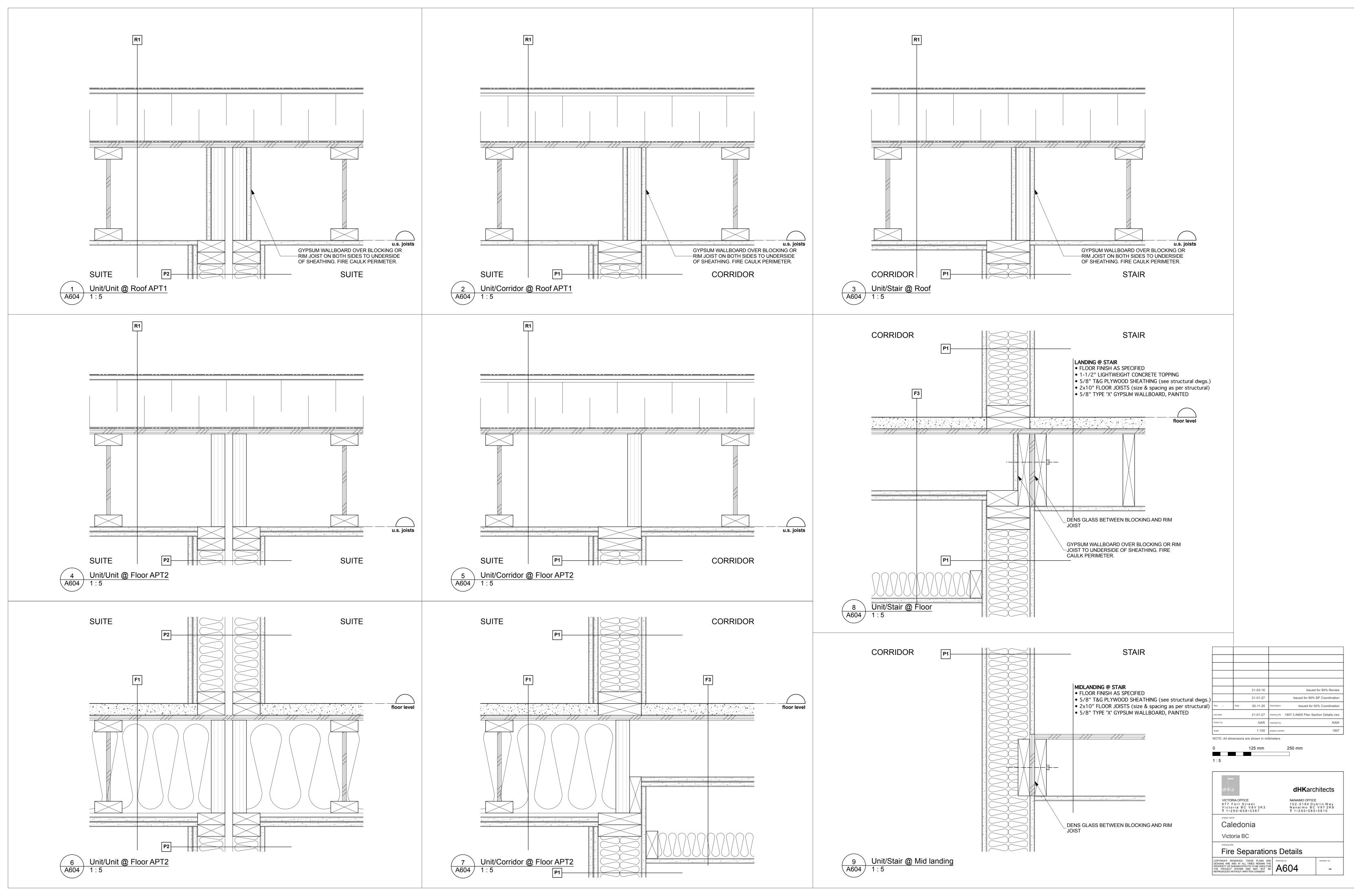


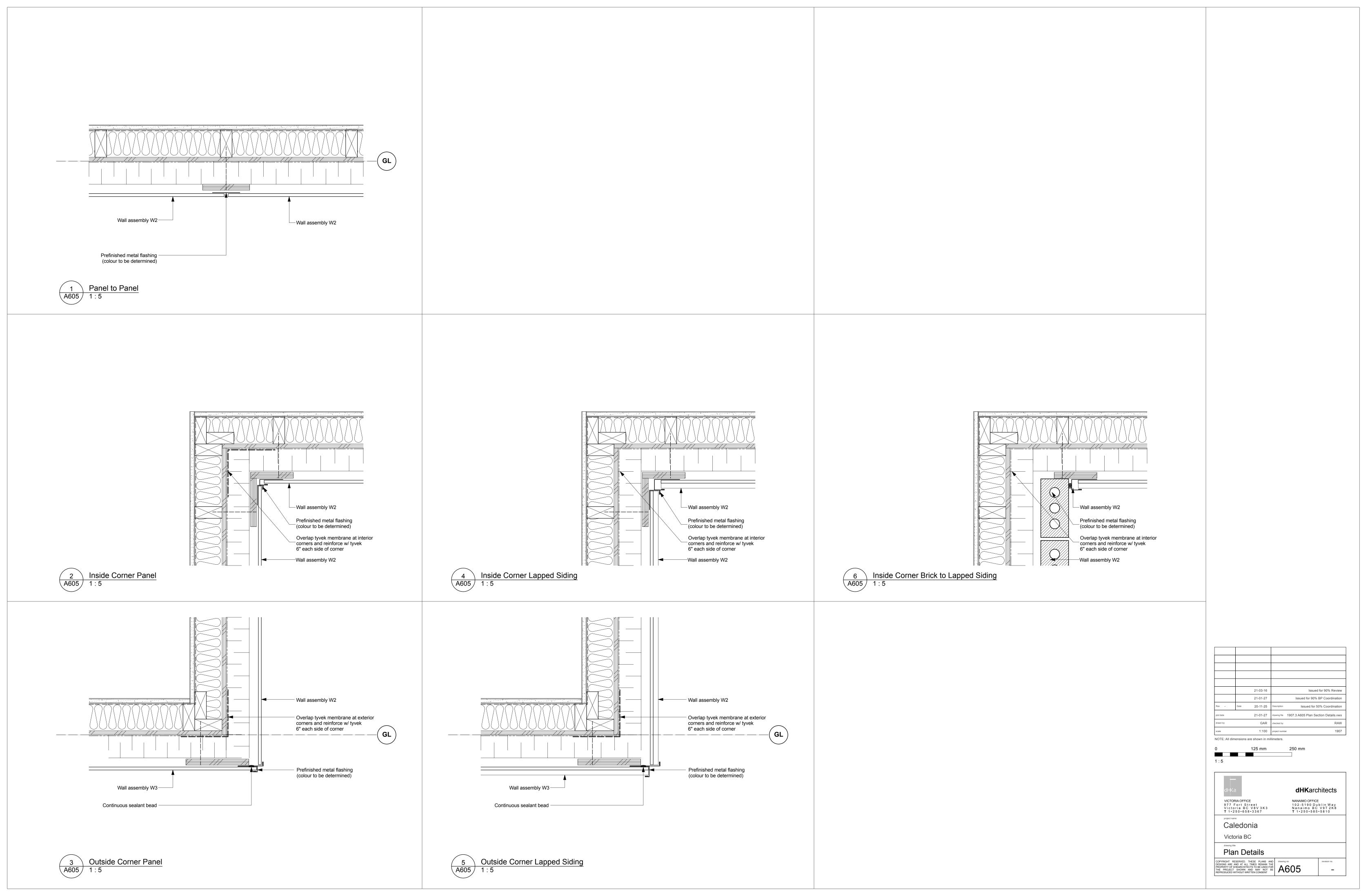


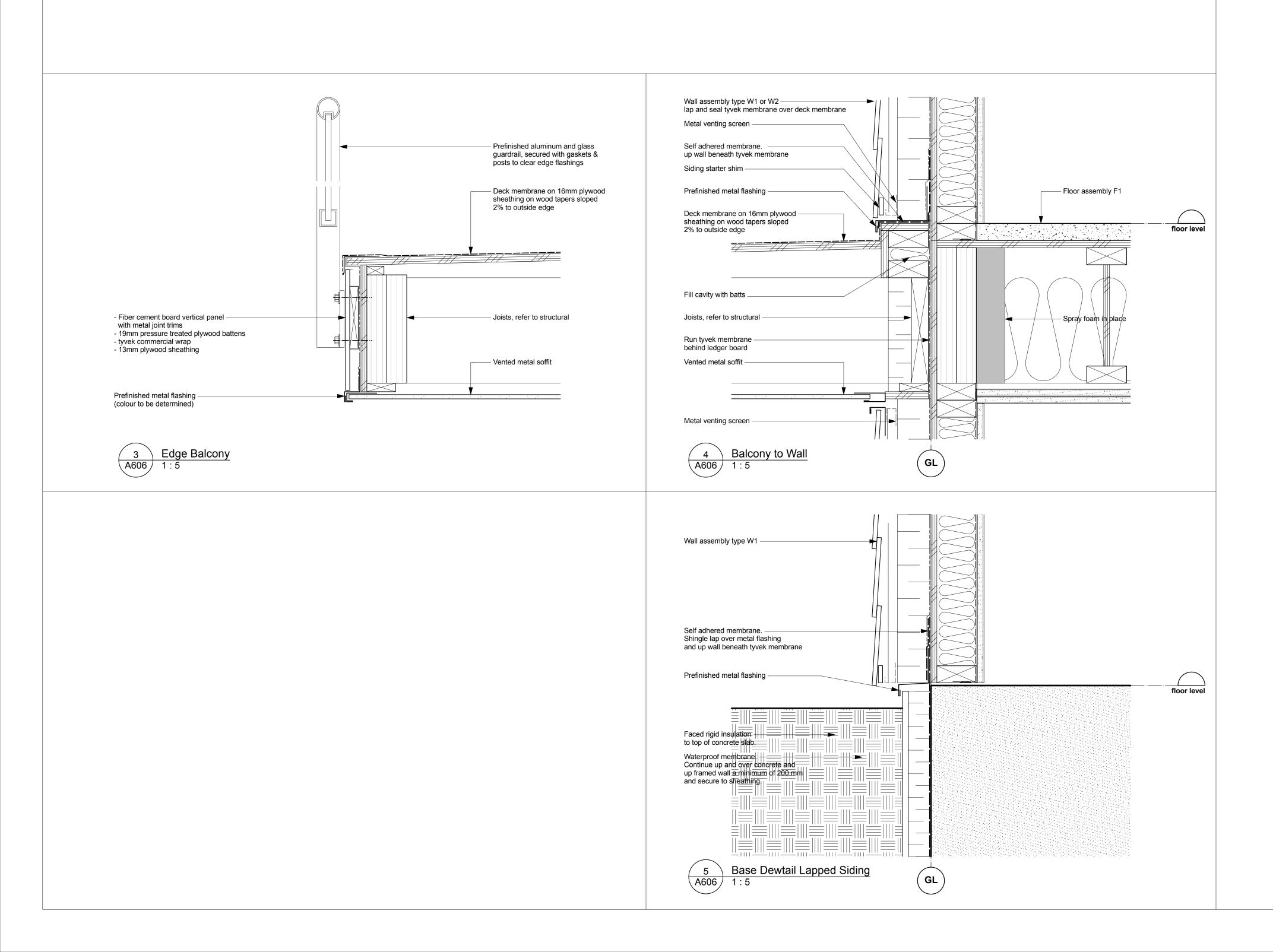


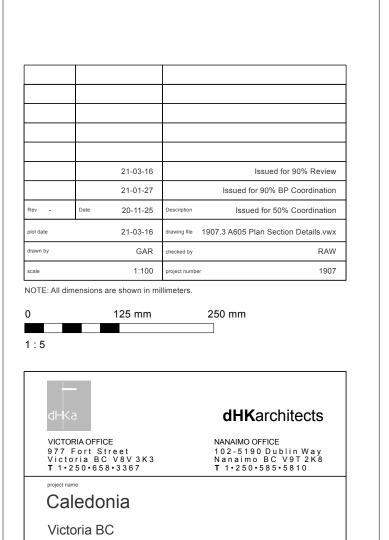






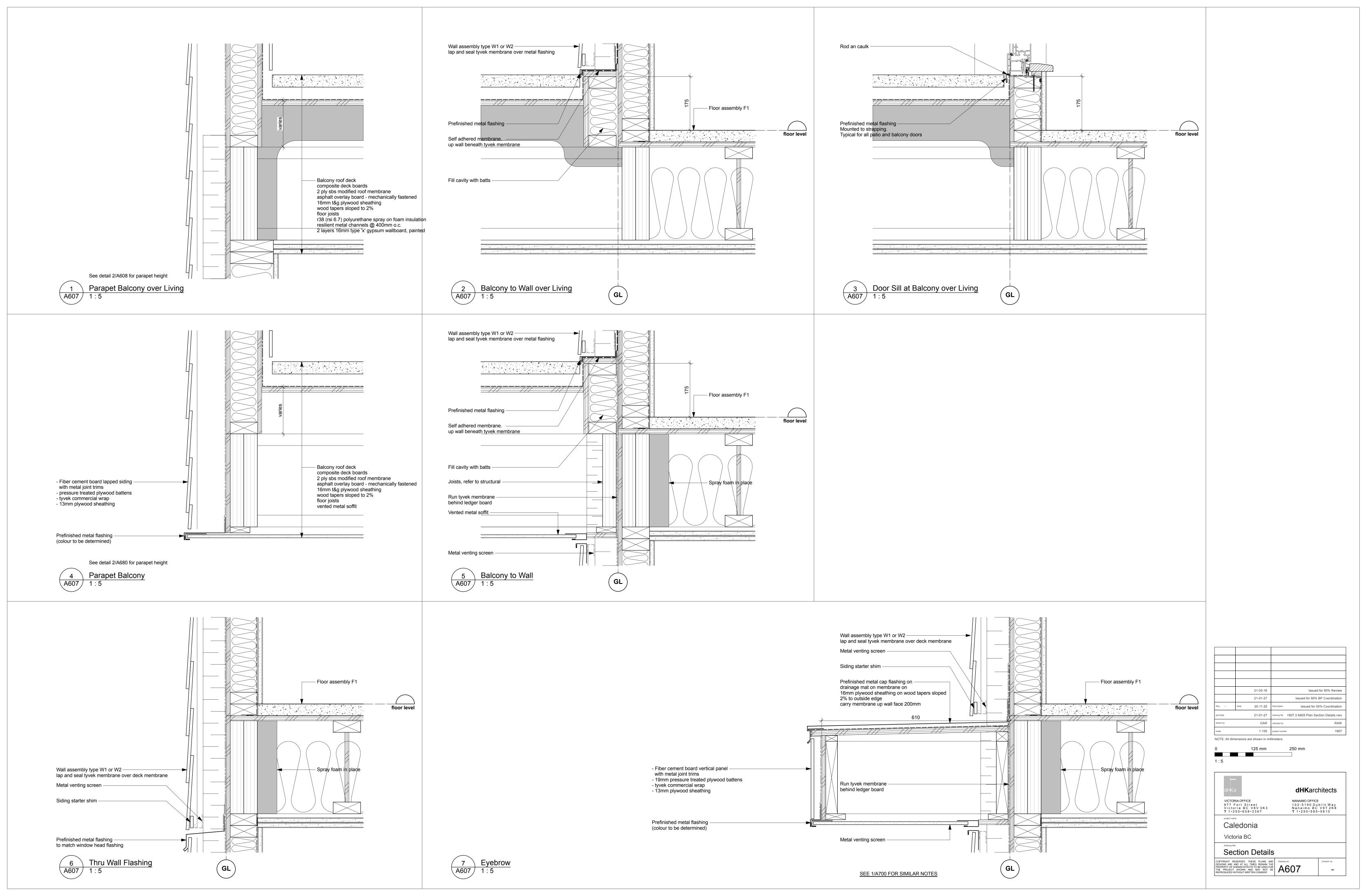


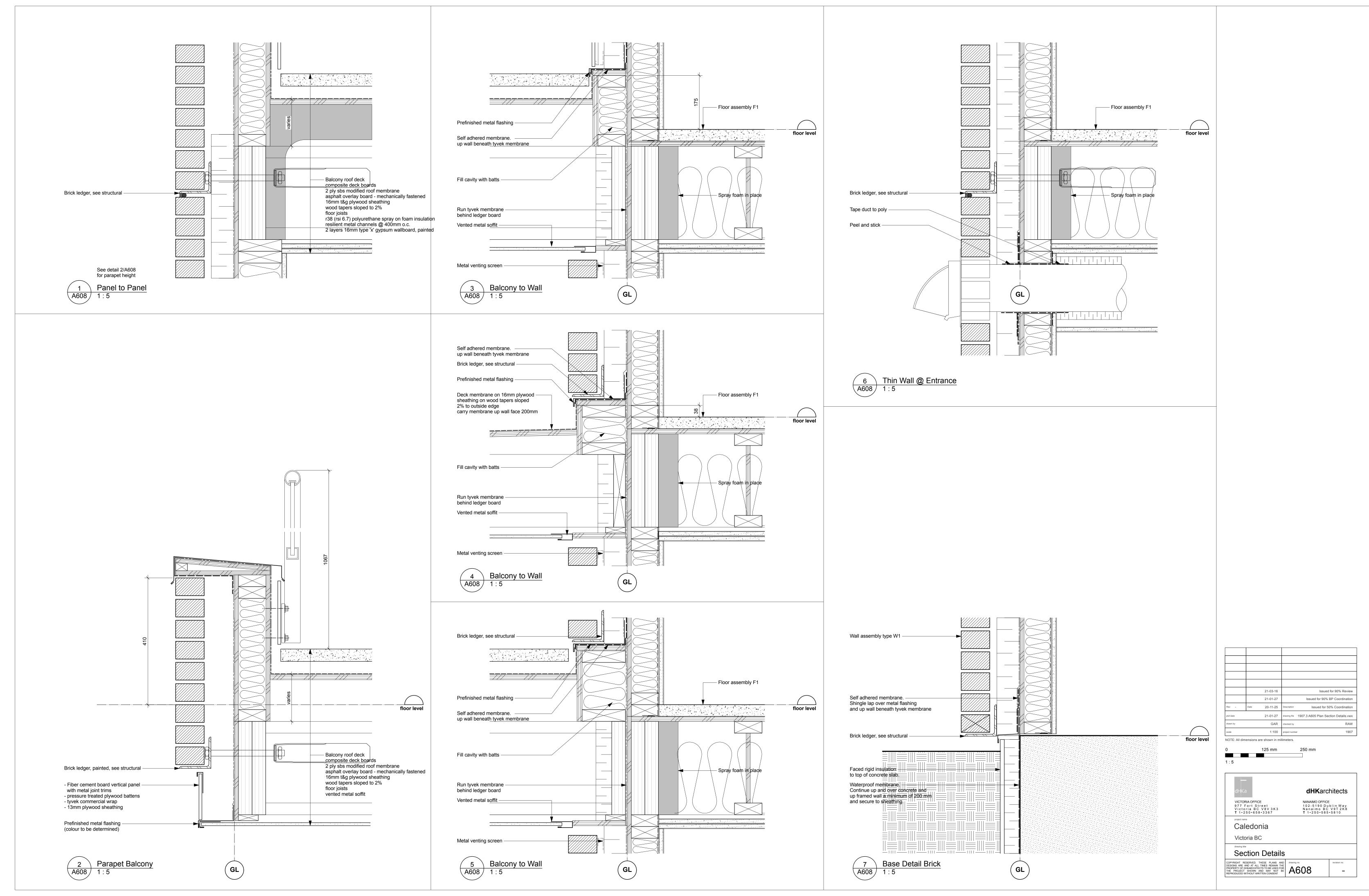


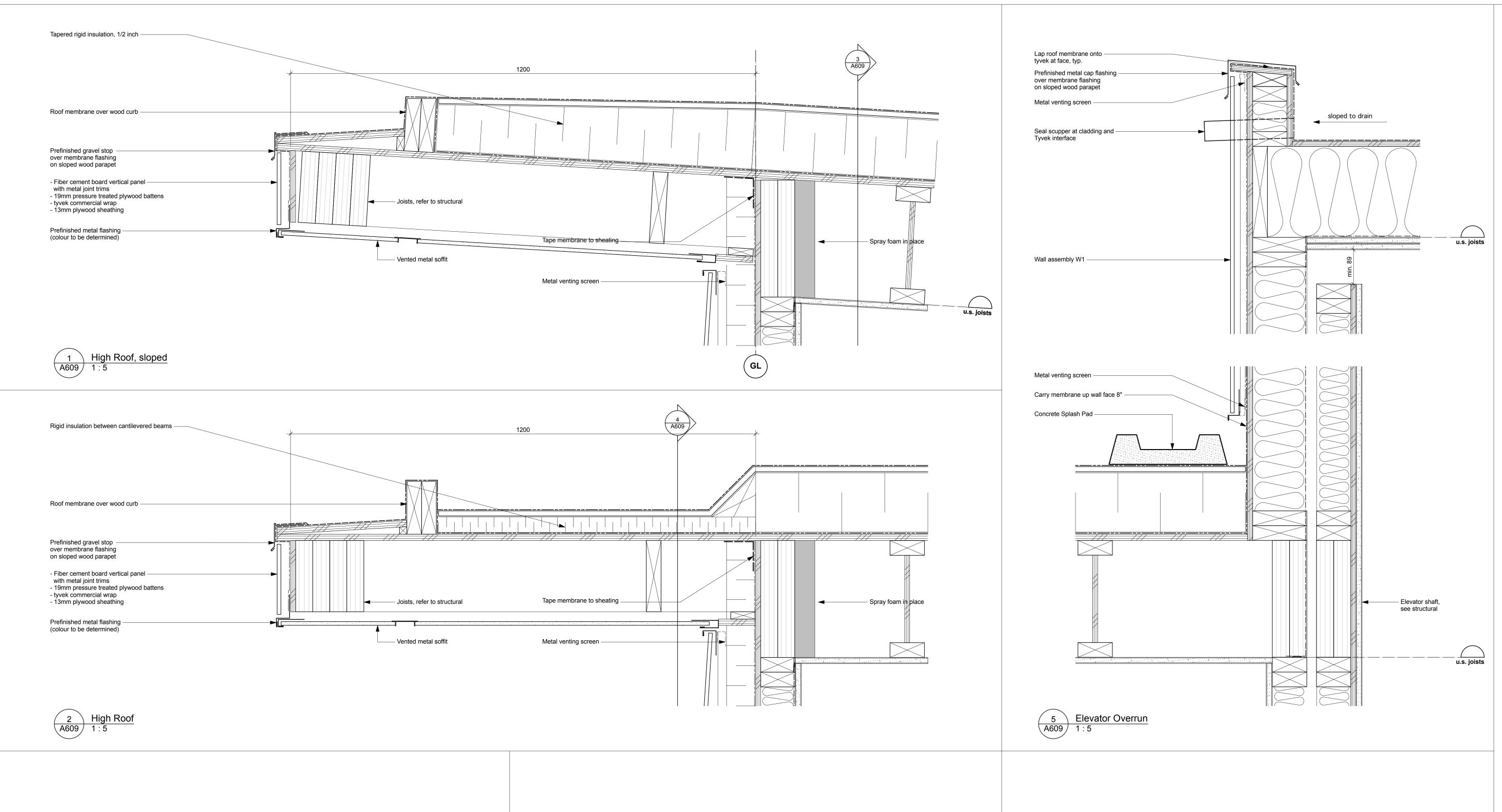


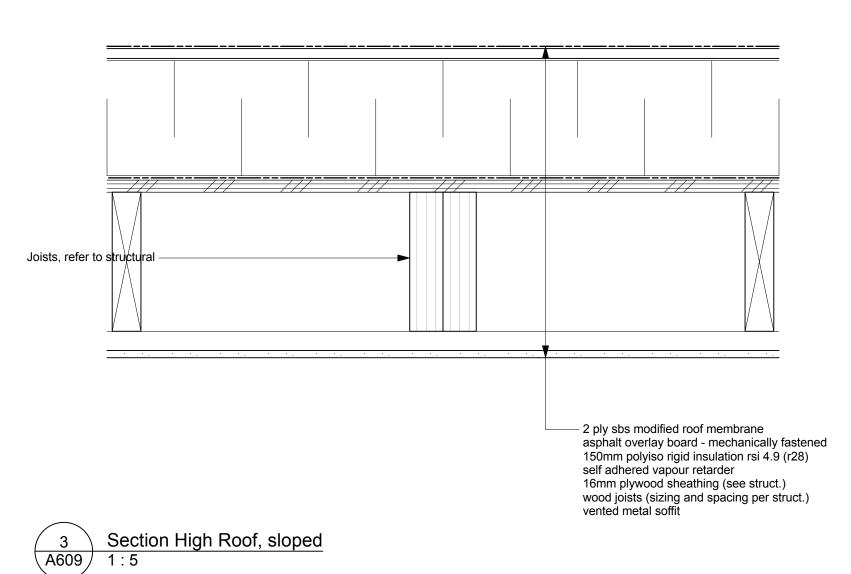
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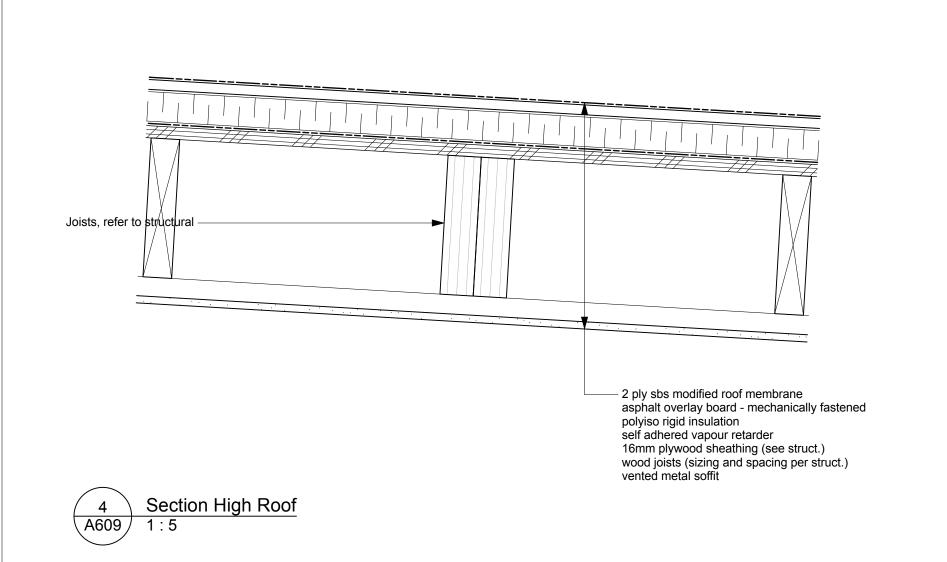
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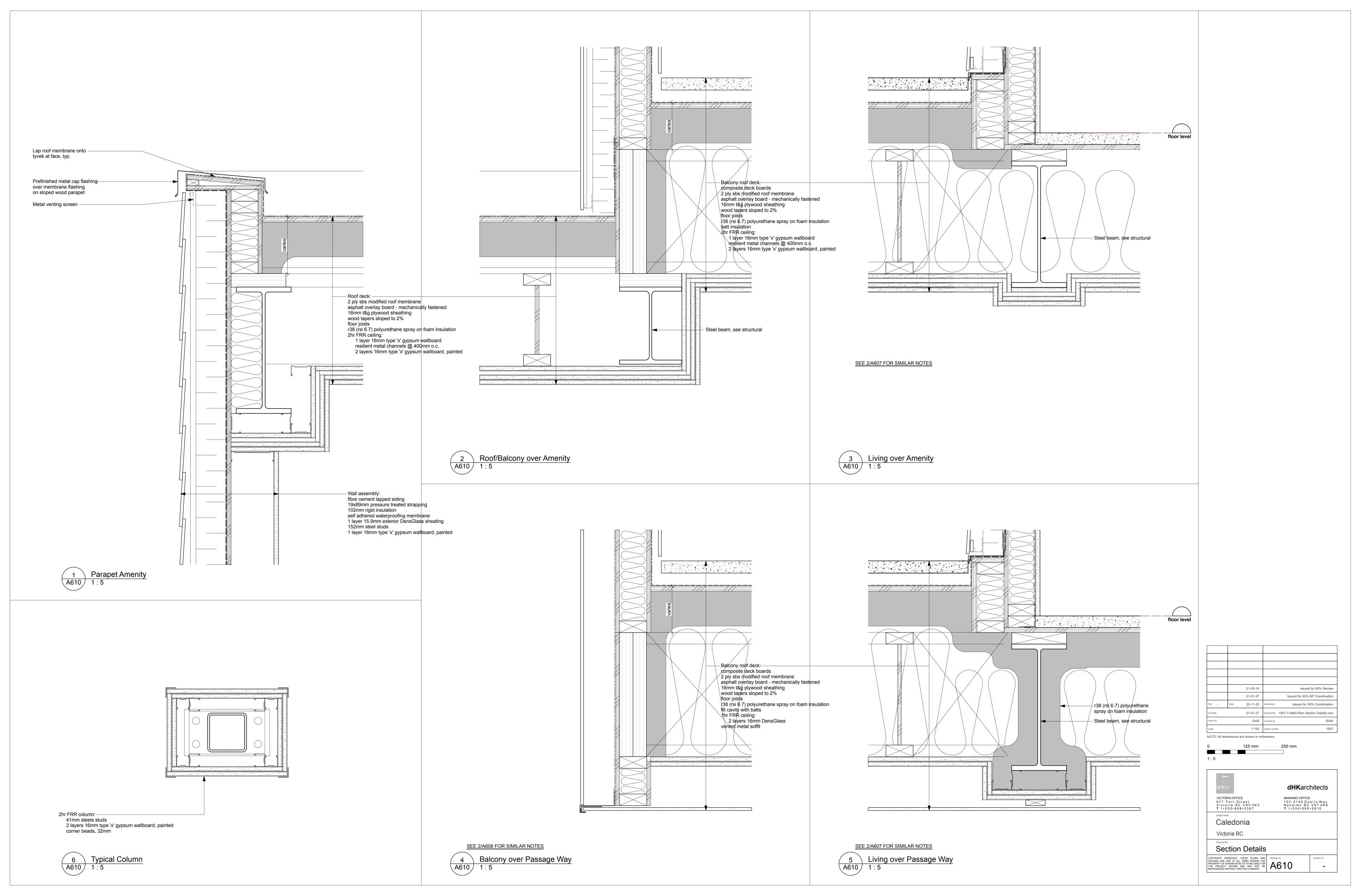


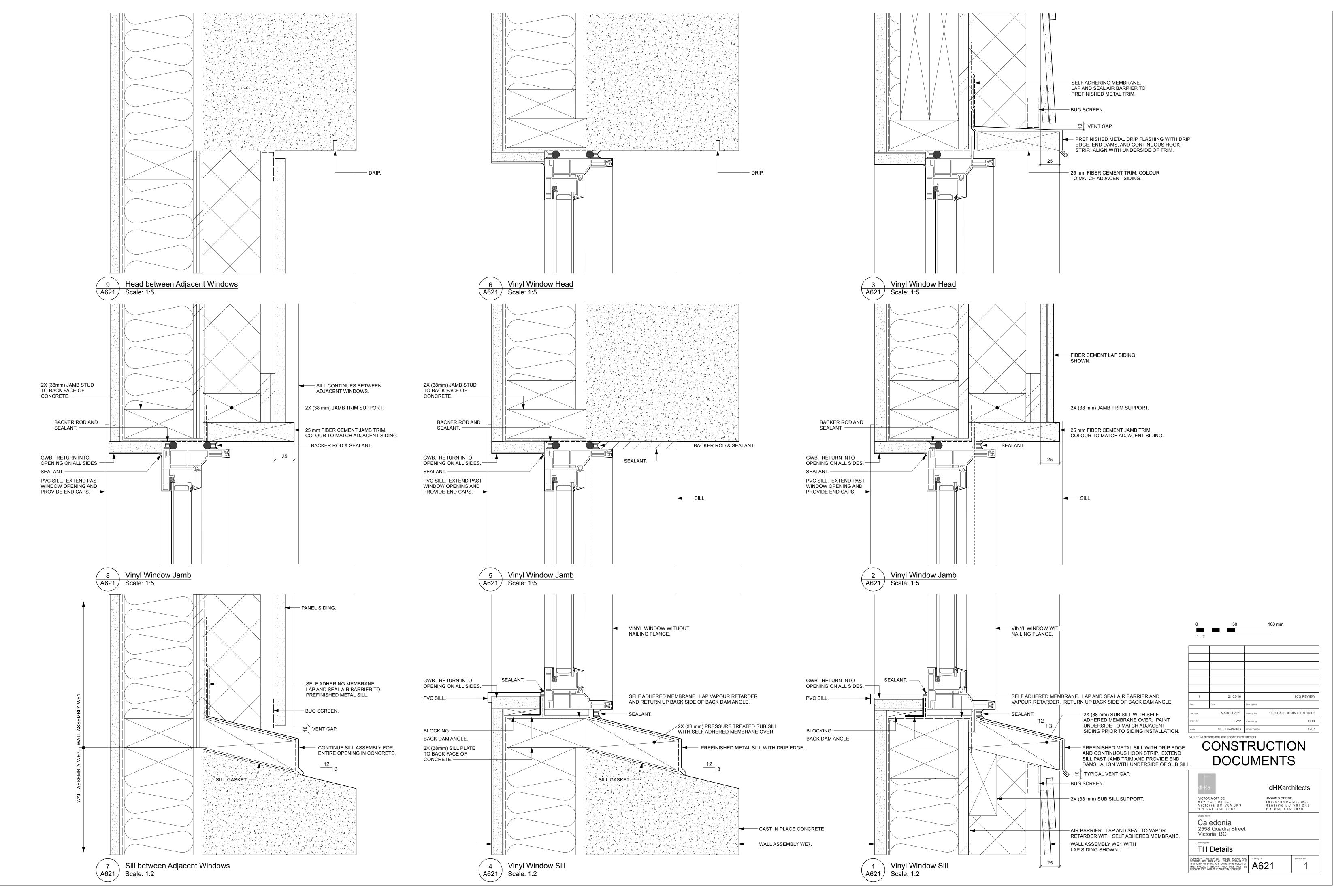
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scale	1:100	project numb	er 1907

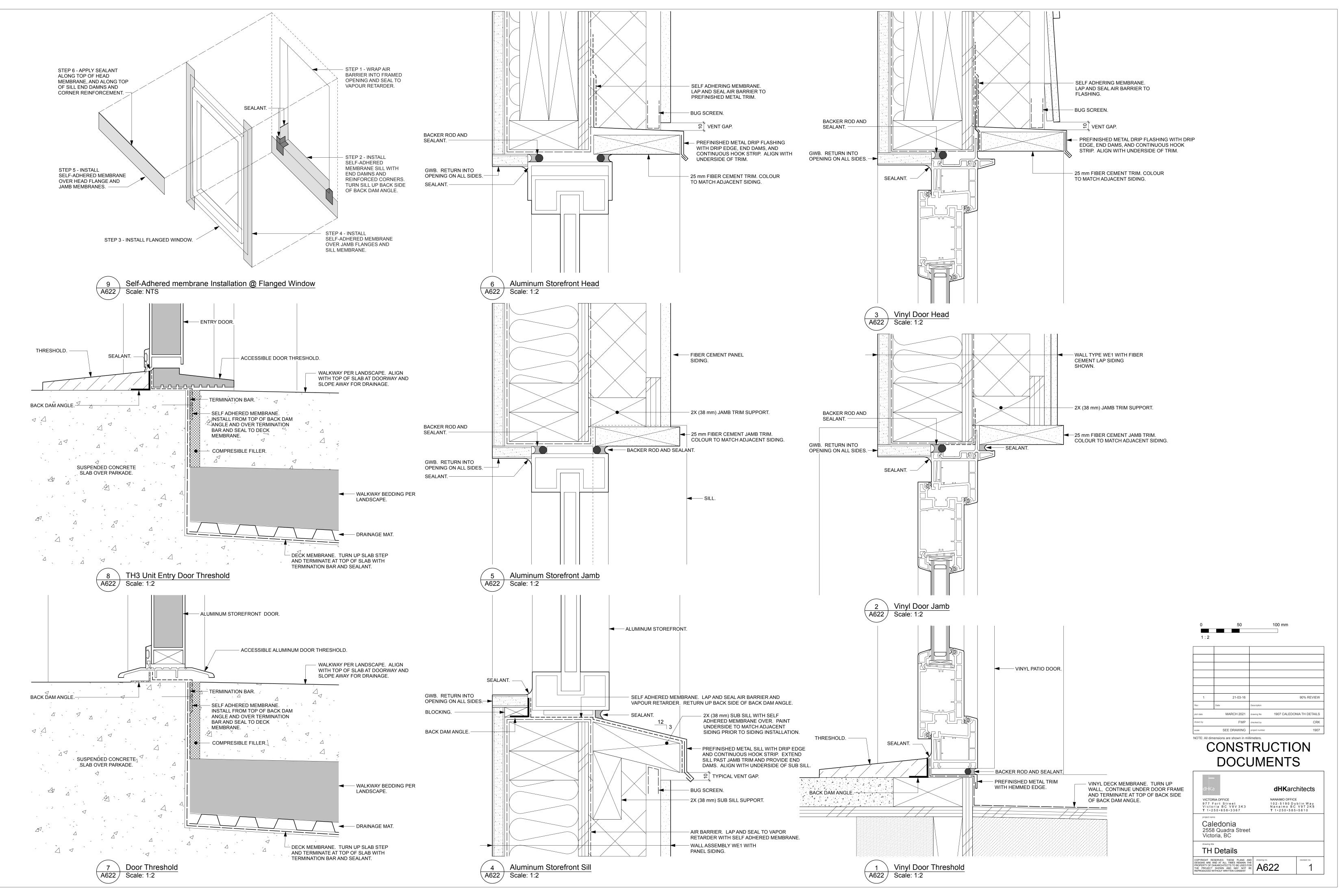
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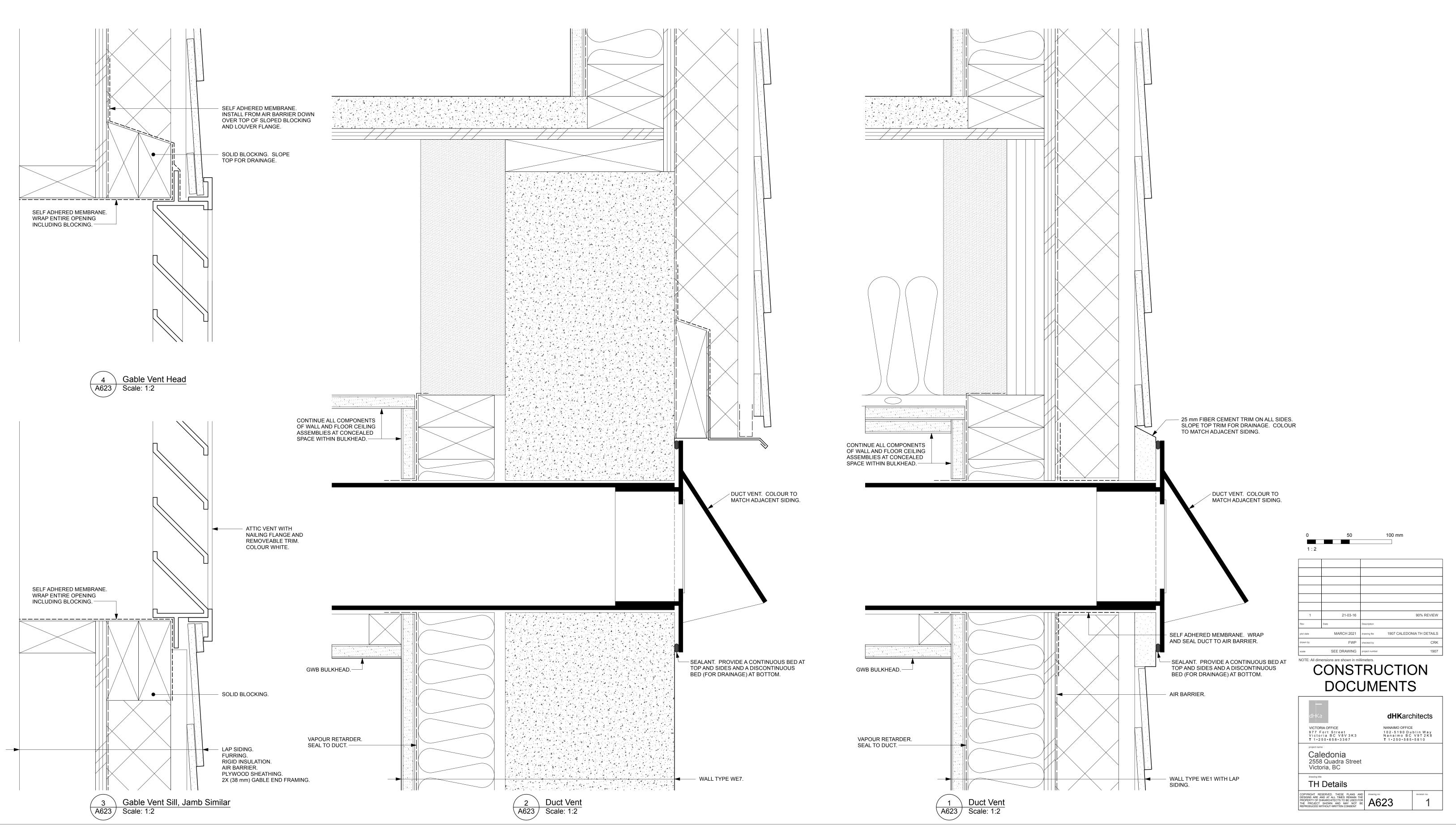


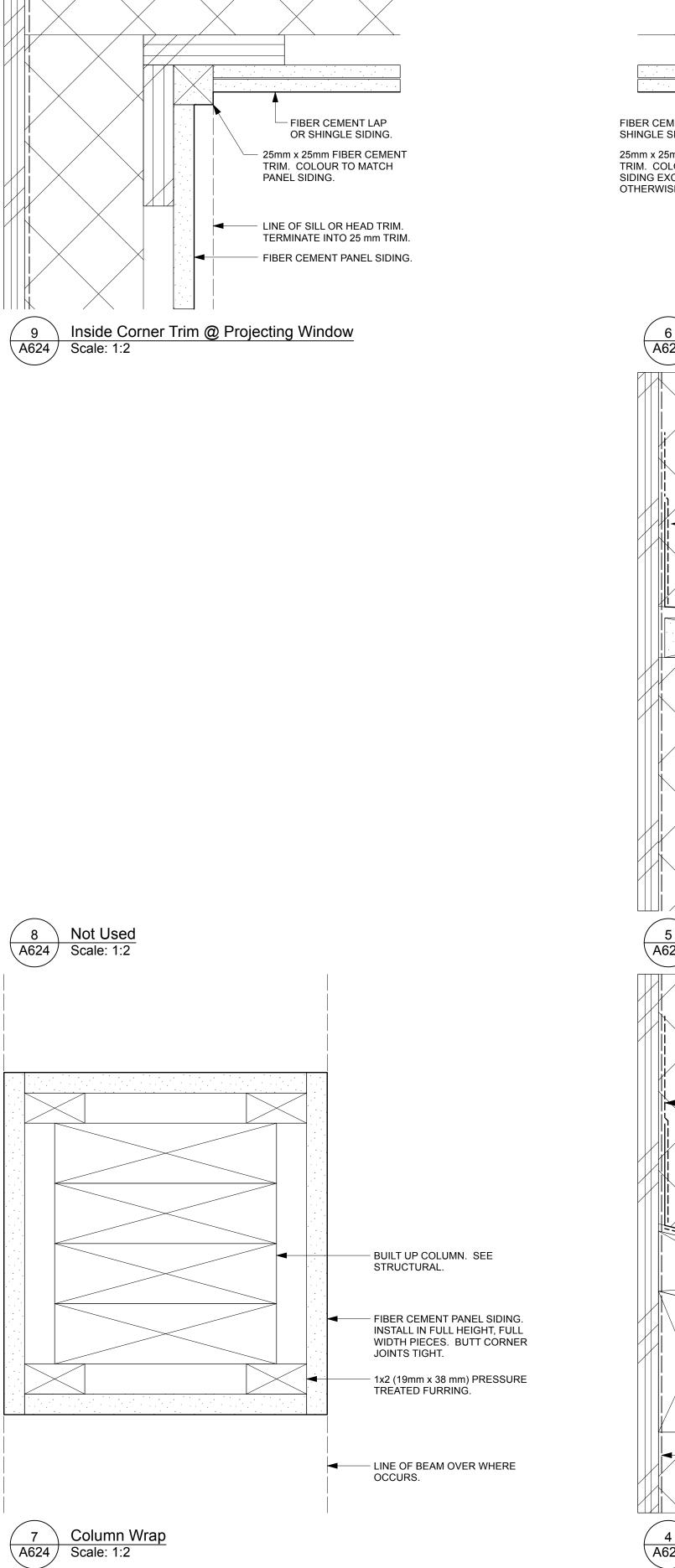
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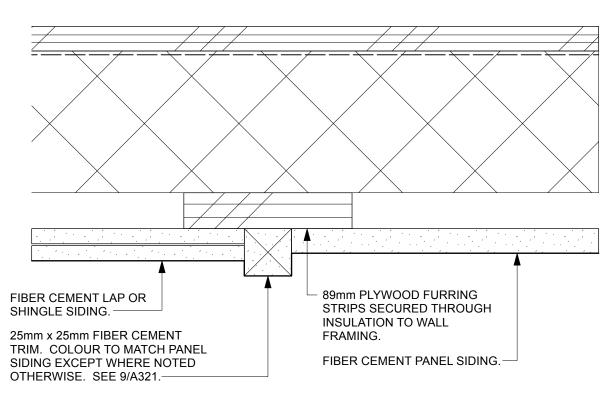


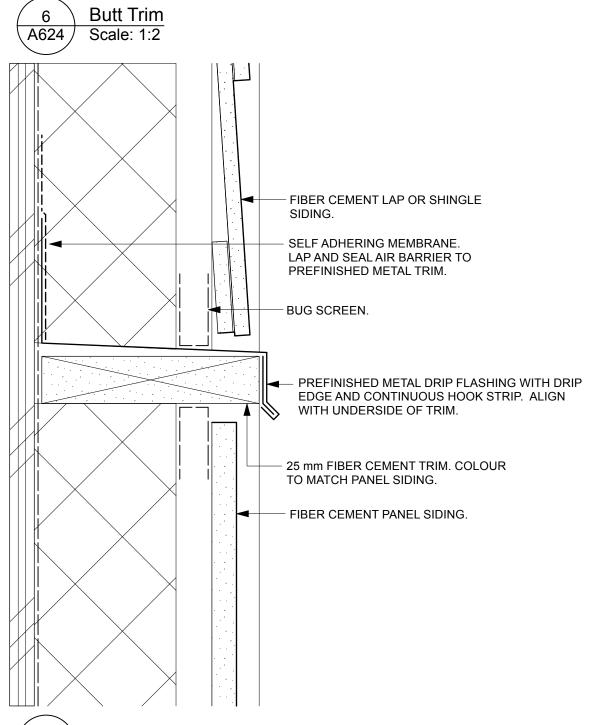


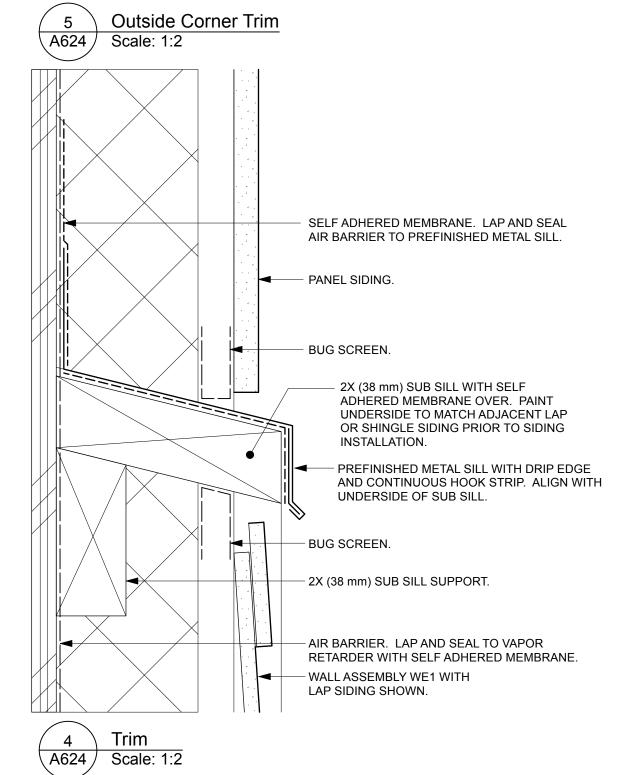


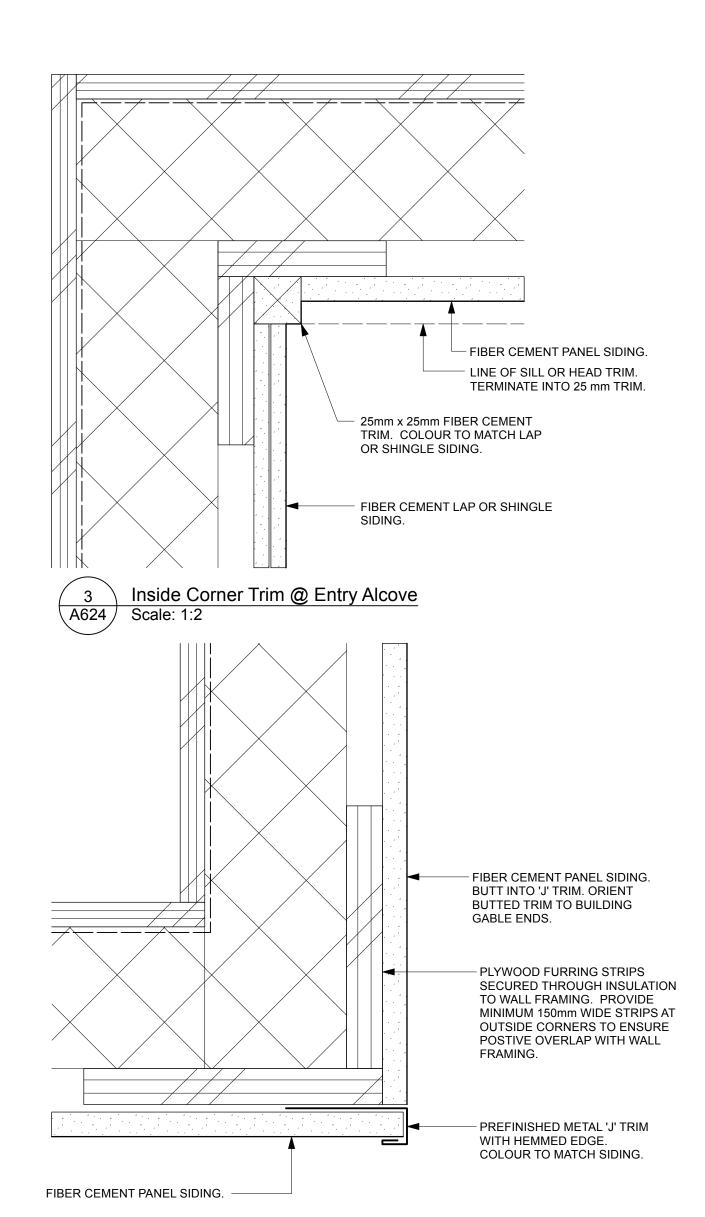


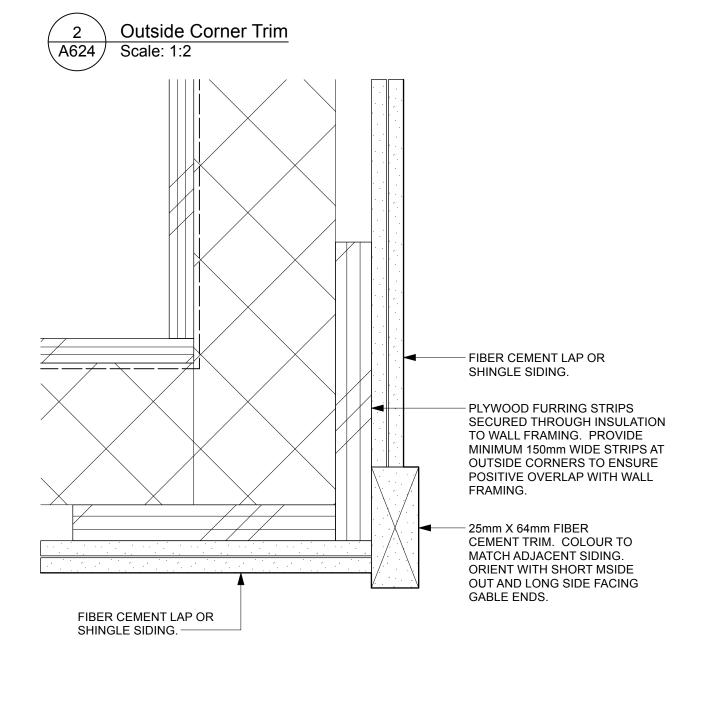




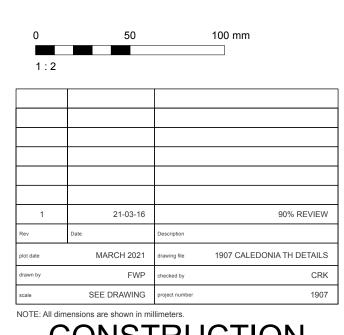






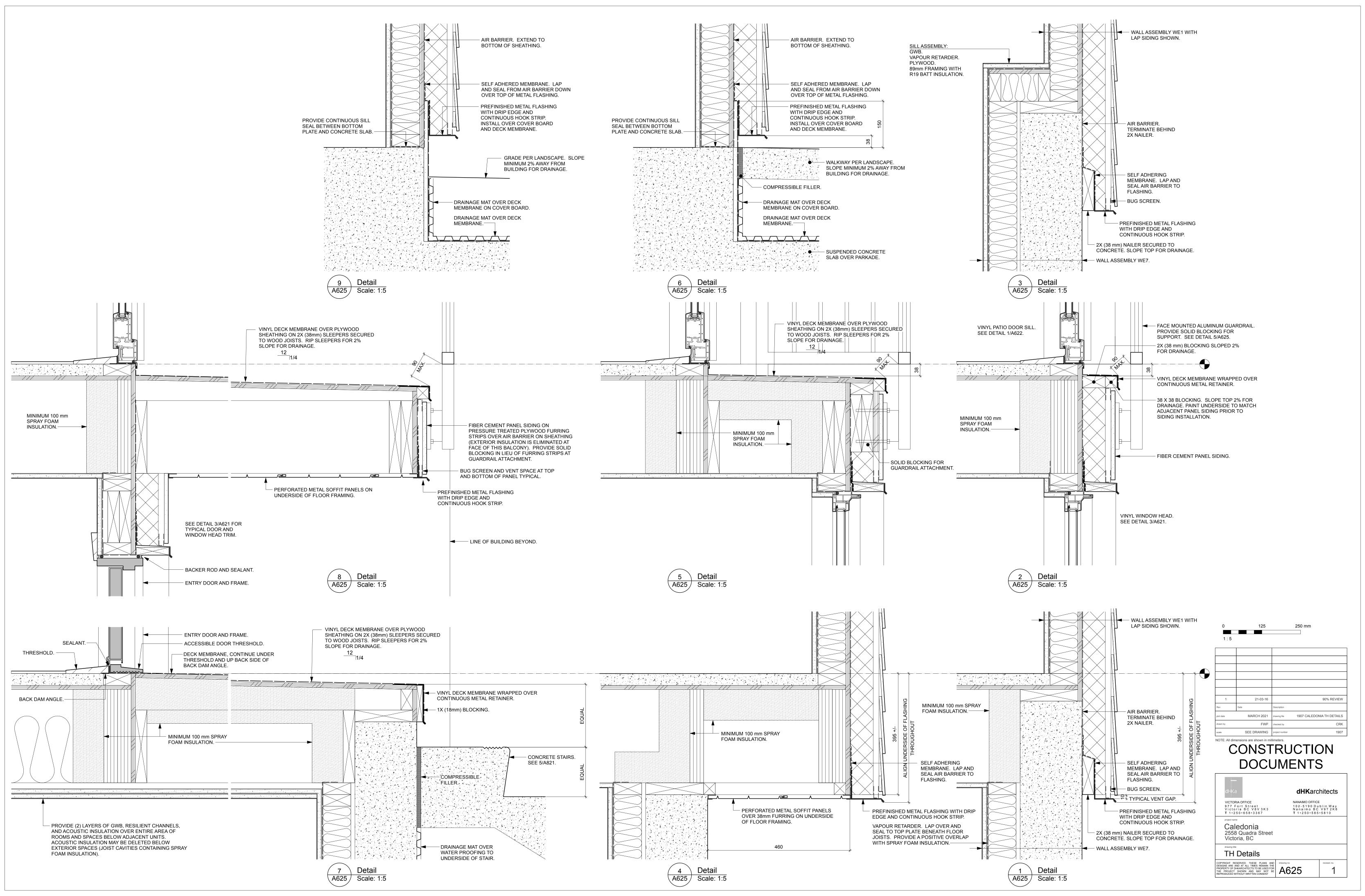


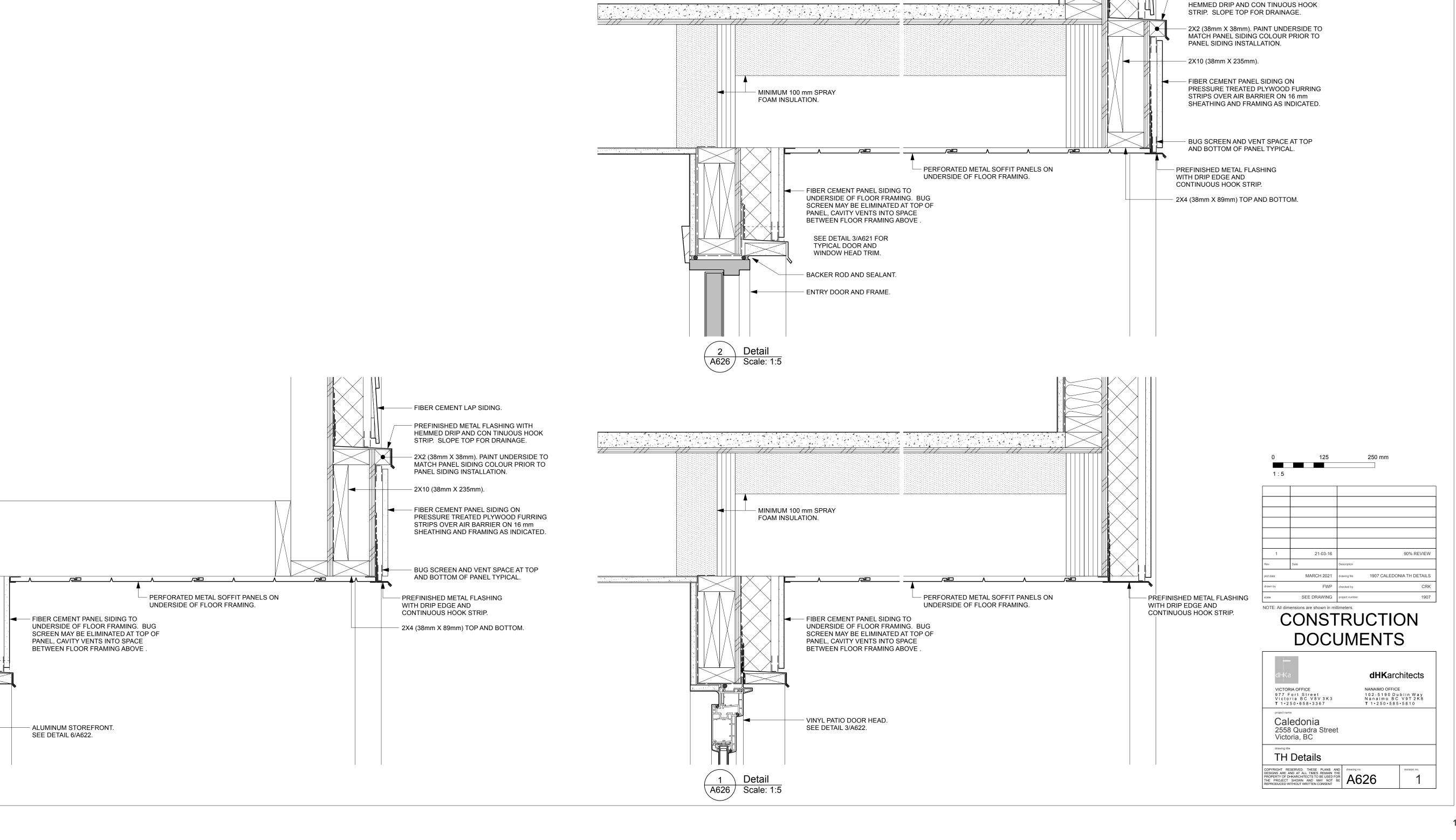
1 Outside Corner Trim A624 Scale: 1:2



CONSTRUCTION DOCUMENTS

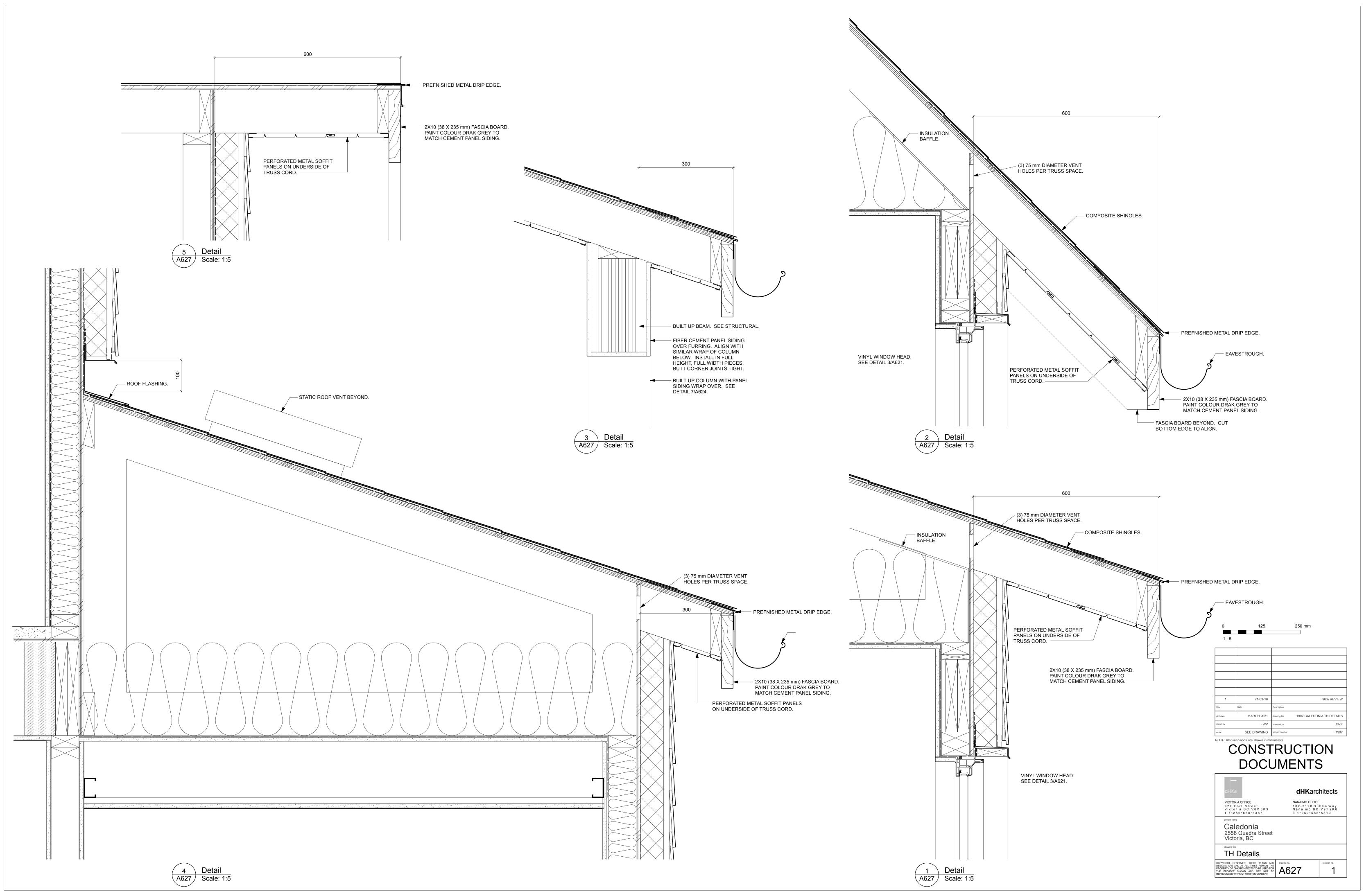
	HHZ 1.11 /
dHKa	dHK architects
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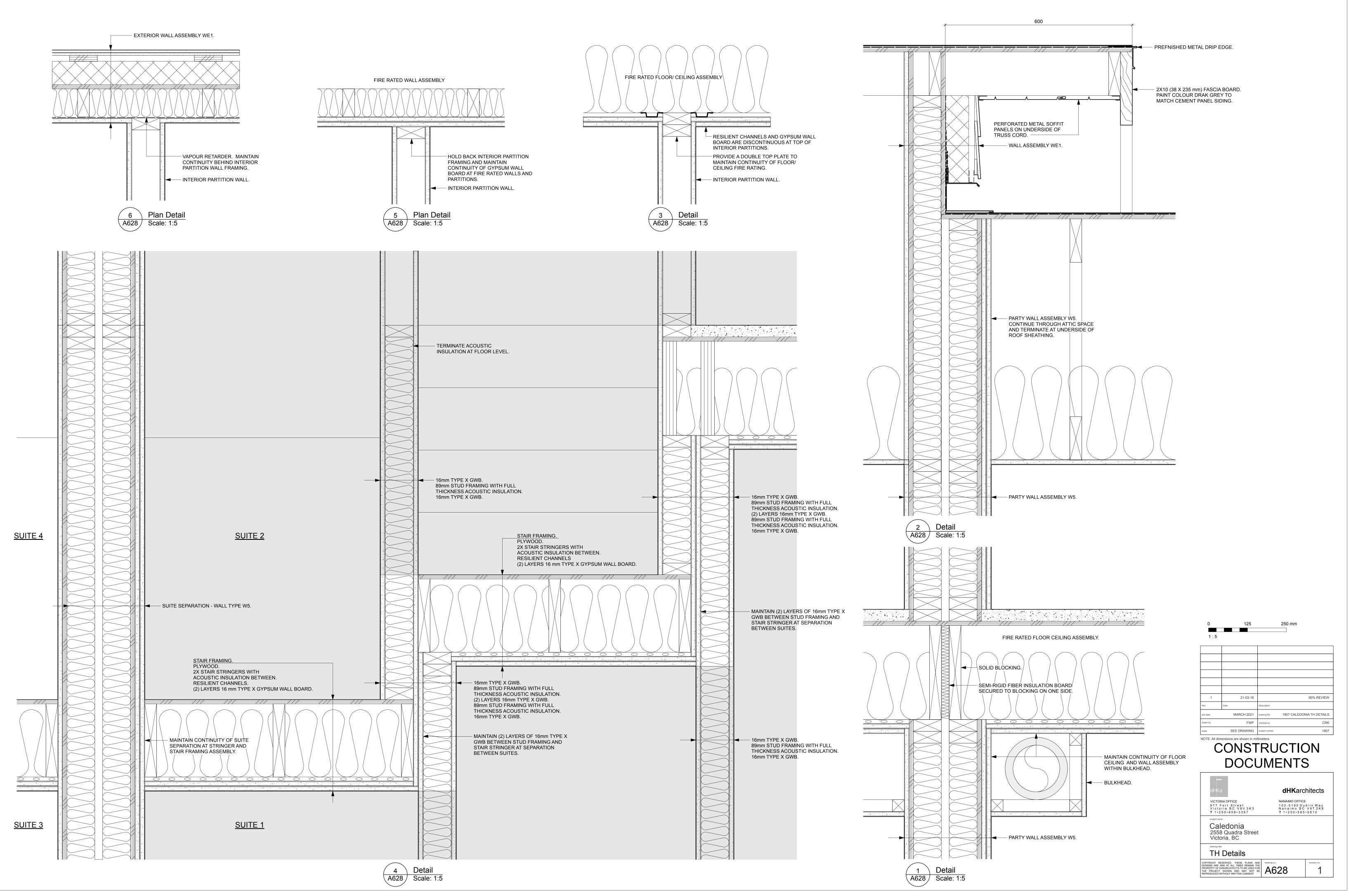




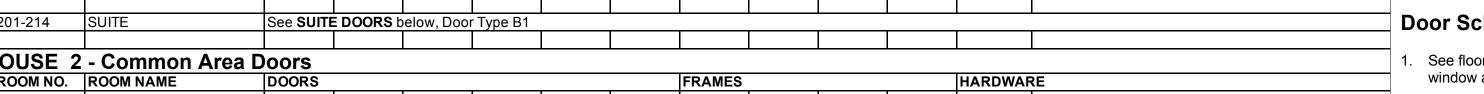
3 Detail A626 Scale: 1:5 - FIBER CEMENT LAP SIDING.

PREFINISHED METAL FLASHING WITH





TOTAL STATE OF THE BOOK APPL 1071 - 19 - 10 - 10 - 10 - 10 - 10 - 10 - 1	Column	PARKADE DOOR NO. ROOM NO	. ROOM NAME	DOORS						FRAMES	<u> </u>			HW		LEVEL 2
Column			. ROOM NAME		HEIGHT	WIDTH	MAT.	FIN.	RATING			FIN.	DETAIL		REMARKS (see Door Hardware Functional Summar	y)
Company Comp	Column		DARKADE	12	2184	6300	AL/CPILLE	DE	_	_	ΔΙ	DE			Electric motor, fob	
March Marc	Section Proceedings Section	P1-2 -	PARKADE		2184	6300	AL/GRILLE	PF	-	-	AL	PF	-		Electric motor, fob	
Column	Column C			8										2	·	
The control of the	Second Company Second	003 003	SUB-ELECTRICAL ROOM	1	2032	914	НМ	PT	1 HR.	1 HR.	PSF	PT	1_2	2	Lock, closer	
## 15 10 10 10 10 10 10 10	Column			8							_			1		I EVEL 2
	## 1	005a 005		1	2032						PSF			3	Lock, closer, fob	
Column C	Column C		L .	8										1	,	TOWNULCUSE 2. Common Area
Column C	Column			1								PT	1	5	·	
The content of the	10 1			gate					I ПК.		PSF	PI	1	6	,	
9.0 1	The control of the						<u> </u>		-	-				6		
10 10 10 10 10 10 10 10	The Common Area Common Are	011b 011	BICYCLE ROOM		2032	914	AL	PF	-	-				6	Lock, Lever protector	
Section Common Access Co	Column C			1				• •				PT PT	1 2	2	,	
Column C	2-8 15 16 16 16 16 16 16 16	014 014	DATA ROOM	1	2032	914	НМ	PT			PSF	PT		2	Lock, closer	
195 195 196	The content of the			2				=	- smoke	- smoke			2	7	· ·	
## ACTIVITY 1. CONTROL AND DOCES. ***CASE STATES**********************************	## APACH 1. Common Area Doors			2									1	8	· · · · ·	DOOR TYPIROOM NO. ROOM NAME
## APACH MAN 1.0 Common Area Boots	ADACTMENT 1 COMMON AND STATE OF THE ADACT OF			2				PT					1	8	· · · · ·	A1 CORRIDOR ENTRY
ADARTMENT 1 - Common Area Doors Time	## APACH MINE 1 - Common And Doors Title	ST-5a ST-5	STAIR 5	2	2032	914	HM/WG	PT	1.5 HR.	1.5 HR.	PSF	PT	1	8	Lock, closer, free access to exit	
Section Sect	Section Development of Control	APARTMENT 1	- Common Area Do	ors					1						<u> </u>	
ESPECT 19 19 19 19 19 19 19 1	Line 1.5			DOORS												D1 - PATIO, SWING
11 1 1 1 1 1 1 1 1	10	I EVEL 1		STYLE	HEIGHT	WIDTH	MAT.	FIN.	RATING	RATING	MAT.	FIN.	DETAIL	SET NO.	REMARKS	, , , , , , , , , , , , , , , , , , ,
13	115 3 3 26 5 5 26 26 27 27 5 2 2 2 2 2 2 2 2 2			See SUIT I	I E DOORS I	L below, Doo	7 1		1							F2 - BEDROOM
1	13								-	_	AL		7 Ω	9	·	
14	11		L .						smoke	smoke			8	11	·	H2 - BATHROOM
10 10 10 10 10 10 10 10	1	114 114	LAUNDRY	1	2032	914	НМ				PSF		4		Lock, fob, closer	
1	1			δ_8 1					- smoke	- smoke			4	2	·	J3 - CLOSET
Column C	12	ST-1b ST-1	STAIR	2	2032	914	HM/WG		45 MIN.	45 MIN.	PSF	PT	4	14	Lock, free access to exit, panic bar	
The content of the	12 13 14 15 15 15 15 15 15 15			8				PF	45 MIN.	45 MIN.	_		7	14		K2 - CLOSET
EFFEL 2 1911 1912 1913 1914 1915 1915 1914 1915	EMPT 1			2				PT	45 MIN.	45 MIN.	PSF	PT	4	8		
A	22 ALL SOLUTION CONTROL ACCOUNTS AND ACCOUNT	LEVEL 2				1			1							
## PAR 2 22 21 1 18070 2 2 25 25 25 25 25 25	Fig. STAR			See SUITI			7.		1	1	Inor	lo-	1.	14-	T	
Fig. 1 1 1 1 1 1 1 1 1 1	Fig. STACK 2 2012 1.1 1.2 1.			1 <u>1</u> 1								PT PT	4	15 8		
ESPEC 1987	EVEL 5	ST-2c ST-2	STAIR	2		914	HM/WG	PT	45 MIN.	45 MIN.		PT	4	8	·	
131 ST ST ST ST ST ST ST S	13 13	LEVEL 3							+	1						L5 - LAUNDRY
STATE STATE STATE STATE 2 0003 194 NAVIOL 17 4500. 45 500. 45	This Str.							DT	Tag NaiNi	Tae Maint	Tron	IDT	14	la e	Transit	
1.1 1.2 1.3 1.4 2 1.4	State Stat			1_1		914							4	15 7		_
March Marc	### Add 101-1490 MULTIP MU	ST-2d ST-2	STAIR	2	2032	914	HM/WG	PT	45 MIN.	45 MIN.	PSF	PT	4	7	Passage, crossover floor, free access from stair to floor	
1.	Control Cont	LEVEL 4														Door Styles
STYLE STARK	Strict S						7.	DT	I A E MINI	AE MINI	IDOL	IDT	14	145	Look	
APARTMENT 7 - Common Area Doors Property	APARTMENT 2 - Common Area Doors Coord No. Room No. Roo			2									4	8		1. Refer to Door Schedule for sizes.
DOON NO ROOM NO.	Cook No.	ST-2e ST-2	STAIR	2	2032	914	HM/WG	PT	45 MIN.	45 MIN.	PSF	PT	4	8	Lock, free access to exit	2. Refer to Floor Plans for handing.
PART	BOORN ROOM NO. ROOM NO. ROOM NAME BOORS FRAMES FRAMES RARDWARE	APARTMENT	2 - Common Area D	oors		<u> </u>			<u> </u>							
LEVEL 1	LEVEL			DOORS	LUCIOUT	NAUD TIL	Inna =	FINI	ID A TINIO			Ten	DETAIL			
191-110 101-	101-110	LEVEL 1		SIYLE	HEIGHT	WIDTH	MAI.	FIN.	RATING	RATING	MAI.	FIN.	DETAIL	SET NO.	REMARKS	
11	111	101-110 101-110					7.		<u> </u>		1					
112 113	112		L .						-	-			7 8	9		_
115 MARTINY 8,8 2002 2 \(\frac{0}{2} \) 14 ALTISE, FF ALL FF 7 17 Lock, blokeyals, and operator, panic bar 10 10 10 10 10 10 10 1	1180	112 112	JANITOR	1	2032	914	НМ	PT			PSF	PT	4	2	Lock	
1180 115 AMENITY 9 8 2012 2 9 914 ALTGL 9F AL PF 7 18 Lock AMENITY 9 8 2012 2 9 914 ALTGL 9F AL PF 7 18 Lock AMENITY 9 8 2012 2 9 914 ALTGL 9F AL PF 7 18 Lock 1190 1190 1190 1190 1190 1190 1190 119	1100			8 8					smoke -	smoke -	_		7	12 17		- - - // / / / / / / / / / / /
118	118	116b 115	AMENITY	8_8	2032	2 @ 914	AL/TGL	PF	-	-	AL	PF	7		Lock	
118	118			8 <u>8</u>					-	-			7	18		Temp Glass
120 WASHROOM 1 2002 964 HM PT	120	118 118	ACCESSIBLE WASHROOM	1	2032	914	НМ	PT	-	-	PSF	PT	4		Privacy	
\$\frac{97.50}{37.50}\$ \$\frac{157.40}{37.50}\$ \$\frac{157.40}{37.50}\$ \$\frac{157.40}{37.40}\$ \$\frac{145.40}{37.40}\$	\$7:30 \$7:3 \$74R\$			1					-	-			4		· · · · · · · · · · · · · · · · · · ·	- - </td
\$\frac{\text{S}_14}{\text{S}_14} \frac{\text{S}_14}{\text{S}_14}	SI-4 SI-4 SI-A SI-A	ST-3b ST-3	STAIR	2	2032	914	HM/WG	=			PSF	PT	4		Lock, free access to exit, panic bar	
ST4 ST4R 2 2032 914 HMW/S PT 45 MIN. PSF PT 4 8 Lock, free access to exit, panic bar	ST-4 STAR			8				• •	45 IVIIN. -	45 MIN. -	AL		7	14		STYLE 6 STYL
Level 2	Level 2			2		_		PT	45 MIN.	45 MIN.			4	8		Frame Types
2012/10 2012/10 2012/10 SUITE See SUITE DOORS below, Door Type A1 Min PS PT 4 15 Lock See SUITE DOORS below, Door Type A1 Min PS PT 4 15 Lock See SUITE DOORS below, Door Type A1 Min PS PT 4 Min PS PT Min Min Min Min PS PT Min Min Min Min PS PT Min Min Min Min Min PS PT Min Mi	201-210 201-210 SUITE See SUITE DOORS below, Door Type A1	LEVEL 2							1							-
\$\frac{1}{5}\$ \frac{1}{3}\$ \fra	ST-3d ST-3d STAIR 2 2032 914 MMWG PT 45 MIN. 45 MIN. 95F PT 4 8 Lock, free access to exit			See SUITI					1	1			1.	1		
ST-4c ST-4 STARR	ST-4 STAIR See SUITE DOORS below, Door Type A1 SUITE See SUITE DOORS below, Door Type A1 STAIR			1 <u>1</u> 1								PT PT	4			General Notes
LEVEL 3 301-312 301-3	Level 3 Suite See Suite Doors below, Door Type A1 Single See Suite Doors Single See Suite Doors Single See Suite Doors Single Si			2				PT				PT	4	8	·	1. '1_3' for frame detail on schedule indicates two different frame conditions for that door.
301-312 SUITE See SUITE DOORS below, Door Type A1 313 131 ELECTRICAL CLOSET 1,1 2032 2,2914 HM PT 45 MIN. 45 MIN. PSF PT 4 7 Passage, crossover floor, free access from stair to floor SI-34 ST-34 STAIR 2 2,2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 7 Passage, crossover floor, free access from stair to floor LEVEL 4 41 41 41 41 41 41 41	301-312 301-312 3UITE See SUITE DOORS below, Door Type A1 313 31 515	LEVEL 3							+							
313	ST-36	301-312 301-312		See SUIT					1							
ST-4 STAIR 2 2032 914 HMWG PT 45 MIN. PSF PT 4 7 Passage, crossover floor, free access from stair to floor	ST-4 STAIR 2 2032 914 HM/WG PT 45 MIN. 45 MIN. PSF PT 4 7 Passage, crossover floor, free access from stair to floor			1_1		2 @ 914 914						PT PT	4	15 7		
413 413 ELECTRICAL CLOSET 1 1 2032 2@914 HM PT 45 MIN. 45 MIN. 95F PT 4 8 Lock, free access to exit ST-3f ST-3 STAR 2 2032 914 HMWG PT 45 MIN. 45 MIN. 95F PT 4 8 Lock, free access to exit ELEVEL 5 S01-509 SUITE See SUITE DOORS below, Door Type A1 ST-3f ST-3 STAR 2 2032 914 HMWG PT 45 MIN. 45 MIN. 95F PT 4 8 Lock, free access to exit DETAIL 1 Seesant ST-3g ST-3 STAR 2 2032 914 HMWG PT 45 MIN. 45 MIN. 95F PT 4 8 Lock, free access to exit ST-4f ST-4 STAR 2 2032 914 HMWG PT 45 MIN. 45 MIN. 95F PT 4 8 Lock, free access to exit TOWNHOUSE 1 - Common Area Doors FRAMES HARDWARE STYLE HEIGHT WIDTH MAT. FIN. RATING MAT. FIN. RATING MAT. FIN. RETAIL SET NO. REMARKS DETAIL 2 See SUITE DOORS below, Door Type B1 101-113 101-113 SUITE See SUITE DOORS below, Door Type B1 114 114 LOBBY 8 2032 914 AL7GL PF - - AL PF 7 ?? Lock, fob, auto operator, panic bar	401-412 401-412 SUITE See SUITE DOORS below, Door Type A1 413 413 ELECTRICAL CLOSET 1 2032 2 @ 914 HM			2				PT				PT	4	7	<u> </u>	
413 413 ELECTRICAL CLOSET 1 1 2032 2@914 HM PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit ST-4e ST-4 STAIR 2 2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit ELEVEL 5 S01-509 SUITE See SUITE DOORS below, Door Type A1 ST-3 STAIR 2 2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit DETAIL 1 Seesaint ST-4 ST-4 STAIR 2 2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit DETAIL 1 Seesaint TOWNHOUSE 1 - Common Area Doors FRAMES HARDWARE STYLE HEIGHT WIDTH MAT. FIN. RATING MAT. FIN. RATING MAT. FIN. DETAIL SET NO. REMARKS DETAIL 2 SEESINT DETAIL 2 Seesaint DETAIL 2 SEESINT DETAIL 2 SEESINT DETAIL 2 SEESINT DETAIL 2 SEESINT DETAIL 2 SEESINT DETAIL 2 SEESINT DETAIL 2 SEESINT DETAIL 2 SEESINT DE	401-412 401-412 SUITE See SUITE DOORS below, Door Type A1 413 SLECTRICAL CLOSET 1 2032 2 @ 914 HM	LEVEL 4							+	+						
ST-3f ST-3	ST-3f ST-3	401-412 401-412							<u> </u>		1					
ST-4e ST-4 STAIR 2 2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit LEVEL 5	ST-4e ST-4			1_1		_							4	15 8		
LEVEL 5	LEVEL 5			2				PT				PT	4	8	·	
Solid Soli	Sol-509 SUITE See SUITE DOORS below, Door Type A1 Suite See SUITE DOORS below, Door Type A1 Suite See Suite Doors Strain	LEVEL 5								-						DETAIL 1 \sealant
ST-3g ST-3g STAIR 2 2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit ST-4f ST-4 STAIR 2 2032 914 HMWG PT 45 MIN. 45 MIN. PSF PT 4 8 Lock, free access to exit TOWNHOUSE 1 - Common Area Doors DOOR NO. ROOM NO. ROOM NAME DOORS STYLE HEIGHT WIDTH MAT. FIN. RATING MAT. FIN. DETAIL SET NO. REMARKS LEVEL 1 See SUITE DOORS below, Door Type B1 101-113 101-113 SUITE See SUITE DOORS below, Door Type B1 114 114 LOBBY 8 2032 914 AL/TGL PF AL PF 7 ?? Lock, fob, auto operator, panic bar	ST-3g ST-3	501-509 501-509		1					<u> </u>	_l	<u> </u>			<u> </u>	<u> </u>	sealant
ST-4	ST-4				2032	2 @ 914 914						PT PT	4	15		
DOOR NO. ROOM NO. ROOM NAME DOORS FRAMES HARDWARE	DOOR NO. ROOM NO. ROOM NAME DOORS			2									4	8	,	
DOOR NO. ROOM NO. ROOM NAME DOORS FRAMES HARDWARE	DOOR NO. ROOM NO. ROOM NAME DOORS FRAMES HARDWARE STYLE HEIGHT WIDTH MAT. FIN. RATING RATING MAT. FIN. DETAIL SET NO. REMARKS LEVEL 1 101-113 SUITE See SUITE DOORS below, Door Type B1 114 114 LOBBY 8 2032 914 AL/TGL PF - AL PF 7 ?? Lock, fob, auto operator, panic bar		1 Common Area 5	looro					1					<u> </u>		• steel to so
STYLE HEIGHT WIDTH MAT. FIN. RATING RATING MAT. FIN. DETAIL SET NO. REMARKS	STYLE HEIGHT WIDTH MAT. FIN. RATING RATING MAT. FIN. DETAIL SET NO. REMARKS									FRAMES	3			HARDWAF	RE	
Company	101-113 SUITE See SUITE DOORS below, Door Type B1 DETAIL 2 114 114 LOBBY 8 2032 914 AL/TGL PF - - AL PF 7 ?? Lock, fob, auto operator, panic bar				HEIGHT	WIDTH	MAT.	FIN.	RATING			FIN.	DETAIL			arout
114 LOBBY 8 2032 914 AL/TGL PF AL PF 7 ?? Lock, fob, auto operator, panic bar	114		SUITE	See SIIITI	 E DOORS !	below Doc	r Tyne R1		<u> </u>					<u> </u>	<u> </u>	DETAIL 2
SI-5D SI-5 SIAIR 1 2032 914 HM PT 45 MIN. 45 MIN. PSF PT 1 14 Lock, free access to exit, panic bar	SI-5D SI-5 SIAIR 1 2032 914 HM PT 45 MIN. 45 MIN. PSF PT 1 14 Lock, free access to exit, panic bar	114 114	LOBBY	8	2032	914	AL/TGL		-	-			7			Scalant
		SI-5b ST-5	STAIR	[1	2032	<u> </u> 914	ΙΗΜ	PT	45 MIN.	[45 MIN.	[PSF	[PT	[1	14	Lock, free access to exit, panic bar	



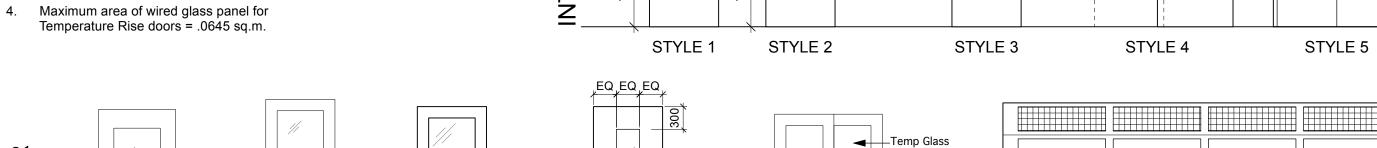
OWNH	HOUSE 2	- Common Area D	Doors											
OR NO.	ROOM NO.	ROOM NAME	DOORS						FRAMES				HARDWA	RE
			STYLE	HEIGHT	WIDTH	MAT.	FIN.	RATING	RATING	MAT.	FIN.	DETAIL	SET NO.	REMARKS
EVEL 1														
1-114	101-114	SUITE	See SUITE	DOORS I	elow, Doo	r Type B1								
5a	115		1	2032	914	НМ	PT	1 HR.	1 HR.	PSF	PT	1	5	Lock, closer
EVEL 2														
1-214	201-214	SUITE	See SUITE	DOORS b	elow, Doo	r Type B1								
•														
OWNE	OUSF 3	- Common Area D	oors											

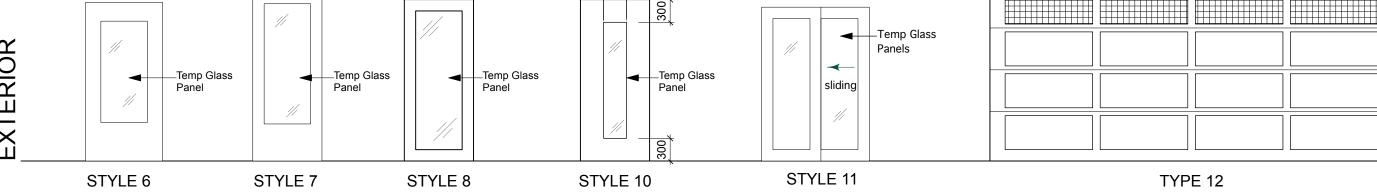
OWNE	HOUSE 3	- Common Area D	oors											
OR NO.	ROOM NO.	ROOM NAME	DOORS						FRAMES				HARDWA	RE
			STYLE	HEIGHT	WIDTH	MAT.	FIN.	RATING	RATING	MAT.	FIN.	DETAIL	SET NO.	REMARKS
VEL 1														
I-102	101-102	SUITE	See SUITI	E DOORS	below, Doc	or Type B1								•
VEL 2														
I-204	201-204	SUITE	See SUITI	E DOORS	below, Doc	or Type B1								

SUITE [DOORS													
DOOR TYP	ROOM NO.	ROOM NAME	DOORS						FRAMES				HARDWA	RE
			STYLE	HEIGHT	WIDTH	MAT.	FIN.	RATING	RATING	MAT.	FIN.	DETAIL	SET NO.	REMARKS
A1	-	CORRIDOR ENTRY	1	2032	914	SCW	PT	20 MIN.	20 MIN.	PSF	PT	4	16	Latch, Deadbolt
B1	-	TOWNHOUSE ENTRY	10	2032	914	VIN/TGL	PF	-	-	VIN	PF	7	20	Latch, Deadbolt
C1	-	PATIO ENTRY	6	2032	914	VIN/TGL	PF	-	-	VIN	PF	7	21	Latch, Deadbolt
C2	-	PATIO ENTRY	7	2230	914	VIN/TGL	PF	-	-	VIN	PF	7	21	Latch, Deadbolt
D1	-	PATIO, SWING	8	2032	914	VIN/TGL	PF	-	-	VIN	PF	7	21	Lock
E1	-	JULIET BALCONY, SLIDER	11	2032	1525	VIN/TGL	PF	-	-	VIN	PF	7	26	Lock
F1	-	BEDROOM	3	2032	864	HCW	PT	-	-	WD	PT	5	23	Passage
F2	-	BEDROOM	3	2032	914	HCW	PT	-	-	WD	PT	5	23	Passage, accessible
G1	-	CLOSET	3	2032	711	HCW	PT	-	-	WD	PT	5	24	Dummy
H1	-	BATHROOM	3	2032	864	HCW	PT	-	-	WD	PT	5	22	Privacy
H2	-	BATHROOM	3	2032	914	HCW	PT	-	-	WD	PT	5	22	Privacy, accessible
14		CLOSET	2 2	2022	2@610	HCM/	DT			WD	DT	6	25	Dynago

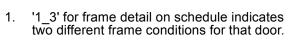
F1	-	BEDROOM	3	2032	864	HCW	PT	-	-	WD	IPI	5	23	Passage
F2	-	BEDROOM	3	2032	914	HCW	PT	-	-	WD	PT	5	23	Passage, accessible
G1	-	CLOSET	3	2032	711	HCW	PT	-	-	WD	PT	5	24	Dummy
H1	-	BATHROOM	3	2032	864	HCW	PT	-	-	WD		5	22	Privacy
H2	-	BATHROOM	3	2032	914	HCW	PT	-	-	WD		5	22	Privacy, accessible
J1	-	CLOSET	3_3	2032	2@610	HCW	PT	-	-	WD	PT	6	25	Bypass
J2	-	CLOSET	3_3	2032	2@711	HCW	PT	-	-	WD	PT	6	25	Bypass
J3	-	CLOSET	3_3	2032	2@762	HCW	PT	-	-	WD	PT	6	25	Bypass
J4	-	CLOSET	3_3	2032	2@915	HCW	PT	-	-	WD	PT	6	25	Bypass
K1	-	CLOSET	3	2032	450	HCW	PT	-	-	WD	PT	5	24	Dummy
K2	-	CLOSET	3	2032	610	HCW	PT	-	-	WD	PT	5	24	Dummy
K3	-	CLOSET	3	2032	815	HCW	PT	-	-	WD	PT	5	24	Dummy
K4	-	CLOSET	3	2032	865	HCW	PT	-	-	WD	PT	5	24	Dummy
K5	-	CLOSET	3	2032	915	HCW	PT	-	-	WD	PT	5	24	Dummy
K6	-	CLOSET	3_3	2032	2@762	HCW	PT	-	-	WD	PT	5	24	Double Dummy
L1	-	LAUNDRY	3	2032	865	HCW	PT	-	-	WD	PT	5	24	Dummy, undercut for ventilation
L2	-	LAUNDRY	3_3	2032	2@535	HCW	PT	-	-	WD	PT	5	24	Double Dummy, undercut for ventilation
L3	-	LAUNDRY	3_3	2032	2@610	HCW	PT	-	-	WD	PT	5	24	Double Dummy, undercut for ventilation
L4	-	LAUNDRY	3_3	2032	2@762	HCW	PT	-	-	WD	PT	5	24	Double Dummy, undercut for ventilation
L5	-	LAUNDRY	3	2032		HCW	PT	-	_	WD	PT	5	24	Dummy
	G1 H1 H2 J1 J2 J3 J4 K1 K2 K3 K4 K5 K6 L1 L2 L3 L4	F2 - G1 - H1 - H2 - J1 - J2 - J3 - K1 - K2 - K3 - K4 - K5 - K6 - L1 - L2 - L3 - L4 -	F2 - BEDROOM G1 - CLOSET H1 - BATHROOM H2 - BATHROOM J1 - CLOSET J2 - CLOSET J3 - CLOSET J4 - CLOSET K1 - CLOSET K2 - CLOSET K3 - CLOSET K4 - CLOSET K5 - CLOSET K6 - CLOSET L1 - LAUNDRY L2 - LAUNDRY L4 - LAUNDRY	F2 - BEDROOM 3 G1 - CLOSET 3 H1 - BATHROOM 3 H2 - BATHROOM 3 J1 - CLOSET 3_3 J2 - CLOSET 3_3 J3 - CLOSET 3_3 J4 - CLOSET 3_3 K1 - CLOSET 3 K2 - CLOSET 3 K3 - CLOSET 3 K4 - CLOSET 3 K5 - CLOSET 3_3 L1 - LAUNDRY 3_3 L2 - LAUNDRY 3_3 L4 - LAUNDRY 3_3	F2 - BEDROOM 3 2032 G1 - CLOSET 3 2032 H1 - BATHROOM 3 2032 H2 - BATHROOM 3 2032 J1 - CLOSET 3_3 2032 J2 - CLOSET 3_3 2032 J3 - CLOSET 3_3 2032 K1 - CLOSET 3_3 2032 K1 - CLOSET 3 2032 K2 - CLOSET 3 2032 K3 - CLOSET 3 2032 K4 - CLOSET 3 2032 K5 - CLOSET 3_3 2032 K6 - CLOSET 3_3 2032 L1 - LAUNDRY 3_3 2032 L3 - LAUNDRY 3_3 2032 L4 - LAUNDRY 3_3 2032	F2 - BEDROOM 3 2032 914 G1 - CLOSET 3 2032 711 H1 - BATHROOM 3 2032 864 H2 - BATHROOM 3 2032 914 J1 - CLOSET 3_3 2032 2@610 J2 - CLOSET 3_3 2032 2@762 J4 - CLOSET 3_3 2032 2@915 K1 - CLOSET 3_3 2032 450 K2 - CLOSET 3_3 2032 450 K3 - CLOSET 3_3 2032 815 K4 - CLOSET 3_3 2032 865 K5 - CLOSET 3_3 2032 2@762 L1 - LAUNDRY 3_3 2032 2@535 L3 - LAUNDRY 3_3 2032 2@610	F2 - BEDROOM 3 2032 914 HCW G1 - CLOSET 3 2032 711 HCW H1 - BATHROOM 3 2032 864 HCW H2 - BATHROOM 3 2032 914 HCW J1 - CLOSET 3_3 2032 2@610 HCW J2 - CLOSET 3_3 2032 2@762 HCW J3 - CLOSET 3_3 2032 2@915 HCW J4 - CLOSET 3_3 2032 2@915 HCW K1 - CLOSET 3 2032 450 HCW K2 - CLOSET 3 2032 815 HCW K3 - CLOSET 3 2032 865 HCW K4 - CLOSET 3_3 2032 2@762 HCW K6 <t< td=""><td>F2 - BEDROOM 3 2032 914 HCW PT G1 - CLOSET 3 2032 711 HCW PT H1 - BATHROOM 3 2032 864 HCW PT H2 - BATHROOM 3 2032 2@610 HCW PT J1 - CLOSET 3_3 2032 2@610 HCW PT J2 - CLOSET 3_3 2032 2@762 HCW PT J3 - CLOSET 3_3 2032 2@915 HCW PT J4 - CLOSET 3_3 2032 2@915 HCW PT K1 - CLOSET 3_2032 450 HCW PT K2 - CLOSET 3_2032 815 HCW PT K3 - CLOSET 3_2032 865 HCW PT K4</td><td>F2 - BEDROOM 3 2032 914 HCW PT - G1 - CLOSET 3 2032 711 HCW PT - H1 - BATHROOM 3 2032 864 HCW PT - H2 - BATHROOM 3 2032 2@610 HCW PT - J1 - CLOSET 3_3 2032 2@610 HCW PT - J2 - CLOSET 3_3 2032 2@762 HCW PT - J3 - CLOSET 3_3 2032 2@915 HCW PT - J4 - CLOSET 3_2032 2@915 HCW PT - K1 - CLOSET 3_2032 450 HCW PT - K2 - CLOSET 3_2032 815 HCW PT - K3</td><td>F2 - BEDROOM 3 2032 914 HCW PT - - G1 - CLOSET 3 2032 711 HCW PT - - H1 - BATHROOM 3 2032 864 HCW PT - - H2 - BATHROOM 3 2032 2@610 HCW PT - - J1 - CLOSET 3_3 2032 2@610 HCW PT - - J2 - CLOSET 3_3 2032 2@762 HCW PT - - J3 - CLOSET 3_3 2032 2@915 HCW PT - - K1 - CLOSET 3_2032 450 HCW PT - - K2 - CLOSET 3_2032 815 HCW PT - - K3 -</td><td>F2 - BEDROOM 3 2032 914 HCW PT - - WD G1 - CLOSET 3 2032 711 HCW PT - - WD H1 - BATHROOM 3 2032 864 HCW PT - - WD J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD J3 - CLOSET 3_3 2032 2@762 HCW PT - - WD K1 - CLOSET 3_3 2032 2@915 HCW PT - - WD K2 - CLOSET 3 2032 450 HCW PT - - WD K3 - CLOSET <</td><td>F2 - BEDROOM 3 2032 914 HCW PT - - WD PT G1 - CLOSET 3 2032 711 HCW PT - - WD PT H1 - BATHROOM 3 2032 864 HCW PT - - WD PT H2 - BATHROOM 3 2032 20610 HCW PT - - WD PT J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD PT J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD PT J3 - CLOSET 3_3 2032 2@915 HCW PT - - WD PT K1 - CLOSET 3_2032 26915 HCW PT -</td><td>F2 - BEDROOM 3 2032 914 HCW PT - - WD PT 5 G1 - CLOSET 3 2032 711 HCW PT - WD PT 5 H1 - BATHROOM 3 2032 864 HCW PT - WD PT 5 H2 - BATHROOM 3 2032 914 HCW PT - WD PT 5 H1 - CLOSET 3_3 2032 2@610 HCW PT - WD PT 6 J1 - CLOSET 3_3 2032 2@762 HCW PT - WD PT 6 J3 - CLOSET 3_3 2032 2@915 HCW PT - WD PT 6 K1 - CLOSET 3_3 2032 450 HCW <t< td=""><td>F2 - BEDROOM 3 2032 914 HCW PT - - WD PT 5 23 G1 - CLOSET 3 2032 711 HCW PT - - WD PT 5 24 H1 - BATHROOM 3 2032 864 HCW PT - - WD PT 5 22 H2 - BATHROOM 3 2032 2@610 HCW PT - - WD PT 5 22 J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD PT 6 25 J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD PT 6 25 J3 - CLOSET 3_3 2032 2@915 HCW PT - -</td></t<></td></t<>	F2 - BEDROOM 3 2032 914 HCW PT G1 - CLOSET 3 2032 711 HCW PT H1 - BATHROOM 3 2032 864 HCW PT H2 - BATHROOM 3 2032 2@610 HCW PT J1 - CLOSET 3_3 2032 2@610 HCW PT J2 - CLOSET 3_3 2032 2@762 HCW PT J3 - CLOSET 3_3 2032 2@915 HCW PT J4 - CLOSET 3_3 2032 2@915 HCW PT K1 - CLOSET 3_2032 450 HCW PT K2 - CLOSET 3_2032 815 HCW PT K3 - CLOSET 3_2032 865 HCW PT K4	F2 - BEDROOM 3 2032 914 HCW PT - G1 - CLOSET 3 2032 711 HCW PT - H1 - BATHROOM 3 2032 864 HCW PT - H2 - BATHROOM 3 2032 2@610 HCW PT - J1 - CLOSET 3_3 2032 2@610 HCW PT - J2 - CLOSET 3_3 2032 2@762 HCW PT - J3 - CLOSET 3_3 2032 2@915 HCW PT - J4 - CLOSET 3_2032 2@915 HCW PT - K1 - CLOSET 3_2032 450 HCW PT - K2 - CLOSET 3_2032 815 HCW PT - K3	F2 - BEDROOM 3 2032 914 HCW PT - - G1 - CLOSET 3 2032 711 HCW PT - - H1 - BATHROOM 3 2032 864 HCW PT - - H2 - BATHROOM 3 2032 2@610 HCW PT - - J1 - CLOSET 3_3 2032 2@610 HCW PT - - J2 - CLOSET 3_3 2032 2@762 HCW PT - - J3 - CLOSET 3_3 2032 2@915 HCW PT - - K1 - CLOSET 3_2032 450 HCW PT - - K2 - CLOSET 3_2032 815 HCW PT - - K3 -	F2 - BEDROOM 3 2032 914 HCW PT - - WD G1 - CLOSET 3 2032 711 HCW PT - - WD H1 - BATHROOM 3 2032 864 HCW PT - - WD J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD J3 - CLOSET 3_3 2032 2@762 HCW PT - - WD K1 - CLOSET 3_3 2032 2@915 HCW PT - - WD K2 - CLOSET 3 2032 450 HCW PT - - WD K3 - CLOSET <	F2 - BEDROOM 3 2032 914 HCW PT - - WD PT G1 - CLOSET 3 2032 711 HCW PT - - WD PT H1 - BATHROOM 3 2032 864 HCW PT - - WD PT H2 - BATHROOM 3 2032 20610 HCW PT - - WD PT J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD PT J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD PT J3 - CLOSET 3_3 2032 2@915 HCW PT - - WD PT K1 - CLOSET 3_2032 26915 HCW PT -	F2 - BEDROOM 3 2032 914 HCW PT - - WD PT 5 G1 - CLOSET 3 2032 711 HCW PT - WD PT 5 H1 - BATHROOM 3 2032 864 HCW PT - WD PT 5 H2 - BATHROOM 3 2032 914 HCW PT - WD PT 5 H1 - CLOSET 3_3 2032 2@610 HCW PT - WD PT 6 J1 - CLOSET 3_3 2032 2@762 HCW PT - WD PT 6 J3 - CLOSET 3_3 2032 2@915 HCW PT - WD PT 6 K1 - CLOSET 3_3 2032 450 HCW <t< td=""><td>F2 - BEDROOM 3 2032 914 HCW PT - - WD PT 5 23 G1 - CLOSET 3 2032 711 HCW PT - - WD PT 5 24 H1 - BATHROOM 3 2032 864 HCW PT - - WD PT 5 22 H2 - BATHROOM 3 2032 2@610 HCW PT - - WD PT 5 22 J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD PT 6 25 J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD PT 6 25 J3 - CLOSET 3_3 2032 2@915 HCW PT - -</td></t<>	F2 - BEDROOM 3 2032 914 HCW PT - - WD PT 5 23 G1 - CLOSET 3 2032 711 HCW PT - - WD PT 5 24 H1 - BATHROOM 3 2032 864 HCW PT - - WD PT 5 22 H2 - BATHROOM 3 2032 2@610 HCW PT - - WD PT 5 22 J1 - CLOSET 3_3 2032 2@610 HCW PT - - WD PT 6 25 J2 - CLOSET 3_3 2032 2@762 HCW PT - - WD PT 6 25 J3 - CLOSET 3_3 2032 2@915 HCW PT - -

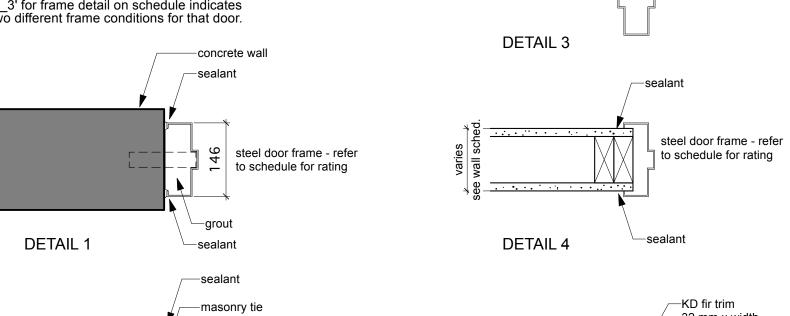
or Schedule for sizes. INTERIOF or Plans for handing.

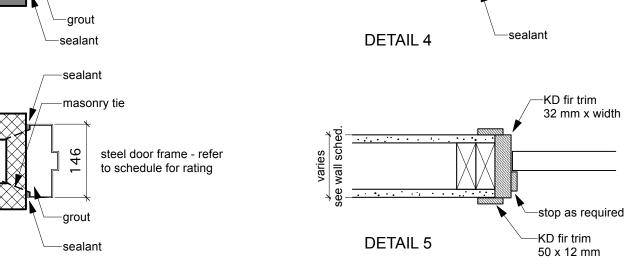


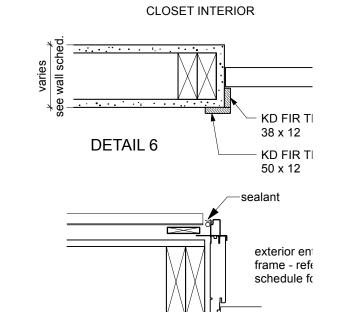


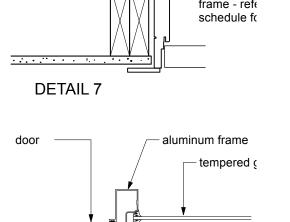
Frame Types	
Locate frames within walls as indicated on floor plans.	
General Notes	











DETAIL 8

num frame	dHKa	dHK arc	hitects
tempered (VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1 • 250 • 658 • 3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2Ka
	Caledonia		
	Victoria BC		
	Door Schedule		
	DESIGNS ARE AND AT ALL TIMES REMAIN THE	√701	revision no.

21-01-27

NOTE: All dimensions are shown in millimeters.

20-11-25 Descrip

21-03-16 drawing file

LGF checked by

N.T.S. project number

Door Schedule General Notes

- 1. See floor plans series A200 for all window and door locations.
- Refer to Specifications in conjunction with Door Schedule for all doors and door hardware.
- 3. Patio doors and operable vents adjacent to patio doors in ground floor dwelling units shall have laminated glass exterior panes.
- 4. Windows, Doors and Skylights shall conform to the requirements of BCBC 5.10.2. Refer to specifications for performance grades.
- 5. Windows in ground floor dwelling units shall conform to the requirements for resistance to forced entry as described in Clause 5.3.5 fo AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS- North American Fenestration Standard/Specification for Windows, Doors and Skylights"
- Refer to Door Functional Summary Spec Section 08 71 00 for door functionality, electronic access and hardware Legend requirements.

←

bypass bypass

pocket

door

ALUM CH FGL GL HCW HM INSUL MR PT PF PSF SCW	Alur Cha Fibr Glas Holl Holl Mirr Pres Soli Sta
STN	Stai
STL	Stee
TGL	Tem
VIN	Viny
WD	Woo

uminum nain link mesh reglass ollow Core Wood ollow Metal llow Metal Insulated refinished ressed Steel Frame olid Core Wood

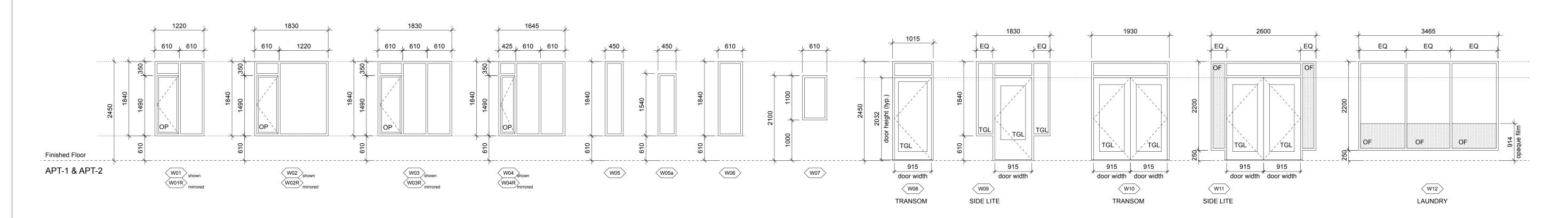
Stained Steel Tempered Glass Vinyl Hollow Core Insulated

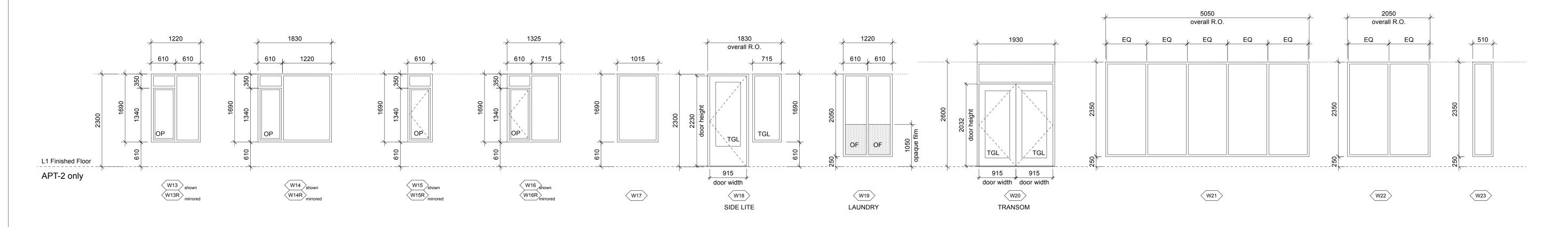
90% Review

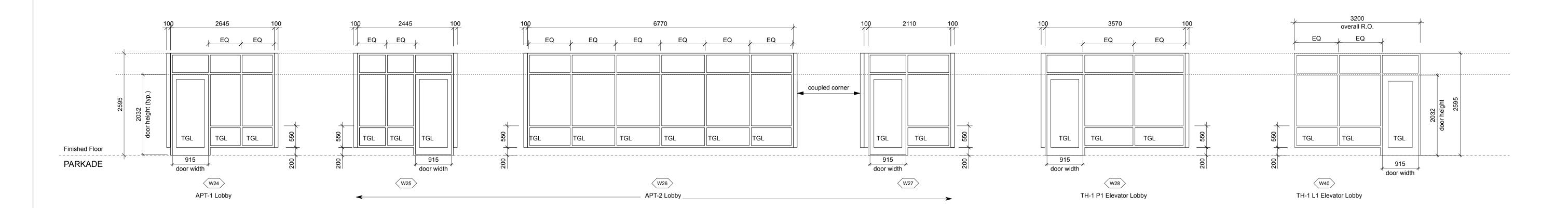
Issued for 90% BP Coordination

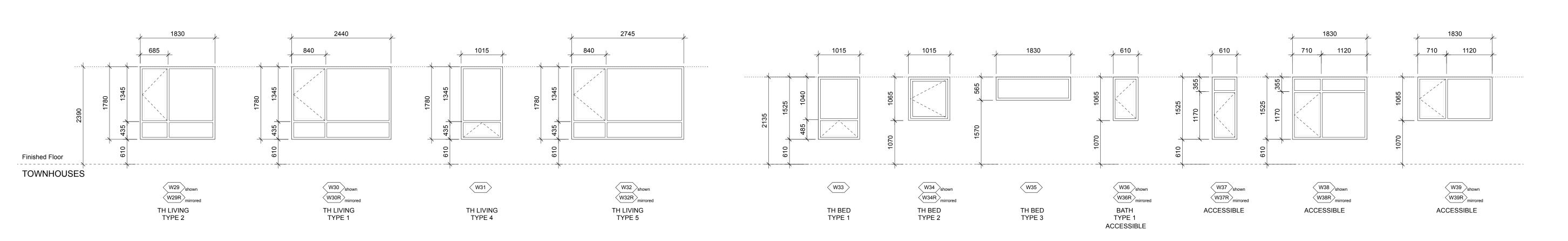
1907.3 A701 Door Schedule.vwx

Issued for 50% Coordination









Window Schedule General Notes

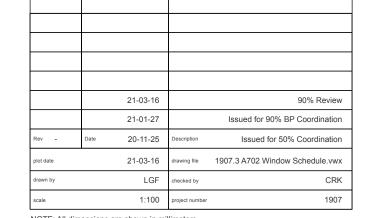
- 1. See Floor Plan Series A200 for all window and door locations.
- 2. All windows are shown as viewed from exterior.
- 3. Overall dimensions given are rough openings sizes.
- 4. Dimensions are to centreline of mullion except for window edges (that are to outside of mullion).
- 5. Refer to Specifications in conjunction with Window

exterior, white finish on interior.

- Schedule. 6. Refer to Door Schedule for description of glazed
- 7. All residential suite windows to be charcoal finish on
- 8. Contractor to ensure that sill of glass is above 300
- mm AFF if not tempered.
- Operable windows in storeys above the ground floor shall be restricted to a maximum clear opening of not more than 100 mm. 10. Patio doors and operable vents adjacent to patio
- doors in ground floor dwelling units shall have laminated glass exterior panes.
- Windows, Doors and Skylights shall conform to the requirements of BCBC 5.10.2. Refer to specifications for performance grades.
- Windows in ground floor dwelling units shall conform to the requirements for resistance to forced entry as described in Clause 5.3.5 fo AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS- North American Fenestration Standard/Specification for Windows, Doors and Skylights"
- 13. Windows to be structurally designed to resist guard loading when the windows extend lower than 1000 mm above finished floor level and the floor level is more than 600 mm above adjacent ground level.
- 14. Windows in accessible suites to have all operating hardware located between 400mm and 1200mm from finished floor.

LEGEND

- VI = VISION GLASS
- **OP** = OPERABLE WINDOW
- **TGL** = TEMPERED GLASS
- **FG** = FROSTED GLASS
- **MP** = METAL PANEL
- **OF** = OPAQUE FILM (WHITE)



NOTE: All dimensions are shown in millimeters.

dHKa	dHKard	chitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367	NANAIMO OFFIC 102-5190 D Nanaimo B (T 1•250•58:	ublin Way C V9T 2Ka
Caledonia		
Victoria BC		
Window Sched	ule	
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PARKADE FINISHES

		FLC	OP.						WA	LLS						CE	ILING	
ROOM	ROOM NAME				NORTH			EAST	D.4.0E		SOUTH	D 4 0 E		WEST	D.4.0E			REMARKS
NO.		MAT	FIN	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	
PARKAD	E																	
-	PARKING AREA	CONC	SL	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	Densifier sealed floor finish. See Specification.
001	ELEVATOR LOBBY	CONC	RES	CONC	GWB	WDB	CONC	GWB	WDB	CONC	GWB	WDB	CONC	GWB	WDB	CONC	GWB	
002	MECHANICAL ROOM	CONC	SL	СВК	UNF	-	CONC	UNF	-	CONC	UNF	-	СВК	UNF	-	CONC	UNF	
003	SUB-ELECTRICAL RM.	CONC	SL	CBK	UNF	-	CBK	UNF	-	CBK	UNF	-	CBK	UNF	-	CONC	UNF	
004	ELEVATOR LOBBY	CONC	RES	CONC	GWB	FCB	CONC	GWB	FCB	CONC	GWB	FCB	CONC	GWB	FCB	CONC	GWB	
005	GARB. & REC.	CONC	SL	CBK	UNF	-	CONC	UNF	-	CBK	UNF	-	CBK	UNF	-	CONC	UNF	
006	TH-1 ELEV. LOBBY	RES	-	CONC	GWB	RES	CONC	GWB	RES	CONC	GWB	RES	CONC	GWB	RES	CONC	GWB	
007	STORAGE	CONC	SL	CONC	UNF	-	CONC	UNF	1	CONC	UNF	-	CONC	UNF	-	CONC	UNF	
800	ELECTRICAL ROOM	CONC	SL	CONC	UNF	-	CONC	UNF	1	CONC	UNF	-	CONC	UNF	-	CONC	UNF	
009	BICYCLE ROOM	CONC	SL	CBK	UNF	-	CONC	UNF	1	CONC	UNF	-	CONC	UNF	-	CONC	UNF	Chain link fencing on east side. See Floor Plans and Specifications.
010	BICYCLE ROOM	CONC	SL	CONC	UNF	-	-	-	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	Chain link fencing on east side. See Floor Plans and Specifications.
011	BICYCLE ROOM	CONC	SL	CONC	UNF	-	CONC	UNF	-	CBK	UNF	-	CONC	UNF	-	CONC	UNF	Chain link fencing on north and east sides. See Floor Plans and Specifications.
012	CRHC STORAGE	CONC	SL	CBK	UNF	-	CBK	UNF	-	CONC	UNF	-	CBK	UNF	-	CONC		
EL-1	ELEVATOR CAB #1				HPL	MTL	SS	HPL	MTL	SS	SS	MTL	SS	HPL	MTL	SS	HPL	See Specification.
EL-2	ELEVATOR CAB #2	CONC	TRS	SS	SS	MTL	SS	HPL	MTL	SS	HPL	MTL	SS	HPL	MTL	SS		See Specification.
EL-3	ELEVATOR CAB #3	CONC	TRS	SS	HPL	MTL	SS	HPL	MTL	SS	HPL	MTL	SS	SS	MTL	SS	HPL	See Specification.
ST-01	STAIR #1	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Johnsonite Vinyl Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-03	STAIR #2	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB		Johnsonite Vinyl Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-05	STAIR #5	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Johnsonite Vinyl Stair System treads, risers, landings and tactile warning strips. See Specifications.

APARTMENT 1 -COMMON AREA FINISHES

			NOD						WA	LLS						0511	LING	
ROOM	ROOM NAME	FLC		NAA T	NORTH			EAST	L DAGE		SOUTH			WEST	T 5405		LING	REMARKS
NO.		MAT	FIN	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	
	ENT 1 - COMMON AREAS																	
LEVEL 1	- COMMON AREAS	I		<u> </u>		1	1			1		1	1			1	1	
112	VESTIBULE	CONC	TL	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
113	LOBBY	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
113	LOBBT	CONC	NL3	GWB	Г	VVDB	GVVD	Г	VVDB	GWB	Г	VVDB	GVVD	Г	VVDB	GVVD	FI	
114	LAUNDRY ROOM	CONC	SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	
115	VESTIBULE	CONC	TL	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
116	JANITOR'S ROOM	CONC	SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	DT	Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
110					1 1												1 1	Trigid viriyi sheet wall protector. See opecilication & S/ASS4 & 4/ASS0.
117	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
118	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
					1 1													
ST-02	STAIR #2	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 2	- COMMON AREAS																	
213	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
214	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
215	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-02	STAIR #2	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 3	- COMMON AREAS																	
313	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
314	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
315	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
					DT						DT	DIAID		БТ			DT	
ST-02	STAIR #2	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PI	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 4	- COMMON AREAS	-	: [<u>-</u>		· 	· · ·				-	· · · · · · · · · · · · · · · · · · ·				- -		
410	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
					ГОТ									DT			ГОТ	
411	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
412	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
OT OO	CTAID #0	\\/\	חחר	CVA/D	DT	ם אים	CMD	рт	DWD	CMD	DT	DVVD	CMD	DT	ראים			
ST-02	STAIR #2	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.

SHEET NOTES

- Refer to Detail Plans and Interior Elevations for room finish labels and specific finish locations.
- 2. See Specification for complete finish information.
- Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.
- 4. Any substitutions shall be subject to approval by the
- Materials listed herein are for design intent.
 Warranties are to be supplied by the manufacturer and installer.

ABBREVIATIONS

architect.

CONC CBK CPT FCB GWB HPL MTL PT RBF RWB RES TRS SF SL SS UNF WDB	Concrete Concrete Block Carpet Flash Cove Base Gypsum Wall Board High Pressure Laminate Metal Paint Rubber Floor Tile Rubber Wall Base Resilient Sheet Flooring Textured Rubber Sheet Flooring Sheet Safety Flooring Sealer Stainless Steel Unfinished Solid Wood Base

		21-03-16		90% Review
Rev -	Date	21-01-27	Description	Issued for 90% BP Coordination
plot date		21-03-16	drawing file	1907.3 A703 Finishes Schedule.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

- dHKa	dHK arcl	hitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Dul Nanaimo BC T 1•250•585•	V9T 2K8
project name		
Caledonia		
Victoria BC		
drawing title		
Finishes Sched	ule	
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APARTMENT 2 - COMMON AREA FINISHES

роом	DOOM NAME	FLC	OOR		NODTU			FACT	WA	LLS	COUTU		1	WEST		CEI	LING	DEMARKS
ROOM NO.	ROOM NAME	MAT	FIN	MAT	NORTH FIN	BASE	MAT	EAST FIN	BASE	MAT	SOUTH FIN	BASE	MAT	WEST FIN	BASE	MAT	FIN	REMARKS
	ENT 2 - COMMON AREAS																	
LEVEL 1	- COMMON AREAS																	
111	VESTIBULE	CONC	TL	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
112	JANITOR'S ROOM	CONC	SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Integral flash coved base. Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
113	LAUNDRY ROOM	CONC	SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Homogeneous sheet vinyl flooring with integral flash coved base.
114	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
115	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
	- AMENITY SPACE																	
116	AMENITY	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
								DT										late and fleels accord have Dividuinal shoot well anote stan Coo Coorifeetian 9 5/4054 9 4/4050
117	JANITOR'S ROOM	CONC	SF	GWB	PT	FCB	GWB	PI	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Integral flash coved base. Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
118	ACCESSIBLE W/R	CONC	RES	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Slip-resistant vinyl sheet flooring.
119	WASHROOM	CONC	RES	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Slip-resistant vinyl sheet flooring.
120	WASHROOM	CONC	RES	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Slip-resistant vinyl sheet flooring.
121	KITCHEN	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
LEVEL 2	- COMMON AREAS		<u> </u>						1						1			
211	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
212	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
213	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
		VVD	IVDI	GVVD	1 1	IVVD	GVVD	11	IVVD	GVVD	1 1	IVVD	GVVD	1 1	IVVD	GVVD	1 1	Tarkett Nubber Stall System treads, fisers, failurings and tactile warning strips. See Specifications.
	- COMMON AREAS			211/2			6.1.5						6.11/5					
313	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
314	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
315	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 4	- COMMON AREAS		<u> </u>									I						
413	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
414	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
415	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB		PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD	RBF	GWB	PT	RWB	GWB	DT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
		۷۷۷	ואטר	GVVD	ΓI	IVVD	GVVD	ΓI	IVVD	GVVD	ГІ	IVVD	GVVD	ГΙ	IVVD	GVVD	ГІ	rancti Nubber otali oystelli treaus, risers, lanulings and tactile warning strips. See Specifications.
	- COMMON AREAS	00::5		<u> </u>						0:::=			0:::=		5			
510	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
511	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
512	CORRIDOR	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.

TOWNHOUSE 1 -COMMON AREA FINISHES

		FLO	NO						VVA	LLO						CEII	INIC		
ROOM	ROOM NAME	FLO	OK		NORTH			EAST			SOUTH			WEST		CEILING		REMARKS	
NO.		MAT	FIN	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN		
TOWNHO	USE 1 - COMMON AREAS																		
LEVEL 1																			
114	TH 1 LOBBY	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT		
ST-05	STAIR #5	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.	

SHEET NOTES

- Refer to Detail Plans and Interior Elevations for room finish labels and specific finish locations.
- 2. See Specification for complete finish information.
- Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.
- Any substitutions shall be subject to approval by the architect.
- Materials listed herein are for design intent.
 Warranties are to be supplied by the manufacturer and installer.

ABBREVIATIONS

CONC Concrete
CBK Concrete Block
CPT Carpet
FCB Flash Cove Base
GWB Gypsum Wall Board
HPL High Pressure Laminate
MTL Metal
PT Paint
RBF Rubber Floor Tile
RWB Rubber Wall Base
RES Resilient Sheet Flooring
TRS Textured Rubber Sheet Flooring
SF Sheet Safety Flooring
SL Sealer
SS Stainless Steel
UNF Unfinished
WDB Solid Wood Base

			T
		21-03-16	90% Review
Rev -	Date	21-01-27	Description Issued for 90% BP Coordination
plot date	•	21-03-16	drawing file 1907.3 A703 Finishes Schedule.vwx
drawn by		NLC	checked by CRK
scale		1:50	project number 1907

NOTE: All dimensions are shown in millimeters.

VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367	dHKarc NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8
Caledonia Victoria BC		
Finishes Scheo	lule	
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UNIT FINISHES

		FLC)OP						WA	LLS						CEI	LING	
ROOM	ROOM NAME	"	JOK		NORTH			EAST			SOUTH			WEST			LING	REMARKS
		MAT	FIN	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	
UNITS																	_	
	GENERAL SPACES	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	Vinyl plank flooring.
	WASHROOMS (TYP.)	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	Slip-resistant vinyl sheet flooring.
	ACC. WASHROOMS	CONC	TL	GWB	PT	TL	GWB	PT	TL	GWB	PT	TL	GWB	PT	TL	GWB	PT	
	BEDROOMS	CONC	CPT	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	Low pile carpet in accessible units.

INTERIOR MATERIALS & FINISHES

REMARKS
I protector. See Specification & 5/A954 & 4/A956.
sen Krupp standard range.
n Krupp standard.
walk-off mat (type t.b.d.).
nnsonite Vinyl Stair System.
•
cessible units.
mm high.
e W2.
yssen Krupp standard range.
Imm high.
nnsonite Vinyl Stair System.
e W7.
omm high.
W9.
W9.

SHEET NOTES

- Refer to Detail Plans and Interior Elevations for room finish labels and specific finish locations.
- 2. See Specification for complete finish information.
- Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.
- Any substitutions shall be subject to approval by the architect.
- Materials listed herein are for design intent.
 Warranties are to be supplied by the manufacturer and installer.

ABBREVIATIONS

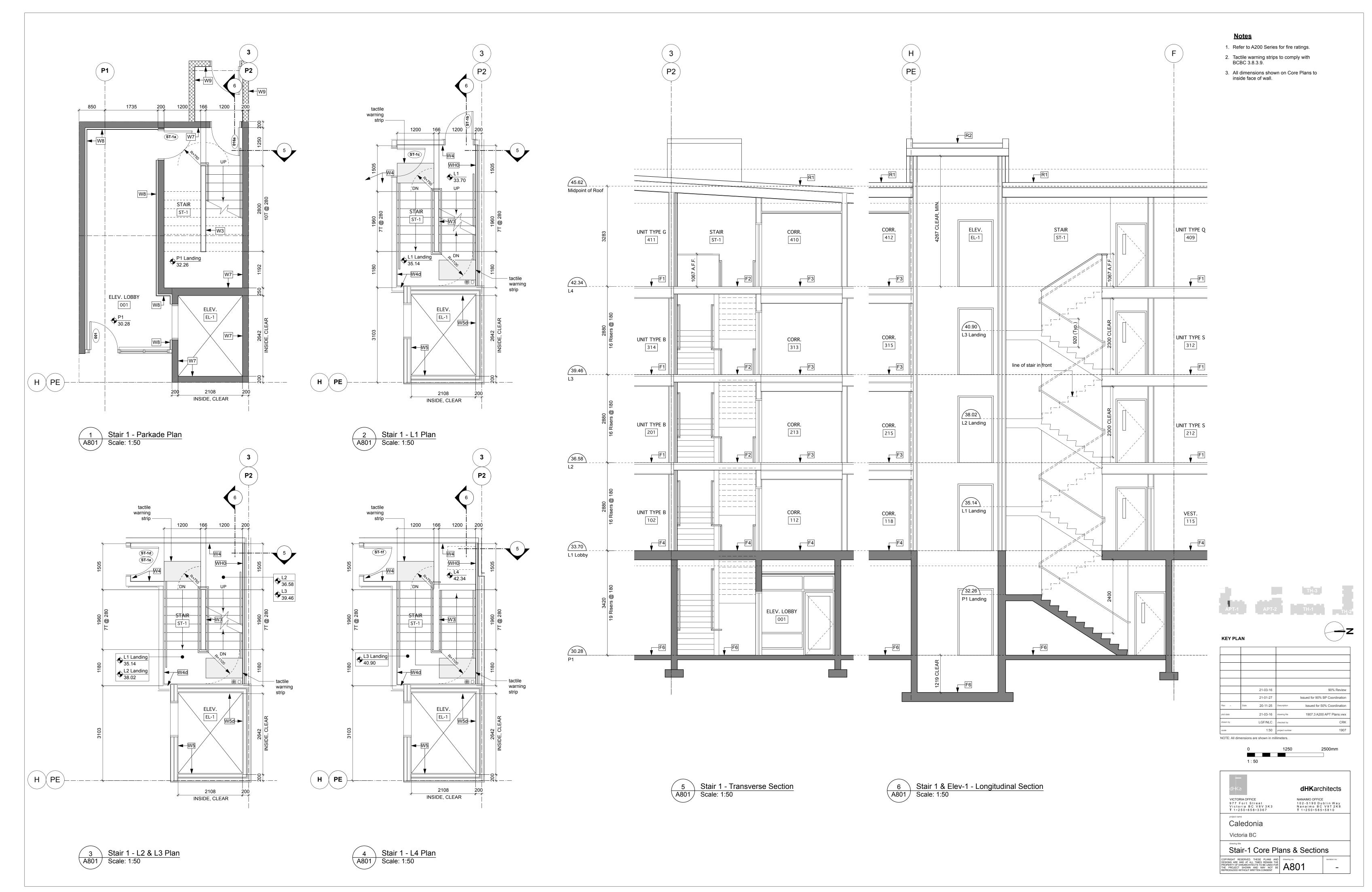
CONC CBK CPT FCB GWB HPL MTL PT RBF RWB RES TRS SF SL SS UNF WDB	Concrete Concrete Block Carpet Flash Cove Base Gypsum Wall Board High Pressure Laminate Metal Paint Rubber Floor Tile Rubber Wall Base Resilient Sheet Flooring Textured Rubber Sheet Flooring Sheet Safety Flooring Sealer Stainless Steel Unfinished Solid Wood Base

		21-03-16		90% Review
Rev -	Date	21-01-27	Description	Issued for 90% BP Coordination
plot date		21-03-16	drawing file	1907.3 A703 Finishes Schedule.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

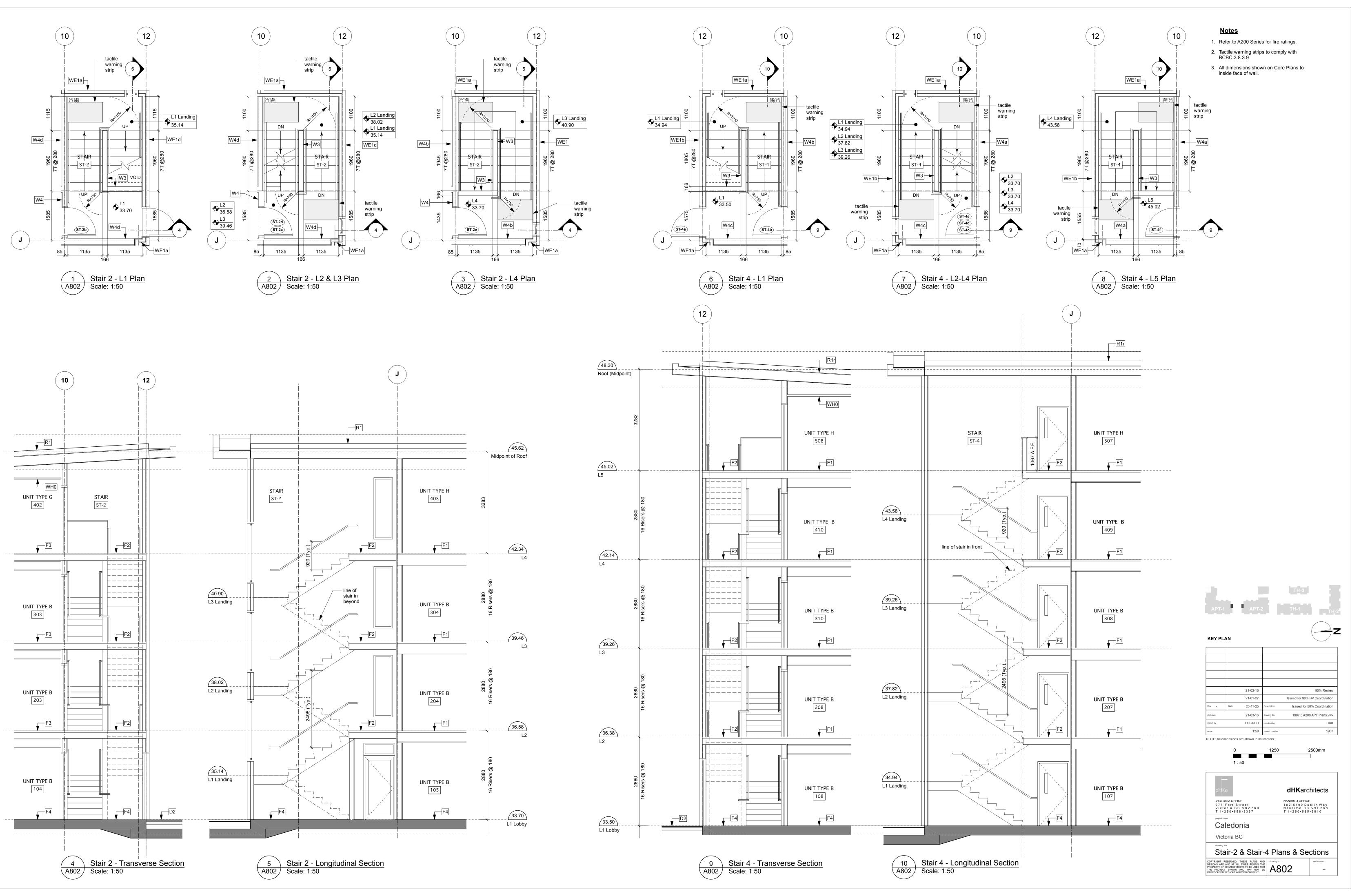
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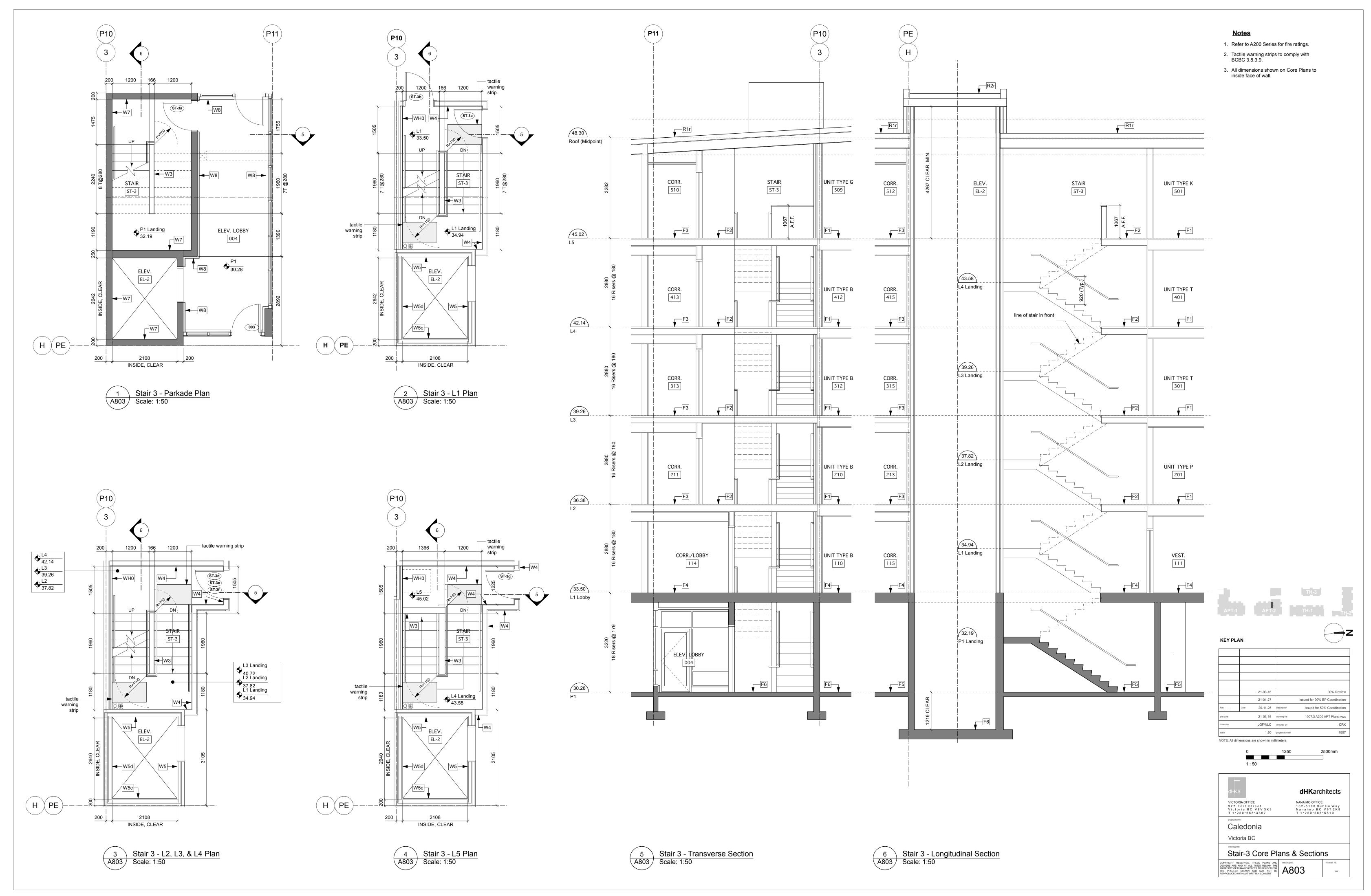
dHKa	dHK arcl	hitects			
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8			
Caledonia Victoria BC					
Finishes Schedule					
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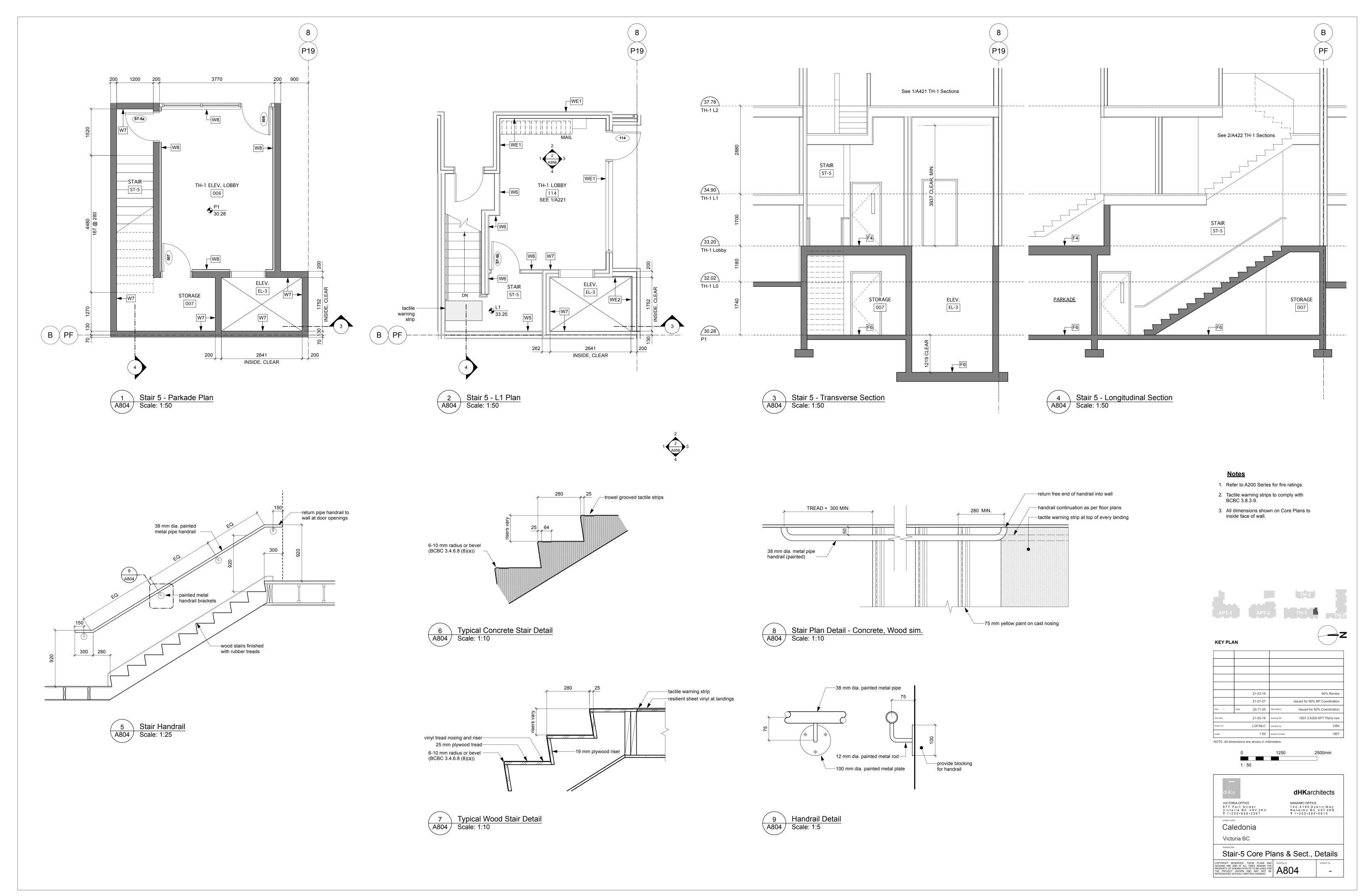
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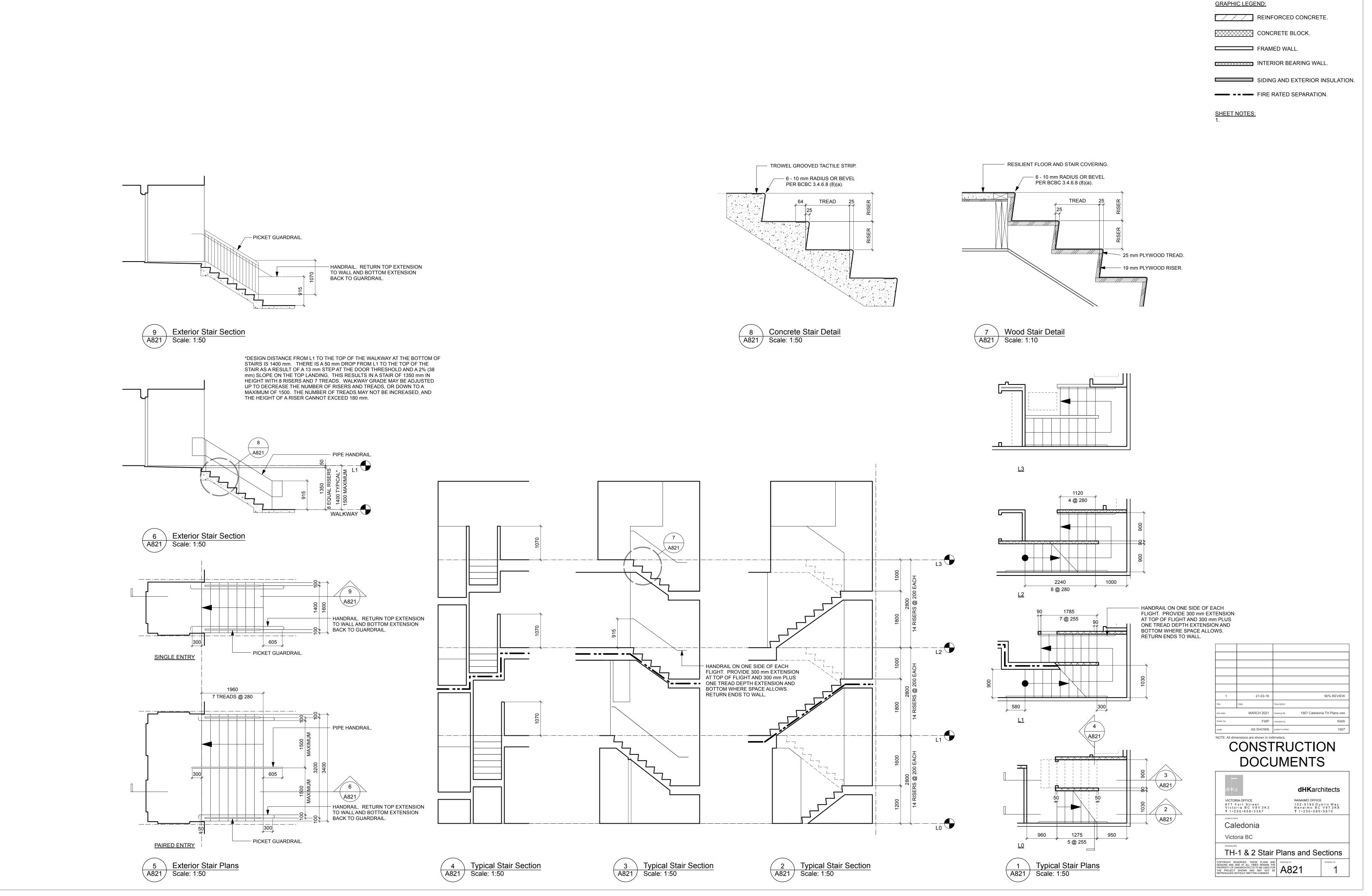


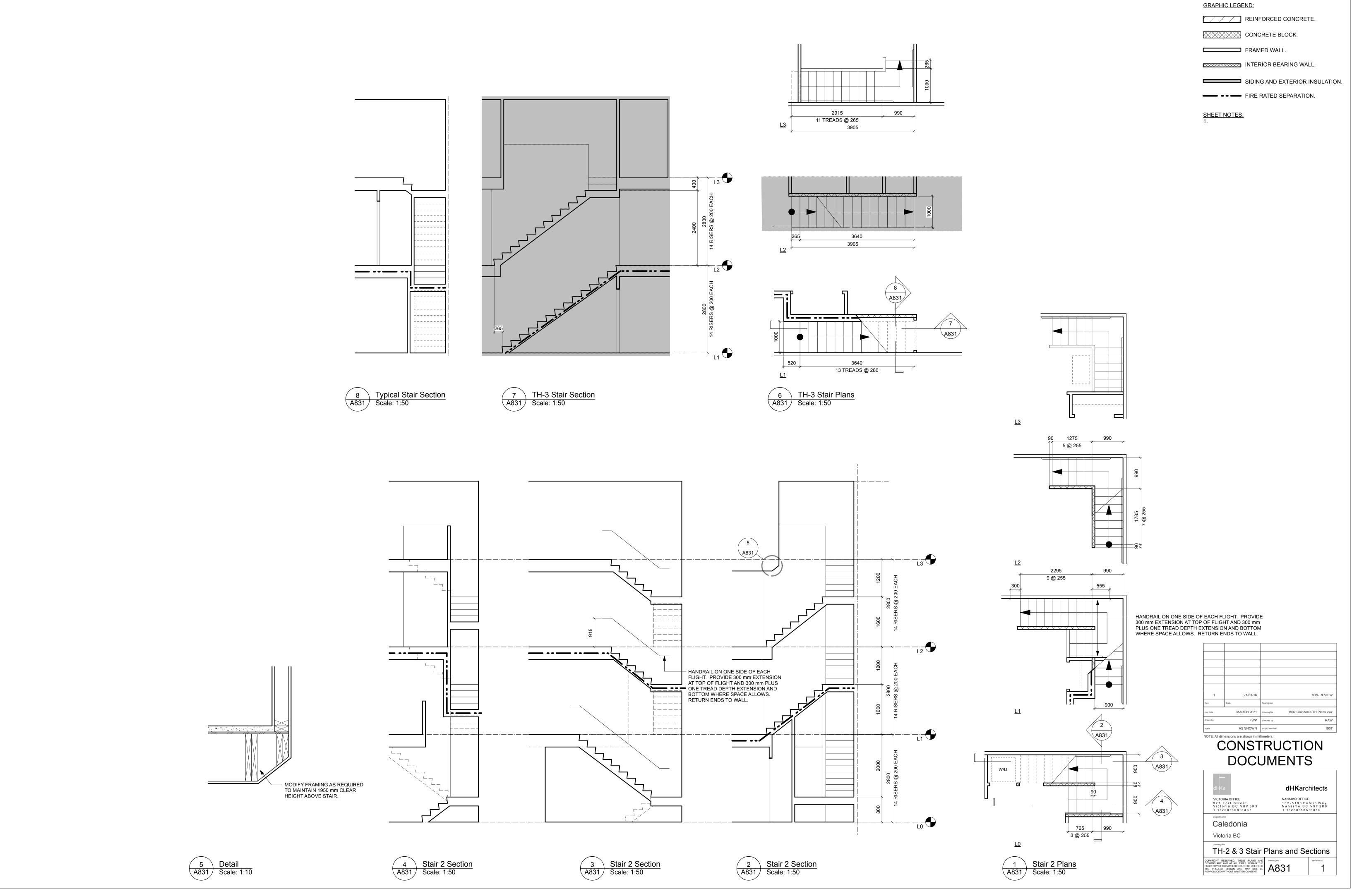


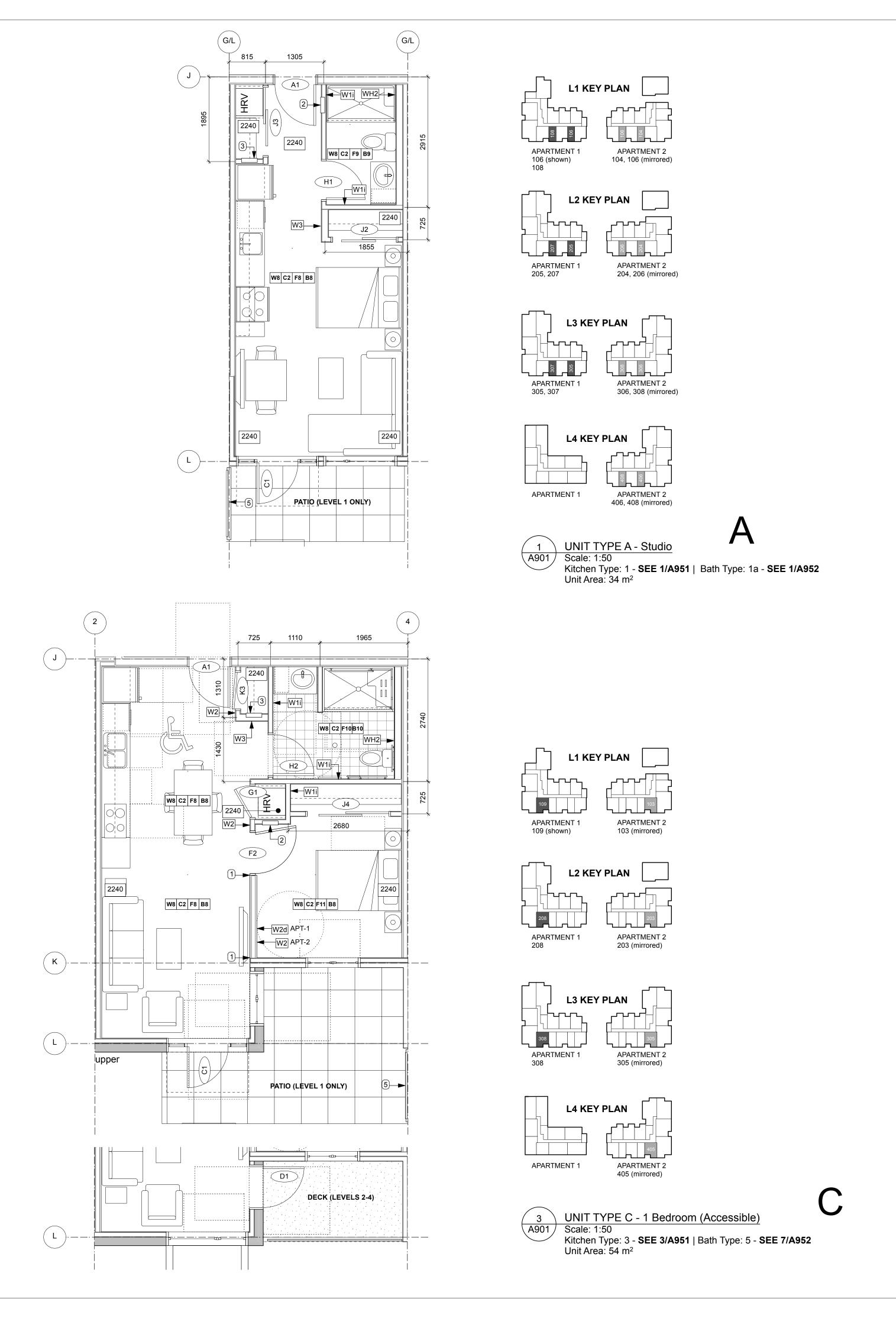


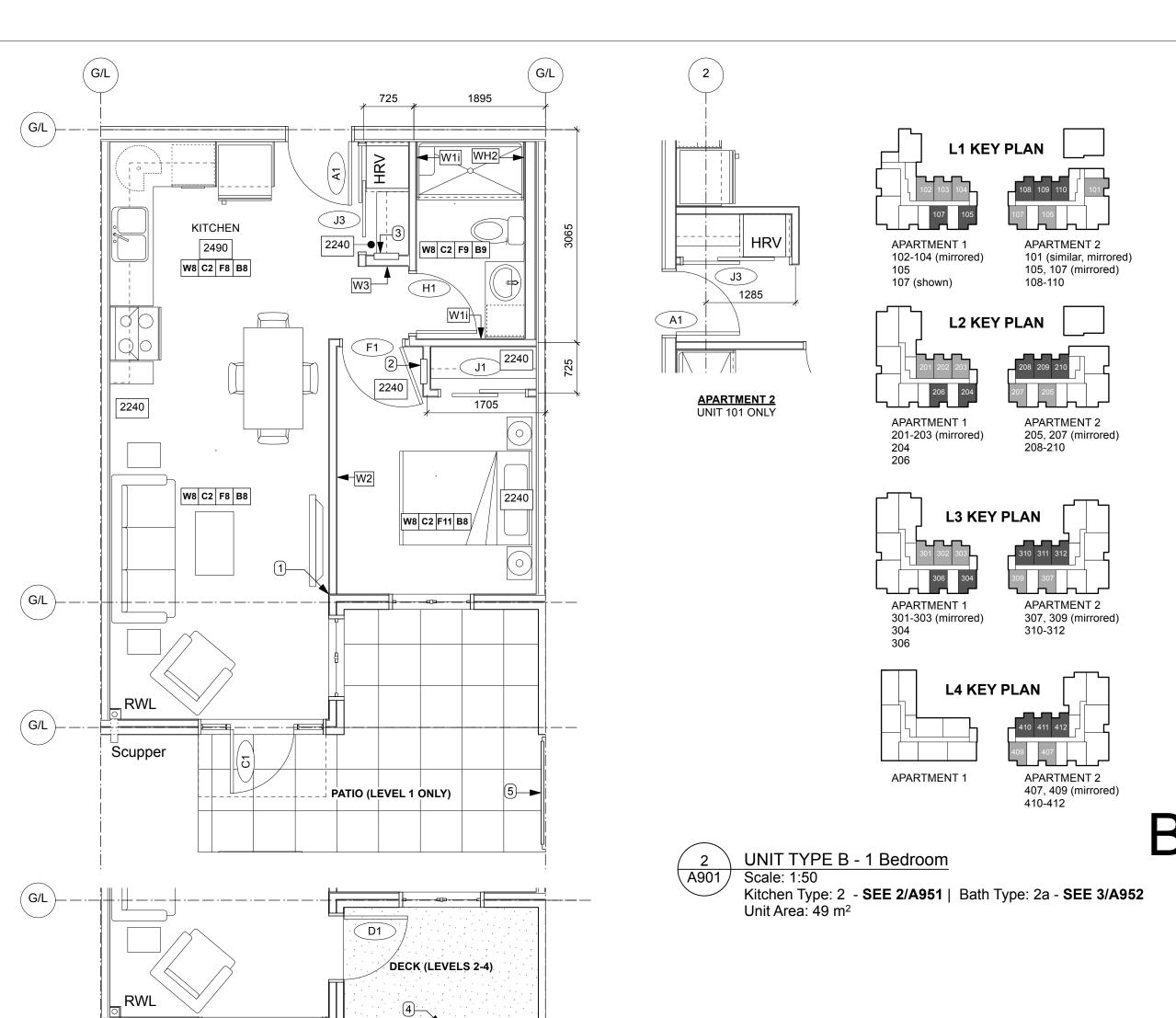


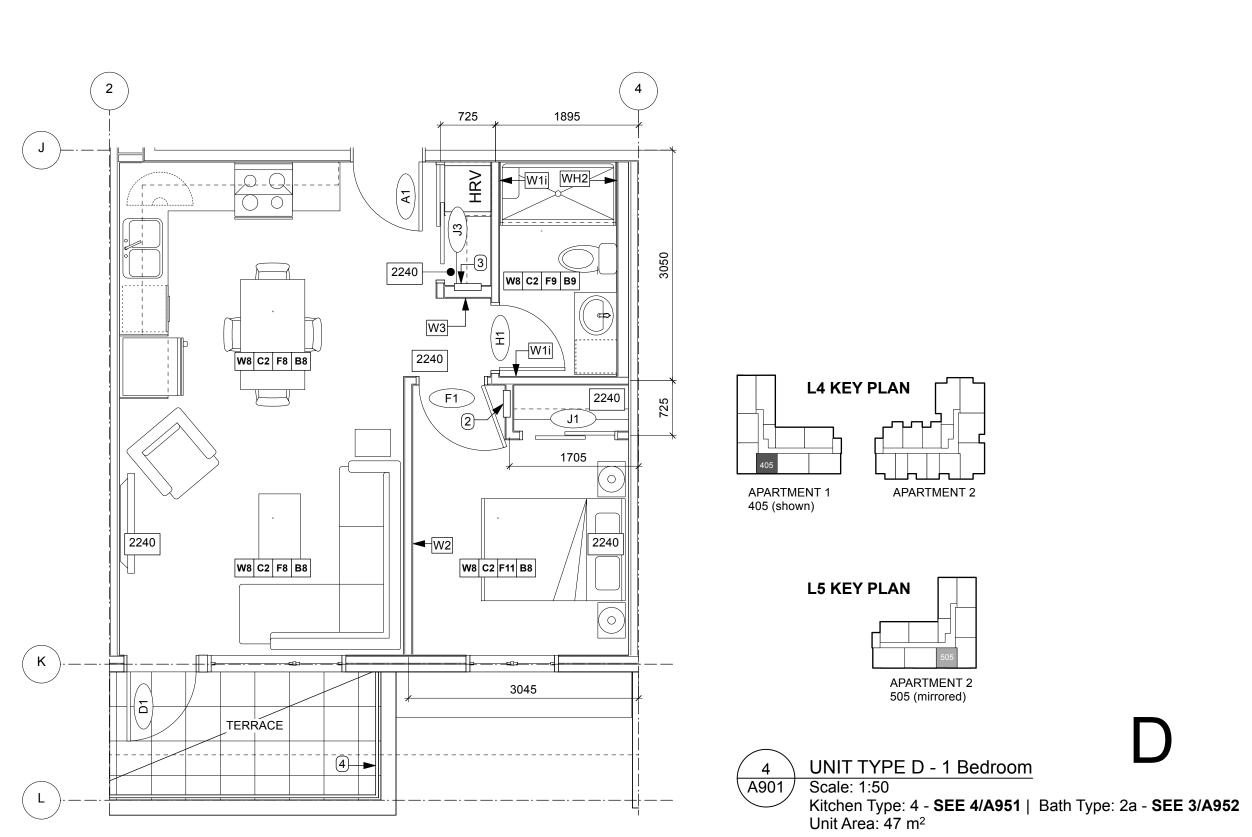














discrepancies.

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- Interior dimensions are from grid lines to centre of
- walls, unless noted otherwise.3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
 - 4. All interior suite partitions are type W1, unless noted
 - For exterior wall types & dimensions and party/corridor wall dimensions, refer to Floor Plans A201-A241.
- Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted otherwise.
- Water Resistant Gypsum Ceramic Tile Backerboard required in place of type "X" GWB at tub & shower
- surround.

 8. Provide appropriate blocking in walls for cabinetry
- Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on drawings.

and wall hung hardware.

- 10. See Specification and Details for terrace and deck
- assemblies.

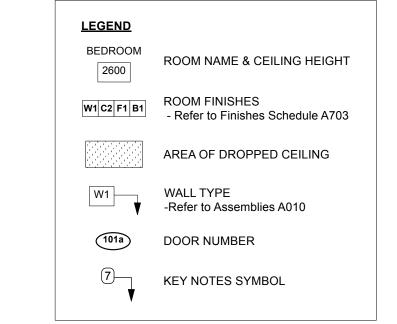
 11. See Architectural Schedules and Specification for all
- 12. Install neoprene isolator pads under all laundry

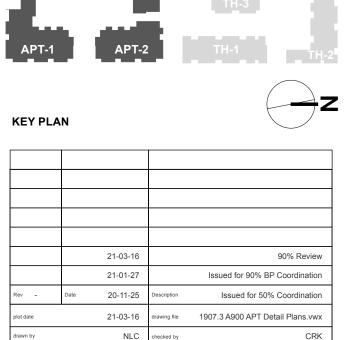
KEY NOTES - UNIT PLANS

- 1 Ensure flush gwb detail at this location.
- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail

finishes.

5 Privacy Screen

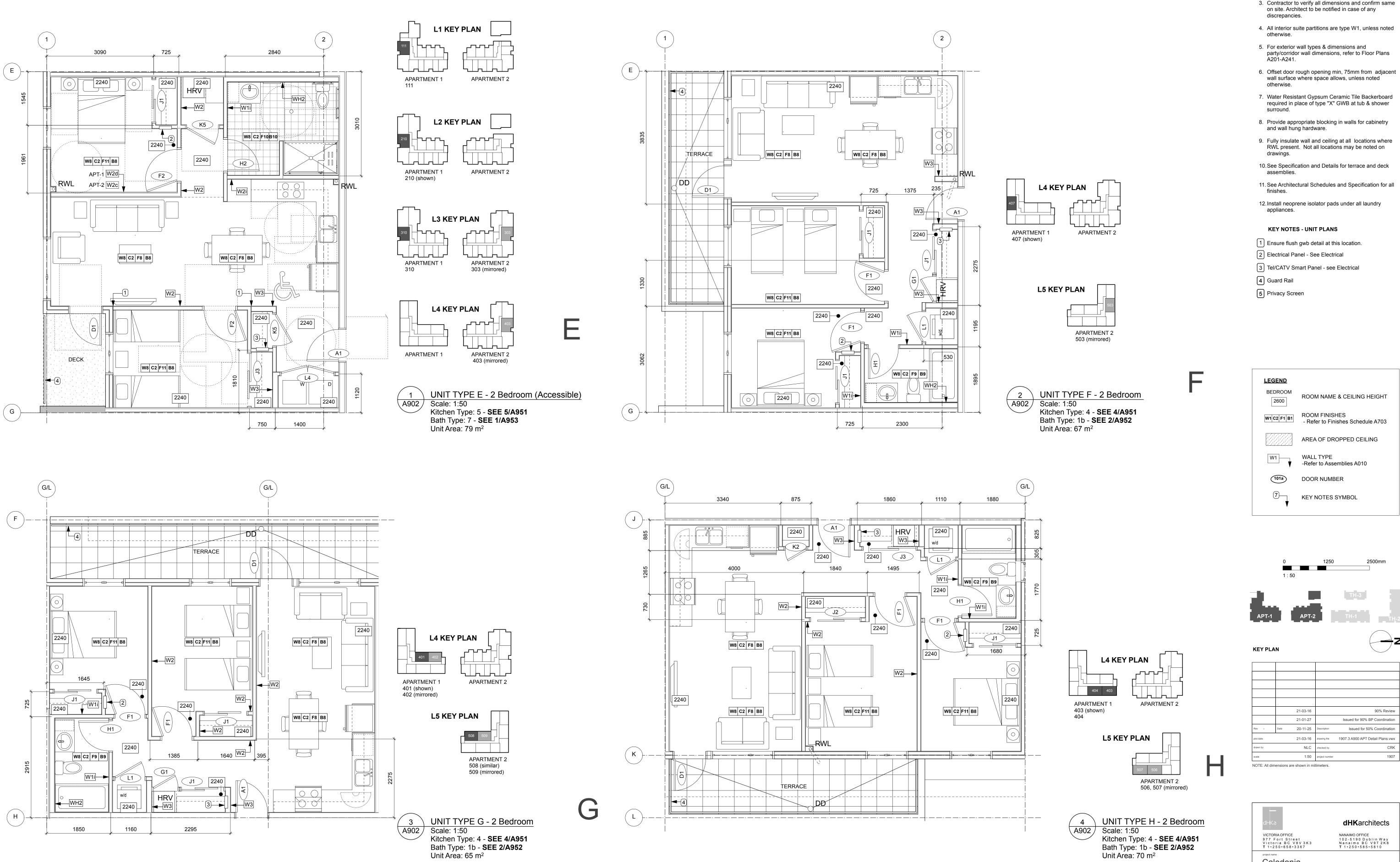




dHKa	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810
project name	
Caledonia	
Victoria BC	
APT Unit Plans	

1:50 project number

NOTE: All dimensions are shown in millimeters.



Bath Type: 1b - **SEE 2/A952** Unit Area: 65 m²

GENERAL NOTES - UNIT PLANS

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party/corridor wall dimensions, refer to Floor Plans A201-A241.

wall surface where space allows, unless noted

7. Water Resistant Gypsum Ceramic Tile Backerboard required in place of type "X" GWB at tub & shower

8. Provide appropriate blocking in walls for cabinetry

9. Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on

10. See Specification and Details for terrace and deck

11. See Architectural Schedules and Specification for all

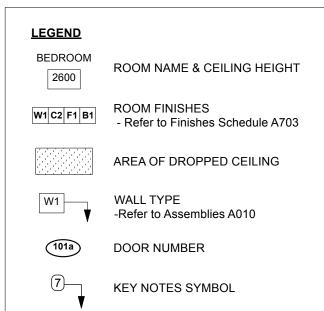
12. Install neoprene isolator pads under all laundry

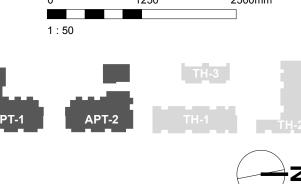
KEY NOTES - UNIT PLANS

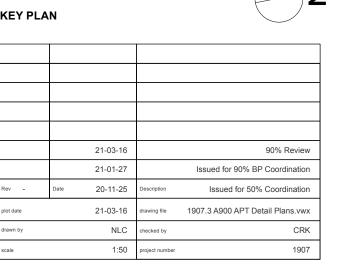
1 Ensure flush gwb detail at this location.

2 Electrical Panel - See Electrical

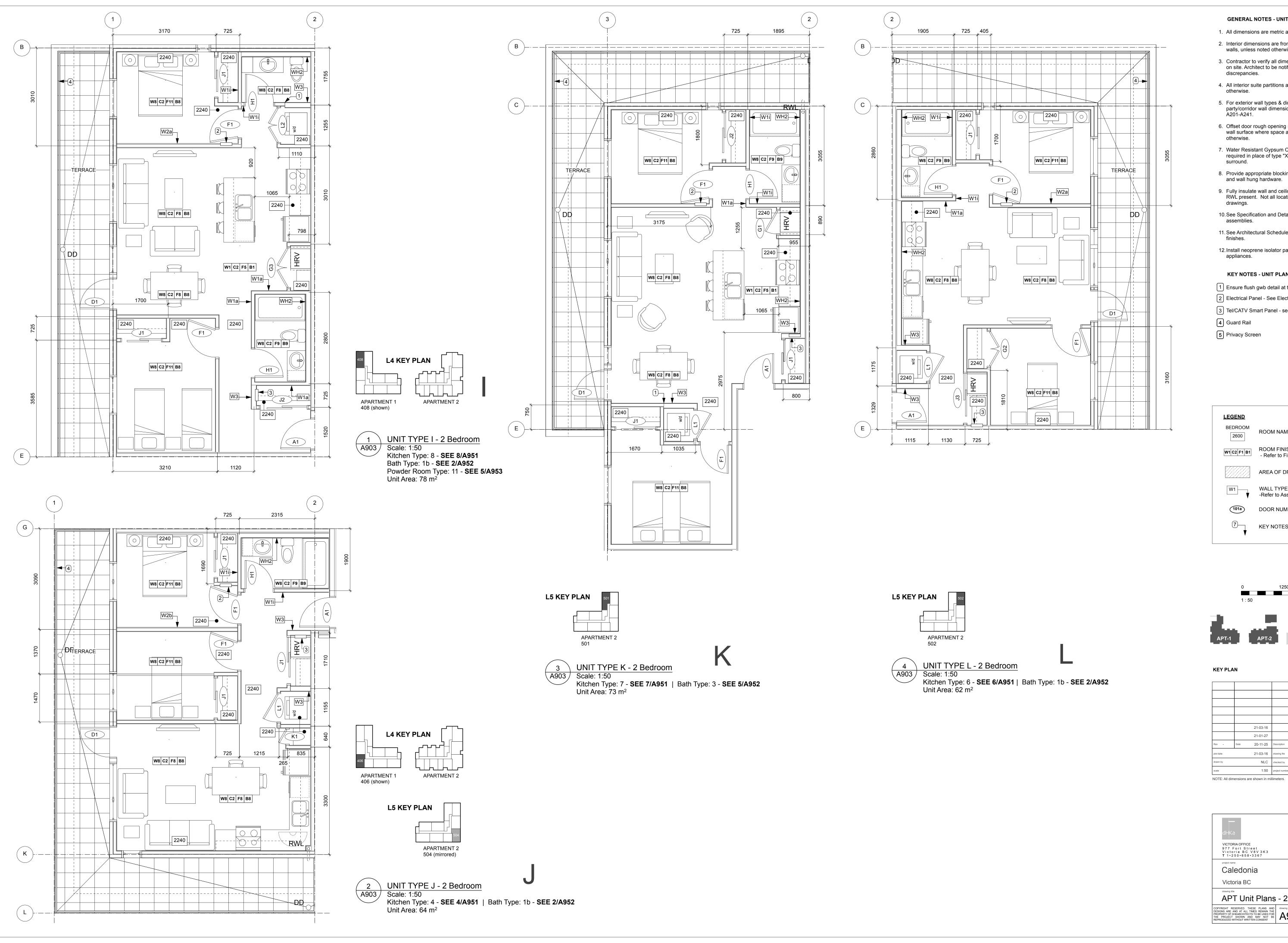
3 Tel/CATV Smart Panel - see Electrical











GENERAL NOTES - UNIT PLANS

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discrepancies. 4. All interior suite partitions are type W1, unless noted

5. For exterior wall types & dimensions and party/corridor wall dimensions, refer to Floor Plans A201-A241.

Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted otherwise.

7. Water Resistant Gypsum Ceramic Tile Backerboard required in place of type "X" GWB at tub & shower

Provide appropriate blocking in walls for cabinetry and wall hung hardware.

Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on

10. See Specification and Details for terrace and deck assemblies.

11. See Architectural Schedules and Specification for all finishes.

12. Install neoprene isolator pads under all laundry

KEY NOTES - UNIT PLANS

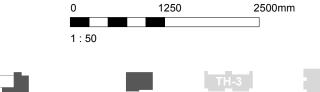
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2 Electrical Panel - See Electrical

3 Tel/CATV Smart Panel - see Electrical

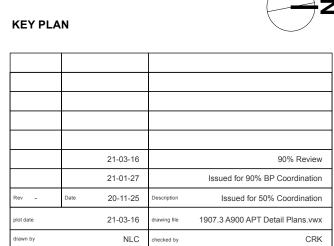
5 Privacy Screen

LEGEND BEDROOM ROOM NAME & CEILING HEIGHT W1 C2 F1 B1 ROOM FINISHES - Refer to Finishes Schedule A703 AREA OF DROPPED CEILING WALL TYPE -Refer to Assemblies A010 DOOR NUMBER



KEY NOTES SYMBOL

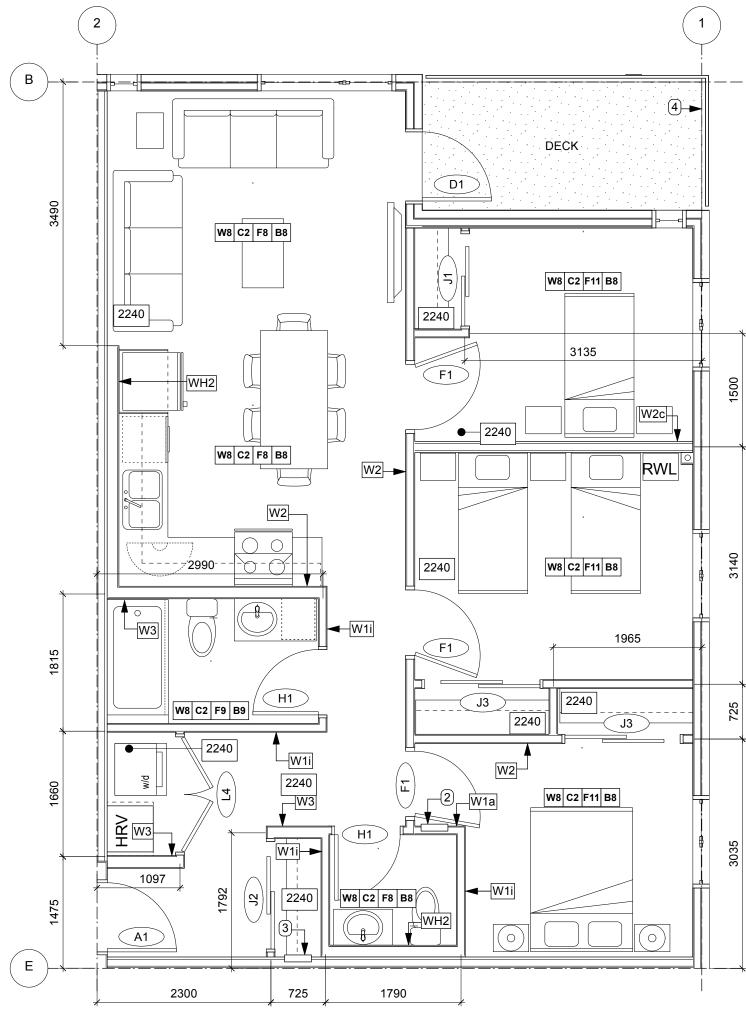


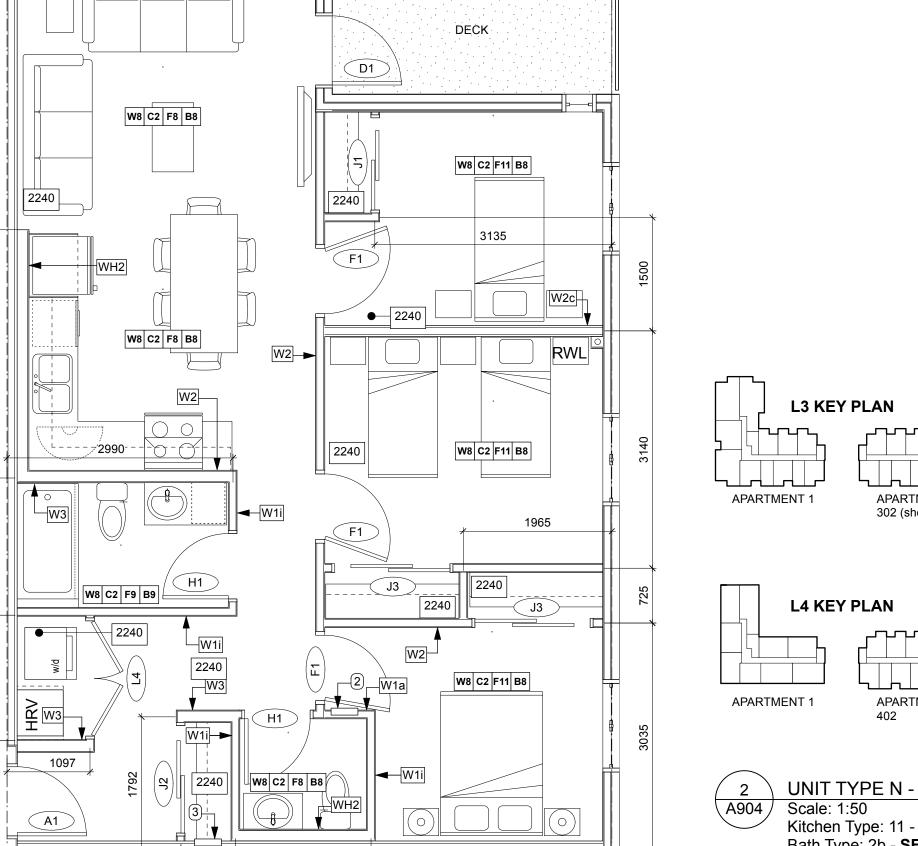


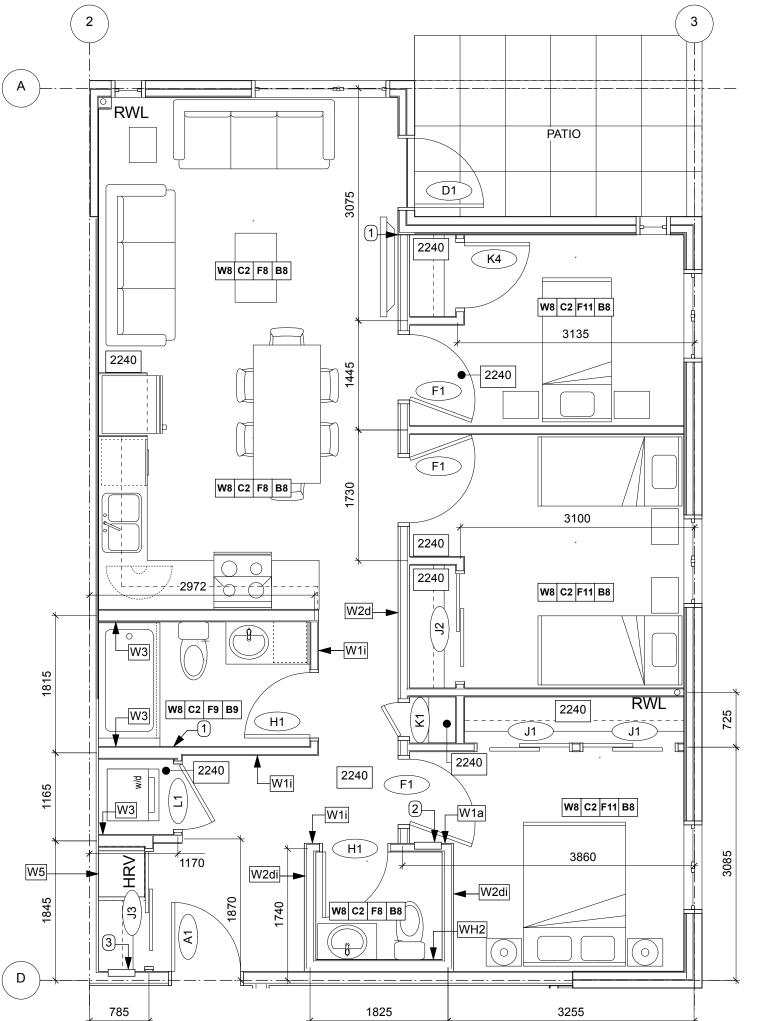
1:50 project number

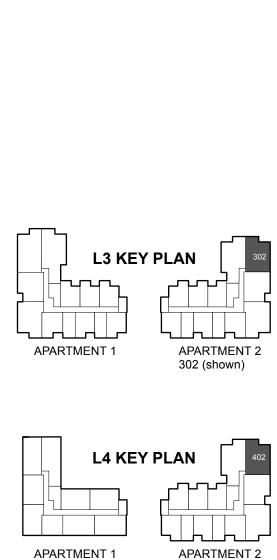
dHKa	dHK arc	hitects
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Victoria BC		
APT Unit Plans	- 2 Bed	
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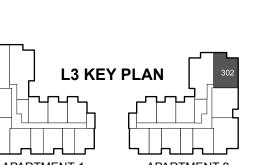


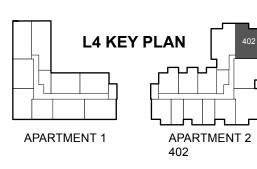






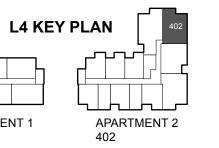






UNIT TYPE N - 3 Bedroom Kitchen Type: 11 - **SEE 11/A951** Bath Type: 2b - **SEE 4/A952**

Unit Area: 87 m²



Powder Room Type: 9 - SEE 3/A953

LEGEND BEDROOM ROOM NAME & CEILING HEIGHT ROOM FINISHES W1 C2 F1 B1 - Refer to Finishes Schedule A703 AREA OF DROPPED CEILING W1 WALL TYPE -Refer to Assemblies A010 101a DOOR NUMBER

GENERAL NOTES - UNIT PLANS

walls, unless noted otherwise.

discrepancies.

otherwise.

drawings.

assemblies.

finishes.

4 Guard Rail

5 Privacy Screen

1. All dimensions are metric and shown in millimeters.

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party/corridor wall dimensions, refer to Floor Plans A201-A241.

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9. Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on

10. See Specification and Details for terrace and deck

11. See Architectural Schedules and Specification for all

12. Install neoprene isolator pads under all laundry

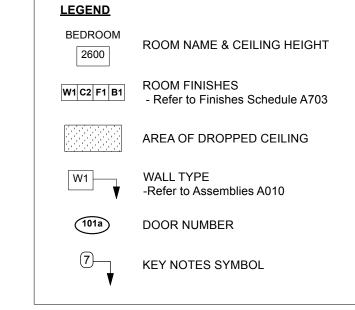
KEY NOTES - UNIT PLANS

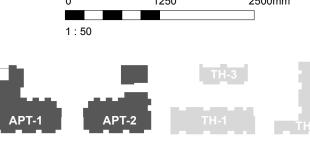
2 Electrical Panel - See Electrical

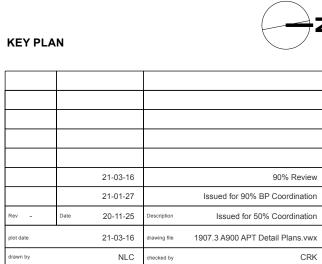
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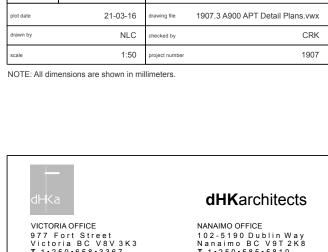
3 Tel/CATV Smart Panel - see Electrical

5. For exterior wall types & dimensions and

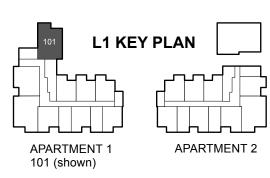




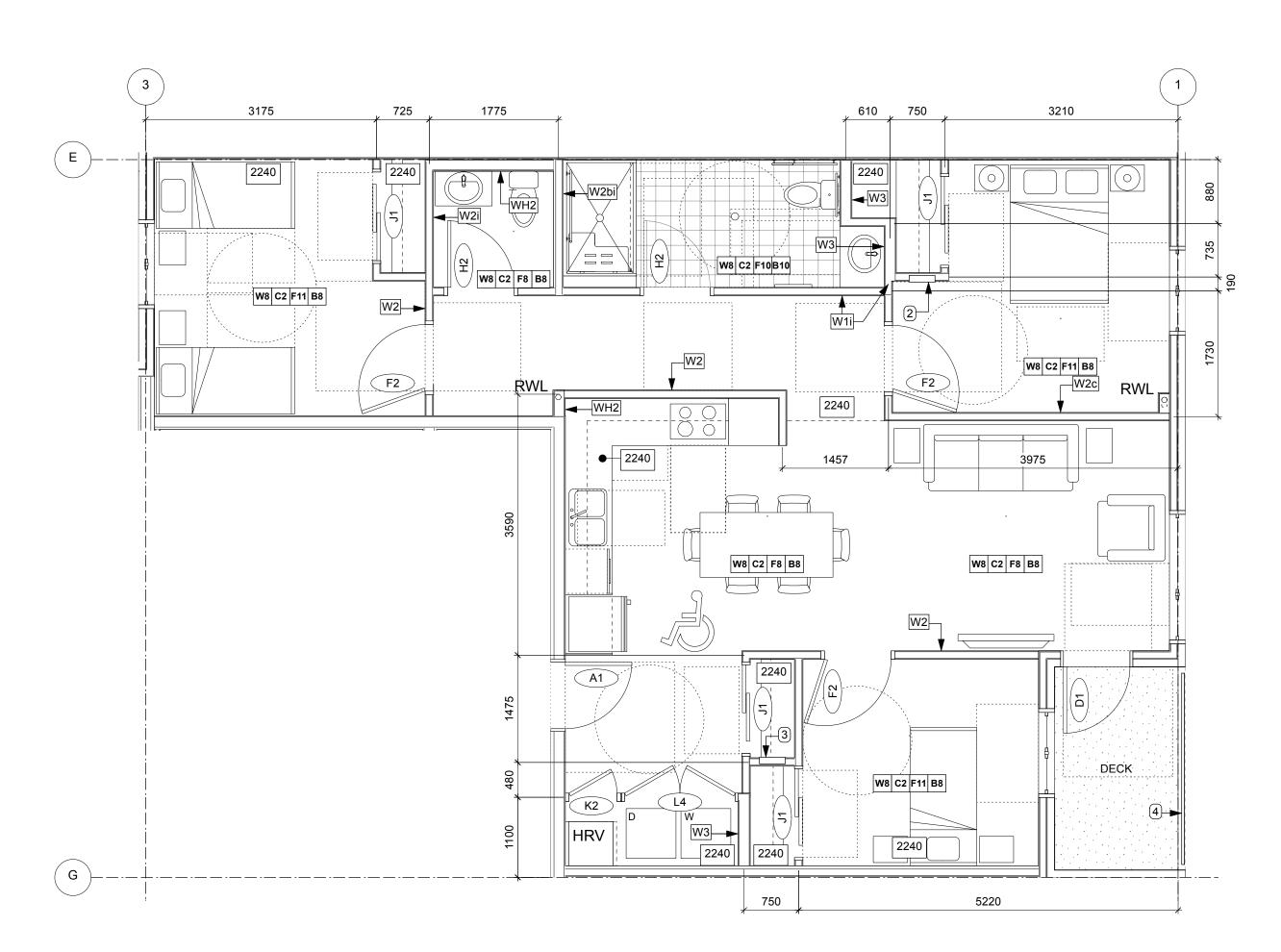




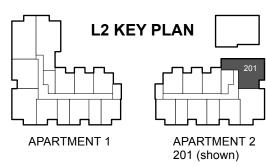
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Caledonia		
Victoria BC		
APT Unit Plans	- 3 Bed	
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UNIT TYPE O - 3 Bedroom A904 Scale: 1:50 Kitchen Type: 4 - **SEE 4/A951**Bath Type: 2b - **SEE 4/A952** Powder Room Type: 9 - **SEE 3/A953** Unit Area: 88 m²

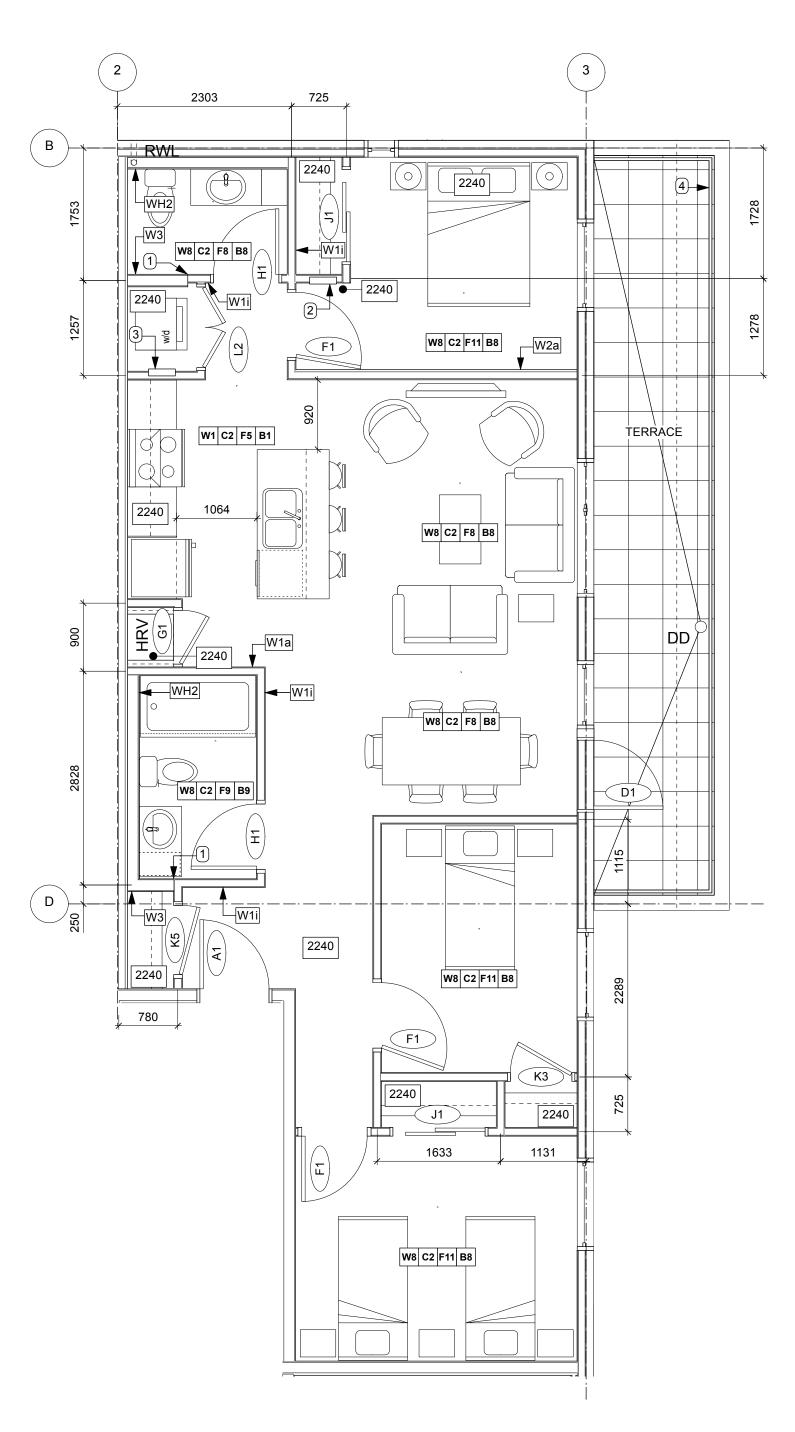


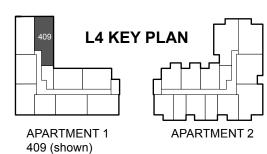
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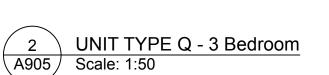


1 UNIT TYPE P - 3 Bedroom (Accessible)

Scale: 1:50
Kitchen Type: 10 - SEE 10/A951
Bath Type: 8 - SEE 1/A953 | Powder Room Type: 9 - SEE 3/A953
Unit Area: 106 m²







Kitchen Type: 8 - SEE 8/A951

Bath Type: 1b - SEE 2/A952 | Powder Room Type: 11 - SEE 5/A953

Unit Area: 89 m²

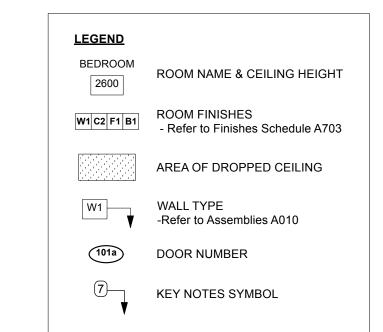
GENERAL NOTES - UNIT PLANS

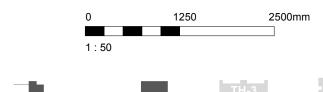
discrepancies.

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- 10. See Specification and Details for terrace and deck assemblies.
- See Architectural Schedules and Specification for all finishes.
- Install neoprene isolator pads under all laundry appliances.

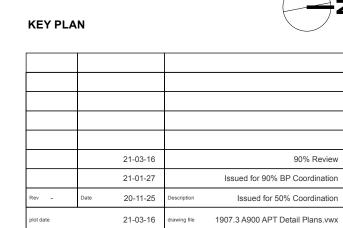
KEY NOTES - UNIT PLANS

- 1 Ensure flush gwb detail at this location.
- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail
- 5 Privacy Screen







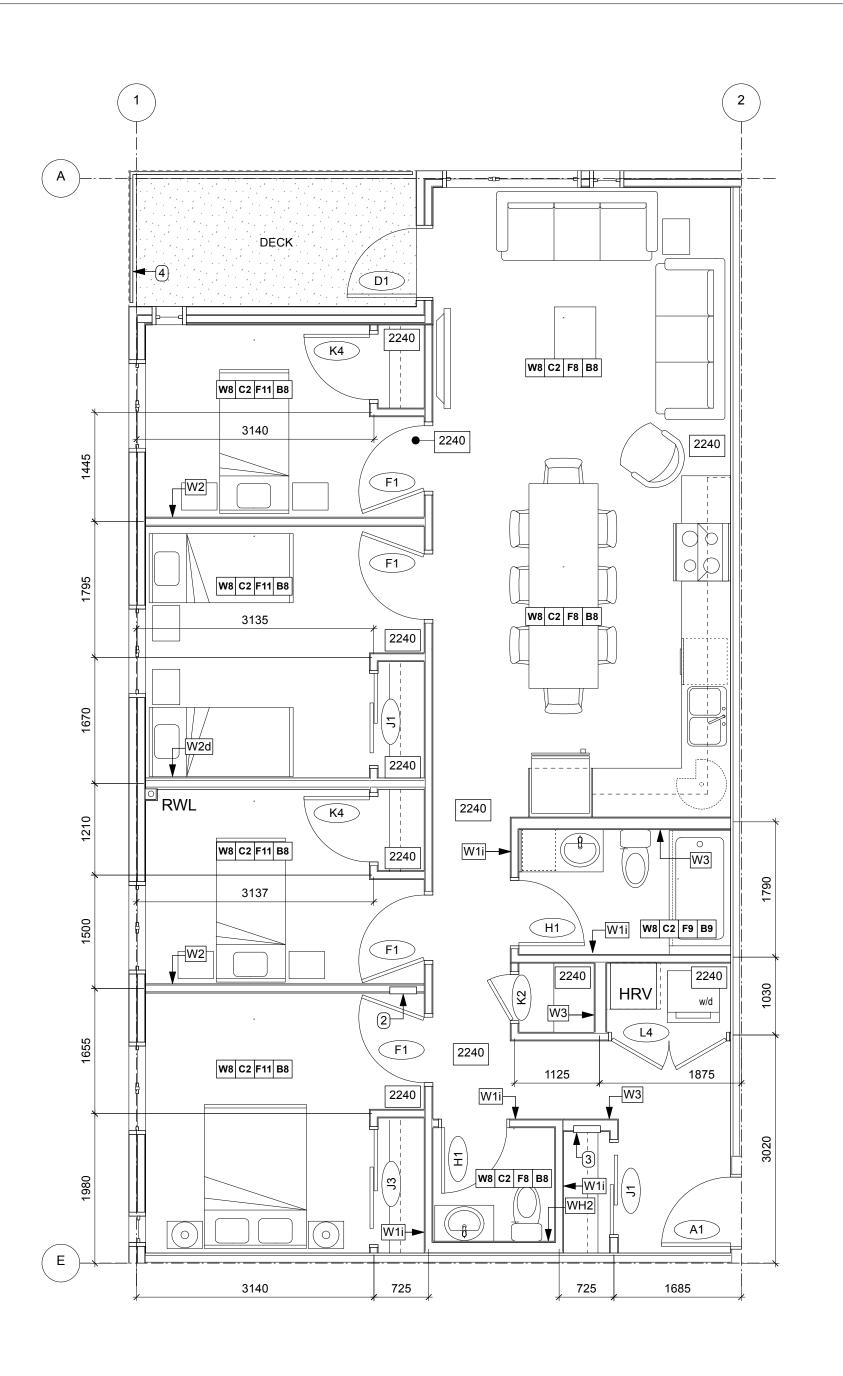


NLC checked by

scale 1:50 project number

NOTE: All dimensions are shown in millimeters.

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L2 KEY PLAN

APARTMENT 2

APARTMENT 2

UNIT TYPE R - 4 Bedroom

Bath Type: 2b - SEE 4/A952 | Powder Room Type: 9 - SEE 3/A953

APARTMENT 1

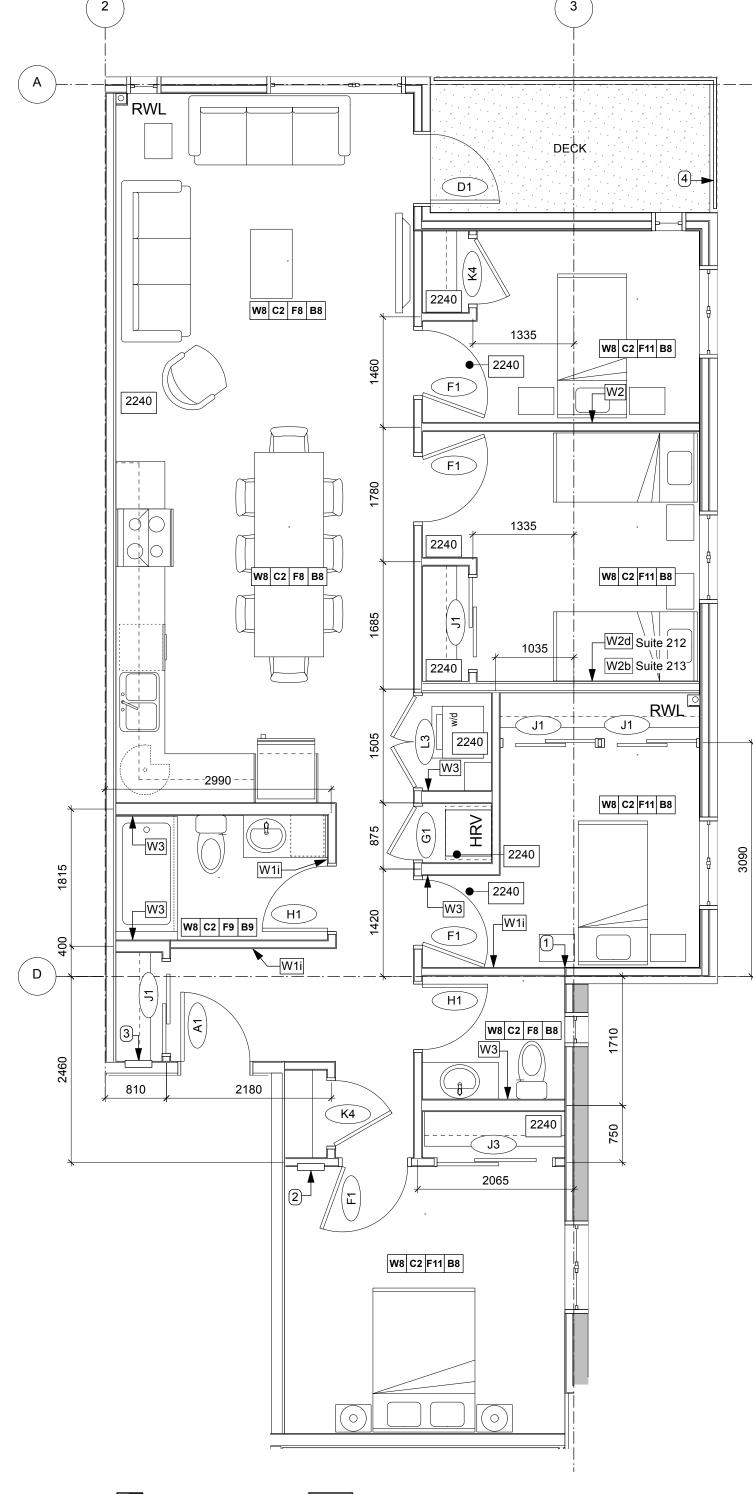
APARTMENT 1

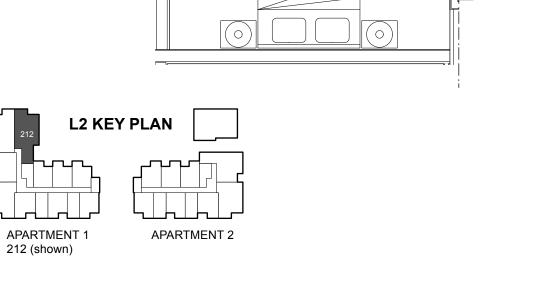
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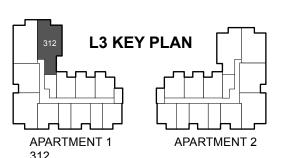
Kitchen Type: 9

Unit Area: 108 m²

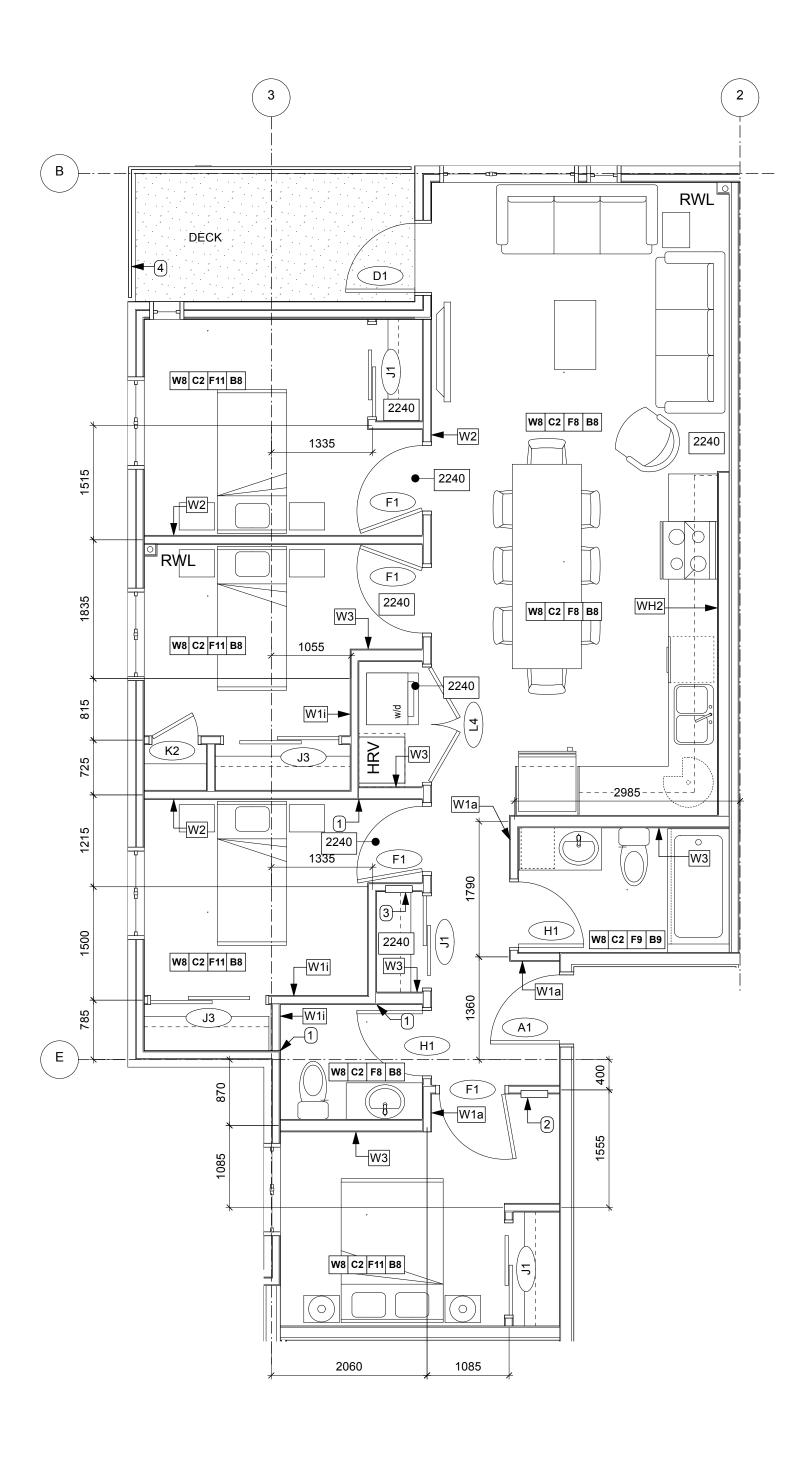
211 (shown)

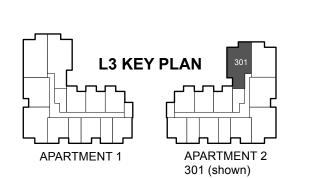


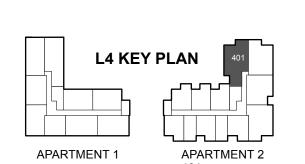














GENERAL NOTES - UNIT PLANS

discrepancies.

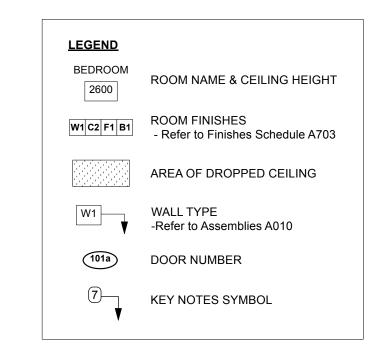
otherwise.

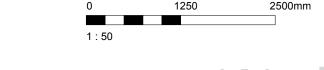
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KEY NOTES - UNIT PLANS

and wall hung hardware.

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- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail
- 5 Privacy Screen





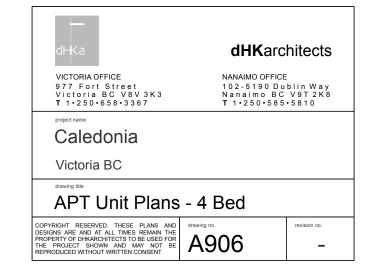




KEY PLAN

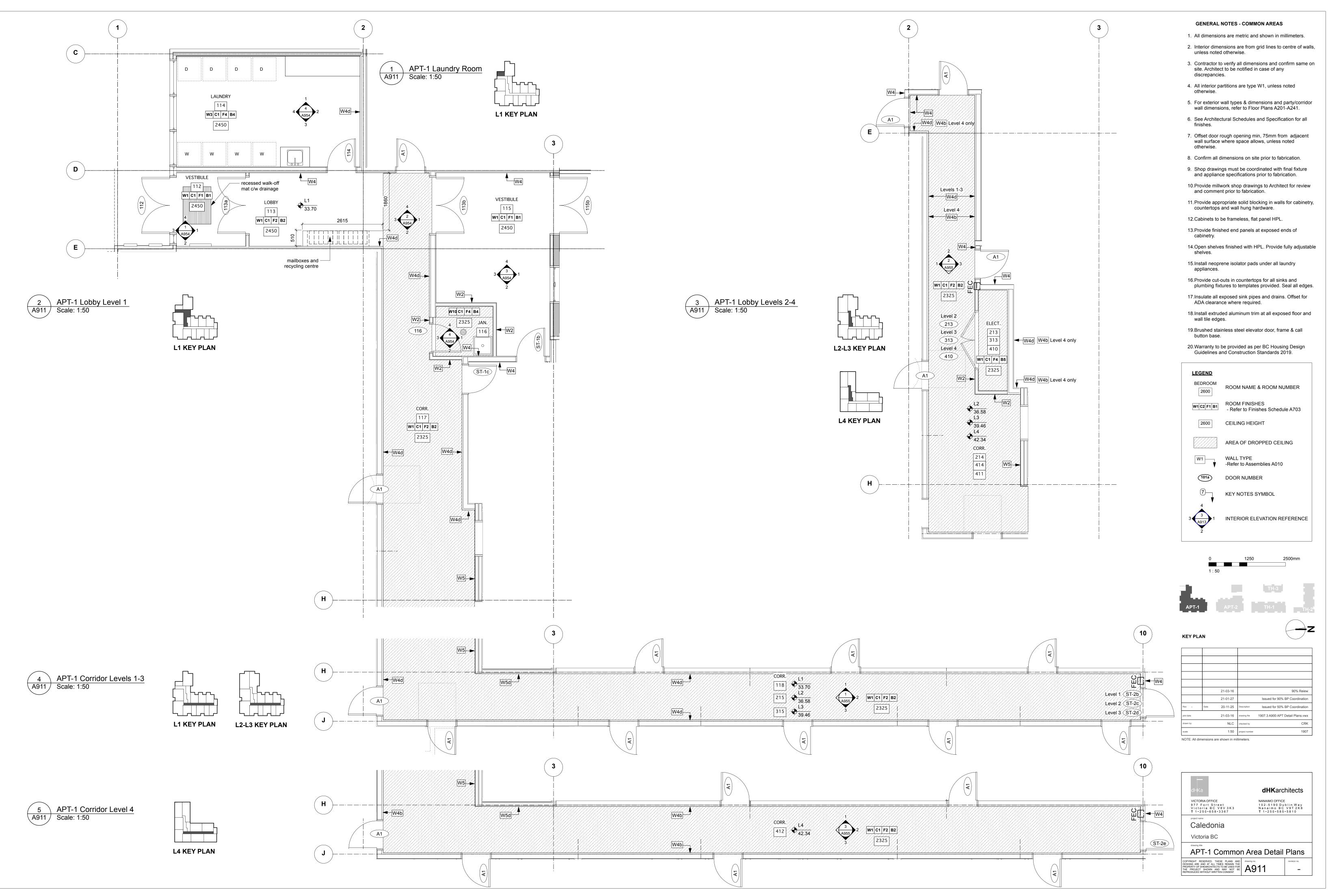
90% Review		21-03-16		
Issued for 90% BP Coordination		21-01-27		
lssued for 50% Coordination	Description	20-11-25	Date	Rev -
file 1907.3 A900 APT Detail Plans.vwx	drawing file	21-03-16		olot date
d by CRK	checked by	NLC		Irawn by
number 1907	project number	1:50		cale

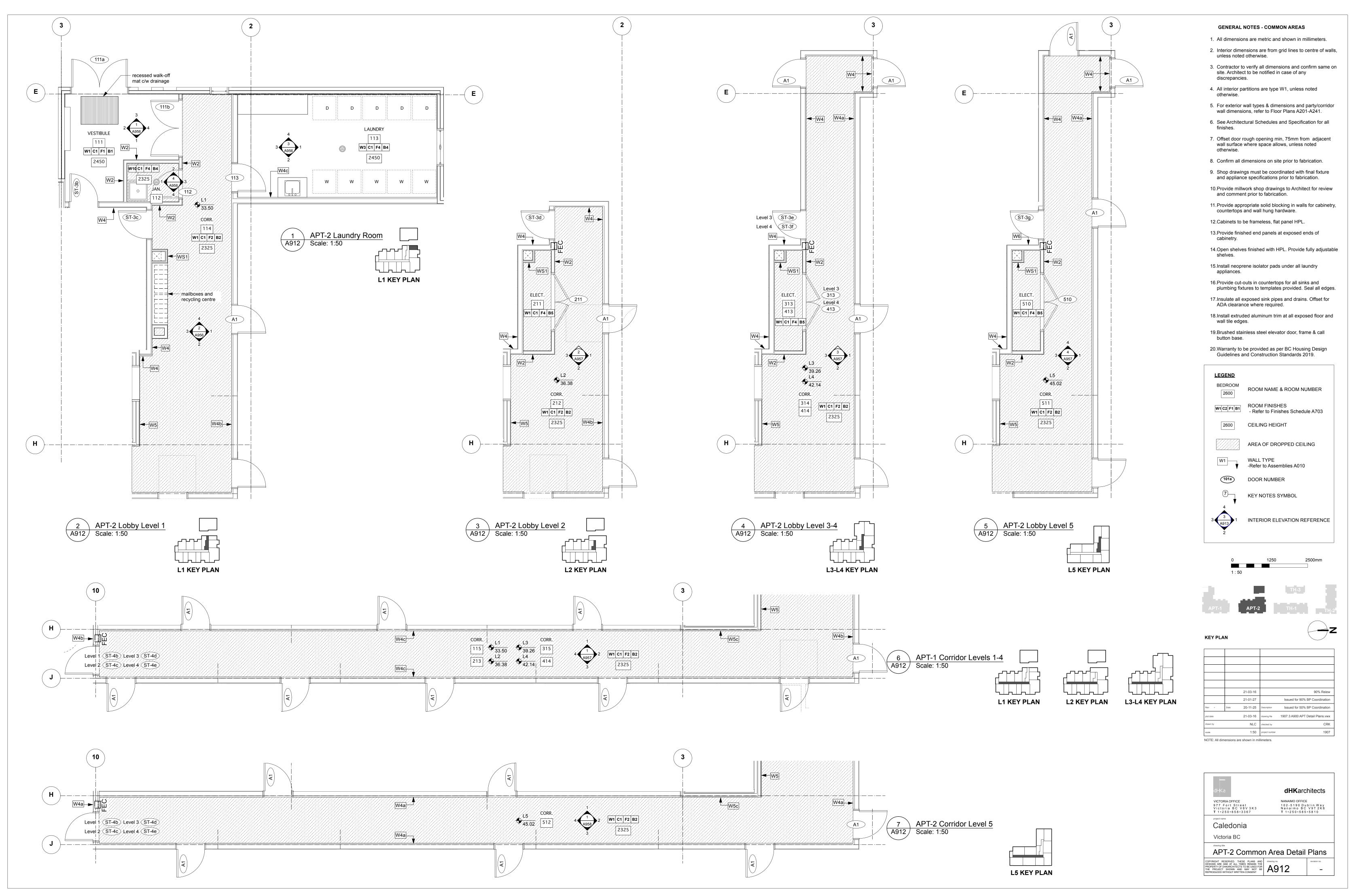
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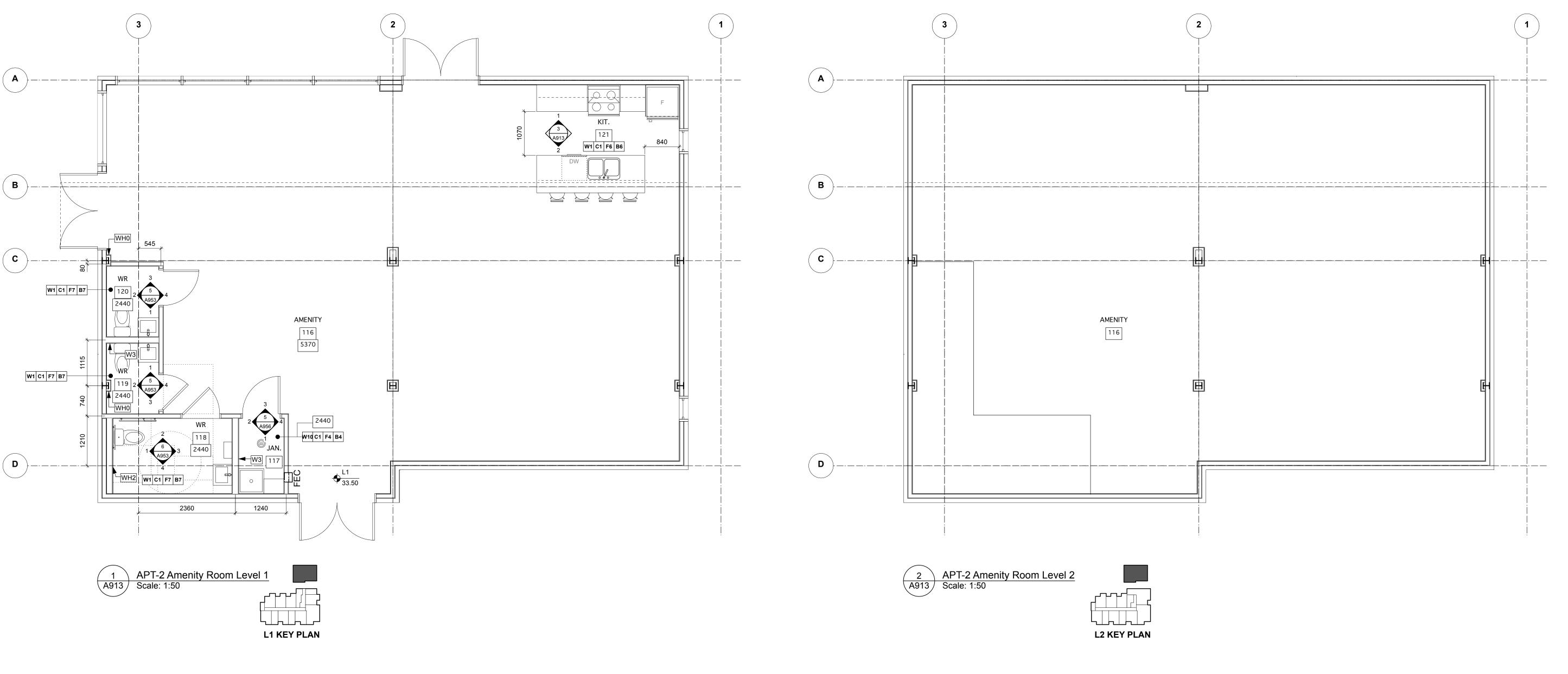


154









APT-2 Amenity Room Level 1
A913 Scale: 1:50

KITCHEN KEY NOTES

- 3 Scribe moulding to underside of bulkhead.
- Microwave shelf with outlet to accommodate 457mm wide microwave (not included).
- 16mm wide gable panel at fridge, island & at dishwasher (where required).
- 6 HPL countertop, 38mm overhang. No cove. Refer to Specification.
- 8 Base blind corner cabinet with 2 swing-out trays.
- Mount light and fan controls for range hood on front of counter.
- 12 Wall blind corner cabinet.
- 305mm eating bar countertop overhang at kitchen island. Locate HPL or solid wood support brackets

- 1 GWB bulkhead for range hood/mechanical ventilation. 2 610mm deep cabinet above fridge c/w 25mm filler each side.

- 7 Base corner cabinet Lazy Susan with 2 trays.
- ADA compliant pull out work surface.
- Outlet provided at this location for countertop microwave.
- where required.



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- 4. All interior partitions are type W1, unless noted

site. Architect to be notified in case of any

5. For exterior wall types & dimensions and party/corridor

discrepancies.

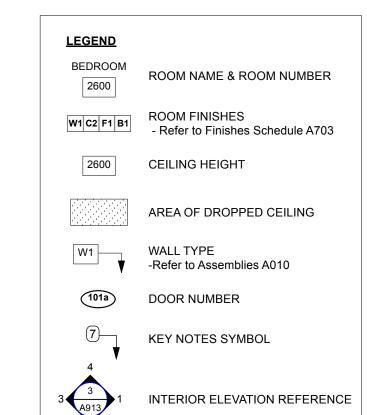
otherwise.

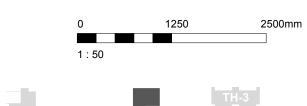
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- 10.Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 12. Cabinets to be frameless, flat panel HPL.
- 13. Provide finished end panels at exposed ends of cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable shelves.
- 15.Install neoprene isolator pads under all laundry
- appliances. 16.Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all edges. 17.Insulate all exposed sink pipes and drains. Offset for
- ADA clearance where required.
- wall tile edges.

18.Install extruded aluminum trim at all exposed floor and

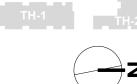
- 19.Brushed stainless steel elevator door, frame & call button base.
- 20. Warranty to be provided as per BC Housing Design

Guidelines and Construction Standards 2019.





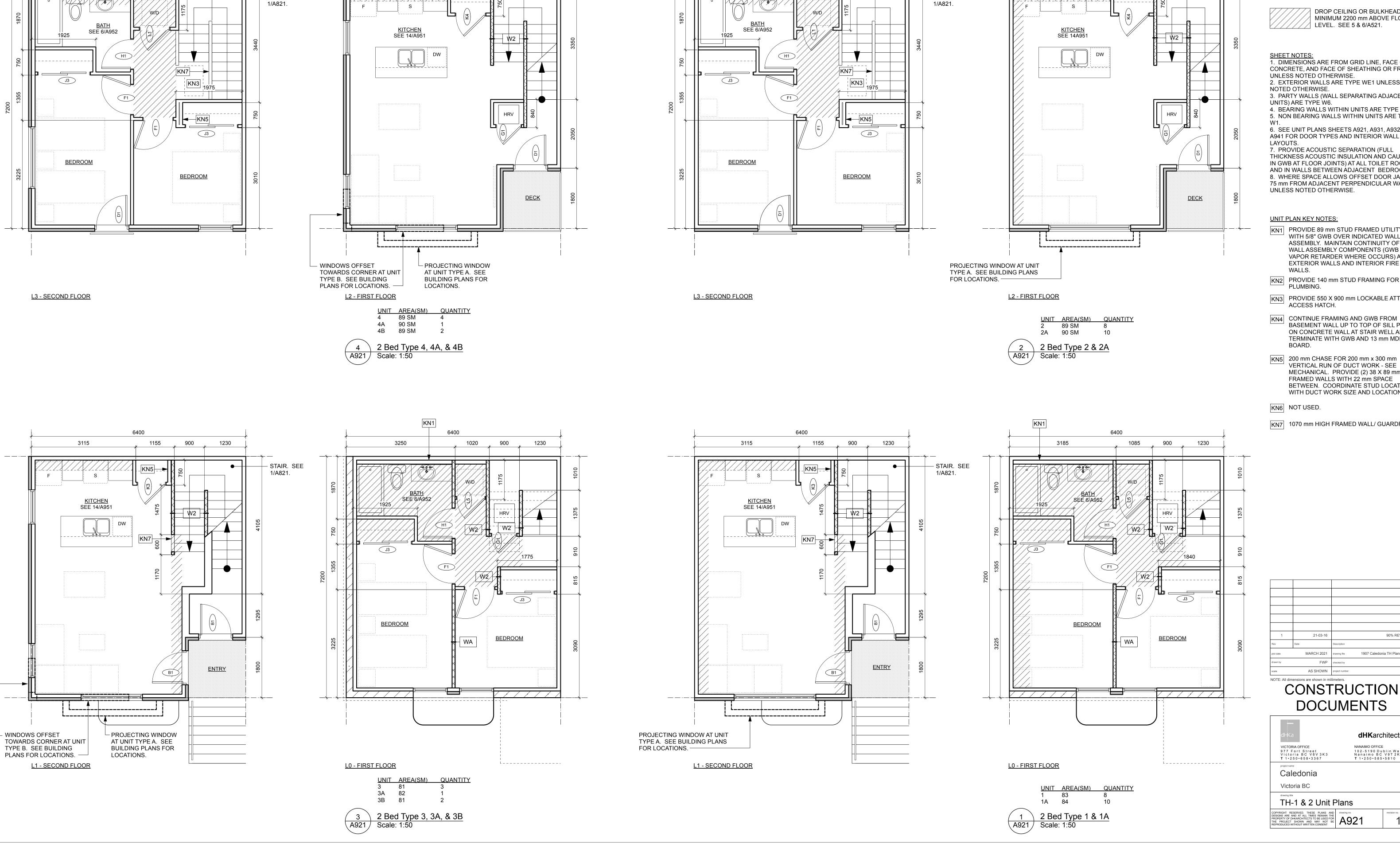




KEY PLAN

		21-03-16		90% Rei
		21-01-27		Issued for 90% BP Coordinat
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordinat
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.v
drawn by		NLC	checked by	C
scale		1:50	project number	19

 dHKa	dHK architects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T2K8 T1•250•585•5810
Caledonia	
Victoria BC drawing title APT-2 Amenity R	Room Detail Plans



2960

3115

- STAIR. SEE

1285

900

1100

KN1

3050

6400

1350

3115

- STAIR. SEE

1285

900

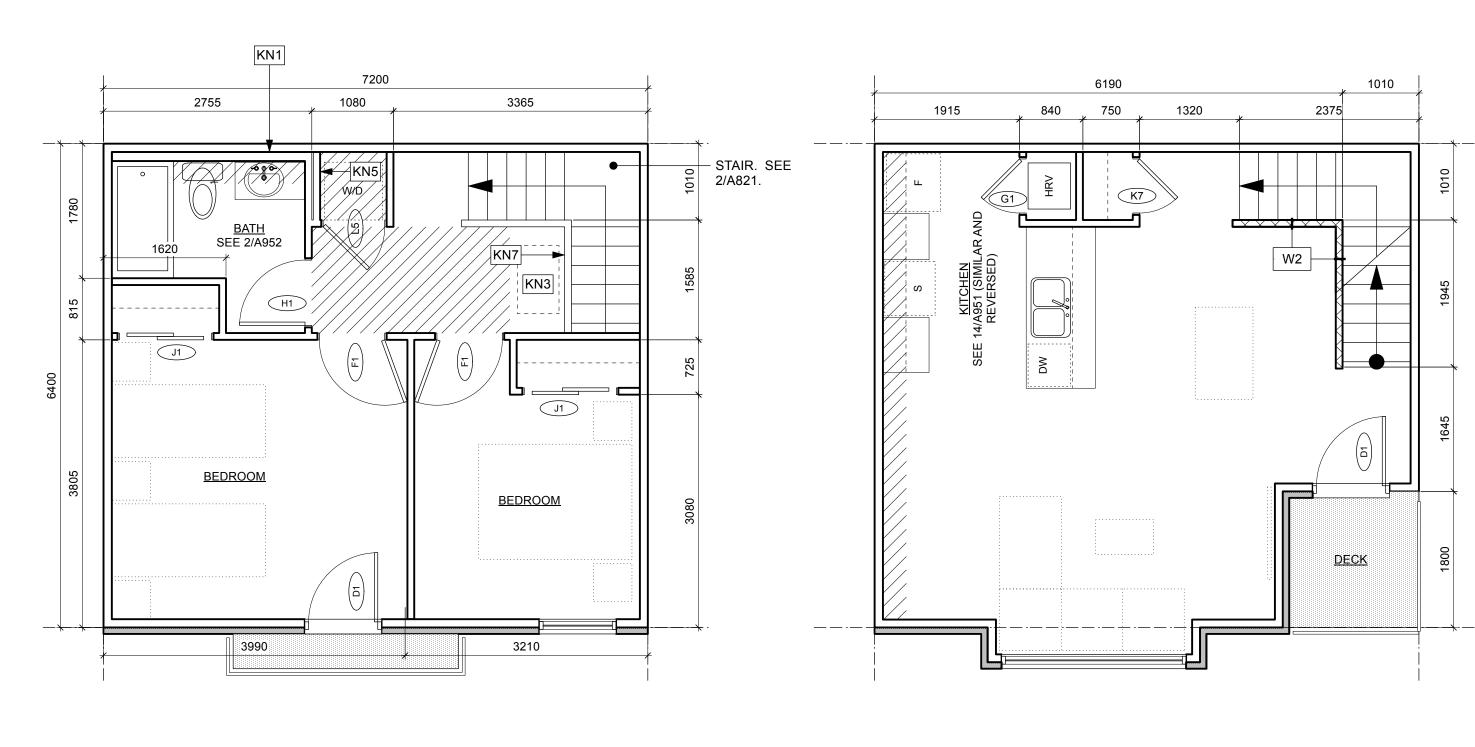
1100

GRAPHIC LEGEND: REINFORCED CONCRETE. CONCRETE BLOCK. FRAMED WALL. XXXXXXXXXX INTERIOR BEARING WALL. SIDING AND EXTERIOR INSULATION. FIRE RATED SEPARATION. DROP CEILING OR BULKHEAD @ MINIMUM 2200 mm ABOVE FLOOR LEVEL. SEE 5 & 6/A521. **SHEET NOTES:** 1. DIMENSIONS ARE FROM GRID LINE, FACE OF CONCRETE, AND FACE OF SHEATHING OR FRAMING UNLESS NOTED OTHERWISE. 2. EXTERIOR WALLS ARE TYPE WE1 UNLESS NOTED OTHERWISE. 3. PARTY WALLS (WALL SEPARATING ADJACENT UNITS) ARE TYPE W6. 4. BEARING WALLS WITHIN UNITS ARE TYPE W2. 5. NON BEARING WALLS WITHIN UNITS ARE TYPES 6. SEE UNIT PLANS SHEETS A921, A931, A932, AND A941 FOR DOOR TYPES AND INTERIOR WALL LAYOUTS. 7. PROVIDE ACOUSTIC SEPARATION (FULL THICKNESS ACOUSTIC INSULATION AND CAULKING IN GWB AT FLOOR JOINTS) AT ALL TOILET ROOMS AND IN WALLS BETWEEN ADJACENT BEDROOMS. 8. WHERE SPACE ALLOWS OFFSET DOOR JAMBS 75 mm FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE. **UNIT PLAN KEY NOTES:** KN1 PROVIDE 89 mm STUD FRAMED UTILITY WALL WITH 5/8" GWB OVER INDICATED WALL ASSEMBLY. MAINTAIN CONTINUITY OF ALL WALL ASSEMBLY COMPONENTS (GWB AND VAPOR RETARDER WHERE OCCURS) AT EXTERIOR WALLS AND INTERIOR FIRE RATED KN2 PROVIDE 140 mm STUD FRAMING FOR PLUMBING. KN3 PROVIDE 550 X 900 mm LOCKABLE ATTIC ACCESS HATCH. KN4 CONTINUE FRAMING AND GWB FROM BASEMENT WALL UP TO TOP OF SILL PLATE ON CONCRETE WALL AT STAIR WELL AND TERMINATE WITH GWB AND 13 mm MDF TRIM BOARD. KN5 200 mm CHASE FOR 200 mm x 300 mm VERTICAL RUN OF DUCT WORK - SEE MECHANICAL. PROVIDE (2) 38 X 89 mm FRAMED WALLS WITH 22 mm SPACE BETWEEN. COORDINATE STUD LOCATIONS WITH DUCT WORK SIZE AND LOCATION. KN6 NOT USED. KN7 1070 mm HIGH FRAMED WALL/ GUARDRAIL. 21-03-16 90% REVIEW 1907 Caledonia TH Plans.vwx MARCH 2021

dHKarchitects

FWP checked b

AS SHOWN project number



ENTRY

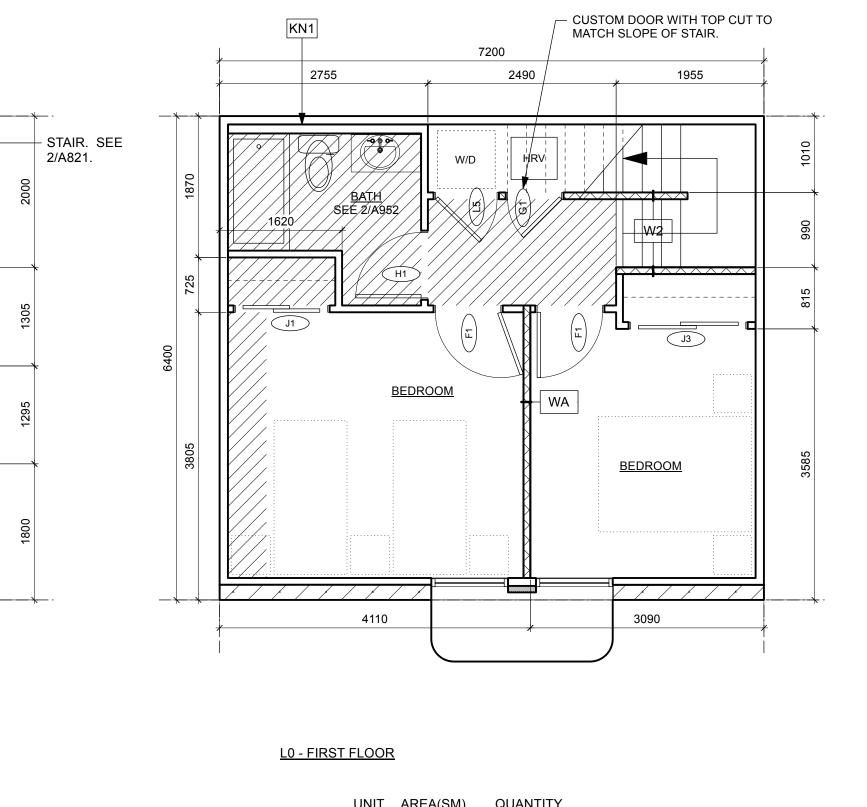
<u>L3 - SECOND FLOOR</u>

L1 - SECOND FLOOR

<u>L2 - FIRST FLOOR</u>

UNIT AREA(SM) QUANTITY
6A 89 SM 1

2 Bed Type 6A A931 Scale: 1:50



GRAPHIC LEGEND:

REINFORCED CONCRETE.

CONCRETE BLOCK.

FRAMED WALL.

INTERIOR BEARING WALL.

SIDING AND EXTERIOR INSULATION.

FIRE RATED SEPARATION. DROP CEILING OR BULKHEAD.

SHEET NOTES:

1. DIMENSIONS ARE FROM GRID LINE, FACE OF CONCRETE, AND FACE OF SHEATHING OR FRAMING UNLESS NOTED OTHERWISE. 2. ALL EXTERIOR WALLS ARE TYPE WE1 UNLESS

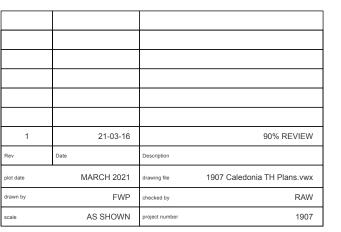
NOTED OTHERWISE. 3. ALL PARTY WALLS (WALL SEPARATING ADJACENT UNITS) ARE TYPE W5 UNLESS NOTED OTHERWISE. 4. ALL WALLS WITHIN UNITS ARE TYPES W1 OR

W1A WHERE ACOUSTIC SEPARATION IS REQUIRED. 5. PROVIDE ACOUSTIC SEPARATION AT ALL TOILET ROOMS AND IN WALLS BETWEEN ADJACENT BEDROOMS.

6. WHERE SPACE ALLOWS OFFSET DOOR JAMBS 75 mm FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.

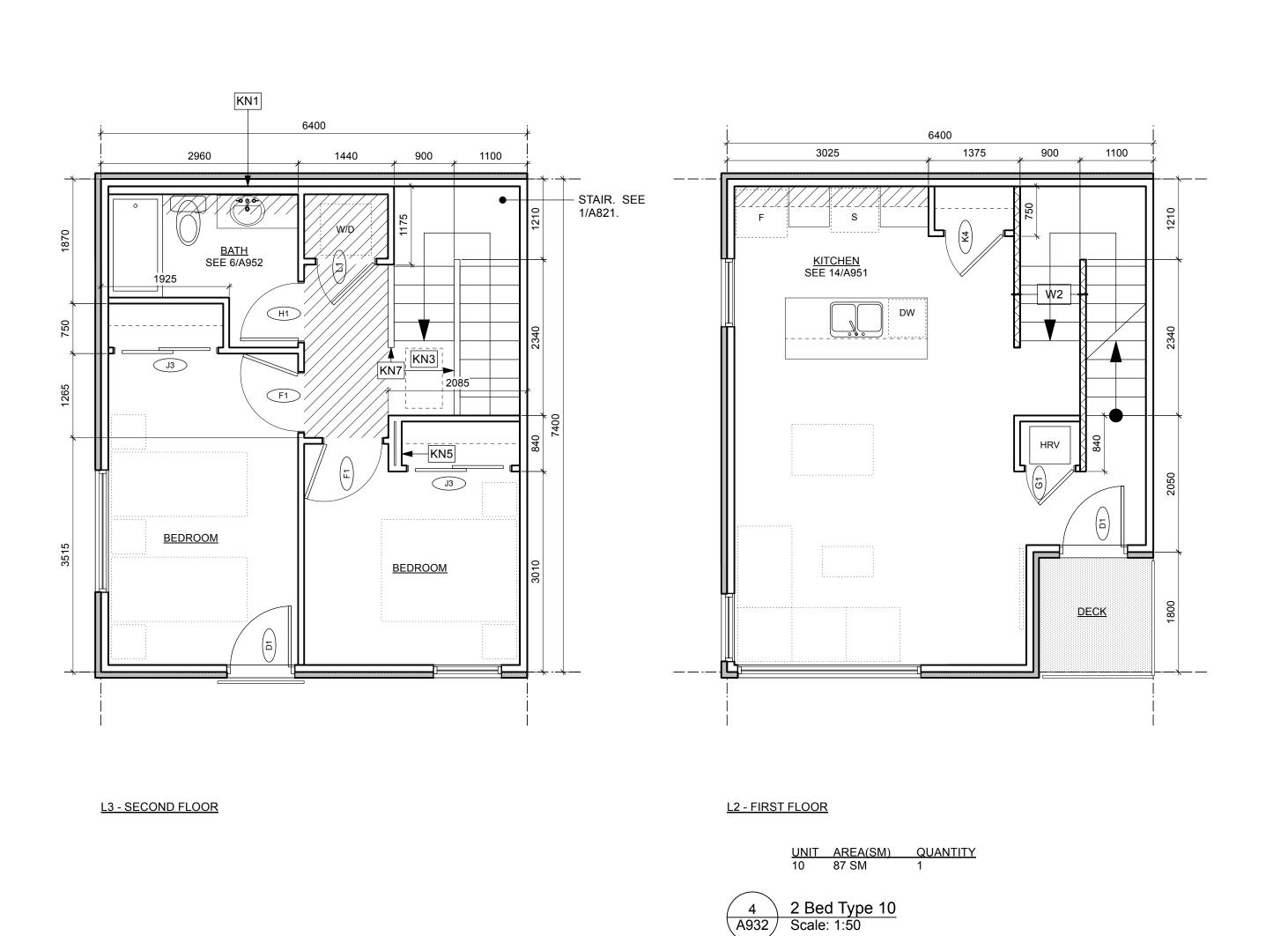
UNIT PLAN KEY NOTES:

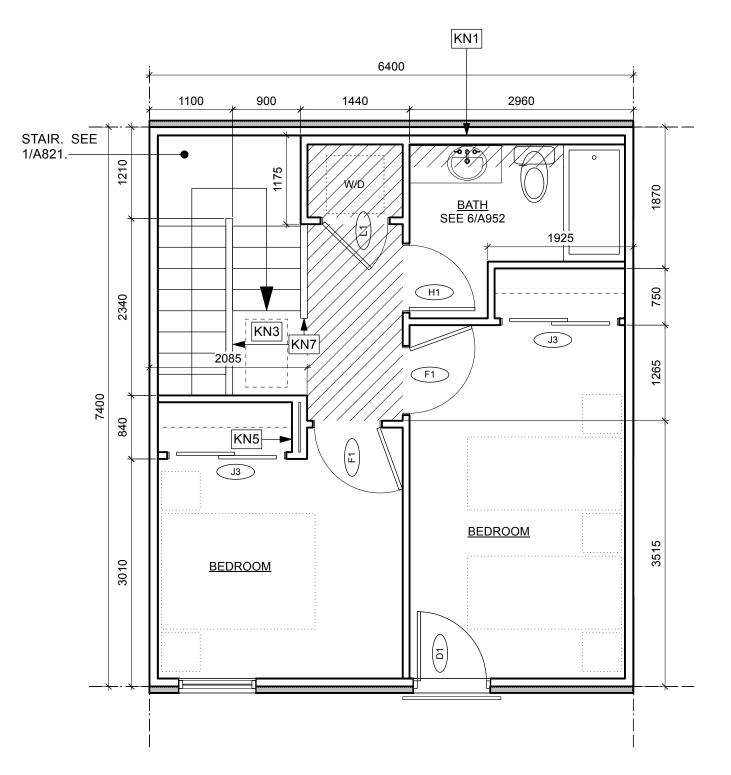
- PROVIDE 89 mm STUD FRAMED UTILITY WALL WITH 5/8" GWB OVER INDICATED WALL ASSEMBLY. MAINTAIN CONTINUITY OF ALL WALL ASSEMBLY COMPONENTS (GWB AND VAPOR RETARDER WHERE OCCURS) AT EXTERIOR WALLS AND INTERIOR FIRE RATED
- KN2 PROVIDE 140 mm STUD FRAMING FOR PLUMBING.
- PROVIDE 550 X 900 mm LOCKABLE ATTIC ACCESS HATCH.
- KN4 CONTINUE FRAMING AND GWB FROM BASEMENT WALL UP TO TOP OF SILL PLATE ON CONCRETE WALL AT STAIR WELL AND TERMINATE WITH GWB AND 13 mm MDF TRIM BOARD.
- KN5 200 mm CHASE FOR 200 mm x 300 mm VERTICAL RUN OF DUCT WORK - SEE MECHANICAL. PROVIDE (2) 38 X 89 mm FRAMED WALLS WITH 22 mm SPACE BETWEEN. COORDINATE STUD LOCATIONS WITH DUCT WORK SIZE AND LOCATION.
- KN6 NOT USED.
- KN7 1070 mm HIGH FRAMED WALL/ GUARDRAIL.



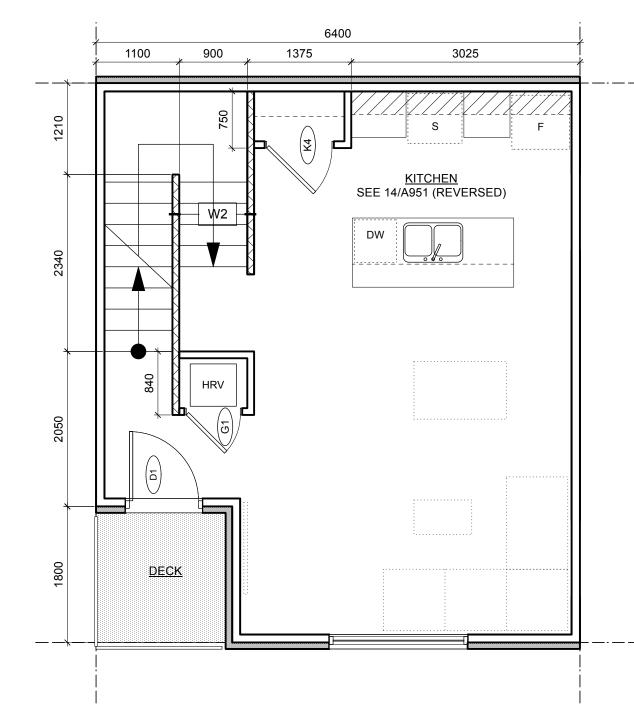
CONSTRUCTION DOCUMENTS

- dHKa	dHK arc	hitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8
Caledonia		
Victoria BC		
TH-2 Unit Plans	8	
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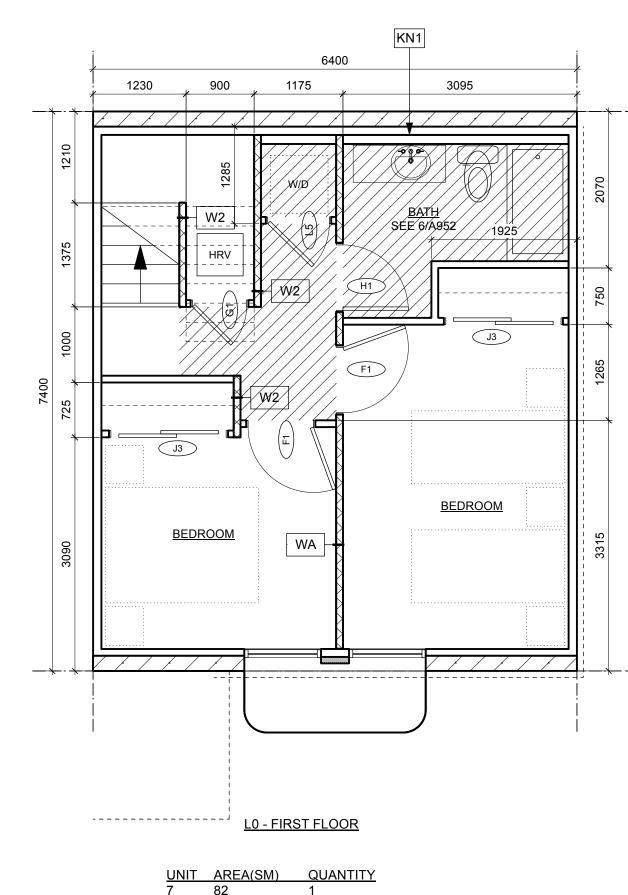


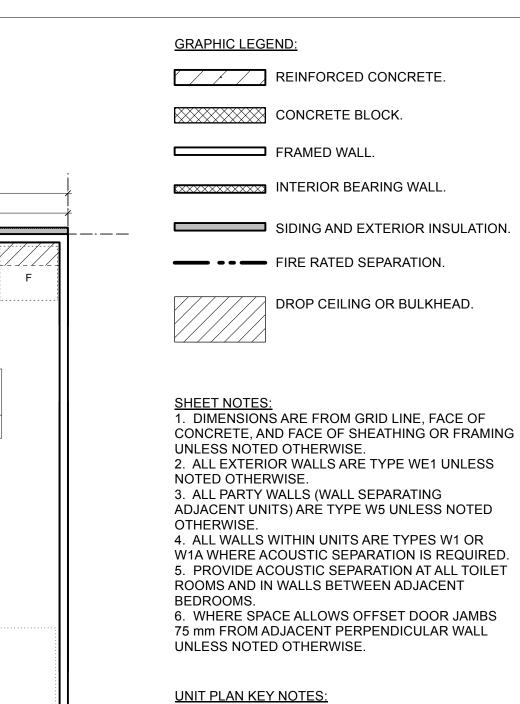
<u>L3 - SECOND FLOOR</u>



<u>L2 - FIRST FLOOR</u>

UNIT AREA(SM) QUANTITY 8 87 SM 1





BETWEEN. COORDINATE STUD LOCATIONS WITH DUCT WORK SIZE AND LOCATION. KN6 NOT USED. KN7 1070 mm HIGH FRAMED WALL/ GUARDRAIL.

KN1 PROVIDE 89 mm STUD FRAMED UTILITY WALL

WITH 5/8" GWB OVER INDICATED WALL ASSEMBLY. MAINTAIN CONTINUITY OF ALL WALL ASSEMBLY COMPONENTS (GWB AND VAPOR RETARDER WHERE OCCURS) AT EXTERIOR WALLS AND INTERIOR FIRE RATED

KN2 PROVIDE 140 mm STUD FRAMING FOR

PROVIDE 550 X 900 mm LOCKABLE ATTIC ACCESS HATCH.

BASEMENT WALL UP TO TOP OF SILL PLATE

ON CONCRETE WALL AT STAIR WELL AND TERMINATE WITH GWB AND 13 mm MDF TRIM

KN4 CONTINUE FRAMING AND GWB FROM

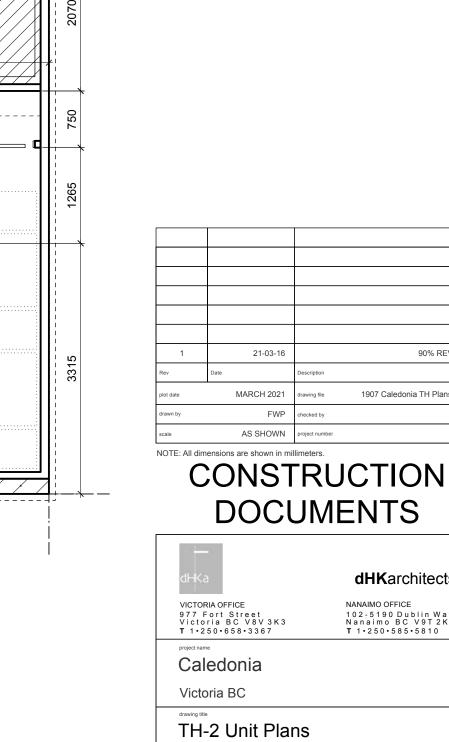
KN5 200 mm CHASE FOR 200 mm x 300 mm VERTICAL RUN OF DUCT WORK - SEE MECHANICAL. PROVIDE (2) 38 X 89 mm

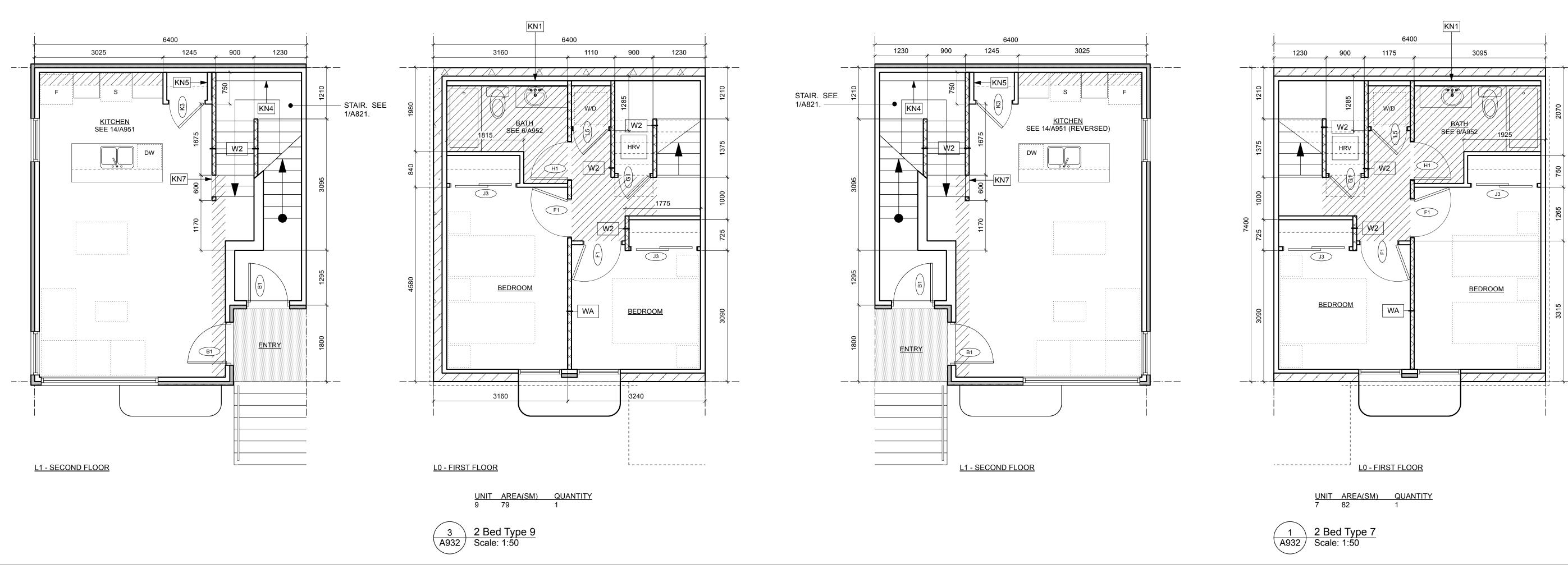
FRAMED WALLS WITH 22 mm SPACE

PLUMBING.

BOARD.

DROP CEILING OR BULKHEAD.





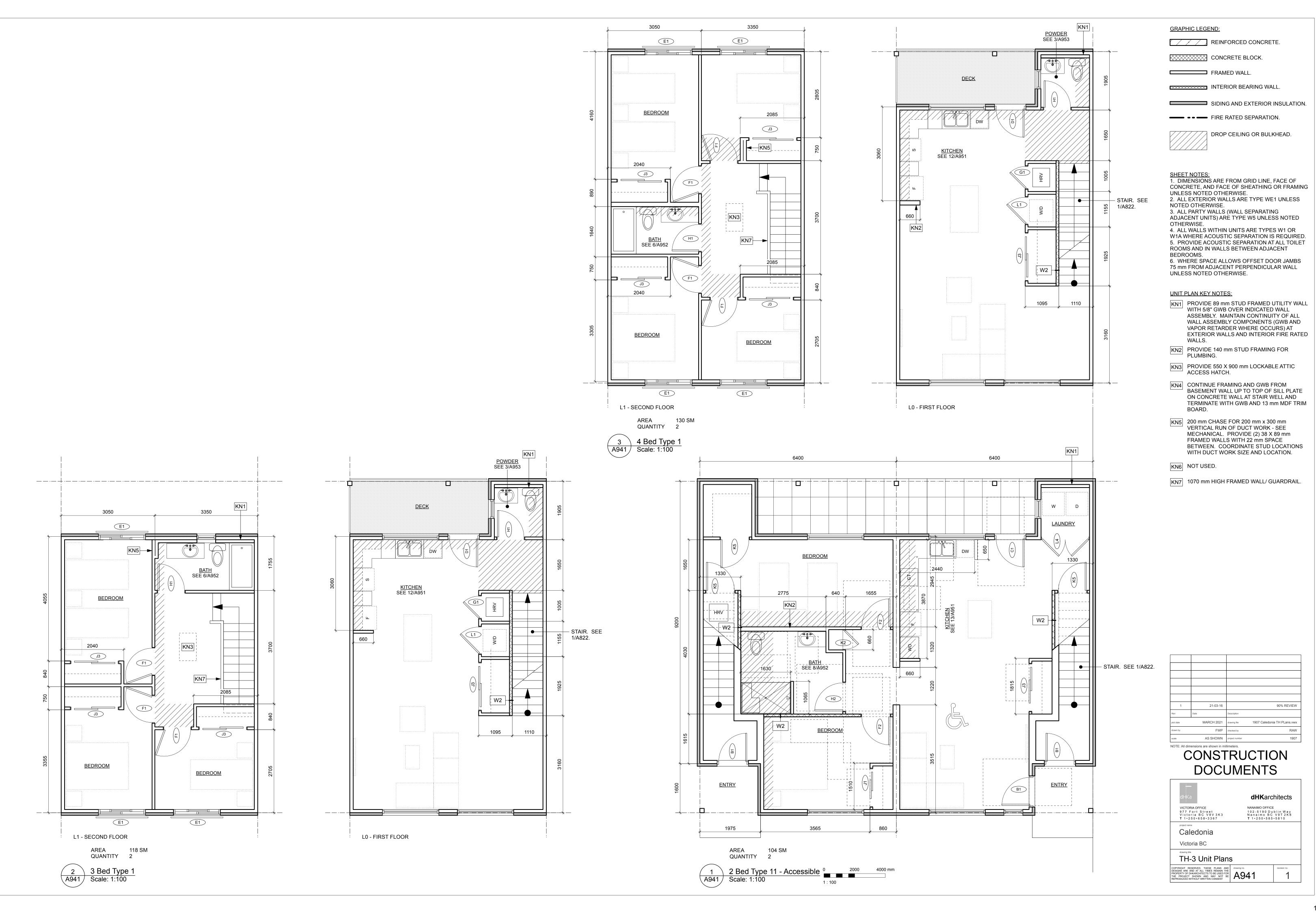
90% REVIEW

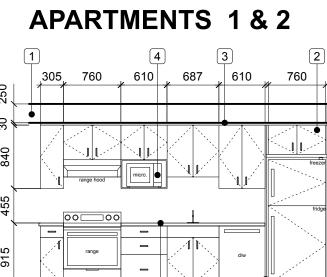
1907 Caledonia TH Plans.vwx

dHKarchitects

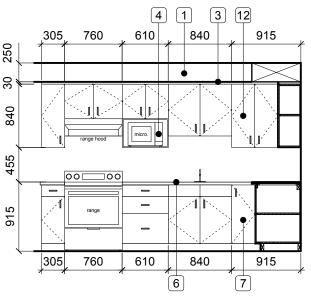
NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810

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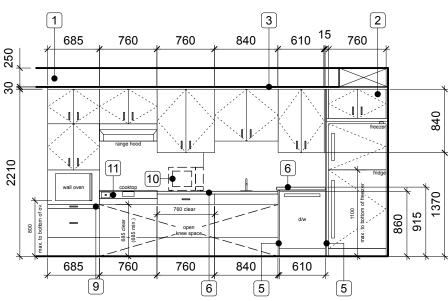




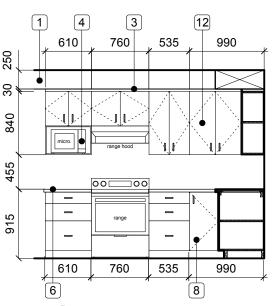
KITCHEN TYPE 1 - Elevation Scale: 1:50 UNIT TYPE: A Counter Frontage: 2220 mm



2 \ KITCHEN TYPE 2 - Elevations A951 / Scale: 1:50 UNIT TYPE: B Counter Frontage: 4400 mm

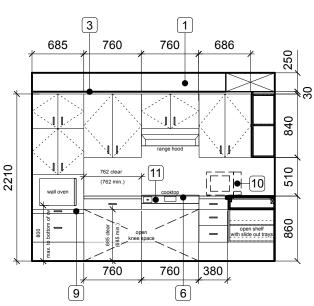


3 \ KITCHEN TYPE 3 (Accessible) - Elevations A951 Scale: 1:50 UNIT TYPE: C Counter Frontage: 2225 mm

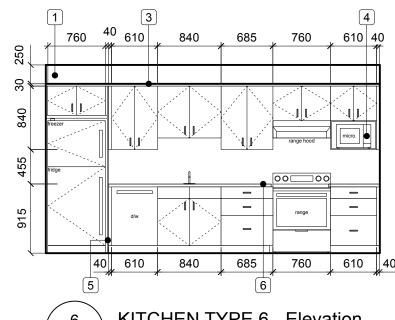


990 610 40

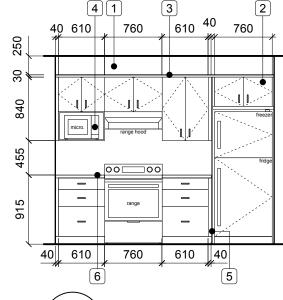
KITCHEN TYPE 4 - Elevations Scale: 1:50 UNIT TYPES: D,F,G,H,J,M Counter Frontage: 4425 mm



KITCHEN TYPE 5 (Accessible) - Elevations Scale: 1:50 UNIT TYPES: E Counter Frontage: 4160 mm



KITCHEN TYPE 6 - Elevation Scale: 1:50 UNIT TYPE: L Counter Frontage: 2825 mm



Scale: 1:50

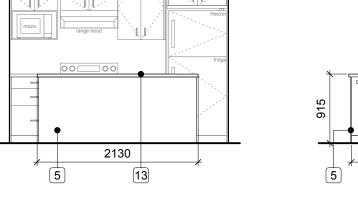
A951 Scale: 1:50

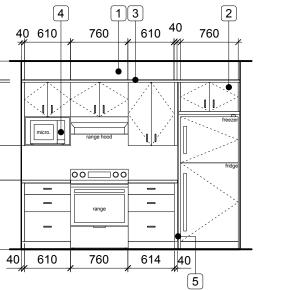
UNIT TYPES: I,Q

Counter Frontage: 3280 mm

UNIT TYPE: K

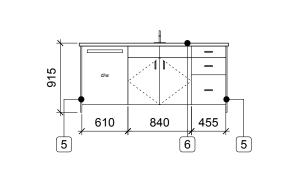
KITCHEN TYPE 7 - Elevations

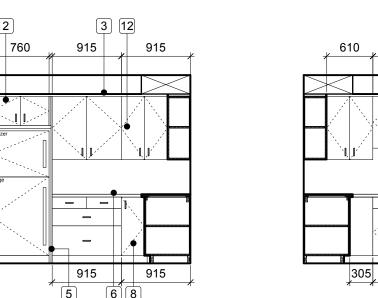




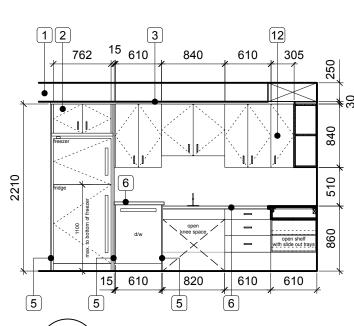
Counter Frontage: 3430 mm

8 KITCHEN TYPE 8 - Elevations

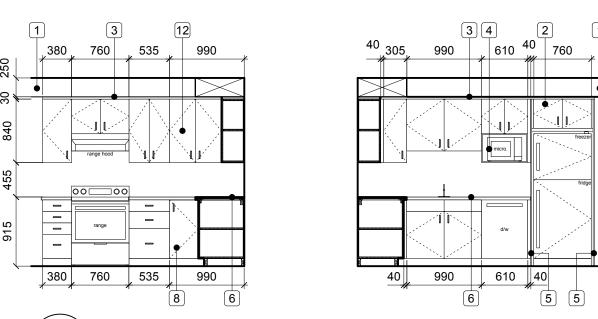




305 840 610 760 760 610 5 6 8 KITCHEN TYPE 9 - Elevations Scale: 1:50 UNIT TYPES: R,S, T Counter Frontage: 5580 mm

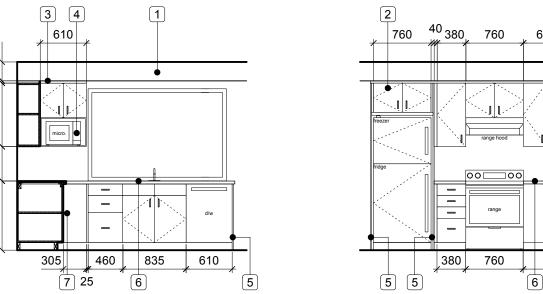


10 KITCHEN TYPE 10 (Accessible) - Elevations Scale: 1:50 UNIT TYPES: P Counter Frontage: 4165 mm



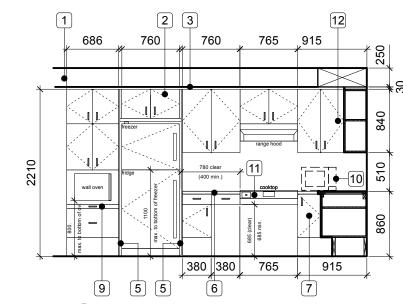
11 \ KITCHEN TYPE 11 - Elevations A951 Scale: 1:50 UNIT TYPES: N Counter Frontage: 4190 mm

TOWNHOUSES 1 - 3

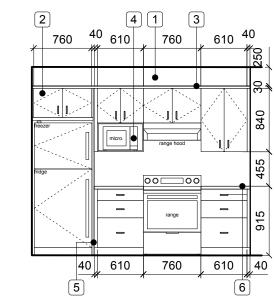


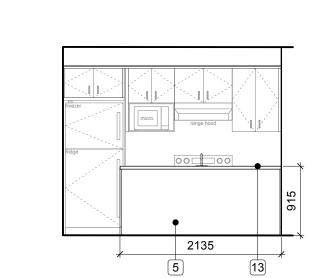
KITCHEN TYPE 13 - Elevations Scale: 1:50

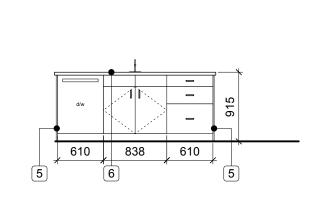
UNIT TYPES: 3B T1, 4B T2 Counter Frontage: 4180 mm



\ KITCHEN TYPE 12 (Accessible) - Elevations A951 Scale: 1:50 UNIT TYPES: 2B T11 Counter Frontage: 4200 mm







KITCHEN TYPE 14 - Elevations

A951 Scale: 1:50 **UNIT TYPES:**

2B T1; 2B T1A; 2B T2, 2B T12; 2B T3, 2B T3A, 2B T4, 2B T4A; 2B 5A; 2B6A, 2B T7,2B T8, 2B T9, 2B T10 Counter Frontage: 3450 mm

GENERAL NOTES - KITCHENS & BATHS

3. See plans A201-A215 & A921-A941 for unit window

4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any

5. See Architectural Schedules and Specification for all

6. See Mechanical Specification Section 22 40 00 for

for acceptable washroom accessories.

8. Refer to BC Housing Design Guidelines and

Construction Standards 2019 as required.

acceptable plumbing fixtures and Section 10 28 10

7. See Structural and AXXX for depression in floor slab

1. All dimensions are metric and shown in millimeters.

walls, unless noted otherwise.

finishes, hardware, and fixtures.

for accessible shower detail.

and door locations.

discrepancies.

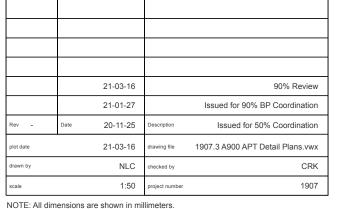
- 1. Confirm all dimensions on site prior to fabrication. 2. Interior dimensions are from grid lines to Centre of
 - 2. Shop drawings must be coordinated with final fixture

GENERAL KITCHEN MILLWORK NOTES

- and appliance specifications prior to fabrication.
- 3. Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 4. Shop drawings must show: construction details, general arrangements, typical and special installation conditions, materials, connections, attachments, anchorage and location of exposed fastenings as applicable.
- 5. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 6. Base and wall cabinets to be frameless, flat panel HPL. 7. Provide finished end panels at exposed ends of
- cabinetry. 8. Open shelves finished with same material as door and
- drawer fronts. 9. All cabinet pulls to be 102mm "D" style .
- 10.Provide full extension drawers and sound absorbing bumpers on all doors and drawers.
- 11. Provide 15-75mm filler strips for base and upper cabinets to allow for cabinet pull clearance where
- required. 12. Provide one full depth, fully adjustable shelf per base cabinet and 2 full depth, fully adjustable shelves per wall
- 13. Allow adequate space at hinge side of refrigerator to allow door to open fully and to allow the removal of
- internal accessories for cleaning. 14. Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all edges.
- 15. Provide each kitchen one (1) single lever faucet. 16.Insulate all exposed sink pipes and drains. Offset for
- ADA clearance where required. 17.102mm high toe kicks in typ. kitchens. 250mm high toe
- kicks in in accessible kitchens.
- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- 19. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.

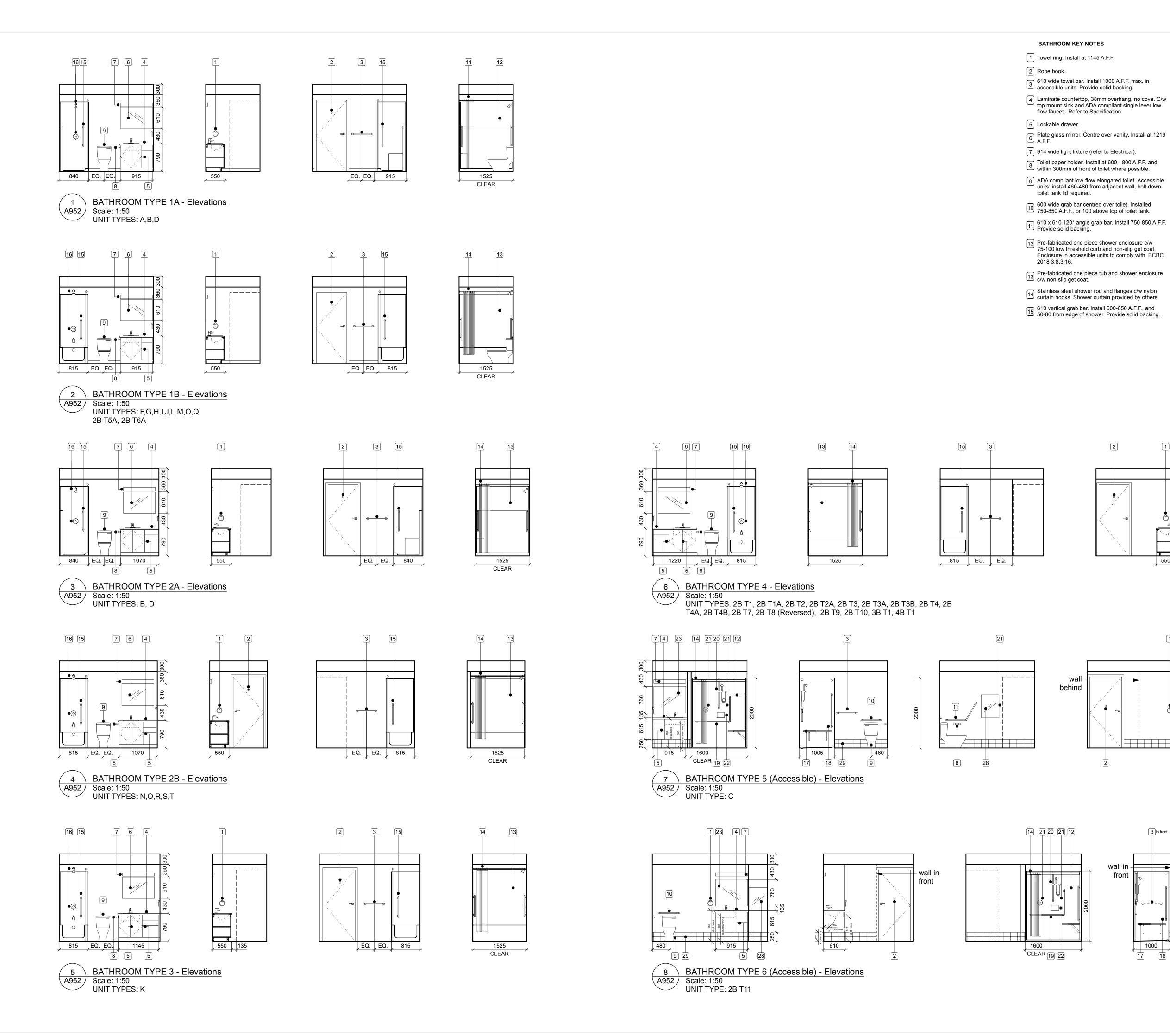
KITCHEN KEY NOTES

- 1 GWB bulkhead for range hood/mechanical ventilation.
- 2 610mm deep cabinet above fridge c/w 25mm filler each side.
- 3 Scribe moulding to underside of bulkhead.
- Microwave shelf with outlet to accommodate 457mm wide microwave (not included).
- 5 16mm wide gable panel at fridge, island & at dishwasher (where required).
- 6 HPL countertop, 38mm overhang. No cove. Refer to Specification.
- 7 Base corner cabinet Lazy Susan with 2 trays.
- 8 Base blind corner cabinet with 2 swing-out trays.
- 9 ADA compliant pull out work surface.
- Outlet provided at this location for countertop microwave.
- Mount light and fan controls for range hood on front of counter.
- 12 Wall blind corner cabinet.
- 305mm eating bar countertop overhang at kitchen island. Locate HPL or solid wood support brackets where required.



2500mm





GENERAL NOTES - KITCHENS & BATHS

- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to Centre of
- walls, unless noted otherwise.
- 3. See plans A201-A215 & A921-A941 for unit window and door locations.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- discrepancies. 5. See Architectural Schedules and Specification for all

finishes, hardware, and fixtures.

for accessible shower detail.

- 6. See Mechanical Specification Section 22 40 00 for acceptable plumbing fixtures and Section 10 28 10 for acceptable washroom accessories.
- 7. See Structural and AXXX for depression in floor slab
- 8. Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.

GENERAL BATHROOM MILLWORK NOTES

- 1. Confirm all dimensions on site prior to fabrication.

applicable.

Shower head, tub spout and pressure balance mixing valve.

450 wide x 400 deep foldable shower seat. Install 460-480 A.F.F., Provide solid backing.

1000 vertical grab bar. install 600-650 A.F.F., and

50-80 from edge of shower. Provide solid backing.

19 L-shaped grab bar. Min. 1000 horizontal and 750

vertical components. Install 750-800 A.F.F., and

400-500 from one adjacent wall. Provide solid

20 ADA compliant handheld telephone type shower

21 Pressure balance mixing valve 1200 max A.F.F.

762 high mirror. 1000 max A.F.F. See BCBC 2018 3.8.3.15.

400 wide x 200 deep shelf. Install 1000 to centre max A.F.F.

25 Soap dispenser. Install 1000 to centre max A.F.F.

[26] Paper towel dispenser. Install 1200 to top max A.F.F.

27 Garbage receptacle. Install 1200 to top max A.F.F.

[28] Medicine cabinet. Bottom of shelf 1100 A.F.F. max.

29 250 high tile cove in accessible bathrooms. Refer to Specification.

Wall mounted sink. Sink in accessible washrooms to comply with BCBC 2018 3.8.3.15.

1800 of flexible hosing.

[22] Recessed soap holder.

head able to be fixed at 1200-2030 A.F.F., c/w min.

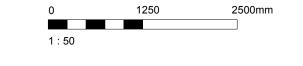
- 2. Shop drawings must be coordinated with final fixture
- and appliance specifications prior to fabrication.
- 3. Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 4. Shop drawings must show: construction details, general arrangements, typical and special installation conditions, materials, connections, attachments, anchorage and location of exposed fastenings as
- 5. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 6. Provide 38 x 26 horizontal blocking A.F.F. around the shower/tub and beside the water closet for future installation of grab bars (typ. suites).
- 7. Grab bars and towel bars shall be designed and installed to withstand a load of 1.3 kN.
- 8. Towel bars shall be located no more than 1100 mm (3'-7") high from above the floor.
- 9. All cabinets to be frameless, flat panel.
- 10.Provide finished end panels at exposed ends of
- cabinetry.
- 11. All cabinet pulls to be 102mm "D" style
- 12. Provide full extension drawers and sound absorbing bumpers on all doors and drawers.
- 13.Provide 15-75mm filler strips for base and upper
- cabinets to allow for cabinet pull clearance where required. 14. Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all

ADA clearance where required.

16.Accessible showers c/w non-slip gel coat and slope

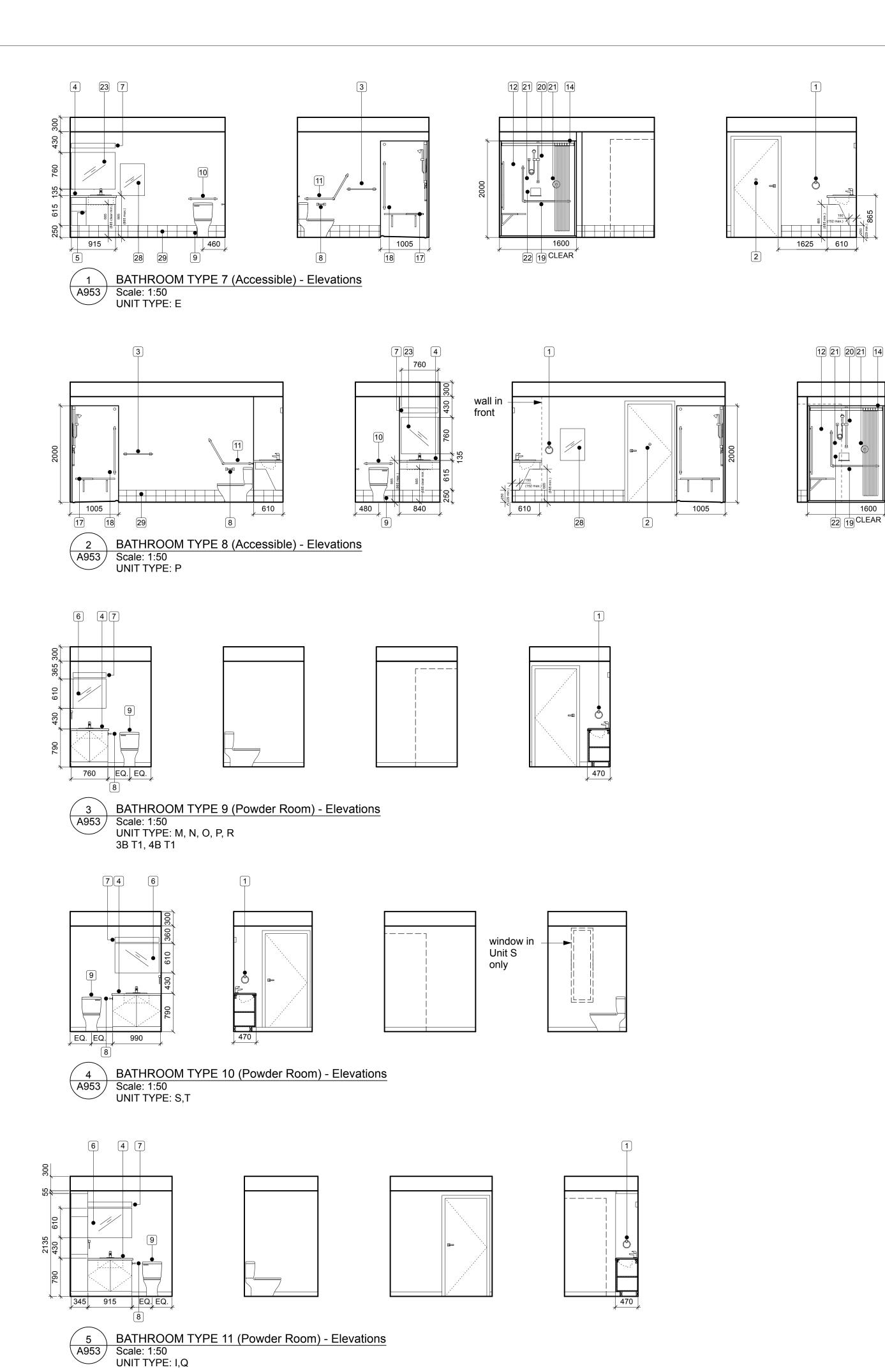
15.Insulate all exposed sink pipes and drains. Offset for

- 2% to drain. Refer to Mechanical Specification.
- 17.102mm high toe kicks in typ. kitchens. 250mm high toe kicks in in accessible kitchens.
- 18.Install extruded aluminum trim at all exposed floor and
- wall tile edges.
- 19. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.



		21-03-16		90% Revie
		21-01-27		Issued for 90% BP Coordinati
Rev -	Date	20-11-25	Description	Issued for 50% Coordinati
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.v
drawn by		NLC	checked by	CF
scale		1:50	project number	19

dHKa	dHK arc	hitects		
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8		
Caledonia				
Victoria BC				
Bath Elevations	3			
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BATHROOM KEY NOTES

- 1 Towel ring. Install at 1145 A.F.F.
- 2 Robe hook.
- 610 wide towel bar. Install 1000 A.F.F. max. in accessible units. Provide solid backing.
- 4 Laminate countertop, 38mm overhang, no cove. C/w top mount sink and ADA compliant single lever low flow faucet. Refer to Specification.
- 5 Lockable drawer.
- Plate glass mirror. Centre over vanity. Install at 1219 A.F.F.
- 7 914 wide light fixture (refer to Electrical).
- 8 Toilet paper holder. Install at 600 800 A.F.F. and within 300mm of front of toilet where possible.
- 9 ADA compliant low-flow elongated toilet. Accessible units: install 460-480 from adjacent wall, bolt down toilet tank lid required.
- 600 wide grab bar centred over toilet. Installed 750-850 A.F.F., or 100 above top of toilet tank.
- 610 x 610 120° angle grab bar. Install 750-850 A.F.F. Provide solid backing.
- Pre-fabricated one piece shower enclosure c/w 75-100 low threshold curb and non-slip get coat. Enclosure in accessible units to comply with BCBC 2018 3.8.3.16.
- Pre-fabricated one piece tub and shower enclosure c/w non-slip get coat.
- Stainless steel shower rod and flanges c/w nylon curtain hooks. Shower curtain provided by others.
- 610 vertical grab bar. Install 600-650 A.F.F., and 50-80 from edge of shower. Provide solid backing.

- Shower head, tub spout and pressure balance mixing valve.
- 450 wide x 400 deep foldable shower seat. Install 460-480 A.F.F., Provide solid backing.
- 19 L-shaped grab bar. Min. 1000 horizontal and 750
- 1800 of flexible hosing.
- 21 Pressure balance mixing valve 1200 max A.F.F.
- [22] Recessed soap holder.
- 762 high mirror. 1000 max A.F.F. See BCBC 2018 3.8.3.15. 400 wide x 200 deep shelf. Install 1000 to centre max A.F.F.
- 25 Soap dispenser. Install 1000 to centre max A.F.F.
- [26] Paper towel dispenser. Install 1200 to top max A.F.F.
- 27 Garbage receptacle. Install 1200 to top max A.F.F.
- [28] Medicine cabinet. Bottom of shelf 1100 A.F.F. max.
- 29 250 high tile cove in accessible bathrooms. Refer to Specification.
- Wall mounted sink. Sink in accessible washrooms to comply with BCBC 2018 3.8.3.15.

- 1000 vertical grab bar. install 600-650 A.F.F., and 50-80 from edge of shower. Provide solid backing.
- vertical components. Install 750-800 A.F.F., and 400-500 from one adjacent wall. Provide solid
- 5. See Architectural Schedules and Specification for all ADA compliant handheld telephone type shower head able to be fixed at 1200-2030 A.F.F., c/w min. finishes, hardware, and fixtures.
 - 6. See Mechanical Specification Section 22 40 00 for acceptable plumbing fixtures and Section 10 28 10

GENERAL NOTES - KITCHENS & BATHS

1. All dimensions are metric and shown in millimeters.

2. Interior dimensions are from grid lines to Centre of

3. See plans A201-A215 & A921-A941 for unit window

4. Contractor to verify all dimensions and confirm same

on site. Architect to be notified in case of any

walls, unless noted otherwise.

and door locations.

discrepancies.

- for acceptable washroom accessories. 7. See Structural and AXXX for depression in floor slab
- 8. Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.

for accessible shower detail.

GENERAL BATHROOM MILLWORK NOTES

- 1. Confirm all dimensions on site prior to fabrication.
- 2. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- 3. Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 4. Shop drawings must show: construction details, general arrangements, typical and special installation conditions, materials, connections, attachments,

anchorage and location of exposed fastenings as

5. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.

applicable.

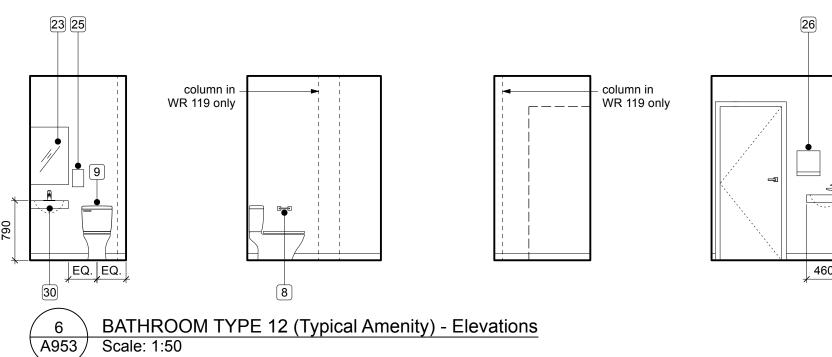
- 6. Provide 38 x 26 horizontal blocking A.F.F. around the shower/tub and beside the water closet for future installation of grab bars (typ. suites).
- 7. Grab bars and towel bars shall be designed and installed to withstand a load of 1.3 kN.
- 8. Towel bars shall be located no more than 1100 mm (3'-7") high from above the floor.
- 9. All cabinets to be frameless, flat panel.
- 10.Provide finished end panels at exposed ends of cabinetry.
- 11. All cabinet pulls to be 102mm "D" style .
- 12. Provide full extension drawers and sound absorbing bumpers on all doors and drawers.
- 13.Provide 15-75mm filler strips for base and upper cabinets to allow for cabinet pull clearance where
- 14. Provide cut-outs in countertops for all sinks and plumbing fixtures to templates provided. Seal all
- 15.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 16.Accessible showers c/w non-slip gel coat and slope 2% to drain. Refer to Mechanical Specification.
- 17.102mm high toe kicks in typ. kitchens. 250mm high
- 18.Install extruded aluminum trim at all exposed floor and
- wall tile edges.
- 19. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.

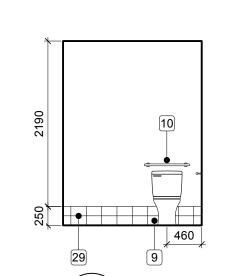
toe kicks in in accessible kitchens.



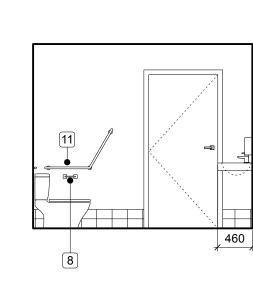
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		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

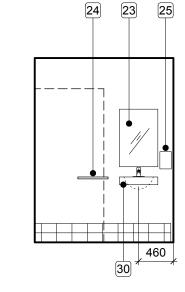
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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFIC 102-5190 Du Nanaimo BC T 1•250•585	- ıblin Way : V9T2K
Caledonia		
Victoria BC		
Victoria BC drawing title Bath Elevations	<u> </u>	
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF DHKARCHITECTS TO BE USED FOR	drawing no.	revision no.

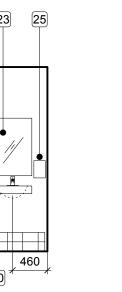


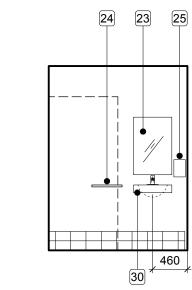


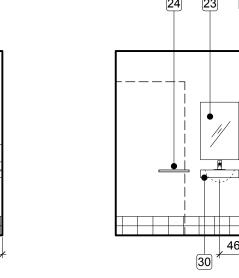
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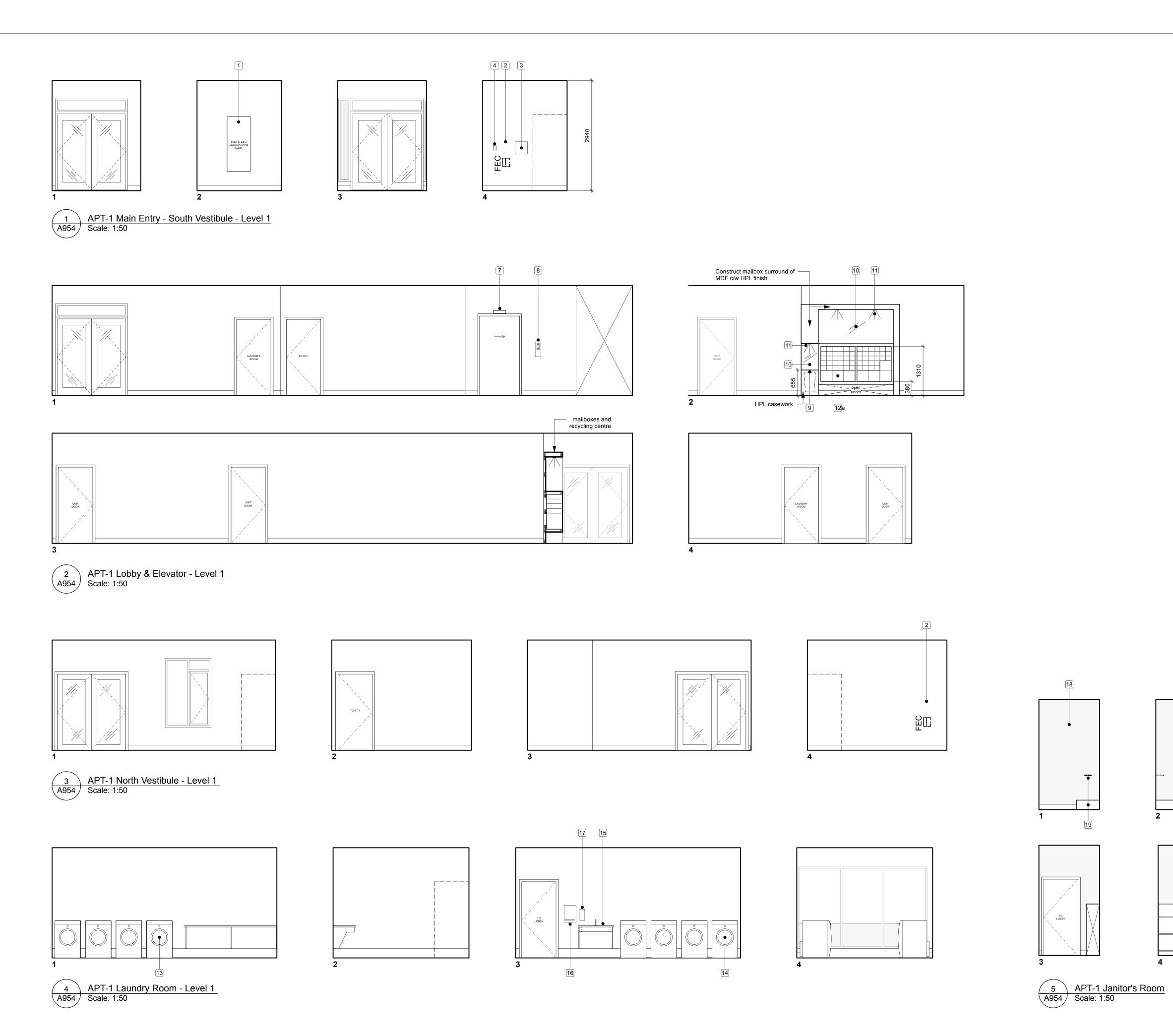












- 1 Annunciator panel. See Electrical.
- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- [5] Wall mounted heater. See Electrical.
- 6 fire pull station. See Electrical.

- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- 10 Open niche with mirror behind.
- [11] Recessed downlight.
- 12a: APT-1, 48 letter, 6 parcel boxes
- [13] Dryer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.
- 16 Paper towel dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.
- 20 Broom holder.

- 22 Sprinkler control valves.

- COMMON AREA KEY NOTES

- 4 Door operator button. See Electrical.

- 7 Elevator hall lantern.
- 8 Elevator call button.

- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
- 12b: APT-2, 56 letter, 7 parcel boxes 12c: TH-1, 66 letter, 8 parcel boxes
- 14 Washer. See Mechanical Specification.

- 17 Soap dispenser.
- 19 Janitor sink and faucet. See Mechanical Specification.
- 21 Open millwork shelf.

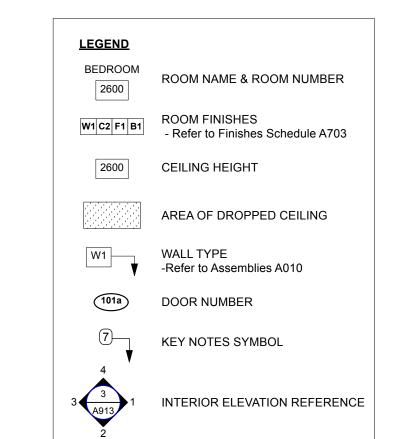
GENERAL NOTES - COMMON AREAS

discrepancies.

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- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- 4. All interior partitions are type W1, unless noted otherwise.
- 5. For exterior wall types & dimensions and party/corridor
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- 7. Offset door rough opening min, 75mm from adjacent

wall surface where space allows, unless noted

- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture
- and appliance specifications prior to fabrication.
- 10.Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 12. Cabinets to be frameless, flat panel HPL.
- 13. Provide finished end panels at exposed ends of cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable
- shelves. 15.Install neoprene isolator pads under all laundry
- appliances.
- 16.Provide cut-outs in countertops for all sinks and plumbing fixtures to templates provided. Seal all edges.
- 17.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- 19.Brushed stainless steel elevator door, frame & call button base.
- 20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.

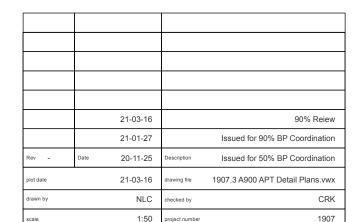










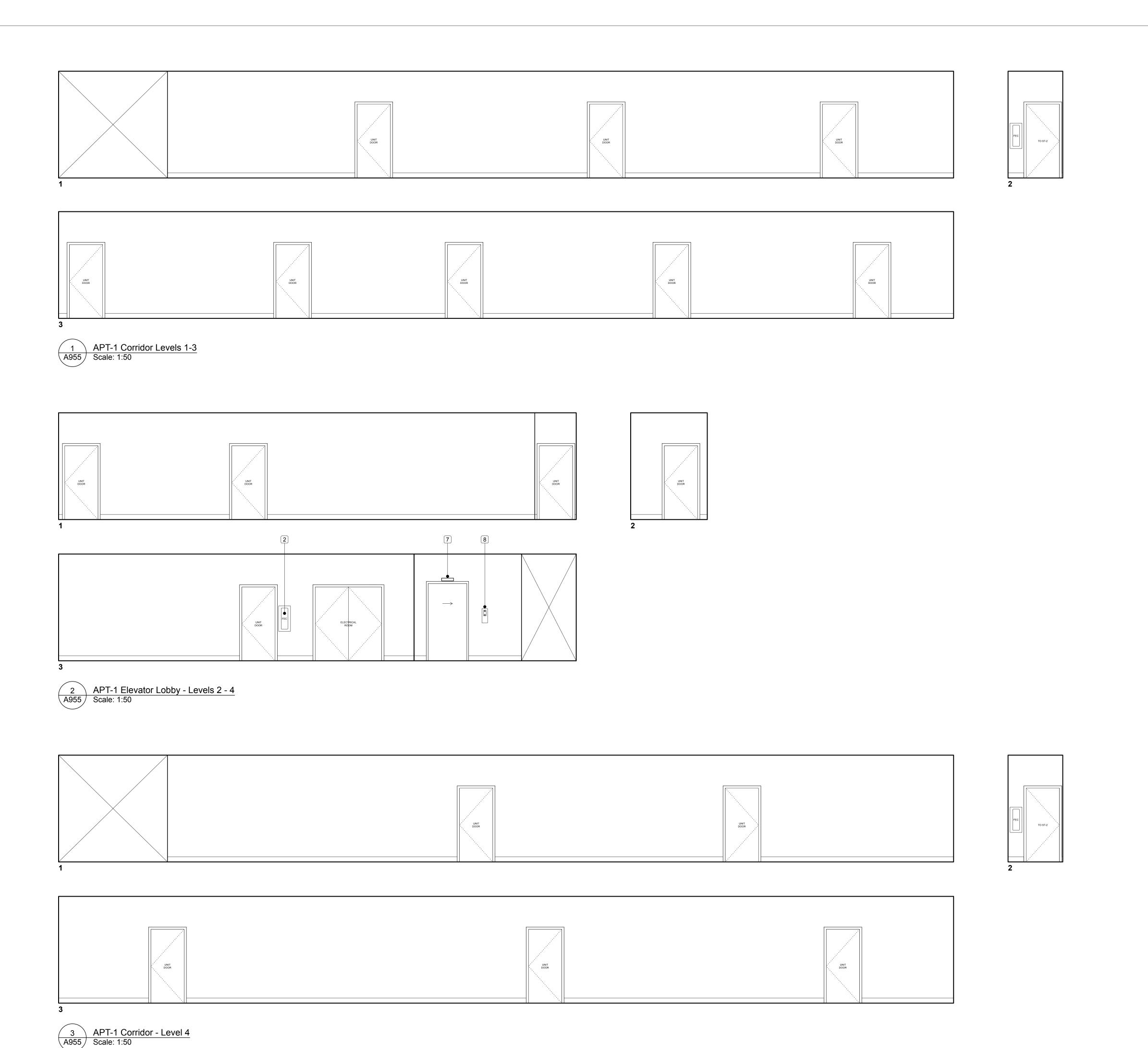


NOTE: All dimensions are shown in millimeters.



Caledonia Victoria BC

APT-1 Common Interior Elevations



- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- 4 Door operator button. See Electrical.
- [5] Wall mounted heater. See Electrical.

- 8 Elevator call button.
- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- 10 Open niche with mirror behind.
- [11] Recessed downlight.
- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
- [13] Dryer. See Mechanical Specification.
- 16 Paper towel dispenser.
- 17 Soap dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.
- 19 Janitor sink and faucet. See Mechanical Specification.
- 20 Broom holder.
- 21 Open millwork shelf.
- 22 Sprinkler control valves.

- **COMMON AREA KEY NOTES**
- 1 Annunciator panel. See Electrical.

- 6 fire pull station. See Electrical.
- 7 Elevator hall lantern.

- 12a: APT-1, 48 letter, 6 parcel boxes 12b: APT-2, 56 letter, 7 parcel boxes 12c: TH-1, 66 letter, 8 parcel boxes
- 14 Washer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.

- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of walls, unless noted otherwise.

GENERAL NOTES - COMMON AREAS

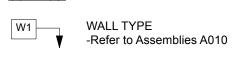
- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- discrepancies. 4. All interior partitions are type W1, unless noted
- 5. For exterior wall types & dimensions and party/corridor
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- 7. Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture
- and appliance specifications prior to fabrication.
- and comment prior to fabrication.

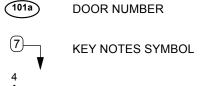
10.Provide millwork shop drawings to Architect for review

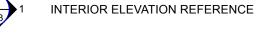
- 11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 12. Cabinets to be frameless, flat panel HPL.
- 13. Provide finished end panels at exposed ends of cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable
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- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- 19.Brushed stainless steel elevator door, frame & call
- button base. 20. Warranty to be provided as per BC Housing Design

Guidelines and Construction Standards 2019.

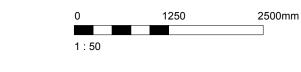
LEGEND BEDROOM ROOM NAME & ROOM NUMBER ROOM FINISHES W1 C2 F1 B1 - Refer to Finishes Schedule A703 2600 CEILING HEIGHT







AREA OF DROPPED CEILING







KEY PLAN

		21-03-16		90% Reiew
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
		1:50	and a standard and	1007

NOTE: All dimensions are shown in millimeters.

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Caledonia

Victoria BC APT-1 Common Interior Elevations



- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.

- 6 fire pull station. See Electrical.

- 8 Elevator call button.
- 10 Open niche with mirror behind.
- [11] Recessed downlight.
- [14] Washer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.
- 17 Soap dispenser.
- 19 Janitor sink and faucet. See Mechanical Specification.

- COMMON AREA KEY NOTES
- 1 Annunciator panel. See Electrical.
- 4 Door operator button. See Electrical.
- [5] Wall mounted heater. See Electrical.

- 7 Elevator hall lantern.
- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
- 12a: APT-1, 48 letter, 6 parcel boxes 12b: APT-2, 56 letter, 7 parcel boxes 12c: TH-1, 66 letter, 8 parcel boxes
- [13] Dryer. See Mechanical Specification.
- 16 Paper towel dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.
- 20 Broom holder.
- 21 Open millwork shelf.
- 22 Sprinkler control valves.

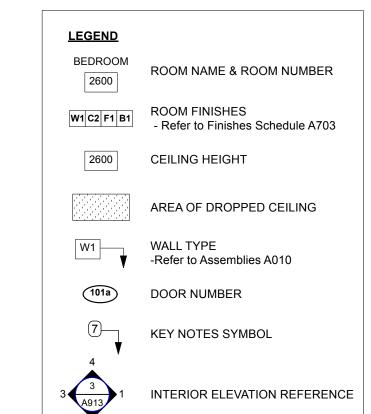
GENERAL NOTES - COMMON AREAS

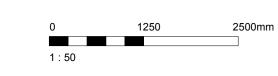
discrepancies.

- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of walls, unless noted otherwise.
- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- 4. All interior partitions are type W1, unless noted otherwise.
- 5. For exterior wall types & dimensions and party/corridor wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all

wall surface where space allows, unless noted

- 7. Offset door rough opening min, 75mm from adjacent
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture
- and appliance specifications prior to fabrication. 10.Provide millwork shop drawings to Architect for review
- and comment prior to fabrication. 11. Provide appropriate solid blocking in walls for cabinetry,
- countertops and wall hung hardware.
- 12. Cabinets to be frameless, flat panel HPL. 13. Provide finished end panels at exposed ends of
- cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable shelves.
- 15.Install neoprene isolator pads under all laundry appliances.
- 16.Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all edges. 17.Insulate all exposed sink pipes and drains. Offset for
- ADA clearance where required.
- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- 19.Brushed stainless steel elevator door, frame & call button base.
- 20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.







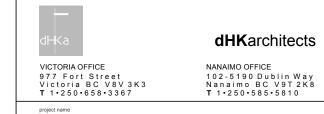




KEY PLAN

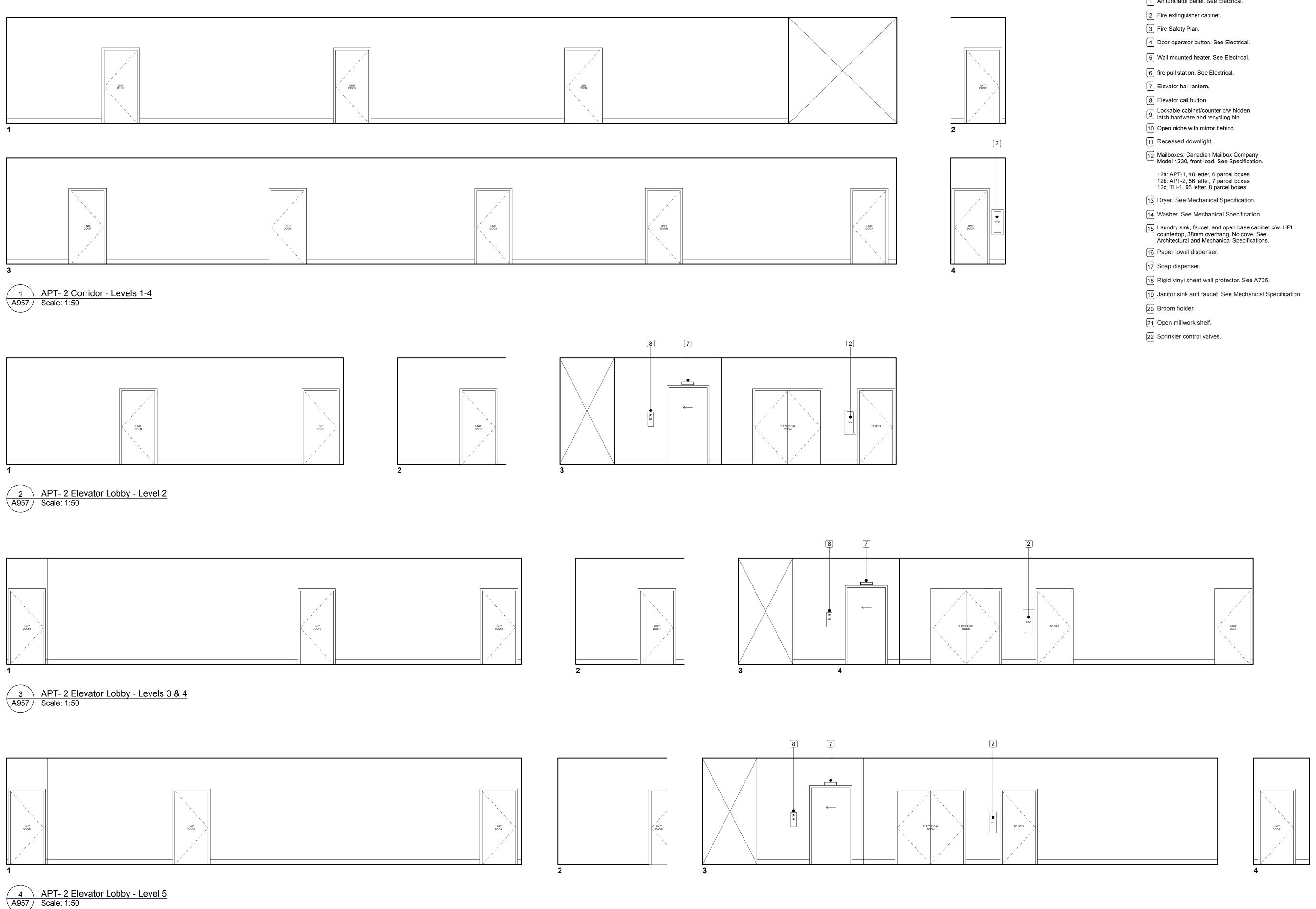
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		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
scale	•	1:50	project number	1907

NOTE: All dimensions are shown in millimeters.



Caledonia Victoria BC

APT-2 Common Interior Elevations



COMMON AREA KEY NOTES

1 Annunciator panel. See Electrical.

GENERAL NOTES - COMMON AREAS

1. All dimensions are metric and shown in millimeters.

Interior dimensions are from grid lines to centre of walls,

unless noted otherwise.

unless noted otherwise.

3. Contractor to verify all dimensions and confirm same on

site. Architect to be notified in case of any discrepancies.

4. All interior partitions are type W1, unless noted otherwise.

5. For exterior wall types & dimensions and party/corridor

wall dimensions, refer to Floor Plans A201-A241.

See Architectural Schedules and Specification for all finishes.

Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted

8. Confirm all dimensions on site prior to fabrication.

otherwise.

Shop drawings must be coordinated with final fixture

and appliance specifications prior to fabrication.

 Provide millwork shop drawings to Architect for review and comment prior to fabrication.

11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.

12.Cabinets to be frameless, flat panel HPL.

Provide finished end panels at exposed ends of cabinetry.

14.Open shelves finished with HPL. Provide fully adjustable shelves.

15.Install neoprene isolator pads under all laundry appliances.

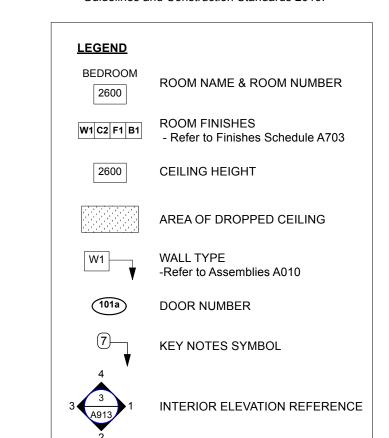
16.Provide cut-outs in countertops for all sinks and plumbing fixtures to templates provided. Seal all edges.

17.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.

18.Install extruded aluminum trim at all exposed floor and wall tile edges.

19.Brushed stainless steel elevator door, frame & call button base.

20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.

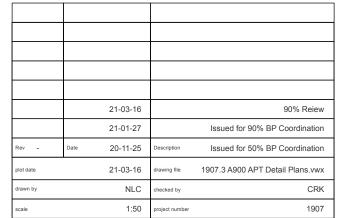




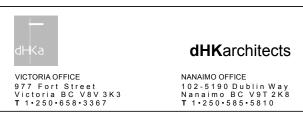








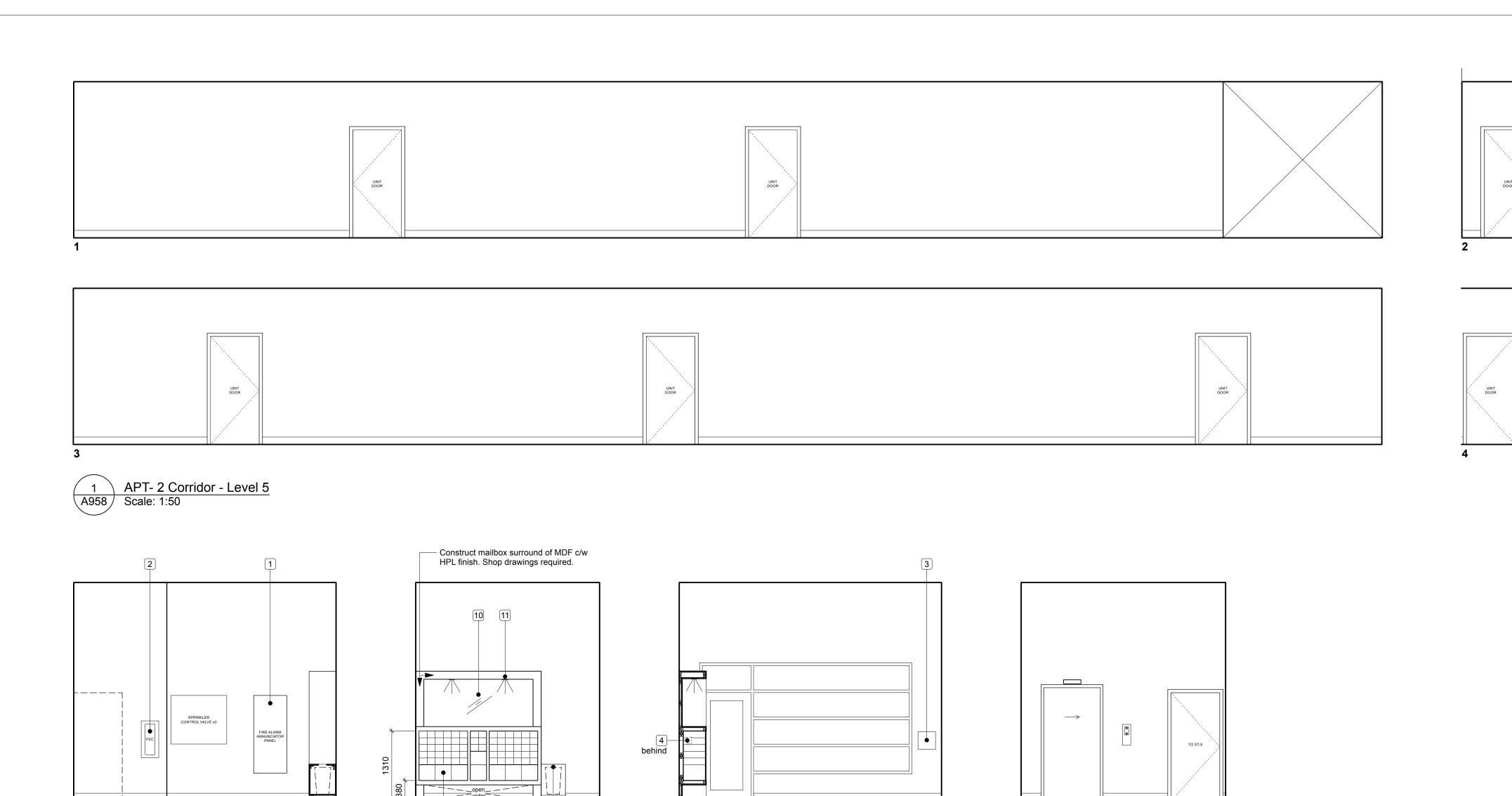
NOTE: All dimensions are shown in millimeters.



Caledonia
Victoria BC

APT-2 Common Interior Elevations

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2 TH-1 Lobby A958 Scale: 1:50



- 1 Annunciator panel. See Electrical.
- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- 4 Door operator button. See Electrical.
- 6 fire pull station. See Electrical.

- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- 10 Open niche with mirror behind.

- 12a: APT-1, 48 letter, 6 parcel boxes 12b: APT-2, 56 letter, 7 parcel boxes 12c: TH-1, 66 letter, 8 parcel boxes
- 14 Washer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.
- 16 Paper towel dispenser.
- 17 Soap dispenser.

- 21 Open millwork shelf.
- 22 Sprinkler control valves.

COMMON AREA KEY NOTES

- [5] Wall mounted heater. See Electrical.

- 7 Elevator hall lantern.
- 8 Elevator call button.
- [11] Recessed downlight.
- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
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- 18 Rigid vinyl sheet wall protector. See A705.
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- GENERAL NOTES COMMON AREAS
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- 5. For exterior wall types & dimensions and party/corridor

discrepancies.

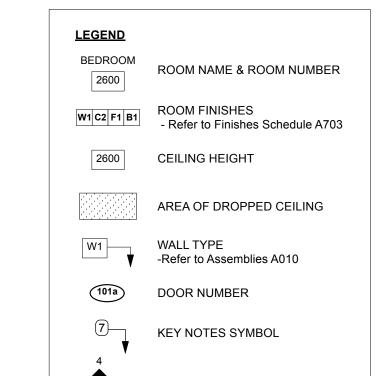
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all

wall surface where space allows, unless noted

- 7. Offset door rough opening min, 75mm from adjacent
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- and comment prior to fabrication. 11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.

10.Provide millwork shop drawings to Architect for review

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- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
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- 20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.







KEY PLAN



INTERIOR ELEVATION REFERENCE



		21-03-16		90% Reiew
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

NOTE: All dimensions are shown in millimeters.



VICTORIA OFFICE
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Caledonia

Victoria BC APT-2 & TH-1 Interior Elevations

Capital Region Housing Corporation Caledonia Affordable Housing Society

Project

Capital Budget

Date

08-Sep-21 1211 Gladstone Ave - 1230 Grant St Address

Budget Code		
#	Budget Description	Total Budget
12100	APPRAISALS/ STUDIES	
	Total Appraisals/ Studies	\$40,000
12150	ACQUISITION/ SERVICING	
	Total Acquisition and Servicing	\$5,868,061
12200	MUNICIPAL FEES	
	Total Municipal Fees	\$794,137
12250	UTILITY FEES	
	Total Utility Fees	\$360,000
12350	DESIGN CONSULTANTS	
	Total Design Consultants	\$1,340,760
12450	CONSULTANTS	
	Total Consultants	\$2,459,015
12550	MISCELLANEOUS SOFT COSTS	
	Total Miscellaneous Soft Costs	\$1,315,500
12650	BORROWING COSTS	
	Total Borrowing Costs	\$894,788
12700	CONSTRUCTION	
	Total Construction	\$45,261,078
12800	BUILDING START-UP/ COMMISSIONING	
	Total Building Start-up/ Commissioning	\$163,000
12850	CONTINGENCIES	
	Total Contingencies	\$5,883,940
	GROSS CAPITAL BUDGET	\$64,380,279
12900	DEDUCTIONS	Ţ :, : 30, <u>2</u> : 0
12910	Land Equity	\$0
12922	CRHC Equity	\$1,000,000
12945	BCH Grant	\$18,475,000
12922	Additional Equity VHRF	\$1,065,000
	Total Deductions	\$20,540,000
	NET CAPITAL BUDGET	\$43,840,279

Society Project

Capital Region Housing Corporation

158-Unit Caledonia Affordable Housing Project

Last modified: September 7, 2021
Modified by: Rob Fowles
Template version: March 11, 2021

Existing Cal Town	house RGI Units
2 Beds	10
3 Beds	4
4 Beds	4

UNITS AT A GLANCE:						
	Shelter	RGI	Affordable	Total units	Area (sq. ft.)	Total area
Studio	14	-	-	14		-
1 Bedroom	11	26	8	45		-
1 Bedroom + den	-	-	-	-		-
2 Bedrooms	5	44	28	77		-
2 Bedroom + den	-	-	-	-		<u>-</u>
3 Bedrooms	1	4	9	14		_
4 Bedrooms	-	4	4	8		-
Total	31	78	49	158		137,262
Type mix	19.6%	49.4%	31.0%			

FINANCES AT A GLANCE:	
Project costs	
Purchase price	4,300,000
Other closing costs	59,641,266
Other financing costs	439,013
	64,380,279
Project funding	
CMHC equity	18,475,000
CRD equity	1,000,000
RHTF grant	1,065,000
CRHC mortgage	43,840,279
	64,380,279
Cost per unit	407,470
Cost per square foot	469

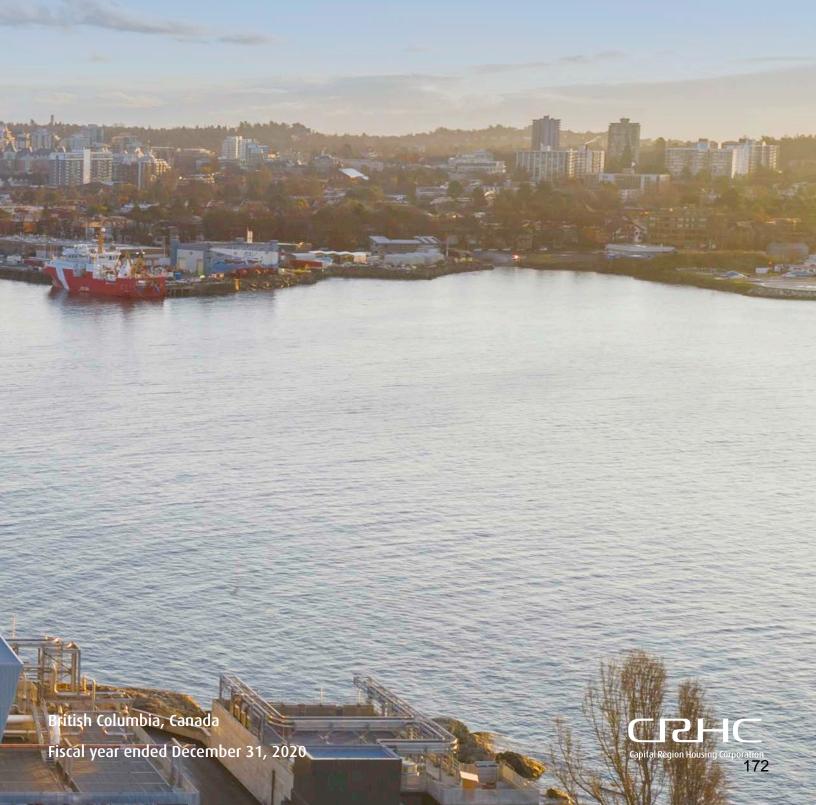
<u>REVENUE</u>

Unit type	Unit size	Qty	Qty accessible	Starting rent	Inflation	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Shelter	Studio	14		375	0.0%	63,000	63,000	63,000	63,000	63,000	63,000	63,000	63,000	63,000	63,000
Shelter	1 Bedroom	11	7	375	0.0%	49,500	49,500	49,500	49,500	49,500	49,500	49,500	49,500	49,500	49,500
Shelter	2 Bedrooms	5	5	570	0.0%	34,200	34,200	34,200	34,200	34,200	34,200	34,200	34,200	34,200	34,200
Shelter	3 Bedrooms	1	1	660	0.0%	7,920	7,920	7,920	7,920	7,920	7,920	7,920	7,920	7,920	7,920
Shelter	4 Bedrooms	_		700	0.0%	-	-	-	-	-	-	-	-	-	-
19.6%		31	13												
RGI	Studio	-		744	2.0% 2.0%	-	-	-	-	-	-	-	-	-	-
RGI	1 Bedroom	26		744		232,128	236,771	241,506	246,336	251,263	256,288	261,414	266,642	271,975	277,414
RGI	2 Bedrooms	44	2	980	2.0%	517,440	527,789	538,345	549,111	560,094	571,296	582,721	594,376	606,263	618,389
RGI	3 Bedrooms	4		1,321	2.0%	63,408	64,676	65,970	67,289	68,635	70,008	71,408	72,836	74,293	75,778
RGI	4 Bedrooms	4		1,479	2.0%	70,992	72,412	73,860	75,337	76,844	78,381	79,949	81,547	83,178	84,842
49.4%		78	2												
Affordable	Studio	-		1,200	2.0%	-	-	-	-	-	-	-	-	-	-
Affordable	1 Bedroom	8		1,500	2.0%	144,000	146,880	149,818	152,814	155,870	158,988	162,167	165,411	168,719	172,093
Affordable	2 Bedrooms	28		1,800	2.0%	604,800	616,896	629,234	641,819	654,655	667,748	681,103	694,725	708,620	722,792
Affordable	3 Bedrooms	9		2,100	2.0%	226,800	231,336	235,963	240,682	245,496	250,406	255,414	260,522	265,732	271,047
Affordable	4 Bedrooms	4		2,400	2.0%	115,200	117,504	119,854	122,251	124,696	127,190	129,734	132,329	134,975	137,675
31.0%		49	-												
	Unit totals	158	15		Total rental revenue	2,129,388	2,168,883	2,209,169	2,250,260	2,292,172	2,334,923	2,378,530	2,423,008	2,468,375	2,514,651
	% accessible		9%												
Less Vacancy-Rent				Γ	2.0%	(42,588)	(43,378)	(44,183)	(45,005)	(45,843)	(46,698)	(47,571)	(48,460)	(49,368)	(50,293)
Parking \$30 pspm		118	30	42,480	2.0%	42,480	43,330	44,196	45,080	45,982	46,901	47,839	48,796	49,772	50,768
Less Vacancy - Parking					2.0%	(850)	(867)	(884)	(902)	(920)	(938)	(957)	(976)	(995)	(1,015)
Operating Subsidy		158	530		0.0%	1,004,880	982,689	960,225	937,312	913,940	890,101	865,785	840,983	815,684	789,880
				E	ffective gross revenue	3,133,311	3,150,658	3,168,523	3,186,745	3,205,331	3,224,289	3,243,627	3,263,351	3,283,469	3,303,990

EXPENSES

EXPENSES														
		Months to												
Per unit per month	PUPM (now)	completion	Inflated PUPM	Inflation	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Overhead allocation	100	36	106	2.0%	201,314	205,340	209,447	213,636	217,909	222,267	226,712	231,247	235,872	240,589
Replacement Reserve	72	36	76	2.0%	144,946	147,845	150,802	153,818	156,894	160,032	163,233	166,498	169,828	173,224
Caretaker	85	36	90	2.0%	171,117	174,539	178,030	181,591	185,223	188,927	192,706	196,560	200,491	204,501
Insurance	70	36	74	2.0%	140,920	143,738	146,613	149,545	152,536	155,587	158,699	161,873	165,110	168,412
Water	22	36	23	2.0%	44,289	45,175	46,078	47,000	47,940	48,899	49,877	50,874	51,892	52,930
Electricity	25	36	27	2.0%	50,329	51,335	52,362	53,409	54,477	55,567	56,678	57,812	58,968	60,147
Natural gas	8	36	8	2.0%	16,105	16,427	16,756	17,091	17,433	17,781	18,137	18,500	18,870	19,247
Landscaping	5 _	36	5 [2.0%	10,066	10,267	10,472	10,682	10,895	11,113	11,336	11,562	11,794	12,029
Maintenance	30	36	32	2.0%	60,394	61,602	62,834	64,091	65,373	66,680	68,014	69,374	70,761	72,177
Garbage	18	36	19	2.0%	36,237	36,961	37,701	38,455	39,224	40,008	40,808	41,624	42,457	43,306
Property Tax		36	-	2.0%	-	-	-	-	-	-	-	-	-	-
Total operating expenses	435		462		875,717	893,231	911,096	929,317	947,904	966,862	986,199	1,005,923	1,026,042	1,046,562
% of Gross revenue					28%	28%	29%	29%	30%	30%	30%	31%	31%	32%
				Net Operating Income	2,257,594	2,257,427	2,257,427	2,257,427	2,257,427	2,257,427	2,257,427	2,257,428	2,257,427	2,257,427
			Annual debt service	(mortgage payments) Cash Flow	2,257,427 167	2,257,427 (0)	2,257,427 (0)	2,257,427 0	2,257,427 (0)	2,257,427 0	2,257,427 0	2,257,427 0	2,257,427 (0)	2,257,427 0
		Debt s	ervice coverage (mu	st be greater than 1.0)	1.000	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00





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INDEPENDENT AUDITORS' REPORT

To the Shareholder of the Capital Region Housing Corporation

Opinion

We have audited the financial statements of the Capital Region Housing Corporation (the Corporation), which comprise:

- the statement of financial position as at December 31, 2020
- the statement of operations for the year then ended
- the statement of changes in net assets and remeasurement gains and losses for the year then ended
- · the statement of cash flows for the year then ended
- and notes to the financial statements, including a summary of significant accounting policies

(Hereinafter referred to as the "financial statements").

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of the Corporation as at December 31, 2020, and its results of operations, its changes in net assets and remeasurement gains and losses, and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "Auditors' Responsibilities for the Audit of the Financial Statements" section of our auditors' report.

We are independent of the Corporation in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Other Information

Management is responsible for the other information. Other information comprises:

• the information, other than the financial statements and the auditors' report thereon, included in the Annual Report.

Our opinion on the financial statements does not cover the other information and we do not and will not express any form of assurance conclusion thereon.

In connection with our audit of the financial statements, our responsibility is to read the other information identified above and, in doing so, consider whether the other information is materially inconsistent with the financial statements or our knowledge obtained in the audit and remain alert for indications that the other information appears to be materially misstated.

We obtained the information, other than the financial statements and the auditors' report thereon, included in the Annual Report as at the date of this auditors' report.

If, based on the work we have performed on this other information, we conclude that there is a material misstatement of this other information, we are required to report that fact in the auditors' report.

We have nothing to report in this regard.

Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Corporation's ability to continue as a going concern, disclosing as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Corporation or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Corporation's financial reporting process.

Auditors' Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.



We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.
 - The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Corporation's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Corporation's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditors' report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditors' report. However, future events or conditions may cause the Corporation to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

Chartered Professional Accountants

Victoria, Canada May 12, 2021

LPMG LLP

KPMG LLP is a Canadian limited liability partnership and a member firm of the KPMG network of independent member firms affiliated with KPMG International Cooperative ("KPMG International"), a Swiss entity. KPMG Canada provides services to KPMG LLP.



Capital Region Housing Corporation

MANAGEMENT REPORT

The Financial Statements contained in this report have been prepared by management in accordance with Canadian public sector accounting standards. The integrity and objectivity of these statements are management's responsibility. Management is also responsible for all the statements and schedules, and for ensuring that this information is consistent, where appropriate, with the information contained in the financial statements.

Management is also responsible for implementing and maintaining a system of internal controls to provide reasonable assurance that reliable financial information is produced.

The Capital Region Housing Corporation Board of Directors are responsible for approving the financial statements and for ensuring that management fulfills its responsibilities for financial reporting and internal control and exercises this responsibility through the Hospitals and Housing Committee of the Board.

The external auditors, KPMG LLP, conduct an independent examination, in accordance with Canadian public sector accounting standards, and express their opinion on the financial statements. Their examination includes a review and evaluation of the Corporation's system of internal control and appropriate tests and procedures to provide reasonable assurance that the financial statements are presented fairly. The external auditors have full and free access to staff and management. The Independent Auditors' Report outlines the scope of the audit for the year ended December 31, 2020.

On behalf of Capital Region Housing Corporation,

Nelson Chan, MBA, FCPA, FCMA

Chief Financial Officer

May 12, 2021

Statement of Financial Position

As at December 31, 2020

	2020	2019
Assets		
Current assets:		
Cash and cash equivalents (Note 2)	\$ 6,961,868	\$ 6,778,570
Accounts receivable	642,886	483,154
Due from Capital Regional Hospital District	-	80,726
Prepaid expenses	541,333	391,831
	8,146,087	7,734,281
Cash and cash equivalents restricted for replacement reserve (Note 2)	5,934,450	5,116,400
Restricted cash held by BCHMC	-	478,892
Capital assets (Note 3 and Schedule C)	161,085,348	99,934,869
	\$ 175,165,885	\$ 113,264,442
Liabilities and Net Assets		
Current liabilities:		
Accounts payable and accrued liabilities	1,014,548	2,684,758
Accrued mortgage interest	209,964	229,824
Due to Capital Regional District	104,454	21,539
Deferred revenue	704,008	670,815
Security deposits	795,281	636,614
Short-term capital financing (Note 9)	61,277,457	2,344,958
Mortgages payable principal current portion (Schedule D)	4,828,667	4,568,934
Mortgages payable principal renewal portion (Note 4 and Schedule D)	3,189,847	8,840,245
	72,124,226	19,997,687
Mortgages payable (Note 4 and Schedule D)	71,844,896	64,173,151
Capital stock (Note 5)	1	1
Net assets:		
Invested in capital assets (Note 6)	21,351,990	20,840,337
Externally restricted (Note 7)	8,587,302	7,504,594
Internally restricted (Note 7)	623,382	306,064
Unrestricted: Corporation stabilization reserve (Note 8)	498,122	658,224
	31,060,796	29,309,219
Accumulated remeasurement losses	135,966	(215,616)
	31,196,762	29,093,603
Commitments and contingencies (Note 9)		
Subsequent events (Note 12)		
	\$ 175,165,885	\$ 113,264,442

See accompanying notes to the financial statements.

On behalf of the Board:

Statement of Operations

For the year ended December 31, 2020

	Operating Funds		Restrict	ed Funds		
	Corporation	Rental Housing	Capital Fund	Replacement Reserve Fund	Total 2020	Total 2019
Revenues:						
Tenant rent contributions	\$ -	\$14,483,146	-	\$ -	\$14,483,146	\$ 13,352,66
BCHMC rent subsidy assistance	-	359,792	-	-	359,792	326,49
BCHMC umbrella operating agreement funding	-	3,118,951	-	-	3,118,951	3,348,03
Rental management fees	1,736,610	-	-	-	1,736,610	1,505,34
Rental management fees - other	80,682	-	-	-	80,682	89,32
Investment income	78,422	-	45,427	148,084	271,933	303,91
Guest suites, net	(1,774)	-	-	-	(1,774)	1,32
Miscellaneous	55,890	137,626	-	-	193,516	172,24
Project management fees	273,690	-	-	-	273,690	276,00
Government contributions (Note 9)	-	-	660,000	-	660,000	5,821,26
	2,223,520	18,099,515	705,427	148,084	21,176,546	25,196,610
Expenses:						
Administration and property management	2,255,667	-	-	-	2,255,667	1,959,88
Amortization - office equipment and vehicles	-	-	8,970	-	8,970	11,21
Amortization - buildings and equipment	-	-	5,317,385	-	5,317,385	5,438,88
Amortization - prepaid leases	-	-	902,205	-	902,205	816,83
Property taxes	-	295,670	-	-	295,670	306,31
Insurance	-	845,756	-	-	845,756	632,84
Maintenance	-	949,823	-	-	949,823	1,031,41
Caretakers	-	1,513,770	-	-	1,513,770	1,246,12
Landscape	-	378,861	-	-	378,861	372,71
Electricity	-	264,704	-	-	264,704	323,56
Land and improvement leases	-	294,000	-	-	294,000	294,00
Water	-	1,090,990	-	-	1,090,990	977,21
Oil and gas	-	96,251	-	-	96,251	86,49
Garbage	-	286,381	-	-	286,381	265,33
Rental management fee	-	1,735,790	-	-	1,735,790	1,504,61
Audit and legal	-	31,381	-	-	31,381	28,21
Miscellaneous	-	35,745	-	-	35,745	66,13
Hospitality services (Parry Place)	-	293,690	_	-	293,690	290,26
Interest on mortgages payable	-	2,127,930	_	-	2,127,930	2,209,67
Repayment of BCHMC capital contribution	-	-	700,000	-	700,000	-
	2,255,667	10,240,742	6,928,560	-	19,424,969	17,861,710
Excess (deficiency) of revenues over expenses before:	(32,147)	7,858,773	(6,223,133)	148,084	1,751,577	7,334,90
Reimburse BCHMC subsidy overpayments	-	-	-	-	-	(5,047
Excess (deficiency) of revenues over expenses	\$ (32,147)	\$ 7,858,773	6 (6,223,133)	\$ 148,084	\$ 1,751,577	\$ 7,329,853

See accompanying notes to the financial statements.

Statement of Changes in Net Assets & Remeasurement Gains & Losses

For the year ended December 31, 2020

		Operatir	ng	Funds	Restrict	Funds Replacement			
	Co	orporation		Rental Housing	Capital Fund	 Reserve Fund	emeasurement ains / (Losses)	Total 2020	Total 2019
Net assets, beginning of year	\$	826,544	\$	2,525,938	\$ 20,840,337	\$ 5,116,400	\$ (215,616)	\$29,093,603	\$21,718,174
Excess (deficiency) of revenues over expenses		(32,147)		7,858,773	(6,223,133)	148,084	-	1,751,577	7,329,853
Interfund transfers: Mortgage principal									
repayments Replacement reserve		-		(5,092,006)	5,092,006	-	-	-	-
transfers		-		(2,327,500)	-	2,327,500	-	-	-
Replacement reserve expenditures Rental housing fund		-		-	1,657,534	(1,657,534)	-	-	-
transfers		(135,082)		149,836	(14,754)	-	-	-	-
		(135,082)		(7,269,670)	6,734,786	669,966	-	-	-
Unrealized gain (loss) on investments		-		-	-	-	351,582	351,582	45,576
Net assets, end of year	\$	659,315	\$	3,115,041	\$ 21,351,990	\$ 5,934,450	\$ 135,966	\$31,196,762	\$29,093,603

See accompanying notes to the financial statements.

Statement of Cash Flows

For the year ended December 31, 2020

	2020	2019
Cash provided by (used in):		
Operating activities:		
Excess of revenues over expenses	\$ 1,751,577 \$	7,329,853
Items not involving cash:		
Amortization	6,228,560	6,266,923
Changes in non-cash assets and liabilities:		
(Increase) in accounts receivable	(159,732)	(223,470)
Decrease (increase) in due from Capital Regional Hospital District	80,726	(80,726)
(Increase) in inventory and prepaid expenses	(149,502)	(155,228)
Increase (decrease) in accounts payable and accrued liabilities	(1,670,210)	1,585,256
Increase (decrease) in accrued mortgage interest	(19,860)	72,789
Increase in deferred revenue	33,193	37,488
Increase in security deposits	158,667	113,106
Increase (decrease) due to Capital Regional District	82,915	(145,996)
Net change in cash from operating activities	6,336,334	14,799,995
Investing activities:		
Decrease in restricted cash and cash equivalents	12,424	199,256
Capital activities:		
Acquisition of capital assets	(67,379,039)	(47,445,874)
Net change in cash from capital activities	(67,379,039)	(47,445,874)
Financing activities:		
Repayment of mortgages payable	(5,092,006)	(5,193,349)
Proceeds from short term debt	61,277,457	2,344,958
Proceeds from long term debt	5,028,128	35,499,184
	61,213,579	32,650,793
Net change in cash and cash equivalents	183,298	204,170
Cash and cash equivalents, beginning of year	6,778,570	6,574,400
Cash and cash equivalents, end of year	\$ 6,961,868 \$	6,778,570

See accompanying notes to the financial statements.

Capital Region Housing Corporation

Notes to Financial Statements

For the year ended December 31, 2020

General

The Capital Region Housing Corporation (the "Corporation") is incorporated under the laws of British Columbia and its principal activity is the provision of rental accommodation. As a wholly owned subsidiary of the Capital Regional District ("CRD"), the Corporation is exempt from taxation under the Income Tax Act and is regarded as a municipality for GST purposes.

1. Significant Accounting Policies

The financial statements have been prepared in accordance with Canadian Public Sector Accounting Standards including the 4200 standards for government not-for-profit organizations.

a. **Revenue Recognition**

The Corporation follows the restricted fund balance method of accounting for contributions. Unrestricted contributions are recognized as revenue of the Operating Fund in the year received or receivable if the amount to be received can be reasonably estimated and collection is reasonably assured. Restricted contributions related to general operations are recognized as revenue of the Operating Fund in the year to which the funding relates. All other restricted contributions are recognized as revenue of the appropriate restricted fund in the year received or receivable.

b. **Fund Accounting**

i. **Operating Funds**

The Operating Funds reflect the Corporation's assets, liabilities and transactions relating to the ongoing rental and non-rental operations ("Corporation"). In accordance with the agreements with British Columbia Housing Management Commission (BCHMC), a Portfolio Stabilization Reserve has been established for each portfolio's accumulated operating surplus. The Corporation has also established a reserve for the No Operating Agreement portfolio. These reserves are used in the event that annual rental revenues and government subsidies are inadequate to meet the portfolio's mortgage payments and operating costs. The Corporation can also contribute funds from these reserves to the Replacement Reserve Fund, if required. At the discretion of the Board, the unrestricted Corporate Stabilization Reserve provides funding for administration and special projects.

ii. **Capital Fund**

The Capital Fund reflects the Corporation's investment in capital assets and related financial activities.

iii. Replacement Reserve Fund

In accordance with the agreements with BCHMC, a Replacement Reserve Fund has been established for each building to pay for the replacement of worn-out capital equipment and other approved items. The Replacement Reserves are funded by an annual transfer from the Rental Housing Operating Fund. Capital expenditures made from the reserve are transferred to the Capital Fund.

c. Capital Assets

Land, buildings, equipment and vehicles are stated at cost. Amortization over their estimated useful lives is provided on the straight-line basis at the following rates:

Asset	Rate
Prepaid leases	29-60 Years
Buildings	35 Years
Equipment	10 Years
Vehicles	5 Years

All transfers from the Replacement Reserve Fund and office equipment are stated at cost and amortization is provided on the declining balance basis at 20% per annum.

Amortization is charged upon the asset becoming available for productive use in the year of acquisition.

Capital assets are written down when conditions indicate that they no longer contribute to the Corporation's ability to provide goods and services or when the value of the future economic benefits associated with the asset is less than the book value of the asset.

d. Debt Retirement

Payment of principal on long-term debt is funded by a transfer from the Rental Housing Operating Fund to the Capital Fund.

e. Operating Agreements

i. Umbrella

Effective April 1, 2012, the Corporation signed a thirty-three month Interim Umbrella Operating Agreement (the "Umbrella Agreement") with BCHMC to consolidate three operating agreements to reduce administrative duplication, allow the Corporation more flexibility to determine priorities for the portfolio maintenance and management and create a stable and predictable funding stream for the Corporation. In addition, the parties agreed to work together to develop a long-range capital planning tool to enable the Corporation and BCHMC to determine the capital replacement needs of the portfolio for the next thirty years and to negotiate on the transfer of the land ownership of the BCHMC projects from the Provincial Rental Housing Corporation to the Corporation. The final agreement was signed on December 2, 2014 with an effective date of January 1, 2015, for a five year term, and was renewed in December 2019 for an additional five year term ending 2024.

Effective August 17, 2020, the Umbrella Agreement was modified to remove three properties, Portage Place, Campus View Court, and Royal Oak Square, whose mortgages had matured and

e. Operating Agreements (continued)

i. Umbrella (continued)

which were originally part of the CMHC Agreement described below. The properties were moved to the CRHC No Operating Agreement portfolio and their corresponding Replacement Reserve balances were moved to the CRHC No Operating Agreement Replacement Reserve. No transfers were made between Portfolio Stabilization Reserves. As a result of this change, the Umbrella Agreement now contains 39 buildings and 1,142 units.

Except as modified by the Umbrella Agreement, all provisions of the original three operating agreements with CMHC, BCHMC and Homes BC will continue to apply to each project in the portfolio.

a) CMHC

Prior to April 1, 2012 the Corporation had entered into agreements with CMHC pursuant to Section 95 (formerly Section 56.1) of the National Housing Act whereby CMHC will provide mortgage assistance grants to the Corporation that reduce interest costs to not less than 2% on all mortgages payable. As of January 1, 2005 when a mortgage loan is renewed the mortgage assistance grants shall increase or decrease by the same dollar amount as the monthly loan payment of principal and interest changes.

b) BCHMC

Prior to April 1, 2012 the Corporation had entered into agreements with BCHMC whereby BCHMC, on behalf of the Provincial and Federal governments, will provide rent subsidy assistance equal to the BCHMC approved difference between tenant rent contributions and BCHMC defined economic rents.

c) Homes BC Program

Prior to April 1, 2012 the Corporation had entered into agreements with BCHMC under the unilaterally funded Homes BC Program. The Provincial Government agrees to provide rent subsidy assistance for Rent Geared to Income (RGI) units (approximately 60% of total units) based on the difference between the tenant rent contribution and the approved economic rents. The Province also agrees to provide Repayable Assistance equal to the difference between the economic and the approved low-end of market rents for the remaining units.

ii. Independent Living BC II Program

The Corporation has entered into an agreement with BCHMC under the unilaterally funded Independent Living BC II Program. The Provincial Government agrees to provide subsidy assistance for shelter and defined hospitality costs based on the difference between seventy percent (70%) of the residents' net income and the approved operating budget.

e. Operating Agreements (continued)

iii. Regional Housing First Program

The Regional Housing First Program (RHFP) is a partnership between the Provincial and Federal governments and the CRD to provide capital funding to affordable housing projects in the region. The Corporation has entered into a 40-year agreement with BCHMC on behalf of the RHFP whereby the Corporation provides shelter-rate and affordable rents to low and moderate income tenants.

iv. Investment in Housing Innovation Program

The Corporation has entered into a 40-year agreement with BCHMC under the Investment in Housing Innovation (IHI) program. Capital funding was provided in the form of a forgivable loan to facilitate the construction of the Westview building. No other financial contribution will be received to subsidize the ongoing operation of the building.

v. CRHC No Operating Agreement

This category includes buildings that receive no mortgage assistance or rent subsidy assistance. Tenant rent contributions are determined by the Corporation.

f. Allocation of Investment Income

Funds available for investment are pooled and interest revenue is allocated to restricted funds at the rate of average prime minus 0.11% (2019: average prime minus 0.45%).

g. Financial Instruments

Financial instruments are recorded at fair value on initial recognition. Derivative instruments, bonds and equity instruments that are quoted in an active market are subsequently reported at fair value. All other financial instruments are subsequently recorded at cost or amortized cost unless management has elected to carry the instruments at fair value. The Corporation has not elected to carry any other such financial instruments at fair value.

Unrealized changes in fair value are recognized in the statement of remeasurement gains and losses until they are realized, when they are transferred to the statement of operations.

Transaction costs incurred on the acquisition of financial instruments measured subsequently at fair value are expensed as incurred. All other financial instruments are adjusted by transaction costs incurred on acquisition and financing costs, which are amortized using the straight-line method.

g. Financial Instruments (continued)

All financial assets are assessed for impairment on an annual basis. When a decline is determined to be other than temporary, the amount of the loss is reported in the statement of operations and any unrealized gain is adjusted through the statement of remeasurement gains and losses.

h. Use of Estimates

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Significant estimates and assumptions include amortization of capital assets. Actual results could differ from those estimates.

2. Cash and Cash Equivalents

Cash and cash equivalents have a maturity of three months or less at acquisition and are held for the purpose of meeting short-term cash commitments. Included in cash and cash equivalents are investments in the Municipal Finance Authority of British Columbia (MFA) Short Term Bond and Money Market Funds. See Schedule A for details of cash and cash equivalents restricted for replacement reserve.

3. Capital Assets

December 31, 2020	Cost	Accumulated Amortization	Net Book Value
Land	\$ 9,496,053	\$ -	\$ 9,496,053
Prepaid leases	109,499,053	7,233,959	102,265,094
Buildings	122,362,585	81,567,634	40,794,951
Equipment and other	38,956,747	30,427,497	8,529,250
	\$ 280,314,438	\$ 119,229,090	\$ 161,085,348

December 31, 2019	Cost	Accumulated Amortization	Ne	et Book Value
Land	\$ 9,496,053	-	\$	9,496,053
Prepaid leases	48,030,167	6,331,754		41,698,413
Buildings	118,109,960	78,387,702		39,722,258
Equipment and other	37,299,219	28,281,074		9,018,145
	\$ 212,935,399	\$ 113,000,530	\$	99,934,869

4. Mortgages Payable

Pursuant to Section 5 of the National Housing Act, CMHC has undertaken to insure all mortgages payable by the Corporation except the mortgages on Village on the Green and Vergo. As additional security, the mortgagers hold chattel mortgages and assignments of rent.

Principal due within each of the next five years on these mortgages is approximately as follows:	ssuming no mortgage renewal	Assuming mortgage renewal
2021	\$ 8,018,514	\$ 4,901,224
2022	7,926,882	4,872,303
2023	5,410,602	4,927,348
2024	12,068,342	4,745,516
2025	\$ 6,425,327	\$ 4,291,919

Interest on mortgages ranges from 0.68% to 3.50% with renewal dates February 1, 2021 to September 1, 2030 and maturity dates from February 1, 2021 to September 1, 2055.

5. Capital Stock

Authorized capital:

2,000 shares with par value of \$1 each

Issued capital:

1 share of \$1 par value, owned by the Capital Regional District.

6. Invested in Capital Assets

Investment in capital assets is calculated as follows:

	December 31, 2020	December 31, 2019
Capital assets	\$ 161,085,348	\$ 99,934,869
Accounts receivable	454,156	202,254
Interfund due (to)/from rental housing operating fund	953,353	151,610
Restricted cash	-	478,892
Mortgages payable	(79,863,410)	(77,582,330)
Short-term loan	(61,277,457)	(2,344,958)
	\$ 21,351,990	\$ 20,840,337

7. Restricted Net Assets

Externally restricted net assets:

	De	ecember 31, 2020	December 31, 2019		
Replacement reserve fund	\$	5,934,450	\$	5,116,400	
CMHC/BCHMC/Homes BC operating agreements		(3,949)		(3,948)	
Portfolio stabilization reserve - umbrella agreement		2,588,625		2,472,613	
Portfolio stabilization reserve - ILBC2 agreement		(38,827)		(80,509)	
Portfolio stabilization reserve - RHFP agreement		(13,589)		38	
Portfolio stabilization reserve - IHI		120,592		-	
	\$	8,587,302	\$	7,504,594	

Internally restricted net assets:

	Dec	ember 31, 2020	December 31, 2019		
Portfolio stabilization reserve - no operating agreement	\$	462,189	\$	137,744	
Guest suite surplus		36,425		38,199	
Vehicle replacement reserve		94,584		92,142	
Equipment replacement reserve		30,184		37,979	
	\$	623,382	\$	306,064	

Rental housing operating fund balance:

	De	cember 31, 2020	D€	ecember 31, 2019
Portfolio stabilization reserve - umbrella agreement	\$	2,588,625	\$	2,472,613
Portfolio stabilization reserve - ILBC2 agreement		(38,827)		(80,509)
Portfolio stabilization reserve - RHFP agreement		(13,589)		38
Portfolio stabilization reserve - IHI		120,592		-
Portfolio stabilization reserve - no operating agreement		462,189		137,744
CMHC/BCHMC/Homes BC operating agreements		(3,949)		(3,948)
	\$	3,115,041	\$	2,525,938

8. Unrestricted Net Assets

Unrestricted net assets - corporation stabilization reserve:

	Dec	ember 31, 2020	De	cember 31, 2019
Operating net assets, ending balance	\$	659,315	\$	826,544
Less: Internally restricted net assets				
Guest suite surplus		(36,425)		(38,199)
Vehicle replacement reserve		(94,584)		(92,142)
Equipment replacement reserve		(30,184)		(37,979)
	\$	498,122	\$	658,224

9. Commitments and Contingencies

a. Related Party Transactions

The Corporation is a wholly owned subsidiary of the Capital Regional District (CRD). In 1997, the Corporation committed to a sixty year prepaid land lease at 625 Superior Street from the CRD at the agreed upon price of \$525,000 which was recognized as an acquisition in the Corporation Capital Fund. In 2017, the Corporation committed to a sixty year land lease at 3816 Carey Road from the CRD for one dollar, with the land use restricted to affordable housing.

In 2018, a RHFP project management office was created to support the delivery of the Program. During the year the Corporation contributed \$63,520 (2019: \$62,275) to the CRD, to cost share in administrative support and project management services.

On January 25, 2019, as part of the RHFP, the CRD purchased Millstream Ridge and entered into a 60-year prepaid lease in the amount of \$33,250,194 and a 35-year operator agreement with the Corporation. The Corporation secured 35-year mortgage financing to fund the prepaid lease.

On November 2, 2020, as part of the RHFP, the CRD purchased West Park and entered into a 60-year prepaid lease in the amount of \$29,430,822 and a 35-year operator agreement with the Corporation. The CRD's Regional Housing Trust Fund provided a capital grant to the Corporation in the amount of \$660,000 for this project. The Corporation secured short-term capital financing from BCHMC to fund the prepaid lease. This short-term financing was converted to a 35-year mortgage subsequent to year-end for a 10-year term at 1.519% interest.

On November 20, 2020, as part of the RHFP, the CRD purchased Spencer Close and entered into a 60-year prepaid lease in the amount of \$28,419,513 and a 35-year operator agreement with the Corporation. The Corporation secured short-term capital financing from BCHMC to fund the prepaid lease. This short-term financing was converted to a 35-year mortgage subsequent to year-end for a 10-year term at 1.519% interest.

9. Commitments and Contingencies (continued)

b. Sublease of Kings Place Housing Development

The Corporation entered into agreement with the Cridge Housing Society and the Provincial Rental Housing Corporation to sublease the land and improvements at 1070 Kings Road, Victoria for a term of thirty years commencing August 1, 1997. The Homes BC Program Operating Agreement was assigned to the Corporation from the Cridge Housing Society with the approval of the BCHMC. Current annual lease payments amount to \$231,000 and are based on the annual mortgage payments.

c. Building Envelope Remediation (BER)

Prior to the signing of the Umbrella Agreement in 2012, BCHMC provided funding for building envelope failure remediation for BCHMC and Homes BC buildings. BCHMC may require repayment of certain BER subsidies. Repayment would be funded by second mortgages. Funding for future BER for all buildings except No Operating Agreement buildings, Village on the Green and Vergo, is subject to future negotiations with BCHMC. In 2014, BCHMC entered into an agreement with the Corporation to fund the Heathers BER with a 35 year forgivable mortgage of \$1,258,358.

10. Pension Liability

The Corporation and its employees contribute to the Municipal Pension Plan (the Plan), a jointly trusteed pension plan. The Board of Trustees, representing plan members and employers, is responsible for administering the Plan, including investment assets and administration of benefits. The Plan is a multi-employer defined benefit pension plan. Basic pension benefits provided are based on a formula.

As at December 31, 2019, the Plan has about 213,000 active members and approximately 106,000 retired members. Active members include approximately 32 contributors from the Corporation.

Every three years an actuarial valuation is performed to assess the financial position of the Plan and the adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the Plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the Plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent valuation for the Municipal Pension Plan as at December 31, 2018 indicated a \$2,866 million funding surplus for basic pension benefits on a going concern basis.

The Corporation's employer contributions to the Plan for the fiscal year ended December 31, 2020 is \$222,396 (2019: \$183,804). The next valuation will be as at December 31, 2021, with results available in 2022.

Employers participating in the Plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the Plan records accrued liabilities and accrued assets for the Plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the Plan.

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11. Financial risks and concentration of risk

a. Credit risk

Credit risk refers to the risk that a counter party may default on its contractual obligations resulting in a financial loss. The Corporation is exposed to credit risk with respect to the accounts receivable, cash, and cash equivalents. The Corporation assesses, on a continuous basis, accounts receivable and provides for any amounts that are not collectible in the allowance for doubtful accounts. The maximum exposure to credit risk of the Corporation at December 31, 2020 is the carrying value of these assets. The carrying amount of accounts receivable is valued with consideration for an allowance for doubtful accounts. The amount of any related impairment loss is recognized in the statement of operations. Subsequent recoveries of impairment losses related to accounts receivable are credited to the statement of operations. The balance of the allowance for doubtful accounts at December 31, 2020 is \$0 (2019: \$0). There have been no significant changes to the credit risk exposure from 2019.

b. Liquidity risk

Liquidity risk is the risk that the Corporation will be unable to fulfill its obligations on a timely basis or at a reasonable cost. The Corporation manages its liquidity risk by monitoring its operating requirements. The Corporation prepares budget and cash forecasts to ensure it has sufficient funds to fulfill its obligations.

Accounts payable and accrued liabilities are generally due within 30 days of receipt of an invoice. The contractual maturities of mortgages payable are disclosed in Note 4. There have been no significant changes to the liquidity risk exposure from 2019.

c. Market risk:

Market risk is the risk that changes in market prices, such as foreign exchange rates or interest rates will affect the Corporation's income or the value of its holdings of financial instruments. The objective of market risk management is to control market risk exposures within acceptable parameters while optimizing return on investment.

i. Foreign exchange risk:

The Corporation does not enter into foreign exchange transactions and therefore is not exposed to foreign exchange risk. There have been no significant changes to foreign exchange risk exposure from 2019.

ii. Interest rate risk:

Interest rate risk is the risk that the fair value of future cash flows or a financial instrument will fluctuate because of changes in the market interest rates.

The Corporation holds cash equivalents in MFA Short Term Bond and Money Market Funds where changes in fair value have parallel changes in unrealized gains or losses until realized on disposal.

11. Financial risks and concentration of risk (continued)

c. Market risk: (continued)

The Corporation's mortgage interest rates are fixed and are subject to interest rate risk upon renewal. The interest rate risk is mitigated by the subsidy assistance received for most properties from BCHMC and CMHC, which is based on mortgage principal and interest payments. At December 31, 2020, there are four properties which do not receive subsidy assistance based on mortgage interest rates: Village on the Green, Vergo, Millstream Ridge, and Westview. The Corporation entered into a fixed rate 10-year mortgage for Millstream Ridge in 2019 which will be subject to unsubsidized interest rate risk upon renewal.

12. Subsequent Events

Subsequent to December 31, 2020, the short-term capital financing provided by BCHMC to acquire the prepaid leases of West Park and Spencer Close was converted to 35-year mortgage financing at a fixed rate for a 10-year term at 1.519% interest.

On March 22, 2021, the Corporation obtained short-term financing from BCHMC and entered into a prepaid lease of Hockley House from the CRD in the amount of \$23.8 million. The financing will be converted to a 35-year mortgage after being placed with a lender by BCHMC.

On April 14, 2021, the Corporation's Board authorized staff to enter into a pre-paid lease agreement with the CRD in the amount of \$10.1 million for an affordable housing project in the region.

13. COVID-19

On March 11, 2020, the COVID-19 outbreak was declared a pandemic by the World Health Organization. This resulted in governments worldwide, including the Canadian federal and provincial governments enacting emergency measures to combat the spread of the virus. The economic conditions and the Corporation's response to the pandemic did not have a material impact on the Corporation's operating results and financial position in 2020. The situation is dynamic and the ultimate duration and magnitude of the impact on the economy and the financial effect on the Corporation is not known at this time.

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Changes in Replacement Reserve Fund

	alance at ember 31 2019	fro	Transfer om Rental perating Fund	Contribution from UOA Stabilization Reserve	١	Contribution from Capita Trust Account	-	lr	nterest	Т	ransfer to Capital Fund		2020
Umbrella Agreement													
Oakwinds	\$ 742,608	\$	89,454	\$	-	\$ -	-	\$	19,938	\$	(69,941)	\$	782,059
James Yates Gardens	119,434		14,313		-	-	-		3,350		(375)		136,722
Pinehurst	404,624		35,782		-	-	-		11,069		(9,597)		441,878
The Brambles	135,687		32,203		-	-	-		3,934		(6,645)		165,179
The Terraces	496,814		35,782		-	-	-		13,595		(3,357)		542,834
Michigan Square	360,602		-		-	-	-		9,437		(9,015)		361,024
Olympic View	165,189		107,345		-	-	-		3,144		(199,928)		75,750
Swanlea	125,914		25,047		-	-	-		3,650		(1,381)		153,230
Firgrove	4,561		57,251		-	-	-		780		(7,480)		55,112
Beechwood Park	(51,378)		85,876		-	-	-		-		(40,811)		(6,313)
Grey Oak Square	(19,013)		42,938		-	-	-		-		(8,756)		15,169
Willowdene	2,932		26,836		-	-	-		403		(2,249)		27,922
Rosewood	59,919		78,720		-	-	-		2,228		(29,917)		110,950
Gladstone	31,279		25,047		-	-	-		969		(14,475)		42,820
Camosun Place	73,466		14,313		-	-	-		1,763		(28,174)		61,368
Parkview	99,636		46,516		-	-	-		2,769		(36,836)		112,085
Carey Lane	17,087		39,360		-	-	-		225		(56,580)		92
Colquitz Green	(20,849)		35,782		-	-	-		-		(45,288)		(30,355)
Springtide	21,566		85,876		-	-			1,565		(10,260)		98,747
Greenlea	19,730		37,571		-	-	-		357		(50,073)		7,585
Arbutus View	(5,509)		41,149		-	-	-		-		(39,533)		(3,893)
Amberlea	228,217		78,720		-	-			6,000		(82,327)		230,610
Cloverhurst	38,512		17,891		-	-	-		1,228		(2,211)		55,420
Hamlet	(485)		17,891		-	-	-		- 0.027		(38,882)		(21,476)
Viewmont	119,254		64,407		-	-	-		2,937		(73,684)		112,914
Creekside	5,657		42,938		-	-	-		1 406		(62,115)		(13,520)
The Birches	23,925 16,802		100,188		-	-	-		1,406 445		(41,942)		83,577
Caledonia			- 16 516		-	-	-				(44.020)		17,247
The Heathers Heron Cove	136,991 89,060		46,516 42,938		-	-	-		3,691 2,572		(41,930) (26,939)		145,268 107,631
Castanea Place	370,261		105,556		-	-	-		9,419		(134,390)		350,846
Leblond Place	(79,845)		76,930		-		-				(75,569)		(78,484)
Rotary House	7,371		73,352		-	-	-		- 862		(23,040)		58,545
Cairns Park	11,127		10,734		-	-	-		39		(30,017)		(8,117)
Kings Place	17,676		62,618		-	_	-		956		(25,815)		55,435
Carillon Place	19,919		26,836		-	-	-		565		(24,053)		23,267
Brock Place	132		53,672		-	-	-		-		(53,902)		(98)
Harbour Lane	189,407		50,094		-		_		5,378		(22,991)		221,888
Tillicum Station	220,397		71,560		_	_			5,975		(61,400)		236,532
ILBC2 Agreement	220,037		7 1,500		_	_			5,575		(01,400)		200,002
Parry Place	101,705		16,600		_	_	_		2,507		(3,287)		117,525
No Operating Agreement													
Village on the Green	312,419		78,719		-	-	-		8,467		(64,570)		335,035
Vergo	33,707		37,288		-	-	-		1,329		(4,419)		67,905
Portage Place	122,702		35,217		-	-	-		3,666		(3,928)		157,657
Campus View Court	126,804		24,859		-	-	-		3,474		(16,277)		138,860
Royal Oak Square	138,774		78,719		-	-	-		4,112		(45,901)		175,704
RHFP Agreement													
Millstream Ridge	81,612		114,048		-	-	-		3,374		(23,385)		175,649
IHI Agreement													
Westview	 -		42,048		-		_	_	506		(3,889)	_	38,665
	\$ 5,116,400	\$	2,327,500	\$	_	\$ -	-	\$	148,084	\$(1,657,534)	\$	5,934,450

Changes in Portfolio Stabilization Reserves

	Balance at ecember 31, 2019	Reimburse BCHMC		Transfer (to) Replacement Reserve Fund	Transfer from/(to) Rental Operating Fund	Transfer (to) Capital Fund	Balance at ecember 31, 2020
				(Schedule A)	(Schedule E)		
Umbrella Agreement CMHC	\$ 3,978,668	\$	_	\$ -	\$ 1,121,581	\$ -	\$ 5,100,249
BCHMC	(1,464,774)		-	-	(924,026)	_	(2,388,800)
Homes BC	(41,281)		-	-	(81,543)	-	(122,824)
	2,472,613		_	_	116,012	_	2,588,625
ILBC2 Agreement							
Parry Place	 (80,509)		_		41,682	-	 (38,827)
RHFP Agreement Millstream Ridge	38		-	_	(24,418)	-	(24,380)
Spencer Close	_		_	-	10,791	_	10,791
West Park	-		-	-	-	-	-
	38		-	-	(13,627)	-	(13,589)
IHI Agreement Westview	-		-	-	120,592	-	120,592
No Operating Agreement Portage Place	_		_	_	86,140	_	86,140
Campus View Court	-		_	_	58,149	-	58,149
Royal Oak Square	-		-	-	227,697	-	227,697
Village on the Green	583,734		-	-	46,280	-	630,014
Vergo	(445,990)		-		(93,821)		(539,811)
	137,744		-	-	324,445		462,189
	\$ 2,529,886	\$	-	\$ -	\$ 589,104	\$ -	\$ 3,118,990

Capital Assets

	Completed	Land		Prepaid Lease	Buildings	Equipment and Other	Transfer from Replacement Reserve Fund	Total	4 4	Accumulated Amortization	2020	2019
Operation												
mbrella Agreement												
Cakwinds	Feb/85 \$		⇔	830,075	\$ 2,835,407	\$ 1,449,152	\$ 69,941	\$ 5,184,575	22	(4,776,238) \$	408,337 \$	435,420
James Yates Gardens	Oct/84	103,200	00	•	387,934	285,944	375	777,453	53	(607,347)	170,106	186,459
Pinehurst	Feb/85	277,692	32	٠	1,188,811	660,916	9,597	2,137,016	16	(1,739,255)	397,761	452,147
The Brambles	Jun/85	275,975	22	•	1,048,104	737,519	6,645	2,068,243	43	(1,679,764)	388,479	409,961
The Terraces	May/85	356,532	32	•	1,087,668		3,357	2,308,836	36	(1,821,889)	486,947	516,194
Michigan Square	Sep/85	784,763	33	•	3,154,222	2,485,008	9,015	6,433,008	80	(5,381,795)	1,051,213	1,108,811
Olympic View	Apr/86	900,000	00	•	3,288,908		199,928	6,434,251	51	(4,984,526)	1,449,725	1,481,198
Swanlea	Dec/85	230,215	15	•	746,556	451,510	1,381	1,429,662	62	(1,126,319)	303,343	320,244
Firgrove	Feb/86	480,000	00	•	1,763,183	_	7,480	3,397,737	37	(2,756,555)	641,182	724,374
Beechwood Park	Feb/86	888,000	00	•	2,317,623	2,988,251	40,811	6,234,685	85	(4,812,566)	1,422,119	1,581,057
Grey Oak Square	Apr/86	409,015	15	٠	1,290,394	942,375	8,756	2,650,540	40	(2,045,066)	605,474	682,700
Willowdene	Sep/87			•	884,186	650,139	2,249	1,536,574	74	(1,381,491)	155,083	204,235
Rosewood	Oct/88			255,000	1,864,715	787,119	29,917	2,936,751	51	(2,553,619)	383,132	451,202
Gladstone	Jan/89		,	197,000	912,600	480,483	14,475	1,604,558	28	(1,358,499)	246,059	279,916
Camosun Place	Mar/89			108,000	489,700	195,585	28,174	821,459	29	(680,295)	141,164	140,978
Parkview	May/89			283,250	1,795,567	877,127	36,836	2,992,780	80	(2,544,574)	448,206	507,923
Carey Lane	Aug/89			283,250	1,443,751	860,411	56,580	2,643,992	92	(2,206,230)	437,762	472,608
Colquitz Green	Nov/89			160,250	1,504,000	738,220	45,288	2,447,758	28	(2,072,579)	375,179	418,402
Springtide	May/90			324,500	2,519,309	866,820	10,260	3,720,889	83	(3,121,895)	598,994	704,680
Greenlea	Feb/90			305,750	1,560,300	788,168	50,073	2,704,291	91	(2,215,852)	488,439	528,627
Arbutus View	06/Inf			370,250	1,592,750	924,257	39,533	2,926,790	06	(2,320,654)	606,136	679,562
Amberlea	May/90			447,501	2,578,479	781,907	82,327	3,890,214	4	(3,171,364)	718,850	769,620
Cloverhurst	May/90			197,000	651,500	235,714	2,211	1,086,425	25	(873,588)	212,837	243,314
Hamlet	Oct/90			152,000	803,000	360,812	38,882	1,354,694	94	(1,088,304)	266,390	278,273
Viewmont	Aug/91			402,140	2,378,046	737,657	73,684	3,591,527	27	(2,864,552)	726,975	774,484
Creekside	Apr/92			388,250	2,363,830	878,085	62,115	3,692,280	80	(2,897,628)	794,652	853,754
The Birches	Aug/92			675,000	3,684,874	847,918	41,942	5,249,734	34	(4,092,359)	1,157,375	1,276,198
Caledonia	Apr/93			403,473	1,452,777	439,163	•	2,295,413	13	(1,729,557)	565,856	629,118
The Heathers	Apr/93			436,279	1,974,683	388,764	41,930	2,841,656	26	(2,122,030)	719,626	764,389
Heron Cove	Oct/93			270,000	2,274,691	504,560	26,939	3,076,190	06	(2,340,964)	735,226	811,851
Castanea Place	Feb/95			1,277,000	4,841,879	800,786	134,390	7,240,277	22	(4,959,212)	2,281,065	2,384,390
Leblond Place	Sep/96			900,000	4,506,231	1,139,539	75,569	6,621,339	39	(4,263,598)	2,357,741	2,562,240
Rotary House	Nov/06		,	556,600	2,994,000	581,051	23,040	4,154,691	91	(2,532,119)	1,622,572	1,777,552
Cairns Park	Dec/96		,	240,000	415,314	162,140	30,017	847,471	71	(518,550)	328,921	332,336
Kings Place	N/A			•	•	653,812	25,815	679,627	27	(510,218)	169,409	185,948

Capital Assets continued

Conflict Place July 88 C 550 00 1.280 289 689 270 24 655 3 25 18 77 12 (15 00 889) 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 1,10 2879 2,10 2884 1,10 2879 2,10 2884 2,10 2884 1,10 2879 2,10 2884		Completed	Land	Prepaid Lease	Buildings	Equipment and Other	I ranster trom Replacement Reserve Fund	Total	Accumulated Amortization	2020	2019
Juniora Juni	Carillon Place	36/Inf		525,000	1,280,389	689,270	24,053	2,518,712	(1,500,885)	1,017,827	1,102,878
Coctrol Coctro Coctr	Brock Place	Jan/00	•	840,000	3,465,836	1,040,995	53,902	5,400,733	(3,081,536)	2,319,197	2,475,035
Parity P	Harbour Lane	Oct/01	•	825,000	3,607,266	309,371	22,991	4,764,628	(2,585,995)	2,178,633	2,293,124
Page	Tillicum Station	Jul/02	•	948,750	4,300,764	501,799	61,400	5,812,713	(3,036,433)	2,776,280	2,894,049
2008 - 2.367415 - 2.367415 - 2.367415 - 2.367415 52.1577 2008 - - 1.105.204 - 1.105.204 - 1.105.204 52.1787 241,787 2006 - - 1.156.374 - 1.156.374 - 1.156.379 450.178 2007 - - - 2.231.350 - - 2.231.350 (1.167.203) 563.171 1.156.371 450.178 1.157.303 563.171 1.156.371 1.156.371 1.156.371 1.156.371 1.156.371 1.156.371 1.156.371 1.156.371 1.146.283 1.156.371 1.146.283 1.156.371 1.146.283 1.156.371 1.146.283 1.166.371 1.146.283 1.166.371 1.176.99 1.156.378 1.176.99 1.156.378 1.176.99 1.156.378 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.99 1.1174.9	Building Envelope Remediation	_									
2008 2008	Amberlea	2008		1	2,367,415	•	•	2,367,415	(1,846,264)	521,151	651,439
2006 1,635,610 1,635,610 1,635,610 1,635,610 1,175,435) 460,175 2007 - - 2,531,350 - 2,531,350 1,187,203) 589,711 2007 - - 2,531,350 - - 2,531,350 1,187,203) 589,711 2007 - - 1,258,358 - - 2,531,350 (1,518,203) 772,09 2016 - - - 2,531,350 - - 2,531,350 1,485,017 <t< td=""><td>Cloverhurst</td><td>2008</td><td>•</td><td>,</td><td>1,105,204</td><td>•</td><td>•</td><td>1,105,204</td><td>(863,417)</td><td>241,787</td><td>302,234</td></t<>	Cloverhurst	2008	•	,	1,105,204	•	•	1,105,204	(863,417)	241,787	302,234
2007 - 1,756,374 - 1,756,374 - 569,171 1,266,374 1,756,374 (1,197,203) 569,171 1,200 2,631,350 - 2,631,350 - 2,631,350 1,156,839 979,511 1,462,924 1,156,839 2337,941 - 2,631,350 1,268,328 1,268,328 1,261,149 737,209 1,268,328 1,261,149 737,209 4,523,797 4,533,797 4,144,907 4,144,907 4,144,907<	The Birches	2006			1,635,610			1,635,610	(1,175,435)	460,175	536,871
2007 2,531,350 2,531,350 2,531,350 1,588,358 979,511 1,588,324 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,588,358 1,488,324 1,730,239 1,547,339 1,547,339 1,547,339 1,547,339 1,547,339 1,547,339 1,547,339 1,547	Heron Cove	2007	•	•	1,756,374	•	•	1,756,374	(1,197,203)	559,171	639,053
2009 - 3,337,941 - 3,337,941 - 4,629,264 1,258,358 (521,149) 737,209 1,462,924 1,258,358 1,258,379 4,523,797 4,720 Jun/08 1,400,000 - 4,794,268 226,793 3,287 6,424,348 (1,900,551) 4,523,797 4,534,618 6,623,619 1,124,019 3,724,767 3,416,917 4,534,618 4,534,618 4,534,618 4,534,618 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,534,778 4,	Castanea Place	2007	•	•	2,531,350	•	•	2,531,350	(1,551,839)	979,511	1,088,345
2016 1,400,000 1,268,368 226,793 3,287 6,424,348 (1,900,551) 4,523,797 4,	Leblond Place	2009	•	1	3,337,941	•	1	3,337,941	(1,875,017)	1,462,924	1,609,216
Juni/08 1,400,000 - 4,794,268 226,793 3,287 6,424,348 (1,900,551) 4,523,797 4,	The Heathers	2016	•	1	1,258,358	1	•	1,258,358	(521,149)	737,209	842,524
Jun/08 1,400,000 4,794,268 226,793 3,287 6,424,348 (1,900,551) 4,523,797 34, Nov. Nov. Nov. Nov. Nov. Nov. Nov. Nov.	ILBC2 Agreement										
Feb/19 - 35,428,849 - 12,769 23,385 35,465,003 (1,190,236) 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,767 34,274,937 (41,972) 30,176,997 30,176,997 31,206,514 11,14,378 34,206,514 11,14,378 34,206,514 11,14,378 34,104 11,144,378 34,104	Parry Place	30/unf	1,400,000	•	4,794,268	226,793	3,287	6,424,348	(1,900,551)	4,523,797	4,677,834
Nov/20	RHFP Agreement						0				
Nov/20 - 30,218,309 - 30,218,309 (41,912) 30,116,391 Nov/20 - 31,249,917 -	Spencer Close	Feb/19	•	35,428,849	•	12,769	23,385	35,465,003	(1,190,236)	34,274,767	34,848,583
Nov/20 - 31,249,917 - - 31,249,917 (43,403) 31,206,514 May/20 - <	Wood Close	02/you	•	30,218,909	•	•	•	30,218,969	(41,972)	30,176,997	•
May/84 910,171 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1 May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1 May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1 May/84 910,171 - 4,226,787 78,334 4,419 5,453,867 (1,143,782) 4,310,085 4,310,085 4,5176 Aug/83 328,659 - 965,774 698,343 3,928 1,996,704 (1,480,988) 515,16 4,516 Sep/83 341,224 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1 workion - <t< td=""><td>west Park</td><td>Nov/20</td><td></td><td>31,249,917</td><td>•</td><td>•</td><td></td><td>31,249,917</td><td>(43,403)</td><td>31,206,514</td><td>•</td></t<>	west Park	Nov/20		31,249,917	•	•		31,249,917	(43,403)	31,206,514	•
May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1,124,019 1,124,019 1,124,019 1,124,019 1,124,019 1,124,019 1,124,019 1,124,019 1,124,019 4,419 5,45,867 (1,143,782) 4,310,085 4,310,085 4,310,085 4,516,16 4,516 4,419 5,45,867 (1,143,782) 4,310,085 4,51716 4,5171359 - - - - - - - - - - - - - - - - - -	<u>IHI Agreement</u> Westview	May/20	•	•	14,844,032	,	3,889	14,847,921	(247,400)	14,600,521	11,293,916
een May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1 May/12 1,144,327 - 4,226,787 78,334 4,419 5,453,867 (1,143,782) 4,310,085 4,410,085 4,419 5,453,867 (1,143,782) 4,310,085 4,410,085 4,410,085 4,410,095 4,410,095 4,410,095 4,410,095 4,410,095 4,410,095 4,410,095 4,410,095 4,410,095 4,410,095 4,510	No Operating Agreement										
May/12 1,144,327 4,226,787 78,334 4,419 5,453,867 (1,142,782) 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,314 4,514 4,514 4,508,287 4,514 4,5	Village on the Green	May/84	910,171		2,002,921	903,639	64,570	3,881,301	(2,757,282)	1,124,019	1,112,911
Aug/83 328,659 - 965,774 698,343 3,928 1,996,704 (1,480,988) 515,716 Durt Sep/83 341,224 - 688,111 576,313 16,277 1,621,925 (1,158,447) 463,478 re Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1 construction - - - - - - 1,547,359 - - 1,547,359 Sites - - - - - - 1,547,359 - - 1,547,359 - - - - - - - - 1,547,359 - - 1,547,359 - - - - - - - - - 1,547,359 - - 1,547,359 - - - - - - - - - - -	Vergo	May/12	1,144,327		4,226,787	78,334	4,419	5,453,867	(1,143,782)	4,310,085	4,435,629
Sep/83 341,224 - 688,111 576,313 16,277 1,621,925 (1,158,447) 463,478 re Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1, construction -	Portage Place	Aug/83	328,659		965,774	698,343	3,928	1,996,704	(1,480,988)	515,716	558,552
re Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1, construction 1,547,359 535,869 60,544 60,544	Campus View Court	Sep/83	341,224		688,111	576,313	16,277	1,621,925	(1,158,447)	463,478	477,763
Construction 1,547,359 . . 1,547,359 Sites .	Royal Oak Square	Mar/84	666,280	1	2,051,834	1,744,272	45,901	4,508,287	(3,318,270)	1,190,017	1,275,050
Sites - 1,547,359	Buildings Under Construction		•	1	•	1	1	•	•	•	•
535,869 - 535,869 (499,991) 35,878 60,544 - 60,544 (60,544) -	Redevelopment Sites		•	•	1,547,359	ı	•	1,547,359	•	1,547,359	844,850
- 60,544	Office Equipment		•	•	•	535,869	•	535,869	(499,991)	35,878	44,848
	Vehicles					60,544		60,544	(60,544)		

Capital Fund: Mortgages Payable

Rental Property	Interest Rate	Renewal Date	Maturity Date	2020	2019
Umbrella Agreement					
Oakwinds	1.390%		February 1, 2020	\$ -	\$ 38,790
Pinehurst	1.390%		March 1, 2020	-	22,859
The Brambles	1.040%		June 1, 2020	-	40,334
The Terraces	1.040%		May 1, 2020	-	36,746
Michigan Square	1.020%		September 1, 2020	-	181,257
Olympic View	2.930%		April 1, 2021	88,571	349,002
Swanlea	3.430%		December 1, 2020	· -	62,817
Firgrove	3.150%		February 1, 2021	23,899	164,373
Beechwood Park	3.150%		February 1, 2021	34,235	235,461
Grey Oak Square	3.150%		March 1, 2021	27,083	133,150
Willowdene	2.580%		September 1, 2022	90,076	139,761
Rosewood	2.610%		November 1, 2023	342,135	453,603
Gladstone	2.610%		January 1, 2024	189,340	247,565
Camosun Place	1.860%		March 1, 2024	101,074	130,967
Parkview	1.690%		May 1, 2024	396,503	508,304
Carey Lane	1.690%		August 1, 2024	351,189	443,266
Colquitz Green	1.730%		November 1, 2024	363,422	451,699
Springtide	0.680%		May 1, 2025	689,317	834,317
Greenlea	0.690%		March 1, 2025	443,747	542,704
Arbutus View	0.680%		July 1, 2025	485,329	583,483
Amberlea	0.680%		May 1, 2025	736,384	891,285
Cloverhurst	0.680%		May 1, 2025	205,717	248,990
Hamlet	3.430%	February 1, 2021	October 1, 2025	253,602	301,086
Viewmont	2.490%	October 1, 2021	August 1, 2026	•	934,059
Creekside	2.600%	April 1, 2027	August 1, 2020 April 1, 2027	803,591 862,697	986,452
The Birches	2.550%	April 1, 2027 August 1, 2027	August 1, 2032	1,406,451	1,597,662
Caledonia	2.500%	August 1, 2027 April 1, 2028	August 1, 2032 April 1, 2033	, ,	732,716
The Heathers	2.600%	April 1, 2028	April 1, 2033 April 1, 2033	652,595 836,379	938,629
Heron Cove	2.610%	October 1, 2028		929,292	1,034,901
	0.690%	October 1, 2026	October 1, 2033	•	
Castanea Place	2.490%	Octobor 1 2021	February 1, 2030	2,681,978	2,945,716
Leblond Place - 1st mortgage		October 1, 2021	September 1, 2031	2,104,815	2,273,605
Leblond Place - 2nd mortgage Rotary House	2.150% 2.510%	March 1, 2025	March 1, 2045	2,522,835	2,601,372
•	1.698%	March 1, 2028	March 1, 2033	1,327,521	1,492,469
Cairns Park		December 1, 2021	December 1, 2031	317,549	343,595
Carillon Place	3.220%	June 1, 2024	July 1, 2033	967,327	1,028,796
Brock Place	2.840%	O-t-h 1 2020	January 1, 2035	2,643,524	2,899,890
Harbour Lane	2.200%	October 1, 2026	October 1, 2036	2,655,676	2,794,500
Tillicum Station	3.270%	July 1, 2024	July 1, 2037	3,456,281	3,611,010
ILBC2 Agreement Parry Place	3.480%	May 1, 2024	May 1, 2043	3,462,633	3,562,711
RHFP Agreement	0.10070	May 1, 2021	May 1, 2010	0,102,000	0,002,111
Millstream Ridge	2.860%	February 1, 2029	March 1, 2054	34,441,936	35,053,436
IHI Agreement					
Westview	1.631%	September 1, 2030	September 1, 2055	7,440,758	-
CRHC No Operating Agreement					
Village on the Green	3.500%	October 1, 2021	October 1, 2039	1,857,077	1,925,741
Vergo	3.450%	August 1, 2022	August 1, 2042	3,670,872	3,783,251
				79,863,410	77,582,330
Principal Current Portion				(4,828,667)	(4,568,934)
Principal Renewal Portion				(3,189,847)	(8,840,245)
				\$ 71,844,896	\$ 64,173,151

Operating Fund: Rental Operations

				Revenues				Expenditure	Expenditures and Interfund Transfers	Transfers			
	Number of units	Tenant rent contributions	BCHMC Rental Subsidy	BCHMC fixed funding	Other	Total	Operating Costs	Transfer to Replacement Reserve	Debt charges	Other Interfund Transfers	Total	Surplus (Deficit) from operations after interfund transfers	Allocation from/(to) Portfolio Stabilization Reserves
Umbrella Agreement													
СМНС													
Oakwinds	20	\$ 654,602 \$	ı ₩	\$ 4,811	\$ 2,907 \$	\$ 662,320 \$	280,399	\$ 89,454	\$ 38,913 \$	↔	408,766 \$	253,554	\$ (253,554)
James Yates Gardens	∞	76,410	•	•	169	76,579	42,276	14,313	•	•	56,589	19,990	(19,990)
Pinehurst	20	285,635	•	3,865	1,898	291,398	99,603	35,782	23,086		158,471	132,927	(132,927)
The Brambles	18	239,249	•	7,500	1,901	248,650	112,785	32,203	40,521		185,509	63,141	(63,141)
The Terraces	20	254,063	•	6,627	1,912	262,602	112,215	35,782	36,808		184,805	77,797	(77,797)
Michigan Square	62	420,737	•	35,171	5,875	461,783	221,590	•	181,971	•	403,561	58,222	(58,222)
Olympic View	09	800,126	•	70,610	4,512	875,248	335,023	107,345	266,496		708,864	166,384	(166,384)
Swanlea	14	197,193	•	16,605	1,126	214,924	74,880	25,047	63,900		163,827	51,097	(51,097)
Firgrove	32	402,886	•	37,102	2,551	442,539	151,536	57,251	143,243		352,030	605'06	(90,509)
Beechwood Park	48	612,810	•	53,052	7,413	673,275	246,532	85,876	205,192		537,600	135,675	(135,675)
Grey Oak Square	24	321,885		27,979	2,459	352,323	128,659	42,938	108,441	•	280,038	72,285	(72,285)
	356	4,265,596	•	263,322	32,723	4,561,641	1,805,498	525,991	1,108,571		3,440,060	1,121,581	(1,121,581)
BCHMC													
Willowdene	15	109,018	•	56,415	454	165,887	137,717	26,836	52,691	•	217,244	(51,357)	51,357
Rosewood	4	245,916	•	83,724	2,921	332,561	221,726	78,720	121,926		422,372	(89,811)	89,811
Gladstone	14	124,914	•	63,368	228	188,510	77,441	25,047	63,964		166,452	22,058	(22,058)
Camosun Place	80	74,714	•	33,432	133	108,279	49,300	14,313	32,068		95,681	12,598	(12,598)
Parkview	26	185,590	•	114,811	868	301,299	125,730	46,516	119,503		291,749	9,550	(9,550)
Carey Lane	22	188,975	•	83,364	1,200	273,539	115,202	39,360	98,835		253,397	20,142	(20,142)
Colquitz Green	20	171,282	•	76,241	992	248,515	113,126	35,782	96,371	•	245,279	3,236	(3,236)
Springtide	48	260,135	•	118,997	2,725	381,857	244,156	85,876	165,287	•	495,319	(113,462)	113,462
Greenlea	21	161,043	•	44,624	1,045	206,712	115,603	37,571	108,912	•	262,086	(55,374)	55,374

Operating Fund: Rental Operations (continued)

	Number of units	Tenant rent contributions	BCHMC Rental Subsidy	BCHMC fixed funding	Other	Total	Operating costs	Transfer to Replacement Reserve	Debt charges	Other Interfund Transfers	Total	Surplus (Deficit) from operations after interfund transfers	Allocation from/(to) Portfolio Stabilization Reserves
Arbutus View	23	183,661		53,476	627	237,764	106,483	41,149	112,373	•	260,005	(22,241)	22,241
Amberlea	44	287,367	•	119,408	2,768	409,543	233,682	78,720	176,573	•	488,975	(79,432)	79,432
Cloverhurst	10	64,827	•	42,920	133	107,880	50,596	17,891	49,327	•	117,814	(9,934)	9,934
Hamlet	10	100,935	٠	53,091	233	154,259	58,050	17,891	57,004	•	132,945	21,314	(21,314)
Viewmont	36	175,090	٠	166,536	2,555	344,181	176,634	64,407	152,138	•	393,179	(48,998)	48,998
Creekside	24	207,604	•	111,686	1,200	320,490	129,221	42,938	147,813	•	319,972	518	(518)
The Birches	26	292,515	•	163,537	3,048	459,100	222,212	100,188	229,534	•	551,934	(92,834)	92,834
Caledonia	18	25,586		79,981	556	106,123	95,459	•	97,439	•	192,898	(86,775)	86,775
The Heathers	26	141,578		108,372	1,822	251,772	130,239	46,516	125,324	•	302,079	(50,307)	50,307
Heron Cove	24	182,963	٠	63,582	818	247,363	103,293	42,938	131,230	•	277,461	(30,098)	30,098
Castanea Place	29	376,237	•	196,456	3,112	575,805	304,680	105,556	319,154	•	729,390	(153,585)	153,585
Leblond Place	43	254,618	٠	342,600	3,534	600,752	267,020	76,930	356,669	•	700,619	(99,867)	99,867
Rotary House	41	246,477		216,649	1,467	464,593	220,263	73,352	200,345	•	493,960	(29,367)	29,367
	632	4,061,045		2,393,270	32,469	6,486,784	3,297,833	1,098,497	3,014,480	•	7,410,810	(924,026)	924,026
Homes BC													
Caims Park	9	50,941	٠	22,315	240	73,496	36,768	10,734	31,658	•	79,160	(5,664)	5,664
Kings Place	35	381,346	•	152,041	2,118	535,505	474,156	62,618	•	•	536,774	(1,269)	1,269
Carillon Place	15	184,052	•	33,478	542	218,072	92,882	26,836	93,480	•	213,198	4,874	(4,874)
Brock Place	30	332,593	•	69,892	3,838	406,323	165,824	53,672	227,708	•	447,204	(40,881)	40,881
Harbour Lane	28	287,804	•	88,749	3,115	379,668	155,880	50,094	198,635	•	404,609	(24,941)	24,941
Tillicum Station	40	471,994		95,884	1,884	569,762	242,141	71,560	269,723		583,424	(13,662)	13,662
	154	1,708,730		462,359	11,737	2,182,826	1,167,651	275,514	821,204		2,264,369	(81,543)	81,543
	1,142	10,035,371	1	3,118,951	76,929	13,231,251	6,270,982	1,900,002	4,944,255	•	13,115,239	116,012	(116,012)

Operating Fund: Rental Operations continued

				Revenues				Expenditure	Expenditures and Interfund Transfers	Transfers			
	Number of units	Tenant rent contributions	BCHMC Rental Subsidy	BCHMC fixed funding	Other	Total	Operating costs	Transfer to Replacement Reserve	Debt charges	Other Interfund Transfers	Total	Surplus (Deficit) from operations after interfund transfers	Allocation from/(to) Portfolio Stabilization Reserves
ILBC2 Agreement													
Parry Place	21	299,038	359,792	٠	861	659,691	379,813	16,600	221,596	•	618,009	41,682	(41,682)
RHFP Agreement Millstream Ridge	132	2.087.297		ı	38.791	2.126.088	571.821	114.048	1.599.719	(135,082)	2.150.506	(24.418)	24.418
Spencer Close	130			,	210	37,016	26,225			1	26,225	10,791	(10,791)
West Park	152				480	29,909	44,663			(14,754)	29,909	'	
	414	2,153,532	•	٠	39,481	2,193,013	642,709	114,048	1,599,719	(149,836)	2,206,640	(13,627)	13,627
IHI Agreement Westview	73	398,793	•	1	10,504	409,297	166,478	42,048	80,179	,	288,705	120,592	(120,592)
No Operating Agreement													
Portage Place	17	222,685	•	,	925	223,610	102,253	35,217	•	•	137,470	86,140	(86,140)
Campus View Court	12	150,291	,	,	1,688	151,979	68,971	24,859		٠	93,830	58,149	(58,149)
Royal Oak Square	38	507,018	•	•	2,716	509,734	203,318	78,719	•	•	282,037	227,697	(227,697)
Village on the Green	38	443,096	ı		4,376	447,472	188,183	78,719	134,290	٠	401,192	46,280	(46,280)
Vergo	18	273,322			146	273,468	90,105		239,896		367,289	(93,821)	93,821
	123	1,596,412			9,851	1,606,263	652,830	254,802	374,186		1,281,818	324,445	(324,445)
	1.773	1.773 \$14.483.146 \$	359.792 \$ 3.7	3.118.951 \$	137.626 \$	137.626 \$18.099.515 \$	\$ 8.112.812	\$ 2.327.500	8.112.812 \$ 2.327.500 \$ 7.219.935 \$ (149.836) \$17.510.411	\$ (149.836)		\$ 589.104	\$ (589.104)

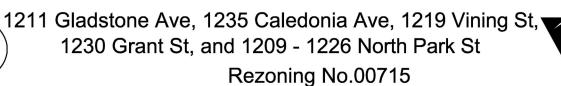


Capital Region Housing Corporation

631 Fisgard Street Victoria, BC V8W 1R7 250.388.6422 www.crd.bc.ca Twitter: @crd_bc

Facebook: Capital Regional District









Capital Region Housing Corporation 631 Fisgard Street Victoria, BC, Canada V8W 1R7 T 250.388.6422 F 250.361.4970 www.crd.bc.ca/housing

September 30, 2021

Mayor and Council City of Victoria 1 Centennial Square Victoria BC, V8W 1P6

Dear Mayor Helps and Council:

Re: Caledonia Housing Reserve Fund Request

We have submitted an application for funding for a proposed redevelopment on the parcel of land located between 1211 Gladstone Avenue and 1209/1230 Grant Street. The Capital Region Housing Corporation is seeking a \$1,065,000 capital contribution from the Victoria Housing Reserve Fund. This amount well exceeds the program cap of \$500,000. The CHRC is seeking Council support to waive the program cap because of uniqueness of the project, current construction costs and the housing shortage in the community.

Upon the completion, the project will add 158 new affordable, safe, attractive and sustainable units in a mixed market community. The project contains 31 deep subsidy, 60 rent gear to income and 49 medium-income units for individuals, families, seniors and disabled individuals living independently without on-site supports. This development will provide a significant contribution to tackle current housing affordably issue in city.

Since the unprecedented Covid-19 pandemic began, the construction industry has been impacted across the country and thus, we have witnessed huge increases in the costs for labour, materials and overhead construction costs. The Caledonia development has incurred delays and cost escalations that have impacted the total capital budget and jeopardize the CRHC's ability to provide high quality, low cost non-market housing.

The CRHC requests Victoria City Council support through an equity contribution to offset the costs of construction in the full amount eligible, based upon the current program guidelines.

Thankyou for your consideration

Sincerely, David Screech

Vice Chair, Capital Region Housing Corporation

VICTORIA HOUSING RESERVE FUND GRANT APPLICATION

1230 Grant Street, 1209, 1218, 1219, 1220 and 1226 North Park Street, 1219 Vining Street, 1235 Caledonia Avenue, and 1211 Gladstone Avenue

November 25, 2021



1

Application Information

- Capital Regional Housing Corporation (CRHC)
- Land partnership
- Mixed-income affordable rental housing
- Approved at public hearing
- 109 units align with VHRF
- Grant request of \$1,065,000





Victoria Housing Reserve Fund Application

2

Strong alignment with VHRF Priorities

Align with VHRF guidelines

- Project serves those with very-low to moderate incomes
 - 31 deep subsidy units
 - 78 rent geared to income units
 - 49 moderate income units
- Range of unit types
 - 99 Family-friendly units
 - 15 accessible units
- Help people at risk of homelessness

VICTORIA

Victoria Housing Reserve Fund Application

3



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Funding Request

Funding Source	Amount
BC Housing Capital Grant	\$18,500,000
BC Housing Annual Operating Subsidy	~ \$900,000
CRHC Cash Contribution	\$1,000,000
City of Victoria VHRF Application	\$1,065,000

- BC Housing is primary funder, capital and operating grants.
- Lands under School District ownership will continue to be exempt from City property taxes.



/ictoria Housing Reserve Fund Application

5

Capacity of Victoria Housing Fund

VHRF Current Balance: (\$4,643,296)
CRHC Request: -\$1,065,000
Potential Balance: \$3,578,296

- Current balance includes \$400,000 allocated for affordable seniors housing.
- Potential balance includes \$400,000 for seniors housing and \$3,178,296 for other VHRF applications received through future intake processes.



Victoria Housing Reserve Fund Applicatio

6



Urgent need for affordable housing



ictoria Housing Reserve Fund Application

7

Recommendation

Option 1 - Approve grant as per the guidelines

- Approve \$500,000 grant;
 - Grant would support half of affordable units, using per unit grant amounts in VHRF guidelines.

Option 2 – Waive guidelines and approve \$1,065,000 grant

- Maximum grant established to ensure funds available when several applications are received.
 - No other grant applications for September intake.
- 109 of 158 units at deeply affordable rates in walkable area.
- Grant would help offset rising costs associated with Pandemic.



Victoria Housing Reserve Fund Applicatio

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Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 12, 2021

From: Philip Bellefontaine, Director, Engineering & Public Works

Subject: Inflow and Infiltration Mitigation on Private Properties

RECOMMENDATION

That Council:

- 1. Endorse the recommended strategy presented in this report to begin mitigating inflow and infiltration from private property sanitary sewer laterals.
- 2. Direct staff to bring forward a funding strategy and budget request as part of the 2023 Financial Planning process that includes resource and funding requirements to implement the recommended strategy.

EXECUTIVE SUMMARY

Sanitary sewers transport wastewater from homes and businesses to a centralized treatment plant. Along the way, some extraneous water may enter the system either from stormwater or groundwater, a problem commonly known as inflow and infiltration (I&I). I&I can cause sanitary sewer systems to exceed their capacity, especially during large or extended rain events, which are expected to continue to rise due to a changing climate. This may result in overflows into waterways and backflows of sewage into private property that pose public health and environmental concerns. In addition to increasing maintenance and treatment costs, excessive I&I can consume sewer capacity which would require expensive premature upgrades to the system.

Typically, more than half of the piped sewer system in any community is located on private property. Buildings are connected to the public system by way of *sewer laterals* which are small diameter pipes that run across private property from the building to the public sewer main. The property owner is responsible for maintaining the private laterals from their buildings out to the property line; but most private laterals tend to be neglected because they are "hidden" to the property owner and there is a lack of awareness of responsibility.

In the City of Victoria, common with many municipalities across the country, a large portion of I&I is understood to be generated from private-side portion of sewer laterals, estimated at 40% - 60% of the total flows. Most sewer utilities take an active role to reduce I&I but, while nearly half or more of the flows originate from private pipe issues, most public programs are almost exclusively dedicated to public-side reduction measures.

The regional core area wastewater system is governed by the CRD's Core Area Liquid Waste

Management Plan (CALWMP). The CALWMP outlines wastewater management strategies and initiatives to protect the region's water quality, including a focus on I&I mitigation. Under the plan, the CRD and participating municipalities are committed to reduce the maximum daily wet weather flows to less than four times the average dry weather flow by 2031.

Due to the old age of private building laterals and public sanitary sewers, several areas of the City are contributing I&I flows that are greater than the regional target of four times. Over the years, the City has implemented several programs to reduce I&I rates through planned asset management. The focus of I&I reduction however has been directed to the publicly owned portion of the sanitary sewer system.

To meet flow reductions to support climate resilience and regulatory requirements, the City will need to expand mitigation to include I&I originating from private properties. Staff have developed a long-term phased approach that includes property owner education-outreach, new regulatory requirements and new funding with incentives. The recommended strategy contained in this report is based on a review of existing regulations and municipal authorities. This included review of industry-wide examples of governing agencies from North America that have established a private-side I&I reduction program.

PURPOSE

The purpose of this report is to provide Council with options to mitigate inflow and infiltration to the sanitary sewer collection system from private property.

BACKGROUND

Throughout North America, many jurisdictions are concerned about the increased volumes of stormwater and groundwater that are entering sanitary sewer systems. This extraneous water, termed inflow and infiltration (I&I) can cause sanitary sewer systems to exceed their capacity, especially during large or extended rain events. A certain amount of I&I is unavoidable and is accounted for in routine sewer design. However, too much I&I can result in overflows into waterways and backflows of sewage into private property that pose public health and environmental concerns. In addition to increasing maintenance, treatment costs and wear and tear on public conveyance and treatment systems, excessive I&I can lead to the unnecessary construction of expensive oversized conveyance and treatment facilities.

Staff have previously briefed Council on the issues of I&I as part of financial plans. CRD, with regional responsibilities for management of wastewater services has also presented I&I updates to core area municipalities including emphasis on the I&I resulting from private properties. Council direction included addition of the following action in the strategic plan: *Begin to plan for mitigating the inflow and infiltration issue on private property.*

The City of Victoria operates separate utilities to handle stormwater and wastewater collection. The sanitary sewer is dedicated to handling wastewater and sanitary sewage, and the stormwater system is dedicated to collecting rainwater and safely returning it to the environment. At a basic level, inflow and infiltration occurs when water that should be destined for stormwater management is instead, captured by the sanitary system.

Inflow enters the sanitary sewer system through overland points such as manhole covers and more importantly through storm drains incorrectly connected (cross-connections) to the sanitary sewer including roof leaders or foundation drains. Infiltration is groundwater that seeps into sanitary sewer pipes through cracks and leaky pipe joints. Infiltration amounts vary by season and in response to

groundwater levels. Infiltration is typically more distributed than inflow and it occurs at lower individual rates, however, its cumulative effect can be severe. Sources of inflow and infiltration are shown in the illustration below – Figure 1.

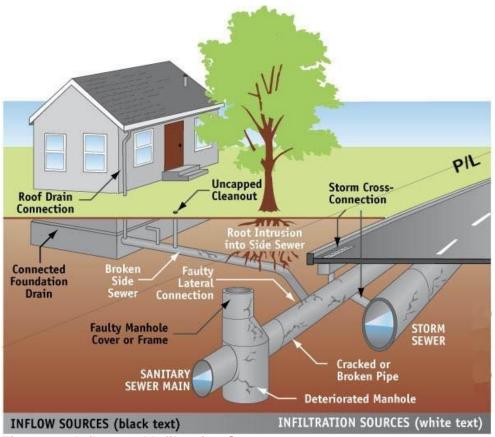


Figure 1 - Inflow and Infiltration Sources

The extent of I&I varies from community to community throughout the CRD; however, it is a particular issue for communities which have older sewer infrastructure, including the City of Victoria. In some areas of the City, due to the overall age of the system, the impacts of I&I can be significant during heavy rain events. I&I rates will be further impacted by climate change with increased frequency and severity of extreme rainfall events.

Typically, more than half of the piped sewer system in any community is located on private property. Buildings are connected to the public system by way of sewer laterals which are small diameter pipes that run across private property from the building to the public sewer main. The property owner is responsible for maintaining the private laterals from their buildings out to the property line; but most private laterals tend to be neglected because they are "hidden" to the property owner and there is a lack of awareness of responsibility.

In Victoria, common with many municipalities across the country, an estimated 40% - 60% of the total I&I flows is understood to be generated from the private-side portion of sewer laterals. Most sewer utilities take an active role to reduce I&I but, while nearly half or more of the flows originate from private pipe issues, most public programs are almost exclusively dedicated to public-side reduction measures.

Over the years, the City has been implementing several programs to reduce I&I rates, including flow monitoring, investigation and condition assessment, sanitary sewer master planning and

system rehabilitation. The focus to date has been directed to the publicly owned portion of the sanitary sewer system, including annual capital programs for rehabilitation and asset replacement.

The regional core area wastewater system is governed by the CRD's Core Area Liquid Waste Management Plan (CALWMP). The CALWMP outlines wastewater management strategies and initiatives to protect the region's water quality, including a focus on I&I. Under the plan, the CRD and participating municipalities are committed to reduce the maximum daily wet weather flows to less than four times the average dry weather flow by 2031.

To support climate resilience and meet regulatory flow requirements, the City will need to expand I&I mitigation to include I&I originating from private properties.

ISSUES & ANALYSIS

Victoria's sanitary sewer system is divided into catchments, or separated areas with various sewer pipes (connected to private laterals) which convey flows to a common terminus, often at the intersection with a regional CRD pipe. This branch-and-trunk type model is common in all major utilities and allows for area-specific planning, prioritization and solutions when presented with distributed and irregular problems such as I&I.

There are 20 catchments in the city, ranging in size from 25 ha to over 400 ha. Areas are typically defined by land that sits as a depression from the surrounding landscape and natural drainage patterns, but pumping systems are also used to connect isolated areas back to the broader utility.

Computer modelling with flow monitoring data has been used to analyse I&I impacts to City catchments. Flows from I&I vary among catchments during wet weather flows. While a number of the catchment areas are in compliance, improvements are needed in nearly 70% of the City catchments over the next decade to meet regulatory requirements.

All forms of I&I are not the same and the response to them varies depending on their causes.

Analysis of how quickly peak flows occur in the sanitary sewer system during a storm can be split into three response types:

- 1. *Fast* response, which denotes that there is a problem with inflow connections such as direct stormwater connections to the sanitary sewer.
- 2. *Medium* response, which denotes that there is a minor problem with inflow connections, but most flows originate on a cumulative basis via small flows distributed in many locations.
- 3. Slow response, where flows originate broadly and in small amounts in many locations that add up to create the overall I&I issue.

Nearly half of the catchments in the City are driven by fast response flows meaning that direct stormwater connections to the sanitary sewer system are an important focus area. While infiltration from aging laterals of all types is a concern, engineering analysis indicates that faulty inflow connections are triggering most of the capacity challenges.

Inflow issues typically occur when private-side stormwater drainage is directly connected to the sanitary sewer system. In some cases this occurs in older homes, constructed under now-obsolete sewer management practices, where connection of private-side stormwater drainage was permitted to be connected to the sanitary lateral (dual-sewer lateral) due to the cost and difficulty of managing stormwater in hilly, bedrock-prone areas.

Private Sanitary Sewer Laterals Inventory

There are approximately 14,500 private-side sanitary sewer laterals in the City. Table 1 provides a breakdown of sanitary sewer laterals into four main types and shows that residential laterals make up the majority.

Table 1 - Sanitary Sewer Lateral Profile Breakdown

Account Type	Count	Percentage
Commercial	1,450 +/- 10%	~10%
Government	500 +/- 10%	~3%
Industry	100 +/- 10%	~1%
Residential	12,450+/- 10%	~86%
TOTAL	~14,500	

Private-side sanitary sewer laterals range in diameter, length, material, and configuration on any property. The size and surface treatment (e.g., landscaping or pavement) can greatly impact the cost of renewing or rehabilitating a lateral. Most laterals in Victoria date back to the property's original development over 100 years ago. Pipes deteriorate as they age which exacerbates the broad distribution challenge for flow reductions. These issues are key factors when considering private-side lateral programs.

Private-Side Lateral Programs

Experiences in various jurisdictions in BC suggest that while private-side laterals are a primary source of I&I, introduction of measures and programs to require property owners to repair them is complex and challenging. Common issues, barriers and difficulties related to private sewer lateral programs fall into three broad categories:

- 1) Property owner participation with private-side piping.
- 2) Technical challenges with renewing private-side laterals.
- 3) Authorities.

1. Property Owner Participation

- Public understanding and familiarity Most residents are unaware of the problem and environmental impacts, question why the utility is interested in their property, nor appreciate how their lateral connection contributes to a cumulative, system-wide issue.
- Lack of public motivation Private property owners rarely act on an issue that is buried-from-view until it directly impacts them, e.g., if I&I were to cause a flood.
- High costs of renewal Renewing private-side laterals can be costly: for the property owner
 and for the municipality if they provide funding (rebates). Cost estimates can vary from
 property to property due to many unknowns (e.g., length of pipe, soil conditions, tree
 impacts, landscaping, subsurface conditions, among others). Most property owners do not
 budget for this.

- Enforcement difficulties Municipalities have the legal authority to enforce private-side lateral bylaws, however, the buried laterals require on-site investigations to attest to their condition.
- Imposing oversight in new areas There can be public concern toward new services or regulations especially where there are unknown outcomes, especially cost.
- Changes to regulations decades ago, many private sanitary laterals were required to include storm-inflow connections directly to sanitary sewers since alternative storm sewer networks did not exist to collect foundation and roof drain flows.

2. Technical Challenges with Renewing Private-side Laterals

- Cross-connection location Improper storm drain pipes connected to the sanitary sewer (cross-connections) may exist inside the building or may be difficult to locate during inspections, which makes lateral repairs difficult to resolve.
- Industry-wide technical capacity Available staff and/or contractors may not have the knowledge or experience to assess the need to correct the lateral.
- Lack of accurate methods to assess program benefits Some measures take time to prove
 out.

3. Authorities for Private-Side Laterals

- Meeting standards and requiring upgrades on the private-side can also be part of a mitigation plan when considering municipal authorities for laterals.
- The City of Victoria is primarily governed by the Local Government Act and Community Charter. These pieces of legislation provide the City with broad authority to own, operate, and manage a public sanitary sewer system.
- Requirements and regulations for owners to maintain a safe, working sanitary lateral are identified in the Sanitary Sewer and Stormwater Utilities Bylaw 14-071. This bylaw also includes testing requirements for any development or redevelopment for reuse of laterals, where the value of the building permit is more than \$100,000. Developments or permit values less than that amount are exempt from lateral inspections or repairs as part of the permitting process.

Plumbing Permit Thresholds for Lateral Investigation or Repair

The purpose of a value-threshold for investigating laterals during a renovation or development is to prevent a costly lateral repair from overburdening a minor private-side project. The current value-threshold is \$100,000 meaning any plumbing permit or building permit of this magnitude will trigger the requirement to investigate and, if necessary, to repair the lateral to meet the standards outlined in the bylaw. Any permit with a construction value less than \$100,000 is exempt from the investigation unless visual evidence of lateral failure is collected in the field. By lowering the value-threshold, more permits would be eligible for the inspection thereby creating a gradual method of private-side lateral renewal.

A cursory review of the building and plumbing permits issued between 2017 to 2019 suggest that about 150-175 eligible permits were issued per year with a value equal to or greater than \$100,000. If the value-threshold were lowered to \$25,000, for example, the number of eligible permits issued per year would increase to 300 to 350 eligible permits. A potentially significant private-side mitigation of I&I is available under this scenario, as upwards of 3,000 laterals would be included for investigation and repair over a 10-year period, equal to nearly 25% of all laterals in the City.

A drop in the value-threshold will impact property renovations. This approach would require outreach with stakeholders and would be considered with new incentives or rebates.

In summary, private-side I&I presents multiple challenges and any mitigation approach must consider the perspectives and concerns of property owners, technical challenges, financial impacts and authorities of the municipality while also advancing a program that leads to actual, significant reductions.

Industry-Wide Private-Side I&I Reduction Programs Review

To support staff in review and considerations of a private-side laterals program, Urban Systems was engaged to review industry-wide examples of governing agencies from North America that have established a private-side I&I reduction program. A summary of their findings is included in Attachment A and have been considered in the recommended strategy.

Reduction Priorities

Overall, there are a handful of priorities that guide the development of the I&I reduction program, namely:

- Build awareness of the property owner's responsibility for a clean, functional sewer lateral
 and develop effective communications coupled with effective investigation and repair-based
 incentives.
- Design initiatives that target both a) reducing the rapid inflows that come from crossconnections and dual-sewer laterals, and b) renewing private-side pipes to reduce infiltration sources.
- Continue with utility-led investments in the public right of way while dedicating new funds for private-side solutions.
- Secure long-term program resources including, financial, technical, and administrative.
- Refine bylaws and policies so that there is a clear, reasonable standard for all homeowners and developers to follow.
- Review plumbing permit thresholds for lateral inspections.

OPTIONS & IMPACTS

This report outlines opportunities to mitigate storm and groundwater flows from private property to the sanitary sewer system. Opportunities to expand are outlined below:

- Most homeowners are unaware of the responsibility, impacts and costs of failed laterals or inflow connections. Enhanced communications are both a precursor to expanding the private-side programs and a sustaining practice to report out on long-term reductions.
- Existing regulations are suitable for basic issues and solutions. There are some regulatory and operational gaps in fees, fines, enforcement, and permitting requirements. Addressing these gaps will help encourage more homeowners to take preventative action to repair their laterals, and later, will help to ensure that all pipes meet a minimum standard. A review of time of renovation or redevelopment requirements can potentially address a high volume of laterals. The current building permit value threshold is too high to trigger a meaningful level of inspection and renewal.

 Sanitary Sewer utility revenues appear adequate to cover a gradual implementation of initiatives. However, additional funding streams will be required to advance private-side programs including offering rebates.

Successful reduction of private-side I&I will redirect flows to the stormwater system. Managing these flows will require new capital works such as stormwater extensions and infrastructure capacity upgrades. These requirements will be reviewed and considered as part of the Stormwater Management Plan update with capital funding requirements included in future financial plans.

Option 1 – Phased Development of Private Property Laterals Program - Recommended

To begin addressing the complex issue of private property I&I reduction, staff recommend a phased multi-year approach that relies on public and stakeholder outreach/awareness, regulatory changes, new funding and rebates. It is envisioned that the plan would be delivered over ten years with a three-phase strategy as outlined below. Before proceeding with each phase, staff would report back to Council with detailed recommendations.

Phase 1 (2023)

- 1. Property Owner Awareness & Inspection Rebates
 - Develop an education and awareness campaign for property owners including private lateral responsibilities, I&I impacts, flood risks and information on available rebates for inspections.
 - Budget up to \$50,000 per year for two to three years for annual rebates for property owners looking to proactively inspect their sewer lateral (incentives/rebates for repair proposed for Phase 2).
 - Explore City led initiative or joint opportunities with CRD (that also support Core Area needs), such as:
 - Partner with real estate firms, home inspection businesses, strata corporations and plumbers to encourage video of laterals and include results in property sale checklists.
 - Develop common plumber inspection forms for laterals and explore regional certification program for consistent assessments.
 - Consider options for development of a regional incentives or top-up rebates program for property owners who renew their lateral.

2. Regulations Planning and Development

- Review renovation or redevelopment requirements for inspection and repair of sanitary laterals. Review the implications of amending bylaws to lower permit value threshold, currently at \$100,000; proceed following progress with stakeholder communications and the establishment of funds for rebates.
- Review funding options including consideration of refining sewage frontage tax to expand cost-recovery for asset renewal and rebates for lateral repairs.

Phase 2 (Target 2024)

- 1. On-going Property Owner Awareness & Inspection Rebates
 - Continue education and awareness campaign for property owners and maintain rebates for inspections.

2. Future Regulations Development

 Review fees and surcharges for non-compliant laterals including those with known issues that are not resolved and those with technically feasible means to eliminate dual-sewer laterals.

3. Gradual Pipe Renewal

- Implement lateral repair rebate for all properties that choose to (or must) upgrade their pipes; allocate annual utility funding for rebates.
- Review areas with high I&I rates without adequate stormwater infrastructure.
- Report on number of laterals renewed and achieved reduction of I&I flows.

Phase 3 – TBD Build upon outcomes of Phase 1 & 2 but may include:

- 1. On-going Property Owner Awareness & Inspection Rebates
 - Maintain rebate program.

2. Future Regulations Development

- Review enforcement approaches and effectiveness and consider amendments as needed.
- Explore when to enter private property to complete the works and indebt the property owner e.g., a known failed lateral or non-compliance with removal of dual-sewer lateral.

3. Maintain Ongoing Pipe Renewal Program

Continue reporting on number of laterals renewed and reduction of I&I flows.

In addition to program development, staff would also identify areas where storm drain service extensions are required to eliminate historic dual lateral service connections.

Option 2: Send back the Recommended Plan with revisions and report back to Council with amendments.

Council may choose to defer adoption of the plan, de-scope, or consider a different set of actions. Staff can review and reconsider the plan, as Council directs.

Accessibility Impact Statement

The recommendations in this report consider the City's objectives for access to affordable housing. As the detail of each phase of the strategy is developed, accessibility of the program to all homeowners will be considered.

2019 - 2022 Strategic Plan

This program is an action item under 2021 Strategic Plan objective #6. Climate Leadership and Environmental Stewardship.

Impacts to Financial Plan

Resources and costs for development and implementation of the recommended plan will be developed and included in future financial plans for Council consideration with funding from the Sanitary Sewer and Stormwater Utilities.

Official Community Plan Consistency Statement

Section 10 - Environment, Broad Objectives

10 (c) That freshwater and shoreline areas are protected and managed to best maintain hydrological functions.

Section 11 – Infrastructure, Goals

11 (c) Efficient and effective liquid waste management protects human health and the natural environment and makes use of resource potential.

Section 11 – Infrastructure, Broad Objectives

11 (e) That wastewater is managed to safeguard public health and to protect the marine environment.

Section 11 – Infrastructure, Wastewater Management

11.15 Continue to support the Capital Regional District in the regular update and implementation of the Core Liquid Waste Management Plan.

11.16 Continue to support the Capital Regional District and the health authority in monitoring and evaluating the effects of wastewater discharges on public health and the protection of the watershed and coastal marine environment.

CONCLUSIONS

I&I flows to the sanitary sewer are an ongoing concern for the City and will be further impacted by climate change impacts. While the City has been actively targeting I&I in the publicly owned portion of the sanitary sewer system, a major source of the issue is from laterals located on private property. A program to address private-side sanitary sewer deficiencies is required. A phased approach with education-outreach, new regulatory requirements and new funding with incentives is proposed.

Respectfully submitted,

Nina Sutic-Bata, P.Eng. Jas Paul

Manager, Underground Utilities Assistant Director, Engineering and Public Works

Philip Bellefontaine

Director, Engineering and Public Works

Report accepted and recommended by the City Manager.

List of Attachments

Attachment A - Urban Systems Review of existing Private Side I&I Reduction Programs

Attachment A - Urban Systems Review of existing Private Side I&I Reduction Programs

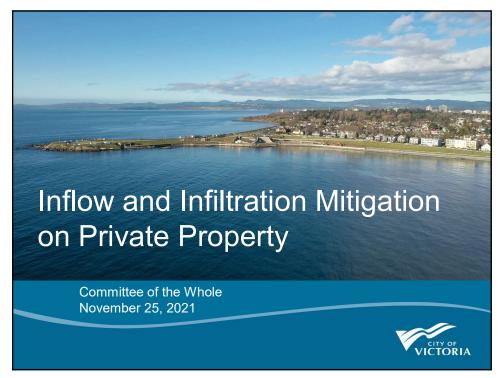
A limited number of governing agencies throughout North America have established a private side I&I reduction program, each with tailored strategies to address the various pressures and challenges of the issue. It is these experiences that can help to inform and customize Victoria's approach. Six jurisdictions were analysed for this report: Metro Vancouver, the Township of Esquimalt, the City of Surrey, the City of Santa Barbara, the York Region in Ontario, and Halifax Water. To assess their programs, they were asked the following questions:

- 1. Who is responsible for inspecting the private lateral up to the public side to determine if pipe issues exist?
- 2. Who pays for and preforms this inspection?
- 3. What is required after inspection results are determined?
- 4. Who is responsible for organizing and paying for maintenance if deemed as being required?
- 5. What, if any, consequences exist in the event of non-compliance?

Overall, while there are nuances to all six municipal case studies, a few key highlights do emerge for consideration in Victoria:

- Clear and comprehensive policy assists local governments in program implementation and helps property owners to navigate their personal responsibilities.
- Negative surprises should be avoided or prevented for all utility customers so instead, adopt proactive, relatable communications that encourage preventative actions.
- There are many uncertainties and technical obstacles when repairing private side laterals. Rather than avoiding these complications, the program should be informed by and adaptive to them.
- Utility-led works on private property present liabilities. Homeowner responsibility is critical in the long run.
- Many private-side programs in other utilities are designed to target private-side repairs however they often create expanding administrative duties which offers diminishing returns.
- It is important to strike a balance between incentives (e.g. rebates) and enforcement as both are helpful in achieving reductions. Also, it is rare that the homeowner is entirely responsible for the cost of upgrades and equally rare the private-side repairs are solely borne by the utility. Incentives provide a balanced approach to initiate momentum.
- Public-side I&I reductions should continue.
- In some cases, new public infrastructure such as attenuation tanks are more costeffective than extending stormwater pipes or incentivizing the removal of dual-sewer laterals.
- Successes should be reported out to promote ongoing learning and to celebrate the goals of the program.

Despite the challenges from other utilities and the diversity of variables in creating an effective reduction program, these lessons learned offer important fundamentals for Victoria's private-side I&I reduction program.



1

Purpose

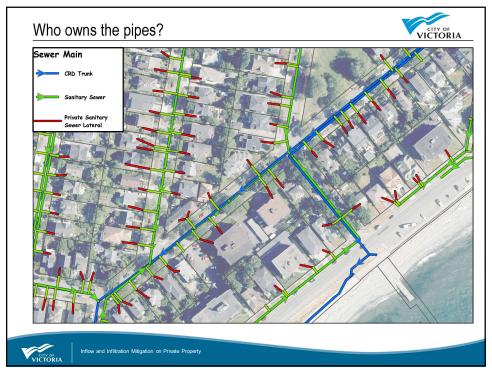
The purpose of this report is to provide Council with options to mitigate inflow and infiltration to the sanitary sewer collection system from private property.

This presentation will provide an overview of:

- ✓ What is inflow and infiltration and why is it a problem
- ✓ Private-side property laterals
- ✓ Considerations for private property I&I reduction
- ✓ Recommended multi-year strategy



Inflow – rainwater that enters the sanitary sewer system through storm drain cross connections. Infiltration – groundwater that seeps into sanitary sewer pipes through cracks and leaky pipe joints. Roof Drain Cleanout Connection Side Foundation Side Fo



Why is I&I a problem?

- ✓ Excessive I&I can result in overflows into waterways and backflows of sewage onto private property
- ✓ Increased maintenance and treatment costs
- ✓ Can lead to unnecessary construction of expensive oversized conveyance and treatment facilities
- ✓ Climate change will increase I&I as reoccurrence of severe rainfall is anticipated to increase







nflow and Infiltration Mitigation on Private Property

5

Regulatory Commitment

Core Area Liquid Waste Management Plan

Reduce maximum daily wet weather flows below four times the average dry weather flow by 2031.



VICTORIA

Inflow and Infiltration Mitigation on Private Proper

Issues

- ✓ Significant portion of the City's sanitary system was constructed over 100 years ago
- ✓ I&I increases with the age of the system
- ✓ Several catchments in the system are contributing I&I flows that are greater than the regional target of four times average dry weather flow
- ✓ Flow reductions to support climate resilience and regulatory requirements will require expanding mitigation to include I&I originating from private properties
- ✓ City focus to-date has been on publicly owned portion of the system
- ✓ Estimated that private laterals generate approximately 40% to 60% of total I&I flows



Inflow and Infiltration Mitigation on Private Property

7

Private-side Laterals Program

Common issues, barriers and difficulties related to private sewer lateral programs fall into three broad categories:

- 1. Property owner participation with private-side piping
- 2. Technical challenges with renewing private-side laterals
- 3. Authorities





Inflow and Infiltration Mitigation on Private Propert

Focus Areas for Program

- ✓ Build awareness of the property owner's responsibilities and develop effective communications with investigation and repair incentives
- ✓ Design initiatives that target both reducing rapid inflows from cross-connections and renewing private-side pipes to reduce infiltration sources
- ✓ Dedicate new funds for private-side incentives/rebates
- ✓ Secure long-term program resources
- ✓ Refine bylaws and policies so that there is a clear, reasonable standard for all homeowners and developers to follow
- ✓ Review plumbing permit thresholds for lateral inspections



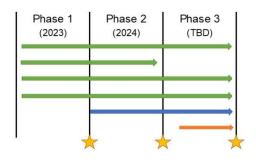
nflow and Infiltration Mitigation on Private Property

9

Recommended Strategy Private-side Laterals Program

Property Owner Awareness Rebates for Proactive Inspections CRD Collaboration Regulations Development Implement Lateral Repair Rebate Fees and Surcharges

Reporting to Council





nflow and Infiltration Mitigation on Private Propert

Recommendations

That Council:

- 1. Endorse the recommended strategy presented in this report to begin mitigating inflow and infiltration from private property sanitary sewer laterals.
- 2. Direct staff to bring forward a funding strategy and budget request as part of the 2023 Financial Planning process that includes resource and funding requirements to implement the recommended strategy.



Inflow and Infiltration Mitigation on Private Property



Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 16, 2021

From: Philip Bellefontaine, Director of Engineering and Public Works

Subject: Authority for Broad Street and Gladstone Avenue Pedestrian Priority Treatments

RECOMMENDATION

That Council:

 Consider first, second and third reading of the Streets & Traffic Bylaw Amendment #21-111 to broaden the Director of Engineering's authority to make Traffic Orders to regulate traffic for time of day, day of week and/or vehicle type restrictions on streets or portions of streets.

EXECUTIVE SUMMARY

Council has directed staff to continue pedestrian priority treatments on the 1000 block of Broad Street and a portion of the 1300 block of Gladstone Avenue to facilitate additional public space for non-motorized travel as well as commercial patios and seating once the Business Recovery from Pandemic Bylaw is rescinded in October 2022. This direction supports objectives in Go Victoria, the City's sustainable mobility strategy, as well as policies within the Official Community Plan.

Section 9 of the Streets & Traffic Bylaw currently delegates the power to issue a broad range of Traffic Orders to the Director of Engineering. The authority to change operations from a two-way road to a single one-way block on a portion of the 1300 block of Gladstone Avenue through a Traffic Order already exists, but nothing is currently in place to allow for the restriction of classes of vehicles or time of day restrictions for the 1000 block of Broad Street.

Therefore, in order to enable the Director to implement regulations to facilitate time of day, day of the week, and/or vehicle type restrictions for Broad Street, or other future locations to support pedestrian priority measures, minor changes to the Streets and Traffic Bylaw are required. The delegation of this authority to the Director does not limit the power of Council to rescind a Traffic Order.

Once these changes are in place, Traffic Orders will be issued by the Director of Engineering for both sites for purposes of formally delivering on Council direction on Gladstone Avenue and Broad Street.

PURPOSE

The purpose of this report is to seek Council's approval to delegate additional powers to the Director of Engineering for the purpose of regulating the movement of traffic pursuant to Part 3 Section 124 (4) (a) and (b) of the Motor Vehicle Act.

BACKGROUND

This report is focused on bylaw changes to achieve pedestrian priority treatments through travel lane and road closure treatments on Gladstone Avenue and Broad Street as previously directed by Council in March 2021 and July 2021.

In March 2021, Council passed a motion directing staff to continue with the pedestrianization of the 1000 block of Broad Street as part of the Build Back Victoria program and to include this zone in future work plans to prioritize pedestrian activity and animation while ensuring access to loading and accessible parking adjacent to the block. The operation of Broad Street currently facilitates commercial vehicle access and loading until 10am, seven days a week. After this time, the road is used for pedestrian access and non motorized vehicle use.

In July 2021, Council directed staff to bring forward processes for facilitating closures of travel lanes and/or full roadways to facilitate increased public space and/or areas for permitted commercial use, beginning with 1300 Block on Gladstone Avenue at Fernwood Road. The operation of Gladstone Avenue currently facilitates one-way east-bound vehicle travel, 24 hours a day, seven days a week.

ISSUES & ANALYSIS

The Build Back Victoria program and associated Business Recovery from Pandemic Bylaw will end on October 31, 2022. In order to continue providing expanded public plaza space and facilitate the opportunity for private patios through permit or license on the 1000 block of Broad Street and a portion of the 1300 block of Gladstone Avenue, Traffic Orders are required by the Director of Engineering.

The authority to change operations from a two-way road to a single one-way block on a portion of the 1300 block of Gladstone Avenue through a Traffic Order already exists, but nothing is currently in place to allow for the restriction of classes of vehicles or time of day restrictions for the 1000 block of Broad Street.

Staff are seeking approval to amend the Streets and Traffic Bylaw (Appendix A) to broaden the authority of the Director of Engineering to make Traffic Orders to include the restriction of vehicles from specified streets or portions of streets at various times of the day and days of the week. These Traffic Orders could also restrict classes of vehicles to enable commercial vehicle access for the purposes of making deliveries at non-peak times.

These proposed regulations are consistent with Sections 124(1) and (4) of the *Motor Vehicle Act*, and with Council's authorities under the *Community Charter*. As with all traffic orders enacted by the Director of Engineering, the delegation of this authority to the Director does not limit the power of Council to rescind a Traffic Order.

Next Steps:

The Director is currently authorized to and will issue a Traffic Order for the removal of on-street parking and convert a portion of Gladstone Avenue (between the intersection of Fernwood Road and the eastern property line of 1313 Gladstone Avenue) to one-way east bound travel effective December 31, 2021.

Should Council approve the Bylaw change proposed in this report, the second order will be issued to remove parking and restrict vehicle access, with exception of allowing time-limited commercial delivery and access for building owners, on the 1000 block of Broad Street effective December 31, 2021.

As a part of the Traffic Order process, record drawings will be developed and registered within the Transportation Division. Communications will be issued as required and on-site regulatory signage will be reviewed.

Staff will continue to work with neighbourhood associations, business and community groups to animate these spaces and prepare resource considerations for the design and construction of further pedestrian priority treatments on the 1000 Broad Street as a part of the 2023 Financial Planning Process. Staff will also continue to engage the public and stakeholders on streetscape enhancements and pedestrian priorities for Gladstone Avenue and Fernwood Square as a part of the neighbourhood planning process, currently underway.

OPTIONS & IMPACTS

Option 1: That Council consider first, second, and third reading of the Streets & Traffic Bylaw Amendment #21-111 to broaden the Director of Engineering's authority to make Traffic Orders to regulate traffic for time of day, day of week and/or vehicle type restrictions

Under this option, the Traffic Order for Broad Street would be implemented by the Director of Engineering for Broad Street. Authority for a Traffic Order on Gladstone Avenue is already in place.

Option 2: Not make any changes at this time to the Streets & Traffic Bylaw and allow the continuation of pedestrian priority measures on the 1000 block of Broad Street until the Business Recovery from Pandemic Bylaw expires on October 31, 2022.

Under this option, Broad Street would return to previous operating conditions once the Bylaw expires.

Accessibility Statement

Changes to the Streets and Traffic Bylaw and ratification of the Traffic Orders identified in this report for a portion of Gladstone Avenue and a block of Broad Street will continue to provide residents and visitors access to accessible outdoor public space. Passenger loading and accessible parking either on and/or adjacent to the corridors will be maintained.

2019-2022 Strategic Plan

These proposals are consistent with Council's 2019-2022 Strategic Plan to support the Build Back Victoria Program and previous direction to support continuation of pedestrian priority treatments in the downtown core and village centres.

Impacts to Financial Plan

There are no impacts to the 2022 Draft Financial Plan as physical changes to Broad Street and Gladstone Avenue were previously made as a part of pandemic recovery efforts. Additional placemaking treatments within these two zones can be initiated by the community and considered through existing grant programs. Staff will identify future capital works to further enhance the pedestrian priority treatments, safety and accessibility either as part of coordinated capital construction projects or through other programs as part of future Financial Plan submissions.

This proposal further advances pedestrian mobility identified in the Official Community Plan while activating the public realm and supporting business activities.

CONCLUSIONS

Staff are seeking additional authority, as it relates to the regulation of traffic, to deliver on Council direction to support pedestrian priority treatments on the 1000 block of Broad Street. Once authority is granted, Traffic Orders for both the 1000 block of Broad Street and a portion the 1300 block of Gladstone Avenue will be issued.

Respectfully submitted,

Sarah Webb, Manager, Sustainable Transportation Planning and Development

Ross Kenny **Assistant Director of Transportation**

Philip Bellefontaine Director, Engineering and Public Works

Report accepted and recommended by the City Manager.

List of Attachments

Appendix A: Amendment to Streets & Traffic Bylaw

Appendix A

NO. 21-111

STREETS AND TRAFFIC BYLAW, AMENDMENT BYLAW (No. 10)

The purpose of this Bylaw is to amend the Street and Traffic Bylaw to broaden the authority of the Director of Engineering to enable the Director to regulate and restrict traffic on streets or portions of streets.

Contents

- 1. Title
- 2. Definition
- 3. Amendments
- 4. Effective date

Under its statutory powers, including sections 124 (1)(a) and (b), and 124 (4) of the *Motor Vehicle Act*, RSBC 1996 c 318 and sections 8(3)(b), 12(1), 36, 62, and 154(1)(b) of the *Community Charter*, SCB 2003 c 26, , the Council of the Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

Title

1. This Bylaw may be cited as the "Streets and Traffic Bylaw Amendment (no. 10) Bylaw, 2021".

Definition

2. "Bylaw" means the Streets and Traffic Bylaw No. 09-079.

Amendments

- 3. Section 9 of the Bylaw is amended by adding the following:
 - "r) the streets or portions of streets where traffic, classes of traffic, vehicles, or drivers are regulated as the Director of Engineering considers advisable to support the prioritization of pedestrian traffic including:
 - the hours during which and days on which a provision of an order concerning the streets or portions of streets is in effect; and
 - ii) different provisions, including exceptions, for different classes of traffic, vehicles, or drivers."

Effective Date

4. This Bylaw comes into force on adoption.

READ A FIRST TIME the	day of	2021
READ A SECOND TIME the	day of	2021
READ A THIRD TIME the	day of	2021
ADOPTED the	day of	2021
CITY CLERK	MAYOR	



Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 12, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Proposed Robert Street Heritage Conservation Area and OCP Amendment

RECOMMENDATION

That Council:

- 1. Give first reading to the Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108.
- 2. Refer Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 for consideration at a Public Hearing.
- 3. Consider the Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 in conjunction with the City of Victoria 2017-2021 Financial Plan, the Capital Regional District Liquid Waste Management Plan and the Capital Regional District Solid Waste Management Plan pursuant to section 477(3)(a) of the Local Government Act, and deem those Plans to be consistent with the Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108.
- 4. Determine, pursuant to sections 475(1) and 2(a) of the *Local Government Act* that the affected persons, organizations and authorities are those property owners within the proposed Robert Street Heritage Conservation Area, that early and ongoing consultation is not required, and that the appropriate consultation measures include:
 - a. posting a copy of each of the Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 and the draft Robert Street Heritage Conservation Area Guidelines to the City website;
 - b. posting a notice to the City's website that invites affected persons to ask questions of staff and provide written comments by a specified date for Council's consideration, and identifies the staff who can answer questions and provide further information;
 - c. providing each property owner within the proposed Robert Street Heritage Conservation Area with mailed copies of each of the guidelines and bylaw described in 4(a), and of the notice described in 4(b); and
 - d. the presentation of a report enclosing the results of the consultation to Council at the time the Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 is presented to Council for second reading.

- 5. Determine pursuant to sections 475(1) and 475(2)(b) that no referrals of Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, School District Board provincial or federal governments and their agencies, Township of Esquimalt, District of Saanich and the District of Oak Bay due to the nature of the amendment.
- 6. Approve in principle the Robert Street Heritage Conservation Area Guidelines (2021) and refer them to the meeting of Council at which the public hearing for Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 is held, for public comment and consideration of final approval.
- 7. Direct staff to undertake the following if Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 is approved following the public hearing:
 - a. Add the following properties listed as contributing properties shown in the Robert Street Heritage Conservation Area Guidelines on page 17 to the City of Victoria Register of Heritage Properties:
 - i. 206 Robert Street
 - ii. 224 Robert Street
 - iii. 233 Robert Street
 - iv. 255 Robert Street
 - v. 301 Robert Street
 - b. Direct staff to make text and map amendments the Victoria West Neighbourhood Plan (2018), including amendments to Map 18 therein, to recognize the new Robert Street Heritage Conservation Area.

LEGISLATIVE AUTHORITY

In accordance with Section 614 of the *Local Government Act*, an official community plan may designate an area as a heritage conservation area to which section 615 (1), requirements for heritage alteration permit, applies.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations regarding the designation of a portion of Robert Street as a Heritage Conservation Area (HCA) by amending the *Official Community Plan, 2012* (OCP) (see Attachment A: Subject Map and Attachment B: Aerial Map). The designation would establish a set of objectives for the area and a heritage alteration permit process for land subdivision, new construction and alterations to existing properties. Heritage alteration permits would be reviewed against the Robert Street Heritage Conservation Area Guidelines (See Attachment C: Draft Robert Street Heritage Conservation Area Guidelines) and the *Standards and Guidelines for the Conservation of Historic Places in Canada, 2010* (The Standards and Guidelines).

Staff have determined that the designation of a portion of Robert Street as an HCA is consistent with the *Citizen-led Heritage Conservation Areas Policy*, and it has sufficient heritage value and character to justify conservation in accordance with the *Local Government Act*. Designation is generally consistent with the OCP, which encourages the conservation of special character in historic areas through the designation of HCA's. The designation is also consistent with the *Victoria West Neighbourhood Plan*, *2018* (The Neighbourhood Plan), which encourages the designation of citizen-initiated HCA's.

The draft guidelines permit the continued infilling and densification of the street through new housing, while establishing performance criteria regarding form, design and detailing.

The Heritage Advisory Panel reviewed the proposal at its October 12, 2021 meeting and recommended that Council approve the guidelines and the HCA. Panel members suggested that staff include examples of multi-family and more modest new housing in the document and staff responded by diversifying the images.

BACKGROUND

Description of Proposal

In 2018, a local resident nominated Robert Street as an HCA based on the City's Citizen-Led Heritage Conservation Areas Policy. The Heritage Advisory Panel and City Council supported the further study of the area later that year based on the contents of the nomination. Council approved the following motion on April 18, 2019:

- 1. That Council direct staff to study and evaluate the portion of Robert Street shown on Attachment A for its potential as a Heritage Conservation Area in accordance with the Council adopted Citizen-led Heritage Conservation Areas Policy.
- 2. If staff conclude that a Heritage Conservation Area designation is justified, report back to City Council with a draft Official Community Plan Amendment Bylaw that outlines the justification, objectives and guidelines in accordance with section 614 of the Local Government Act.

Staff completed historical research into the area and an evaluation of each house on Robert Street against the original approved building permit plans to determine its level of historical integrity. Based on these assessments and the research, staff have concluded that the area is eligible to be designated as an HCA.

The proposed Robert Street HCA is located in the Victoria West Neighbourhood. It includes a collection of 14 one-storey and one-and-a-half-storey houses, of which four were constructed during the Victorian and Edwardian era (1888-1911) in the Queen Anne and Colonial Bungalow styles (See Attachment D: Photographs of existing buildings on the street). Most of the remaining houses are from the wartime era (1939-1943) and designed in the Minimal Traditional style. Of the houses on the street, nine were found to be contributing to the heritage character of the street, and five were found not to contribute because they had been heavily altered or constructed outside the periods of significance. The street has historical and aesthetic value for its unique juxtaposition of elaborate Victorian style houses constructed by upper class owners in the late 1800's and early 1900's, and the economical minimal traditional houses constructed by middle income families between 1939-1945, incentivized by Canada's first national housing legislation.

The draft guidelines were sent to area residents for review in advance of an in-person meeting on May 30, 2021. Neighbourhood residents had no substantive comments on the draft.

If an HCA is approved for Robert Street, it will establish a heritage alteration permit system for alterations to existing buildings, new construction and subdivisions, as well as a number of exemptions.

Regulatory Considerations

If the proposed group of properties is designated as the Robert Street HCA, the following actions would require municipal authorization through a heritage alteration permit:

- a. Subdivide land within the area:
- b. Start the construction of a building or structure or an addition to an existing building or structure within the area;
- c. Alter a building or structure or land within the area;
- d. Alter a feature that is protected heritage property.

Four of the nine heritage properties are protected through designation under bylaw. It is proposed that the remaining five be added to the Victoria Heritage Registry, if Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108 (the "OCP Amendment Bylaw") is adopted (see Attachment E: Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108).

Infill Housing

The draft Robert Street Heritage Conservation Area guidelines address building form, detailing and design and do not prohibit any of the housing typologies permitted under the Traditional Residential Urban Place designation. In fact, many of the existing "single-family homes" on the street already contain multiple households. For example, the heritage designated houses at 614 Seaforth Place and 242 Robert Street each contain four rental or strata units. The guidelines anticipate further intensification and highlight emerging missing middle housing typologies that would respect and reinforce the cottage-like scale of the street. In particular, the east half of Robert Street features exceptionally deep lots with capacity for cottage-cluster style development in rear yards. Staff calculate that the guidelines would enable a minimum of 21 additional housing units to be constructed throughout the area in addition to the approximately 31 units permitted under current zoning. This represents a 40% increase over the current capacity.

Exemptions

The *Local Government Act* allows the City to specify exemptions from permit requirements. The following actions are proposed to be exempt from permitting in the Robert Street HCA:

- a. Exterior alterations to properties that are not listed on the City of Victoria Heritage Register or subject to a Heritage Designation Bylaw;
- b. Interior renovations;
- c. Exterior painting;
- d. Roof replacement using similar materials;
- e. Rear deck construction;
- f. On lots with a single street frontage, additions to the rear elevation of a building, which are under 100 square metres (1077 square feet) in size, less than the width of the rear elevation, and equal to or less than the height of the lowest portion of the roof;
- g. On lots with a single street frontage, a single garden suite located in the rear yard (Note: A garden suite would still require a delegated development permit and be subject to review under the design guidelines for DPA 15E: Intensive Residential Garden Suites);
- h. Landscaping alterations to features not identified as character-defining elements;
- i. Replacement of eaves troughs, downspouts and exterior lighting;
- j. Building envelope remediation, so long as there are no changes to appearance or design when the remediation is completed, and the only change to materials is in-kind replacements:

- k. In-kind replacements of missing, worn or damaged exterior materials, so long as there are no changes to appearance or design when the replacements are completed;
- I. Sustainability upgrades that do not affect the appearance of buildings from the street;
- m. Interior insulation:
- n. Envelope air sealing (e.g. weather-stripping);
- o. Mechanical system upgrades (including those with exterior equipment such as heat pumps and air conditioning units).

Under the draft OCP Amendment Bylaw property alterations would be reviewed against the HCA Guidelines and the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The demolition of existing heritage property would be discouraged and require authorization by City Council.

ANALYSIS

The following sections provide a summary of the initiative's consistency with the relevant City policies and guidelines.

Official Community Plan

The proposed designation of Robert Street is consistent with the *OCP*, Section 8 – Placemaking (Urban Design and Heritage), which directs the City to identify, celebrate and retain heritage and cultural values, to continue conserving and enhancing the heritage value, character and special features of historic areas through designation of new Heritage Conservation Areas. It also directs staff to use the heritage thematic framework for evaluation.

Consistent with other HCA 1: Traditional Residential areas in the City, an objective of the proposed HCA is to "enhance the area through infill and building additions with a high quality of architecture, landscape and urban design that responds to the cottage-like scale and character of the historic setting through sensitive and innovative interventions." The HCA has capacity for building additions and infill, including but not limited to, small-lot subdivisions, garden suites, duplexes and low-rise multi-family (multi-unit) buildings. Enabling these housing forms on Robert Street helps the City to meet its housing objectives and ensure that the neighbourhood can evolve to meet a proportion of overall housing demand.

Victoria West Neighbourhood Plan

The designation of Robert Street as an HCA is consistent with the Neighbourhood Plan, which in the section entitled, "Neighbourhood Plan Goals" states:

- 1. Protect the historic character of significant buildings and important sites
- Celebrate and interpret the heritage of the neighbourhood.

Section 10.2. "Heritage Conservation Areas" states:

10.2.1. Consider future citizen-initiated proposals for designation of Heritage Conservation Areas where heritage merit exists.

Designation of Robert Street as an HCA contributes to fulfilling two long-term actions (2028+) under the plan:

Consider citizen-initiated Heritage Conservation Areas, if proposed (see Policy 10.2.1.).

Heritage Conservation Area - Assessment Criteria

City Council adopted the *Citizen-led Heritage Conservation Areas Policy* on January 31, 2019. The policy establishes four main criteria for evaluating a potential HCA:

- 1. A proposed Heritage Conservation Area should consist of multiple contiguous properties, preferably including properties on both sides of a public street.
- 2. A majority of properties in a proposed Heritage Conservation Area should have a shared heritage value or set of heritage values.
- 3. A majority of properties within a proposed Heritage Conservation Area should have cohesive heritage character, embodied in a set of shared traits or features that give the area a distinctive quality or appearance. The heritage character of a proposed Heritage Conservation Area should be obvious to the untrained eye.
- 4. Boundaries of the area should be based on shared cultural heritage values, heritage character and natural geography and not include unrelated areas.

The proposed new HCA includes multiple contiguous properties on both sides of Robert Street. Research indicates that houses on the street share common heritage value in their association with the original Muirhead estate. A majority have a cohesive heritage character, embodied in the consistent setbacks, low-scale massing, asymmetrical façade composition and sloped rooflines. These traits are especially distinctive and recognizable amidst the surrounding context of higher density multi-unit buildings. The proposed HCA omits areas that are clearly unrelated.

Proposed HCA Boundaries

The nominator selected the boundaries to encompass a set of houses on Robert Street with consistent massing, setback and style characteristics (see Attachment D: Photographs of existing buildings on the street). The properties were created through a subdivision plan in 1879. Between 1881 and 1900, James Muirhead Sr. acquired six lots on Robert Street, and in 1903 constructed a house at the southeast corner of Esquimalt Road and Robert Street (527 Esquimalt Road). Members of the family eventually built two other houses on the street, only one of which survives at 223 Robert Street. The Muirheads maintained the lands in between 527 Esquimalt Road and 223 Robert Street as an apple orchard.

Of the fourteen properties included in the study area, four of the detached homes date from the Victorian and Edwardian era and were individually designated through city bylaws in the 1970s. Of these, 223, 230 and 242 Robert Street were designed in the Queen Anne style, and 614 Seaworth Street was designed in the Colonial Bungalow style. The designated houses are elaborately detailed, with horizontal wood siding, front porches, dormer windows, decorative brackets and columns. The remainder of the houses in the study area are not currently protected and were constructed between 1939 and 1945, with the exception of two houses constructed in 1955. The wartime houses on Robert Street were designed in the economical minimal-traditional houses built by middle class families between 1939-1945 under federal housing legislation of the late depression era. The minimal traditional-style houses have two-tone colour schemes, smooth stucco walls, fluid entrance details and simple fenestration in contrast to the polychromatic, textured Victorian houses with their turrets, finials, broad porches with classical columns, carved brackets and other eccentric decorations.

The street is a tangible expression of Victoria West's urban development from a collection of large homes on expansive landscaped properties to an industrial employment centre edged with suburbs for working class families. The street displays the evolution of the single detached home from an exclusive high end commodity in the early 1900's, to the template for middle

class housing in the postwar era. This shift was enabled when the federal government intervened in the housing market through the *Dominion Housing Act* of 1935 and subsequent *National Housing Act* of 1938.

Victoria Heritage Thematic Framework

A key policy of the OCP includes the determination of heritage value using a values-based approach. In this regard, a city-wide thematic framework (OCP Fig. 12) was developed and incorporated into the OCP to identify the key civic historic themes. The *Victoria Heritage Thematic Framework* helps organize and define historical events, to identify representative historic places, and to place sites, persons and events in an overall context. The thematic framework recognizes a broad range of values under which city-wide themes can be articulated. The statement of significance embedded in the HCA Guidelines includes an assessment of the street under the thematic framework.

Statement of Significance

A Statement of Significance describing the historic place, outlining its heritage value and identifying its character-defining elements, is included in the guidelines on page 22.

Engagement with Affected Owners

Staff and the nominator organized a walking tour of the street on Wednesday, August 8, 2018 for all property owners in the potential HCA. Over ten residents attended, and the tour finished with a lawn chair discussion in the front yard of a heritage property on the street. Staff provided information about HCAs in the meeting and none of the attendees expressed opposition. Staff convened a follow-up "front yard meeting" on Sunday, September 23, 2018 where staff delivered a more comprehensive overview of the proposed HCA, including the preliminary rationale and the potential implications of an HCA bylaw for homeowners. The Robert Street HCA nomination that the applicant submitted includes a petition with over 30 signatories from within the potential HCA and surrounding area. In April 2021, staff posted a copy of the draft guidelines to the City website and mailed copies of the draft Robert Street Heritage Conservation Area Plan to all property owners and invited them to a consultation meeting on Sunday, May 30, 2021. Approximately 11 residents attended the meeting. Residents were largely happy with the plan and none expressed significant concerns with the document.

Consultation on OCP Amendment Bylaw

In accordance with the *Local Government Act*, when an amendment is proposed to the OCP, the local government (Council) must, in addition to the public hearing, provide one or more opportunities it considers appropriate for consultation with persons, organizations and authorities it considers will be affected. Specifically, Council must:

- (a) Consider whether the opportunities for consultation with one or more of the persons, organizations and authorities should be early and ongoing; and
- (b) specifically consider whether consultation is required with the following:
 - i. the board of the regional district in which the area covered by the plan is located, in the case of a municipal official community plan:
 - ii. the board of any regional district that is adjacent to the area covered by the plan;
 - iii. the council of any municipality that is adjacent to the area covered by the plan;
- iv. First Nations;
- v. boards of education, greater boards and improvement district boards;

vi. the Provincial and federal governments and their agencies.

Given that the HCA Designation and the Robert Street Heritage Conservation Area Guidelines (2021) will only apply to HCA 1: Traditional Residential – Robert Street, staff recommend that Council consider "persons affected" by the proposed OCP amendments to encompass only the property owners within the proposed Heritage Conservation Area. This approach is consistent with the *Citizen-Led Heritage Conservation Areas Policy*.

In consideration of section 475(2)(b) of the *Local Government Act*, Staff do not recommend referral to Songhees Nation or Esquimalt Nation because there are no identified locations of interest within the boundaries of the proposed Robert Street designation.

In consideration of section 475(2)(b) of the *Local Government Act*, staff do not recommend referral to the Capital Regional District Board, Island Health, School District Board provincial or federal governments and their agencies, Township of Esquimalt, District of Saanich and the District of Oak Bay because. The bylaw amendment introduces design guidelines for new and existing privately owned buildings and the above organizations have no known interests or properties on the street affected by the guidelines.

Based on the level of engagement with owners that occurred during assessment of the area and development of the proposed Robert Street Heritage Conservation Area Guidelines (2021), staff recommend that the consultation opportunity consist of posting the proposed Robert Street Heritage Conservation Area Guidelines (2021) and a copy of the proposed OCP Amendment Bylaw to the City of Victoria website for a period of two weeks, along with a notice inviting affected persons to ask questions of staff and provide written comments to Council for their consideration by a specified date. Staff also recommend that a copy of each of the proposed Robert Street Heritage Conservation Area Guidelines (2021), the proposed OCP Amendment Bylaw be mailed to property owners within the boundaries of the proposed HCA 1: Traditional Residential – Robert Street, and a notice inviting questions and comments by a specified date, and identifying a staff person who can provide further information, answer questions, and receive comments.

The City website will identify the appropriate staff person who can provide further information, answer questions, and receive comments from the community. A report on the results of this consultation, including any proposed changes to the proposed Robert Street Heritage Conservation Area Guidelines (2021) and the OCP Amendment Bylaw will be presented to Council at the time the OCP Amendment Bylaw is presented for second reading.

In addition to the section 475 consultation opportunity, the City website will also include the date of the public hearing of the OCP Amendment Bylaw, and invite the public to provide written or verbal comments to Council for its consideration at the public hearing.

Heritage Advisory Panel

The Heritage Advisory Panel reviewed the nomination at its October 12, 2021 meeting and made the following motion (see Attachment F: Heritage Advisory Panel Minutes, October 12, 2021):

- 1. That Council approve the designation of the portion of Robert Street shown in the draft Robert Street Heritage Conservation Area Guidelines Document as a Heritage Conservation Area, pursuant to Section 614 of the *Local Government Act*; and
- 2. That Council approve the draft Robert Street Heritage Conservation Area Guidelines as presented.

Panel members made the following additional suggestions:

- include images of multi-family houses that could fit with the district
- add more modest and less expensive looking examples of new housing.

In response, staff added an image of a duplex on page 25 and an image of inexpensive, 300 square foot cottage cluster style houses on page 26. The houses depicted were constructed in 2005 at an approximate cost of \$142 per square foot in today's dollars.

OPTIONS AND IMPACTS

Alternate Motion

That Council decline the proposed designation of Robert Street as a Heritage Conservation Area.

Accessibility Impact Statement

The existing heritage houses on Robert Street are one-and-a-half storeys tall with elevated first storeys. The upper floors of most houses are not wheelchair accessible, however the *Standards and Guidelines for the Conservation of Historic Places in Canada* encourages ramps and other retrofits to existing historic buildings. The HCA could also accommodate a significant amount of infill development and the guidelines do not require new buildings to have elevated first storeys. New buildings on Robert Street could be designed as adaptable or accessible units.

2019-2022 Strategic Plan

Designation of Robert Street as an HCA supports the operational priority of heritage conservation and heritage designation in the Strategic Plan.

Impacts to Financial Plan

Establishing Robert Street as an HCA will result in additional heritage alteration permits for staff to process should property owners propose changes to their properties. However, this particular area along Robert Street is a relatively small area, so impacts to staffing resources would be minimal. Further, the draft OCP Amendment Bylaw contains minor application exemptions to both lessen the permit process impacts to property owners and the volume of applications received.

Official Community Plan Consistency Statement

The designation of Robert Street as an HCA is consistent with heritage-related directions in the *Official Community Plan* under Section 8: "Placemaking – Urban Design and Heritage".

CONCLUSIONS

The designation of Robert Street as an HCA is consistent with *Official Community Plan* objectives for the continued identification and recognition of historic areas in the City. It is consistent with *Victoria West Neighbourhood Plan* policy to consider citizen-initiated Heritage Conservation Areas where heritage merit exists. The draft Robert Street Heritage Conservation Area guidelines permit the continued intensification and infilling of the street, while offering guidance for staff and owners on appropriate alterations to historic homes and managing the

form, character and design of new residential buildings to ensure a good fit. Staff therefore recommend that Council approve the designation of the street as a Heritage Conservation Area.

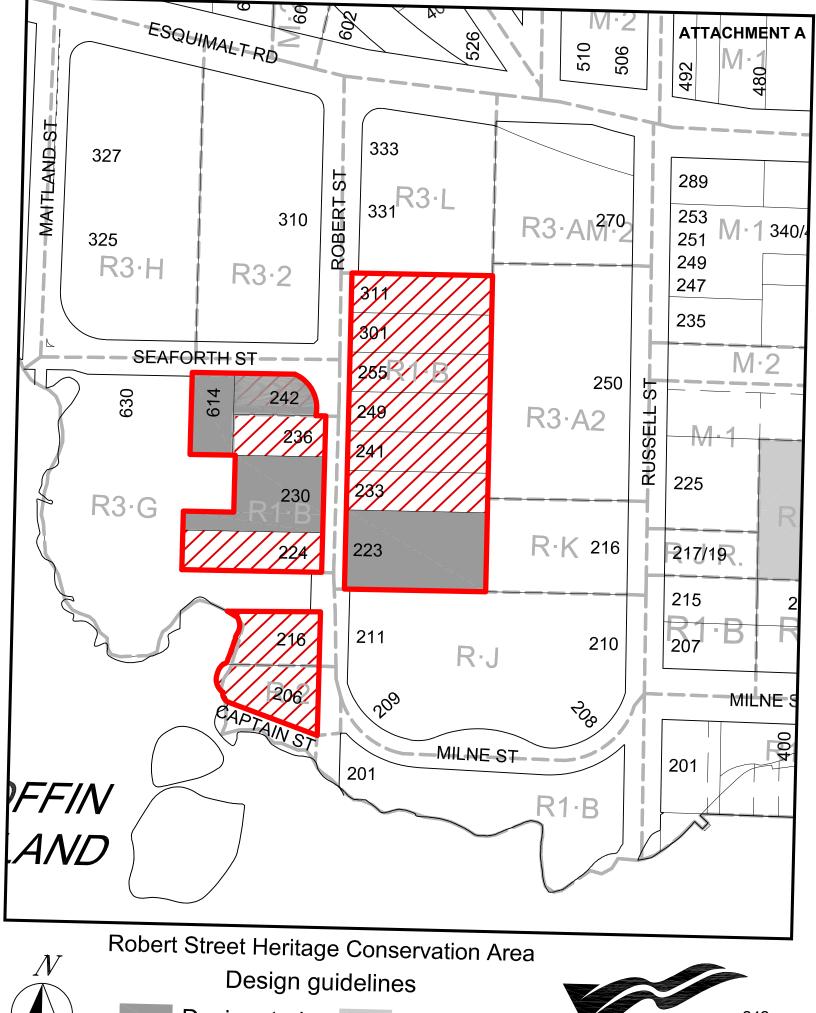
Respectfully submitted,

John O'Reilly Senior Heritage Planner Development Services Karen Hoese, Director Sustainable Planning and Community Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Draft Robert Street Heritage Conservation Area Guidelines
- Attachment D: Photographs of existing buildings on the street
- Attachment E: Official Community Plan Bylaw, Amendment Bylaw (No. 39) 21-108
- Attachment F: Heritage Advisory Panel Minutes, October 12, 2021.





Designated Registered







Robert Street Heritage Conservation Area Design guidelines



Registered















Robert Street Heritage Conservation Area Guidelines

ATTACHMENT C



Publishing Information

Title: Robert Street Heritage Conservation Area Guidelines

Prepared By: City of Victoria

Sustainable Planning and Community Development Department

Status: DRAFT

Contact Details: City of Victoria

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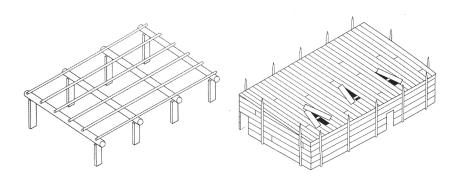
11 The History of Robert Street

1.1 First Nations Presence

The Robert Street heritage conservation area is located on the homelands of the Ləkwəŋən (Lekwungen) peoples, today represented by the Songhees and Esquimalt Nations, who inhabited southern Vancouver Island for thousands of years prior to European contact. There are many sites along Victoria's shoreline that are culturally significant to the Lekwungen people.

After the founding of Fort Victoria in 1843, many Lekwungen families gathered in a village on shore of Victoria West, which was officially designated a reserve in 1853. It was around this time that the families came to be referred to as "Songhees", an anglicized pronunciation of one of the family groups.¹

In 1911, the Songhees came under pressure from the City, provincial and federal governments and negotiated a financial settlement to relocate to a new reserve in Esquimalt.



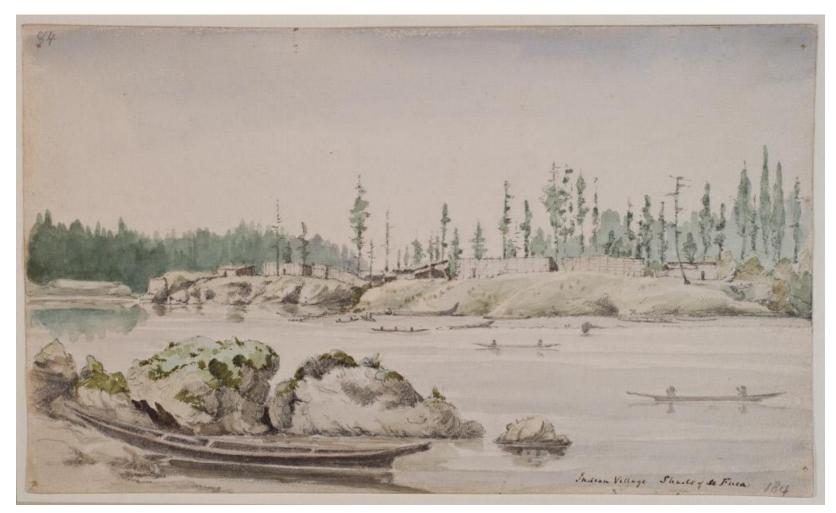
Lekwungen style shed houses. Illustration by Karen B. Achoff⁴



"A Woman Weaving a Blanket", Paul Kane, oil on canvas, Southeastern Vancouver Island, BC, 1849-1856, 18"x29", Gift of Sir Edmund Osler.



First bay east of Lime Bay, Songhees Reserve, Catalogue No. 1684,PN6824, RBCM, Indigenous Collections. Robert Street is located beyond the far shore. This bay (now Cooperage Place in Vic West) was infilled for development). Note: Image has been cropped from original.



This is a painting of the Old Songhees Village located east of Robert Street, created by artist Paul Kane, 1847, Stark Museum of Art, Orange, Texas Bequest of H.J. Lutcher Stark, 1965

1.2 Early Development and Subdivision

Robert Street is named after the original developer of Victoria West, Robert "John" Russell (b. Edinburgh, 1832-1903), a former Hudson's Bay Company employee. Robert sailed to Victoria in 1853 where he spent 10 years operating a mill. In 1864, he bought Section 31 (103.5 acres) from the HBC. Section 31 was a vertically oriented country lands parcel created in Joseph Pemberton's 1852 plan for Victoria. The lands extended from the shoreline at the foot of Robert and Russell Streets, north to Craigflower Road. The Songhees reserve was located east of Russell's lands. In 1879, Russell subdivided the lands into lots called Springfield Estates, named after his family home, Springfield. Springfield included a barn, carriage house and outdoor dance pavilion. ²



Close-up of map at right showing Section 31 of the Esquimalt District



1860 Map of the South Eastern Districts of Vancouver island, Rudolph D'heureuse, University of British Columbia. Library. Rare Books and Special Collections. G3512 .V357 1860 D4

1.3 Victorian and Edwardian Era Homes

The Robert Street heritage conservation area includes three Victorian and Edwardian era houses on Robert Street and one on Seaforth Street. They were constructed for upper class families between 1888 and 1911. Three are associated with the Muirhead family and the Muirhead and Mann Company, which made architectural components (223 and 230 Robert Street and 614 Seaforth Street). 223 and 230 Robert Street have outstanding architectural value and were designed by provincially renowned architects Thomas Hooper and Charles Elwood Watkins.

Development of Robert Street began with James Muirhead Sr.'s purchase of lots 3, 8, 12, 17, 20 and 23 of Robert Russell's subdivision, comprising almost the entire east half of Robert Street. In 1883, James built an Italianate style house at the southeast corner of Robert Street and Esquimalt Road for his wife Rebecca and their four children. They planted gardens and Tomkins King Apple Trees on their lands to the south. King Apple Trees are rare in Victoria. Muirhead Sr.'s son, James Muirhead Jr. constructed his own house on Robert Street in 1903 on the most southerly of the six lots the family owned.³

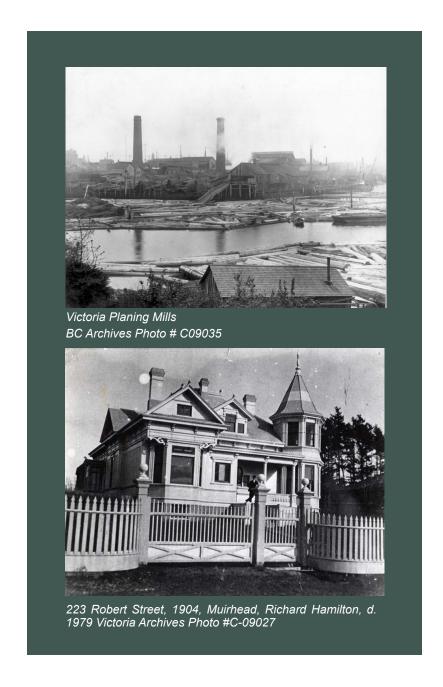
James Muirhead Sr. is an historically significant figure for his entrepreneurial contributions to the City's early construction industry. Born in Scotland, he immigrated to Victoria in 1862 from Peru after travelling across the Americas. In 1870, he partnered with fellow Scottish immigrant, James Mann, forming the Muirhead and Mann company. They constructed a lumber mill called the Victoria Planing Mills, in Victoria Harbour near the foot of Pembroke Street.



527 Esquimalt Road, 1897, Muirhead family standing in front of house, L to R: Mrs. Rebecca (nee Fleming), James Sr., Mary A., James McL., John T. and Bertha. Item M09856, City of Victoria Archives.

Apart from 223 Robert Street, two other houses are connected to the Muirhead and Mann Company and the Victoria Planing Mills. Duncan Mcbeath, a foreman at the Victoria Planing Mills, commissioned the one-storey Queen Ann-style cottage at 230 Robert Street in 1899. In 1911, the Mcbeath and his wife commissioned 614 Seaforth Street from architect Hoult Horton. This 1.5-storey house was built in the Colonial Bungalow style and features an expansive wrap-around verandah. The final Victorian and Edwardian era house on Robert Street is 242 Robert Street, a Queen Anne style house built by William Ernest Losee, who purchased his lot directly from Robert Russell. Like the Muirheads, William Losee was involved in the building trades, having founded a sawmill in Shawnigan Lake in 1899. The house at 242 Robert Street was originally located at 621 Seaforth Street and was moved in 1978 to free up land for an apartment building.

The Muirheads were just one of many prominent families who moved to Victoria West during the 1880's and 1890's. The Dunsmuir (coal and E&N Railway), Gray (Albion Iron Works), Troup (shipping), Barnard (BC Coast Steamship Company), Brackman (Brackman-Kerr Milling Co) and Fairall (brewers), all lived in Victoria West.

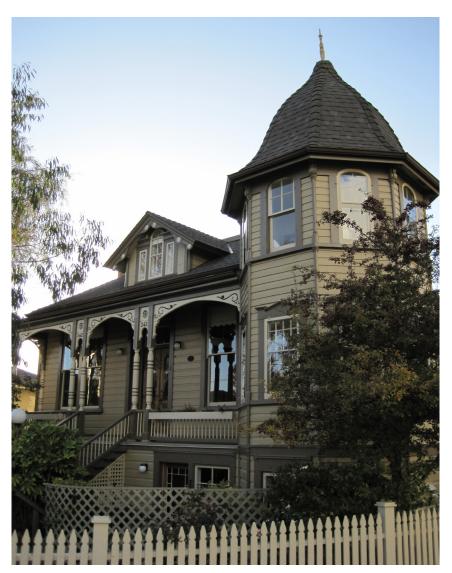




614 Seaforth Street, c. 1911, Architect: Hoult Horton



230 Robert Street, c. 1899-1900, Architect: Thomas Hooper



242 Robert Street "Huntingdon Cottage", c. 1888-1889, Builder: William Ernest Losee. The house was relocated from 621 Seaforth Street in 1978

1.4 Wartime Homes

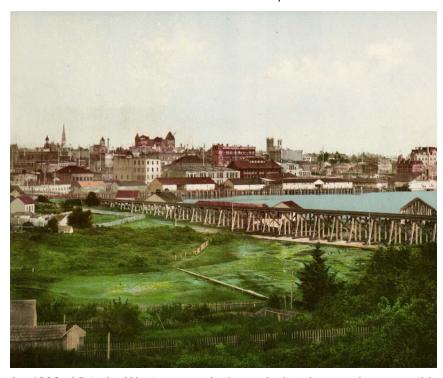
The transition away from large properties and landholdings begain in the 1900's and may have several causes. According to the Victoria Heritage Foundation, new income taxes introduced during World War 1 (WW1) made large estates far more expensive to maintain. Victoria West's picturesque character was transformed through industrialization, beginning in the 1880's, when sealing, whaling and lumber operations were established on the Songhees Reserve. The process continued with the construction of the Silver Spring Brewery in 1895, Esquimalt and Nanaimo Railway in 1888, Excelsior Biscuit Bakery in 1901, Fairall Bottling Works in 1901 as well as the Sidney Roofing & Paper Company, and Union Oil facilities. In 1913, the E & N roundhouse and carshop facilities were constructed four blocks east of Robert Street.⁵ A third factor in Victoria West's evolution was economic stagnation between the end of WW1 and WW2.

James Muirhead Jr. had inherited his father's land holdings on Robert Street, but the cost of maintaining the holdings became unsustainable in the 1930's. By 1935, City tax records show that taxes on lots 12, 17 and 20 (233-311 Robert Street) were in arrears. The City of Victoria took possession of the lots by 1936.⁶ The lots were divided into halves measuring 51' x 180' and new owners purchased them for between \$495-\$510.

There are 8 homes on Robert Street built between 1939 and 1945, and two others constructed in 1955. The houses built during WW2 were constructed for working class households. Multiple owners worked in the local transportation industry. Sam Waddington (224 Robert Street) and Frederick Richmond (311 Robert Street) both worked for the E & N Railway. Edward Beaney (241 Robert Street) worked for the BC Electric Railway Company. Erwood Honeybourne (301 Robert Street) worked as a labourer at the HMC dockyard. Other owners include George Goy (206 Robert Street) and Charles Fea (233 Robert Street), who was a clerk for

the Liquor Control Board. Construction values for these homes averaged \$3,175 (\$55,928 adjusted for inflation).

Unlike the Victorian and Edwardian era homes, owners of wartime houses worked with building contractors to design their own houses and did not retain the services of professional architects.

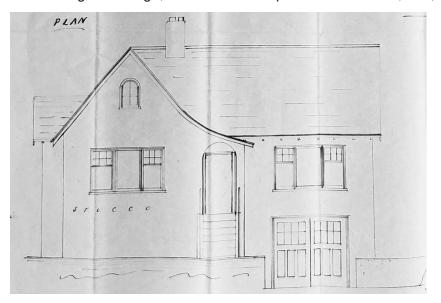


In 1898, Victoria West was a lush, agricultural area, however this picturesque setting was heavily altered by industrial development starting in the 1880's.

Johnson Street Bridge and Victoria waterfront. (ca. 1898) From "Pictures of Victoria and Vicinity", [ca. 1900] - L0507. City of Victoria Archives Part M06589.

The houses built during WW2 have detailing consistent with the Minimal Traditional Style. This was an economical, simplified architectural style that represented a transition between the elaborate historical revival styles of the 1920's and 1930's and modern postwar housing. The economic hardships of the great depression and a growing appetite for modern architectural styles like art deco, art moderne and the international style contributed to the simplicity of the Minimal Traditional style.⁷

Minimal Traditional homes resemble streamlined versions of styles like the English cottage, tudor revival or spanish revival. 206, 224,



224 Robert Street, Original Drawing by James Fairall, June 15, 1940

233, 241 and 255 Robert Street all display features that reference the English cottage style popular in the 1920's. With superfluous detailing stripped away, their small size and compact, square floor plans enabled many lower and middle income families to afford a detached house for the first time. Home decoration magazines promoted minimalism over the outgoing "feather-duster" era as a means to more efficient housekeeping⁸.

The wartime houses on Robert Street are all 1-1.5-storey, twobedroom houses. Most feature below-grade garages, originally with carriage-style wooden garage doors, a nostalgic reference



224 Robert Street in 2020. Some details were altered during construction and the entrance and windows do not match the plans.

to horse-drawn carriages. They have concrete foundations, 2x4" wood framed upper storeys and stucco exterior cladding. The interior rooms are organized on a square floor plan, with a living room to one side of the main entry and a bedroom on the other. A central fireplace and chimney face the living room. The square floor plan was the most space efficient design with the least amount of lineal feet to construct and may explain the choice to incorporate garages into the basement level.

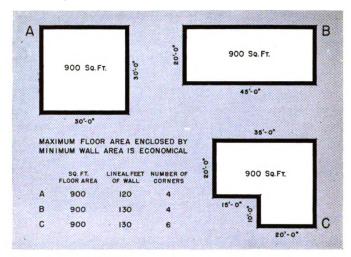
Houses on Robert Street were likely financed under the federal *National Housing Act* of 1938, the successor to the *Dominion Housing Act* in 1935. The *Dominion Housing Act* (DHA) was the first national housing legislation in the nation's history. It was championed by Prime Minister R. B. Bennett during the Great Depression as part of a Canadian New Deal, inspired by President Roosevelt's New Deal in the United States. The DHA improved housing affordability by partnering the federal government and private mortgage lenders



206 Robert Street, c. 1945, Constructed by A. Petek for Mr. George Goy. Rolled eaves and bricks embedded in plaster are references to the English Cottage Style



206 Robert Street- Compact, square floor plan typical of a wartime house with a middle entrance flanked by a living room and bedroom. The chimney is centred in the floor plan.



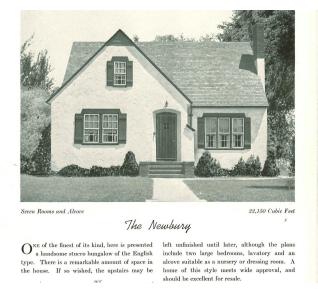
THE THREE HOUSES ABOVE have the same floor area. House B would be more costly to build than house A due to its additional ten lineal feet of wall. If this were a one-story and basement house, it would have about 165 more square feet of foundation and exterior wall area than house A. The cost of house C, which has the same exterior wall area as house B, would be increased by the added cost of two exterior corners, and would cost much more than house A.

From: Principles of planning small houses. Washington,

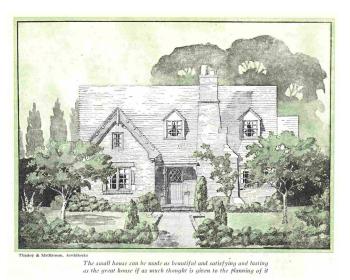
D.C.: National Housing Agency, [1946]



255 Robert Street, c. 1940, Constructed by N.A. Thomas for Howard Horner, who was a trainman for the Esquimalt and Nanaimo Railroad



English bungalow design from the Home Plan Book,1939 Peter Vredenburgh Lumber Company



From: "Beauty and Convenience Built-In", Better Homes and Gardens, September 1928. An example of the more elaborate english cottage revival style of the 1920's



233 Robert Street, c. 1939, Constructed by E.H. Pope for Charles Fea, who worked as a clerk at the Liquor Control Board

to improve mortgage terms. A DHA joint mortgage increased the maximum loan amount above the statutory limit of 60% to 80% of the total property cost. Interest rates were limited to 5%, which was lower than a conventional mortgage of the time. The DHA also introduced long term, 20-year amortization periods, and monthly payments, at a time when 3-5 year terms and quarterly or bi-annual payments were typical. These measures combined to make home ownership more affordable and competitive with renting⁹.

Applicants for a *Dominion Housing Act* mortgage needed 20% of the total project value in cash or land, then a lender would provide a loan equal to 80% of the total value of a new detached house. The maximum loan amount was \$4000 (for a \$5000 project). The *National Housing Act* improved on these terms further, lowering the equity requirement from 20% to 10%, provided that the house cost no more than \$2500. The Daily Colonist ran multiple articles on the effects of the legislation during the late 1930's, citing it as the dominant factor fueling construction of 6,000 new single family homes throughout BC in 1938¹⁰. In May of 1939, the Daily Colonist reported that the City of Victoria Building Department had issued the largest number of building permits for detached dwellings in any four month period since 1931¹¹.

The minimal traditional houses of Robert Street are symbols of the nation's first federal housing strategy, which prioritized new construction, suburban development and single-family home ownership over alternatives. Homes like those built on Robert Street established the template for middle class housing in the postwar period.



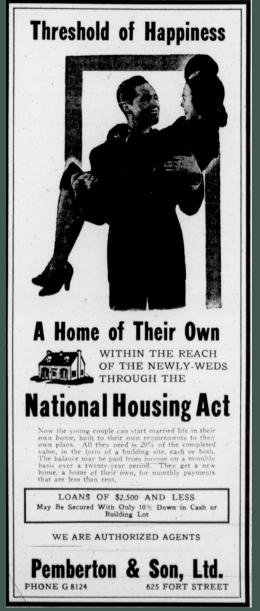




Top: Sunday, April 21, 1940 edition of the Daily Colonist. This 2-bedroom house has a similar floor plan to many houses on Robert Street

Left: Article from Sunday, April 21, 1940 with plans for an affordable cottage-style house and attached garage

Right: A mortgage broker advertises *National Housing Act* housing loans



2 Statement of Significance

Description of Historic Place

Located south of Esquimalt Road and the E&N Rail Trail, the Robert Street heritage conservation area is an enclave of fourteen 1.5-storey single-detached and converted houses adjacent to Rainbow Park, the Songhees Walkway and the shoreline of Victoria West. The area includes one house on Seaforth Street.

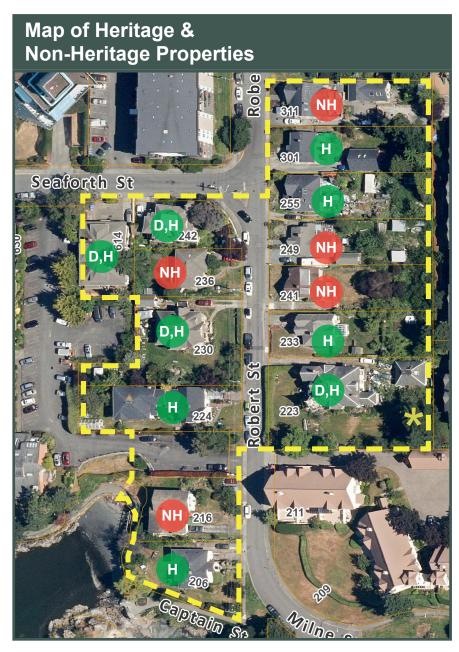
Heritage Value

the Robert Street heritage conservation area has historical and aesthetic value for its unique juxtaposition of Victorian and Edwardian era homes built by wealthy entrepreneurs between 1888-1903, and the economical minimal-traditional homes built by middle class families between 1939-1945 under federal housing legislation of the late depression era. The minimal traditional-style houses have two-tone colour schemes, smooth stucco walls, fluid entrance details and simple fenestration in contrast to the polychromatic, textured Victorian houses with their turrets, finials. broad porches with classical columns, carved brackets and other eccentric decorations. The area is a tangible expression of Victoria West's urban development from a collection of large homes on expansive landscaped properties to an industrial employment centre edged with suburbs for working class families. The area displays the evolution of the single detached home from an exclusive high end commodity in the early 1900's, to the template for middle class housing in the postwar era. This shift was enabled when the federal government intervened in the housing market through the Dominion Housing Act of 1935 and subsequent National Housing Act of 1938.

The area embodies theme 1.3 of the Victoria Heritage Thematic Framework- Pioneer Farms to First Suburbs. 223 and 230 Robert Street and 614 Seaforth Street are associated with the Muirhead and Mann Company, a significant manufacturing business contributing to early Victoria's gateway economy (Theme 2).

Character Defining Elements

- regular pattern of rectangular lots with frontages of approximately
 15 metres (50 feet)
- spacious front yards and generous front yard setbacks
- residential development reflecting a range of income levels, including large Late Victorian and Edwardian era homes and modest wartime homes in the minimal traditional style, which together reflect the social evolution of Victoria West from a wealthy, exclusive neighbourhood to one with a diverse mix working-class skilled and unskilled industrial and railroad employees
- consistent pattern of pitched roofs including cross-gabled, hipped and pitched roofs, typically with at least one front-facing gable
- consistent pattern of low-scale, detached dwellings with horizontal massing
- architectural details as illustrated on the diagrams on the following pages
- high degree of livability achieved through generous side yard setbacks and low scale construction



- **Heritage Property**
- Designated, Heritage Property
- **Non-Heritage Property**
- **Culturally Significant** Tree

Victorian & Edwardian Era Homes Character Defining Elements

Brick

chimney with corbelling

Horizontal

Decorative cornice -- brackets

Trim boards

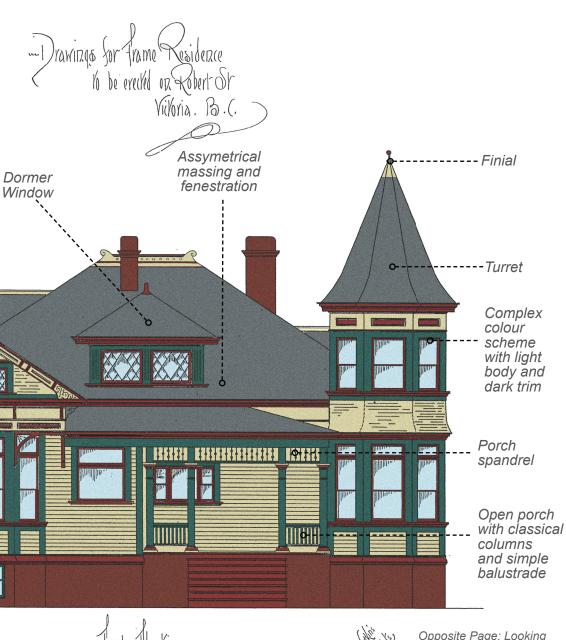
Double ---Hung Sash Windows

Foundation

Brick

Wood Siding

223 Robert Street- Colourized version of original Hooper + Watkins Illustration



- Front Elevation ~

- Scale 4: Yo ar inch.

Plati



Opposite Page: Looking Towards 527 Esquimalt Road, c. 1903 City of Victoria Archives Item M10042

134444444

Wartime Homes Character Defining Elements



3 Design Guidelines for New Buildings

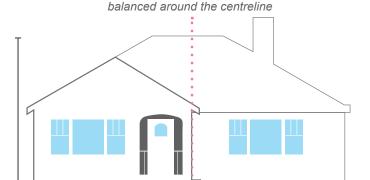
Intent: To ensure that new buildings in HCA 1, Traditional Residential - Robert Street, are compatible, distinguishable and generally complementary to existing homes.

4.1 Massing & Scale

- 4.1.1 Design new buildings with horizontal rather than vertical proportions
- 4.1.2 New building heights should be sensitive to and compatible with the surrounding context

4.2 Windows, Doors and Entrances

- 4.2.1 Doors should be slightly off centred or centred in the facade, recessed into an entryway or an open porch
- 4.2.2 Solid doors or doors with a transom light in the upper portion are encouraged. It is recommended that glazing occupy no more than 3/4s of the surface
- 4.2.4 Doors with a divided light transom and 3-dimensional glazing bars are encouraged, however leaded glass is discouraged
- 4.2.5 Windows arranged in pairs or sets of three are encouraged. Picture windows are encouraged.
- 4.2.6 Divided light windows are encouraged. Glazing bars in new windows should be 3-dimensional to create a sense of texture and depth



Assymetrical facade composition

New buildings on Robert Street should have a horizontal scale, with windows arranged in pairs or threes. Entries should be recessed similar to existing houses on Robert Street (ie. 255 Robert Street)





Examples of compatible new doors

- 4.2.7 Dormer windows are encouraged to improve the livability of attic spaces
- 4.2.8 Casement or sash windows are supported. Window surrounds can include casings with a drip cap, sill and apron for aesthetics and waterproofing

4.3 Roof Profile

4.3.1 Gable, cross-gabled or hipped roofs are encouraged

4.4 Exterior Cladding

4.4.1 Smooth surfaced cladding such as stucco or horizontally oriented cladding, including fibre cement cladding, is encouraged. Board and batten style siding is also supported.

4.5 Garages

- 4.5.1 Garages should be integral to the facade or separate from the main dwelling and located behind the front wall. Projecting garages are discouraged
- 4.5.2 Garage doors should feature transom lights to visually break up the upper portion.



A modern cottage by McCown Design in Mobile, Alabama presents a smooth textured facade with prominent window and door headers



Modern carriage-style integral garage with a transom



Siding possibilities for new homes





Christopher Architecture & Interiors



Jean Stoffer Design



Scott Carlisle Architect



Modern cottage-style residence by Kurt Baum Architects Photo: John Huelskamp



Cambie Village Duplex by Averra Developments, Vancouver, BC,

4 Infill Development

Intent: That infill housing constructed to the rear of existing or new homes maintains the general sense of scale, livability and generous open space qualities in HCA 1, Traditional Residential - Robert Street,

5.1 Building Siting and Separation

- 5.1.1 Maintain generous separation distances between buildings, in order to provide for circulation, privacy and outdoor recreation opportunities.
- 5.1.2 Design infill buildings with usable outdoor amenity space for occupants.
- 5.1.3 New infill buildings should provide larger setbacks from adjacent lots to minimize overlook onto neighbouring properties

5.2 Character

- 5.2.1 Infill buildings should be constructed of high quality materials that reference materials and textures found elsewhere in the area (ie. stucco or wood lap siding). Fibre cement lap siding or shingles are also supported.
- 5.2.2 Design new infill buildings with a balanced window-to-wall ratio. A window-wall ratio of 40% or less is recommended.
- 5.2.3 New infill buildings should use diverse forms, colourn and designs to avoid a "cookie cutter" appearance
- 5.2.4 Design new access driveways as multi-functional, pedestrian-oriented spaces with permeable surface materials

5.3 Massing

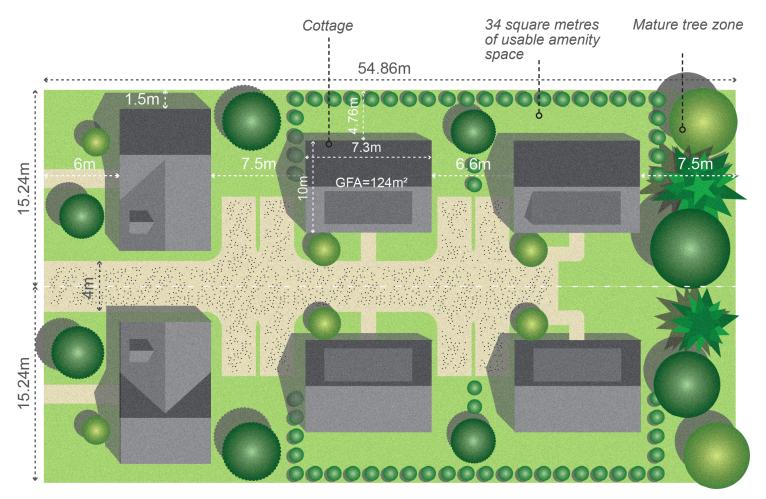
5.3.1 New infill buildings should be sensitively massed to minimize shadowing on adjacent properties. Half or partial upper storeys with dormers are encouraged.

5.4 Windows and Privacy

5.4.1 Windows should be maximized along those façades oriented to the interior of the site



Example cottage cluster style homes on permanent foundations. Cottage Square, Ocean Springs, Mississippi, Bruce Tolar Architect



Example Cottage Cluster Development

1:200

5 Alterations to Existing Buildings

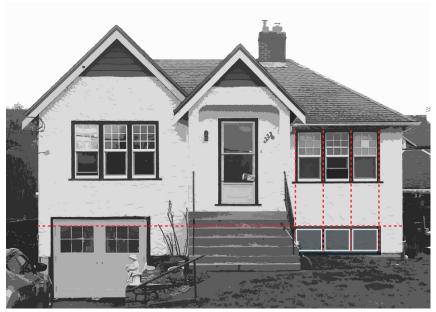
Intent: To ensure that alterations to heritage properties are sensitive and compatible and follow the Standards and Guidelines for the Conservation of Historic Places in Canada.

6.1 Windows

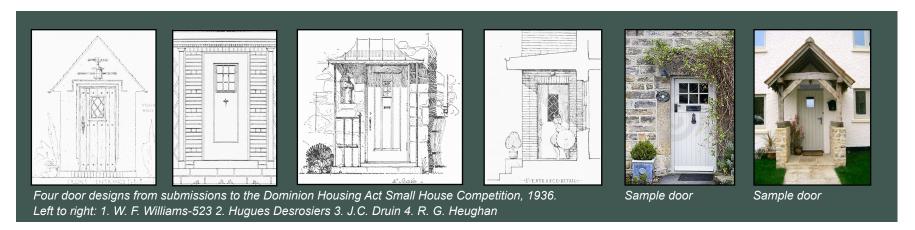
- 6.1.1 Windows of heritage properties not subject to individual heritage designation may be replaced with double glazed units, provided the new units replicate the design, operation, number of window divisions of the original
- 6.1.2 Basement level windows on side or rear elevations are preferred over the front elevation. Align new windows with upper storey windows.

6.2 Doors

6.2.1 Where a replacement door is proposed, ensure the design is era-appropriate and consistent with the style of the building.



Align new basement windows with upper storey windows and include the same number of vertical divisions.



6.3 Roofs

6.3.1 Shingle style roofing is preferred for new roofs.

6.4 Balcony and Stair Railings

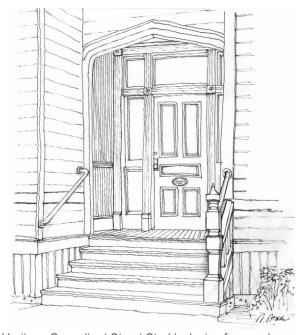
- 6.4.1 When modifying balcony or stair railings of Victorian and Edwardian homes for code compliance, consider affixing a discrete secondary rail above or inset from the existing rail. Complete replacement is discouraged.
- 6.4.2 For wartime homes, when modifying or replacing a staircase, simple designs are preferred for railings. Wrought iron or black painted aluminum railings are acceptable.

6.5 Solar Panels & Sustainable Technology

- 6.5.1 Locate solar panel or other technology installations discretely on south facing roof slopes.
- 6.5.2 Set solar panels back from the front elevation and situate them so that the roof creates a "frame" around the panels

6.6 Chimneys

- 6.6.1 For wartime houses, chimneys are not prominant features and removal is supported.
- 6.6.2 For individually designated Victorian and Edwardian homes, chimneys visible from the street are decorative features and retention is encouraged.



Heritage Consultant Stuart Stark's design for a code compliant railing on 1139 Burdett Street. The design uses a simple pipe rail extending from the house to the newel post



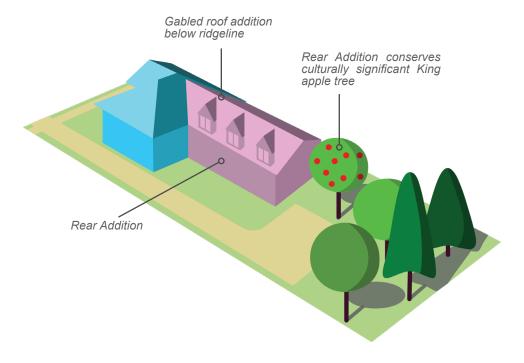


6.7 Additions

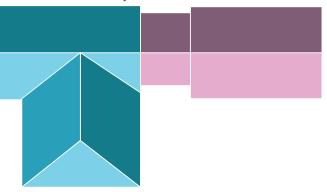
- 6.7.1 New additions should be distinguishable from the original building and should be discretely designed to be minimally visible above the ridgeline of the roof from the adjacent sidewalk.
- 6.7.2 Design rear additions to avoid impacts to culturally significant trees such as King Apple Trees.

6.8 Skylights

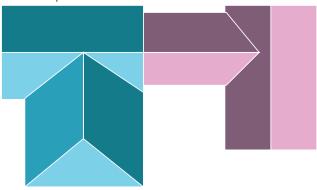
6.8.1 Skylights should be positioned away from the street in discrete locations



This addition extends the existing cross gabled portion of the roof into the rear yard



An L-shaped addition



A flat roof addition



6.9 Exemptions

The following do not require authorization through a heritage alteration permit. Note that other city permissions, such as a building permit, may be required:

- i. exterior alterations to properties that are not listed on the City of Victoria Heritage Register or subject to a Heritage Designation Bylaw:
- ii. interior renovations;
- iii. exterior painting;
- iv. roof replacement using similar materials;
- v. rear deck construction;
- vi. on lots with a single street frontage, additions to the rear elevation of a building, which are under 100 square metres in size, less than the width of the rear elevation, and equal to or less than the height of the lowest portion of the roof;
- vii. on lots with a single street frontage, a single garden suite located in the rear yard;
- viii. landscaping alterations to features not identified as Character Defining Elements in the Robert Street Heritage Conservation Area Guidelines (2021);
- ix. replacement of eaves troughs, downspouts and exterior lighting;
- x. sustainability upgrades that do not affect the appearance of a building from the street;
- xi. interior insulation;
- xii. envelope air sealing like weather stripping; or
- xiii. mechanical system upgrades, including but not limited to those with exterior equipment such as heat pumps and air conditioning units.



Paint colour is not regulated in the Robert Street HCA



Small Scale Additions are not regulated in the Robert Street HCA. Design: MJ Architectes, Marseille, France

6 Landscape Design

Intent: To provide some optional guidance for front yard landscaping

7.1 Front Yard Landscaping

- 7.1.1 For wartime houses, foundation plantings of juniper or rhododendrons are encouraged.
- 7.1.2 For Victorian era houses, naturalistic front yard landscape designs are encouraged, see
- 7.1.3 Select tree, shrub and ground cover species with natural or cultural heritage significance

From "Is Your Planting Custom Made or Mill-Run" by Alfred Hottes, Better Homes and Gardens, May 1940



Always Good: In this planting, emphasis is on the doorway, a detail of the architecture. ... The evergreens or shrubs used here should vary in skyline, with a crescendo pf planting which leads definitely to the tall evergreens accenting the door. To fill the space between the principal evergreens or shrubs at the corners, use smaller perennials and low-growing shrubs.



Very Good: "...the prominent accent from the poplar at the corner..." "...seems to set the house back into a cozier setting...shrub planting is here used very sparsely, but a small area for flowers is planned..."



"The large front tree, set well out from the house... arches over the entrance door, obscures some of the windows and breaks the rooflines. The smaller tree on the left, set rather close to the house to offset the size of the big tree and viewed from the street needs background. This can be given by medium or higher trees planted at the rear of the house as part of the garden landscape. These background masses needn't be solid. They may be sprays seen from the front in such a way as to soften the lines of the house roof."

From "Where Should I Plant that Tree" by Howard Sebold, Better Homes and Gardens, April 1939





Victorian and Edwardian Gardens often Victorian and Edwardian Gardens often featured gravel walks held in with cedar boards. Climbing plants were often found on porches – for food (like scarlet runner beans); or for beauty (like ivy or honeysuckle). Climbing plants were frequently used for shading verandahs during hot summers. Flowerbeds, often containing scented flowers, were dense around porches, where the fragrance could be enjoyed.



An example front yard landscape plan for 301 Robert Street. Plantings at the edges of the lawn create an oval of open space aligned with the axis of the picture window in the living room. Perimeter plantings block out visual distractions and views of neighbouring properties. Trees are positioned in accordance with the diagram on the previous page.

Example Species



Venus Dogwood

A native flowering tree that grows up to 4 metres tall.



Rhododendrons

Rhododendron is popular for its beautiful, fragrant flowers and ornamental leaves. There are over 1000 different species.



Camas

Yields beautiful blue lilies in April/May. The camas bulb was the main starch food of the Ləkwəŋən people until 150 years ago.



Garry Oak

The only native oak species to British Columbia, Garry Oaks are endangered and protected under the tree bylaw. They can reach 15 metres tall when mature.



Arbutus

6-30m tall. First Nations people used the bark and leaves of the arbutus in traditional medicine. Bark was used to treat cuts and wounds and the inner bark to make dresses. Tannin in bark was used to tan and cure hides.

Endnotes

- Simon Fraser University- The Bill Reid Centre. Songhees. https://www.sfu.ca/brc/virtual_village/coast_salish/Songhees.html 1
- 2 Trachsel, J. (2004). Victoria Heritage Foundation: Vic West History. https://www.victoriaheritagefoundation.ca/Neighbourhoods/vicwesthistory.html.
- 3 Wentworth Villa (2019) Muirhead Residence Exhibit- A Changing Neighbourhood. Victoria, B.C.
- Suttles, Wayne, "Introduction" in Handbook of North American Indians Vol. 7: Northwest Coast, ed. Wayne Suttles (Washington, D.C.: Smithsonian Institution Press, 1990) fig. 2 pp. 6-7
- Trachsel, J. (2004). Victoria Heritage Foundation: Vic West History. https://www.victoriaheritagefoundation.ca/Neighbourhoods/vicwesthistory.html.
- 6 Corporation of the City of Victoria (1935-1941). Assessor's and Collector's Roll- Records for Lots 12, 17 and 20. Victoria, B.C.
- McAlester, V., Matty, S. P., Clicque, S., McAlester, A. L. 1., Jarrett, L., & Rodriguez-Arnaiz, J. (2013). A field guide to American houses: the definitive guide to identifying and understanding America's domestic architecture. Revised and expanded edition/second edition. New York: Alfred A. Knopf
- 8 Normile, John (1939, January). Up From the Nineties. Better Homes and Gardens, page 36.
- 9 Belec, John (1997, March) The Dominion Housing Act. Urban History Review. Volume 25, Issue 2, pages 53-62.
- 10 City Building Inspector's Department (1939, Sunday, May 28) Building Permits Indicate Gain in Construction Here. The Daily Colonist. Page 18.
- 11 Many Homes Built Through Dominion Government Loan. (1938, Sunday, April 10). The Daily Colonist. Page 3



City of Victoria 1 Centennial Square Victoria, BC V8W 1P6

E: planning@victoria.ca

W: victoria.ca



Photographs of Existing Buildings on the Street Queen Anne Style and Colonial Bungalow Style



614 Seaforth Street (c. 1911) Designated



223 Robert Street (c.1903-1904) Designated (National Historic Site)



230 Robert Street (c. 1899-1900) Designated



242 Robert Street (c. 1888-1889)* Designated *Moved from 621 Seaforth in 1978

Minimal Traditional Style



311 Robert Street c. 1939



301 Robert Street c. 1943



255 Robert Street c. 1940



249 Robert Street c. 1941



241 Robert Street c. 1940



233 Robert Street c. 1939



224 Robert Street c. 1940



206 Robert Street c. 1945

Mid-Century Builder Style



236 Robert Street c. 1955



216 Robert Street c. 1955

NO. 21-108

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the Official Community Plan to designate a portion of each of Robert Street and Seaforth Street as a Heritage Conservation Area.

Contents

- 1 Title
- 2 Definition
- 3-8 Amendments
- 9 Commencement

Under its statutory powers including Part 14, Division 4 and Part 15, Division 4 of the *Local Government Act*, RSBC 2015 c 1, the Council of the Corporation of the City of Victoria, in an open meeting assembled, enacts as follows:

Title

1 This Bylaw may be cited as "OFFICIAL COMMUNITY PLAN BYLAW, 2012, AMENDMENT BYLAW (NO. 39)".

Definitions

2 "OCP Bylaw" means the City's Bylaw No. 21-108, the Official Community Plan Bylaw, 2012.

Official Community Plan Bylaw

- The OCP Bylaw is amended in Schedule A, Table of Contents, under the heading "List of Maps" by:
 - a) Inserting the following text immediately after the text "Map 71: HCA1: Traditional Residential Elora":
 - "Map 71A: HCA1: Traditional Residential- Robert Street"; and
 - b) Renumbering the page number references for Maps 72, 73, and 74 accordingly.
- The OCP Bylaw is amended in Schedule A, Appendix A: Development Permit Areas and Heritage Conservation Areas by repealing Map 32: Composite Map of Development Permit Areas and Heritage Conservation Areas and replacing it with a new Map 32: Composite Map of Development Permit Areas and Heritage Conservation Areas, attached to this Bylaw in Schedule 1.
- The OCP Bylaw is amended in Schedule A, Appendix A: Development Permit Areas and Heritage Conservation Areas by repealing Map 66: HCA 1: Traditional Residential and replacing it with a new Map 66: HCA 1: Traditional Residential, attached to this Bylaw in Schedule 2.
- The OCP Bylaw is amended in Schedule A, Appendix A: Development Permit Areas and Heritage Conservation Areas, HCA 1: Traditional Residential Areas by repealing section 2 and replacing it with the following section:

"2 Application and Exemptions

- (a) Heritage Alteration Permits are required in accordance with the Local Government Act except for:
 - building envelope remediation, so long as there are no changes to materials, appearance or design when the remediation is completed;
 - (ii) in-kind replacements of missing, worn, or damaged exterior materials, so long as there are no changes to appearance or design when the replacements are completed;

and the following exemptions.

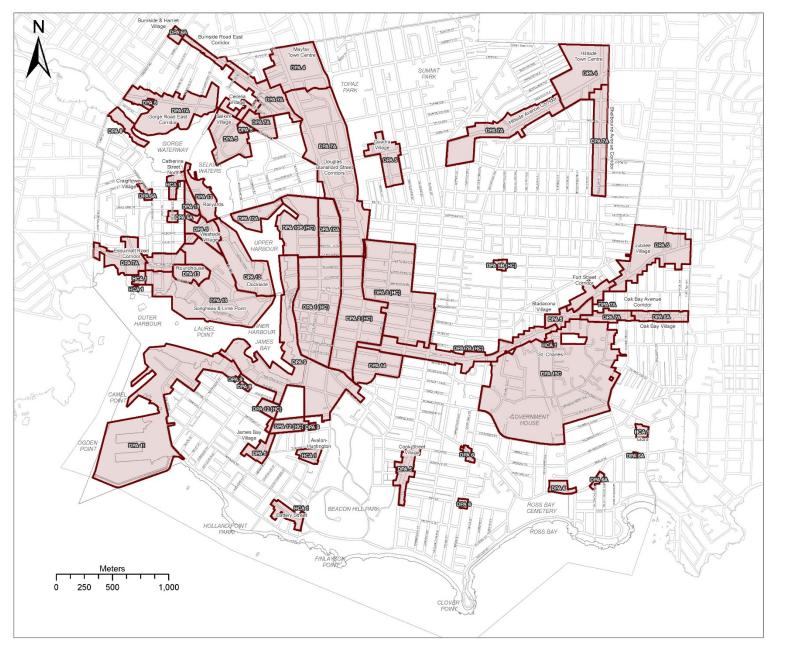
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 - (3) roof replacement using similar materials;
 - (4) rear deck construction;
 - (5) on lots with a single street frontage, additions to the rear elevation of a building, which are under 100 square metres in size, less than the width of the rear elevation, and equal to or less than the height of the lowest portion of the roof;
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 - (9) sustainability upgrades that do not affect the appearance of a building from the street;
 - (10) interior insulation;
 - (11) envelope air sealing like weather stripping; or
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 - "(f) for Robert Street:
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 - > Standards and Guidelines for the Conservation of Historic Places in Canada.
 - > City of Victoria Heritage Program Sign & Awning Guidelines (1981).
 - > Advisory Design Guidelines for Buildings, Signs and Awnings (1981).
 - > Victoria West Neighbourhood Plan (2018)."
- By inserting, immediately after Map 71, a new map Map 71A: HCA1: Traditional Residential Robert Street, attached to this Bylaw in Schedule 3.
- **9** This Bylaw comes into force on adoption.

READ A FIRST TIME the	day of	2021
READ A SECOND TIME the	day of	2021
Public hearing held on the	day of	2022
READ A THIRD TIME the	day of	2022
ADOPTED on the	day of	2022

CITY CLERK

MAYOR



MAP 32

COMPOSITE MAP OF DEVELOPMENT PERMIT AREAS AND HERITAGE CONSERVATION AREAS

DPA 1 (HC): Core Historic

DPA 2 (HC): Core Business

DPA 3 (HC): Core Mixed-Use Residential

DPA 4: Town Centres

DPA 5: Large Urban Villages

DPA 6A: Small Urban Villages

DPA 6B (HC): Small Urban Villages Heritage

DPA 7A: Corridors

DPA 7B (HC): Corridors Heritage

DPA 8: Victoria Arm Gorge Waterway

DPA 9 (HC): Inner Harbour

DPA 10A: Rock Bay

DPA 10B (HC): Rock Bay Heritage

DPA 11: James Bay and Outer Harbour

DPA 12 (HC): Legislative Precinct

DPA 13: Core Songhees

DPA 14: Cathedral Hill Precinct

HCA 1: Traditional Residential

DPA 15C: Intensive Residential Rockland

See Map 32A for the following Intensive Residential Development Permit Areas:

DPA 15F: Intensive Residential - Attached Residential Development

The following designations apply to all areas within the City of Victoria and are not shown on this map:

DPA 15A: Intensive Residential Small Lot

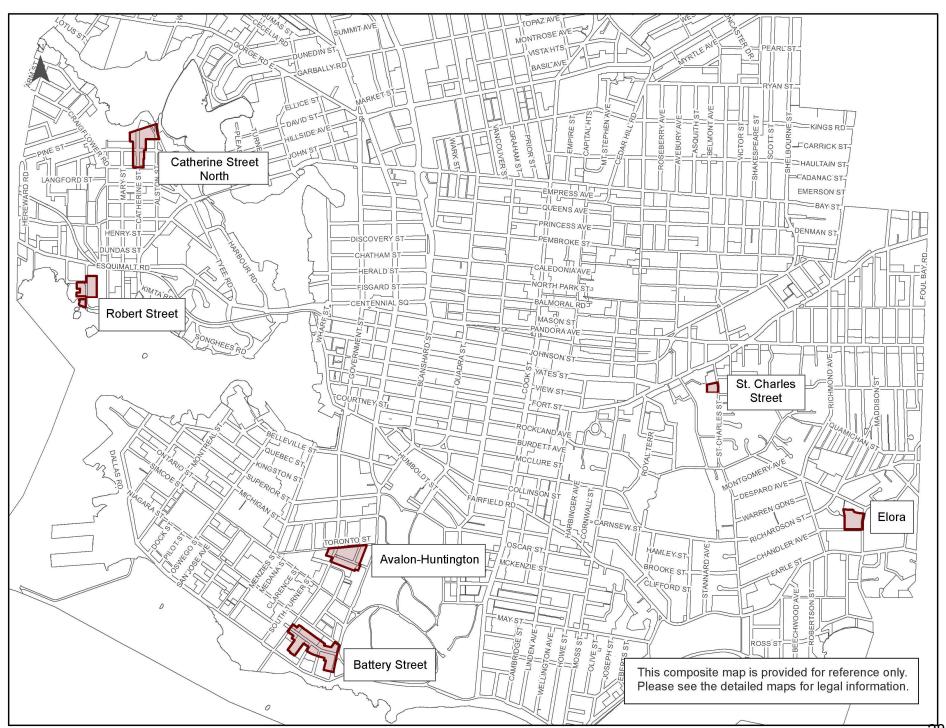
DPA 15B: Intensive Residential Panhandle Lot

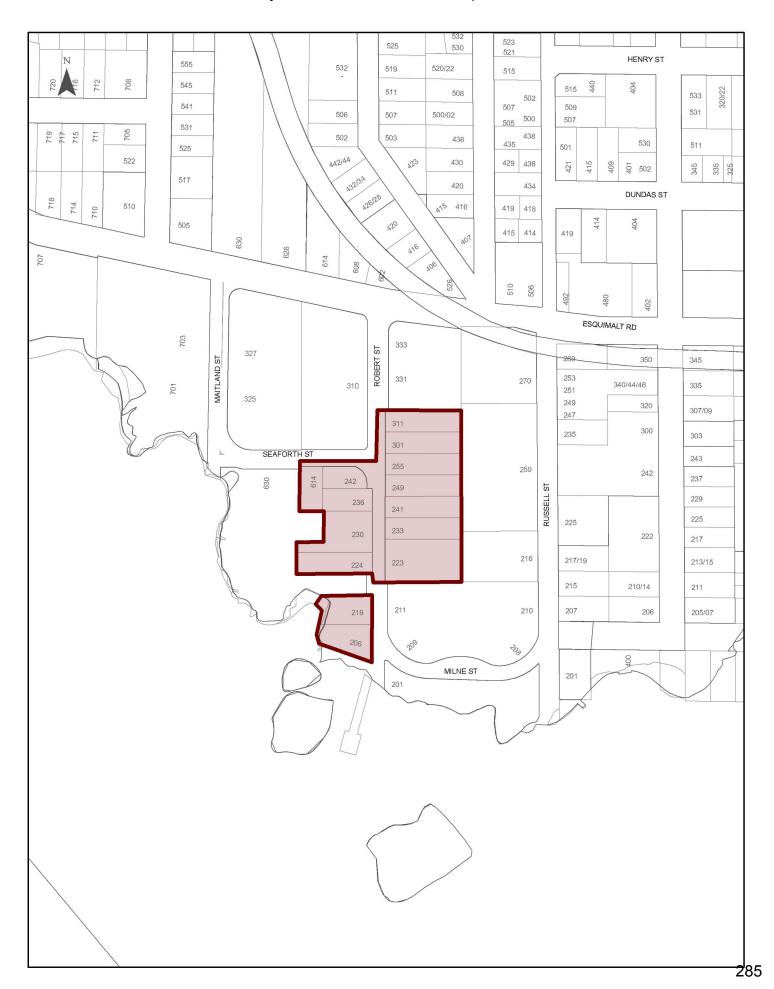
DPA 15D: Intensive Residential Duplex

DPA 15E: Intensive Residential Garden Suites

DPA 16: General Form and Character

This composite map is provided for reference only. Please see the map and provisions for each designated DPA and HCA for legal information.





9. Robert Street Heritage Conservation Area Plan

Shari Khadem recused herself from the remainder of the meeting.

Panel Discussion and Comments

- Are the homeowners or building owners all on board with this initiative? The ratio of support was around 75%; the citizen lead policy didn't require 100% support.
- Are there other initiatives like this one currently underway? Yes, we have a nomination for Lewis Street and South Turner Street as well.
- Can you explain why the two houses built in 1955 are being excluded? These houses were not part of either era of significance from the street and did not have the same story. They have rudimentary designs with minimal detailing. Therefore, we chose to exclude these. Looking at them, they are not as pleasing to the eye.
- Design guidelines are a tricky thing and I think there is a happy medium in this report, excellent wording, and descriptive guidelines. Appreciation for the examples given on page 24 & 25. I agree these would be appropriate in the neighbourhood. There could be room for a bit more diversity in these examples. Would like to see an example of something a bit more modest and less expensive. Appreciation for the historical background that was given in the report.
- Perhaps a memorial garden or something to pay homage to indigenous history. There are some burial grounds around which we avoided speaking to in the presentation because of the sensitivity of such sites, but we will look at something moving forward. Marine tours and how to tell that story without drawing attention and how to do it in the best most appropriate way.
- Recommend including images of new multi-family homes that could fit with the district, but have compatible heritage character, and including images of more affordable looking character homes.

Option One

That the Heritage Advisory Panel recommends:

- 1. That Council approve the designation of the portion of Robert Street shown in the draft Robert Street Heritage Conservation Area Guidelines Document as a Heritage Conservation Area, pursuant to Section 614 of the *Local Government Act*; and
- 2. That Council approve the draft Robert Street Heritage Conservation Area Guidelines as presented.

Moved by Steve Barber

Seconded by Helen Edwards

Carried (unanimously)

Motion to adjourn: Steve Barber Seconded: Jim Kerr Adjournment: (Unanimous)

Adjourned at 2:00pm

NO. 21-108

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the Official Community Plan to designate a portion of each of Robert Street and Seaforth Street as a Heritage Conservation Area.

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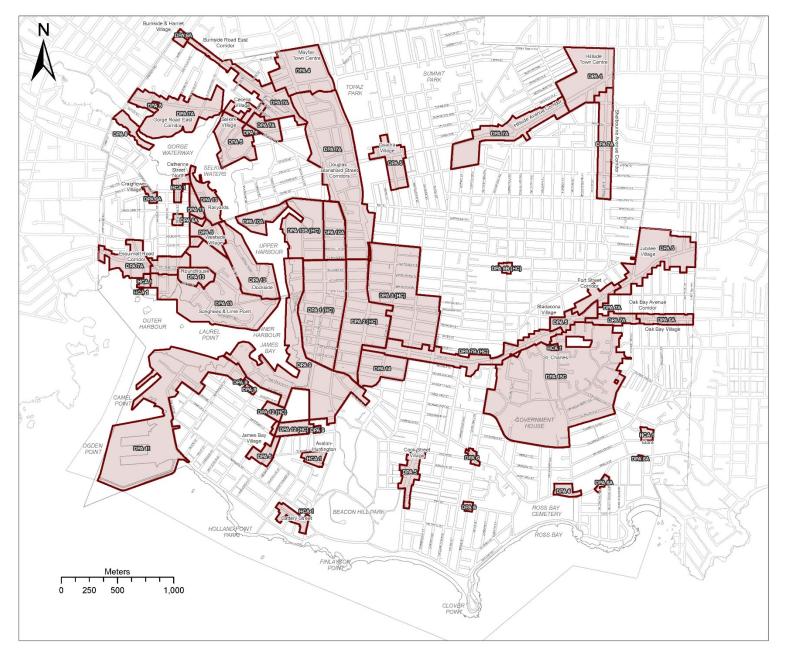
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CITY CLERK

MAYOR



MAP 32

COMPOSITE MAP OF DEVELOPMENT PERMIT AREAS AND HERITAGE CONSERVATION AREAS

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DPA 2 (HC): Core Business

DPA 3 (HC): Core Mixed-Use Residential

DPA 4: Town Centres

DPA 5: Large Urban Villages

DPA 6A: Small Urban Villages

DPA 6B (HC): Small Urban Villages Heritage

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DPA 10A: Rock Bay

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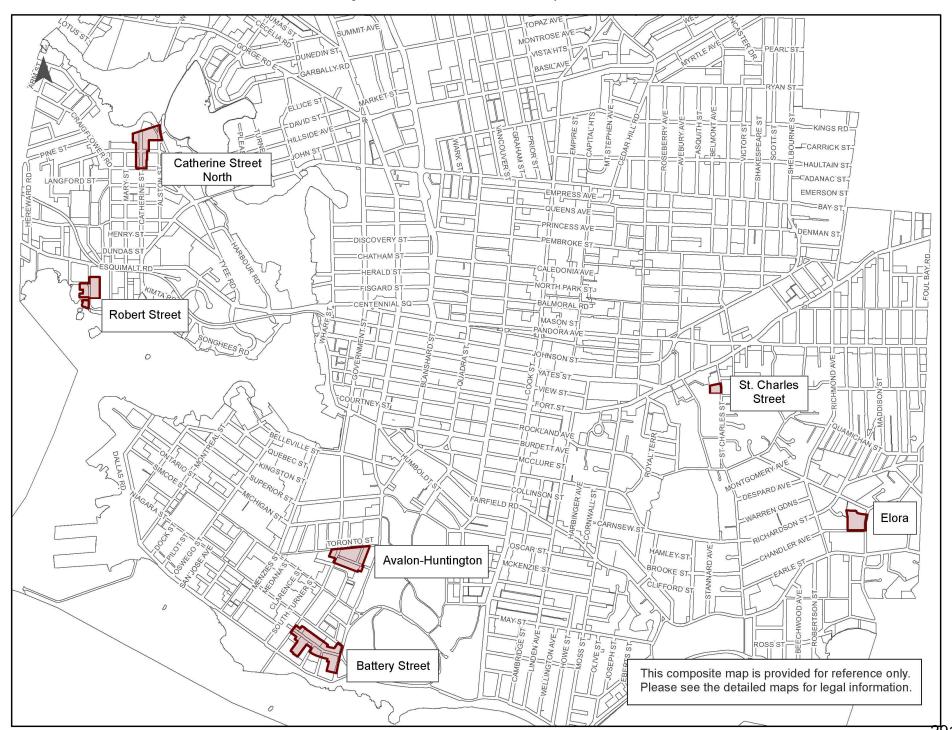
DPA 15B: Intensive Residential Panhandle Lot

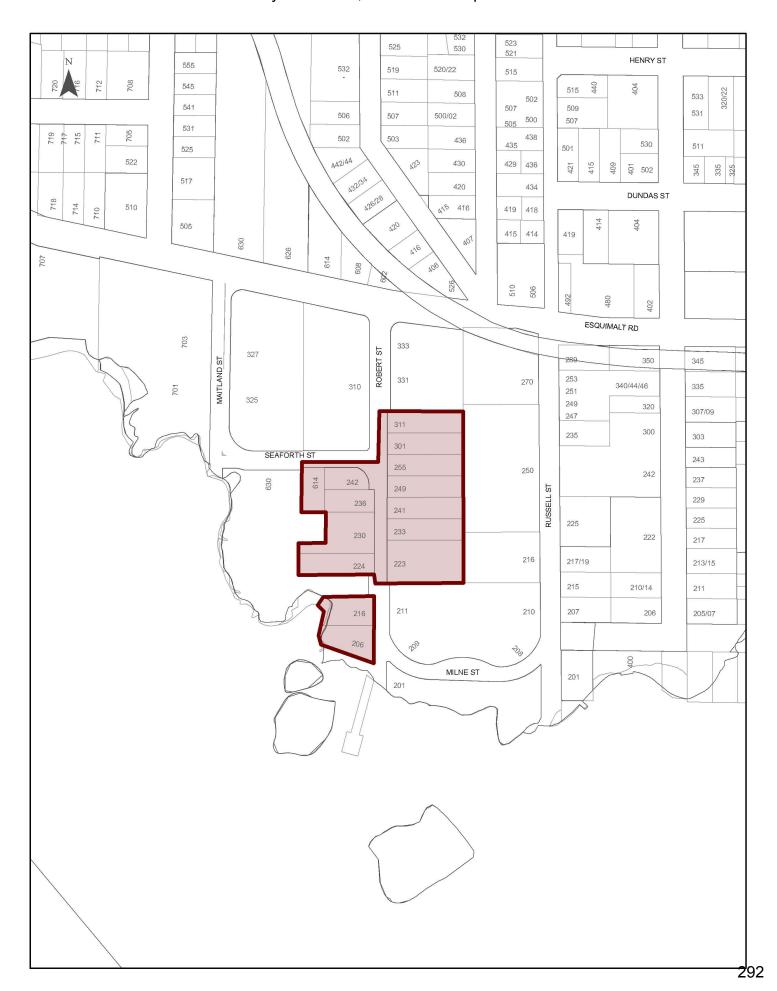
DPA 15D: Intensive Residential Duplex

DPA 15E: Intensive Residential Garden Suites

DPA 16: General Form and Character

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Proposed Robert
Street Heritage
Conservation Area

1

Purpose

To designate a collection of properties on Robert Street in Victoria West as a new heritage conservation area.



VICTORIA

Official Community Plan

8.10 Maintain, update and create design guidelines for Development Permit Areas and Heritage Conservation Area....

8.54 Continue to work with senior government, *community* and business partners to identify, protect and conserve property of heritage value.





3

Victoria West Neighbourhood Plan

Ongoing Actions...

 Consider citizen-initiated Heritage Conservation Areas if proposed (see policy 10.2.1)

10.2. Heritage Conservation Areas

Intent

Conserve the historic character and integrity of special neighbourhood places.

10.2.1. Consider future citizen-initiated proposals for designation of Heritage Conservation Areas where heritage merit exists.





Δ

Boundaries



- 4 properties are heritage designated
- 5 additional properties proposed for inclusion on the heritage register
- One historic apple tree is recognized
- Heritage Property
- Non-Heritage Property Culturally Significant
- D = Individually Designated



Building Stock



614 Seaforth Street (c. 1911)



230 Robert Street (c. 1899-1900) Designated



223 Robert Street (c.1903-1904)
Designated (National Historic Site)



242 Robert Street (c. 1888-1889)* Designated
*Moved from 621 Seaforth in 1978

VICTORIA

Heritage Value



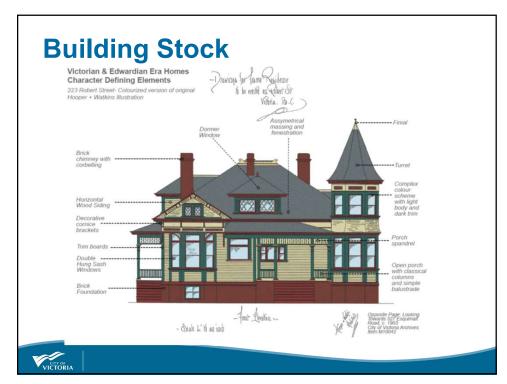
- 1. James Muirhead Jr.'s house
- 2. James Muirhead Sr.'s house
- 3. John Thomas Muirhead's House

- The Muirhead family (223 Robert St), owned most of the east side of the street
- James Muirhead Sr., bought the lands in red between 1881 and 1900
- Muirhead Sr. founded the Muirhead and Mann Company

Graphic Courtesy of Wentworth Villa



7



Building Stock

- Eight wartime houses constructed between 1939 and 1945 (five heritage, three non-heritage)
- Minimal traditional style (inspired by English Cottage Style)



C

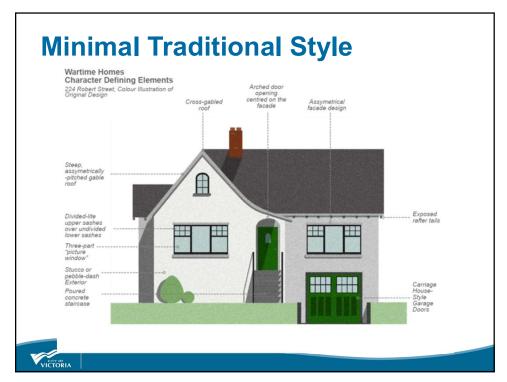
Heritage Value Assessment



 Houses on Robert Street were financed under the federal National Housing Act of 1938, which replaced the Dominion Housing Act of 1935



VICTORIA





Citizen Led HCA Criteria

- ✓ Multiple contiguous properties on both sides of the street
- √ Houses have shared heritage value
- ✓ Buildings have consistent massing, asymmetrical composition, similar setbacks, sheltered entries and porches





12

Design Guidelines- New Buildings Topic Areas Massing & Scale Windows, Doors and Entrances Roof Profile Exterior Cladding Garages New buildings on Robert Street should have a horizontal scale, with windows arranged in pairs or threes. Entries should be recessed similar to existing houses on Robert Street (le. 255) Siding possibilities for new homes Siding possibilities for new homes

Design Guidelines-Infill Topic Areas

- Building Siting and
- Separation
- Character
- Massing
- Windows and Privacy





Design Guidelines- Existing Buildings

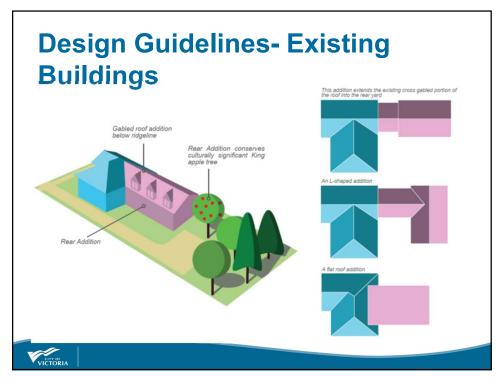
Topic Areas

- · Windows- basement and existing
- Replacement Doors
- Balcony and stair railings
- Solar panels and sustainable technology
- Chimneys
- Additions
- Skylights









17

Exemptions

- Interior renovations
- Exterior painting
- Additions under 100m² that do not exceed the width or height of the rear wall opposite a street
- One garden suite located behind the main rear wall of the existing home
- In kind roof replacement
- Landscaping changes
- · Routine repairs and maintenance of all kinds



Recommendation

- 1. Refer draft Official Community Plan Amendment Bylaw to Public hearing, subject to:
 - Providing owners latest copy of the design guidelines
 - Providing owners with a notice of the bylaw and public hearing and inviting questions and comments
 - · Posting all materials to website
- 2. Refer draft design guidelines to public hearing
- 3. If the OCP amendment is approved, direct staff to add five properties to the heritage register:
 - 206 Robert Street
 - 224 Robert Street
 - 233 Robert Street
 - 255 Robert Street
 - 301 Robert Street





Committee of the Whole Report For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 12, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Request to Study a Portion of Lewis Street as a Potential Heritage Conservation

Area

RECOMMENDATIONS

- 1. That Council direct staff to study and evaluate the portion of Lewis Street shown on Attachment A for its potential as a Heritage Conservation Area in accordance with the Council adopted *Citizen-led Heritage Conservation Areas Policy*.
- If staff conclude that a Heritage Conservation Area designation is justified, report back to City Council with draft design guidelines for new buildings and alterations to existing buildings on Lewis Street, and a draft Official Community Plan Amendment Bylaw that outlines the justification, objectives, and guidelines in accordance with section 614 of the Local Government Act.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with preliminary information, analysis and recommendations regarding a citizen request to designate a portion of Lewis Street as a Heritage Conservation Area ("HCA"). The area contains a concentration of century-old houses that measure one-and-a-half and two-storeys in height. Lewis Street features homes in a variety of styles including Colonial Bungalow, 1920's bungalow, Edwardian Vernacular, Arts and Crafts and the Minimal Traditional style. Four of the houses are currently heritage designated.

Preliminary research indicates that the properties have recognizable heritage character embodied in their composition, rooflines, and architectural details, like dormer windows and wood cladding which are shared among the buildings constructed in different styles. According to the nomination documents, the street has heritage value for its associations with the *Gladys Villa* estate of 1876, which comprised the north half of Lewis Street, and with the southerly estate of Captain Herbert George Lewis. Lewis was the shipping master of the port of Victoria and the last of the pioneer shipmasters of the Hudson's Bay service (1874) and the street is named after him. Lewis Street may also have heritage value as a uniquely intact pre-WW2 streetscape, with ten houses constructed before 1911.

A survey of 14 potentially affected homeowners returned 10 responses, of whom seven were supportive of designating a portion of Lewis Street as a Heritage Conservation Area. Two were opposed and one was undecided.

BACKGROUND

Description of Proposal

The proposed Lewis Street HCA is in the James Bay neighbourhood (see Attachments A & B: Proposed Lewis Street HCA - Study Area Boundary). The proposed HCA includes a collection of 14 one-and-a-half and two-storey houses (see Attachment C: Photographs). The nomination describes the street, and its value as follows (see Attachment D: HCA Nomination):

"Lewis Street is one block long and runs north from Dallas Road. There is no vehicle exit from the north end. The street is narrow and without sidewalks. The lots are narrow, and the houses are situated near the street. Most of the houses were built before the Second World War with many dating from the turn of the century to the outbreak of the First War. The variety of architectural styles include Victorian Vernacular, Edwardian Vernacular Arts and Crafts, Colonial Bungalow, California Bungalow and English Arts and Crafts Bungalow. The tight grouping of the houses and the compact nature of this unusually intact historic streetscape offers a window into what a typical James Bay Street might have looked like prior to the Second World War."

The nomination connects Lewis Street to Beckley Farm, an 1855 farm estate that Hudson Bay Company chief factor James Douglas established to supply food to HBC personnel at Fort Victoria. However, according to the document "Lewis Street - A Historic James Bay Street" (Attachment E) the lots on the street were not the first subdivision of Beckley Farm. Lewis Street represents the second phase in the development of the Beckley Farm following the creation of the *Gladys Villa* estate in 1876, which fronted onto Menzies Street, and Captain Lewis' estate in 1878, which faced Dallas Road. The subdivision and development of Lewis' estate occurred first, then a pair of brothers named John and George Playfair working with their cousin George Cramer, purchased the *Gladys Villa* property in 1911 and subdivided it into 12 lots. This extended Lewis Street further north and the end of the street was connected to Menzies Street by a footpath.

The houses are positioned close to the street and have virtually identical front yard setbacks. Despite a mix of architectural styles, there are common elements. These include:

- elevated entrances and porches
- pitched roofs with dormer windows
- decorative wood siding (shingles, lap siding or both)
- sash windows
- fenced, compact landscaped front yards.

The typical composition of houses on Lewis Street consists of a semi-basement, an elevated ground-storey with a porch and well-defined entrance, and a gabled or hipped roof punctuated with dormers for extra living space.

Regulatory Considerations

If the proposed group of properties is designated as an HCA, the following actions would require municipal authorization through a heritage alteration permit:

- a. Subdivision of land within the area
- b. Construction of a building, structure, or addition to an existing building or structure within the area
- c. Alteration of a building or structure or land within the area
- d. Alteration of a feature that is protected heritage property.

However, the *Local Government Act* allows the City to specify exemptions from permit requirements. The following actions would likely be proposed for exemption from municipal authorization in the Lewis Street HCA:

- a. Interior renovations
- b. Exterior painting
- c. Roof replacement using similar materials
- d. Rear deck construction
- e. Removal of chimneys on contributing houses built after 1939
- f. On lots with a single street frontage in traditional residential areas, additions to the rear elevation of a building, which are under 100 square metres (1077 square feet) in size, less than the width of the rear elevation, and equal to or less than the height of the lowest portion of the roof
- g. Proposals for one garden suite or infill building located in the rear yard (Note: A garden suite would still require a delegated development permit and be subject to review under the design guidelines for DPA 15E: Intensive Residential Garden Suites)
- h. Landscaping alterations
- i. Replacement of eaves troughs, downspouts, and exterior lighting
- j. Building envelope remediation
- k. In-kind replacements of missing, worn or damaged exterior materials
- I. Sustainability upgrades that do not affect the appearance of buildings from the street
- m. Interior insulation
- n. Envelope air sealing (e.g., weather-stripping)
- o. Mechanical system upgrades (including those with exterior equipment such as heat pumps and air conditioning units).

Under the draft HCA bylaw, property alterations would be reviewed against the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The demolition of existing character buildings would be discouraged and require authorization by City Council. The HCA bylaw would establish design guidelines for the construction of new buildings on properties that do not already have a building that contributes to the heritage character of the HCA.

ISSUES & ANALYSIS

The following sections provide a summary of the initiative's consistency with the relevant City policies and guidelines.

Official Community Plan

The proposed study of this area is consistent with the *Official Community Plan* (2012). Section 8 entitled, "Placemaking (Urban Design and Heritage)", directs the city to identify, celebrate and retain heritage and cultural values, to continue conserving and enhancing the heritage value, character and special features of historic areas through designation of new Heritage Conservation Areas and use the heritage thematic framework for evaluation.

Victoria Heritage Thematic Framework

A key policy of the OCP includes the determination of heritage value using a values-based approach. In this regard, a city-wide thematic framework (OCP Fig. 12) was developed and incorporated into the OCP to identify the key civic historic themes. The *Victoria Heritage Thematic Framework* functions to organize and define historical events, to identify representative historic places, and to place sites, persons and events in an overall context. The thematic framework recognizes a broad range of values under which city-wide themes can be articulated.

In considering the *Victoria Heritage Thematic Framework*, the nomination connects the lot pattern of the street with the subdivision of Beckley Farm (Sub-theme 1.3- Pioneer Farms to First Suburbs) and its appeal for tourists from the Ogden Point cruise ship terminal (Theme 2- Gateway Economy, Sub-theme 2.4 Global Tourism Destination). Staff note that the street includes high quality surviving examples of the Arts and Crafts and Colonial Bungalow styles, which are representative of Theme 5: Cultural Exchange, Sub-theme 5.1- Architectural Expression. If the nomination proceeds, staff will undertake a more thorough assessment of the area against the heritage thematic framework.

James Bay Neighbourhood Plan, 1993

The proposed study of this area is consistent with the *James Bay Neighbourhood Plan, 1993,* which in the section entitled, "Heritage Preservation" states:

- 1. Encourage the conservation and rehabilitation of buildings, lands and structures of heritage significance which contribute to the neighborhood's attractive character
- 3. Encourage retention of clusters of heritage houses, including streetscapes

Relevant policies and recommendations for heritage properties include:

- 1. Recognize areas where there are existing heritage and character buildings.

 Any redevelopment in the above areas should be encouraged to enhance existing heritage/character with regard to scale, form, quality and materials
- 7. Establish design guidelines for heritage Development Permit Areas

Heritage Conservation Area - Assessment Criteria

City Council adopted a new *Citizen-led Heritage Conservation Areas Policy* on January 31, 2019 (the "Policy"). The Policy establishes four main criteria for evaluating a potential HCA:

- 1. A proposed Heritage Conservation Area should consist of multiple contiguous properties, preferably including properties on both sides of a public street.
- 2. A majority of properties in a proposed Heritage Conservation Area should have a shared heritage value or set of heritage values.
- 3. A majority of properties within a proposed Heritage Conservation Area should have cohesive heritage character, embodied in a set of shared traits or features that give the area a distinctive quality or appearance. The heritage character of a proposed Heritage Conservation Area should be obvious to the untrained eye.
- 4. Boundaries of the area should be based on shared cultural heritage values, heritage character and natural geography and not include unrelated areas.

The proposed new HCA includes multiple contiguous properties on both sides of Lewis Street. Preliminary research indicates that houses on the street share common heritage value in their

association with the Beckley Farm. A majority have some physical elements in common. If Council authorizes staff to study Lewis Street further, staff will complete an assessment of the historical integrity of each property using historic plans and photographs (See Attachment E- Historic Photographs). The Policy does not require a minimum threshold of support to advance an HCA. In 2019, residents on the street applied for, and received a grant from the City to install historic plaques on each of the 17 houses. Each plaque includes historic details about the house and its first residents.

Proposed Study Area Boundaries

The nominator selected the boundaries to encompass a set of houses on Lewis Street with consistent massing, setback and some shared style characteristics.

Four of the properties are currently heritage designated (39, 43, 50 and 53 Lewis Street). The study area boundaries exclude unrelated areas reflecting very different development patterns, such as the mid-rise apartment buildings facing Dallas Road.

Engagement with Affected Owners

The HCA nominator consulted with many of their neighbours before submitting the package to the City. Subsequently, City staff mailed all owners an invitation to a consultation meeting scheduled for June 25, 2020. The meeting occurred in Lewis Park, where staff delivered a comprehensive overview of the proposed HCA and process, including the preliminary rationale and the potential implications of an HCA bylaw for homeowners. In August 2020, staff mailed a survey to all 14 affected homeowners. Ten homeowners responded, of whom seven were supportive, two were opposed and one was undecided. Several support letters are attached (See Attachment F-Support Letters).

Next Steps

If an HCA study is authorized for this area, staff would evaluate the research completed and undertake additional research assessing the integrity and condition of individual properties within the proposed HCA, to determine if the proposed area has sufficient heritage value and heritage character to justify its conservation under the *Local Government Act*. If staff determine that the area merits designation as an HCA, staff will prepare a draft bylaw to amend the *Official Community Plan*, which will contain a description of the special features justifying the designation, objectives of the designation and guidelines for achieving the objectives.

OPTIONS AND IMPACTS

Option 1 (Recommended)

That Council direct staff to study the portion of Lewis Street shown on Attachment A: Proposed Lewis Street HCA - Study Area Boundary as a potential HCA.

This option would support *Official Community Plan* and *James Bay Neighbourhood Plan, 1993* objectives to consider retaining clusters of heritage houses, including streetscapes.

Option 2

That Council decline the study of the area shown on Attachment A: Proposed Lewis Street HCA - Study Area Boundary as a potential HCA.

This option is not recommended. The nominator has delivered a well-researched and compelling nomination with a strong rationale for the further study of the street to confirm the heritage values and character features identified. The Official Community Plan supports the further study of the area.

Accessibility Impact Statement

The study of Lewis Street as a potential HCA has no accessibility impacts.

2019-2022 Strategic Plan

There are no specific actions prioritizing the designation of Heritage Conservation Areas in the Strategic Plan, however, it is part of ongoing City operations and heritage designation is identified as an "operational priority" on page 11 of the plan.

Impacts to Financial Plan

This initiative will have no impact on the Financial Plan as the study of potential heritage conservation areas is an operational duty for heritage staff. Establishing additional heritage conservation areas in the City will result in additional heritage alteration permits for staff to process should property owners propose changes to their properties. However, Lewis Street contains very few properties, so impacts to staffing resources would be minimal. Further, staff are contemplating exemptions to both lessen the permit process impacts to property owners and the volume of applications received.

Official Community Plan Consistency Statement

The proposed study of Lewis Street as a potential HCA is consistent with heritage-related directions in the *Official Community Plan* under Section 8: "Placemaking- Urban Design and Heritage".

CONCLUSIONS

The submitted nomination for the study of a portion of Lewis Street as a potential HCA presents some evidence for the heritage value and heritage character of the area, as well as the area's relationship to the *Victoria Heritage Thematic Framework*. Staff therefore recommend that Council authorize the study of the area shown on Attachment A.

Respectfully submitted,

John O'Reilly Senior Heritage Planner Development Services Karen Hoese, Director Sustainable Planning and Community Development Department

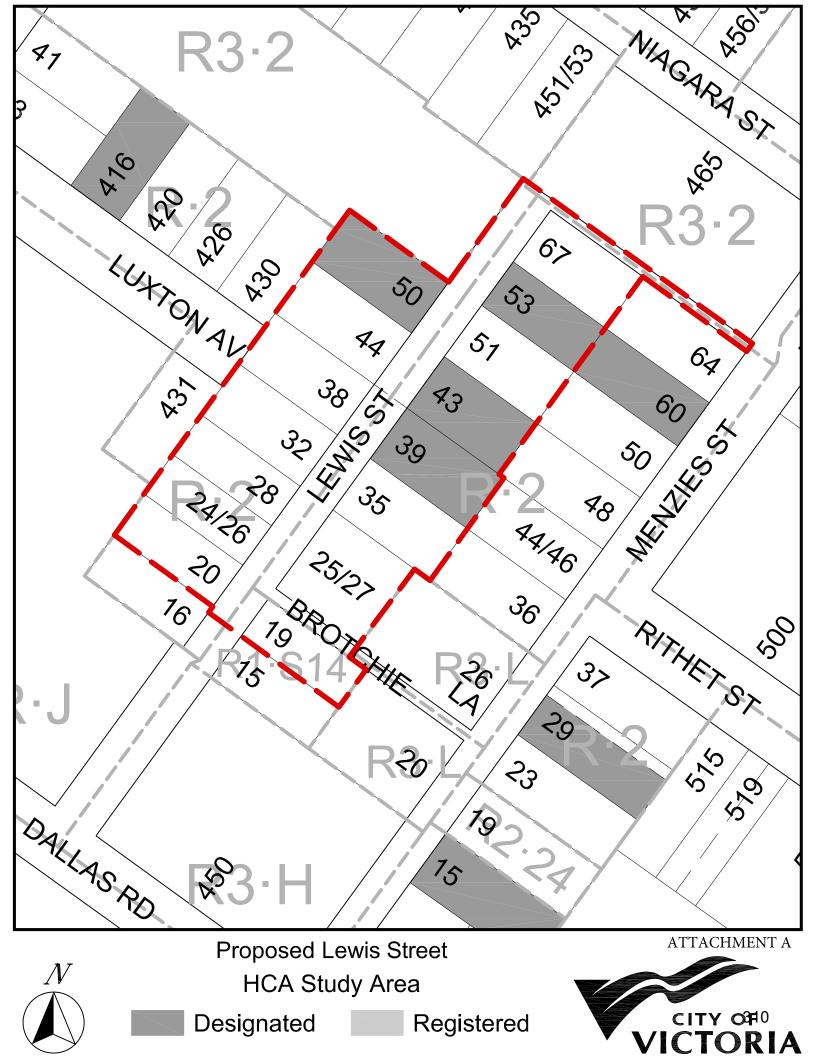
Laura Saretsky Heritage Planner Community Planning

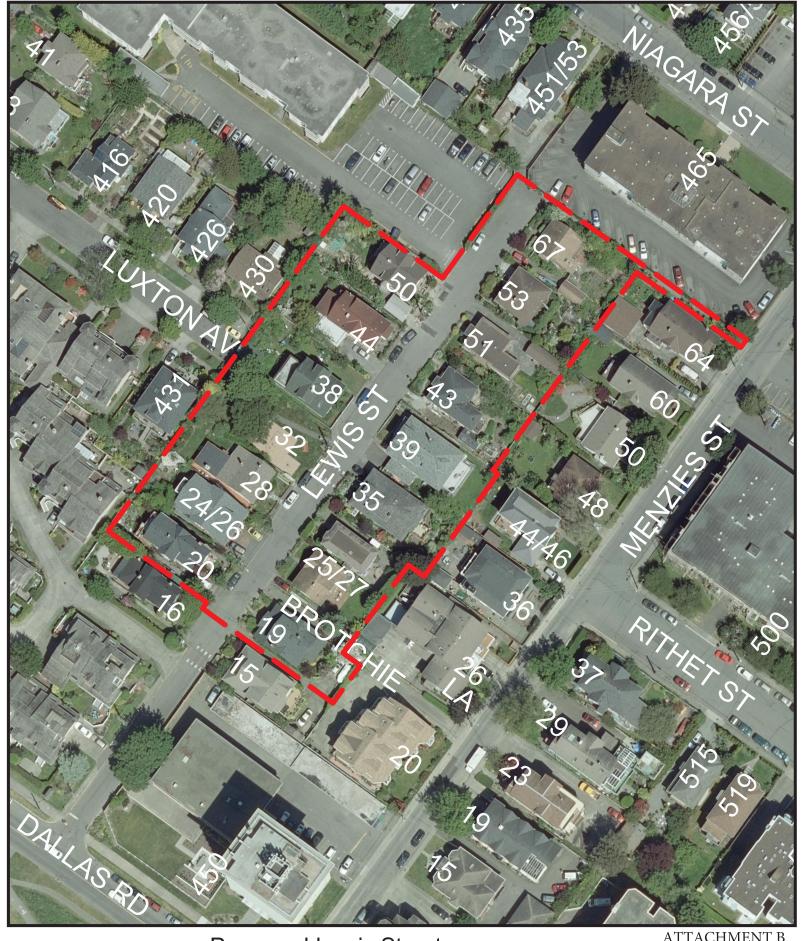
Report accepted and recommended by the City Manager:

Date:	

List of Attachments

- Attachment A: Subject Map Proposed Lewis Street HCA Study Area Boundary
- Attachment B: Aerial Map Proposed Lewis Street HCA Study Area Boundary
- Attachment C: Photographs
- Attachment D: HCA Nomination
- Attachment E: Lewis Street- A Historic James Bay Street
- Attachment F: Historic Photographs
- Attachment G: Support Letters







Proposed Lewis Street HCA Study Area



ATTACHMENT C: PHOTOGRAPHS

Pictures organized from north to south



67 Lewis Street



53 Lewis Street



51 Lewis Street



50 Lewis Street



Plaque at 50 Lewis Street



43 Lewis Street



44 Lewis Street



39 Lewis Street



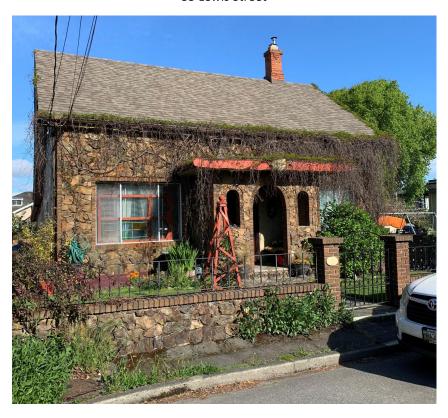
Plaque installed in front of 39 Lewis Street



38 Lewis Street



35 Lewis Street



35 Lewis Street



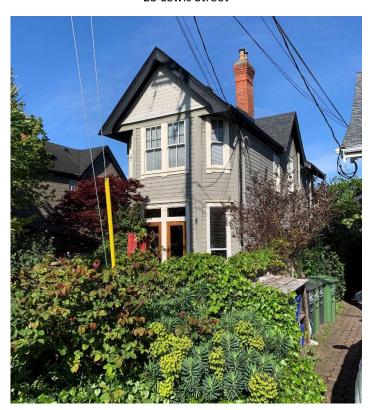
27 Lewis Street



24/26 Lewis Street



25 Lewis Street



20 Lewis Street



19 Lewis Street







Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0283

Heritage Conservation Area Nomination Form

<u>Communitypianning@</u>	<u>viciona.ca</u>
	09E V

Submission Requirements: ☐ Completed nomination form ☐ A brief summary of any preliminary outreach to residents ☐ A map with an outline of the proposed boundaries of the HCA ☐ Typical photographs of area properties ☐ Any letters of support, petitions or other materials

Please fill out the following:

1. In the field below, explain why the area you are nominating as a heritage conservation area has heritage value, defined as social, cultural, aesthetic, scientific or educational importance. What traits or features of the properties that comprise the area give it heritage character, defined as a distinctive quality or appearance? During what time period did key features of the neighbours appear or get built?

We are nominating Lewis Street in James Bay as a Heritage Conservation Area. James Bay is the oldest neighbourhood on the West Coast North of San Francisco. It's known for its historic homes and buildings, providing a window into Victoria's past.

Lewis Street is one of the few streets left with mostly century old houses. Out of 17 homes only two aren't original. This historic look is attracting visitors from Victoria and around the world as nearby cruise ship visitors walk down the street to experience what Victoria looked like in its early days. In recent years, five (including nearby 60 Menzies St.) homes have been given heritage designation. The street's history is also being recognized by the City through a My Great Neighbourhood Grant. Historic signs have been placed at the front of Lewis Street properties outlining the year the house was built, the name of the original owner and their occupation. Lewis Street is also in line to be included as part of the official Victoria Heritage Foundation Walking Tours.

Lewis Street is named after Captain Herbert George Lewis, the shipping master of the port of Victoria and the last of the pioneer shipmasters of the Hudson's Bay service (1874). The street was developed by the Playfair and Cramer families after they divided the Gladys Villa property into 12 lots in 1911. Lewis Street features homes from a variety of styles including; Colonial Bungalow (with Queen Anne features), Edwardian Vernacular, Arts and Crafts, and 1920's Bungalow among others.

Lewis Street has remained intact for the past 100+ years. Even Mayor Helps has visited us, toured the street and told us it would be a prime candidate as a Heritage Conservation Area. Lewis Street was recently in the spotlight as Finance Minister Carol James talked about it during her recent provincial budget speech. She spoke of what the street meant to her speaking about her old family home on Lewis and memories she had in the rambling house. She added that she's pleased that many of its rooms are now rented out to students providing affordable housing.

We look forward to hearing from you and working together to preserve this gem of a historic street. This is an area that is under threat of seeing its unique look and feel slip away as developers turn their eyes toward it to make a profit from an increasingly sought-after real estate location.



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0283

E Communityplanning@victoria.ca

Heritage Conservation Area Nomination Form

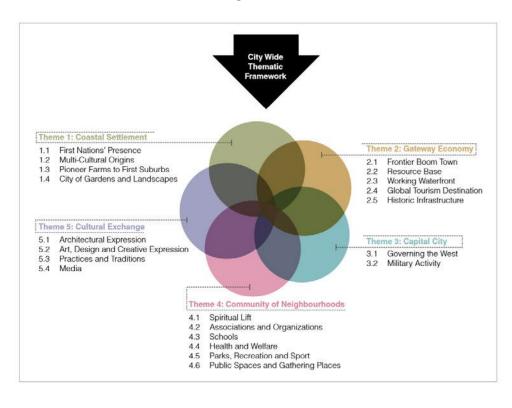
2. In the field below, describe the heritage value of the area in terms of the Victoria Heritage Thematic Framework, taken from the Official Community Plan. Which themes does the area embody?

Lewis Street's heritage value embodies a number of themes from the Victoria Heritage Thematic Framework from the Official Community Plan.

Theme 1: It was originally part of a coastal settlement for the Lekwungen (Coast Salish) First Nation. The street was also a part of Beckley Farm. The street's homes have Beckley Farm currently listed on their title. Hudson's Bay Company chief factor and later B.C.'s first premier James Douglas established Beckley Farm in the neighbourhood in 1846 by building his home nearby.

Lewis Street consists of a relatively narrow/lane style street which reflects the subdivision of pioneer farms. It features a variety of homes from modest homes to larger houses). The street was developed by the Playfair (descendants of Scottish scientist John Playfair) and Cramer families after they divided the Gladys Villa property into 12 lots in 1911. Theme 2: Since Lewis Street is located only a few blocks from the Ogden Point cruise ship terminal it is a tourism destination, attracting tourists from around the world who enjoy walking down the street to experience what Victoria was like in its pioneer days

The Victoria Heritage Thematic Framework:





Sustainable Planning and Community Development
1 Centennial Square
Victoria, BC V8W 1P6
T 250.361.0283
E Communityplanning@victoria.ca

Heritage Conservation Area Nomination Form

3. Nominators are strongly encouraged to speak to their neighbours about the proposed HCA directly prior to submitting their nomination. In the field below, please describe your engagement with neighbours so far?

In April, we went door to door connecting with resident Conservation Area nomination for Lewis Street.	ts to let them know about our plans to submit the Heritage			
We went to eight out of 17 houses on the street. Here - 53 Lewis Street – Lara Hurrell, definitely in favour of - 39 Lewis Street – Bud Lafaut, definitely in favour of a - 43 Lewis Street – Davyd McMinn and Linda Carlson - 38 Lewis Street – Alex Greer, Likes the idea and he - His family has lived in their home for 70 years. Seco - 20 Lewis Street – Non-committal - 25 Lewis Street – Pat and Alan Miller, definitely in fa - 52 Lewis Street – Don Lindsay, definitely in favour of - 67 Lewis Street – Judy Hunt, definitely in favour of a	an HCA an HCA , definitely in favour of an HCA is open to learning more about an HCA nd owners of the home vour of an HCA f an HCA			
*Neighbours at 54 Menzies – backing onto Lewis Street are in favour of an HCA 3 support letters provided				
Name of Nominator Lara Herreli				
AddressPhone Number_ Email				
Signature of Nominator Vaca Varuell	June 4/2019			
Name of Sponsor (Required if nominator does not live in HCA) Kathryh Ogg Address in HCA_ Phone Number_ Email_				
Signature of Sponsor (LaAnum Ogg	Date Date 4/19			

Lewis Street A Historic James Bay Street

Lewis Street is one block long and runs north from Dallas Road. There is no vehicle exit from the north end. The street is narrow and without sidewalks. The lots are narrow, and the houses are situated near the street. Most of the houses were built before the Second World War with many dating from the turn of the century to the outbreak of the First War. The variety of architectural styles include Victorian Vernacular, Edwardian Vernacular Arts and Crafts, Colonial Bungalow, California Bungalow and English Arts and Crafts Bungalow. The tight grouping of the houses and the compact nature of this unusually intact historic streetscape offers a window into what a typical James Bay street might have looked like prior to the Second World War.

The origins of Lewis Street go back to the 1870's. In 1876 William Charles Robinson, an English born wholesaler and customs broker built his home, *Gladys Villa*, facing Menzies Street on two acres of land at the north end of present-day Lewis Street. Two years later Captain Herbert George Lewis, a native of Hertfordshire, England and Master of the Hudson's Bay Company ship, the Beaver, purchased property on Dallas Road and built a substantial residence at the south end of what is now Lewis Street.

The first tentative route for Lewis Street was deeded in 1889 and may have originally been a driveway through the Captain Lewis property. Travelling north from Dallas Road for 30 metres, the street turned east and connected with Menzies Street. In 1904 the easterly section became Brotchie Lane and Lewis Street itself was extended north from Dallas Road to the southern boundary of the *Gladys Villa* estate.

Ten houses were built along Lewis Street before 1911. The residents at that time included four ships captains, two carpenters, a dressmaker, a stores man, an engineer, a labourer and a curiously entitled woman of "own means".

In 1911 two brothers and a cousin from Baldur, Manitoba purchased *Gladys Villa*. John and George Playfair and George Cramer subdivided the property into 12 lots. Lewis Street was extended further north and the end of the street was connected by a footpath to Menzies Street. (Curiously, the 8' easement for the footpath first appears in the original 1872 survey of the area). Four of the new lots fronted on Menzies Street. *Gladys Villa*, now situated in the middle of the subdivision was moved to a new lot on the northwest corner of the property and became 66 Lewis Street.

50 Lewis Street was constructed in 1912 and was the first new house to be constructed in the subdivision. 53 Lewis Street was the last to be built and was completed in 1929. For a time, it was the home of George Cramer, one of the developers. The house received Heritage Designation in 2011.

The North Lewis Street subdivision development was interrupted by the economic downturn in 1913 and the onset of the First World War in 1914. Work resumed again in the 1920's.

The architectural design of most of the 12 houses in the 1911 subdivision reflect the fashion of the period in which they were constructed. Edwardian Vernacular Arts and Crafts before 1914 and English Arts and Crafts during the 1920's. However, the style of the first three houses built after the war harken back to the era before 1914. Each of these three were constructed in 1922 and are located at 44 Lewis and at 60 and 64 Menzies Street. 60 Menzies was the home until 1925 of subdivision developer George Playfair. 60 Menzies received Heritage Designation in 2013, as did 39 Lewis, 43 Lewis and 50 Lewis in 2014.

The Captain Lewis House was demolished in the late 1960's making way for an apartment tower. Two 19th century homes at the south end of Lewis Street disappeared in the early 1980's with the development of the Dunn Elm Village townhouse complex. In the 1970's the working class 1911 cottage at 34 Lewis was bequeathed to the city by its last owner and was removed to make way for Lewis Park which has become a focus for the street and a well used neighbourhood amenity.

The 1913 house at 62 Lewis and the 1876 *Gladys Villa* at 66 Lewis were demolished in the early 1970's in favour of a parking lot for the Albion Court apartment building. In the 1990's two new houses were constructed on subdivided lots at 15 and 27 Lewis Street. Most off the remaining pre-Second World War houses retain their original facades and for the most part the feeling of an early 20th century Victoria streetscape has been maintained.

Ten years ago, the neighbourhood marked the 100th anniversary of the 1911 Lewis Street extension and subdivision. During the event temporary historic informational signs were installed on each property indicating the date the house was built, the first residents names as well as their occupations. In 2018, with the assistance of a City of Victoria Good Neighbourhood grant, permanent descriptive, historical plaques were installed on the front fences of each of the 18 properties on the street. There have also been discussions about installing a plaque at the end of the street which would outline in text and photos the history of the street and its early residents. Many people, both local and visitor, walk along Lewis Street each year. It is clear from many casual conversations that the historic ambiance of the street is often the reason that they choose this route.

We recognize that the historic flavour of a street can disappear very quickly. Descriptive signage, plaques and photos greatly enhance the experience for a visitor but offer little value if that flavour has been tarnished and the balance tipped by the disappearance of one too many heritage buildings. Residential Heritage Designation of more residences and ultimately, the designation of Lewis Street as a Heritage Conservation Area can further the process of helping to protect this community heritage asset in the heart of historic James Bay.

ATTACHMENT F: HISTORIC PHOTOGRAPHS



Captain Herbert Lewis



Title: Dallas Road, Victoria

Dallas Road at Menzies Street and Lewis Street



Gladys Villa, built in 1876 (Photograph c. 1950s)



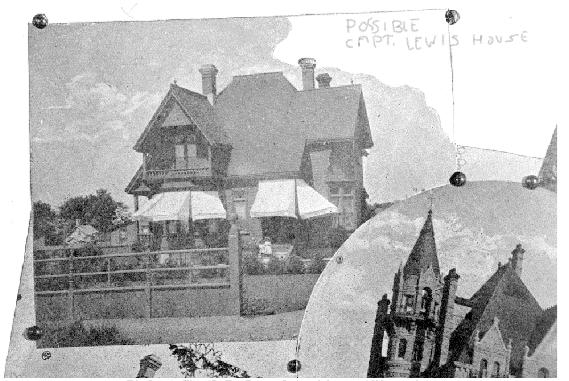


John Piercy house corner of Lewis Street, Brochy lane at Menzies Street



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Web: www.bcarchives.gov.bc.ca Email: access@www.bcarchives.gov.bc.ca

(C) - Provided for Research Purposes Only - Other Use Requires Permission



Title: The C.E. Renouf residence, Victoria.



NW corner Menzies and Dallas



Thomas Kain House- Northwest corner of Dallas Road and Lewis Street

To whom it may concern,

We are writing this letter to endorse and voice our full support to the proposal to designate Lewis Street as a Heritage Conservation Area. Lewis Street is a unique collection of diverse architectural gems representative of the early 20th century. In its present form, it is completely undiluted and a strong candidate for protection.

Although we do not live on Lewis Street, we do live on the lane connecting Lewis Street with Menzies Street (64 Menzies) and often walk along Lewis Street on our way to the beach or the Dallas Cliffs.

We would appreciate it if you did the right thing and afforded Lewis Street the protection it deserves.

Thank-you, Sincerely



To whom it may concern,

I'm writing this email in support of my neighbour Lara Hurrell's proposal that Lewis Street be assessed for designation as a Heritage Conservation Area.

I believe Lewis to be a unique street in James Bay whose history and character are worth preserving and would therefore welcome its designation as an HCA. I have been a Lewis Street resident since 2008 and would very much like to see it be able to preserve its history, and in doing so, continue to be attractive and interesting to residents and passersby alike.

Sincerely,

May 29, 2019

John O'Reilly Heritage Planner City of Victoria 1 Centennial Square Victoria BC V8W 1P6

Dear John O'Reilly,

We write this letter in support of an application from our neighbour, Lara Hurrell, to designate Lewis Street as a Heritage Conservation Area.

The original Lewis Street was a short dog-leg off Dallas Road and included the alley heading west from Menzies Street, now called Brotchie Lane. In 1912, Lewis Street was extended north to its current configuration. All houses are set closely to the street, contrary to existing setbacks. Lewis Street has neither boulevards nor sidewalks which makes it a very pedestrian friendly street. Many residents of James Bay walk down Lewis Street because of its charm.

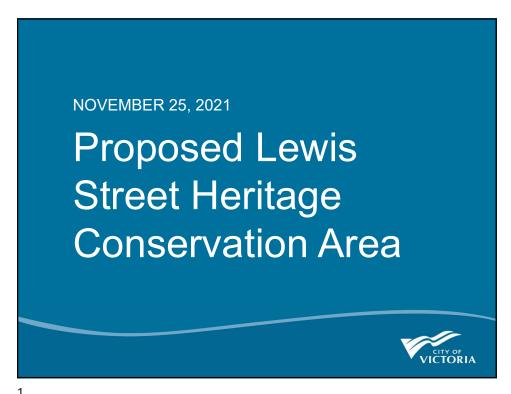
There are 17 houses (originally single family) on this short cul-de-sac and one small park. Fifteen of the houses were constructed in the early 20th Century reflecting a variety of heritage styles and 2 were constructed on vacant lots in the late 1990s. Of the 17 houses, 4 houses near the north end of the street are Heritage Designated. The heritage nature of the properties are immediately evident to anyone who views the properties.

This compact street remains intact in that, while some properties are home to multiple residents, there are no obvious multi-family dwellings on the street.

We believe that Lewis Street is an excellent candidate as a Heritage Conservation Area. Thank you for your consideration of Lara Hurrell's application.

Regards

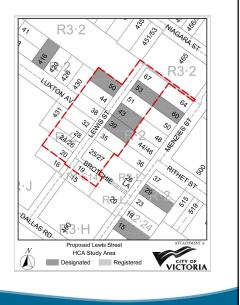
lenda Carlson



-

Consider a citizen request to designate a portion of Lewis Street as a Heritage Conservation Area

Purpose



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Official Community Plan

8.10 Maintain, update and create design guidelines for Development Permit Areas and Heritage Conservation Areas ...



VICTORIA

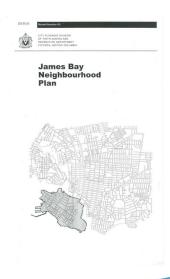
November 25 Presentation to Committee of the Whole

3

James Bay Neighbourhood Plan

Heritage Preservation

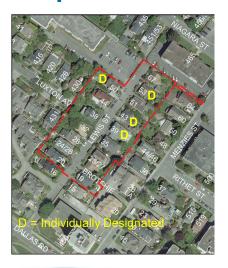
- Encourage the conservation and rehabilitation of buildings, lands and structures of heritage significance which contribute to the neighbourhood's attractive character
- Encourage retention of clusters of heritage houses, including streetscapes



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November 25 Presentation to Committee of the Whole

Proposed Lewis Street HCA



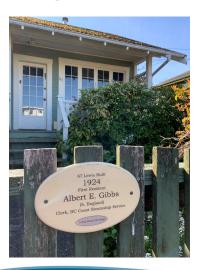
Study area encompasses 15 houses, Lewis Park, and a footpath to Menzies Street



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Proposed Lewis Street HCA



HCA Evaluation Criteria from City's Citizen-led Heritage Conservation Areas Policy:

- Properties in the proposed area share a set of heritage values
- Unrelated areas have been excluded

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Building Stock

- 15 houses total
- Intact pre-WW2 streetscape



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Building Stock – Pre WW1





28 Lewis Street c. 1907



39 Lewis Street c. 1908 Designated



24 Lewis Street c. 1906



38 Lewis Street c. 1911



20 Lewis Street c. 1904



35 Lewis Street c. 1908



19 Lewis Street c. 1913

November 25 F

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Building Stock – 1920s & 1930s



67 Lewis Street c. 1924



43 Lewis Street c. 1928 Designated



53 Lewis Street c. 1929 Designated



44 Lewis Street c. 1922



51 Lewis Street c. 1925



25 Lewis Street c. 1936



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C

Building Stock – Post WW2



27 Lewis Street c. 1994



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Heritage Value Assessment



- Example of the subdivision of farms into suburbs
- Intact pre-WW2 streetscape
- 1. Pre-1911 subdivision of the Lewis estate
- 2. 1911 subdivision of the Gladys Villa estate

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Engagement

- Community meeting and staff presentation at Lewis Park (June 2020)
- Survey mailed to 14 affected property owners (August 2020):
 - > 10 responses received
 - > 7 in support
 - ➤ 2 opposed
 - > 1 undecided



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Next Steps

- If authorized, staff proceed to study and evaluate area
- Develop Statement of Significance
- Prepare draft bylaw to amend the OCP
- Consultation on OCP amendment bylaw
- · Report back to Council



Survey for 1911 subdivision of Lewis St

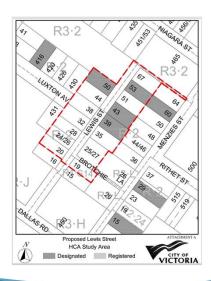


November 25 Presentation to Committee of the Whole

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Recommendations

- Direct staff to study and evaluate the portion of Lewis Street for its potential as an HCA.
- If staff conclude that HCA designation is justified, report back to Council with draft design guidelines and proposed OCP Amendment Bylaw.



VICTORIA

November 25 Presentation to Committee of the Whole



Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 22, 2021

From: Daniel Atkinson, Acting Fire Chief

Subject: Victoria Extreme Weather Warming and Cooling Centre Plan

RECOMMENDATION

That Council receive the report and the attached City of Victoria Extreme Weather *Warming and Cooling Centre Plan* for information.

EXECUTIVE SUMMARY

The purpose of this report is to provide council with information regarding the roles and responsibilities of the Provincial Government and the City of Victoria with respect to reducing the impacts to vulnerable community members during periods of extreme weather. Attached to this report is the City of Victoria Extreme Weather Warming and Cooling Centre Plan.

The COVID-19 Pandemic has amplified the impacts vulnerable populations experience as a result of extreme weather events. Reduced availability of services and/or locations where vulnerable community members can seek refuge from the elements has become a more frequent occurrence for both hot and cold weather events. In response to the increase in both extreme weather events and the impacts to vulnerable community members, staff conducted a review of existing supports through a process of engaging with representatives from BC Housing, Emergency Management BC, local service providers, and faith-based organizations. The review identified what supports are currently in place to identify potential gaps that may exist. The goal of the review was to develop a response plan that is pro-actively activated through coordination with partner agencies, ultimately reducing the impacts to vulnerable community members during extreme weather events.

The review identified a need for the establishment of both warming and cooling centres during periods of extreme weather. BC Housing is responsible for sheltering vulnerable community members during periods of extreme cold through the activation of their Extreme Weather Response Program (EWRP). BC Housing has contracted the Coalition to End Homelessness to administer the EWRP for the 2021 – 2022 winter season. The sheltering of individuals during extreme weather events generally concludes at 6 a.m. or 7 a.m. daily, and those individuals who were sheltered at night must navigate the extreme weather during daytime hours until the shelters re-open. Many individuals are unable to seek refuge from the cold for up to 13 hours. *Warming and Cooling Centres* would be activated in conjunction with the BC Housing's Greater Victoria Extreme Weather Response Plan.

PURPOSE

The purpose of this report is to provide council with information on the City of Victoria's Extreme Weather Warming and Cooling Centre Plan and how it will be activated and implemented.

BACKGROUND

Since the onset of the COVID-19 pandemic, the City of Victoria has experienced a decrease in the number of available shelter beds and other opportunities for vulnerable community members to take refuge from the effects of extreme weather events. Extreme Weather events are also increasing in frequency and severity. In the winter of 2020-2021, community-led warming shelters and other structures began to "pop-up" in an effort to fill this void; however, these facilities required additional oversight from staff across multiple departments to ensure the preservation of health and safety of those community members utilizing the services.

Responding to extreme weather events is a shared responsibility. Under the Emergency Program Act, Local Authority Emergency Management Regulation, a Local Authority is responsible for:

- identifying hazards, risks, and vulnerabilities within their jurisdictional area and
- creating plans for these hazards, risks, and vulnerabilities
- notifying the public of impeding hazards,
- identifying the procedures by which emergency resources, including, without limitation, personnel, equipment, facilities and financial resources, may be obtained from sources within or outside of the jurisdictional area for which the local authority has responsibility

BC Housing is responsible for the management of the Extreme Weather Response Program (EWRP), which funds community-based services to provide extra emergency shelter beds for unhoused community members during periods of extreme weather. This year, BC Housing will provide funding through contract with the Coalition to End Homelessness for a Community Coordinator responsible for the EWRP as well as the activation of time-limited, temporary shelter beds and providing notification of EWRP activations. Notifications include website and media updates as well as emails to stakeholders who should be aware of when the EWRP and that time-limited shelters have been activated.

BC Housing does not provide funding or resources for daytime warming centres. Sheltered individuals must leave the EWR shelters by 6 a.m. or 7 a.m. each morning with possibly nowhere to go to stay warm, or cool, during daytime hours. Currently a gap exists in these daytime hours. Activation of daytime warming or cooling centres during extreme weather events may reduce the impacts to vulnerable community members.

Staff have engaged community service providers and faith-based organizations and have secured suitable locations where warming or cooling centers may be activated. The criteria for activation of a cooling center remains under development; however, warming center activation would be consistent with the criteria utilized by BC Housing in the activation of the EWR program; which include:

- Temperatures are at or near zero degrees Celsius with rainfall that makes it difficult or impossible for unhoused individuals to remain dry; and/or
- Sleet/freezing rain; and/or
- Snow accumulation; and/or

- Sustained high winds; and/or
- Temperatures at or below zero Degrees Celsius.

In the event extended periods of days and nights meeting the above criteria are present, the EWR shelters will likely not have the capacity for all individuals; in these circumstances the warming centres may also be activated in the evenings. Based on historical data and weather predictions, it is anticipated that the EWRP and warming centres would be required for approximately 30 calendar days this winter season.

ISSUES & ANALYSIS

Emergency Support Services (ESS) is a Provincial Program delivered by Local Authorities and funded by Emergency Management BC (EMBC). In past years, ESS has not covered the costs associated with a response to assist the unhoused during extreme weather events, nor will WorkSafeBC cover City of Victoria ESS volunteers if serving in that capacity.

This winter, in the event of extreme cold weather, EMBC has advised Local Governments that they will now cover the incremental costs of daytime warming centres including the costs associated with staffing the centre. The City of Victoria is presently recruiting to fill these positions through the creation of an auxiliary staffing pool.

Warming centre information provided by other municipalities, such as the City of Vancouver, confirm the cost for activation is approximately \$2,000 per 12 hour operating period which includes:

- Security
- Cleaning
- Hot beverages and snacks
- Personal Protective Equipment (masks, hand sanitizer, gloves etc.)
- Staff check in/out, safety, information
- Any rental fees

OPTIONS & IMPACTS

Accessibility Impact Statement

The City of Victoria Extreme Weather *Warming and Cooling Centre Plan* was developed through consultation with local faith-based organizations and community groups. For each potential location, a comprehensive checklist was created identifying what services may be provided as well as any accessibility considerations including wheelchair accessibility and access to secured storage for personal belongings.

2019 – 2022 Strategic Plan

Implementation of the City of Victoria Extreme Weather *Warming and Cooling Centre Plan* aligns with several of the objectives contained in the 2019 – 2022 Strategic Plan including:

Strategic Objective Three – Affordable Housing

The opening of warming or cooling centres has been identified as a valuable opportunity to connect vulnerable community members with a sustainable support base or other long-term outreach and

support services. Stable and sustainable support bases may contribute to a reduction in the number of people experiencing homelessness.

Strategic Objective Five – Health, Well-Being and a Welcoming City

The opening of warming or cooling centres will certainly increase the number of people who feel safe and connected to the community and the personal connections established at those centres may improve individuals' mental and physical health.

Strategic Objective Eight – Strong, Liveable Neighbourhoods.

Activation of warming and cooling centres will increase citizen engagement opportunities within neighbourhoods.

Impacts to Financial Plan

Operating costs to activate and run a Warming Center will be reimbursed by Emergency Management BC. Based on actual costs incurred by other municipalities, costs are estimated to be \$2,000 per operating period (daytime only), or \$4,000 if required for a 24-hour period. Based on historical weather data, staff project the need for approximately 30 operating period activations for the 2021 – 2022 winter season for a projected total cost of \$60,000.

Staff have prepared and will submit an Expense Authorization Form (EAF) to EMBC should an activation be required. The EAF will cover all incremental costs associated with opening a warming center offsetting any expense to the City of Victoria.

No impacts to the Financial Plan are expected.

CONCLUSIONS

Through funding provided by BC Housing, the Victoria Coalition to End Homelessness continues to work with community partners to staff EWR resources during extreme weather events in Victoria. To supplement this service, City staff have worked with local and provincial stakeholders, community groups, and faith-based organizations to activate daytime warming centres. Funding for warming centre activation will be recovered through submission of an Expense Authorization Form (EAF) to EMBC following activation. Warming Centres will provide an opportunity for vulnerable community members to seek refuge from the cold during extreme weather events when other options are not available. This new integrated and coordinated emergency extreme weather service model is a marked improvement from years past.

Once EMBC determines the activation criteria and funding model for summer cooling stations, staff will work with existing stakeholders and partners to finalize the Cooling Centre Plan prior to summer 2022.

Respectfully submitted,

Tanya Patterson Daniel Atkinson Emergency Program Coordinator Acting Fire Chief

Report accepted and recommended by the City Manager

List of Attachments				
City of Victoria Extreme Weather Warming and Cooling Centre Plan				

City of Victoria Extreme Weather



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Introduction

The City of Victoria is committed to ensuring all residents have a safe place to come inside, particularly during the cold winter months and other extreme weather such as heat waves and wildfire smoke conditions. BC Housing is responsible for and manages the activation of the Extreme Weather Response Plan (EWRP) and shelters beginning on November 1 annually. BC Housing's Greater Victoria Extreme Weather Response Plan represents a strategy for coordinating the response in the Greater Victoria area to meet the overnight shelter needs of unhoused persons during times of extreme weather. It documents the framework for extending resources in order to prevent hardship and incorporates the expansion and development of previous year's protocols.

BC Housing does not provide funding for daytime warming centres that are opened during EWR alerts. Recognizing that during extreme weather conditions there may still be individuals requiring somewhere to get warm or cool, the City of Victoria will activate warming or cooling centres when necessary to fill this gap. These sites are in addition to EWR shelters activated by BC Housing and the GVCEH. While they are not set up with beds or mats, they provide a warm or cool and safe space for people who need it most during the coldest and hottest months of the year. This BC Housing EWRP is in effect beginning on November 1 each year.

Background - Applicable Legislation, policies and plans

Assistance to Shelter Act (ASA)

Grants local police and RCMP the capacity to assist a person who is homeless to a shelter during extreme weather events. Once in the shelter the person may choose whether or not they want to stay. This assists law enforcement officers to assist those who are homeless and sleeping outside during extreme weather events.

Emergency Program Act, Local Authority Emergency Management Regulation

States that a local authority must reflect in the local emergency plan(s) the potential emergencies and disasters that could affect it, and its assessment of the relative risk of occurrence and the potential impact on people and property of the emergencies or disasters. A local authority must, identify the procedures by which emergency resources, including, without limitation, personnel, equipment, facilities and financial resources, may be obtained from sources within or outside of the jurisdictional area for which the local authority has responsibility, establish the procedures by which the plan is to be implemented, establish procedures by which those persons who may be harmed or who may suffer loss are notified of an emergency or impending disaster, coordinate the provision of food,



clothing, shelter, transportation and medical services to victims of emergencies and disasters, whether that provision is made from within or outside of the local authority, establish the priorities for restoring essential services provided by the local authority that are interrupted during an emergency or disaster, and recommend to service providers the priorities for restoring essential services not provided by the local authority that are interrupted during an emergency or disaster. A local authority may incorporate into its local emergency plan any confirmed, potential or anticipated assistance and resources of other levels of government or other non-government bodies.

BC Public Health Act:

30 (1) A health officer may issue an order under this Division only if the health officer reasonably believes that (a) a health hazard exists, (b) a condition, a thing or an activity presents a significant risk of causing a health hazard 31 (1) If the circumstances described in section 30 [when orders respecting health hazards and contraventions may be made] apply, a health officer may order a person to do anything that the health officer reasonably believes is necessary for any of the following purposes: (b) to prevent or stop a health hazard, or mitigate the harm or prevent further harm from a health hazard; 32 A health officer may order a person to do one or more of the following: b) in respect of a place, (i) leave the place (ii) not enter the place...etc. 39 (3) An order may be made in respect of a class of persons. This allows an order to be directed at defined groups of people, such as those with health issues that would be impacted by smoke. In the event that a medical health officer determines that public health is threatened by a health hazard, an infectious agent or a hazardous agent, (a) the medical health officer is responsible for directing the local response, in respect of public health, to the threat, and (b) for the purposes of paragraph (a), the health authority that employs the medical health officer must (i) provide the medical health officer with the staff and other resources that the medical health officer reasonably believes are necessary for the response.

Extreme Weather Response Program Framework, 2011

Developed for Cold weather event response but doesn't exclude heat response in its language. This document outlines the framework for BC Housing's Extreme Weather Response (EWR) Program which funds community-based services to provide temporary emergency shelter spaces during periods of extreme winter weather which threaten the health and safety of homeless individuals. The program is designed to provide time-limited, weather responsive, temporary shelter spaces in communities where there is not sufficient emergency shelter bed capacity during extreme weather conditions.



BC Housing Extreme Weather Response Policy, 2008

Developed for Cold weather event response but doesn't exclude heat response in its language.

BC Health and Smoke Exposure (HASE) Coordination Committee Guideline (BCCDC)

The Health and Smoke Exposure (HASE) Coordination Committee was created to coordinate planning and response efforts related to public health impacts for significant wildfire smoke events in BC. It outlines legislation, response coordination, risk assessment, activation processes, and recommended health interventions for wildfire smoke events.

Definitions

Extreme weather conditions

As per B. C's Assistance to Shelter Act (ASA) means:

- (a)in relation to a geographical area to which an Extreme Weather Response Plan applies,
 - (i) the weather conditions, but not other factors, set out in the description of extreme weather in the Extreme Weather Response Plan, or
 - (ii)any prescribed conditions that are not addressed or identified in the Extreme Weather Response Plan, or

(b)in relation to a geographical area to which no Extreme Weather Response Plan applies, the prescribed conditions.

Extreme Weather Response Plan

As per B.C's Assistance to Shelter Act (ASA) means a current plan, filed with BC Housing, of a person who has entered into an agreement with BC Housing to participate in BC Housing's emergency shelter program, which plan includes, without limitation, the following:

- (a)a description of the geographical area to which the plan applies.
- (b)a description of weather conditions that are the basis for issuing an extreme weather alert.
- (c)a designation of a community representative.

Warming Centre

A warming center is a short-term emergency centre that operates when temperatures or a combination of precipitation, wind chill, wind and temperature become dangerously inclement. Their paramount purpose is the prevention of death and injury from exposure to the elements.

Cooling Centre

An air-conditioned public facility where people may go for relief during periods of extreme heat.



Emergency

Under BC's Emergency Program Act, emergency means a present or imminent event or circumstance that is caused by accident, fire, explosion, technical failure or the forces of nature, and requires prompt coordination of action or special regulation of persons or property to protect the health, safety or welfare of a person or to limit damage to property.

Roles and Responsibilities

BC Housing

BC Housing is responsible for the management of the Extreme Weather Response Program, which funds community-based services to provide extra emergency shelter beds for people who are homeless during periods of weather that threaten the health and safety of homeless individuals and families in communities where there is not sufficient emergency shelter bed capacity. The program is designed to fund time-limited, temporary shelter beds and a community coordinator who is responsible for the EWRP and communications/notification of the EWRP activations. The EWR Program operates from November 1 to March 31 each year.

Local Authority

Responding to extreme weather events is a shared responsibility. Under the Emergency Program Act, Local Authority Emergency Management Regulation, a Local Authority is responsible for:

- identifying hazards, risks, and vulnerabilities within their jurisdictional area and
- creating plans for these hazards, risks, and vulnerabilities
- notifying the public of impeding hazards,
- identifying the procedures by which emergency resources, including, without limitation, personnel, equipment, facilities and financial resources, may be obtained from sources within or outside of the jurisdictional area for which the local authority has responsibility.

Although Extreme Weather Shelters which address the needs of the unhoused is BC Housing's responsibility, Local Authorities must create emergency plans which take into account the potential hazards and vulnerabilities within their jurisdictional area.

The Greater Victoria Coalition to End Homelessness (GVCEH)

The GVCEH has been contracted and funded by BC Housing to run the Extreme Weather Response Plan and is therefore responsible for updating the EWR Plan, designating a coordinator, and activating the EWR plan and all communications and notifications associated with the activation.



Police

Under the Assistance to Shelter Act Police are granted the authority to assist a person who is homeless to a shelter during extreme weather events. Once in the shelter the person may choose whether or not they want to stay.

Emergency Management BC

Emergency Management BC (EMBC) Is currently developing an extreme heat & cold policy which will be shared with all Local Authorities once its complete. In the event of extreme weather events this winter EMBC advises that they:

- Will process EAFs for cold winter weather for incremental costs to local government around opening warming centers but not shelters.
- Are looking at supports to other Provincial agencies to assist them in sector response for vulnerable populations (not yet confirmed).
- Will host coordination calls when our ECCC colleagues make us aware of impending weather events.

Emergency Support Services (ESS) is a Provincial Program delivered by Local Authorities through Public Safety Lifeline volunteers (PSLVs). ESS is NOT eligible through EMBC's ESS program for response to assist the unhoused during extreme weather events. PSLVs are not covered for WorkSafe or Liability insurance if volunteering in a warming or cooling centre.

Salvation Army Community Response Unit (CRU)

The Salvation Army has a 32-foot freightliner truck that has the capacity to serve hot drinks and food — up to 1000 meals per hour. This truck may be requested to attend to warming centres to provide hot drinks, snack and meals to those attending the warming centre. The cost of drinks and possibly some snacks may be covered under an approved EAF by EMBC. CRU staff recommend that they are called out as soon as possible and can make the hot drinks and snacks and drop them off to the warming centre with to-go cups and containers and warming boxes to create efficiencies around logistics and following COVID protocols. Approx. cost for hot drinks, snacks and meals is \$5/person. EMBC indicated they would not cover full meals under an EAF as this is a social service that should be covered under another ministry.



Activation Criteria

Warming Centre activation criteria

Implementation of BC Housing's Extreme Weather Response Plan will be called by the Regional Coordinator (this year the GVCEH has been contracted for this role) when weather conditions are deemed severe enough to present a substantial threat to the life or health of homeless persons. Anticipated weather factors from Environment Canada forecasts (or other weather forecasting services) taken into account include:

- Temperatures near zero with rainfall that makes it difficult or impossible for homeless people to remain dry; and/or
- Sleet/freezing rain; and/or
- Snow accumulation; and/or
- Sustained high winds; and/or
- Temperatures at or below Zero Degrees Celsius.

Temporary EWR shelters are only open for overnight stays and include 2 meals. Warming Centres will be activated under the same criteria listed above as EWR's but will not provide sleeping mats or meals.

Cooling centre activation criteria

Environment Canada data is used in BC to determine humidex and/or temperature triggers. Vancouver Coastal Health and Fraser Health Authorities use specific trigger algorithms to set municipal emergency plans in motion. For example, when the average of the **current** day's 14:00h temperature **and tomorrow's** forecasted high is $\geq 34^{\circ}$ C at Abbotsford Airport or $\geq 29^{\circ}$ C at Vancouver Airport, an extreme heat warning is issued and municipalities are advised to call a heat emergency. For jurisdictions outside of the lower mainland, BC CDC is currently establishing heat response triggers.

During the summer 2021 Heatwave events, EMBC utilized ECCC for the overall warning/alert mechanism for the reasoning to justify Cooling Centre support. The official EMBC policy currently under development and will likely include information on triggers and activation criteria.

Warming Centres

Warming Centres may be activated to address the gap when there is insufficient extreme weather shelter capacity. Warming Centres may be activated in churches, community centres or other civic facilities. Emergency management BC (EMBC) will fund, upon approved expenditure authorization



forms (EAF) incremental costs to local government associated with the activation of warming centers. The City will coordinate with EMBC, BC Housing, the GVCEH, Churches, Community Centres, and other community organizations involved in EWR in order to identify facilities and resources for activating warming centres.

BC Housing's EWR coordinator will provide communications support and notification of when and where warming centres are activated when the EWR Plan is activated. Warming centres will be activated under the same criteria as EWR shelters. This will allow greater coordination around communications and notifications, including through the BC211 system. When the BC Housing Coordinator activates the EWR Plan an email notification will be sent to all stakeholders, including the City of Victoria's emergency management division, VicPD, VFD, PRF and Engineering and PW.

Cooling Centres

Climate change is a key factor driving increases in summer temperatures. In British Columbia (BC), increases in summer temperatures are expected to rise faster than the global average. In 2009 an extreme heat event resulted in an estimated 110 premature deaths in the lower mainland. This past summer of 2021 we experienced a heat dome and two additional heat waves which posed public health risks. Some populations, such as the elderly, those living in social isolation, taking certain drugs, or living in impoverished circumstances, are more at risk of negative health impacts from heat. Research has shown that strategies such as water distribution, hot day visits to socially isolated people, moving care facility patients to air conditioned rooms, and monitoring workers in warm environments, have been effective in lowering the number of heat related deaths on extremely hot days.

The City of Victoria will identify facilities that can be activated as cooling centres during extreme heat events.

Each winter and summer season Emergency Management and Facilities staff reach out to churches, community centres, and civic facilities in order to pre-identify warming and cooling centre facilities and resources, and collects the following information:

- Facility name and contact information
- Size of the space available
- Hours avail for operation of a warming or cooling centre
- Is the facility:
 - o heated?
 - o air conditioned?
 - Accessible via public transit?
 - Accessible for people with disabilities?

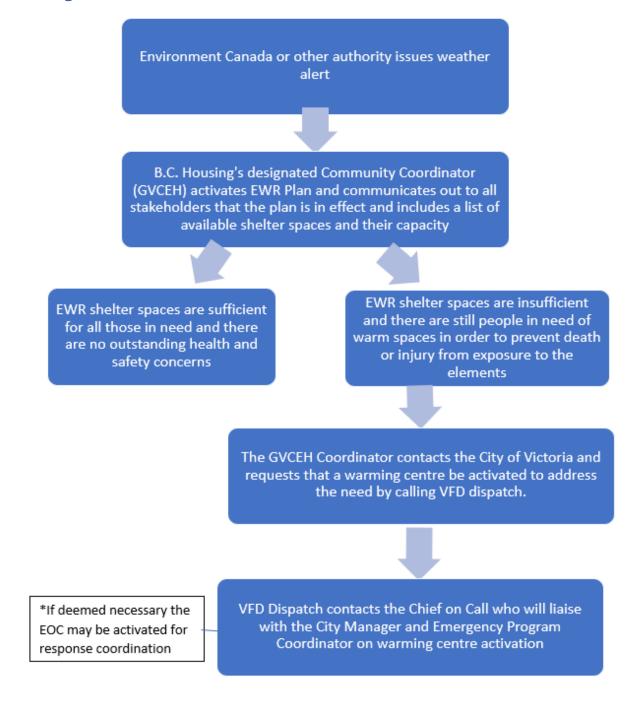


City of Victoria Warming and Cooling Centre Plan

- o Pet friendly?
- Does it have bathroom and / or shower facilities?
- Is there WiFi available?
- Are there available Kitchen facilities?
- Are shopping carts and belongings allowed?
- Would additional staffing be required for operation of a warming or cooling centre?
- Is there a facility rental fee?



Warming Centre Activation Flow Chart



*Once the Extreme Weather event is over the GVCEH Community Coordinator cancels the activation and communicates to all stakeholders the cancellation.



Cooling Centre Activation Flow Chart

*This may change if and when BC Housing becomes responsible for heat as well as cold events. Waiting for EMBC and BC Housing policies on extreme heat events in order to complete this section of the plan...

Environment Canada or other authority issues heat alert or warning

EMBC hosts a coordination call with Local Authorities to discuss response activities, resources and eligibility of funding

Local Authorities in the Capital Region coordinate response efforts and share resource maps and communicate to the public

If the alert meets the threshold for activation of a cooling centre as per EMBC policy

#____ and BCCDC recommendations, the EPC will liaise with the Fire Chief and City

Manager to determine if a cooling centre is required

An EOC may be established virtually or in person to coordinate the response





Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: October 13, 2021

From: Curt Kingsley, City Clerk

Subject: Request for Removal from the Taxed Boulevard Program

RECOMMENDATION

That Council approve the removal of the following boulevard from the Taxed Boulevard Program effective for the 2022 tax year:

1. 200 Block of Beechwood Avenue, East Side.

EXECUTIVE SUMMARY

Bylaw No. 21-054, attached as Attachment A, establishes a boulevard tax for the cost of maintenance of boulevards in the City of Victoria. Participation in the program is optional with residents having the opportunity to withdraw from the program by presenting Council with a petition signed by the owners of at least 50% of the parcels representing at least 50% of the assessed property values on the block.

The residents of the east side of the 200 block of Beechwood Avenue between Ross Street and Lillian Road have successfully petitioned for the removal of their block from the Taxed Boulevard Program.

Each removal has a financial impact on the City's boulevard maintenance program. This removal is estimated to reduce program revenue by approximately \$1,860 for this block (based on 2021 property taxes) and is a reduction in the City's cost to provide the service.

Copies of the certification of petition and a map of the areas affected are attached as Attachments B and C.

Respectfully submitted,

Curt Kingsley City Clerk Susanne Thompson Deputy City Manager/ Chief Financial Officer

Report accepted and recommended by the City Manager.

List of Attachments

Attachment A $\,-\,2021$ Boulevard Tax Bylaw, No. 21-054 Attachment B $\,-\,$ Certificate of Petition for Removal from the Taxed Boulevard Program

Attachment C - Map

NO. 21-054

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to assess the cost of maintenance of boulevards in the City.

Under its statutory powers, including sections 12(1) and (4) of the *Victoria City Act, 1920* and section 259 of the *Community Charter*, the Council of The Corporation of the City of Victoria, in an open meeting assembled, enacts the following provisions:

- 1. This Bylaw may be cited as the "BOULEVARD TAX BYLAW, 2021"
- 2. For the purpose of providing the required sum for the year 2021 to defray the cost of maintenance and upkeep of the boulevards on all streets in the City of Victoria on which boulevards are maintained, the owner or occupier of any real property or any portion of real property which fronts and abuts upon any boulevard maintained by the City must pay an annual rate for 2021 of \$2.50 per m² of boulevard area upon which the real property or portion of real property fronts and abuts.
- 3. The rates imposed under this Bylaw must be imposed and collected with the annual general taxes for 2021 as a "Boulevard Tax," and are due and payable on the same date as the annual general taxes.
- 4. The rates and any interest on them, imposed under this bylaw must be specially charged as taxes on the real property for which the owner or occupier is made chargeable, as provided in section 259 of the *Community Charter*.
- 5. Bylaw No 20-062 the Boulevard Tax Bylaw, 2020, is repealed.

READ A FIRST TIME the	15 th	day of	April	2021
READ A SECOND TIME the	15 th	day of	April	2021
READ A THIRD TIME the	15 th	day of	April	2021
ADOPTED the	22 nd	day of	April	2021

"CURT KINGSLEY"
CITY CLERK

"LISA HELPS" MAYOR

Folio	Civic	Boulevard Tax	Property Assessment	Assessed Value In Favor	Comments
05327001	271 Beechwood Ave	\$ 133.78	961,000	961,000	Sufficient
05327031	267 Beechwood Ave	\$ 108.70	816,500	816,500	Sufficient
05327030	263 Beechwood Ave	\$ 108.70	1,097,000	1,097,000	Sufficient
05327029	255 Beechwood Ave	\$ 114.28	955,000		
05327028	251 Beechwood Ave	\$ 111.48	827,900		
05327027	247 Beechwood Ave	\$ 114.28	1,172,000	1,172,000	Sufficient
05327026	241 Beechwood Ave	\$ 117.05	1,189,000		
05327025	239 Beechwood Ave	\$ 136.58	810,600	810,600	Sufficient
05327024	235 Beechwood Ave	\$ 108.70	854,900	854,900	Sufficient
05327023	231 Beechwood Ave	\$ 108.70	863,500		
05327022	227 Beechwood Ave	\$ 111.48	1,174,000		
05327021	221 Beechwood Ave	\$ 100.33	841,000		
05327020	217 Beechwood Ave	\$ 108.70	860,600		
05327019	215 Beechwood Ave	\$ 108.70	914,000	914,000	Sufficient
05327018	209 Beechwood Ave	\$ 100.33	836,700		
05327017	203 Beechwood Ave	\$ 167.23	1,045,000	1,045,000	Sufficient
		\$ 1,859.02	15,218,700	7,671,000	50.41%

Number of Properties in

Favour:

8 of 16

50.00%

% of Assessed Value in Favour:

50.41%

Certified Sufficient

Curt Kingsley

City Clerk

VICTORIA

203 to 271 Beechwood Avenue





0

Notes

THIS MAP IS NOT TO BE USED FOR NAV 62N

NAD_1983_CSRS_UTM_Zone_10N Public domain: can be freely printed, copied and distributed without permission.

This map is a user generated static output from an Internet mapping site and is for 81 Meters reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This plan should be field confirmed by the user prior to beginning construction. BC Hydro, Fortis Gas, Telus, and Fibre Optics locations must be confirmed with the appropriate utility. For internal use only. Do not distribute.



Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 16, 2021

From: Curt Kingsley, City Clerk

Subject: Wear Red Canada Day – February 13, 2022

RECOMMENDATION

That the *Wear Red Canada Day* Proclamation be forwarded to the December 9, 2021 Council meeting for Council's consideration.

EXECUTIVE SUMMARY

Attached as Appendix A is the requested *Wear Red Canada Day* Proclamation. Council has established a policy addressing Proclamation requests. The policy provides for:

- A staff report to Committee of the Whole.
- Each Proclamation request requiring a motion approved at Committee of the Whole prior to forwarding it to Council for their consideration.
- Staff providing Council with a list of Proclamations made in the previous year.
- Council voting on each Proclamation individually.
- Council's consideration of Proclamations is to fulfil a request rather than taking a position.

A list of 2020 Proclamations is provided as Appendix B in accordance with the policy. Consistent with City Policy, Proclamations issued are established as fulfilling a request and does not represent an endorsement of the content of the Proclamation.

Respectfully submitted,

Curt Kingsley City Clerk

List of Attachments

- Appendix A: Proclamation "Wear Red Canada Day"
- Appendix B: List of Previously Approved Proclamations



CITY OF VICTORIA

PROCLAMATION

"WEAR CANADA RED DAY"

- **WHEREAS** heart disease is the leading cause of premature death for women in Canada, a fact which is unknown to many women and their healthcare providers; and
- WHEREAS The Canadian Women's Heart Health Alliance (CWHHA) is an organization of volunteer cardiovascular professionals and patients whose mission and vision is to improve women's cardiovascular health across the lifespan. The CWHHA supports clinicians, scientists, patients, and decision-makers in working collaboratively to implement evidence, to transform clinical practice, and to impact public policy related to women's cardiovascular health; and
- WHEREAS The Canadian Women's Heart Health Alliance (CWHHA) is an organization of volunteer cardiovascular professionals and patients whose mission and vision is to improve women's cardiovascular health across the lifespan. The CWHHA supports clinicians, scientists, patients, and decision-makers in working collaboratively to implement evidence, to transform clinical practice, and to impact public policy related to women's cardiovascular health; and
- WHEREAS We applaud and commend the many individuals involved with Wear Red Day Canada, the members of the CWHHA, and all healthcare providers here in Victoria, BC and across Canada for their dedication and commitment to the cardiovascular health of Canadian women and wish them continued successes in their work; and
- NOW, THEREFORE I do hereby proclaim Sunday, February 13th, 2022 as "WEAR RED CANADA DAY" on the HOMELANDS of the Lekwungen speaking SONGHEES AND ESQUIMALT PEOPLE in the CITY OF VICTORIA, CAPITAL CITY of the PROVINCE of BRITISH COLUMBIA.
- IN WITNESS WHEREOF, I hereunto set my hand this 9th day of December, Two Thousand and Twenty-One.

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored By: Emily Lerhe Canadian Women's Heart Health Alliance

Appendix B

Council Meetings	Appendix B Proclamations
9-Jan-20	Crime Stoppers Month - January 2020
23-Jan-20	International Day of Zero Tolerance for Female Genital Mutilation - February 6, 2020 Eating Disorder Awareness Week - February 1 to 7, 2020
13-Feb-20	Heritage Week 2020 - February 17 to 23, 2020 British Isles Historic Festival Day - February 22, 2020 Chamber of Commerce Week - February 17 to 21, 2020
27-Feb-20	International Women's Day and Week - March 8, 2020 and March 8 to 15, 2020 Tibet Day - March 10, 2020
12-Mar-20	Purple Day - March 26, 2020 World Down Syndrome Day - March 21, 2020 Parkinson's Awareness Month - April 2020
9-Apr-20	Human Values Day - April 24, 2020 Melanoma Awareness Month - May 2020
23-Apr-20	Global Love Day - May 1, 2020 Apraxia Awareness Day - May 14, 2020
14-May-20	National Missing Children's Month and Missing Children's Day - May 2020 and May 25, 2020 Falun Dafa Day - May 13, 2020 Do Something Good For Your Neighbour Day - May 16, 2020
28-May-20	Honouring the National Day of the Republic of Azerbaijan - May 28, 2020 National Accessibility Week - May 31, 2020
11-Jun-20	World Refugee Day - June 20, 2020 International Medical Cannabis Day - June 11, 2020 World Refigeration Day - June 26, 2020 Longest Day of Smiles - June 20, 2020
18-Jun-20	International Women in Engineering Day - June 23, 2020
25-Jun-20	Pride Week - June 28 to July 5, 2020 Parachute National Injury Prevention Day - Jul 6, 2020
23-Jul-20	World PVNH Disorder Awareness Day - August 7, 2020 Hibashuka Remembrance Week - August 2 to 9, 2020
6-Aug-20	National Polycystic Kidney Disease Awareness Day - September 4, 2020 Mitochondrial Disease Awareness Week – September 13 to 19, 2020 International Overdose Awareness Day – August 31, 2020
3-Sep-20	United Way Month - September 2020 Jaswant Singh Khalra Day - September 6, 2020
1-Oct-20	International Day of Older Persons - October 1, 2020 Wrongful Conviction Day - October 2, 2020 Small Business Month - October 2020 Fire Prevention Week - October 4 – 10, 2020
8-Oct-20	Taoist Tai Chi Arts 50th Anniversary - November 7, 2020 Energy Efficient Day - October 7, 2020
15-Oct-20	Waste Reduction Week - October 19 to 27, 2020 World Pneumonia Day - Pneumolight - November 12, 2020
22-Oct-20	Respiratory Therapy Week - October 25 to 31, 2020
5-Nov-20	Respiratory Therapy Week - October 25 to 31, 2020
12-Nov-20	Rising Economy Week - November 16 - 20, 2020 Day of Awareness for Survivors of Financial Abuse and Economic Injustice - November 26, 2020 Orange Days: End Violence Against Women and Girls - November 25, 2020 to December 10, 2020 World Diabetes Day - November 14, 2020
3-Dec-20	National Day of Remembrance and Action on Violence Against Women - December 6, 2020



Committee of the Whole Report

For the Meeting of November 25, 2021

To: Committee of the Whole Date: November 22, 2021

From: Thomas Soulliere, Director of Parks, Recreation and Facilities

Subject: Community Garden Licences of Occupation and Delegation Bylaw

RECOMMENDATION

That Council:

- A) Authorize the renewal of licences of occupation for five-year terms for the following community gardens, subject to the publication of notices as required by the Community Charter, on terms satisfactory to the Director of Parks, Recreation and Facilities and in a form satisfactory to the City Solicitor:
 - 1. Montreal Street Community Garden in James Bay (155,165,175, 185 Montreal Street and 210 Dobinson Street)
 - 2. Rockland Woodland Garden in Rockland (1059 Craigdarroch Road)
 - 3. Neighbourhood Garden of All Sorts in James Bay (212 Niagara Street)
 - 4. Cecelia Ravine Community Garden in Burnside (471 Cecelia Road)
- B) Direct staff to amend the Delegation Bylaw to enable the Director of Parks, Recreation and Facilities to approve licence agreement renewals for all existing community gardens, in a form satisfactory to the City Solicitor.

EXECUTIVE SUMMARY

The purpose of this report is to seek Council approval for the renewal of licences of occupation for four community gardens.

The Community Gardens Policy outlines the process for the creation and management of community garden sites on City-owned lands. These gardens help facilitate positive community experiences, including educational and social opportunities for residents. Community association and non-profit organizations play an active role in designing the garden features, organizing events, providing signage, and developing place-making features.

The number of community gardens has remained relatively consistent, with additional gardens also being approved on an annual basis. Since the introduction of the community garden program, Council has approved all requests for licences of occupation which have been presented. These arrangements are generally not complicated given the extensive public engagement required in advance. Meanwhile, the report drafting and presentation process for such approvals from Council has been identified as an area for potential streamlining. To better utilize limited administrative staff capacity, Council is asked to consider delegating authority to approve the renewal of existing licences to leadership staff.

PURPOSE

The purpose of this report is to seek Council approval to execute licences of occupation for four existing community gardens: Montreal Street Community Garden, the Neighbourhood Garden of All Sorts, Cecelia Ravine Community Garden, and the Rockland Woodland Garden.

In addition, staff seek Council direction to amend the delegation bylaw enabling the Director of Parks, Recreation and Facilities to approve future renewals of licence agreements for community gardens.

BACKGROUND

The City's Community Gardens Policy (Appendix A) outlines the process for the creation and retention of community garden sites on City-owned lands. Licence agreements may be renewed for multiple terms provided the project continues to meet the criteria of this policy.

These four community garden licences are the last licences on a three-year term. The term for community garden licence agreements has been updated in recent years to five (5) years. Once these licence renewals are executed, all existing 16 community gardens on City land will be renewed on a five-year term. The location of each garden is shown in Appendix B.

Renewing or expanding an existing community garden currently requires Council approval. The City treats community gardens licenses as a disposition of land, meaning that a public notice must be published whenever the City is about to enter a licence to dispose the land for a particular use.

In November 2019, Council approved an amendment to the Delegation of Signing Authority Bylaw (see Appendix C). The purpose of this bylaw is to streamline City processes by delegating execution of certain agreements on behalf of the City to staff. Approval to enter into such agreements currently requires Council direction.

ISSUES & ANALYSIS

Montreal Street Community Garden

The Montreal Street Community Garden located in James Bay has been in operation since 1977. It is the City's oldest allotment garden and currently, it hosts 54 individual plots. The Community Gardens Policy specifies that a community garden licence agreement must be held by a non-profit society. To comply with the revised policy, the Montreal Street Community Garden, and the James Bay Neighbourhood Association (JBNA) developed a partnership agreement whereby the JBNA would oversee the new licence agreement. The partnership agreement and licence of occupation have been in place since October 2017.

In 2021, the Montreal Street Garden, in partnership with the City of Victoria Parks' Department, has successfully replaced 50 per cent of the garden's existing grass pathways with wood chips thanks to the City's bi-annual garden materials distribution. The community garden's pollinator pathway was highlighted in the City's Boulevard Garden Walking Tour in the fall of 2019.

Rockland Woodland Garden

The Rockland Neighbourhood Association (RNA) oversees the Rockland Woodland Garden. The Woodland Garden is a commons garden focused on native plant gardening, which covers 420 square metres and has existed since 2007. In 2020, the RNA reported that 8-10 regular gardeners volunteer in Woodland Garden, from March through October. The Rockland *Blue Bell Bash Work Party* involved volunteer gardeners digging up thousands of invasive blue bell bulbs and replaced with native plants including camas, fool's onion, and fawn lily.

In the summer of 2020, the RNA hosted an outdoor Jazz Concert in Rockland Woodland Garden wherein a jazz trio played a set for over 50 socially distanced attendees. The RNA also created a virtual tour of the Rockland Woodland Garden in the garden's peak bloom season for the public to enjoy safely from home.

Neighbourhood Garden of All Sorts

The Lifecycle's Project Society oversees the Neighbourhood Garden of All Sorts (NGAS) located in James Bay. Built in 2015, this allotment garden has 17 individual plots and one commons plot in an area of 425 square metres. A volunteer pool of 15 committed gardeners help to maintain the garden. In 2018, gardeners at the NGAS reported challenges with the current site, including the lack of light due to tree canopy, shoots stemming from tree roots, and high winds and cool air coming from the ocean. In 2019, City staff made an exception to the 16-year pruning cycle and conducted minor pruning to the limbs causing shading. NGAS members have not brought forward an Expression of Interest to pursue a potential relocation at this time.

The Cecelia Ravine Community Garden

The Burnside Gorge Community Association (BGCA) oversees the Cecelia Ravine Allotment

Garden. The garden was built in 2012 and covers 450 square metres. The garden consists of 23 allotment plots, which operates at full capacity with a waitlist. One plot is used by the Burnside Gorge Community Association, and two commons plots are open for community harvest. A total of 30 to 40 volunteers, including allotment gardeners, are responsible for the ongoing maintenance of the gardens.

Garden volunteer projects completed in 2020 included resurfacing pathways with woodchips and the removal and rebuilding of eight aging plots. Despite cancellation of work parties due to the pandemic, there were more than 300 volunteer hours logged in the garden in 2020. In 2019, BGCA had established a learning partnership with SJ Burnside, connecting youth from their alternative ed programs with gardens, which has been put on hold with the pandemic. A medicinal herb plant walk was hosted in October 2020. In 2020 and 2021, the Burnside Gorge Community Association was also a host organization of the neighbourhood distribution days for the City's seedling distribution program, *Get Growing, Victoria!*

There are no changes proposed by either the operator or the City for the renewal of these agreements, other than to establish a 5-year term, consistent with other community garden licences.

Delegation Bylaw

The number of community gardens has significantly increased in recent years, and this trend is expected to continue. An amendment to the Delegation Bylaw is proposed to enable staff, via the Director of Parks, Recreation and Facilities, to approve licence renewals. This change would reduce the staff time required to prepare Council reports and allow for a more expedient renewal process for a low-risk activity. License renewals do not typically involve significant changes, requests or complexity.

OPTIONS & IMPACTS

Accessibility Statement

There are no proposed changes to the layouts of the existing gardens at Montreal Street Community Garden, Rockland Woodland Garden, Neighbourhood Garden of All Sorts or the Cecelia Green Allotment Garden.

2019 - 2021 Strategic Plan

Community gardens support Objective 8 (Enhance and steward public spaces, green spaces, and food systems).

Impacts to Financial Plan

There are no additional financial costs to the City in renewing the four licence agreements for the existing community gardens in James Bay, Rockland, and Burnside Gorge.

Official Community Plan Consistency Statement

Community gardens help support goals identified in the Food Systems section of the Official Community Plan, including specifically:

- Objective 17.5: Encourage food production activities in visible and suitable public places to foster a connection between people and the process of growing, harvesting, and eating fresh produce; and
- Objective 17.7 Support the establishment of at least one allotment garden per neighbourhood, co-located with community facilities or services where possible, and more in neighbourhoods that feature a high proportion of rental or attached housing, where feasible.

CONCLUSIONS

Staff recommend Council support renewing the licences of the existing community gardens at Montreal Street Community Garden, Rockland Woodland Garden, Neighbourhood Garden of All Sorts and Cecelia Ravine Community Garden.

In addition, staff recommend Council approve an amendment to the Delegation Bylaw to enable the Director of Parks, Recreation and Facilities to approve the renewals of licence agreements for existing community gardens.

Respectfully submitted,

Alex Harned Thomas Soulliere

Food Systems Coordinator Director

Report accepted and recommended by the City Manager.

List of Attachments

Appendix A: Community Gardens Policy Appendix B: Maps of Garden Locations

Appendix C: Delegation of Signing Authority Amendment Bylaw



Community Gardens Policy (2018)

What is a Community Garden?

The City of Victoria recognizes community gardening as a valuable community recreation activity that contributes to health and well-being, positive social interaction, neighbourhood building, food production, environmental education, habitat development, and connection to nature.

For the purposes of this policy, a community garden is a piece of land gardened collectively by members of the community, in partnership with a non-profit society.

Community gardening includes, but is not limited to, the following types of activities:

- Growing annual and perennial food plants, medicinal plants, and flowers
- Growing Indigenous, cultural and native plants
- Pollinator gardens and hobby beekeeping
- Permaculture projects
- Fruit and nut trees
- Demonstration farming
- Edible landscaping

Types of Community Gardens

There are three main types of community gardens in Victoria:

- **1.** Commons Garden: A commons garden is a communal garden area maintained and managed by community volunteers, where any harvest produced is available to the public.
- **2.** <u>Allotment garden:</u> Allotment gardens consist of individual garden plots that are rented, maintained and harvested by individual member gardeners.
- **3.** <u>Community Orchard:</u> A community orchard is a grove fruit or nut trees where a community organization is responsible for the care, maintenance and harvesting of trees, with food going to the community.

Community garden projects often include a mixture of these three types (for example, a garden may be a mixture of allotments and common garden areas.)

A community garden project may also have the following features:

- Compost bins, tool storage sheds, shared tools and other elements necessary for the operation of a community garden
- Educational opportunities to encourage the involvement of schools, youth groups, and citizens (who do not have assigned plots) in gardening activities
- Mechanisms for deer protection (tree fencing or perimeter fencing).

• Universal accessibility in garden design, to provide gardening opportunities to people with a variety of abilities.

City support for community gardens

The City of Victoria supports community gardens by working with non-profit societies and gardening organizations. Subject to available resources the City:

- Promotes community gardening and provide contact information to the public of existing community garden organizations (e.g. through the City of Victoria website).
- Provides a staff contact liaison for community garden projects.
- Provides access to information on the development and operation of community garden projects.
- Through City of Victoria grants, provides opportunities for funding to start, develop, and manage community gardens.
- Facilitates connections between project proponents and other potential partners.
- Assists interested groups in searching for suitable land for the development of community gardens.
- Where appropriate, assesses the suitability of City-owned land for food consumption and production through a Phase 1 Environmental Analysis (a historical search of the property to determine possible soil contamination from past land uses).
- Helps connect project proponents to appropriate landowner, if not the City of Victoria.
- Provides a municipal water hook-up and minimal fencing for new garden sites on Cityowned land.
- Waives water charges. Community gardens do not pay for water. Efficient water use and conservation is expected.
- Delivers leaf mulch to community gardens in the spring and the fall.
- Provides other in-kind support where feasible (e.g. excess materials like compost).

Finding an appropriate site

Appropriate sites for community gardens have the following features:

- Informed and supportive neighbours
- Year-round accessibility
- Good sun exposure (a minimum of 6 hours of sunlight per day)
- Easy access to municipal water
- Visible from surrounding uses to provide passive site surveillance
- Will not adversely impact other land uses

To assist with finding suitable land for community gardens, the City of Victoria has prepared an inventory of City-owned sites that may be suitable for future projects. This inventory can be viewed on the City's interactive mapping system 'VicMap', accessible from the City of Victoria website. Sites identified by the land inventory will still be subject to the public consultation requirements of this policy.

Community garden projects on City-owned land

The City of Victoria supports the creation of community gardens on City-owned land where neighbours have been consulted and are supportive, where a gardening group demonstrates an

interest and commitment, and where the project meets the intent and objectives of this policy. Community garden projects on City-owned land will be subject to the following:

A. Criteria for community garden projects

Community garden projects on City-owned land will be operated by a non-profit society according to the following criteria:

- 1. Promotes urban agriculture, food production, education, and/or habitat enhancement.
- 2. Does not negatively impact surrounding land uses.
- 3. Is maintained to a minimum standard of aesthetics and orderliness. Year-round production is encouraged.
- 4. Expressions of art and creativity are welcomed and encouraged.
- 5. Operates at no cost to the City of Victoria, except through City of Victoria grants.
- 6. Provide public access to the garden at all times; locked gates are not permitted except through special approval from the City of Victoria.
- 7. The duration of a community garden is time-limited, according to the terms of the license agreement.
- 8. Groups are required to have liability insurance.
- 9. Produce grown on the site is not for private profit, unless through prior approval with the City of Victoria.
- 10. Contact information is posted on site for neighbours to support positive relationships.

B. Public Consultation Process

Community garden projects on City-owned sites are subject to a public consultation and approval process to ensure neighbours are informed and supported. Public consultation will be jointly facilitated by the City of Victoria and the proponent. Requirements for public consultation will be assessed on a case-by-case basis, determined by project size and anticipated project impact.

C. License for use

For community garden projects on lands owned by the City, a license of use agreement is required between the City of Victoria and the non-profit society for the purpose of developing and maintaining a community garden. Depending on site location, licenses may also be subject to Council approval.

License terms may vary based on project requirements. A standard license agreement for a community garden will be five (5) years. License agreements may be renewed for multiple terms providing the project continues to meet the criteria of this policy.

D. User agreement between Non-profit Society and Garden Members

The community garden organization and/or a neighbourhood association agrees to develop, manage and operate a community garden according to a user agreement with their members which specifies the terms of use, management responsibilities, user fees and access procedures which include the following:

- User agreement will not exceed five years, with an option to renew.
- Residents of the City of Victoria will be given priority for membership and the opportunity to garden.

- Participation must be made from a waiting list on a first-come, first-served basis.
- Membership in allotment gardens may not be restricted by neighbourhood.
- A list of regulations is developed for use of the site, and members are required to sign a contract indicating their compliance with regular maintenance and standards.
- Membership and use of the site can be revoked for non-compliance with the organization's bylaws and regulations.
- Pesticide use is not permitted on the site.
- Public access to the site is permitted and facilitated.

Community garden projects on Private Lands

The City of Victoria encourages the creation of community gardens on private lands where the project meets the intent and objectives of this policy and the vision of the Official Community Plan. The City of Victoria offers the following support for encouraging community gardens on private lands:

- Make connections between project proponents and potential funding partners.
- Help connect project proponents to appropriate landowners.
- Funding opportunities through City of Victoria grants.
- Waives water charges. Community gardens do not pay for water. Efficient water use and conservation is expected.
- Delivers leaf mulch to community gardens in the spring and the fall.

Appendix B

Maps of Garden Locations

Montreal Street Community Garden



Rockland Woodland Garden



Neighbourhood Garden of All Sorts



Cecelia Ravine Community Garden



NO. 19-116

DELEGATION OF SIGNING AUTHORITY BYLAW, AMENDMENT BYLAW (NO. 1)

A BYLAW OF THE CITY OF VICTORIA

The purpose of this bylaw is to streamline City processes by delegating execution of certain documents on behalf of the City to appropriate City staff.

Contents

- 1 Title
- 2-4 Amendments
- 5 Commencement

Under its statutory powers, including section 154 of the *Community Charter*, the Council of the Corporation of the City of Victoria in a public meeting assembled enacts the following provisions:

Title

1 This Bylaw may be cited as the "DELEGATION OF SIGNING AUTHORITY BYLAW, AMENDMENT BYLAW (NO. 1)".

Amendments

- Bylaw No. 09-031, the Delegation of Signing Authority Bylaw, is amended in section 2 by renumbering the existing section 2 as section 2(1) and adding the following as the new subsection (2):
 - "(2) Without limiting the scope of the delegation in subsection (1), Council delegates the power to execute on behalf of the City any agreement, contract, deed, debenture, instrument or plan that has been approved or authorized by Council that is listed in column A of Schedule 1 to staff identified in a corresponding row in column B of that Schedule."
- Bylaw No. 09-031, the Delegation of Signing Authority Bylaw, is amended by deleting section 3 and replacing it with the following new section 3:

"Land Title Documents

- An application, instrument or form that is filed in a land title office under the *Land Title Act* in order to complete an agreement or transaction that has been approved or authorized by Council may be executed on behalf of the City by:
 - (a) the Mayor;
 - (b) the City Clerk; or

(c) the City Solicitor,

provided the signature is certified, in accordance with section 42 of the *Land Title Act*, by the City Clerk in the case of the Mayor's signature, or by a lawyer acting on behalf of the City in the case of the other signatories."

The schedule attached to this bylaw as Schedule A is added to Bylaw No. 09-031, the Delegation of Signing Authority Bylaw, as the new Schedule 1.

Commencement

5 This Bylaw comes into force on adoption.

READ A FIRST TIME the	28 th	day of	November	2019
READ A SECOND TIME the	28 th	day of	November	2019
READ A THIRD TIME the	28 th	day of	November	2019
ADOPTED on the	12 th	day of	December	2019

"CHRIS COATES"
CITY CLERK

"LISA HELPS" MAYOR

Schedule A:

Schedule 1

Delegation of Signing Authority Table

	Column A:	Column B:
	Agreements	Authorized Signatory
1	Procurement contracts up to \$500,000	Chief Financial Officer
2	Procurement contracts above \$500,000	City Manager
3	Offers to purchase land	Head of Strategic Real Estate
4	Purchase and sale agreements in relation to land	Head of Strategic Real Estate
5	Leases and licences for use of City property	Head of Strategic Real Estate
	other than streets	
6	Leases and licences for use of City owned	Director of Engineering and Public
	property within road-right-of-way	Works
7	Licences and operating agreements for parks or	Director of Parks, Recreation and
	outdoor recreation facilities	Facilities



Council Member Motion For the Committee of the Whole Meeting of November 25, 2021

To: Committee of the Whole Date: November 21, 2021

From: Councillor Thornton-Joe and Councillor Alto

Subject: Clover Point

BACKGROUND

In 2021, a majority of Council chose to close Clover Point to round about traffic. On warm clear days the picnic benches and chairs are more popular than on colder windier days. On those days, many enjoy storm watching from the comfort of vehicles.

RECOMMENDATION

- 1. That city staff let Council know when they will be returning with a staff report for discussion of the long term plans for Clover Point and;
- 2. That staff be asked to report back at the next triannual update on what would be needed to allow Clover Point to temporarily return to roundabout vehicle access and/or parking until April 1st, 2022.

Respectfully submitted,

Councillor Thornton-Joe

Charlague Thorston-Joe

Councillor Alto