



REVISED AGENDA - COMMITTEE OF THE WHOLE

Thursday, September 22, 2022, 9:00 A.M.

COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

Meeting will recess for a lunch break between 12:30 p.m. and 1:30 p.m.

Pages

A. APPROVAL OF AGENDA

B. CONSENT AGENDA

Proposed for Consent Agenda:

- C.1. - Minutes from the meeting held January 27, 2022
- C.2. - Minutes from the meeting held September 1, 2022
- F.1. - 458 Cecelia Road: Development Permit with Variance Application No. 00176 (Burnside)
- G.1. - Business Recovery from Pandemic Bylaw Extension
- G.2. - Proclamation - Small Business Month

C. READING OF MINUTES

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D. Presentations

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| D.1. | <u>2022 External Audit Plan</u> | 20 |
| | <i>A report providing Council with the audit plan from the City's external auditor (BDO Canada LLP) for the 2022 financial statement audit.</i> | |
| D.2. | <u>Restorative Justice Victoria</u> | 35 |
| | <i>A presentation providing Council with an overview of the 2021 Restorative Justice Victoria activities and funding.</i> | |

E. UNFINISHED BUSINESS

F. LAND USE MATTERS

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(Burnside)

Addendum: Presentation and Correspondence

A report regarding a Development Permit with Variance Application for the property located at 458 Cecelia Road for a new one-storey, including a mezzanine level, industrial building consisting of light industry, vehicle repair and ancillary retail uses.

G. STAFF REPORTS

G.1. Business Recovery from Pandemic Bylaw Extension 94

A report seeking Council direction on the extension of the Business Recovery from Pandemic Bylaw.

G.2. Proclamation - Small Business Month 98

A report regarding a proclamation for Small Business Month, October 2022.

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I. NEW BUSINESS

I.1. Council Member Motion - Economic Revitalization Tax Exemption and Economic Reconciliation 101

A Council member motion regarding work with the Nations to create a revitalization program and corresponding property tax exemption program.

I.2. Council Member Motion - Return of Statue to Sir John A Macdonald Historical Society 113

A Council member motion regarding the return of the Sir John A Macdonald Statue to the Sir John A Macdonald Historical Society.

***I.3. Council Member Motion - Housing Outreach Support Program 117**

Addendum: New Item

A Council member motion regarding an expenditure of \$45,000 to the Quadra Village Community Centre and partner agencies for the Housing Outreach Support Program.

J. ADJOURNMENT OF COMMITTEE OF THE WHOLE



MINUTES - COMMITTEE OF THE WHOLE

January 27, 2022, 9:04 A.M.

COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

**The City of Victoria is located on the homelands of the Songhees and Esquimalt People
Meeting will recess for a lunch break between 12:30 p.m. and 1:30 p.m.**

- PRESENT:** Councillor Alto in the Chair, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe, Councillor Young
- ABSENT:** Mayor Helps, Councillor Dubow
- STAFF PRESENT:** J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Chief Financial Officer, C. Kingsley - City Clerk, C. Anderson - Deputy City Clerk, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, J. Jensen - Director, People and Culture, K. Hoese - Director of Sustainable Planning and Community Development, A. Hudson - Assistant Director of Community Planning, L. Van Den Dolder - Assistant City Solicitor, J. O'Connor - Deputy Director of Finance, K. Moore - Head of Business and Community Relations, C. Mycroft - Manager of Executive Operations, J. Handy - Senior Planner, P. Bellefontaine - Director of Engineering & Public Works, J. Biem, D. Atkinson - Acting Fire Chief, C. Wain - Senior Planner, A. Cusack - Senior Planner for Housing Policy, D. Newman - Assistant Director of Facilities and Construction Management, J. O'Reilly - Senior Heritage Planner, P. Rantucci - Head of Strategic Real Estate, R. Stever - Planner for Tenant Assistance, P. Angelblazer - Committee Secretary
- GUESTS:** Yvonne Morrison - Governance Review Consultant from MNP, and Kathryn Graham - Governance Review Consultant from MNP

A. APPROVAL OF AGENDA

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That the agenda be approve as amended.

Amendment:

Moved By Councillor Isitt

Seconded By Councillor Thornton-Joe

That the following items be added to the consent agenda:

H.3. Council Member Motion: Guaranteed Liveable Basic Income Advocacy to AVICC

H.5. Council Member Motion: Advocacy for Liveable Income Support Programs – AVICC & UBCM Advocacy Resolutions

H.6. Council Member Motion: Advocacy for Partnerships for Fare-Free Public Transit – AVICC & UBCM Advocacy Resolutions

CARRIED UNANIMOUSLY

On the motion as amended:

CARRIED UNANIMOUSLY

B. CONSENT AGENDA

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That the following items be approved without further debate

C.1 Minutes from the Special Committee of the Whole meeting held January 10, 2022

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That the minutes from the Special Committee of the Whole meeting held January 10, 2022 are approved

CARRIED UNANIMOUSLY

C.2 Minutes from the meeting held January 13, 2022

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That the minutes from the meeting held January 13, 2022 are approved

CARRIED UNANIMOUSLY

F.2 Bylaw Officer Appointments

Council received a report dated January 20, 2022 from the Head of Bylaw Services requesting formal approval of the new Bylaw Officer hires.

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

1. That Council approve the appointment of Lauren Carr, Jimmy Arauz, Tyson Walters, Robert Halkett and Megan Vande Burgt
 1. As a Bylaw Officer pursuant to section 2(a) of the Inspection Bylaw (06-061); and
 2. As a Business Licence Inspector for the City of Victoria.
2. That this motion be forwarded to the January 27, 2022 Council meeting for ratification.

CARRIED UNANIMOUSLY

H.3 Council Member Motion: Guaranteed Liveable Basic Income Advocacy to AVICC

Committee received a Council Member Motion dated January 22, 2022 from Councillor Alto and Councillor Loveday regarding a proposed resolution to send to the Association of Vancouver Island and Coastal Communities Convention regarding a federally funded Guaranteed Livable Basic Income program.

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That Council endorse the following Resolution, and forward the same to the Association of Vancouver Island and Coastal Communities (AVICC) for consideration at its annual convention in April 2022.

That this resolution be forwarded to the January 27, 2022 Council to follow Committee of the Whole meeting for ratification.

Whereas municipalities are at the front line in dealing with community impacts when people are unable to support their own wellbeing,

And whereas poverty has a downstream effect on municipalities, putting unsustainable pressure on their limited resources to deliver necessary public services and social supports as they struggle to keep up with downloaded responsibilities,

And whereas the Covid-19 pandemic has exacerbated municipal constraints, leaving them to deal with exposed gaps in our social safety net resulting from growing economic, racial and health inequalities,

And whereas basic income addresses key social determinants of health, such as income and housing, it can alleviate pressures on municipalities to address poverty and fill gaps in social supports, such as shelter, housing, food security and mental health,

And whereas evidence from basic income research and pilots shows that when people have a sufficient and secure income their mental and physical health improves; they have the capacity to secure more affordable, suitable, and safe housing, childcare, healthy food, and transportation; and poverty rates decrease thereby helping to alleviate the downloaded pressure on municipalities to support the wellbeing of their residents,

And whereas the provision of a guaranteed livable basic income would benefit individuals, families and communities and protect the most vulnerable in society, it would also support community resilience by facilitating the transition to a local economy that responds to the climate crisis and other major challenges,

And whereas evidence shows that a federally funded basic income that improves people's financial stability is possible, as successful income transfer programs already exist in Canada for seniors (Old Age Security and the Guaranteed Income Supplement) and parents (Canada Child Benefit (CCB),

Therefore be it resolved that AVICC calls on the Government of Canada to implement a Guaranteed Livable Basic Income, ensuring everyone has sufficient income to meet their needs, which would go a long way towards eradicating poverty and homelessness, alleviating the pressure on municipalities to use their limited resources to fill gaps in our failing social safe net,

And be it further resolved that AVICC endorse this Resolution, and forward the same to the Union of British Columbia Municipalities (UBCM) for consideration at its annual convention in September 2022.

CARRIED UNANIMOUSLY

H.5 Council Member Motion: Advocacy for Liveable Income Support Programs – AVICC & UBCM Advocacy Resolutions

Council received a report from Councillor Isitt and Councillor Loveday dated January 25, 2022 regarding advocacy for liveable income support programs.

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That Council endorse the following resolution and direct staff to forward electronic copies to the Association of Vancouver Island and Coastal Communities, the Union of BC Municipalities and member local governments, requesting favourable consideration and resolutions of support:

Resolution: Advocacy for Liveable Income Support Programs

WHEREAS adequate incomes are essential for the wellbeing of community members and families;

AND WHEREAS the current level of Income Assistance is not sufficient to cover the cost of the necessities of life, a problem made worse by sharp increases in the cost of housing, food, transportation and other human needs;

THEREFORE BE IT RESOLVED THAT the Province of British Columbia revise provincial Income Assistance programs to provide a liveable income for seniors, people with disabilities, and community members living in poverty.

CARRIED UNANIMOUSLY

H.6 Council Member Motion: Advocacy for Partnerships for Fare-Free Public Transit – AVICC & UBCM Advocacy Resolutions

Council received a report from Councillor Isitt and Councillor Loveday dated January 25, 2022 regarding advocacy for partnerships for fare-free public transit.

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That Council endorse the following resolution and direct staff to forward electronic copies to the Association of Vancouver Island and Coastal Communities, the Union of BC Municipalities and member local governments, requesting favourable consideration and resolutions of support:

Resolution: Partnerships for Fare-Free Public Transit

WHEREAS equitable access to mobility is fundamental to full and meaningful participation in local communities, including access to education, employment, services, recreation, culture and community life;

AND WHEREAS the Province of British Columbia has shown leadership by eliminating use-fee barriers to public transit ridership for people 12 years of age and under;

AND WHEREAS emissions from transportation generate a majority of community-based emissions in many communities, meaning that changes in transportation options have the potential to have a substantial impact in reducing green-house gas emissions;

AND WHEREAS forward-looking jurisdictions around the world from Kingston, Ontario to Kansas City, Missouri, to Luxembourg and Estonia are eliminating user-fee barriers to public transit ridership, with residents paying for transit services through the tax system rather than at the fare box;

THEREFORE BE IT RESOLVED THAT the Province of British Columbia work with local governments to introduce bold investments in sustainable transportation networks, including fare-free public transit services in communities that support the elimination of user-fee barriers to public transit ridership.

CARRIED UNANIMOUSLY

D. UNFINISHED BUSINESS

D.1 Tenant Assistant Policy - Review of Proposed Changes to the Right of First Refusal (Verbal)

Council received a verbal presentation from the Assistant Director of Sustainable Planning and Community Development on the proposed revisions to the Tenant Assistance Policy(TAP).

Committee discussed the following:

- *Appropriate level of rent to be offered to current tenants upon return to the redeveloped building*
- *Recommendation from the Renters' Advisory Committee*
- *Right of first refusal rental rates in other jurisdictions*
- *Outlook for future amendments to the Tenant Assistance Policy*
- *Adjusted economic incentives for landlords as a result of the amended TAP*
- *Threat of vacant units due to a tenant assistance policy*
- *Advice of property managers*

Councillor Isitt withdrew from the meeting due to a non-pecuniary conflict of interest at 9:14 a.m.

Councillor Loveday withdrew from the meeting due to a non-pecuniary conflict of interest at 9:14 a.m.

Moved By Councillor Alto
Seconded By Councillor Loveday

That Council direct staff to:

1. Amend the Tenant Assistance Policy to increase the Right of First Refusal (ROFR) to 20% below market rates;
2. Apply the Tenant Assistance Policy change to new rezoning applications received after the date of Council approval;
3. Consider a RoFR at the previous rent rates as part of the Rental Incentives Project using economic analysis.

FOR (6): Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (6 to 1)

Amendment:

Moved By Councillor Thornton-Joe
Seconded By Councillor Loveday

That Council direct staff to:

1. Amend the Tenant Assistance Policy to increase the Right of First Refusal (ROFR) to 20% below market rates;
2. Apply the Tenant Assistance Policy change to new rezoning applications received after the date of Council approval;
3. Consider a RoFR at the previous rent rates as part of the Rental Incentives Project using economic analysis.
4. **That the City of Victoria write to all municipalities in the CRD encouraging consideration of similar policies.**

Amendment to the amendment:

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council direct staff to:

1. Amend the Tenant Assistance Policy to increase the Right of First Refusal (ROFR) to 20% below market rates;
2. Apply the Tenant Assistance Policy change to new rezoning applications received after the date of Council approval;
3. Consider a RoFR at the previous rent rates as part of the Rental Incentives Project using economic analysis.
4. **That the City of Victoria write to all municipalities in the CRD sharing this policy and encouraging consideration of similar policies.**

CARRIED UNANIMOUSLY

On the amendment as amended:

FOR (6): Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (6 to 1)

On the main motion as amended:

That Council direct staff to:

1. Amend the Tenant Assistance Policy to increase the Right of First Refusal (ROFR) to 20% below market rates;
2. Apply the Tenant Assistance Policy change to new rezoning applications received after the date of Council approval;

3. Consider a RoFR at the previous rent rates as part of the Rental Incentives Project using economic analysis.
4. That the City of Victoria write to all municipalities in the CRD sharing this policy and encouraging consideration of similar policies.

FOR (6): Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (6 to 1)

Councillor Isitt rejoined the meeting at 10:19 p.m.

Councillor Loveday rejoined the meeting at 10:19 p.m.

Committee recessed at 10:19 a.m., and reconvened at 10:26 a.m.

F. STAFF REPORTS

F.1 Governance Review - Phase 1

Council received a report from the City Clerk dated January 18, 2022, informing Council of the outcome of Phase 1 of the Governance Review and to seek Council approval of the final scope of the Governance Review process.

Committee discussed the following:

- *Possible timelines for when the results of the review will return before Council*
- *Scope of the governance review*
- *Minimizing political considerations during an election year*
- *The length of the internal review process for the first draft of the report*
- *Level of staff input in the report created by the Governance Review*
- *The latest date at which recommendations may be considered*
- *Previous iterations of governance changes at the City of Victoria*
- *Possible outcomes due to findings on Councillor remuneration and time commitment*

Moved By Councillor Loveday

Seconded By Councillor Potts

That Council approve the final scope of the Governance Review, and proposed additions to stakeholder engagement activity for Phase 2.

Amendment:

Moved By Councillor Isitt

That Council approve the final scope of the Governance Review, and proposed additions to stakeholder engagement activity for Phase 2.

The consultants' recommendations be considered by Council no later than June 2022.

Failed to proceed due to no seconder.

Amendment:

Moved By Councillor Isitt

That Council approve the final scope of the Governance Review, and proposed additions to stakeholder engagement activity for Phase 2.

That the consultants recommendations be considered no later than July 14, 2022.

Failed to proceed due to no seconder.

Amendment:

Moved By Councillor Isitt

Seconded By Councillor Loveday

1. That Council approve the final scope of the Governance Review, and proposed additions to stakeholder engagement activity for Phase 2.
2. **That the consultant's recommendations be considered by the Committee of the Whole no later than July 21st, 2022.**

CARRIED UNANIMOUSLY

On the main motion as amended:

FOR (6): Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (6 to 1)

Committee recessed at 11:45 a.m., and reconvened at 11:51 a.m.

E. LAND USE MATTERS

E.1 1124 Vancouver Street, 841 and 953 View Street: Rezoning Application No. 00718 and Development Permit with Variances Application No. 00133

Council received a report dated January 14, 2022 from the Director of Sustainable Planning and Community Development regarding information for a Rezoning and Development Permit with Variances application for the property located at 1124 Vancouver Street, 841 and 953 View St. The report recommends advancing the application to a public hearing.

Moved By Councillor Thornton-Joe
Seconded By Councillor Andrew

That the application proceed to a Public Hearing on February 10, 2022, as scheduled and that Council forward the resolution to the January 27, 2022 Council to Follow agenda for immediate approval.

CARRIED UNANIMOUSLY

E.2 700 Government Street: Heritage Alteration Permit Application No. 00249

Committee received a report dated January 14, 2022 from the Director of Sustainable Planning and Community Development regarding information for a Heritage Alteration Permit Application for the removal of a granite pedestal with attached bronze interpretive plaques from private property owned by the GVHA, located in the Inner Harbour Causeway area and repairs to the area to match the existing sidewalk material and pattern, and recommending it be approved.

Committee discussed the following:

- *Dismay towards acts of vandalism*
- *General history of Captain Cook*

Moved By Councillor Thornton-Joe
Seconded By Councillor Andrew

That Council authorize the issuance of Heritage Alteration Permit No. 00249 for 700 Government Street in accordance with:

1. Authorization for the Greater Victoria Harbour Authority to reinstall the "Parade of Ships" plaque in a location on the property, to the satisfaction of the Director of Sustainable Planning and Community Development;
2. The owner providing the City with a cost estimate and landscape security deposit for the entire cost of repairing the area beneath the statue to match the surrounding walkway material and pattern and blended with existing grade;
3. Heritage Alteration Permit lapsing two years from the date of this resolution.

CARRIED UNANIMOUSLY

H. NEW BUSINESS

H.1 Council Member Motion: Renters' Advisory Committee – AVICC & UBCM Advocacy Resolutions

Committee received a Council Member Motion dated January 20, 2022 from Councillor Potts regarding resolutions from the Renters' Advisory Committee that are recommended for passage by City council in order to advocate for the interests of Renters across the Province.

Committee discussed the following:

- *Provincial actions which may reduce the rising costs of rental units; and*
- *Impacts of previous vacancy control policies in British Columbia; and*
- *Jurisdictional overview of rent control policies; and*
- *Consideration of various policies which have incentivized and disincentivized purpose-built rental housing; and*
- *Efficacy of the Residential Tenancy Branch*
- *Supports for renters and for landlords*

Councillor Isitt requested that the motions be considered separately

Moved By Councillor Potts

Seconded By Councillor Loveday

That Council endorse the following resolutions and submit them for consideration at the Association of Vancouver Island Coastal Communities and the Union of BC Municipalities:

1. WHEREAS vacancy control does not apply to new construction and developers will still have incentive to build new units;

WHEREAS in B.C. there are mechanisms through which a landlord may apply to the Residential Tenancy Branch for an additional rent increase if they have incurred eligible capital expenditures or expenses to the residential property in which the rental unit is located;

WHEREAS rents continue to rise faster than inflation and the provincially allowable rent increases and the loss of stable rental housing stock and displaced renters adversely affects local economy, community, and ability to maintain health and essential services;

THEREFORE BE IT RESOLVED that for the health of our local economies, AVICC and UBCM advocate that the Provincial Government explore a vacancy control policy that would limit rent increases between tenancies.

FOR (6): Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Loveday, Councillor Potts, and Councillor Thornton-Joe

OPPOSED (1): Councillor Young

CARRIED (6 to 1)

Councillor Isitt withdrew from the meeting at 12:20 p.m. due to a non-pecuniary conflict of interest.

Councillor Loveday withdrew from the meeting at 12:22 p.m. due to a potential pecuniary conflict of interest.

Moved By Councillor Potts

Seconded By Councillor Loveday

2. WHEREAS to expand the supply of community and affordable housing, experts tasked with delivering the final report of the Canada-British Columbia Expert Panel on the Future of Housing Supply and Affordability recommend that:

The federal and provincial governments independently or jointly create an acquisition fund to enable non-profit housing organizations to acquire currently affordable housing properties at risk of being repriced or redeveloped into more expensive units. Conditions should be attached to this funding that will prevent forced displacement of existing tenants when a building is acquired. The B.C. government should exempt non-profit organizations from the property transfer tax for building acquisitions that will be used to provide affordable housing.

THEREFORE BE IT RESOLVED that AVICC and UBCM advocate that the Provincial Government support the recommendation of the Canada-British Columbia Expert Panel on the Future of Housing Supply and Affordability, to develop a provincial acquisition strategy and grant program that would allow non-profit housing providers to purchase and repair aging rental stock for the purposes of maintaining existing affordable housing

CARRIED UNANIMOUSLY

Moved By Councillor Potts

Seconded By Councillor Alto

3. WHEREAS the Provincial Government has pledged to, alleviate the rental housing crisis, strengthen tenant protections, and expand the efficacy of the Residential Tenancy Branch;

WHEREAS B.C. is in the midst of a housing crisis which has pushed many tenants into vulnerable living situations and legal aid funding for tenancy issues would provide tenants with a fair opportunity to participate in the adjudication of their tenancy issues;

THEREFORE BE IT RESOLVED that AVICC and UBCM advocate that the Provincial Government reinstate the funding of poverty law legal aid for tenancy issues.

CARRIED UNANIMOUSLY

Councillor Isitt rejoined the meeting at 12:32 p.m.

Councillor Loveday rejoined the meeting at 12:32 p.m.

Committee recessed at 12:32 p.m., and reconvened at 1:32 p.m.

H.2 **Council Member Motion: Creating a Safe Crossing at Douglas Street and Kings Road**

Committee received a Council Member Motion dated January 27, 2022 from Councillor Isitt regarding the installation of a safe crossing for pedestrians and cyclists in the vicinity of Douglas Street and Kings Road.

Committee discussed the following:

- *Overview of organizations which support the installation of a crossing at Douglas St & Kings Rd; and*
- *Priority listing of intersection implementation*

Moved By Councillor Isitt

Seconded By Councillor Loveday

That Council:

1. Approve in principle the installation of a safe crossing for pedestrians and cyclists in the vicinity of Douglas Street and Kings Road.
2. Direct staff to report back prior to final adoption of the 2022 Financial Plan on the implications of proceeding with design of this crossing in 2022.

Amendment:

Moved By Councillor Isitt

Seconded By Councillor Thornton-Joe

That Council:

1. Approve in principle the installation of a safe crossing for pedestrians and cyclists in the vicinity of Douglas Street and Kings Road.
2. Direct staff to report back **report back in the 2023 financial planning process** prior to final adoption of the 2022 Financial Plan on the implications of proceeding with design of this crossing in 2022.

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY

H.4 Council Member Motion: Support for Non-Profit Arts & Culture

Council received a report from Councillor Loveday dated January 26, 2022 proposing grants for non-profit art venues and performance spaces.

Motion to refer:

Moved By Councillor Loveday

Seconded By Councillor Thornton-Joe

That the matter is referred to the 2022 budget discussions.

CARRIED UNANIMOUSLY

I. ADJOURNMENT

The meeting adjourned at 1:51 p.m. by unanimous consent of the Committee.

CITY CLERK

MAYOR



MINUTES - COMMITTEE OF THE WHOLE

September 1, 2022, 9:00 A.M.

COUNCIL CHAMBERS, CITY HALL, 1 CENTENNIAL SQUARE

**The City of Victoria is located on the homelands of the Songhees and Esquimalt People
Meeting will recess for a lunch break between 12:30 p.m. and 1:30 p.m.**

PRESENT: Mayor Helps in the Chair, Councillor Alto, Councillor Andrew, Councillor Isitt, Councillor Potts, Councillor Thornton-Joe, Councillor Young

PRESENT
ELECTRONICALLY: Councillor Dubow

ABSENT: Councillor Loveday

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Chief Financial Officer, C. Kingsley - City Clerk, C. Anderson - Deputy City Clerk, T. Zworski - City Solicitor, T. Soulliere - Director of Parks, Recreation & Facilities, B. Eisenhauer - Head of Engagement, C. Mycroft - Manager of Executive Operations, P. Bellefontaine - Director of Engineering & Public Works, P. Angelblazer - Committee Secretary

A. **APPROVAL OF AGENDA**

Moved By Councillor Alto
Seconded By Councillor Andrew

That the agenda be approved.

Councillor Thornton-Joe requested that 'F.5. Proclamation – 100th Anniversary of the Chinese Students' Strike Against Racism and Segregation Day' be removed from the consent agenda.

CARRIED UNANIMOUSLY

B. CONSENT AGENDA

Moved By Councillor Isitt
Seconded By Councillor Alto

That the following items be approved without further debate

CARRIED UNANIMOUSLY

Moved By Councillor Isitt
Seconded By Councillor Potts

That item H.1. Advocacy for Emergency Planning for Multi-Unit Housing be forwarded to the September 8, 2022 Council to follow Committee of the Whole Meeting.

CARRIED UNANIMOUSLY

C.1 Minutes from the meeting held July 14, 2022

Moved By Councillor Isitt
Seconded By Councillor Alto

That the minutes from the meeting held July 14, 2022 be adopted.

CARRIED UNANIMOUSLY

C.2 Minutes from the meeting held July 21, 2022

Moved By Councillor Isitt
Seconded By Councillor Alto

That the minutes from the meeting held July 21, 2022 be adopted.

CARRIED UNANIMOUSLY

C.3 Minutes from the meeting held July 28, 2022

Moved By Councillor Isitt
Seconded By Councillor Alto

That the minutes from the meeting held July 28, 2022 be adopted.

CARRIED UNANIMOUSLY

F.2 Proclamation - National Forest Week

Moved By Councillor Isitt
Seconded By Councillor Alto

That the *National Forest Week* Proclamation be forwarded to the September 8th, 2022, Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

F.3 Proclamation - Pregnancy and Infant Loss Awareness Month

Moved By Councillor Isitt
Seconded By Councillor Alto

That the *Pregnancy Loss and Infant Awareness Month* Proclamation be forwarded to the September 8th, 2022, Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

F.4 Proclamation - Fire Prevention Week

Moved By Councillor Isitt
Seconded By Councillor Alto

That the *Fire Prevention Week* Proclamation be forwarded to the September 8th, 2022, Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

H.1 Council Member Motion - Advocacy for Emergency Planning for Multi-Unit Housing

Council received a report dated August 29, 2022 from Councillor Isitt regarding advocacy for the inclusion of strata corporations in disaster planning, preparation and response.

Moved By Councillor Isitt
Seconded By Councillor Alto

That Council request that the Mayor write, on behalf of Council, to the Solicitor General of British Columbia, copying the Premier and the Minister responsible for housing, supporting strata corporation participation in disaster planning, preparation and response.

CARRIED UNANIMOUSLY

F. STAFF REPORTS

F.1 Proposed Capital Regional District Regional Parks Loan Authorization Bylaw No. 4506

Council received a report dated July 22, 2022 from the City Clerk seeking approval for the proposed Capital Regional District Regional Parks Authorization Bylaw No. 4506.

Committee discussed the following:

- *Elevated financial risk to the CRD due to rising interest rates.*

Moved By Councillor Alto

Seconded By Councillor Andrew

That Council:

1. Consent to the adoption of Capital Regional District Bylaw 4506, "Capital Regional District Bylaw No. 4506, "Regional Parks Loan Authorization Bylaw No. 1, 2022."
2. Forward this motion to the daytime Council meeting of September 1, 2022.

CARRIED UNANIMOUSLY

F.5 Proclamation - 100th Anniversary of the Chinese Students' Strike Against Racism and Segregation Day

Committee discussed the following:

- *Attending the September 5, 2022 re-enactment.*
- *Standing in solidarity against discrimination.*
- *Appropriate response from the City.*
- *Past wrongs made by the City.*

Moved By Councillor Thornton-Joe

Seconded By Councillor Isitt

That the 100th Anniversary of the Chinese Students' Strike Against Racism and Segregation Day Proclamation be forwarded to the September 1st, 2022, Council meeting for Council's consideration.

CARRIED UNANIMOUSLY

I. **ADJOURNMENT OF COMMITTEE OF THE WHOLE**

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That the Committee of the Whole Meeting be adjourned at 9:07 a.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR

Committee of the Whole Report

For the Meeting of September 22, 2022

City of Victoria

Audit planning report to the Mayor and Council
For the year ending December 31, 2022

START



To the Mayor and Council of the City of Victoria

We are pleased to provide you with this planning report to highlight and explain key issues we believe to be relevant to the audit of the Financial Statements of the City of Victoria (the “City”) for the year ending December 31, 2022.

The enclosed planning report includes our approach to your audit, the significant risks we have identified and the terms of our engagement. At the year-end meeting, we will provide you with a copy of our draft audit opinion and discuss the nature, extent and results of our audit work. We will also report any significant internal control deficiencies identified during our audit and reconfirm our independence.

Our audit and therefore this report will not necessarily identify all matters that may be of interest to the Mayor and Council in fulfilling its responsibilities. This report has been prepared solely for the use of the Mayor and Council, and management of the City, and should not be distributed without our prior consent. Consequently, we accept no responsibility to a third party that uses this communication.

We look forward to completing our audit work and discussing our findings with you. In the meantime, please feel free to contact us if you have any questions or concerns.

Yours truly,

BDO Canada LLP

BDO Canada LLP

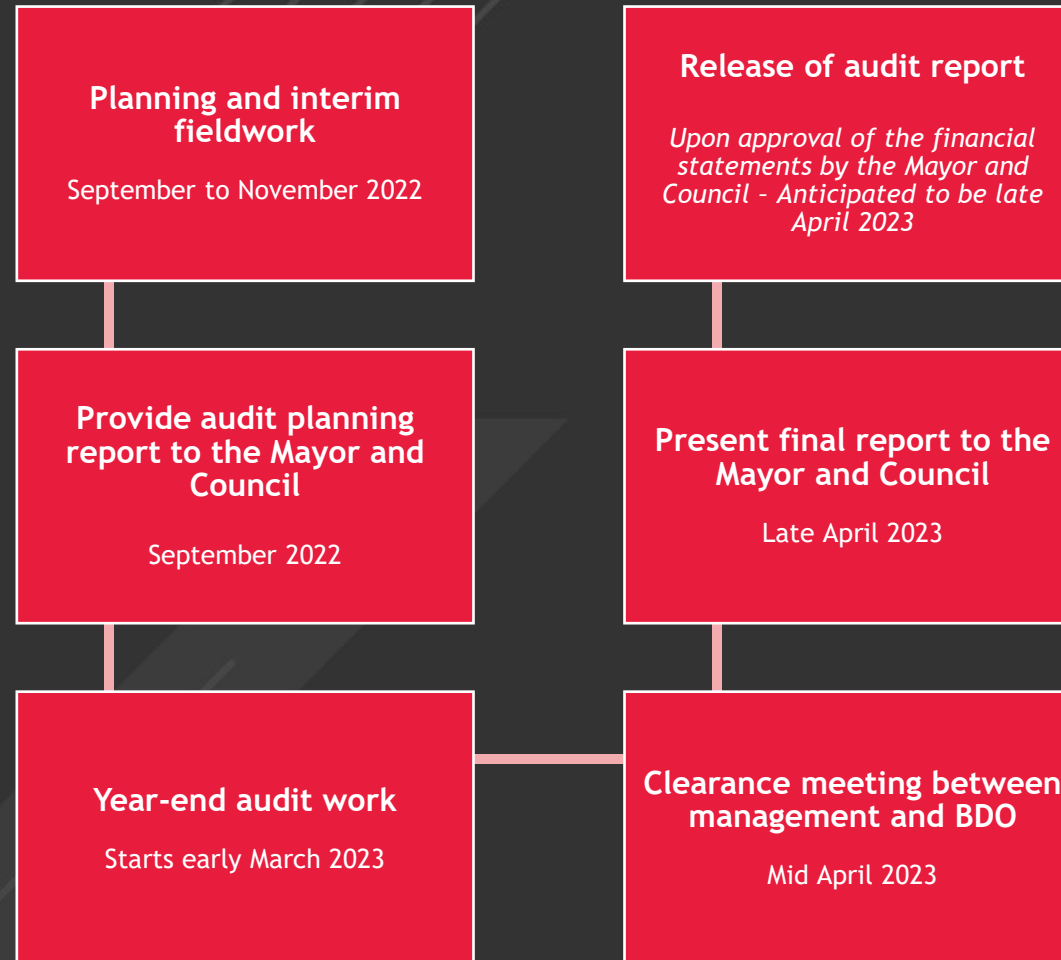


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Audit timeline



Your dedicated BDO audit team

In order to ensure effective communication between the Mayor and Council and BDO Canada LLP, the contact details of the engagement team are outlined below. We attempt to provide continuity of personnel within our client project teams to the greatest extent possible.

NAME	ROLE	PHONE NUMBER	EMAIL
Brian Szabo, CPA, CA	Engagement Partner	604.646.3389	bszabo@bdo.ca
Paul Fripp, CPA, CA	Quality Review Partner	778.947.1215	pfripp@bdo.ca
Andrew Davies, CPA	Assurance Senior Manager	604.646.6221	andavies@bdo.ca
Darren Taylor, CPA, CA	Indirect Tax Partner	604.443.4725	dtaylor@bdo.ca



Auditor's responsibilities: financial statements

We are responsible for forming and expressing an opinion on the financial statements that have been prepared by management, with oversight by those charged with governance. The audit of the financial statements does not relieve management or those charged with governance of their responsibilities. The scope of our work, as confirmed in our engagement letter which has previously been provided, is set out below:

- ▶ Work with management towards the timely issuance of the financial statements.
- ▶ Provide timely and constructive management letters. This may include deficiencies in internal control identified during our audit.
- ▶ Present significant findings to the Mayor and Council including key audit and accounting issues, any significant deficiencies in internal control and any other significant matters arising from our work.



We are required to obtain an understanding of the system of internal control in place in order to consider the adequacy of these controls as a basis for the preparation of the financial statements, to determine whether adequate accounting records have been maintained and to assess the adequacy of these controls and records as a basis upon which to design and undertake our audit testing.

We are required to report to you in writing about any significant deficiencies in internal control that we have identified during the audit.



Auditor's responsibilities: fraud

We are responsible for planning and performing the audit to obtain reasonable assurance that the financial statements are free of material misstatements, whether caused by error or fraud, by:

- ▶ Identifying and assessing the risks of material misstatement due to fraud;
- ▶ Obtaining sufficient and appropriate audit evidence regarding the assessed risks of material misstatement due to fraud, through designing and implementing appropriate responses; and
- ▶ Responding appropriately to fraud or suspected fraud identified during the audit.

The likelihood of not detecting a material misstatement resulting from fraud is higher than the likelihood of not detecting a material misstatement resulting from error because fraud may involve collusion as well as sophisticated and carefully organized schemes designed to conceal it.

Throughout our planning process, we performed risk assessment procedures and related activities to obtain an understanding of the City and its environment, including the City's internal control, to obtain information for use in identifying the risks of material misstatement due to fraud and made inquiries of management regarding:

- ▶ Management's assessment of the risk that the financial statements may be materially misstated due to fraud, including the nature, extent and frequency of such assessments;
- ▶ Management's process for identifying and responding to the risks of fraud in the City, including any specific risks of fraud that management has identified or that have been brought to its attention, or classes of transactions, account balances, or disclosures for which a risk of fraud is likely to exist;
- ▶ Management's communication, if any, to those charged with governance regarding its processes for identifying and responding to the risks of fraud relevant to the City; and
- ▶ Management's communication, if any, to employees regarding its view on business practices and ethical behavior.

We are not currently aware of any fraud affecting the City. If you are aware of any instances of actual, suspected, or alleged fraud, or change in risk factors, please contact [Your dedicated BDO audit team](#).

Behind the audit report



Learn how we audit
your financial
statements

[SEE OUR
PROCESS](#)



Audit risk areas and planned responses

Based on our knowledge of the City's business, our past experience, and knowledge gained from management and Mayor and Council, we have identified the following significant audit risk areas that we wish to raise to your attention at this time. ***The risk assessment and planning phase of our engagement is ongoing. We will communicate any further significant risks that we identify in our audit findings report to Mayor and Council.***

Risks classified as significant arise due to a combination of: complex accounting rules, changes in operations or business lines, the extent of estimation and judgment involved in the financial statement area, and the existence of new accounting pronouncements that affect them. We request your input on the following significant risks and whether there are any other areas of concern that Mayor and Council have identified.

Financial statement areas	Risks noted	Audit approach
Risk of Fraudulent Revenue Recognition <i>[Rebuttable presumption]</i>	Auditing standards require us to consider the risk of fraudulent revenue recognition, due to the nature of the City's revenue, we have rebutted this presumption due to the nature of the City's revenue streams.	Review of funding agreements, with a focus on key terms related to revenue recognition criteria, including: total funding amounts, eligibility criteria, stipulations and potential repayment.
Recognition of Grant & Government Transfer Revenue	Nevertheless, accounting standards relating to grant and government transfer revenue recognition are complex and open to variation in application. There is a risk that grants or revenue derived from other government transfers may be incorrectly deferred into future periods or recognized prior to stipulations being met.	Verify a sample of grant fund receipts to the bank statement and supporting payment notification from the funder. Expenditures incurred for projects funded by arrangements that include stipulations will also be reviewed to ensure those expenditures meet the requirements of the funding agreement. Review other revenue streams to ensure they are recorded in accordance with revenue recognition standards.
Management Override of Internal Controls <i>[Mandatory audit consideration]</i>	Management is generally in a unique position to perpetrate fraud because of its ability to directly or indirectly manipulate accounting records, and prepare fraudulent financial statements by overriding controls that otherwise appear to be operating effectively. This risk is not unique to the City.	Review of transactions recorded in various ledgers for unusual, non-recurring adjustments that are not addressed by other audit procedures. Test the appropriateness of key estimates, and any adjustments made in the preparation of the financial statements.

Materiality

Materiality for financial statement amounts relating to operations is preliminarily set at \$6.5 million. Materiality for amounts relating to tangible capital assets is preliminarily set at \$12.3 million.

These materiality calculations are based on the City's preliminary results. Materiality will be re-assessed throughout the audit process as the City's financial results become available, and as any audit adjustments are identified.

We will communicate any changes in materiality to the Mayor and Council as part of our final audit reporting materials.

Misstatements are considered to be material if they could reasonably be expected to influence the decisions of users based on the consolidated financial statements.

We will communicate all corrected and uncorrected misstatements identified during our audit to the Mayor and Council, other than those which we determine to be "clearly trivial."

We encourage management to correct any misstatements identified throughout the audit process.



Using the work of others

Experts engaged by management

To complete the audit of your financial statements, we will rely in part on the work of, and the report prepared by, HUB International. This expert's work relates to the employee future benefits liability recognized by the City. Canadian generally accepted auditing standards require us to communicate with this expert. We propose to discuss the following with HUB International:

- ▶ The objective and nature of our audit engagement and how we intend to use the expert's findings and report.
- ▶ Our assessment of the significant and risk aspects of the engagement that will affect the expert's work.
- ▶ The requirement to advise us if they have any relationship with the City that could impair their judgment or objectivity in the conduct of their engagement.
- ▶ The nature, timing and extent of the expert's work and our planned review of it, possibly including review of their working papers.
- ▶ Confirmation that the assumptions used in their calculations are consistent with those used in the prior periods and with industry standards.
- ▶ Their obligation to advise BDO Canada LLP of any matters up to the estimated audit report date that may affect their calculations and their report.

We ask that the appropriate level of management review the data provided to HUB International, and that they also review the assumptions used and results reported by the expert.

For the year ending December 31, 2022





How we audit financial statements: Our six-step audit process

IDENTIFY AND ASSESS RISK

Focus on those areas of financial statements that contain potential material misstatements as a consequence of the risks you face

OBTAIN AUDIT EVIDENCE

Perform audit procedures while maintaining appropriate degree of professional skepticism, to conclude whether or not the financial statements are presented fairly

REPORT

Communicate our opinion and details of matters on which we are required to report



New Standard for Audit Quality



ISQM 1

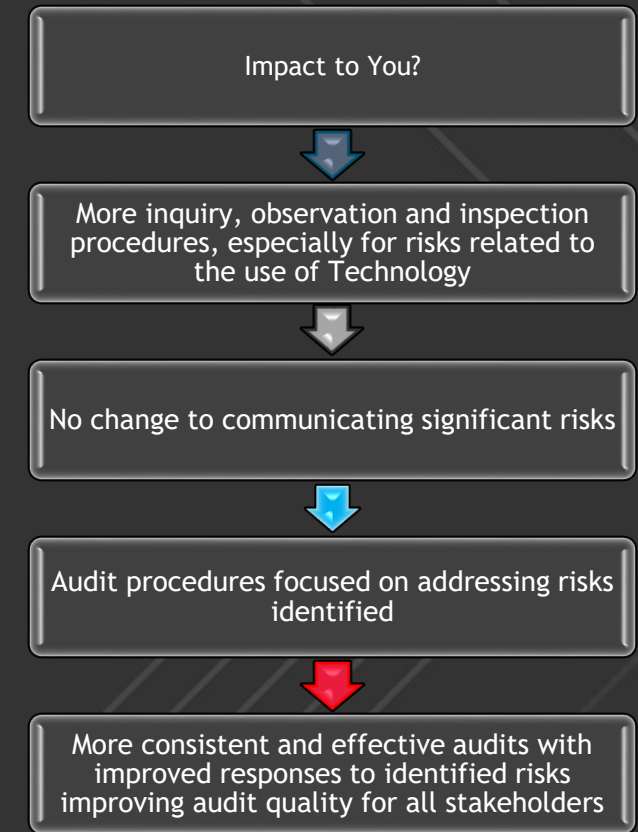
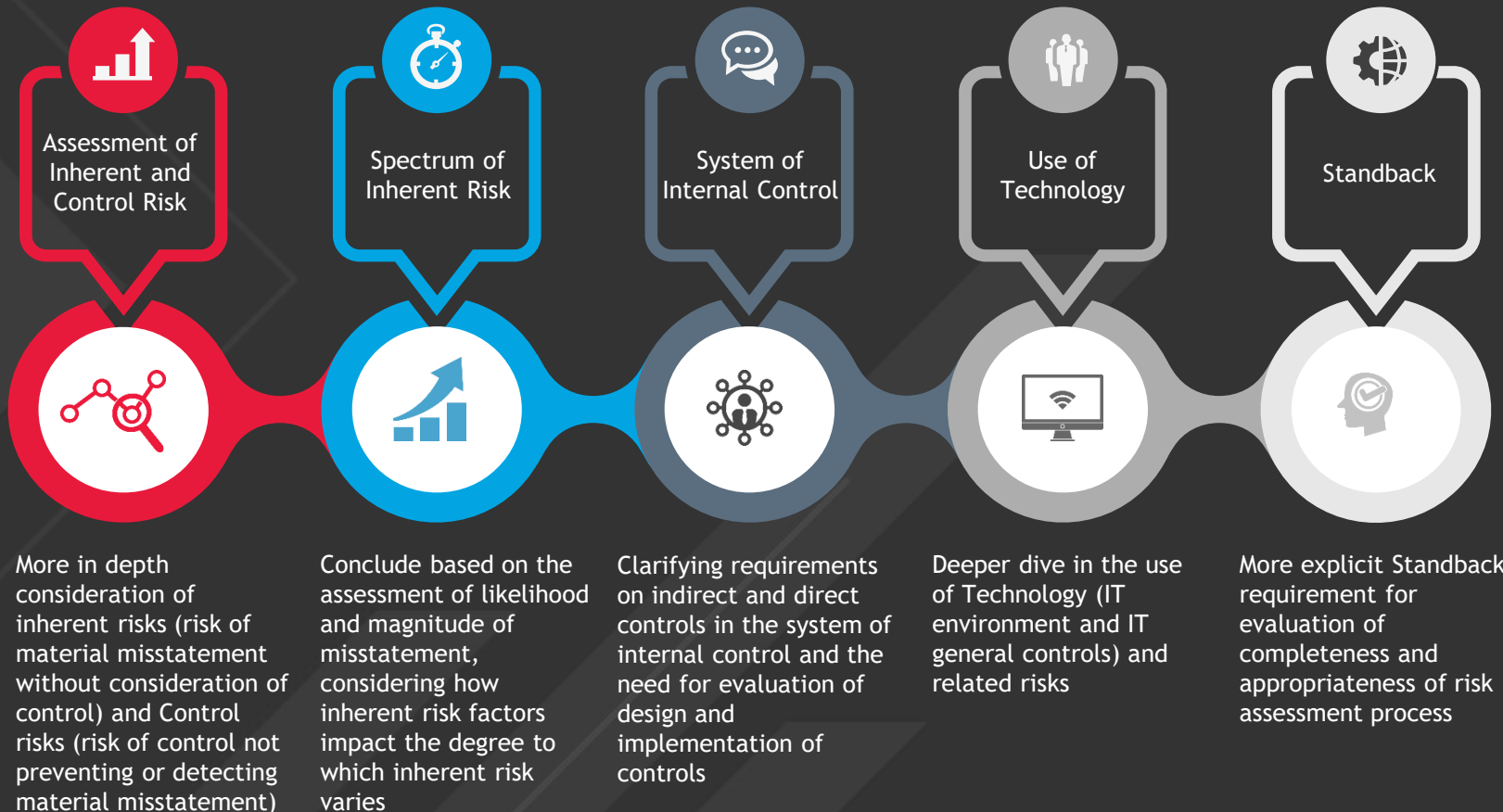
The quality of an audit depends not only on the people conducting it—but also on the systems underpinning it. These new rules up the ante for your audit quality.

[SEE THE STANDARD](#)



Updates to auditing standards (CAS 315)

Canadian Auditing Standard 315, *Identifying and Assessing the Risks of Material Misstatement*, was significantly revised to have more robust risk identification, assessment and response procedures. The revised standard is effective for periods beginning on or after December 15, 2021. The key updates, which are described below, primarily impact Steps 1 through 3 of our current six step audit process. ***The update to this audit standard is expected to drive a significant amount of additional audit work in this initial year of implementation, and to a lesser degree some additional work in the following years. We will quantify the incremental scope and propose to management an adjustment to our fee to accommodate this increase in audit requirements.***





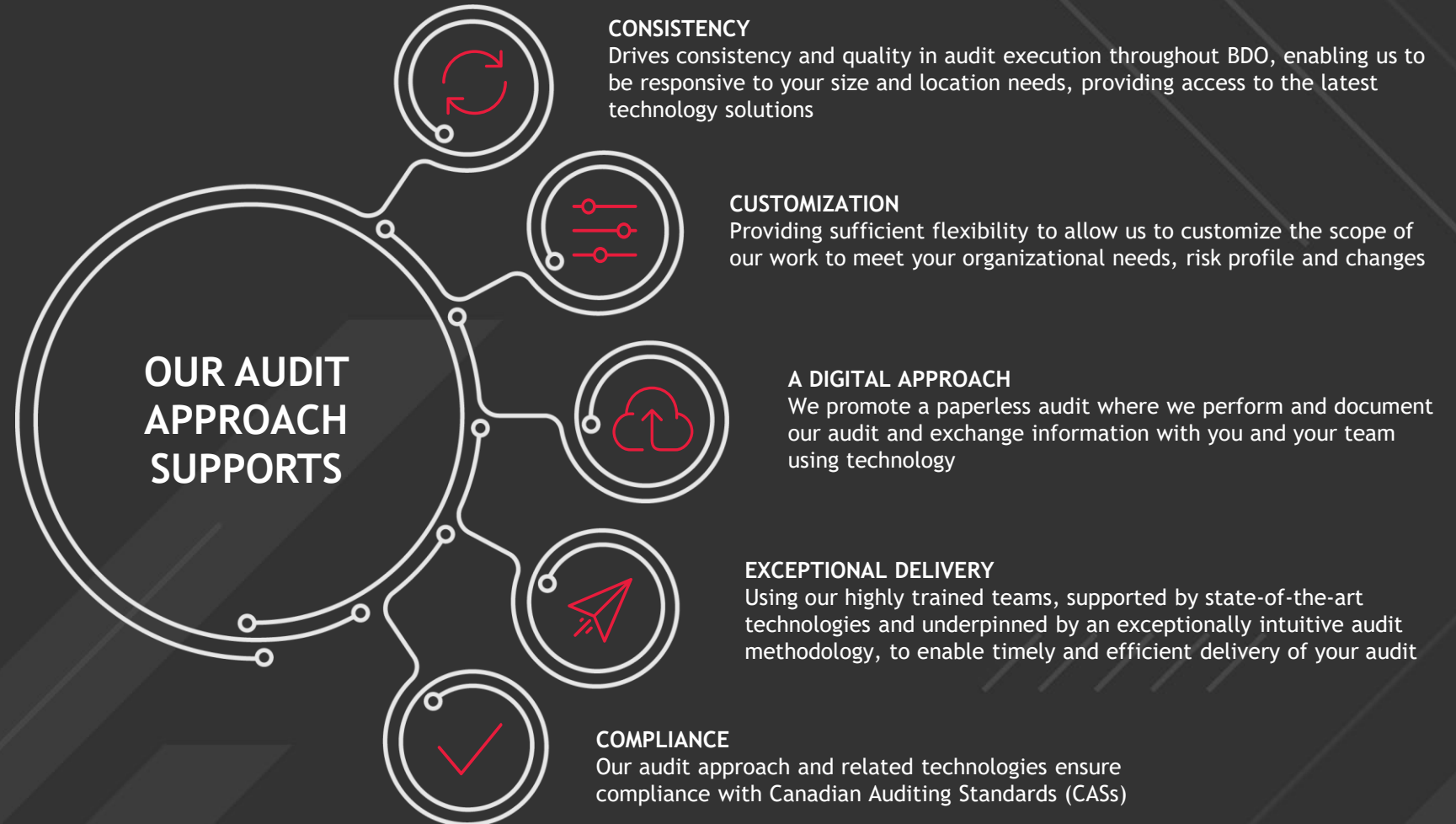
Our audit approach: Responsiveness in action

The cornerstone of each audit engagement is how we deliver our services.

Our firm is deliberately structured to allow one partner to every six staff members. This means easy access to senior staff and the lead partner throughout your audit, as well as a quick turnaround on any questions. It also helps our team gain a better understanding of your organization.

Our audit process differs from the typical audit in our use of in-field or in-line reviews. The benefit of this is that final decision-makers are on site ensuring issues are resolved and files closed quickly.

We offer clients the full-service expertise of a national firm. Even more: As part of the global BDO network, we provide seamless and consistent cross-border services to clients with global needs. Yet we maintain a local community focus. The comprehensive range of services we deliver is complemented by a deep industry knowledge gained from nearly 100 years of working within local communities.





Recommended resources: Public sector *Insights* articles

Leadership: Mental health resources to support your people



[READ THIS ARTICLE](#)

How to execute an effective public sector cloud migration strategy



[READ THIS ARTICLE](#)

Envisioning cloud migrations for public sector organizations



[READ THIS ARTICLE](#)

[LINK TO PUBLIC
SECTOR *INSIGHTS*
HOMEPAGE](#)



Annual Presentation to Victoria City Council: 2021 Activities

Gillian Lindquist
Executive Director

1

Snapshot of Restorative Justice Victoria (RJV)

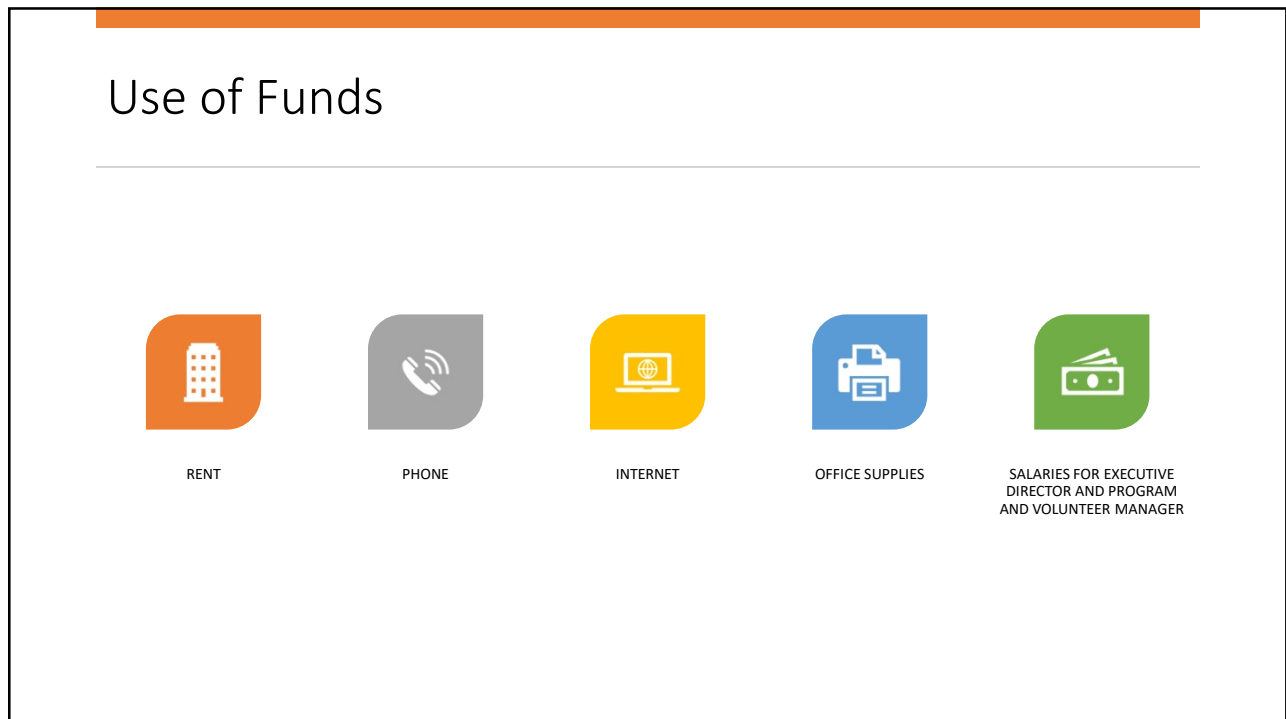
- Est. 2002; not-for-profit society & charity
- Five staff, approx. 50 volunteers (25-30 caseworkers)
- We work with youth and adult victims and offenders
- Receive referrals for a wide range of offences (minor to serious)
- Approximately 75 – 150 referrals per year
- Receive referrals from Saanich PD, VicPD, Crown, judiciary, schools, victims, offenders, agencies, and the general community
- Our services are free to the public



2



3



4

Allows For

Volunteer recruitment, training, and support

Case management

Liaising with community agencies/referrals sources

Fundraising

Public education

Program administration

5

Our Process

Referral

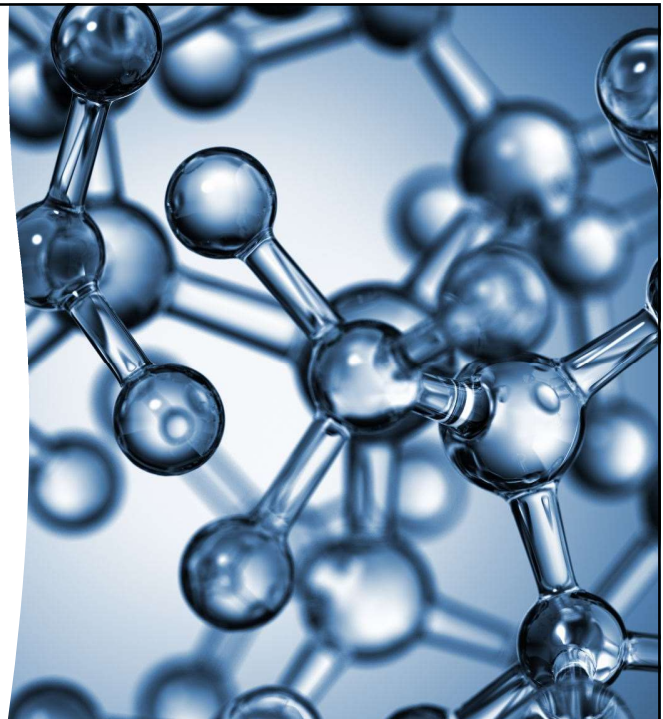
Intake and assessment

Preparation

Dialogue and/or in-direct communication

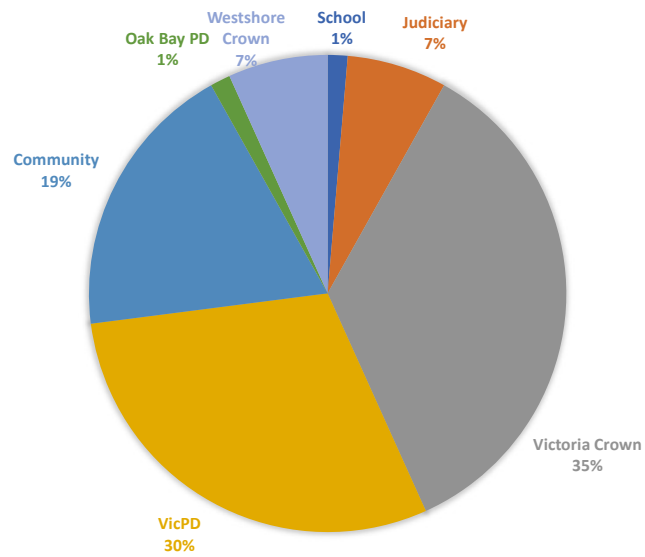
Agreement completion

File closure



6

Referral Sources 2021

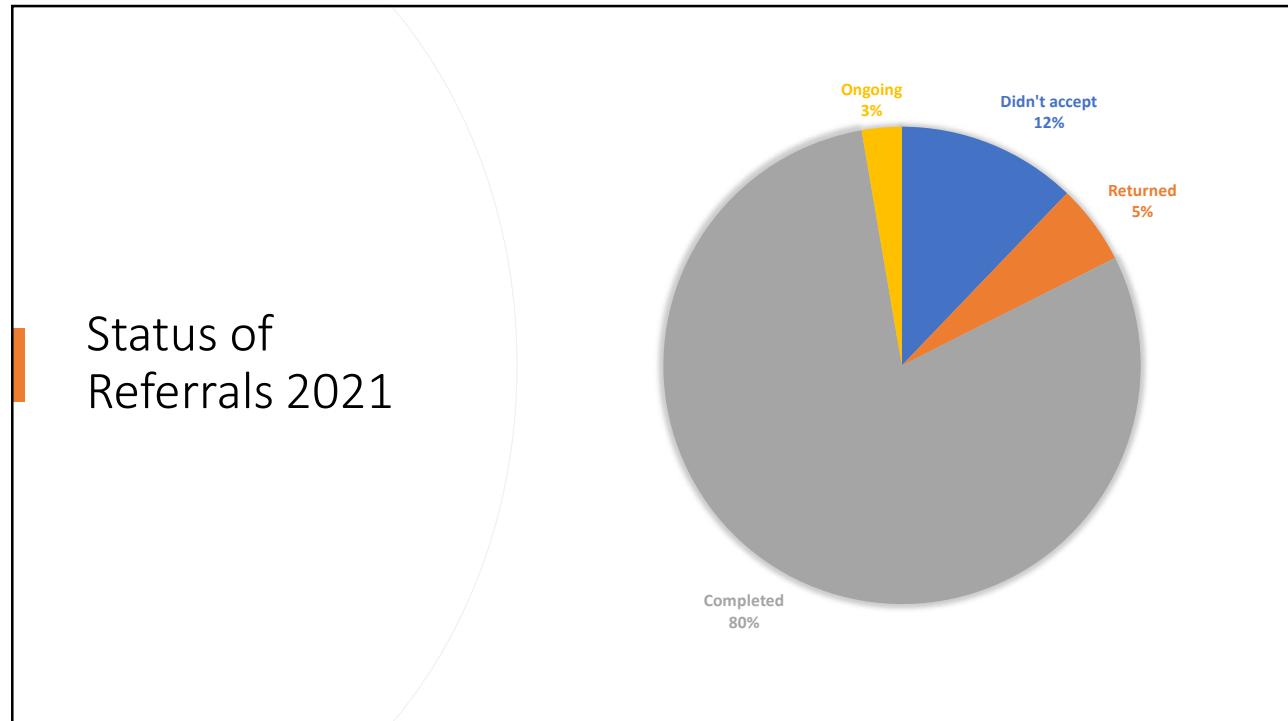


7

2021 Victoria-Based Offences/Harms Referred to RJV

Type of offence/harm	Number referred
Theft \$5,000 or under	9
Mischief \$5,000 or under	7
Assault	9
Assault causing bodily harm	4
Mischief – obstruct person in lawful use of property	4
Uttering threats	3
Assault with a weapon	2
Sexual assault	2
Dangerous operation of a motor vehicle	1
Impaired driving	1
Fraud over \$5,000	1
Making harassing communication	1
Conveying false message with intent to alarm	1
Mischief - religious	1
Breach	1
Harassment	1
TOTAL	48

8



9



10

"We as a community applaud this young women for coming forward, for recognizing the effect this had on the community. It was a very difficult situation, but she made a genuine effort to make meaningful amends. It is something that we welcome. "



After a meeting between the offender and representatives of the Jewish community, Rabbi Kaplan said 'she acknowledged what she did, she realized the damage it caused, and she also took responsibility for the action.'

11

Agreement Outcomes

- Financial restitution to victims
- Attending counseling
- Conducting volunteer work in the community or donating to a community organization
- Letters of apology and gifts to those impacted
- Addictions support/rehabilitation programs and commitment to monitoring and/or reducing substance use
- Researching and discussing the impacts of specific harms
- Creating plans for budgeting, communication, boundaries, or self-care
- Courses on violence prevention, non-violent communication, communication skills, or anger management
- Self-reflection writing and self-development reading
- Prioritizing mental health, physical health, and/or support systems

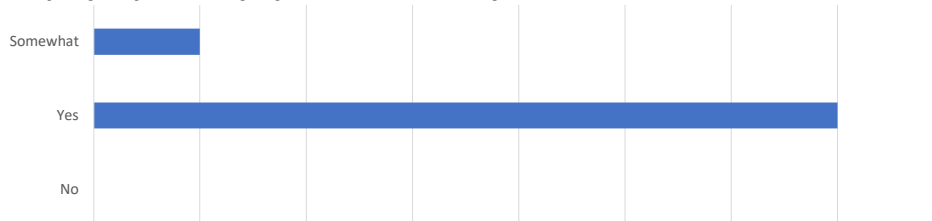
12

Victim Outcomes

Would you recommend RJ to someone else?



Do you feel your need for justice has been satisfied?



13

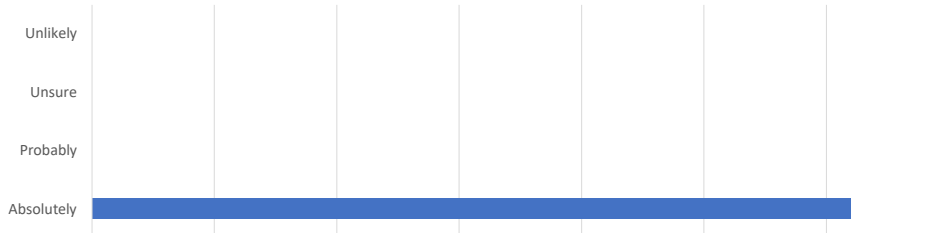
Victim Feedback

- *RJ has given me a place to be in charge of my court process which is something I didn't get before. Being able to direct every move that happened before, during, and after the dialogue was amazing. It felt like I had the power back in my hands.*
- *I found the process to be interesting and the outcome to be beneficial.*
- *The greatest benefit for me was community healing.*
- *What I found most helpful was being able to divert an Indigenous person from the criminal justice system and assistance in creating a bridge with the street involved community in my neighbourhood.*
- *My connection with [my RJ mentor] – fantastic support and understanding – felt validated and understood*
- *The circle conversation really helped us open up and speak truthfully about our experience*

14

Offender Outcomes

Would you recommend RJ to someone else?



Going through the RJ process left me feeling:

- better about myself: 91%
- better about my future: 93%
- less judged: 91%
- cared for by those in the room: 100%

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Offender Feedback

- *RJ was a support and a help because these things I never had in my life.*
- *[RJ] taught me to deal with my anger. How to approach a situation in a different way instead of raging. Others see a change. No more chip on my shoulder. Stopped drinking. Taken courses to learn about myself and how to deal with people differently. I treat people with more respect and understanding. Not judging them right off the bat.*
- *I have learned that my anger can get the best of me and I need to find ways to control it. RJ has helped me identify and control my anger in situations where it arises.*
- *[RJ] made me have a sense of hope. It inspired me to know that there are people out there helping others. I felt comfortable. I usually don't trust people but I trusted the circle.*
- *I have benefited from my experiences in RJ because I learned to express feelings and build relationships in a healthy way that will benefit my future.*
- *There aren't words to describe the value this program has to me. I am grateful to have the opportunity.*

16

Partnership and Stakeholder Engagement 2021

Did two-hour presentations on RJ and RJV to VicPD's new recruits, VicPD's Records Department, and VicPD's volunteers

Met with personnel within VicPD, the Crown's office, Probation, and Youth Justice to further relationships and increase the use of RJ

Did presentations to staff at VSAC and for Team Victoria on RJ

Met with MLA to advocate for increased funds for RJ

Did presentations to stakeholders, justice professionals, and advocates (local and provincial)

Alongside Deputy Laidman at VicPD, presented to Chiefs and Deputy Chiefs and Regional and Deputy Crowns throughout BC on RJ and RJV

17

Over and Above Casework 2021

Projects

- Engaged in a six-month exploration with the Men's Therapy Centre on developing accountability groups
- Received funding and completed a year-long project to increase school-based referrals
- Provided a healing circle process for PEERS' clients
- Brought on a masters of social work student for a practicum project around the use of RJ at housing sites
- Started the process of developing a shoplifting referral pilot with VicPD and local businesses
- Participated in stakeholder meetings around finding alternatives to justice in cases of sexualized violence

Research

- Exploring Indigenous Justice and Restorative Justice in British Columbia and Saskatchewan: A Comparative Action Research Project

Program Improvement

- Recruited and trained 15 new casework volunteers
- Did a two-month long organization-wide training and Anti-Oppressive Practice in RJ
- Provided two advanced trainings to our casework volunteers on shame and trauma
- Moved to a larger office with more meetings rooms

18

Key Projects 2022-2023

1

Increase organizational capacity to safely and meaningfully address sexualized violence cases (United Way grant)

2

Increase diversity of staff and volunteers and increase organizational capacity related equity, diversity, and inclusion (Victoria Foundation grant)

3

Evaluation of RJV conducted by external evaluator (Community Safety and Crime Prevention grant)

19



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Contact Us

www.RJVictoria.com

Gillian@RJVictoria.com

Office: 250-383-5801

Cell: 250-884-7904





Committee of the Whole Report For the Meeting of September 22, 2022

To: Committee of the Whole **Date:** September 8, 2022

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variance Application No. 00176 for
458 Cecelia Road

RECOMMENDATION

That Council consider the following motion:

1. That Council waive the standard practice of holding an opportunity for public comment for this application, including the standard practices related to sign posting and public notification.
2. That Council authorize the issuance of Development Permit with Variance Application No. 00176 for 458 Cecelia Road, in accordance with:
 - a. Plans date stamped April 27, 2022.
 - b. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
 - i. increase the side yard setback along the east property line from 0m to 0.1m.
 - c. The applicant providing a 1.4m wide road dedication along the Cecelia Road frontage to the satisfaction of the Director of Engineering and Public Works.
3. That the Development Permit, if issued, lapses in two years from the date of this resolution.
4. That Council advance this matter for ratification and issuance at the September 22, 2022 daytime Council meeting.

LEGISLATIVE AUTHORITY

Relevant Development Permit considerations relate to the application's consistency with design guidelines and supportability of the proposed variance.

Enabling Legislation

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Official Community Plan. A*

Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variance (DPV) for the property located at 458 Cecelia Road.

The following points were considered in assessing this application:

- The *Official Community Plan, 2012* (OCP) identifies the subject property within Development Permit Area (DPA) 16: General Form and Character. This DPA encourages the integration of new industrial buildings in a manner that is complementary to established place character in a neighbourhood through high quality of architecture, landscape and urban design that responds to the distinctive setting through sensitive and innovative interventions. The proposal incorporates some design elements from adjacent buildings and improves the streetscape appearance. The proposal is generally consistent with the applicable design guidelines.
- The *Burnside Gorge Neighbourhood Plan* (BGNP, 2017) encourages an industrial building design that includes higher floor-to-ceiling heights suitable for contemporary light industry along with loading bays. The proposal complies with the policies outlined in the BGNP.
- The applicant is providing a 1.4m wide road dedication along the Cecelia Road frontage.
- Increasing the side yard setback from 0m to 0.1m is a result of meeting the seismic requirements in the *BC Building Code*. The proposed variance is supportable.

BACKGROUND

Description of Proposal

The proposal is for a new one-storey, including a mezzanine level, industrial building consisting of light industry, vehicle repair and ancillary retail uses. The existing warehouse building in the rear yard will be retained. No self-storage uses are proposed. Specific details of the new industrial building include:

- a low-rise building form consisting of a flat roofline and substantial glazing on the front elevation
- exterior materials include horizontal wood siding, hardie panel, smooth concrete block and metal roof
- main entryway fronting Cecelia Road
- blank wall along the east elevation
- a black chain-link style gate located behind the front face of the building
- soft landscaping in the front yard
- five existing trees in the front yard to be retained
- two long-term and six short-term bicycle parking spaces
- seven surface parking stalls and a loading space in the rear yard.

The proposed variance is related to increasing the side yard setback from 0m to 0.1m along the east property line.

Land Use Context

The area is characterized by a mix of industrial, commercial, institutional, and residential uses.

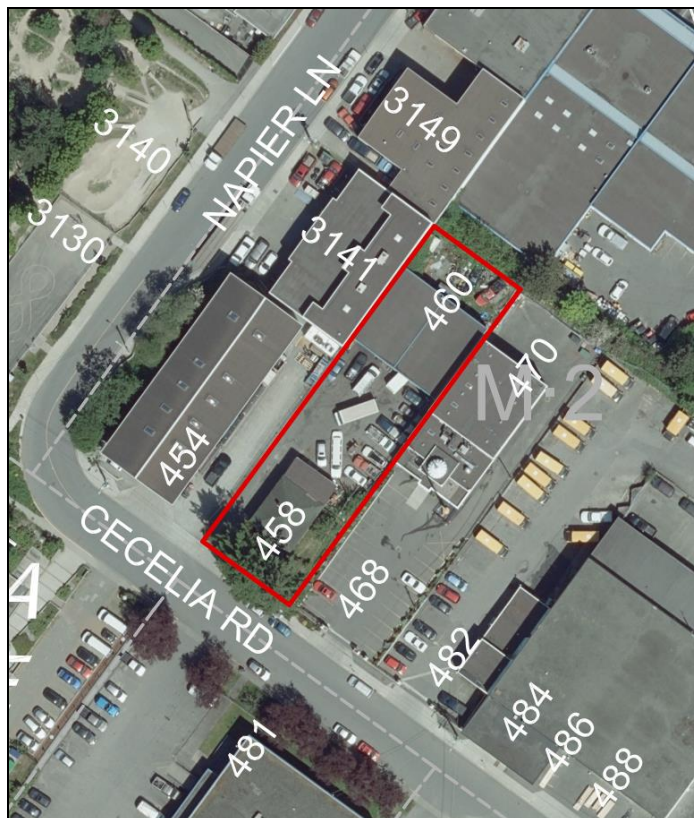


Figure 1. Aerial photo of subject property

Existing Site Development and Development Potential

The site is presently used as a warehouse building and under the M-2 Zone, Light Industrial District, the property could be developed at a density of 3:1 Floor Space Ratio (FSR) and with the uses proposed or other light industrial uses, such as manufacturing, processing, and assembly. However, it could also be developed as parking garage, car dealership, funeral home, veterinary hospital, or a school.

Data Table

The following data table compares the proposal with the existing M-2 Zone, Light Industrial District. An asterisk is used to identify where the proposal is less stringent than the existing Zone.

Zoning Criteria	Proposal	Zone Standard M-2 Zone
Site area (m ²) – minimum	1323.07	n/a
Density (Floor Space Ratio) – maximum	0.40:1	3:1

Zoning Criteria	Proposal	Zone Standard M-2 Zone
Total floor area (m ²) – maximum	530.70	n/a
Height (m) – maximum	7.52	15
Storeys – maximum	1	n/a
Number of buildings on a lot	2	>1
Site coverage (%) – maximum	n/a	n/a
Setbacks (m) – minimum		
Front	4.60	n/a
Rear	9.28	3 or 0
Side (east)	0.1* (new building) 0.16** (existing building)	0
Side (west)	6.8 (new building) 0.06** (existing building)	3 or 0 (new building) 0 (existing building)
Vehicle parking - minimum	7	6
Loading Space (m) – minimum		
Width	4	4
Length	9	9
Setback from the street	>3	3
Access width from the street	>5	5
Bicycle parking stalls – minimum		
Short-term	2	1
Long-term	6	6

Active Transportation

The application proposes six long-term and two short-term bicycle parking spaces to support active transportation, which slightly exceeds the bicycle requirement for this development.

Public Realm

No public realm improvements beyond City standard requirements are proposed in association with this application.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on January 5, 2021, March 8, 2022, and April 28, 2022, the application was referred for a 30-day comment period to the Burnside Gorge CALUC. At the time of writing this report, a letter has not been received from the CALUC.

An Opportunity for Public Comment is not a legislative requirement for DPVs under the *Local Government Act*. Each municipality in British Columbia has the authority to determine if there should be a public forum associated with the approval of development permits with variances. The City's *Land Use Procedures Bylaw* states the following with respect to the City's requirements for an Opportunity for Public Comment:

31. Council may provide an opportunity for public comment before passing a resolution to issue:

- a. a development variance permit, other than a permit that varies a bylaw under Section 528 of the Local Government Act;*
- b. a development permit with variances;***
- c. a heritage alteration permit with variances;*
- d. a temporary use permit.*

All development permit applications for new buildings in Development Permit Area 16: General Form and Character are delegated to staff for approval, subject to the review of the Advisory Design Panel. Because there is a minor side yard setback variance with this application that is not delegated to staff, the application must be referred to Council for approval. Given that the proposed variance is minor in nature (i.e., increasing the side yard setback by 10cm) and it would have minimal impacts on the adjacent property, staff recommend that the OPC is waived for this application.

The staff recommendation includes the necessary language to waive the Opportunity for Public Comment, including the standard practices related to sign posting and public notification. If Council would prefer to hold an Opportunity for Public Comment on this application, then the alternate motion is structured accordingly for Council's consideration.

ANALYSIS

Official Community Plan: Design Guidelines

The *Official Community Plan, 2012* (OCP) identifies this property within Development Permit Area 16: General Form and Character. This DPA encourages the integration of new industrial buildings in a manner that is complementary to established place character in a neighbourhood through high quality of architecture, landscape and urban design that responds to the distinctive setting through sensitive and innovative interventions. The proposal includes a simple architectural form and incorporates some design features from adjacent buildings, including a flat roofline and substantial glazing. The proposed high-quality and durable exterior materials including horizontal wood siding, hardie panel, smooth concrete block and metal roof are

consistent with the design guidelines. In addition, the proposal is introducing soft landscaping in the front yard, which will improve the overall streetscape appearance.

Lastly, the OCP encourages new industrial buildings to be designed with sufficient floor-to-ceiling heights and loading bays that support light industrial uses. The proposal includes a floor-to-ceiling height of approximately 5.5m and two loading bays, which enables flexibility and adaptability to accommodate a variety of industrial uses.

Burnside Gorge Neighbourhood Plan

The *Burnside Gorge Neighbourhood Plan* (BGNP, 2017) encourages an industrial building design that includes higher floor-to-ceiling heights suitable for contemporary light industry along with loading bays. The proposal complies with the policies outlined in the BGNP.

Accessibility

No accessibility improvements are proposed beyond what is required through the *British Columbia Building Code*.

Sustainability

As indicated in the applicant's letter dated June 27, 2020, the sustainability features associated with this proposal include high-quality and energy efficient doors, LED lighting and low water consumption appliances, and systems for recovering excess oil and grease from vehicle repairs. The applicant has also indicated a desire to install solar panels on the roof.

Advisory Design Panel Review

The application was reviewed by the Advisory Design Panel on June 23, 2021. At that meeting, the following motion was passed:

That Development Permit with Variance Application No. 00176 for 458 Cecelia Road does not sufficiently meet the applicable design guidelines and policies and should be declined and that the key areas that should be revised include:

- *Reconsider exterior finishes, the front and east elevation to be more neighbourly and to contribute to the public realm.*
- *Landscaping between the parking stalls and the property to the east to soften the relationship between properties.*
- *Increase the overall site landscaping with the potential of additional trees.*
- *Include the arborist report and the details around exterior finishes.*
- *Further consideration of the east elevation wall, which is currently a large blank windowless and featureless wall which is visible from the street.*
- *Design of the front elevation and street relationship requires further development to improve the street relationship, contextual fit and neighbourliness.*

In response to the ADP's recommendation above, the applicant made the following changes:

- relocated the front entrance from the corner to the centre of the building with direct access to the sidewalk
- added a roof projection and more windows on the front elevation
- revised exterior materials and added horizontal wood siding as an accent material

- incorporated a split faced and flat concrete block pattern on the east elevation
- the applicant submitted an arborist report to the satisfaction of the Director of Parks, Recreation and Facilities.

The applicant's letter dated January 20, 2022 provides further details regarding their response to ADP. The revisions to the proposal are more aligned with the applicable design guidelines that pertain to built form, the building's relationship to the street and landscaping.

Tree Preservation Bylaw and Urban Forest Master Plan

The goals of the *Urban Forest Master Plan* include protecting, enhancing, and expanding Victoria's urban forest and optimizing community benefits from the urban forest in all neighbourhoods. This application was received after October 24, 2019, so Tree Preservation Bylaw No. 05-106 (consolidated November 22, 2019) applies, protecting trees larger than 30cm diameter at breast height (DBH).

There are five existing Douglas-fir trees measuring 64cm, 63cm, 31cm, 34cm and 69cm in diameter located along the frontage of the subject property. These trees are in the future road dedication and would become the City's responsibility to manage and maintain should Council approve the Development Permit with Variance application. The project arborist has recommended several mitigation measures at various stages of the project to ensure these trees are retained.

There are no bylaw-protected trees on the subject property and the applicant has not proposed to plant any new trees.

Tree Impact Summary Table

Tree Status	Total # of Trees	To be REMOVED	To be PLANTED	NET CHANGE
On-site trees, bylaw-protected	5	0	0	0
On-site trees, not bylaw-protected	0	0	0	0
Municipal trees	0	0	0	0
Neighbouring trees, bylaw-protected	0	0	0	0
Neighbouring trees, not bylaw-protected	0	0	0	0
Total	5	0	0	0

Regulatory Considerations

Side Yard Setback Variance

The required side yard setback in the M-2 Zone is 0 or 3m. To comply with recent changes to the *BC Building Code*, the applicant must set back a portion of the building by 0.1m (10

cm) from the east property line to avoid building sway over the property line in the event of seismic activity. Therefore, a side yard setback in between 0 and 3m triggers a variance. The proposed variance is supportable as it is minor in nature and the area along the east side of the building could not be utilized for unenclosed storage nor could a person access the side yard after the building is constructed.

Other Considerations

Road Dedication

The applicant has voluntarily agreed to provide a 1.4m wide road dedication along the Cecelia Road frontage. The dedication will help achieve the policies and objectives in the OCP and *Burnside Gorge Neighbourhood Plan* pertaining to the enhancement of facilities for walking and boulevards, and the protection of the long-term viability of large canopy trees.

Resource Impacts

It is estimated that the annual City maintenance costs to maintain five existing municipal trees acquired through road dedication is \$300.00.

CONCLUSIONS

The proposal to construct a one-storey, including a mezzanine level, industrial building is generally consistent with the design guidelines. The applicant has made some refinements to the proposal in response to the feedback provided at ADP, which improved the proposal. The side yard setback variance is also supportable as it does not trigger any negative impacts on adjoining properties. Staff recommend that Council waive the opportunity for public comment and approve this Development Permit with Variance Application.

ALTERNATE MOTIONS

Option One – Hold an Opportunity for Public Comment

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

1. That Council authorize the issuance of Development Permit with Variance Application No. 00176 for 458 Cecelia Road, in accordance with:
 - a. Plans date stamped April 27, 2022.
 - b. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
 - i. increase the side yard setback (west) from 0m to 0.1m.
 - c. The applicant providing a 1.4m wide road dedication along the Cecelia Road frontage to the satisfaction of the Director of Engineering and Public Works.
2. That the Development Permit, if issued, lapses in two years from the date of this resolution.

Option Two – Decline

That Council decline Development Permit with Variance Application No. 00176 for the property located at 458 Cecelia Road.

Respectfully submitted,

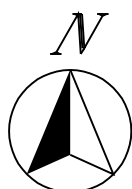
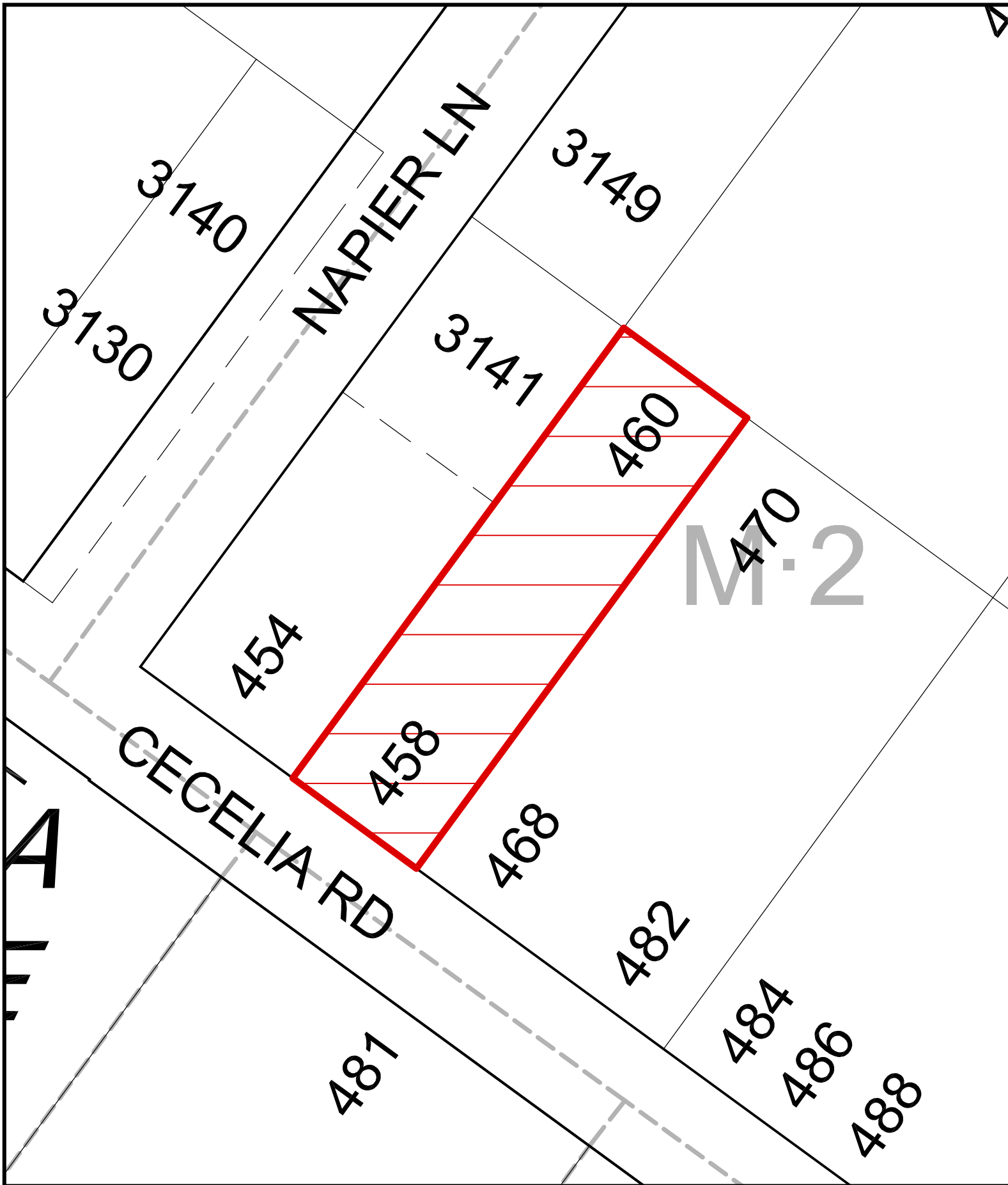
Leanne Taylor
Senior Planner
Development Services Division

Karen Hoesel, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

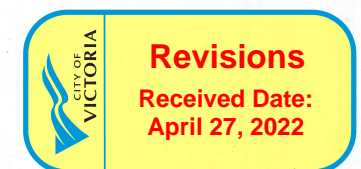
List of Attachments

- Attachment A: Subject Map
- Attachment B: Plans date stamped April 27, 2022
- Attachment C: Letter from applicant to Mayor and Council dated January 20, 2022
- Attachment D: Letter from applicant regarding sustainability features dated June 27, 2020
- Attachment E: Updated arborist report and site plan dated July 8, 2022
- Attachment F: Correspondence.



458/60 Cecelia Road
Development Permit with Variance 00176

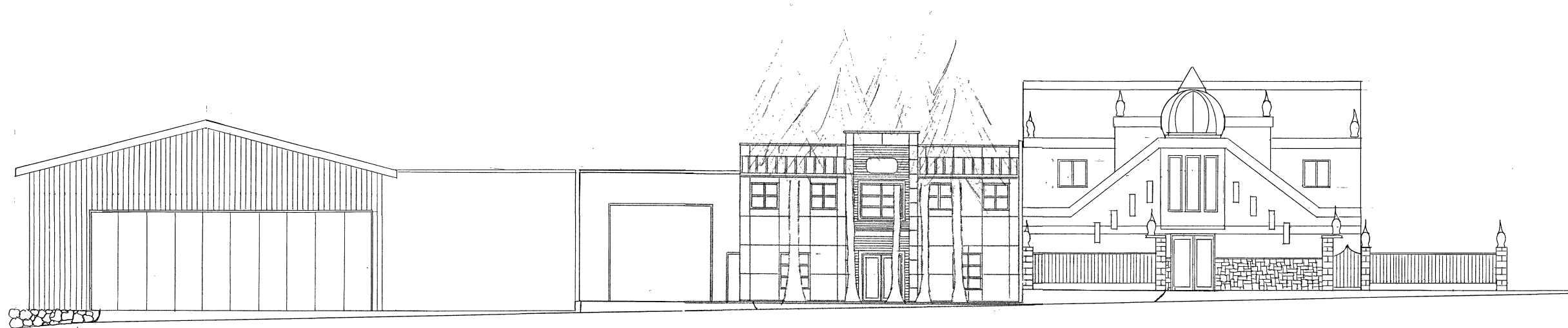




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458-460 CECILIA ROAD			DATE: _____	DESIGNED BY: <u>D.L.</u>
			SCALE: <u>AS SHOWN</u>	DRAWN BY: <u>D.L.</u>
			DRAWING No: <u>391-1</u>	



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45B-460 CECILIA ROAD



T-SQUARE Design & Consulting design@tsquare.ca
2850 Lakehurst Drive, Victoria, BC 250-361-5411

DATE:	DESIGNED BY: DL
SCALE: AS SHOWN	DRAWN BY: DL
DRAWING No: 391-1	

Civic: 458 Cecelia Road
Legal Lot 9, Section 4,
Victoria District, Plan 2214

Parcel Identifier: 006-423-809
in the City of Victoria

LEGEND

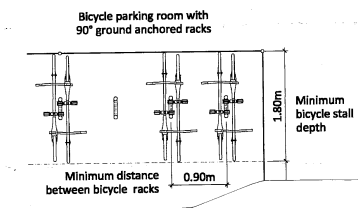
Elevations are to geodetic datum.

- CB □ - denotes - catch basin
UP ○ - denotes - utility pole
UPT ○ - denotes - utility pole with transformer
WM ⊗ - denotes - water meter
+ - denotes - existing elevation

Tree diameters are in centimetres.

Lot Area = 1350 m²

Long-term Bicycle Parking Configurations



SITE DEVELOPMENT

CIVIC ADDRESS	458-460 CECELIA ROAD
ZONING	M-2
TOTAL SITE AREA	1323.19 sq.m.
ALLOWABLE FLOOR SPACE RATIO	3.0 to 1
EXISTING FLOOR SPACE RATIO	284.69 sq.m.
Not including existing house	2151 to 1
PROPOSED FLOOR AREA RATIO	4010 to 1
	530.70 sq.m.

PARKING REQUIRED

BUILDING A	284.69/140	3 SPACES
BUILDING B new building	246.01/140	2 SPACES
REQUIRED		5 SPACES
PROVIDED		7 SPACES
BICYCLE SPACES REQUIRED	SHORT TERM	6 SPACES
PROVIDED		6 SPACES
BICYCLE SPACES REQUIRED	LONG TERM	1 SPACE
PROVIDED		2 SPACES

ELEVATIONS

AVERAGE WEIGHTED GRADE	17.09 m
MAIN FLOOR	17.15 m

HEIGHT

ALLOWABLE HEIGHT	15.00 m
PROPOSED HEIGHT-new building	7.37 m

AVERAGE GRADE CALCULATION:

A+B	$\frac{17.46 + 17.47}{2}$	=	$\frac{17.46 \times 18.49}{2}$	=	322.83
B+C	$\frac{17.47 + 17.05}{2}$	=	$\frac{17.26 \times 12.19}{2}$	=	210.39
C+D	$\frac{17.05 + 16.94}{2}$	=	$\frac{16.99 \times 5.89}{2}$	=	100.07
D+E	$\frac{16.94 + 16.94}{2}$	=	$\frac{16.94 \times 1.53}{2}$	=	32.69
E+F	$\frac{16.94 + 16.90}{2}$	=	$\frac{16.92 \times 6.09}{2}$	=	103.04
F+G	$\frac{16.90 + 16.90}{2}$	=	$\frac{16.90 \times 0.40}{2}$	=	6.76
G+H	$\frac{16.90 + 16.90}{2}$	=	$\frac{16.90 \times 0.40}{2}$	=	6.76
H+J	$\frac{16.90 + 16.90}{2}$	=	$\frac{16.90 \times 0.40}{2}$	=	6.76
J+K	$\frac{16.90 + 17.00}{2}$	=	$\frac{16.95 \times 5.89}{2}$	=	99.83
K+L	$\frac{17.00 + 17.00}{2}$	=	$\frac{17.00 \times 0.40}{2}$	=	6.80
L+M	$\frac{17.00 + 17.00}{2}$	=	$\frac{17.00 \times 0.20}{2}$	=	3.40
M+A	$\frac{17.00 + 17.46}{2}$	=	$\frac{17.23 \times 10.66}{2}$	=	183.67
		=	63.34 m	=	1083.00
GRADE	$\frac{1083.00}{63.34}$	=	17.09 m		



Sustainable Planning and Community Development
1 Centennial Square
Victoria, BC V8W 1P8
T250.361.0263 E DevelopmentServices@victoria.ca

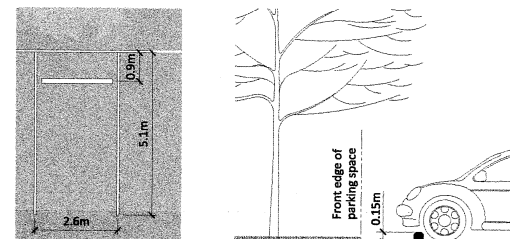
Development Permit
Information

Project Information Table

A copy of the project information table (see sample below) must be included on the site plan.
Please refer to the Zoning Regulation Bylaw for terms within the Project Information Table.
This Bylaw is available online at Zoning | Victoria.
If your proposal involves more than one zone, then provide a Project Information Table for each zone.

PROJECT INFORMATION TABLE	
Zone (existing)	M-2
Site area (m ²)	1323.19
Total floor area (m ²)	530.70
Commercial floor area (m ²)	530.73
Floor space ratio	4010 TO 1
Site coverage %	37.43
Open site space %	3.9
Height of building (m)	7.37
Number of storeys	New-2
Parking stalls (number) on site	7
Bicycle parking number (storage and rack)	8
Building setbacks (m)	
Front yard	4.15
Rear yard	9.28
Side yard (indicate which side)	EXISTING E-0 W-0
Side yard (indicate which side)	NEW E-10 W-6.85
Combined side yards	EXISTING-0 NEW-6.95
Residential Use Details	
Total number of units	
Unit type, e.g., 1 bedroom	
Ground-orientated units	
Minimum unit floor area (m ²)	
Total residential floor area (m ²)	

Figure 3: Required Wheel Stop Placement



Scale 1 : 125 (Plotted on D size sheet)
0 1 5 10
All distances are shown in metres.

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

BC LAND SURVEYORS SITE PLAN OF:

Civic: 458 Cecelia Road

Legal Lot 9, Section 4,
Victoria District, Plan 2214

Parcel Identifier: 006—423—809
in the City of Victoria

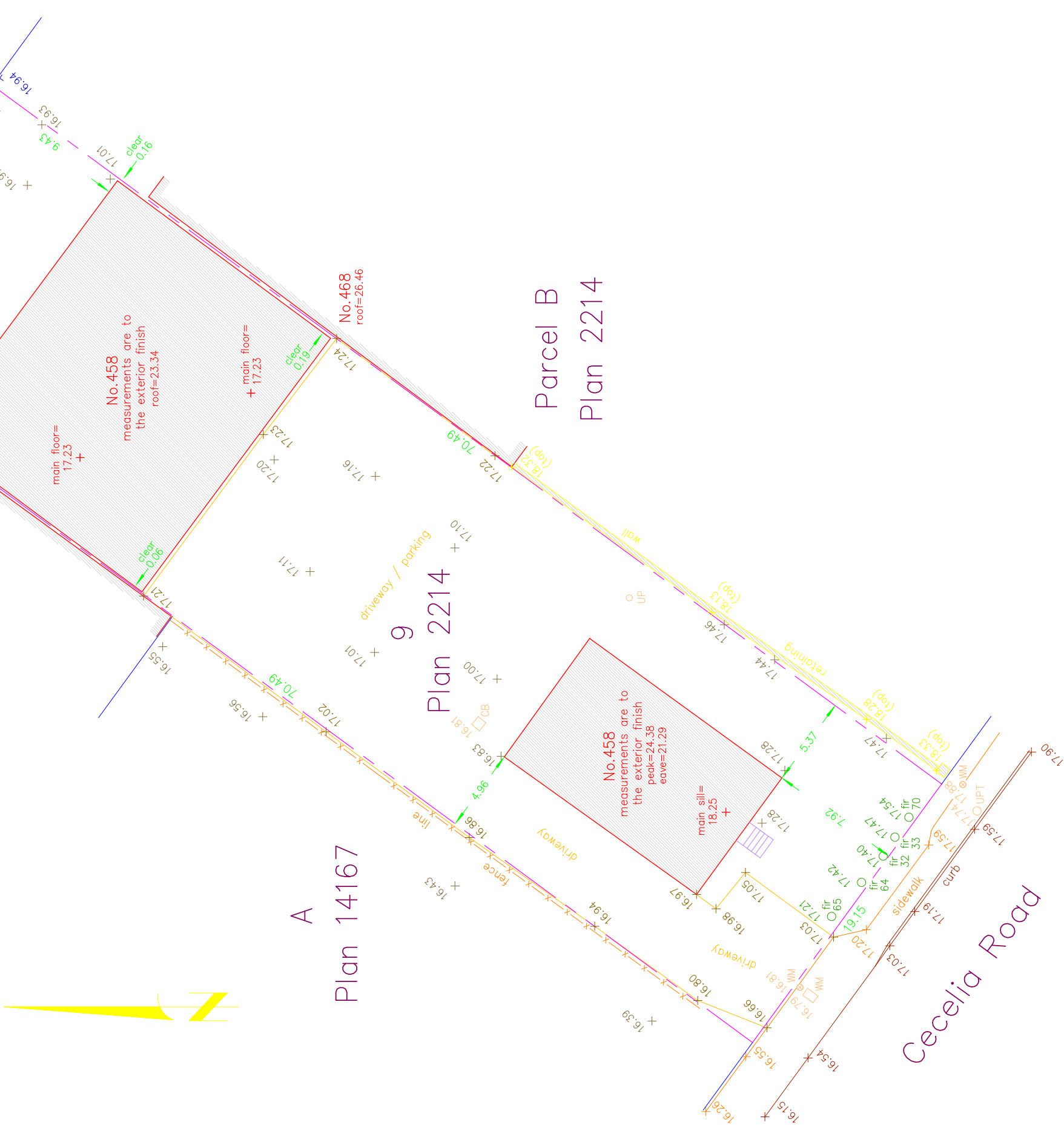
LEGEND

Elevations are to geodetic datum.

- CB □ — denotes — catch basin
- UP ○ — denotes — utility pole
- UPT ○ — denotes — utility pole with transformer
- WM ⊙ — denotes — water meter
- ## — denotes — existing elevation

Tree diameters are in centimetres.

Lot Area = 1350 m2



December 12, 2019

File : 13,116—33

POWELL & ASSOCIATES

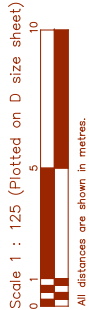
B C Land Surveyors

250—2950 Douglas Street

Victoria, BC V8T 4N4

phone (250) 382—8855

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.
This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.





Minimum of 30% of the required common landscaped areas include a diverse combination of plants and vegetation that are native to southern Vancouver Island food-bearing (capable of being harvested for food and medicine) or that provide pollinator habitats in accordance with the design guidelines.

PLANT LIST

15 BS BLECHNUM SPICANT
24 CM CAREX MORROWII 'EVERGOLD'
3. HB HOSTA 'BEDAZZLED'
22 ON OPHIOPOGON PLANISCAPUS 'NIGRESCENS'
1 RA RHODODENDRON 'ANAH KRUSCHKE'
72 SS SAGINA SUBULATA 'AUREA'
54 TS THYMUS SERPYLLUM 'ELFIN'

DEER FERN	#1
JAPANESE SEDGE	#1
BEDAZZLED HOSTA	#1
BLACK MONDO GRASS	#1
ANAK KRSCHKE RHODODENDRON	#15
SCOTCH MOSS	10 CM
ELFIN THYME	10 CM

NOTES

DRAWING NOT TO BE SCALED - OWNER MUST VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK

ALL BUILDING LAYOUT, SETBACK DIMENSIONS, ALL SURVEY INFORMATION (INCLUDING BASE GEODETIC ELEVATIONS) SUPPLIED BY POWER & ASSOCIATES

PLANTING MATERIAL, INSTALLATION, AND MAINTENANCE
TO CONFORM TO BCSLA/BCLNA STANDARD

ALL GROWING MEDIUM IN SHRUB BEDS TO BE MIN. 450MM
IN DEPTH, LAWN AREAS TO BE MIN. 150MM IN DEPTH

ALL GROWING MEDIUM TO COMPLY TO BCSLA/BSLNA
STANDARD DESIGNATION "1P - LEVEL 1 WELL GROOMED
AREAS"

LEGEND

PAVERSTONE SURFACE

ASPHALT SURFACE

LOOSE PLACED BOULDER
APPROXIMATELY 1Mx0.7Mx0.7M

EXISTING FIR TREES TO REMAIN

GROUND COVER PLANTING AREA

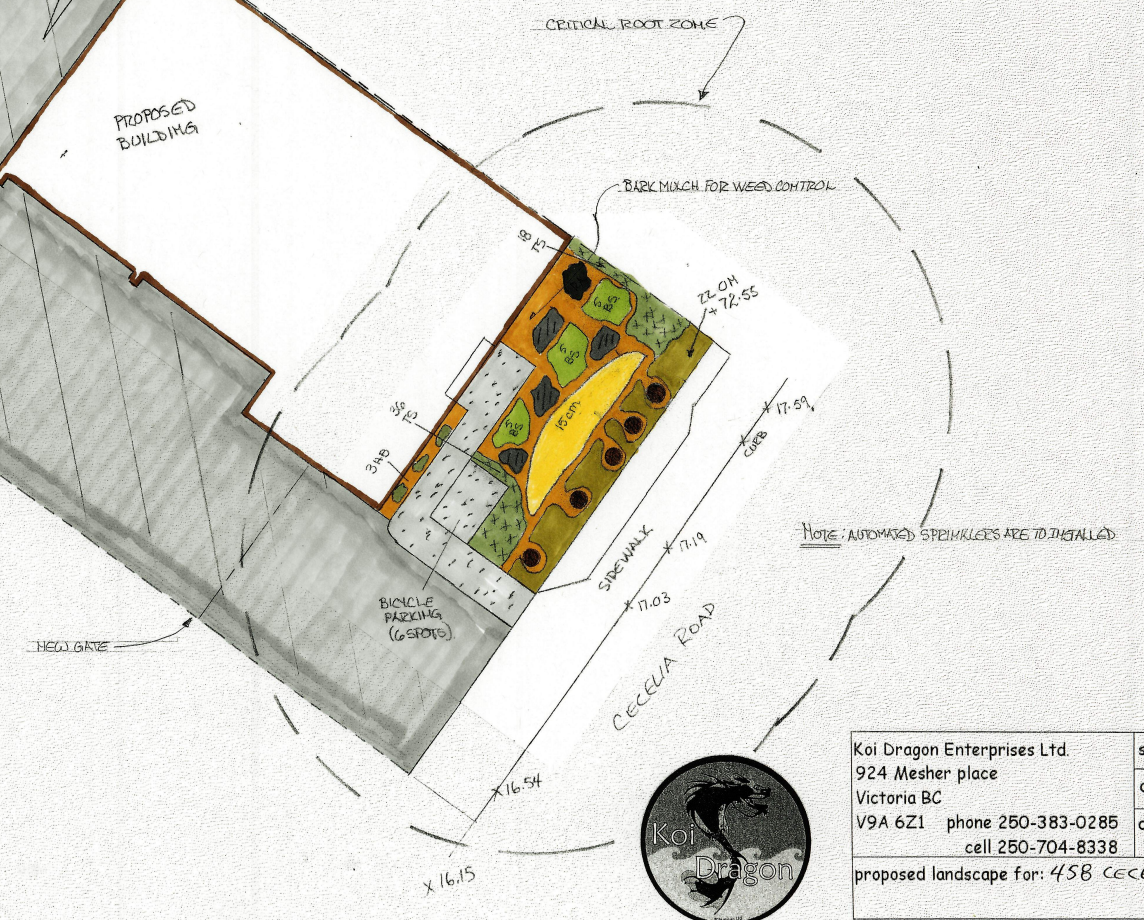
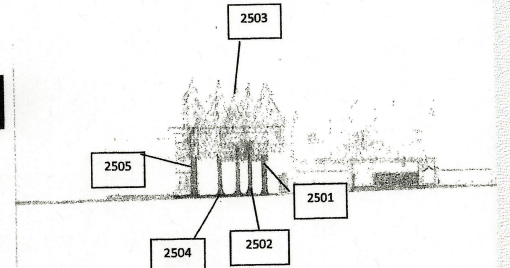
NOTE:

ALL EXISTING FENCING IS TO BE RETAINED

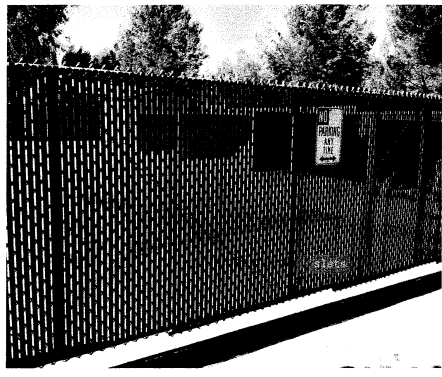
Tag or ID #	Location (On, Off, Shared, City)	Bylaw protected (Yes/No)	Name		dbh (cm)	Critical root zone radius (m)	Drip-line diameter (m)	Condition		Relative tolerance	General field observations/remarks
			Common	Botanical				Health	Structural		
2505	On	Y	Douglas fir	<i>Pseudotsuga menziesii</i>	64	10	10	Fair	Fair	Poor	Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2504	on	Y	Douglas fir	<i>Pseudotsuga menziesii</i>	63	10	10	Fair	Fair	Poor	Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2503	On	Y	Douglas fir	<i>Pseudotsuga menziesii</i>	31	5	5	Fair	Fair-Poor	Poor	Previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2502	On	Y	Douglas fir	<i>Pseudotsuga menziesii</i>	34	5	4	Fair	Fair-Poor	Poor	Previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning, mechanical damage on lower stem damage to root flare on North side
2501	on	Y	Douglas fir	<i>Pseudotsuga menziesii</i>	69	10	8	Fair	Fair-Poor	Poor	Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning

Talbot MacKenzie and Associates

Talbot MacKenzie and Associates



Koi Dragon Enterprises Ltd. 924 Mesher place Victoria BC V9A 6Z1 phone 250-383-0285 cell 250-704-8338	scale: 1:125
	date: MAY 31 2020
	drawn by: BL
proposed landscape for: 458 CECILIA ROAD	



GATE DETAIL

Minimum of 30% of the required common landscaped areas include a diverse combination of plants and vegetation that are native to southern Vancouver Island, food-bearing (capable of being harvested for food and medicine) or that provide pollinator habitats in accordance with the design guidelines.

PLANT LIST

15	BS	BLECHNUM SPICANT
24	CM	CAREX MORROWII 'EVERGOLD'
3	HB	HOSTA 'BEDAZZLED'
22	ON	OPHIPOGON PLANISCAPUS 'NIGRESCENS'
1	RA	RHODODENDRON 'ANAH KRUSCHKE'
72	SS	SAGINA SUBULATA 'AUREA'
54	TS	THYMUS SERPYLLUM 'ELFIN'

DEER FERN	#1
JAPANESE SEDGE	#1
BEDAZZLED HOSTA	#1
BLACK MONDO GRASS	#1
ANAH KRUSCHKE RHODODENDRON	#15
SCOTCH MOSS	10 CM
ELFIN THYME	10 CM

NOTES

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ALL BUILDING LAYOUT, SETBACK DIMENSIONS, ALL SURVEY INFORMATION (INCLUDING BASE GEODETIC ELEVATIONS) SUPPLIED BY POWELL & ASSOCIATES

PLANTING MATERIAL, INSTALLATION, AND MAINTENANCE TO CONFORM TO BCSLA/BCNA STANDARD

ALL GROWING MEDIUM IN SHRUB BEDS TO BE MIN. 450MM IN DEPTH, LAWN AREAS TO BE MIN. 150MM IN DEPTH

ALL GROWING MEDIUM TO COMPLY TO BCSLA/BCNA STANDARD DESIGNATION "1P - LEVEL 1 WELL GROOMED AREAS"

LEGEND

	PAVERSTONE SURFACE
	ASPHALT SURFACE
	LOOSE PLACED BOULDER APPROXIMATELY 1M X 0.7M X 0.7M
	EXISTING FIR TREES TO REMAIN
	GROUND COVER PLANTING AREA

NOTE:

ALL EXISTING FENCING IS TO BE RETAINED

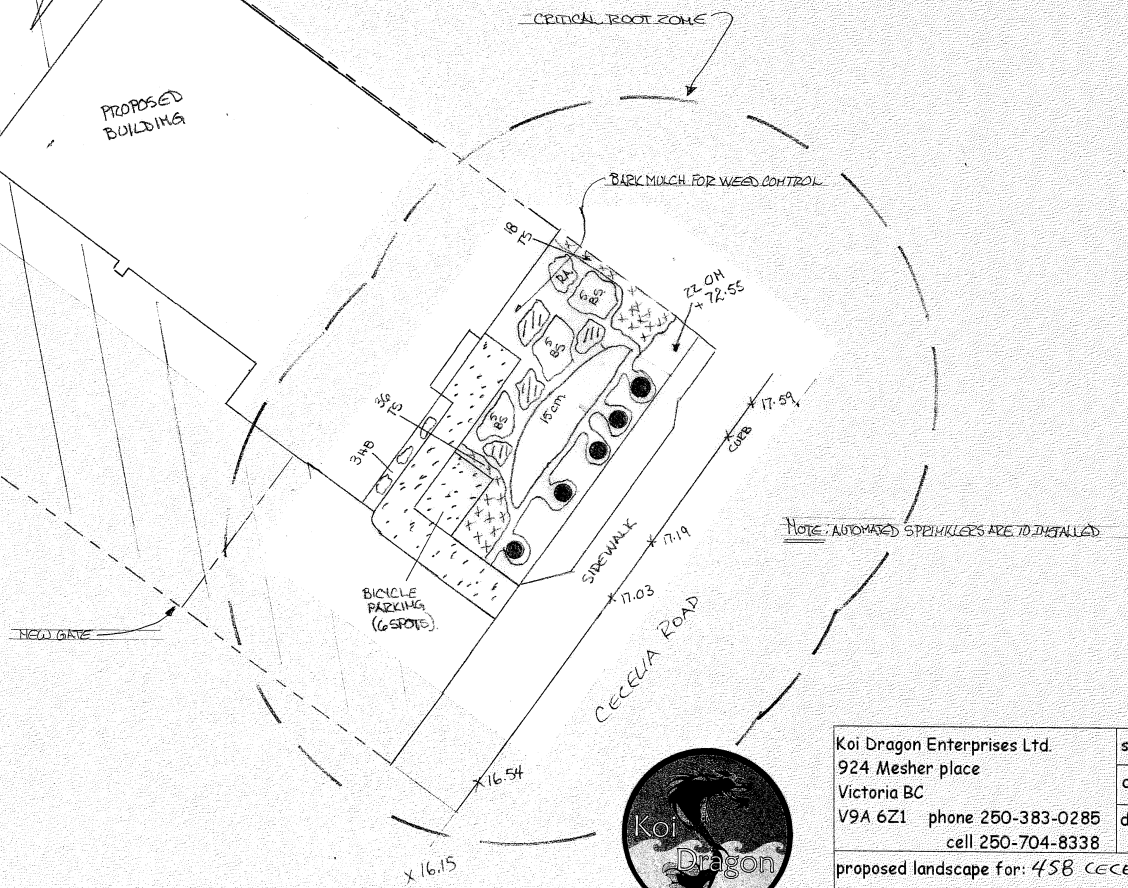
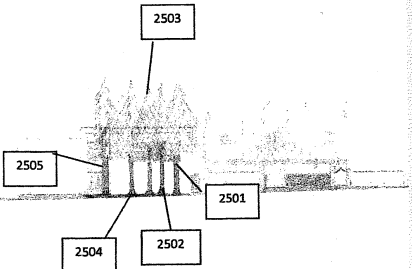
458 Cecelia Rd, Victoria, BC

458 Cecelia Rd, Victoria, BC

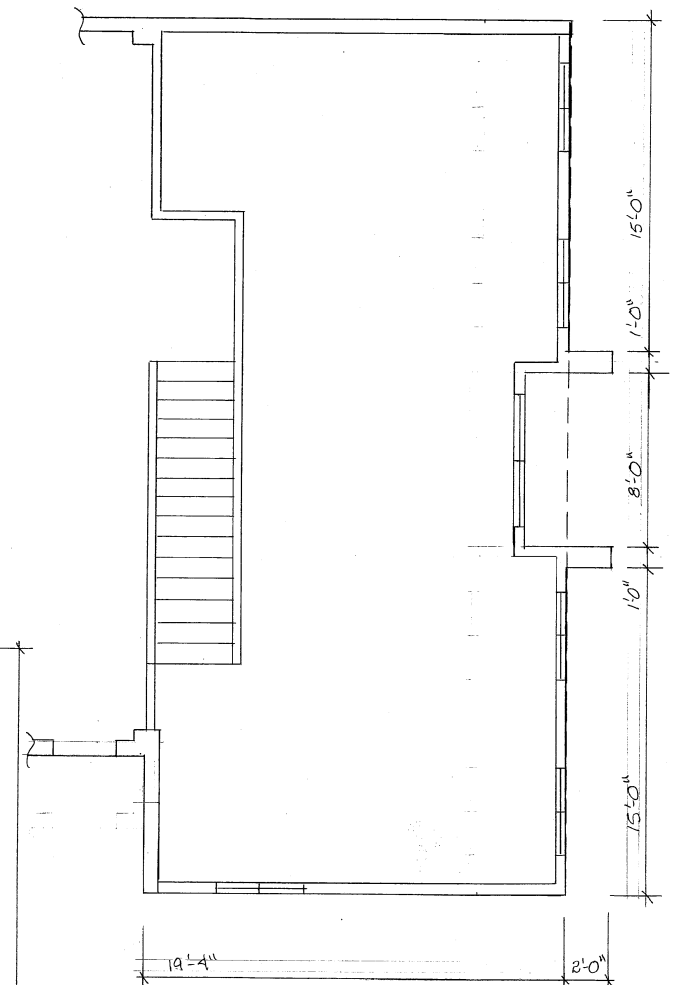
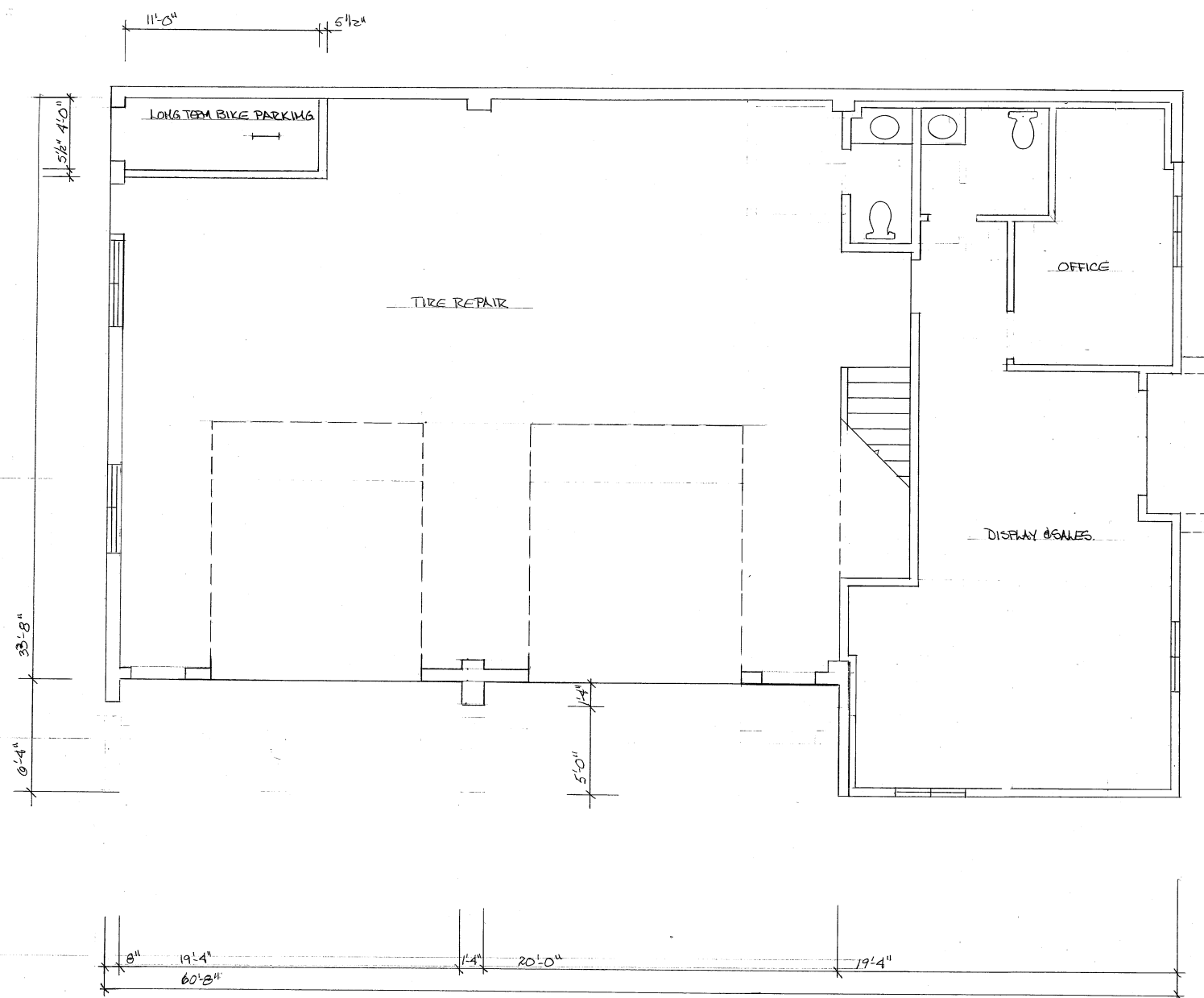
Tag or ID #	Location On Off, Shared, City	Bylaw protected ? (Yes/No)	Name	Common	Scientific	Critical root zone dbh (cm)	radius (m)	Drip-line diameter (m)	Height	Structure	Condition	Relative tolerance	General field observations/remarks
2506	On	Y	Douglas fir	Pseudotsuga menziesii		64	10	10	Fair	Fair	Poor		Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2504	on	Y	Douglas fir	Pseudotsuga menziesii		83	10	10	Fair	Fair	Poor		Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2503	On	Y	Douglas fir	Pseudotsuga menziesii		31	5	5	Fair	Fair-Poor	Poor		pruning previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2502	On	Y	Douglas fir	Pseudotsuga menziesii		34	5	4	Fair	Fair-Poor	Poor		pruning, mechanical damage to root flare on North side Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning
2501	on	Y	Douglas fir	Pseudotsuga menziesii		89	10	8	Fair	Fair-Poor	Poor		pruning

Talbot MacKenzie and Associates

Talbot MacKenzie and Associates



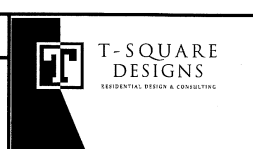
Koi Dragon Enterprises Ltd. 924 Mesher place Victoria BC V9A 6Z1 phone 250-383-0285 cell 250-704-8338	scale: 1:125 date: MAY 31 2020 drawn by: BL proposed landscape for: 458 CECELIA ROAD
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MEZZANINE PLAN
 1/4"=1'-0" 651.07 #
 FLOOR AREA 609.73 #

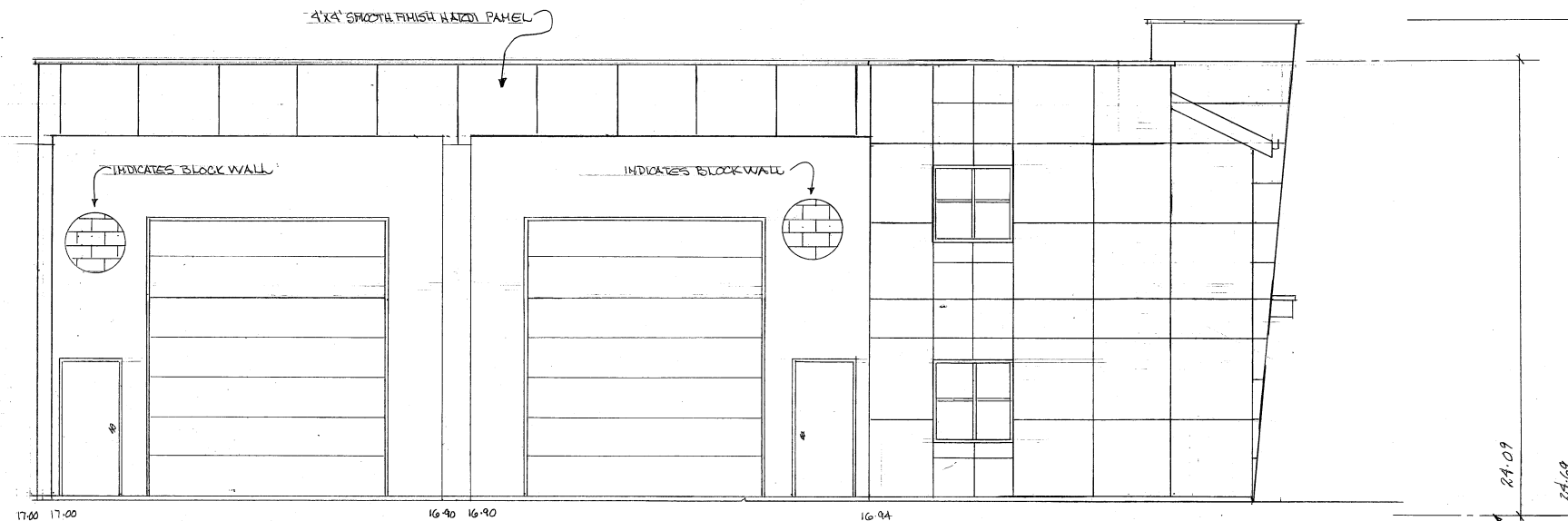
FLOOR PLAN
 1/4"=1'-0" 2104.88 #
 FLOOR AREA 2038.46 #

1217619 B.C. LTD.
 458-460 CECEVA ROWS

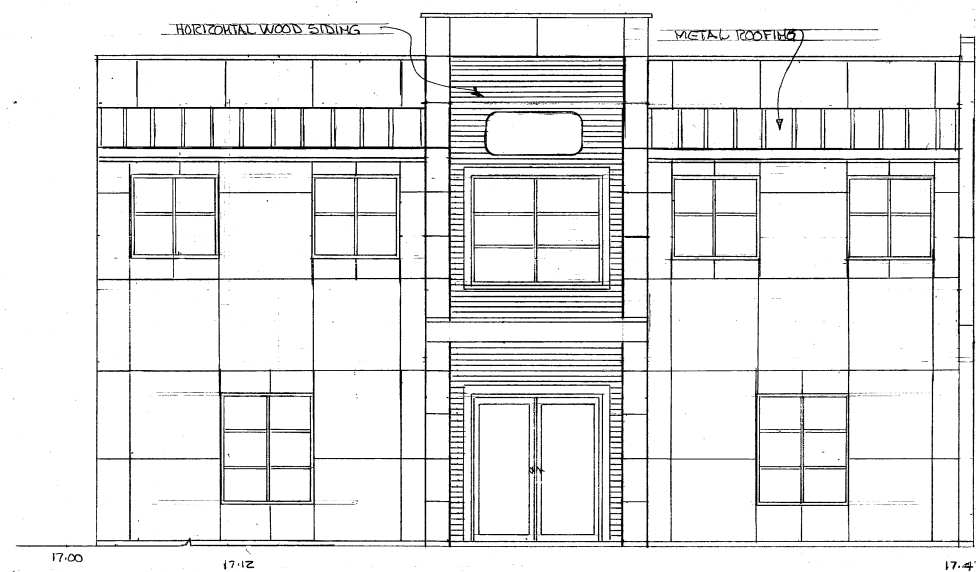


T-SQUARE Design & Consulting 2850 Lakehurst Drive, Victoria, BC		designer@telus.net 250-361-5411
DATE:	DESIGNED BY: DL	
SCALE: AS SHOWN	DRAWN BY: DL	
DRAWING No:	391-3	

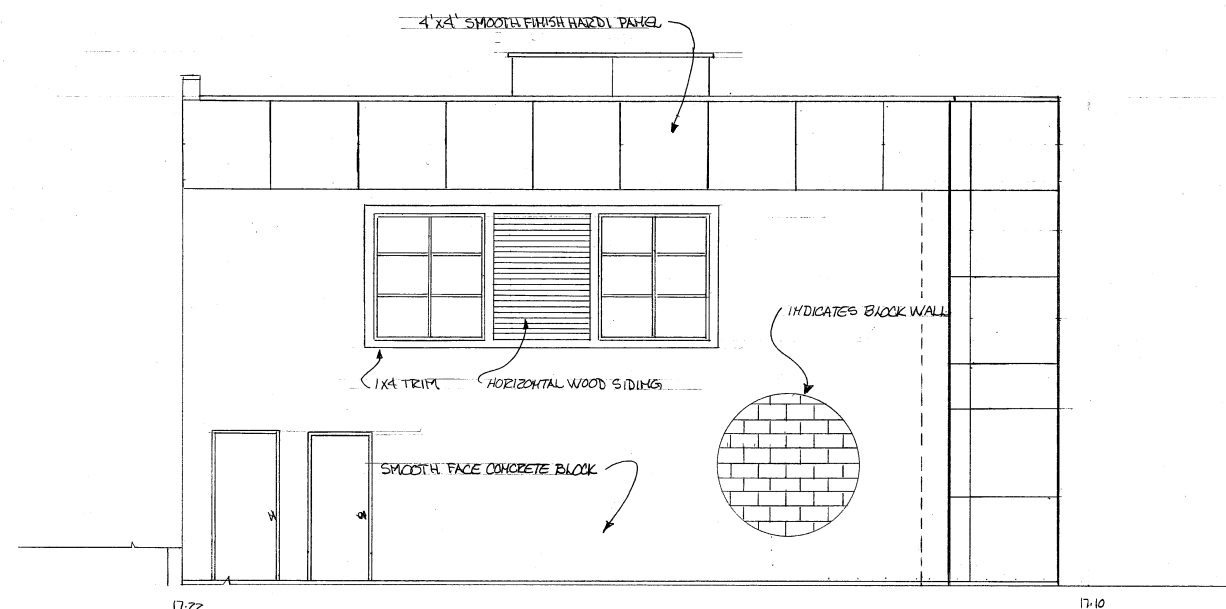
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SIDE (WEST) ELEVATION
1/4"=1'-0"



FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"

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158-460 CECELIA ROAD



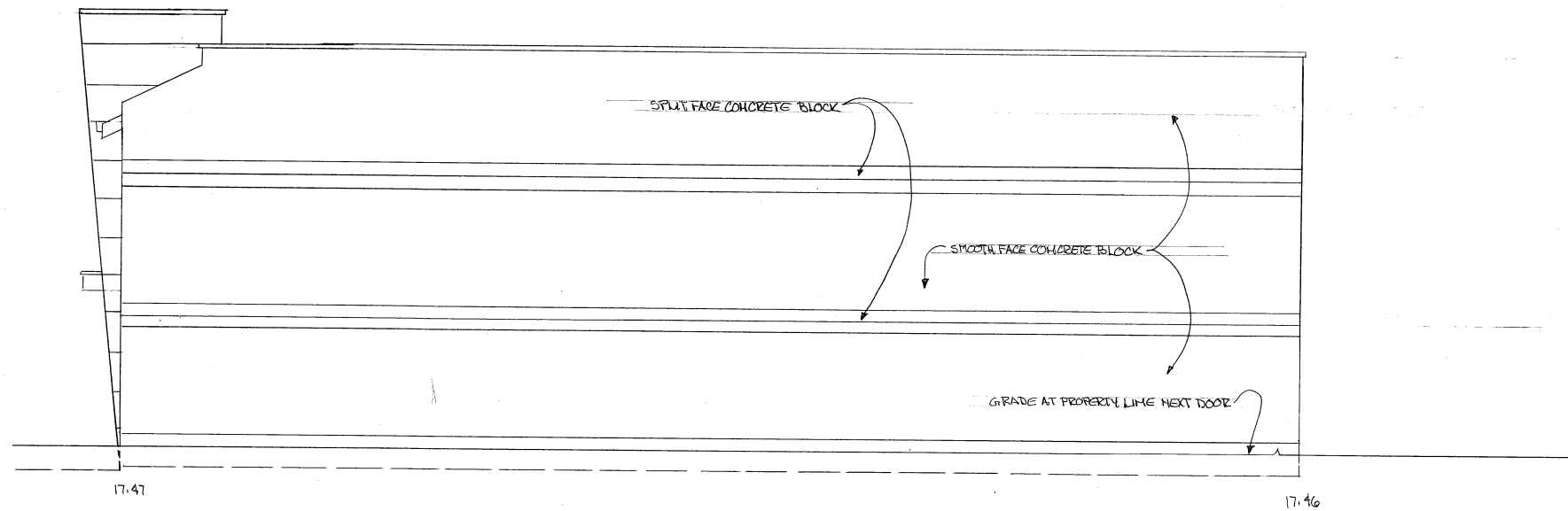
T-SQUARE
DESIGNS
RESIDENTIAL DESIGN & CONSULTING

T-SQUARE Design & Consulting design@tsquare.ca
2850 Lakehurst Drive, Victoria, BC 250-361-5411

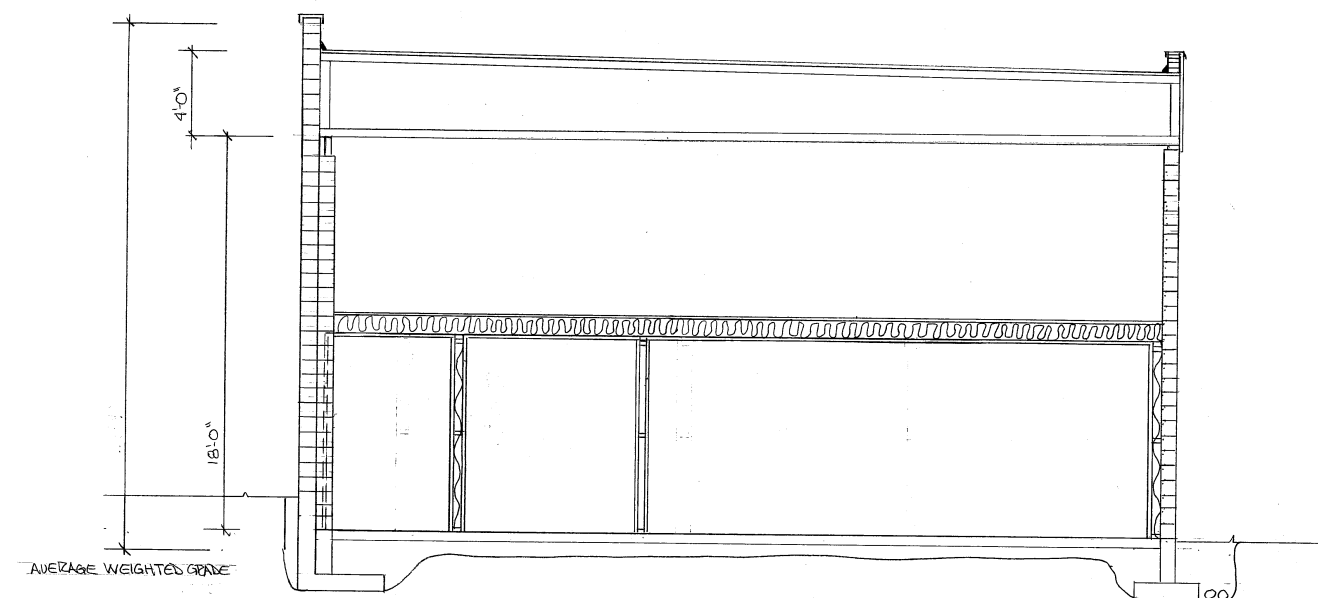
DATE: DESIGNED BY: D.L.

SCALE: AS SHOWN DRAWN BY: D.L.

DRAWING No: 3912



SIDE (EAST) ELEVATION
1/4\"/>



SECTION AA
1/4\"/>

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1217619 B.C. LTD

158-460 CECILIA ROAD.

T-SQUARE DESIGNS
RESIDENTIAL DESIGN & CONSULTING

T-SQUARE Design & Consulting designer@telus.net
2850 Lakehurst Drive, Victoria, BC 250-361-5411

DATE: DESIGNED BY: D.L.

SCALE: AS SHOWN. DRAWN BY: D.L.

DRAWING No: 391-2

` January 20, 2022

City of Victoria Mayor and Council

Dear Mayor and Council,

My partners and I have been back and forth with City staff for over a year trying to get plans approved for construction of a small commercial/industrial building at 458 Cecelia. The lot is zoned light industrial and to that end we have designed a simple building that can have multiple uses. The new building mimics the existing building at the back of the property in size and height. We have attended (on line) various meetings with the City and Advisory panels and to the best of our ability have tried to address their concerns.

Our most involved neighbour is the Sikh Temple to the NE of our property. We have met with them on several occasions to discuss their concerns. They very much wanted us to use the same colour scheme on our NE wall to match the colour of the Temple and they have asked us to use a pattern of split faced and flat concrete block in the structure. We can accommodate them on both issues. They also asked us not to add to the landscaping on that side as they have done considerable planting and are worried about maintenance in the future.

We have been back and forth with the City about the front elevation, bearing in mind that it is relatively small compared to neighbouring buildings, the exposure being 20' high by 40' long. We have centered the entry and added windows with eyebrow roofs over their tops along with two decorative wing walls. We would use the same colour scheme as on the existing building, but understand that future lessees may want to use their own colours for advertising. There is extensive landscaping in the small area in front of the building and we have ceded 1.5M to the City along the front property line in order to save five good sized fir trees in that area. The property will be secured with fencing and a custom-made double gate on the NW side of the front corner.

My hope is that council will approve the drawings as they stand so that we can continue with the permit process and hopefully have a spade in the ground this Spring.

On behalf of Larry Davies, Irene Tiampo, and Stephanie White, I thank Council for taking the time and look forward to your response.

Best Regards,

Hans de Goede

June 27, 2020

Regarding the building permit application for 458 Cecelia and how it pertains to "Built Green".

To Whom it may Concern,

The proposed new industrial building at 458 Cecelia will meet or exceed all the requirements in the Building Code that pertain to energy efficiency. As well, it will have low flush toilets, NAF rated exterior doors, LED lighting and systems for recovering excess oil and grease if it is built as a mechanics shop. We have spoken to City of Victoria officials, and are dedicating a meter to a meter and a half of land to protect the fir trees at the front of the building and we are looking into the possibility of using the roof to produce solar power.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Hans de Goede', written in a cursive style.

Hans de Goede, owner, for,

Hans de Goede Dev. Ltd. and Davies Contracting Ltd. [Partners in 1217619 BC Ltd.]



TALBOT MACKENZIE & ASSOCIATES

CONSULTING ARBORISTS

458 Cecelia Rd, Victoria, BC

Construction Impact Assessment & Tree Management Plan

PREPARED FOR: T-Square Design and Consulting Ltd
2850 Lakehurst Dr.
Victoria, BC
V8W 1S6

PREPARED BY: Talbot, Mackenzie & Associates
Shannon Murray – Consulting Arborist
ISA Certified # PN-9024A
Tree Risk Assessment Qualified

DATE OF ISSUANCE: March 4th, 2022
UPDATED: July 8th, 2022

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1. INTRODUCTION

Talbot Mackenzie & Associates was asked to complete a tree inventory, construction impact assessment and management plan for the trees at the following proposed project:

Site:	458 Cecelia Rd.
Municipality	City of Victoria
Client Name:	T-Square Design and Consulting
Dates of Site Visit:	May 13st, 2021, February 26th, 2022
Site Conditions:	1 urban lot. Proposed new building and amendments to landscape design
Weather During Site Visit:	Clear, Sunny

The purpose of this report is to address requirements of the City of Victoria arborist report terms of reference, and Tree Preservation Bylaw No. 05-106. The construction site survey (December 12, 2019) prepared by Powell and Associates, the site plan prepared by T-Square design, and Landscape plan (May 31, 2020) - Prepared by Koi Dragon Enterprises Ltd. At this time, we have not reviewed a civil servicing plan (showing proposed underground utility connection locations). It should be noted that we have not reviewed the servicing plan for this project.

2. TREE INVENTORY METHODOLOGY

Prior to our site visit, we were provided sketched landscape drawings including surveyed tree locations. For the purposes of this report, the size, health, and structural condition of trees was documented. For ease of identification in the field, numerated metal tags were attached to the lower trunks of onsite trees.

3. EXECUTIVE SUMMARY

The inventory indicates all 5 of the Douglas fir trees along the Cecelia frontage are protected under the City of Victoria Tree Preservation Bylaw. Based on the plans that have been provided, we believe the 5 firs are possible for retention provided tree protection fencing be installed in accordance with *Appendix A*, the project arborist be on site to supervise excavation within the CRZ and the paving through the CRZ be altered to reflect the details in *Appendix C*. The Landscape plan shows the area around the firs will consist of a more permeable and naturalized substrate than the existing gravel. This with the combination of the proposed irrigation system in the same area will help mitigate subsequent stress to the health of the trees due to disturbance within their critical root zones.

To mitigate mechanical damage to the crowns of these trees, some crown reduction pruning may be necessary. This pruning should be carries out by an ISA certified arborist according to City of Vitoria bylaw No. 21-035 and industry best practices.

Although there is not currently any city of Victoria owned trees within proximity of the proposed work, it is our understanding that the city will be assuming ownership of the 5 firs and corresponding boulevard upon the completion of this project. The City may choose to remove the firs and plant a more desirable species for this location.

4. TREE INVENTORY DEFINITIONS

Tag: Tree identification number on a metal tag attached to tree with nail or wire, generally at eye level. Trees on municipal or neighboring properties are not tagged.

NT: No tag due to inaccessibility or ownership by municipality or neighbour.

DBH: Diameter at breast height – diameter of trunk, measured in centimetres at 1.4m above ground level. For trees on a slope, it is taken at the average point between the high and low side of the slope.

* Measured over ivy

~ Approximate due to inaccessibility or on neighbouring property

Dripline: Indicates the radius of the crown spread measured in metres to the dripline of the longest limbs.

Relative Tolerance Rating: Relative tolerance of the tree species to construction related impacts such as root pruning, crown pruning, soil compaction, hydrology changes, grade changes, and other soil disturbance. This rating does not take into account individual tree characteristics, such as health and vigour. Three ratings are assigned based on our knowledge and experience with the tree species: Poor (P), Moderate (M) or Good (G).

Critical Root Zone: A calculated radial measurement in metres from the trunk of the tree. It is the optimal size of tree protection zone and is calculated by multiplying the DBH of the tree by 10, 12 or 15 depending on the tree's Relative Tolerance Rating. This methodology is based on the methodology used by Nelda Matheny and James R. Clark in their book "Trees and Development:

A Technical Guide to Preservation of Trees During Land Development."

- 15 x DBH = Poor Tolerance of Construction
- 12 x DBH = Moderate
- 10 x DBH = Good

To calculate the critical root zone, the DBH of multiple stems is considered the sum of 100% of the diameter of the largest stem and 60% of the diameter of the next two largest stems. It should be noted that these measures are solely mathematical calculations that do not consider factors such as restricted root growth, limited soil volumes, age, crown spread, health, or structure (such as a lean).

Health Condition:

- Poor - significant signs of visible stress and/or decline that threaten the long-term survival of the specimen
- Fair - signs of stress

- Good - no visible signs of significant stress and/or only minor aesthetic issues

Structural Condition:

- Poor - Structural defects that have been in place for a long period of time to the point that mitigation measures are limited
- Fair - Structural concerns that are possible to mitigate through pruning
- Good - No visible or only minor structural flaws that require no to very little pruning

Suitability ratings are described as follows:

Rating: Suitable.

- A tree with no visible or minor health or structural defects, is tolerant to changes to the growing environment and is a possible candidate for retention provided that the critical root zone can be adequately protected.

Rating: Conditional.

- A tree with good health but is a species with a poor tolerance to changes to its growing environment or has a structural defect(s) that would require that certain measures be implemented, in order to consider it suitable for retention (ie. retain with other codominant tree(s), structural pruning, mulching, supplementary watering, etc.)

Rating: Unsuitable.

- A tree with poor health, a major structural defect (that cannot be mitigated using ANSI A300 standards), or a species with a poor tolerance to construction impacts, and unlikely to survive long term (in the context of the proposed land use changes).

Retention Status:

- Remove - Not possible to retain given proposed construction plans
- Retain - It is possible to retain this tree in the long-term given the proposed plans and information available. This is assuming our recommended mitigation measures are followed
- Retain * - See report for more information regarding potential impacts

Table 1. Tree Inventory

Tag or ID #	Surveyed ? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected ? (Yes/No)	Name		dbh (cm)	Critical root zone radius (m)	Dripline diameter (m)	Condition		Relative tolerance	General field observations/remarks	Retention/Location comments	Retention Status
				Common	Botanical				Health	Structural				
2505	Yes	On	Yes	Douglas fir	<i>Pseudotsuga menziesii</i>	64	9.3	10	Fair	Fair	Poor	Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping proposed new building and driveway. Possible for retention provided tree protection fencing be installed in accordance with <i>Appendix A</i> , project arborist to be on site to supervise excavation within CRZ, and paving of driveway through the CRZ shall follow details in <i>Appendix C</i>	Retain
2504	Yes	On	Yes	Douglas fir	<i>Pseudotsuga menziesii</i>	63	9.1	10	Fair	Fair	Poor	Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping proposed new building and driveway. Possible for retention provided tree protection fencing be installed in accordance with <i>Appendix A</i> , project arborist to be on site to supervise excavation within CRZ, and paving of driveway through the CRZ shall follow details in <i>Appendix C</i>	Retain
2503	Yes	On	Yes	Douglas fir	<i>Pseudotsuga menziesii</i>	31	4.5	5	Fair	Fair-Poor	Poor	previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping landscaped area, project arborist to supervise any excavation within CRZ and tree protection fencing to be installed according to <i>Appendix A</i>	Retain
2502	Yes	On	Yes	Douglas fir	<i>Pseudotsuga menziesii</i>	34	4.9	4	Fair	Fair-Poor	Poor	Previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning, mechanical damage on lower stem, damage to root flare on North side	CRZ overlapping landscaped area, project arborist to supervise any excavation within CRZ and tree protection fencing to be installed according to <i>Appendix A</i>	Retain
2501	Yes	On	Yes	Douglas fir	<i>Pseudotsuga menziesii</i>	69	10.0	8	Fair	Fair-Poor	Poor	Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping proposed new building and driveway. Possible for retention provided tree protection fencing be installed in accordance with <i>Appendix A</i> and project arborist to be on site to supervise excavation within CRZ	Retain

*CRZ calculated above and drawn as follows on Tree Management Plan (T1): **CRZ - 0.5 * d.b.h.** (drawn from the center of the stem)

5. SITE INFORMATION & PROJECT UNDERSTANDING

The site consists of one commercial urban lot (458 Cecelia Rd.) in Victoria, B.C., which has existing commercial lots adjacent on all sides. It is our understanding that the proposal is to demolish the existing building and replace it with a new building on an altered footprint. The City is proposed to take ownership of the first 1.4m along the boulevard, including the ownership of the 5 firs. In addition to the proposed new building, there is a proposed landscaped area which is to include the 5 inventoried Douglas firs along the Cecelia Rd frontage, as well as a bicycle parking area directly beside. As part of the project,

6. FIELD OBSERVATIONS

The onsite tree resources consist of 5 Douglas firs (*Pseudotsuga menziesii*) clustered beside the driveway, in one row along the Cecelia Rd frontage, on the Southwestern margin of the property. Soil at the base of the 5 firs appears compacted, and vehicles are parked within the root zone on the North side of the trees inside the fence. All 5 of the firs appear to have undergone pruning in the past, likely for clearance from the hydro lines which run parallel to the Cecelia Rd.



Figure 1: Site context air photo: The boundary of the subject site is outlined in yellow.

7. CONSTRUCTION IMPACT ASSESSMENT

7.1. RETENTION AND REMOVAL OF MUNICIPAL TREES

There are no municipal trees in proximity to the proposed work zone,

7.2. RETENTION AND REMOVAL OF PRIVATE OFFSITE TREES

There are no offsite trees located on adjacent private property within proximity to the proposed work zone of this project.

7.3. RETENTION AND REMOVAL OF ONSITE TREES

The following onsite trees (indicated by tag #) are located where they are possible for retention providing that their critical root zones are adequately protected during construction. The project arborist must be onsite to supervise any excavation or fill placement required within their critical root zones (shown on the tree management plan (T1) in Appendix A):

Retain:

- 2501, 2502, 2503, 2504, 2505

Quantity of Existing bylaw protected trees	# of Trees Retained	# of Trees Removed	Replacement Tree Ratio	Replacement Trees Required	Replacement Trees Proposed	Replacement Trees in Deficit
Onsite						
5	5	0	N/A	N/A	N/A	N/A
City owned Trees						
0	0	0	2:1	<u>N/A</u>	N/A	N/A
Private offsite Trees						
0	0	0	2:1	N/A		
			Total:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

8. IMPACT MITIGATION

Tree Protection Barrier: The areas surrounding the trees to be retained should be isolated from the construction activity by erecting protective barrier fencing (see **Appendix A** for municipal barrier specifications). Where possible, the fencing should be erected at the perimeter of the critical root zone. The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

NOTE: This is required for bylaw protected trees and municipal trees and recommended for trees the client wishes to retain.

Arborist Supervision: All excavation occurring within the critical root zones of trees to be retained should be completed under supervision by the project arborist. Any severed or severely damaged roots must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound. In particular, the following activities should be completed under the direction of the project arborist:

- excavation and landscape materials/hardscape installation around trees #2501-2505

Methods to Avoid Soil Compaction: In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:

- Installing a layer of hog fuel or coarse wood chips at least 20 cm in depth and maintaining it in good condition until construction is complete.
- Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15 cm over top.
- Placing two layers of 19mm plywood.
- Placing steel plates.

Paved Surfaces Above Tree Roots:

If the new paved surfaces within the CRZ of tree to be retained require excavation down to bearing soil and roots are encountered in this area, this could impact their health and structural stability. If tree retention is desired, perimeter of proposed curbs of planter beds may need to be amended to limit encroachment of critical root zone of retained trees.

Mulching: Mulching can be an important proactive step in maintaining the health of trees and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips or bark pieces and be 5-8cm deep. No mulch should be touching the trunk of the tree. See “methods to avoid soil compaction” if the area is to have heavy traffic.

Landscaping and Irrigation Systems: The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must account for the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technician consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on tree health and can lead to root and trunk decay.

Arborist Role: It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing

- Reviewing the report with the project foreman or site supervisor
- Locating work zones, where required
- Supervising any excavation within the critical root zones of trees to be retained
- Reviewing and advising of any pruning requirements for machine clearances

Review and site meeting: Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

9. DISCLOSURE STATEMENT

This arboricultural field review report was prepared by Talbot Mackenzie & Associates for the exclusive use of the Client and may not be reproduced, used or relied upon, in whole or in part, by a party other than the Client without the prior written consent of Talbot Mackenzie & Associates. Any unauthorized use of this report, or any part hereof, by a third party, or any reliance on or decisions to be made based on it, are at the sole risk of such third parties. Talbot Mackenzie & Associates accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report, in whole or in part.

Arborists are professionals who examine trees and use their training, knowledge, and experience to recommend techniques and procedures that will improve a tree's health and structure or to mitigate associated risks. Trees are living organisms whose health and structure change and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. The arborist's review is limited to a visual examination of tree health and structural condition, without excavation, probing, resistance drilling, increment coring, or aerial examination. There are inherent limitations to this type of investigation, including, without limitation, that some tree conditions will inadvertently go undetected. The arborist's review followed the standard of care expected of arborists undertaking similar work in British Columbia under similar conditions. No warranties, either express or implied, are made as to the services provided and included in this report.

The findings and opinions expressed in this report are based on the conditions that were observed on the noted date of the field review only. The Client recognizes that passage of time, natural occurrences, and direct or indirect human intervention at or near the trees may substantially alter discovered conditions and that Talbot Mackenzie & Associates cannot report on, or accurately predict, events that may change the condition of trees after the described investigation was completed.

It is not possible for an Arborist to identify every flaw or condition that could result in failure nor can he/she guarantee that the tree will remain healthy and free of risk. The only way to eliminate tree risk entirely is to remove the entire tree. All trees retained should be monitored on a regular basis. Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

Immediately following land clearing, grade changes or severe weather events, all trees retained should be reviewed for any evidence of soil heaving, cracking, lifting or other indicators of root plate instability. If new information is discovered in the future during such events or other activities, Talbot Mackenzie & Associates

should be requested to re-evaluate the conclusions of this report and to provide amendments as required prior to any reliance upon the information presented herein.

10. IN CLOSING

We trust that this report meets your needs. Should there be any questions regarding the information within this report, please do not hesitate to contact the undersigned.

Yours truly,

Talbot Mackenzie & Associates

Prepared by:

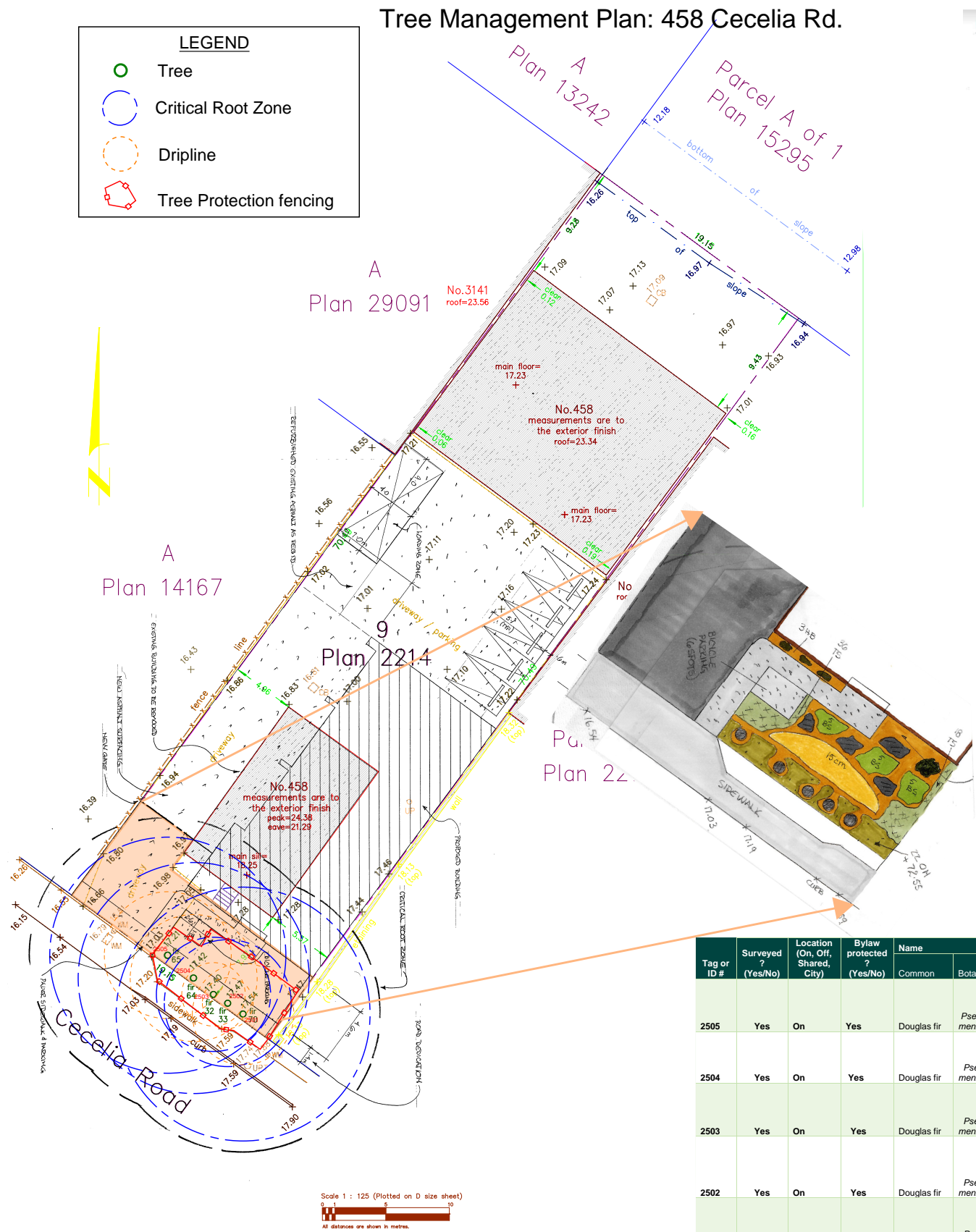
A handwritten signature in black ink, appearing to read 'Shannon Murray', with a stylized, flowing script.

Shannon Murray BSc
ISA Certified Arborist PN – 9024A
Tree Risk Assessment Qualification
Email: tmtreehelp@gmail.com

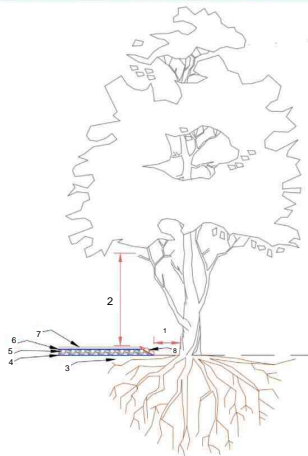
11. REFERENCES

The City of Victoria Tree Preservation Bylaw No. 21-035

APPENDIX A - TREE MANAGEMENT PLAN

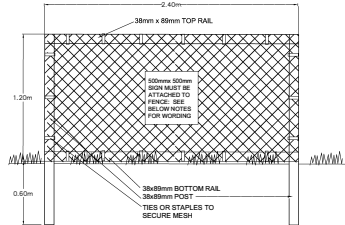


HARD SURFACE ABOVE TREE ROOTS DETAIL



1. Maintain as large a setback as possible between fill encroachment and the root cellar of the tree as possible.
2. Review any canopy clearance pruning requirements to accommodate vehicle or pedestrian clearances (pruning to be performed to ANSI A300 standards)
3. Excavate the new footprint of the driveway or sidewalk under the supervision of the project arborist. Excavation will be limited to the removal of the existing sod layers. Excavation around root structures must be performed by hand, airspace, or hydroexcavation.
4. Install a two-dimensional (such as combi-grid30/30) or three-dimensional geogrid reinforcement.
5. Install a 150mm depth layer of clear crushed gravel (no fines) using 20mm and/or 75mm diameter material or approved equivalent. *Note: depth may be less than 150mm in some situations (dependant on grading constraints)
6. Install medium weight geotextile fabric (such as Nilex 4535or similar) over the clear gravel layer to prevent fine particles of sand infiltrating this layer.
7. The bedding or base layer and new driveway or sidewalk surface can be installed directly on top of the felted filter fabric.
8. Fill slopes – where possible, install loose-stacked boulders to reduce footprint of fill slopes that encroach within the critical root zone. Fill slope materials must be permeable to air and water. Do not pile fill material directly against tree trunk.

SUPPLEMENTARY STANDARD DETAIL DRAWINGS



TREE PROTECTION FENCING

1. FENCE WILL BE CONSTRUCTED USING 38 mm X 89mm WOOD FRAME, TOP, BOTTOM AND POSTS *USE ORANGE SHOWN FENCING MESH AND SECURE THE WOOD FRAME WITH ZIP TIES OR GALVANIZED STAPLES.
2. ATTACH A 500mm X 500mm SIGN WITH THE FOLLOWING WORDING: PROTECTED ROOT ZONE - NO ENTRY. THIS SIGN MUST BE AFFIXED ON EVERY FENCE OR AT LEAST EVERY 10 LINEAR METERS.
- * IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED

TREE PROTECTION NOTES

Tree protection barrier: The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zone. The barrier fencing to be erected must be a minimum of 1200mm in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

Arborist supervision: All excavation occurring within the critical root zones of protected trees must be completed under the supervision of the project arborist. Any severed or severely damaged roots must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound.

Methods to avoid soil compaction: In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:

- Installing a layer of hog fuel or coarse wood chips at least 20cm in depth and maintaining it in good condition until construction is complete.
- Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15cm over top.
- Placing two layers of 19mm plywood.
- Placing steel plates.

Mulching: Mulching can be an important proactive step in maintaining the health of trees and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chip or bark pieces and be 5-8cm deep. No mulch should be touching the trunk of the tree. See "methods to avoid soil compaction" if the area is to have heavy traffic.

Pruning: We recommend that any pruning of bylaw-protected trees be performed to ANSI A300 standards and Best Management Practices.

Paved surfaces above tree roots: Where paved areas cannot avoid encroachment within critical root zones of trees to be retained, construction techniques, such as floating permeable paving, may be required. The "paved surfaces above tree roots" detail above offers a compromise to full depth excavation (which could impact the health or structural stability of the tree). The objective is to avoid root loss and to instead raise the paved surface above the existing grade (the amount depending on how close roots are to the surface and the depth of the paving material and base layers). Final grading plans should take this potential change into account. This may also result in soils which are high in organic content being left intact below the paved area. To allow water to drain into the root systems below, we also recommend that the surface be made of a permeable material (instead of conventional asphalt or concrete) such as permeable asphalt, paving stones, or other porous paving materials and designs such as those utilized by Grasspave, Gravelpave, Grasscrete and open-grid systems.



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Email: tmtreehelp@gmail.com

Tag or ID #	Surveyed ? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected ? (Yes/No)	Name	Common	Botanical	dbh (cm)	Critical root zone radius (m)	Dripline diameter (m)	Condition	Health	Structural	Relative tolerance	General field observations/remarks	Retention/Location comments	Retention Status
2505	Yes	On	Yes	Douglas fir		<i>Pseudotsuga menziesii</i>	64	9.3	10	Fair	Fair	Poor		Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping proposed new building and driveway. Possible for retention provided tree protection fencing be installed in accordance with Appendix A, project arborist to be on site to supervise excavation within CRZ, and paving of driveway through the CRZ shall follow details in Appendix C	Retain
2504	Yes	On	Yes	Douglas fir		<i>Pseudotsuga menziesii</i>	63	9.1	10	Fair	Fair	Poor		Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping proposed new building and driveway. Possible for retention provided tree protection fencing be installed in accordance with Appendix A, project arborist to be on site to supervise excavation within CRZ, and paving of driveway through the CRZ shall follow details in Appendix C	Retain
2503	Yes	On	Yes	Douglas fir		<i>Pseudotsuga menziesii</i>	31	4.5	5	Fair	Fair-Poor	Poor		previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping landscaped area, project arborist to supervise any excavation within CRZ and tree protection fencing to be installed according to Appendix A	Retain
2502	Yes	On	Yes	Douglas fir		<i>Pseudotsuga menziesii</i>	34	4.9	4	Fair	Fair-Poor	Poor		Previously topped, historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning, mechanical damage on lower stem, damage to root flare on North side	CRZ overlapping landscaped area, project arborist to supervise any excavation within CRZ and tree protection fencing to be installed according to Appendix A	Retain
2501	Yes	On	Yes	Douglas fir		<i>Pseudotsuga menziesii</i>	69	10.0	8	Fair	Fair-Poor	Poor		Historical pruning wounds with associated decay, asymmetrical crown due to hydro clearance pruning	CRZ overlapping proposed new building and driveway. Possible for retention provided tree protection fencing be installed in accordance with Appendix A and project arborist to be on site to supervise excavation within CRZ	Retain

APPENDIX B - PHOTOGRAPHS



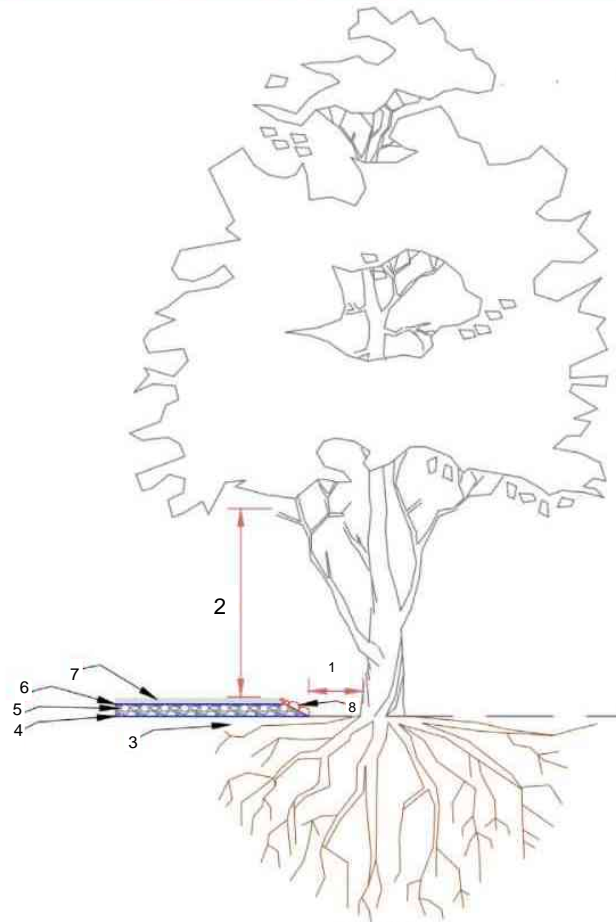
Image 1- 5 Douglas firs in front of the subject site, all intended for retention. #2505 in the foreground to 2501 in the back.



Image 2 –Base of tree #2502, showing damage at base of root flare an level of soil compaction consistent with soil at base of other 4 firs.

APPENDIX C – PAVED SURFACES OVER ROOTS SPECIFICATIONS

HARD SURFACE ABOVE TREE ROOTS DETAIL



1. Maintain as large a setback as possible between fill encroachment and the root cellar of the tree as possible.
2. Review any canopy clearance pruning requirements to accommodate vehicle or pedestrian clearances (pruning to be performed to ANSI A300 standards)
3. Excavate the new footprint of the driveway or sidewalk under the supervision of the project arborist. Excavation will be limited to the removal of the existing sod layers. Excavation around root structures must be performed by hand, airspace, or hydroexcavation.
4. Install a two-dimensional (such as combi-grid30/30) or three-dimensional geogrid reinforcement.
5. Install a 150mm depth layer of clear crushed gravel (no fines) using 20mm and/or 75mm diameter material or approved equivalent. *Note: depth may be less than 150mm in some situations (dependant on grading constraints)
6. Install medium weight geotextile fabric (such as Nilex 4535 or similar) over the clear gravel layer to prevent fine particles of sand infiltrating this layer.
7. The bedding or base layer and new driveway or sidewalk surface can be installed directly on top of the felted filter fabric.
8. Fill slopes – where possible, install loose-stacked boulders to reduce footprint of fill slopes that encroach within the critical root zone. Fill slope materials must be permeable to air and water. Do not pile fill material directly against tree trunk.



ਵਾਹਿਗੁਰੂ ਜੀ ਕੀ ਫਤਹਿ

ਗੁਰਦੁਆਰਾ ਸਿੰਘ ਸਭਾ ਸੁਸਾਇਟੀ ਆਫ ਵਿਕਟੋਰੀਆ



GURDWARA SINGH SABHA SOCIETY OF VICTORIA

470 Cecelia Road, Victoria BC, Canada, V8T 4T5, (250) 475-2280

"Service brings us nearer to God" ... Shri Guru Nanak Dev Ji

Leanne Taylor
City of Victoria

August 18, 2021

Ms. Taylor,

This letter is regarding the proposed development at our neighbouring property at 458 Cecelia Road. We, the Managing Committee, at the Gurdwara Singh Sabha Society of Victoria (Sikh Temple) of 470 Cecelia Road, are concerned about the effect this proposed development will have on our temple.

Gurdwara Singh Sabha Society of Victoria is a public institute built, run and used by the public for various manners including but not limited to prayers, weddings, and memorial services. This institute has existed for the last 20 years and we have worked to improve its appearance, landscape and attractiveness in the community. The proposed building next door threatens to undermine all that we have accomplished thus far, because it will block our building on one side completely and our temple will no longer be visible as you approach from both directions, as it is now. After discussing this matter amongst our Committee and our congregation, we request the planning department consider two alternative options in priority order that may better serve us all:

1. Building is rotated 180 degrees so that the back of the building is towards the other side and the driveway is built along our property. We realize there are five trees in the way, however only three trees will have to be removed to create space for the 25 foot driveway. Only one of those trees is of substantial size and the other two trees are very small and weak. For details see the attached pictures.
2. If the building must be built as proposed, then we would like nothing less than either the cement block wall be clad with some sort of rocks to soften the look, which complement the exterior colour of the Gurdwara (temple) building.
3. The block fire wall is built using split face rock blocks that have a coloured, soft looking face to them. Again, the colour of the wall must complement the Gurdwara (temple) building. For more info see attached.

Your consideration on these matters will be greatly appreciated by the Gurdwara Committee, the congregation, and the neighbouring community.

Sincerely,
Managing Committee, Gurdwara Singh Sabha Society of Victoria.









2022

CITY OF VICTORIA | Sustainable Planning & Community Development


Development Permit with Variance Application No. 00176

For 458 Cecelia Road


COMMITTEE OF THE WHOLE | September 22, 2022



1



Aerial Photo



2



Subject Property



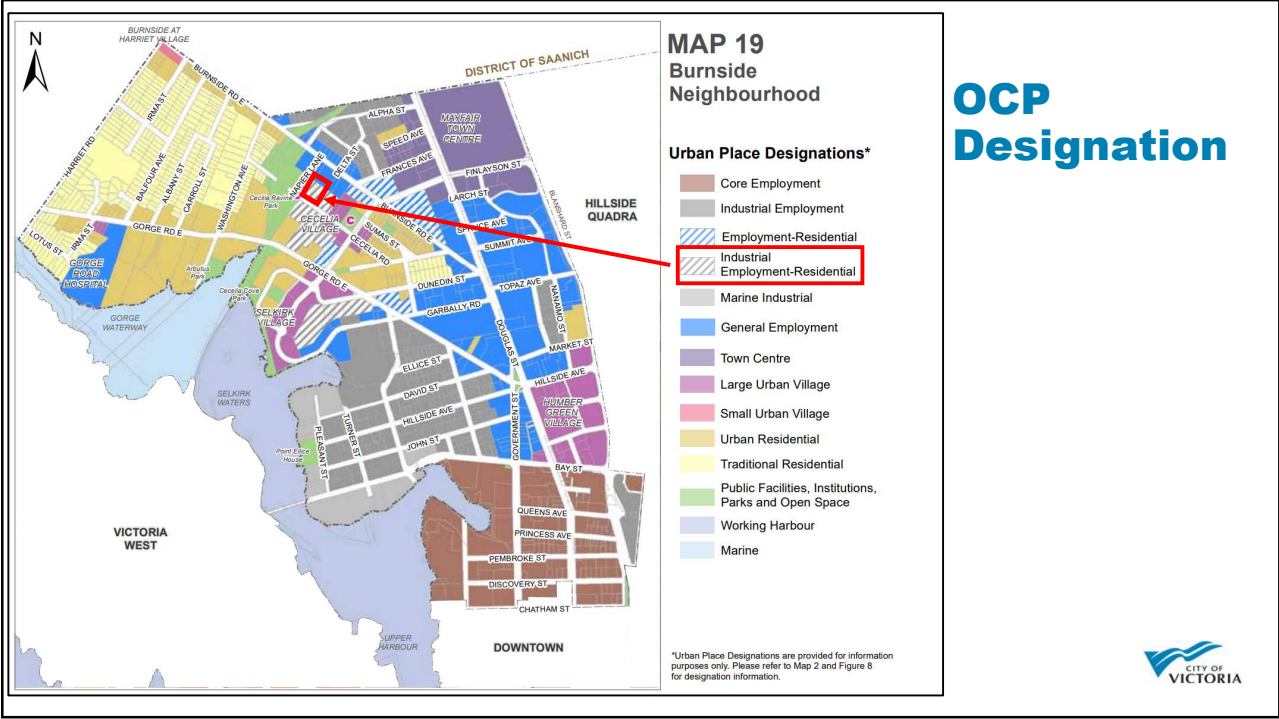
3



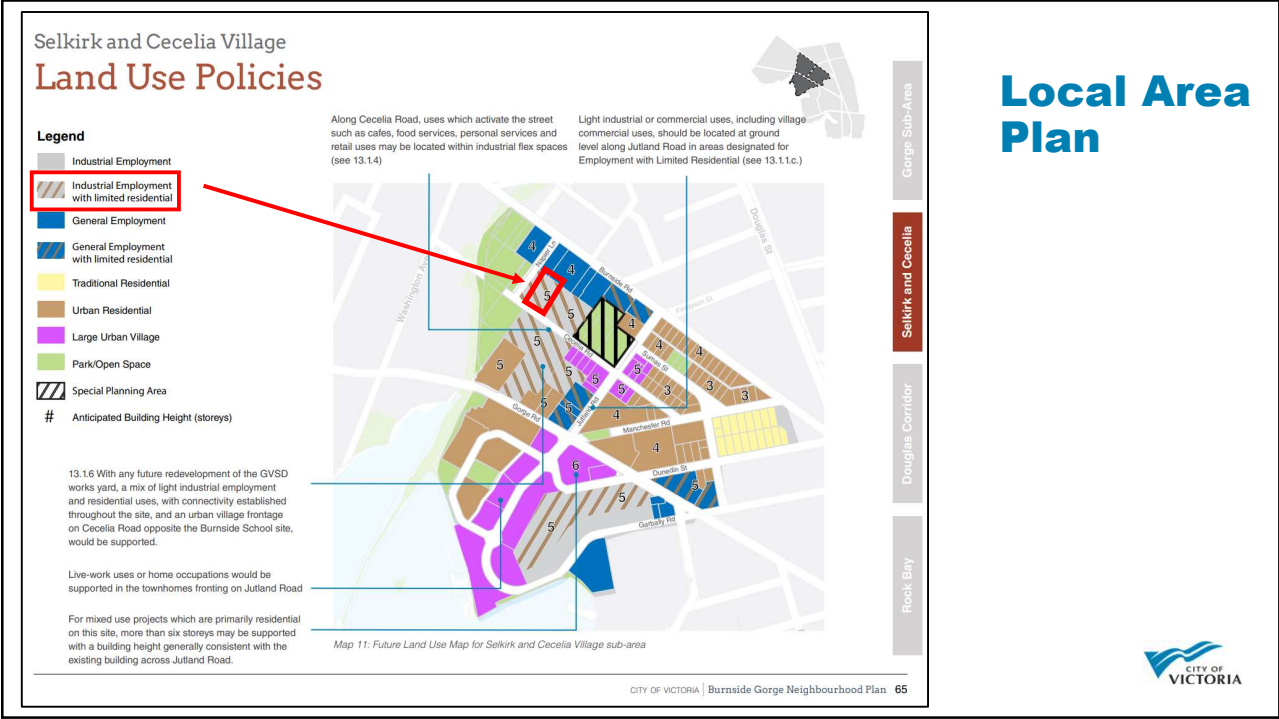
Neighbouring Properties



4

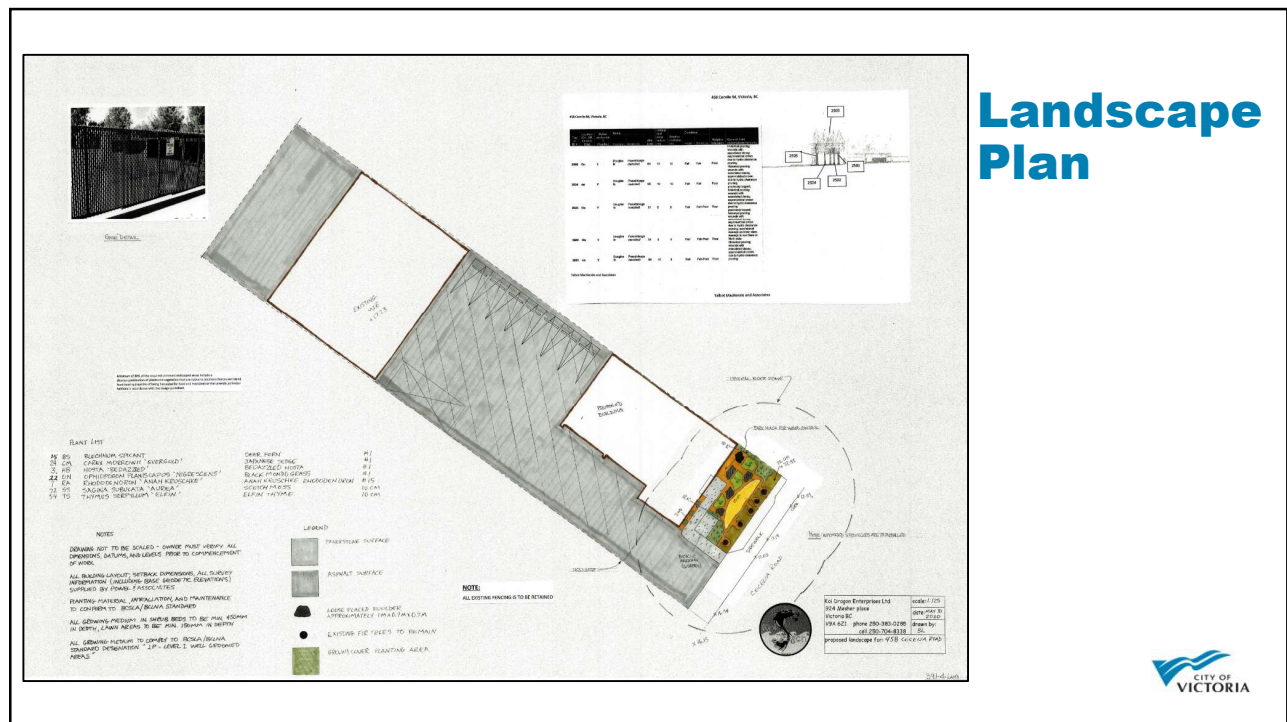


5



6





11



12

From: Hans de Goede [REDACTED]
Sent: September 15, 2022 10:48 AM
To: Davies Contracting [REDACTED] Irene Tiampo [REDACTED]; Leanne Taylor <ltaylor@victoria.ca>; Stephanie White [REDACTED]
Subject: 458 Cecelia

Dear Mayor and Council,

458 Cecelia was a heavy duty mechanics yard when my partners and I bought it three years ago. The yard was in rough shape and there was a run down home at the front of the property. We bought the lot with the idea of developing the property to its full potential inside the light industrial zoning the property currently has. To that end, we have secured a national company that wants a long term lease and we have agreed on design and usage for an additional building.

We are happy to let you know that Fountain Tire has agreed in principle to a long term lease with the understanding that we build the proposed building and provide the on site parking they require. The building design has had input from the City of Victoria's Planning Dept., we have also met with the elders of the Gurdwara Singh Sabha Temple next door and agreed on a landscape and colour plan. Fountain Tire, a Canadian Company has been consulted on design and it is from their advice that we reduced the additional building footprint to allow for more onsite parking.

We hope that Council will approve this development.

On behalf of Irene Tiampo, Stephanie White, Larry Davies
Yours Truly
Hans de Goede



**Committee of the Whole Report
For the Meeting of September 22, 2022**

To: Committee of the Whole Date: September 9, 2022
From: Philip Bellefontaine, Director, Engineering and Public Works
Subject: Business Recovery from Pandemic Bylaw Extension

RECOMMENDATION

That Council direct the City Solicitor to bring forward amendments to the Business Recovery from Pandemic Bylaw (#21-095) to change the expiry date from October 31, 2022 to March 31, 2023.

EXECUTIVE SUMMARY

The Business Recovery from Pandemic Bylaw, and associated Build Back Victoria Program, is set to expire on October 31, 2022. Council's previous advocacy to the Province of BC was successful in having the Temporary Expanded Service Area (TESA) program continue until March 31, 2023. This report provides recommendations for an extension to the Business Recovery from Pandemic Bylaw to align with updated Provincial policy directions.

PURPOSE

The purpose of this report is to seek Council direction on the extension of the Business Recovery from Pandemic Bylaw.

BACKGROUND

The Build Back Victoria (BBV) program and associated Business Recovery from Pandemic Bylaw (#20-072) was introduced in June 2020. The program allowed businesses to temporarily expand their commercial activities into public spaces such as parks, sidewalks, streets, and boulevards to respond to public health requirements associated with COVID-19. The Bylaw also allowed staff to grant delegated development permits to expedite temporary outdoor commercial uses on private property.

In April 2021, staff provided Council with an update on the BBV program and shared outcomes of the public feedback process. More than 780 online surveys were completed and 80% of respondents indicated they were satisfied with the BBV program. Council directed staff to extend the Bylaw until October 31, 2021 in order to support continued economic recovery.

The goal of the BBV Program has been to provide a nimble, affordable, and flexible permitting process to support economic recovery for businesses by allowing them to operate in public spaces across the city. On October 14, 2021 Council approved a further extension of the Business Recovery from Pandemic Bylaw (#21-095) and associated BBV program until October 31, 2022,

with the caveat that no new applications associated with liquor applications would be considered beyond October 31, 2021.

Alongside this decision, Council also voted to:

- Write to the Province of BC requesting an extension of the Temporary Extended Service Area (TESA) program.
- Update the Sidewalk Café Regulation Bylaw, rename it to the Patio Bylaw and streamline the application process for patio applications while providing for proper consideration of accessibility.
- Direct staff to prepare resource considerations to introduce a pilot and establish an on-going Mobile Vending Business Licence and associated program as part of the 2023 Financial Planning Process.

In April 2022, the Province of BC announced the continuation of the TESA program until March 31, 2023 to support businesses through their continued recovery. On that date, the licence for the service of alcohol in all temporary expanded areas will expire. This final extension provides licensees time to wind down their expanded service areas or apply to LCRB to make the expansion area permanent through their regular channels.

In order to respond to Council's direction, resources were allocated in the 2022 Financial Plan to support the creation of a new position focused on streetscape activities and programs, including patios. In late summer 2022 a staff person was hired within the Transportation Division for this purpose. A review of best practices in other municipalities has been initiated and an inter-departmental assessment of the existing Sidewalk Café Regulation Bylaw has been completed.

A new Patio Bylaw, which would be subject of a future staff report, is proposed to incorporate lessons learned from Build Back Victoria including safety, accessibility and fee equity along with an associated streamlined application process. The goal would be to seek the appropriate balance between recognizing the commercial aspirations of private enterprises to operate in the public right of way while ensuring that the other core public uses of the highway are reflected and protected.

As a part of the 2023 Financial Planning process, Council will also consider resource requirements for introducing a pilot and establishing an on-going Mobile Vending Business Licence program.

ISSUES & ANALYSIS

Without an extension to the Business Recovery from Pandemic Bylaw, all permits under the BBV program will expire at the end of October 2022.

There are currently 69 permits under the BBV program. Of these, 53 are for outdoor patios on public land and 8 are for patios located on private land. There has been limited participation in the flex zones (4 permits) and mobile vending (4 permits) since October 2021. Temporary loading zones which were initiated and permitted under BBV to support take out / delivery needs have all been reviewed and staff have installed new 20-minute meter and commercial loading zones to respond to on-going demand where needed.

With the anticipated conclusion of the BBV patio program, some businesses have prepared applications for licences under the current Sidewalk Café Bylaw. Many of these existing patios have deficiencies or features which do not align with the Sidewalk Café bylaw and may also continue to be in a challenge under a future Patio Bylaw. Examples include patios which extend beyond the business frontage, presence of overhead structures / heating equipment, and patio materials which are not easily moveable for fire service or underground utility maintenance.

Staff plan to bring forward a new bylaw and associated program to replace the Sidewalk Café Bylaw early in 2023. It is anticipated that this will include recommendations on design guidance, the application process, and a mix of program options based on best practices and feedback from participants such as small “informal” patios, seasonal patios, and patios which do not serve alcohol. An extension to the Business Recovery from Pandemic Bylaw would enable those businesses with BBV permits for patios to continue to operate while staff prepare the new Bylaws and associated guidance. All BBV Patios which are not approved by the end of March 2023 through either the current Sidewalk Café Bylaw or future Patio Bylaw, would need to be removed at the business’s expense. There may also be situations whereby a patio is approved by the City however, approvals from the Province of BC related to liquor licences may be delayed.

While the Mobile Vending and Flex Zone elements of BBV now represent a very small fraction of permits an extension of the Business Recovery from Pandemic Bylaw would also allow permits to continue through to March 31, 2023. For mobile vending, should Council approve resources and direct staff to introduce a pilot project as part of the 2023 financial plan, a program could be in place for summer 2024.

OPTIONS AND IMPACTS

Option 1: Direct the City Solicitor to bring forward amendments to the Business Recovery from Pandemic Bylaw (#21-095) to change the expiry date from October 31, 2022 to March 31, 2023.

Under this option, BBV permit holders would be permitted to continue operating patios on public and private land until March 2023. This would allow participants to either apply to the Sidewalk Café Licencing Program or under a new Patio bylaw, anticipated to be brought forward for Council's consideration in January 2023. This would enable those businesses who registered prior to October 31, 2021 for a permanent extended liquor servicing area to remain in the que for Provincial review.

Under this proposed extension, all existing active patio permits on public and private space would be rolled over until March 31, 2023. The limited mobile vending and flex space programs under BBV would also continue until March 31, 2023.

Option 2: Do nothing and maintain the existing expiry date of October 31, 2022 within the Business Recovery from Pandemic Bylaw (#21-095).

Under this option, any permit holder who has not been granted a Sidewalk Café Licence by October 31, 2022 would be required to remove all materials from the public Right of Way. Similarly, any permits granted by the Director of Sustainable Planning and Community Development for outdoor space on private land will be required to restore the property to current conditions per existing Letters of Undertaking. A development permit or delegated development may be required for maintaining permanent patios on private land.

Accessibility Statement

The BBV Program includes required accessible design features, such as accessible ramps and patio widths, cane detectable physical barriers on sidewalk edge, contrasting colours of materials, and firm, stable and slip-resistant surfaces. Staff also continue to recommend that businesses speak with their patrons who have a disability and disability service organizations to see what other accommodations might be suitable for their specific location and business service. Any new patio program, per Council's previous direction, would incorporate mandatory accessibility requirements.

2019-2022 Strategic Plan

In July 2021, Council passed a motion to "extend and optimize the 'Build Back Victoria' patio program" as a 2021 Strategic Plan action item and "Make the Build Back Victoria patio program permanent" as a 2022 Strategic Plan action item.

Impacts to Financial Plan

The BBV program was designed, implemented and managed using existing staff and budget. In 2022 Council allocated new resources to support on-going delivery of programs which deliver streetscape animation and regulate the corporate use of public space. A new staff person was hired in late summer 2022 and work is underway to develop a new Patio Bylaw and associated program.

CONCLUSION

The BBV program and associated Business Recovery from Pandemic Bylaw were introduced in June 2020 and are set to expire on October 31, 2022. The program was created to allow businesses to expand their operating capacity quickly and temporarily into public spaces including streets and parks to respond to public health requirements associated with COVID-19.

The provincial Liquor and Cannabis Regulation Branch's Temporary Expanded Services Area (TESA) program which granted expedited approval for temporary expansions to licenced service areas during the pandemic has been extended until March 31, 2023. Staff are recommending extending the Business Recovery from Pandemic Bylaw to expire on March 31, 2023 to align with this decision.

Respectfully submitted,

Sarah Webb
Manager, Sustainable Transportation
Planning & Development

Ross Kenny
Assistant Director of Transportation

Philip Bellefontaine
Director, Engineering and Public Works

Report accepted and recommended by the City Manager.



Committee of the Whole Report For the Meeting of September 22, 2022

To: Committee of the Whole
From: Curt Kingsley, City Clerk
Subject: Small Business Month – October 2022

Date: September 9th, 2022

RECOMMENDATION

That the *Small Business Month* Proclamation be forwarded to the September 22nd, 2022, Council meeting for Council's consideration.

EXECUTIVE SUMMARY

Attached as Appendix A is the requested *Small Business Month* Proclamation. Council has established a policy addressing Proclamation requests. The policy provides for:

- A staff report to Committee of the Whole.
- Each Proclamation request requiring a motion approved at Committee of the Whole prior to forwarding it to Council for their consideration.
- Staff providing Council with a list of Proclamations made in the previous year.
- Council voting on each Proclamation individually.
- Council's consideration of Proclamations is to fulfil a request rather than taking a position.

A list of 2021 Proclamations is provided as Appendix B in accordance with the policy. Consistent with City Policy, Proclamations issued are established as fulfilling a request and does not represent an endorsement of the content of the Proclamation.

Respectfully submitted,

Curt Kingsley
City Clerk

List of Attachments

- Appendix A: Proclamation "Small Business Month"
- Appendix B: List of Previously Approved Proclamations



CITY OF VICTORIA

PROCLAMATION

“SMALL BUSINESS MONTH”

WHEREAS *Small businesses contribute greatly to the vibrancy and vitality of Victoria; and*

WHEREAS *Small businesses are and essential to our local, provincial, and national economic wellbeing; and*

WHEREAS *Small businesses make up 98 percent of all business in BC; and*

WHEREAS *The City of Victoria values our city’s many small businesses; and*

WHEREAS *The Downtown Victoria Business Association coordinates a campaign to promote small businesses and highlights their importance to our city’s economy and community.*

NOW, THEREFORE *I do hereby proclaim the month of October 2022 as “**SMALL BUSINESS MONTH**” on the HOMELANDS of the Lekwungen speaking **SONGHEES AND ESQUIMALT PEOPLE** in the **CITY OF VICTORIA, CAPITAL CITY** of the **PROVINCE** of **BRITISH COLUMBIA**.*

IN WITNESS WHEREOF, *I hereunto set my hand this 22nd day of September, Two Thousand and Twenty-Two.*

LISA HELPS
MAYOR
CITY OF VICTORIA
BRITISH COLUMBIA

Sponsored By:
The Downtown Victoria Business Association

Appendix B

Council Meetings	Proclamations
28-Jan-21	Wear Red Canada Day - February 13, 2021 International Day of Zero Tolerance for Female Genital Mutilation - February 6, 2021
11-Feb-21	Chamber of Commerce Week - February 15 to 22, 2021 National Engineering Month - March 2021
18-Feb-21	United Nations Decade on Ecosystem Restoration - 2021 to 2030
18-Mar-21	World Tuberculosis Day - March 24, 2021
15-Apr-21	Sexual Assault Awareness Month – April 2021
22-Apr-21	Global Love Day - May 1, 2021 St. George's Day - April 23, 2021 Melanoma and Skin Cancer Awareness Month - May 2021 GBC/CIDP Awareness Month - May 2021 Huntington Disease Awareness Month - May 2021 Child Abuse Prevention Month - April 2021 Parental Alienation Awareness Day - April 25, 2021
6-May-21	Falun Dafa Day - May 13, 2021 Apraxia Awareness Day - May 14, 2021 Day of Action Against Asian Racism - May 10, 2021 Baseball Shirt Day - June 11, 2021
13-May-21	Komagata Maru Remembrance Day - May 23, 2021 Do Something Good For Your Neighbor Day - May 16, 2021 Post Traumatic Stress Disorder Awareness Month - June 2021 Deafblind Awareness Month - June 2021 Pride Week - June 28 to July 4, 2021 International Internal Audit Awareness Month - May 2021 Food Allergy Awareness Month - May 2021
20-May-21	Intergenerational Day Canada - June 1, 2021 World Refugee Day - June 20, 2021
3-Jun-21	Action Anxiety Day - June 10, 2021
10-Jun-21	Parachute National Injury Prevention Day - July 5, 2021 Arthritis Awareness Month - September 2021 Longest Day of Smiles - June 20, 2021
17-Jun-21	International Medical Cannabis Day - June 11, 2021
29-Jul-21	Give a Shot Month - August 2021 National Polycystic Kidney Disease Awareness Day - September 4, 2021 Wrongful Conviction Day - October 2, 2021 Commemoration of the Bicentennial of the Independence of the Republic of Peru Day - July 28, 2021
5-Aug-21	International Overdose Awareness Day - August 31, 2021 Childhood Cancer Awareness Month - September 2021
9-Sep-21	National Forest Week - September 19 to 25, 2021 Dyslexia Awareness Month - October 2021
23-Sep-21	Manufacturing Month - October 2021 Waste Reduction Week - October 18 to October 24, 2021 Fire Prevention Week - October 3 to October 9, 2021 Childhood Cancer Awareness Month - September 2021
7-Oct-21	Islamic Heritage Month - October 2021
21-Oct-21	Economic Abuse Awareness Day - November 26th, 2021 Respiratory Therapy Week - October 24 to October 30, 2021 Small Business Month - October 2021
28-Oct-21	Colour the World Orange Day - November 1, 2021 Respiratory Therapy Week - October 24 to October 30, 2021 Indigenous Disability Awareness Month - November 2021 Rising Economy Week 2021 - November 22 to November 25, 2021
2-Dec-21	Holodomor Commemoration Day - November 27, 2021 International Day of People with Disabilities - December 3, 2021
9-Dec-21	Wear Red Canada Day - February 13, 2022



Council Member Motion
For the Committee of the Whole Meeting of September 8 2022

To: Committee of the Whole **Date:** September 13, 2022
From: Mayor Helps and Councillor Loveday
Subject: Economic Revitalization Tax Exemption and Economic Reconciliation

BACKGROUND

In May 2020, Council adopted *Victoria 3.0 – Recovery, Reinvention, Resilience 2020-2041*, a long-term plan and vision for a sustainable, influential city that will build a strong innovation ecosystem and create a strong economy now and for the future.

A big move to help realize this long-term vision is the creation of the Arts and Innovation District to the north of the downtown, depicted here.



As noted in Victoria 3.0, “The area is currently a mix of heavy industry, commercial, retail, surface parking lots, recently remediated land owned jointly by the Songhees and Esquimalt Nations, craft brewers, and artists and makers.” The Arts and Innovation District is meant to be, “a hub of cross-sector collaboration, a place where research and development lead to ideas that are commercialized, where new high-value, future-oriented jobs are created, and where Victoria’s arts and culture sector can continue to flourish.” Staff are currently working with the community to develop a long-term plan and associated city-initiated rezoning of the District.

Between 2016 and 2022 Matullia Holdings LP, a jointly owned company of the Songhees and Esquimalt Nations, acquired 7.5 acres of land from Transport Canada and BC Hydro in what we call the Rock Bay area today, making them one of the largest landowners in the Arts and Innovation District. Previously used for heavy industry, the lands were remediated by previous owners – Transport Canada and BC Hydro – before being sold to Matullia. Matullia now owns a significant piece of property which is currently gravel lots and surface parking. These parcels represent prime employment lands featuring access to Victoria’s upper harbour to the west and Government Street access to the east.

To develop the long-term vision for these lands, Matullia Holdings has retained the services of Alfred Waugh, President and Founding Principal of Formline Architecture + Urbanism to undertake a comprehensive development plan for the entire 7.5-acre property that will help the Nations achieve their cultural and economic ambitions and will also help to stimulate the revitalization of the entire Arts and Innovation District as outlined in City policy.

Mr. Waugh specializes in culturally and environmentally sensitive projects and has extensive experience with First Nations, cultural societies, and educational institutions. One of the few registered First Nations Architects in Canada, his award-winning architecture firm is dedicated to developing solutions that reflect the culture, community, and geographic regions specific to each project. A comprehensive engagement and planning process is currently under development.

In the immediate term, Matullia Holdings has engaged the services of CBRE, a firm specializing in commercial real estate. The Ralmax Group of Companies and Island Asphalt are currently leasing three acres at the foot of Store Street for the safe, overnight storage of equipment and materials, and CBRE is in active discussion with several companies seeking short-term, multi-year leasing opportunities.

To help stimulate the revitalization of the area in the short and long term, to realize the vision outlined in Victoria 3.0, and to support the City’s commitment to economic reconciliation, it is recommended that staff work with the Nations to create a revitalization program and corresponding property tax exemption program as per section 226 of the Community Charter:

Section 226 of the Community Charter provides authority to exempt property from municipal property value taxes. To use this authority, a Council must establish a revitalization program (with defined reason for and objectives of the program),

enter into agreements with property owners, and then exempt their property from taxation once all specified conditions of the program and the agreement have been met.

Exemptions may apply to the value of land or improvements, or both. Councils are free to specify, within their revitalization programs, the amounts and extent of tax exemptions available.

Revitalization tax exemptions are limited to municipal property value taxes (Section 197(1)(a) of the Community Charter only) and do not extend to school and other property taxes, such as parcel taxes. An exemption may be granted for up to 10 years.

Please see attached “Revitalization Tax Exemptions A Primer on the Provisions in the Community Charter,” for further details.

Generally, property tax exemptions are considered at the time of redevelopment, to maximize the benefit to the landowner of property tax relief when taxes increase as a result of redevelopment. However, it is also possible to provide a property tax exemption for interim and short-term uses that help to begin the revitalization of the wider area. It is recommended that staff work with the Nations to develop an economic revitalization and tax exemption program in the near term to help ensure that the short term uses begin to lay the groundwork for the long-term vision of the Arts and Innovation District and the Nations’ aims for economic development.

CONCLUSION

In June 2022, the City adopted an Equity Framework to ensure that we consider equity in all of our decisions. The Framework begins by thanking “the Nations for having cared for these lands and waters since time out of mind. As part of this acknowledgement, we recognize Victoria has been shaped by colonialism, racism and other systemic oppressions. We acknowledge the legacy of colonialism and its role in creating and perpetuating systemic inequities for Indigenous Peoples ... Our work to advance equity will be informed by the City’s ongoing decolonization efforts and actions for meaningful reconciliation with the Songhees and Esquimalt Nations.”

Having been pushed to the margins of their economic heartland for over a century, the Nations have purchased land back to create prosperity for generations to come. To support their initial efforts and to recognize the importance of economic development as reconciliation in action, and to support the City’s objectives for the revitalization of this area, it is recommended that Council adopt the following recommendation.

RECOMMENDATION

1. That Council direct staff to work with the Songhees and Esquimalt Nations, through Matullia Holdings LP, to develop an Revitalization Program as per section 226 of the Community Charter and report back to Council with the objectives for the program for Council’s consideration including a tax exemption of up to ten years,

beginning in 2024, to support development of the lands that promotes revitalization of the area also supporting the Nations economic opportunity consistent for the Arts and Innovation District laid out in Victoria 3.0 to life.

Respectfully submitted,



Mayor Helps



Councillor Loveday

Revitalization Tax Exemptions

A Primer on the Provisions
in the *Community Charter*



Ministry of
Community Services

January 2008

REVITALIZATION TAX EXEMPTIONS

Legislation

Section 226 of the *Community Charter* provides authority to exempt property from municipal property value taxes. To use this authority, a Council must establish a revitalization program (with defined reasons for and objectives of the program), enter into agreements with property owners, and then exempt their property from taxation once all specified conditions of the program and the agreement have been met. Exemptions may apply to the value of land or improvements, or both. Councils are free to specify, within their revitalization programs, the amounts and extent of tax exemptions available.

Revitalization tax exemptions are limited to municipal property value taxes (Section 197(1)(a) of the *Community Charter* only) and do not extend to school and other property taxes, such as parcel taxes. An exemption may be granted for up to 10 years.

The authority to provide a revitalization tax exemption is not subject to section 25 of the *Community Charter* (prohibition against assistance to business).

Section 396E of the *Vancouver Charter* also provides the City of Vancouver with authority to provide revitalization tax exemptions.

What is the intent?

Revitalization tax exemptions are a tool that Councils may use to encourage various types of revitalization to achieve a range of environmental, economic or social objectives. A revitalization program may apply to a small area or areas, a certain type of property or properties, a particular activity or circumstance related to a property or properties, or an entire municipality.

Examples of revitalization objectives that could be encouraged through the use of a revitalization tax exemption scheme include:

- *environmental revitalization*
 - encouraging “green” building technology (e.g. a Council could exempt properties that install solar panels to conserve energy);
 - encouraging environmental sustainability (e.g. to revitalize its waterways, a Council could exempt adjacent developments that use “green” approaches to managing storm water drainage, thereby protecting the waterways from pollutants);

- brownfield redevelopment (e.g. to support the revitalization of a brownfield site, a Council could exempt the property while it is being remediated, thereby hastening its redevelopment);
- *economic revitalization*
 - encouraging investment and employment (e.g. to revitalize its economic base, a Council could partially exempt the local pulp mill from disproportionately high industrial taxes, thereby supporting reinvestment into the community and helping to retain jobs);
- *social revitalization*
 - encouraging affordable housing (e.g. to increase the supply of affordable housing, a Council could provide exemptions to commercial buildings that convert their upper floors to affordable housing rental units);
 - encouraging the construction and preservation of affordable rental housing (e.g. a Council could provide exemptions to developers who enter into housing agreements, under section 905 of the *Local Government Act*, to provide or preserve such housing);
- *other types of revitalization*
 - redevelopment for community sustainability, conservation of heritage property, residential “intensification”, neighbourhood rejuvenation, or façade improvements and beautification (e.g. to add to the scope of a more traditional downtown revitalization, a Council could exempt aging business properties that are reconstructed or otherwise reinvigorated).

What is required?

Part 7, Division 7 [*Permissive Exemptions*] of the *Community Charter* provides the general authority for permissive exemptions. The “[Permissive Exemptions](#)” guideline provides an overview of this process and related considerations.

Section 226 sets out the basic requirements for a revitalization tax exemption program:

Requirement (1) - Revitalization tax exemption program bylaw

- Council must establish a revitalization tax exemption program, by bylaw, which must include the following:
 - a description of the reasons for, and the objectives of, the program;
 - a description of how the program is intended to accomplish the objectives;
 - a description of the kinds of property, or activities or circumstances related to the property that create eligibility for exemptions (e.g. apartment buildings that supply car co-op memberships to their residents to promote environmental sustainability);
 - the extent of the exemptions available (i.e. entire properties or portions of properties);
 - the amounts of exemptions, or formulas to determine the amounts, or both; and
 - the maximum term of the exemption, which may not be longer than 10 years.

- Council may also include in its revitalization program bylaw:
 - the requirements that must be met before an exemption certificate may be issued;
 - conditions that must be included in the exemption certificate;
 - provisions for a recapture amount that must be paid if the conditions specified in the certificate are not met.
- A revitalization program bylaw may be different, for different:
 - areas of the municipality;
 - property classes;
 - classes of land and improvements, or both, as established by the bylaw;
 - activities and circumstances related to a property or its uses, as established by the bylaw, and;
 - uses as established by zoning bylaw.
- Before adopting it, Council must consider the revitalization tax exemption program bylaw in conjunction with the objectives and policies as set out under section 165(3.1)(c) [*use of permissive tax exemptions*] of the *Community Charter*. The intent is that Council consider the municipality's overall objectives and policies in relation to permissive tax exemptions, when exercising its revitalization tax exemption powers.
- Council must also, prior to adopting the revitalization tax exemption program bylaw, fulfill the general requirements for public notice as set out under section 94 of the *Community Charter* (section 94 specifies, for example, the requirement for notices to be publicly posted, and published in a newspaper for two consecutive weeks). Section 227 [*notice of permissive tax exemptions*] sets out the *specific* notice requirements in relation to a revitalization tax exemption program bylaw. A revitalization tax exemption program bylaw notice must include a general description of:
 - the reasons for, and objectives of, the program;
 - how the program is intended to accomplish the objectives;
 - the kinds of property, or activities or circumstances that are eligible for an exemption; and
 - the extent, amounts and maximum terms of tax exemptions that may be provided.

Requirement (2) - Agreement with property owner

- Once a revitalization tax exemption program bylaw has been adopted, Council may enter into an agreement with the owner of a property regarding the provision of a revitalization tax exemption. The agreement between the municipality and the property owner may outline requirements that must be met before an exemption certificate is issued, and any other conditions on which the tax exemption will be provided.

- The *agreement* with the property owner provides Council with an opportunity to build on the program bylaw by enabling Council to provide a more specific level of detail regarding the conditions of an exemption as they relate to a particular property. Essentially, the agreement is intended to take the program bylaw to another level of specificity.

Requirement (3) - Tax exemption certificate

- Once all of the requirements established in the *bylaw* and in the *agreement* have been met, a revitalization tax exemption *certificate* must be issued for the property that is the subject of the agreement. This certificate must be issued no later than October 31 in the year before the tax exemption takes effect.
- As soon as practicable, a copy of the certificate must be provided to the assessor. This ensures that any tax exemptions related to a property are taken into account by BC Assessment during the calculation of the taxable value of a property.

What to consider?

Council is not obliged to establish a revitalization tax exemption program. This is a tool that Council may use at its discretion. In addition to the requirement to consider its objectives and policies in relation to the use of permissive tax exemptions (as set out under section 165(3.1)(c) of the *Community Charter*), Council may wish to consider some additional factors in the design of any revitalization tax exemption program, such as:

- What may be the immediate and long-term implications of the exemption program on:
 - *the community* - what are the municipality's objectives for the environmental, economic and social well-being of the community, and how might the exemption program help fulfill such objectives?
 - *the municipality* - what will such an exemption program cost the municipality in terms of lost tax revenue, overhead to manage the program, and other costs (such as any costs associated with servicing a new development)?
 - *the municipality's larger operating environment* - is the exemption program consistent with the BC/Alberta Trade, Investment and Labour Mobility Agreement under which investment distorting subsidies are prohibited?
- What is the "right" amount of tax relief to encourage the desired level of revitalization under an exemption program?
- Is this type of revitalization likely to occur without any tax incentives in place?
- What other benefits might occur as a result of the exemption program (e.g. a tax exemption that partially exempts the local pulp mill from disproportionately high industrial taxes might support reinvestment into the community while helping to retain jobs)?

- Tax shift. How will the program impact the property taxes of other properties in the same assessment class, and the taxes of properties in other classes of assessment?
- Can Council clearly explain its intentions to the public and demonstrate how the program supports municipal purposes? And what does the community think about the proposal?

Frequently Asked Questions

Aren't municipalities required to designate an area to provide revitalization tax exemptions?

Not anymore. Amendments to section 226 of the *Community Charter* (via Bill 35, the *Miscellaneous Statutes Amendment Act (No.2) 2007*) came into effect on May 31, 2007. These amendments broadened the revitalization tax exemption tool in a number of ways, including by eliminating the requirement to designate an area for revitalization purposes. The new broadened tax exemption tool is a much more flexible and adaptable tool that can be used by Council to meet any type of revitalization need.

What will happen to revitalization tax exemption program bylaws and their corresponding agreements and certificates that were in place before the broadened revitalization tax exemption tool came into effect on May 31, 2007?

Transitional provisions (under Bill 35) ensure that all existing revitalization tax exemption program bylaws, and their corresponding agreements and certificates that were in place before the tool was broadened, can continue. However, if a municipality chooses to amend its revitalization program bylaw (to, for example, expand the scope of the types of property that could be exempted), it must comply with the requirements under the new, broadened section 226.

What does the legislation mean in section 226(5)(b) when it says that a program may be different for “different classes of property” and “different classes of land or improvements or both”?

This means that Council may use any criteria to identify the property that will be eligible for tax relief. For example, a class of property might include all the homes that were built before a certain date, or all the buildings that front on certain streets, whereas a class of land may include all contaminated brownfield sites within the municipality. These distinctions are designed to provide Council with the greatest flexibility to determine how best to provide a tax exemption.

What is the difference between “activities” and “circumstances” as specified under section 226(5)(b)(iv) of the legislation?

Under the legislation, a Council could choose to exempt property based on certain types of activities related to a property (such as the distribution of a free bicycle to each resident living in a condominium

building as an incentive to reduce vehicle use), or it could choose to exempt certain *circumstances* related to a property (such as the presence of solar panels on a property that are helping to reduce the burden on the community's energy grid). Essentially, *activities* require property owners to do something to receive an exemption (such as remediate a brownfield site), and *circumstances* require that there be particular conditions or factors related to the property in place that the municipality is interested in promoting (such as whether properties are LEED certified or not). This distinction enables municipalities to apply tax exemptions in the most flexible manner, to meet their individual revitalization needs.

Can a revitalization tax exemption be transferred to a new property owner?

This is a decision for Council. The legislation specifies that a tax exemption certificate must be issued “for *the property*” once all the conditions in the bylaw and the agreement have been met. So the tax exemption applies to the property. However, section 226(6) permits Council to enter an agreement with a property owner respecting the provision of a section 226 tax exemption “and the conditions on which it is made”. One such condition might be that the exemption no longer applies if the property changes ownership.

What's the difference between a section 225 exemption for heritage property and using section 226 to exempt heritage property?

A Council may decide to use either section 225 or section 226 as a way to encourage heritage preservation within the municipality.

If they wish to use section 225, the property must be “eligible heritage property” that meets one of the conditions in section 225(2)(b). For these purposes, heritage property is defined in the *Local Government Act*. In contrast, section 226 provides a way to encourage investment in property with heritage characteristics without using a formal designation process.

A heritage tax exemption exempts property from all property value taxes – provincial and municipal – while a section 226 exemption only applies to the municipal portion. Another important difference is that section 225 does not provide a time limit on heritage exemptions, while section 226 limits the benefit to 10 years. In addition, a heritage exemption bylaw requires the approval of two-thirds of all Council members; a section 226 exemption bylaw requires a simple majority vote. Both section 225 and 226 permit Council to impose conditions under which the tax exemption is granted.

What is the BC/Alberta Trade, Investment and Labour Mobility Agreement (TILMA) and why do municipalities need to consider it when providing revitalization tax exemptions?

TILMA is an inter-provincial trade agreement between B.C. and Alberta that is designed to help eliminate barriers to trade and to enhance the competitiveness and stability of both provinces. The agreement came into force on April 1, 2007.

Although local governments are not parties to the agreement, their measures, including any legislation, regulation, standard, directive, requirement, guideline, policy or program (such as a revitalization tax exemption program), are subject to TILMA. More specifically, Article 12 of the agreement prohibits both the provinces of B.C. and Alberta, as well as their local governments, from providing unfair, investment distorting business subsidies. This means that any revitalization tax exemption provided by a Council must be compliant with Article 12 of the agreement.

Although TILMA prohibits investment distorting business subsidies, it does not prohibit Council from promoting the environmental, economic and social well-being of their communities. Councils are free to use the tax exemption tool in a number of ways to promote various forms of community revitalization, so long as they use the tool in a non-discriminatory, non-distorting manner and in a manner that does not result in investment-distorting subsidies to business.

For more information:

Contact the *Local Government Infrastructure and Finance Branch*

Address: Local Government Infrastructure & Finance Division
Ministry of Community Services
4th Floor, 800 Johnson Street
PO Box 9838 Stn Prov Govt
Victoria, BC V8W 9T1

Phone: 250 387-4060 (in Victoria)

Toll Free: Call 604-660-2421 (in Vancouver) or 1-800-663-7867 (elsewhere in B.C.) and request a transfer to 250 387-4060 in Victoria

Email: lgsi@gov.bc.ca

Website: <http://www.cserv.gov.bc.ca/lgd/infra/index.htm>



Council Member Motion

For the Committee of the Whole Meeting of September 22, 2022

To: Committee of the Whole **Date:** September 13, 2022
From: Mayor Helps and Councillor Thornton-Joe
Subject: Return of Statue to Sir John A Macdonald Historical Society

BACKGROUND

In August of 2018, City Council voted to remove the statue of Sir John A Macdonald from the front steps of City Hall as an act of reconciliation with the Songhees and Esquimalt Nations. The statue had been placed there in the 1980s without consultation with the Nations or the public. The statue was removed professionally, carefully and with respect, and has been held in a safe and secure location since that time.

Since the City removed the statue in 2018, the country has entered a new era of reckoning with its history. Canadians are gaining a deeper understanding of our history, including wider spread knowledge of the attempted cultural genocide of Indigenous peoples through the residential school system. This widescale reckoning and new era of reconciliation had its genesis in May 2021 when the 215 gravesites were discovered outside the Kamloops Indian Residential School.

Since last summer, the historical figures responsible for designing the residential school system have come under deeper scrutiny as we learn more about our history as a country. Sir John A Macdonald is one such historical figure.

In the summer of 2022, the Sir John A Macdonald Historical Society reached out to the mayor noting the paradigm shift since the discovery of the Kamloops graves. The Society noted that the statue was unlikely to be repositioned in the city in the near future and that it didn't want the Sir John A Macdonald statue to be a lightning rod for reconciliation. It requested that the City return the statue to the Society. Through conversations with members of the Society, the Songhees and Esquimalt Nations and the City Family (which deferred to the wishes of the Nations), the conditions of return laid out in the attached letter were landed on as being acceptable.

The recommendations to Council laid out below reflect the conditions outlined in the letter from the Society to the City, with the exception of "the City of Victoria" deleted from

condition number two. This is to leave any future deliberations about the statue between the Society and a local First Nation.

RECOMMENDATIONS

That Council supports the return of the Sir John A Macdonald Statue to the Sir John A Macdonald Historical Society on the following terms:

1. The City of Victoria will deliver the statue and its accompanying plinth to a designated storage facility in Ladner, B.C., with funding from the 2022 contingency budget.
2. The Historical Society and the donors will not permit the statue to be displayed anywhere on Vancouver Island B.C. without the expressed approval the local Nation(s) on whose territory the statue would stand.
3. Any public statements made by the Society, or the donors would be highly supportive of the reconciliation process. Such statements, if any are required, will be coordinated with Mayor of the City of Victoria and the Esquimalt and Songhees Nation's leadership.
4. It is the intention of the Society to safeguard the statue and not seek a place of public display.
5. If the Society allows the public display of the statue at some future time it will use its best efforts to include, with the statue, the fullest possible educational and contextual information concerning the individual portrayed, his time, his policies, and their consequences.

Respectfully submitted,



Mayor Helps



Councillor Thornton-Joe

SIR JOHN A MACDONALD HISTORICAL SOCIETY

17-5650 Hampton Place, Vancouver, BC V6T2G5 | 604-619-6535 | michgorfrancis@gmail.com

September 11, 2022

Mayor Helps
Mayor, City of Victoria
Lekwungen Territory
LHelps@victoria.ca

Dear Mayor Helps:

Re: Sir John A Macdonald Statue

I am writing in an effort to conclude an arrangement which will return the subject statue to those who donated it to the City of Victoria many years ago. We understand why the statue was removed from its plinth located near the entrance of City Hall and we are appreciative of the time and thought that has been invested by yourself, the various First Nations involved in the Reconciliation process, and other city officials as you have considered alternative sites for the statue. Our purpose in donating the statue was to commemorate John A Macdonald's service as the Member of Parliament representing Victoria in the Canadian Parliament of 1878 to 1882. For various reasons this commemoration is no longer a priority for the region and the statue is surplus to its needs.

Accordingly, we suggest the statue be returned to us on the following basis.

1. The City of Victoria will deliver the statue and its accompanying plinth to a designated storage facility in Ladner, B.C.
2. The Historical Society and the donors will not permit the statue to be displayed anywhere on Vancouver Island B.C. without the expressed approval of Victoria City Council and the local Nation (s) on whose territory the statue would stand.
3. Any public statements made by the Society, or the donors would be highly supportive of the reconciliation process. Such statements, if any are required, will be coordinated with Mayor of the City of Victoria and the Esquimalt and Songhees Nation's leadership.

4. It is the intention of the Society to safeguard the statue and not seek a place of public display.

5. If the Society allows the public display of the statue at some future time it will use its best efforts to include, with the statue, the fullest possible educational and contextual information concerning the individual portrayed, his time, his policies, and their consequences.

I hope those in authority will consider our Society's proposal positively.

Yours sincerely,

Sir John A Macdonald Historical Society

A handwritten signature in blue ink, appearing to read 'M G Francis', with a stylized flourish at the end.

Michael G Francis

Chair Emeritus



Council Member Motion
For the Committee of the Whole Meeting of September 22, 2021

To: Committee of the Whole **Date:** September 16, 2022
From: Councillor Ben Isitt
Subject: Housing Outreach Support Program

BACKGROUND

In 2021, Council authorized an investment of \$60,000 in the Housing Outreach pilot project. This pilot project delivers housing outreach services to prevent homelessness through several community centres and agencies in the city. The results of this pilot project in the period from November 2021 to August 2022 are described in Attachment 1.

The administrator of the program, the Quadra Village Community Centre / Downtown Blanshard Advisory Committee ("QVCC"), is now requesting a \$45,000 contribution from the City of Victoria to continue operating the program for another year, leveraging a \$30,000 investment from the Victoria Foundation (see Attachment 2).

Funding for this program is required to ensure continuity beyond October 2022.

As noted by QVCC: "Our goal for year 3 is to persuade BC Housing to fund an expanded version of this project and to annually decrease the amount of the City's contributions."

Support for the Housing Outreach Support Program is documented in letters of support from several community organization (see Attachments 3 to 6). As noted by QVCC:

"local agencies have encountered an overwhelming rise in the number of single people and couples that are losing their housing. In our experience, there is an intense need to rally resources and one to one support to attempt to find short and long term housing options, before folks end up living outside, in vehicles etc. ...

The extremely difficult housing market is particularly difficult for individuals competing for the most affordable rentals in the city when they are contending with challenges like low literacy, limited support, social isolation and moderate anxiety and depression."

The Housing Outreach Support Program also plays a key role in delivery of the Greater Victoria Rent Bank, as noted in the letter from the Community Social Planning Council.

Based on the level of ongoing need in the City of Victoria, and the documented record of success of the Housing Outreach Support Program, it is recommended that Council authorize an expenditure of \$45,000 from the 2022 contingency to ensure continuity of the program beyond October 2022.

RECOMMENDATION

That Council:

1. Authorizes an expenditure of \$45,000 to the Quadra Village Community Centre and partner agencies for the Housing Outreach Support Program, funded from the 2022 contingency.
2. Requests a presentation and report from the QVCC on the results of the program in Q3 2023.

Respectfully submitted,



Councillor Isitt

Attachments:

1. Snapshot of Housing Outreach Pilot Project, November 2021-August 2022
2. Proposal from Quadra Village Community Centre, August 2022
3. Letter of support from Cridge Centre for the Family
4. Letter of support from Burnside-Gorge Community Association
5. Letter of support from Together Against Poverty Society
6. Letter of support from Community Social Planning Council

Housing Outreach Worker Pilot Project Snapshot as of 9.5 Months

PROGRAM SUCCESSES:

- 608 sessions to 265 individual community members plus 1308 combined referrals and resource supports.
- Directly prevented 32 people from losing their housing.
- Roughly 20% of participants identify as Black, Indigenous and/or a Person of Colour
- 7% of participants identify as being a part of the 2SLGBTQIA+ community
- Implementing a regular Housing Application Assistance Session at QVCC.
- Success indicated by widespread acknowledgement of the HOW Program at QVCC from many local service providers and Community Centres. **Please see letters of support from local Community Centres and other non profits. **Two local faith groups have committed to \$600 monthly (started July 2022) in emergency support administered by our Housing Outreach Worker. They decided on this based on their alignment with and support of the QVCC Housing Outreach Workers' work.*

Excerpts from Testimonials:

- S.G.: "Thank you again, you've actually made my day twice today. Very impressive. I am extremely grateful and want to make sure you know that I don't take this for granted at all.....I feel like I can sleep a bit better at night as we look toward the future."
- D. M.: "I want to thank you so much for all your help. This cheque will secure my housing for the month of February. You have been such a God send and I hope you realize every little bit of help you can extend is so very much appreciated."
- T. B.: "Thank you so very much for every help that you have given to me and to others in time of need!! I'm so grateful for you and appreciate you so much!!"
- S. D.: "Hello Shavonne and team! Just wanted to say thank you again for your help. I'm grateful thank you."

Program Trends:

- Few other Housing Outreach Workers in the City and at QVCC, the "Outputs" metric below indicate an amount of people that is not compatible or sustainable for a single Housing Outreach Worker.
- High increase in people accessing support since March 2022

- Influx of community needs near the end/beginning of the month when most peoples rent is due
- Access to emergency rent supports has drastically reduced in the last several months, vacancy is around 1.1%, affordability in the market is drastically reduced and wait times for BC Housing are projected at over 2 years.

CLIENT DEMOGRAPHIC:

OUTCOMES: (Goals)

INDICATORS:

Establish Awareness of the Housing Outreach Worker	<ul style="list-style-type: none"> · Roughly 75% of clients referred from other organizations 126 being referred from Rent Bank, TAPS, Burnside, Pacifica, The Cridge, etc. · Many organizations such as TAPS, Burnside, and Cool Aid have posters up about the Housing Outreach Program in their respective offices
Building and bridging the knowledge, skills and confidence to get the process of finding housing started and maintained.	<ul style="list-style-type: none"> · Community Members are given 1 on 1 sessions where they receive tips on how to navigate contacting people about rentals · HOW has created a presentation on how to navigate online methods of finding housing
Assisting single people and couples with unstable housing and tenancies that are ending to secure housing	<ul style="list-style-type: none"> · The 406 people that have contacted received support are either at risk of losing housing, or unhoused. The HOW supports each individual in applying for market and subsidized housing

<p>Providing housing outreach service to a diverse array of people</p>	<ul style="list-style-type: none"> · Clients consist of all ages, from 18-80+ · Roughly 20% of participants identify as Black, Indigenous and/or a Person of Colour · 7% of participants identify as being a part of the 2SLGBTQIA+ community · Participants are relatively equally balanced between men and women, with some clients of other gender identities. · The majority, if not all, of participants experience either a physical or mental disability, a mental illness, trauma, addiction, or a combination of these.
<p>A set of housing information and referral resources for Community Centre staff that will be distributed when the role starts, 6 months into the role and through training (some time between the 9 and 12 month mark).</p>	<ul style="list-style-type: none"> · The Housing Resource Document has been shared widely with social service providers and has been incredibly well received and appreciated.

Connect with potential funders to continue the project beyond the first year.	<ul style="list-style-type: none"> We were successful with our Victoria Foundation Vital Grant application for 30k and have other grants pending. (Island Health and Red Cross) HOW has successfully obtained light funding from local organizations to support rent relief efforts, which proves ability to apply and receive funding.
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OUTPUTS NOV 2021 – JUNE 2022:

# Participants Attending (Count each person each time they come to particular program)	739
# Individuals (count each person only once/year)	265
# of Sessions of Programs Offered	608
# of Program Hours	680.5
# of Participant Hours	105.5
# Resource Referrals or Provisions	1308

Proposal

Housing Outreach Support Program (1 F.T.E.)

Employed by Quadra Village Community Centre (QVCC)

Rationale

Quadra Village Community Centre, other Centres and Community Associations and other local agencies have encountered an overwhelming rise in the number of single people and couples that are losing their housing. In our experience, there is an intense need to rally resources and one to one support to attempt to find short and long term housing options, before folks end up living outside, in vehicles etc. While trying to support folks in whatever they can, organizations have been overwhelmed by this issue and feel like they are fighting a losing battle. The extremely difficult housing market is particularly difficult for individuals competing for the most affordable rentals in the city when they are contending with challenges like low literacy, limited support, social isolation and moderate anxiety and depression.

Based on our successes this year, we believe the a Housing Outreach worker, employed through Quadra Village Community Centre and connected to the other Community Centres/Neighbourhood Associations will help increase the skillsets of staff and volunteers in those organizations. As well, it will offer the opportunity to provide tailored one to support to folks who don't meet current emergency housing definitions but are in peril of losing access to shelter. Through past experience and this Housing Outreach Pilot project that has been supported by the City, we have developed a great deal of experience in assisting single adults and couples in these situations. We believe that Quadra Village Community Centre continues to be well situated to provide this critical service at this critical moment and the annual cost of service at *\$45,000 (plus \$30, 000 from the Victoria Foundation) is a worthwhile investment.

Housing Outreach Worker Overview

The Issues:

- Single adults and couples losing their housing with limited time, opportunity (affordable housing stock), resources.
- Limited affordable market housing stock, long waits for affordable housing and narrow. definition of eligibility for emergency housing.
- People on the precipice of homelessness who lack the knowhow to navigate such a competitive housing market.

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- Busy staff in Community Centres and other organizations who have great relationships with folks in the community, but are busy with other mandates central to their roles.
- Access to housing supports for newcomers, BIPOC (Black, Indigenous, People of Colour), S2LGTBQ+ and other Equity seeking individuals is crucial given additional barriers to accessing quality affordable housing.

The Solution:

- Building on the success of year one pilot project, the Housing Outreach Project (staffed with 35 hours of weekly Housing Outreach Support) is facilitated by QVCC with referrals from the other Community Centres, Neighbourhood Associations and nearby agencies. This program assists adults (single and couples) who are at risk of homelessness, couch surfing, newly homeless etc. Referrals are encouraged through connections including and not limited to VIRCS, ICA, Victoria Native Friendship Centre and organizations supporting S2LGTBQ+**
- Building and bridging the skills and confidence to get the process of finding housing started (and keep it going). This happens mainly through one to one work but also through group sessions.
- Helping people navigate the housing system including locating low rent options and seeking long term solutions through waitlists.
- Raising awareness among Community Centre and Neighbourhood Association staff/volunteers in order to ensure that folks have easy access to information to provide housing access support at the neighbourhood level.

(* **Quadra Village Community Centre has an active Equity (Diversity and Inclusion) Committee that aims to ensure that QVCC has useful, diverse, respectful services across the full spectrum of lived experience and identity).

Deliverables:

- One qualified, 35 hour a week Housing Outreach Worker employed by Quadra Village Community Centre employed over a 12 month period (October 24, 2022 through October 22, 2023). This Worker will have office hours and will also be mobile for outreach in the community and to other Community Centres/organizations.
- Access through self referral, Community Centre referral and referral through connections including and not limited to VIRCS, ICA, Victoria Native Friendship Centre and organizations supporting S2LGTBQ+, which will ensure access to this service for a range of individuals in need, including newcomers, Indigenous, Black, Asian and other persons of colour. Primary focus is on adults, couples and others who cannot easily/effectively access other housing support programs.

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- A set of housing information and referral resources for Community Centre staff that will be updated and distributed by March 31, 2023 and through a training for community centre and other professionals, some time between the 9 and 12 month mark for this position.
- A final report to City of Victoria Council following completion of year 2 of the Housing Outreach project, including information about the demographic of people who access the service, subject to privacy legislation.

*Our goal for year 3 is to persuade BC Housing to fund an expanded version of this project and to annually decrease the amount of the City's contributions

Thank you for consideration of this request that will make a huge difference to the people of the City of Victoria at this moment in the housing affordability and availability crisis.

Sincerely,

A handwritten signature in green ink, appearing to read 'Kelly Greenwell'.

Kelly Greenwell, Executive Director
Quadra Village Community Centre
250.388.7696 ext.221
kelly@quadravillagecc.com

August 29, 2022

To Whom It May Concern,

We are pleased to submit this partnership letter in support of funding for the Housing Outreach program at Quadra Village Community Centre. The Cridge Centre for the Family is thrilled to be an on-going partner with the Housing Outreach Program by both receiving and providing referrals as well through facilitating community meetings, and working together to provide wrap around support to our community.

The Cridge Centre for the Family's Supportive Transitional Housing Program offers up to 3 years of housing and support to women and children fleeing violence as well as newcomer families. Our program offers rents at an affordable rate (30% of income or shelter portion) as well as a support program that includes one-on-one help and group activities.

Our program is currently unable to house 95% of those who submit an Expression of Interest in our program. The Quadra Village Community Centre Housing Outreach Program provides vital support to desperate single women and seniors who we are unable to serve. Additionally, this program offers assistance to women who are exiting our program after 3 years as they seek to find suitable housing. We are so grateful to the staff of this program for their partnership and collaboration during the housing crisis that is unfolding in our community.

Sincerely,



Candace Stretch
Manager of The Cridge Supportive Housing
The Cridge Centre for the Family

September 14, 2022

To: Mayor and Council, City of Victoria

Re: Continued Support for Housing Outreach Support Worker

Dear Mayor Helps and Councillors,

Burnside Gorge Community Association (BGCA) is writing in support of Quadra Village Community Centre's (QVCC) request for continued funding to support their Housing Outreach Program.

BGCA operates a Homeless Family Outreach Program (HFO) that works specifically with families, with children under 19 in their care, who are homeless or at risk of becoming homeless. BGCA's HFO team has seen a consistent increase in the number of single people and couples without children reaching out for support to maintain their housing. This population also does not qualify for services for those who are hard to house.

Quadra Village Community Centre's (QVCC) Housing Outreach Program fills a gap in service for this population, working with adults, singles and couples without children, who are homeless or at risk of homelessness to help people navigate the housing system including locating low rent options and seeking long term solutions through waitlists. This program is also critical to support to folks who don't meet current emergency housing definitions but are in peril of losing access to shelter. The program has had tremendous success through their pilot, working with more than 260 individuals in housing crisis.

As you know, Victoria's housing market is becoming increasingly difficult. Limited affordable market housing stock, long waits for affordable housing and a narrow definition of eligibility for emergency housing all contribute to alarming levels of need. It is highly competitive, particularly for those contending with additional challenges like low literacy, limited support, social isolation and moderate anxiety and depression. There is an intense need for additional resources and one-to-one support to find short- and long-term housing options to prevent people from resorting to precarious situations such as living outdoors or in vehicles.

We believe that continued support for this program is a worthwhile investment and meets a critical need in our community.

Sincerely,



Suzanne Cole
Executive Director

August 30, 2022

To whom it may concern,

We are pleased to submit this partnership letter in support of funding for the Housing Outreach program at Quadra Village Community Center. Together Against Poverty Society (TAPS) is thrilled to be an on-going partner with the Housing Outreach Program. Our organizations work together through mutual referrals and community facilitation to provide wrap-around support to our community.

TAPS is one of the largest providers of free, face-to-face legal advocacy for people with income assistance, disability benefits, employment standards, and tenancy issues. Many of our clients are either at imminent risk of experiencing or are currently experiencing housing insecurity and homelessness. Since its introduction, the Housing Outreach program at Quadra Village Community Centre has quickly become one of our most frequent and valuable referrals for clients in need of support navigating the housing system. As rental prices continue to skyrocket and the housing crisis becomes more severe, demand for services like QVCC's Housing Outreach program will only continue to grow. The loss of the program would be a devastating one felt deeply by community members and service providers alike, and leaving our most vulnerable neighbours with even fewer options for support than before. We strongly support the continued funding of this important program.

Sincerely,



Douglas King
Executive Director
Together Against Poverty Society



COMMUNITY SOCIAL PLANNING COUNCIL
research · insights · solutions

August 31, 2022

To whom it may concern,

We are pleased to submit this partnership letter in support of funding for the Housing Outreach program at Quadra Village Community Center. The Community Social Planning Council (CSPC) of Greater Victoria is thrilled to be an on-going partner with the Housing Outreach Program by providing referrals and working together to provide wrap around support to our community.

The CSPC is an umbrella group for the broader non-profit sector across the capital region. With a mandate to reduce poverty and inequality, our work serves households in low income and builds a stronger social sector. We deliver timely, accessible community-based services, targeted to low-income households, in close collaboration with our member and partner organizations and people with lived experience. We also offer capacity building, evidence-based community planning and community engagement.

Our direct service programs, the Greater Victoria Rent Bank, and Coordinated ID Services, rely heavily on partnering with local organizations to ensure clients are referred to supports that meet their needs. With respect to the Greater Victoria Rent Bank, our partnering with the Housing Outreach Program at QVCC has been very influential in our ability to respond to the needs of clients.

Sincerely,

Lauren Davis

Lauren Davis, Rent Bank Coordinator