



REVISED AGENDA - VICTORIA CITY COUNCIL

Thursday, April 4, 2024

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt Nations

Pages

A. TERRITORIAL ACKNOWLEDGEMENT

B. INTRODUCTION OF LATE ITEMS

C. APPROVAL OF AGENDA

D. REPORTS OF COMMITTEE

D.1 Committee of the Whole

D.1.a Report from the March 14, 2024 COTW Meeting

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[Link to the March 14, 2024 COTW Agenda](#)

D.1.a.a Parking Stands for Horse Drawn Vehicles

**D.1.a.b Council Member Motion: Expanding Supports for
Community Centres and Community Arts Spaces in
Victoria**

**D.1.a.c Council Member Motion: Motor Vehicle Act (MVA)
Advocacy**

**D.1.a.d Council Member Motion: Our Place – Operating Hours
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**D.1.a.e Council Member Motion: Community Safety and
Connection for Caledonia Place**

D.1.b Report from the April 04, 2024 COTW Meeting

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2024 COTW Meeting*

D.1.b.a Bastion Square Report

E. BYLAWS

E.1 Bylaw for 557-561 Fisgard Street: Heritage Designation Application No. 00205 3

A report recommending:

- **1st and 2nd readings of:**
 - Heritage Designation (557-561 Fisgard Street) Bylaw No. 24-006

The application proposes to designate the exterior of the heritage-registered property located at 557-561 Fisgard Street, and proceed to a Public Hearing.

E.2 Bylaw for 565 Fisgard Street: Heritage Designation Application No. 00207 8

A report recommending:

- **1st and 2nd readings of:**
 - Heritage Designation (565 Fisgard Street) Bylaw No. 24-007

The application proposes to designate the exterior of the heritage-registered property located at 565 Fisgard Street, and proceed to Public Hearing.

E.3 Amendment Bylaw for Council Remuneration Bylaw 16

A report recommending:

- **1st, 2nd and 3rd readings of:**
 - Council Remuneration Bylaw, Amendment Bylaw (No. 2) No. 24-027

The purpose of this Bylaw is to amend the *Council Remuneration Bylaw* to confirm the full-time role of City Council members and to better align Council members' remuneration with the median percentile for remuneration in Victoria's comparator cities and the remuneration practices of numerous other mid-sized cities across the country.

E.4 Amendment Bylaw for Delegation Bylaw 20

A report recommending:

- **1st, 2nd and 3rd readings of:**
 - Delegation Bylaw, Amendment Bylaw (No. 1) No. 24-025

The purpose of this Bylaw is to amend the *Delegation Bylaw* to enable the Director of Business and Community Relations to approve annual grant funding allocations for the Festival Investment Grant program.

***E.5 Bylaw for 2816 Irma Street: Rezoning Application No. 00829 and Development Permit with Variance Application No. 00217**

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Addendum: Additional Correspondence

A report recommending:

- **1st, 2nd and 3rd readings of:**
 - Zoning Regulation Bylaw, Amendment Bylaw (No. 1333) No. 24-011

The application proposes to rezone the property located at 2816 Irma Street from the R1-B Zone, Single Family Dwelling District to a new zone based on the RT Zone, Traditional Residential Attached Dwelling District in order to permit six ground-oriented townhouse units in two buildings.

E.6 Bylaw for 1514 and 1520 Foul Bay Road: Rezoning Application No. 00762 and Development Permit Application No. 000590

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[Link to the July 27, 2023 COTW Meeting Agenda](#)

An update report recommending:

- **Adoption of:**
 - Zoning Regulation Bylaw, Amendment Bylaw (No. 1318) No. 23-084
- **Approval of:**
 - Development Permit Application No. 000590

The purpose of this Bylaw is to amend the Zoning Regulation Bylaw to rezone land known as 1514 and 1520 Foul Bay Road from the R1-B Zone, Single Family Dwelling District to the RT Zone, Traditional Residential Attached Dwelling District.

The update report provides a correction to the statutory right of way's maintenance obligation to the City.

F. NEW BUSINESS

F.1 854-880 Pandora Avenue: Rezoning Application No. 00849 and associated Development Permit with Variances Application No. 00239

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An update report recommending:

- **Revision to Council resolutions for:**
 - Rezoning Application No. 00849
 - Development Permit with Variances Application No. 00239

The application proposes to rezone from the CA-1 Zone, Pandora Avenue Special Commercial District to a new zone in order to increase the density to permit the construction of a twenty-storey mixed-use residential rental building.

The update report provides a summary of the changes to the plans and the associated changes to the variances.

G. CLOSED MEETING

MOTION TO CLOSE THE APRIL 4, 2024 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Section 90(1)(f) law enforcement, if the council considers that disclosure could reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment;

Section 90(1)(g) litigation of potential litigation affecting the municipality;

Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose; and

Section 90(2) A part of a council meeting must be closed to the public if the subject matter being considered relates to one or more of the following:

Section 90(2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party

H. APPROVAL OF CLOSED AGENDA

I. READING OF CLOSED MINUTES

J. NEW BUSINESS

J.1 Law Enforcement - Community Charter Section 90(1)(f)

J.2 Legal Advice - Community Charter Section 90(1)(i)

J.3 Legal Advice - Community Charter Section 90(1)(i)

J.4 Litigation/Legal Advice - Community Charter Sections 90(1)(g) and 90(1)(i)

J.5 Intergovernmental Relations - Community Charter Section 90(2)(b)

J.6 Intergovernmental Relations - Community Charter Section 90(2)(b)

K. CONSIDERATION TO RISE & REPORT

L. ADJOURNMENT

**COMMITTEE OF THE WHOLE REPORT
FROM THE MEETING HELD MARCH 14, 2024**

For the Council meeting of April 4, 2024, the Committee recommends the following:

F.2 Parking Stands for Horse Drawn Vehicles

That Council direct staff to:

1. Renew the horse drawn vehicle parking stand agreements until December 31, 2030 to:
 - a. Capital City Tally-Ho and Sightseeing Company
 - b. Victoria Single Horse Drawn Carriage Tours
 - c. Black Beauty Line
2. Set the monthly fee payable for each parking stand at \$1,340.24, and delegate to staff the authority to modify the monthly fee.
3. Bring forward bylaw amendments to:
 - a. Delegate to staff all authority for parking stands in Schedule C of the *Vehicles for Hire Bylaw*.

G.1 Council Member Motion: Expanding Supports for Community Centres and Community Arts Spaces in Victoria

That Council direct staff to use \$55k from 2024 contingency funds for the following:

1. A \$35,000 grant to the new Neighbourhood Arts Society and Collective (NASC), subject to the creation of an operating agreement and renewed lease between the organization and the City, to authorize the City Manager to execute all agreements where non-profit operators are providing services on the City's behalf, in a form satisfactory to the City Solicitor.
2. A \$20,000 grant to the Victoria Multicultural Society (VMS) to operate the Victoria Events Centre as a non-profit arts centre
3. And that staff recommend to Council, as part of the Budget 2025 process, where operating funds might come from in the future for the NASC to receive ongoing funding, and where grant funds might come from for VMS to receive funding in 2025 and 2026.

G.2 Council Member Motion: Motor Vehicle Act (MVA) Advocacy

That Council direct the Mayor to send an advocacy letter to the Province by the end of March requesting the following: That the Province:

1. As a priority, permit the use of electric wheelchairs and mobility devices on local streets and in the bike and roll lane network via the Motor Vehicle Act and associated regulations;
2. include new micro-mobility devices, including electric skateboards and mopeds and other difficult-to-categorize devices, into the update of the Motor Vehicle Act and associated regulations;

3. ensure that the MVA and associated regulations support active transportation, multi-user road safety, and accessibility.

G.3 Council Member Motion: Our Place – Operating Hours and Storage Grant for 2024

That Council directs staff to:

1. add a one-time grant of \$100,000 from the funds anticipated to be part of the Social Policy, Accessibility, and Equity Pilot Grant to fund OPS operating hours and the storage program for one year;
2. report back with a summary list of funding that the City provides to organizations to serve the unhoused population so that Council can consider whether to allocate such funds differently for this year; and,
3. work with the Provincial Government, BC Housing and Island Health to support the Provincial Government taking over funding the above or equivalent or better services in future years as part of the Heart and Hearth program under the MOU and Belonging in BC.

G.8 Council Member Motion: Community Safety and Connection for Caledonia Place

That Council directs staff to:

1. Request that OPS do regular safety checks and block watch in the vicinity of Caledonia Place and ensure there is strong collaboration between OPS, bylaw, and police to mitigate any potential community safety issues;
2. Reach out to OPS and the NPNA to encourage the creation of a pilot project(s) to provide work opportunities for interested Caledonia Place residents and people experiencing homelessness in the neighbourhood, potentially via Work BC;
3. Request that OPS set up a Residents' Advisory Committee (RAC) at Caledonia Place;
4. Request that OPS, the NPNA, and Caledonia Place's RAC sets up a Community Working Group to brainstorm and implement solutions to improve community safety and well-being for the neighbourhood, including the establishment of a conflict resolution strategy;
5. Allocate up to \$50,000 as a grant to OPS by reallocating from the Social Policy, Accessibility, and Equity Pilot Grant 2024 budget for the above work and request that OPS provide a summary of expenses and report on the performance of each pilot project established by December 31, 2024.



Council Report For the Meeting of April 4, 2024

To: Council **Date:** March 22, 2024
From: C. Kingsley, City Clerk
Subject: 557-561 Fisgard Street: Heritage Designation Permit No. 000205

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Heritage Designation (557-561 Fisgard Street) Bylaw No. 24-006

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 24-006.

The issue came before Council on February 1, 2024 where the following resolution was approved:

557-561 Fisgard Street: Heritage Designation Permit No. 000205 (Downtown)

That Council:

1. *approve the designation of the property located at 557-561 Fisgard Street pursuant to Section 611 of the Local Government Act, as a Municipal Heritage Site; and*
2. *direct staff to prepare the Heritage Designation Bylaw for introductory readings at a subsequent meeting and a Public Hearing date be set.*

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 24-006

NO. 24-006

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to designate the exterior of the building located at 557-561 Fisgard Street to be protected heritage property.

Whereas the owner of 557 Fisgard Street has consented to heritage designate the exterior of the building on the property, and has waived their right to compensation for such heritage designation;

Now therefore under its statutory powers, including Section 611 of the *Local Government Act*, the Council of the Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

1. This Bylaw may be cited as the "HERITAGE DESIGNATION (557-561 Fisgard Street) BYLAW".
2. The exterior of the building as described in the Statement of Significance attached to this Bylaw as Schedule A, and which building is located at 557-561 Fisgard Street, legally described as PID: 003-922-537, Lot A of Lots 442 and 443, Victoria City, Plan 17268, is designated to be protected heritage property.

READ A FIRST TIME the day of 2024

READ A SECOND TIME the day of 2024

Public Hearing Held On the day of 2024

READ A THIRD TIME the day of 2024

ADOPTED on the day of 2024

CITY CLERK

MAYOR

Schedule A

CITY OF VICTORIA STATEMENT OF SIGNIFICANCE LEE WOY & COMPANY BUILDING 557-561 FISGARD STREET

Updated March 2024

Civic Address: 557-561 Fisgard Street

Original Owners: Lee Woy, Lee Yan and Lee Chong

Architects: Hooper & Watkins

Date: 1908

Description of Historic Place:

The Lee Woy & Company Building is a modest two-storey masonry building. It is located mid-block on the south side of Fisgard Street in Victoria's Chinatown. It is identifiable by its metal balcony at the second storey and wood screen above the storefronts.

Heritage Value of Historic Place

The Lee Woy & Company Building is valued as part of a grouping of early buildings that contribute to the historic character and urban pattern of Victoria's Chinatown National Historic Site, the oldest and most intact Chinatown in Canada. In the 1850s, exacerbated by political and social turmoil in China, thousands of Chinese migrated from a small region in the southern province of Guangdong to frontier gold rush sites in California, setting up a permanent base in San Francisco. In 1858, the Fraser Gold Rush spurred the growth of Victoria as a significant port town and prompted the movement of many Chinese into the province. Victoria was the primary point of entry for Chinese into Canada until the early twentieth century.

The building is also representative of the dominant role Chinese merchants played in Victoria's Chinatown. Chinese merchants, already established in San Francisco, moved to Victoria and purchased lots as early as 1858, opening stores backed by funding from San Francisco headquarters. The Lee Woy & Company building was a product of the second wave of merchants who immigrated to Victoria's Chinatown in the 1890s to 1910s. Built in 1908, the building was constructed as stores with tenements above. The use of a 'cheater-storey', a low-ceiling mezzanine that was not taxed, is one of its significant character-defining elements and typical of commercial buildings in Chinatown. The original owner, Lee Woy, Lee Yan and Lee Chong, of Lee Woy & Company, purchased the eastern portion of Lot 443 and a portion of Lot 442 from the Todd family and built on Lot 443. Lee Woy was born in China circa 1855, and his business success allowed the construction of this building. It is one of the few in Chinatown that has remained in Chinese possession.

The building is further valued for its later, and ongoing, relationship with volunteer associations such as the Dart Coon Club and the Chih Kung T'ang. Volunteer associations, or Tongs, were established at the time of the first Chinese settlement as protection against the intolerance and prejudices of Western society and opposing Chinese clans. Some of these early associations, such as the Chih Kung T'ang, were secret society-based political groups, who opposed the

corrupt rule of the later Qing Dynasty. The Chih Kung T'ang was the first Chinese volunteer association in Canada, established in Barkerville in 1863, and in Victoria in 1876, and was set up to maintain businesses and social relationships, as well as organizing gambling activities. The Dart Coon Club arose as a political organization, supported by the Chih Kung T'ang. In accordance with most volunteer associations, funding was obtained entirely by membership dues, gambling, opium dens and exit fees. Volunteer associations usually had their own buildings, typically housing the meeting halls and offices on the upper floor and leased storefronts on the ground floor.

The Lee Woy & Company Building is also significant as an example of the work of architects Hooper & Watkins. Western architects were hired to design the buildings throughout Chinatown, as the Chinese were shunned as professionals in the building trades. Thomas Hooper (1857-1935) and C. Elwood Watkins (1875-1942) were two of the most important early architects in British Columbia. They designed many of the commercial and institutional buildings in downtown Victoria.

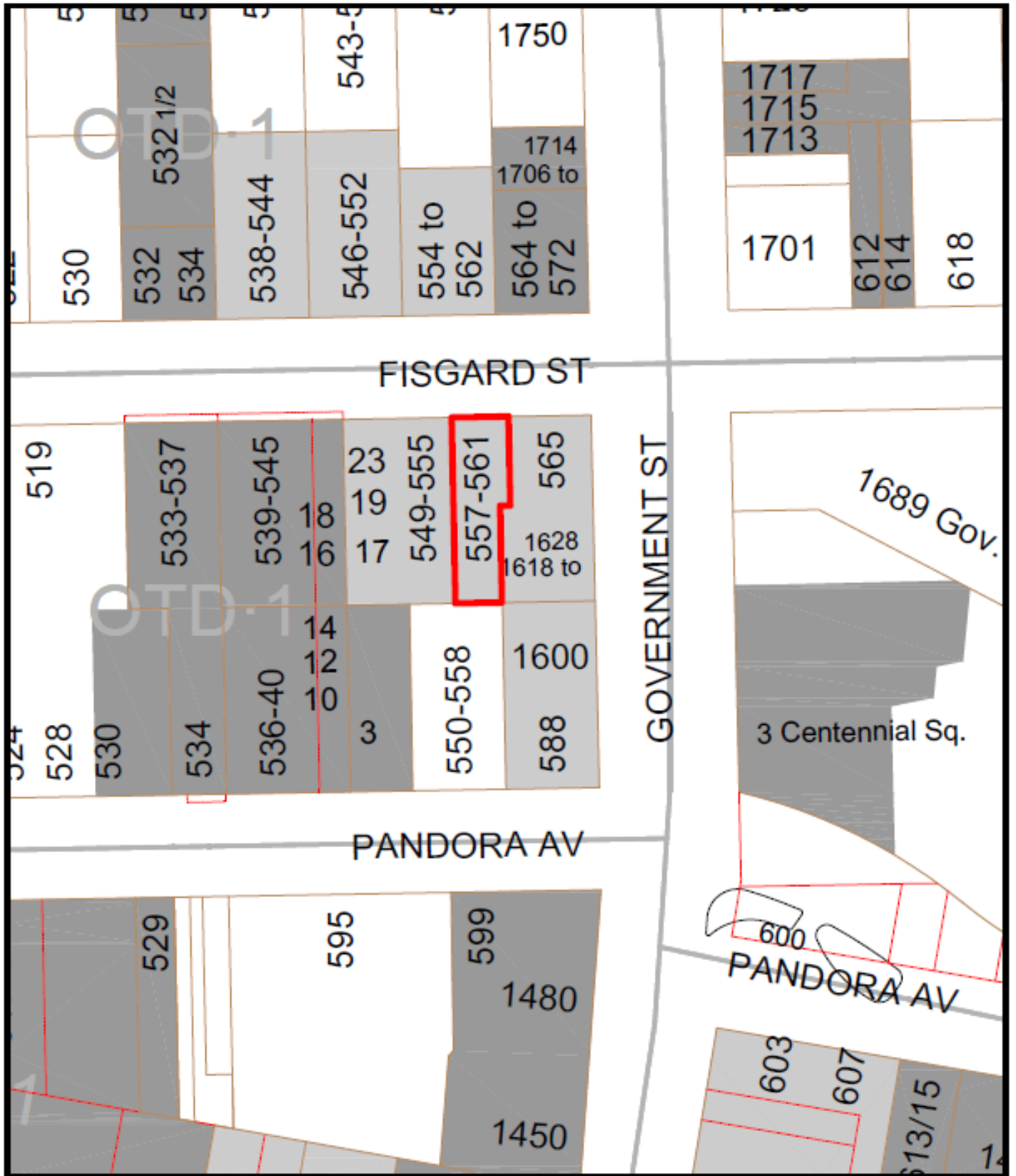
Character-Defining Elements

Key elements that define the heritage character of the Lee Woy & Company include its:

- location on the south side of Fisgard Street, part of a grouping of late-nineteenth and early-twentieth century historic masonry buildings in Victoria's Chinatown National Historic Site
- continuous commercial and institutional use
- siting on the front and side property lines, with no setbacks
- commercial form, scale and massing as expressed by its two-storey height with 'cheater' mezzanine, symmetrical plan, flat roof
- retail storefronts facing Fisgard Street and association meeting rooms above
- brick walls, with corbelled detailing and tooled joints
- two second floor doors, leading to later metal balconies.

Victoria Heritage Thematic Framework

The property at 557-561 Fisgard fits within a few different themes of Victoria's Heritage Thematic Framework. Firstly, this building represents Theme 1.2 Multi-Cultural Origins and 2.1 Frontier Boom Town as in the 1850s, due to political and social turmoil in China, thousands of Chinese migrated from a small region in the southern province of Guangdong to frontier gold rush sites in California, setting up a permanent base in San Francisco. In 1858, the Fraser Gold Rush spurred the growth of Victoria as a significant port town and prompted the movement of many Chinese into the province. The building is also representative of the dominant role Chinese merchants played in Victoria's Chinatown and the Lee Block was a product of the second wave of merchants who immigrated to Victoria's Chinatown in the 1890s to 1910s. With the building being used for the Dart Coon Club, Chih Kung T'ang and the Chinese Freemasons, we can also apply Theme 4.2 Associations and Organizations. Although a modest building, the two-storey plus 'cheater' mezzanine is a character-defining element that is unique to Chinatown, so Theme 5.1 Architectural Expression is relevant here.



557 Fisgard Street

Heritage Designation #000205



Designated
 Registered





Council Report

For the Meeting of April 4, 2024

To: Council **Date:** March 22, 2024
From: C. Kingsley, City Clerk
Subject: 565 Fisgard Street: Heritage Designation Permit No. 000207

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Heritage Designation (565 Fisgard Street) Bylaw No. 24-007

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 24-007.

The issue came before Council on February 1, 2024 where the following resolution was approved:

565 Fisgard Street: Heritage Designation Permit No. 000207 (Downtown)

That Council:

1. *approve the designation of the property located at 565 Fisgard Street, pursuant to Section 611 of the Local Government Act, as a Municipal Heritage Site; and*
2. *direct staff to prepare the Heritage Designation Bylaw for introductory readings at a subsequent meeting and a Public Hearing date be set.*

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 24-007

NO. 24-007

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to designate the exterior of the building located at 565 Fisgard Street to be protected heritage property.

Whereas the owner of 565 Fisgard Street has consented to heritage designate the exterior of the building on the property, and has waived their right to compensation for such heritage designation;

Now therefore under its statutory powers, including Section 611 of the *Local Government Act*, the Council of the Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

1. This Bylaw may be cited as the "HERITAGE DESIGNATION (565 Fisgard Street) BYLAW".
2. The exterior of the building as described in the Statement of Significance attached to this Bylaw as Schedule A and which building is located at 565 Fisgard Street, legally described as PID: 003-944-999, Lot B of Lot 442, Victoria City, Plan 17268, is designated to be protected heritage property.

READ A FIRST TIME the	day of	2024
READ A SECOND TIME the	day of	2024
Public Hearing Held On the	day of	2024
READ A THIRD TIME the	day of	2024
ADOPTED on the	day of	2024

CITY CLERK

MAYOR

Schedule A

STATEMENT OF SIGNIFICANCE

LEE BLOCK 565 FISGARD STREET

Updated March 2024, City of Victoria

Civic Address: 565 Fisgard Street, Victoria, BC

Original Owners: Lee Woy, Lee Yan and Lee Chong

Architects: Hooper & Watkins

Builder: Thomas Brydon

Date: 1910



DESCRIPTION OF HISTORIC PLACE

The Lee Block is a prominent building located at the corner of Fisgard and Government Streets in the heart of Victoria's Chinatown. The three-storey masonry building is identifiable by its corner siting in Chinatown and location adjacent to the Gate of Harmonious Interest. The Edwardian-era commercial building with its symmetrical structural bays and regular fenestration, contains storefronts on the main floor.

HERITAGE VALUE

The Lee Block is valued as part of a grouping of early buildings that contribute to the historic character and urban pattern of Victoria's Chinatown a National Historic Site, the oldest and most intact Chinatown in Canada. In the 1850s, exacerbated by political and social turmoil in China, thousands of Chinese migrated from a small region in the southern province of Guangdong to frontier gold rush sites in California, setting up a permanent base in San Francisco. In 1858, the Fraser Gold Rush spurred the growth of Victoria as a significant port town and prompted the

movement of many Chinese into the province. Victoria was the primary point of entry for Chinese into Canada until the early twentieth century.

The buildings are also representative of the dominant role Chinese merchants played in Victoria's Chinatown. Chinese merchants, already established in San Francisco, moved to [Victoria](#) and purchased lots as early as 1858, opening stores backed by funding from San Francisco headquarters. The Lee Block was a product of the second wave of merchants who immigrated to Victoria's Chinatown in the 1890s to 1910s. Lot 442 was purchased by Lee Woy, Lee [Yan](#) and Lee Cheong, who owned Lee Woy & Company, in 1910, and the building was constructed as 'stores and rooms' the same year. The use of a 'cheater-storey', a low-ceiling mezzanine that was not taxed, is one of its significant character-defining elements and typical of commercial buildings in Chinatown. The Lees also owned the Lee Woy & Company Building, 557-571 Fisgard Street. In 1954, the Lee Block was sold to the Dart Coon Club.

The Lee Block is also expressive of a degree of duality in its architecture. With its main frontage on Government Street, the Lee Block presents an almost totally Western appearance. Designed in a symmetrical fashion and divided into distinct bays, it displays the tripartite articulation that reflects the influence of the Chicago School. The exterior evidence of its Chinese ownership and use is limited to the multiple doorways to the upper floor, which indicate the presence of tenements and meeting rooms for volunteer association on the upper floors. Western architects were hired to design buildings throughout Chinatown, as the Chinese were shunned as professionals in the building trades. Charles Elwood Watkins (1875-1942), a prolific Victoria architect, designed the Lee Block. In addition to his many commercial, [institutional](#) and residential projects, Watkins had a number of clients in the Chinese community.

This building was built by Contractor Thomas Anderson Brydon (b. Selkirk, SCT, 1855-1920) who was prominent both professionally and politically, and his association with this building contributes to its historical value. Brydon apprenticed in Edinburgh as a carpenter and joiner and came to Victoria in 1885 and by 1889 Brydon was Clerk of Works for the construction of St. Andrew's Presbyterian Church (924 Douglas St, Downtown). He constructed many buildings, including the [Janion](#) Block and the Chinese School (636 Fisgard St, Downtown). Brydon served on Victoria City Council from 1899-1901 and in 1906 Thomas became the first Reeve of the newly formed Saanich Municipality.



CHARACTER-DEFINING ELEMENTS

Key elements that define the heritage character of the Lee Block include its:

- location on Government Street, at the corner of Fisgard Street, part of a grouping of late-nineteenth and early-twentieth century historic masonry buildings in Victoria's Chinatown
- continuous commercial, residential tenement and institutional use
- siting on the front and side property lines, with no setbacks
- commercial form, scale and massing as expressed by its three-storey height, with 'cheater' mezzanine, bevelled corner with storefront entry; rectangular plan, flat roof, series of doorways leading to the upper floors, and storefronts facing Government Street
- construction materials, including pressed tan-brick cladding with red mortar on the two main facades, common red-brick side and rear walls, and cast-iron storefront columns
- influence of the Chicago School including: tripartite façade articulation; symmetrical structural bays separated by brick pilasters; pressed metal cornices with metal modillions and corbels; and side entry on Fisgard Street with a sheet metal pediment
- multiple doorways leading to the upper storey tenements and meeting rooms
- sidewall chimneys indicating upper floor occupation
- original windows including one-over-one double-hung wooden-sash windows facing Fisgard Street, storefront transoms facing Government Street and multi-paned wooden-sash windows above the side and corner entries
- interior elements, such as the 'cheater' mezzanine

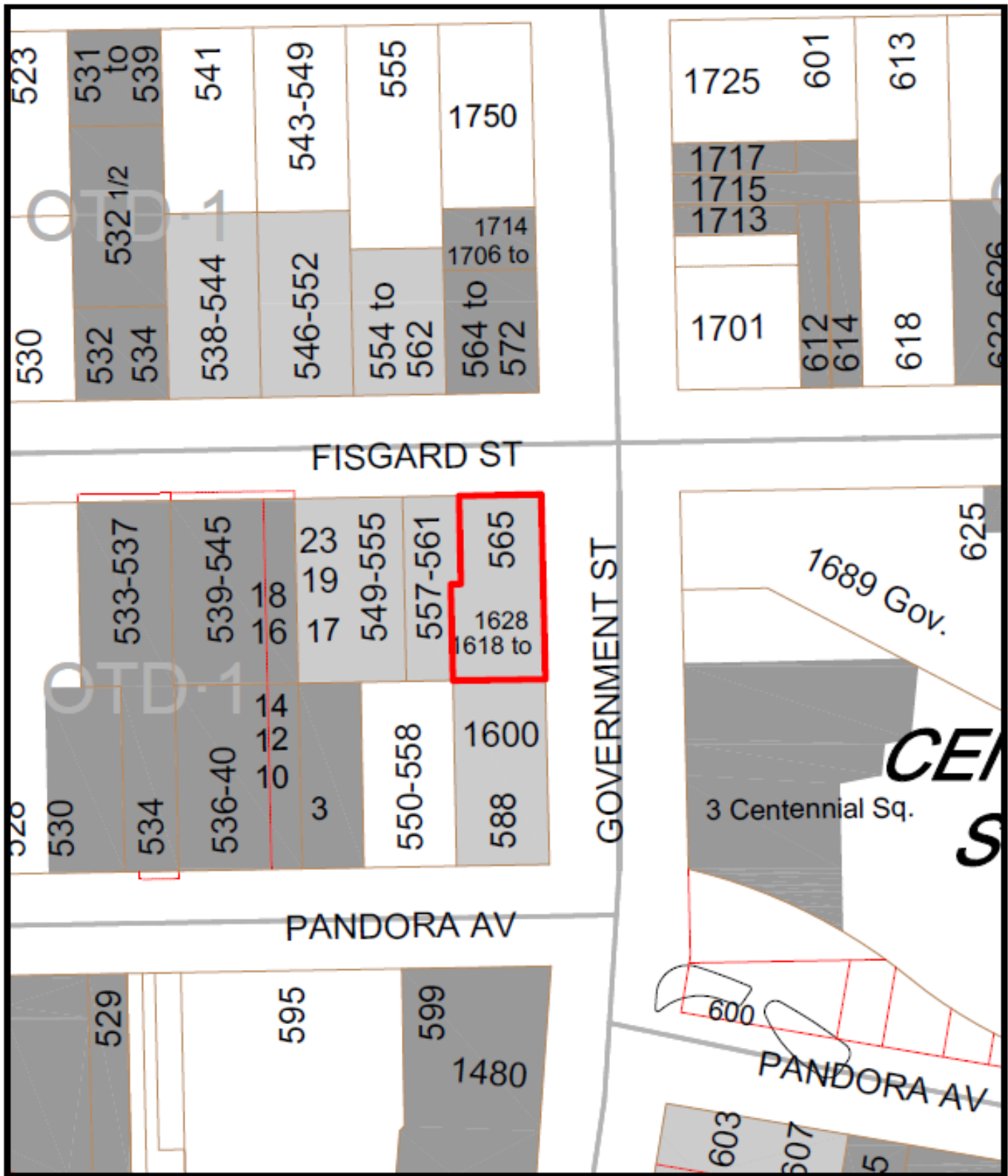
VICTORIA HERITAGE THEMATIC FRAMEWORK

565 Fisgard fits within a few different themes of Victoria's Heritage Thematic Framework. Firstly, this building represents Theme 1.2 Multi-Cultural Origins and 2.1 Frontier Boom Town as in the 1850s, due to political and social turmoil in China, thousands of Chinese migrated from a small region in the southern province of Guangdong to frontier gold rush sites in California, setting up

a permanent base in San Francisco. In 1858, the Fraser Gold Rush spurred the growth of Victoria as a significant port town and prompted the movement of many Chinese into the province. The building is also representative of the dominant role Chinese merchants played in Victoria's Chinatown and the Lee Block was a product of the second wave of merchants who immigrated to Victoria's Chinatown in the 1890s to 1910s. Lastly, the aesthetic value of the building is a good example of a commercial building that shows influence of the Classical Revival style, prevalent during the Edwardian era and an architectural expression that reflects the influence of the Chicago school, so this aligns with theme 5.1 Architectural Expression.







565 Fisgard Street

Heritage Designation #000207



Designated



Registered





Council Report For the Meeting of April 4, 2024

To: Council **Date:** March 26, 2024
From: C. Kingsley, City Clerk
Subject: Amendment Bylaw for Council Remuneration Bylaw

RECOMMENDATION

That the following bylaw be given first, second and third readings:

1. Council Remuneration Bylaw, Amendment Bylaw (No. 2) No. 24-027

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 24-027.

The issue came before Council on March 14, 2024 where the following resolution was approved:

Review of Council Remuneration

That Council receive the Review of Council Remuneration report for information.

*Whereas, eight years ago, City Council initiated a governance review process as part of the 2019-2022 strategic plan; and whereas City Council received the MNP LLP Governance Review in July of 2022; and whereas the previous Council chose not to address the Review's recommendations prior to the end of its mandate, including the hiring of a third-party remuneration consultant, thereby deferring that decision until this Council's mandate; and whereas this Council has committed to implementing the recommendations of the Governance Review, including the issue of remuneration, which is one of the few remaining items left to address; and whereas the third-party remuneration consultant has now completed their work, and compared the City's remuneration practices to 19 comparator cities across Canada, and whereas the MNP Review confirms that City Council is a full-time job,
therefore, be it resolved:*

1. *That Council direct staff to prepare the necessary bylaws by 11 April 2024 to achieve the following:*
 - A. *Confirm that City Council is a full-time job;*
 - B. *Set base remuneration rate for City Councillors at 50% that of the Mayor's salary so that Councillor remuneration better aligns with: 1) the median percentile for salary in Victoria's comparator cities, and 2) the remuneration practices of numerous other mid-sized cities across the country;*

- C. Maintain the yearly remuneration cost of living adjustments pegged to the previous year's inflation rate, as per current practice;*
2.
 - A. That Council direct staff to provide options on improved Councillor benefits, and report back on those options within three months;*
3.
 - A. That all of the provisions in 1 (above) become effective on 1 May 2024 or upon final adoption of the bylaw, whichever comes first.*

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 24-027

COUNCIL REMUNERATION BYLAW, AMENDMENT BYLAW (NO. 2)

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the *Council Remuneration Bylaw* to confirm the full-time role of City Council members and to better align Council members' remuneration with the median percentile for remuneration in Victoria's comparator cities and the remuneration practices of numerous other mid-sized cities across the country.

Contents

- 1 Title
- 2 Amendments
- 3 Transition Provisions
- 4 Commencement

Under its statutory powers, including sections 114 and 165 of the *Community Charter*, the Council of the Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

Title

- 1 This Bylaw may be cited as the "Council Remuneration Bylaw, Amendment Bylaw (No. 2)".

Amendments

- 2 Bylaw No. 08-103, the Council Remuneration Bylaw, is amended by:
 - (a) deleting section 2 and replacing it with:
 - "2. The Mayor shall be paid an annual indemnity of \$131,050 as adjusted pursuant to section 4 of this Bylaw.";
 - (b) deleting section 3 and replacing it with:
 - "3. Each member of Council, other than the Mayor, shall be paid an annual indemnity equal to one half of the indemnity paid to the Mayor.";
 - (c) deleting in section 4:
 - (i) "With effect from January 1, 2010, the" and replacing it with "The"; and
 - (ii) the word "other"; and
 - (d) repealing sections 7 and 8, and renumbering section 9 as section 7.

Transition Provisions

3 Notwithstanding any other provision of this Bylaw or the Council Remuneration Bylaw, in the year section 2(b) of this Bylaw comes into force the indemnity paid to Council members other than the Mayor shall be calculated as follows:

- (a) for the part of the year prior to section 2(b) of this Bylaw coming into force, in accordance with the Council Remuneration Bylaw as it was prior to this Bylaw coming into force; and
- (b) for the remainder of the year, in accordance with the Council Remuneration Bylaw as amended by this Bylaw.

Commencement

4 This Bylaw comes into force on adoption.

READ A FIRST TIME the	day of	2024
READ A SECOND TIME the	day of	2024
READ A THIRD TIME the	day of	2024
ADOPTED on the	day of	2024

CITY CLERK

MAYOR



Council Report For the Meeting of April 4, 2024

To: Council **Date:** March 18, 2024
From: C. Kingsley, City Clerk
Subject: Amendment Bylaw for Delegation Bylaw

RECOMMENDATION

That the following bylaw be given first, second, and third readings:

1. Delegation Bylaw, Amendment Bylaw (No. 1) No. 24-025

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 24-025.

The issue came before Council on September 14, 2023 where the following resolution was approved:

Canada Day Celebration

1. *Approve an increase of \$250,000 to the 2024 Financial Plan towards a City-led Canada Day celebration budget as ongoing funding through a property tax increase.*
2. *Approve the removal of the existing \$75,000 Canada Day funding from the Festival Investment Grant program fund towards a City-led Canada Day celebration.*
3. *Approve the updated Festival Investment Grant guidelines with the removal of a Canada Day grant stream.*
4. *Direct the City Solicitor to prepare necessary amendments to the Delegation Bylaw to enable the Director of Business & Community Relations to:*
 - a. *Approve the terms of reference for the Canada Day celebration.*
 - b. *Approve the annual grant funding allocations for the Festival Investment Grant program, up to the maximum annual program funding in the Financial Plan.*
5. *That staff explore additional sponsorship or partnership opportunities that staff determine align with City goals and values, to supplement the proposed scope of the current festival plans.*

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 24-025

DELEGATION BYLAW, AMENDMENT BYLAW (NO.1)

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the *Delegation Bylaw* to enable the Director of Business and Community Relations to approve annual grant funding allocations for the Festival Investment Grant program.

Contents

- 1 Title
- 2 Amendments
- 3 Commencement

Under its statutory powers, including section 154 of the *Community Charter*, the Council of the Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

Title

- 1 This Bylaw may be cited as the “Delegation Bylaw, Amendment Bylaw (No. 1)”.

Amendments

- 2 The Delegation Bylaw is amended in Schedule 2 as follows:
 - (a) by striking out the title “Delegation of Cultural Grant Approvals and Other Agreements” and replacing it with “Delegation of Grants and Grant Agreements”; and
 - (b) by inserting the following row immediately after row 1:

2	Approval of annual grant allocations for Festival Investment Grant program	Director of Business and Community Relations	In accordance with Council approved program guidelines Up to the maximum annual program funding specified in the Financial Plan
---	--	--	--

Commencement

- 3 This Bylaw comes into force on adoption.

READ A FIRST TIME the	day of	2024
READ A SECOND TIME the	day of	2024
READ A THIRD TIME the	day of	2024
ADOPTED on the	day of	2024

CITY CLERK

MAYOR



Council Report

For the Meeting of April 4, 2024

To: Council **Date:** March 13, 2024
From: C. Kingsley, City Clerk
Subject: 2816 Irma Street: Rezoning Application No. 00829 and Development Permit with Variances Application No. 0217

RECOMMENDATION

That the following bylaw be given first, second and third readings:

1. Zoning Regulation Bylaw Amendment Bylaw (No. 1333) No. 24-011

BACKGROUND

Attached for Council's initial consideration is a copy of the proposed Bylaw No. 24-011.

The issue came before Council on December 14, 2023 where the following resolution was approved:

2816 Irma Street: Rezoning Application No. 00829 and associated Development Permit with Variances Application No. 0217 (Burnside)

Rezoning Application

1. *That Council instruct the Director of Sustainable Planning and Community Development to prepare the necessary Zoning Regulation Bylaw amendment that would authorize the proposed development outlined in the staff report dated December 14, 2023, for 2816 Irma Street.*
2. *That, after publication of notification in accordance with section 467 of the Local Government Act, first, second, and third reading of the zoning bylaw amendment be considered by Council once the following conditions are met, to the satisfaction of the Director of Parks, Recreation and Facilities:*
 - a. *a replacement tree plan prepared by an arborist or landscape architect showing the location of proposed replacement trees meeting requirements under the bylaw*
 - b. *revisions to the arborist report commenting on retention status of municipal tree M1 in relation to the proposed 1.8 m wide sidewalk*
 - c. *an updated Civil plan showing the location of site servicing on private property, proposed location of all third-party utilities, and adding proposed street trees.*
3. *That following the third reading of the zoning amendment bylaw, the applicant prepares and execute the following legal agreement, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor prior to adoption of the bylaw:*

- a. a 1.38m Statutory Right of Way on Irma Street.
4. That adoption of the zoning bylaw amendment will not take place until all of the required legal agreements that are registrable in the Land Title Office have been so registered to the satisfaction of the City Solicitor.
5. That the above Recommendations be adopted on the condition that they create no legal rights for the applicant or any other person, or obligation on the part of the City or its officials, and any expenditure of funds is at the risk of the person making the expenditure.

Development Permit with Variances Application

That Council, after giving notice, consider the following motion:

1. "That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorizes the issuance of Development Permit with Variances No. 00217 for 2816 Irma Street, in accordance with plans submitted to the Planning department and date stamped by Planning on September 14, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce the front yard setback from 6.00m to 4.45m;
 - ii. reduce the side (north) setback from 4.0m to 3.0m;
 - iii. reduce the requirement for soft landscaping between surface vehicle parking spaces and an adjacent lot used primarily for residential purposes from 1.0m to 0.0m;
 - iv. reduce the number of visitor parking spaces from 1 to 0; and
 - v. allow roof decks.
2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution."

Respectfully submitted,

Curt Kingsley
City Clerk

Report accepted and recommended by the City Manager

List of Attachments:

- Bylaw No. 24-011

NO. 24-011

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the RT-3 Zone, Attached Dwelling (Irma) District, and to rezone land known as 2816 Irma Street from the R1-B Zone, Single Family Dwelling District to the RT-3 Zone, Attached Dwelling (Irma) District.

The Council of The Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

- 1 This Bylaw may be cited as the "ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1333)".
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of Schedule "B" under the caption PART 2 – Attached Dwelling Zones by adding the following words:

"2.167 RT-3 Zone Attached Dwelling (Irma) District"
- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 2.166 the provisions contained in Schedule 1 of this Bylaw.
- 4 The land known as 2816 Irma Street, legally described as PID: 025-934-368, Lot A, Sections 10 and 11, Victoria District Plan VIP76982 and shown hatched on the attached map, is removed from the R1-B Zone, Single Family Dwelling District, and placed in the RT-3 Zone, Attached Dwelling (Irma) District.

READ A FIRST TIME the day of 2024

READ A SECOND TIME the day of 2024

READ A THIRD TIME the day of 2024

ADOPTED on the day of 2024

CITY CLERK

MAYOR

PART 2.167 – RT-3 ZONE, ATTACHED DWELLING (IRMA) DISTRICT**2.167.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Single family dwelling, subject to the regulations contained in Part 1.2 of the Zoning Regulation Bylaw
- b. Attached dwelling,
- c. Semi-attached dwelling,
- d. Accessory buildings, subject to the regulations set out in Schedule “F”

2.167.2 Number and Dimensions of Buildings and Uses

- | | |
|--|----------------------------------|
| a. Number of <u>buildings</u> (maximum) | 2, excluding accessory buildings |
| b. Number of <u>self-contained dwelling units</u> per <u>attached dwelling</u> (maximum) | 4 |
| c. No more than six <u>self-contained dwelling units</u> may be located on a <u>lot</u> with an <u>attached dwelling</u> | |
| d. Notwithstanding Section 19 of the General Regulations, more than one <u>building</u> is permitted on a <u>lot</u> subject to the regulations in this Part | |

2.167.3 Floor Area, Floor Space Ratio

- | | |
|---------------------------------------|---------------------|
| a. <u>Total floor area</u> (maximum) | 796.0m ² |
| b. <u>Floor space ratio</u> (maximum) | 0.72:1 |

2.167.4 Height, Storeys

- | | |
|-------------------------------------|-------|
| a. <u>Building height</u> (maximum) | 9.25m |
| b. <u>Storeys</u> (maximum) | 3 |

2.167.5 Setbacks, Projections

- | | |
|--|------|
| a. <u>Front yard setback</u> (minimum) | 6.0m |
| b. <u>Rear yard setback</u> (minimum) | 4.0m |
| c. <u>Side yard setback</u> from interior <u>lot lines</u> (minimum) | 4.0m |
| d. Separation space between buildings (minimum) | 5.0m |

PART 2.167 – RT-3 ZONE, ATTACHED DWELLING (IRMA) DISTRICT

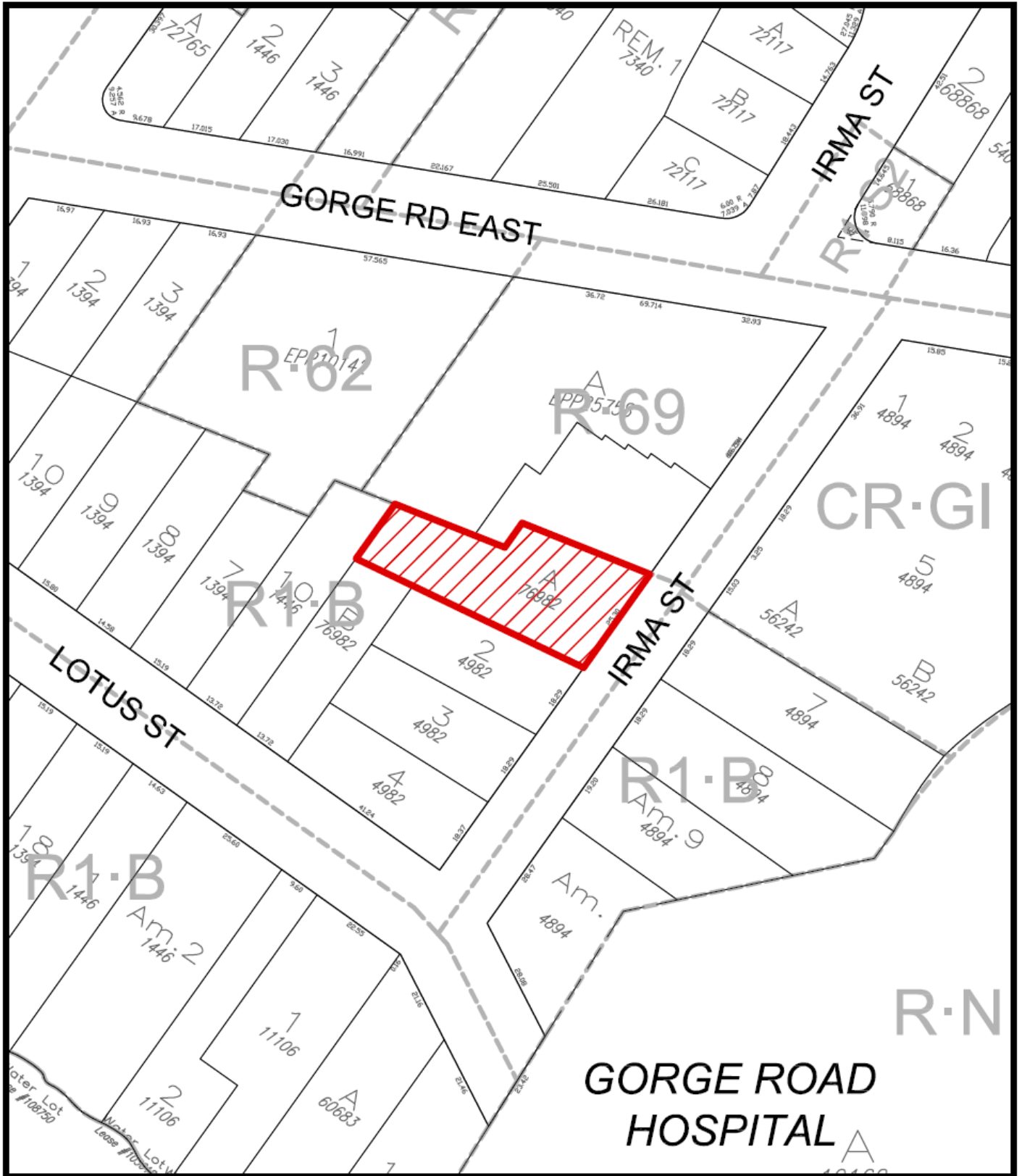
2.167.6 Site Coverage, Open Site Space

- | | |
|-------------------------------------|-----|
| a. <u>Site Coverage</u> (maximum) | 50% |
| b. <u>Open site space</u> (minimum) | 30% |

2.167.7 Vehicle and Bicycle Parking

- | | |
|------------------------------|--|
| a. Vehicle parking (minimum) | Subject to the regulations in Schedule "C" |
| b. Bicycle parking (minimum) | Subject to the regulations in Schedule "C" |

PART 2.167 – RT-3 ZONE, ATTACHED DWELLING (IRMA) DISTRICT



2816 Irma Street
Rezoning No.00829



[REDACTED]

From: Jim Miller [REDACTED]
Sent: March 25, 2024 3:45 PM
To: Legislative Services email
Subject: COTW Apr 4th Rezoning 2816 Irma St - tearing down affordable housing

Dear Legislative Services,

I am contacting you today to advocate for my close friends who reside in a shared low-rent house at 2816 Irma Street in Victoria. They are working class poor and had a struggle to find housing they could afford. This house is owned by a developer who has permit applications in for rezoning and development. The developer has plans to tear down a perfectly nice, affordable rental property and build 6 unaffordable condos. Despite near-total community opposition, this application has miraculously made it to the COTW. The only beneficiary of allowing the development is the cash lined pockets of an out of town developer. This will simultaneously increase the average rent in the midst of a housing crisis. The tenants have no hopes of finding rental housing in the current market which comes anywhere near to the current affordability.

The community plan calls for 2816 Irma Street to remain as single family housing. The CALUC soundly advised that the development was highly opposed by the neighbours and entire community. Please be on the right side of this and voice your opposition to the housing crisis by rejecting this permit application.

Thanks,
-Jim

From: nada Azouri [REDACTED]
Sent: March 26, 2024 11:49 AM
To: Legislative Services email
Subject: Public notice for Development application no 00217 currently 2816 Irma street

Hi there I live on Lotus street right on lotus and Irma

Currently we have had this neighbourhood bombarded with new construction and builds.

It's been overwhelming and very busy and this once quiet street has turned into a Kaios that is so unfair when we bought our home on Lotus street it was because it was a nice quiet neighbourhood and now it's the opposite.

with the new building going up on the corner of Gorge and Irma street this building is so huge it looks like a small city and I am unsure how this was even accepted by the city to get developed especially with how high this building is and also where are the visitors and tenants going to park....

Parking and traffic has been a huge issue with many close calls with our kids and our pets.

I am unsure how this new proposal is even going to work for the lot on 2816 Irma street

there is a townhouse complex right beside it across from the new build on irma street and it only has 5 units. 6 townhouses on this lot will be so unrealistic.

there are no parking stalls for the townhomes so this will be a huge issue....two buildings how? We don't want our neighbourhood to start looking like a sardine can....

if it was a townhome with 3 unit's this would be more realistic or a duplex but 6 this is not realistic at all and it'll be way to congested for this lot.

We don't want anymore builds that will take up the parking and make the traffic so dangerous for our kids and pets. Irma and Lotus have become a mini highway and very dangerous for such a small road.

thank you for considering my comments

Nada

[REDACTED]

From: Cody Baresich [REDACTED]
Sent: April 1, 2024 11:54 PM
To: Victoria Mayor and Council; Marianne Alto (Mayor); Jeremy Caradonna (Councillor); Chris Coleman (Councillor); Matt Dell (Councillor); Marg Gardiner (Councillor); Stephen Hammond (Councillor); Susan Kim (Councillor); Krista Loughton (Councillor); Dave Thompson (Councillor); Legislative Services email
Subject: Regarding COTW Meeting Apr 4th.

Dear Mayor and Council,

I'm writing today as a resident to urge you to oppose the proposed demolition of quality affordable housing at 2816 Irma Street. The development permit application is DPV00217 and the associated rezoning application is REZ00829. This is one of the first low rent casualties of the sadly misguided "Missing Middle" initiative which council passed in January 2023. This property is currently renting for \$2233 per month; for a 5 bedroom single family detached home. This is the exact type of property necessary to retain in order to keep average rent down in Victoria – and yet the missing middle allows developers to demolish this type of affordable property with little oversight. It's currently rented by working class low income residents, and I am one of the residents who will be displaced if you allow this development to continue. The house is in fine shape despite it's age, and was extremely well built. It shows no signs of any major structural failures and is well kept inside and out. The current tenants have been here for nearly 4 years.

The developer from Vancouver originally proposed 8 units for the lot prior to the passing of the Missing Middle. This type of application for 2816 Irma St has been soundly rejected by the CALUC on more than one occasion, and the community feedback for this latest application was a resounding no once again. Upon the passing of the Missing Middle in January, the developer has rapidly (and underhandedly) altered the plans from 8 units down to 6; to allow this development to fit into the Missing Middle and avoid Mayor/Council/Community Planner scrutiny. This means that another quality home with extremely affordable rent will be replaced by 6 completely non-affordable units ostensibly for marketing to wealthy non-residents. This does absolutely nothing to increase availability of affordable housing within the city; and in fact does the opposite as the low income residents will be immediately displaced into housing they can't afford or onto the street. The availability of a rental property in Victoria where each room rents for similar rental rates is nearly zero. Whilst the developer has largely ignored the Victoria Tenant Assistance Policy, even if they were to bother with section 4.3 (Alternate housing options); they would be basically at a brick wall trying to locate properties "Comparable in terms of size, location, and rent amount".

With all dreams for the usefulness of the Missing Middle bylaws aside, I urge you strongly to consider putting a very quick stop to this development by whatever legal avenues available. Please reply at your earliest convenience.

-- Ryan Cody Baresich
[REDACTED]

[REDACTED]

From: Charles Bodi [REDACTED]
Sent: April 1, 2024 1:25 PM
To: Legislative Services email
Subject: 2816 Irma St

Follow Up Flag: Follow up
Flag Status: Flagged

I object to the reduction in visitor parking of 1 to 0.

Neighbouring apartments on Gorge along with the adjacent townhouse building all have spill over their principal residents and visitors vehicles.

Also, the apartment being constructed currently fail to have adequate parking for the needs of the projected tenants.

I am barely able to exit my own driveway currently because vehicles park so close to the mouth of my driveway.

Often times I'm not able to go to work because I can't exit my own driveway. The street is narrow and making the turn with vehicles along my driveway opening becomes even more challenging when vehicles are also parked across the street.

I know this council is on a mission to remove cars, and that my opinion means absolutely nothing to the Party of 5.

So, as a compromise I would like to see that yellow markings be painted on either side of my driveway limiting how close vehicles can park beside my driveway.

Painting 5 feet of yellow paint on either side of the non-mountable curb (not the tapered portion of the curb) would allow me continued access to my property which has drastically decreased in the past 20 years due to the reduction of parking minimums on Irma and Gorge.

FYI, Hospital staff and visitors still park on Irma and Lotus to avoid paying for parking.

News flash. People need cars. Reducing parking minimums does nothing for the environment., It only makes the quality of living worse for everyone else.

Sadly, only us adults understand that.

Charles Bodi
2815 Irma St

*Please black out my address before posting publically. Victoria is an extremely divisive and hostile

community filled with friends of council trolls. I do not need harassment by social degenerates.

Thank you.

From: Dale Read [REDACTED]
Sent: April 1, 2024 4:48 PM
To: Legislative Services email; Victoria Mayor and Council; Marianne Alto (Mayor); Jeremy Caradonna (Councillor); Chris Coleman (Councillor); Matt Dell (Councillor); Dave Thompson (Councillor); Marg Gardiner (Councillor); Stephen Hammond (Councillor); Susan Kim (Councillor); Krista Loughton (Councillor)
Cc: dobee@timescolonist.com
Subject: PUBLIC NOTICE: NOT RECEIVED IN TIME FOR INFORMED INPUT 2816 IRMA STREET

Follow Up Flag: Follow up
Flag Status: Flagged

PUBLIC NOTICE: NOT RECEIVED IN TIME FOR INFORMED INPUT 2816 IRMA STREET

Dear Mayor and Council,

On March 26, I received a hand-delivered notice in my mailbox for a Variance Development permit seeking my input on a proposed variance for 2816 Irma Street. The notice is dated March 22 and stated that I had to submit my comments by the Tuesday before the meeting (which would be March 26 for the April 4 meeting). This notice is in contravention a reasonable person's interpretation of the variance rules because I received the notice after the **"Tuesday noon deadline"** set out in the notice. I do not believe that you can legally decide this variance application on April 4 because the notice was not delivered properly.

The next issues that I would like to comment on are the variances that the Developer is requesting.

1. I oppose the request to reduce the Irma Street setback since the streetscape is already overtaken by tall buildings and will make the street look and feel like it is a canyon. Further, this decrease will also affect the airflow around the buildings thereby increasing the effect on increased air temperature due to climate change.
2. I oppose the request to reduce the setback by one metre for the north side. Again, reduced airflow will affect the quality of life in the existing townhouses and surrounding properties.
3. The Developer justifies the removal of the soft landscaping and reducing the setback on the southside because of the "residential use of the adjoining properties." I disagree. The Developer is suggesting that my use of my property is less important than the Developer's purpose of profit. I have looked at the original drawing and, on A500, it shows that there is a 2-metre fence with lattice work to allow for clematis to climb on. If you allow the removal of the soft landscaping, where are they going to plant the

clematis that is supposed to climb in the lattice on the fence. Does that mean the Developer is not going to not install a fence as well?

a. a. The driveway is interlocking pavers. This suggests there will be problems with drainage and toxic run-off. Does that mean there are no **French drains** in the driveway and that all the oil and rain water is going to run downhill onto my property and *pollute my property*? Am I going to have to get my soil tested regularly to make sure there is no oil or antifreeze in the run-off and then have to request that the city mitigate the damage to my gardens?

b. Is the extra-wide driveway on the south side supposed to cover the requirement to have parking space for a van? The van space could be accommodated on the north side of the property where there is access to the garbage and compost bins without reducing the setback on the south side.

4. A visitor parking space could also still be possible if allocated on the north side where the access to the garbage and compost bins is located. The Strata Council could create bylaws to manage the visitor parking use.
5. This project already has decks on the third floors and ground-level patios. The Strata does not need a roof top deck and all the problems that those partying and smoking areas create. This is simply a marketing strategy for the developer to increase the selling price, which in turn, makes yet another development that the missing middle cannot afford.

Sincerely,

Dale L. Read
36 Lotus Street,
Victoria

[REDACTED]

From: Victoria Mayor and Council
Sent: April 2, 2024 12:05 PM
To: Legislative Services email
Subject: FW: 2816 Irma St

[REDACTED]

[REDACTED]

Protocol and Correspondence Coordinator
Communications and Engagement
City of Victoria
1 Centennial Square, Victoria, BC V8W 1P6



The City of Victoria is located on the homelands of the Songhees and Esquimalt People

From: Gerald Woodland [REDACTED]
Sent: Tuesday, April 2, 2024 12:01 AM
To: Victoria Mayor and Council <mayorandcouncil@victoria.ca>
Subject: 2816 Irma St

Good day Mayor and Council members. My wife, daughter and I live at 2830 Irma St in the apartments across from "The Gorge" apartment building construction site. needless to say we have been very inconvenienced for the 3.5 plus years of endless noise, rude workers and machine operators, blocked traffic, no street parking, nighttime upgrades to roads and power infrastructure, blasting and worker groups taking up the sidewalks and making us wait for extended periods of time before leaving or entering Irma to leave or go home. Our neighbors in the apartment next to us and the folks living in the houses down the road share the same feeling as us. We need a break from the construction atmosphere. Nobody I have talked to is in favour of this new development at 2816 Irma St. The size and depth of the development doesn't seem to help the housing crisis and can only put more strain on the needs of residents in our community and neighborhood. There is already over 150 units being built across the road from us. We beg you to rethink the application and give further thought into how more construction and unaffordable housing will alter our demographic and already pressured lives as neighbors and families along the Gorge.

Sincerely,
Gerald Woodland

[REDACTED]

From: Jonathon Watson [REDACTED]
Sent: April 1, 2024 5:12 PM
To: Legislative Services email
Cc: Tamara Macgregor
Subject: 2816 Irma St. Rezoning No. 24-011

Good day,

We are writing in response to the public notice letter seeking input on the proposed changes to 2816 Irma St. We own 32 Lotus St. which shares the western boundary of 2816 Irma St.

We oppose the rezoning and variances of 2816 Irma St. from R1-B to RT-3. The concept and design of the development looks interesting, however, further densification of Irma st. should only be considered after the new mixed use 152unit apartment building is completed across the street.

1. The 152 unit rental and commercial building project is not finished, the effects to traffic and parking are unknown.
2. We already have a lot of traffic pressure on Lotus St. from hospital users, staff, the existing apartments, cooperatives and townhome developments.
3. There is a high volume of road users that do not like turning onto Gorge from Irma and prefer to head down Lotus to Harriet to utilize the lights.
4. We are also concerned about the urban tree canopy, It will be almost impossible to plant trees that meet the city's tree planting requirements. The development would have to approve the removal of a very nice large fir tree that hosts a variety of interesting birds.

We would support the project if the existing traffic flow dilemma could be addressed and assurance that adequate off street parking (including visitor space)was included in the design.

Thanks for the opportunity to provide input.

--
Jonathon Watson and Tamara Macgregor
32 Lotus St.
[REDACTED]



Council Report

For the Meeting of April 4, 2024

To: Council **Date:** March 21, 2024

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Update on Rezoning Application No. 00762 and Development Permit with Variances Application No. 000590 for 1514 and 1520 Foul Bay Road**

RECOMMENDATION

That the following bylaw be adopted:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1318) No. 23-084.

Development Permit with Variances Application

1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit No. 000590 for 1514 and 1520 Foul Bay Road, in accordance with plans submitted to the Planning department and date stamped by Planning on May 11, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - a. increase the maximum height from 10.50m to 11.50m
 - b. reduce the minimum front setback from 6.00m to 4.48m
 - c. reduce the minimum rear setback from 4.00m to 2.04m
 - d. reduce the minimum side (north) setback from 4.00m to 2.64m
 - e. reduce the minimum side (south) setback from 4.00m to 2.64m
 - f. reduce the minimum number of visitor vehicle parking spaces from 1 to 0
 - g. reduce the minimum short term bicycle parking spaces from 2 six-racks to 1 six-rack
 - b. The property being consolidated into one lot.
2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.

BACKGROUND

At the October 12, 2023 Council Meeting, Council gave introductory readings to Bylaw No. 23-084. In accordance with the Council resolution of August 3, 2023 (Attachment A), the applicant has provided confirmation of the registration of the statutory right of way (SRW); therefore, it is recommended that Council consider the motion to adopt the amendment bylaw (Attachment B) and consider the approval of the concurrent development permit with variances application.

The purpose of this update report is to identify a minor correction to the August 3, 2023 Council resolution. The resolution indicated that the SRW would be maintained by the owner. In cases such as these, however, the City typically maintains the SRW. This allows the City to control the maintenance and treat the area as its intended use as a highway. The SRW has been prepared and executed consistent with this approach.

CONCLUSIONS

The recommendation provided for Council's consideration contains the appropriate language to adopt the amendment bylaw and approve the development permit with variances.

Respectfully submitted,

Rob Bateman
Senior Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment A: Council Resolution of August 3, 2023
- Attachment B: Bylaw No. 23-084



MINUTES - VICTORIA CITY COUNCIL

August 3, 2023, 3:21 P.M.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Alto in the Chair, Councillor Coleman, Councillor Dell, Councillor Gardiner, Councillor Hammond, Councillor Kim, Councillor Loughton, Councillor Thompson

ABSENT: Councillor Caradonna

STAFF PRESENT: J. Jenkyns - City Manager, S. Thompson - Deputy City Manager / Chief Financial Officer, T. Soulliere - Director of Parks, Recreation & Facilities, T. Zworski - City Solicitor, C. Kingsley - City Clerk, C. Anderson - Deputy City Clerk, S. Maichen - Committee Secretary

B. APPROVAL OF AGENDA

Moved By Councillor Coleman

Seconded By Councillor Kim

That the agenda be approved.

CARRIED UNANIMOUSLY

C. READING OF MINUTES

C.1 Minutes from the Council (to follow COTW) meeting held June 8, 2023

Moved By Councillor Kim

Seconded By Councillor Loughton

That the minutes from the daytime Council meeting held June 8, 2023 be approved.

CARRIED UNANIMOUSLY

C.2 Minutes from the Council (to follow COTW) meeting held July 13, 2023

Moved By Councillor Kim

Seconded By Councillor Loughton

That the minutes from the daytime Council meeting held July 13, 2023 be approved.

CARRIED UNANIMOUSLY

F. REPORTS OF COMMITTEE

F.1 Committee of the Whole

F.1.a Report from the July 20, 2023 COTW Meeting

F.1.a.a Amendment to Housing Agreement for BC Housing

Moved By Councillor Loughton
Seconded By Councillor Dell

1. That Council direct the Director of Sustainable Planning and Community Development as follows:
 - a. To prepare an amendment to a housing agreement dated July 9, 2019 for BC Housing to reduce the total number of rental dwelling units from nineteen to eighteen; and to enable rental of units via a residency agreement.
 - b. To bring forward bylaws for readings pursuant to the above resolution.

CARRIED UNANIMOUSLY

F.1.a.b Ticket Bylaw and Bylaw Adjudication Notice Bylaw/Amendments

Moved By Councillor Kim
Seconded By Councillor Dell

1. That Council direct staff to bring forward amendments to the Ticket Bylaw to bring it up to date; and
2. That Council direct staff to bring forward amendments to the Bylaw Notice Adjudication Bylaw to:
 - a. Include offences listed in the Ticket Bylaw; and
 - b. Enable screening officers to enter into compliance agreements.

CARRIED UNANIMOUSLY

F.1.b Report from the July 27, 2023 COTW Meeting

F.1.b.a 1514 and 1520 Foul Bay Road: Rezoning Application No.00762 and Development Permit Application No. 000590 (South Jubilee)

Council to follow COTW Meeting Minutes
August 3, 2023

Moved By Councillor Dell
Seconded By Councillor Coleman

Rezoning Application

1. That Council instruct the Director of Sustainable Planning and Community Development to prepare the necessary Zoning Regulation Bylaw amendment that would authorize the proposed development outlined in the staff report dated July 13, 2023 for 1514 and 1520 Foul Bay Road.
2. That Council direct staff to waive the requirement of a Public Hearing and proceed with notifications as required by the Local Government Act.
3. the applicant prepare and execute legal agreements, with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor prior to adoption of the bylaw, to secure:
 1. 2.38m wide right of way along Foul Bay Road for highway purposes, in accordance with the following requirements:
 - a. the owner is to construct and maintain the right of way area in accordance with plans submitted to the Planning department and date stamped by Planning on May 11, 2023.
 - b. installation of underground Hydro/Tel service and relocate the existing overhead poles/lines as necessary to accommodate the removal of the fronting utility pole.
 2. That adoption of the zoning bylaw amendment will not take place until all of the required legal agreements that are registrable in the Land Title Office have been so registered to the satisfaction of the City Solicitor.
 3. That the above recommendations be adopted on the condition that they create no legal rights for the applicant or any other person, or obligation on the part of the City or its officials, and any expenditure of funds is at the risk of the person making the expenditure.

Development Permit with Variances Application

That Council, after giving notice consider the following motion:

1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit No. 000590 for 1514 and 1520 Foul Bay Road, in accordance with plans submitted to the Planning department and date stamped by Planning on May 11, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - a. increase the maximum height from 10.50m to 11.50m
 - b. reduce the minimum front setback from 6.00m to 4.48m
 - c. reduce the minimum rear setback from 4.00m to 2.04m
 - d. reduce the minimum side (north) setback from 4.00m to 2.64m
 - e. reduce the minimum side (south) setback from 4.00m to 2.64m
 - f. reduce the minimum number of visitor vehicle parking spaces from 1 to 0
 - g. reduce the minimum short term bicycle parking spaces from 2 six-racks to 1 six-rack
 - b. The property being consolidated into one lot.
2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.”

FOR (7): Mayor Alto, Councillor Coleman, Councillor Dell, Councillor Hammond, Councillor Kim, Councillor Loughton, Councillor Thompson

OPPOSED (1): Councillor Gardiner

CARRIED (7 TO 1)

F.1.b.b

Governance Review Update

Moved By Councillor Dell

Seconded By Councillor Thompson

That Council receive the Governance Review Update staff report for information, and

That Council direct staff to:

1. Continue implementation of all Recommendations listed as “in progress” with the goal of completing each Recommendation.
2. As per Recommendation 5.5.3, update technology so that public addresses to Council may use live video.
3. As per Recommendation 5.2.3, direct the city manager to undertake a formal review of base Council remuneration, including considerations of time commitment, principles for appropriate comparators and benchmark levels, a regular review framework and schedule, per diems for external committee appointments that are not already compensated, and conferences, with a report back due by December 31, 2023.
4. Regarding 5.1.4, not pursue a policy regarding Council’s role in matters beyond core responsibility.
5. Regarding 5.5.5, not pursue a requirement for recorded input from CALUC meetings be posted online.
6. Provide a report back to Council on this Motion by December 31, 2023.

Councillor Coleman requested that number 4 be considered separately.

On the number 4:

4. Regarding 5.1.4, not pursue a policy regarding Council’s role in matters beyond core responsibility.

FOR (6): Mayor Alto, Councillor Dell, Councillor Hammond, Councillor Kim, Councillor Loughton, Councillor Thompson
OPPOSED (2): Councillor Coleman, Councillor Gardiner

CARRIED (6 TO 2)

On the numbers 1, 2, 3, 5, and 6:

That Council receive the Governance Review Update staff report for information, and

That Council direct staff to:

1. Continue implementation of all Recommendations listed as “in progress” with the goal of completing each Recommendation.

2. As per Recommendation 5.5.3, update technology so that public addresses to Council may use live video.
3. As per Recommendation 5.2.3, direct the city manager to undertake a formal review of base Council remuneration, including considerations of time commitment, principles for appropriate comparators and benchmark levels, a regular review framework and schedule, per diems for external committee appointments that are not already compensated, and conferences, with a report back due by December 31, 2023.
5. Regarding 5.5.5, not pursue a requirement for recorded input from CALUC meetings be posted online.
6. Provide a report back to Council on this Motion by December 31, 2023.

CARRIED UNANIMOUSLY

F.1.b.c Short Term Rentals in the City of Victoria

Moved By Councillor Dell
Seconded By Councillor Kim

That Council direct the City Solicitor to bring forward the necessary bylaw amendments to the Short-Term Rental Regulation Bylaw and Zoning bylaws to improve regulatory effectiveness and of the Short-Term Rental program.

- a. Clarify and better define: “operator”, “tenant”, “dwelling”, “property manager”, “host”, “other designated person”, “bedroom”, “kitchen facilities”, “room”.
- b. Restrict occasional rentals of principal residence to four bookings in a year.
- c. Better distinguish between hotel, motel, bed and breakfast, time-share and short-term rental.
- d. Amend term “30 days or less” to “30 nights or less” to come into alignment with the tourism industry.
- e. Regarding ‘Principal Resident Operator’ status, clarify that it is the operator’s obligation to furnish proof, satisfactory to the Licence Inspector, to demonstrate the premises are their principal residence.
- f. Add short term rental bylaw offences to the list of offences in the Bylaw Notice Adjudication Bylaw.

- g. Increase Municipal Ticket Information fine amounts under the Short-Term Rental Regulation Bylaw for 'Operating without a Business Licence' from \$500 to \$1000 and for 'Advertise without a Licence' from \$250 to \$500.
- h. Increase Municipal Ticket Information fine amounts under the Zoning Regulation Bylaw and the Zoning Bylaw 2018 for 'Allow Use' from \$350 to \$700.
- i. Ensure that all persons engaged in facilitating short term rentals are explicitly covered by City regulations.
- j. Amend fee provisions to ensure that the higher fee applies to all situations where an entire dwelling unit is regularly rented as a short-term rental.
- k. Simplify the Short-Term Rental licence appeal process.
- l. Increase the non principal resident operator fee to at least \$2500.

CARRIED UNANIMOUSLY

F.1.c Report from the August 3, 2023 COTW Meeting

Mayor Alto proposed that all motions from the August 3, 2023 Daytime Council meeting be approved without further debate.

Council requested that items **F.1.c.b 1450 and 1452 Elford Street: Temporary Use Permit Amendment Application No. 00028 (Fernwood)** and **F.1.c.n Council Member Motion: City Procedures Update – Heritage Alteration Delegated Development Permits** be considered separately.

Moved By Mayor Alto
Seconded By Councillor Thompson

That the following items be approved without further debate:

CARRIED UNANIMOUSLY

F.1.c.a 727 Yates Street: Application for Extension of Hours Past Midnight for Saint Franks (Downtown)

Moved By Mayor Alto
Seconded By Councillor Thompson

That Council direct staff to provide the following response to the Liquor and Cannabis Regulation Branch:

- 1. That Council, after conducting a review with respect to noise and community impacts, does support the application of

Saint Franks, located at 727 Yates Street, to extend their food primary liquor licence service to have hours from 9 a.m. to 2 a.m. daily with an occupant load of 90 people. The following comments are provided regarding the prescribed considerations: The impact of noise on the community near the business was considered in relation to the request, and the recommended hours and occupant load are compatible with the area.

- a. If the application is approved, it is anticipated to have a positive economic impact on the community as the approval supports the viability of the business as a local employer.
- b. The views of residents were solicited through a mailout to neighbouring property owners and occupiers within 100 metres of the licensed location and a notice posted at the property. In response to the notification that went to 869 owners and occupants, the City received 33 letters of correspondence. Of these letters, 28 expressed support, and five expressed opposition to the proposed hours. A letter from the Downtown Residents Association (DRA) indicates that they have no objection to the application.
- c. Council recommends to the Province that the food primary licence be approved as recommended.

CARRIED UNANIMOUSLY

F.1.c.c

355 Catherine Street and 210 Kimta Road: Temporary Use Permit with Variances Application No. 00029 (Vic West)

Moved By Mayor Alto

Seconded By Councillor Thompson

1. That Council waive the standard practice of holding an opportunity for public comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Temporary Use Permit.
2. And subject to the required notification and advertising, and subject to Council's consideration of any written commentary received, Council consider issuing the Temporary Use Permit as follows:

“That Council authorize the issuance of Temporary Use Permit Application No. 00029 for 355 Catherine Street and 210 Kimta Road, in accordance with:

- a. Plans date stamped July 18, 2023.
 - b. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. increase the maximum floor area for non-residential uses within DA-4 from 1180m² to 2400m²;
 - ii. reduce the long term bicycle parking from 5 stalls to 0 stalls.
 - c. The Temporary Use Permit lapsing October 31, 2023.”
3. That Council authorize placement of a temporary structure, until October 31, 2023, within the area of the Statutory Right-of-Way registered as CA3962388.

CARRIED UNANIMOUSLY

F.1.c.d 970 Walker Street: Rezoning Application No. 00826 and Development Permit with Variances Application No. 00214 (Vic West)

Moved By Mayor Alto
Seconded By Councillor Thompson

Rezoning Application

1. That Council instruct the Director of Sustainable Planning and Community Development to prepare the necessary Zoning Regulation Bylaw amendment that would authorize the proposed development outlined in the staff report dated July 20, 2023 for 970 Walker Street.
2. That first and second reading of the zoning bylaw amendment be considered by Council and a public hearing date be set.
3. That the above Recommendations be adopted on the condition that they create no legal rights for the applicant or any other person, or obligation on the part of the City or its officials, and any expenditure of funds is at the risk of the person making the expenditure.

Development Permit with Variance Application

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the public hearing for Rezoning Application No. 00826, if it is approved, consider the following motion:

1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit with Variances No. 00214 for 970 Walker Street, in accordance with plans submitted to the Planning department and date stamped by Planning on March 14, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce the front setback from 6m to 3.6m;
 - ii. reduce the west side setback from 2.40m (habitable) to 1.50m (habitable);
 - iii. reduce the east side setback from 2.40m (habitable) to 1.50m (habitable); and
 - iv. permit a roof deck.
2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution”.

CARRIED UNANIMOUSLY

F.1.c.e 2300, 2310, and 2312 Douglas Street: Development Permit with Variances Application No. 00201 (Burnside)

Moved By Mayor Alto
Seconded By Councillor Thompson

1. That Council waive the standard practice of holding an opportunity for public comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. And subject to the required notice and advertising, that Council consider authorizing the issuance of Development Permit with Variances Application No. 00201 for 2300, 2310, and 2312 Douglas Street, in accordance with plans

submitted to the Planning department and date stamped by Planning on July 12, 2023, subject to:

- a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. decrease the rear setback (west) from 0 or 3m to 0.3m;
 - ii. decrease the north setback (west) from 0 or 3m to 0.1m;
 - iii. decrease the vehicle parking from 71 to 18.
 - b. Plan revisions showing a driveway and driveway crossing conforming to the Highway Access Bylaw to the satisfaction of the Director of Engineering and Public Works.
 - c. Registration of a legal agreement on the property's title to secure five BC Transit Eco passes with a two-year term for employees with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor.
 - d. The applicant file a 3m x 3m road dedication plan to dedicate a highway/sidewalk at Douglas & Queens.
3. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.”

CARRIED UNANIMOUSLY

F.1.c.f Business Façade Beautification Reimbursement Program

Moved By Mayor Alto

Seconded By Councillor Thompson

That Council:

1. Authorize a partnership agreement, on the terms satisfactory to the Director of Business and Community Relations and in the form satisfactory to the City Solicitor, with the Downtown Victoria Business Association to provide services on behalf of the City for the Business Façade Beautification Reimbursement Program.
2. Direct the City Solicitor to prepare the necessary amendments to the Delegation Bylaw to enable the Director of Business & Community Relations the authority

to negotiate and enter into agreements between the City and the Downtown Victoria Business Association to provide services on behalf of the City that deliver on the Council priorities within the Strategic Plan.

CARRIED UNANIMOUSLY

F.1.c.g Council Member Motion: Canada Day

Moved By Mayor Alto

Seconded By Councillor Thompson

That Council direct staff to report back on the issues, analysis and impacts of a 2024 City-led Canada Day celebration and include recommendations as to the potential components, including but not limited to, fireworks, performance and other programming and activities, and the necessary budget to fund the celebration with, and without, the requirement of sponsorship.

CARRIED UNANIMOUSLY

F.1.c.h Council Member Motion: Neighborhood Assignment Policy

Moved By Mayor Alto

Seconded By Councillor Thompson

That Council approve the attached Neighborhood Assignment Policy to outline expectations for Councillors assigned to a city neighbourhood.

CARRIED UNANIMOUSLY

F.1.c.i Council Member Motion: Union of BC Municipalities 2023 Convention

Moved By Mayor Alto

Seconded By Councillor Thompson

1. That Council authorize the attendance and associated costs for Councillor Loughton to attend the Union of BC Municipalities 2023 Convention to be held in Vancouver, BC, on September 18-22, 2023.
The approximate cost per person for attending is:

Registration Fee	\$903.00
Transportation	\$420.00
Accommodation	\$1,466.00
Meals & Incidentals	\$200.00

The estimated total cost is \$2,989.00

CARRIED UNANIMOUSLY

F.1.c.j Council Member Motion: Union of BC Municipalities 2023 Convention

Moved By Mayor Alto

Seconded By Councillor Thompson

1. That Council authorize the attendance & associated costs for Councillor Coleman to attend the UBCM 2023 Convention to be held in Vancouver BC, on September 18-22, 2023.

The approximate cost associated is:

Conference Registration Fee	\$ 785.00
Travel to/from Vancouver (BC Ferries)	\$ 175.00
Accommodation (4 nights)	\$ 1010.00
Food & Incidentals (receipt able)	\$ 200.00
TOTAL	\$2170.00

Estimated total cost = \$2170.00

CARRIED UNANIMOUSLY

F.1.c.k Council Member Motion: Union of BC Municipalities 2023 Convention

Moved By Mayor Alto

Seconded By Councillor Thompson

1. That Council authorize the attendance and associated costs for Councillor Caradonna to attend the Union of BC Municipalities 2023 Convention to be held in Vancouver, BC, on September 18-22, 2023.

This is the approximate cost:

Registration Fee	\$903.00
Transportation	\$420.00
Accommodation	\$1,466.00
Meals & Incidentals	\$200.00

Estimated total cost is \$2,989.00.

CARRIED UNANIMOUSLY

F.1.c.i Council Member Motion: Canadian Capital Cities Organization Conference, Charlottetown, PEI, October 1-3, 2023

Moved By Mayor Alto
Seconded By Councillor Thompson

1. That Council authorizes the attendance and associated costs for Councillor Loughton to attend the Canadian Capital Cities Organization Conference to be held in Charlottetown, PEI from October 1-3, 2023 (travel to Charlottetown on September 30).

The approximate cost for attending is:

Conference Registration Fee	\$ 1,146.95
Accommodation (3 nights)	\$ 650.00
Flights	\$ 1,200
Airport Taxis	\$ 150.00
Food & Incidentals	\$ 200.00
Misc Transportation	\$ 100.00
Carbon footprint calculation	\$219.00 (1.46 x 150.00)
TOTAL	\$3665.95

Estimated total cost = \$3665.95

CARRIED UNANIMOUSLY

F.1.c.b 1450 and 1452 Elford Street: Temporary Use Permit Amendment Application No. 00028 (Fernwood)

Moved By Councillor Dell
Seconded By Councillor Coleman

1. That Council waive the standard practice of holding an opportunity for public comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for

written commentary to come back to Council for consideration prior to issuing the amended Temporary Use Permit.

2. And subject to the required notification and advertising, and subject to Council's consideration of any written commentary received, Council consider amending the Temporary Use Permit as follows: "That Council authorize the amendment of Temporary Use Permit Application No. 00024 and issuance of Temporary Use Permit No. 00028 for 1450 and 1452 Elford Street, to amend the condition that the permitted use of a youth shelter operate on a seasonal basis to year-round, in accordance with:
 - a. plans date stamped July 11, 2023
 - b. the Temporary Use Permit lapsing October 6, 2025".

FOR (7): Mayor Alto, Councillor Coleman, Councillor Dell, Councillor Gardiner, Councillor Kim, Councillor Loughton, Councillor Thompson
OPPOSED (1): Councillor Hammond

CARRIED (7 TO 1)

F.1.c.n Council Member Motion: City Procedures Update – Heritage Alteration Delegated Development Permits

Moved By Mayor Alto
Seconded By Councillor Dell

That Council direct staff to no longer require that all delegated Heritage Alteration Permits be referred to the Heritage Advisory Panel, while still allowing for such referral if requested to do so by staff, Council or the applicant.

FOR (7): Mayor Alto, Councillor Dell, Councillor Gardiner, Councillor Hammond, Councillor Kim, Councillor Loughton, Councillor Thompson
OPPOSED (1): Councillor Coleman

CARRIED (7 TO 1)

G.2 Code of Conduct for Council Members

Moved By Mayor Alto
Seconded By Councillor Dell

That Council instruct the City Solicitor to bring forward a bylaw containing a code of conduct for Council members, and that such bylaw:

1. includes robust rules for conduct and handling of complaints;
2. does not expand on regulations already established by legislation that apply to Council members;
3. provides for an independent third party, whose role is limited to reacting to complaints rather than doing pro-active work;
4. applies to the conduct of Council members and committees of Council only;
5. allows any council member, member of staff, or city committee member to make a complaint;
6. includes a freeze on releasing investigation reports during the period beginning 90 days before general voting day;
7. provides that any complaint received regarding a Council member for a period of 90 days before the general voting day is to be rejected;
8. includes a list of potential sanctions that may be imposed by Council for breach of the code; and
9. provides that the City will pay legal fees incurred by a Council member pertaining to a complaint, unless the complaint is substantiated in whole or in part in which case said legal fees will be proportionately returned to the City

CARRIED UNANIMOUSLY

H. BYLAWS

H.1 Delegation Bylaw

Moved By Councillor Kim
Seconded By Councillor Dell

That the following bylaw **be adopted**:

1. Delegation Bylaw No. 23-079

CARRIED UNANIMOUSLY

H.2 Council Procedures Bylaw

Moved By Mayor Alto
Seconded By Councillor Dell

That the following bylaw **be adopted**:

1. Council Procedures Bylaw No. 23-061

CARRIED UNANIMOUSLY

H.3 Bylaw for 340-346 Mary Street and 247-253 Russell Street: Rezoning Application No. 00832

Moved By Councillor Kim

Seconded By Councillor Dell

That the following bylaw **be given first and second readings**:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1307) No. 23-069

FOR (7): Mayor Alto, Councillor Coleman, Councillor Dell, Councillor Hammond, Councillor Kim, Councillor Loughton, Councillor Thompson

OPPOSED (1): Councillor Gardiner

CARRIED (7 TO 1)

H.2 Council Procedures Bylaw

Motion Arising following adoption of the Council Procedure Bylaw:

Moved By Mayor Alto

Seconded By Councillor Dell

That Council confirm the following City Councillors as Alternate Municipal Directors to the Capital Regional District Board, the Capital Regional Hospital District Board, and the Capital Regional District Housing Corporation Board, for the remainder of the electoral term 2022-2026:

Susan Kim

Matt Dell

Krista Loughton

Stephen Hammond

CARRIED UNANIMOUSLY

J. NEW BUSINESS

J.1 Update report: Self Storage Facilities and Storage Lots for Vehicles

Council received a report dated July 13, 2023 from the Director of Sustainable Planning and Community Development regarding providing Council with two bylaws to amend Zoning Regulation Bylaw (No. 80-159) for the purpose of prohibiting the development of new self-storage facilities and storage lots for vehicles, excluding those that are currently in operation and any related active development applications and recommending that Council waive the Public Hearing.

Moved By Councillor Kim
Seconded By Councillor Loughton

“That Council:

1. waive the Public Hearing for Zoning Regulation Bylaw Amendment Bylaw (No. 1309) No. 23-0073 and Zoning Regulation Bylaw Amendment Bylaw (No. 1310) No. 23-0074 in accordance with section 464 of the Local Government Act because an Official Community Plan is in effect for the areas that are the subject of these bylaws, and each bylaw is consistent with the Official Community Plan; and
2. consider first and second readings to the above-noted bylaws after the required public notifications are completed.”

CARRIED UNANIMOUSLY

K. CLOSED MEETING

Moved By Councillor Kim
Seconded By Councillor Thompson

MOTION TO CLOSE THE AUGUST 3, 2023 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the Community Charter for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the Community Charter, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Section 90(1)(c) labour relations or other employee relations; and

Section 90(2) A part of a council meeting must be closed to the public if the subject matter being considered relates to one or more of the following:

Section 90(2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party.

CARRIED UNANIMOUSLY

The daytime meeting of Council was closed to the public at 3:45 p.m.

M. APPROVAL OF CLOSED AGENDA

N. READING OF CLOSED MINUTES

Council adopted the closed Council minutes. The readings were recorded and kept confidential.

E. NEW BUSINESS

All staff except for the City Manager left the meeting at 3:50 p.m.

The City Manager assumed the role of Recording Secretary.

Council to follow COTW Meeting Minutes
August 3, 2023

E.1 Intergovernmental Relations - Mayor - Intergovernmental Update (Verbal)

E.2 Employee Relations - City Manager - Check In (Verbal)

G. ADJOURNMENT

Moved By Councillor Kim

Seconded By Councillor Thompson

That the Council meeting be adjourned at 4:47 p.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to amend the Zoning Regulation Bylaw to rezone land known as 1514 and 1520 Foul Bay Road from the R1-B Zone, Single Family Dwelling District to the RT Zone, Traditional Residential Attached Dwelling District.

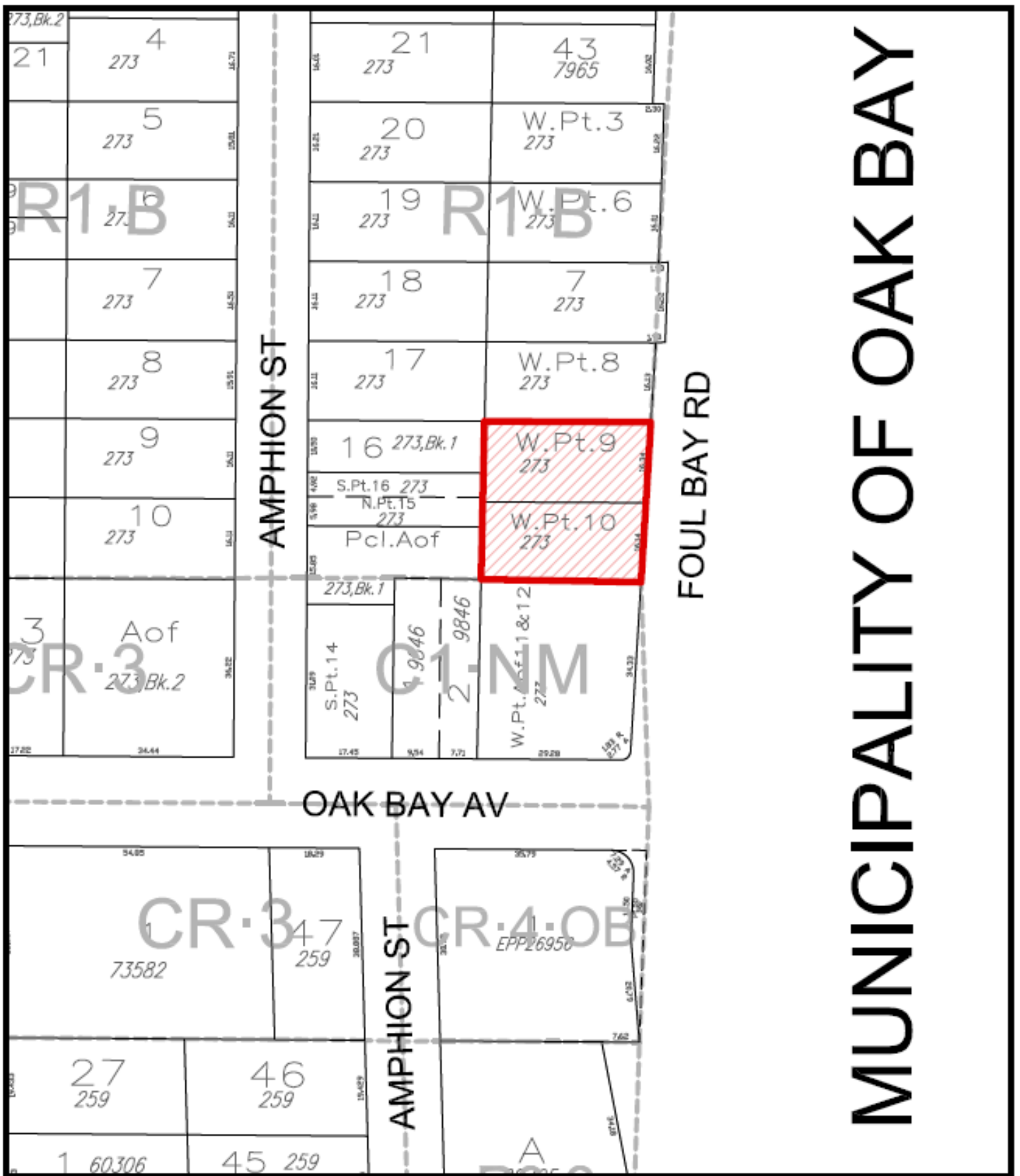
The Council of The Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1318)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended as follows:
 - (a) The lands known as 1514 and 1520 Foul Bay Road, shown hatched on the attached map, and legally described as follows, are removed from the R1-B Zone, Single Family Dwelling District, and placed in the RT Zone, Traditional Residential Attached Dwelling District:
 - (i) PID: 009-194-649, Lot 10, Block 1, Section 76, Victoria District, Plan 273, except part in Plan 15172, and
 - (ii) PID: 009-194-673, Lot 9, Block 1, Section 76, Victoria District, Plan 273, except part in Plan 15172.

READ A FIRST TIME the	12th	day of	October	2023
READ A SECOND TIME the	12th	day of	October	2023
READ A THIRD TIME the	12th	day of	October	2023
ADOPTED on the		day of		2023

CITY CLERK

MAYOR



MUNICIPALITY OF OAK BAY

1514 & 1520 Foul Bay Road
Rezoning No.00723





Council Report

For the Meeting of April 4, 2024

To: Council **Date:** March 21, 2024
From: Karen Hoese, Director, Sustainable Planning and Community Development
Subject: **Update on Rezoning Application No. 00849 and Development Permit with Variances Application No. 00239 for 854/858 and 880 Pandora Avenue**

RECOMMENDATION

Rezoning Application (updates in bold text)

1. That Council give first, second, and third readings to Zoning Regulation Bylaw, Amendment Bylaw (No. 1329) after publication of notification in accordance with section 467 of the *Local Government Act*.
2. **That the applicant provides clearance from the Ministry of Environment and Climate Change Strategy in accordance with section 557 (2) of the *Local Government Act* prior to final adoption of Zoning Regulation Bylaw, Amendment Bylaw (No. 1329).**

Development Permit with Variances Application (updates in bold text)

That Council, after giving notice, consider the following motion:

1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit with Variances No. 00239 for 854/858 and 880 Pandora Avenue, in accordance with plans submitted to the Planning department and date stamped by Planning on **December 4, 2023**, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce vehicle parking from 113 stalls to 103 stalls
 - ii. reduce the visitor vehicle parking from 20 stalls to 10 stalls
 - iii. reduce the commercial parking from 13 stalls to 11 stalls
 - iv. **reduce rear (north) setback for portion of building between 5m and 18m in height from 8.0m to 2.20m**
 - v. **reduce rear (north) setback for portion of building greater than 18m in height from 10.0m to 5.50m**
 - vi. **reduce east side setback for portion of building greater than 18m in height from 10.0m to 6.25m**
 - vii. **reduce west side setback for portion of building less than 18m in height from 3.0m to 0.30m**
 - viii. permit long term bike parking to be located more than one level below finished grade.
2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update regarding the Rezoning and Development Permit with Variances Applications for the property located at 854/858 and 880 Pandora Avenue. The proposal is to rezone from the CA-1 Zone, Pandora Avenue Special Commercial District, to a new zone to increase the density to permit the construction of a 20-storey mixed-use residential rental building. As part of the application, the applicant must satisfy *Local Government Act* and *Environmental Management Act* requirements related to site contamination, which includes clearance from Ministry of Environment and Climate Change Strategy (MOECCS) that has not yet been obtained.

The applicant has generally fulfilled the conditions set by Council and the application is ready to be considered by Council for approval, with final adoption of the bylaw withheld until the required legal agreements have been registered and MOECCS clearance has been received.

BACKGROUND

On November 16, 2023, Council passed a motion to move this application forward to first, second and third reading, subject to certain conditions and plan revisions. The applicant has fulfilled the conditions set by Council. This Update Report includes a summary of the changes to the plans and the associated changes to the variances.

The applicant has also been working to satisfy the Ministry of Environment and Climate Change Strategy requirements for clearance. This clearance is in process but has not been achieved at time of this report. An approach to advance the application to third reading but withhold final adoption until MOECCS clearance is received is outlined below.

ANALYSIS

Revised Plans

In accordance with Council’s motion of November 16, 2023, the application was to be advance when following conditions have been fulfilled:

- a. *That the applicant makes the following revisions to the plans satisfactory to the Director of Sustainable Planning and Community Development:*
 - i. *ensure minimum widths for functional over-size bike parking stalls;*
 - ii. *revise the Mason Street design to ensure the minimum 1.8m pedestrian zone width is met;*
 - iii. *incorporate a continuous sidewalk design crossing Mason Street on Quadra Street frontage; and*
 - iv. *revise the tower materials to provide a lighter material colour, as well as consider options to maintain the visual prominence of the adjacent heritage landmark buildings.*

In response to these conditions, the plans have been revised as follows:

- bike stall widths have been confirmed as meeting oversize required dimensions
- the design of tree grates has been revised to ensure an unobstructed minimum sidewalk width of 1.8m
- a continuous sidewalk design on the Mason Street crossing has been incorporated into the plans
- tower materials have been revised to include lighter coloured materials.

Regulatory Considerations

Variances

Minor updates to the setback variances have been made to reflect the latest version of the plans. The previous Council motion has been modified to accommodate changes to the plans (see the bold text in the recommendation section above) as follows.

- i. reduce rear (north) setback for portion of building between 5m and 18m in height from 8.0m to **2.20m** (previously 2.23m)
- ii. reduce rear (north) setback for portion of building greater than 18m in height from 10.0m to **5.50m** (previously 5.65 m)
- iii. reduce east side setback for portion of building greater than 18m in height from 10.0m to **6.25m** (previously 6.27 m)
- iv. reduce west side setback for portion of building less than 18m in height from 3.0m to **0.30m** (previously 0.35 m).

These variances are considered supportable given the minor nature of the changes.

Contaminated Site Regulation

The subject property has hosted a Contaminated Site Regulation (CSR) Schedule 2 use (petroleum product storage and dispensing, automotive vehicle repair), which required the applicant to complete the site disclosure statement (SDS) process in accordance with the *Environmental Management Act*. The site is contaminated.

Under the *Local Government Act*, local governments are prohibited from approving a rezoning or development permit application on a site where a CSR Schedule 2 use has occurred until some form of clearance is received from the MOECCS. Typically, this takes the form of an approval in principle, in which MOECCS confirms that it has reviewed and approved a remediation plan for the site, though other clearances are possible and specified in the *Local Government Act* Section 557(2).

However, an exception in the *Local Government Act* does allow rezoning applications to proceed to approval where certain conditions are met: that a concurrent development permit has been submitted for the lands, and the local government has received an SDS, assessed it, and forwarded it to the registrar (a person employed by the provincial government and appointed by the Director of Waste Management to receive site disclosure statements). All the criteria required to exercise the exemption has been met for this application.

Although the exception in the Local Government Act is applicable in this instance, there are risks to the City proceeding with zoning amendment bylaw readings prior to MOECCS clearance. For example, if the rezoning is approved, but a DP (and BP) do not proceed, the internal trigger for ensuring an SDS is submitted would be lost, and a future owner may not submit an SDS and go through MOECCS clearance. This risk is mitigated by requiring the clearance prior to final adoption of the zoning bylaw amendment, which gives certainty that any new use will not be permitted until the appropriate environmental clearance is received.

Further, allowing the rezoning to proceed to introductory readings may create a precedent for other applicants to expect the same. This risk can be mitigated by ensuring that each application both meets the requirements for the exception under the *Local Government Act*, as well as ensuring that there are clear and logical reasons for using the exception (or not) for each instance.

In addition, the applicant has filed with the Ministry of Environment and Climate Change Strategy (MOECCS) and provided to the City a notice of migration, meaning that some of the contamination on site has migrated off site into the City right of way.

Due to the migration of contamination onto City property, the applicant has been required to enter into an indemnity agreement to cover future remediation work as may be required for the City land. This agreement has been executed and registered in the Land Title Office

In summary, the proposed rezoning is a priority application to provide purpose-built rental (with some affordable housing units) and exercising the exemption allows the application to continue moving forward in the approvals process while concurrently fulfilling outstanding requirements. The recommendation is to utilize the exception in this case and allow introductory bylaw readings to occur simultaneously while MOECCS clearance is obtained.

CONCLUSIONS

The applicant has generally fulfilled the conditions set by Council to consider first, second, and third reading of the proposed Bylaw. The recommendation provided for Council's consideration contains the appropriate language for Council to consider approval of the application, with final adoption to occur once the required legal agreements have been registered and environmental clearance is received.

Respectfully submitted,

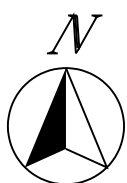
Geordie Gordon
Senior Planner
Sustainable Planning and Community
Development Department

Karen Hoese
Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

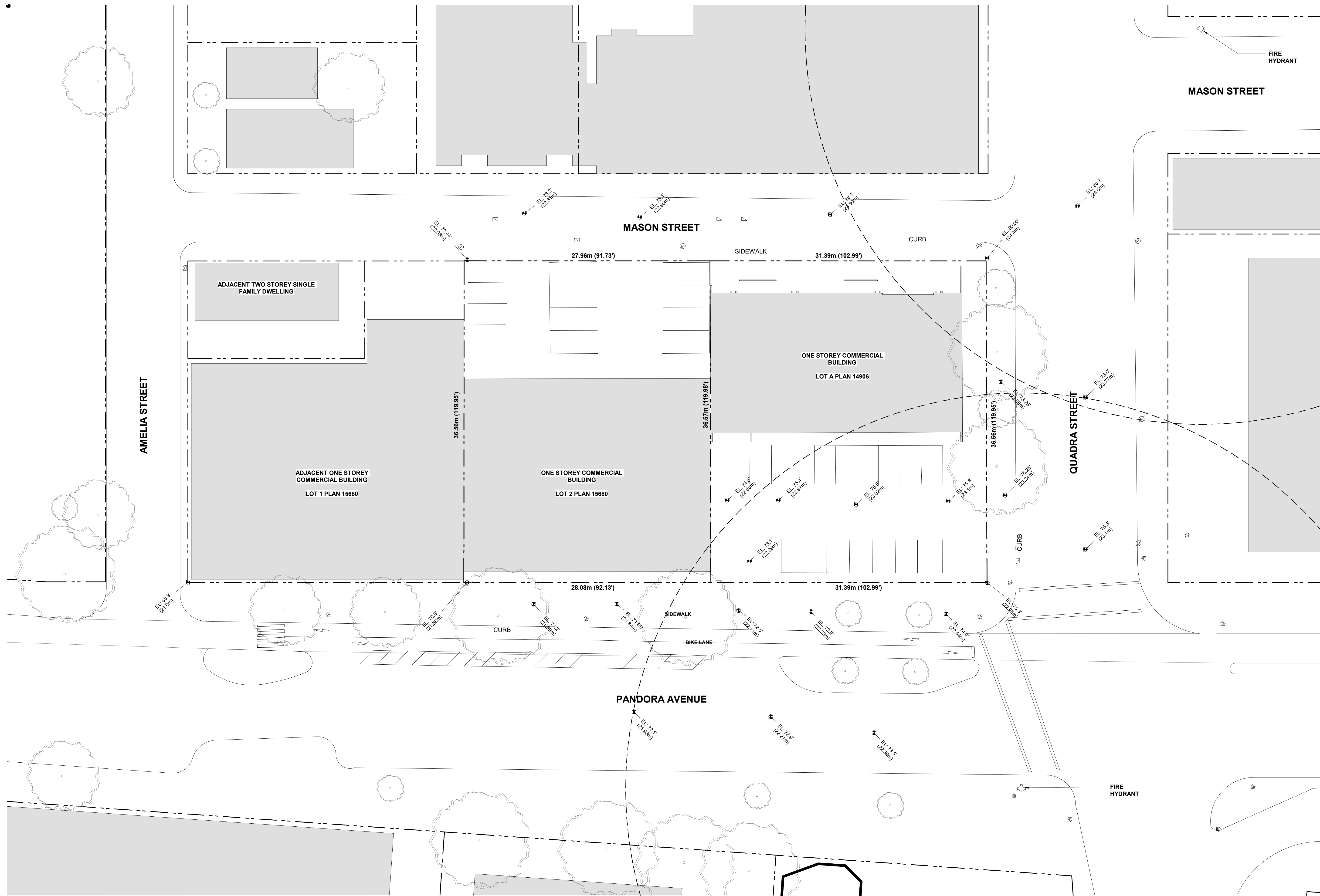
List of Attachments

- Attachment A: Aerial Map
- Attachment B: Revised Plans date stamped December 4, 2023
- Attachment C: Daytime Council minutes dated November 16, 2023
- Attachment D: November 2, 2023, Committee of the Whole meeting staff report



854, 858 & 880 Pandora Avenue
 Rezoning No.00849





1 SITE PLAN EXISTING
A301 SCALE: 1 : 200

Seal
**854-880
PANDORA AVE.**

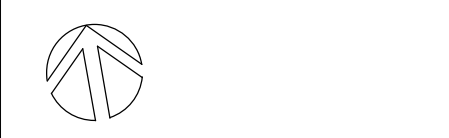
854-880 Pandora Ave
Victoria, BC
Project
SITE PLAN EXISTING

Drawing

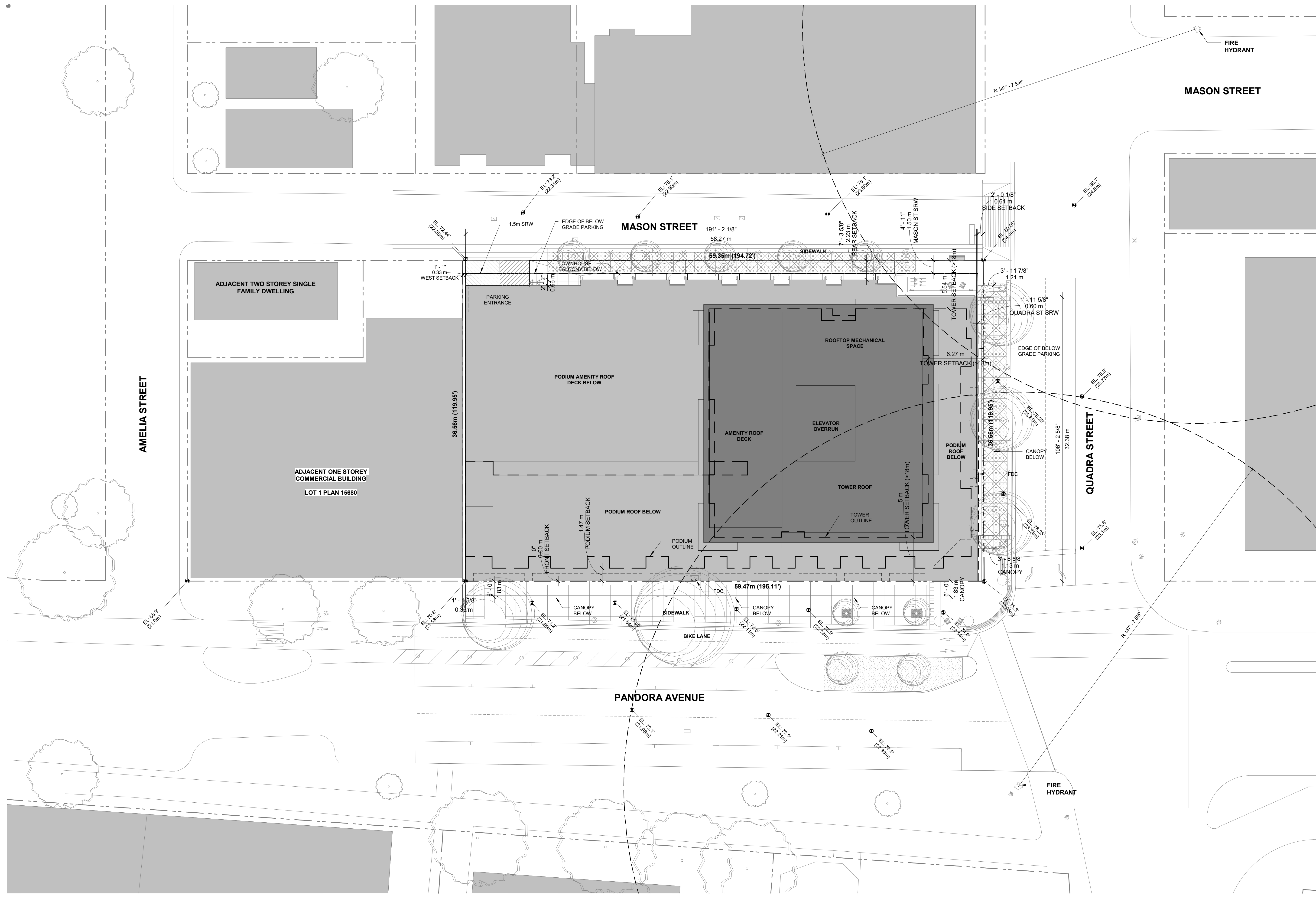
Scale 1 : 200

Project 222011

Sheet **A-101**

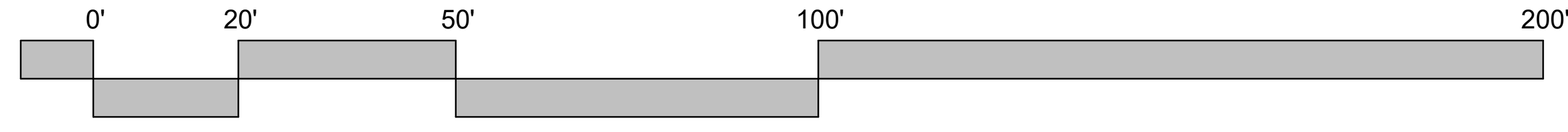


Revisions	YYYY-MM-DD
1	ISSUED FOR RZ/DP 2023-03-24
2	RE-ISSUED FOR RZ/DP 2023-05-19
4	RE-ISSUED FOR RZ/DP 2023-09-08
5	RZ/DP RESUBMISSION 2023-11-02



1 SITE PLAN PROPOSED

SCALE: 1:200
REFER TO LANDSCAPE DRAWINGS FOR PLANTING, HARDSCAPE & FURNISHING DETAILS
REFER TO CIVIL DRAWINGS FOR SITE SERVICING DETAILS

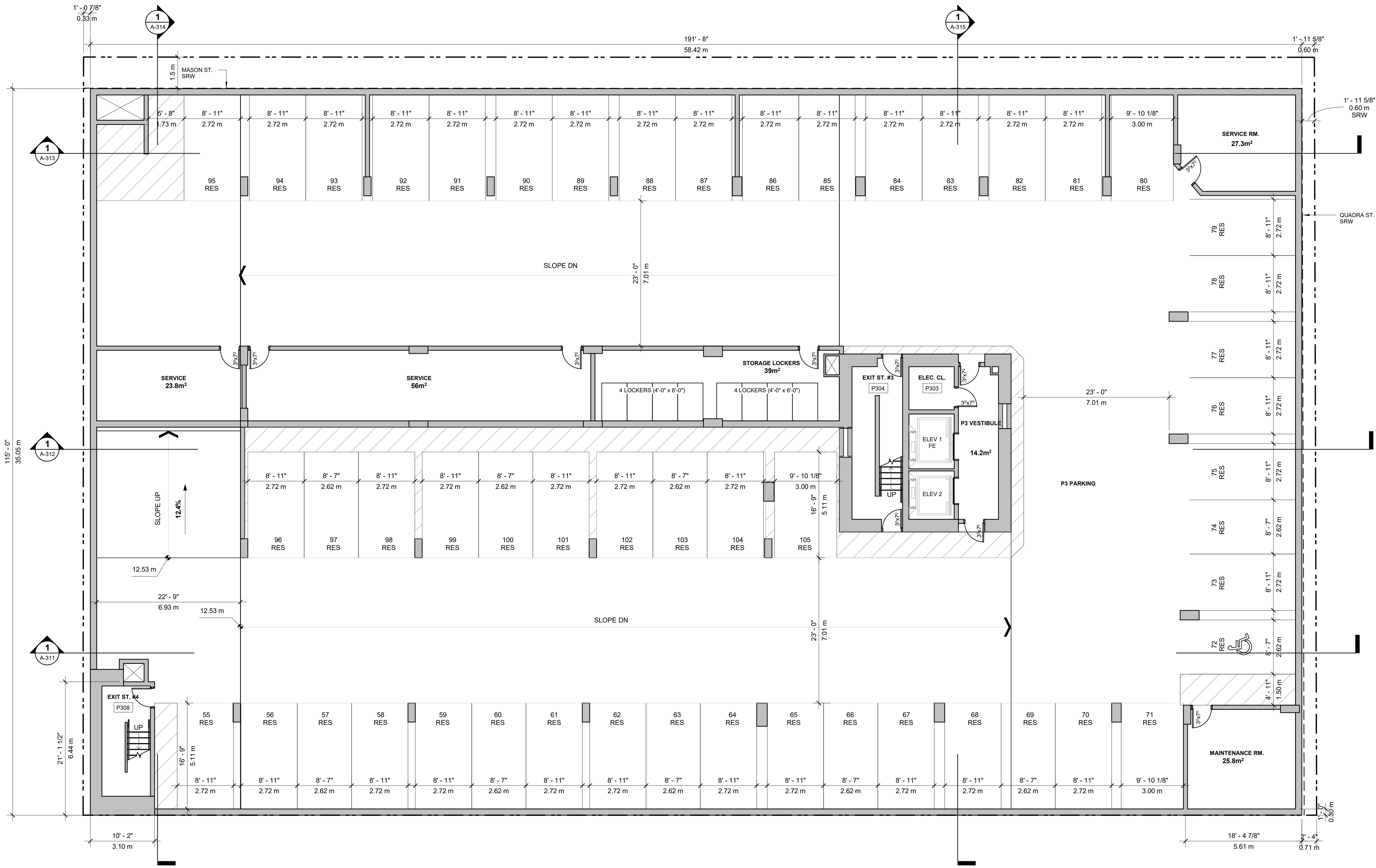


Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
SITE PLAN
PROPOSED

Drawing
Scale 1:200
Project 222011

Sheet **A-102**



LEVEL P3
TOTAL RESIDENTIAL PARKING SPACES
51
9 REGULAR SPACES
40 WIDE SPACES
2 ACCESSIBLE SPACES

1 LEVEL P3 PLAN
SCALE: 1/8" = 1'-0"
0' 2' 5' 10' 20'

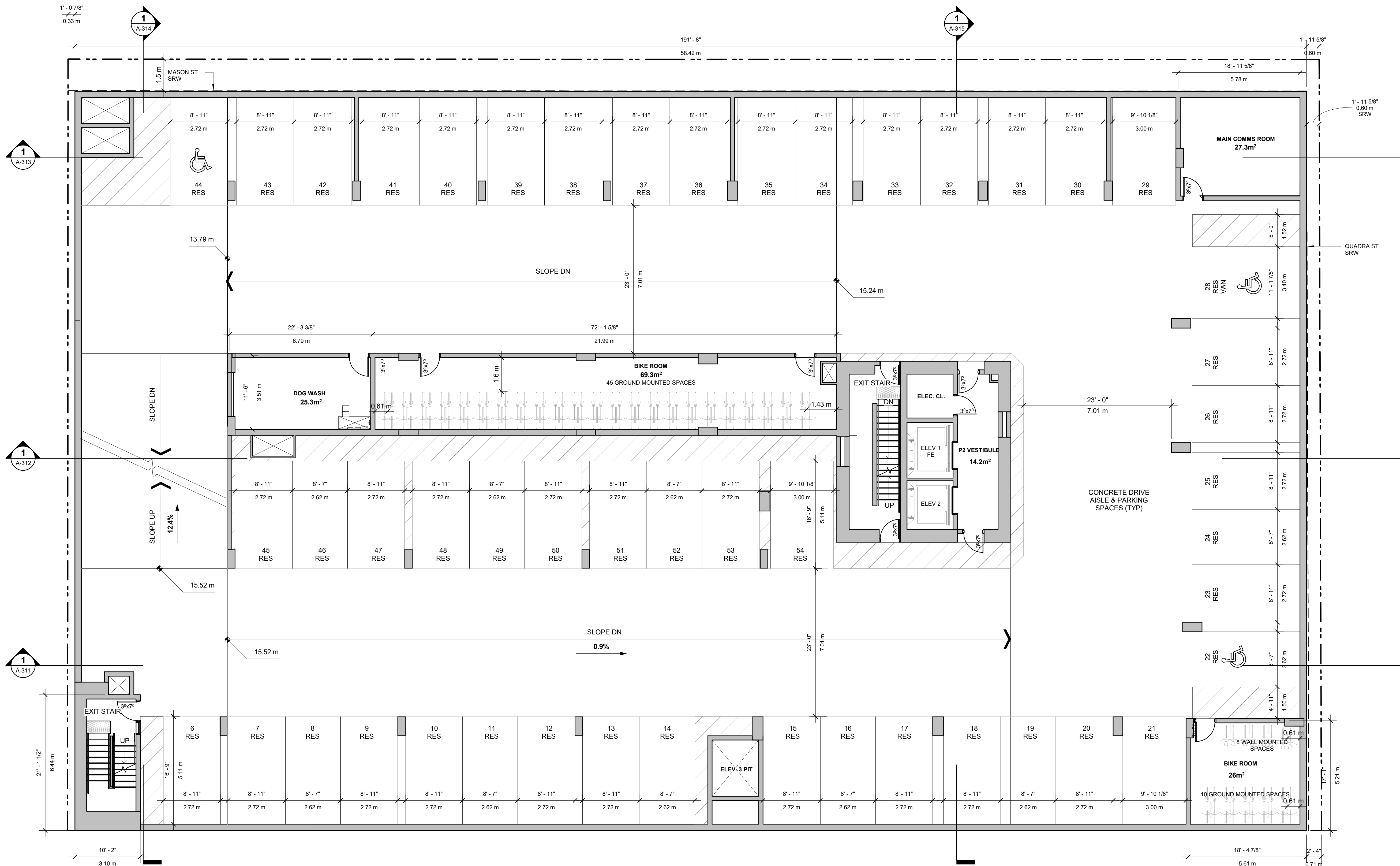
Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
LEVEL P3 PLAN

Drawing
Scale 1/8" = 1'-0"
Project 222011

Sheet **A-201**
70

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LEVEL P2
TOTAL PARKING SPACES
 49
 9 REGULAR SPACES
 37 WIDE SPACES
 2 ACCESSIBLE SPACES
 1 VAN ACCESSIBLE SPACE
TOTAL LONG TERM BICYCLE SPACES (P1 + P2)
 229
RESIDENTIAL BICYCLE SPACES
 63
 (55 GROUND MOUNTED)
 (8 WALL MOUNTED) (10% TOTAL)

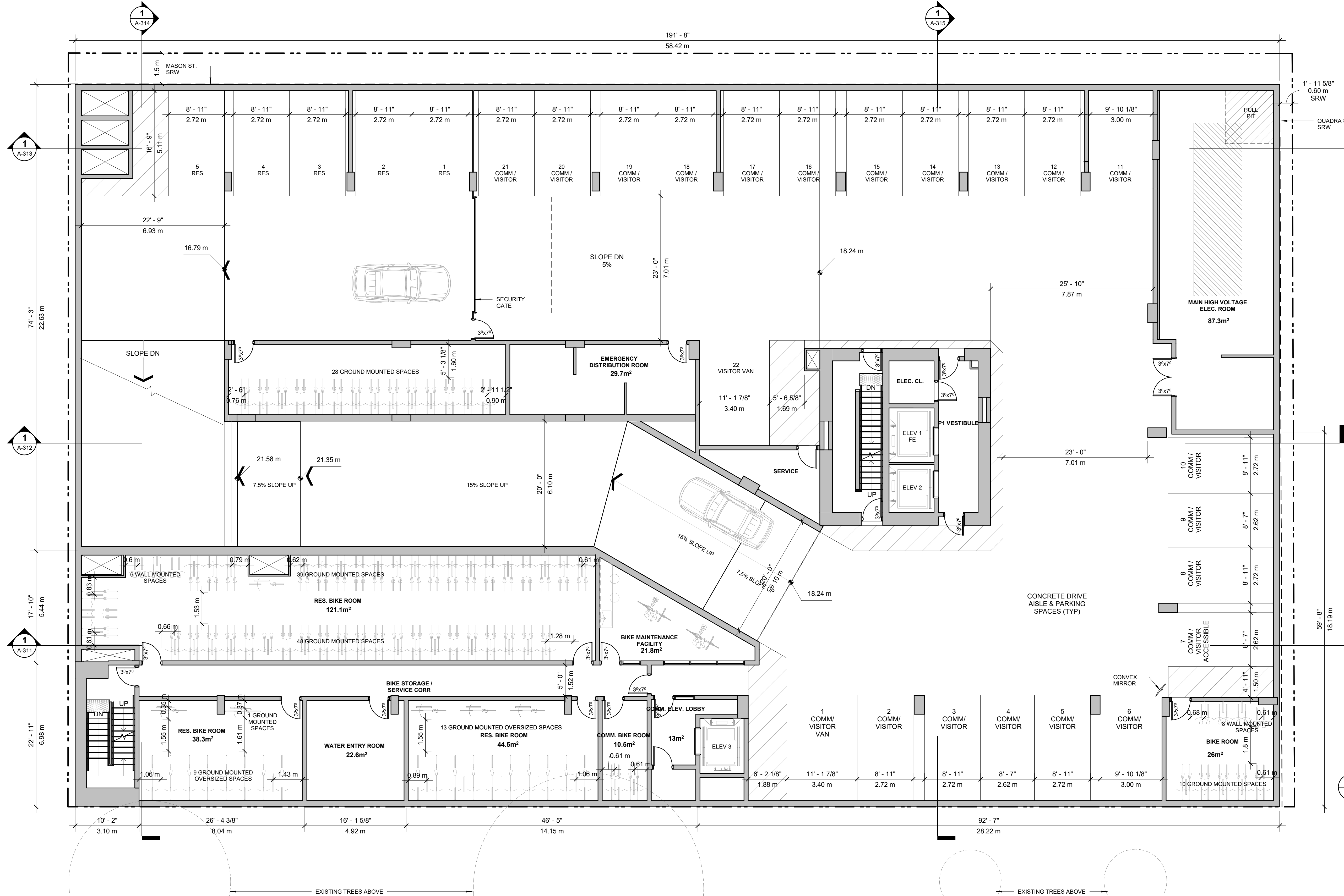
1 LEVEL P2 PLAN
 SCALE: 1/8" = 1'-0"
 0' 2' 5' 10' 20'

Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL P2 PLAN

Drawing
 Scale 1/8" = 1'-0"
 Project 222011

Sheet **A-202**



LEVEL P1

TOTAL PARKING SPACES
27

TOTAL COMMERCIAL/VISITOR SPACES
22

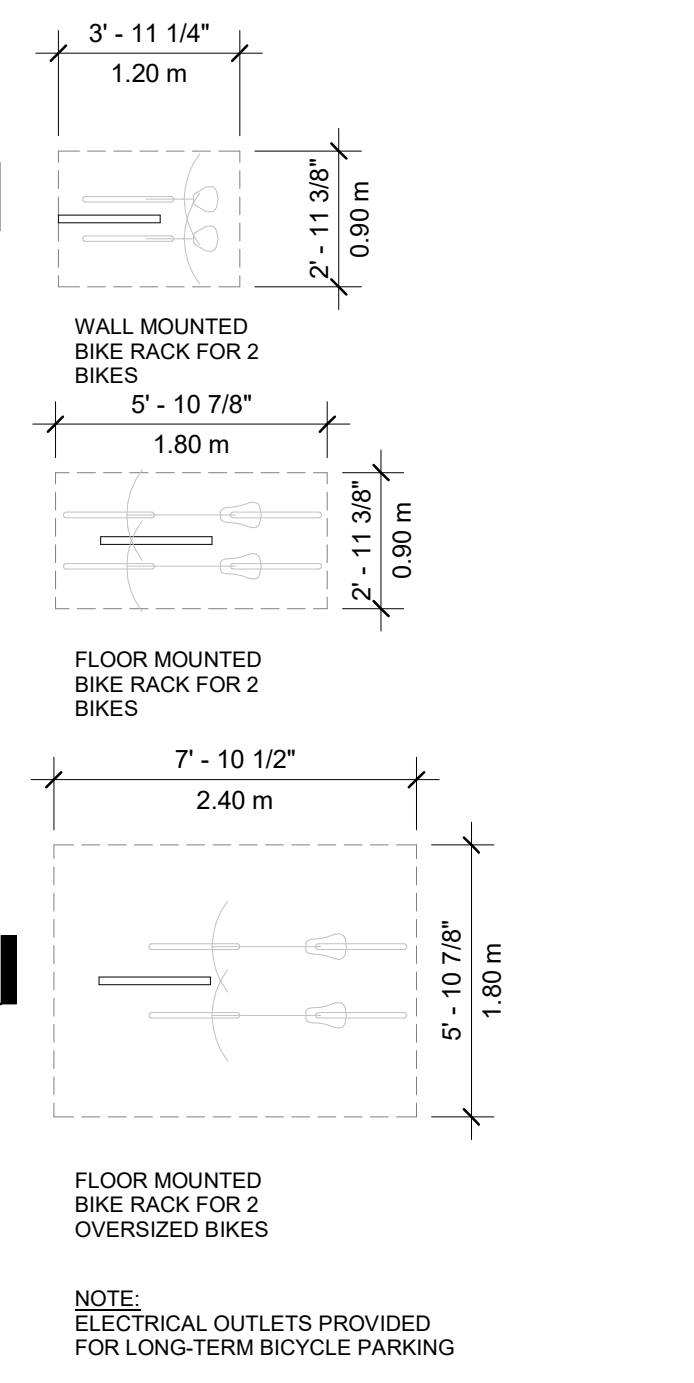
2 REGULAR SPACES
17 WIDE SPACES
2 VAN ACCESSIBLE SPACES
1 ACCESSIBLE SPACE

TOTAL RESIDENTIAL SPACES
5

TOTAL LONG TERM BICYCLE SPACES (P1 + P2)
229

RESIDENTIAL SPACES
162
(126 GROUND MOUNTED)
(22 GROUND MOUNTED OVERSIZED)
(14 WALL MOUNTED) (10% TOTAL)

COMMERCIAL SPACES
4 GROUND MOUNTED



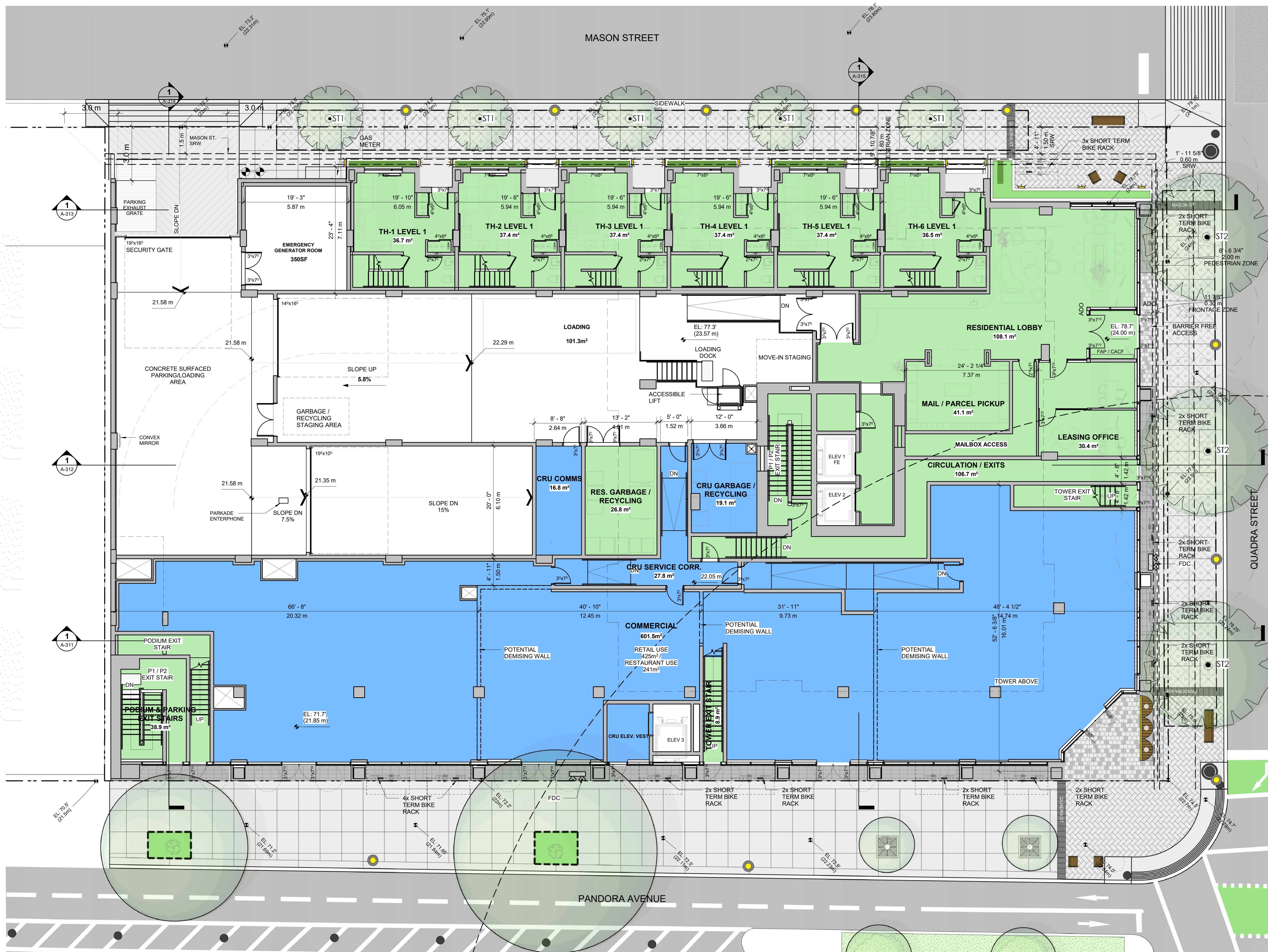
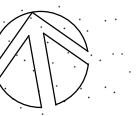
TYP. BIKE RACKS
SCALE: 1 : 50

LEVEL P1 PLAN
SCALE: 1/8" = 1'-0"
0' 2' 5' 10' 20'

Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
LEVEL P1 PLAN

Drawing
Scale As Indicated
Project 222011



NOTE:
BC HYDRO POLES FRONTING THE PROPERTY ALONG THE MASON STREET TO BE REMOVED AND LOCATED UNDERGROUND; REFER TO CIVIL DRAWINGS

LEVEL 1
TOTAL FLOOR AREA 13,390.3 SQ.FT. / 1,244m ²
RESIDENTIAL AREA 6,149.5 SQ.FT. / 578.8m ²
COMMERCIAL AREA 7,160.2 SQ.FT. / 665.2m ²
TOTAL RESIDENTIAL UNITS 6 UNITS
6 TWO BEDROOM TOWNHOUSE
RESIDENTIAL AREA
COMMERCIAL AREA

1 LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
LEVEL 1 FLOOR PLAN

Drawing
Scale: As indicated

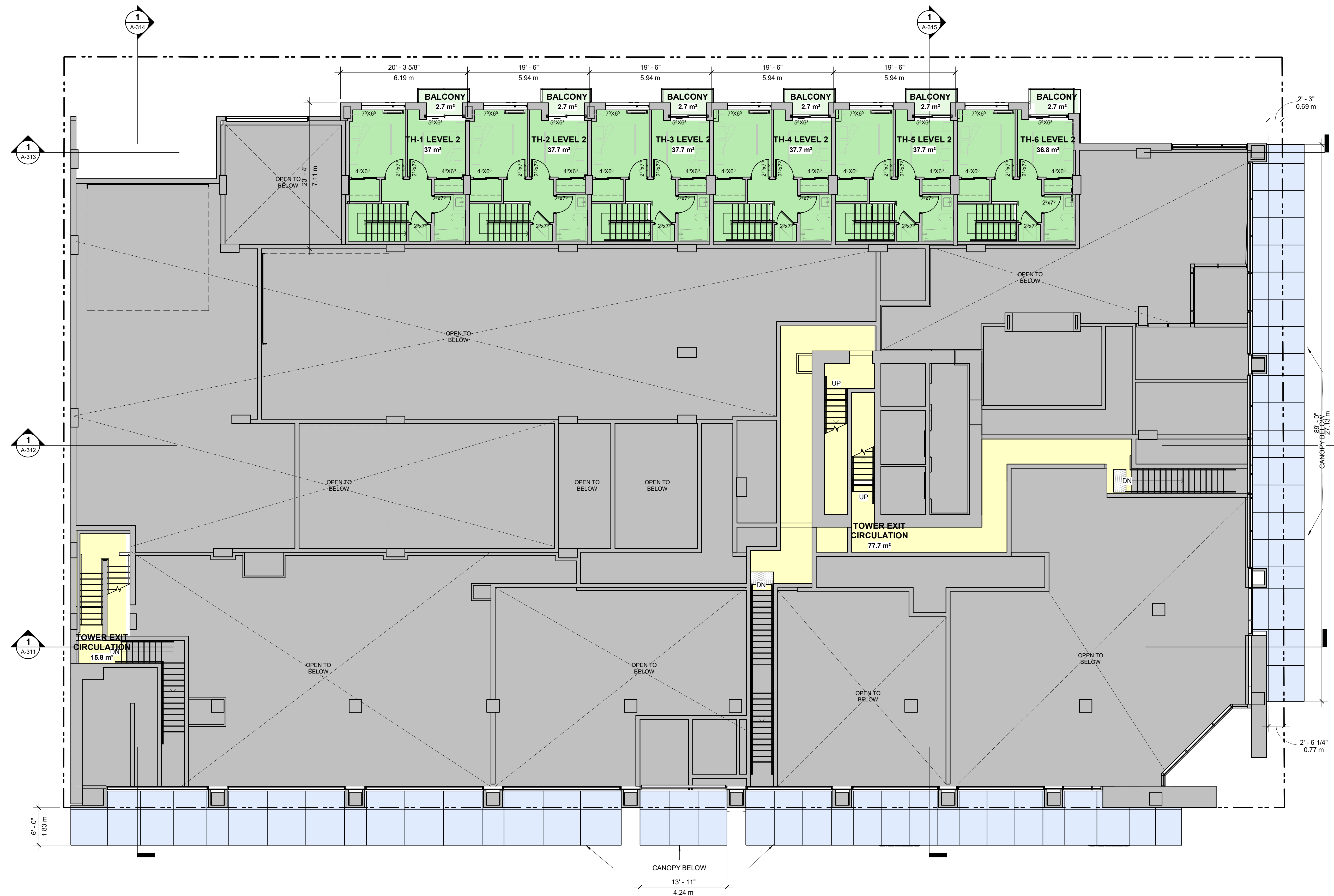
Project 222011

Sheet **A-204**

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1	ISSUED FOR RZ/DP	2023-03-24
2	RE-ISSUED FOR RZ/DP	2023-05-19
4	RE-ISSUED FOR RZ/DP	2023-09-08
5	RZ/DP RESUBMISSION	2023-11-02
6	RZ/DP RESUBMISSION	2023-11-27



LEVEL 1 UPPER
TOTAL FLOOR AREA
 3,424 SQ.FT. / 318.1m²
TOWNHOUSE AREA
 2,417.6 SQ.FT. / 224.6m²
CIRCULATION AREA
 1,006.4 SQ.FT. / 93.5m²

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY

1 LEVEL 1 UPPER FLOOR PLAN
 A020 SCALE: 1/8" = 1'-0"

Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL 1 UPPER

Drawing
 Scale As indicated
 Project 222011

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LEVEL 2

TOTAL FLOOR AREA
11,346.2 SQ.FT. / 1,054.1m²

SUITE AREA
8,332.3 SQ.FT. / 774.1m²

AMENITY AREA
1,474.7 SQ.FT. / 137m²

COMMON / CIRCULATION AREA
1,539.2 SQ.FT. / 143m²

TOTAL UNITS
14 UNITS

- 1 THREE BEDROOM
- 4 TWO BEDROOM
- 1 ONE BEDROOM + DEN
- 4 ONE BEDROOM
- 4 STUDIO

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY

LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

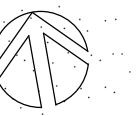
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
LEVEL 2 FLOOR PLAN

Drawing
Scale: As indicated

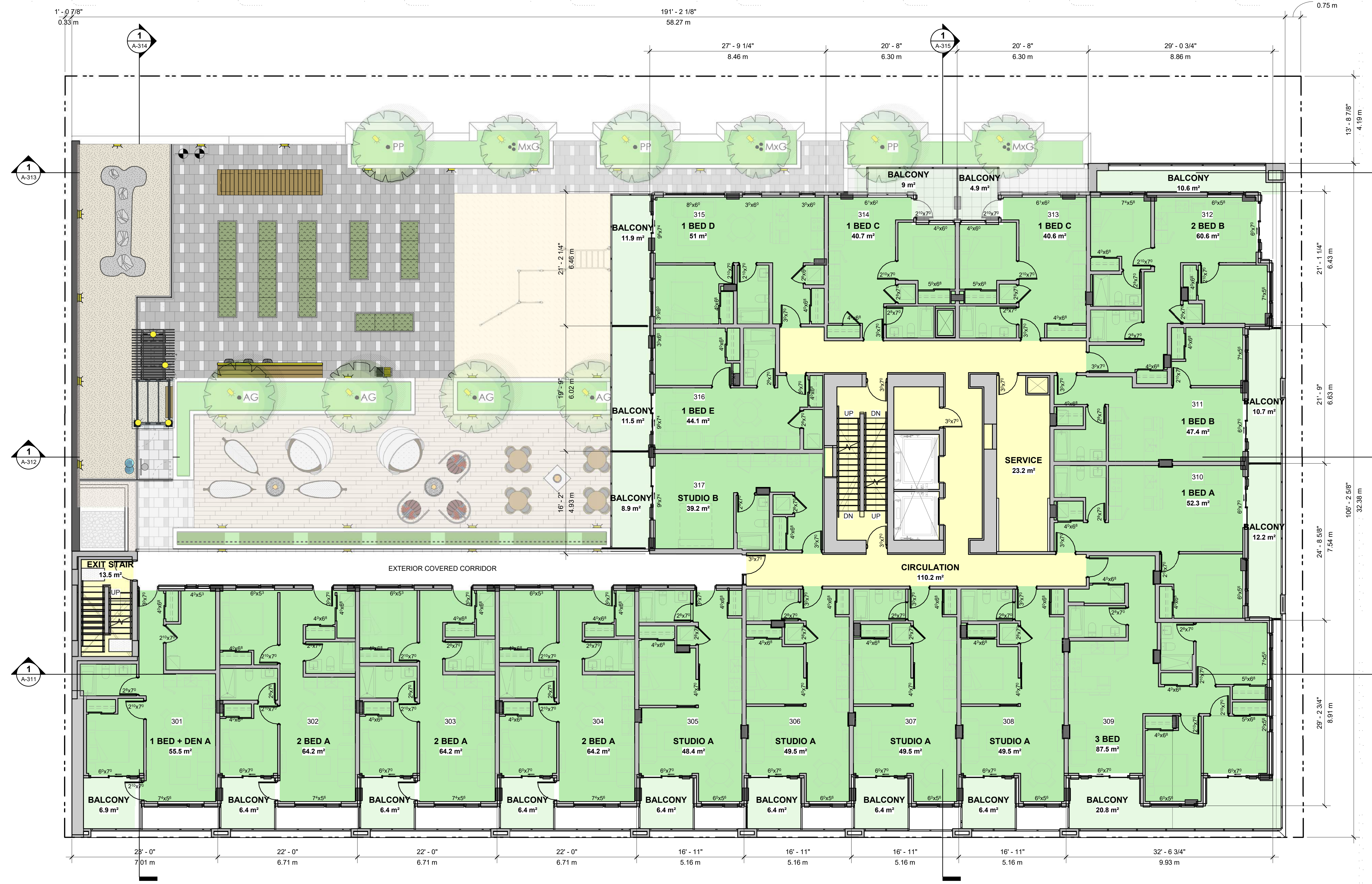
Project 222011

Sheet **A-206**



LEVEL 3
TOTAL FLOOR AREA (FSR)
 11,360.2 SQ.FT. / 1,055.4m²
SUITE AREA
 9,777.9 SQ.FT. / 908.4m²
COMMON / CIRCULATION AREA
 1,582.3 SQ.FT. / 147m²
TOTAL UNITS
 17 UNITS
 1 THREE BEDROOM
 4 TWO BEDROOM
 1 ONE BEDROOM + DEN
 6 ONE BEDROOM
 5 STUDIO

RESIDENTIAL SUITE
 RESIDENTIAL COMMON AREA / CIRCULATION
 EXTERIOR BALCONY

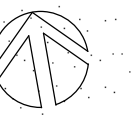


1 LEVEL 3 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL 3 FLOOR PLAN

Drawing
 Scale: As indicated
 Project: 222011
A-207
 Sheet



LEVEL 4 - 19
TOTAL FLOOR AREA (FSR)
6,293.7 SQ.FT. / 584.6m²

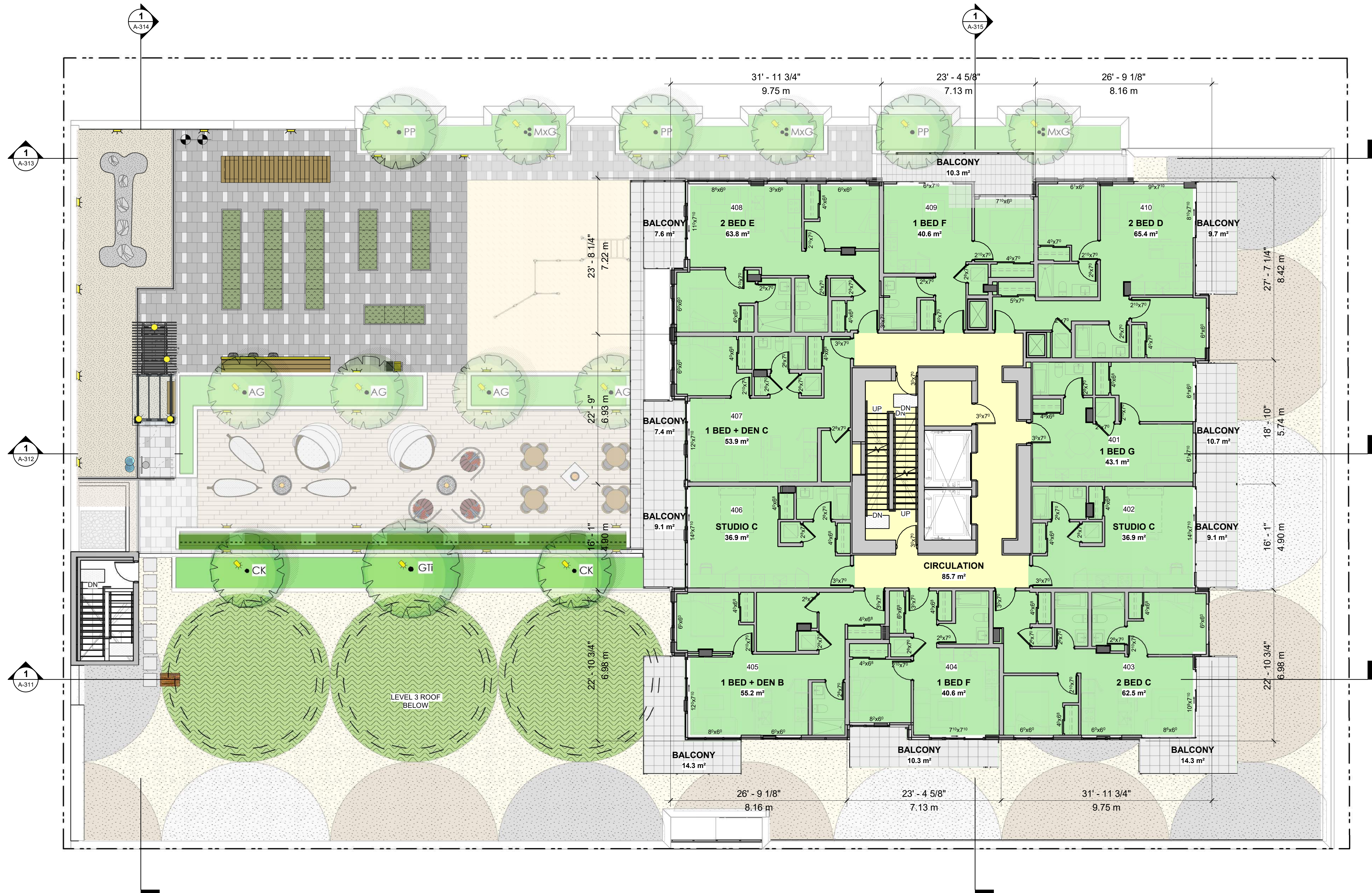
SUITE AREA
5,370.1 SQ.FT. / 498.9m²

CIRCULATION AREA
922.5 SQ.FT. / 85.7m²

TOTAL UNITS
10 UNITS

3	TWO BEDROOM
2	ONE BEDROOM + DEN
3	ONE BEDROOM
2	STUDIO

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY



1 TYPICAL TOWER FLOOR PLAN (4-19)

SCALE: 1/8" = 1'-0"

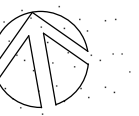
Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
TYPICAL TOWER
LEVEL PLAN

Drawing
Scale: As indicated

Project 222011

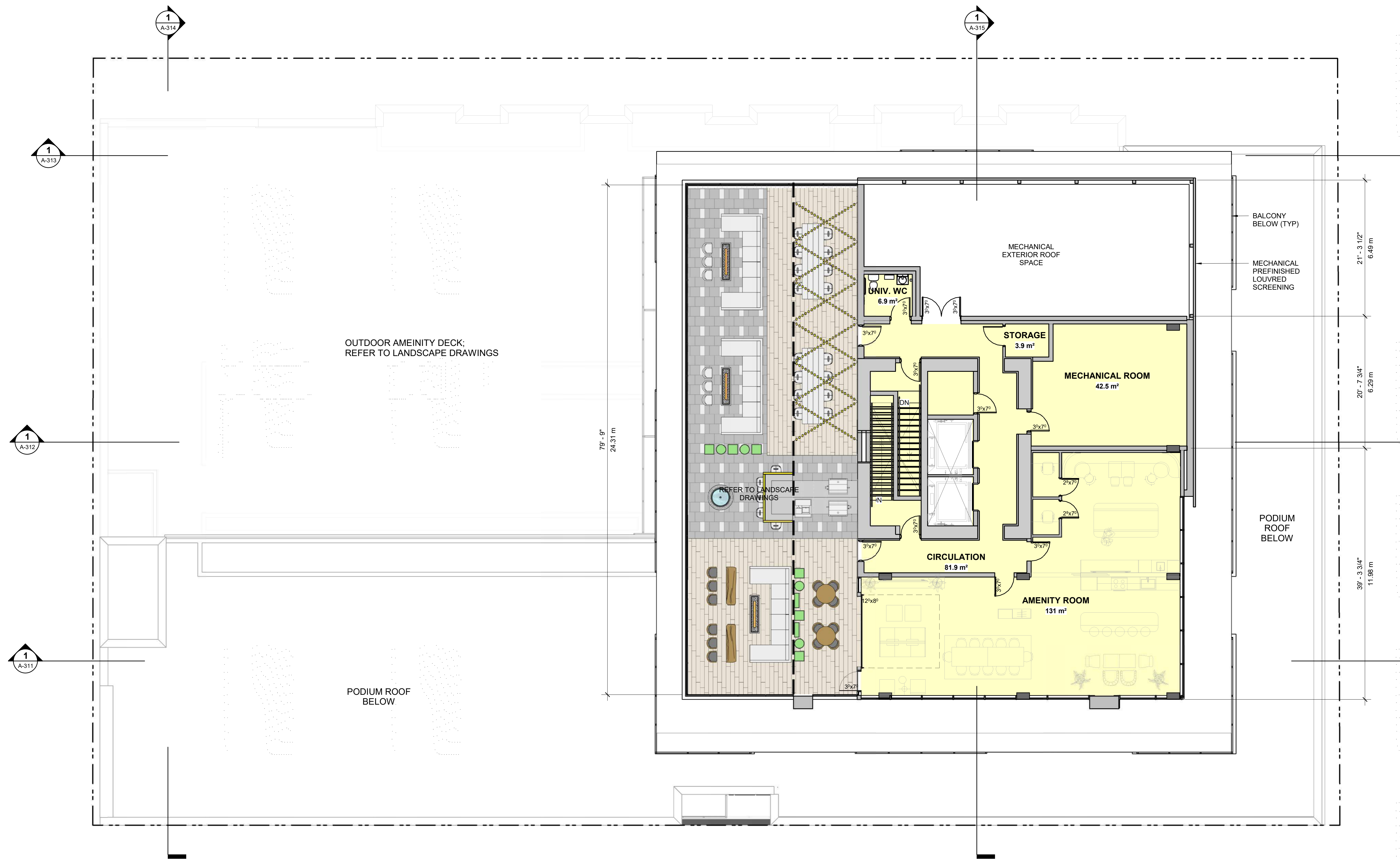
Sheet **A-208**



- 1 ISSUED FOR RZ/DP 2023-03-24
- 2 RE-ISSUED FOR RZ/DP 2023-05-19
- 4 RE-ISSUED FOR RZ/DP 2023-09-08
- 5 RZ/DP RESUBMISSION 2023-11-02
- 6 RZ/DP RESUBMISSION 2023-11-27

LEVEL 14 (ROOF DECK)
TOTAL FLOOR AREA
 2,865.4 SQ.FT. / 266.2m²
AMENITY AREA
 1,409.9 SQ.FT. / 131m²
CIRCULATION AREA
 997.8 SQ.FT. / 92.7m²
MECHANICAL ROOM
 457.7 SQ.FT. / 42.5m²

RESIDENTIAL COMMON
 AREA / CIRCULATION



1 LEVEL 20 AMENITY ROOF PLAN
 SCALE: 1/8" = 1'-0"

Seal
 854-880
 PANDORA AVE.

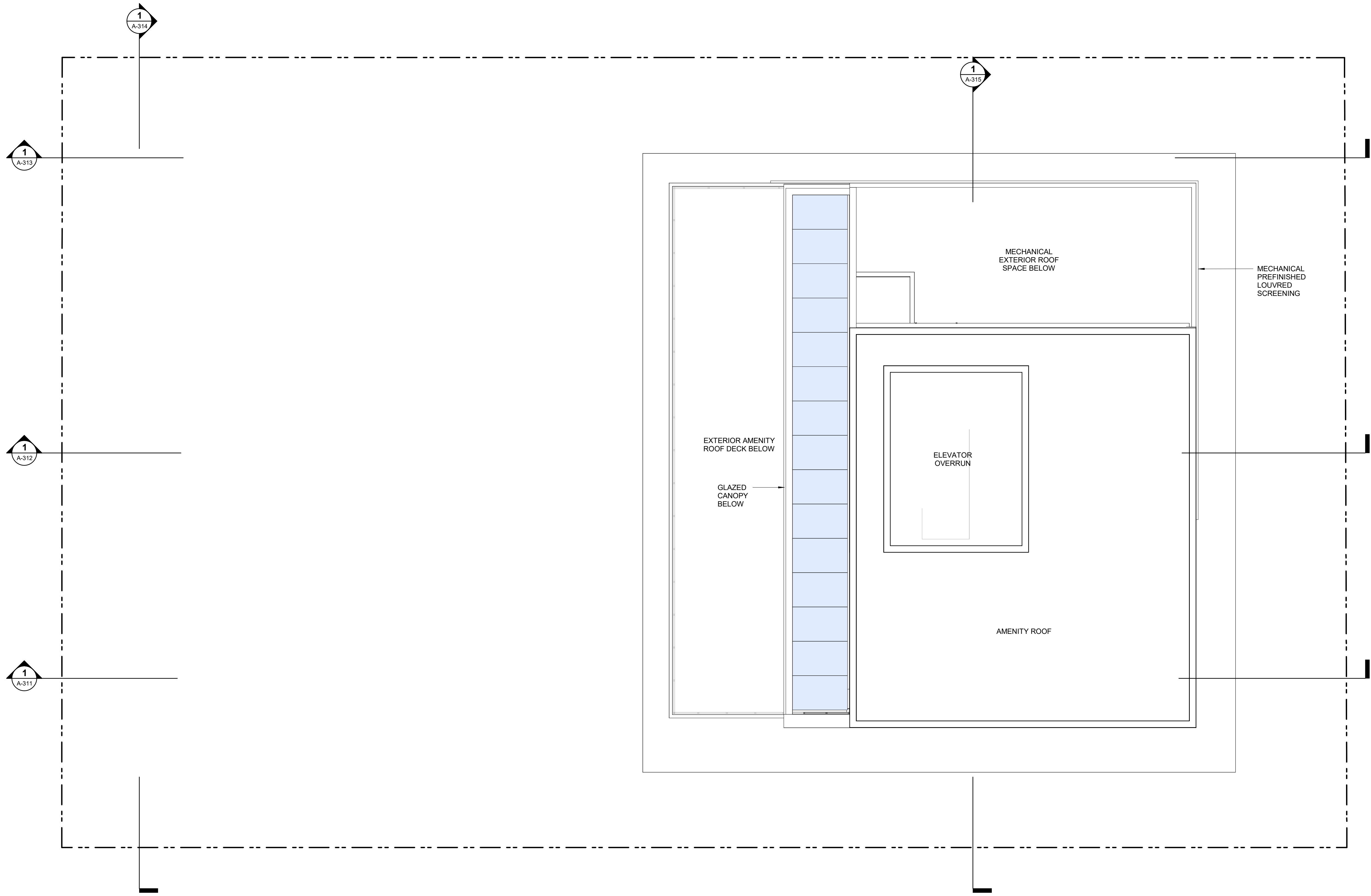
854-880 Pandora Ave
 Victoria, BC
 Project
 ROOF DECK PLAN

Drawing
 Scale: As indicated
 Project 222011

Sheet **A-209**



Revisions	YYYY-MM-DD
1 ISSUED FOR RZ/DP	2023-03-24
2 RE-ISSUED FOR RZ/DP	2023-05-19
4 RE-ISSUED FOR RZ/DP	2023-09-08
5 RZ/DP RESUBMISSION	2023-11-02
6 RZ/DP RESUBMISSION	2023-11-27



1
A301
SCALE: 1/8" = 1'-0"
ROOF PLAN / ELEVATOR OVERRUN PLAN

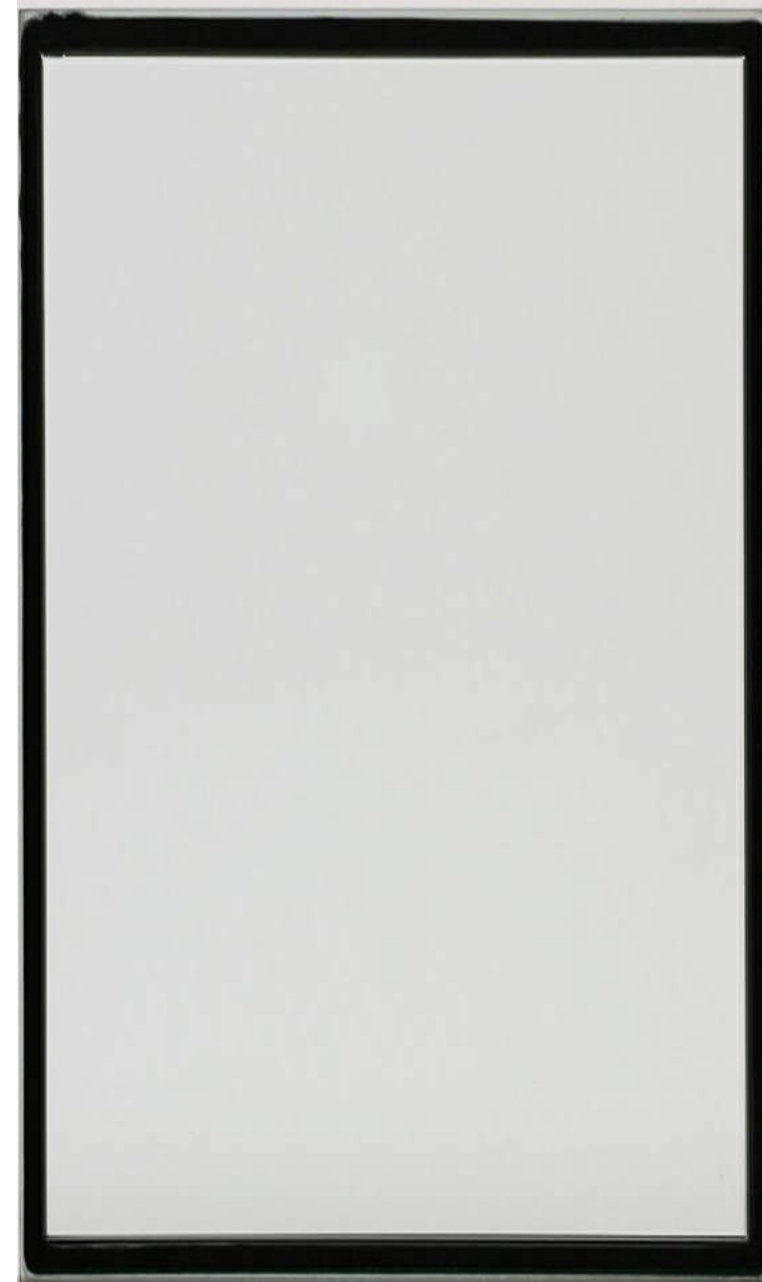
Seal
**854-880
 PANDORA AVE.**

854-880 Pandora Ave
 Victoria, BC
 Project
**ROOF PLAN /
 ELEVATOR OVERRUN**

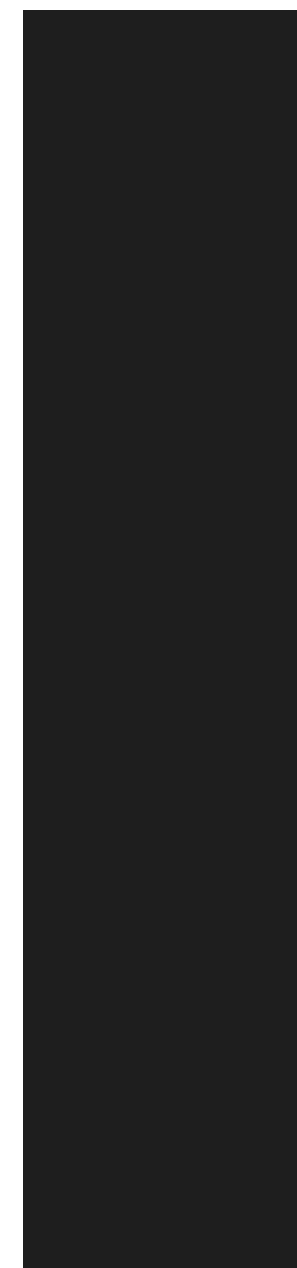
Drawing
 Scale 1/8" = 1'-0"
 Project 222011

Sheet **A-210**

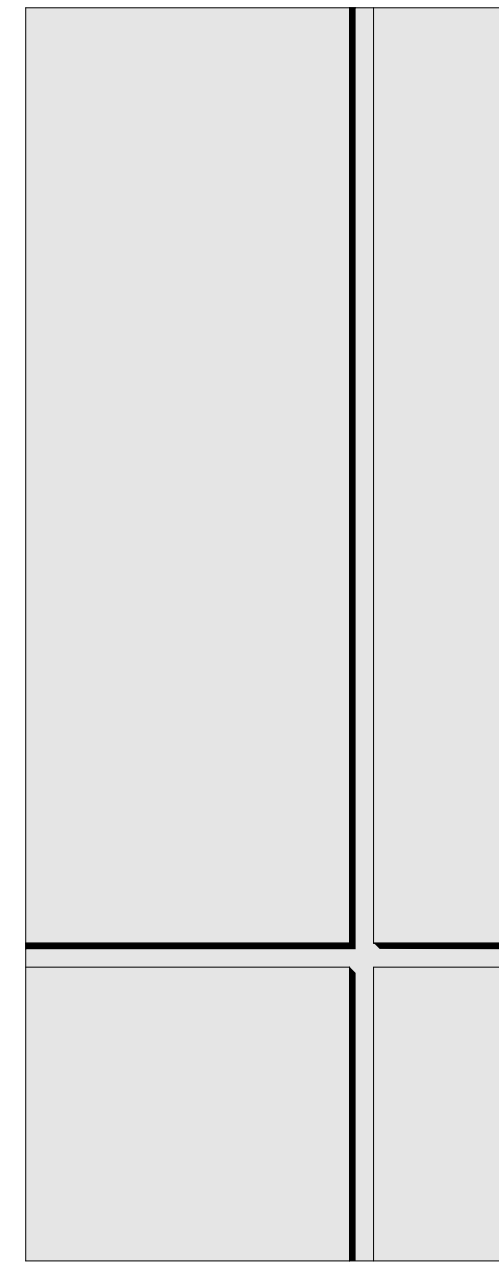
TOWER LEVELS



CLEAR GLASS
LOW REFLECTIVITY



BLACK MULLIONS

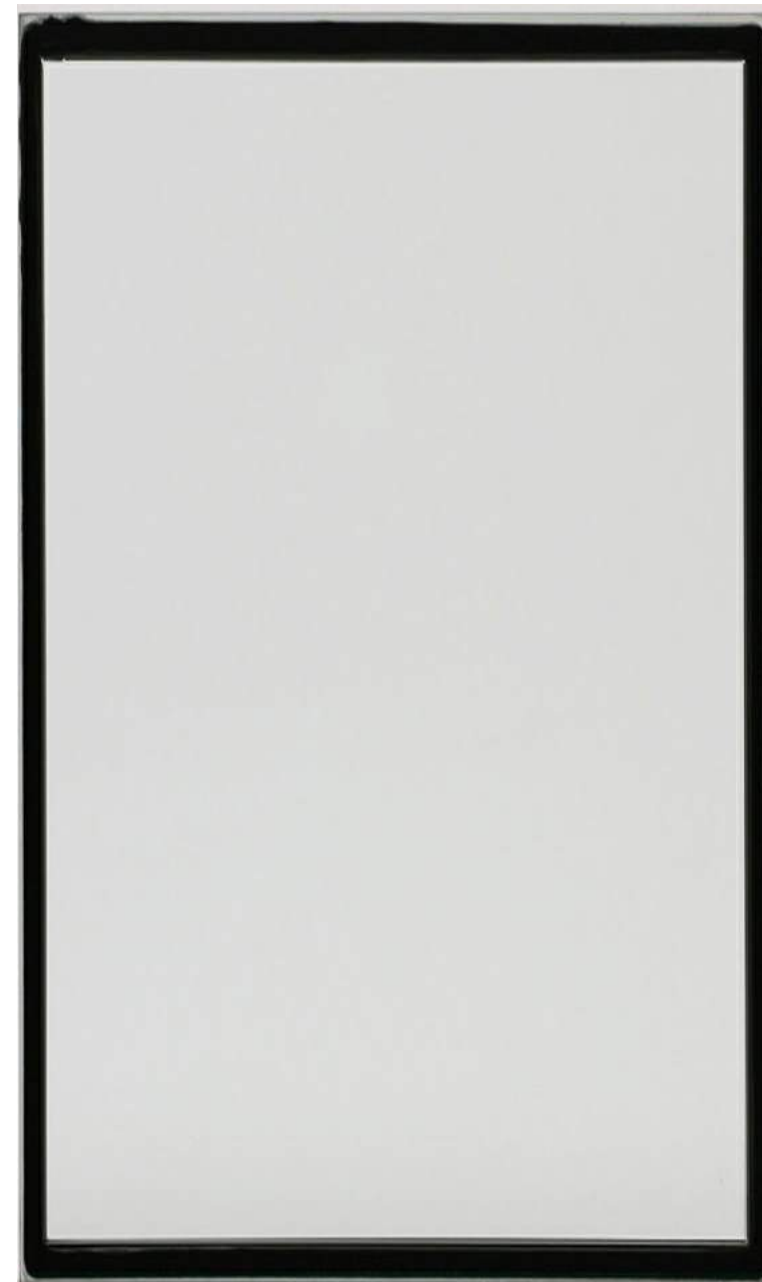


LIGHT GREY SPANDREL
PANEL

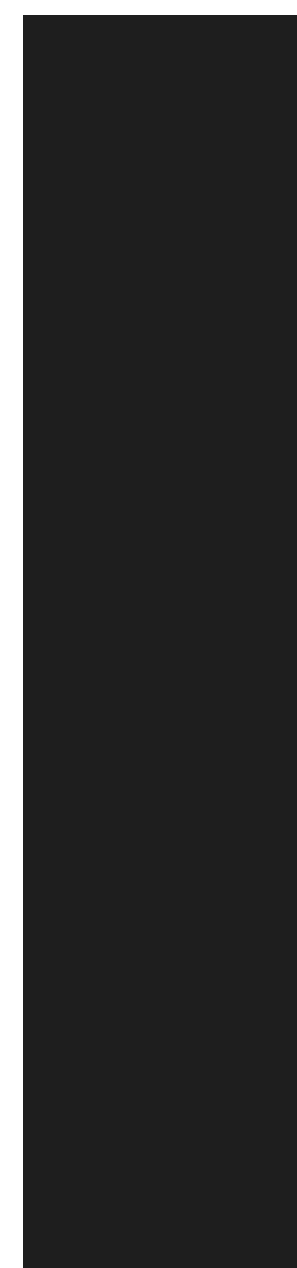


DARK CHARCOAL RAISED
METAL PANEL

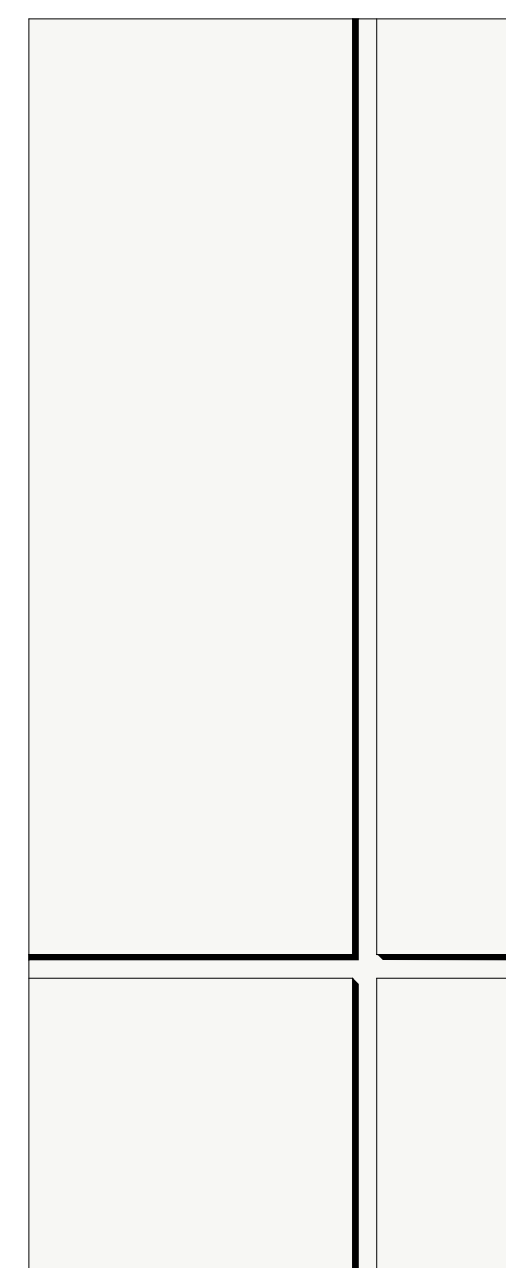
PODIUM LEVELS



CLEAR GLASS
LOW REFLECTIVITY

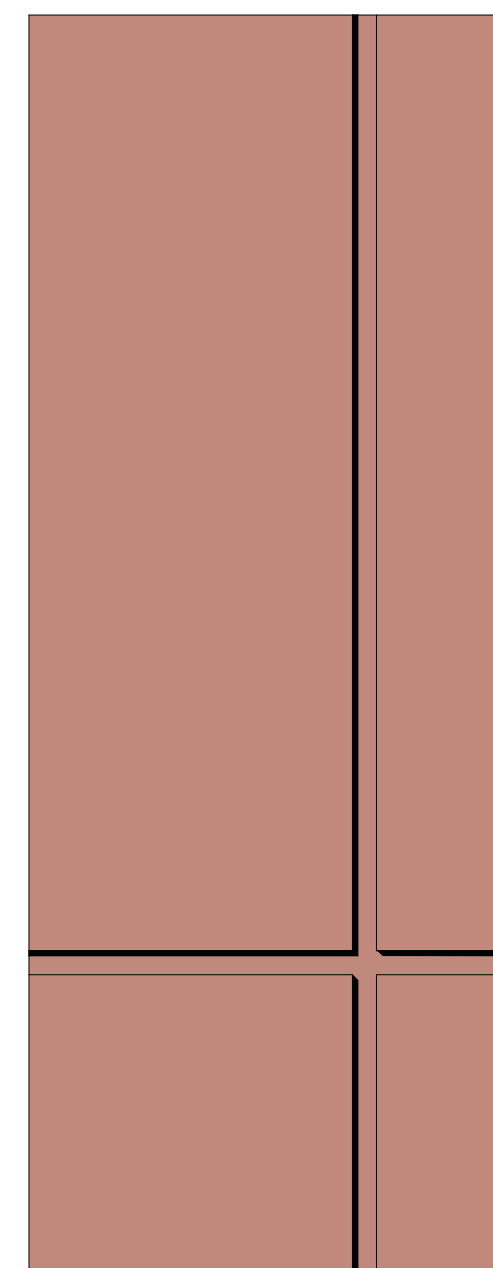


BLACK MULLIONS

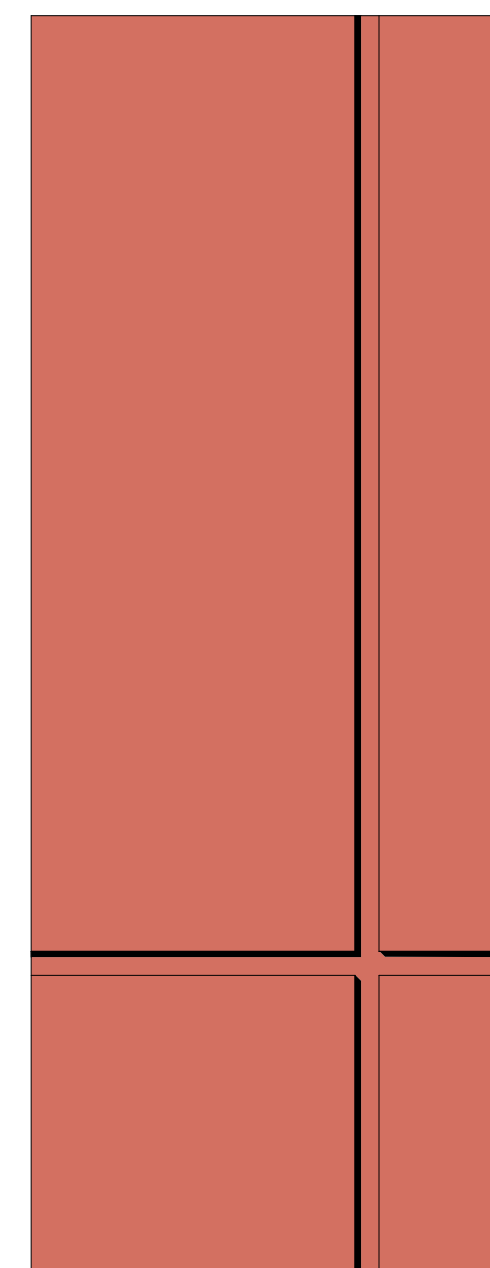


WINDOW WALL
METAL PANEL - WHITE

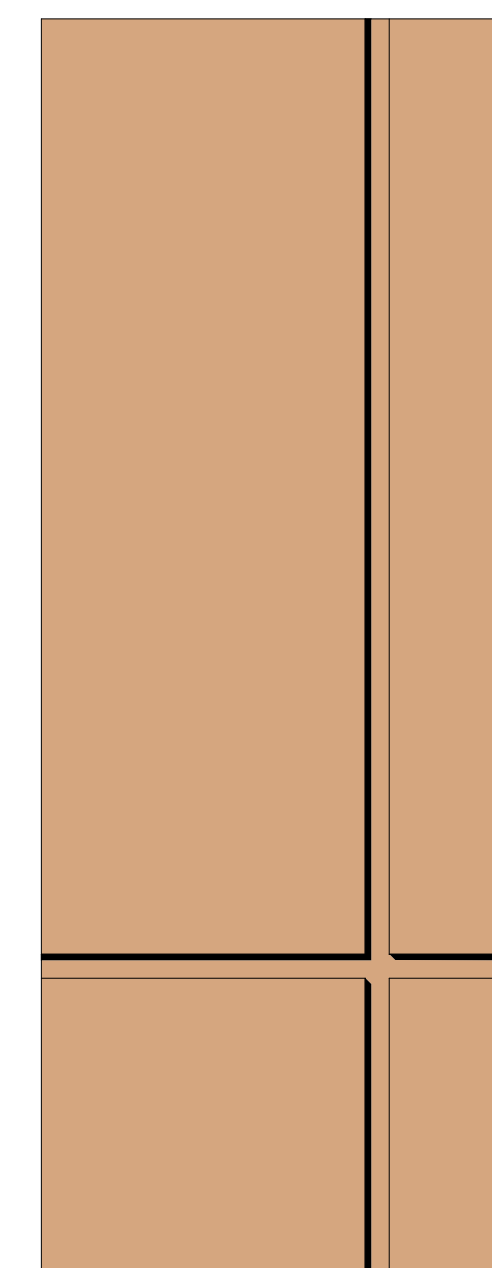
TOWNHOUSE EXTERIOR



WINDOW WALL
METAL PANEL -
TERRACOTTA (LIGHT RED)



WINDOW WALL
METAL PANEL - RED



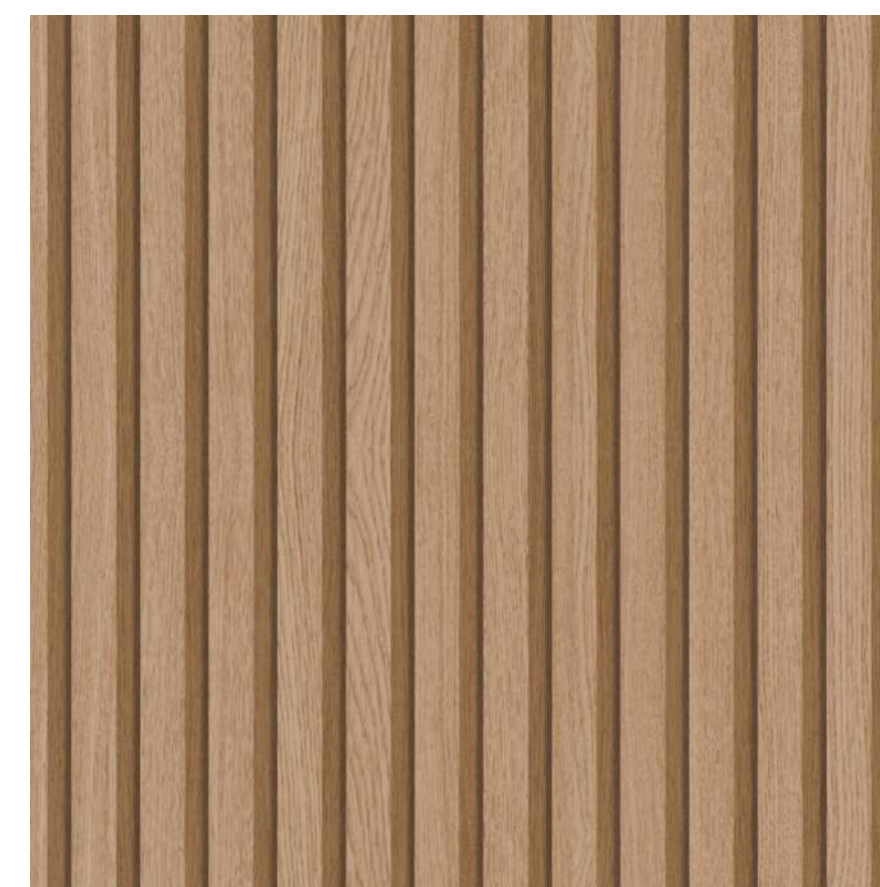
WINDOW WALL
METAL PANEL - BROWN



LIGHT COLOURED BRICK



HORIZONTAL BRICK REVEAL
DETAILING

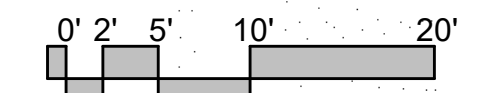


METAL PANEL SOFFIT - WHITE OAK



BLACK PAINTED STEEL CANOPY
W/ LAMINATED GLAZING

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
C2	PAINTED CONCRETE; COLOUR: WHITE
C3	CONCRETE FACED INSULATED PANEL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR-LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW2	SPANDREL PANEL; COLOUR: LIGHT GREY
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN
WW7	RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY



1 SOUTH ELEVATION
SCALE: 1 : 125

ADJACENT
1 STOREY
COMMERCIAL
BUILDING

EXTERIOR COLUMN
LIGHTING

EX. EL. 21.58 m

2' - 0"
0.61 m
EAST SETBACK

1' - 0"
0.30 m
WEST SETBACK

QUADRA STREET

SIDEWALK

EX. EL. 22.95 m

AVE. GRADE 22.75m

Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
SOUTH ELEVATION

Drawing

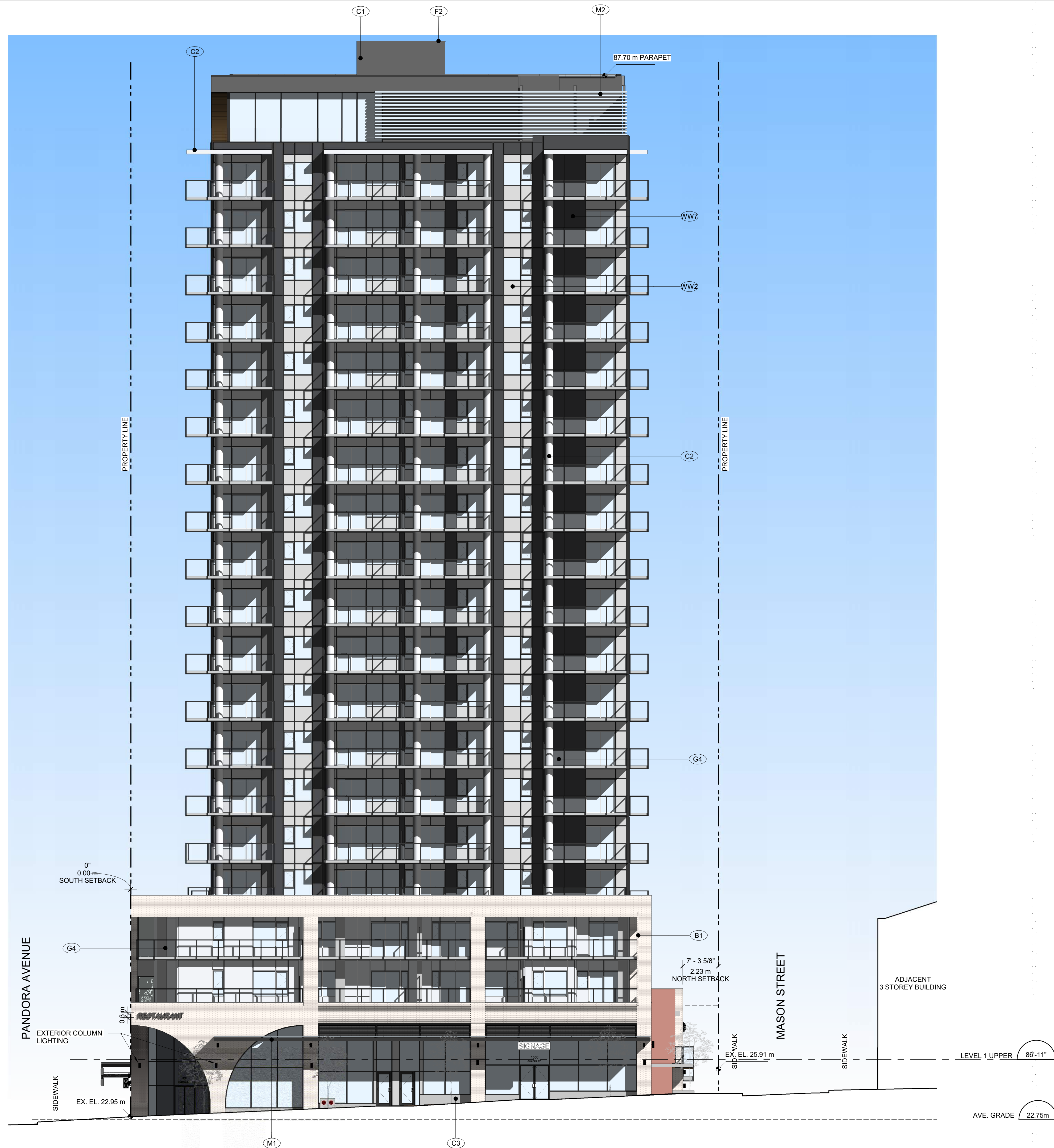
Scale 1 : 125

Project 222011

Sheet **A-301**

Sheet 81

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
C2	PAINTED CONCRETE; COLOUR: WHITE
C3	CONCRETE FACED INSULATED PANEL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR-LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW2	SPANDREL PANEL; COLOUR: LIGHT GREY
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN
WW7	RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY



1 EAST ELEVATION
SCALE: 1 : 125

Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
EAST ELEVATION

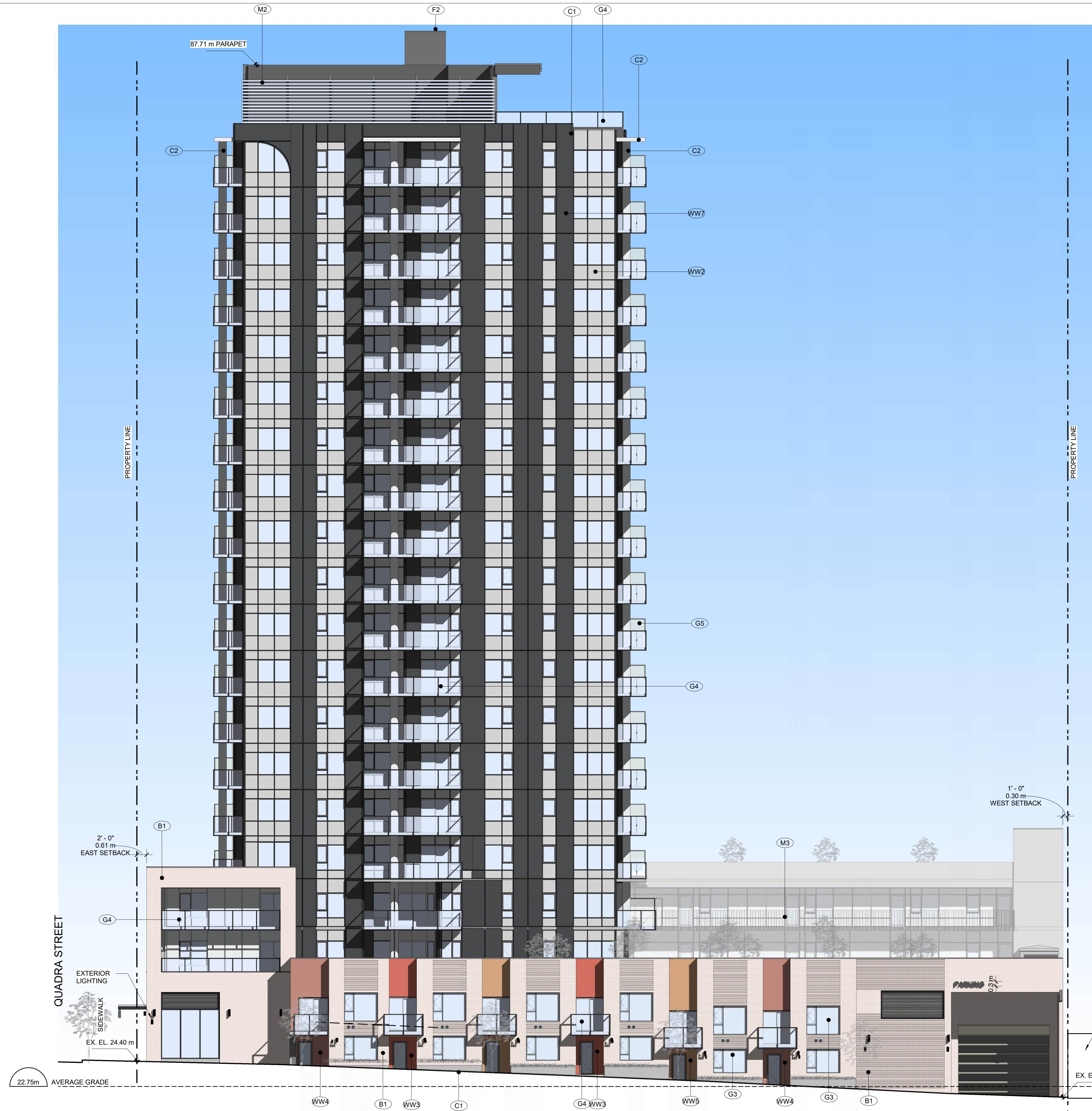
Drawing

Scale 1 : 125

Project 222011

Sheet **A-302**

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
C2	PAINTED CONCRETE; COLOUR: WHITE
C3	CONCRETE FACED INSULATED PANEL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR-LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW2	SPANDREL PANEL; COLOUR: LIGHT GREY
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN
WW7	RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY



1 NORTH ELEVATION
SCALE: 1:125

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Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
NORTH ELEVATION

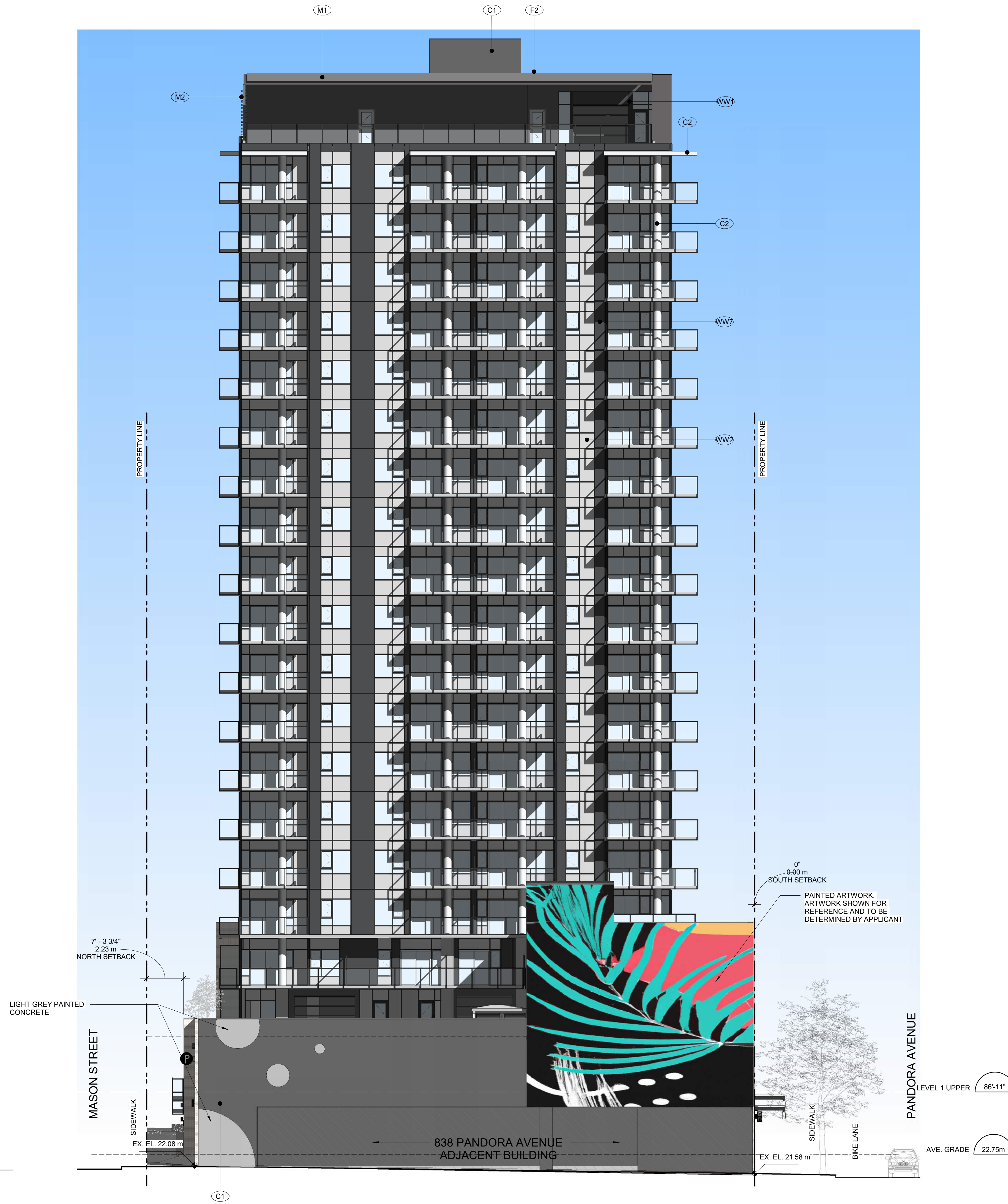
Drawing

Scale 1:125

Project 222011

Sheet **A-303**

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
C2	PAINTED CONCRETE; COLOUR: WHITE
C3	CONCRETE FACED INSULATED PANEL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
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WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN
WW7	RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY



1 WEST ELEVATION
SCALE: 1:125

Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

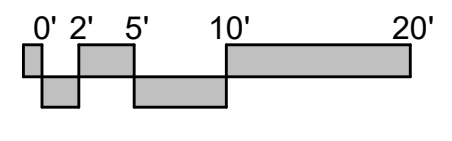
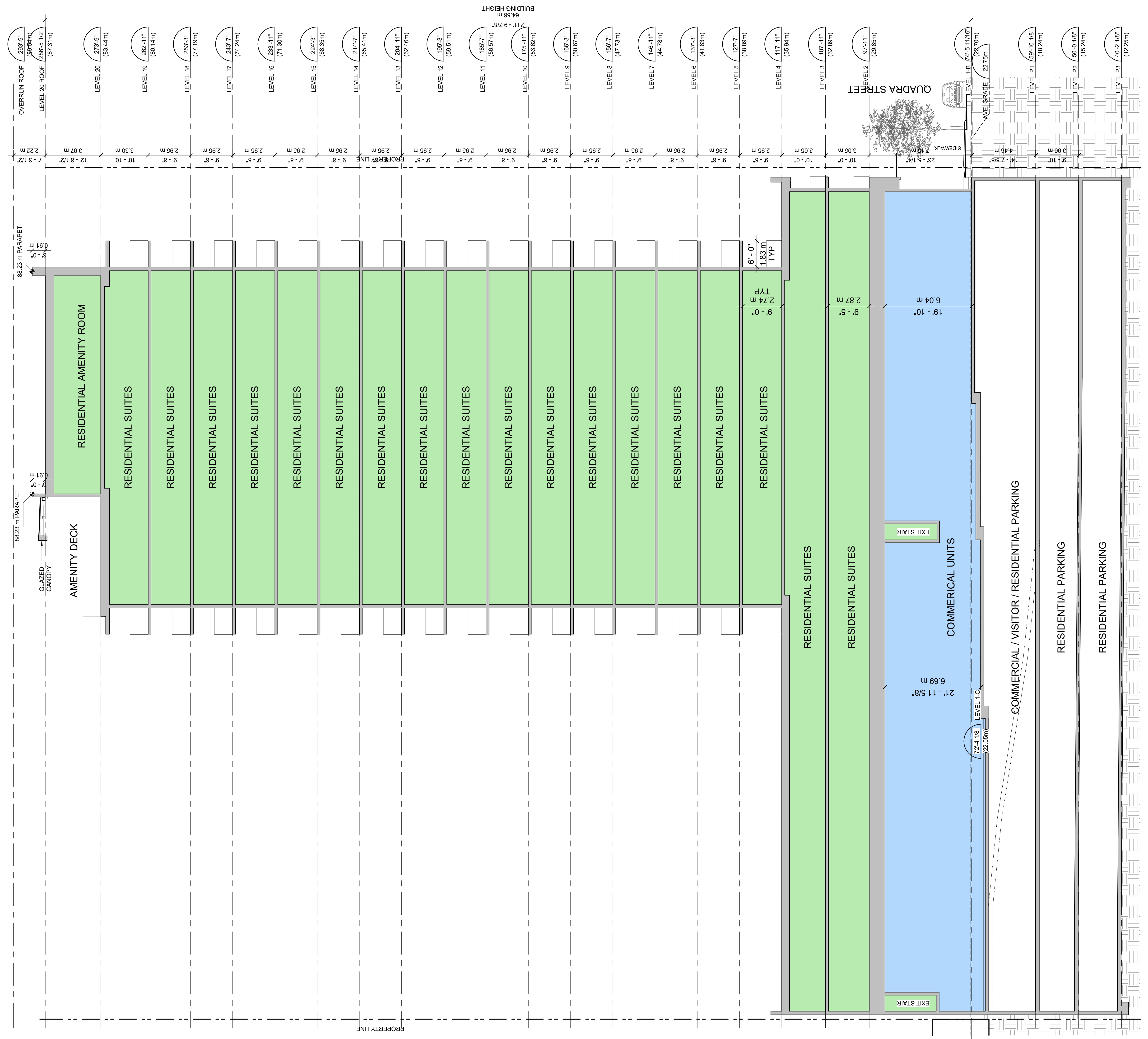
Project
WEST ELEVATION

Drawing

Scale 1:125

Project 222011

Sheet **A-304**

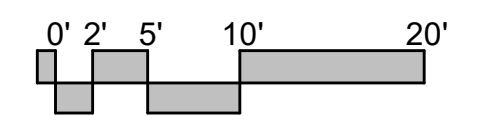
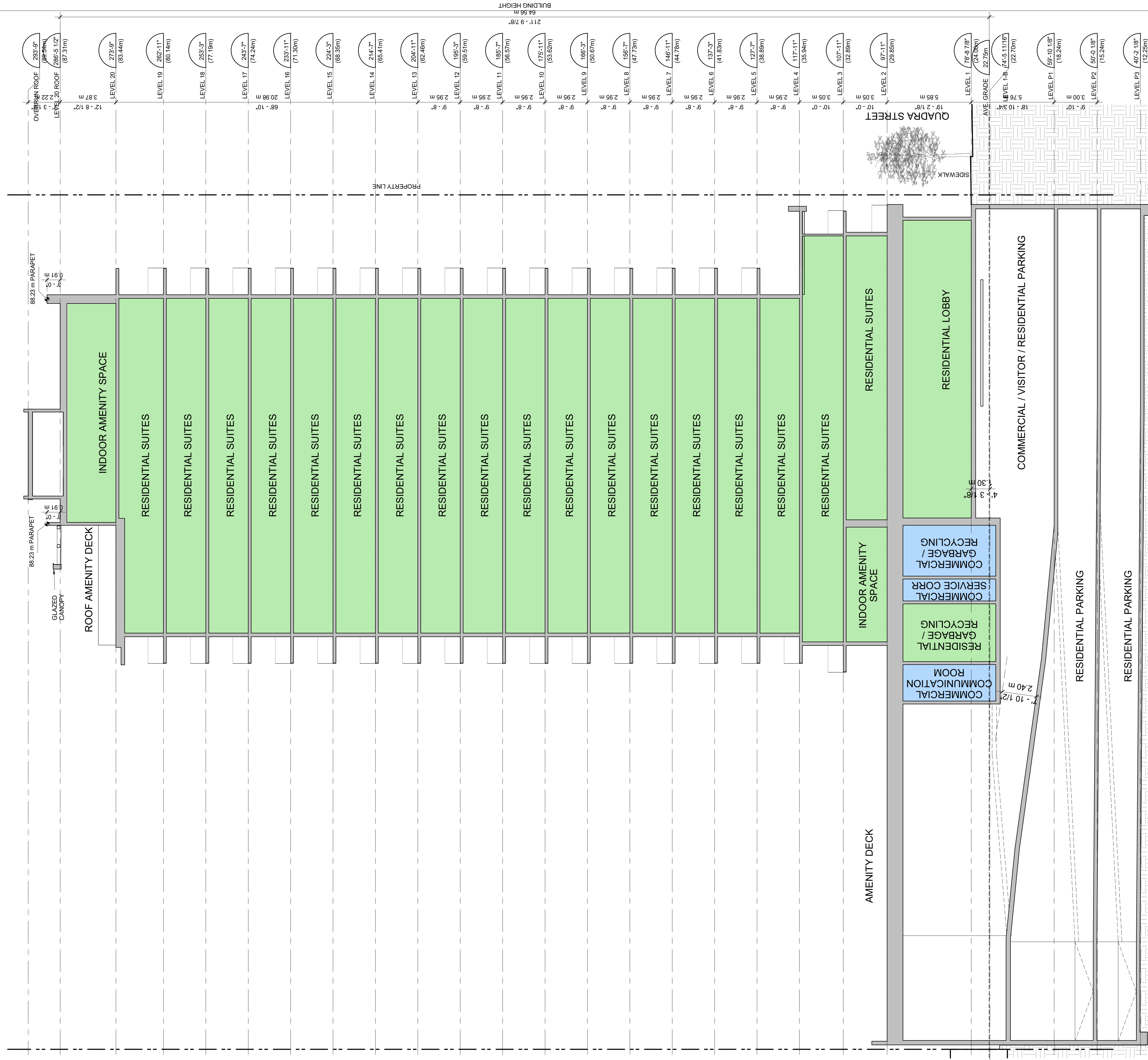


1 SECTION A-A
SCALE: 1:125
A-201

Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
BUILDING SECTION

Drawing
Scale 1:125
Project 222011



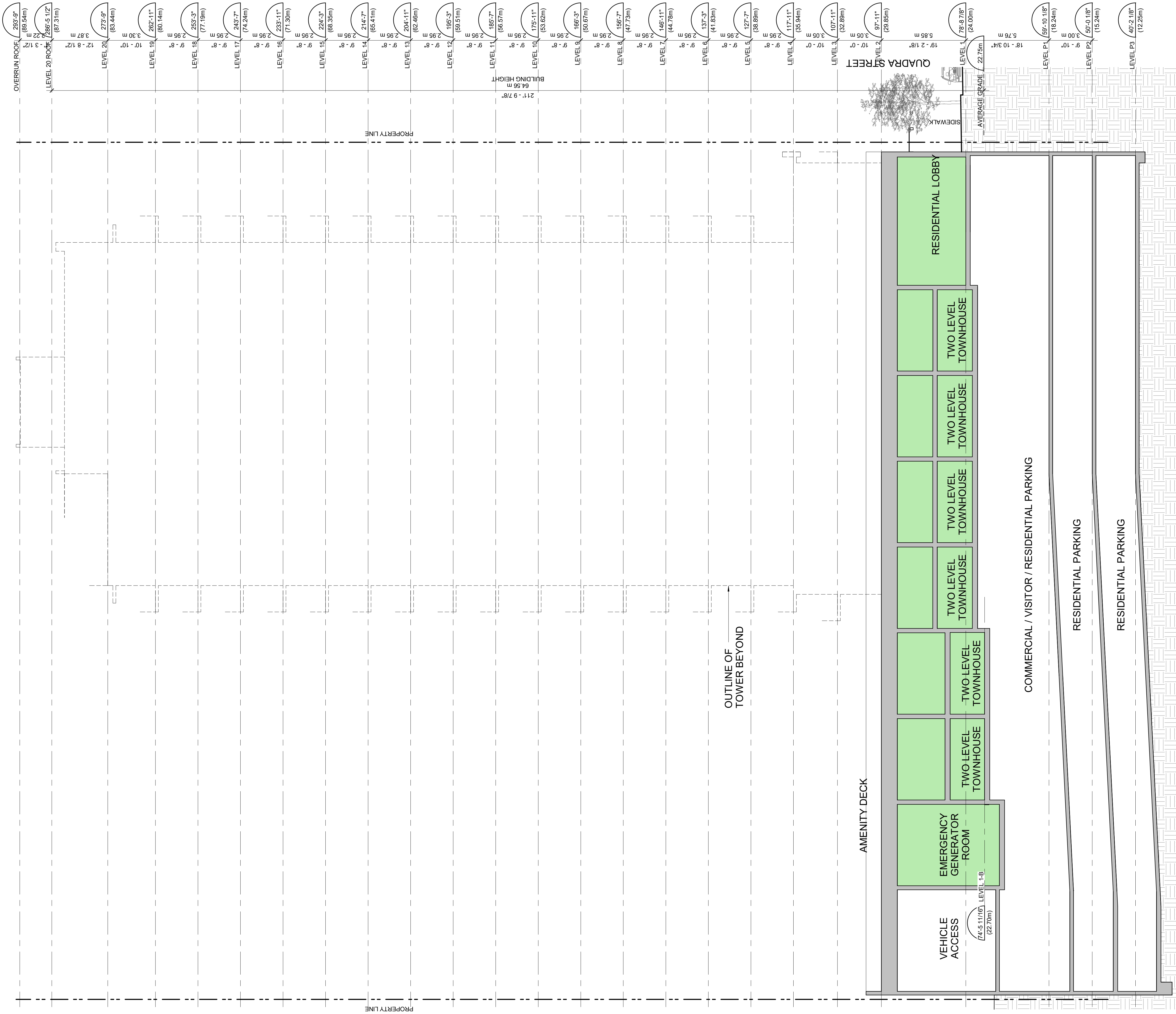
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A-201

Seal
854-880
PANDORA AVE.

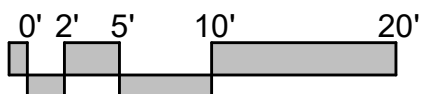
854-880 Pandora Ave
Victoria, BC
Project
BUILDING SECTION

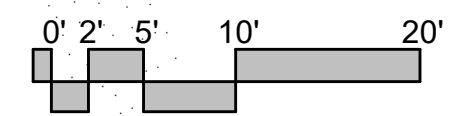
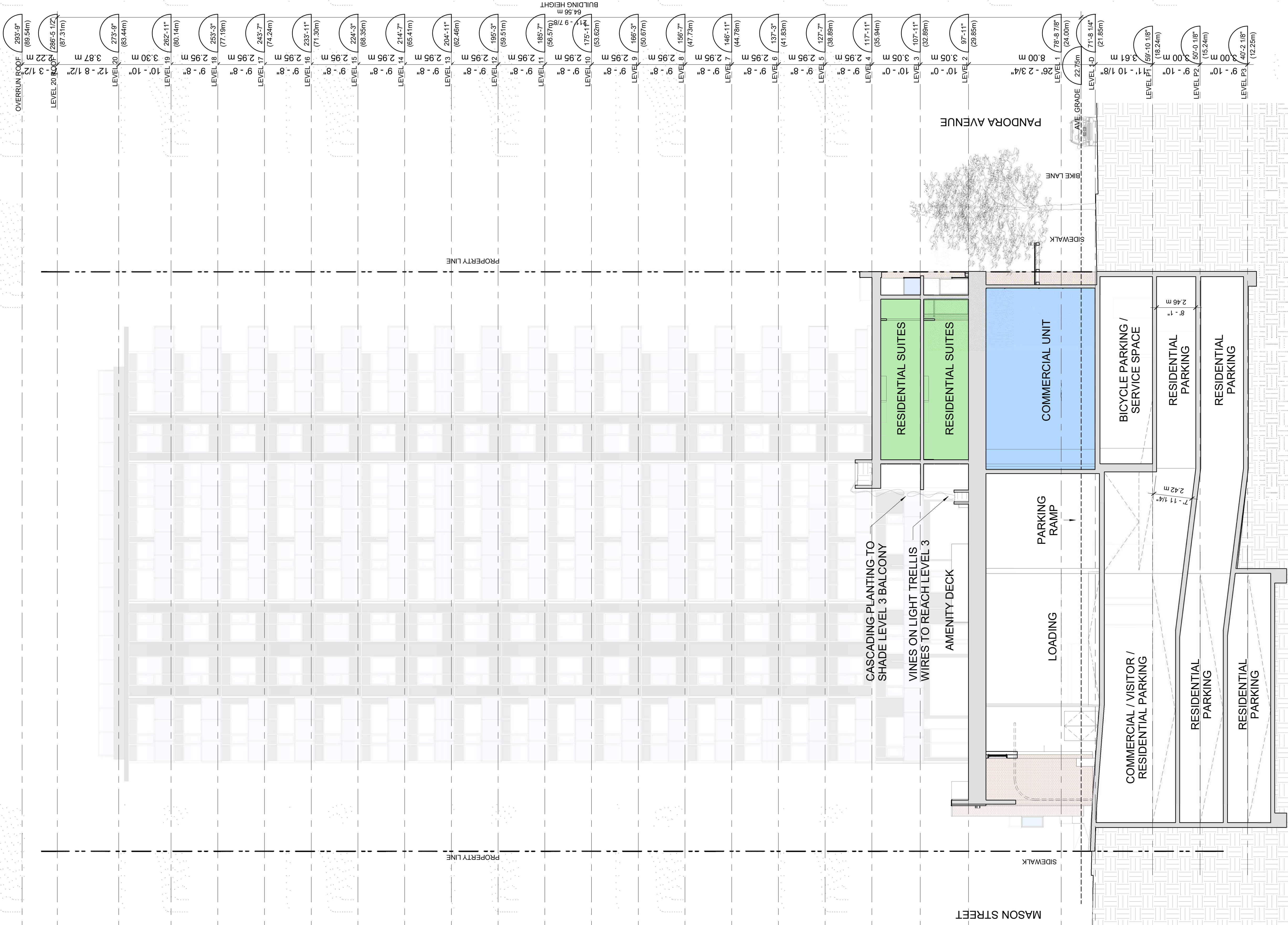
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Project 222011

Sheet **A-312**



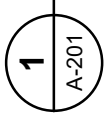
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SCALE: 1/16" = 1'-0"





SECTION D-D

SCALE: 1:125

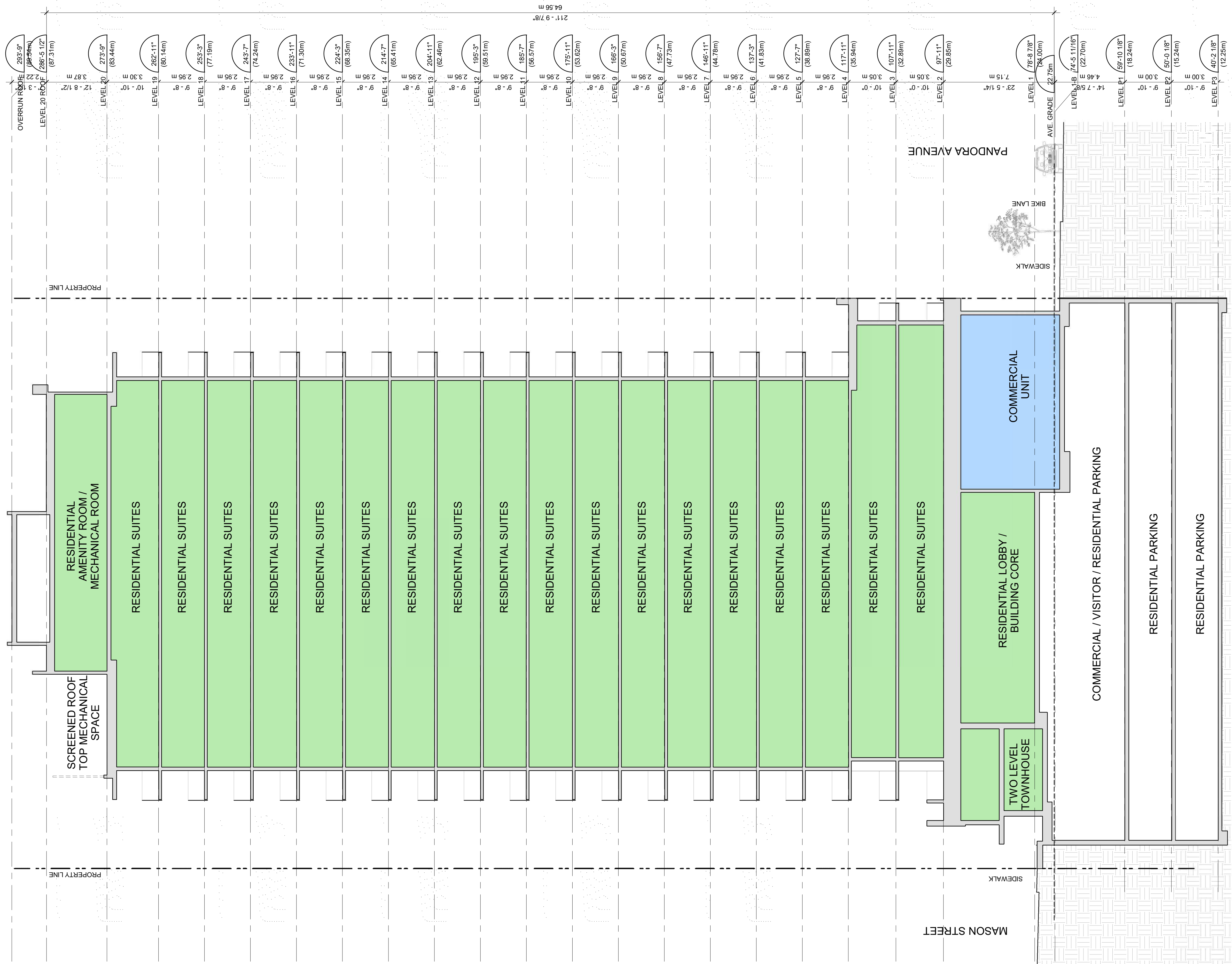


Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
BUILDING SECTION

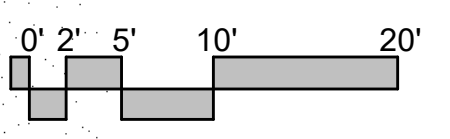
Drawing
Scale: 1:125
Project: 222011

Sheet
A-314



SECTION E-E
SCALE: 1:125

1
A-315



Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
BUILDING SECTION

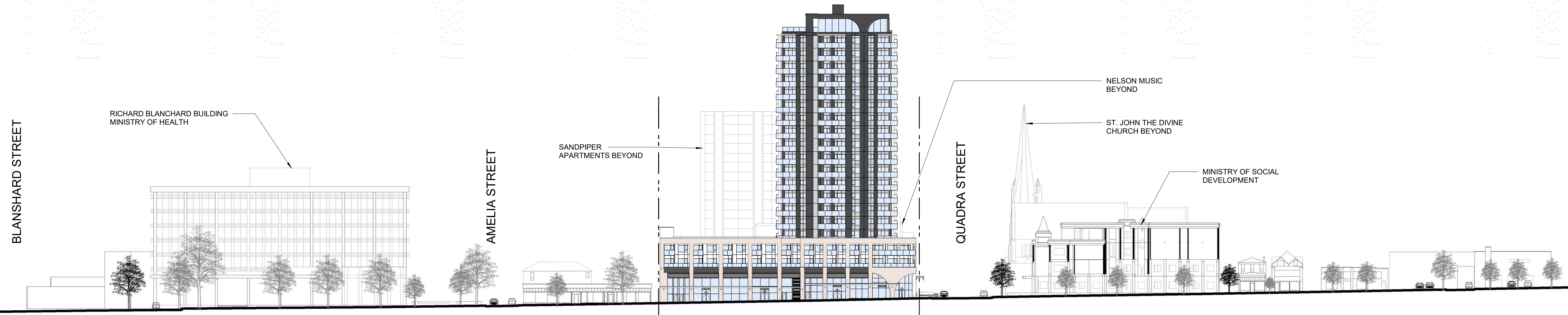
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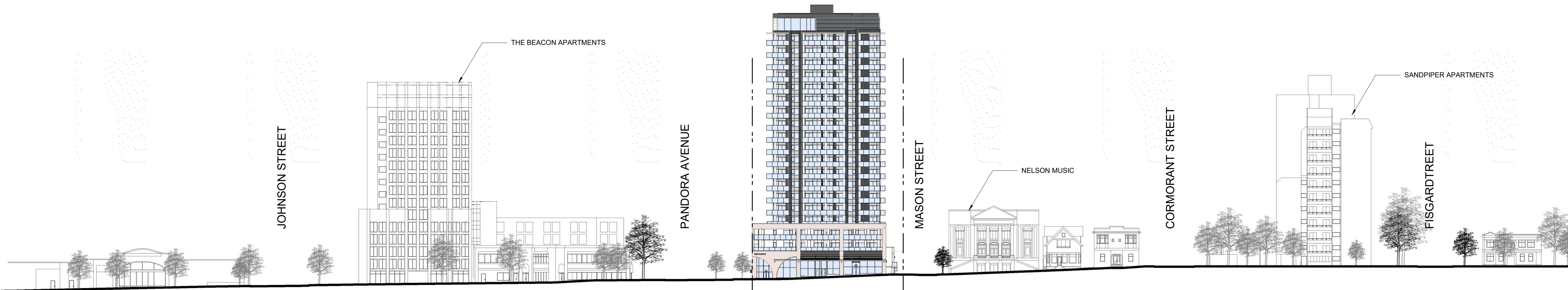
Project 222011

Sheet **A-315**

Sheet

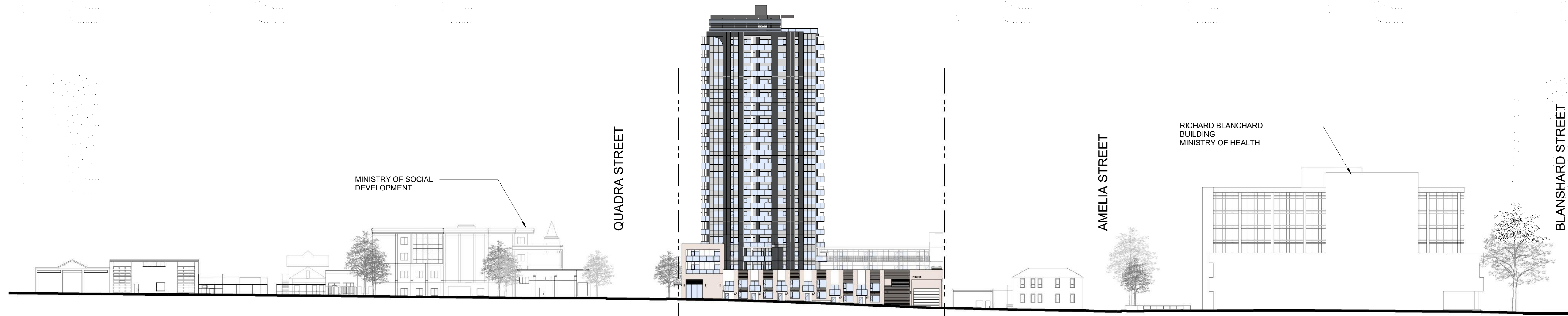


STREETSCAPE - PANDORA AVE



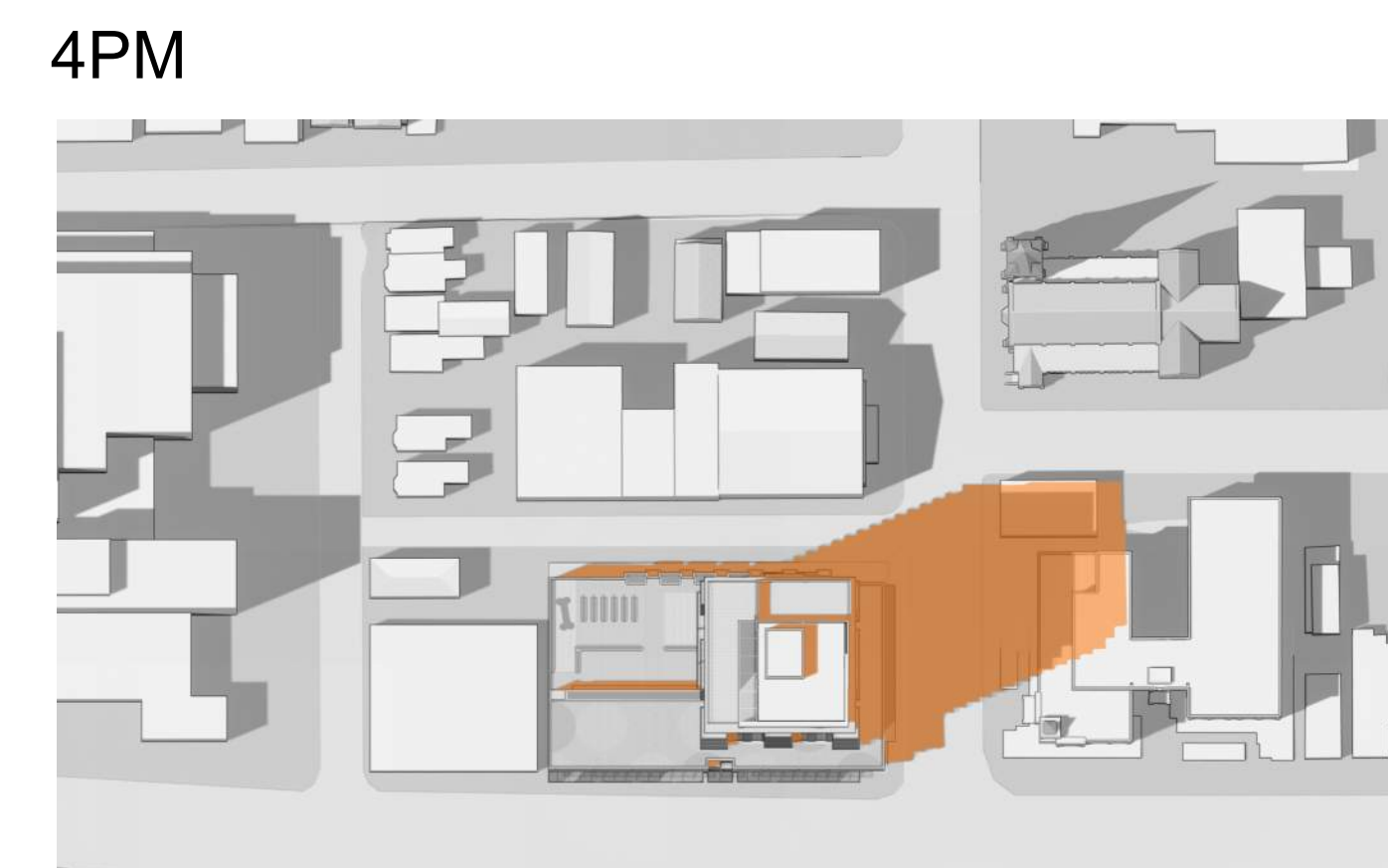
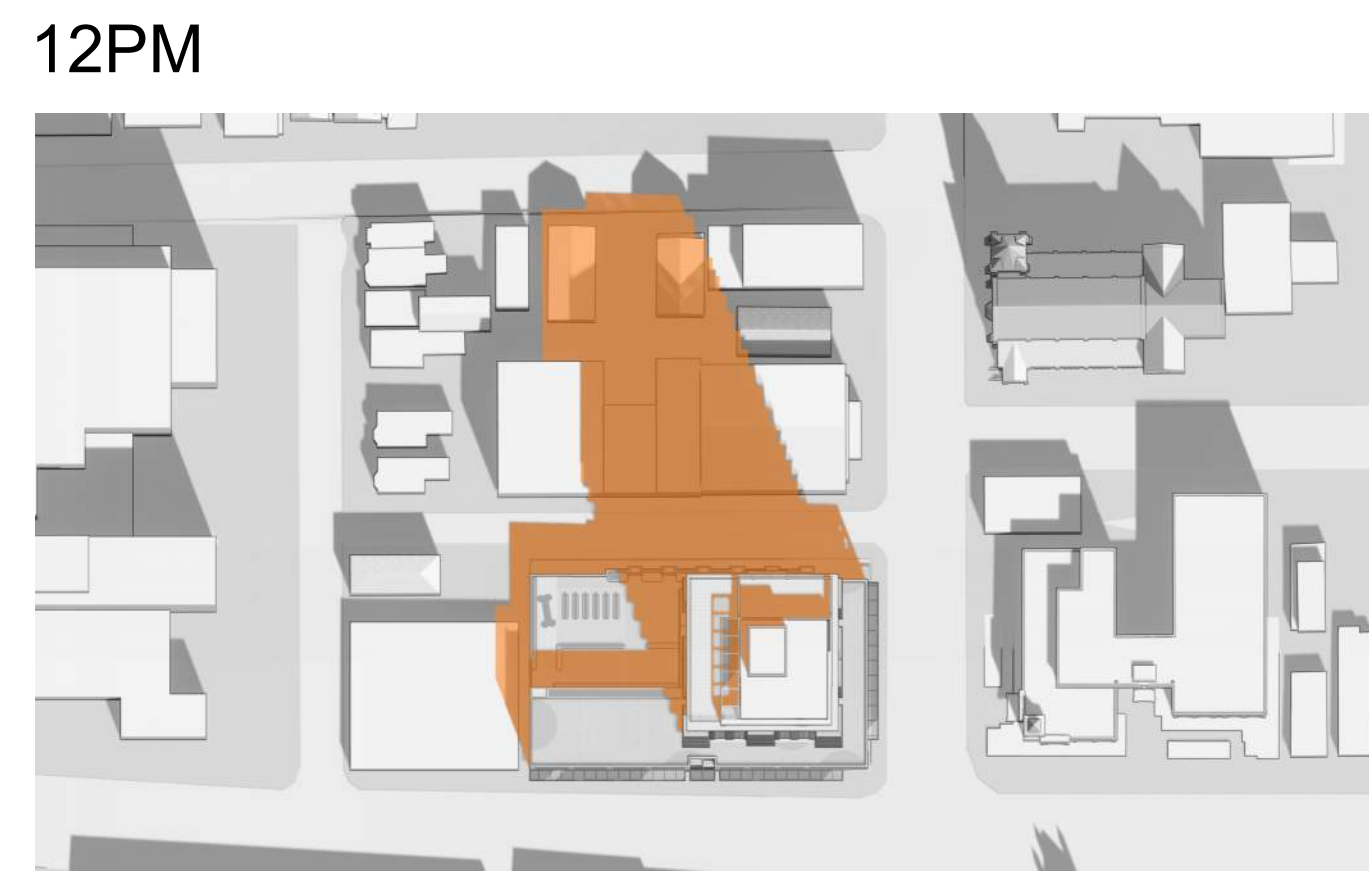
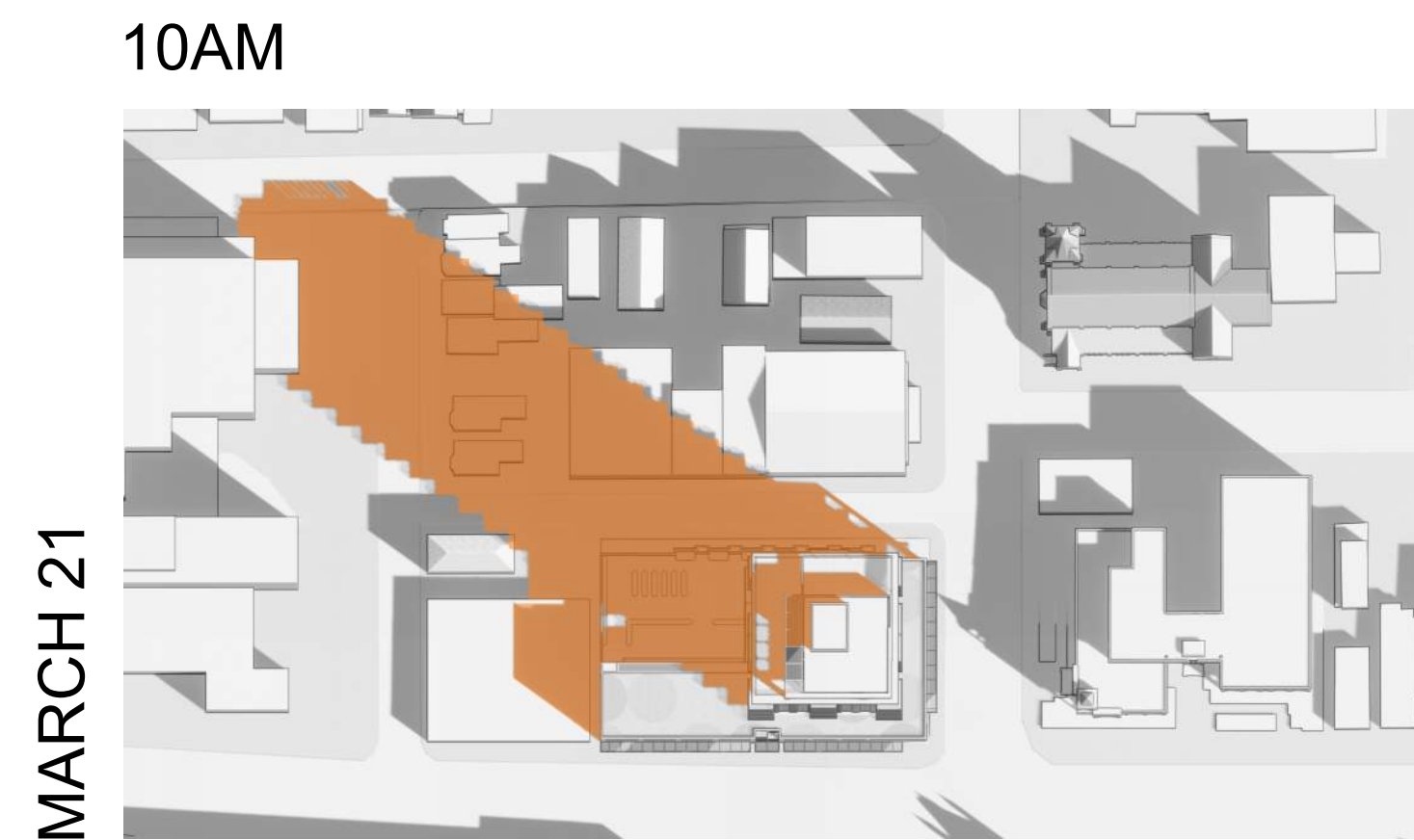
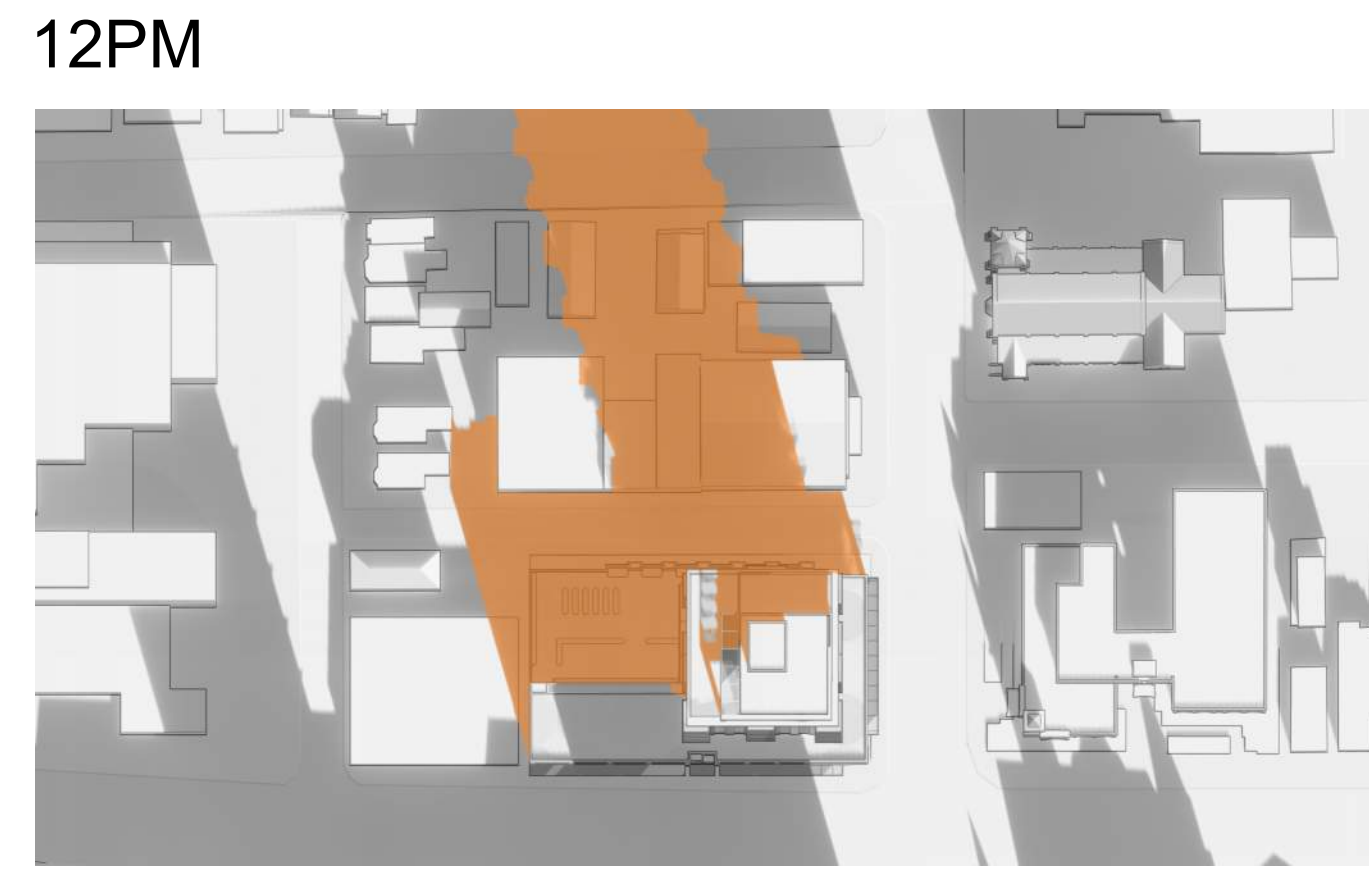
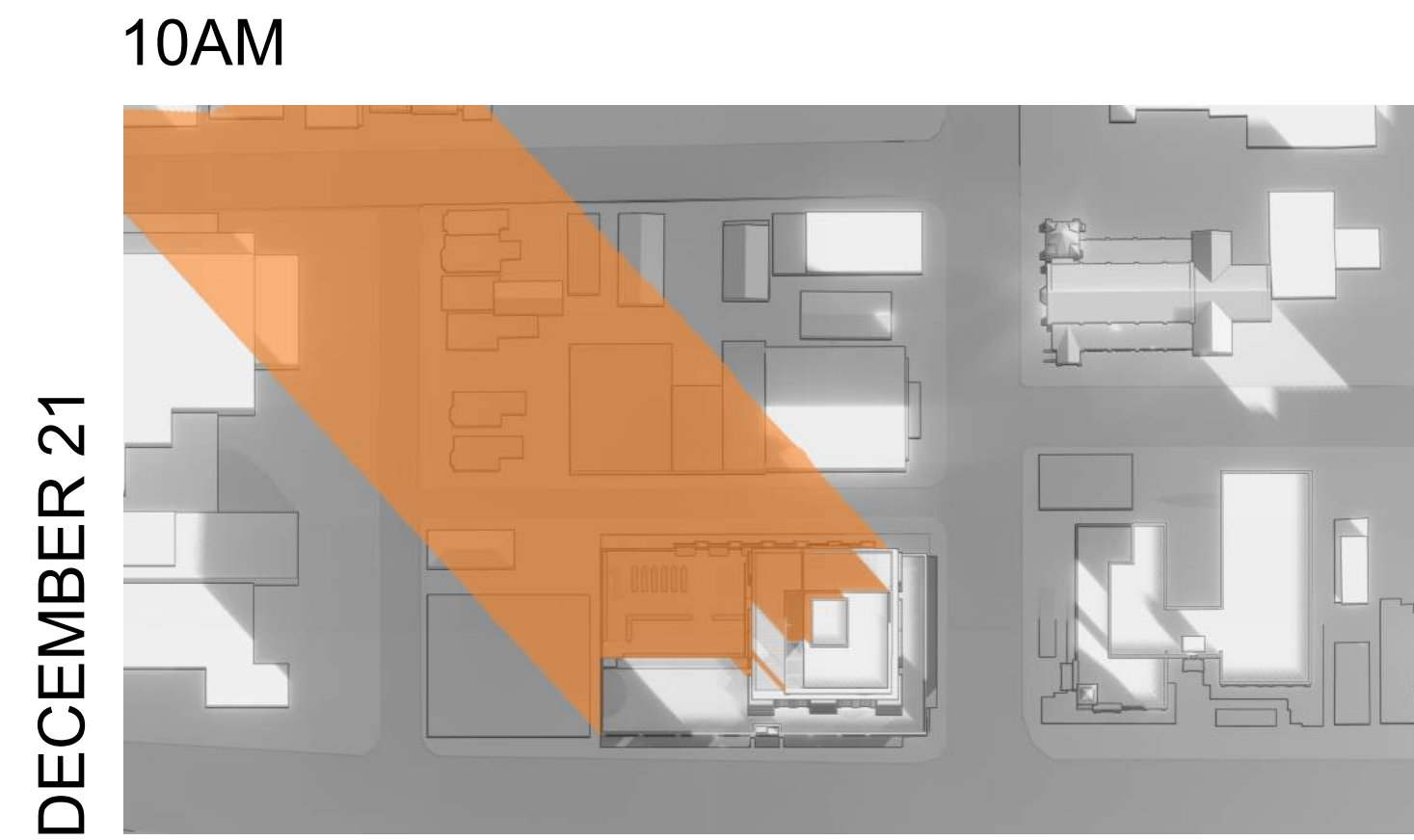
STREETSCAPE - QUADRA ST





STREETSCAPE - MASON ST

Revisions	YYYY-MM-DD
1 ISSUED FOR RZ/DP	2023-03-24
4 RE-ISSUED FOR RZ/DP	2023-09-08
5 RZ/DP RESUBMISSION	2023-11-02
6 RZ/DP RESUBMISSION	2023-11-27



Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
SHADOW STUDY

Drawing

Scale

Project 222011

Sheet **A-403**



PANDORA AVENUE STREETSCAPE



QUADRA STREET STREETSCAPE



MASON ST & QUADRA ST CORNER



MASON STREET STREETSCAPE

Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
RENDERINGS

Drawing

Scale

Project 222011

Sheet **A-404**



SOUTHEAST BIRDSEYE



VIEW LOOKING SOUTH DOWN QUADRA ST



VIEW LOOKING NORTH DOWN QUADRA ST



PANDORA AVE AND QUADRA ARCHED CORNER



LOOKING SOUTH ON QUADRA ST.



LOOKING NORTH ON QUADRA ST.



LOOKING NORTHEAST ON PANDORA AVE.

Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project
RENDERINGS

Drawing

Scale

Project 222011

Sheet **A-406**

854-880

PANDORA

Victoria, BC

OWNER

CLIENT
TOWNLINE | VANCOUVER HEAD OFFICE
#1212 - 450 SW MARINE DRIVE
VANCOUVER, BC, V5X 0C3
T+ (604) 327 8760

LEGENDS

HARDSCAPE LEGEND			FURNISHING LEGEND	
KEY	GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
T-1		SW CIP Concrete Paving Colour: Integral coloured Finish: Light Broom Pattern: Saw-cut		Bike Racks
T-2		Concrete Unit Pavers Supplier: Belgard 'Melville 80 Pavers' Colour: Beige & Shaded Grey		Commercial Planters Size: Cylinders (36" dia, typ)
T-3		Plank Porcelain Paver Size: 30 x 120 x 2cm Colours: Noon - Daylight		Custom Canitlevered Ipe Wood Bench
T-4		Pour-In-Place Virgin Rubber Play Surfacing w/ Galvanized Metal Edge Colours: Flint		Outdoor Gym Equipment and Natural Play Boulders
T-5		'AZEK' Composite Wood Deck Assembly Colour: Tigerwood		Illustrative Furnishing ONLY (At Podium & Roof Amenity, Supplied By Owners)
T-6		Planting (61cm depth typ., Avg #2 pots) w/ Hedge Screening (1.2m ht.)		
T-7		Sodded Lawn (Offsite) Artificial Turf "SynFescue343"		Fire Stands & Water Feature
T-8		Urban Agriculture Plots (46cm depth typ.) Xeriscape & Bee Flower Mixes (25cm depth)		Custom Trellis and Toolshed w/ Seed Library
T-9		Decorative River Rocks (at Building Faces) Size: 10-20 cm Colour: Ebony Black		Modular Custom Outdoor Kitchens Appliances: TBD
T-10		Roof Ballast Colours: Varies		

LISTS

DRAWINGS LIST

L-0.0	Legends & Notes	N.T.S.
L-1.1	Ground Level	1:100
L-1.2	Podium Level	1:100
L-1.3	Roof Levels	1:100
L-2.1	Planting Level 1	1:100
L-2.2	Planting Level 2	1:100
L-2.3	Planting Level 4	1:100
L-3.1	Preliminary Lighting	1:100
L-3.2	Soil Loading	1:100
L-4.1	Illustrative Sections	As Noted

PRELIMINARY PLANT LIST

Sym	Qty	Botanical Name	Common Name	Size	Bylaw 21-035 / UFA
Offsite Trees					
ST1	5	TBD City of Victoria Parks Department	Through Servicing Agreement	7cm cal. B&B	
ST2	3	TBD City of Victoria Parks Department	Through Servicing Agreement	7cm cal. B&B	
On-Site Trees					
AG	2	Acer griseum	Paperbark Maple	6cm cal. B&B	1:1, Medium / Suitable
CK	3	Cornus kousa 'Satomi'	Satomi Dogwood	6cm cal. B&B	1:1, Small / Marginal
GTI	1	Gleditsia tricanthos 'Shademaster'	Shademaster Locust	6cm cal. B&B	1:1, Medium / Very Suitable
MxG	3	Magnolia x 'Galaxy'	Galaxy Magnolia	2.0m ht. B&B, I	1:1, Small / Marginal
PP	3	Parrotia Persica 'Igles Ruby Vase'	Ruby Vase Persian Ironwood	6cm cal. B&B	1:1, Small / Suitable
Shrubs					
x	102	Buxus mic. 'Green Beauty'	Japanese Boxwood	#1 pot, 12" o.c.	
Bs	68	Blechnum spicant	Deer Fern	#2 pot, 24" o.c.	Native Year-Round Food
Cc	29	Cornus canadensis	Bunchberry	#1 pot, 12" o.c.	Native Pollinators
Ch	52	Cephalotaxus harringtonia 'Fastigiata'	Plum Yew	4' ht., B&B, RB-	
Cs	5	Cornus sanguinea 'Midwinter Fire'	Blood-twigged Dogwood	#2 pot, 36" o.c.	Pollinators
Co	12	Cornus sericea 'Cardinal'	Red-twigged Dogwood	#2 pot, 36" o.c.	Native Pollinators, Hummingbirds, Year-Round
Eu	7	Euphorbia characias subsp. wulfenii	Mediterranean Spurge	#1 pot 18" o.c.	
Hy	4	Hydrangea arborescens 'Annabelle'	Smooth Hydrangea	#3 pot, 48" o.c.	Pollinators
Ma	30	Matteucia struthiopteris	Ostrich Fern	#2 pot, 36" o.c.	
PL	6	Philadelphus lewisii	Wild Mock Orange	1.0m ht, Multi	Native Pollinators, Spring/Summer Food
Pm	25	Pinus mugo 'Carstens'	Dwarf Mountain Pine	#2 pot, 30" o.c.	
Pr	13	Prunus laurocerasus	Cherry Laurel	3' ht., B&B, RB-	Pollinators, Fall/Winter Food
RB	3	Rosa 'Ballerina'	Ballerina Rose	#2 pot, 36" o.c.	
RM	7	Rhodo macrophyllum	Pacific Rhododendron	1.0m ht, Multi	Native
Sc	26	Sarcococca hookeriana var 'Humilis'	Sweet Box	#1 pot, 30" o.c.	Pollinators, Spring/Summer Food
Perennials, Grasses & Groundcovers					
Ard	6	Aruncus dioicus var 'Acuminatus'	Goat's Beard	#2 pot, 36" o.c.	Native Pollinators
As	13	Astilbe japonica 'Deutschland'	Hybrid Japonica	#2 pot, 18" o.c.	Pollinators
Auu	26	Arcostaphylos uva-ursi (ROOF ONLY)	Bearberry (ROOF ONLY)	#2 pot, 24" o.c.	Native Pollinators, Year-Round Food
Hk	49	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot, 24" o.c.	
Ho	83	Hosta 'Victory'	Plantain Lily	#2 pot, 24" o.c.	Pollinators
La	8	Lavendula angustifolia	English Lavender	#2 pot, 24" o.c.	
Pa	101	Pachysandra terminalis 'Green Sheen'	Japanese Spurge	4" pot, 12" o.c.	
Pq	8	Parthenocissus quinquefolia	Virginia Creeper	#3 pot, 3 leads	Spring/Summer Food
Tg	6	Tellima grandiflora	Fringe Cups	#1 pot, 12" o.c.	Native Pollinators
Urban Agriculture Mix (13.4 SQ.M.)					
		Allium tuberosum	Dwarf Chives	4" pot; 10" O.C.	
		Achillea millefolium	White yarrow	4" pot; 10" O.C.	
		Liatris spicata	Gayfeather	4" pot; 10" O.C.	
		Origanum vulgare	Oregano	4" pot; 10" O.C.	
		Origanum vulgare	Golden Oregano	4" pot; 10" O.C.	
		Salvia officinalis	Sage	4" pot; 10" O.C.	
		Salvia purpurascens	Purple Sage	4" pot; 10" O.C.	
		Rosmarinus officinalis	Rosemary	4" pot; 10" O.C.	
		Thymus vulgaris	Woolly Thyme	4" pot; 10" O.C.	

NOTES

<p>General Notes</p> <ol style="list-style-type: none"> Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted. Refer to electrical drawings for all final landscape lighting layout and specifications. Refer to architectural and mechanical drawings for all drain locations and rim elevations.
<p>Irrigation Notes</p> <ol style="list-style-type: none"> All 'Soft Landscape Areas' are to be irrigated with a high efficiency design/built irrigation system to IIABC Standards., complete with Rain and Wind Sensor. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines. System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind lost. System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas. Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval. Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at contractors cost. Lawns shall be irrigated on separate zones from planted areas. Controller shall be located in mechanical room. PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule. Record Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system. Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including winterizing for the first time with the designated representative observing. All piping shall be class 200. Use GSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints. Provide sleeves under all hard surfaces and as required through walls. If under vehicular paving, cast iron piping required. Solenoid valves shall be first quality, compatible with the controller selected. Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.
<p>Planting Notes</p> <ol style="list-style-type: none"> All plants / planting to be per Canadian Landscape Standards (C.L.S.) latest edition. Plant selection subject to availability at the time of planting. Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered. All trees to be staked in accordance with C.L.S. All plants to be sourced from nurseries certified free of P. ramorum. Plant sizes and related container classes are specified according to the C.L.S. current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container calls shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the C.L.S. All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.
<p>Soil Preparation and Placement Notes</p> <ol style="list-style-type: none"> All growing medium placed on project to meet or exceed Canadian Landscape Standards (C.L.S.) latest edition. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 litre physical sample. Submittals shall be made at least seven (7) days before Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions. Slab drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details. Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.
<p>Product and Material Notes</p> <ol style="list-style-type: none"> All materials to be as specified or pre-approved equivalent. All material and products to be installed per manufacturer's specifications.

06	Nov 02-23	RZ/DP Re-submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Submission

No.: | Date: | Submission:
 Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
 Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Oct 31, 2023

Scale: NTS

Drawing Title:

**Landscape
 Notes & Legends**

DK Project No.:

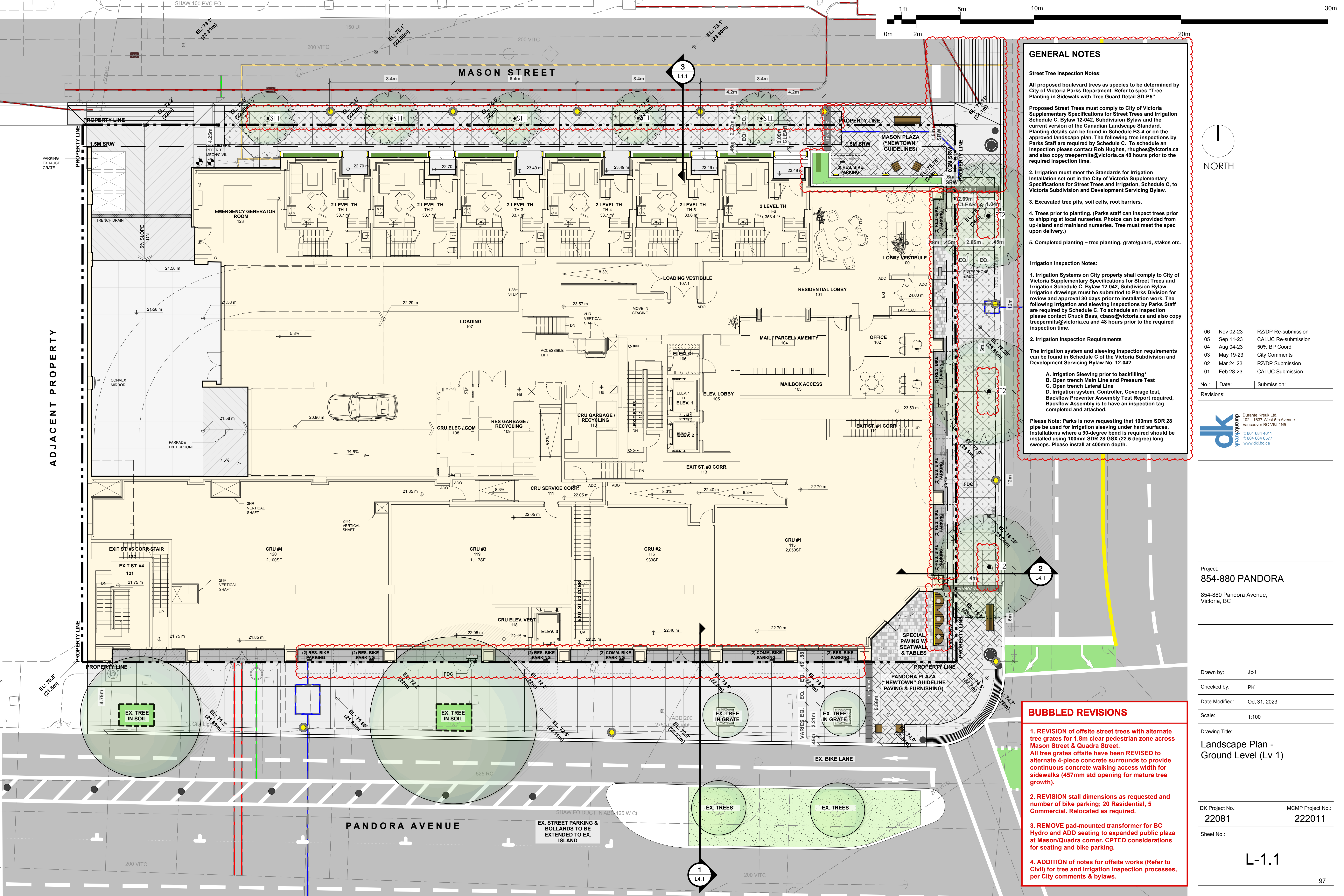
22081

MCMP Project No.:

222011

Sheet No.:

L-0.0



GENERAL NOTES

Street Tree Inspection Notes:

All proposed boulevard trees as species to be determined by City of Victoria Parks Department. Refer to spec "Tree Planting in Sidewalk with Tree Guard Detail SD-P5"

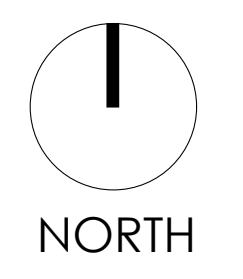
Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.

- Irrigation must meet the Standards for Irrigation Installation set out in the City of Victoria Supplementary Specifications for Street Trees and Irrigation, Schedule C, to Victoria Subdivision and Development Servicing Bylaw.
- Excavated tree pits, soil cells, root barriers.
- Trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)
- Completed planting – tree planting, grate/guard, stakes etc.

Irrigation Inspection Notes:

- Irrigation Systems on City property shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw. Irrigation drawings must be submitted to Parks Division for review and approval 30 days prior to installation work. The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Chuck Bass, cbass@victoria.ca and also copy treepermits@victoria.ca and 48 hours prior to the required inspection time.
- Irrigation Inspection Requirements
 - Irrigation Sleeving prior to backfilling*
 - Open trench Main Line and Pressure Test
 - Open trench Lateral Line
 - Irrigation system, Controller, Coverage test, Backflow Preventer Assembly Test Report required, Backflow Assembly is to have an inspection tag completed and attached.

Please Note: Parks is now requesting that 100mm SDR 28 pipe be used for irrigation sleeving under hard surfaces. Installations where a 90-degree bend is required should be installed using 100mm SDR 28 GSX (22.5 degree) long sweeps. Please install at 400mm depth.



06	Nov 02-23	RZ/DP Re-submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Submission

No.: _____ Date: _____ Submission: _____

Revisions: _____



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Oct 31, 2023
Scale: 1:100

Drawing Title:
**Landscape Plan -
Ground Level (Lv 1)**

DK Project No.: 22081
MCPM Project No.: 222011

Sheet No.:

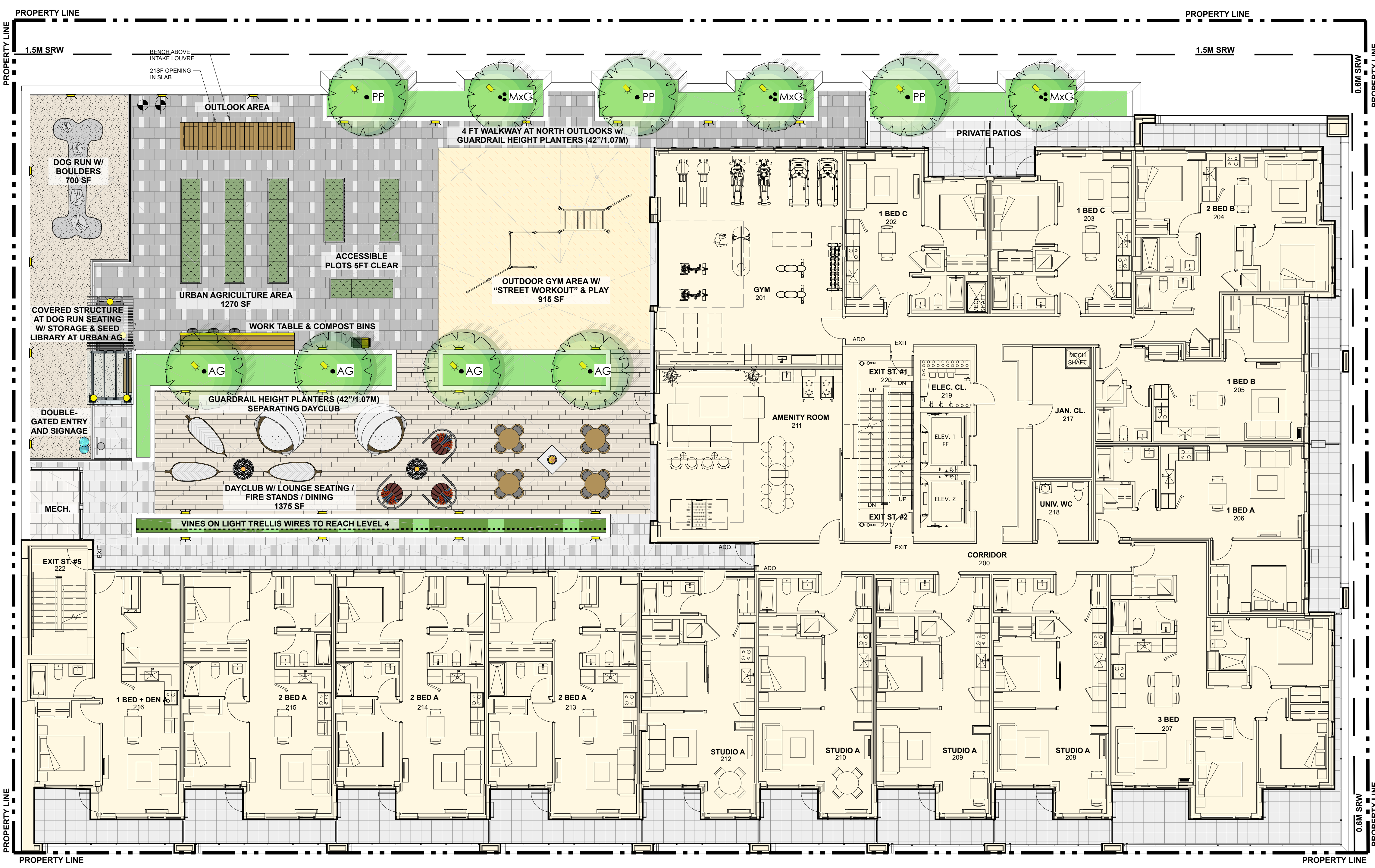
L-1.1

BUBBLED REVISIONS

- REVISION of offsite street trees with alternate tree grates for 1.8m clear pedestrian zone across Mason Street & Quadra Street. All tree grates offsite have been REVISED to alternate 4-piece concrete surrounds to provide continuous concrete walking access width for sidewalks (457mm std opening for mature tree growth).
- REVISION stall dimensions as requested and number of bike parking; 20 Residential, 5 Commercial. Relocated as required.
- REMOVE pad-mounted transformer for BC Hydro and ADD seating to expanded public plaza at Mason/Quadra corner. CPTED considerations for seating and bike parking.
- ADDITION of notes for offsite works (Refer to Civil) for tree and irrigation inspection processes, per City comments & bylaws.



MASON STREET



No.	Date	Submission
06	Nov 02-23	RZ/DP Re-submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Submission

No.: _____ Date: _____ Submission: _____
 Revisions: _____



Project:
854-880 PANDORA

854-880 Pandora Avenue,
 Victoria, BC

Drawn by: JBT
 Checked by: PK
 Date Modified: Oct 31, 2023
 Scale: 1:100

Drawing Title:
**Landscape Plan -
 Podium Level (Lv 2)**

DK Project No.: 22081
 MCMP Project No.: 222011

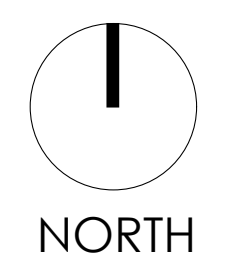
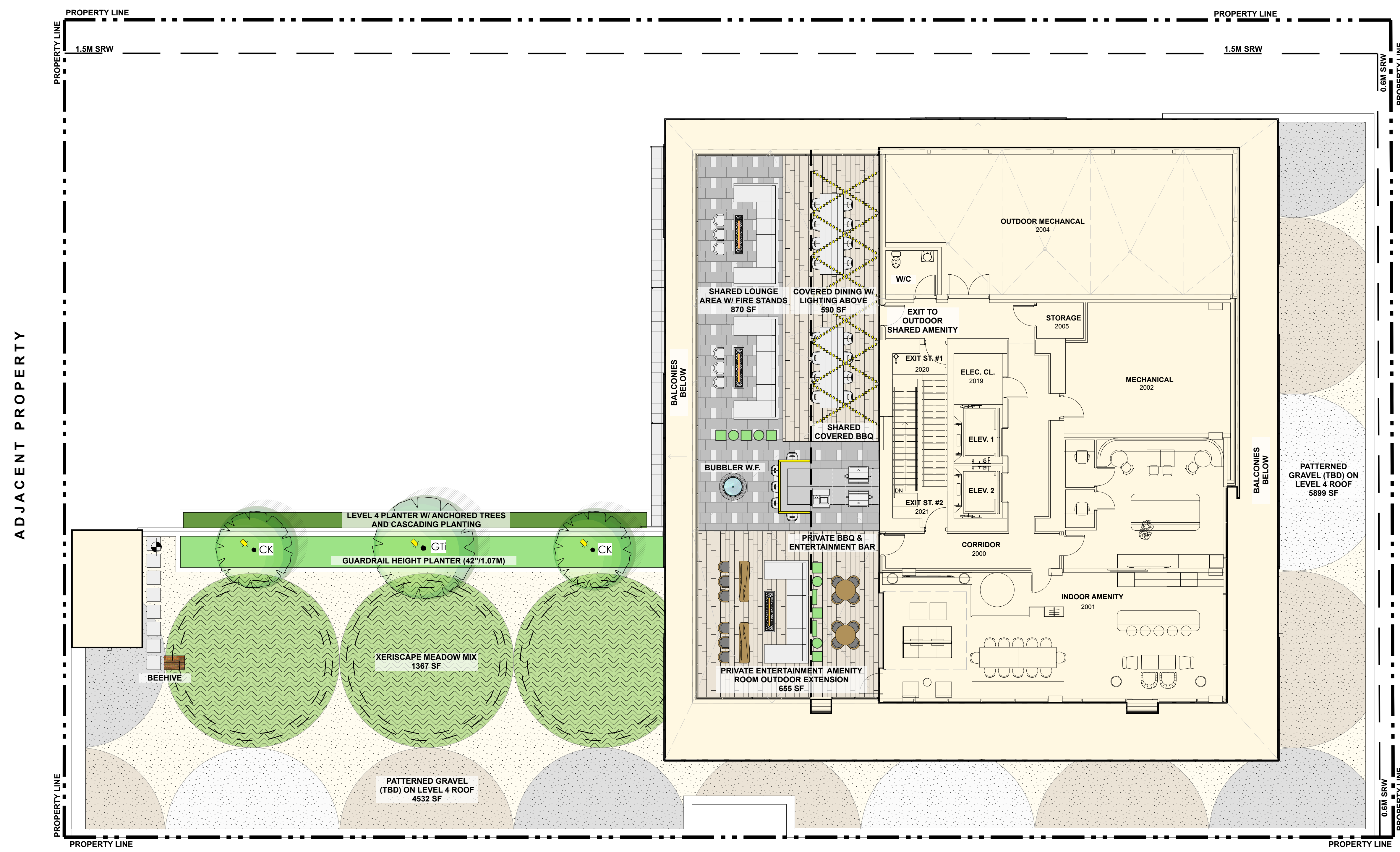
Sheet No.:

PANDORA AVENUE

L-1.2



MASON STREET



06	Nov 02-23	RZ/DP Re-submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Submission

No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Oct 31, 2023
Scale: 1:100

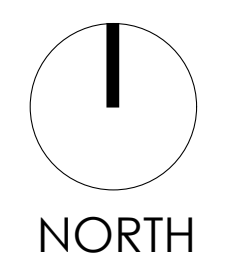
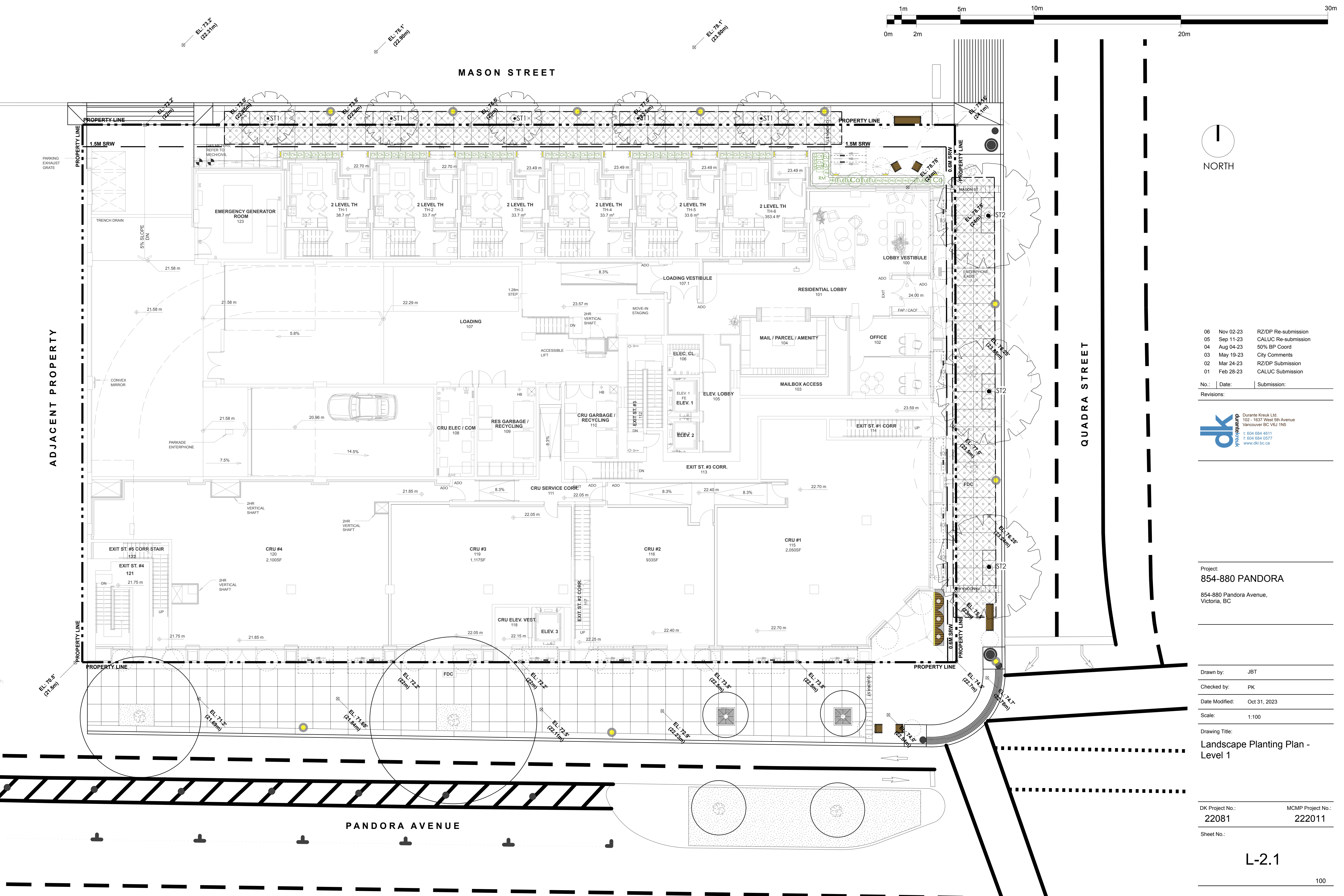
Drawing Title:
**Landscape Plan -
Roof Levels (Lvs 3+)**

PANDORA AVENUE

DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:

L-1.3



06	Nov 02-23	RZ/DP Re-submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
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02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Submission

No.: _____ Date: _____ Submission: _____
 Revisions: _____



Project:
854-880 PANDORA

854-880 Pandora Avenue,
 Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Oct 31, 2023

Scale: 1:100

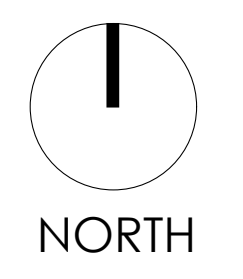
Drawing Title:
**Landscape Planting Plan -
 Level 1**

DK Project No.: 22081 MCMP Project No.: 222011

Sheet No.:

L-2.1

MASON STREET



06	Nov 02-23	RZ/DP Re-submission
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01	Feb 28-23	CALUC Submission

No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Oct 31, 2023
Scale: 1:100

Drawing Title:
**Landscape Planting Plan -
Level 2**

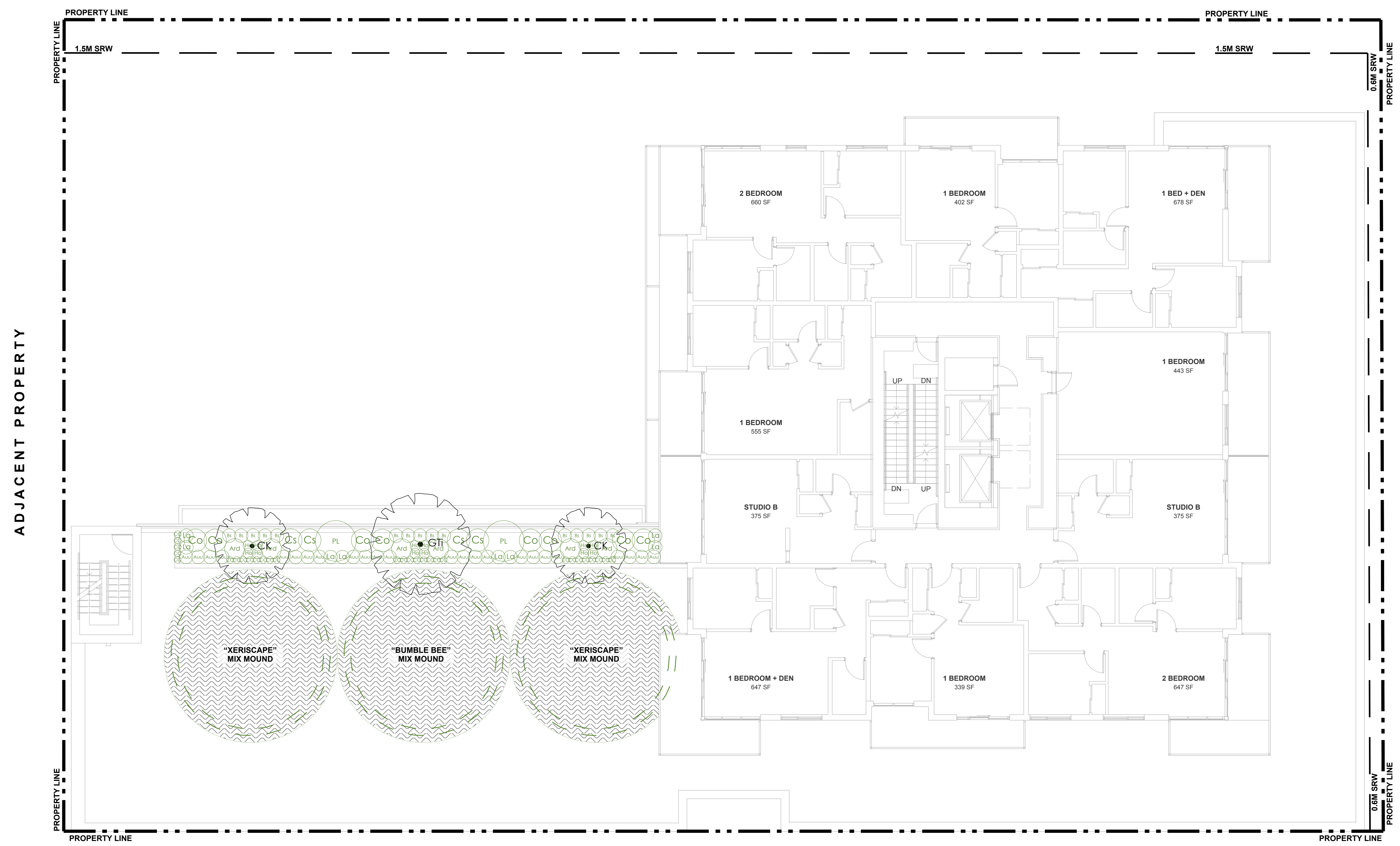
DK Project No.: 22081
MCMP Project No.: 222011

Sheet No.:

PANDORA AVENUE

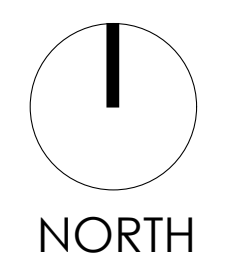


MASON STREET



ADJACENT PROPERTY

QUADRA STREET



06	Nov 02-23	RZ/DP Re-submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
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02	Mar 24-23	RZ/DP Submission
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No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

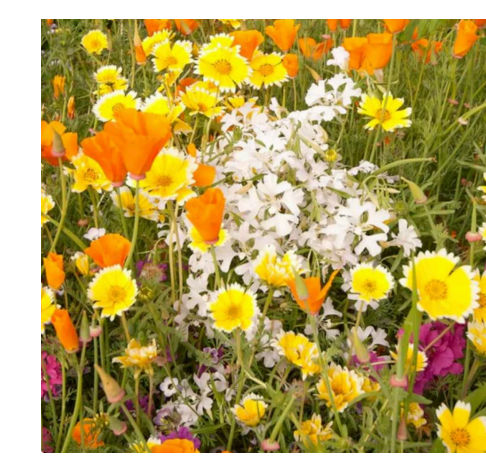
854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Oct 31, 2023
Scale: 1:100

Drawing Title:
Landscape Planting Plan - Level 4

DK Project No.: 22081
MCMP Project No.: 222011

Sheet No.:



"XERISCAPE" MIX
(94 SQ.M)

- Arroyo Lupine
- Blanket Flower
- Blue Flax
- California Bluebell
- California Poppy
- Desert Marigold
- Greenthread
- Munro's Globemallow
- Oregon Sunshine
- Pale Evening Primrose
- Palmer's Penstemon
- Prairie Coneflower
- Rocky Mountain Pentsemon
- Tidy-Tips



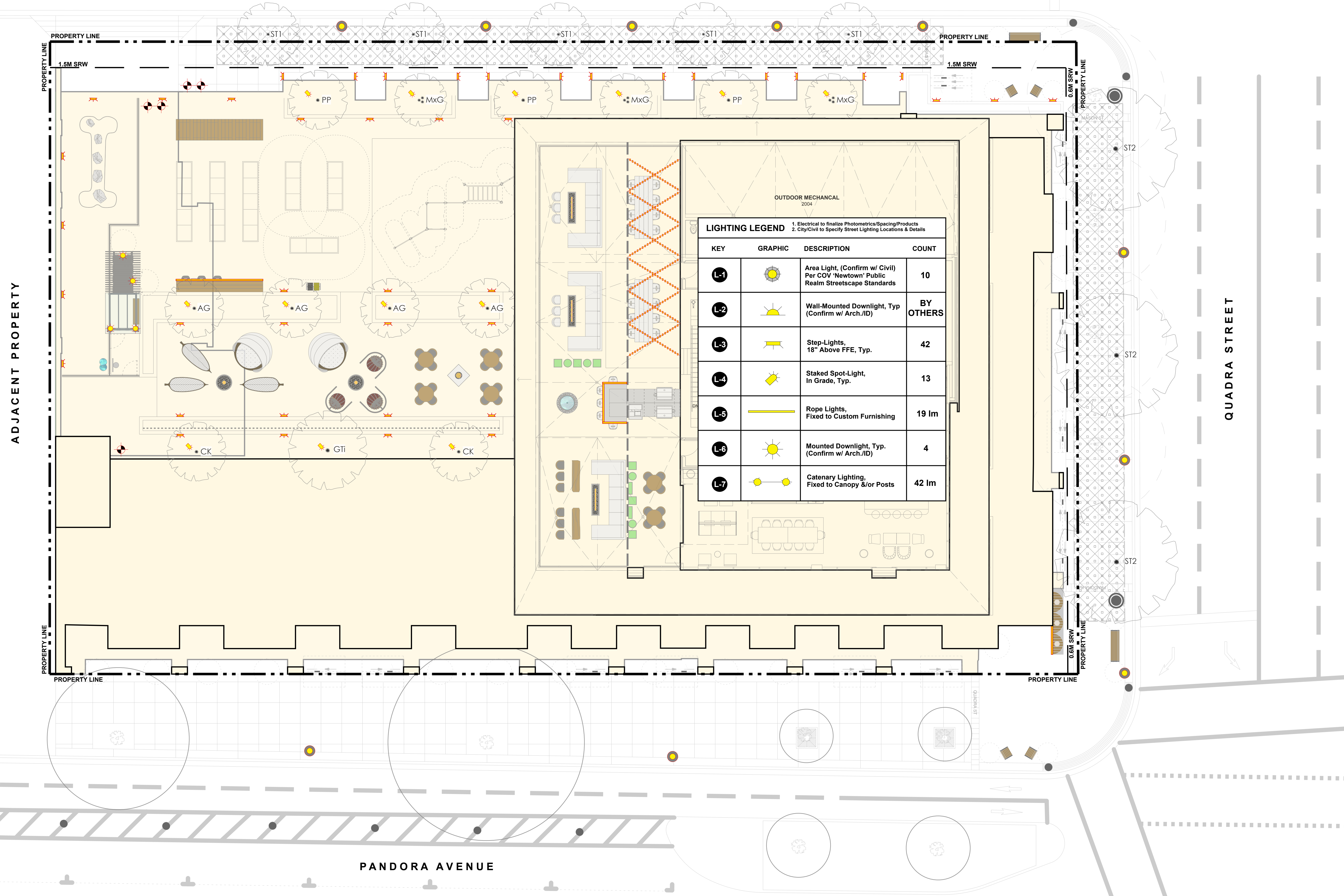
"BUMBLEBEE" MIX
(47 SQ.M)

- Balsam 'Camelia Flowered Mix'
- Catchfly
- Cosmos 'Sensation Mix'
- Lupine, Yellow
- Nasturtium 'Single Mix'
- Rocket Larkspur
- Siberian Wallflower
- Snapdragon 'Northern Lights'
- Sunflower 'Dwarf Sunspot'
- Zinnia 'California Giants'

PANDORA AVENUE



MASON STREET



LIGHTING LEGEND

1. Electrical to finalize Photometrics/Spacing/Products
2. City/Civil to Specify Street Lighting Locations & Details

KEY	GRAPHIC	DESCRIPTION	COUNT
L-1		Area Light, (Confirm w/ Civil) Per COV 'Newtown' Public Realm Streetscape Standards	10
L-2		Wall-Mounted Downlight, Typ (Confirm w/ Arch./ID)	BY OTHERS
L-3		Step-Lights, 18" Above FFE, Typ.	42
L-4		Staked Spot-Light, In Grade, Typ.	13
L-5		Rope Lights, Fixed to Custom Furnishing	19 lm
L-6		Mounted Downlight, Typ. (Confirm w/ Arch./ID)	4
L-7		Catenary Lighting, Fixed to Canopy &/or Posts	42 lm

Revisions:

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No.: | Date: | Submission:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Oct 31, 2023
Scale: 1:100

Drawing Title:
Landscape Diagram - Preliminary Lighting

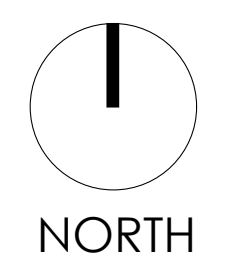
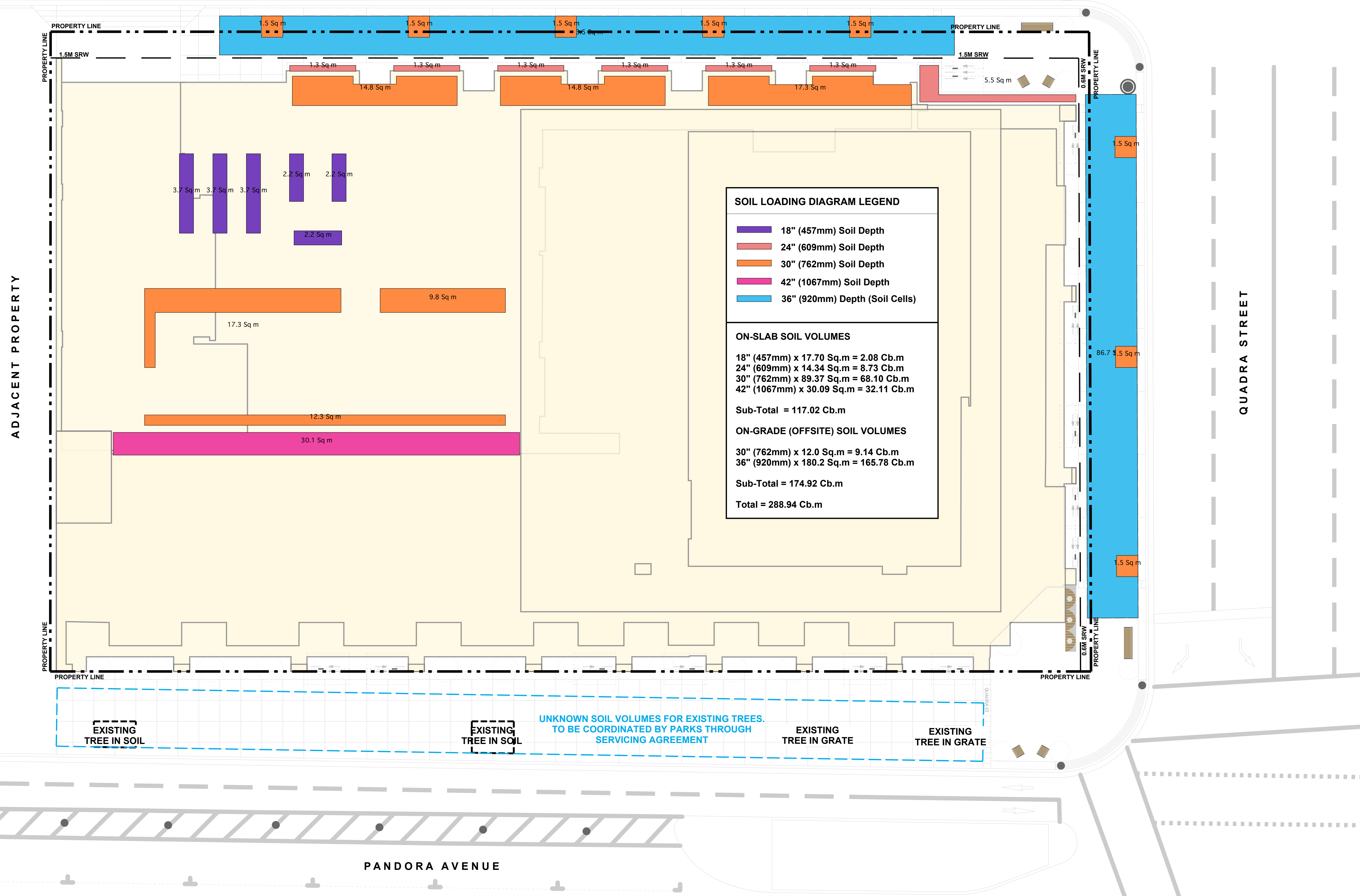
DK Project No.: 22081
MCMP Project No.: 222011

Sheet No.:

L-3.1



MASON STREET



SOIL LOADING DIAGRAM LEGEND

- 18" (457mm) Soil Depth
- 24" (609mm) Soil Depth
- 30" (762mm) Soil Depth
- 42" (1067mm) Soil Depth
- 36" (920mm) Depth (Soil Cells)

ON-SLAB SOIL VOLUMES

18" (457mm) x 17.70 Sq.m = 2.08 Cb.m
 24" (609mm) x 14.34 Sq.m = 8.73 Cb.m
 30" (762mm) x 89.37 Sq.m = 68.10 Cb.m
 42" (1067mm) x 30.09 Sq.m = 32.11 Cb.m

Sub-Total = 117.02 Cb.m

ON-GRADE (OFFSITE) SOIL VOLUMES

30" (762mm) x 12.0 Sq.m = 9.14 Cb.m
 36" (920mm) x 180.2 Sq.m = 165.78 Cb.m

Sub-Total = 174.92 Cb.m

Total = 288.94 Cb.m

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01	Feb 28-23	CALUC Submission

No.: | Date: | Submission:
 Revisions:

Durante Kreuk Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 T: 604 684 4611
 F: 604 684 0577
 www.dk.bc.ca

Project:
854-880 PANDORA

854-880 Pandora Avenue,
 Victoria, BC

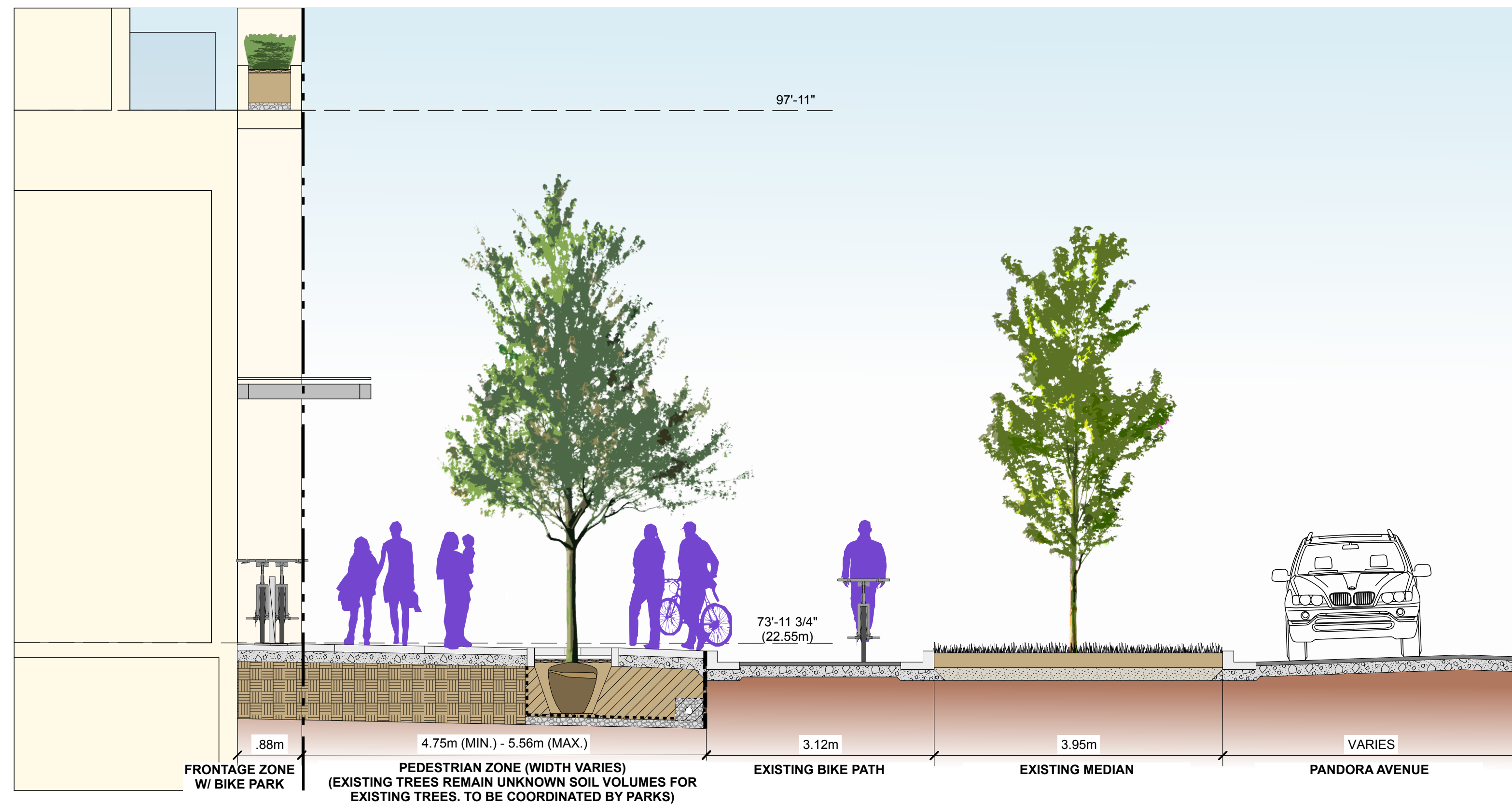
Drawn by: JBT
 Checked by: PK
 Date Modified: Oct 31, 2023
 Scale: 1:100

Drawing Title:
**Landscape Diagram -
 Soil Loading**

DK Project No.: 22081
 MCMP Project No.: 222011

Sheet No.:

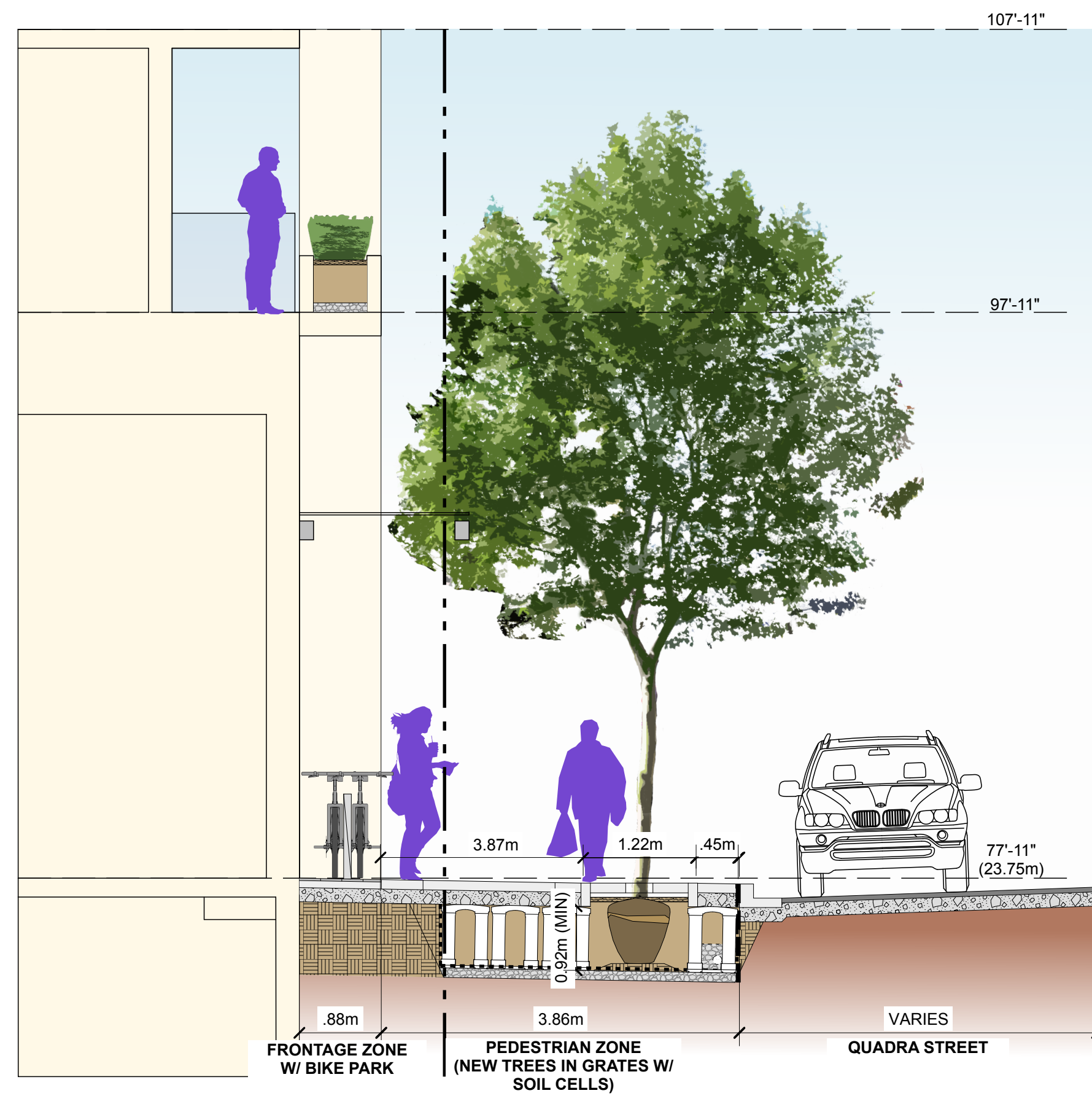
L-3.2



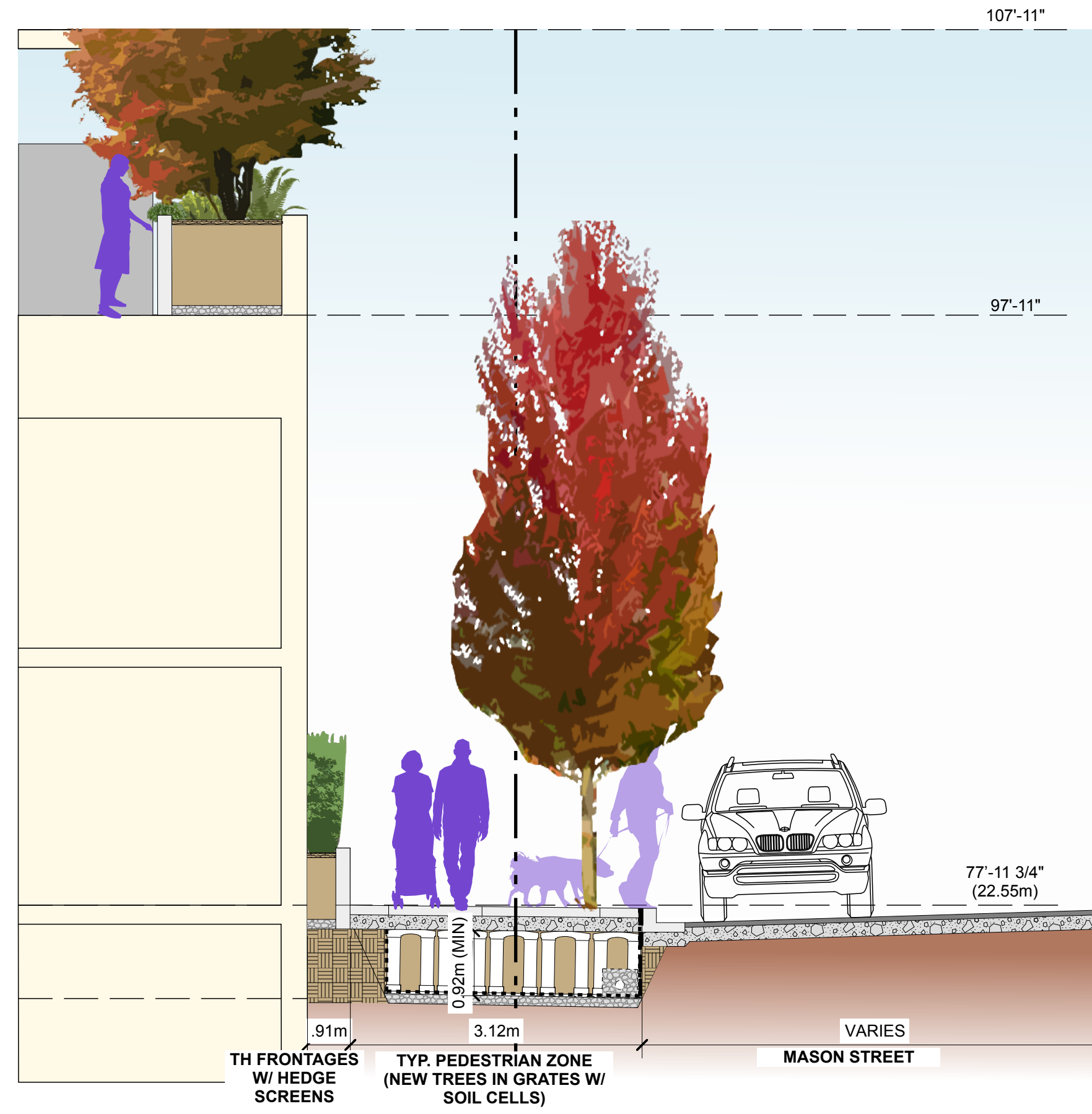
Section 1 - PANDORA AVE

06	Nov 02-23	RZ/DP Re-submission
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No.: | Date: | Submission:
Revisions:



Section 2 - QUADRA ST



Section 3 - MASON ST

Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT

Checked by: PK

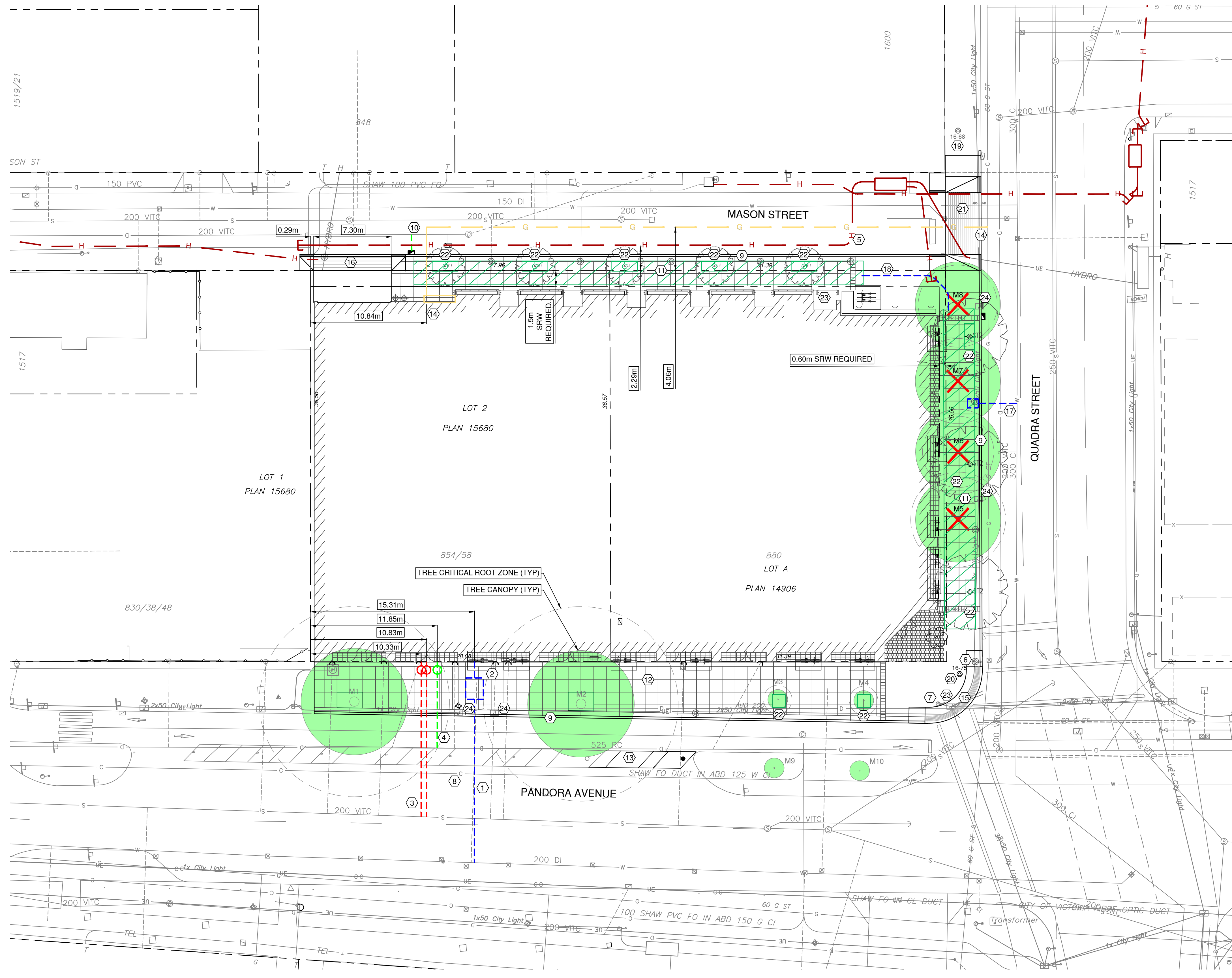
Date Modified: Oct 31, 2023

Scale: 1:50

Drawing Title:
Landscape - Illustrative Street Sections

DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:



CONSTRUCTION NOTES:

- ① 150mm Ø COMBINED FIRE & DOMESTIC WATER SERVICE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.
- ② DOMESTIC AND FIRE WATER VAULT AND METER ASSEMBLY PER CITY OF VICTORIA SD W21 AND SD W2F AND CAP AT PROPERTY LINE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ③ 2-200mm Ø PVC SANITARY SERVICES C/W INSPECTION CHAMBERS AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø SANITARY BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ④ 250mm Ø PVC STORM SERVICE C/W INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 625mm Ø STORM BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ⑤ BC HYDRO OFF SITE SERVICE AND UNDERGROUND ROUTING ALONG MASON ST FRONTAGE TO BE CONFIRMED BY BC HYDRO. REFER TO ELECTRICAL FOR CONTINUATION.
- ⑥ PROTECT AND RETAIN EXISTING STREETLIGHT.
- ⑦ PROTECT AND RETAIN EXISTING TRAFFIC SIGNAL AND STREETLIGHT.
- ⑧ PROTECT AND RETAIN EXISTING ACTIVE FIBRE OPTICS COMMUNICATION INFRASTRUCTURE.
- ⑨ REMOVE EXISTING CURB, GUTTER AND SIDEWALK AND REPLACE WITH NEW CURB, GUTTER AND SIDEWALK TO CITY OF VICTORIA STANDARDS AND AS SHOWN ON THE LANDSCAPE DRAWINGS. FINAL EXTENTS OF REPLACEMENT TO BE DETERMINED.
- ⑩ REMOVE EXISTING CATCHBASIN AND INSTALL NEW CURB INLET CATCHBASIN AND 150mm CONNECTION TO EXISTING MAIN. CONNECTION TO EXISTING MAIN BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE.
- ⑪ SOIL CELLS TO SERVE TREES ON QUADRA AND MASON STREETS. REFER TO LANDSCAPE DRAWINGS FOR DETAILS. STORMWATER TREATMENT TO BE PROVIDED.
- ⑫ REMOVE AND REPLACE EXISTING DRIVEWAY WITH NON-MOUNTABLE CURB AND CONCRETE SIDEWALK. EXTENTS OF CURB AND SIDEWALK REPLACEMENT TO BE CONFIRMED.
- ⑬ INSTALL PAINT LINES TO EXTEND STREET PARKING TO EXISTING MEDIAN. SIGN AS SHORT TERM PASSENGER DROP OFF.
- ⑭ GAS SERVICE AND METER BY FORTIS GAS AT DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ⑮ CURB LETDOWN PER CITY OF VICTORIA SUPPLEMENTARY STD DWG CAMOD C/W TACTILE MATS
- ⑯ DRIVEWAY CROSSING AS PER CITY OF VICTORIA STD DWG C7A.
- ⑰ 25mm Ø IRRIGATION WATER SERVICE TO SERVE NEW TREES ALONG QUADRA AND MASON STREETS BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE. REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION DETAILS.
- ⑱ 100mm Ø SDR28 PVC IRRIGATION SLEEVE WITH 2 LONG SWEEP 45° BENDS. INSTALL AT 400mm DEPTH.
- ⑲ RETAIN AND PROTECT EXISTING MONUMENT.
- ⑳ REMOVE AND DISPOSE OF EXISTING MONUMENT. NEW MONUMENT TO BE INSTALLED BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.
- ㉑ CONCRETE TYPE 'B' DRIVEWAY CROSSING FOR COMBINED SIDEWALK, CURB AND GUTTER TO CITY OF VICTORIA SPECIFICATIONS AND STANDARD DRAWINGS SD C7B AND C7C
- ㉒ TREE GRATES ON QUADRA, MASON AND PANDORA STREETS. REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- ㉓ PROTECT AND RETAIN EXISTING JUNCTION BOX
- ㉔ UPDATE STREETLIGHTING PER CITY REQUIREMENTS ALL FRONTAGES

GENERAL NOTES:

1. TELUS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY TELUS.
2. SHAW PROPOSED SERVICE ROUTING TO BE CONFIRMED BY SHAW.
3. FORTIS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY FORTIS.
4. IRRIGATION SERVICE AND METER BOX BY CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. LOCATION AND SIZE TO BE CONFIRMED BY CITY OF VICTORIA. REFER TO LANDSCAPE FOR PLANTING DETAILS.
5. CUT, CAP AND ABANDON ALL REDUNDANT SEWER/STORMWATER SERVICES AT THE LIMIT OF EXCAVATION. COORDINATE WITH THE CITY OF VICTORIA AND RECORD THE LOCATION AND DEPTH OF ALL SERVICES.
6. TREES FOR REMOVAL MARKED WITH A RED "X"
7. PRIOR TO COMMENCEMENT OF EXCAVATION OR SOIL RELOCATION, CONTRACTORS SHALL BE REGISTERED UNDER BY-LAW 14-071 SCHEDULE G, CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT ADAM STEELE, STORMWATER SPECIALIST, AT 250-361-0318 OR ASTEELE@VICTORIA.CA TO REGISTER. A STREET OCCUPANCY PERMIT FROM TRANSPORTATION ENGINEERING WILL BE REQUIRED FOR WORK WITHIN THE ROADWAY.
8. ALL EXCAVATIONS WITHIN CRITICAL ROOT ZONES OF TREES TO BE RETAINED TO BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
9. EXISTING SIGNS AND POSTS TO BE REMOVED AS REQUIRED AND RETURNED TO CITY OF VICTORIA FORCES.

Revision	By	Appd.	YY.MM.DD	
3. UPDATED TO CITY COMMENTS	SK	OL	23.11.02	
2. UPDATED TO CITY COMMENTS AND SANITARY SERVICE ADDED	KP	OL	23.09.08	
1. UPDATED TO CITY COMMENTS	KP	OL	23.05.19	
FOR REZONING AND DP APPLICATION FOR INFORMATION	KP	OL	23.03.24	
Issued	JPS	OL	23.01.16	
	By	Appd.	YY.MM.DD	
File Name:	Dwn.	Chkd.	Dgn.	YY.MM.DD

Permit-Seal

PERMIT TO PRACTICE #1002862

Client/Project
0822754 B.C. Ltd.

854-880 Pandora Avenue
Victoria, BC

Title
PRELIMINARY SERVICING PLAN

Project No. 111720169	Scale 1:200	Sheet 1 of 1	Revision 3
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DRAWING PATH: \\sc0208-rcf-01\backgroup\111720169_4_dwg\111720169_4.dwg
11/23/2023 12:23 PM APPROVANT



MINUTES - VICTORIA CITY COUNCIL

November 16, 2023, 11:24 A.M.

COUNCIL CHAMBERS - 1 CENTENNIAL SQUARE, VICTORIA BC

To be held immediately following the Committee of the Whole Meeting

The City of Victoria is located on the homelands of the Songhees and Esquimalt People

PRESENT: Mayor Alto in the Chair, Councillor Caradonna, Councillor Coleman, Councillor Dell, Councillor Gardiner, Councillor Loughton, Councillor Thompson

PRESENT ELECTRONICALLY: Councillor Hammond

ABSENT: Councillor Kim

STAFF PRESENT: S. Thompson – Deputy City Manager/ Chief Financial Officer, T. Soulliere – Deputy City Manager, C. Kingsley - City Clerk, C. Anderson - Deputy City Clerk, S. Johnson - Director of Communications and Engagement, T. Zworski - City Solicitor, K. Hoesel - Director of Sustainable Planning and Community Development, A. Hudson - Assistant Director of Community Planning, K. Moore – Director of Business & Community Relations, A. Johnston – Assistant Director of Development Services, R. Kenny – Assistant Director of Transportation, R. Soward – Manager of Housing, M. Angrove – Senior Planner, M. Betanzo – Senior Planner, G. Hamblin – Senior Planner, J. Day – Senior Cultural Planner, A. Klus – Legislative Coordinator

A. TERRITORIAL ACKNOWLEDGEMENT

Council acknowledged that the City of Victoria is located on the homelands of the Songhees First Nation and Esquimalt First Nation communities, and thanked them for allowing us to live, work and play on their lands.

C. APPROVAL OF AGENDA

Moved By Councillor Dell
Seconded By Councillor Caradonna

That the following items be added to the agenda and the remainder of the agenda be renumbered accordingly:

- D.1.b.b Council Member Motion: Housing Central - B.C.'s Affordable Housing Conference 2023
- D.1.b.c Request for Removal from the Taxed Boulevard Program

CARRIED UNANIMOUSLY

Moved By Councillor Dell
Seconded By Councillor Caradonna

That the agenda be approved as amended.

CARRIED UNANIMOUSLY

D. REPORTS OF COMMITTEE

D.1 Committee of the Whole

D.1.a Report from the November 02, 2023 COTW Meeting

**D.1.a.a965 Cowichan Street: Development Permit with Variances
Application No. 00253 (Gonzales)**

Moved By Councillor Caradonna
Seconded By Councillor Dell

1. That Council waive the standard practice of holding an Opportunity for Public Comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. That Council considers authorizing the issuance of Development Permit with Variances Application No. 00253 for 965 Cowichan Street, in accordance with plans submitted and date stamped September 25, 2023, subject to:
 - a. Receipt of a revised arborist report and tree management plan to the satisfaction of the Director of Parks, Recreation and Facilities
 - b. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. increasing the site coverage requirement from 30% to 43%
 - ii. increasing the rear yard site coverage requirement from 25% to 37%.
3. The Development Permit with Variances lapsing two years from the date of this resolution.

FOR (6): Mayor Alto, Councillor Caradonna, Councillor Dell, Councillor Hammond, Councillor Loughton, and Councillor Thompson

OPPOSED (2): Councillor Coleman, and Councillor Gardiner

CARRIED (6 to 2)

D.1.a.b 854-880 Pandora Avenue: Rezoning Application No. 00849 and Development Permit with Variances Application No. 00239 (Downtown)

Moved By Councillor Dell

Seconded By Councillor Caradonna

1. That Council instruct the Director of Sustainable Planning and Community Development to prepare the necessary Zoning Regulation Bylaw amendment that would authorize the proposed development outlined in the Council report dated September 25, 2023 for 854-880 Pandora Avenue.
2. That, pursuant to section 30 of the Land Use Procedures Bylaw, Council waives the requirement for the holding of a public hearing.
3. That, after publication of notification in accordance with section 467 of the Local Government Act, first, second, and third reading of the zoning bylaw amendment be considered by Council once the following conditions are met:
 - a. That the applicant makes the following revisions to the plans satisfactory to the Director of Sustainable Planning and Community Development:
 - i. ensure minimum widths for functional over-size bike parking stalls;
 - ii. revise the Mason Street design to ensure the minimum 1.8m pedestrian zone width is met;
 - iii. incorporate a continuous sidewalk design crossing Mason Street on Quadra Street frontage; and
 - iv. revise the tower materials to provide a lighter material colour, as well as consider options to maintain the visual prominence of the adjacent heritage landmark buildings.
4. That following the third reading of the zoning amendment bylaw, the applicant prepares and executes the following legal agreements, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor prior to adoption of the bylaw:
 - a. The property shall be rental in perpetuity.
 - b. At least five units will be secured as affordable rental in perpetuity including a mix of units:
 - i. two studio units

- ii. two one-bedroom units
 - iii. one two-bedroom townhouse.
 - c. Transportation Demand Management agreement including
 - i. provision of a bicycle or mobility scooter maintenance/wash station
 - ii. fifty percent of long-term bicycle parking spaces to have access to an electrical outlet to enable E-bike charging
 - iii. twenty-two oversize bicycle or mobility scooter parking spaces
 - iv. a minimum of ten car share memberships and usage credits for use by residential units without access to a vehicle parking space.
- 5. That following the third reading of the zoning amendment bylaw, the applicant prepares and executes the following legal agreements, with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor prior to adoption of the bylaw(s):
 - a. A 0.60m wide right of way along Quadra Street and 1.5m wide right of way along Mason Street for highway purposes.
 - b. A legal agreement to secure upgrades to the existing sidewalk conditions, continuous sidewalk on Mason Street crossing, addition of street furniture, and soil cells for any new trees proposed on the Quadra Street frontage, Pandora Street frontage, and Mason Street frontage.
- 6. That adoption of the zoning bylaw amendment will not take place until all the required legal agreements that are registrable in the Land Title Office have been so registered to the satisfaction of the City Solicitor.
- 7. That subject to adoption of the zoning bylaw amendment, Council authorize the projecting encroachments over the City right of way on Quadra Street generally as shown on the plans submitted to the City and date stamped September 14, 2023 provided that the applicant enters into an encroachment agreement with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor at the time of building permit approval.
- 8. That the above Recommendations be adopted on the condition that they create no legal rights for the applicant or any other person, or obligation on the part of the City or its officials, and any expenditure of funds is at the risk of the person making the expenditure.

Development Permit with Variances Application

That Council, after giving notice, consider the following motion:

1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit with Variances No. 00239 for 854-880 Pandora Avenue in accordance with plans submitted to the Planning department and date stamped by Planning on September 14, 2023 subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce vehicle parking from 113 stalls to 103 stalls
 - ii. reduce the visitor vehicle parking from 20 stalls to 10 stalls
 - iii. reduce the commercial parking from 13 stalls to 11 stalls
 - iv. reduce rear (north) setback for portion of building between 5m and 18m in height from 8.0m to 2.23m
 - v. reduce rear (north) setback for portion of building greater than 18m in height from 10.0m to 5.65m
 - vi. reduce east side setback for portion of building greater than 18m in height from 10.0m to 6.27m
 - vii. reduce west side setback for portion of building less than 18m in height from 3.0m to 0.35m
 - viii. permit long term bike parking to be located more than one level below finished grade
2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.

FOR (6): Mayor Alto, Councillor Caradonna, Councillor Dell, Councillor Hammond, Councillor Loughton, and Councillor Thompson

OPPOSED (2): Councillor Coleman, and Councillor Gardiner
CARRIED (6 to 2)

D.1.a.c Development Cost Charges and Development Finance Tools

Moved By Councillor Dell
Seconded By Councillor Caradonna

That Council receive the Development Cost Charges and Development Finance Tools report for information.

CARRIED UNANIMOUSLY

D.1.b Report from the November 16, 2023 COTW Meeting

D.1.b.a Council Member Motion: Housing Central - B.C.'s Affordable Housing Conference 2023

Moved By Councillor Coleman
Seconded By Councillor Dell

That Council authorizes the attendance and associated costs for Councillor Loughton to attend Housing Central – B.C.'s Affordable Housing Conference hosted by the B.C. Non-Profit Housing Association in Vancouver from November 21-22, 2023.

The approximate cost for attending is:

Accommodation (1 night)	\$ 287.81
Transportation	\$ 200
Meals	\$ 70
TOTAL	\$ 557.81

Estimated total cost = \$557.81

CARRIED UNANIMOUSLY

D.1.b.b Council Member Motion: Housing Central - B.C.'s Affordable Housing Conference 2023

Moved By Councillor Coleman

Seconded By Councillor Dell

That Council authorizes the attendance and associated costs for Councillor Thompson to attend Housing Central – B.C.'s Affordable Housing Conference hosted by the B.C. Non-Profit Housing Association in Vancouver from November 21-22, 2023.

The approximate cost for attending is:

Accommodation (1 night)	\$ 287.81
Transportation	\$ 200
Meals	\$ 70
TOTAL	\$ 557.81

Estimated total cost = \$557.81

CARRIED UNANIMOUSLY

D.1.b.c 10 Chown Pl. Phase 2: Victoria Housing Reserve Fund Grant Application (Burnside)

Moved By Councillor Coleman

Seconded By Councillor Dell

That Council pass the following motion and bring it forward for ratification at the November 16th, 2023 daytime Council meeting:

1. That Council approve a grant from the Victoria Housing Reserve Fund to the Gorge View Society in the amount of \$770,000 to assist in the construction of a six-storey 68-unit apartment building and nine

townhouses at 11 Chown Place, subject to the following conditions:

- i. The applicant receives approval for the required development permit application and executes a Housing Fund Grant Agreement in the form satisfactory to the Director of Sustainable Planning and Community Development and the City Solicitor.
- ii. The applicant fulfills the applicable requirements of the Victoria Housing Reserve Fund Guidelines.
- iii. \$616,000 shall be payable to the applicant upon execution of the Housing Fund Grant Agreement and the remaining balance of \$154,000 shall be payable to the applicant once the City has issued all required occupancy permits for the project.
- iv. That the passage of this resolution creates no legal rights for the applicant or any other person, or obligation on the part of the City, until and unless all agreements are fully executed by the City.

CARRIED UNANIMOUSLY

E. BYLAWS

E.1 Bylaws for 710 Caledonia Avenue and 1961 Douglas Street: rezoning Application No. 00815, Official Community Plan Amendment, and Development Permit with Variances Application No. 00205

Moved By Councillor Caradonna
Seconded By Councillor Thompson

That the following bylaw **be given first, second, and third readings:**

1. Housing Agreement (710 Caledonia Avenue and 1961 Douglas Street - Affordable Rental) Bylaw (2023) No. 23-012
2. Housing Agreement (710 Caledonia Avenue and 1961 Douglas Street - Rental Tenure) Bylaw (2023) No. 23-017

CARRIED UNANIMOUSLY

Moved By Councillor Thompson
Seconded By Councillor Caradonna

That the following bylaw **be adopted:**

1. Official Community Plan Bylaw, 2012, Amendment Bylaw (No. 27) No. 23-010
2. Zoning Regulation Bylaw, Amendment Bylaw (No. 1292) No. 23-011

CARRIED UNANIMOUSLY

Moved By Councillor Dell
Seconded By Councillor Thompson

Development Permit with Variances No. 00205

1. Plans date stamped February 14, 2023.
2. Development meeting all *Zoning Regulation Bylaw* requirements except for the following variances:
 - a. increase the maximum building height of Building A from 45m to 55m
 - b. increase the maximum building height of Building B from 45m to 72m
 - c. increase the maximum building height of Building C from 45m to 65m
 - d. reduce the minimum setback for a rooftop structure from the outer edge of a roof from 3m to 0m for Building B
 - e. increase the maximum coverage for rooftop structures from 20% to 50%
 - f. reduce the required number of residential parking spaces from 297 to 226
 - g. reduce the required number of visitor parking spaces from 45 to 30.
3. Final plans to be generally in accordance with plans date stamped February 14, 2023.
4. That the Development Permit, if issued lapses two years from the date of this resolution.

CARRIED UNANIMOUSLY

F. NEW BUSINESS

F.1 822 Catherine Street: Development Permit with Variances No. 00243

Moved By Councillor Caradonna
Seconded By Councillor Dell

1. That Council authorize the issuance of Development Permit with Variances No. 00243 for 822 Catherine Street, in accordance with plans submitted to the Planning department and date stamped by Planning on September 7, 2023 subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce the front yard setback from 3.0m to 2.77m on the first storey and 6.0 to 0m on the upper storeys
 - ii. reduce the rear yard setback from 6.0m to 2.4m
 - iii. increase the height from 3 storeys to 4 storeys
 - iv. reduce the residential vehicle parking from 30 stalls to 9 stalls
 - v. reduce the commercial vehicle parking from 6 stalls to 0 stalls
 - vi. reduce the van accessible vehicle parking from 1 stall to 0 stalls
 - vii. reduce the visitor van accessible vehicle parking from 1 stall to 0 stalls.

- b. Submission of revised plans to update the data table, offset the horizontal long term bicycle parking from the walls and confirm EV ready vehicle parking stalls.
 - c. Submission of an updated Tree Management Plan referencing Tree Preservation Bylaw No. 05-106.
2. That the Development Permit, if issued, lapses two years from the date of this resolution.

FOR (5): Mayor Alto, Councillor Caradonna, Councillor Dell, Councillor Loughton, and Councillor Thompson

OPPOSED (3): Councillor Coleman, Councillor Gardiner, and Councillor Hammond

CARRIED (5 to 3)

H. CLOSED MEETING

Moved By: Councillor Coleman

Seconded By: Councillor Dell

MOTION TO CLOSE THE NOVEMBER 16, 2023 COUNCIL MEETING TO THE PUBLIC

That Council convene a closed meeting that excludes the public under Section 90 of the *Community Charter* for the reason that the following agenda items deal with matters specified in Sections 90(1) and/or (2) of the *Community Charter*, namely:

Section 90(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

Section 90(1)(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose; and

Section 90(2) A part of a council meeting must be closed to the public if the subject matter being considered relates to one or more of the following:

Section 90(2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party;

CARRIED UNANIMOUSLY

I. APPROVAL OF CLOSED AGENDA

Moved By Councillor Caradonna

Seconded By Councillor Loughton

That the closed agenda be approved

CARRIED UNANIMOUSLY

J. NEW BUSINESS

J.1 DEFERRED

J.2 DEFERRED

J.3 Intergovernmental Relations - Community Charter Section 90(2)(b)

Council discussed an intergovernmental relations matter. The discussion was recorded and kept confidential.

J.4 Intergovernmental Relations - Community Charter Section 90(2)(b)

Council discussed an intergovernmental relations matter. The discussion was recorded and kept confidential.

L. ADJOURNMENT

Moved By: Councillor Coleman

Seconded By: Councillor Loughton

That the Council Meeting be adjourned at 11:47 a.m.

CARRIED UNANIMOUSLY

CITY CLERK

MAYOR



Committee of the Whole Report

For the Meeting of November 2, 2023

To: Committee of the Whole **Date:** September 25, 2023

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Rezoning Application No. 00849 and Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue.**

RECOMMENDATION

Rezoning Application

1. That Council instruct the Director of Sustainable Planning and Community Development to prepare the necessary Zoning Regulation Bylaw amendment that would authorize the proposed development outlined in the Council report dated September 25, 2023 for 854-880 Pandora Avenue
2. That, pursuant to section 30 of the *Land Use Procedures Bylaw*, Council waives the requirement for the holding of a public hearing.
3. That, after publication of notification in accordance with section 467 of the Local Government Act, first, second, and third reading of the zoning bylaw amendment be considered by Council once the following conditions are met:
 - a. That the applicant makes the following revisions to the plans satisfactory to the Director of Sustainable Planning and Community Development:
 - i. ensure minimum widths for functional over-size bike parking stalls;
 - ii. revise the Mason Street design to ensure the minimum 1.8m pedestrian zone width is met;
 - iii. incorporate a continuous sidewalk design crossing Mason Street on Quadra Street frontage; and
 - iv. revise the tower materials to provide a lighter material colour, as well as consider options to maintain the visual prominence of the adjacent heritage landmark buildings.
4. That following the third reading of the zoning amendment bylaw, the applicant prepares and executes the following legal agreements, with contents satisfactory to the Director of

Sustainable Planning and Community Development and form satisfactory to the City Solicitor prior to adoption of the bylaw:

- a. The property shall be rental in perpetuity.
 - b. The following five units will be secured as affordable rental in perpetuity:
 - i. two studio units
 - ii. two one-bedroom units
 - iii. one two-bedroom townhouse.
 - c. Transportation Demand Management agreement including:
 - i. provision of a bicycle maintenance/wash station
 - ii. fifty percent of long-term bicycle parking spaces to have access to an electrical outlet to enable E-bike charging
 - iii. twenty-two oversize bicycle parking spaces
 - iv. a minimum of ten car share memberships and usage credits for use by residential units without access to a vehicle parking space.
5. That following the third reading of the zoning amendment bylaw, the applicant prepares and executes the following legal agreements, with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor prior to adoption of the bylaw(s):
- a. A 0.60m wide right of way along Quadra Street and 1.5m wide right of way along Mason Street for highway purposes.
 - b. A legal agreement to secure upgrades to the existing sidewalk conditions, continuous sidewalk on Mason Street crossing, addition of street furniture, and soil cells for any new trees proposed on the Quadra Street frontage, Pandora Street frontage, and Mason Street frontage.
6. That adoption of the zoning bylaw amendment will not take place until all the required legal agreements that are registrable in the Land Title Office have been so registered to the satisfaction of the City Solicitor.
7. That subject to adoption of the zoning bylaw amendment, Council authorize the projecting encroachments over the City right of way on Quadra Street generally as shown on the plans submitted to the City and date stamped September 14, 2023 provided that the applicant enters into an encroachment agreement with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor at the time of building permit approval.
8. That the above Recommendations be adopted on the condition that they create no legal rights for the applicant or any other person, or obligation on the part of the City or its officials, and any expenditure of funds is at the risk of the person making the expenditure.

Development Permit with Variances Application

That Council, after giving notice, consider the following motion:

- “1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit with Variances No. 00239 for 854-880 Pandora

Avenue in accordance with plans submitted to the Planning department and date stamped by Planning on September 14, 2023 subject to:

- a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce vehicle parking from 113 stalls to 103 stalls
 - ii. reduce the visitor vehicle parking from 20 stalls to 10 stalls
 - iii. reduce the commercial parking from 13 stalls to 11 stalls
 - iv. reduce rear (north) setback for portion of building between 5m and 18m in height from 8.0m to 2.23m
 - v. reduce rear (north) setback for portion of building greater than 18m in height from 10.0m to 5.65m
 - vi. reduce east side setback for portion of building greater than 18m in height from 10.0m to 6.27m
 - vii. reduce west side setback for portion of building less than 18m in height from 3.0m to 0.35m
 - viii. permit long term bike parking to be located more than one level below finished grade

2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.

LEGISLATIVE AUTHORITY

This report discusses a Rezoning Application and a concurrent Development Permit with Variances (DPV) Application. The relevant rezoning consideration is the increase in density from 2.0:1 to 6.12:1 Floor Space Ratio (FSR).

Relevant DPV considerations include the application's consistency with design guidelines and the impact of the variances.

Enabling Legislation

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

In accordance with Section 482 of the *Local Government Act*, a zoning bylaw may establish different density regulations for a zone, one generally applicable for the zone and the others to apply if certain conditions are met.

In accordance with Section 483 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use of the density of the land from that permitted under the zoning bylaw.

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development

Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the Zoning Regulation Bylaw but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application and Development Permit with Variances Application (DPV) for the properties located at 854-858 and 880 Pandora Avenue. The proposal is to rezone from the CA-1 Zone, Pandora Avenue Special Commercial District to a new zone in order to increase the density to permit the construction of a twenty-storey mixed-use residential rental building. There is a concurrent DPV Application pertaining to the proposed form, character, exterior design, finishes and landscaping and variances related to setbacks and vehicle parking.

The following points were considered in assessing the Rezoning Application:

- the proposal is consistent with the use and built form in the applicable Official Community Plan (OCP) Core Residential land use designation but is inconsistent with OCP policy on landmark heritage building view impacts
- the proposal exceeds density maximums envisioned in the Downtown Core Area Plan (4.5:1) and the OCP (5:1); however, the project advances other strategic priorities to provide primarily market rental housing with some affordable housing, as well as advancing pedestrian prioritization policies
- the proposal is substantially consistent with DCAP design guidelines but is inconsistent with DCAP guidance on heritage landmark buildings
- the proposed use is consistent with the North Park Neighbourhood Plan.

The following points were considered in assessing the Development Permit with Variances Application:

- the proposal is generally consistent with DCAP design guidelines, including floor plate area maximums
- the proposal is inconsistent with DCAP design guidelines as it relates to the relationship with adjacent landmark heritage buildings
- the proposed setback variances are recommended for support given the corner location and the building's relationship with surrounding properties
- the proposed vehicle parking variance is recommended for support given the location of the building close to transit routes and bike lanes
- The proposed bicycle parking location variance is recommended for support given the statutory right-of-way (SRW) that is being secured with no underground parkade projection.

BACKGROUND

Description of Proposal

This proposal is to rezone and consolidate the properties at 854/858 and 880 Pandora Avenue to increase the density and construct a twenty-storey rental residential building with commercial uses at grade, rooftop amenity spaces, and three levels of underground parking.

The proposal requires an increase in density from 2.0:1 to 6.12:1 which would be accommodated in the new zone. The associated DPV is for a reduction in lot line setbacks and vehicle parking, and includes the following variances:

- reduce the rear (Mason Street) setback from 8.0m to 2.23m for that portion of the building between 5m and 18m in height and from 10.0m to 5.65m for that portion of the building over 18m in height
- reduce the east (Quadra Street) setback from 3.0m to 0.60 m for that portion of the building between 0m and 18m in height and from 10.0m to 6.27m for that portion of the building over 18m in height
- reduce the west setback from 3.0m to 0.35m for that portion of the building between 0m and 18m in height
- reduce the required number of vehicle stalls from 113 to 103
- reduce the visitor vehicle parking from 20 stalls to 10 stalls
- reduce the commercial parking from 13 stalls to 11 stalls.

Land Use Context

The site area is shown in Figure 1. The surrounding area is characterized by low and mid-rise commercial and institutional (government office and church) uses, and mid-rise residential uses. The church at 1611 Quadra Street and former church at 907 Pandora Avenue are both designated as landmark heritage buildings in the OCP.



Figure 1. Site Area

Existing Site Development and Development Potential

The site is presently used as an automotive repair shop.

Under the current CA-1 Zone, Pandora Avenue Special Commercial District, the property could be redeveloped for a range of commercial uses, as well as a mixed-use residential building with commercial on the ground floor. The density is limited to 2.0:1 FSR.

Data Table

The following data table compares the proposal with the existing CA-1 Zone, Pandora Avenue Special Commercial District. An asterisk is used to identify where the proposal does not meet the requirements of the existing zone. Key OCP and DCAP policies are included where relevant.

Zoning Criteria	Proposal	Existing Zone (CA-1)	Zone Standard (CBD-2) DT	OCP/DCAP
Site area (m ²) – minimum	2,172.70	n/a	n/a	n/a
Density (Floor Space Ratio) – maximum	6.12:1*	2.00:1	3.00:1 (residential) 4.00:1 (Total)	5.00:1 (OCP) 4.5:1 (DCAP)
Total floor area (m ²) – maximum	13,291.38*	4,345.00	8690.80	10,863.5 (OCP) 9,777.15 (DCAP)
Height (m) – maximum	64.56*	15.5m	45.00	n/a
Storeys – maximum	20	n/a	n/a	20 (OCP) 15 (DCAP)
Site coverage (%) – maximum	90.8	n/a	n/a	n/a
Setbacks (m) – minimum				DCAP
Front (Pandora St)	0.00m	3.00m	n/a	n/a
Rear (Mason St)	2.23m*	3.00m	N/A - (0m-5m in height) 8.0m - (5m-18m in height) 10.0m - (>18m in height)	10m
East Side (Quadra St)	0.60m*	3.00m	N/A - (0m-18m in height) 10.0m - (>18m in height)	n/a
West Side	0.30m*	3.00m	N/A - (0m-18m in height) 10.0m - (>18m in height)	10m
Parking – minimum (total)	103*	113	113	n/a
Accessible	4	4	4	n/a
Van Accessible	1	1	1	n/a
Other Uses (commercial)	11*	13	13	n/a
Accessible	0	0	0	n/a
Van Accessible	1	1	1	n/a

Zoning Criteria	Proposal	Existing Zone (CA-1)	Zone Standard (CBD-2) DT	OCP/DCAP
Visitor parking included in the overall units – minimum	10*	20	20	n/a
Visitor Accessible	1	0	0	n/a
Visitor Van Accessible	1	1	1	n/a
Bicycle parking stalls – minimum				
Short Term Residential	20	20	20	n/a
Short Term Commercial	5	5	5	n/a
Long Term Residential	225	225	225	n/a
Long Term Commercial	4	3	3	n/a

Active Transportation

The application proposes bike maintenance facilities and oversize bicycle parking stalls that accommodate electric and cargo bikes to support multi-modal transportation.

Public Realm

The following public realm improvements are proposed in association with this application:

- 0.60m SRW on Quadra Street
- 1.50m SRW on Mason Street
- upgrades to existing sidewalk conditions on Pandora Street, Quadra Street, and Mason Street frontages.

These would be secured with a legal agreement, registered on the property’s title, prior to Council giving final consideration of the proposed Zoning Regulation Bylaw Amendment.

There is also a recommendation to secure the construction of a continuous sidewalk along the Quadra Street crossing at Mason Street. This would mean that there is no curb drop-off for the pedestrian crosswalk on Mason Street; the sidewalk between the north and south corners of Mason Street would continue across the Mason Street road width. This would prioritize pedestrian crossing in the area, and support OCP Transportation and Mobility goals that prioritize pedestrian mobility above all other modes of transportation. The provision of this continuous sidewalk is also supported by the North Park Neighborhood Plan policies, which encourages pedestrian

prioritization on the Quadra Street corridor. The applicant has agreed to this revision and will update plans prior to bylaw readings.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, prior to submission of the application, it was posted on the Development Tracker, along with an invitation to complete a comment form, on February 13, 2023. Mailed notification was sent to owners and occupiers of property within 100m of the subject property advising that a consultation process was taking place, and that information could be obtained and feedback provided through the Development Tracker. A sign was also posted on site, to notify those passing by of this consultative phase. Additionally, the applicant participated in a zoom meeting with the CALUC on February 28, 2023. A letter dated March 28, 2023, along with the comment forms are attached to this report.

The applicant made revisions to the proposal (increased density and height) in August 2023 that required a second round of consultation with the CALUC. Mailed notification was sent to owners and occupiers of property within 100m of the subject property advising that a consultation process was taking place, and that information could be obtained and feedback provided through the Development Tracker. A sign was also posted on site, to notify those passing by of this consultative phase. Additionally, the applicant participated in a meeting with the CALUC on August 21, 2023. A second CALUC letter dated September 15, 2023, along with the comment forms are attached to this report.

Responses from the first round of notification in February 2023 were minimal – three – and were all in support of the application.

Two responses from the second round of notification in August 2023 were received and opposed the proposal on the basis that the tower is too tall.

The applicant has not revised the proposal in response to these comments, although the provision of the continuous sidewalk was the result of a community request.

Pursuant to section 464(2) of the *Local Government Act*, Council may choose to not hold a public hearing where an application is consistent with the OCP. However, notice must still be sent to all owners and occupiers of adjacent properties as specified in the City's *Land Use Procedures Bylaw* advising that the public hearing is being waived prior to introductory readings of the bylaws. Should Council wish to hold a public hearing, an alternate motion has been provided at the end of this report.

The associated application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Rezoning Application

Official Community Plan

The *Official Community Plan* (OCP, 2012) designates the properties as Core Residential, which envisions multi-unit residential, commercial and mixed-used buildings from three storeys up to

approximately 20 storeys. Density for the area west of Quadra Street, north of Pandora Avenue, and south of Caledonia Avenue is envisioned to be up to 5:1 FSR. The proposal complies with the use and height policies in the OCP; however, the proposed residential density is above the maximum density identified in the Core Residential Urban Place designation.

The proposal further advances several key policies and objectives in the OCP, which need to be taken into consideration when evaluating the proposed density and merits of this application. The key features of this proposal include:

- purpose-built rental housing secured in perpetuity
- affordability for ten percent of units above 5.5:1 FSR secured in perpetuity
- improved pedestrian mobility and safety by providing continuous sidewalk on Mason Street road crossing.

As the application is substantially consistent with the OCP, waiving the public hearing is recommended. If Council opts to hold a public hearing, an alternate motion to do so has been provided.

North Park Local Area Plan/Downtown Core Area Plan

The *North Park Neighbourhood Plan* (NPNP, 2022) identifies the subject properties as Core Residential. The NPNP identifies North Park as being “on the shoulder of Victoria’s downtown”, with DCAP providing guidance for development in some areas of North Park, including along Pandora Avenue and the subject site. Therefore, while located within the North Park Neighbourhood boundaries, redevelopment of the subject site is guided primarily by DCAP.

One of the NPNP objectives is to ensure that new development along the Quadra Street Corridor compliments the existing heritage buildings – the area known as “Church Row”. The plan specifies that new buildings should respond to landmark buildings through siting, massing, and design that maintains the prominence and public views of the buildings. The proposal is not wholly consistent with this objective, as the tower location and lack of stepping back on upper storeys does not achieve the greatest deference to the landmark heritage buildings that may be possible. However, achieving this goal would require a trade off in achieving other objectives, such as usable outdoor amenity space, and separation distance to future buildings, as discussed below.

The subject property is within the Residential Mixed-Use District of DCAP, which supports mixed-use buildings along Quadra Street to encourage increased pedestrian activity and improved vitality within the public realm. At this location, DCAP supports heights up to 45m (approximately 11 to 15 storeys) and a density of 4.5:1 FSR for mixed-use buildings. Within this residential precinct, DCAP encourages new multi-unit residential development and other land uses, public amenities and services that are appropriate to the context and function of the neighbourhood and foster complete communities.

The proposal complies with the use policies in the DCAP; however, the proposed residential density is above the maximum density and height identified in the Plan.

Further to the land use policies, the OCP includes policies pertaining to market rental housing. Specifically, it recognizes the existing tight rental market, characterized by low vacancy rates and high demand. Though many of the policies are calibrated to ensure retention and redevelopment of existing rental housing stock, the addition of rental housing stock furthers the City’s goals as it relates to providing more available rental housing. Affordable housing policies in the Plan

encourage more affordable housing across the housing continuum – which may include a density bonus provision. Although the proposal does offer a somewhat low number of overall affordable units (five), it does provide affordability in exchange for the additional density above what is envisioned under the OCP and DCAP.

Housing

The application, if approved, would add approximately 197 new residential rental units, which would increase the overall supply of housing in the area and contribute to the targets set out in the *Victoria Housing Strategy*.

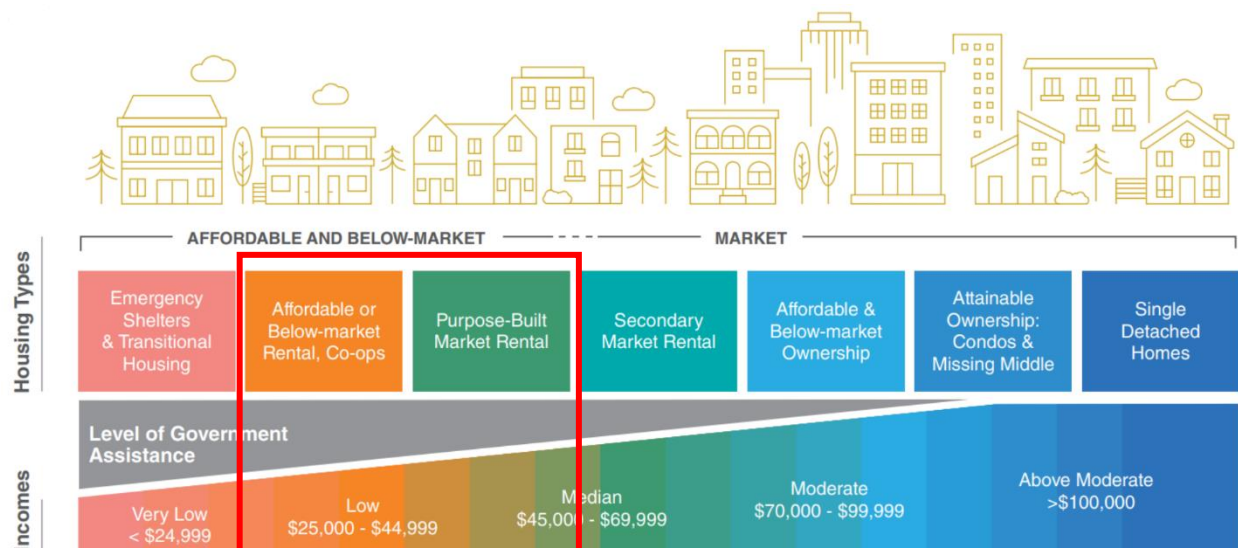


Figure 1. Housing Continuum

Affordability Targets

Five of the proposed 197 units will be secured at affordable rental rates via the housing agreement. In order for a unit to be considered affordable, the monthly housing costs (including all fees and charges e.g. utilities) must not exceed 30 per cent of total household incomes. The amount of rent that can be charged based on unit type is shown in the following table, adapted from the City’s Inclusionary Housing and Community Amenity Policy (data from the 2021 Census):

	Studio	1 Bed	2 Bed	3 Bed
Monthly Housing Costs	\$1,125	\$1,250	\$1,400	\$1,750
Annual Gross Household Income	\$45,000	\$50,000	\$55,000	\$69,999

The proposed unit mix that will be secured as affordable is:

- two studio units
- two one-bedroom units
- one two-bedroom townhome.

Housing Mix

At present there is no policy that provides targets regarding housing mix and unit type is not typically regulated or secured. However, the OCP identifies a mix of units as an objective and identifies the need for a diverse range of housing units including family housing. As submitted, two-thirds (139) of the units are one-bedroom plus den or smaller. The proposed application includes approximately 58 family-friendly units in the form of 56 two-bedroom units and two three-bedroom units. The two three-bedroom units are currently located on the second and third floor, in close proximity to the outdoor amenity space.

Security of Tenure

Rental tenure will be secured in perpetuity via legal agreement, and the new zone will require secured rental tenure in order to achieve the maximum density of 6.12:1 floor space ratio. A covenant will also be registered on the title of the property to prohibit the stratification of individual units.

Development Permit with Variances Application

The OCP identifies the subject properties within [Development Permit Area 3 \(HC\)](#) : Core Mixed Use Residential, which envisions evolving the area through the addition of mid- and high-rise residential mixed-use buildings by achieving a high quality of design (architecture, landscape, and urban) that is sensitive to the prominence of landmark heritage buildings but allows the development as a major residential centre. Below is a summary of how the proposal addresses some of the key elements in the DCAP design guidelines.

Building Composition and Site Layout

The DCAP includes specific design guidelines to ensure that a tall building (defined as any building over 23m in height) is designed to protect sky views and access to sunlight through balanced street width to building height proportions, the overall massing, generous tower setbacks and separation distances. The proposed building is 64.56m tall, and the following table compares the proposal with key design guidelines in DCAP for high-rise residential building (greater than 36m in height) to assess its impact on neighbouring lots and the public realm.

Design Criteria for a High-Rise Residential Building (greater than 36m in height)	Recommended	Proposed
Site area for a corner lot – minimum	1400m ²	2,172.70m ²
Tower setback from the street wall – minimum	3m	Pandora – 3.5m Quadra – 5m Mason – 3.5m
Tower setback from the side and rear property lines - minimum	10m	28.11m (west side)
Tower floor plate size – maximum	650m ²	584.6m ²
Floor plate width - maximum	24m	23.5m
Building Orientation	North-South	North-South

To summarize, the proposal exceeds the minimum site area for a corner lot as wells as minimum tower setbacks from the west side property line and tower step back from the street wall. In particular, the applicant is proposing a large side yard setback to minimize impacts of shadowing

on adjacent properties to the north, as well as providing rooftop amenity space on level two. The application addresses the preferred building orientation and is below the maximum tower floor plate size.

In terms of façade composition, the proposal includes a high proportion of transparent glazing for the street level commercial units to support street vitality and safety. The application also proposes the use of high-quality and durable materials consisting of brick for the base and metal panels for the tower.

Downtown Core Area Plan guidelines call for back of house uses (loading, garbage collection), and pad-mounted transformers (PMT) to be situated away from public view, where possible. In this proposal, the back-of-house uses are substantially located in the parkade entrance off Mason Street. The PMT is currently located on Mason Street, in public view, though this may change pending finalization of BC Hydro servicing plans. Landscaping and screening to soften the visual impact of the PMT from Quadra Street has been provided.

Outdoor common space

The DCAP design guidelines highlight the importance of shared outdoor amenity spaces that are available for all building residents and that encourage social interaction, play and urban food production. The application proposes shared outdoor amenity space accessible on level two, with the following features:

- varied and substantial outdoor seating options
- clear access and visibility from circulation space
- soft landscaping areas with trees to reduce heat island effects
- raised planter boxes for urban agriculture opportunities for residents
- dog run to accommodate pet needs within the building
- playground area.

In addition, there is an outdoor amenity space provided on the rooftop that includes significant outdoor seating area (some covered) as well as barbeque and entertainment space.

Heritage

The Downtown Core Area Plan includes the following relevant objectives for heritage conservation in the downtown core:

- Development and heritage conservation are balanced through sensitive new infill and property additions that respond to the heritage value and character of Downtown Core Area Districts
- Heritage Conservation Area 3 has heritage value as a church precinct, with church spires providing prominent features to the skyline with the cluster of landmark buildings on Quadra Street.

The subject property is within a 90m heritage landmark radius from two heritage designated buildings: St. John the Divine Anglican Church (1611 Quadra Street) and Alix Goolden Performance Hall (907 Pandora Avenue). Both buildings are listed as prominent heritage buildings in the OCP. The Official Community Plan policy indicates that the views of these landmark buildings from the public realm should be given careful consideration when new development is proposed within the identified radius.

The proposed tower location is partially within the overlap of the two landmark building radii (see

figure 2). Once consolidated, there will be a portion of the subject property that is not impacted by the landmark radii, on the western part of the site (addressed 854/858 Pandora Ave). Placing the tower in this location would allow for it to be outside of the identified area of heritage impact; however, there are also competing priorities related to tower placement, which are discussed below.

It is anticipated that any redevelopment of the adjacent property at 830-848 Pandora Avenue will result in a podium and tower form similar to the subject site; therefore, consideration was given to future tower and associated separation distances.

The Downtown Core Area Plan guidelines call for a minimum 10m setback from adjacent rear and side setbacks, as well as providing guidance on a 20m separation distance between residential towers (which would be accomplished with the 10m setback per lot). If the proposed tower were to be relocated to the western portion of the subject property, out of the heritage landmark radius, it is unlikely that the tower separation distance requirements could be met upon future build out of the adjacent property, at 830-848 Pandora Avenue. The adjacent property is also subject to a different heritage landmark radius from the Congregation Emanu-el Synagogue at 1461 Blanshard Street, and it is unlikely that a future tower on that site would be able to be situated outside the applicable heritage landmark radius and meet the 10m lot line setback guideline.

Further, if the proposed tower were to be relocated to the western portion of the subject property, maintaining a 10m lot line setback, it would result in the fragmentation of the podium rooftop amenity space and would negatively impact the floorplan of the ground floor commercial space. Given these constraints on tower location, and the impacts on the future viability of developing the adjacent lot, there are still concerns that the tower design has not adequately contemplated the view of the heritage property from the public realm, or the prominence of the proposed building in this section of Church Row. Therefore, the recommendation includes direction to require a lighter material colour on the tower to allow it to recede more from the prominence of the adjacent heritage buildings.



- Prominent heritage buildings
- 90 m radius heritage landmark
- Subject property

Figure 2 – 90m radius from 1611 Quadra Street (Anglican Church of St. John the Divine) and 907 Pandora Avenue (Alix Golden Performance Hall)

VariANCES

Setbacks

Downtown Core Area Plan guidelines call for a minimum 10m setback from interior setbacks, which is achieved with this proposal. The subject site is somewhat unique as a corner site that is bordered by three streets. The proposal achieves the recommended 3m tower setbacks from all three fronting streets.

When compared to the most appropriate zone standard - (CBD-2) DT, there are variances to the required setbacks. While the proposal is consistent with the DCAP design guidelines – and therefore recommended for support, the recommendation is to accommodate the reductions as variances. This ensures that reduced zoning permissions are not entrenched in the new zone, precluding future Council review and approval if changes are made to the design.

Parking

The application requires a parking variance to the requirements of Schedule C – a shortfall of 10 residential stalls, from the required 113 stalls down to 103. The proposal also requires a variance to the number of commercial parking spaces (20 down to 10) and visitor spaces (13 down to 11). Given the different time of day demands on the commercial parking and the visitor parking spaces – the commercial spaces are primarily utilised during daytime hours, and visitor in the evenings – these parking stalls are planned to be “shared”, designated for different use depending on the time of day.

Given the minimal parking reduction required, and the sharing of spaces, the parking variance is recommended for support with appropriate TDM measures including enhanced bicycle parking, a bike maintenance station, and the provision of car share memberships and usage credits for those residential units without access to a parking space.

Due to requirements that the underground parkade not project into either of the requested SRW's, the applicant has had to redesign the parkade. This revision has resulted in a parkade design that requires long term bike parking to be partially provided on parking level two, further from finished grade than permitted. However, given the benefit of securing of the SRW without underground parkade projections, a variance to the requirement that long term bike parking be within one level of finished grade is recommended.

Accessibility

No accessibility improvements are proposed beyond what is required through the *British Columbia Building Code*.

Sustainability

The applicant has not identified any sustainability features associated with this proposal.

Advisory Design Panel Review

The application was reviewed by the Advisory Design Panel on June 28, 2023 At that meeting, the following motion was passed (note that this motion has not been approved in the ADP minutes at time of this report):

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue be approved with the following changes:

- *Applicant to provide staff and Council with studies showing what the same density would look like in a more slender but higher tower to allow the tower to encroach less into the view radius of the heritage buildings*
- *Further consideration to the tower placement on the podium to indicate to staff and council that the proposed location is the most optimal one to balance the competing objectives in the planning documents*

- Applicant to further consider the nature of the colours and materials in order to create a greater sense of cohesion with the podium
- The applicant to demonstrate to staff how the commercial ground spaces are intended to be uses, particularly with how the building touches the ground
- Applicant to further explore additional opportunities for details that reference the heritage buildings in the context .

The applicant has not revised the proposal to address ADP comments. It is important to note that ADP reviewed the proposal at 14 storeys and 4.5:1 FSR. The applicant has added six storeys to the proposal but has not reduced the floor plate which does not respond to ADP’s comment to make the tower more slender in appearance.

Tree Preservation Bylaw and Urban Forest Master Plan

The goals of the *Urban Forest Master Plan* include protecting, enhancing, and expanding Victoria’s urban forest and optimizing community benefits from the urban forest in all neighbourhoods.

A total of ten trees have been inventoried. Four are municipal trees located on the Quadra Street frontage and six are municipal trees located on the Pandora Avenue frontage.

The four municipal trees along the Quadra Street frontage, M-5 (37 cm diameter English oak), M-6 (28 cm diameter English oak), M-7 (33 cm diameter English oak) and M-8 (31 cm diameter English oak) require removal for building excavation.

The municipal trees on the Pandora Avenue frontage will be retained following the mitigation measures outlined in the arborist report.

The applicant is proposing to plant 12 new trees on the subject lot in accordance with the Bylaw. Under the current proposal, the applicant would be required to pay \$10,000 for cash-in-lieu towards the City’s Tree Reserve Fund (\$2,000 X 5 replacement trees not planted). Three new municipal trees are proposed on the Quadra Street frontage and five municipal trees are proposed on the Mason Street frontage. All new municipal trees are proposed in irrigated soil cells.

Tree Impact Summary Table

Tree Status	Total # of Trees	To be REMOVED	To be PLANTED	NET CHANGE
On-site trees, bylaw protected	0	0	12	+12
On-site trees, not bylaw protected	0	0	0	0
Municipal trees	10	4	8	+4
Neighbouring trees, bylaw protected	0	0	0	0
Total	10	4	20	+16

Encroachment Agreement

A number of street-level canopies are proposed along Quadra Street and Pandora Avenue, which project above the City Right-of-Way. These are encouraged in the Guidelines to provide pedestrian weather protection and welcoming streetscapes. In order to facilitate these canopies,

the applicant is required to enter into an Encroachment Agreement with the City. Appropriate wording is included in the recommendation for Council's consideration.

CONCLUSIONS

The proposal substantially complies with the OCP and advances City strategic priorities related to pedestrian mobility, urban forestry and secured rental tenure in perpetuity, as well as the inclusion of a small number of secured affordable housing units. The variances for setbacks and parking are recommended for support. For these reasons, support of the application is recommended.

ALTERNATE MOTIONS

Option 1 – Hold Public Hearing

1. That Council instruct the Director of Sustainable Planning and Community Development to prepare the necessary Zoning Regulation Bylaw amendment that would authorize the proposed development outlined in the staff report dated September 25, 2023 for 854-880 Pandora Avenue, subject to the following conditions:
2. That first and second reading of the zoning bylaw amendment be considered by Council and a public hearing date be set once the following conditions are met:
 - a. That the applicant makes the following revisions to the plans satisfactory to the Director of Sustainable Planning and Community Development:
 - i. ensure minimum widths for functional over-size bike parking stalls;
 - ii. revise the Mason Street design to ensure the minimum 1.8m pedestrian zone width is met;
 - iii. incorporate a continuous sidewalk design crossing Mason Street on Quadra Street frontage; and
 - iv. revise the tower materials to provide a lighter material colour, as well as consider options to maintain the visual prominence of the adjacent heritage landmark buildings.
3. That subject to approval in principle at the public hearing, the applicant prepare and execute the following legal agreements, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor prior to adoption of the bylaw:
 - a. The property shall be rental in perpetuity
 - b. The following 5 units secured as affordable rental in perpetuity:
 - i. two studio units
 - ii. two one-bedroom units
 - iii. one two-bedroom townhouse
 - c. Transportation Demand Management agreement including:
 - i. provision of a bicycle maintenance/wash station
 - ii. fifty percent of long-term bicycle parking spaces to have access to an electrical outlet to enable E-bike charging

- iii. twenty-two oversize bicycle parking spaces
 - iv. a minimum of ten car share memberships and usage credits for use by residential units without access to a vehicle parking space
- 4. That subject to approval in principle at the public hearing, the applicant prepares and execute the following legal agreements, with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor prior to adoption of the bylaw(s):
 - a. 0.60m wide right of way along Quadra Street and 1.5m wide right of way along Mason Street for highway purposes.
 - b. Section 219 covenant to secure upgrades to existing sidewalk conditions, continuous sidewalk on Mason Street crossing, addition of street furniture, and soil cells for any new trees proposed on the Quadra Street frontage, Pandora Street frontage, and Mason Street frontage.
- 5. That adoption of the zoning bylaw amendment will not take place until all of the required legal agreements that are registrable in the Land Title Office have been so registered to the satisfaction of the City Solicitor.
- 6. That subject to adoption of the zoning bylaw amendment, Council authorize the projecting encroachments over the City right of way on Quadra Street generally as shown on the plans submitted to the City and date stamped September 14, 2023 provided that the applicant enters into an encroachment agreement with contents satisfactory to the Director of Engineering and Public Works and form satisfactory to the City Solicitor at the time of building permit approval.
- 7. That the above Recommendations be adopted on the condition that they create no legal rights for the applicant or any other person, or obligation on the part of the City or its officials, and any expenditure of funds is at the risk of the person making the expenditure.

Development Permit with Variances Application

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the public hearing for Rezoning Application No. 00849, if it is approved, consider the following motion:

- “1. That subject to the adoption of the necessary Zoning Regulation Bylaw amendment, Council authorize the issuance of Development Permit with Variances No. 00239 for 854-880 Pandora Avenue in accordance with plans submitted to the Planning department and date stamped by Planning on September 11, 2023 subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. reduce vehicle parking from 113 stalls to 103 stalls
 - ii. reduce the visitor vehicle parking from 20 stalls to 10 stalls
 - iii. reduce the commercial parking from 13 stalls to 11 stalls
 - iv. reduce rear setback for portion of building between 5m and 18m in height from 8.0m to 2.23m
 - v. reduce rear setback for portion of building greater than 18m in height from 10.0m to 5.65m
 - vi. reduce east side setback for portion of building greater than 18m in height from 10.0m to 6.27m

- vii. reduce west side setback for portion of building less than 18m in height from 3.0m to 0.35m
- viii. permit long term bike parking to be located more than one level below finished grade

2. That the Development Permit with Variances, if issued, lapses two years from the date of this resolution.

Option 2 – decline

That Council Rezoning Application No. 00849 and Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue

Respectfully submitted,

Geordie Gordon
Senior Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment A: Subject Map
- Attachment B: Plans date stamped September 14, 2023
- Attachment C: Letter from applicant to Mayor and Council dated September 14, 2023
- Attachment D: Community Association Land Use Committee Comments dated March 28, 2023 and September 15, 2023
- Attachment E: Pre-Application Consultation Comments from Online Feedback Form
- Attachment F: Correspondence (Letters received from residents).
- Attachment G: Draft ADP minutes June 28, 2023