

Revisions
Received Date:
October 24, 2024

Attachment C

Reissued for Re-Zoning
 and Parking Variance
 Not for Construction



1132 EMPRESS AVENUE Re-issued for Re-Zoning and Parking Variance

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 A303 Existing Elevations
 A700 Sun Study
 A701 Materials
 L100 Landscape Concept

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5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning Pre Application	21.01.29

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project name
 1132 Empress Avenue

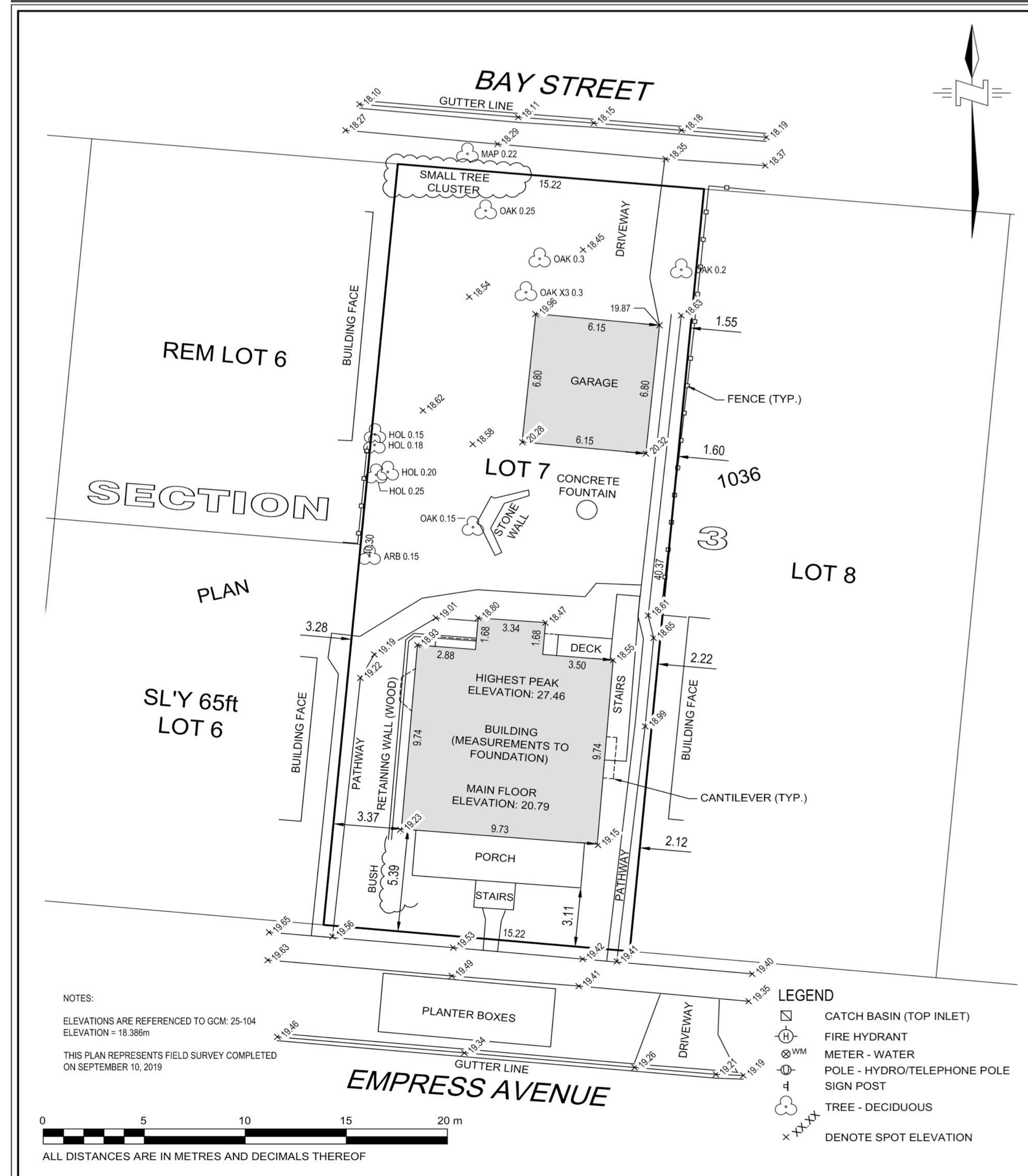
sheet title

Cover Sheet

project no. 1906 date 24.09.26

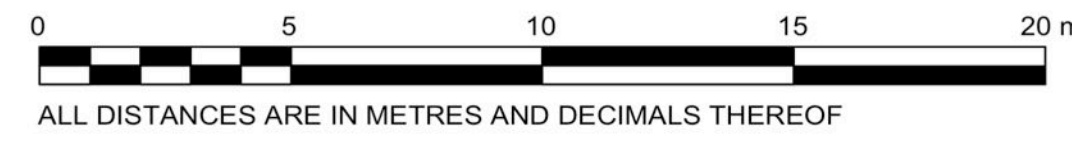
revision no. sheet no.

5 A000



NOTES:
ELEVATIONS ARE REFERENCED TO GCM: 25-104
ELEVATION = 18.386m
THIS PLAN REPRESENTS FIELD SURVEY COMPLETED
ON SEPTEMBER 10, 2019

- LEGEND**
- ☐ CATCH BASIN (TOP INLET)
 - ⊕ FIRE HYDRANT
 - ⊗ METER - WATER
 - ⊕ POLE - HYDRO/TELEPHONE POLE
 - ⊕ SIGN POST
 - ☁ TREE - DECIDUOUS
 - x-x-x-x-x DENOTE SPOT ELEVATION



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THIS PROPERTY MAY BE SUBJECT TO THE FOLLOWING RESTRICTIVE COVENANT 614886

BRITISH COLUMBIA LAND SURVEYOR'S SITE PLAN OF LOT 7, SECTION 3, VICTORIA DISTRICT, PLAN 1036

DIMENSIONS DERIVED FROM PLAN 1036 AND FIELD MEASUREMENTS	PREPARED FOR: TAYLOR MCCARTHY PID NO. 008-080-445	CIVIC ADDRESS: 1132 EMPRESS AVENUE, VICTORIA, BC DRAWING NUMBER: 19605-00-V-SK
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THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE PROFESSIONAL REFERENCE MANUAL AND IS CERTIFIED CORRECT ACCORDING TO LAND TITLE AND SURVEY AUTHORITY RECORDS AND FIELD SURVEYS. UNREGISTERED INTERESTS HAVE NOT BEEN INCLUDED OR CONSIDERED. DATED THIS 11th DAY OF SEPTEMBER, 2019

Digitally signed by Glen Quarmby
SW/CLGK
Date: 2019.09.12 14:05:11 -0700

GLEN A. QUARMBY, BCLS, CLS

THIS DOCUMENT IS NOT VALID UNLESS DIGITALLY SIGNED

THIS PLAN IS PREPARED SOLELY FOR A LIMITED CONTRACTUAL USE BETWEEN MCELHANNY ASSOCIATES AND OUR CLIENT. THIS DOCUMENT SHOWS THE RELATIVE LOCATION OF THE SURVEYED STRUCTURES AND FEATURES WITH RESPECT TO THE BOUNDARIES OF THE PARCEL DESCRIBED ABOVE. THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS. THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

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McElhanney
McElhanney Associates Land Surveying Ltd.

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Tel 250 370 9221

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project name
1132 Empress Avenue

sheet title
Survey

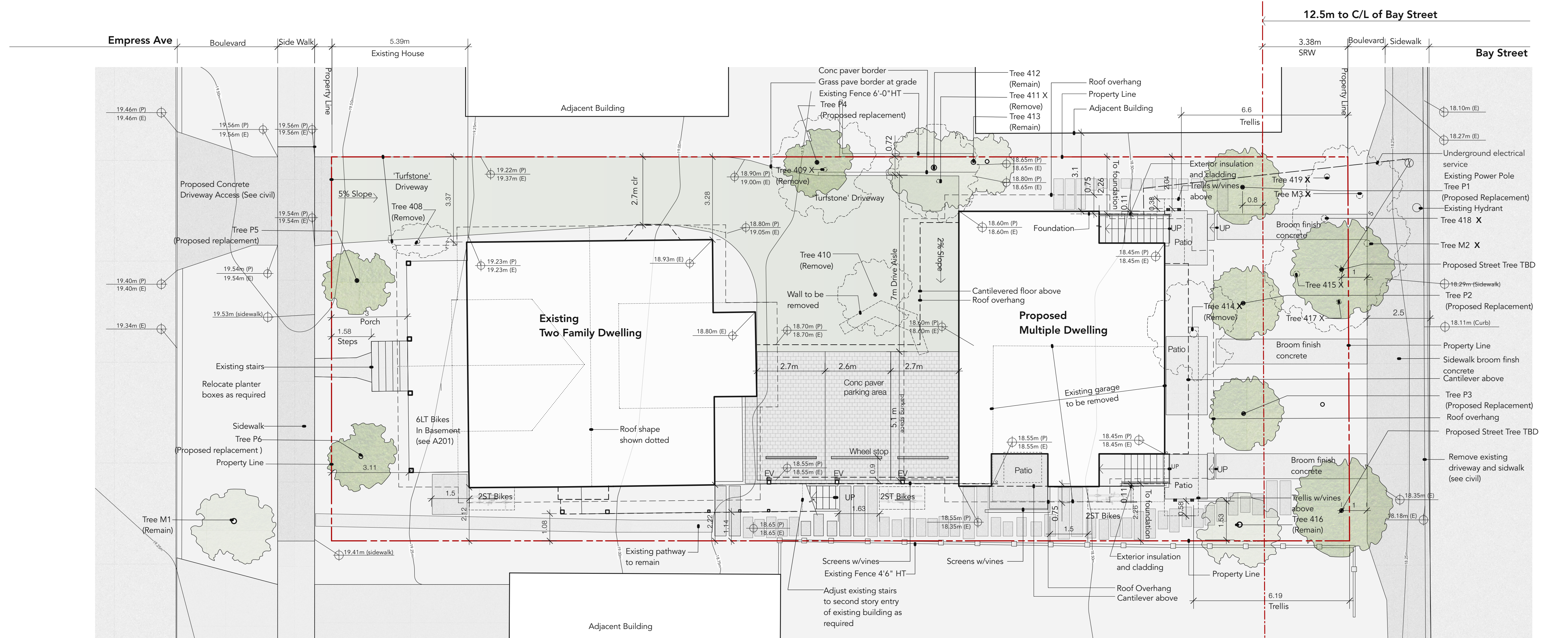
project no. 1906 date 24.09.26

revision no. sheet no.

A001

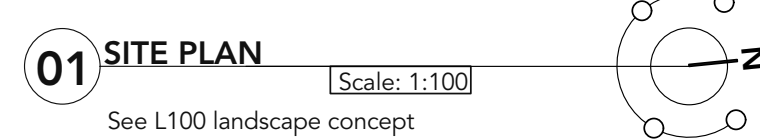
PROJECT INFORMATION FOR REZONING AND DEVELOPMENT VARIANCE

Zone	Existing	Proposed	Comparison
Zone	R-2	Site Specific	RTM
Use	Single Family Two Family Public Building Home Occupation Accessory Building	Multiple Dwelling As permitted in R-2	Traditional Residential Multiple Dwelling Single Family Two Family Attached Dwelling
Max Storeys	1 1/2 w/ basement 2 w/o basement	3	3
Building Height	1 1/2 Existing bldg. 7.6m MAX	8.9m	10.5m
Roof Deck	No	No	No
Site Area	613.9m ² 555m ² min.	613.9m²	
Lot Width	15.22m	15.22m	
Lot Depth	40.34m	40.34m	
Site Coverage	40% max	47.9% (see 4-A100)	50%
Open Site Space	30% min	30.0%min 36.0% proposed (see 3-A100)	30%
Total Floor Area	238.82m ²	473.83m²	
Floor Space Ratio	0.5 : 1 max 0.39 : 1 current	0.77 : 1	1.0 : 1
Existing Principal Bldg			
Total Area	238.82m ²	238.92m²	
Upper Floor	55.97m ²	55.97m²	
Ground Floor	94.00m ²	94.00m²	
Lower Floor	88.85m ²	88.85m²	
(Not considered a basement per bylaw. See calculations 2-A100)			
Proposed Bldg			
Total Area	N/A	234.92m²	
Third Floor	N/A	84.84m²	
Second Floor	N/A	86.07m²	
Ground Floor	N/A	64.01m²	
Setbacks			
Front Yard Setback	7.5m or Avg of buildings abutting lot	7.5m or Avg of buildings abutting lot	
Porch and stairs	3.5m projection	3.5m projection	
Bay Window	0.6 projection	0.6 projection	
Side Yard Setback	1.52m (10% of lot width)	See dimensions	
Side Yard Setback	3.0m	See dimensions	
Combined Side Yard	4.52m	See dimensions	
Rear Yard Setback	14.12m (35% of lot depth)	See dimensions	
Eave	0.75m Projection	1.0m Front Projection	
Accessory Building			
Floor Area	37m ² max Existing garage 42m ² (27m ² excluded for 2 parking spaces)	As permitted in R-2 Existing accessory garage to be removed	
Height	3.5m	3.5m	
Car and Bicycle Parking			
Off street Car Parking Spaces	Required Per schedule C (5 units x 1.3 apartments) + .01 visitor	Provided 7 (5.9)	3
Long Term bicycle racks	4	6	6
Short Term bicycle racks	6	6	6

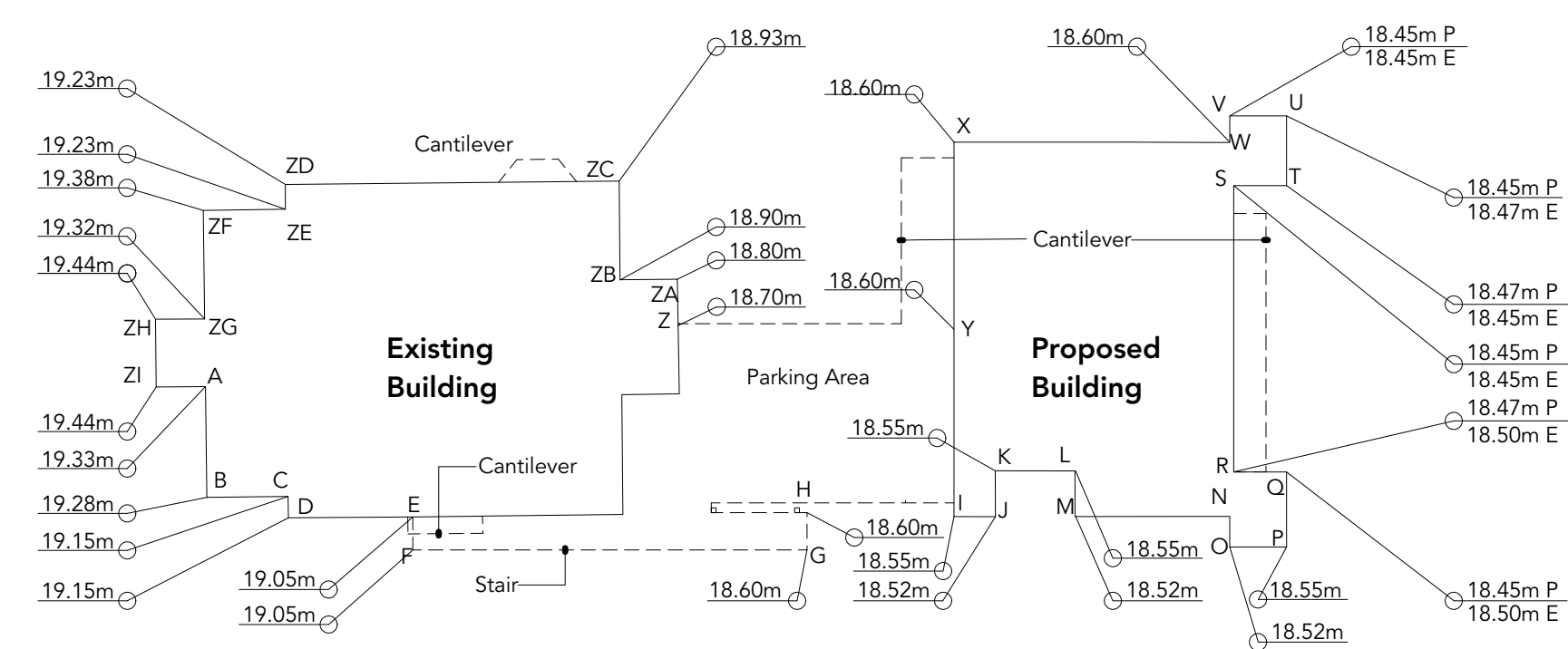


Tree Preservation notes:
1) Refer to Tree Management Plan by Talbot Mackenzie & Associates Arborists dated April 30, 2021 revised
2) Tree numbers on site plan reference see drawing 5-A100 for summary copied from TMP

Site Servicing Notes:
1) Refer to Civil drawings



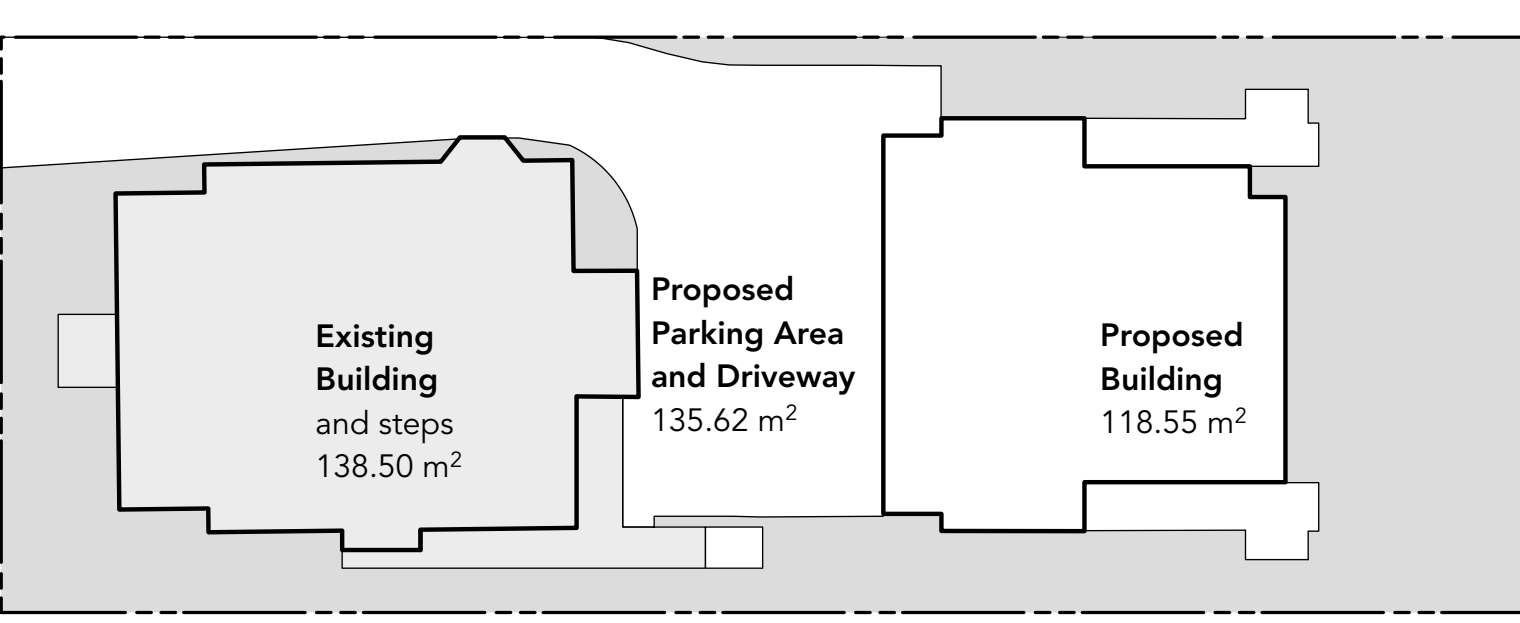
Street trees to be procured by applicant species TBD by parks at BP stage



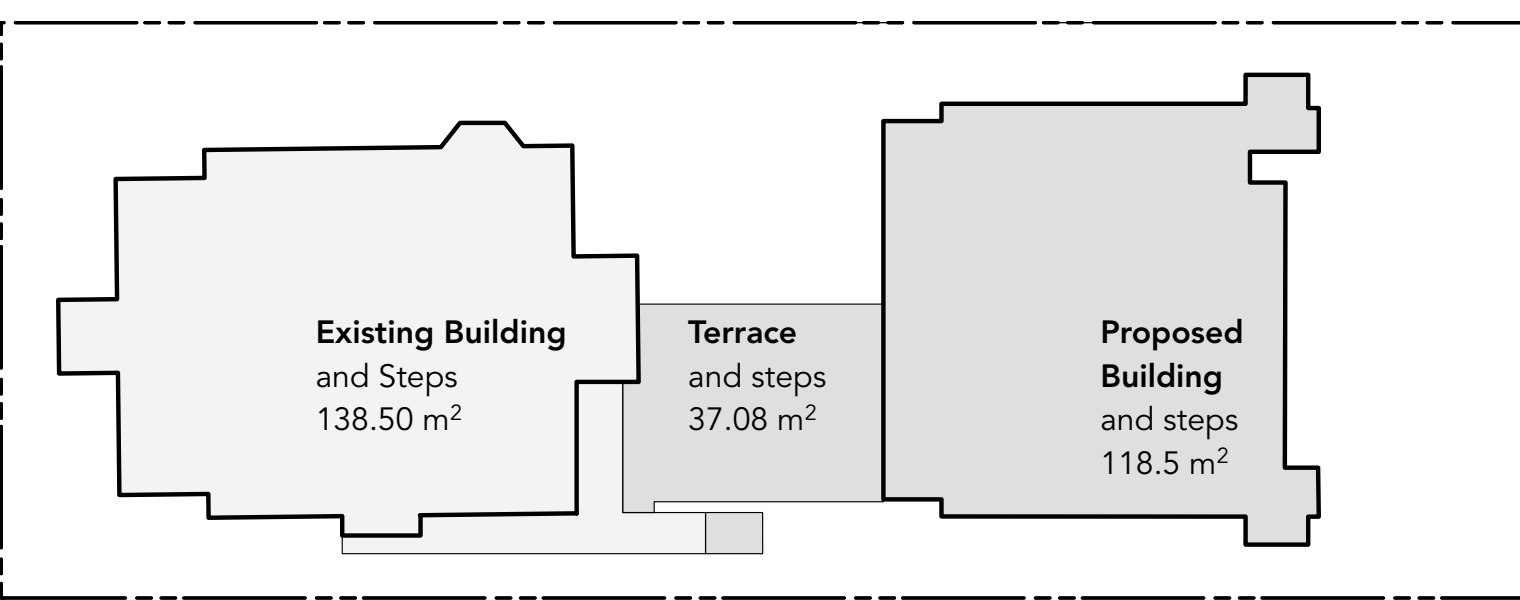
Point	Average of Points	Distance	Total
A-B	19.33	19.28=19.31 x 3.23m=	62.36
B-C	19.28	19.15=19.22 x 2.40m=	46.12
C-D	19.15	19.15=19.15 x 0.75m=	14.36
D-E	19.15	19.05=19.10 x 3.63m=	69.33
E-F	19.05	19.05=19.05 x 0.96m=	18.29
F-G	19.05	18.60=18.83 x 1.150m=	216.49
G-H	18.60	18.60=18.60 x 1.22m=	22.69
H-I	18.60	18.55=18.58 x 4.29m=	79.69
I-J	18.55	18.52=18.54 x 1.21m=	22.43
J-K	18.52	18.55=18.54 x 1.34m=	24.84
K-L	18.55	18.55=18.55 x 2.34m=	43.41
L-M	18.55	18.52=18.54 x 1.34m=	24.84
M-N	18.52	18.52=18.52 x 4.51m=	83.53
N-O	18.52	18.52=18.52 x 0.89m=	16.48
O-P	18.52	18.55=18.54 x 1.66m=	30.77
P-Q	18.55	18.50=18.53 x 2.19m=	40.57
Q-R	18.50	18.50=18.50 x 1.54m=	28.49

Point	Average of Points	Distance	Total
R-S	18.50	18.45=18.48 x 7.84m=	154.45
S-T	18.45	18.45=18.45 x 1.54m=	28.41
T-U	18.45	18.45=18.45 x 2.19m=	40.41
U-V	18.45	18.45=18.45 x 0.95m=	30.63
V-W	18.45	18.60=18.53 x 4.11m=	14.45
W-X	18.60	18.70=18.70 x 8.64m=	149.73
X-Y	18.70	18.80=18.75 x 1.30m=	64.53
Y-Z	18.80	18.70=18.85 x 1.67m=	150.32
Z-A	18.70	18.80=18.92 x 2.68m=	25.50
ZA-ZB	18.80	18.90=18.92 x 2.68m=	31.48
ZB-ZC	18.90	18.93=18.92 x 2.68m=	54.66
ZC-ZD	18.93	19.23=19.08 x 9.74m=	185.84
ZD-ZE	19.23	19.23=19.23 x 0.72m=	13.85
ZE-ZF	19.23	19.38=19.31 x 2.40m=	46.33
ZF-ZG	19.38	19.32=19.35 x 3.17m=	61.34
ZG-ZH	19.32	19.44=19.38 x 1.43m=	27.71
ZH-ZI	19.44	19.44=19.44 x 1.98m=	38.49
ZI-A	19.44	19.33=19.39 x 1.43m=	27.91

AVG GR 1988 = 105.79 = 18.80m



03 OPEN SITE SPACE CALCULATION



04 SITE COVERAGE CALCULATION

Tag or ID #	Surveyed? (Yes/No)	Location (On Off, Shared, City)	Bylaw protected? (Yes/No)	Name	Common	Botanical	Critical root zone radius (m)	Original diameter (m)	Condition	Health	Structure	Retention	Relative Suitability (Scale 1-5)	Relative Tolerance	General Field Observations/Remarks	Tree retention/location comments	Retention Status
M1	No	Municipal	Yes, municipal	Flowering Ash	Fraxinus ornus		8	1	1	Fair	Fair	Suitable	Moderate	Moderate	Small deadwood	May be impacted by SS installation.	Retain*
48	Yes	On-site	No	Plum	Prunus spp.		Multiple stems	2	3	Fair	Fair	Suitable	Moderate	Moderate	Plum suckers maintained as shrub.	May be impacted by proposed driveway, SS/SD.	X
49	Yes	On-site	No	Eucalyptus	Eucalyptus spp.		24	3.6	6	Good	Fair	Suitable	Poor	Poor	Columnar leaders, future conflict with existing buildings.	Conflict with proposed driveway, SS/SD.	X
410	Yes	On-site	No	Plum	Prunus spp.		13,12,12	3.2	5	Fair-poor	Fair-poor	Suitable	Moderate	Moderate	Deadwood, deadwood, pruning wounds.	Within footprint of proposed driveway.	X
411	Yes	On-site	Yes	Cherry	Prunus spp.		25,20	4.8	9	Fair	Fair-poor	Suitable	Moderate	Moderate	Adjacent to property fence, columnar, small deadwood, small secondary stem with included bark in attachment. Restricted growing space.	Within proposed driveway footprint. May also be impacted by SS/SD.	X
412	Yes	On-site	No	Holly	Ilex spp.		18	1.8	4	Fair	Fair	Suitable	Good	Good	Growing adjacent to property fence, conflicting with neighbour's roof.	May be impacted by proposed driveway, SS/SD.	TBD
413	Yes	On-site	No	Cherry	Prunus spp.		15	1.8	5	Fair	Fair-poor	Suitable	Moderate	Moderate	Growing adjacent to property fence, conflicting with neighbour's roof.	May be impacted by proposed driveway.	TBD
414	Yes	On-site	Yes	Plum	Prunus spp.		28,28,27	7.3	10	Fair-poor	Poor	Suitable	Moderate	Moderate	Adjacent to existing garage, deadwood, included bark in unions, cavities between primary stem unions.	Within proposed building footprint.	X
415	Yes	On-site	Yes	Plum	Prunus spp.		31	3.7	5	Poor	Poor	Not suitable	Moderate	Moderate	Extensive deadwood, dead, decay, pruning wounds, wick's broom.	Conflict with proposed building footprint, walkway, potential canopy conflict.	X
416	Yes	On-site	No	Sycamore Maple	Acer pseudoplatanus		18	2.2	8	Good	Fair	Suitable	Moderate	Moderate	Slight lean northeast. West CRZ used as parking stall historically.	May be impacted by proposed building footprint, walkway, potential canopy conflict.	TBD
417	No	On-site	No	Plum	Prunus spp.		11	1.3	5	Fair	Fair-poor	Suitable	Moderate	Moderate	Plum sucker. Leans to street.	May be impacted by proposed building footprint.	X
418	No	On-site	No	Plum	Prunus spp.		12.9	2	4	Fair	Fair-poor	Suitable	Moderate	Moderate	Plum sucker, suppressed by 415.	May be impacted by proposed building footprint.	X
419	No	On-site	No	Plum	Prunus spp.		7.6	1.3	5	Fair	Fair-poor	Suitable	Moderate	Moderate	Plum sucker.	May be impacted by proposed building footprint.	X
M2	Yes	Municipal	Yes, municipal	Sweetgum	Liquidambar styraciflua		24	2.9	5	Fair	Fair-poor	Suitable	Moderate	Moderate	Hydro clearance pruning, deflected trunk, included bark in primary unions.	Within footprint of proposed municipal sidewalk.	X
M3	No	Municipal	Yes, municipal	Plum	Prunus spp.		Multiple stems	2	10	Fair	Fair-poor	Suitable	Moderate	Moderate	Cluster of plum suckers appears to be partially on municipal property.	Conflict with proposed boulevard improvements.	X

Prepared by:
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Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
Ph: (250) 479-8733 - Fax: (250) 479-7050
Email: tmteehelp@gmail.com

05 TREE RESOURCE SPREADSHEET

02 AVERAGE GRADE CALCULATION

Basement Calculation
Main Floor Elevation (per survey) = 20.79m
Floor Depth = 0.27m
Basement Ceiling = 20.52m
Avg grade = 18.80m
Average grade to finished ceiling = 1.72m
1.73m > 1.2m Not a basement

GENERAL NOTES

- All work shall meet BC building code 2018 and all applicable bylaws and regulations of the City of Victoria and Province of British Columbia.
- The drawings provided are diagrammatic in nature. The contractor shall perform site measurements and report any discrepancies or omissions with site conditions to the designer and owner prior to undertaking any work.
- Clean-up on a daily basis and at completion of the project to remove all remaining debris and construction materials and clean all exposed surfaces.
- All waste material shall be disposed of according to all applicable municipal and provincial regulations.
- All dimensions are measured in meters unless otherwise noted.
- All dimensions are measured to face of framing or concrete unless noted otherwise. Do not scale from drawings.
- All finishes, fitsments, and appliances to be installed according to manufacturer recommendations/ warranty standards.
- All stair, handrail, geometry, and guard geometry to BCBC 9.8.
- Topographical lines in .25m increments and are extrapolated from survey grades. Discrepancies with drawn topography and actual site features to be brought to the consultant's attention.
- Discrepancies with consultant's drawings and engineer's drawings to be brought to the attention of consultant, owner, and engineer. Changes to be approved by all parties.
- Project to comply with step 3 of the BC energy step code for part 9 buildings.
- Refer to Tree Preservation Plan dated April 30 2021
- EV charging stations to be installed as per the COV "Electric Vehicle Charging Infrastructure Technical Bulletin" (2020)
- Proposed driveway access to conform to COV Highway Access Bylaw (2015)
- Mechanical and ventilation system to use Heat Pump and HRV

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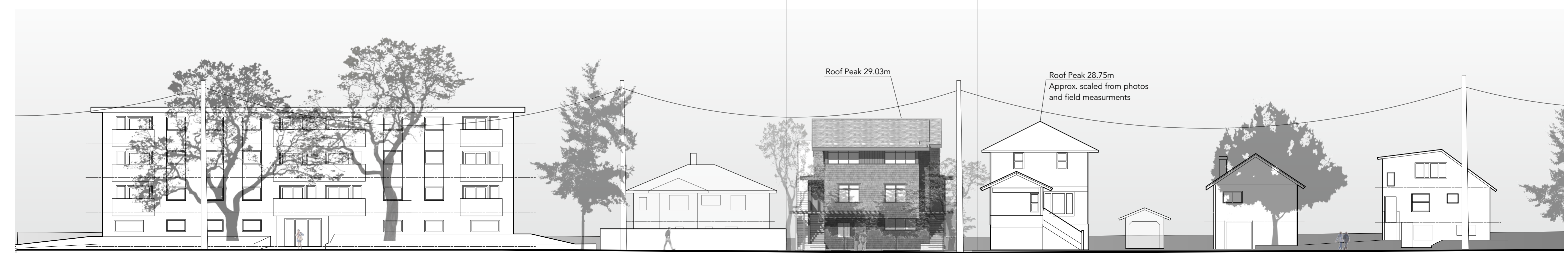
project name
1132 Empress Avenue

sheet title
Site Plan
Project Information

project no. 1906 date 24.09.26

revision no. sheet no. A100

Civic Address
1132 Empress Avenue Victoria BC
Legal description
Lot 7, Section 3, Victoria District, Plan 1036, PID 008-080-445



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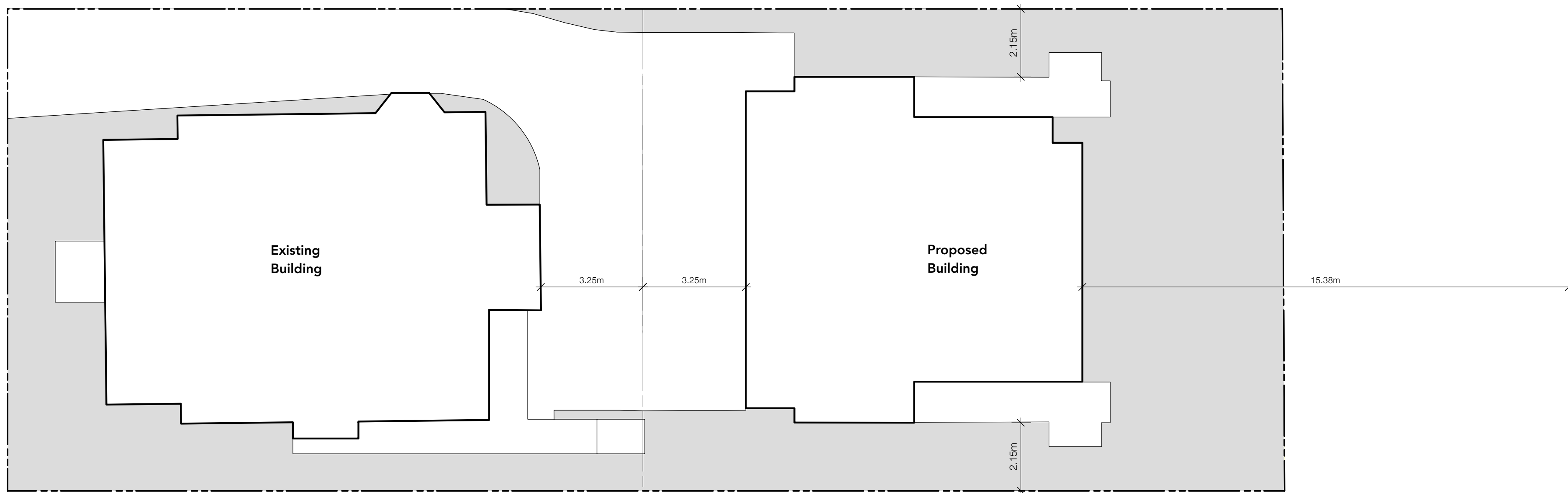
sheet title

Streetscape

project no. 1906 date 24.09.26

revision no. sheet no.

5 **A101**



CALCULATIONS

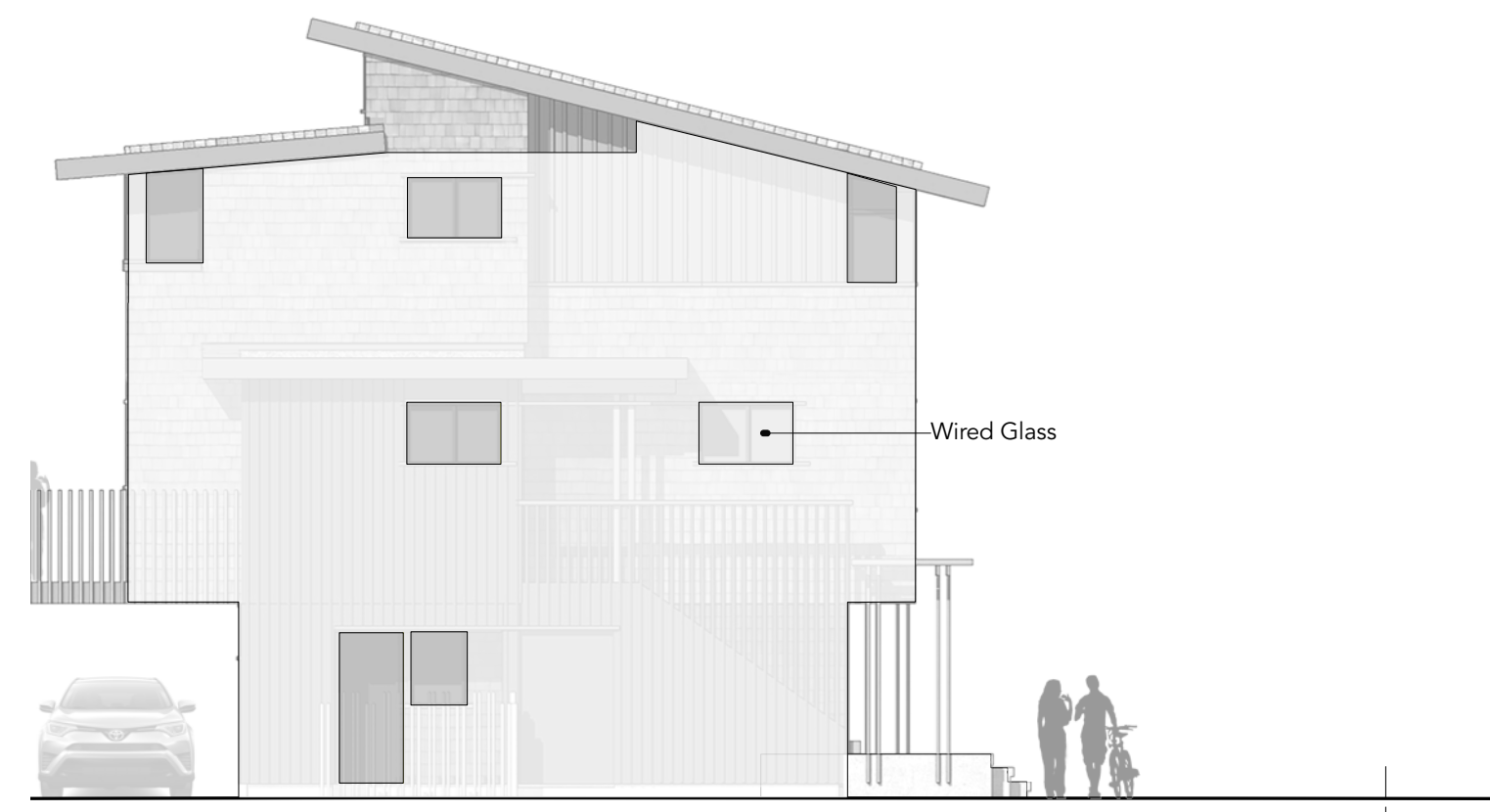
	Face A	Face B	Face C	Face D
Exposing building face	76.74m ²	85.86m ²	85.86m ²	85.86m ²
Limiting Distance	15.38m	2.15m	3.25m	2.15m
Maximum area allowed	100.0%	9.67%	14.63%	9.67%
Per Table 9.10.15.4	76.74m ²	8.30m ²	12.56m ²	8.30m ²
Area of proposed openings	15.95m ²	7.55m ²	9.06m ²	6.05m ²
	20.7%	8.70%	10.50%	7.00%

At time of Building Permit submission the proposal will comply with section 9.10.14. of the BCBC for spatial separations and unprotected openings.

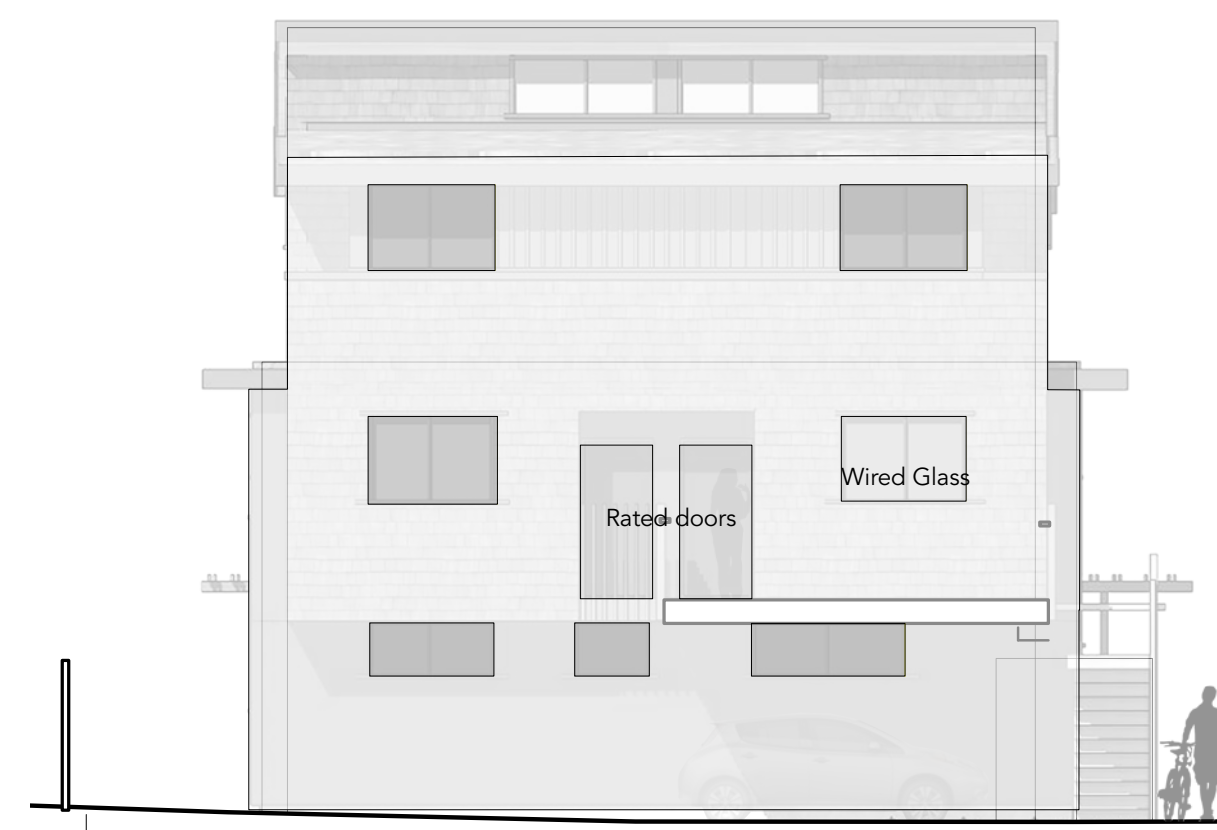
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Bruce Greenway Architect AIBC



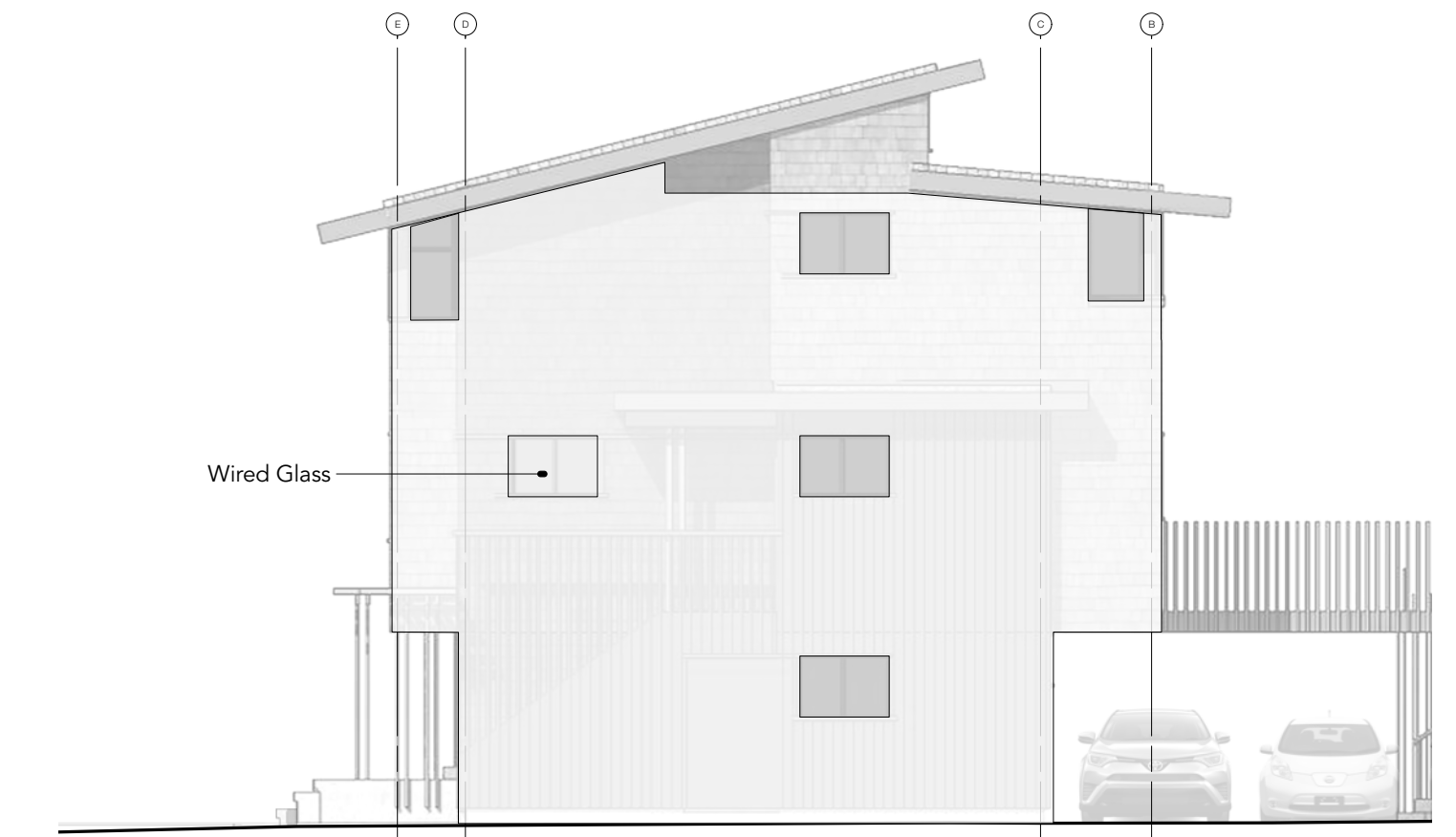
Face A = 76.74m²
Unprotected Openings = 15.95m²



Face B = 85.86m²
Unprotected Openings = 7.55m²

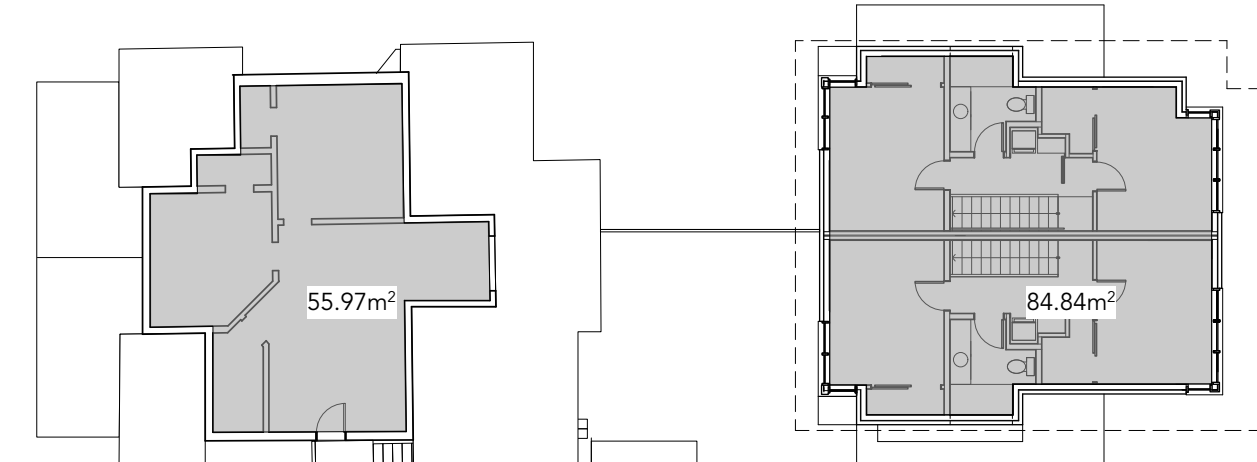
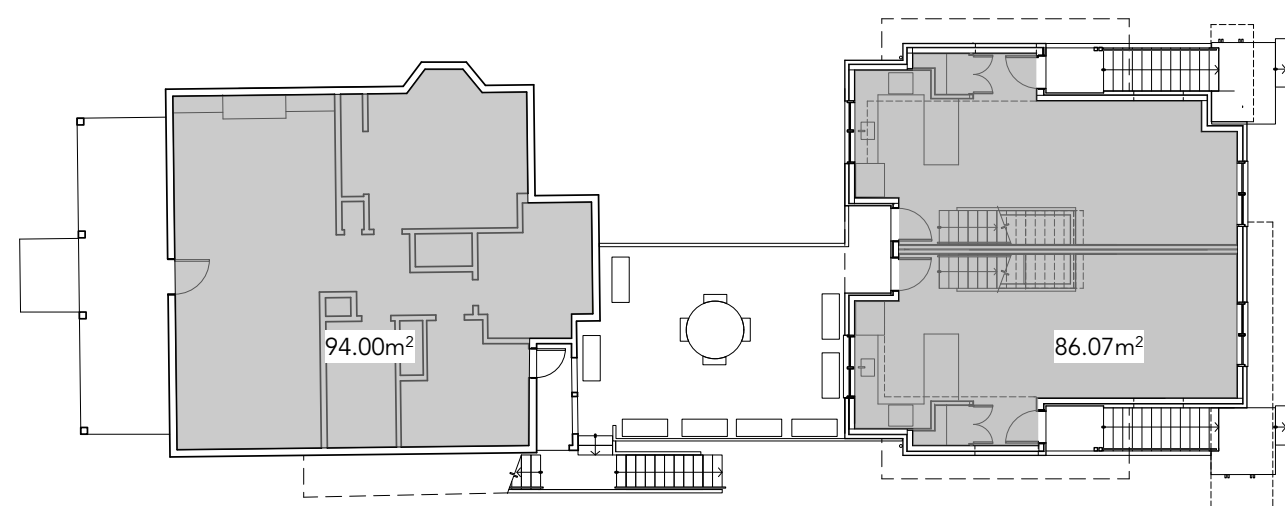
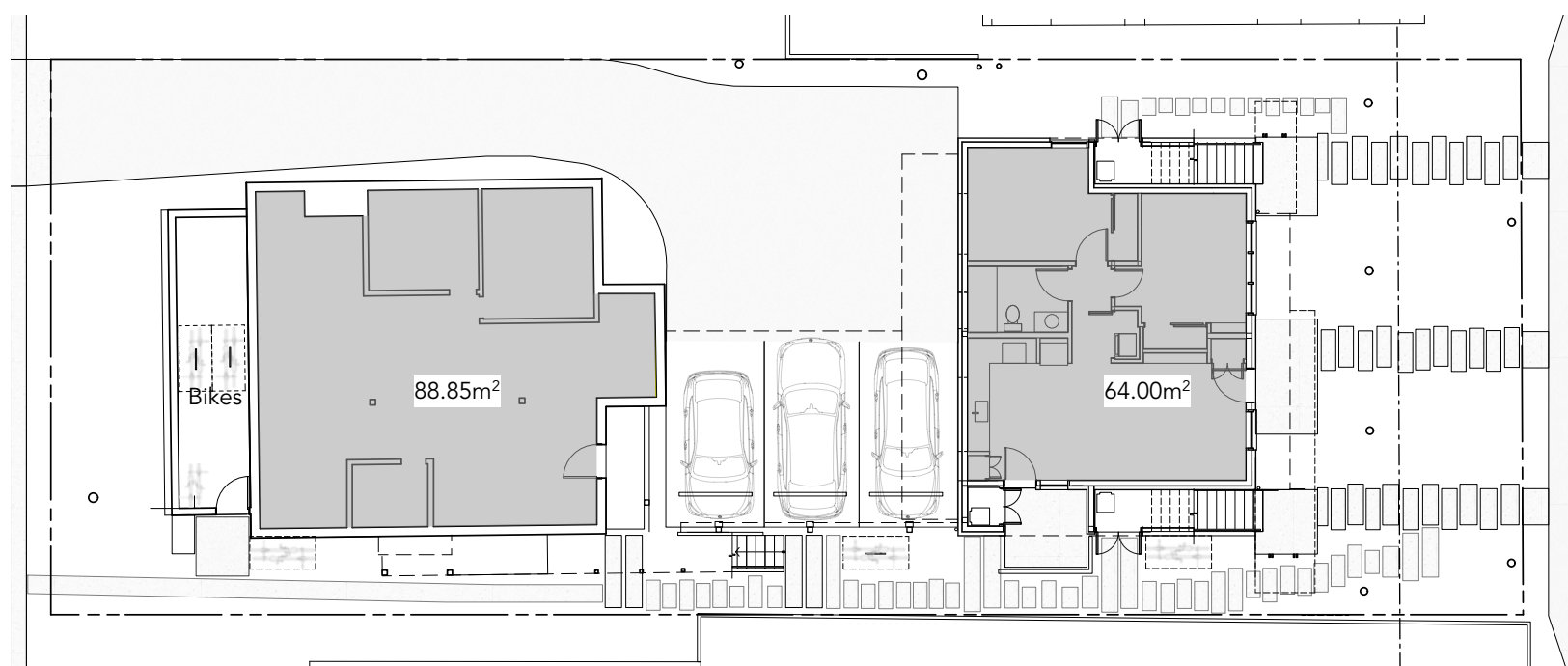


Face C = 92.1m²
Unprotected Openings = 9.06m²



Face D = 85.86m²
Unprotected Openings = 6.05m²

01 EXPOSING BUILDING FACE DIAGRAM



	Existing	Proposed	
Ground Floor	88.85m ²	64.00m ²	
Second Floor	94.03m ²	86.07m ²	
Third Floor	56.97m ²	84.84m ²	
Total	239.85m ²	234.91m ²	474.76m ²

03 Area Calculation

1:200



02 Window Alignment With Adjacent Building

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	Pre Application	

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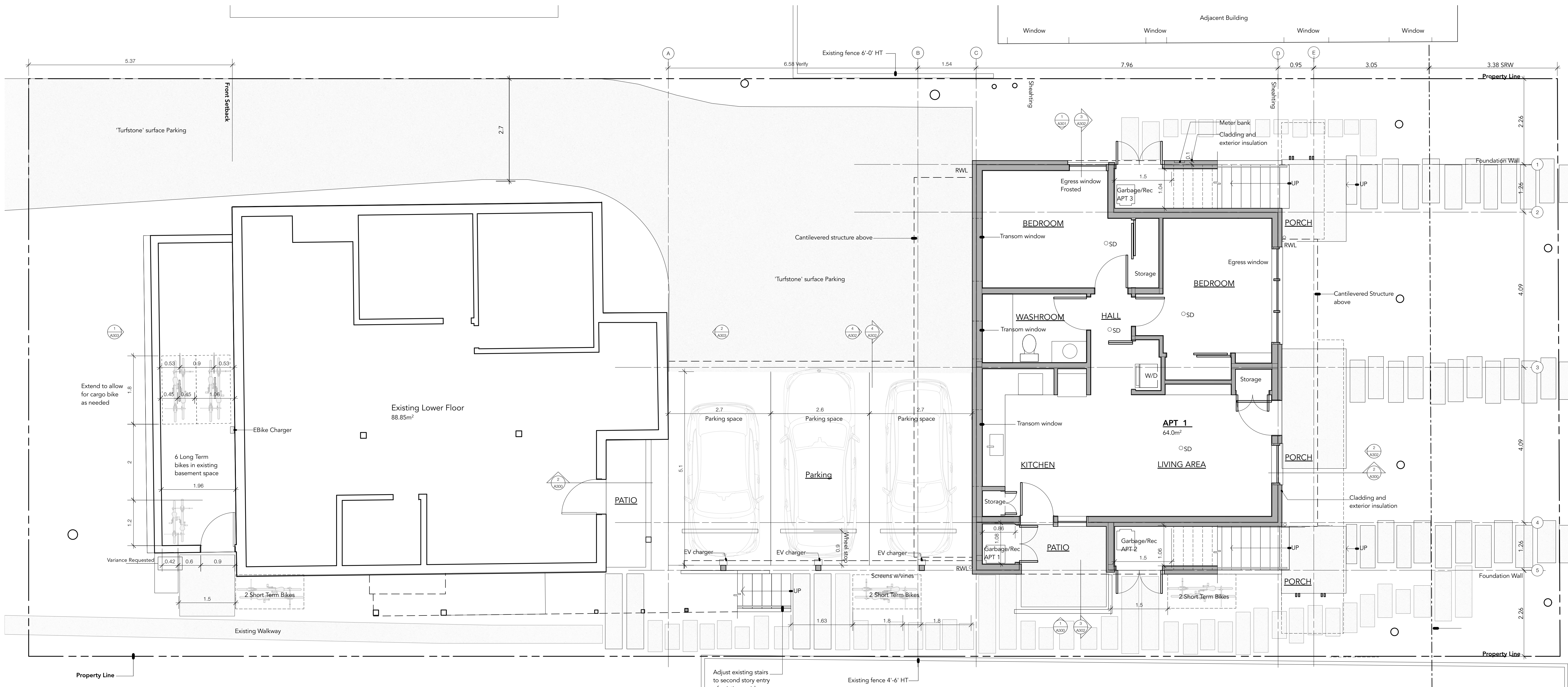
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project name
1132 Empress Avenue

sheet title
Window Alignment Project Information

project no. 1906 date 24.09.26

revision no. sheet no.
A102



01 GROUND FLOOR PLAN
See landscape plan for exterior detail
Scale: 1:50

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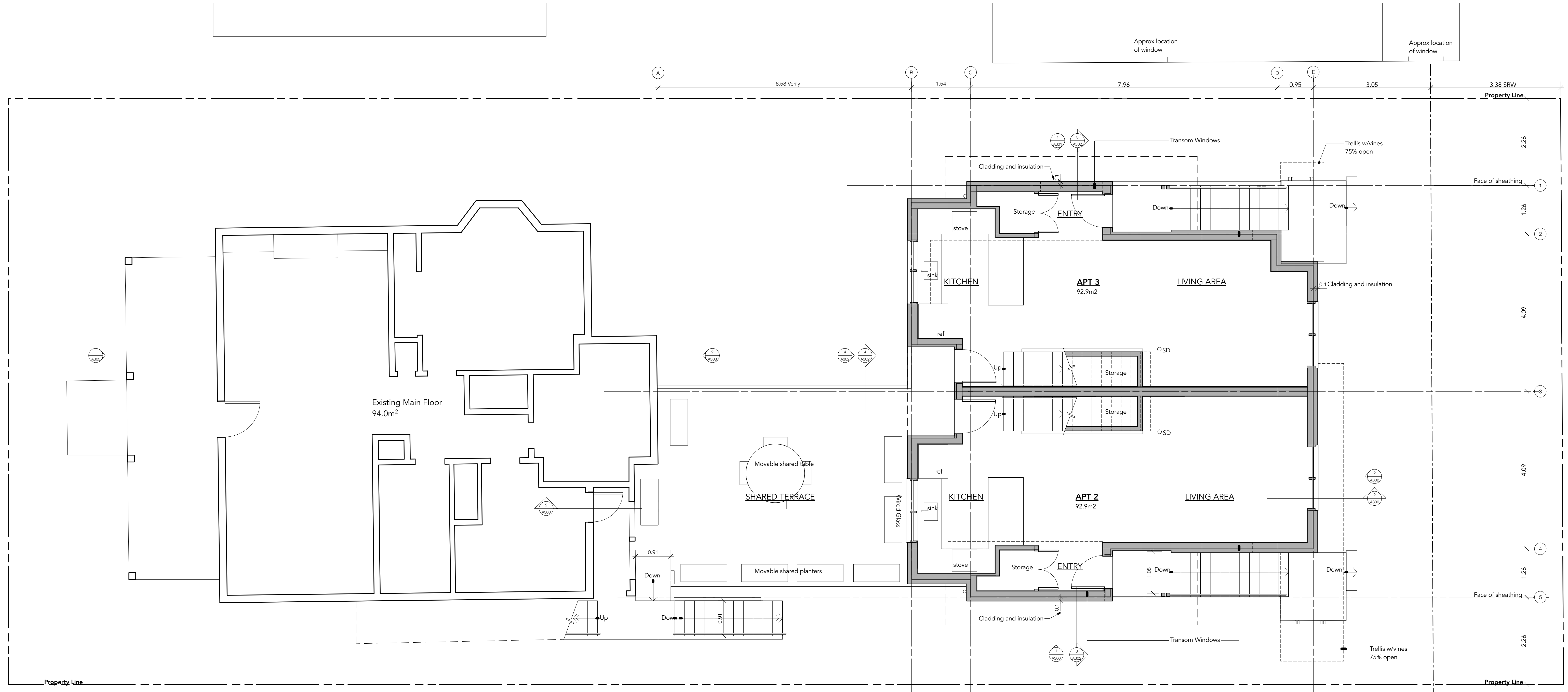
project name
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sheet title

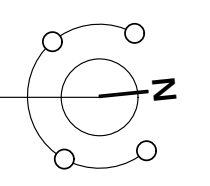
Ground Floor Plan

project no. 1906 date 24.09.26
revision no. sheet no.

5 **A201**



01 SECOND FLOOR PLAN
Scale: 1:50



5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning Pre Application	21.01.29

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project name
1132 Empress Avenue

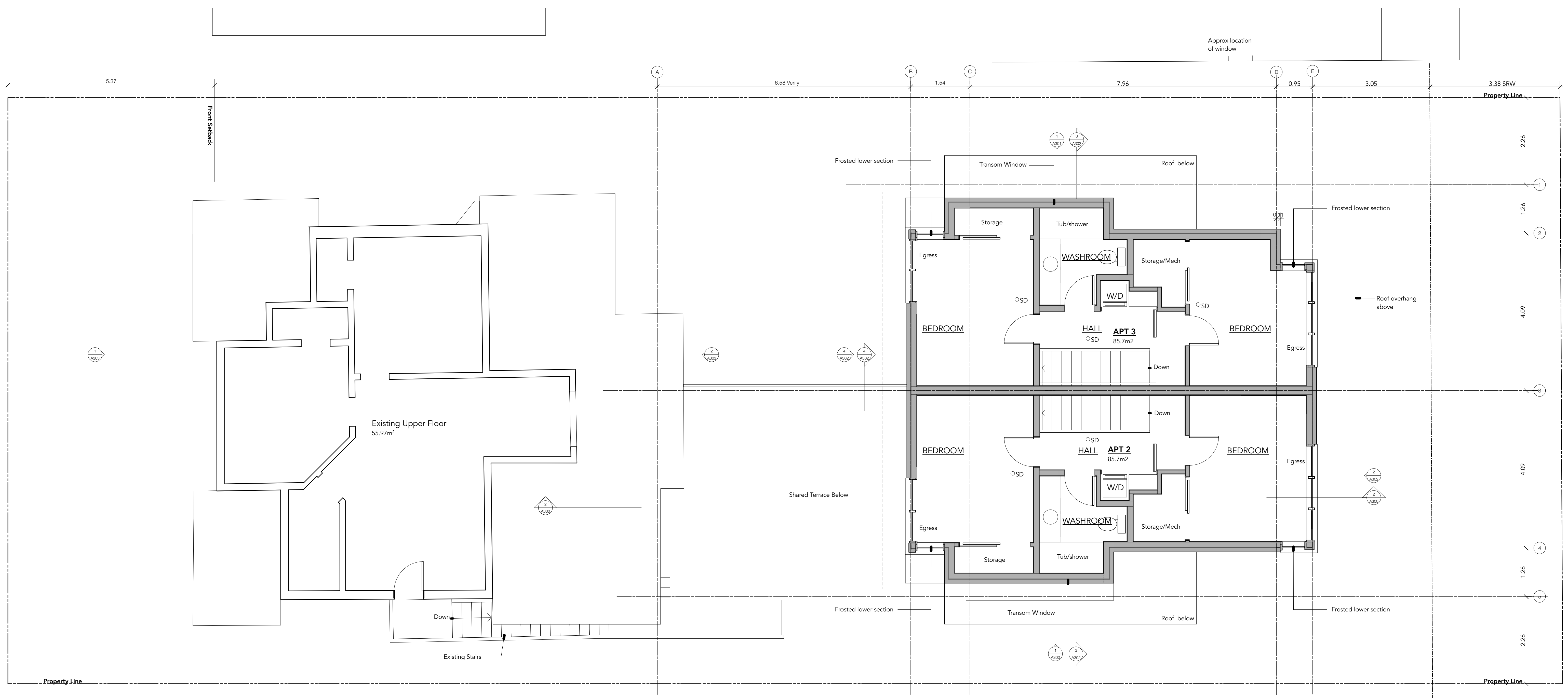
sheet title

Second Floor Plan

project no. 1906 date 24.09.26

revision no. sheet no.

5 A202



01 THIRD FLOOR PLAN [Scale: 1:50]

5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title

Third Floor Plan

project no. 1906 date 24.09.26

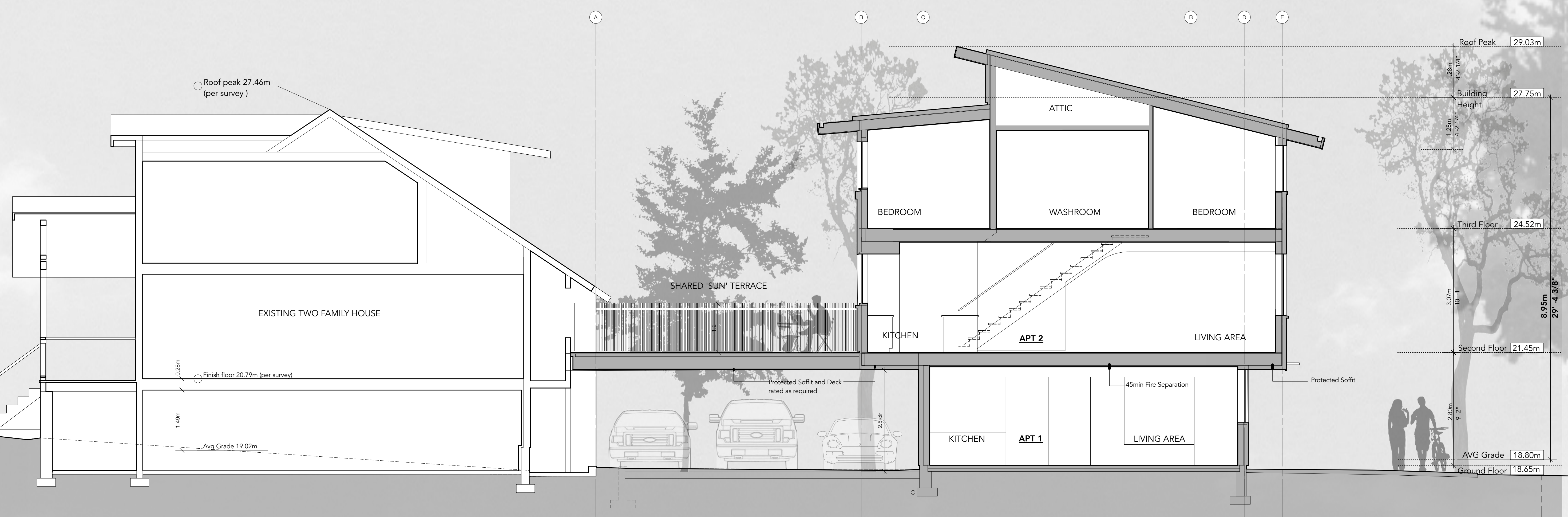
revision no. sheet no.

5 A203



- 1 - Cement board shingles
Colour: Similar to Benjamin Moore Hale Navy
- 2 - Cement board shingles
Colour: Similar to Benjamin Moore Texas Sage
- 3 - Cement board and batten
Colour: Similar to Benjamin Moore Texas Sage
- 4 - Cement board and batten
Colour: Similar to Benjamin Moore Hale Navy
- 5 - Wood Railing
Colour: Similar to Benjamin Moore Brownstone
- 6 - Asphalt shingles
Colour: Warm Grey
- 7 - SBS roofing
Colour: to match shingles
- 8 - Wood beams and column
Colour: Similar to Benjamin Moore Brownstone
- 9 - Wood trellis structure
Colour: Pre weathered treatment
- 10 - Wood guard/Screen
Colour: Pre weathered treatment
- 11 - Metal flashing
Colour: Similar to Benjamin Moore Brownstone
- 12 - Metal rain water leader
Colour: Similar to Benjamin Moore Hale Navy
- 13 - Fibreglass window
Colour: dark bronze
- 14 - Wood trim
Colour: Similar to Benjamin Moore Brownstone
- 15 - Entry Doors
Colour: Similar to Benjamin Moore Townsend Harbour
- 16 - Wood Guard/Screen
Colour: Similar to Benjamin Moore Hale Navy

01 EAST ELEVATION Scale: 1:50



5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
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1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title

Section and Elevation

project no. 1906 date 24.09.26

revision no. sheet no.
A300

02 LONGITUDINAL SECTION Scale: 1:50



01 WEST ELEVATION Scale: 1:50

- 1 - Cement board shingles
Colour: Similar to Benjamin Moore Hale Navy
- 2 - Cement board shingles
Colour: Similar to Benjamin Moore Texas Sage
- 3 - Cement board and batten
Colour: Similar to Benjamin Moore Texas Sage
- 4 - Cement board and batten
Colour: Similar to Benjamin Moore Hale Navy
- 5 - Wood Railing
Colour: Similar to Benjamin Moore Brownstone
- 6 - Asphalt shingles
Colour: Warm Grey
- 7 - SBS roofing
Colour: to match shingles
- 8 - Wood beams and column
Colour: Similar to Benjamin Moore Brownstone
- 9 - Wood trellis structure
Colour: Pre weathered treatment
- 10 - Wood guard/Screen
Colour: Pre weathered treatment
- 11 - Metal flashing
Colour: Similar to Benjamin Moore Brownstone
- 12 - Metal rain water leader
Colour: Similar to Benjamin Moore Hale Navy
- 13 - Fibreglass window
Colour: dark bronze
- 14 - Wood trim
Colour: Similar to Benjamin Moore Brownstone
- 15 - Entry Doors
Colour: Similar to Benjamin Moore Townsend Harbour
- 16 - Wood Guard/Screen
Colour: Similar to Benjamin Moore Hale Navy

△	Re-Issued for Rezoning	24.09.26
△	Re-Issued for Rezoning	24.03.08
△	Re-Issued for Rezoning	23.04.28
△	Re-Issued for Rezoning	22.01.31
△	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

Greenway Studio Architecture ULC

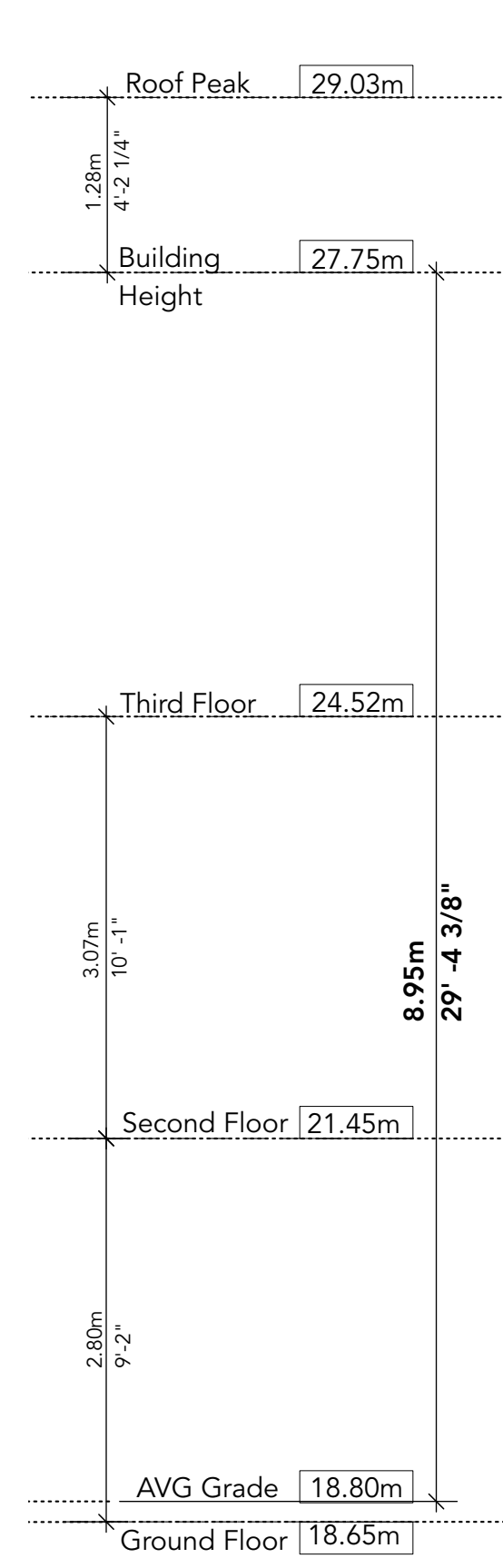
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project name
1132 Empress Avenue

sheet title
**Elevations
Driveway Profile**

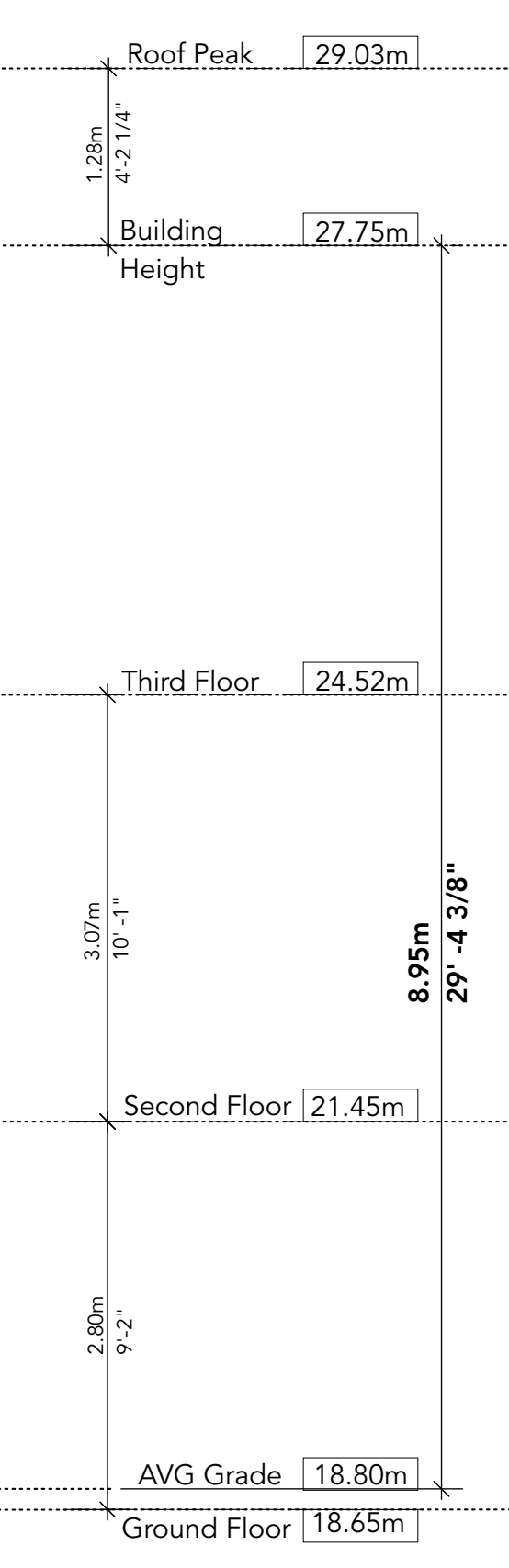
project no. 1906 date 24.09.26

revision no. sheet no.
A301



- 1 - Cement board shingles
Colour: Similar to Benjamin Moore Hale Navy
- 2 - Cement board shingles
Colour: Similar to Benjamin Moore Texas Sage
- 3 - Cement board and batten
Colour: Similar to Benjamin Moore Texas Sage
- 4 - Cement board and batten
Colour: Similar to Benjamin Moore Hale Navy
- 5 - Wood Railing
Colour: Similar to Benjamin Moore Brownstone
- 6 - Asphalt shingles
Colour: Warm Grey
- 7 - SBS roofing
Colour: to match shingles
- 8 - Wood beams and column
Colour: Similar to Benjamin Moore Brownstone
- 9 - Wood wells structure
Colour: Pre weathered treatment
- 10 - Wood guard/Screen
Colour: Pre weathered treatment
- 11 - Metal flashing
Colour: Similar to Benjamin Moore Brownstone
- 12 - Metal rain water leader
Colour: Similar to Benjamin Moore Hale Navy
- 13 - Fibreglass window
Colour: dark bronze
- 14 - Wood trim
Colour: Similar to Benjamin Moore Brownstone
- 15 - Entry Doors
Colour: Similar to Benjamin Moore Townsend Harbour
- 16 - Wood Guard/Screen
Colour: Similar to Benjamin Moore Hale Navy

02 NORTH ELEVATION (Scale: 1:50)



03 CROSS SECTION (Scale: 1:50)



Re-Issued for Rezoning	24.09.26
Re-Issued for Rezoning	24.03.08
Re-Issued for Rezoning	23.04.28
Re-Issued for Rezoning	22.01.31
Issued for Rezoning	21.04.28
Issued for Rezoning	21.01.29
Pre Application	

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project name
1132 Empress Avenue

sheet title

Section and Elevations

project no. 1906 date 24.09.26

revision no. sheet no.

5 A302

04 SOUTH ELEVATION (Scale: 1:50)



01 SOUTH ELEVATION PHOTO - EXISTING None



02 NORTH ELEVATION PHOTO- EXISTING None

△	Re-Issued for Rezoning	24.09.26
△	Re-Issued for Rezoning	24.03.08
△	Re-Issued for Rezoning	23.04.28
△	Re-Issued for Rezoning	22.01.31
↑	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title
Elevation Photos
Existing House

project no. 1906 date 24.09.26

revision no. sheet no.

△
A303



June 21, 9am



June 21, 12 noon



June 21, 3pm



June 21, 6pm



June 21, 6pm Existing Conditions (approx)

Reissued for Re-Zoning
and Parking Variance
Not for Construction



September 21, 9am



September 21, 12 noon



September 21, 3pm



December 21, 9am



December 21, 12 noon



December 21, 3pm

5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning Pre Application	21.01.29

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project name
1132 Empress Avenue

sheet title

Sun Study

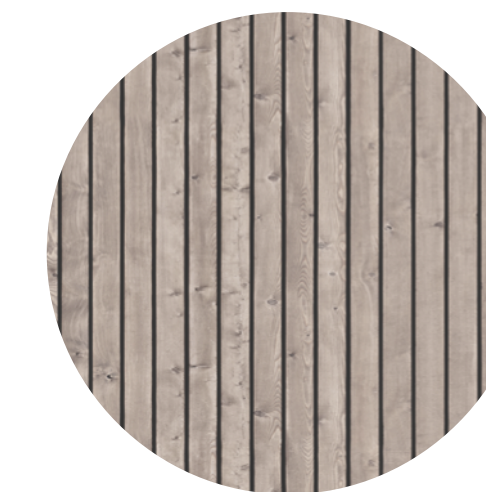
project no. 1906 date 24.09.26

revision no. sheet no.

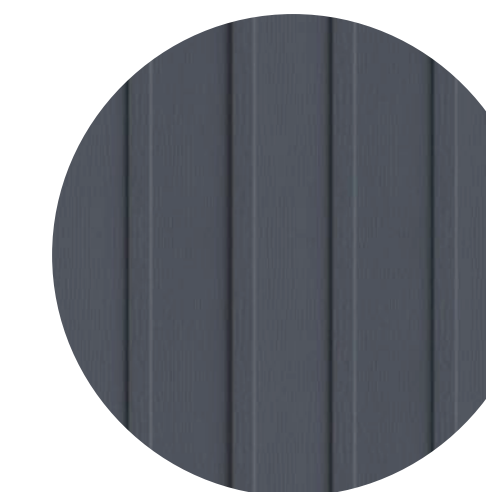
5 A701



Colour- Warm Grey



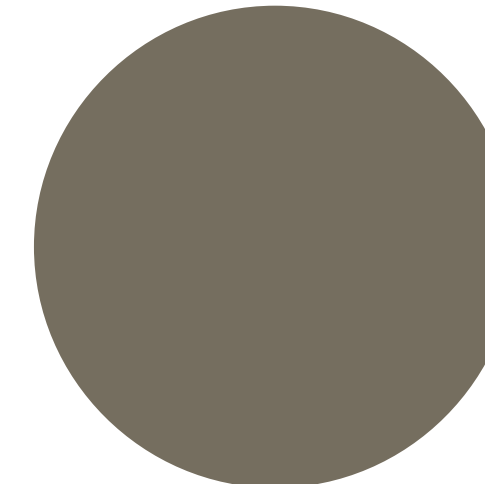
Colour- Pre-weathered wood treatment



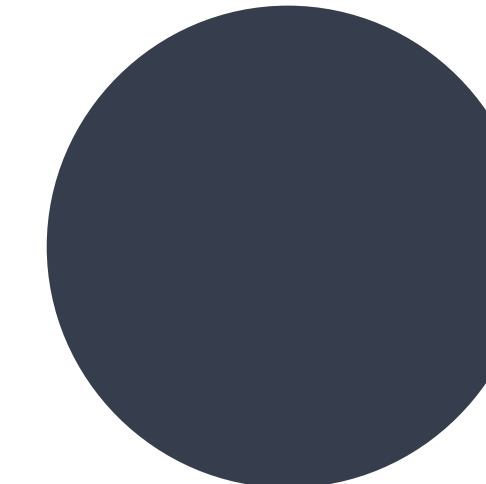
4- Cement board and batten
Colour- Similar to Benjamin Moore Hale Navy



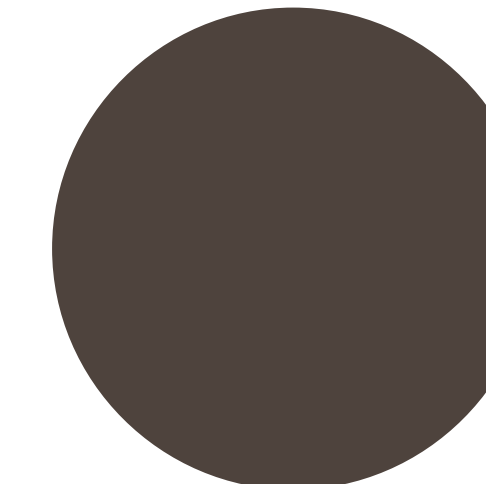
1 - Cement board shingles
Colour- Similar to Benjamin Moore Hale Navy



Colour- Similar to Benjamin Moore Texas Sage



Colour- Similar to Benjamin Moore Hale Navy



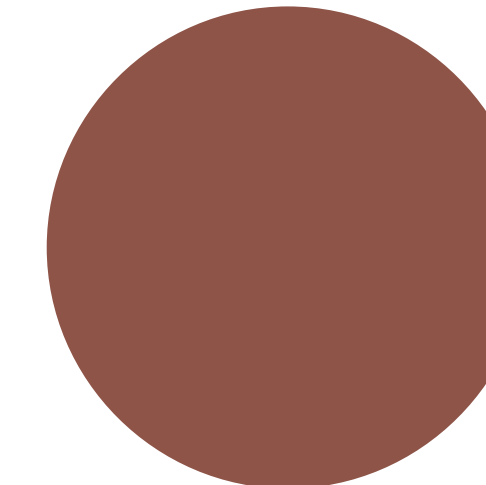
Colour- Similar to Benjamin Moore Brownstone



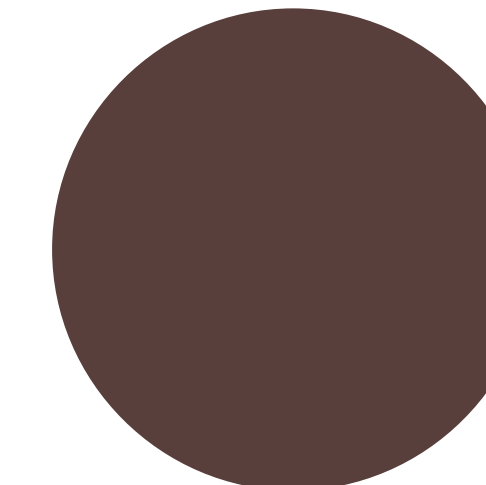
2 - Cement board shingles
Colour- Similar to Benjamin Moore Texas Sage



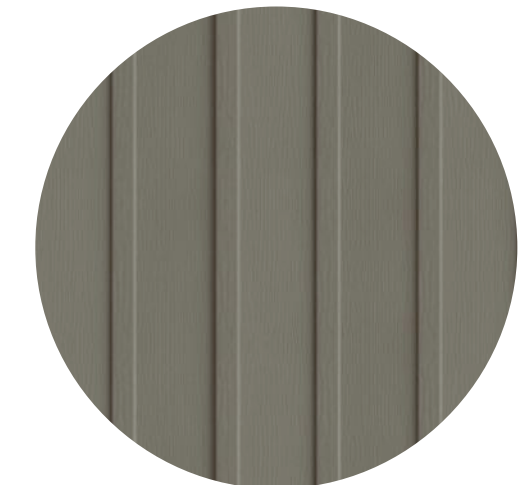
Colour pallet inspriation



Colour- Similar to Benjamin Moore Georgian Brick



Colour- Similar to Benjamin Moore Townsend Harbour



3 - Cement board and batten
Colour- Similar to Benjamin Moore Texas Sage



- 1 - Cement board shingles
Colour- Similar to Benjamin Moore Hale Navy
- 2 - Cement board shingles
Colour- Similar to Benjamin Moore Texas Sage
- 3 - Cement board and batten
Colour- Similar to Benjamin Moore Brownstone
- 4 - Cement board and batten
Colour- Similar to Benjamin Moore Hale Navy
- 5 - Wood Railing
Colour- Similar to Benjamin Moore Brownstone
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Colour- Warm Grey
- 7 - SBS roofing
Colour to match shingles
- 8 - Wood beams and column
Colour- Similar to Benjamin Moore Brownstone
- 9 - Wood trellis structure
Colour- Pre weathered treatment
- 10 - Wood guard/Screen
Colour- Pre weathered treatment
- 11 - Metal flashing
Colour- Similar to Benjamin Moore Brownstone
- 12 - Metal rain water leader
Colour- Similar to Benjamin Moore Hale Navy
- 13 - Fibreglass window
Colour dark bronze
- 14 - Wood trim
Colour- Similar to Benjamin Moore Brownstone
- 15 - Entry Doors
Colour- Similar to Benjamin Moore Townsend Harbour

Colour and material samples must be approved before purchase of materials

4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

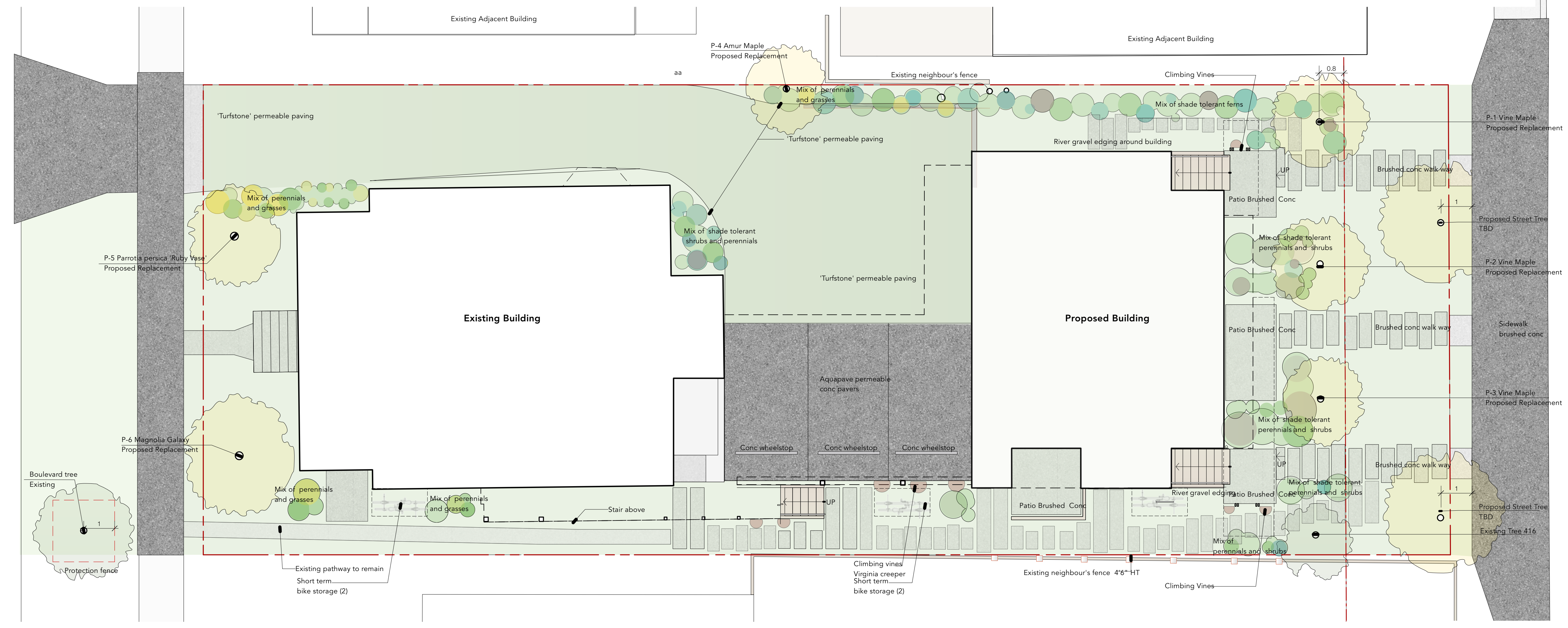
sheet title

Materials and Colour Palette

project no. 1906 date 24.09.26

revision no. sheet no.

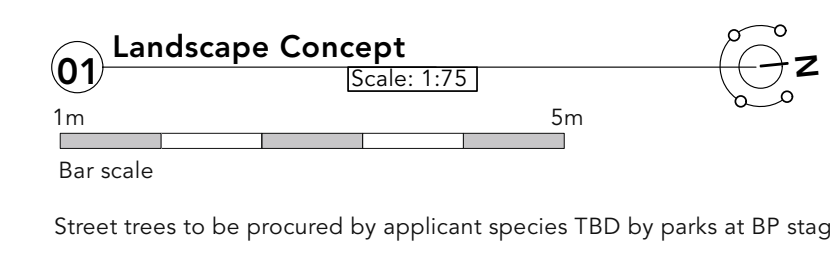
A702



Note: Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treerepairs@victoria.ca 48 hours prior to the required inspection time.

Tree Planting Inspections

- Excavated tree pits, soil cells, root barriers
- Trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)
- Completed planting – tree planting, grate/guard, stakes etc.



Common Name	Botanical Name	Type	Sun Requirements	Notes	QTY
Vine maple	Acer Circinatum	Tree	Full Sun- Shade	Tree P-1 Native, Drought Tolerant	1
Vine maple	Acer Circinatum	Tree	Full Sun- Shade	Tree P-2 Native, Drought Tolerant	1
Vine maple	Acer Circinatum	Tree	Full Sun- Shade	Tree P-3 Native, Drought Tolerant	1
Amur Maple	Acer Grinalla	Tree	Sun Part Shade	Tree P-4 Hardy, Part Drought Tolerant	1
Magnolia Galaxy	Magnolia x Galaxy	Tree	Full Sun-Part Sun	Tree P-5 Pollinator	1
Ruby Vase	Parrotia Persica	Tree	Full Sun-Part Sun	Tree P-6 Pollinator, Drought Tolerant	1
Hybrid sweet olive	Osmanthus burkwoodii	Shrub	Full Sun - Shade	Drought tolerant	2
'Thunderbird' evergreen	Vaccinium ovatum	Shrub	Native, Drought tolerant, Pollinator		5
Huckleberry	'Thunderbird'	Shrub	Full Sun - Shade	Native, Drought tolerant, Pollinator	6
Salal	Gaultheria Shallon	Shrub	Full Sun - Shade	Native, Drought tolerant, Pollinator	6
Saskatoon,	Amelanchier alnifolia	Shrub	Part Sun/ Shade	Native, Drought tolerant, Pollinator	4
Western serviceberry	Sarcococca hookeriana	Shrub	Part Sun/ Shade	Drought tolerant	2
Dwarf sweetbox	Sarcococca hookeriana	Shrub	Part Sun/ Shade	Drought tolerant	2
'May Night'	Salvia nemerosa	Perennial	Full Sun, Part Sun	Drought tolerant	4
wood sage	'May Night'	Perennial	Part Sun, Shade	Drought tolerant	4
Western wild ginger	Asarum caudatum	Perennial	Part Sun, Shade	Drought tolerant	2
Spanish Lavender	Lavandula stoechas	Perennial	Full Sun, Part Sun	Drought tolerant	8
Mexican Feather Grass	Nassella tenuissima	Grass	Full Sun	Drought tolerant	3
Elijah Blue Fescue	Festuca glauca	Grass	Full Sun - Shade	Drought tolerant	6
Blue Oat Grass	Helictotrichon sempervirens	Grass	Full Sun	Drought tolerant	5
Sea Urchin	Festuca glauca	Grass	Full Sun - Shade	Drought tolerant	4
Blue Fescue	'Sea Urchin'	Grass	Full Sun - Shade	Drought tolerant	4
Micro clover	Trifolium repens L. var. Pirouette	Cover	Full Sun, Part Sun	Native, Drought tolerant, Pollinator	Cover
Sword Fern	Polystichum Munitum	Fern	Part Sun, Shade	Native, Drought tolerant	16
Maidenhair Spleenwort	Asplenium Trichomanes	Fern	Part Sun, Shade	Native, Drought tolerant	4
Deer fern	Blechnum spicant	Fern	Part Sun, Shade	Native	2
Climbing Hydrangea	Hydrangea anomala 'var. petiolaris'	Vine	Sun- Shade		8
Virginia Creeper	Parthenocissus quinquefolia	Vine	Sun- Shade	Drought tolerant	4

Trees



Climbing Vines



Shrubs



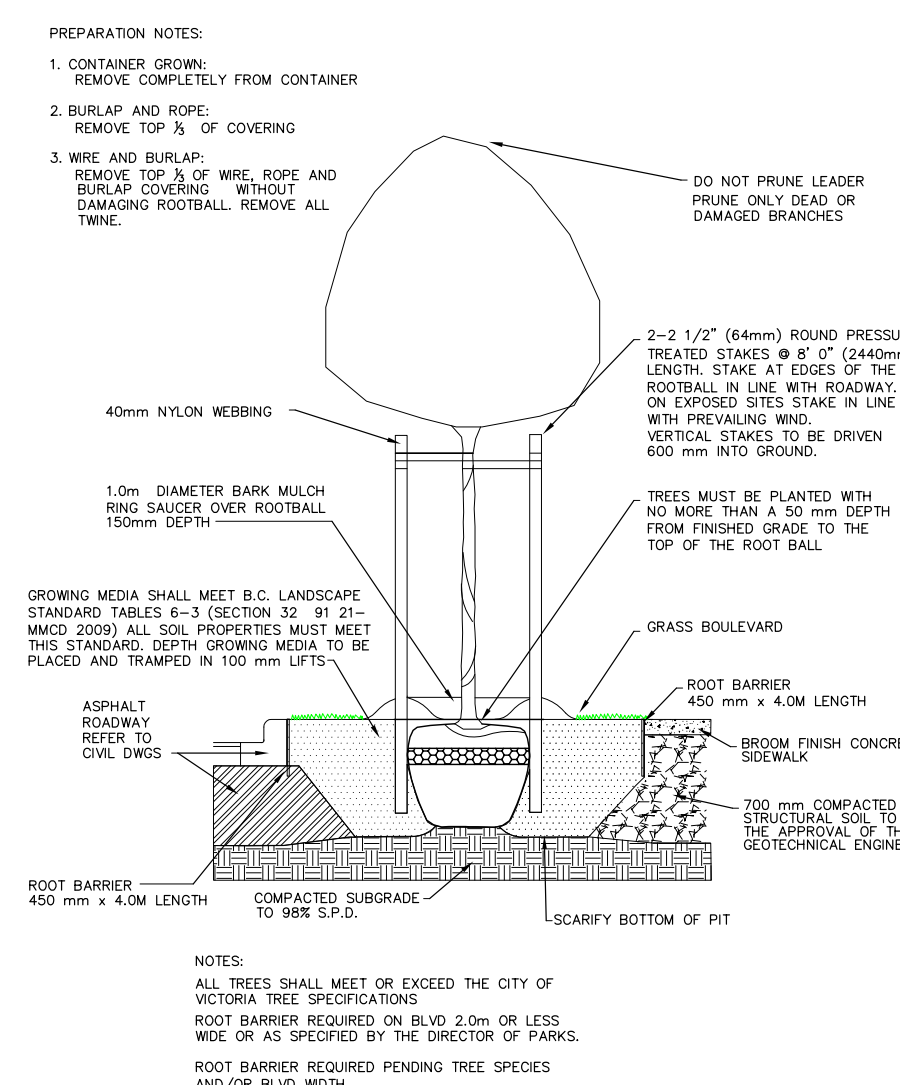
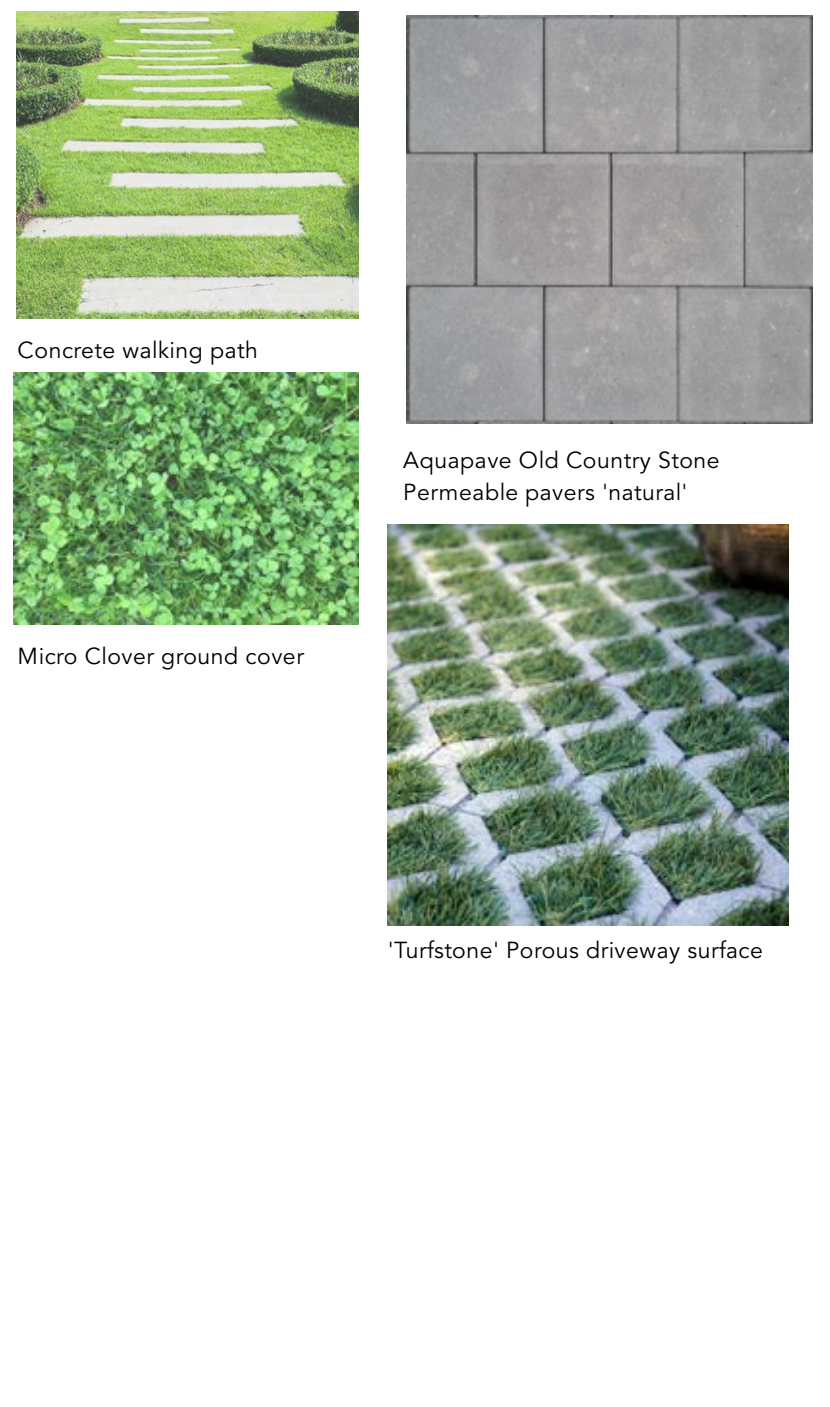
Ferns



Grasses



Driveway and Parking Area



Re-Issued for Re-Zoning	24.09.26
Re-Issued for Re-Zoning	24.03.08
Re-Issued for Re-Zoning	23.04.28
Re-Issued for Re-Zoning	22.01.31
Issued for Re-Zoning	21.04.28
Issued for Re-Zoning	21.01.29
Pre Application	

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project name
1132 Empress Avenue

sheet title
Landscape Concept

project no. 1906 date 24.09.26

revision no. sheet no.

L100

- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG BAY STREET, EMPIRE STREET AND EMPRESS AVENUE DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

- SEWER AND DRAIN:**
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100mm PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150mm PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
 - THE CITY OF VICTORIA PUBLIC WORKS SHALL INSTALL THE SEWER CONNECTION TO THE PROPERTY LINE AT 1132-1134 EMPRESS AVENUE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA PUBLIC WORKS SHALL REPLACE THE DRAIN SERVICE CONNECTION TO 150mm PVC DR28 DOW THE EXISTING TRENCH WITH EXISTING INVERTS.
 - ESTABLISH THE LOW POINT OF THE EXISTING PERIMETER TILE AROUND THE EXISTING HOUSE AND CONNECT TO THE NEW DRAIN CONNECTION.
 - CONTRACTOR TO DYE TEST THE EXISTING HOUSE TO DETERMINE THE DRAIN OUTLET LOCATION AT THE BOULEVARD.
 - CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
 - VIDEO INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.
- WATER:**
- INSTALL 38mm MUNICIPEX SERVICE CONNECTION COMPLETE WITH DOUBLE STRAP, STAINLESS STEEL SERVICE SADDLES TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE. FINAL LOCATION TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
 - THE CITY OF VICTORIA SHALL INSTALL THE PROVISIONAL WATER SERVICE CONNECTION TO THE PROPERTY LINE.
 - WATER METER TO BE 25mm, PROVIDED AND INSTALLED BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.

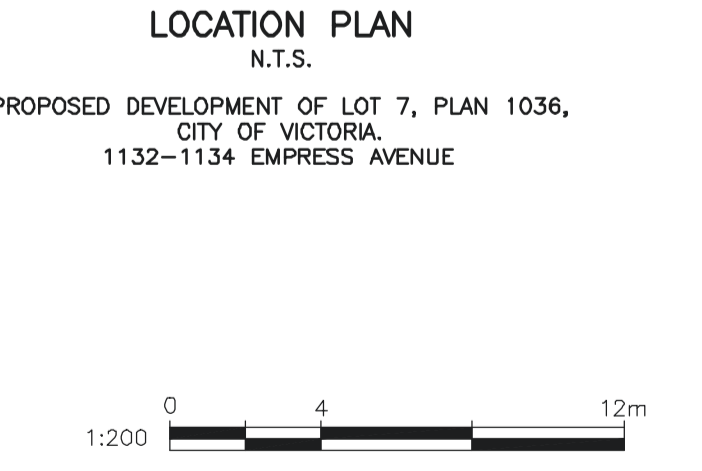
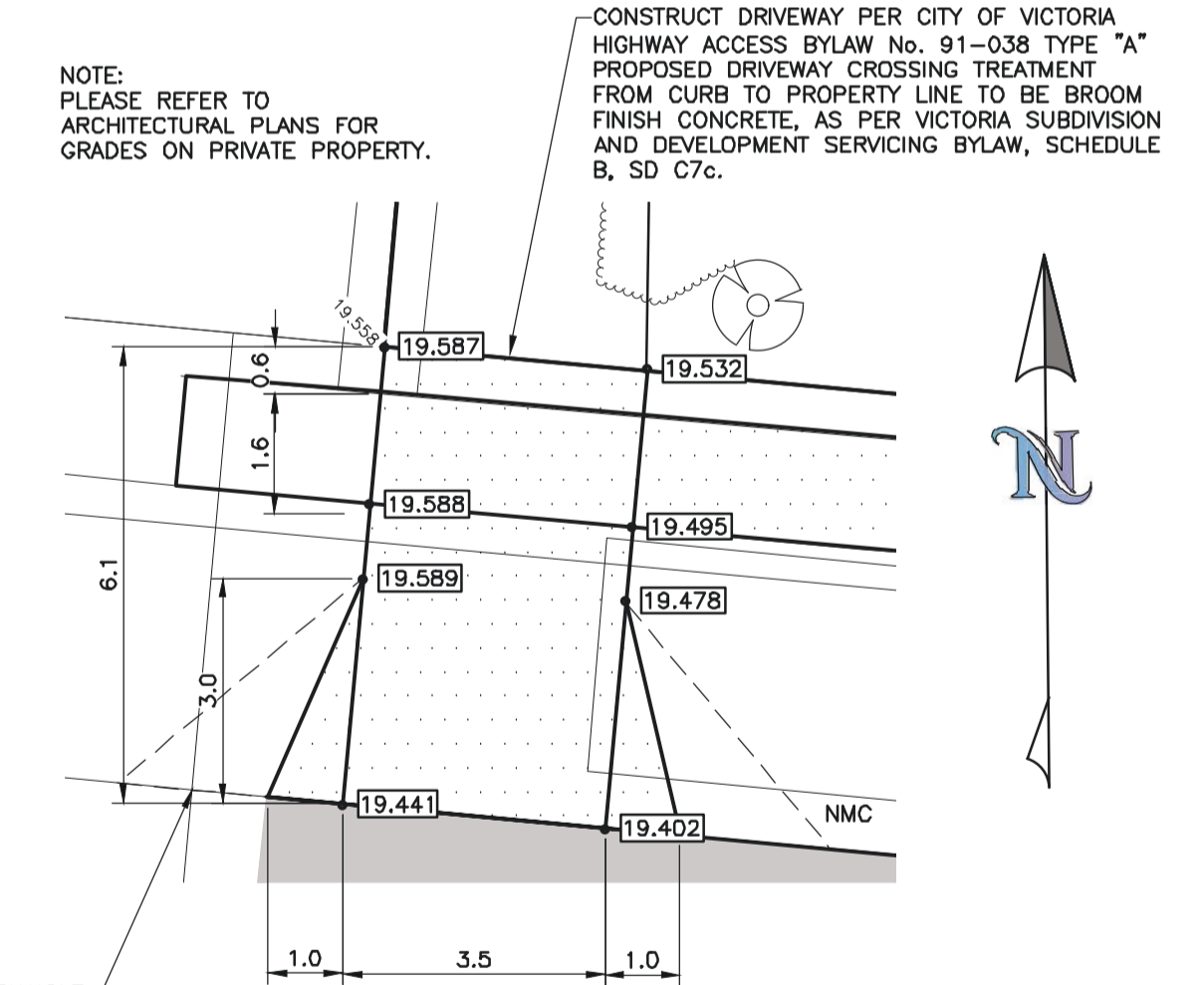
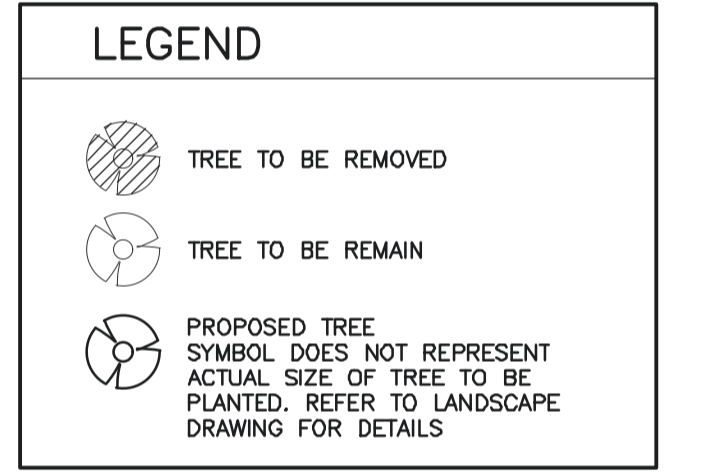
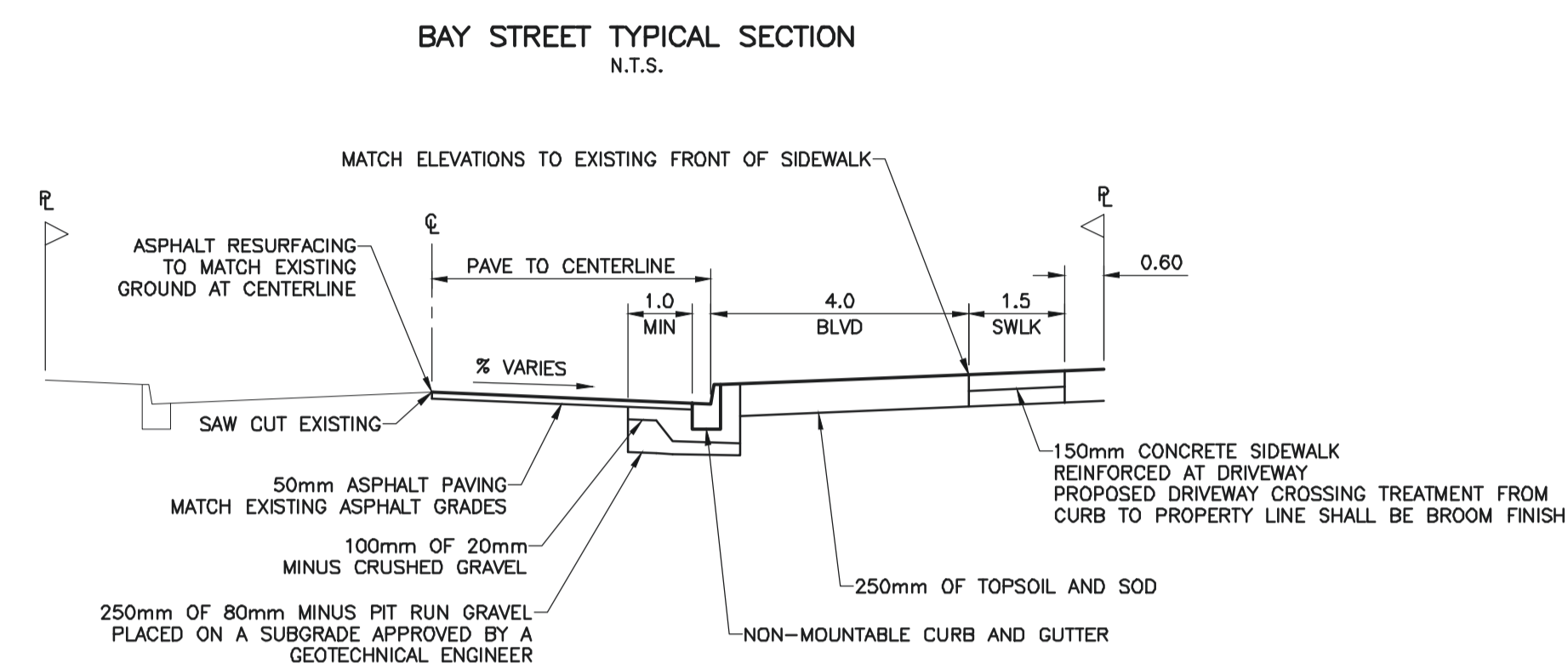
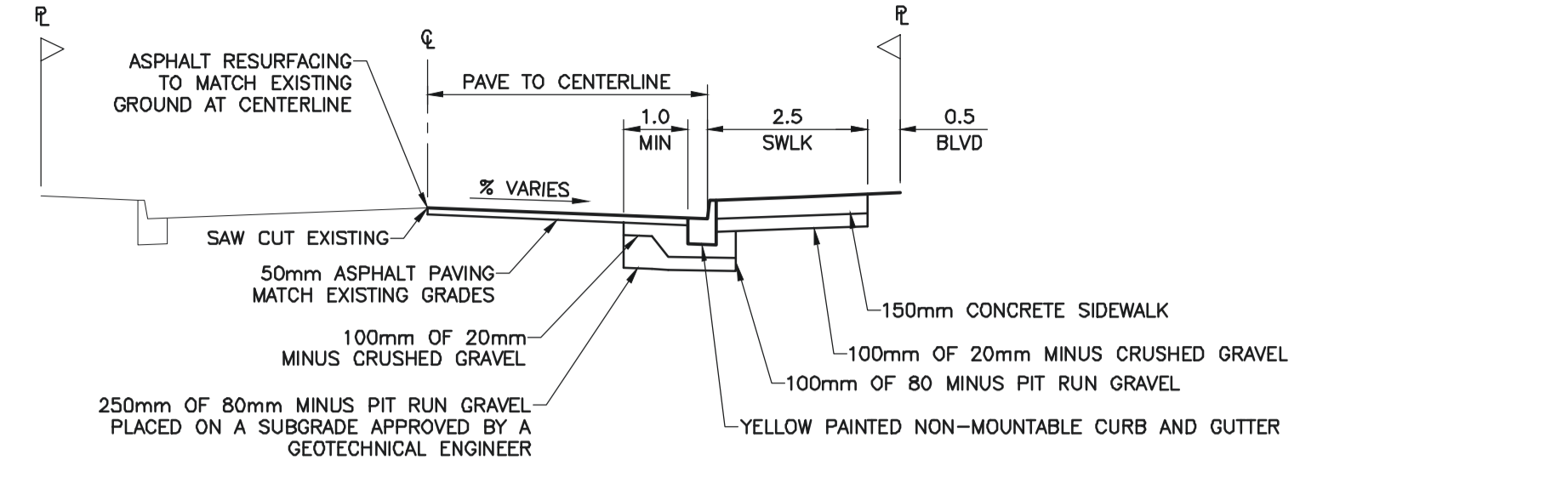
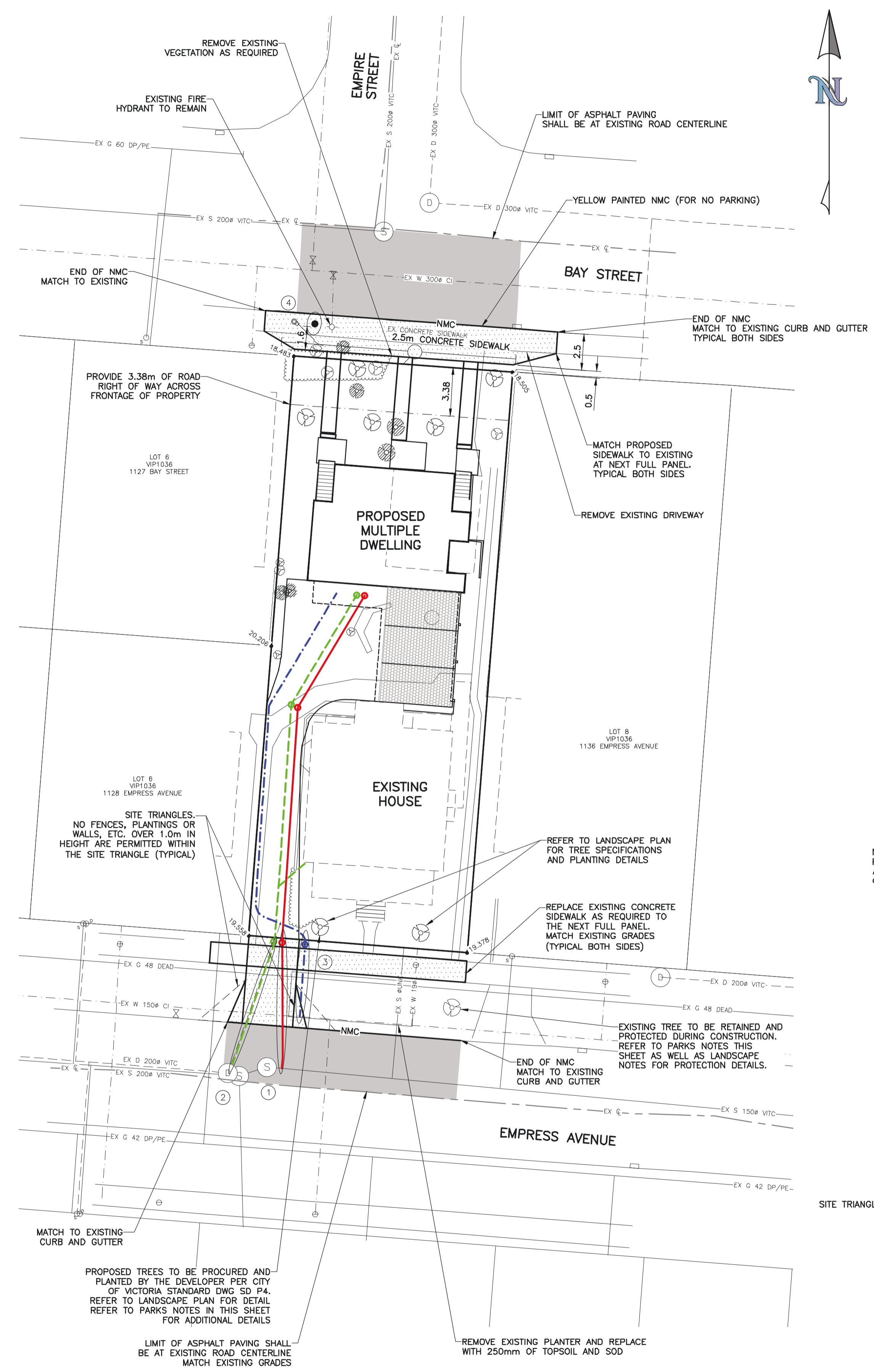
- ROAD:**
- CONSTRUCT ALL ROADWAYS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.

- PARKS:**
- OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
 - PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
 - OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
 - THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.
 - THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ON SITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
 - THE DEVELOPER SHALL PROCURE AND PLANT THE BOULEVARD TREES. CITY OF VICTORIA PARKS DEPARTMENT SHALL SELECT THE SPECIES AT BUILDING PERMIT STAGE.

- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS:**
- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - PROPOSED DEVELOPMENT OF 1132-1134 EMPRESS AVENUE TO BE SERVICED OVERHEAD.
 - BC HYDRO SHALL REPLACE THE EXISTING HYDRO POLE AT THE DEVELOPER'S EXPENSE. REFER TO BC HYDRO'S IFC DRAWING NO. 500-U07-09142.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.

- BOULEVARD TREES**
- PROPOSED STREET TREES MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBMISSION BYLAW AND THE CURRENT VERSION OF THE CANADIAN LANDSCAPE STANDARD. PLANTING DETAILS CAN BE FOUND IN SCHEDULE B3-4 OR ON THE APPROVED LANDSCAPE PLAN. THE FOLLOWING TREE INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

- TREE PLANTING INSPECTIONS**
- EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS
 - TREES PRIOR TO PLANTING. (PARKS STAFF CAN INSPECT TREES PRIOR TO SHIPPING AT LOCAL NURSERIES. PHOTOS CAN BE PROVIDED FROM UP-ISLAND AND MAINLAND NURSERIES. TREE MUST MEET THE SPEC UPON DELIVERY.)
 - COMPLETED PLANTING - TREE PLANTING, GRATE/GUARD, STAKES ETC.



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATION.

REQUEST LOCATE TICKETS AT

LEGEND - Proposed services shown in bold or colour

WATER	SEWER MANHOLE	HYDRANT	ASPHALT	GAS	NON-MTLB CURB	NMC
SEWER	DRAIN MANHOLE	VALVE	CONCRETE	UNDERGROUND HYDRO/TEL/SHAW	MOUNTABLE CURB	MC
DRAIN	SEWER CLEANOUT	METER	GRAVEL	COBRA/DWMT LIGHT	FLAT CURB	FC
DITCH/SWALE	DRAIN CLEANOUT	REDUCER	BRICK	ORNAMENTAL STREETLIGHT	BARRIER CURB	BC
CULVERT	MONUMENT	FLUSH	EDGE OF PAVEMENT	POWER POLE	INVERT GUTTER	IG
HEADWALL	LOT PIN	TREE	ROAD SIGN	ANCHOR		
CATCHBASIN	LEAD PLUG	BUSLINE				

REVISIONS

No.	DESCRIPTION	DATE
3	ADDED UNDERGROUND BC HYDRO SERVICE	24-09-27
2	REVISED PER CITY OF VICTORIA COMMENTS	24-05-30
1	REVISED PER CITY OF VICTORIA COMMENTS	24-02-03

SEAL

Pacific Vista Consulting Ltd.
 3111 Woodpark Drive, Victoria, BC
 V9C 1P2 Telephone: 250-516-4143

DESIGNED BY: WRL
 CIVIL DESIGN SERVICES WRL.CIVILDESIGN@GMAIL.COM TEL: (250) 686-2267

ENGINEER: JUS
 DATE: OCTOBER 2021
 B.M.: GCM 25-104
 ELEV.: 18,386m
 SCALE: H 1:200 V N/A

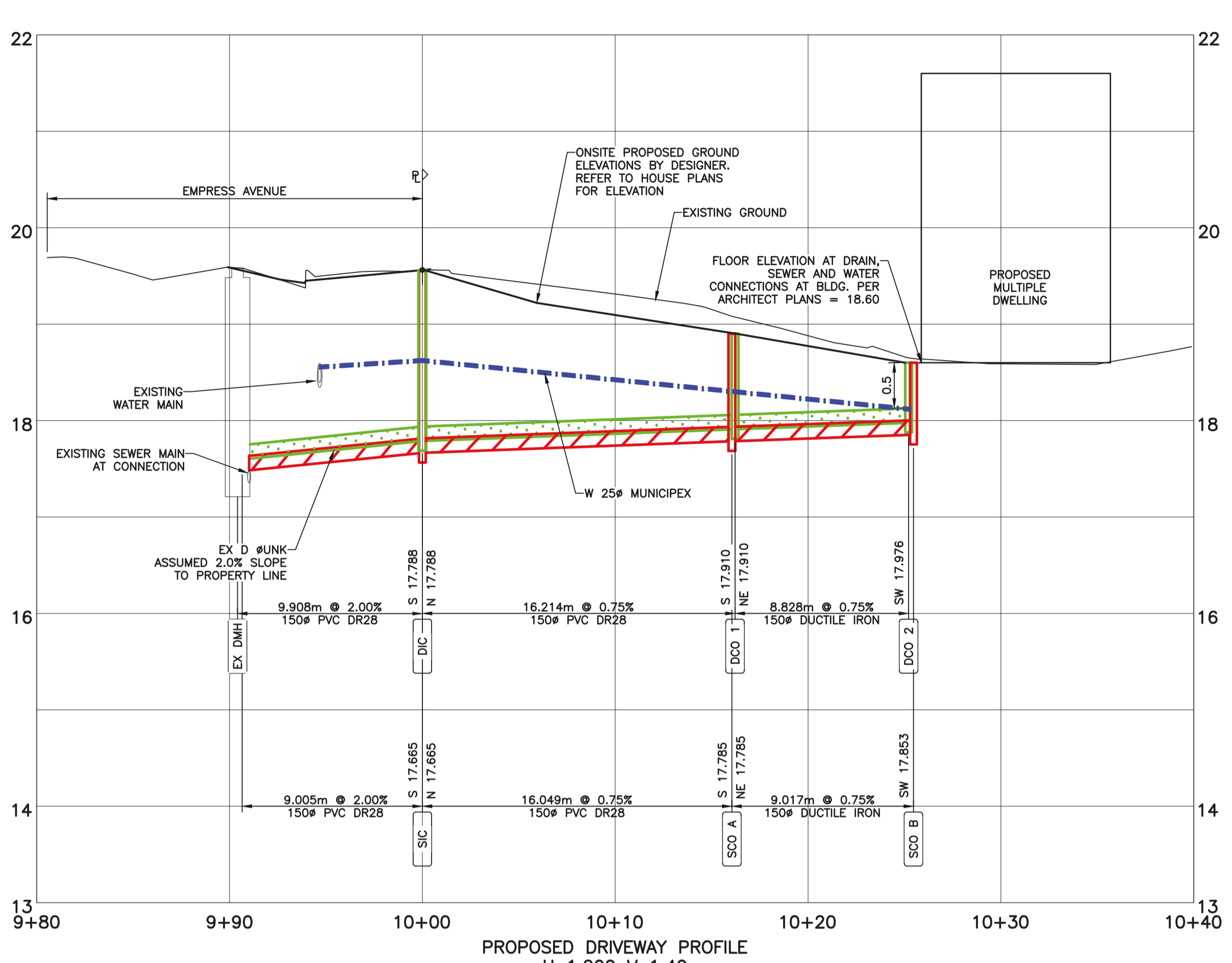
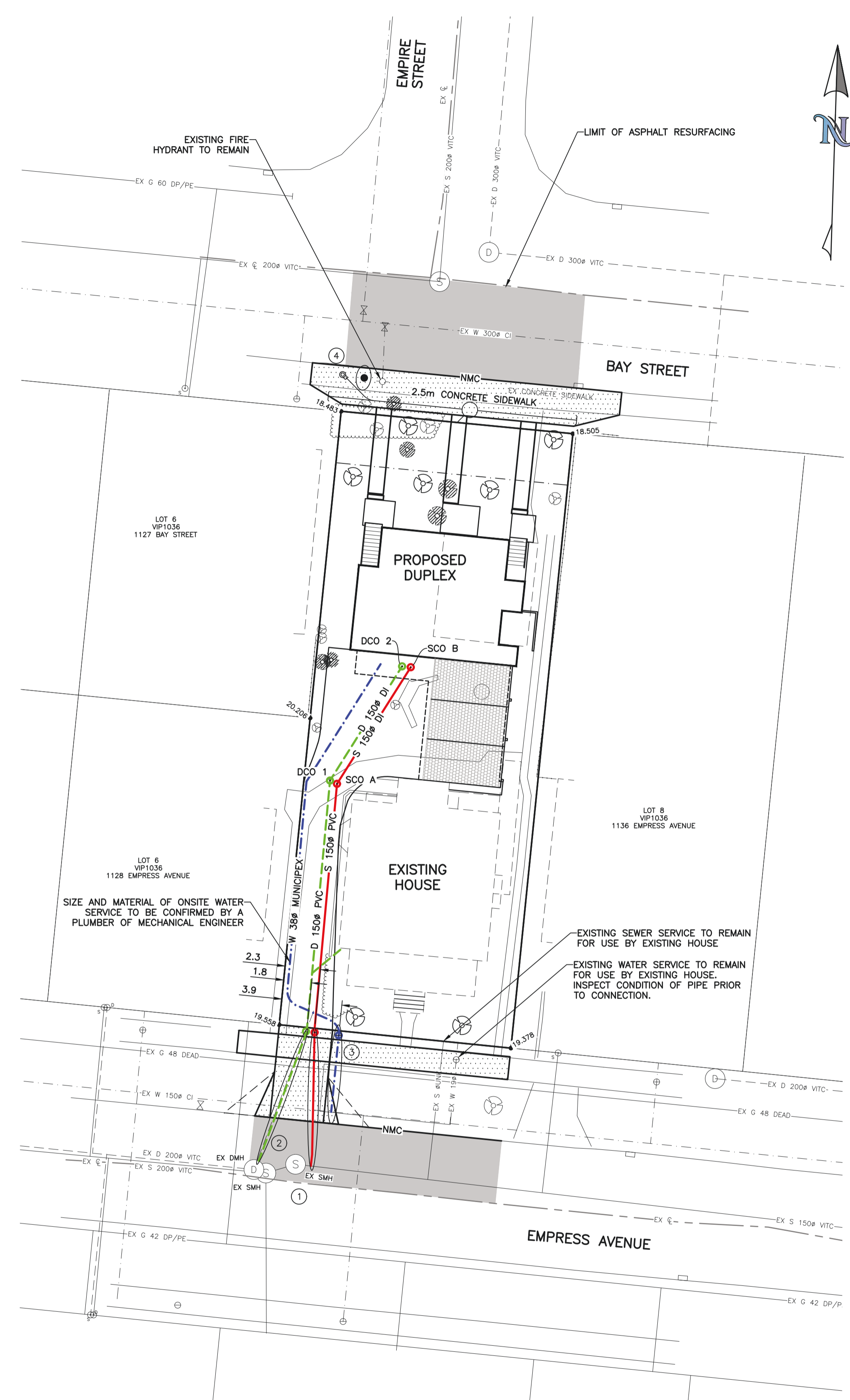
PROJECT

1132-1134 EMPRESS AVE
 Taylor McCarthy

OVERALL SITE PLAN
 GENERAL NOTES, KEYPLAN AND OFFSITE GRADING

PVC PROJECT NUMBER: 21-143
 GOVERNING AUTHORITY FILE No.:

SHEET 1 OF 2
 DRAWING No. WRL 017 01
 REV. 3



- SEWER AND DRAIN NOTES**
- THE CITY OF VICTORIA PUBLIC WORKS SHALL INSTALL THE SEWER CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA PUBLIC WORKS SHALL REPLACE THE DRAIN SERVICE CONNECTION TO 150mm PVC DR28 ALONG THE EXISTING TRENCH. MATCH EXISTING INVERTS.
- WATER NOTES**
- THE CITY OF VICTORIA SHALL INSTALL THE PROVISIONAL 38mm WATER SERVICE CONNECTION c/w THE 25mm WATER METER TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.

UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SEWER
PROPOSED DEPTH (m)	1.6200	1.7300
PROPOSED INVERT ELEVATION (m)	17.7880	17.6650
MAXIMUM DEPTH REQUESTED		

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	NAME	SIGNATURE	
BC HYDRO		PENDING	
TELUS		PENDING	
FORTIS			
SHAW	Shawn O'Connor	<i>Shawn O'Connor</i>	Jan 28/2022
LAND DEVELOPMENT			
TRANSPORTATION			
UNDERGROUND			
PARKS			



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REQUEST LOCATE TICKETS AT

LEGEND - Proposed services shown in bold or colour			
WATER	SEWER MANHOLE	HYDRANT	ASPHALT
SEWER	DRAIN MANHOLE	VALVE	CONCRETE
DRAIN	SEWER CLEANOUT	METER	GRAVEL
DITCH/SWALE	DRAIN CLEANOUT	REDUCER	BRICK
CULVERT	MONUMENT	FLUSH	EDGE OF PAVEMENT
HEADWALL	LOT PIN	TREE	POWER POLE
CATCHBASIN	LEAD PLUG	BUSHLINE	ANCHOR
			NON-MTLB CURB NMC
			MOUNTABLE CURB MC
			FLAT CURB FC
			BARRIER CURB BC
			INVERT GUTTER IG
			COBRA/DAWT LIGHT
			ORNAMENTAL STREETLIGHT
			ROAD SIGN

REVISIONS		
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Civil Design Services
WRL.CivilDesign@gmail.com
TEL: (250) 686-2287

ENGINEER: JUS
DATE: OCTOBER 2021
B.M.: GCM 25-104
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SCALE: H 1:200 V N/A

PROJECT
1132-1134 EMPRESS AVE
Taylor McCarthy

SERVICING PLAN AND PROFILE

PVC PROJECT NUMBER	21-143
GOVERNING AUTHORITY FILE No.	
SHEET	2 OF 2
DRAWING No.	WRL 017 02
REV.	3