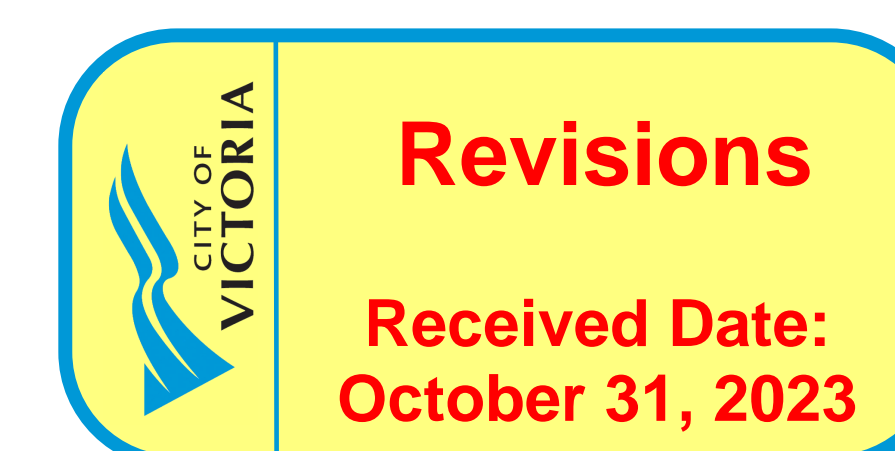


REISSUED FOR DEVELOPMENT PERMIT
APRIL 11, 2022



architectural

- A0.01 General Notes and Assemblies
- A0.02 Perspectives
- A0.03 Sun & Shadow Studies
- A0.04 Average Grade Key Plan
- A1.01 Survey Plan
- A1.02 Overall Context Plan
- A1.03 Site Context Plan & Data Sheet
- A1.04 Detailed Site Plan
- A1.05 Site Photos
- A2.01A Parkade Level P1 Plan
- A2.01B Parkade Level P2 Plan
- A2.02 Main Floor Plan
- A2.03 Second Floor Plan
- A2.04 Third Floor Plan
- A2.05 Fourth Floor Plan
- A2.06 Fifth Floor Plan
- A2.07 Sixth Floor Plan
- A2.08 Seventh Floor Plan
- A2.09 Eighth Floor Plan
- A2.10 Mech. Penthouse Plan
- A2.11 Roof Plan
- A4.01 Exterior Elevations
- A4.02 Exterior Elevations
- A4.03 Exterior Elevations
- A4.04 Exterior Elevations
- A4.05 Streetscape Elevations
- A5.01 Building Sections
- A5.02 Building Sections

landscape

- L0.1 Tree Management Plan
- L1.1 Landscape Plan - Ground Floor
- L1.2 Landscape Plan - Roof Levels
- L2.1 Planting Plan - Ground Floor
- L2.2 Planting Plan - Roof Levels
- L3.1 Planting Details
- L3.2 Landscape Sections and Details
- L3.3 Landscape Sections and Details

257 BELLEVILLE STREET
VICTORIA, BRITISH COLUMBIA

Prepared for the City of Victoria on behalf of ADZ Properties Ltd.

Client
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Project No.
20.118

set no.



VIEW FROM BELLEVILLE STREET



VIEW FROM INNER HARBOR



VIEW FROM QUEBEC STREET



VIEW FROM PENDRAY & QUEBEC STREET

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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PERSPECTIVES

A0.02 sheet

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checked	DL	20.118	project no.

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MARCH SHADOW STUDIES



MARCH 21ST 2011 - 10.00am

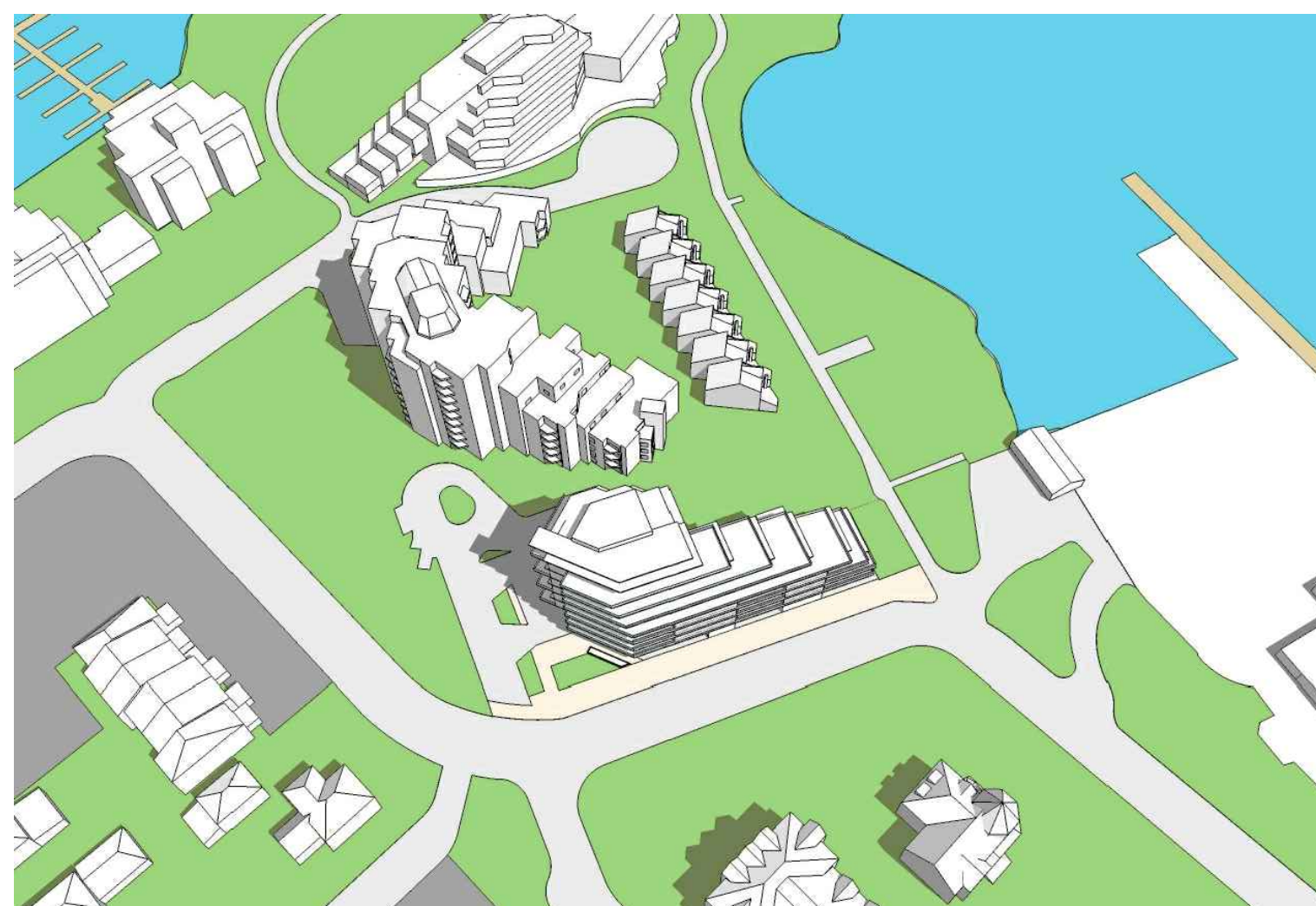


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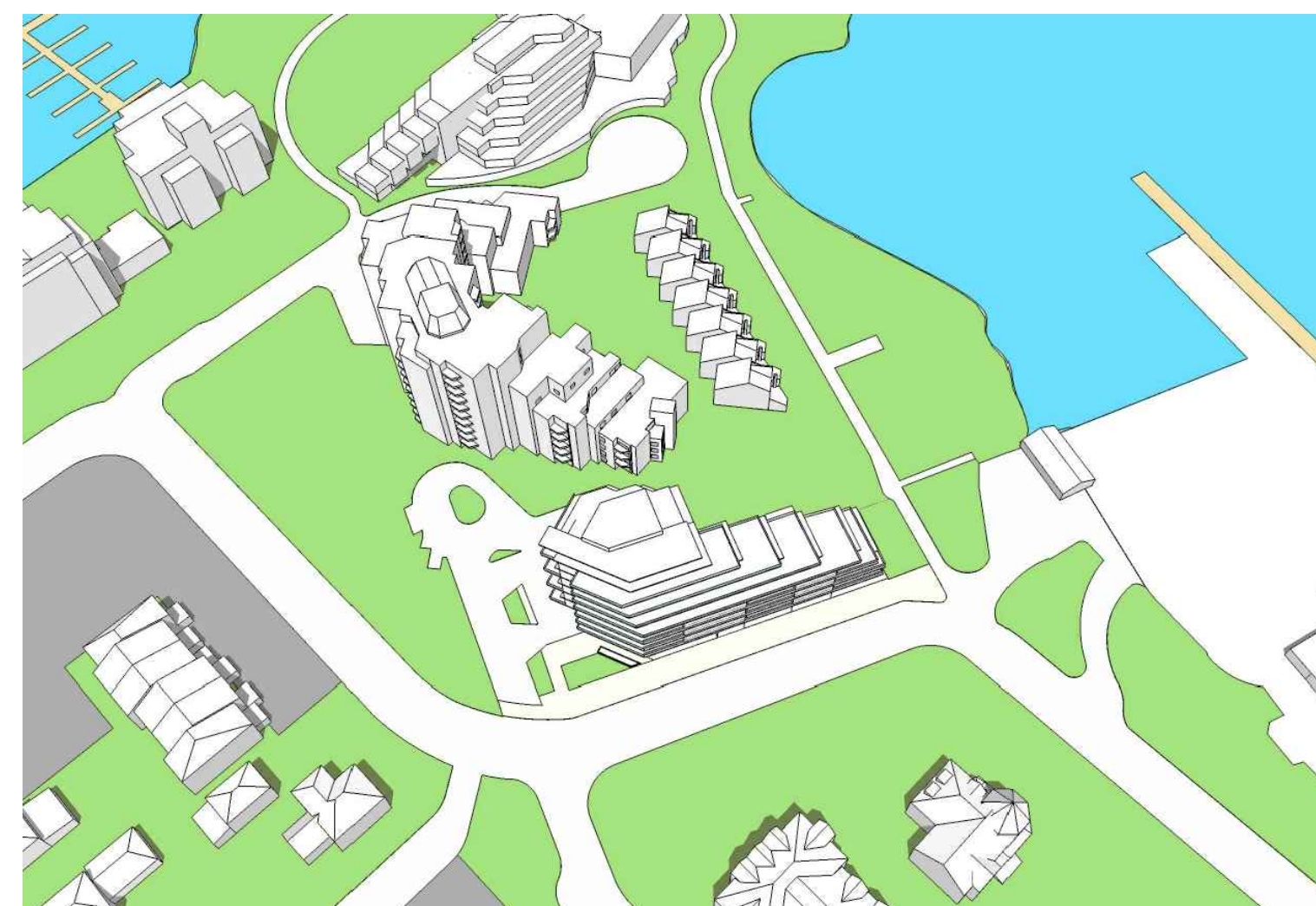


MARCH 21ST 2011 - 2.00pm

JUNE SHADOW STUDIES



JUNE 21ST 2011 - 10.00am



JUNE 21ST 2011 - 12.00pm



JUNE 21ST 2011 - 2.00pm

SEPTEMBER SHADOW STUDIES



SEPTEMBER 21ST 2011 - 10.00am



SEPTEMBER 21ST 2011 - 12.00pm



SEPTEMBER 21ST 2011 - 2.00pm

DECEMBER SHADOW STUDIES



DECEMBER 21ST 2011 - 10.00am



DECEMBER 21ST 2011 - 12.00pm



DECEMBER 21ST 2011 - 2.00pm

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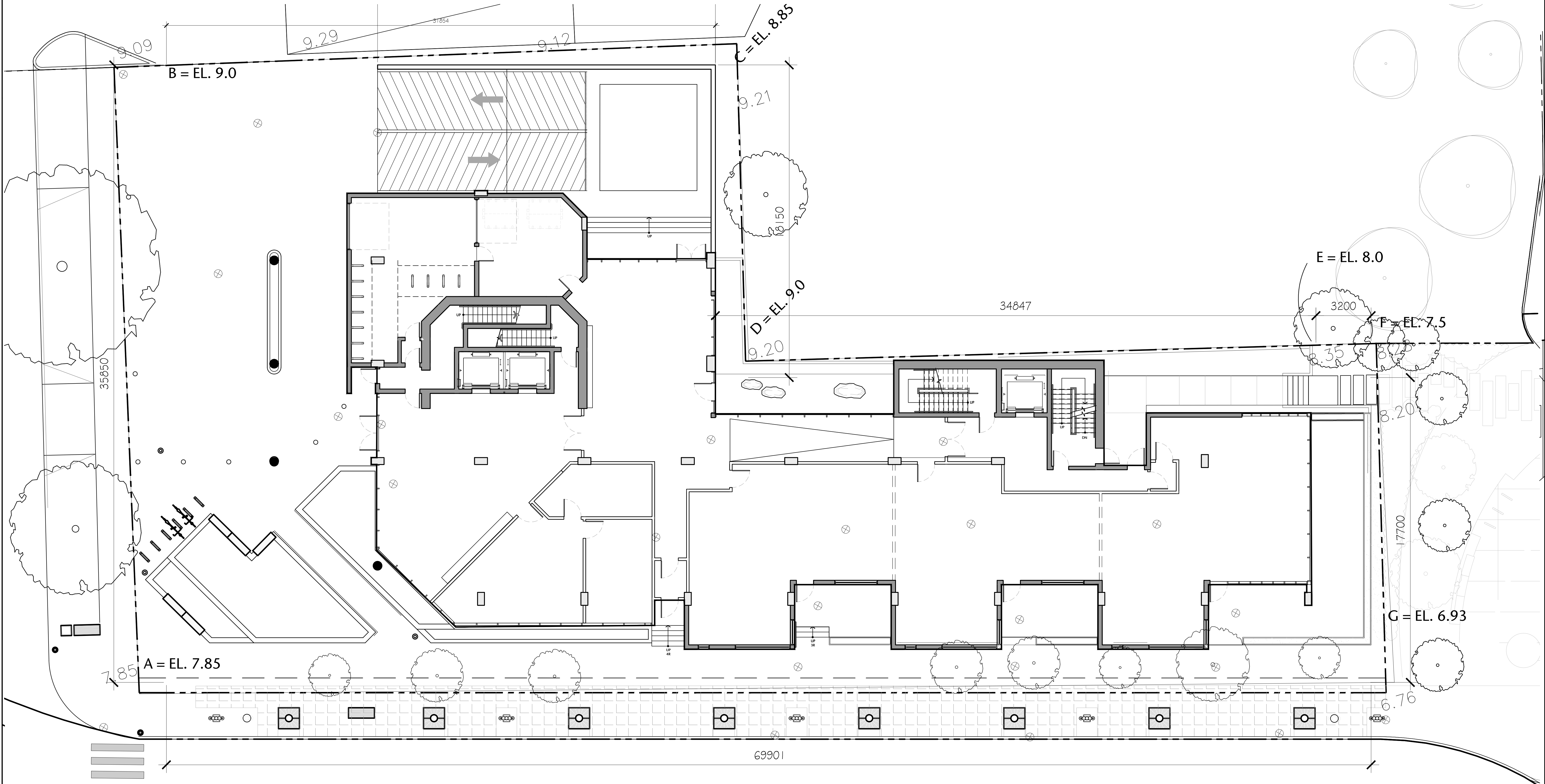
SUN & SHADOW STUDIES

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checked	20.118	

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1 AVERAGE GRADE KEY PLAN
A0.04 1:100

Grade Points	Average of Points	Distance between Points	Totals
A&B	$7.85+9/2 = 8.425$	35.850m	302.036
B&C	$9+8.85/2 = 8.925$	31.854m	284.297
C&D	$8.85+9/2 = 8.925$	18.150m	161.989
D&E	$9+8/2 = 8.5$	34.847m	296.199
E&F	$8+7.5/2 = 7.75$	3.2m	24.8
F&G	$7.5+6.93/2 = 7.215$	17.7m	127.705
G&A	$6.93+7.85/2 = 7.39$	69.901m	516.568
Totals:		211.502m	1,713.594

Grade Calculation: $1,713.594/211.502 = 8.102m$

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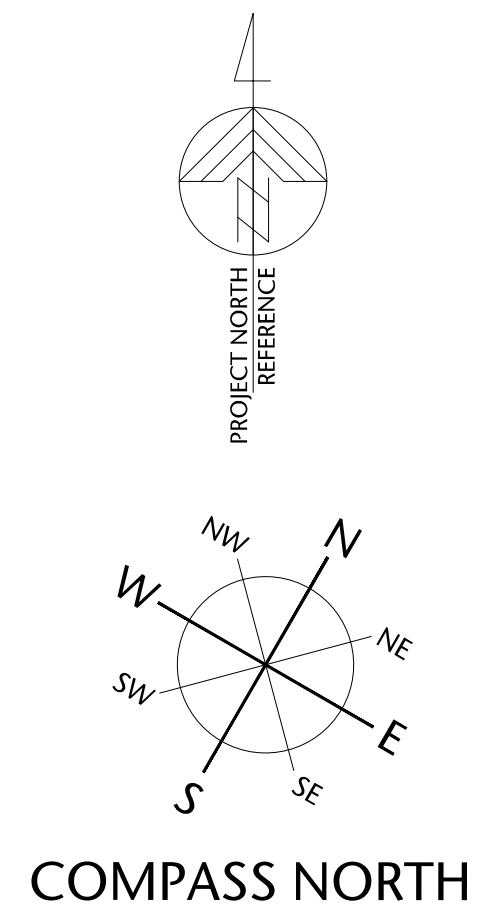
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AVERAGE GRADE KEY PLAN

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drawn	AS SHOWN	scale
DS	DL	project no.
checked	20.118	

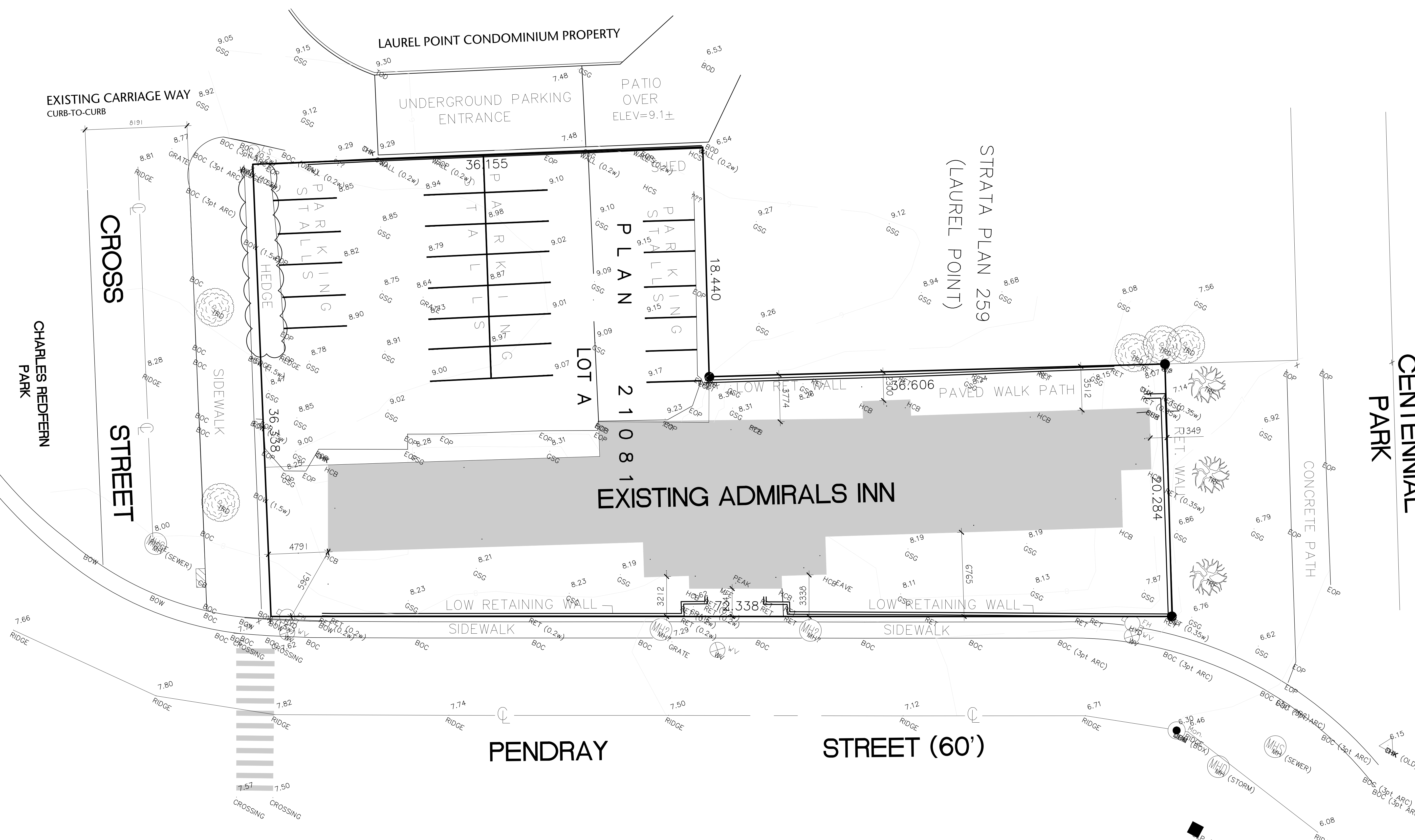
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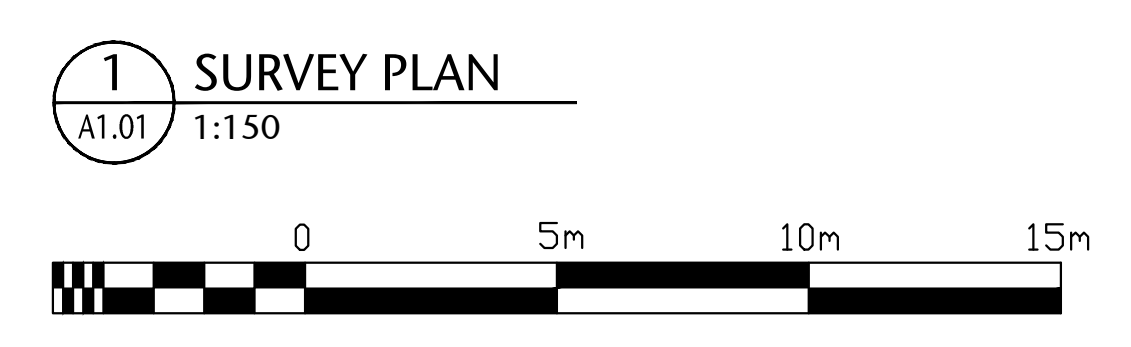


seal
 permit
 consultant

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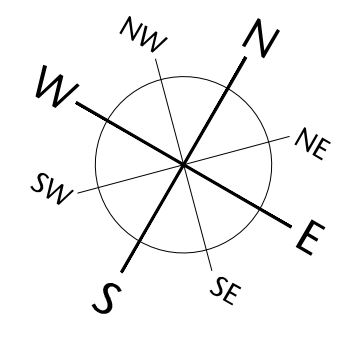
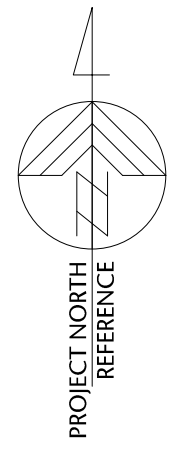
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SURVEY PLAN	
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checked	project no.
DL	20.118

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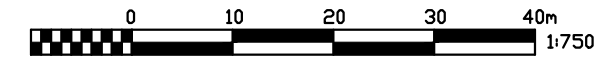
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COMPASS NORTH



1 OVERALL CONTEXT PLAN
A1.02 NTS



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drawing title
OVERALL CONTEXT PLAN

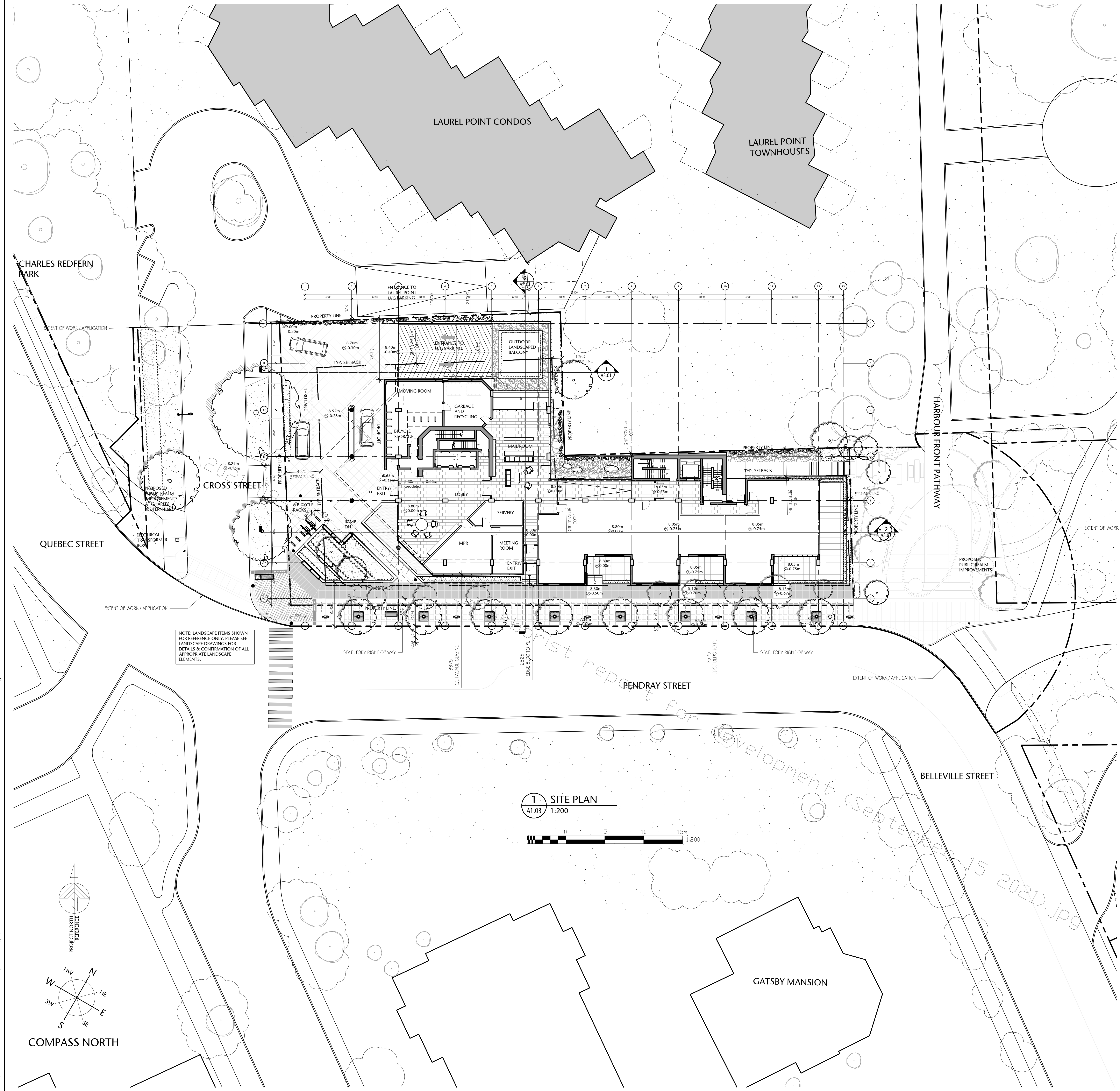
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POR	AS SHOWN
checked	project no.
DL	20.118

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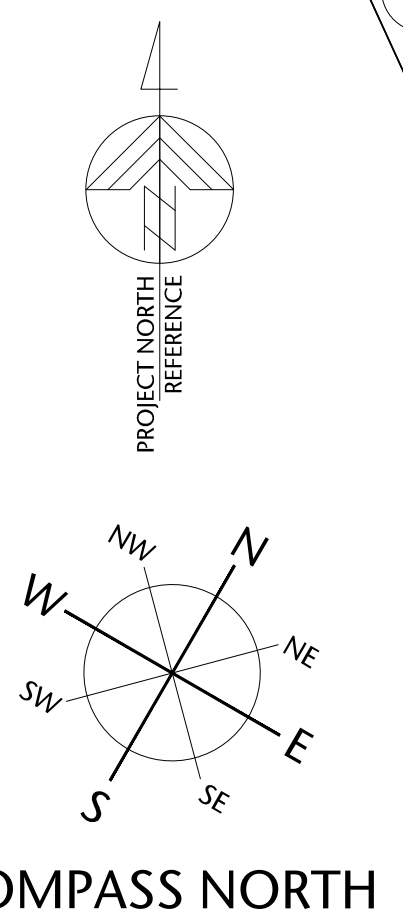
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NOTE: LANDSCAPE ITEMS SHOWN FOR REFERENCE ONLY. PLEASE SEE LANDSCAPE DRAWINGS FOR DETAILS & CONFIRMATION OF ALL APPROPRIATE LANDSCAPE ELEMENTS.

1 SITE PLAN
A1.03 1:200



MUNICIPAL ADDRESS
257 BELLEVILLE STREET, VICTORIA, BC
LEGAL ADDRESS
LOT A, VICTORIA CITY, PLAN 21081
LAND USE DESCRIPTION
EXISTING: R-65 PROPOSED: R-65

PROJECT STATISTICS			
	Existing Zoning Standard	Existing Building	Proposal
Zoning	R-65		R-65
Site Area (m ²)	2000	2053.88	2053.88
Site Coverage (%)	45%	30%	53%
Building Area			1092.56
Main Floor (m ²)		619.15	870.14
Gross Floor Area (above Grade excl. Balconies, incl mech.)			6153.22
Floor Space Ratio	3.00:1	0.90	2.995
Building Height (m)	30	15	32 (incl. mechanical penthouse)
Number of Floors	N/A	3	9
Setbacks (m)			
1. "North Elevation"	0.0		
CL 1-mid 6/7		21.86	5.94
CL mid 6/7-8		3.64	3.00
CL 8-10		2.30	0.19
CL 10-13		3.51	3.585
2. "South Elevation"	2.5	2.23	2.50
3. "West Elevation"	4.5	4.8	4.575
4. "East Elevation"	0.4		
CL D-G		1.34	0.40
CL A-D		n/a	1.26
Note: Existing Setbacks to relative proposed Gridlines			
Open Space (%)	40%	31.7%	28.5%
Parking Stalls	40	25	78
Bicycle Parking	1.25/unit		6 @ Entry & 71 @ Main & Parkade Level

Net to Gross Ratio	1.28
Parkade Level P1 Area	1846 m ²
Parkade Level P2 Area	1846 m ²
Number of Floors above Grade	9 incl. Roof Top Mechanical (Laurel Point - 11)
Total Height @ Top of Parapet (excl. Mechanical Room)	30000mm (Laurel Point - 32000mm)
Floor to Floor Height (Typ.)	3350mm
Podium Floor to Floor	4500mm
Typ. Slab thickness	225mm
Zero Elevation	8.80m (center of Cross Street near Lobby)
Number of Units	32-57 (Max. 57 units)
Parking stall count	Min 40 required 78 stalls provided / including 6 Handicap and 6 Visitor U/G

GENERAL NOTES REGARDING UNITS:
Building makes use of an open plan concept. Unit sizes and types will vary depending on end-user's unit configuration. Number and type of unit will vary. Below is a sample configuration of the building.

Typical Unit Configuration	Avg. No.	Avg. Area/unit (m ²)
1 BEDROOM	5	110
1 Bedroom & Den	15	125
2 BEDROOM	9	195
Ground Oriented Access	3	115

BUILDING AREA CALCULATION

BUILDING GROSS AREAS MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALLS

OPEN SITE SPACE CALCULATION

CALCULATION BASED ON CITY OF VICTORIA "SCHEDULE A" DEFINITION OF OPEN SITE SPACE.

OPEN SITE SPACE MEANS THAT PORTION OF THE LOT: A) WHICH FROM THE SURFACE OF THE LOT IN A VERTICAL COLUMN UPWARD IS NOT OCCUPIED OR OBSTRUCTED BY THE BUILDING OR ITS PARTS EXCEPT 1) ACCESSORY GARDEN STRUCTURE 2) BALCONY OR ROOF PROJECTION B) WHICH IS GRADED AND LANDSCAPED

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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5	REISSUED DEVELOPMENT PERMIT	JUN 07/2021
6	REISSUED DEVELOPMENT PERMIT	DEC 06/2021
7	REISSUED DEVELOPMENT PERMIT	APR 11/2022

seal



permit

consultant

alan lowe architect inc.



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drawing title
SITE CONTEXT PLAN & DATA SHEET

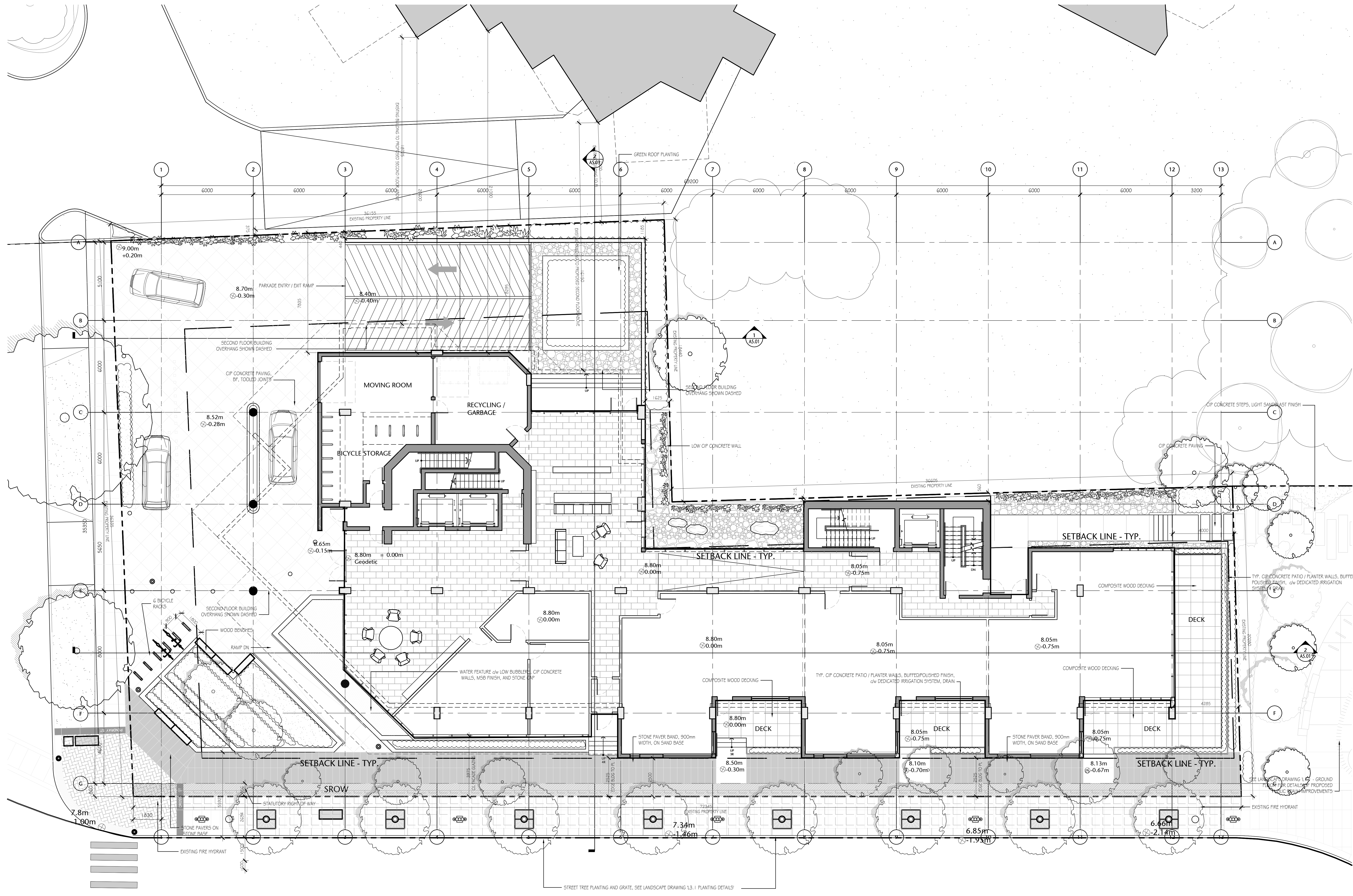
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DL	20.118

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VICTORIA, BRITISH COLUMBIA



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5	REISSUED DEVELOPMENT PERMIT	DEC 06/2021



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drawing title
DETAILED SITE PLAN

sheet
A1.04

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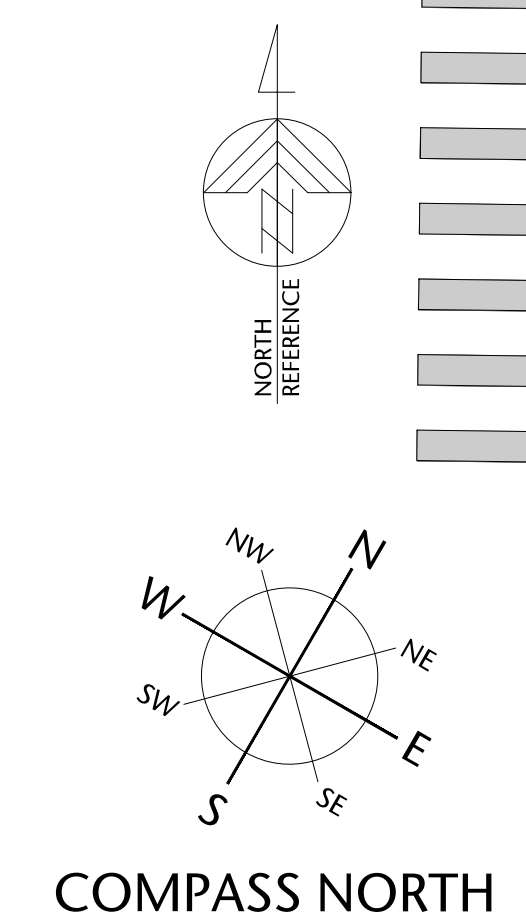
NOTE: LANDSCAPE ITEMS SHOWN FOR REFERENCE ONLY. PLEASE SEE LANDSCAPE DRAWINGS FOR DETAILS & CONFIRMATION OF ALL APPROPRIATE LANDSCAPE ELEMENTS.

NOTE: FOR TYPICAL LANDSCAPE FINISHES & GRADING, SEE LANDSCAPE DRAWINGS

SCHEDULE A

STATUTORY RIGHT OF WAY	SHOWN HATCHED
------------------------	---------------

1 DETAILED SITE PLAN
A1.04 1:150



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1 QUEBEC STREET LOOKING EAST DOWN PENDRAY STREET
NTS

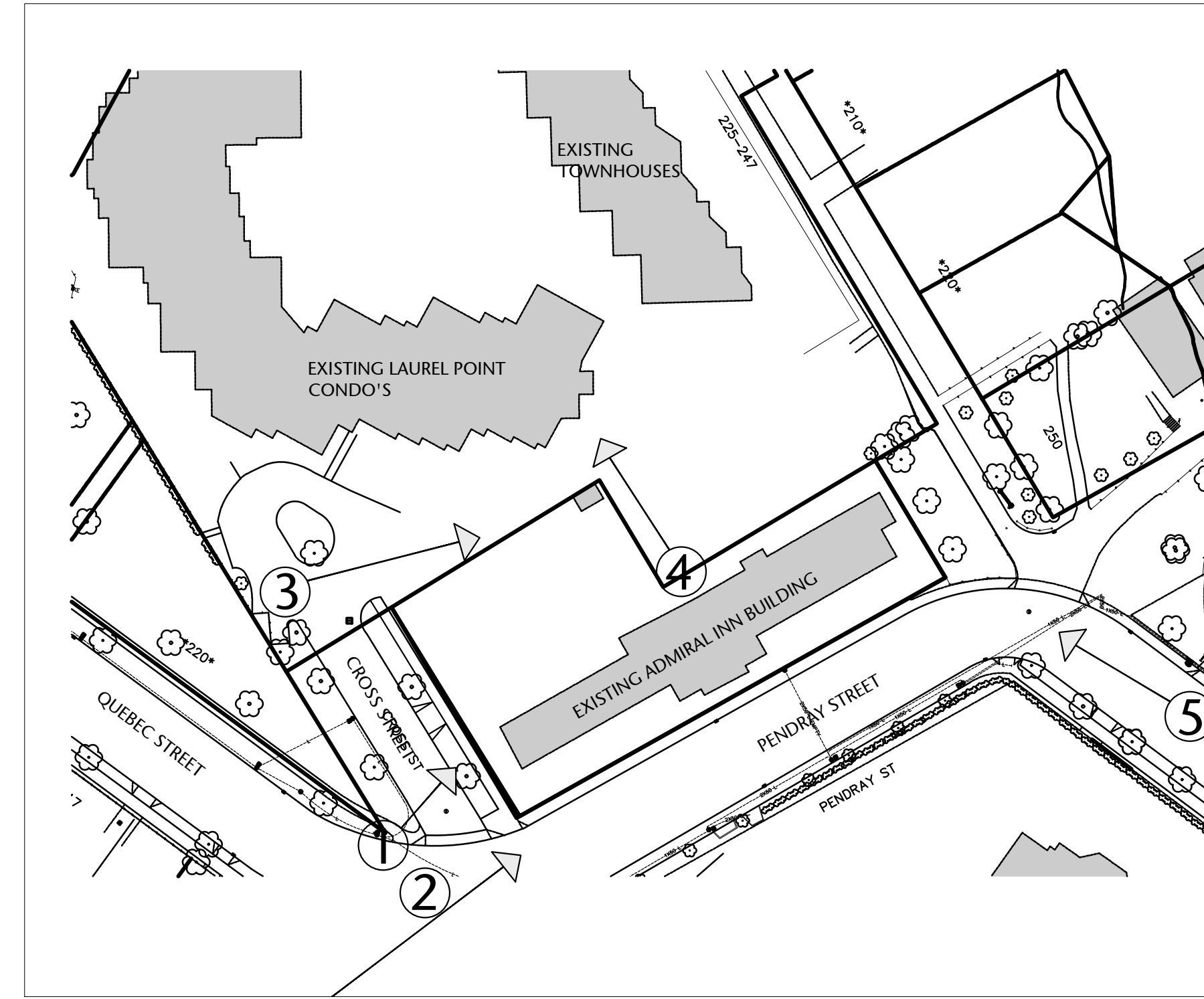


PHOTO LOCATION PLAN
NTS



2 PENDRAY STREET LOOKING NORTH - EXISTING ADMIRAL'S INN BUILDING
NTS



3 VIEW LOOKING SOUTH DOWN CROSS STREET
NTS



4 LOOKING NORTH AT ADJACENT LAUREL POINT CONDO'S
NTS



5 VIEW LOOKING NORTH UP BELLEVILLE STREET - EXISTING ADMIRAL'S INN BUILDING
NTS

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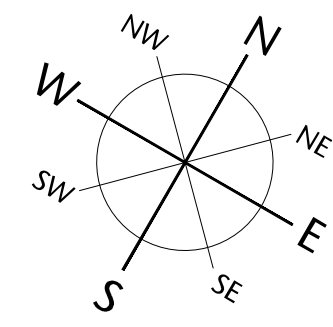
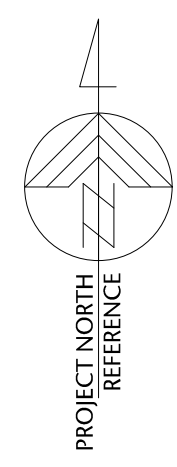
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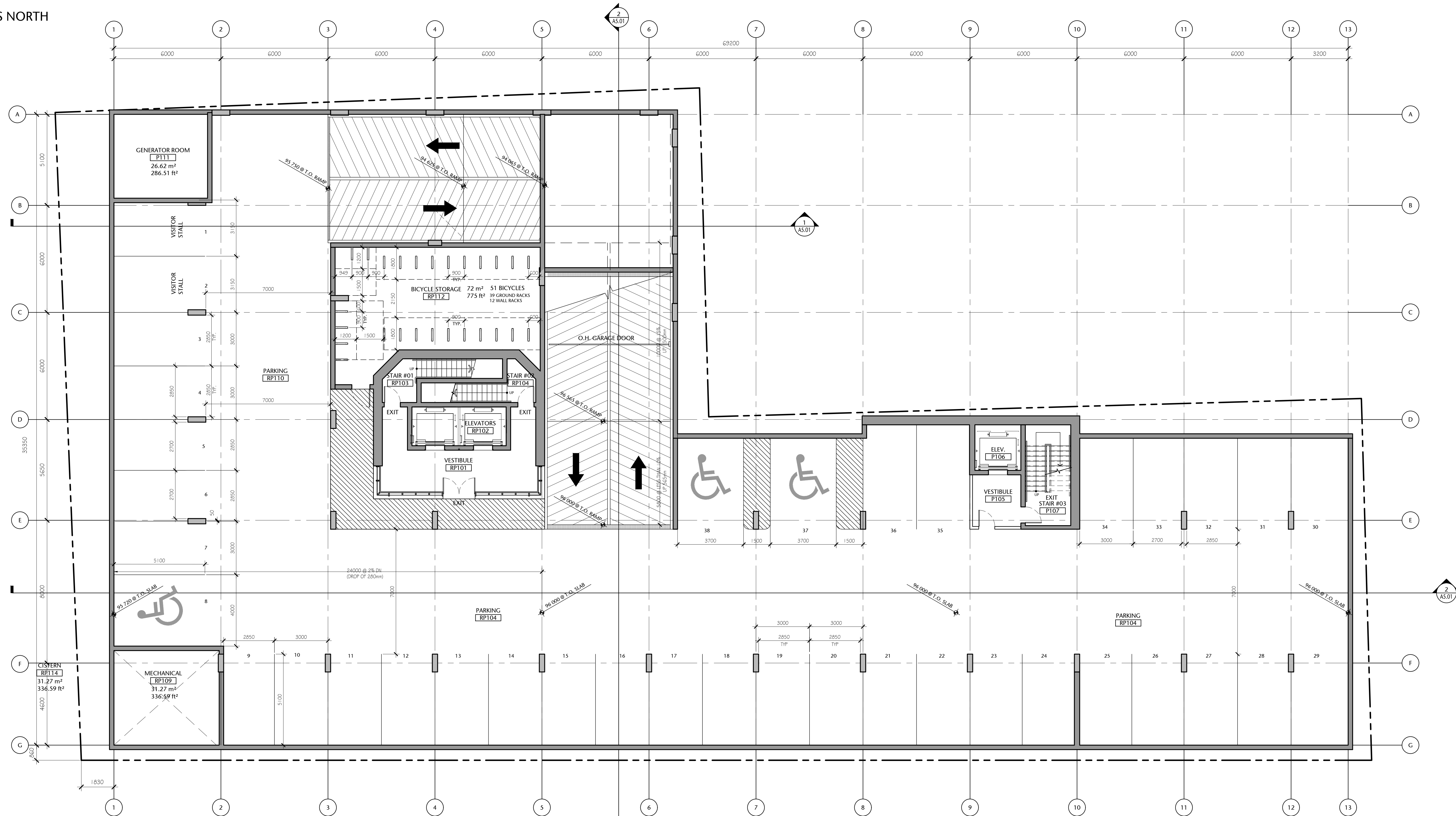
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checked	project no.
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COMPASS NORTH



1 PARKADE LEVEL P1
A2.01
1:100



Parkade Level P1 General Notes:

1. PARKING STALL COUNT: 38 STALLS (40 INCLUDES 3 HC STALLS & 2 VISITOR STALLS)
2. TYPICAL STALL DIMENSION, 3m x 5.1m WITH A 7m DRIVE AISLE.
3. MECHANICAL, ELECTRICAL ROOM REQUIREMENTS TO BE CONFIRMED.

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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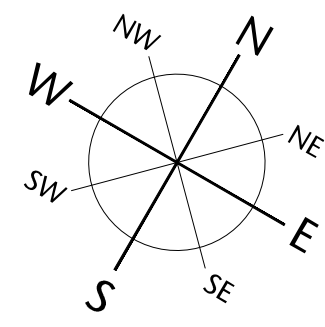
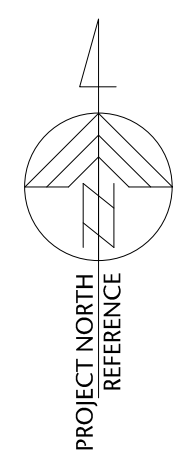
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PARKADE LEVEL P1

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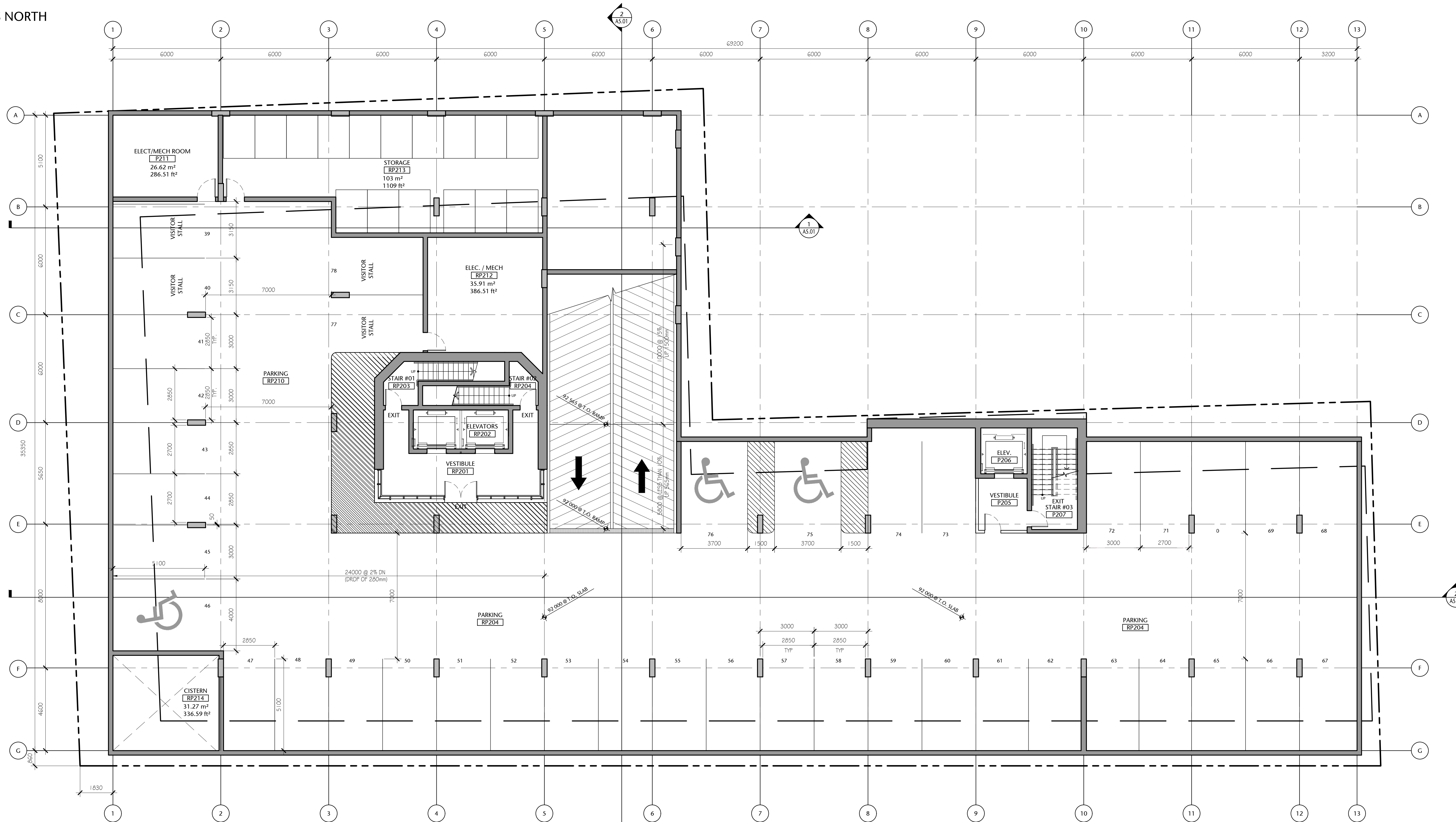
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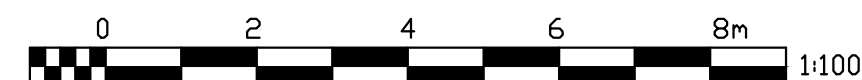
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COMPASS NORTH



1 PARKADE LEVEL P2
A2.01B
1:100



Parkade Level P2 General Notes:

1. PARKING STALL COUNT: 40 STALLS (40 INCLUDES 3 HC STALLS & 4 VISITOR STALLS)
2. TYPICAL STALL DIMENSION, 3m x 5.1m WITH A 7m DRIVE AISLE.
3. TENANT STORAGE AS SHOWN. MECHANICAL, ELECTRICAL ROOM REQUIREMENTS TO BE CONFIRMED.

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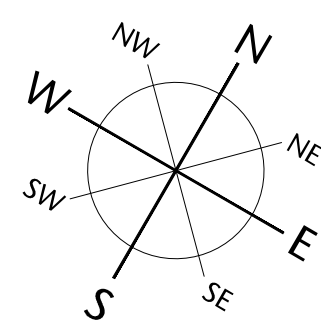
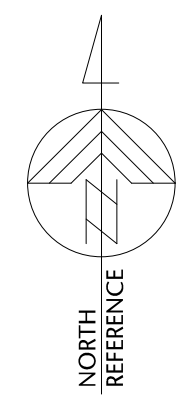
PARKADE LEVEL P2

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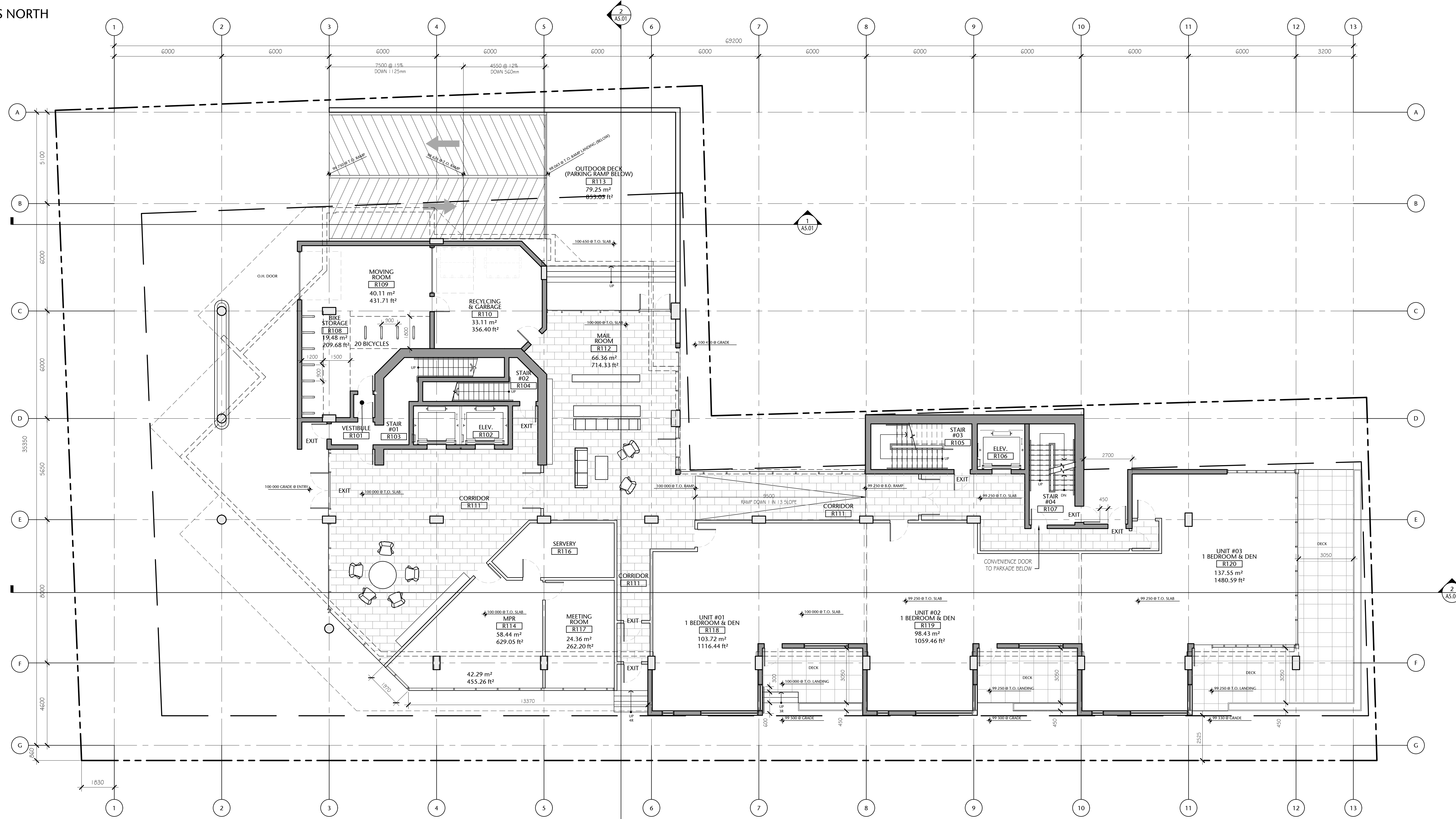
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COMPASS NORTH



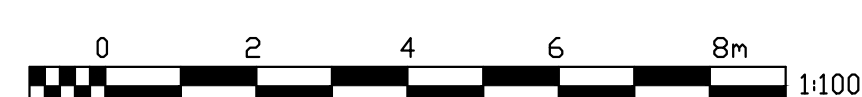
Main Floor Gross Area:
870.14 sq. mts. (9366.10 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 MAIN FLOOR PLAN
A2.02 1:100



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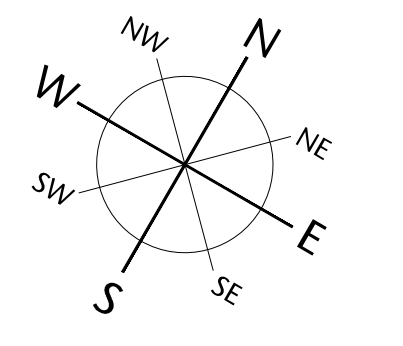
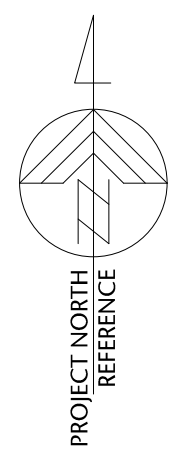
MAIN FLOOR PLAN

A2.02

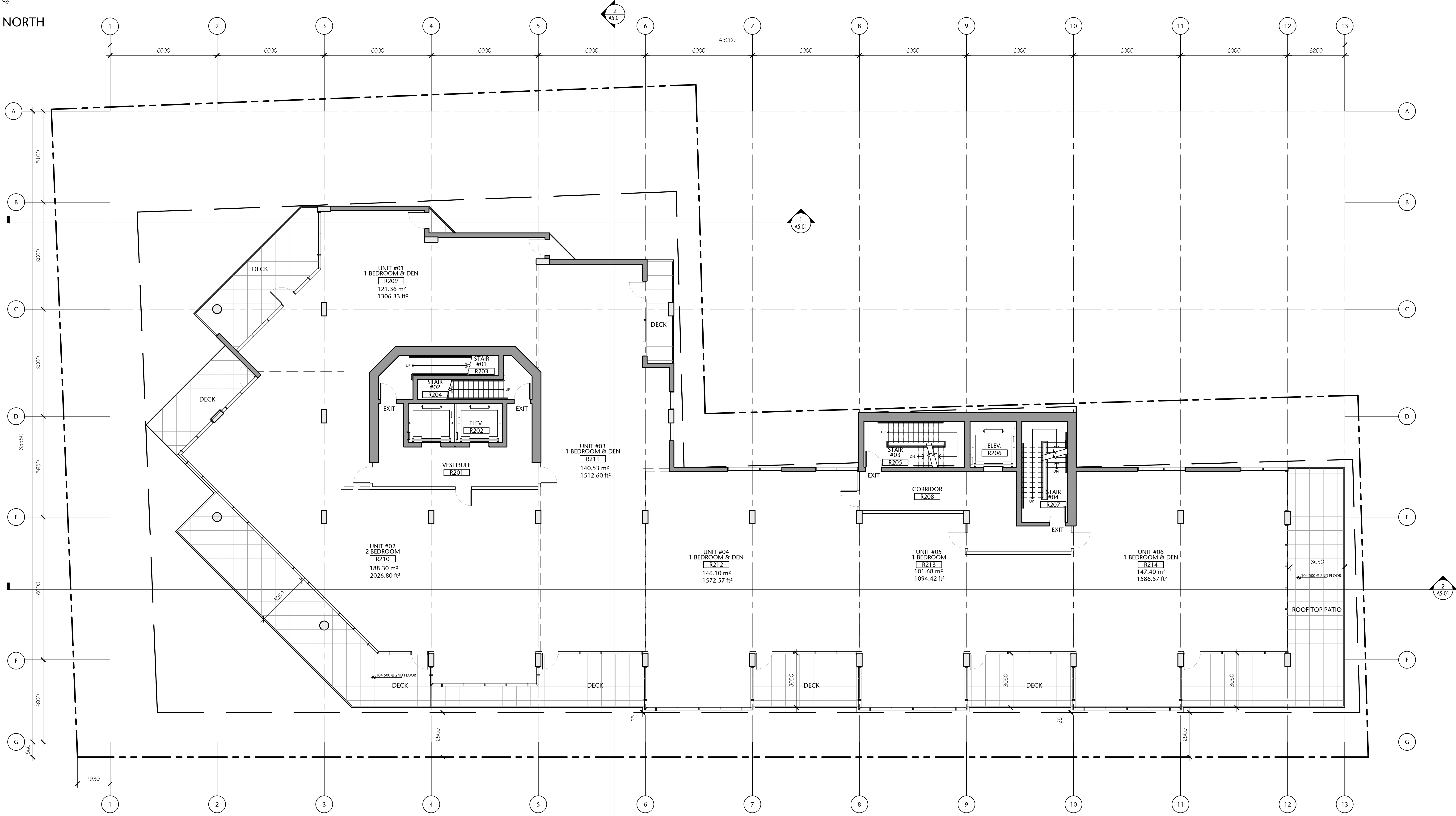
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DL	20.118

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Second Floor Gross Area:
950.23 sq. mts. (10 228 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	Gross Floor Area above Grade (excluding balconies)	
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	927.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
TOTAL AREA	6054.44	65,170

1 SECOND FLOOR PLAN
A2.03
1:100



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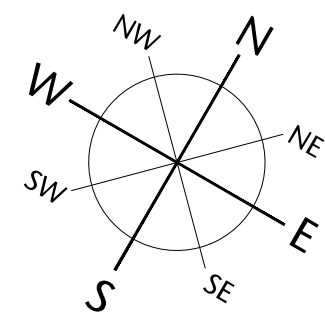
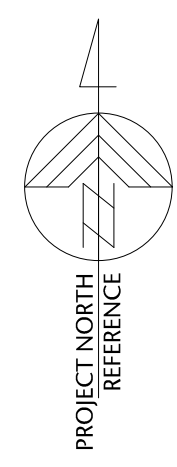
SECOND FLOOR PLAN

A2.03

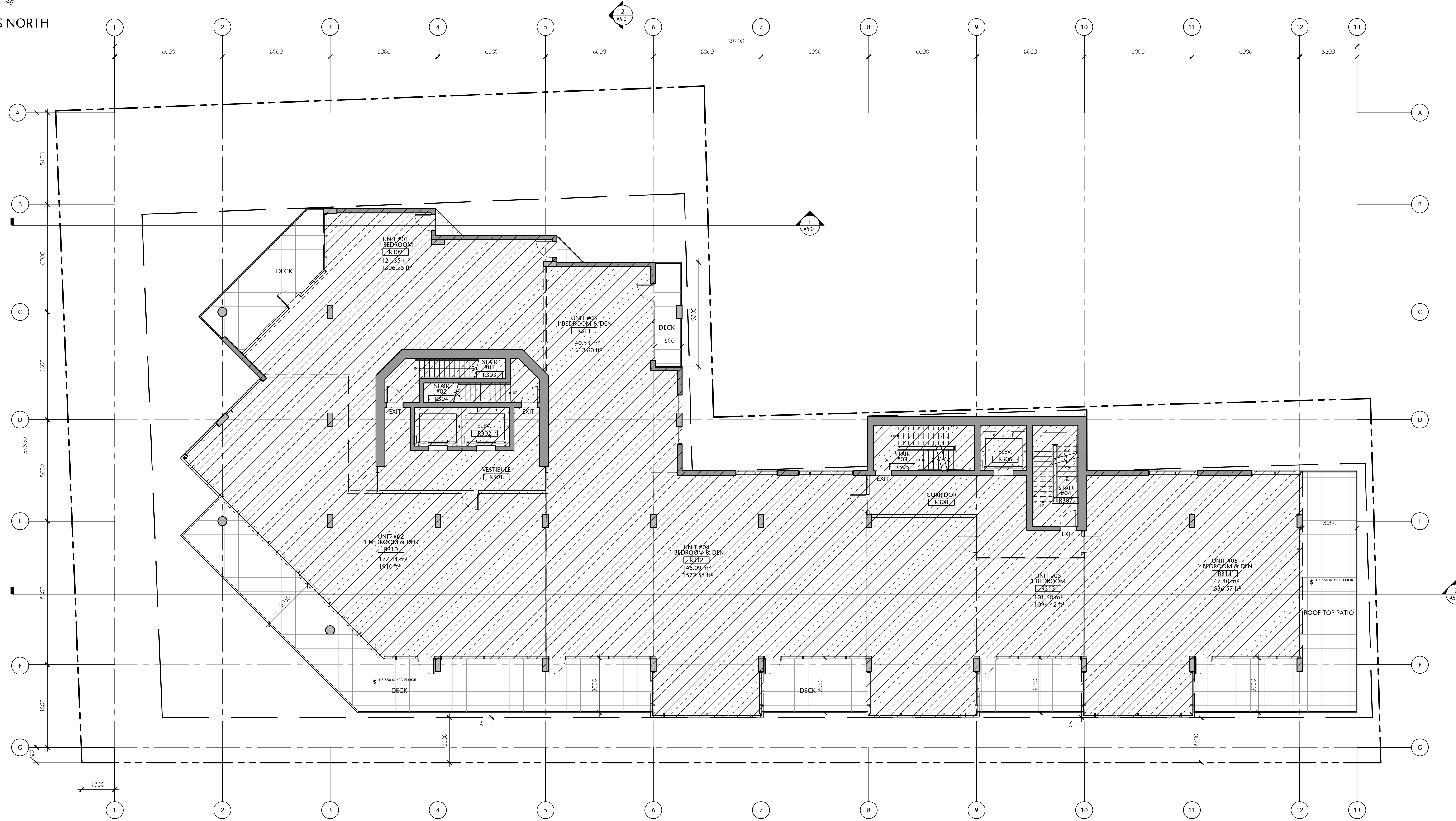
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DL	20.118

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COMPASS NORTH



1 THIRD FLOOR PLAN
A2.04
1:100



Third Floor Gross Area:
937.43 sq. mts. (10 090.41 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	SQ. MTS.	SQ. FT.
1. Main Floor:	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse:	98.78	1,063
TOTAL AREA	6153.22	66,232

Note: All travel distance's shown under allowed 45m under the applicable BC Building Code 2018 Division B - Part 3 '3.4.2.5 Location of Exits (c)'

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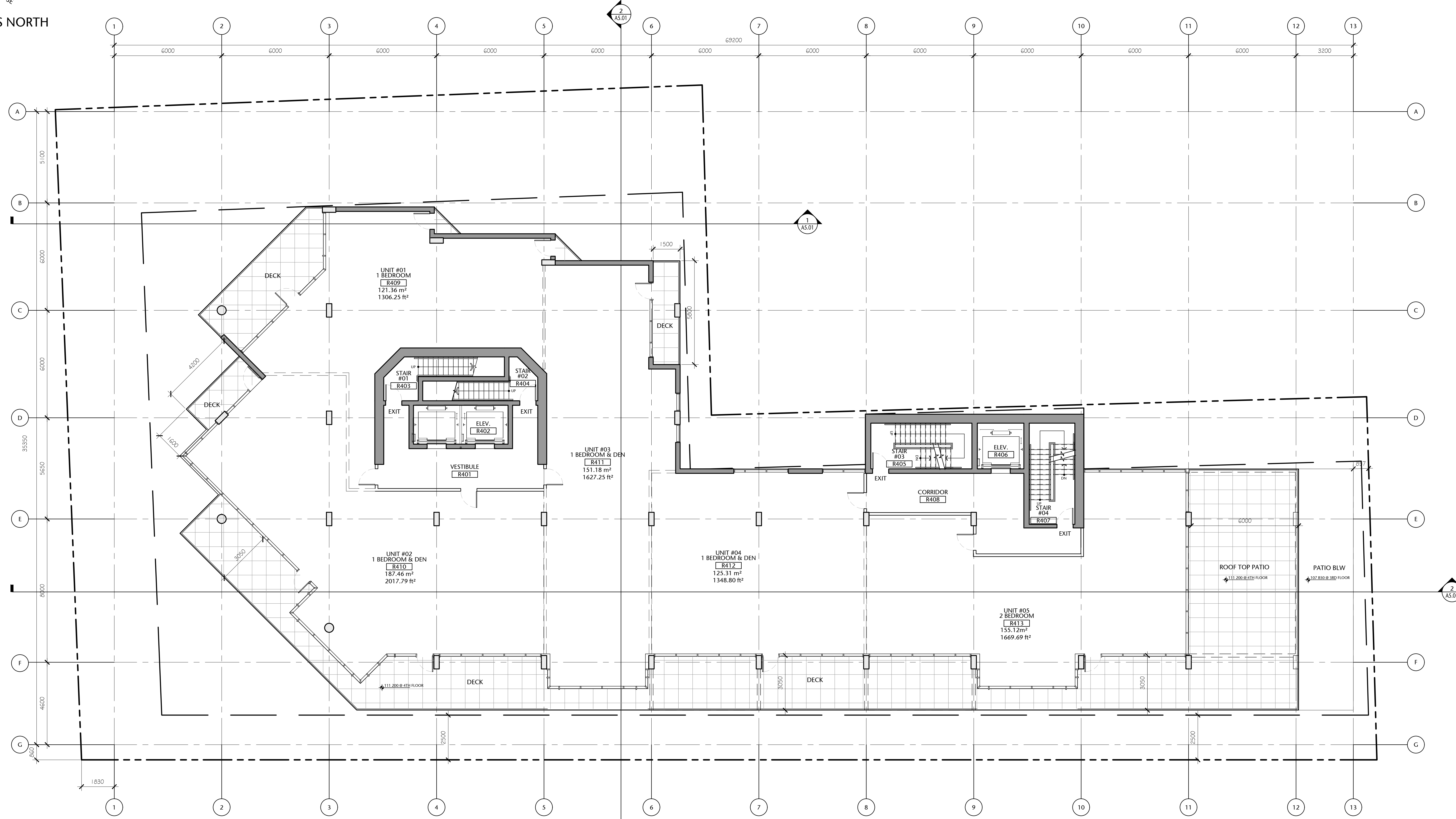
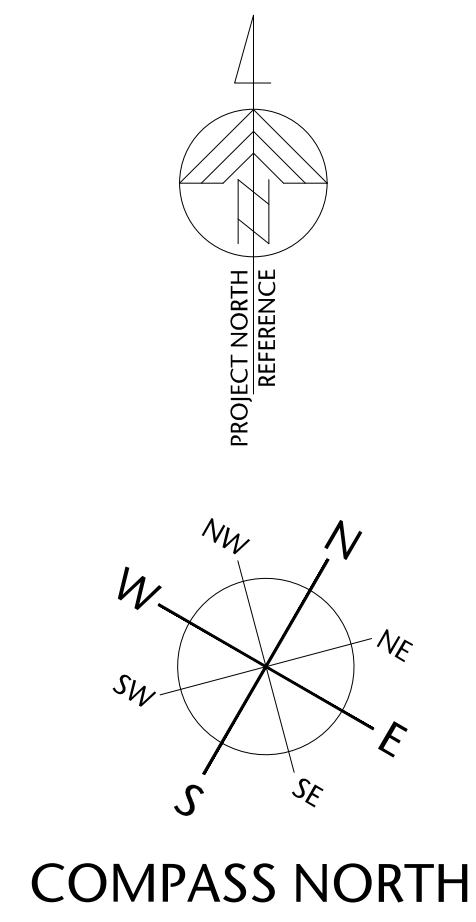
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THIRD FLOOR PLAN

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A2.04

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Fourth Floor Gross Area:
857.23 sq. mts. (9227.15 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 FOURTH FLOOR PLAN
A2.05
1:100



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FOURTH FLOOR PLAN

A2.05

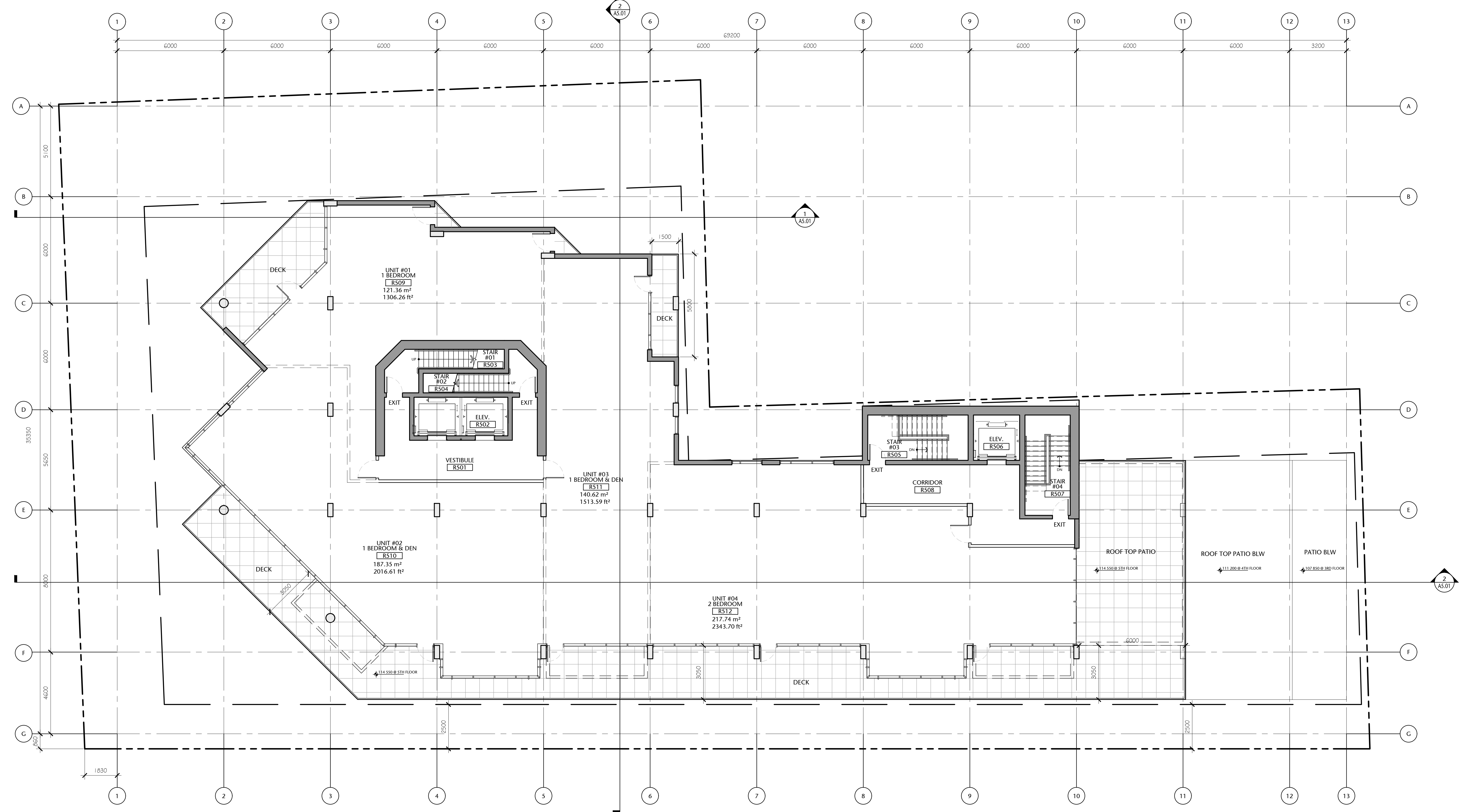
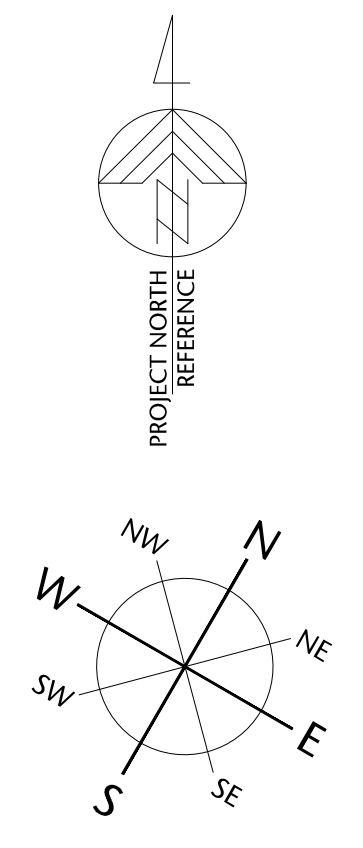
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Fifth Floor Gross Area:
785.82 sq. mts. (8458.5 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	SQ. MTS.	SQ. FT.
1. Main Floor:	870.14	9,366
2. Second Floor:	950.23	10,278
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 FIFTH FLOOR PLAN
A2.06 1:100



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FIFTH FLOOR PLAN

A2.06

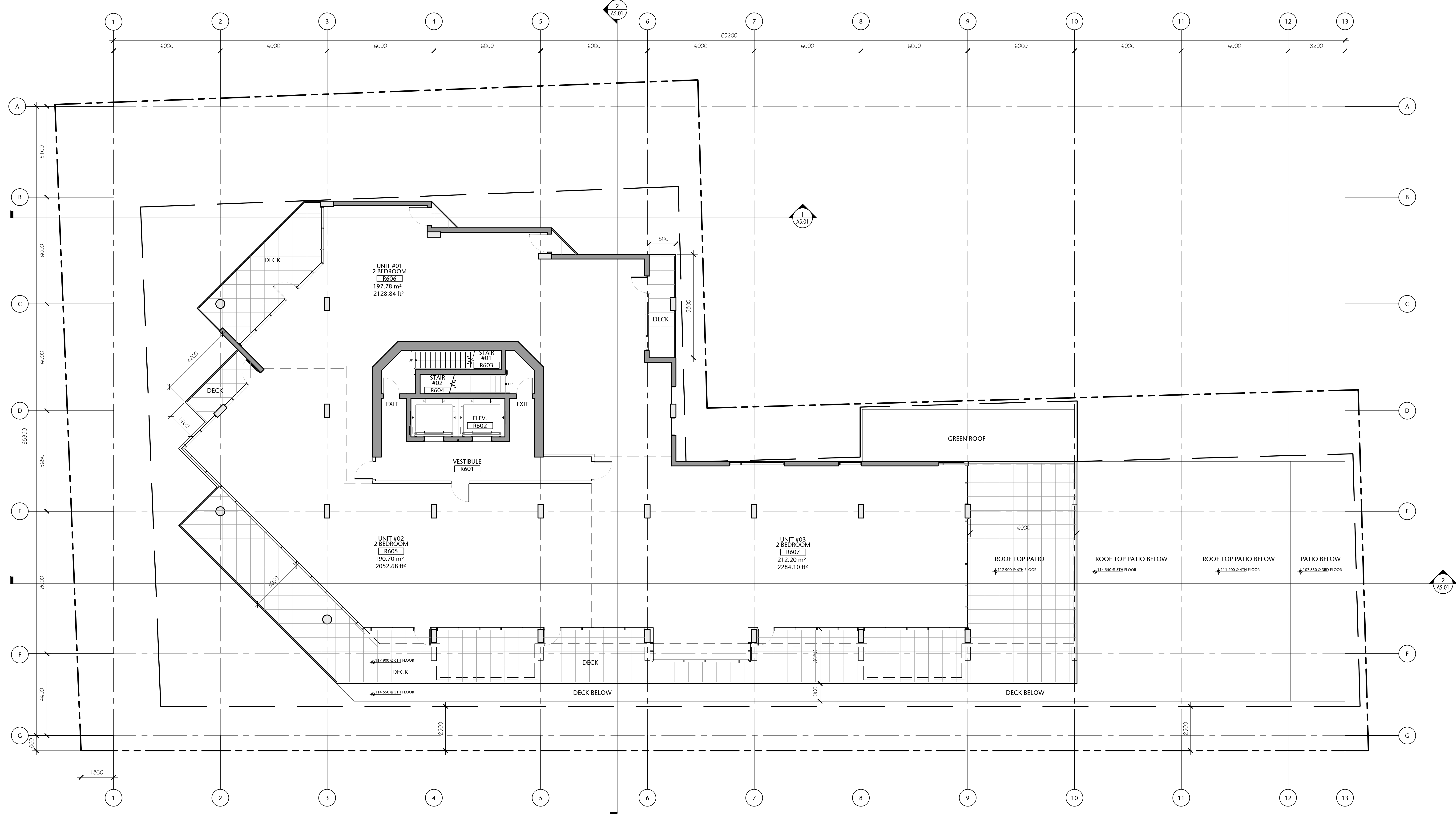
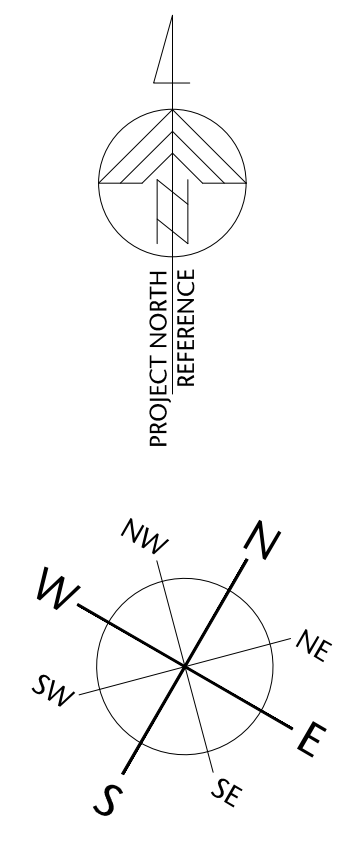
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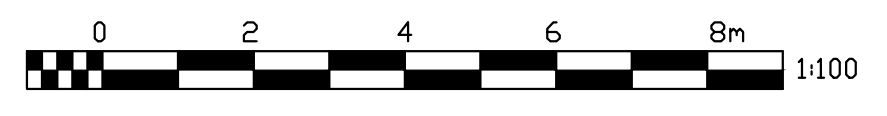
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1 SIXTH FLOOR PLAN
A2.07
1:100



Sixth Floor Gross Area:
651.25 sq. mts. (7010 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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drawing title

SIXTH FLOOR PLAN

A2.07 sheet

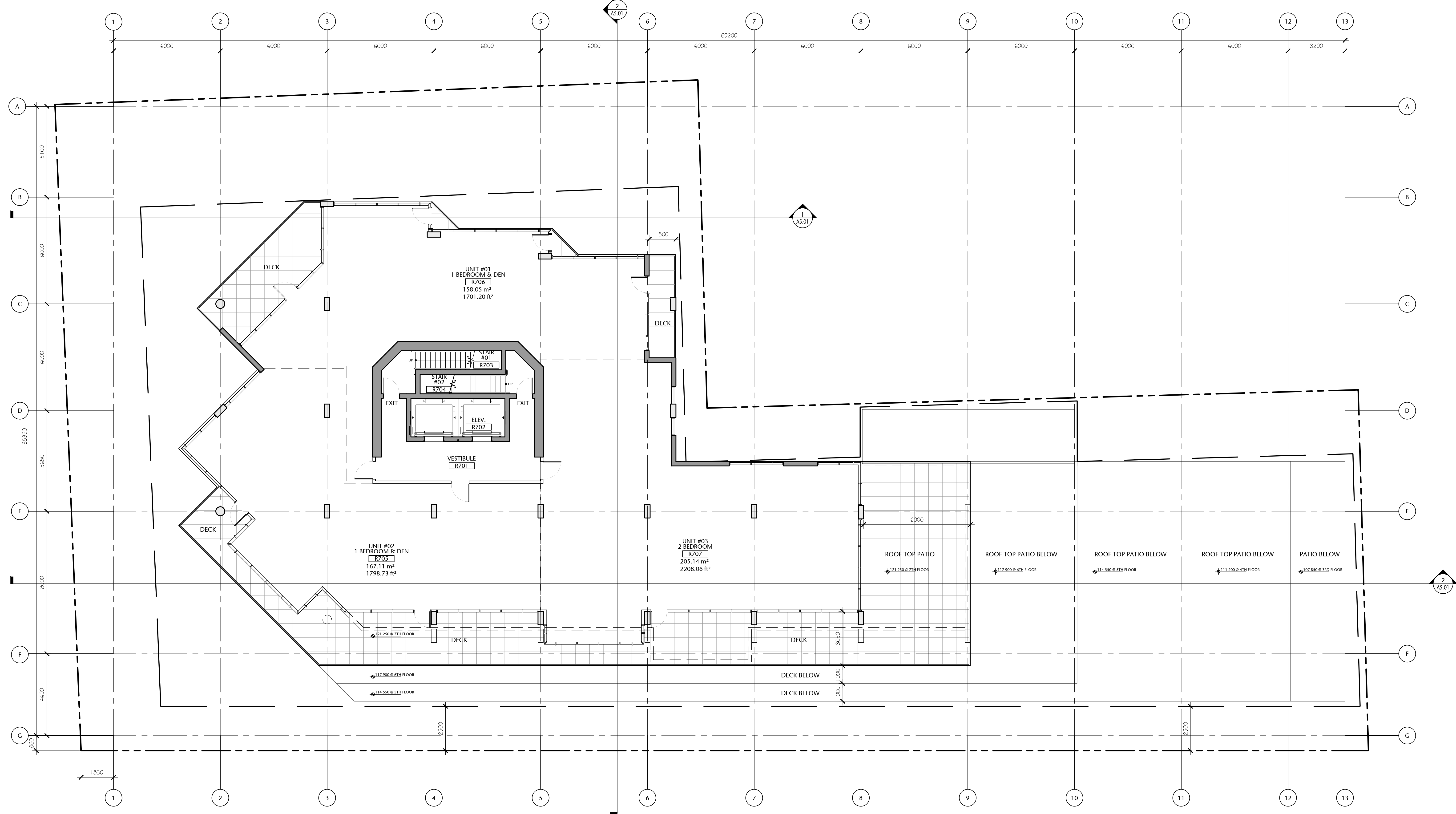
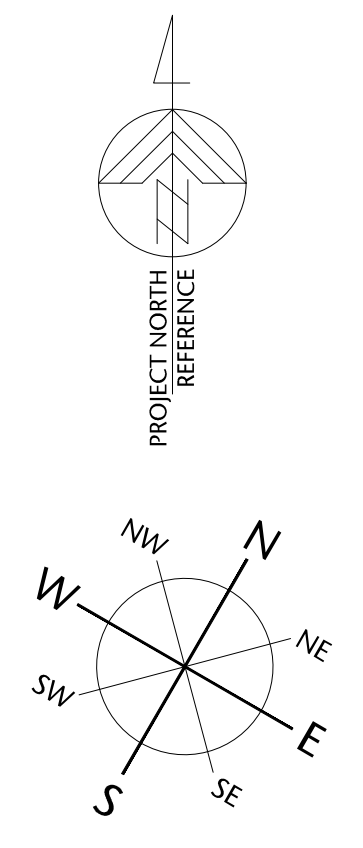
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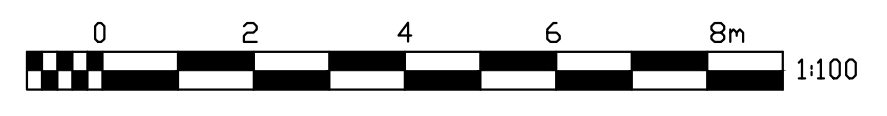
Seventh Floor Gross Area:
577.83 sq. mts. (6219.71 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 SEVENTH FLOOR PLAN
A2.08
1:100



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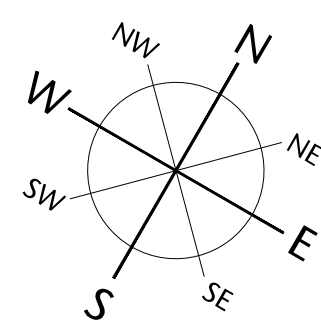
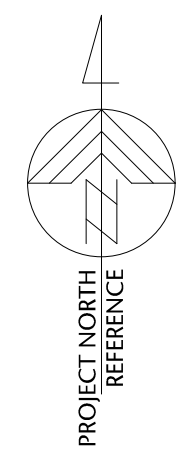
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SEVENTH FLOOR PLAN

A2.08

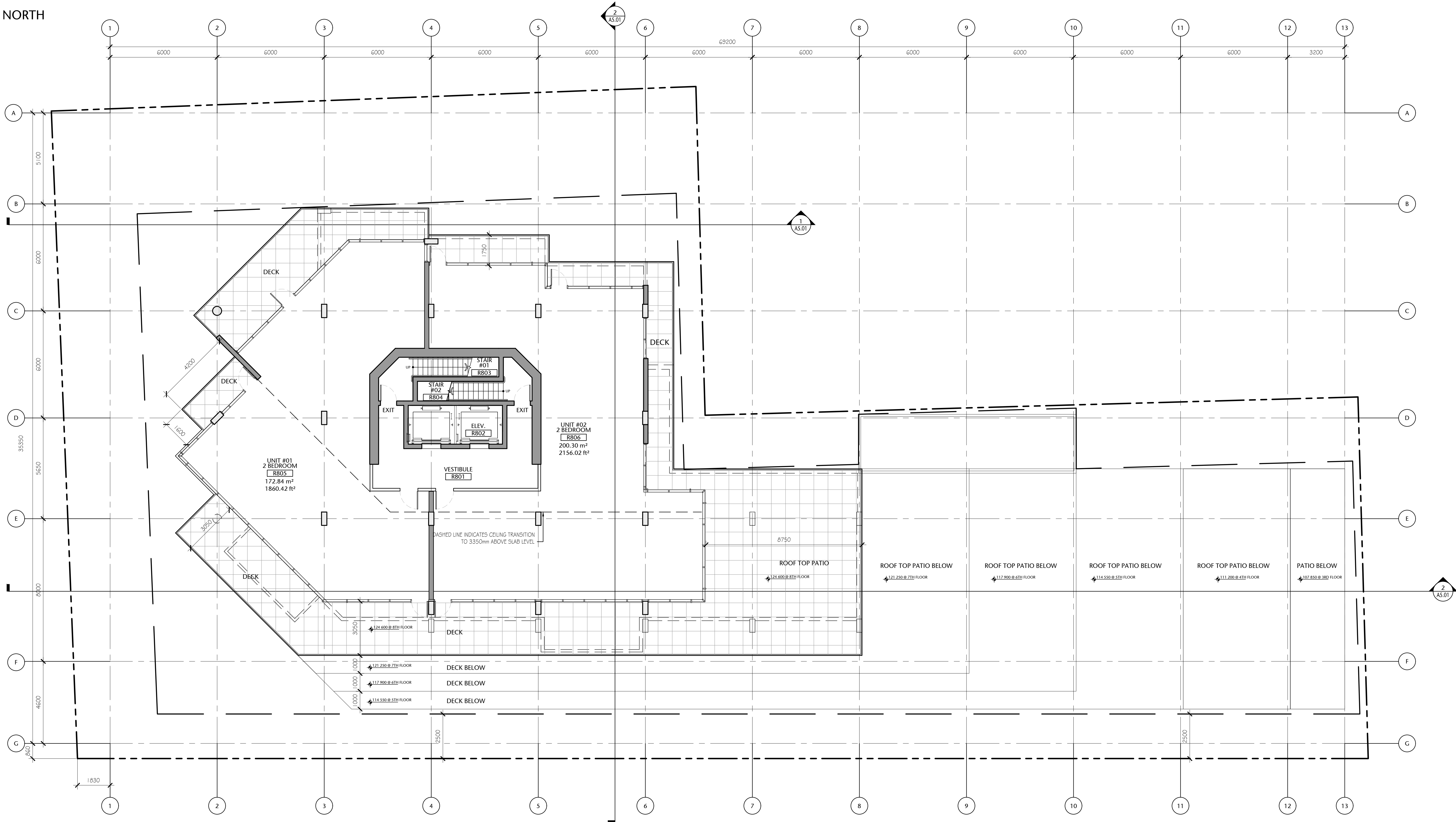
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COMPASS NORTH

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EIGHTH FLOOR PLAN

A2.09

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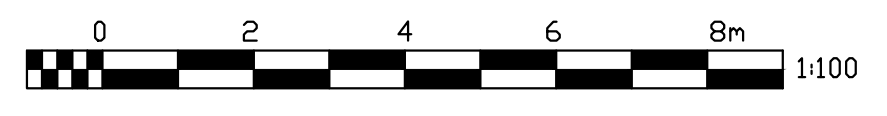
Eighth Floor Gross Area: 424.51 sq. mts. (4 569 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,278
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 EIGHTH FLOOR PLAN
A2.09
1:100



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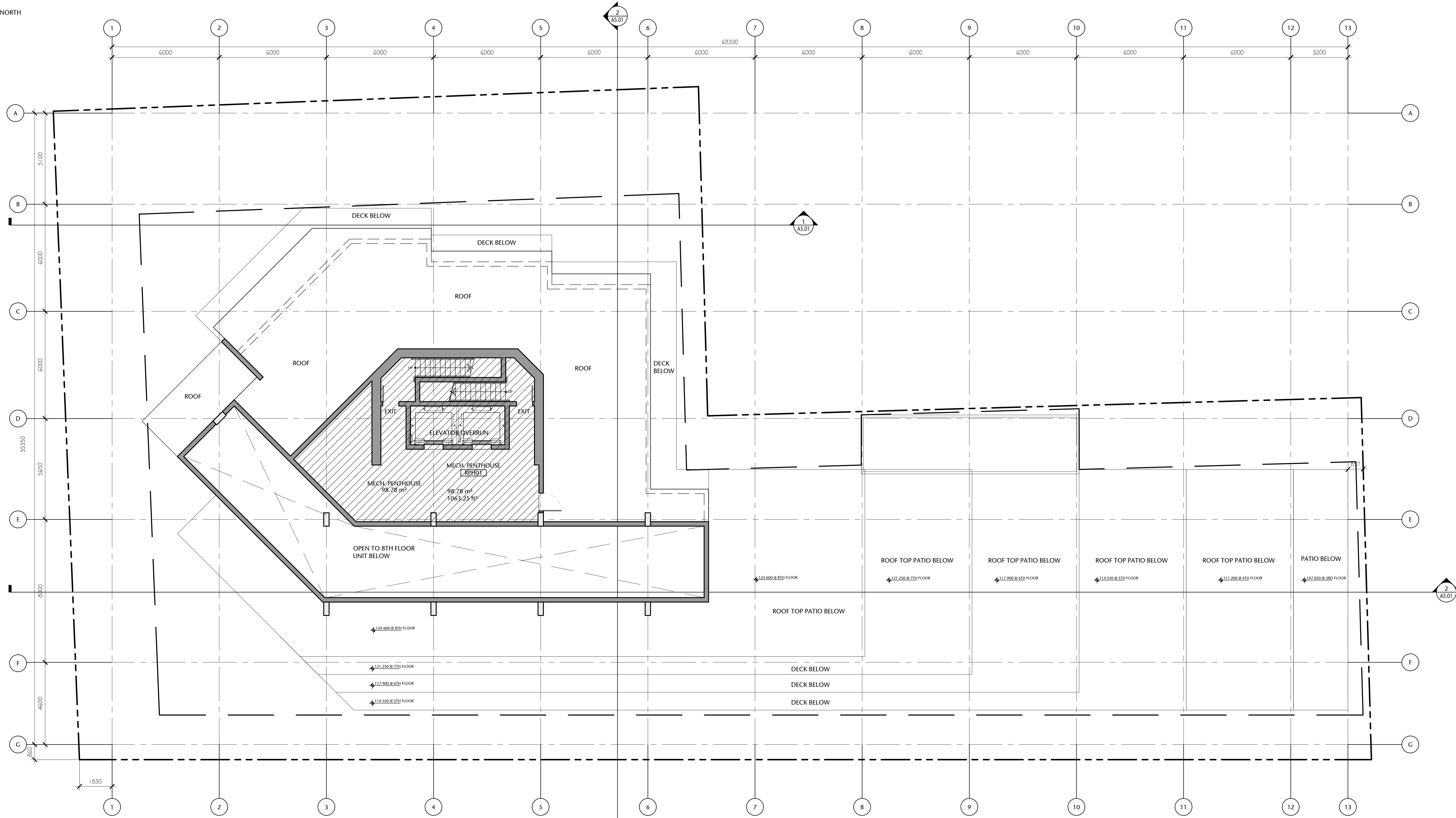
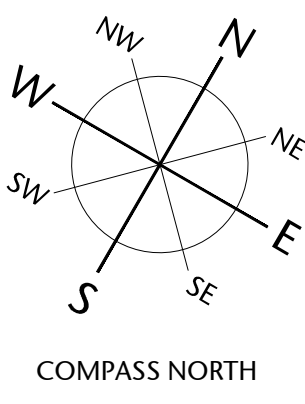
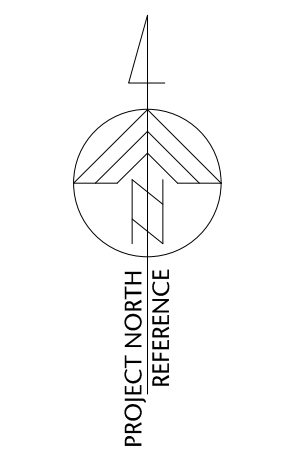
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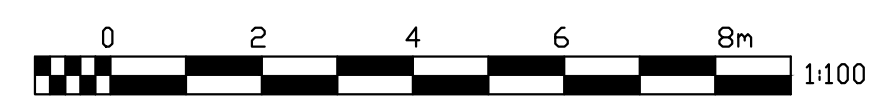
MECH. PENTHOUSE PLAN

A2.10

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1 MECH. PENTHOUSE PLAN
 A2.10 1:100

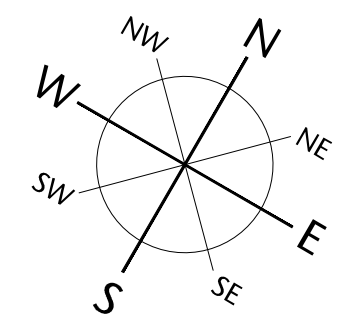
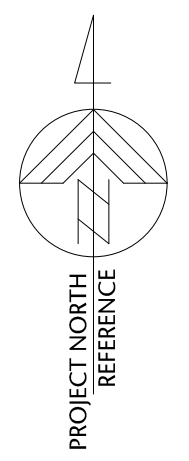


Overall Gross Floor Areas:

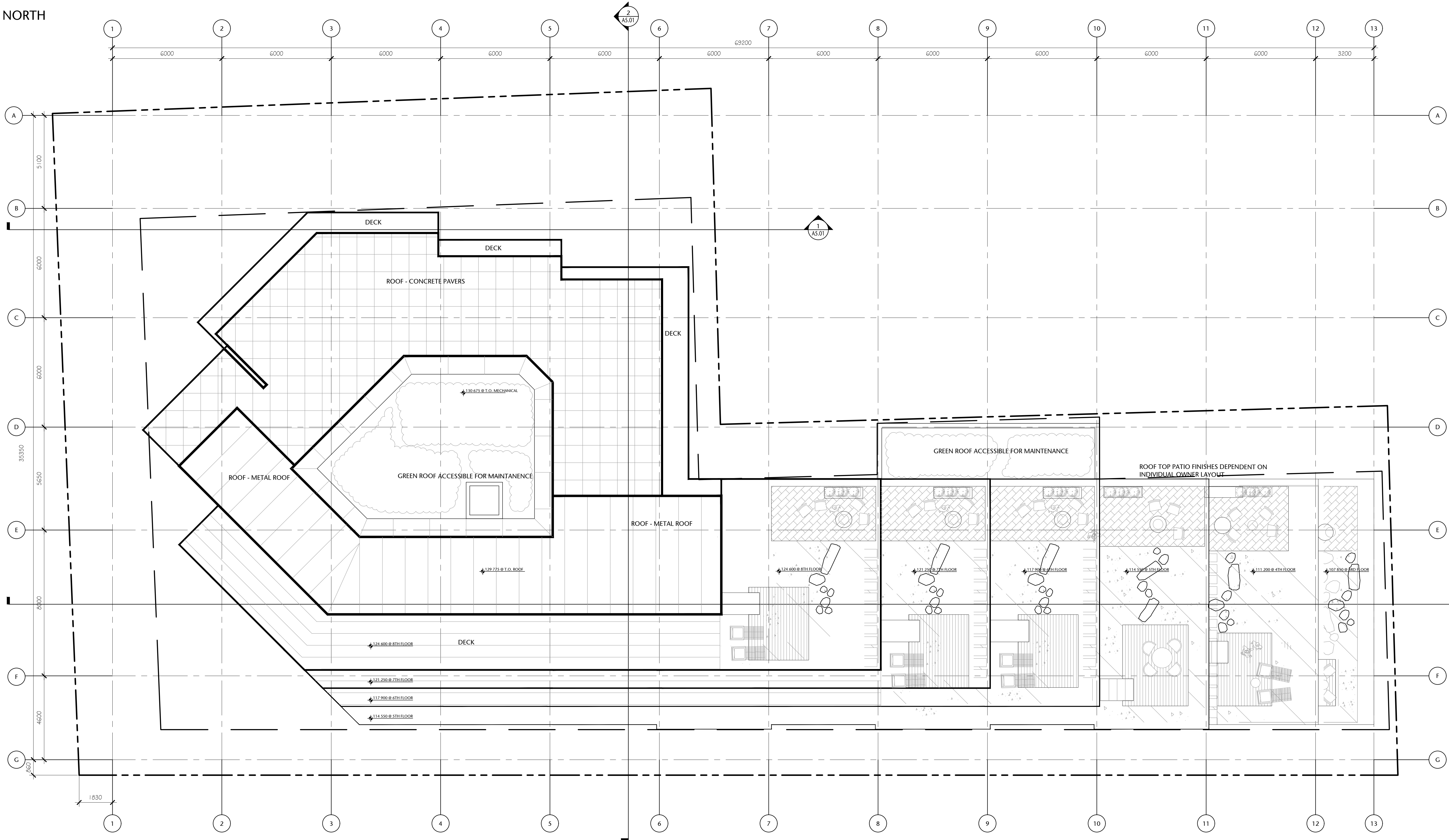
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
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6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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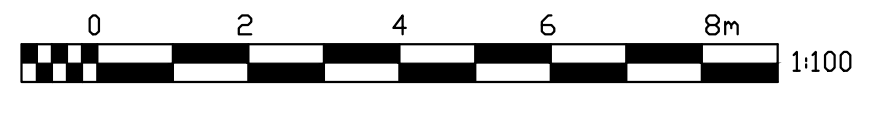
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1 ROOF PLAN
A2.11 1:100



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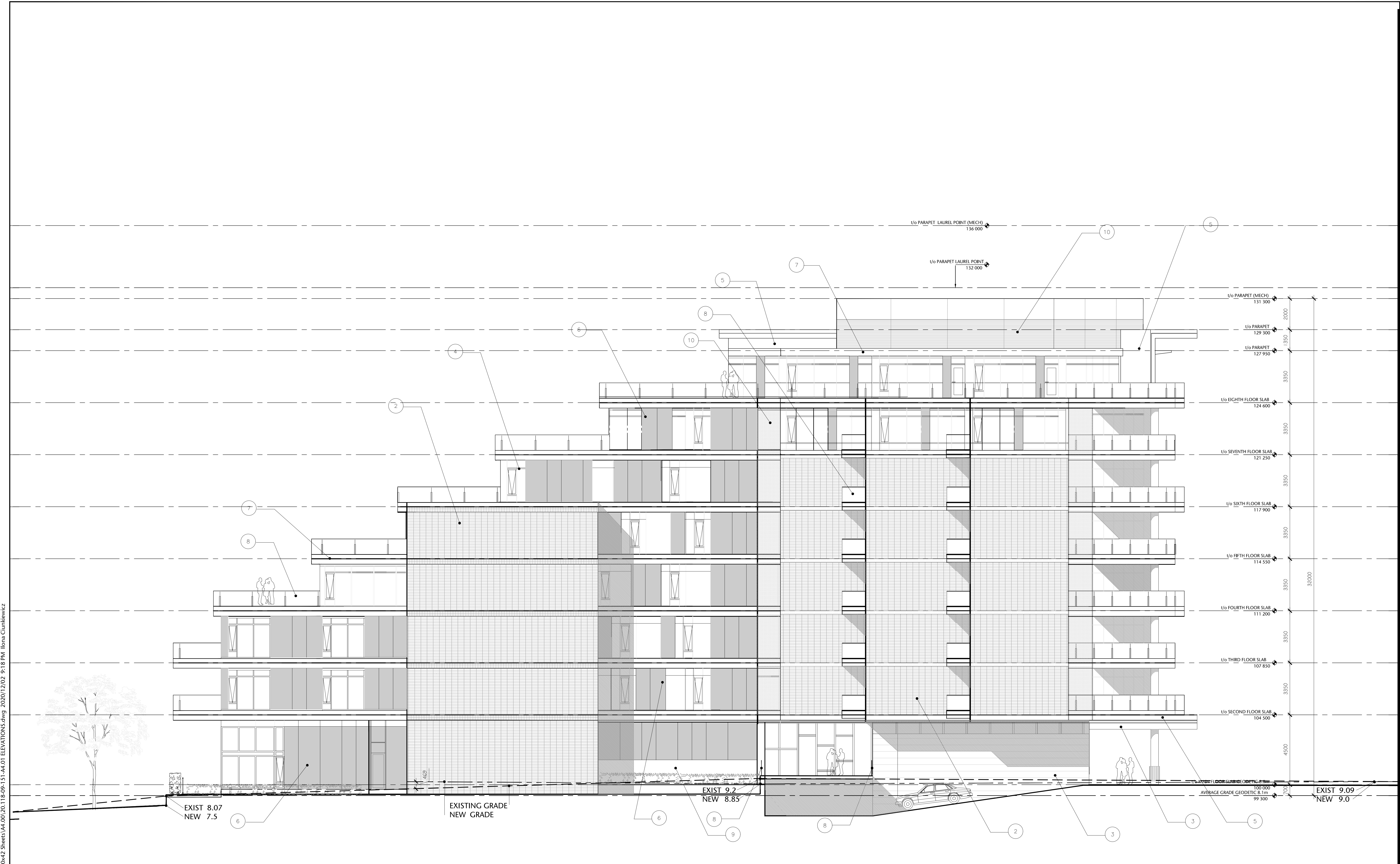
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DL	20.118

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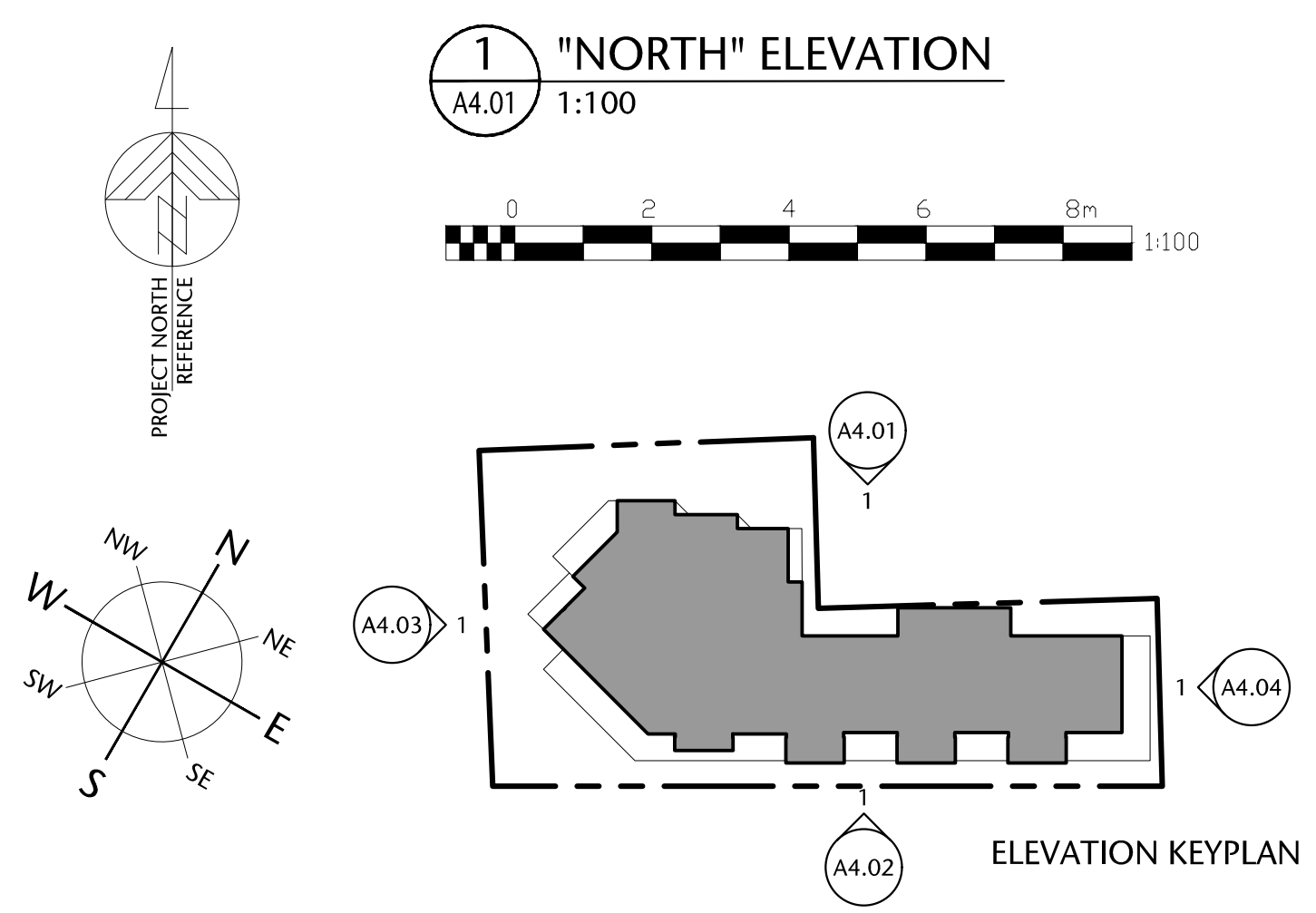
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- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium



AVERAGE GRADE MAIN FLOOR	8.10 GEODETIC
	8.80 GEODETIC

--- EXISTING GRADE
- - - NEW GRADE

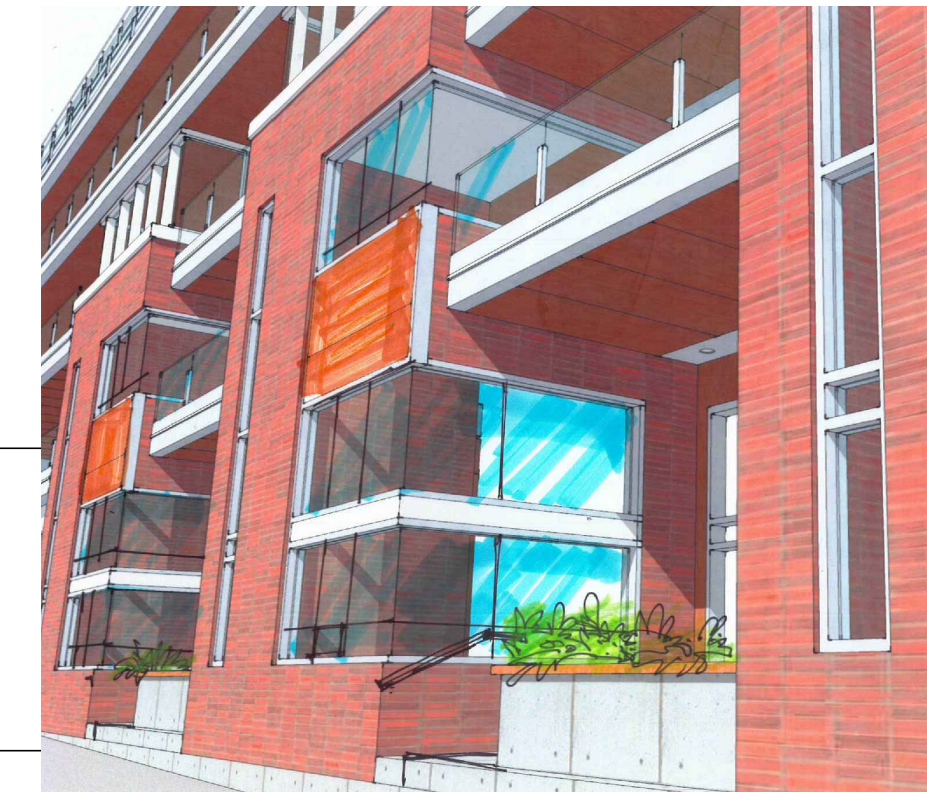
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sheet	
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drawn	scale
DL	AS SHOWN
checked	project no.
DL	20.118

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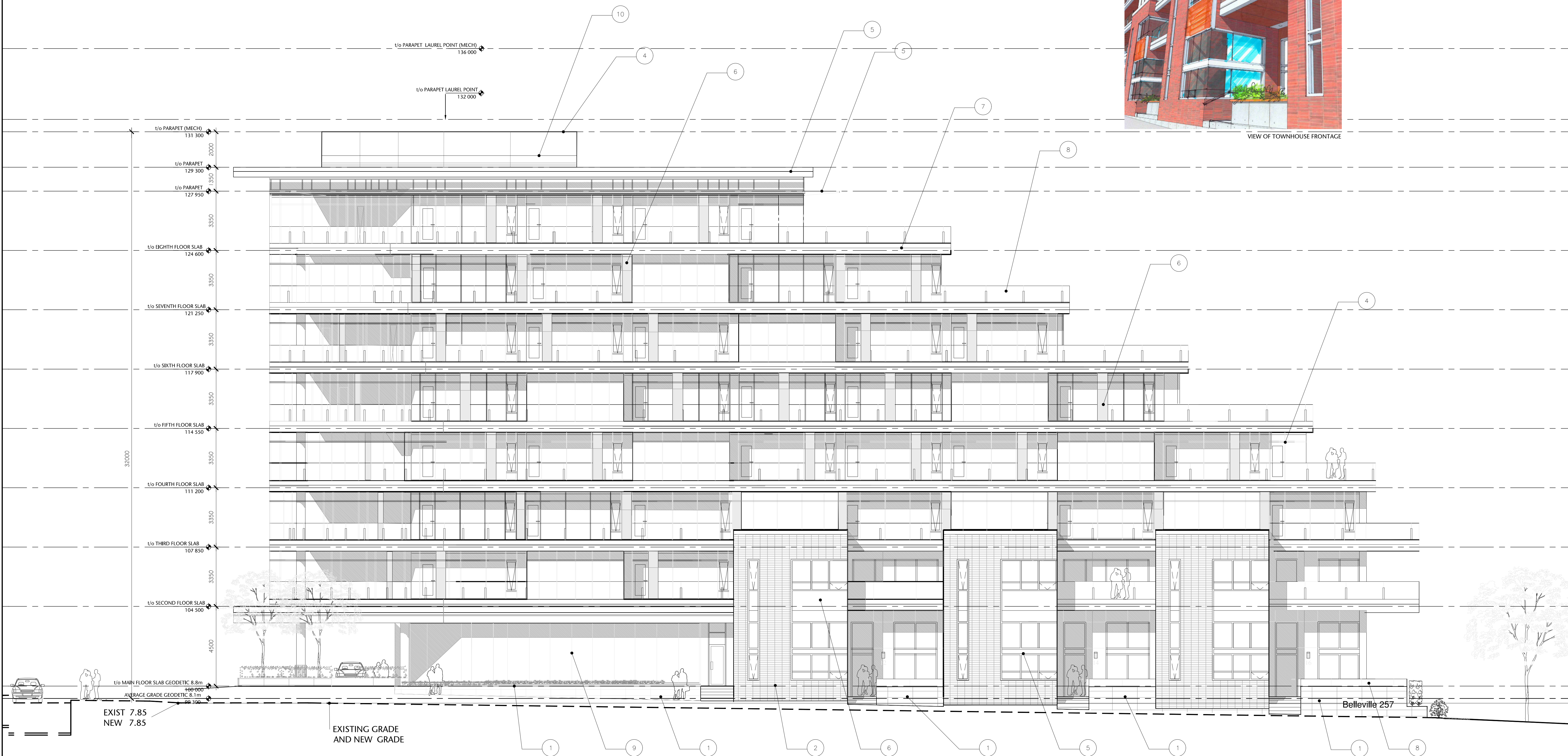
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VICTORIA, BRITISH COLUMBIA



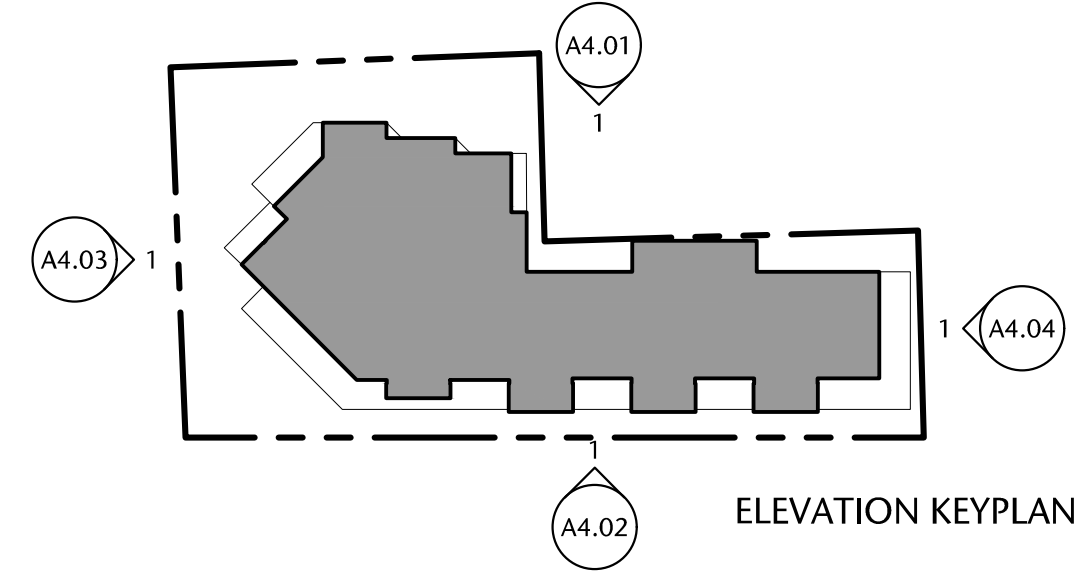
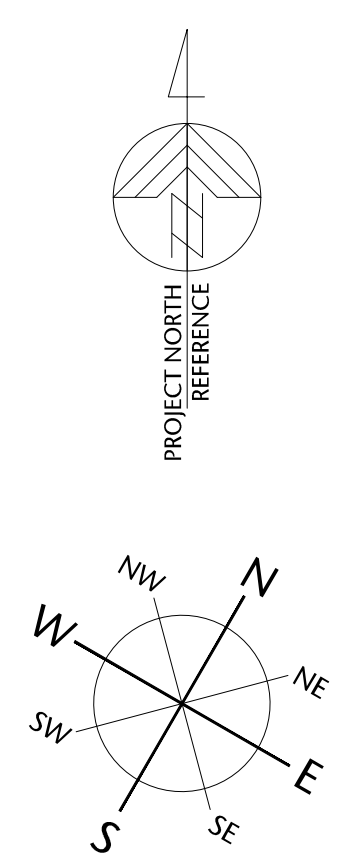
VIEW OF TOWNHOUSE FRONTAGE



1 "SOUTH" ELEVATION
A4.02 1:100

AVERAGE GRADE MAIN FLOOR	8.10 GEODETIC 8.80 GEODETIC
-----------------------------	--------------------------------

--- EXISTING GRADE
- - - NEW GRADE



- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium

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1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020
4	REISSUED DEVELOPMENT PERMIT	APR/11/2022



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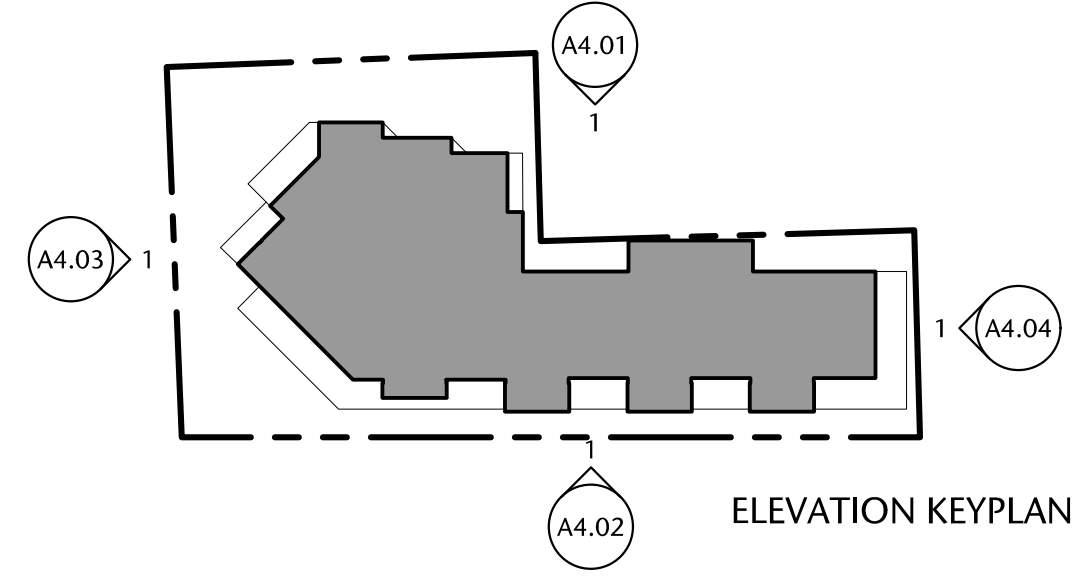
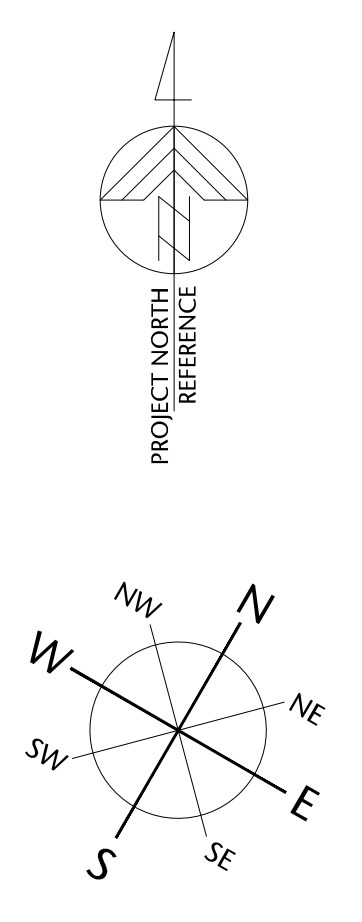
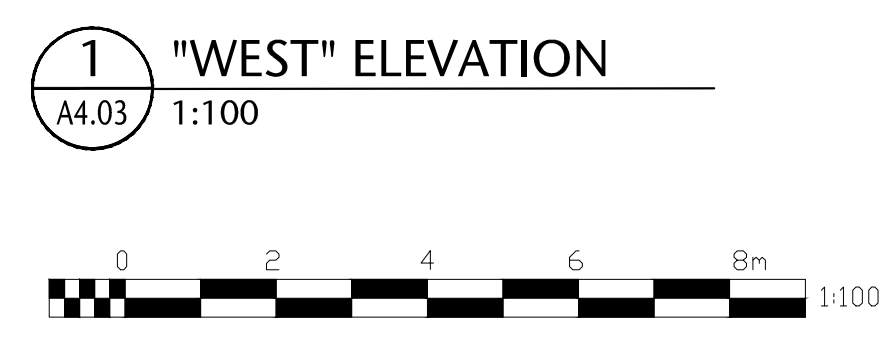
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sheet	
A4.02	
drawn	scale
DL	AS SHOWN
checked	project no.
DL	20.118

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VICTORIA, BRITISH COLUMBIA



AVERAGE GRADE MAIN FLOOR	8.10 GEODETTIC 8.80 GEODETTIC
---	EXISTING GRADE
---	NEW GRADE

- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium

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drawing title

ELEVATIONS

sheet

A4.03

drawn	DL	AS SHOWN	scale
checked	DL	20.118	project no.

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consultant

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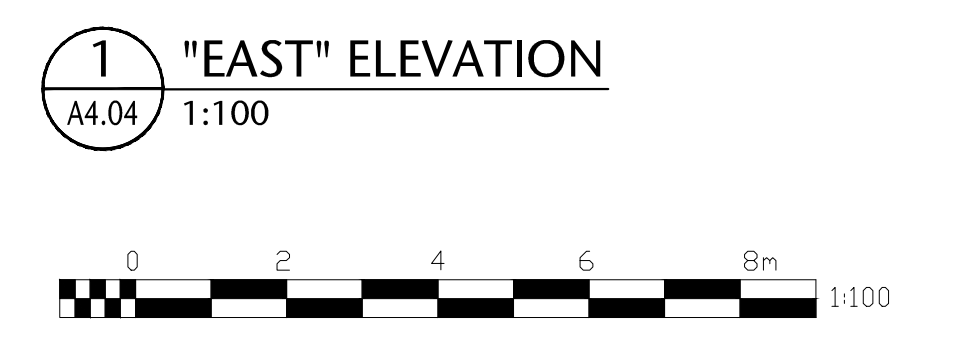
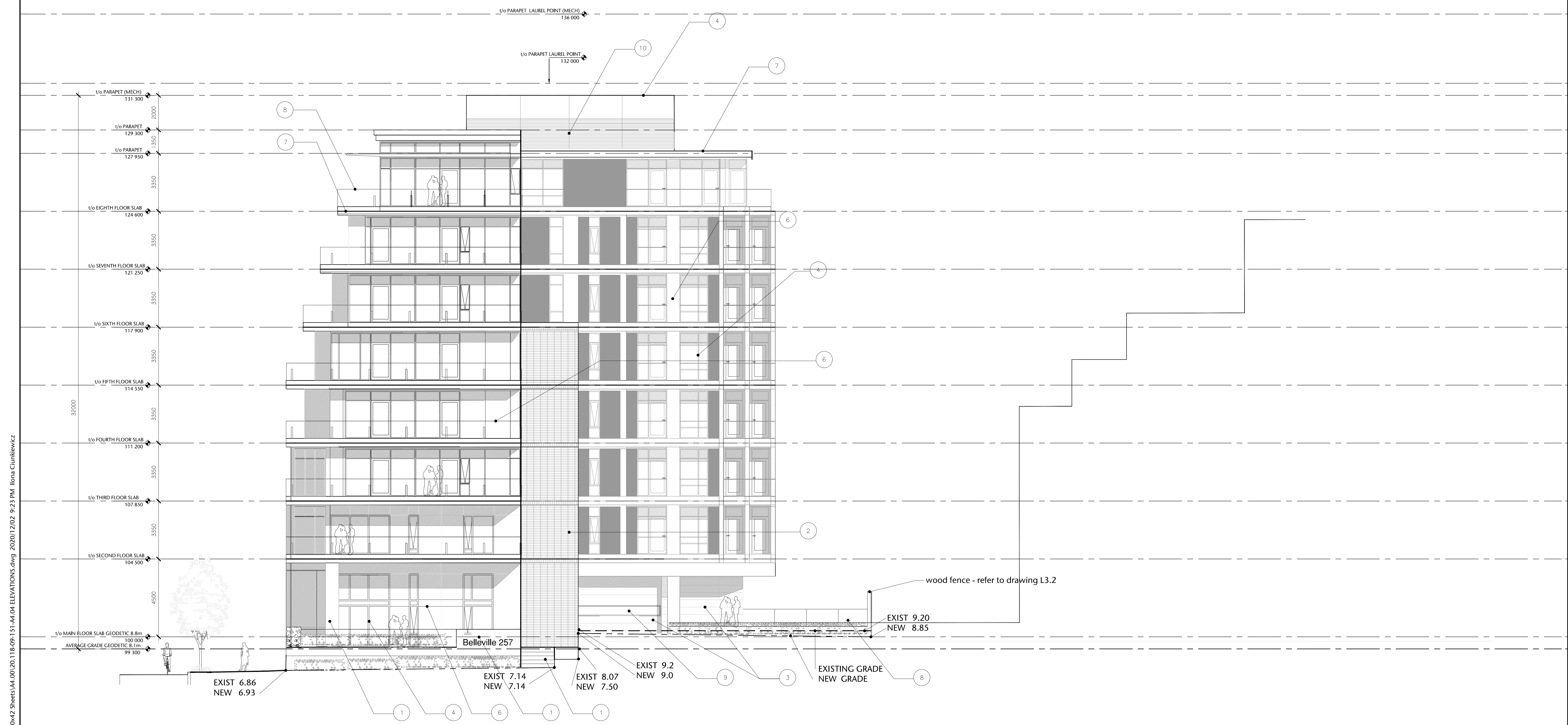
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ELEVATIONS

A4.04

drawn	DL	AS SHOWN	scale
checked	DL	20.118	project no.



AVERAGE GRADE	8.10 GEODETIC
MAIN FLOOR	8.80 GEODETIC

--- EXISTING GRADE
- - - NEW GRADE

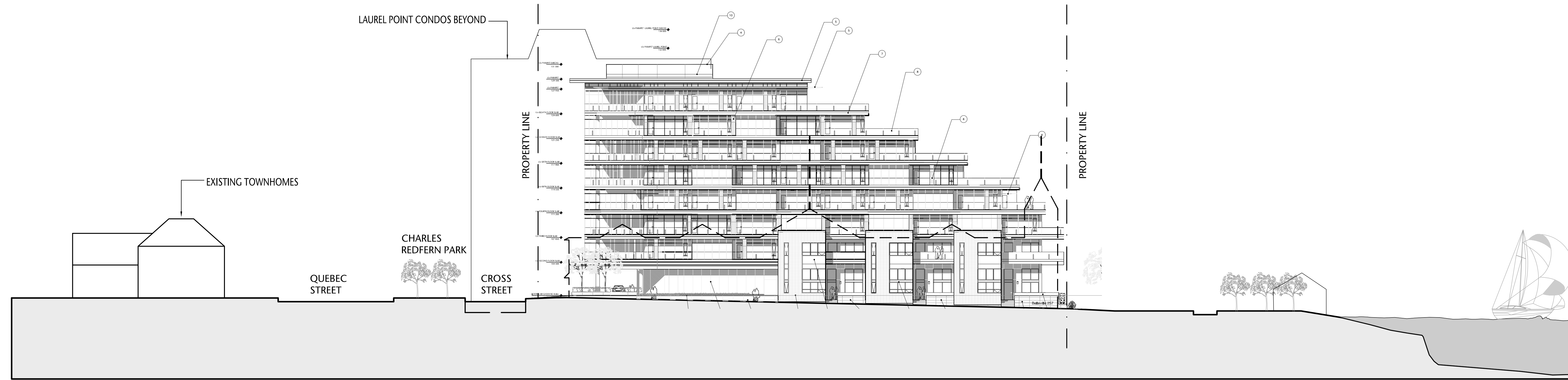
- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium

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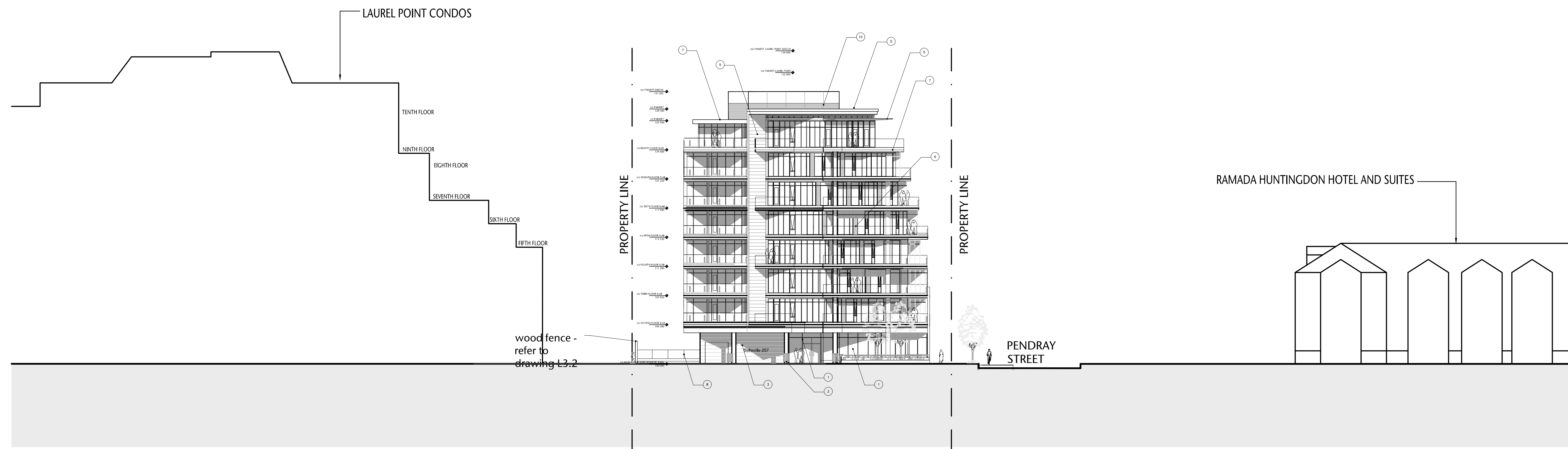
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1 STREETScape ELEVATION ALONG PENDRAY STREET
A4.05 1:250



2 STREETScape ELEVATION ALONG QUEBEC STREET
A4.05 1:250



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STREETScape ELEVATIONS

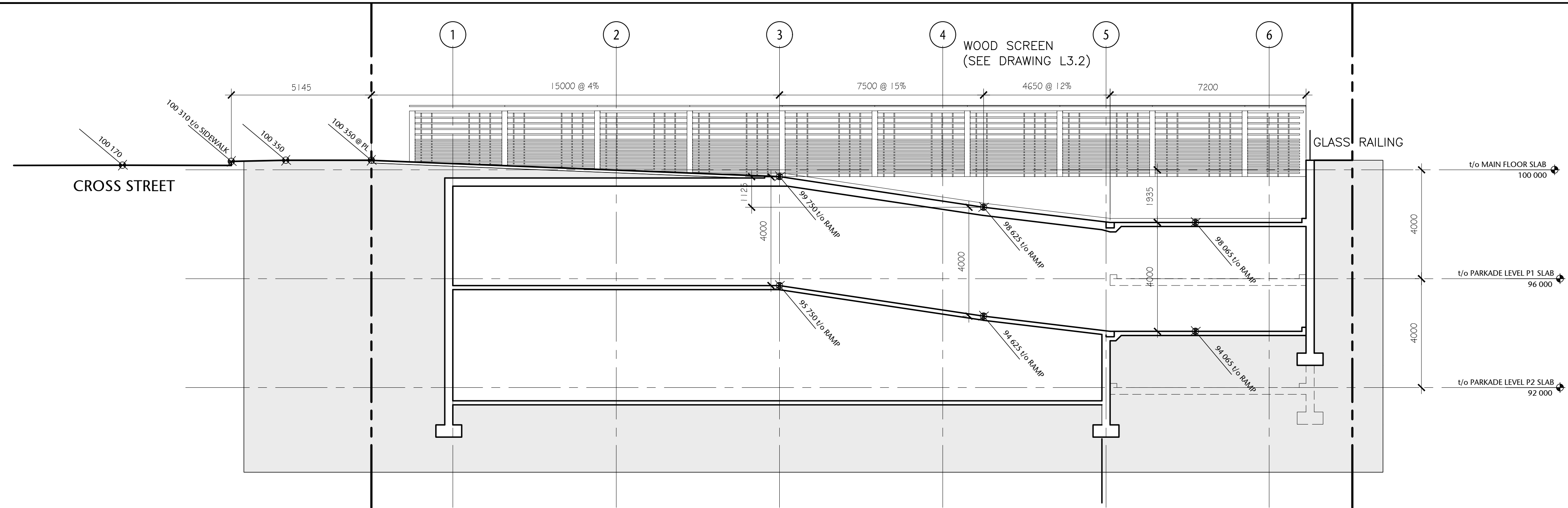
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POR, DS	AS SHOWN
checked	project no.
DL	20.118

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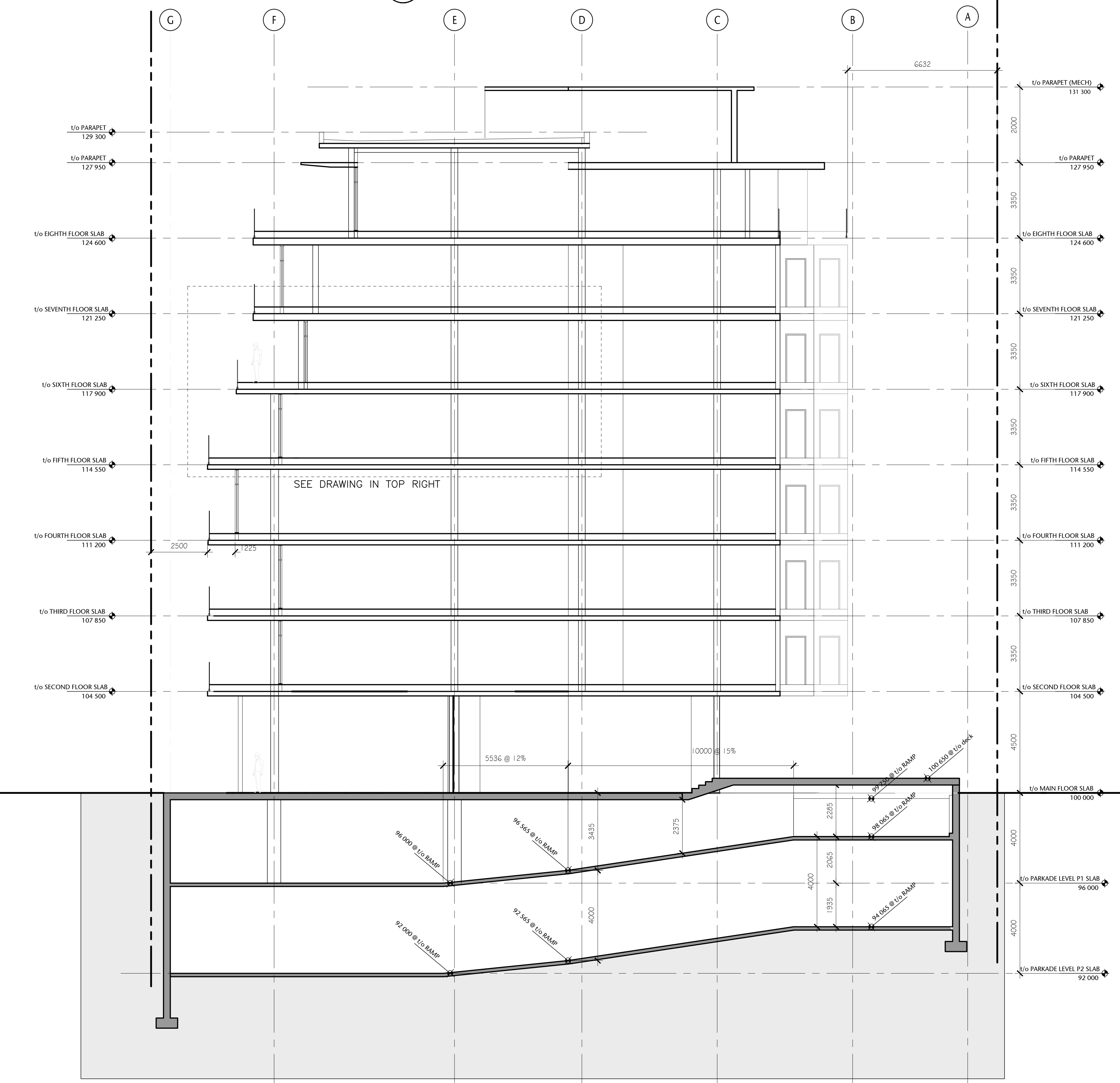
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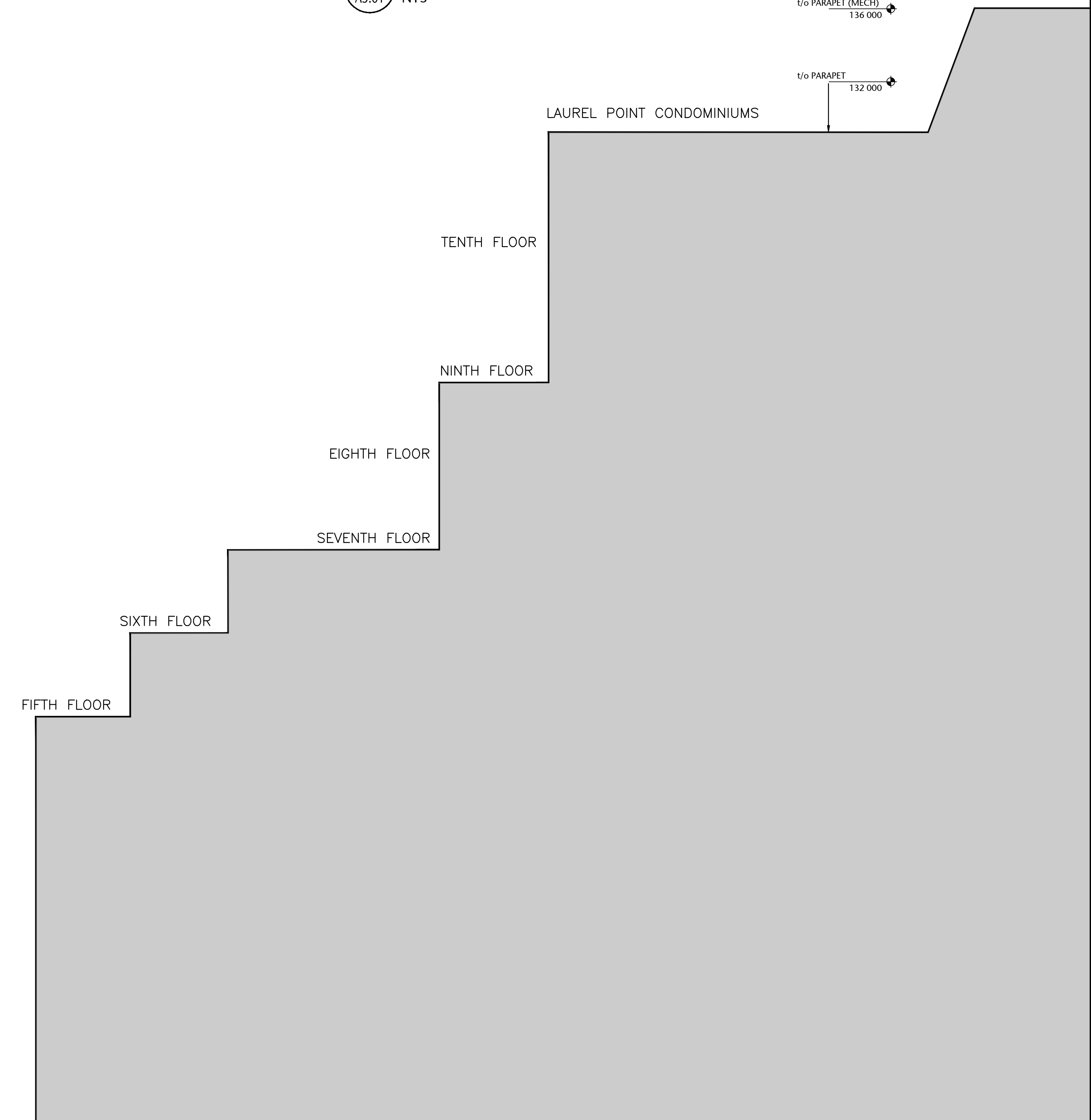
1 SECTION THRU PARKADE RAMP - EAST WEST
A5.01 1:100



3 SECTION THROUGH TYPICAL BALCONY
A5.01 NTS



2 BUILDING SECTION - NORTH SOUTH
A5.01 1:100



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BUILDING SECTIONS

A5.01

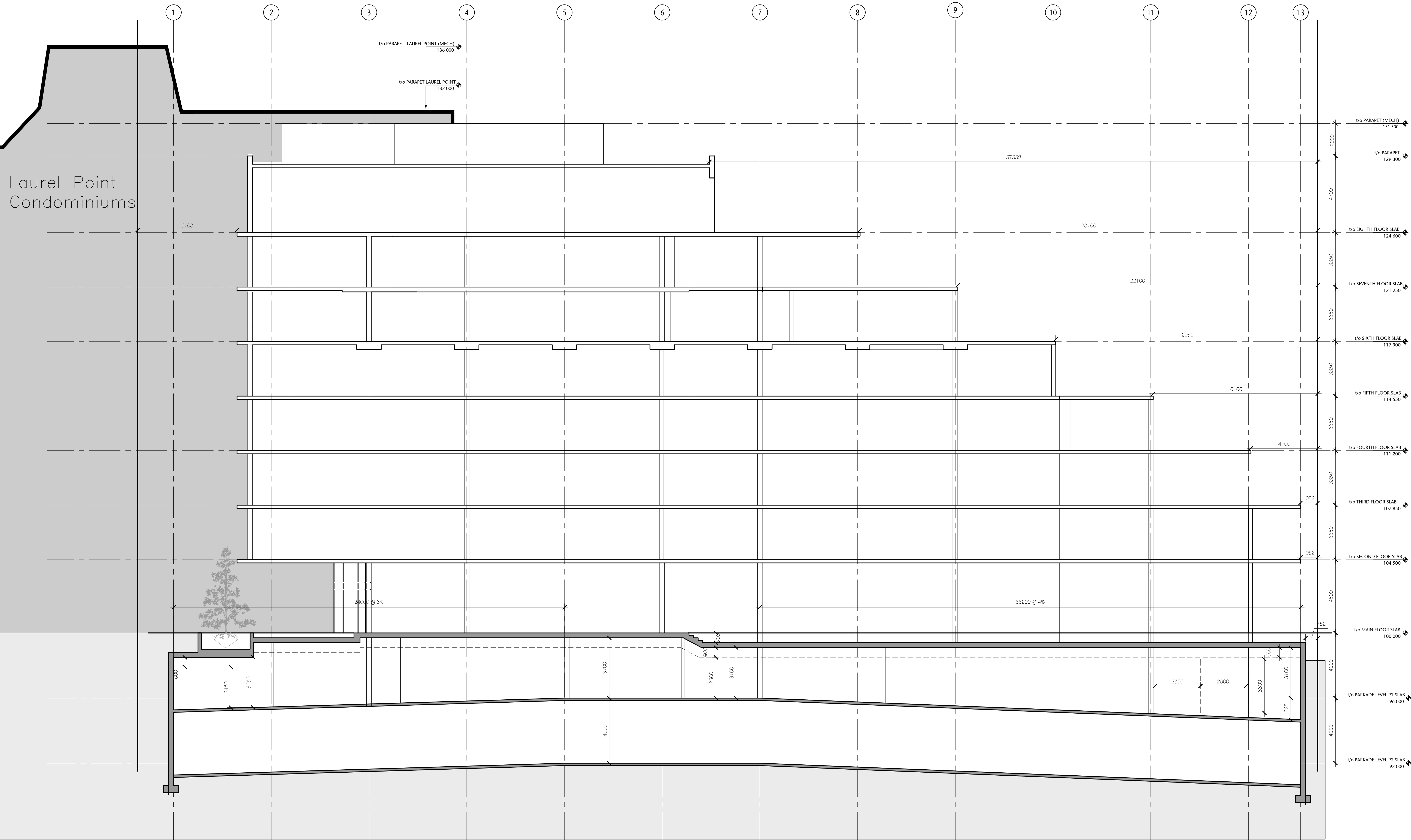
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PO, DS, DL	AS SHOWN
checked	project no.
DL	20.118

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DETAIL OF BALCONY BOXES



1 BUILDING SECTION
AS.02
1:100

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drawing title
BUILDING SECTIONS

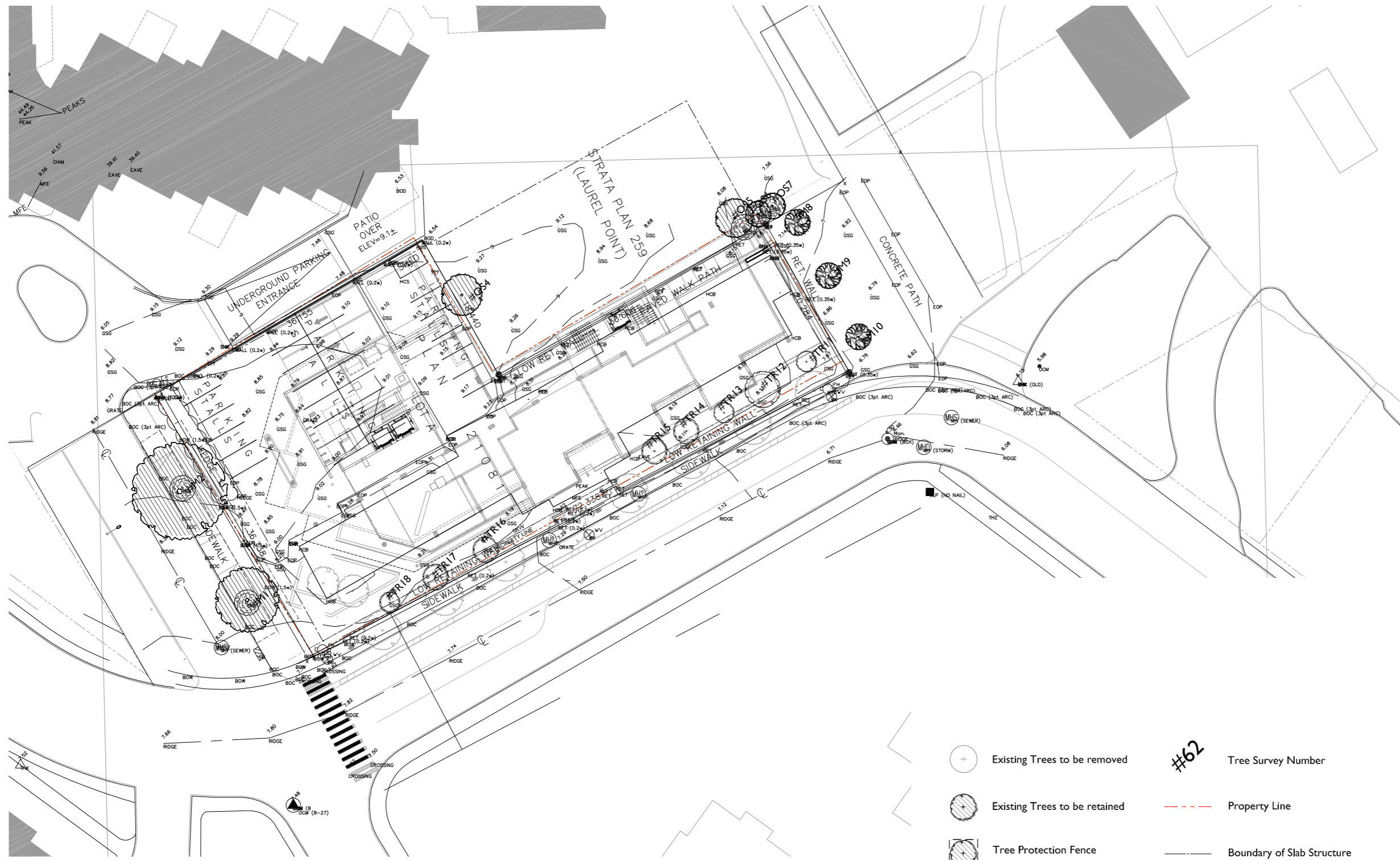
sheet
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drawn	scale
PO, DS, DL	AS SHOWN
checked	project no.
DL	20.118

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Revisions
 Received Date: September 20, 2023
 Deemed Date: October 28, 2022

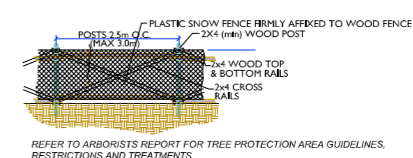


- Existing Trees to be removed
- #62 Tree Survey Number
- Existing Trees to be retained
- Property Line
- Tree Protection Fence
- Boundary of Slab Structure

GENERAL NOTES:

1. THIS DRAWING IS FOR REFERENCE ONLY. REFER TO THE SURVEY MAP DATED APRIL 17, 2014 PROVIDED BY BENNETT LAND SURVEYING LTD.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL.
3. ALL PRUNING TO BE DONE UNDER THE SUPERVISION OF THE APPOINTED ARBORIST AS PER SPEC.
4. REFER TO ELECTRICAL DRAWINGS FOR ALL SERVICE TERMINATION AND RESTATEMENT.
5. ALL ON-SITE LANDSCAPE FEATURES AND PLANTS NOT IDENTIFIED FOR RETENTION OR RELOCATION ARE TO BE REMOVED.
6. REFER TO CERTIFIED ARBORIST'S TREE MANAGEMENT PLAN FOR TREE PRESERVATION.
7. ALL EXISTING STREET CURBS TO BE RETAINED UNLESS OTHERWISE NOTED.
8. POSSIBLE RETENTION OF TREES FOR SNAGS ALONG LANGARA TRAIL. ARBORIST TO REVIEW FEASIBILITY IN TERMS OF SAFETY.
9. REFER TO CIVIL DRAWINGS FOR REMOVAL, RETENTION AND/OR RELOCATION OF EXISTING PARKING AND SITE SERVICES.

TREE PROTECTION FENCE DETAIL (NTS):



REFER TO ARBORIST'S REPORT FOR TREE PROTECTION AREA GUIDELINES, RESTRICTIONS AND TREATMENTS

no.	issued for	date
	Development Permit	Nov 15/10
	Revised Development Permit	Feb 04/11
	Revised Development Permit	Feb 16/11
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	For Coordination	July 30/21
	Re-issued for Development Permit	Dec 06/21
	Re-issued for Development Permit	Jul 10/23



permit
 consultant

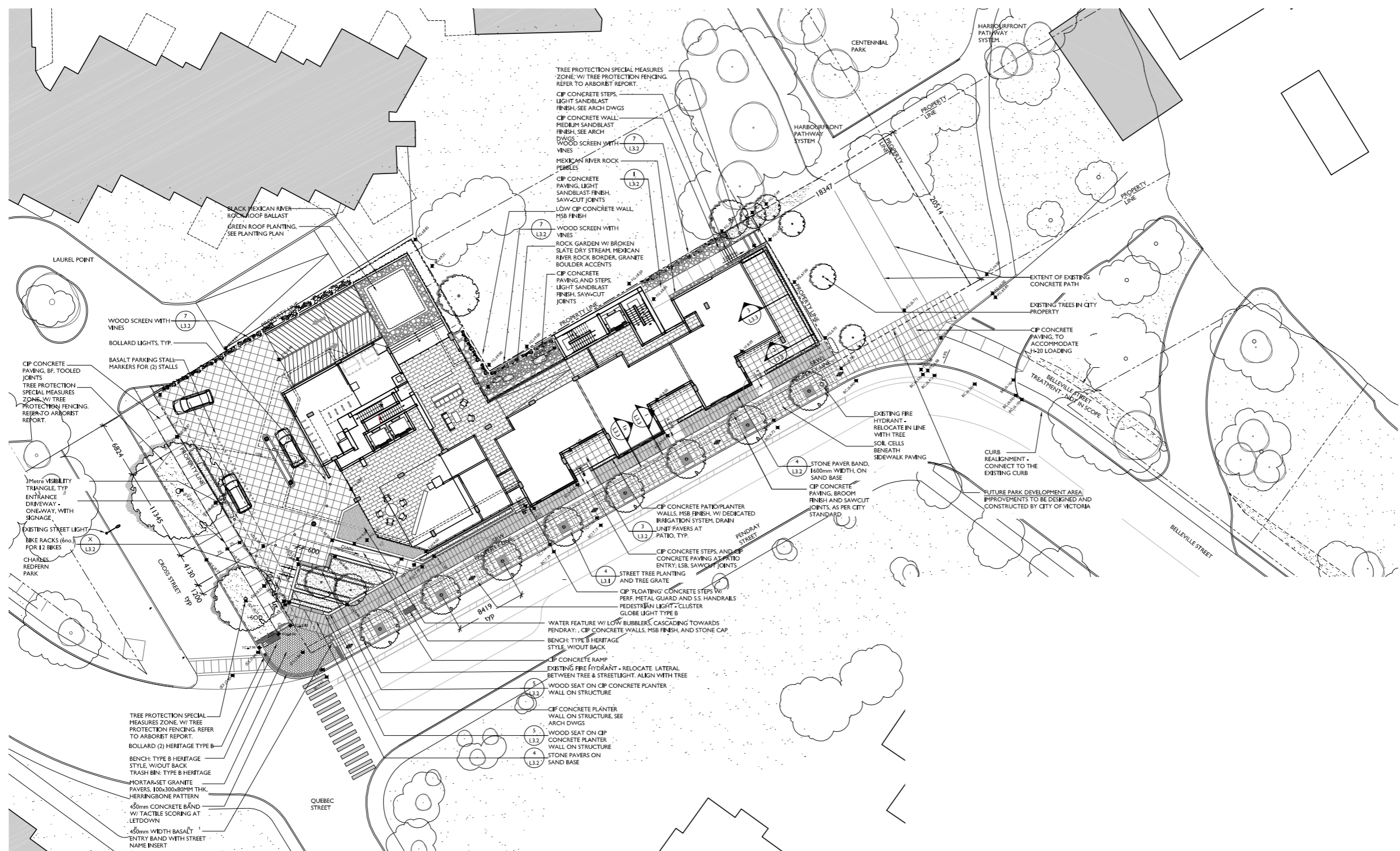


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drawing title
TREE MANAGEMENT PLAN
 sheet
L0.1
 MD drawn 1:200 scale
 CP checked 08005 project no.



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drawing title	
LANDSCAPE PLAN - GROUND FLOOR	
sheet	
LI.1	
MD	drawn 1:200 scale
CP	checked 08005 project no.

LANDSCAPE KEY LEGEND

CIP	CAST-IN-PLACE
PB	POOL BOTTOM
WL	WATER LEVEL
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
AD	AREA DRAIN
10.0m	PROPOSED SPOT ELEVATION (FINISHED GRADE)
(Tree symbol)	PROPOSED TREE
(Tree symbol)	EXISTING TREE TO BE REMOVED
(Plant symbol)	PLANT SPECIES
(Plant symbol)	PLANT QUANTITY
(Section symbol)	SECTION NUMBER
(Section symbol)	SET SHEET NO.
(Detail symbol)	DETAIL NUMBER
(Detail symbol)	SET SHEET NO.

GENERAL NOTES

1. PROVIDE ADEQUATE SUB-SURFACE DRAINAGE IN ALL LAWN AND PLANTING AREAS.
2. SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR GRADING.
3. ENSURE POSITIVE DRAINAGE.
4. STREETScape TO APPROVAL OF ENGINEERING SERVICES. ALL STREET TREES TO HAVE 8" WIDE 18" DEPTH 'DEEP ROOT' ROOT BARRIER, OR PRE-APPROVED EQUIVALENT, AT ALL SIDEWALK LOCATIONS.
5. ALL STREET TREE SPECIES AND SPACING TO CONFORM TO CITY OF VICTORIA STANDARD SPACING AND CLEARANCE.
6. FINAL TREE LOCATIONS TO BE DETERMINED TO THE SATISFACTION OF ENGINEERING SERVICES.
7. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANT MATERIAL INCLUDING STREETLEVEL PLANTINGS AND GREEN ROOF PLANTINGS. HOSEBBS SHALL BE PROVIDED IN ALL PRIVATE COURTYARD AND PATIO AREAS. IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
8. ALL PLANT MATERIAL TO BCLNA AND BCCLA STANDARDS.
9. ROOT BARRIERS TO BE 'DEEP ROOT', 'ROOT SOLUTIONS' OR EQUAL.

IRRIGATION: GENERAL NOTES

1. ALL LANDSCAPE IRRIGATION SHALL CONFORM TO IABC STANDARDS.
2. LANDSCAPE DRIPLINE SHALL BE LOOPED UNLESS OTHERWISE SPECIFIED.
3. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR ADEQUATE FOR THE SCOPE OF WORK. THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. AND HAVE MET THE QUALIFICATION STANDARDS CURRENTLY APPLIED TO CONTRACTORS BY THAT ORGANIZATION.
4. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL LANDSCAPE IRRIGATION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. ANY SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT WILL BE REJECTED.

LAYOUT AND MATERIALS: GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
6. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
7. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
8. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.

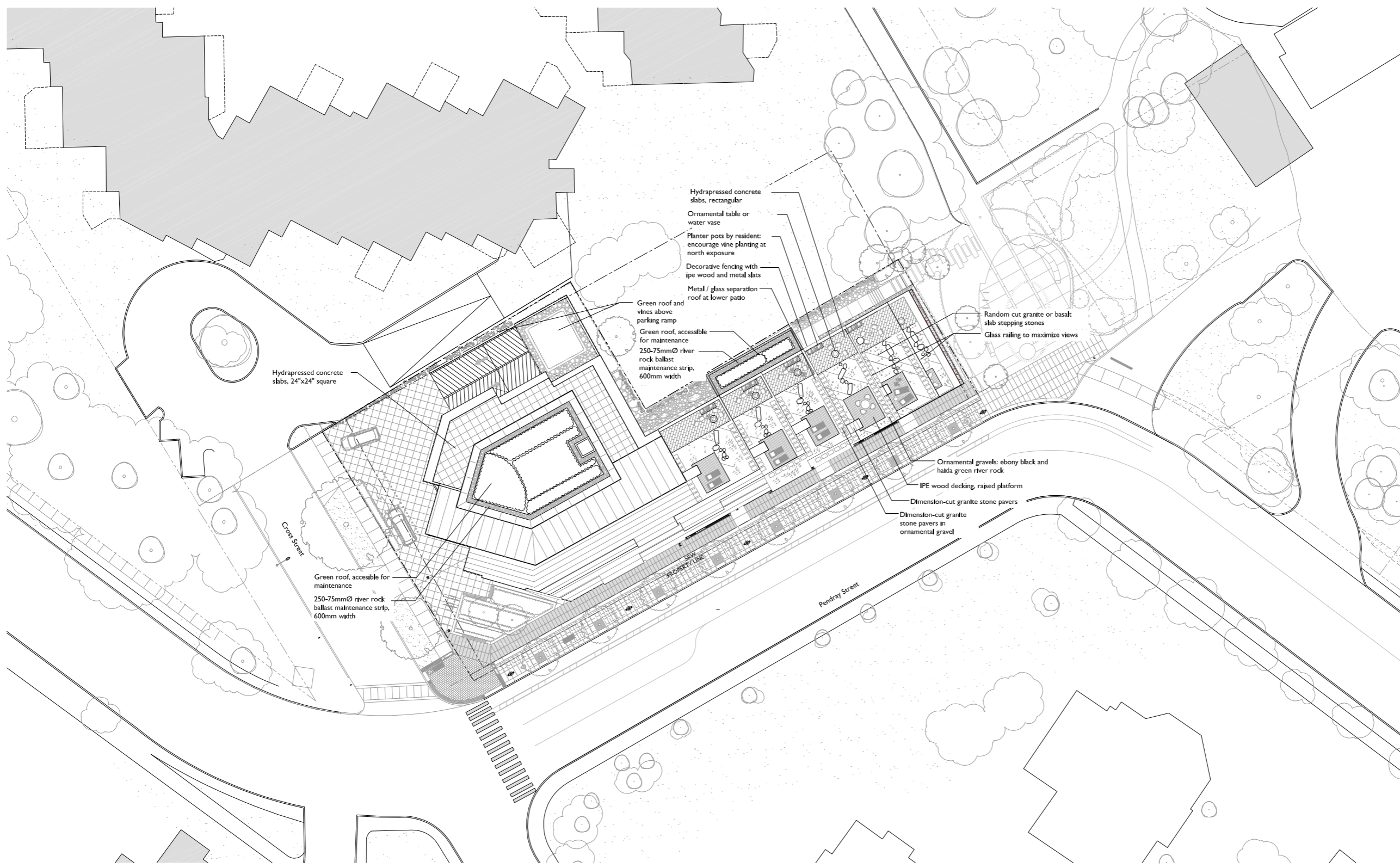
GRADING: GENERAL NOTES

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES, UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 4:1 (25%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.



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1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
6. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
7. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LET-DOWNS.
8. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.

IRRIGATION: GENERAL NOTES

1. ALL LANDSCAPE IRRIGATION SHALL CONFORM TO IABC STANDARDS.
2. LANDSCAPE DRIPLINE SHALL BE LOOPED UNLESS OTHERWISE SPECIFIED.
3. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR ADEQUATE FOR THE SCOPE OF WORK. THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. AND HAVE MET THE QUALIFICATION STANDARDS CURRENTLY APPLIED TO CONTRACTORS BY THAT ORGANIZATION.
4. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL LANDSCAPE IRRIGATION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. ANY SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT WILL BE REJECTED.
5. GREEN ROOF PLANTING IS TO BE FULLY IRRIGATED.

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_____ seal
 _____ permit
 _____ consultant



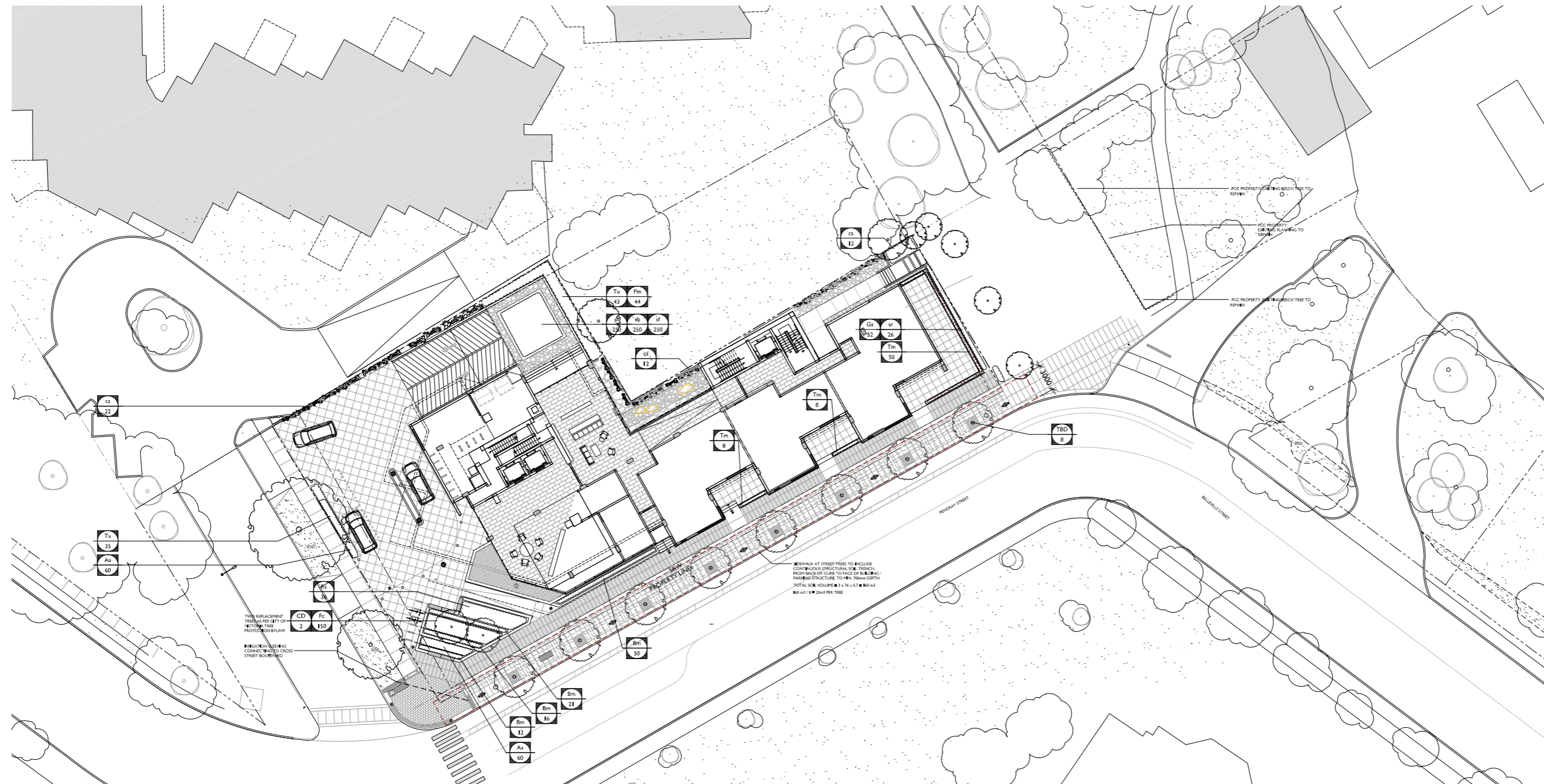
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drawing title
LANDSCAPE PLAN - ROOF LEVELS
 sheet
LI.2
 MD drawn 1:200 scale
 CP checked 0805 project no.



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257 BELLEVILLE STREET
 VICTORIA,
 BRITISH COLUMBIA.



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
TREES					
TBD	8	BOULEVARD TREE SPECIES TO BE DETERMINED AT BUILDING PERMIT STAGE		MEDIUM	
CD	2	CRATAEGUS DOUGLASII	BLACK HAWTHORN	7 CM CAL	MATCHING, FULL
SHRUBS / GROUNDCOVERS					
Aa	120	ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	#2 POT	450mm O.C.
Bm	99	BUXUS MICROPHYLLA GREEN BEAUTY	GREEN BEAUTY LITTLE LEAF BUXUS	#3 POT	450mm O.C.
Fc	150	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	#1 POT	300mm O.C.
Gs	52	GAULTHERIA SHALLON	SALAL	#2 POT	300mm O.C.
Pm	44	POLYSTICHUM MINUTUM	WESTERN SWORD FERN	#2 POT	500mm O.C.
Rs	36	RIBES SANGUINEUM	FLOWERING CURRANT	#3 POT	600mm O.C.
Tm	100	TAXUS MEDIA HICKSII, MAL	HICKS YEW	#5 POTS	380mm O.C., MALE
Tx	35	TAXUS MEDIA HICKSII, MAL	HICKS YEW	42" HT., FIELD GROWN, FULL	500mm O.C., MALE
To	43	THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	2.5M HEIGHT	500mm O.C.
GRASS / PERENNIALS					
sr	26	SMLACINA RACEMOSA	FALSE SOLOMON'S SEAL	#2 POTS	450mm O.C.
CLIMBERS					
ca	46	CLEMATIS ARMANDII	EVERGREEN CLEMATIS		1200 O.C.
GREEN ROOF					
sa	2450	SEDUM ACRE			8" O.C.
sb	850	SEDUM SPECTABILE 'BRILLIANT'			10" O.C.
sf	2450	SEDUM FLORIFERUM 'WEINHENSTEPHANER GOLD'			8" O.C.

PLANTING: GENERAL NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD. THIS STANDARD IS PUBLISHED JOINTLY BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) AND THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA).
- SEARCH AREA FOR ALL PLANT MATERIAL SHALL BE: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
- PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT.
- ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE. TREES SHALL BE IN GOOD HEALTH AND VIGOR WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, DAMAGE, OR OTHER DISFIGUREMENTS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK WILL BE ACCEPTED.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT - AS PER SPECIFICATIONS - PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL SHALL BE REJECTED AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
- PROVIDE IRRIGATION TO ALL PLANT MATERIAL AS SHOWN ON LANDSCAPE DRAWINGS AND PLANS. PLANTING BENEATH PATIOS AND VERHANGS SHALL BE IRRIGATED ON SEPARATELY VALVED IRRIGATION SYSTEM, THROUGH HEATED GARAGE, WHICH CAN OPERATE DURING WINTER MONTHS.
- IRRIGATION MUST MEET THE STANDARDS FOR IRRIGATION INSTALLATION SET OUT IN THE CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C, TO VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW.
- THE PARKS DIVISION MUST INSPECT THE IRRIGATION SYSTEM PRIOR TO BACKFILLING AND AGAIN WHEN THE SYSTEM IS FUNCTIONING.
- PUBLIC REALM IMPROVEMENTS, INCLUDING STREET TREES, STREET-SIDE ORNAMENTAL GRASSES, SOD, AND PLAZA PLANTING ARE TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM, FROM A DESIGNATED CITY WATER SOURCE. AN IRRIGATION SYSTEM WITH A SEPARATE WATER SERVICE AND DOUBLE CHECK VALVE, FOR TREE WATERING RINGS ONLY, SHALL BE ADDED FOR THE PROPOSED BOULEVARD TREES ALONG BELLEVILLE ST.
- AN "AS BUILT" PLAN MUST BE SUBMITTED TO THE PARKS DIVISION AFTER INSTALLATION.
- SIDEWALK AT STREET TREES TO INCLUDE CONTINUOUS STRUCTURAL SOIL TRENCH, FROM BACK OF CURB TO FACE OF BUILDING / PARKING STRUCTURE, TO MIN. 700mm DEPTH.
- TREES TO BE PROCURED AND PLANTED BY APPLICANT.
- TREES IDENTIFIED AS "REPLACEMENT TREES" AS PER CITY OF VICTORIA TREE PROTECTION BYLAW SHALL MEET CITY OF VICTORIA TREE REPLACEMENT GUIDELINES, INCLUDING:
 - SHALL BE IN GOOD HEALTH AND VIGOR WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, DAMAGE, OR OTHER DISFIGUREMENTS, AND SHALL COMPLY WITH THE LATEST VERSION OF THE "CANADIAN LANDSCAPE STANDARDS" PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN NURSERY LANDSCAPE ASSOCIATION.

STREET TREE INSPECTION NOTES:

THE PROPOSED BOULEVARD TREES MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW AND THE CURRENT VERSION OF THE CANADIAN LANDSCAPE STANDARD. PLANTING DETAILS CAN BE FOUND IN SCHEDULE B3-4. THE FOLLOWING TREE INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT ROB HUGHES, rhughes@victoria.ca AND ALSO COPY treepermits@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

TREE PLANTING INSPECTIONS:

- EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS
- TREES PRIOR TO PLANTING. (PARKS STAFF CAN INSPECT TREES PRIOR TO SHIPPING AT LOCAL NURSERIES. PHOTOS CAN BE PROVIDED FROM UP-ISLAND AND MAINLAND NURSERIES. TREE MUST MEET THE SPEC UPON DELIVERY.)
- COMPLETED PLANTING - TREE PLANTING, GRATE/GUARD, STAKES, ETC.

IRRIGATION INSPECTION NOTES:

IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT CHUCK BASS, cbass@victoria.ca AND ALSO COPY treepermits@victoria.ca AND KYLE MCMORRAN kcmorran@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

IRRIGATION INSPECTION REQUIREMENTS:

- THE IRRIGATION SYSTEM AND SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042.
- IRRIGATION SLEEVING PRIOR TO BACKFILLING
- OPEN TRENCH MAIN LINE AND PRESSURE TEST
- OPEN TRENCH LATERAL LINE
- IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY IS TO HAVE AN INSPECTION TAG COMPLETE AND ATTACHED.
- PLEASE NOTE: PARKS IS NOW REQUESTING THAT 100mm SDR 28 PIPE BE USED FOR IRRIGATION SLEEVING UNDER HARD SURFACES. INSTALLATIONS WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100mm SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400mm DEPTH.

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	Re-issued for Development Permit	Dec 06/21
	Re-issued for Development Permit	Jul 10/23



**PLANTING PLAN
 GROUND FLOOR**

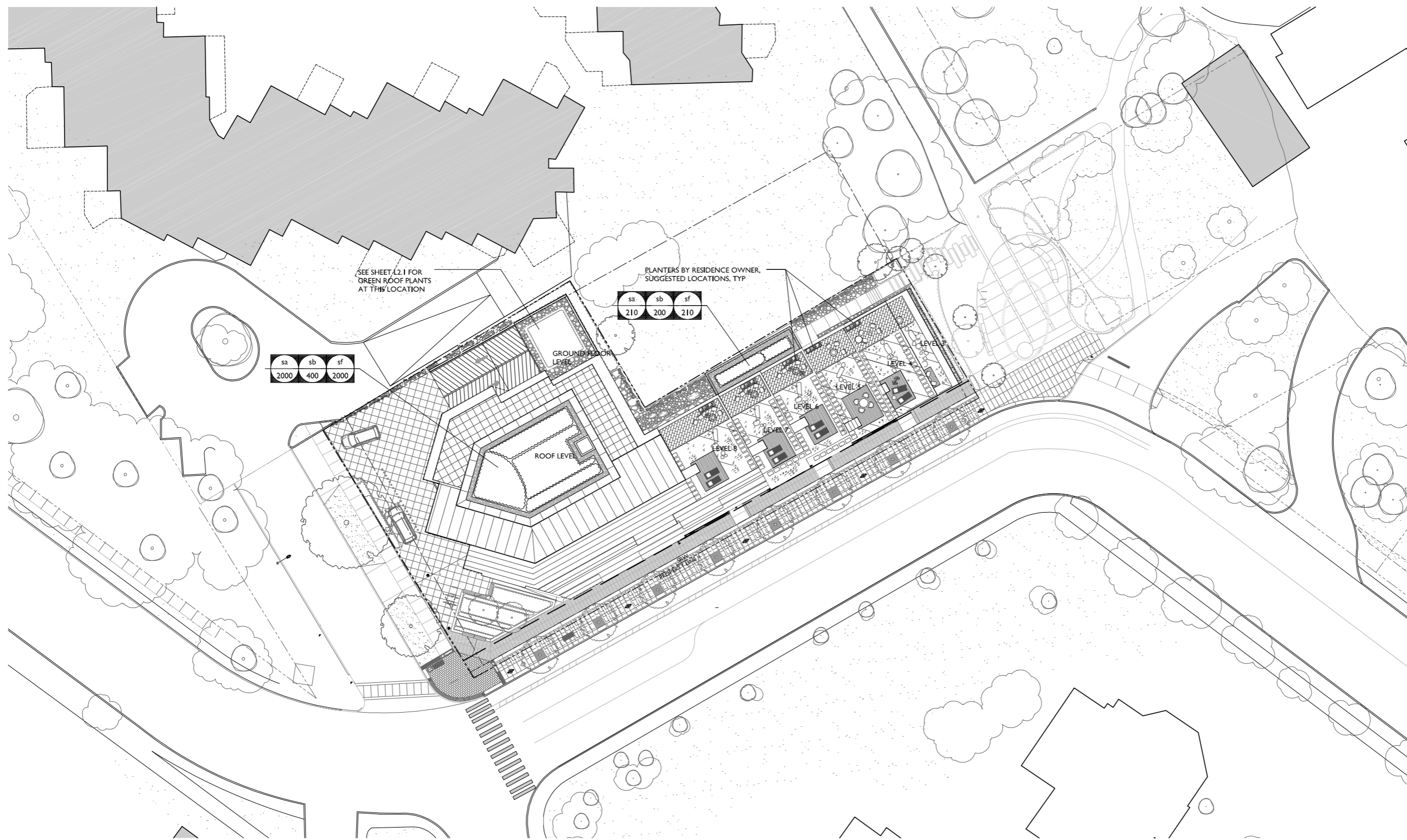
L2.1

MD	drawn	1:200	scale
CP	checked	08005	project no.



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PLANTING PLAN - ROOF LEVELS

L2.2 sheet

MD	drawn	1:200	scale
CP	checked	08005	project no.

SEDUM SPECIES



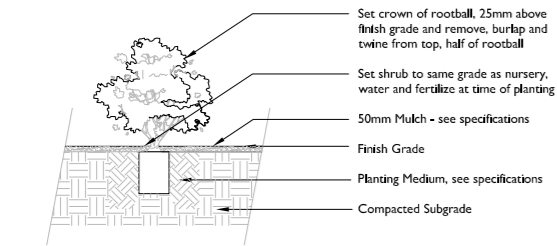
EXTENSIVE GREEN ROOF PLANTING EXAMPLES



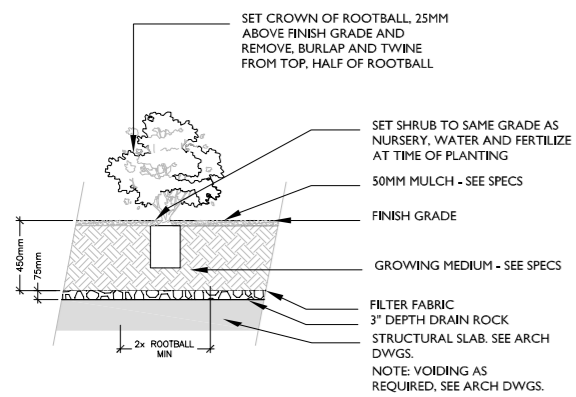
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TREES

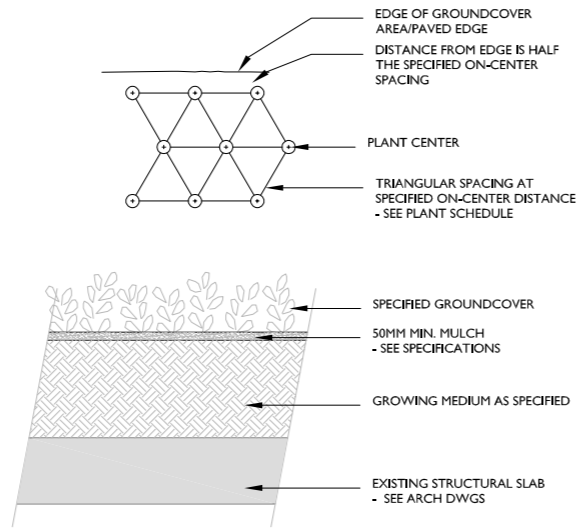
257 BELLEVILLE STREET
VICTORIA, BRITISH COLUMBIA.



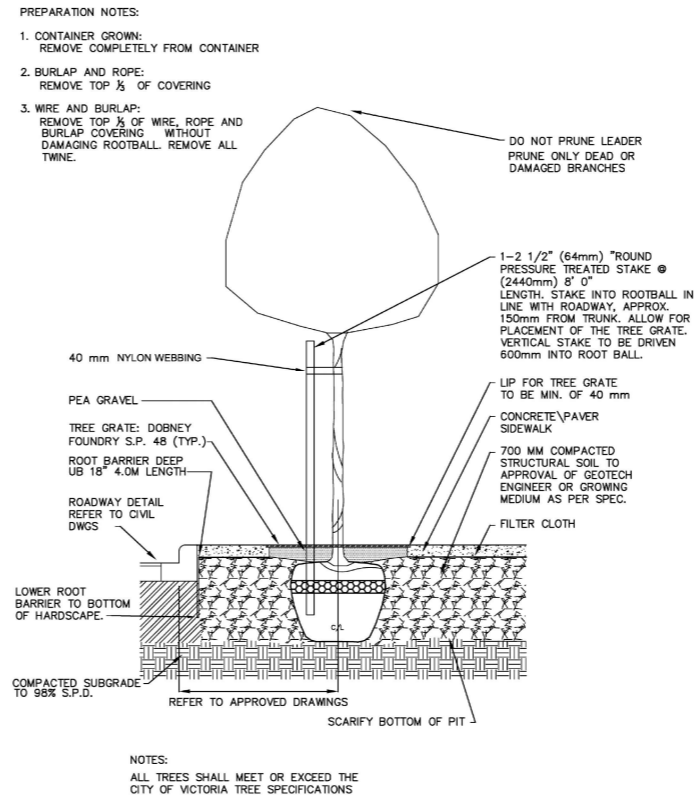
1 SHRUB PLANTING ON GRADE
L3.1 SCALE: 1:25



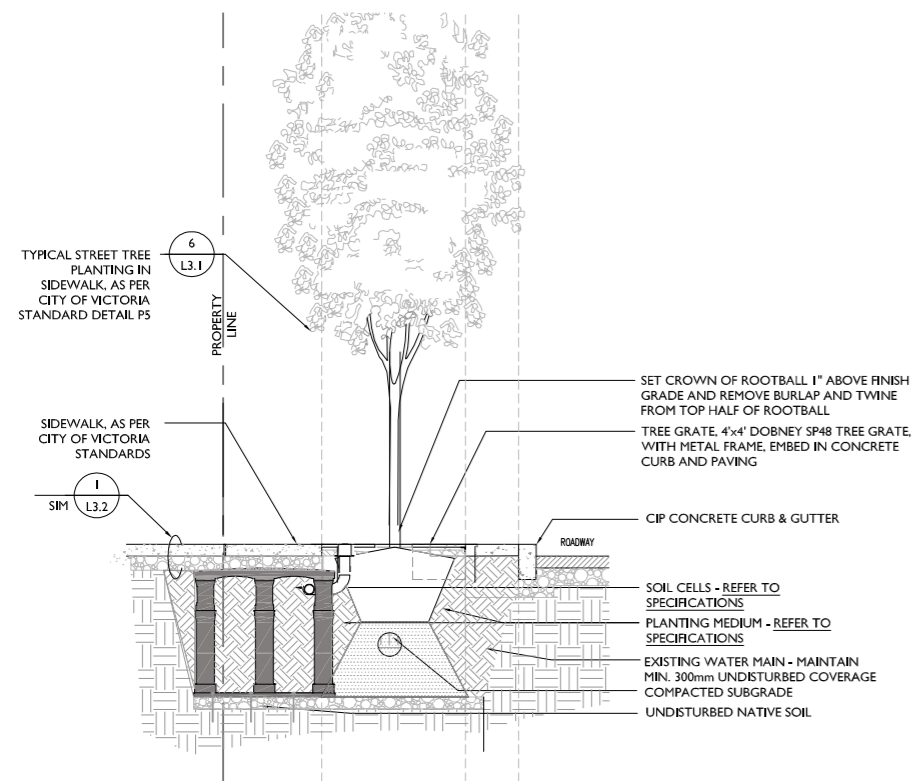
2 SHRUB PLANTING ON SLAB
L3.1 SCALE: 1:25



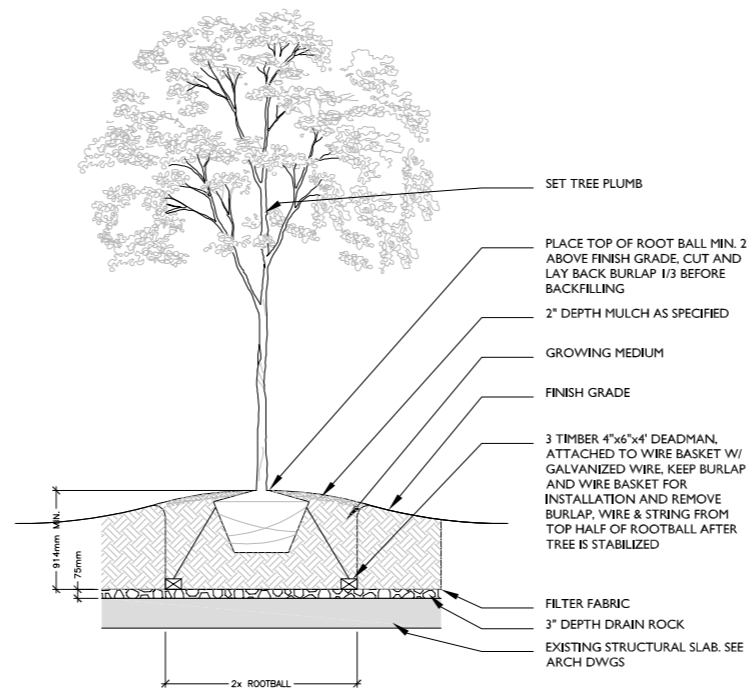
3 GROUNDCOVER ON SLAB
L3.1 SCALE: 1:20



6 CITY OF VICTORIA TREE PLANTING IN BOULEVARD DETAIL SD P5
L3.1 SCALE: NTS



4 TYPICAL STREET TREE PLANTING W/ TREE GRATE AND STRUCTURAL SOIL
L3.1 SCALE: 1:25



5 DECIDUOUS TREE PLANTING ON SLAB
L3.1 SCALE: 1:25

ACER RUBRUM 'BOWHALL' BOWHALL UPRIGHT RED MAPLE

ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE

STYRAX JAPONICA - JAPANESE SNOWBALL

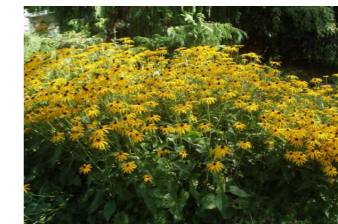
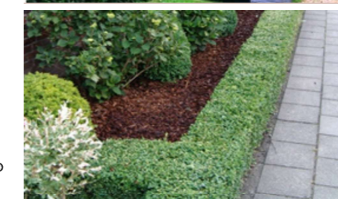
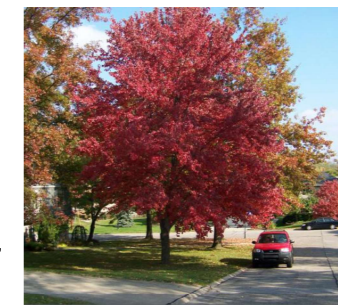
SHRUBS / GROUNDCOVERS

TAXUS MEDIA 'HICKSII' - HICKS' YEW

BUXUS JAPONICUM - 'GREEN BEAUTY' BOXWOOD

STIPA TENNISISIMA - MEXICAN FEATHER GRASS

RUDBECKIA 'GOLDSTURM' - GOLDSTURM CONEFLOWER



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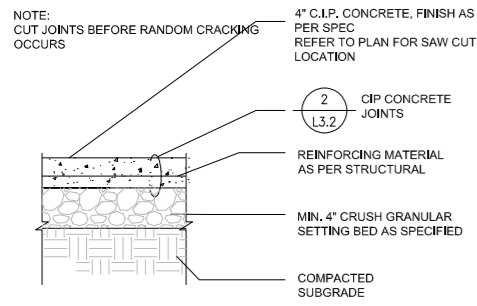
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PLANTING DETAILS

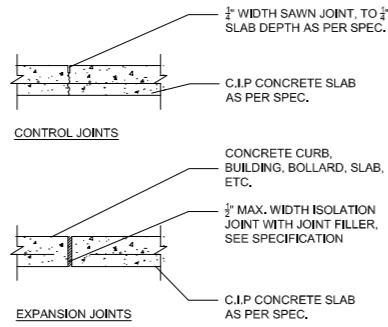
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CP	checked	08005	project no.

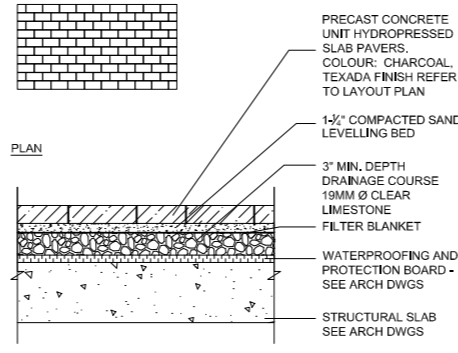
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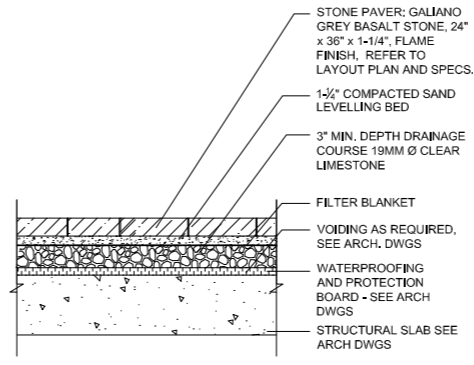
1 CIP CONCRETE PAVING
L3.2 SCALE: 1:10



2 CIP CONCRETE JOINTS TYP.
L3.2 SCALE: 1"=1'



3 UNIT CONCRETE PAVING
L3.2 SCALE: 1:10



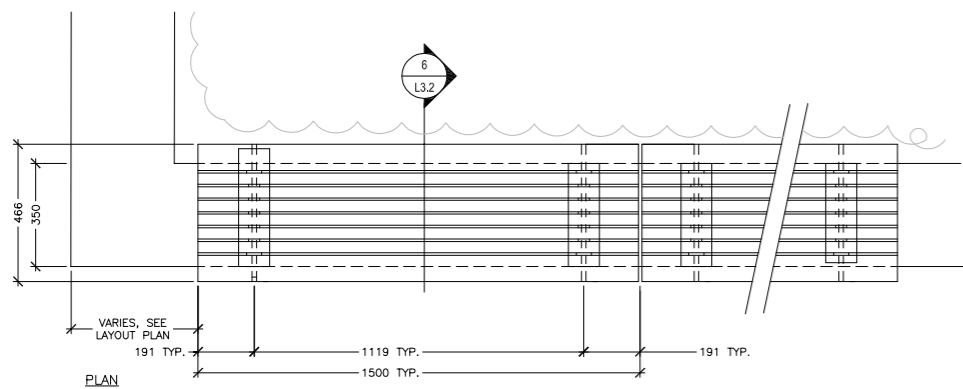
4 STONE PAVING ON STRUCTURE
L3.2 SCALE: 1:10



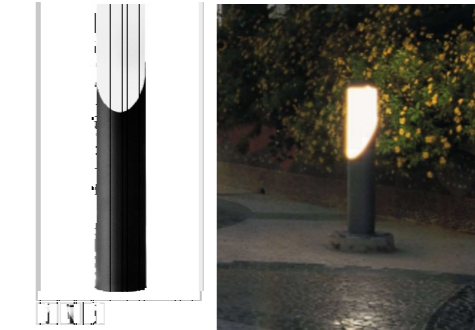
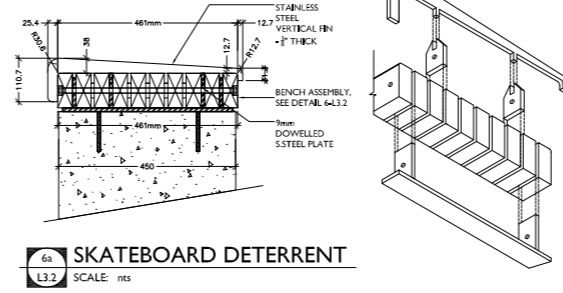
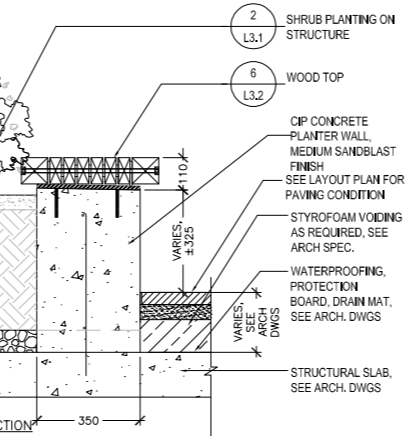
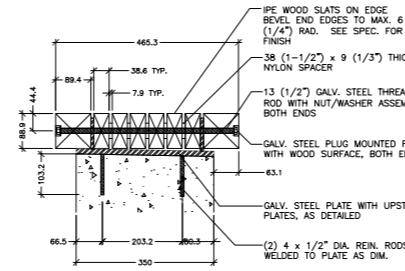
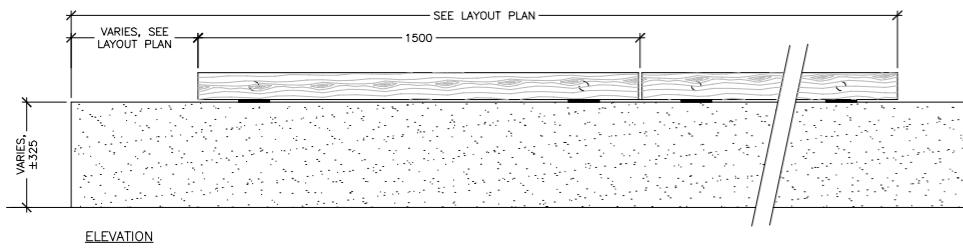
BASALT AND CONCRETE PAVING - EXAMPLE



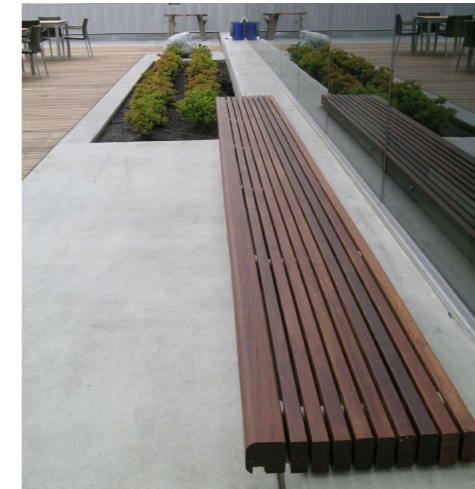
BIKE RACK - EXAMPLE



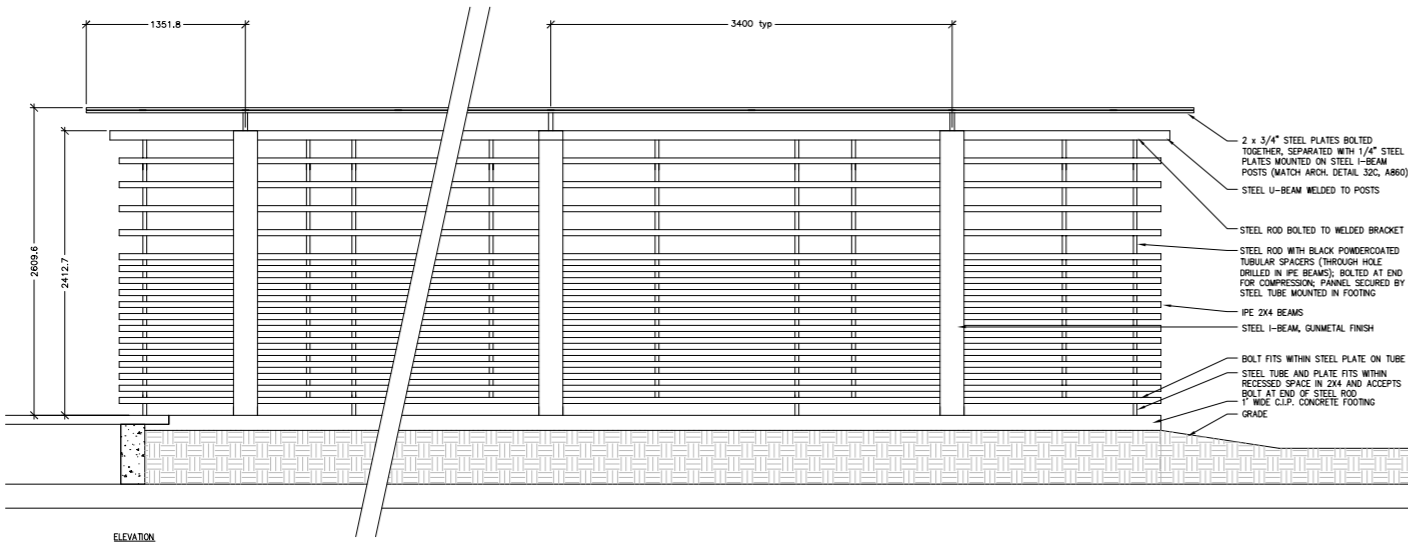
5 WOOD BENCH ON CONCRETE PLANTER WALL
L3.2 SCALE: -



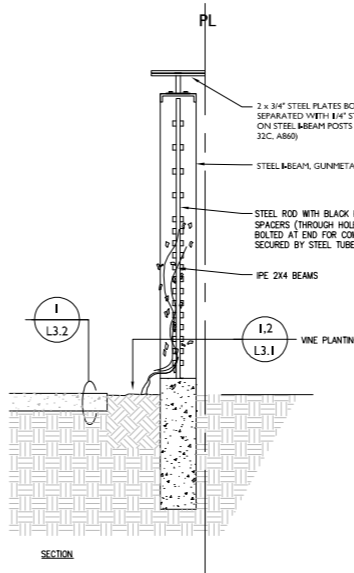
BOLLARD LIGHT - EXAMPLE



WOOD TOP BENCH - EXAMPLE



7 WOOD SCREEN
L3.2 SCALE: -



WOOD SCREEN - EXAMPLE

257 BELLEVILLE STREET
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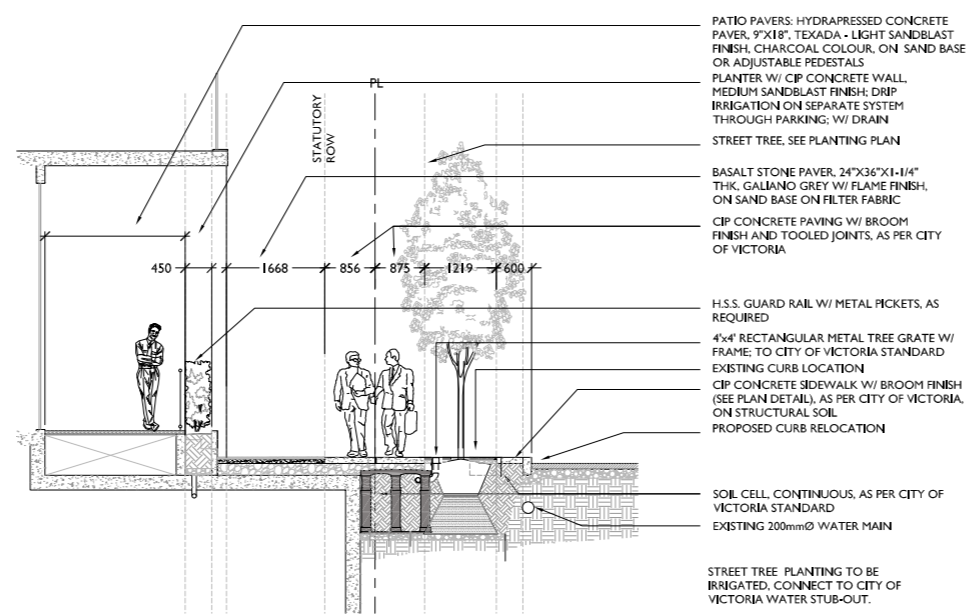
LANDSCAPE SECTIONS and DETAILS

L3.2	sheet		
MD	drawn	1:200	scale
CP	checked	08005	project no.

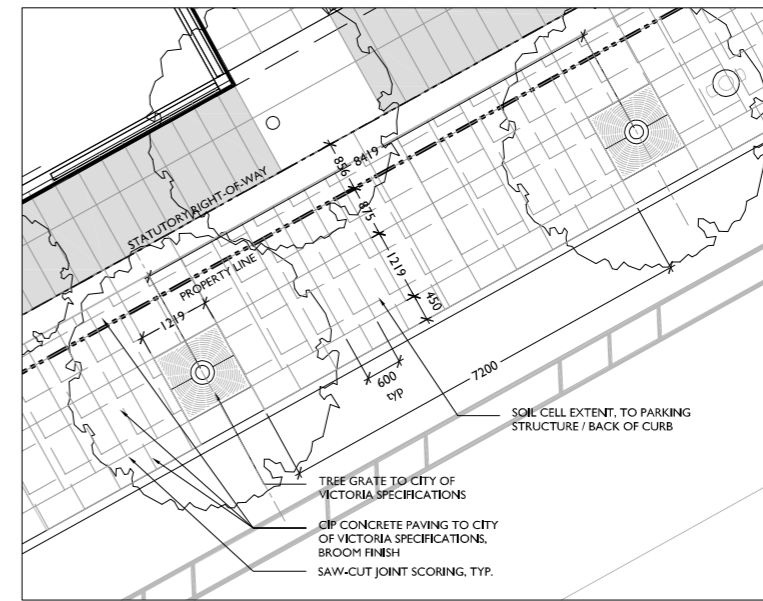
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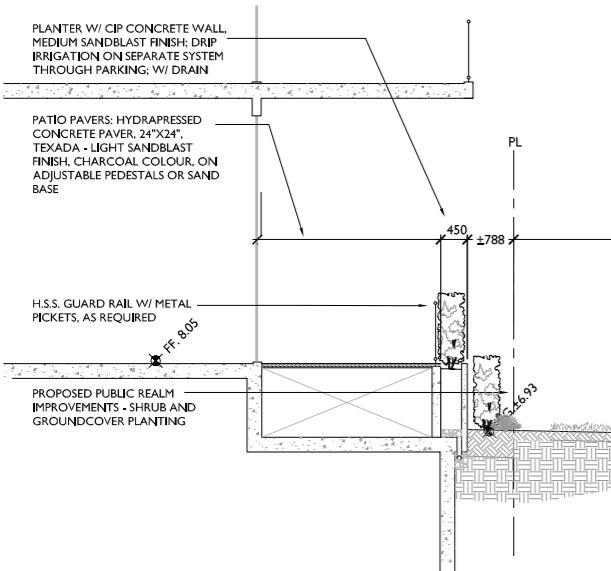
SECTION KEY
NOT TO SCALE



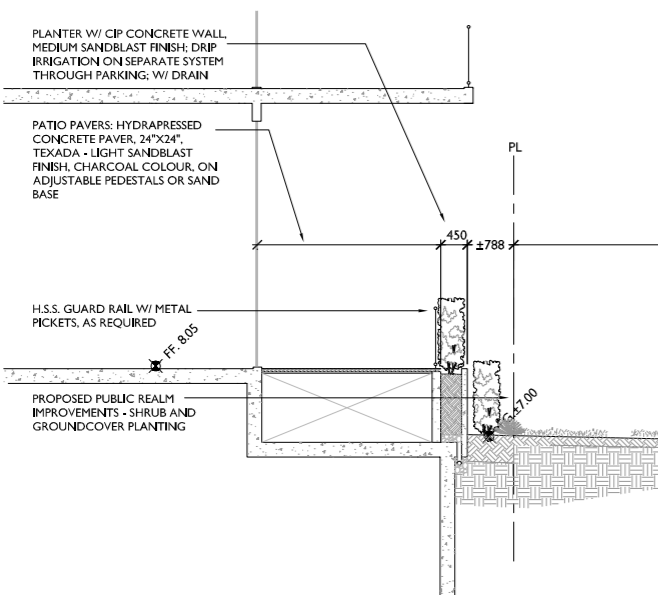
SECTION I - AT PENDRAY STREET - STREET TREE & GRATE
SCALE: 1:50



PLAN DETAIL - PENDRAY STREET SIDEWALK PAVING
SCALE: 1:50



SECTION 2 - AT PUBLIC R.O.W., NORTH-WEST
SCALE: 1:50



SECTION 3 - AT PUBLIC R.O.W., NORTH-WEST
SCALE: 1:50

PLAN DETAIL DELETED
- NOT IN SCOPE

PLAN DETAIL - PUBLIC R.O.W., NW (N.I.C.)
SCALE: 1:100



PRECEDENT:
CENTENNIAL PARK - LOW WALL W/ STONE FACING

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drawing title
**LANDSCAPE SECTIONS
and DETAILS**

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L3.3

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