



1132 EMPRESS AVENUE Re-issued for Re-Zoning and Parking Variance

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Owner:
 Taylor McCarthy
 taylor@fronterahomes.ca
 (514) 746-3392

Architect:
 Greenway Studio Architecture ULC
 411 Hazlett Creek Rd
 Victoria BC, V9E 2A3
 250.388.0603

Bruce Greenway Architect AIBC
 bruce@greenwaystudio.ca

Surveyor:
 McElhaney Associates Land Surveying
 Glen A Quarmby BCLS CLS

Arborist:
 Talbot Mackenzie & Associates
 Consulting Arborists
 Box 48153 RPO Uptown
 Victoria, BC V8Z 7H6
 Ph: (250) 479-8733 Fax: (250) 479-7050
 Email: tmtreehelp@gmail.com or trees@treehelp.ca

Civil Engineer:
 Jared Steingard, P.Eng., LEED AP
 Pacific Vista Consulting Ltd.
 cell: (250) 516-4143

Revisions
 Received Date:
 March 3, 2025

6	Re-Issued for Rezoning	25.02.20
5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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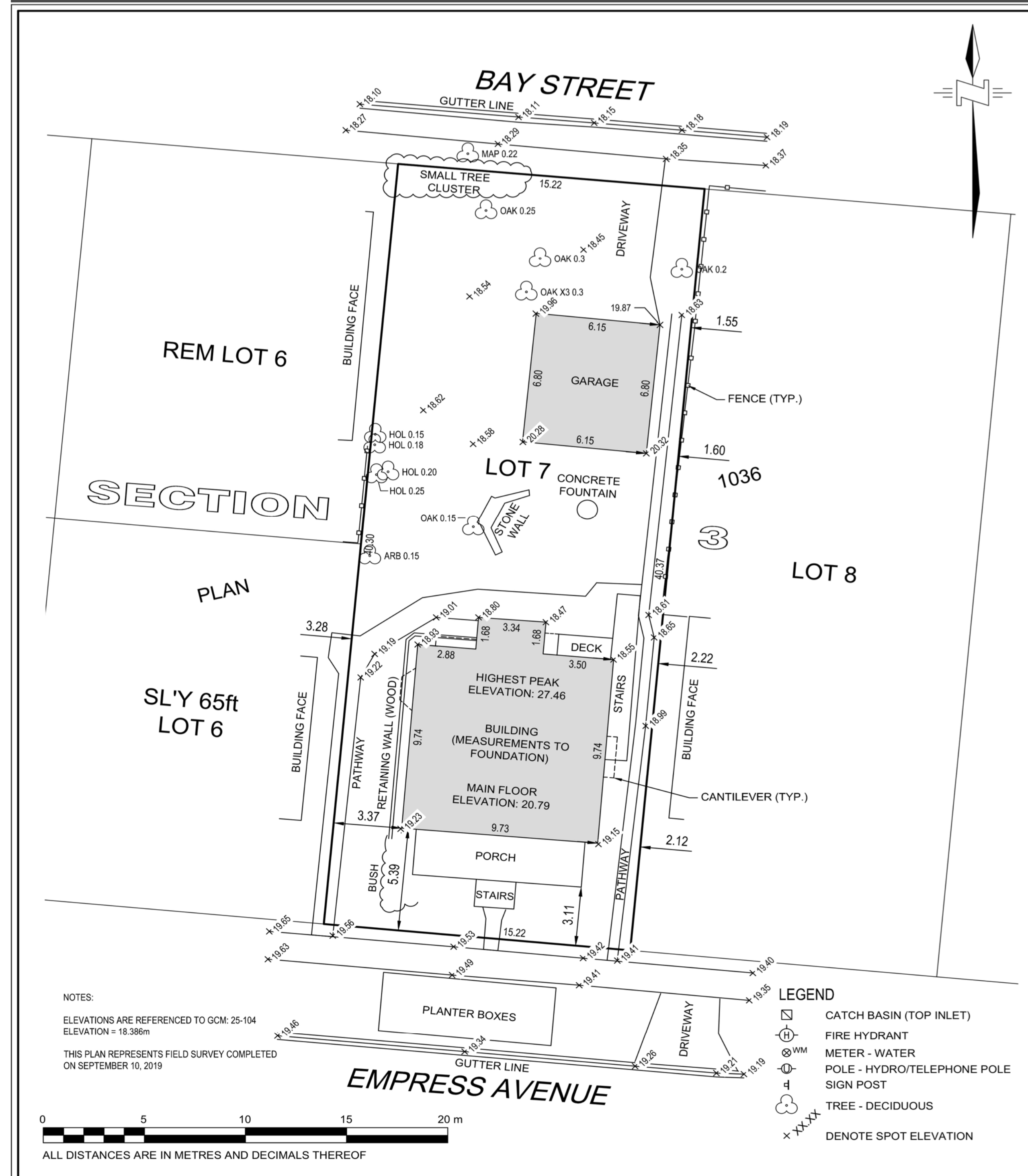
project name
 1132 Empress Avenue

sheet title

Cover Sheet

project no. 1906 date 25.02.20

revision no. sheet no. **A000**



NOTES:
ELEVATIONS ARE REFERENCED TO GCM: 25-104
ELEVATION = 18.386m
THIS PLAN REPRESENTS FIELD SURVEY COMPLETED
ON SEPTEMBER 10, 2019

LEGEND
 □ CATCH BASIN (TOP INLET)
 ⊕ FIRE HYDRANT
 ⊕ WM METER - WATER
 ⊕ POLE - HYDRO/TELEPHONE POLE
 ⊕ SIGN POST
 ○ TREE - DECIDUOUS
 x DENOTE SPOT ELEVATION

0 5 10 15 20 m
ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THIS PROPERTY MAY BE SUBJECT TO THE FOLLOWING RESTRICTIVE COVENANT 61488G

BRITISH COLUMBIA LAND SURVEYOR'S SITE PLAN OF LOT 7, SECTION 3, VICTORIA DISTRICT, PLAN 1036

DIMENSIONS DERIVED FROM PLAN 1036 AND FIELD MEASUREMENTS PREPARED FOR: TAYLOR MCCARTHY CIVIC ADDRESS: 1132 EMPRESS AVENUE, VICTORIA, BC
 PID NO. 008-080-445 DRAWING NUMBER: 19605-00-V-SK

THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE PROFESSIONAL REFERENCE MANUAL AND IS CERTIFIED CORRECT ACCORDING TO LAND TITLE AND SURVEY AUTHORITY RECORDS AND FIELD SURVEYS. UNREGISTERED INTERESTS HAVE NOT BEEN INCLUDED OR CONSIDERED. DATED THIS 11th DAY OF SEPTEMBER, 2019

Digitally signed by Glen Quarmby
 SW/CLC/K
 Date: 2019.09.12 14:05:11 -07'00'

GLEN A. QUARMBY, BCLS, CLS

THIS DOCUMENT IS NOT VALID UNLESS DIGITALLY SIGNED

THIS PLAN IS PREPARED SOLELY FOR A LIMITED CONTRACTUAL USE BETWEEN McELHANNEY ASSOCIATES AND OUR CLIENT. THIS DOCUMENT SHOWS THE RELATIVE LOCATION OF THE SURVEYED STRUCTURES AND FEATURES WITH RESPECT TO THE BOUNDARIES OF THE PARCEL DESCRIBED ABOVE. THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS. THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

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McElhanney
 McElhanney Associates Land Surveying Ltd.
 Suite 500
 3960 Quadra Street
 Victoria BC
 Canada V8X 4A3
 Tel 250 370 9221

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project name
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Survey

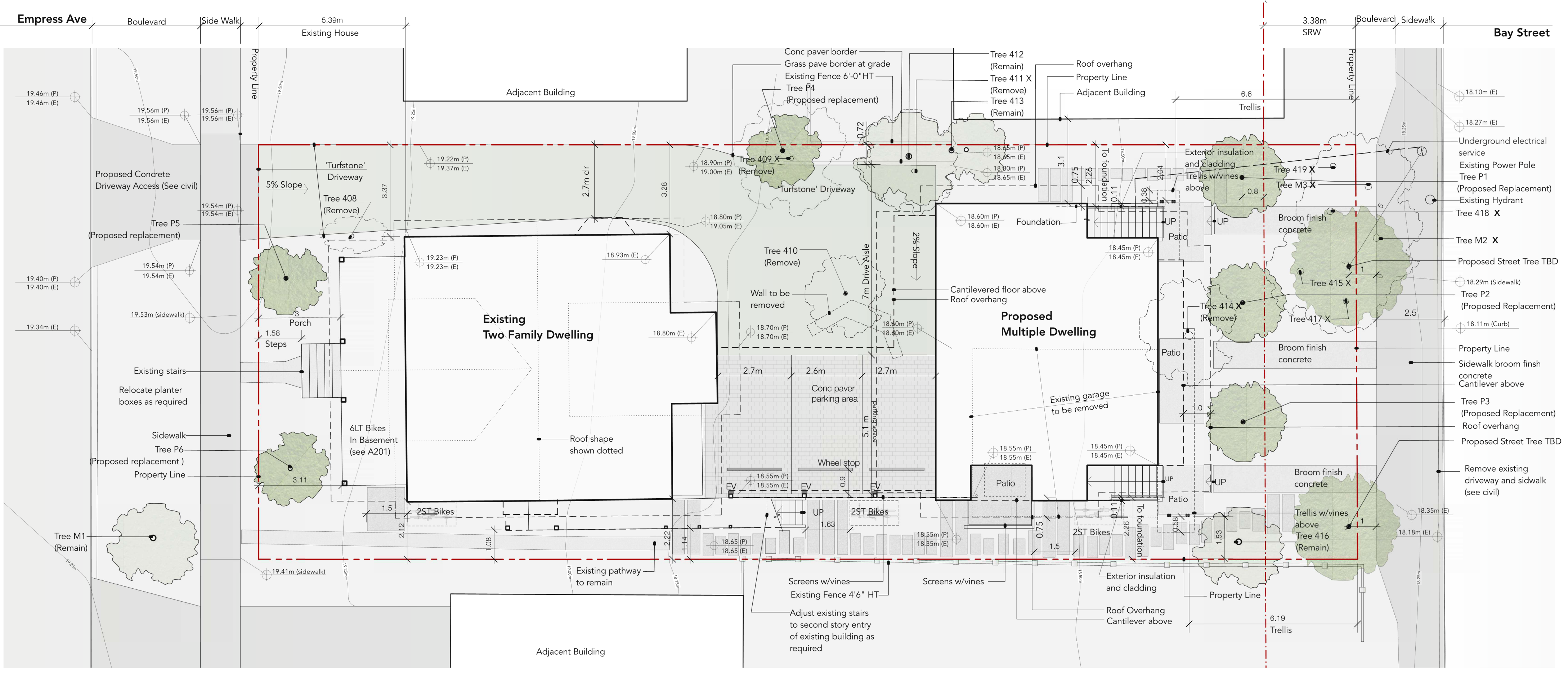
project no. 1906 date 25.02.20

revision no. sheet no.
 6 A001



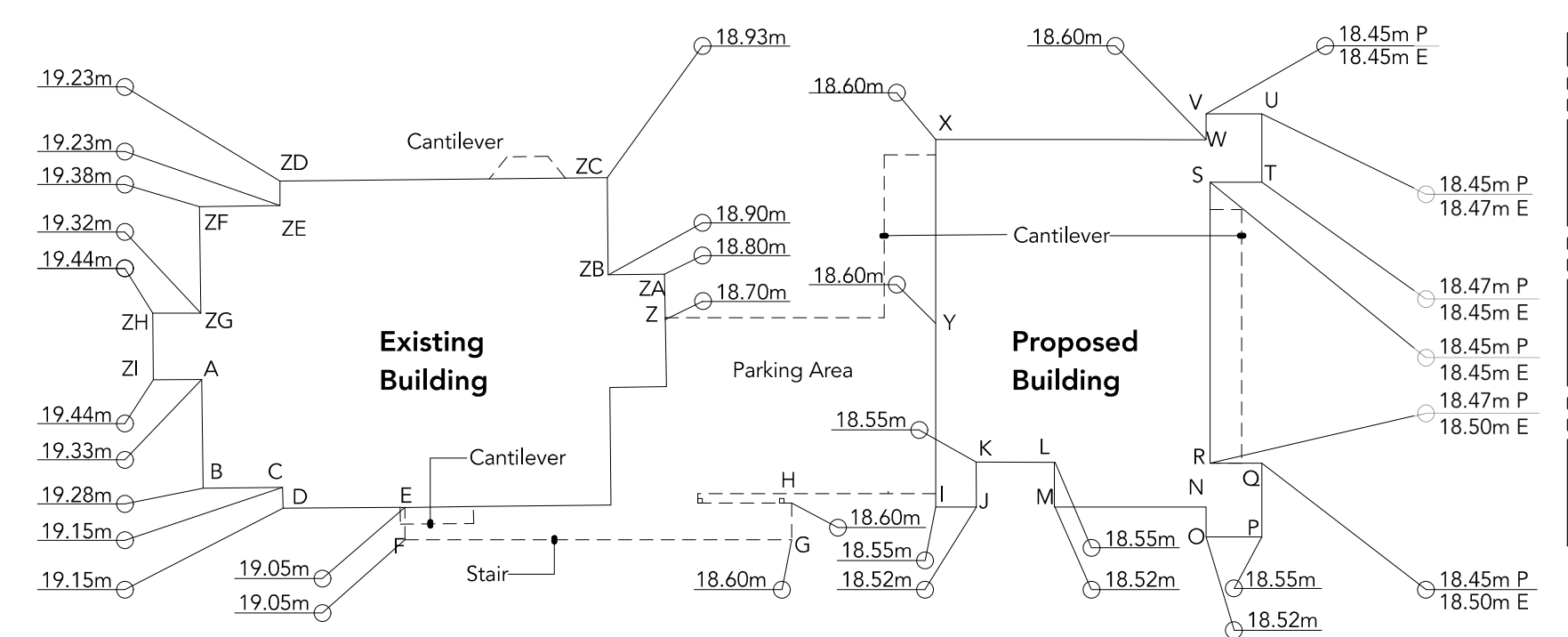
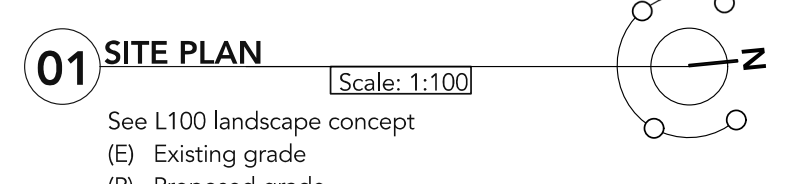
PROJECT INFORMATION FOR REZONING AND DEVELOPMENT VARIANCE

Zone	Existing	Proposed	Comparison
Zone	R-2	Site Specific	RTM
Use	Single Family Two Family Public Building Home Occupation Accessory Building	Multiple Dwelling As permitted in R-2	Traditional Residential Multifamily Multiple Dwelling Single Family Two Family Attached Dwelling
Max Storeys	1 1/2 w/ basement 2 w/o basement	3	3
Building Height	1 1/2 Existing bldg. 7.6m MAX	9.15m	10.5m
Roof Deck	No	No	No
Site Area	613.9m ²	613.9m²	
Lot Width	15.22m	15.22m	
Lot Depth	40.34m	40.34m	
Site Coverage	40% max	47.9% (see 4-A100)	50%
Open Site Space	30% min	30.0%min 36.0% proposed (see 3-A100)	30%
Total Floor Area	238.82m ²	473.83m²	
Floor Space Ratio	0.5 : 1 max 0.39 : 1 current	0.77 : 1	1.0 : 1
Existing Principal Bldg			
Total Area	238.82m ²	238.92m²	
Upper Floor	55.97m ²	55.97m²	
Ground Floor	94.00m ²	94.00m²	
Lower Floor	88.85m ²	88.85m²	
(Not considered a basement per bylaw. See calculations 2-A100)			
Proposed Bldg			
Total Area	N/A	234.92m²	
Third Floor	N/A	84.84m²	
Second Floor	N/A	86.07m²	
Ground Floor	N/A	64.01m²	
Setbacks			
Front Yard Setback	7.5m or Avg of buildings abutting lot	7.5m or Avg of buildings abutting lot	
Porch and stairs	3.5m projection	3.5m projection	
Bay Window	0.6 projection	0.6 projection	
Side Yard Setback	1.52m (10% of lot width)	See dimensions	
Side Yard Setback	3.0m	See dimensions	
Combined Side Yard	4.52m	See dimensions	
Rear Yard Setback	14.12m (35% of lot depth)	See dimensions	
Eave	0.75m Projection	1.0m Front Projection	
Accessory Building			
Floor Area	37m ² max Existing garage 42m ² (27m ² excluded for 2 parking spaces)	As permitted in R-2 Existing accessory garage to be removed	
Height	3.5m	3.5m	
Car and Bicycle Parking			
Off street Car Parking Spaces	Required: 7 (5/9)	Provided: 3	
Long Term bicycle racks	4	6	
Short Term bicycle racks	6	6	

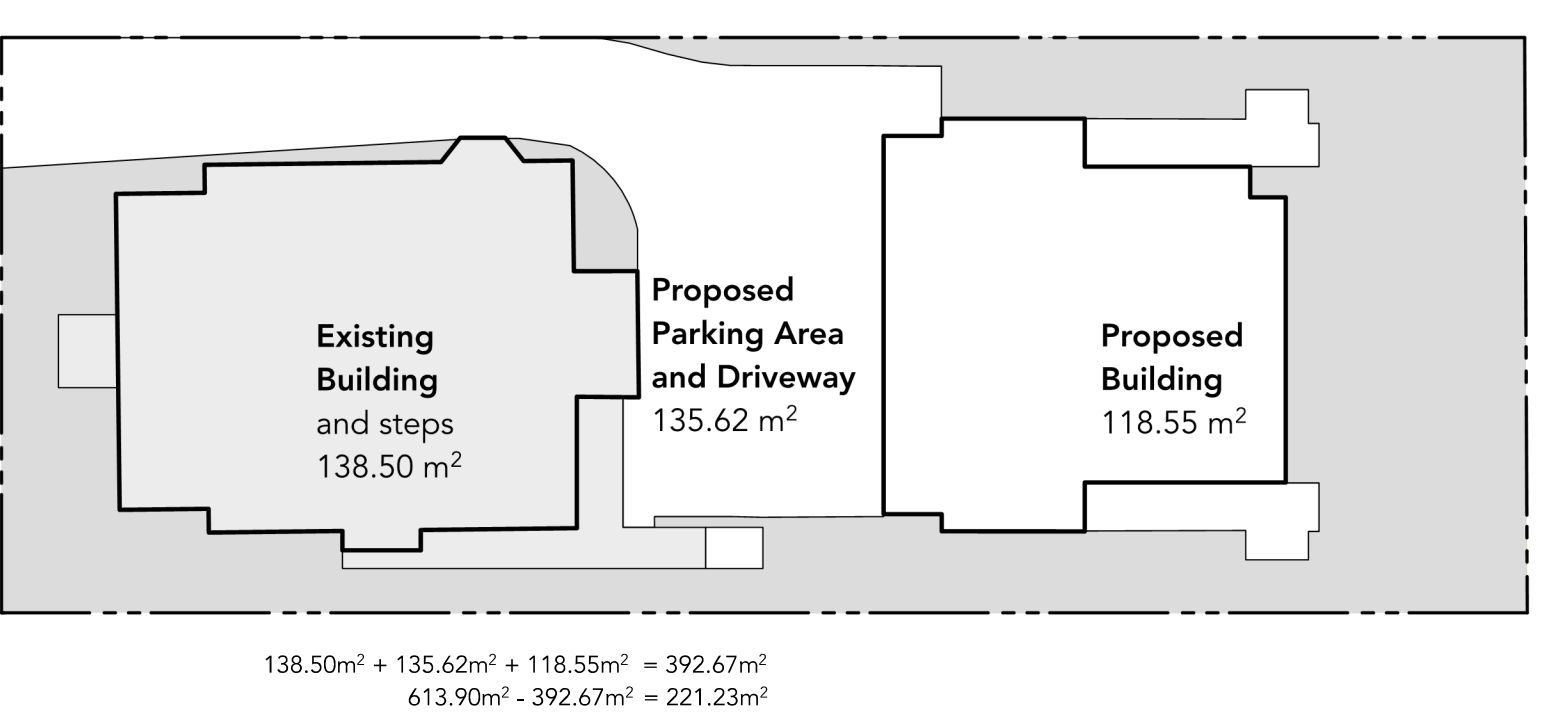


Tree Preservation notes:
1) Refer to Tree Management Plan by Talbot Mackenzie & Associates Arborists dated April 30, 2021 revised
2) Tree numbers on site plan reference see drawing 5-A100 for summary copied from TMP

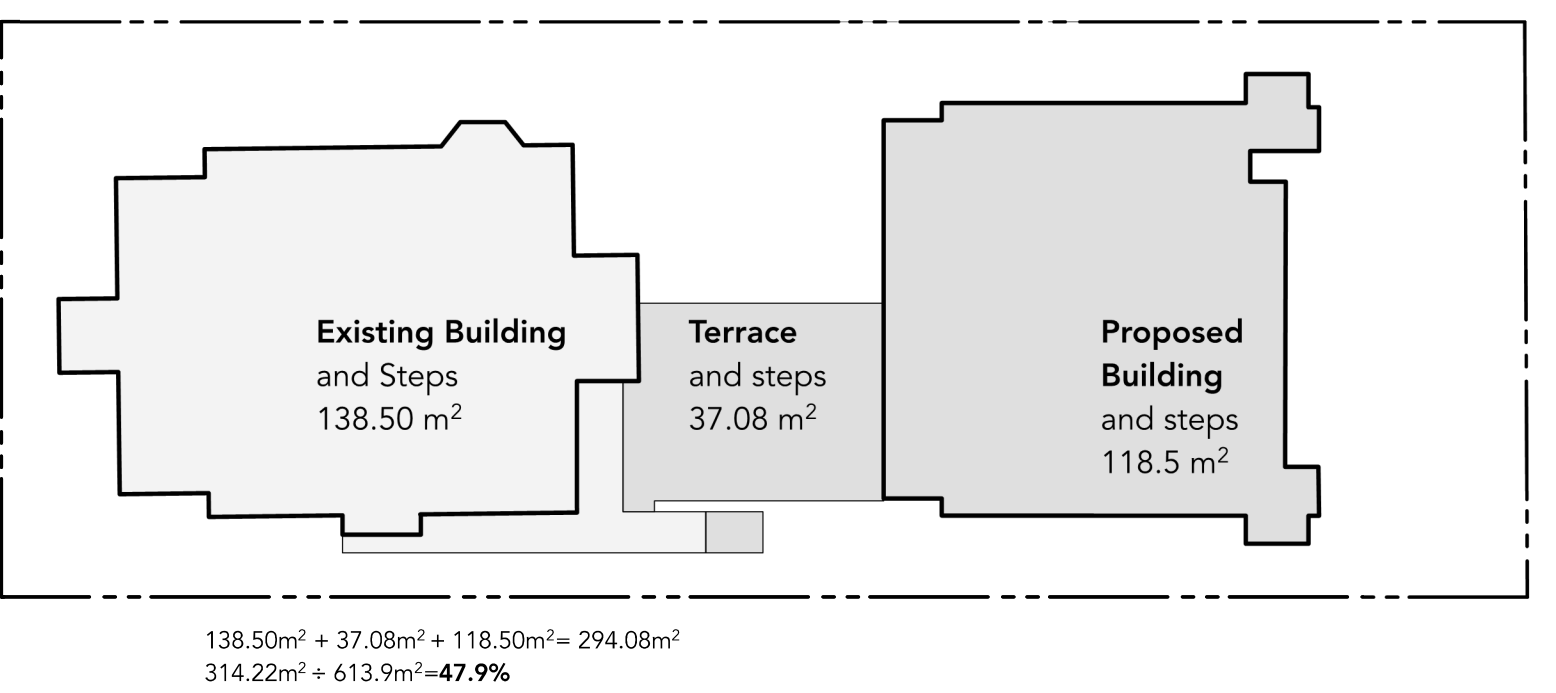
Site Servicing Notes:
1) Refer to Civil drawings



Point	Average of Points	Distance	Total
A-B	19.33	19.28=19.31 x 3.23m=	62.36
B-C	19.28	19.15=19.22 x 2.40m=	46.12
C-D	19.15	19.15=19.15 x 0.75m=	14.36
D-E	19.15	19.05=19.10 x 3.63m=	69.33
E-F	19.05	19.05=19.05 x 0.96m=	18.29
F-G	19.05	18.60=18.83 x 11.50m=	216.49
G-H	18.60	18.60=18.60 x 1.22m=	22.69
H-I	18.60	18.55=18.58 x 4.29m=	79.69
I-J	18.55	18.52=18.54 x 1.21m=	22.43
J-K	18.52	18.55=18.54 x 1.34m=	24.84
K-L	18.55	18.55=18.55 x 2.34m=	43.41
L-M	18.55	18.52=18.54 x 1.34m=	24.84
M-N	18.52	18.52=18.52 x 4.51m=	83.53
N-O	18.52	18.52=18.52 x 0.89m=	16.48
O-P	18.52	18.55=18.54 x 1.66m=	30.77
P-Q	18.55	18.50=18.53 x 2.19m=	40.57
Q-R	18.50	18.50=18.50 x 1.54m=	28.49



03 OPEN SITE SPACE CALCULATION



04 SITE COVERAGE CALCULATION

Tag or ID #	Surveyed? (Yes/No)	Location (On Off, Shared, City)	Bylaw protected? (Yes/No)	Name	Common	Botanical	Critical root zone radius (dBA) (m)	Original diameter (m)	Condition Health	Structure	Retention Suitability (terrestrial trees)	Relative General Field Observations/Remarks	Tree retention/location comments	Retention status	
M1	No	Municipal	Yes, municipal	Flowering Ash	Fraxinus ornus	8	1	1	Fair	Fair	Moderate	Small deadwood	May be impacted by SS installation.	Retain	
408	Yes	On-site	No	Plum	Prunus spp.	Multiple stems	2	3	Fair	Fair	Suitable	Moderate	Plum suckers maintained as shrub.	May be impacted by proposed driveway, SS/SD.	X
409	Yes	On-site	No	Eucalyptus	Eucalyptus spp.	24	3.6	6	Good	Fair	Suitable	Poor	Condorment leaders, future conflict with existing buildings.	Conflict with proposed driveway, SS/SD.	X
410	Yes	On-site	No	Plum	Prunus spp.	13,12,12	3.2	5	Fair-poor	Fair-poor	Suitable	Moderate	Deadback, deadwood, pruning wounds with poor compartmentalization.	Within footprint of proposed driveway.	X
411	Yes	On-site	Yes	Cherry	Prunus spp.	26,20	4.6	9	Fair	Fair-poor	Suitable	Moderate	Adjacent to property fence, condorment, small deadwood, small secondary stem with included bark in attachment. Restricted growing space.	Within proposed driveway footprint. May also be impacted by SS/SD.	X
412	Yes	On-site	No	Holly	Ilex spp.	18	1.8	4	Fair	Fair	Suitable	Good	Growing adjacent to property fence, conflicting with neighbour's roof.	May be impacted by proposed driveway, SS/SD.	TBD
413	Yes	On-site	No	Cherry	Prunus spp.	15	1.8	5	Fair	Fair-poor	Suitable	Moderate	Condorment trunk with included bark in attachment.	May be impacted by proposed driveway.	TBD
414	Yes	On-site	Yes	Plum	Prunus spp.	26,26,27	7.3	10	Fair-poor	Poor	Suitable	Moderate	Adjacent to existing garage, deadwood, included bark in unions, cavities between primary stem unions.	Within proposed building footprint.	X
415	Yes	On-site	Yes	Plum	Prunus spp.	31	3.7	5	Poor	Poor	Not suitable	Moderate	Extensive deadwood, deadback, decay, deep footings, poor health and structure.	Conflict with proposed building footprint.	X
416	Yes	On-site	No	Sycamore Maple	Acer pseudoplatanus	18	2.2	8	Good	Fair	Suitable	Moderate	Slight lean northwest. West CRZ used as parking stall historically.	May be impacted by proposed building footprint, walkway, municipal sidewalk.	TBD
417	No	On-site	No	Plum	Prunus spp.	11	1.3	5	Fair	Fair-poor	Suitable	Moderate	Plum sucker. Leans to street.	May be impacted by proposed building footprint.	X
418	No	On-site	No	Plum	Prunus spp.	12,9	2	4	Fair	Fair-poor	Suitable	Moderate	Plum sucker, suppressed by 415.	May be impacted by proposed building footprint.	X
419	No	On-site	No	Plum	Prunus spp.	7,6	1.3	5	Fair	Fair-poor	Suitable	Moderate	Plum sucker.	May be impacted by proposed building footprint.	X
M2	Yes	Municipal	Yes, municipal	Sweetgum	Liquidambar styraciflua	24	2.9	5	Fair	Fair-poor	Suitable	Moderate	Hydro clearance pruning, deflected trunk, included bark in primary union.	Within footprint of proposed municipal sidewalk.	X
M3	No	Municipal	Yes, municipal	Plum	Prunus spp.	Multiple stems	2	10	Fair	Fair-poor	Suitable	Moderate	Cluster of plum suckers appears to be partially on municipal property.	Conflict with proposed boulevard improvements.	X

Prepared by:
Talbot Mackenzie and Associates
Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
Ph: (250) 479-8733 - Fax: (250) 479-7050
Email: tmteampl@gmail.com

05 TREE RESOURCE SPREADSHEET

02 AVERAGE GRADE CALCULATION

Basement Calculation
Main Floor Elevation (per survey) = 20.79m
Floor Depth = 0.27m
Basement Ceiling = 20.52m
Avg grade = 18.80m
Average grade to finished ceiling = 1.72m
1.73m > 1.2m Not a basement

GENERAL NOTES

- All work shall meet BC building code 2018 and all applicable bylaws and regulations of the City of Victoria and Province of British Columbia.
- The drawings provided are diagrammatic in nature. The contractor shall perform site measurements and report any discrepancies or omissions with site conditions to the designer and owner prior to undertaking any work.
- Clean-up on a daily basis and at completion of the project to remove all remaining debris and construction materials and clean all exposed surfaces.
- All waste material shall be disposed of according to all applicable municipal and provincial regulations.
- All dimensions are measured in meters unless otherwise noted.
- All dimensions are measured to face of framing or concrete unless noted otherwise. Do not scale from drawings.
- All finishes, fitments, and appliances to be installed according to manufacturer recommendations/ warranty standards.
- All stair, handrail, geometry, and guard geometry to BCBC 9.8.
- Topographical lines are in .25m increments and are extrapolated from survey grades. Discrepancies with drawn topography and actual site features to be brought to the consultant's attention.
- Discrepancies with consultant's drawings and engineer's drawings to be brought to the attention of consultant, owner, and engineer. Changes to be approved by all parties.
- Project to comply with step 3 of the BC energy step code for part 9 buildings.
- Mechanical and ventilation system to use Heat Pump and HRV
- Proposed driveway access to conform to COV Highway Access Bylaw (2015)
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- Mechanical and ventilation system to use Heat Pump and HRV

6	Re-Issued for Rezoning	25.02.20
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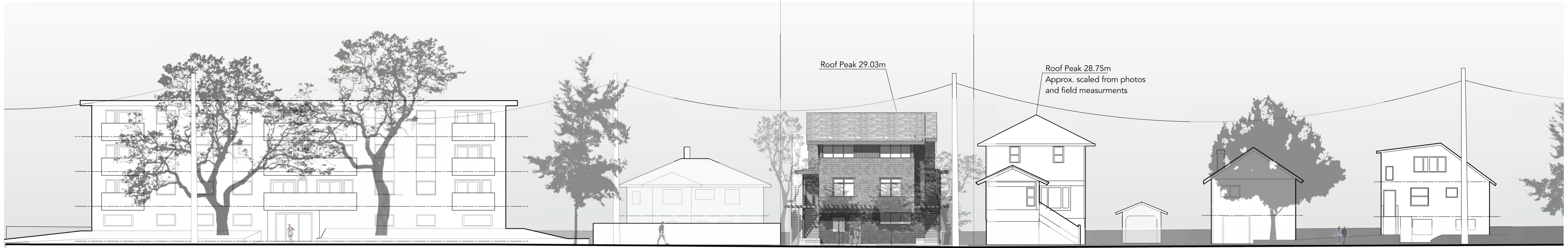
sheet title
Site Plan
Project Information

project no. 1906 date 25.02.20
revision no. sheet no.
A100



25m Future right of way

Centre Line of Bay Street



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sheet title

Streetscape

project no. 1906 date 25.02.20

revision no. sheet no.

6 A101

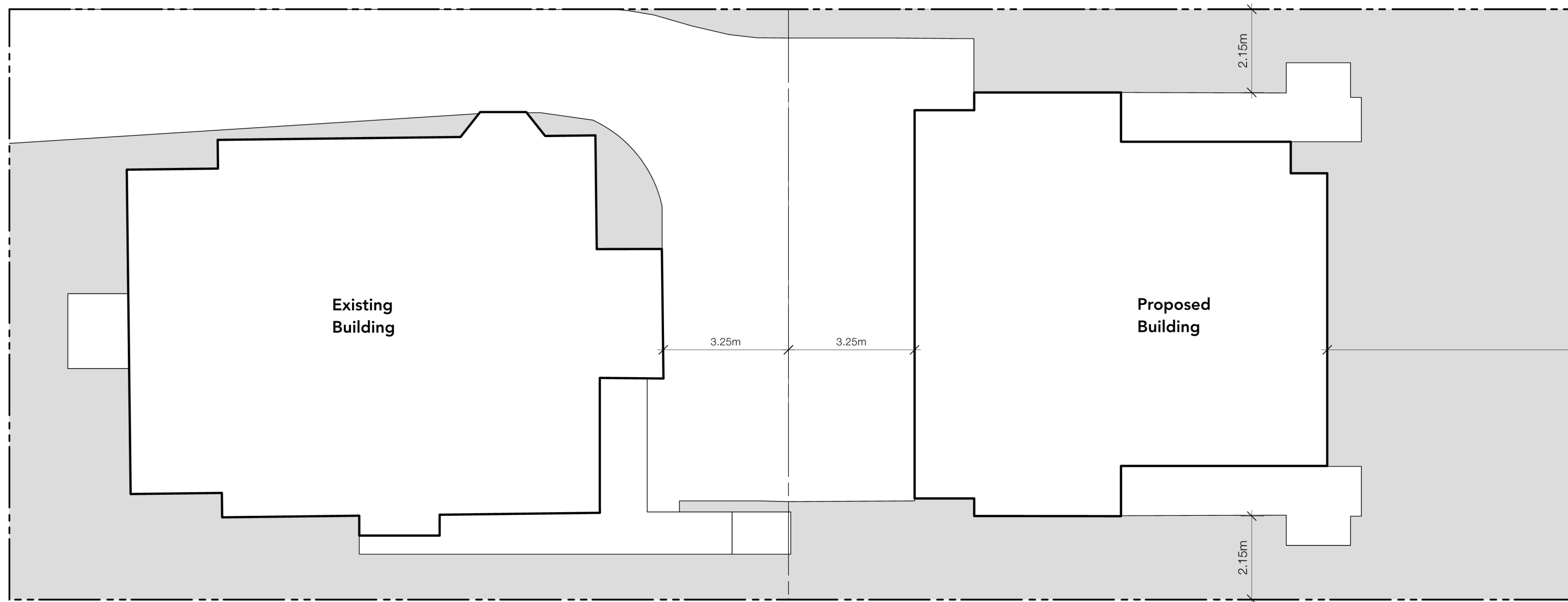


CALCULATIONS

	Face A	Face B	Face C	Face D
Exposing building face	76.74m ²	85.86m ²	85.86m ²	85.86m ²
Limiting Distance	15.38m	2.15m	3.25m	2.15m
Maximum area allowed	100.0%	9.67%	14.63%	9.67%
Per Table 9.10.15.4	76.74m ²	8.30m ²	12.54m ²	8.30m ²
Area of proposed openings	15.95m ²	7.55m ²	9.06m ²	6.05m ²
	20.7%	8.70%	10.50%	7.00%

At time of Building Permit submission the proposal will comply with section 9.10.14. of the BCBC for spatial separations and unprotected openings.

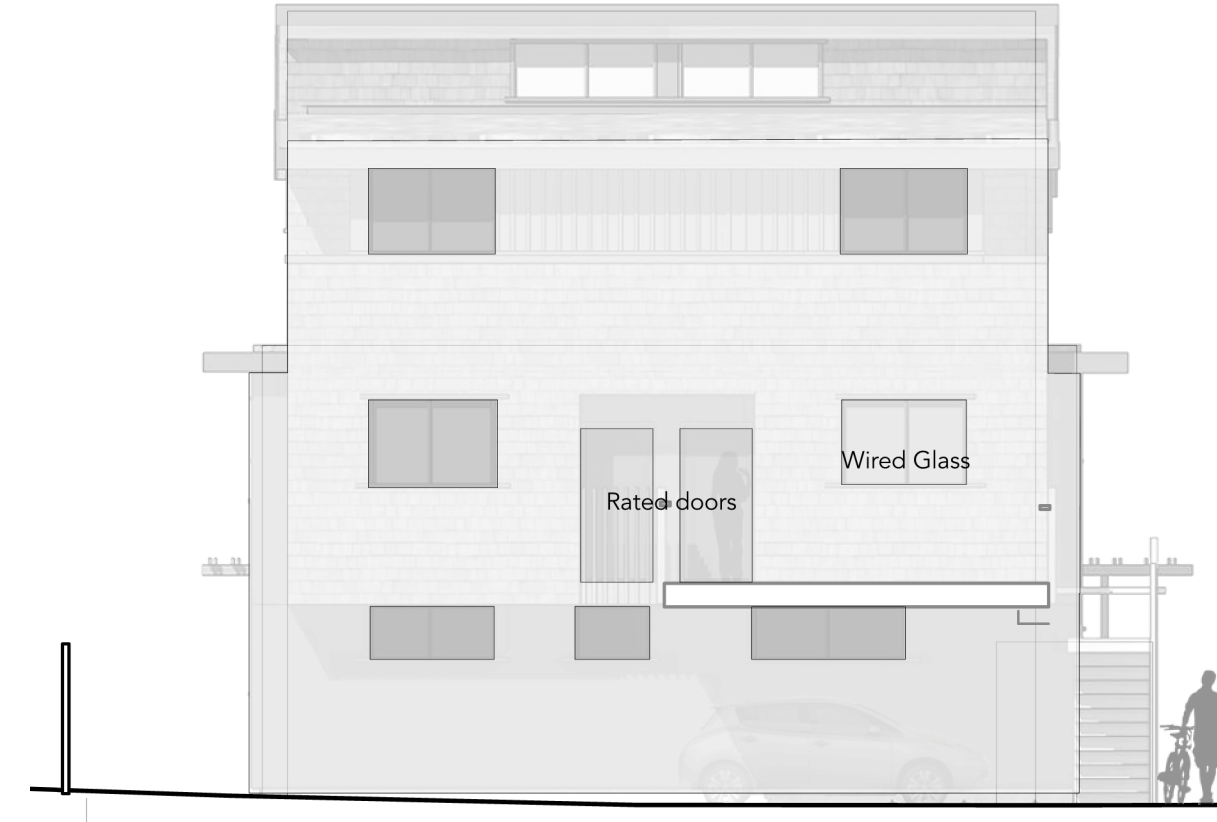
[Signature] Bruce Greenway Architect AIBC



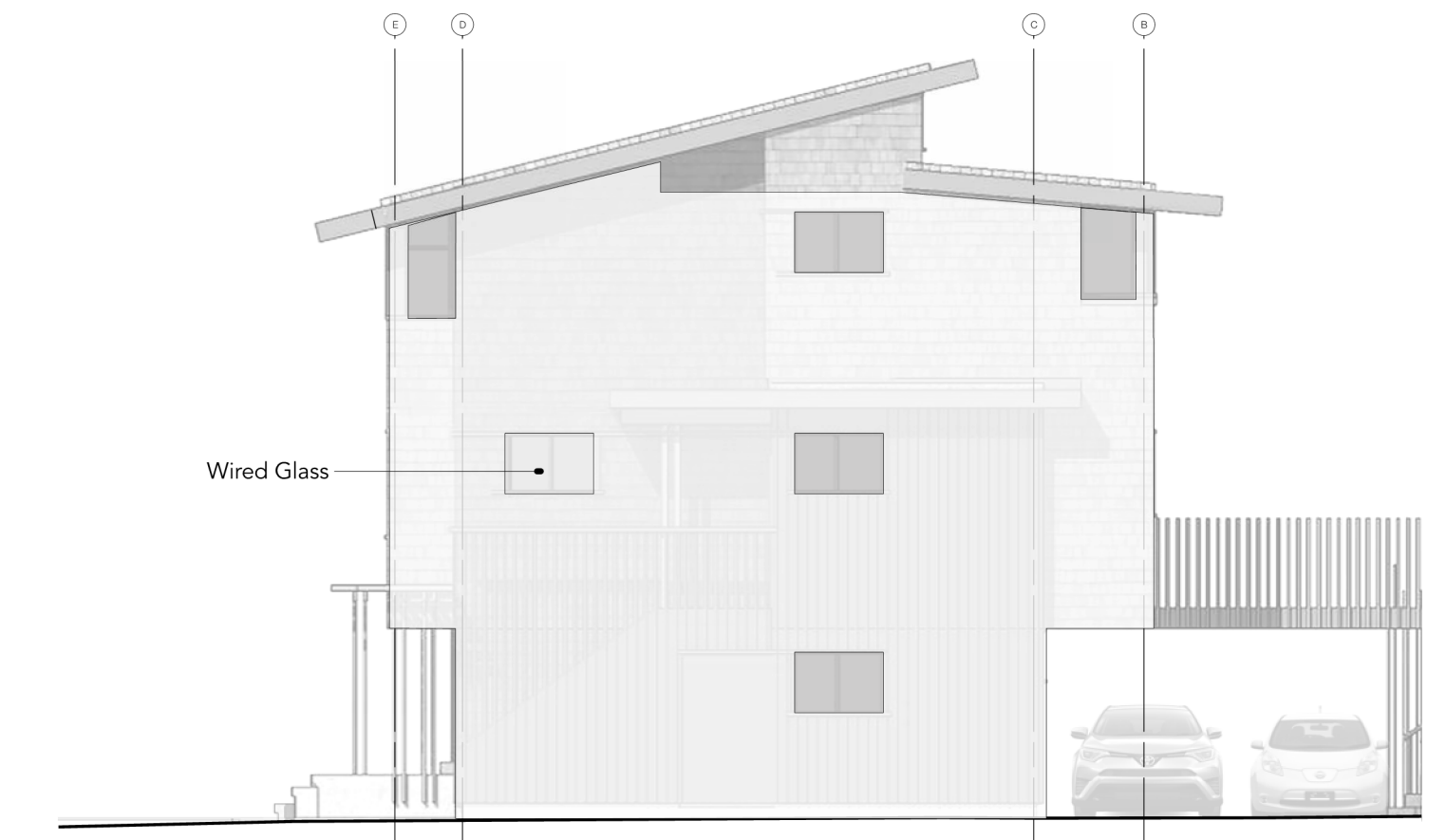
Face A = 76.74m²
Unprotected Openings = 15.95m²



Face B = 85.86m²
Unprotected Openings = 7.55m²

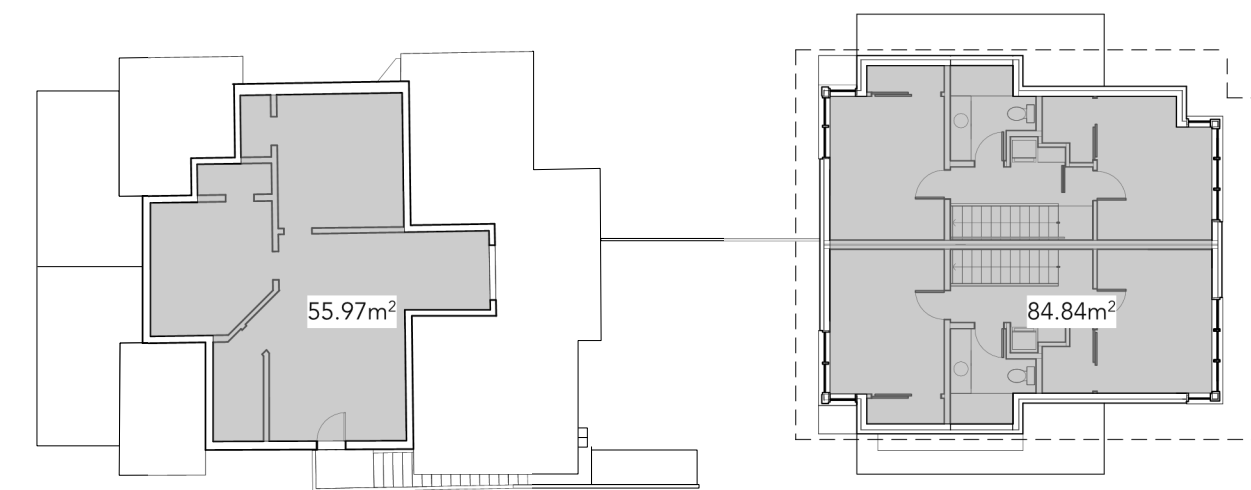
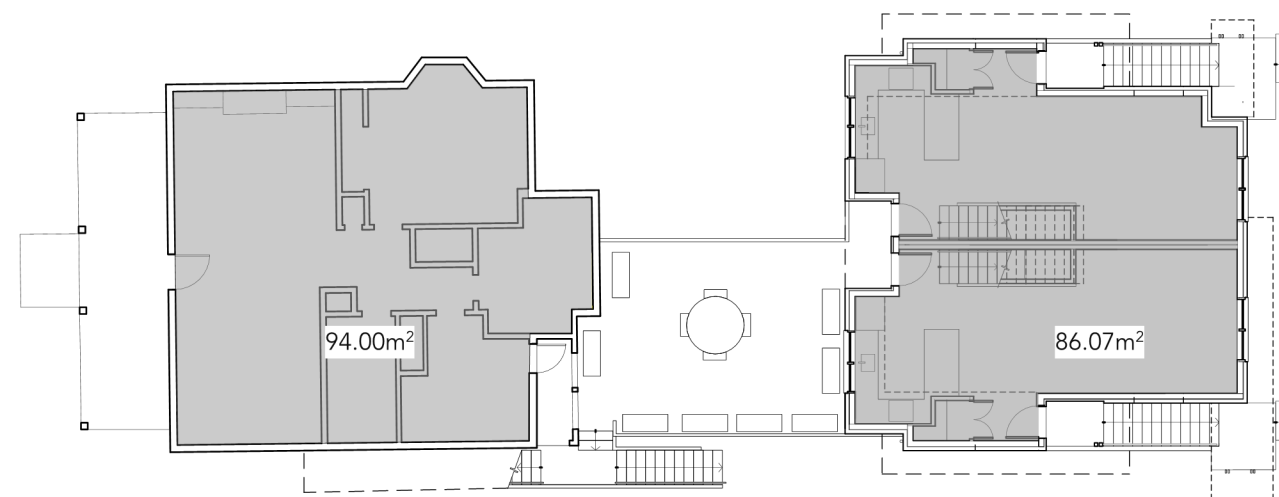
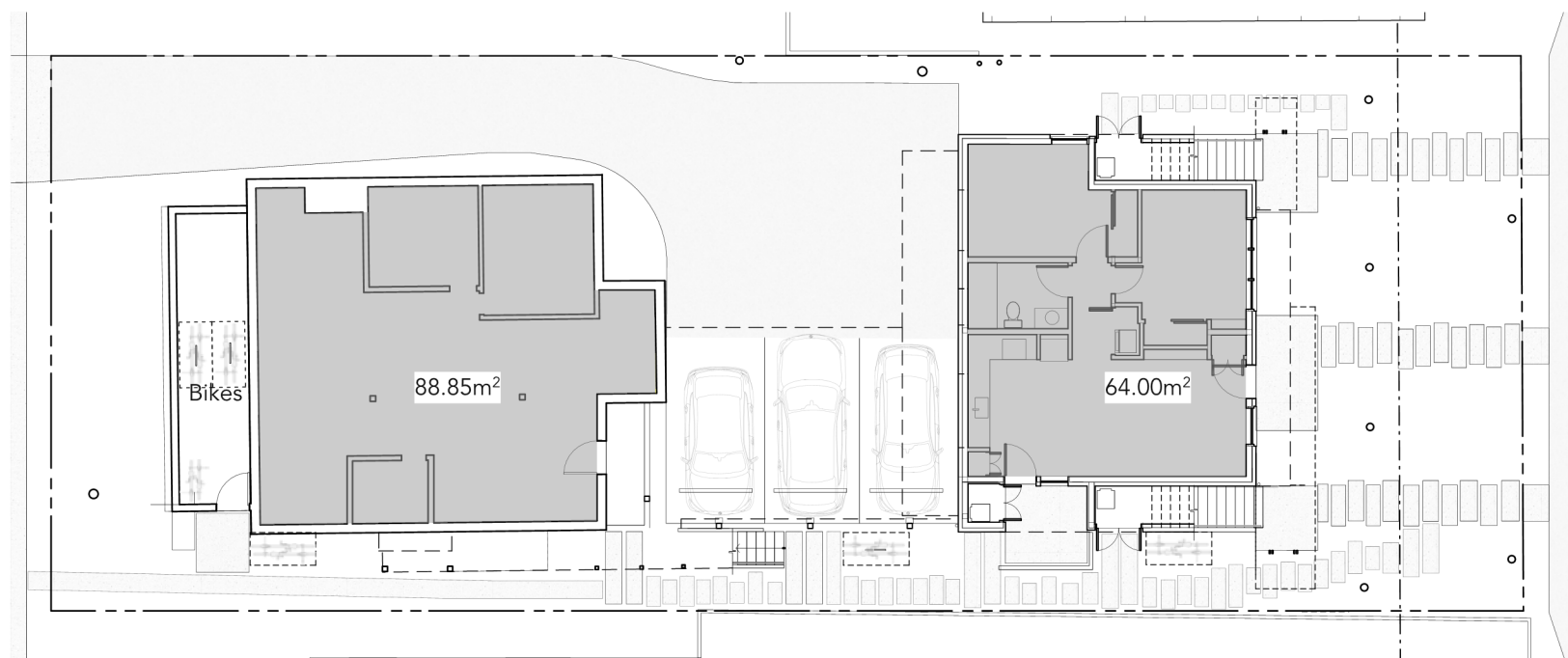


Face C = 92.1m²
Unprotected Openings = 9.06m²



Face D = 85.86m²
Unprotected Openings = 6.05m²

01 EXPOSING BUILDING FACE DIAGRAM



	Existing	Proposed
Ground Floor	88.85m ²	64.00m ²
Second Floor	94.03m ²	86.07m ²
Third Floor	56.97m ²	84.84m ²
Total	239.85m ²	234.91m ²

03 Area Calculation

1:200



02 Window Alignment With Adjacent Building

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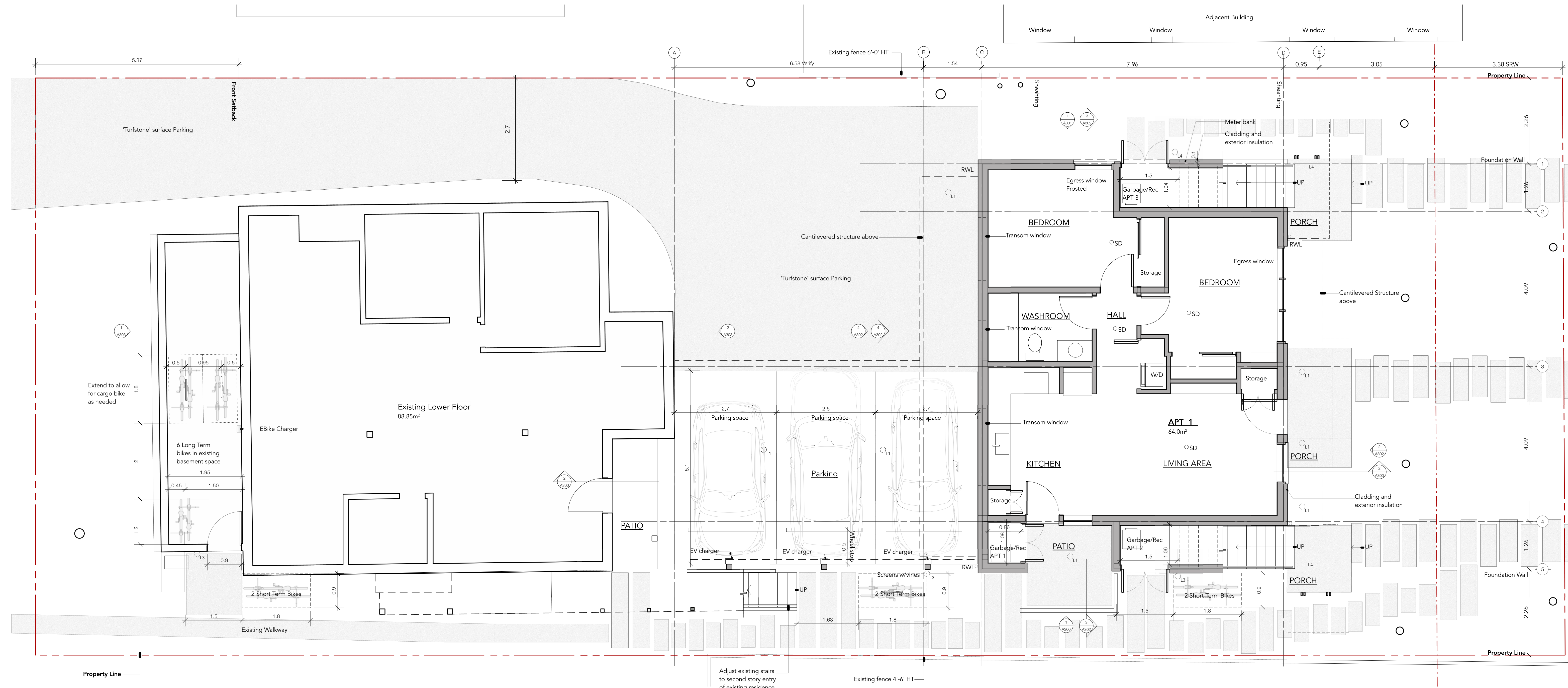
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sheet title
**Window Alignment
Project Information**

project no. 1906 date 25.02.20

revision no. sheet no.
A102



01 GROUND FLOOR PLAN
See landscape plan for exterior detail
Scale: 1:50

- Outdoor Lighting Schedule**
- L1 4" Recessed LED Light 3000K Outdoor Rated
 - L2 4" Surface/Soffit Mounted LED Light 3000K Outdoor Rated
 - L3 Wall sconce ground directed LED 3000K Outdoor rated
 - L4 6 small hanging Landscape low voltage string Lights LED 3000K

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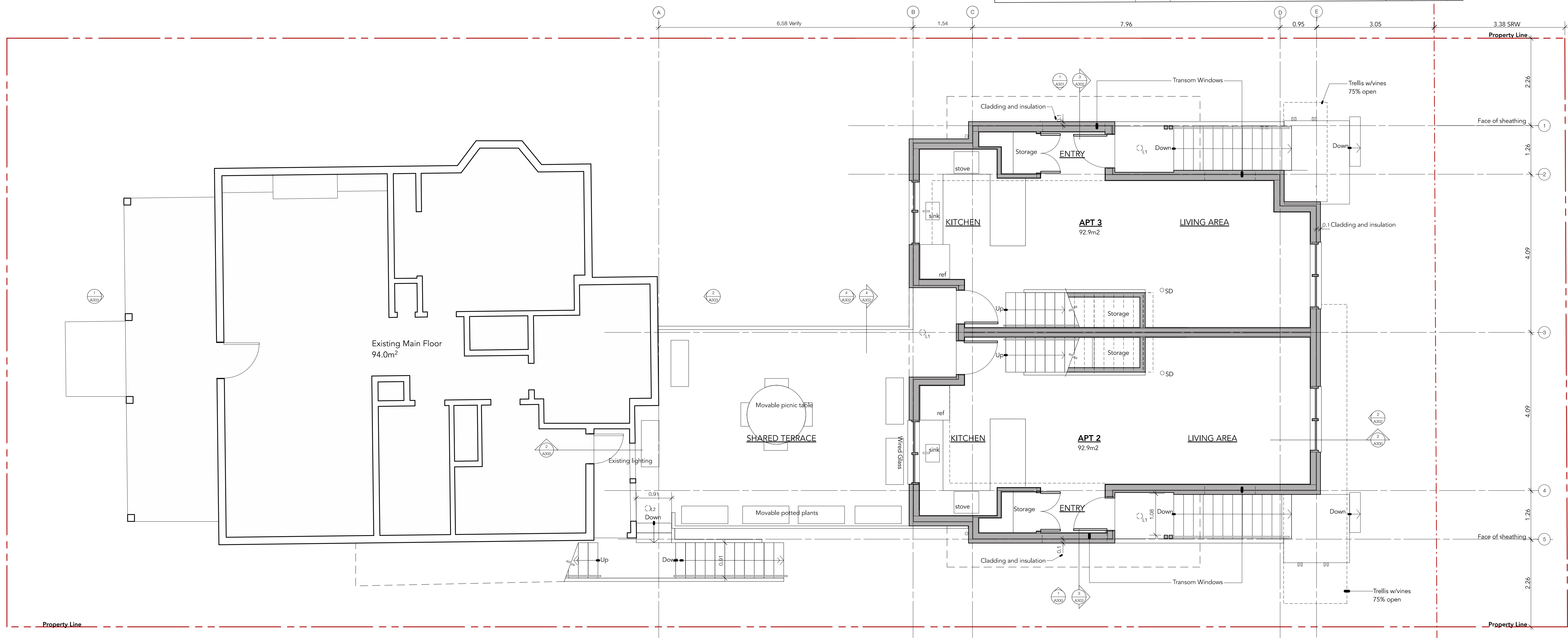
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sheet title
Ground Floor Plan

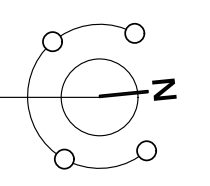
project no. 1906 date 25.02.20
revision no. sheet no.

6 **A201**



01 SECOND FLOOR PLAN (Scale: 1:50)

- Outdoor Lighting Schedule**
- L1 4" Recessed LED Light 3000K Outdoor Rated
 - L2 4" Surface/Soffit Mounted LED Light 3000K Outdoor Rated
 - L3 Wall sconce ground directed LED 3000K Outdoor rated
 - L4 6 small hanging Landscape low voltage string Lights LED 3000K



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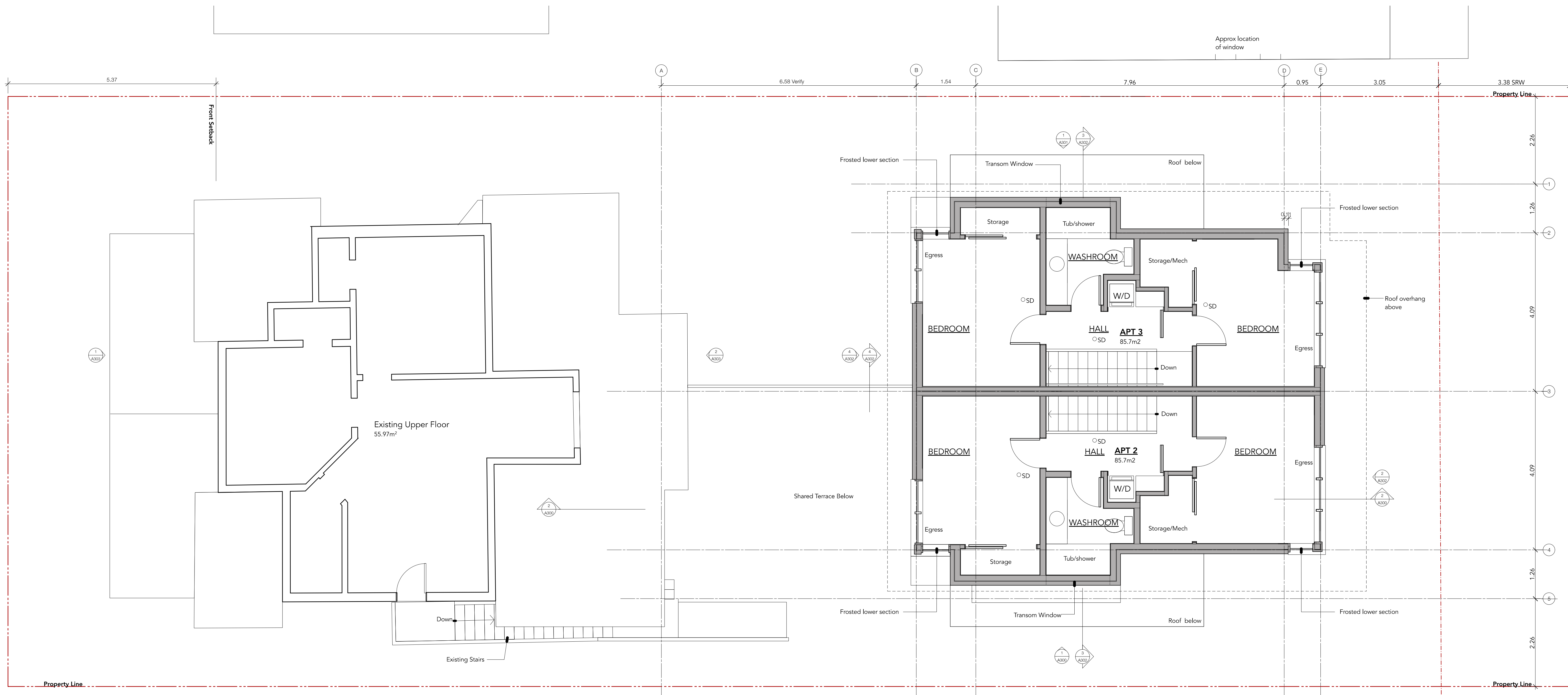
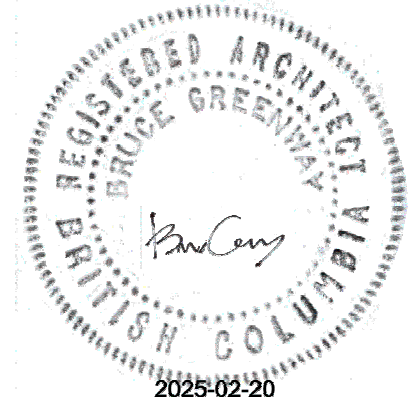
sheet title

Second Floor Plan

project no. 1906 date 25.02.20

revision no. sheet no.

6 **A202**



01 THIRD FLOOR PLAN [Scale: 1:50]

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project name
1132 Empress Avenue

sheet title

Third Floor Plan

project no. 1906 date 25.02.20

revision no. sheet no.

6 A203



- 1 - Cement board shingles
Colour: Similar to Benjamin Moore Hale Navy
- 2 - Cement board and batten
Colour: Similar to Benjamin Moore Texas Sage
- 3 - Cement board and batten
Colour: Similar to Benjamin Moore Hale Navy
- 4 - Cement board and batten
Colour: Similar to Benjamin Moore Brownstone
- 5 - Wood Railing
Colour: Similar to Benjamin Moore Brownstone
- 6 - Asphalt shingles
Colour: Warm Grey
- 7 - SBS roofing
Colour: to match shingles
- 8 - Wood beams and column
Colour: Similar to Benjamin Moore Brownstone
- 9 - Wood trellis structure
Colour: Pre weathered treatment
- 10 - Wood guard/Screen
Colour: Pre weathered treatment
- 11 - Metal flashing
Colour: Similar to Benjamin Moore Brownstone
- 12 - Metal rain water leader
Colour: Similar to Benjamin Moore Hale Navy
- 13 - Fibreglass window
Colour: dark bronze
- 14 - Wood trim
Colour: Similar to Benjamin Moore Brownstone
- 15 - Entry Doors
Colour: Similar to Benjamin Moore Townsend Harbour
- 16 - Wood Guard/Screen
Colour: Similar to Benjamin Moore Hale Navy



01 EAST ELEVATION Scale: 1:50



02 LONGITUDINAL SECTION Scale: 1:50

6	Re-Issued for Rezoning	25.02.20
5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title

Section and Elevation

project no. 1906 date 25.02.20

revision no. sheet no.
A300

Property Line



- 1 - Cement board shingles
Colour: Similar to Benjamin Moore Hale Navy
- 2 - Cement board shingles
Colour: Similar to Benjamin Moore Texas Sage
- 3 - Cement board and batten
Colour: Similar to Benjamin Moore Texas Sage
- 4 - Cement board and batten
Colour: Similar to Benjamin Moore Hale Navy
- 5 - Wood Railing
Colour: Similar to Benjamin Moore Brownstone
- 6 - Asphalt shingles
Colour: Warm Grey
- 7 - SBS roofing
Colour: to match shingles
- 8 - Wood beams and column
Colour: Similar to Benjamin Moore Brownstone
- 9 - Wood trellis structure
Colour: Pre weathered treatment
- 10 - Wood guard/Screen
Colour: Pre weathered treatment
- 11 - Metal flashing
Colour: Similar to Benjamin Moore Brownstone
- 12 - Metal rain water leader
Colour: Similar to Benjamin Moore Hale Navy
- 13 - Fibreglass window
Colour: dark bronze
- 14 - Wood trim
Colour: Similar to Benjamin Moore Brownstone
- 15 - Entry Doors
Colour: Similar to Benjamin Moore Townsend Harbour
- 16 - Wood Guard/Screen
Colour: Similar to Benjamin Moore Hale Navy

01 WEST ELEVATION Scale: 1:50

6	Re-Issued for Rezoning	25.02.20
5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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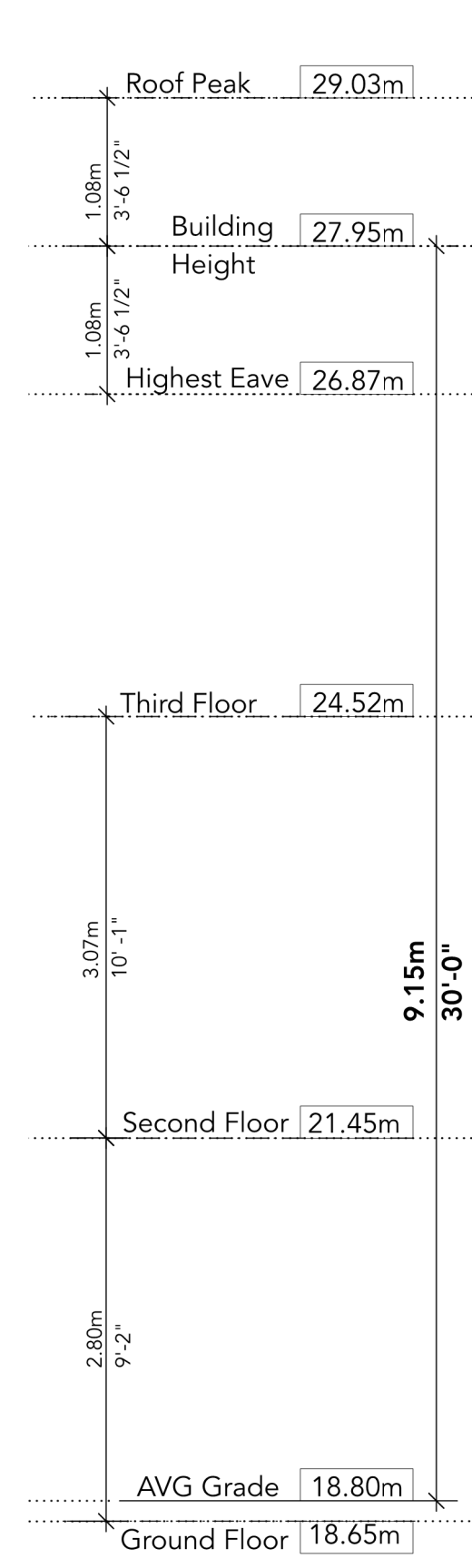
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project name
1132 Empress Avenue

sheet title
Elevations
Driveway Profile

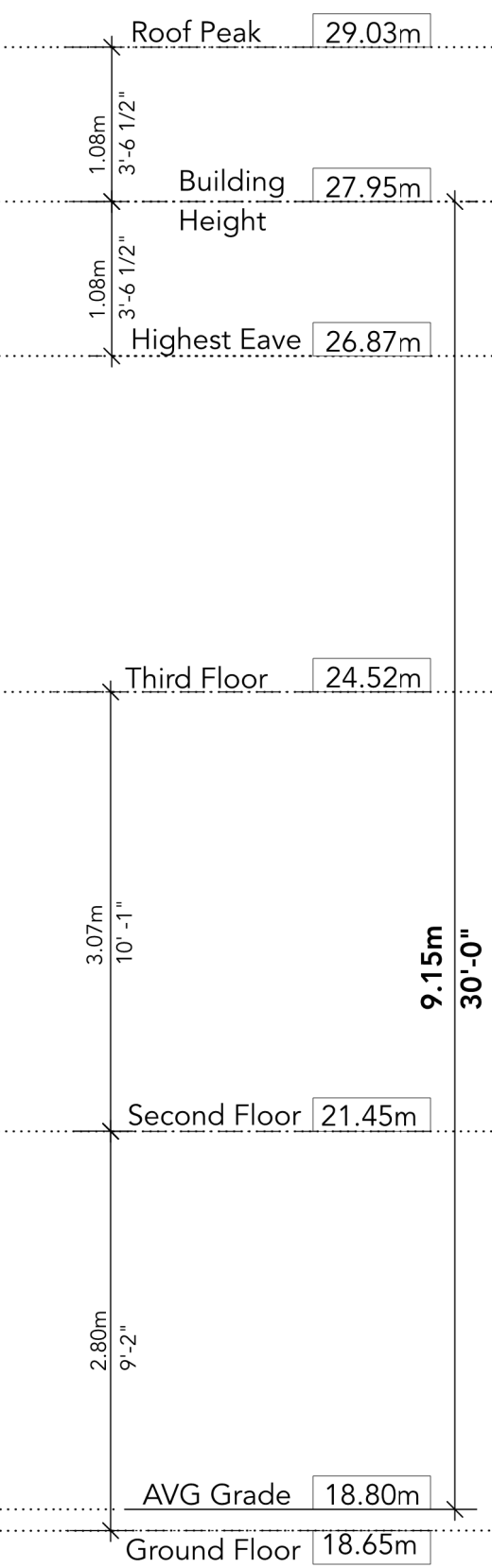
project no. 1906 date 25.02.20

revision no. sheet no.
A301



- 1- Cement board shingles
Colour- Similar to Benjamin Moore
Hale Navy
- 2- Cement board shingles
Colour- Similar to Benjamin Moore
Texas Sage
- 3- Cement board and batten
Colour- Similar to Benjamin Moore
Texas Sage
- 4- Cement board and batten
Colour- Similar to Benjamin Moore
Hale Navy
- 5- Wood Railing
Colour- Similar to Benjamin Moore
Brownstone
- 6- Asphalt shingles
Colour- Warm Grey
- 7- SBS roofing
Colour to match shingles
- 8- Wood beams and column
Colour- Similar to Benjamin Moore
Brownstone
- 9- Wood trellis structure
Colour- Pre weathered treatment
- 10- Wood guard/Screen
Colour- Pre weathered treatment
- 11- Metal flashing
Colour- Similar to Benjamin Moore
Brownstone
- 12- Metal rain water leader
Colour- Similar to Benjamin Moore
Hale Navy
- 13- Fibreglass window
Colour- dark bronze
- 14- Wood trim
Colour- Similar to Benjamin Moore
Brownstone
- 15- Entry Doors
Colour- Similar to Benjamin Moore
Townsend Harbour
- 16- Wood Guard/Screen
Colour- Similar to Benjamin Moore
Hale Navy

02 NORTH ELEVATION [Scale: 1:50]



03 CROSS SECTION [Scale: 1:50]



⚠	Re-Issued for Rezoning	25.02.20
⚠	Re-Issued for Rezoning	24.09.26
⚠	Re-Issued for Rezoning	24.03.08
⚠	Re-Issued for Rezoning	23.04.28
⚠	Re-Issued for Rezoning	22.01.31
⚠	Issued for Rezoning	21.04.28
⚠	Issued for Rezoning	21.01.29
	Pre Application	

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project name	1132 Empress Avenue	
sheet title	Section and Elevations	
project no.	1906	date 25.02.20
revision no.		sheet no.
		A302

04 SOUTH ELEVATION [Scale: 1:50]



01 SOUTH ELEVATION PHOTO - EXISTING None



02 NORTH ELEVATION PHOTO- EXISTING None

6	Re-Issued for Rezoning	25.02.20
5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title
Elevation Photos
Existing House

project no. 1906 date 25.02.20

revision no. sheet no.
6 A303



June 21, 9am



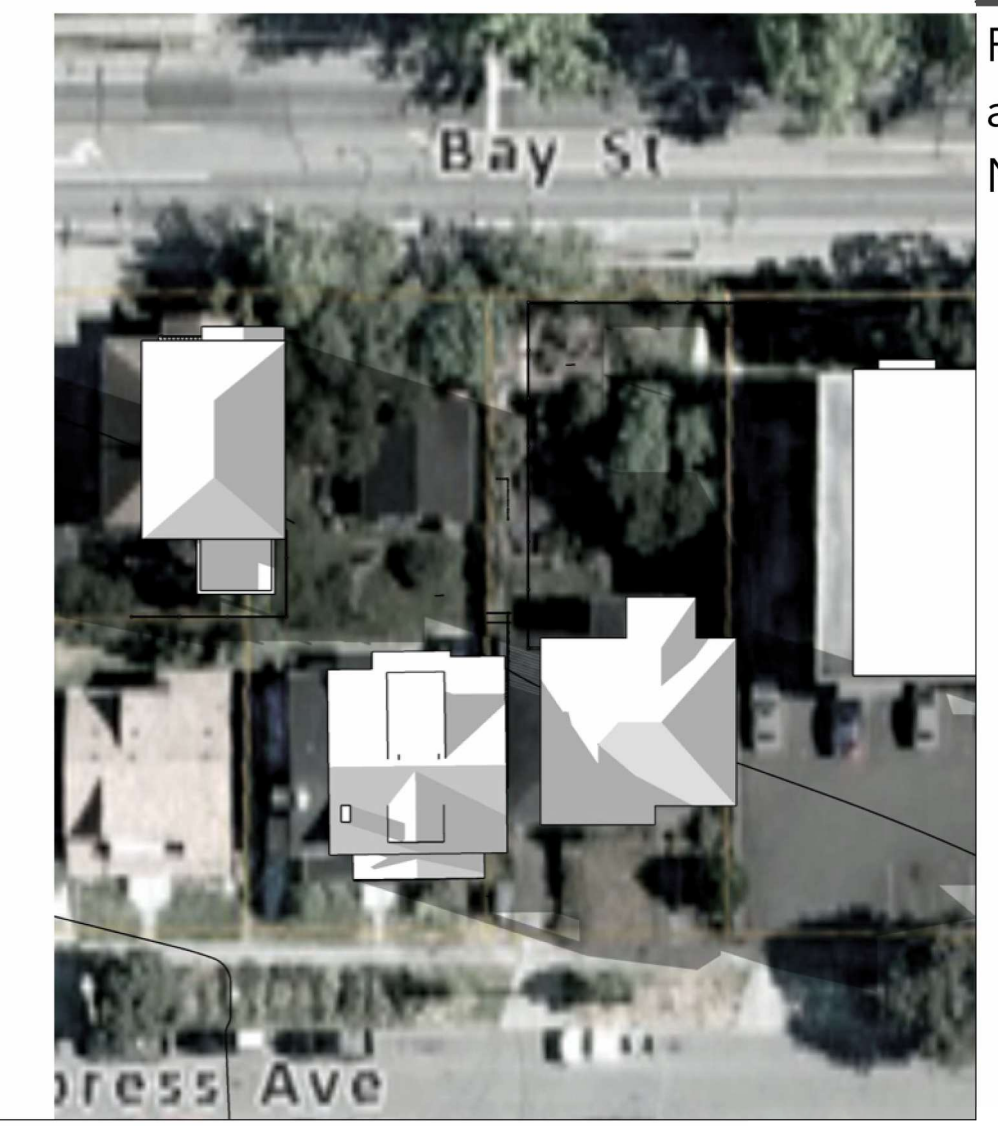
June 21, 12 noon



June 21, 3pm

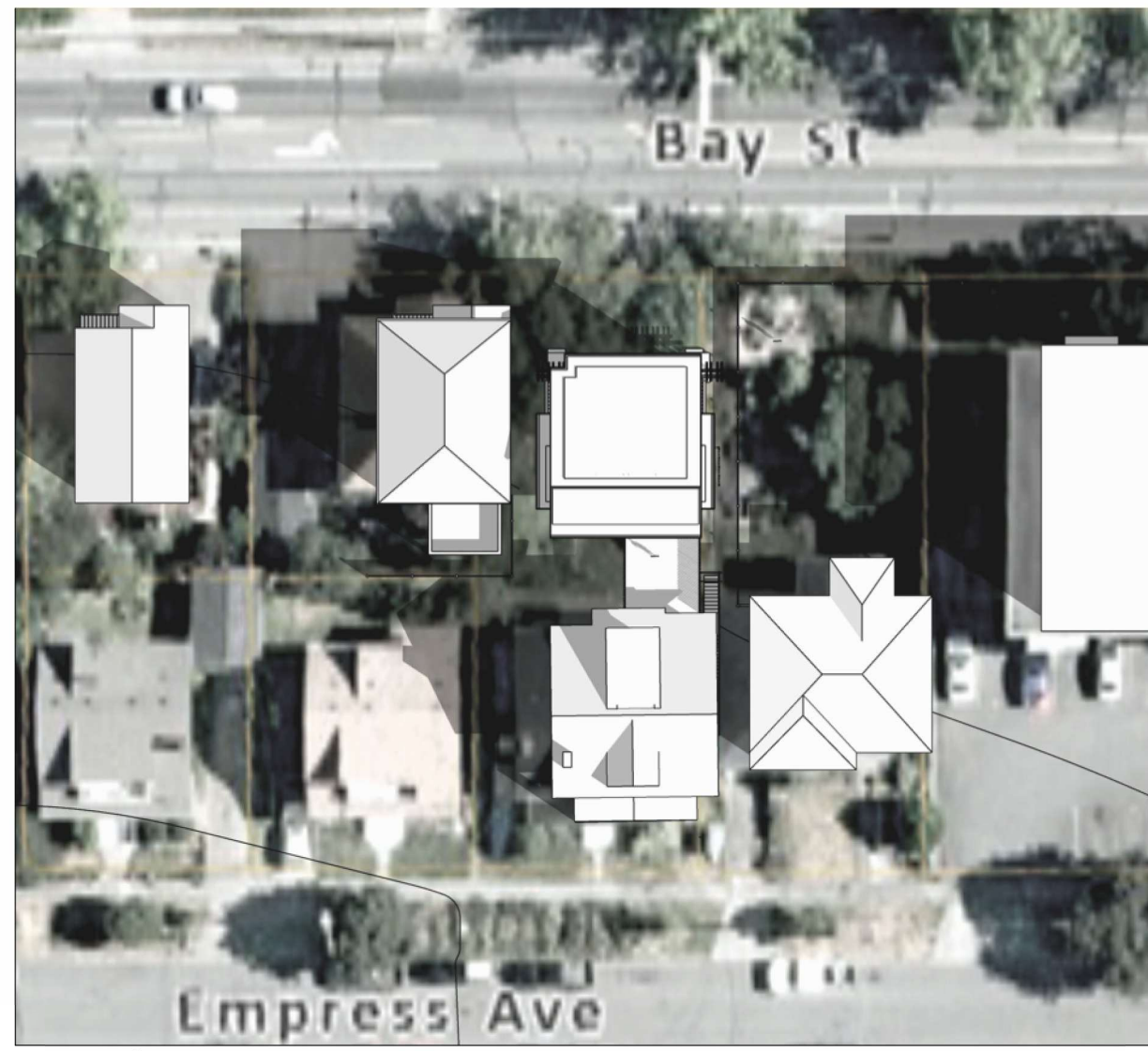


June 21, 6pm

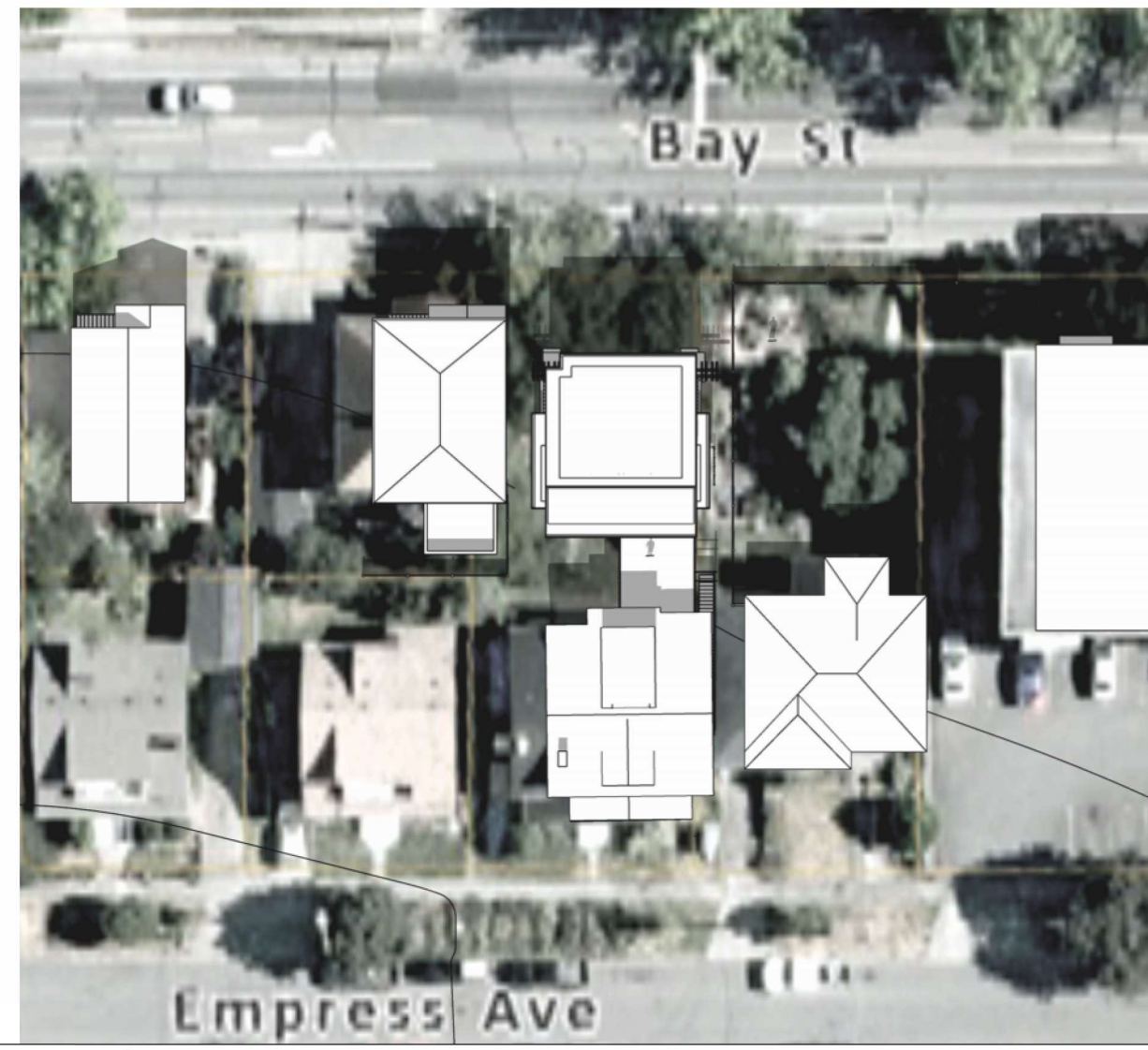


June 21, 6pm Existing Conditions (approx)

Reissued for Re-Zoning
and Parking Variance
Not for Construction



September 21, 9am



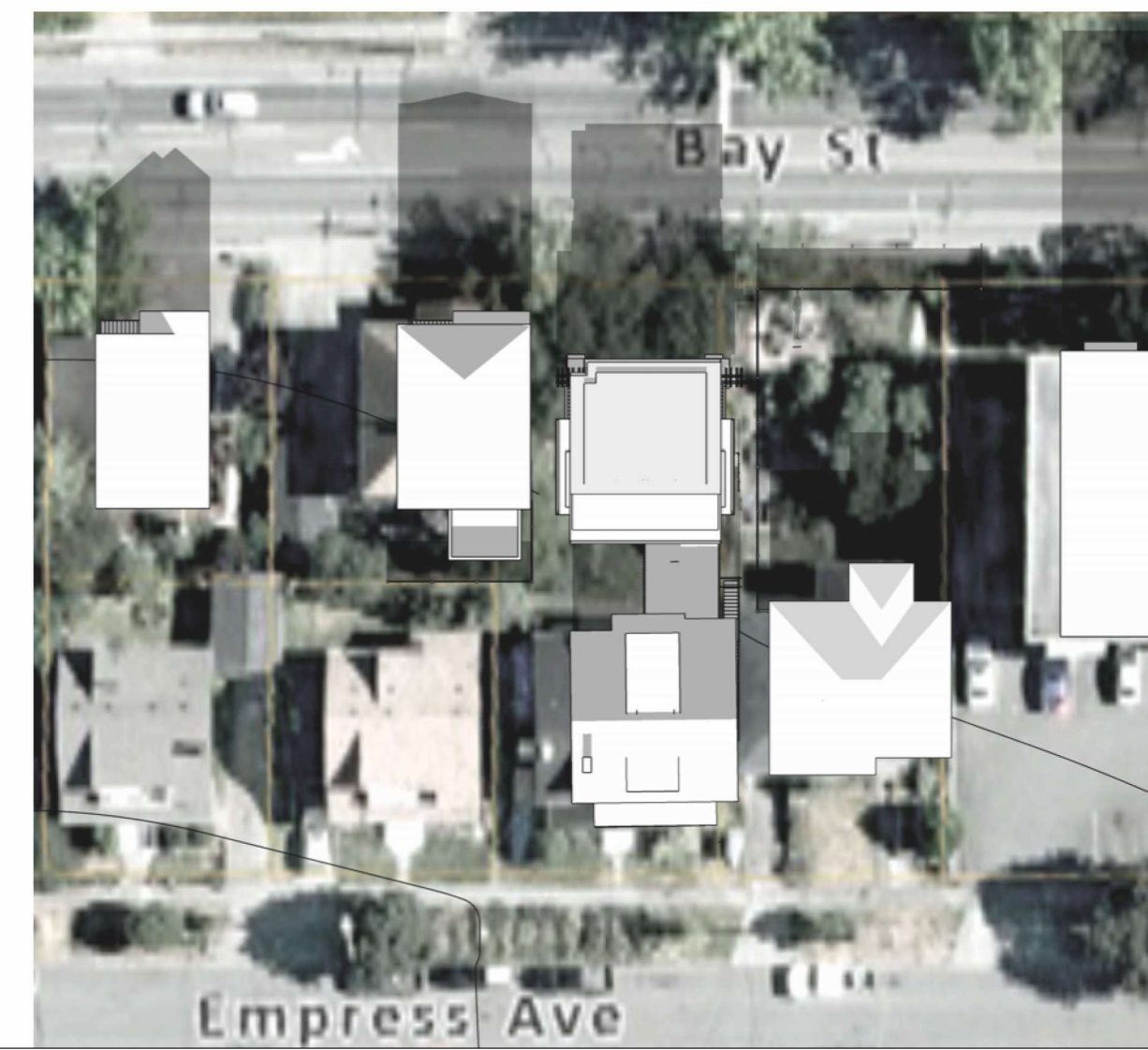
September 21, 12 noon



September 21, 3pm



December 21, 9am



December 21, 12 noon



December 21, 3pm

6	Re-Issued for Rezoning	25.02.20
5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title

Sun Study

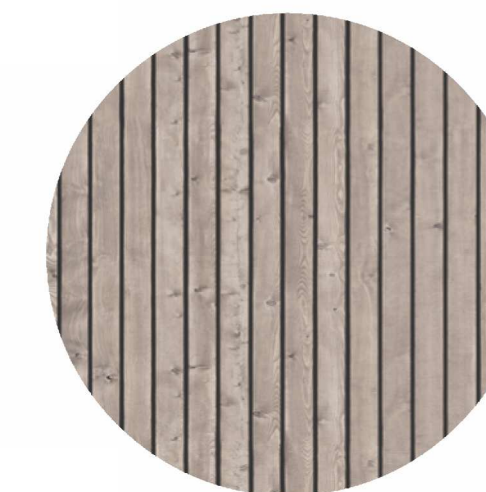
project no. 1906 date 25.02.20

revision no. sheet no.

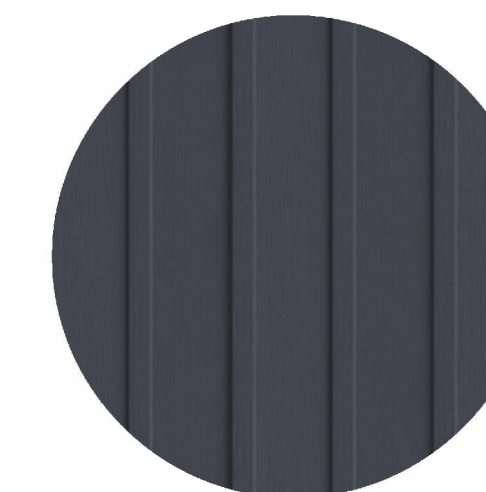
6 A701



Colour- Warm Grey



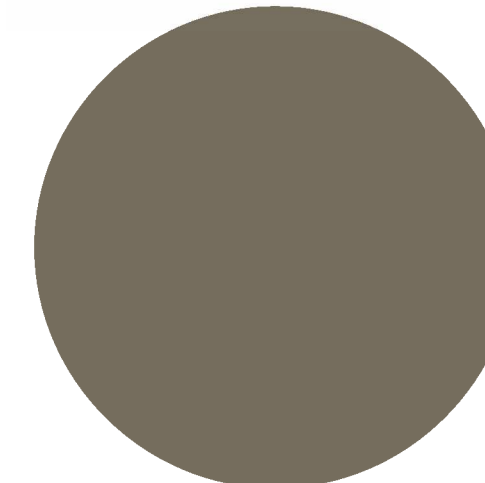
Colour- Pre-weathered wood treatment



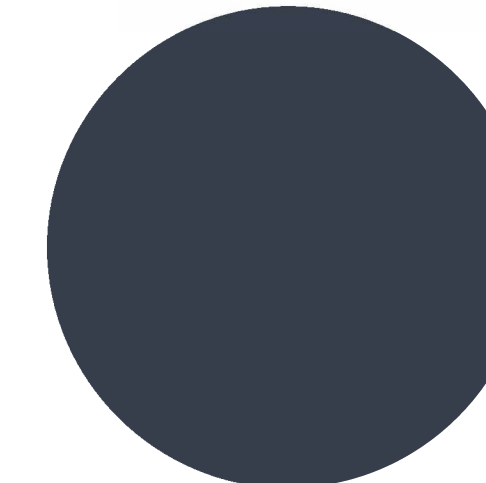
4- Cement board and batten
Colour- Similar to Benjamin Moore Hale Navy



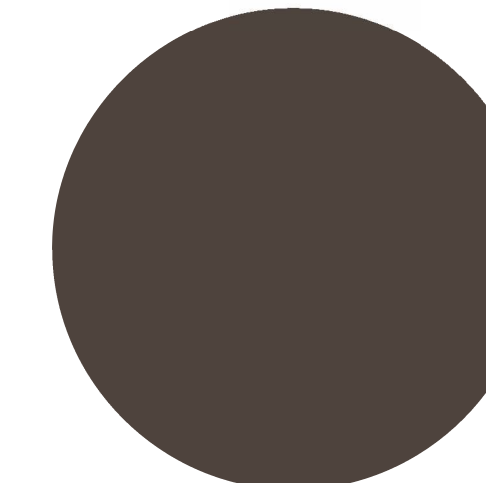
1- Cement board shingles
Colour- Similar to Benjamin Moore Hale Navy



Colour- Similar to Benjamin Moore Texas Sage



Colour- Similar to Benjamin Moore Hale Navy



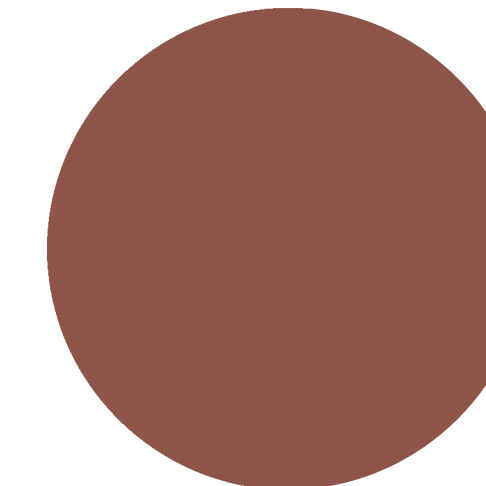
Colour- Similar to Benjamin Moore Brownstone



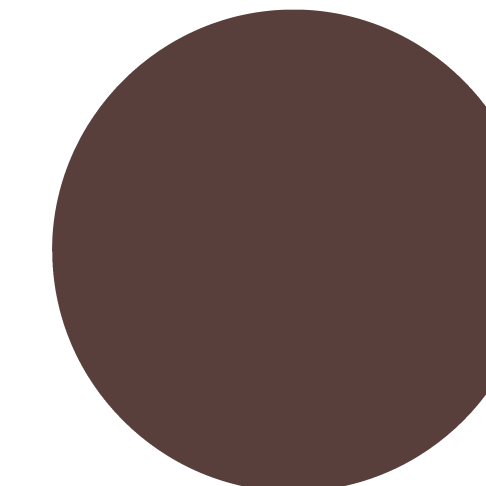
2- Cement board shingles
Colour- Similar to Benjamin Moore Texas Sage



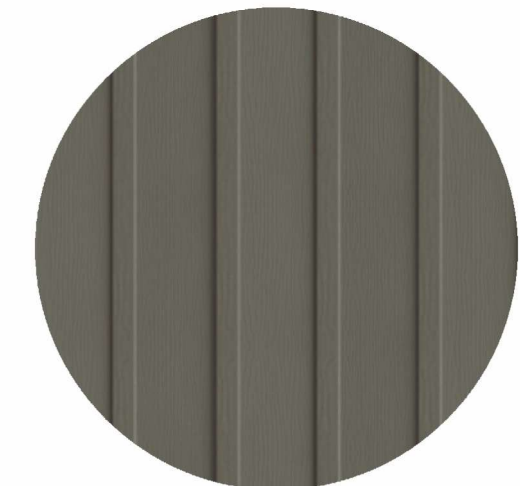
Colour pallet inspriation



Colour- Similar to Benjamin Moore Georgian Brick



Colour- Similar to Benjamin Moore Townsend Harbour



3- Cement board and batten
Colour- Similar to Benjamin Moore Texas Sage

- 1- Cement board shingles
Colour- Similar to Benjamin Moore Hale Navy
- 2- Cement board shingles
Colour- Similar to Benjamin Moore Texas Sage
- 3- Cement board and batten
Colour- Similar to Benjamin Moore Brownstone
- 4- Cement board and batten
Colour- Similar to Benjamin Moore Hale Navy
- 5- Wood Railing
Colour- Similar to Benjamin Moore Brownstone
- 6- Asphalt shingles
Colour- Warm Grey
- 7- SBS roofing
Colour to match shingles
- 8- Wood beams and column
Colour- Similar to Benjamin Moore Brownstone
- 9- Wood trellis structure
Colour- Pre weathered treatment
- 10- Wood guard/Screen
Colour- Pre weathered treatment
- 11- Metal flashing
Colour- Similar to Benjamin Moore Brownstone
- 12- Metal rain water leader
Colour- Similar to Benjamin Moore Hale Navy
- 13- Fibreglass window
Colour dark bronze
- 14- Wood trim
Colour- Similar to Benjamin Moore Brownstone
- 15- Entry Doors
Colour- Similar to Benjamin Moore Townsend Harbour

Colour and material samples must be approved before purchase of materials



6	Re-Issued for Rezoning	25.02.20
5	Re-Issued for Rezoning	24.09.26
4	Re-Issued for Rezoning	24.03.08
3	Re-Issued for Rezoning	23.04.28
2	Re-Issued for Rezoning	22.01.31
1	Issued for Rezoning	21.04.28
	Issued for Rezoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title

Materials and
Colour Palette

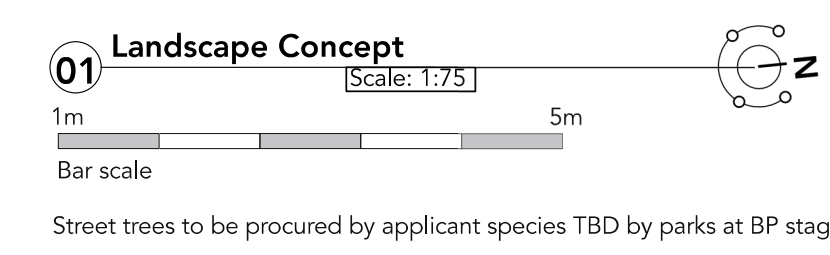
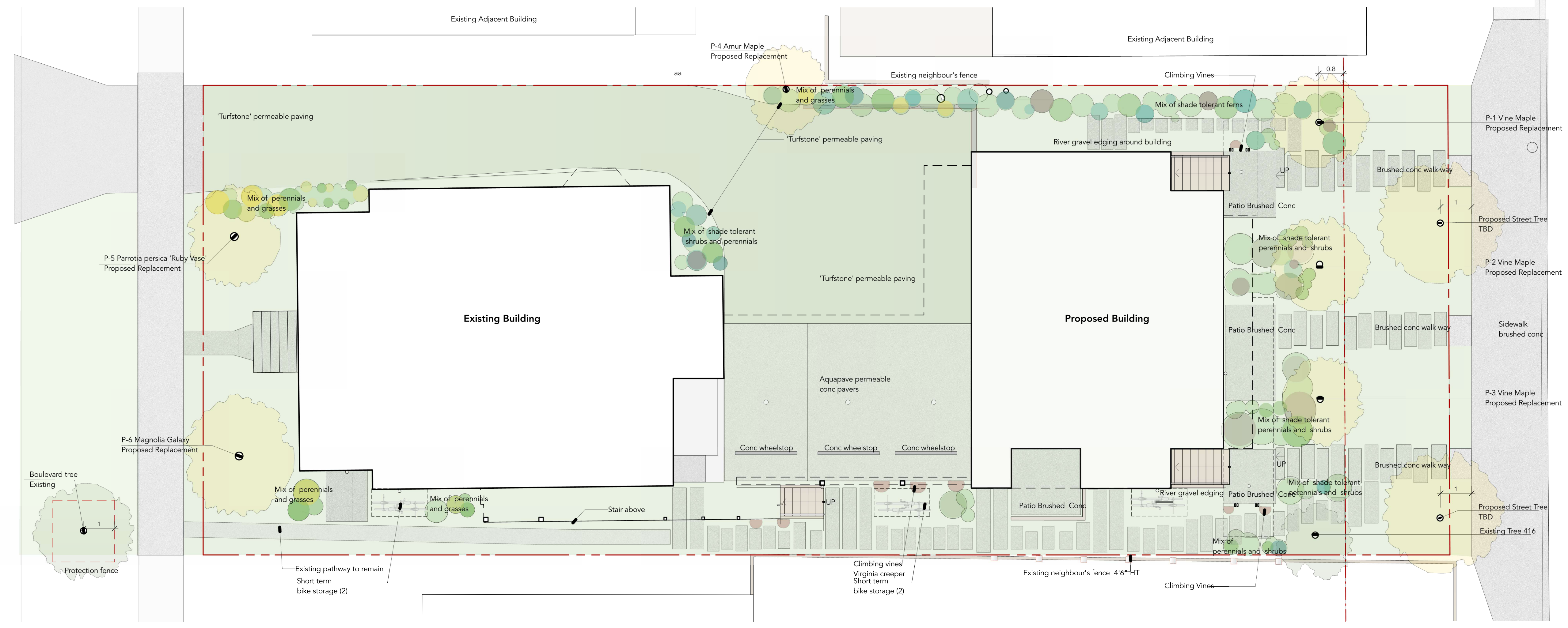
project no. 1906 date 25.02.20

revision no. sheet no.


A702

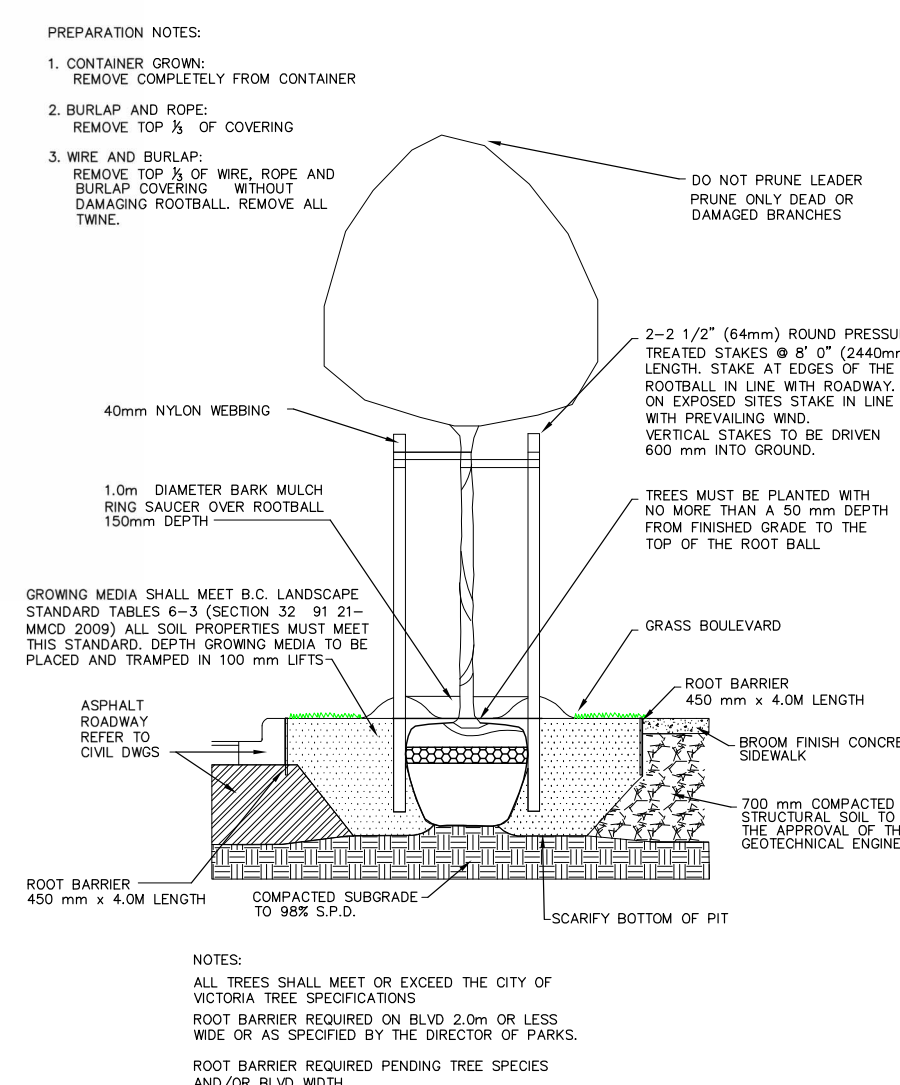


Note:
Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.
Tree Planting Inspections
1. Excavated tree pits, soil cells, root barriers
2. Trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)
3. Completed planting – tree planting, grate/guard, stakes etc.



Common Name	Botanical Name	Type	Sun Requirements	Notes	QTY
Vine maple	Acer Circinatum	Tree	Full Sun-Shade	Tree P-1 Native, Drought Tolerant	1
Vine maple	Acer Circinatum	Tree	Full Sun-Shade	Tree P-2 Native, Drought Tolerant	1
Vine maple	Acer Circinatum	Tree	Full Sun-Shade	Tree P-3 Native, Drought Tolerant	1
Amur Maple	Acer Grinala	Tree	Sun Part Shade	Tree P-4 Hardy, Part Drought Tolerant	1
Magnolia Galaxy	Magnolia x Galaxy	Tree	Full Sun-Part Sun	Tree P-5 Pollinator	1
Ruby Vase	Parrotia Persica	Tree	Full Sun-Part Sun	Tree P-6 Pollinator, Drought Tolerant	1
Hybrid sweet olive	Osmanthus burkwoodii	Shrub	Full Sun -Shade	Drought tolerant	2
'Thunderbird' evergreen	Vaccinium ovatum	Shrub	Native, Drought tolerant, Pollinator		5
Huckleberry	'Thunderbird'	Shrub	Full Sun -Shade	Native, Drought tolerant, Pollinator	6
Salal	Gaultheria Shallon	Shrub	Full Sun -Shade	Native, Drought tolerant, Pollinator	6
Saskatoon,	Amelanchier alnifolia	Shrub	Part Sun/Shade	Native, Drought tolerant, Pollinator	4
Western serviceberry	Sarcococca hookeriana	Shrub	Part Sun/Shade	Drought tolerant	2
Dwarf sweetbox	Sarcococca hookeriana	Shrub	Part Sun/Shade	Drought tolerant	2
'May Night'	Salvia nemerosa	Perennial	Full Sun, Part Sun	Drought tolerant	4
wood sage	'May Night'	Perennial	Part Sun, Shade	Drought tolerant	2
Western wild ginger	Asarum caudatum	Perennial	Part Sun, Shade	Drought tolerant	2
Spanish Lavender	Lavandula stoechas	Perennial	Full Sun, Part Sun	Drought tolerant	8
Mexican Feather Grass	Nassella tenuissima	Grass	Full Sun	Drought tolerant	3
Elijah Blue Fescue	Festuca glauca	Grass	Full Sun -Shade	Drought tolerant	6
Blue Oat Grass	Helictotrichon sempervirens	Grass	Full Sun	Drought tolerant	5
Sea Urchin	Festuca glauca	Grass	Full Sun -Shade	Drought tolerant	4
Blue Fescue	'Sea Urchin'	Grass	Full Sun -Shade	Drought tolerant	4
Micro clover	Trifolium repens	Cover	Full Sun, Part Sun	Native, Drought tolerant, Pollinator	Cover
L. var. Prouette	L. var. Prouette	Cover	Full Sun, Part Sun	Native, Drought tolerant, Pollinator	Cover
Sword Fern	Polystichum Munium	Fern	Part Sun, Shade	Native, Drought tolerant	16
Maidenhair Spleenwort	Asplenium Trichomanes	Fern	Part Sun, Shade	Native, Drought tolerant	4
Deer fern	Blechnum spicant	Fern	Part Sun, Shade	Native	8
Climbing Hydrangea	Hydrangea anomala	Vine	Sun-Shade		2
var. petiolaris'	'var. petiolaris'	Vine	Sun-Shade		2
Virginia Creeper	Parthenocissus quinquefolia	Vine	Sun-Shade	Drought tolerant	4

<p>Trees</p>  <p>Ruby Vase</p>  <p>Amur Maple</p>  <p>Vine Maple</p>  <p>Magnolia Galaxy</p>	<p>Climbing Vines</p>   	<p>Shrubs</p>  	<p>Ferns</p>  	<p>Grasses</p>  	<p>Driveway and Parking Area</p>  <p>Concrete walking path</p>  <p>Micro Clover ground cover</p>  <p>Aquapave Old Country Stone Permeable pavers 'natural'</p>  <p>Turfstone Porous driveway surface</p>
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6	Re-Issued for Re-zoning	25.02.20
6	Re-Issued for Re-zoning	24.09.26
4	Re-Issued for Re-zoning	24.03.08
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1	Issued for Re-zoning	21.04.28
1	Issued for Re-zoning	21.01.29
	Pre Application	

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project name
1132 Empress Avenue

sheet title
Landscape Concept

project no. 1906 date 25.02.20

revision no. sheet no.

L100