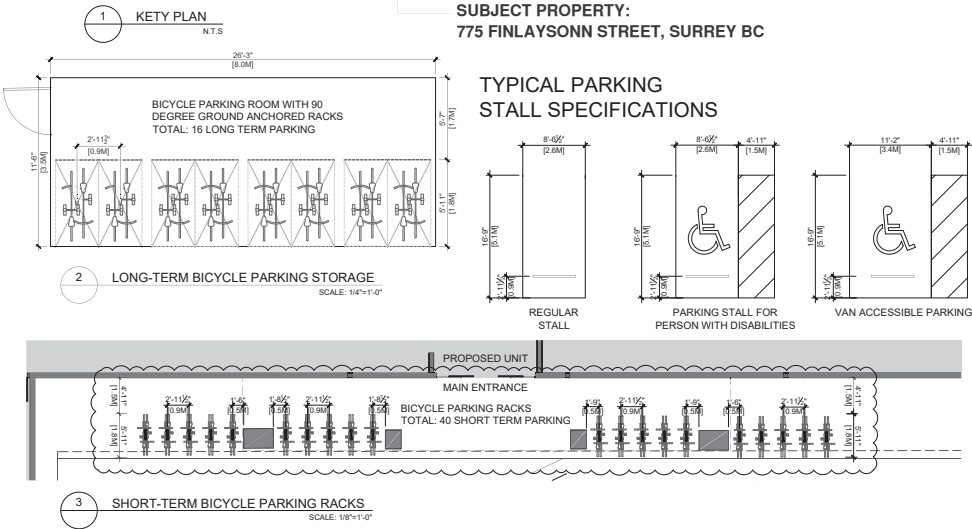
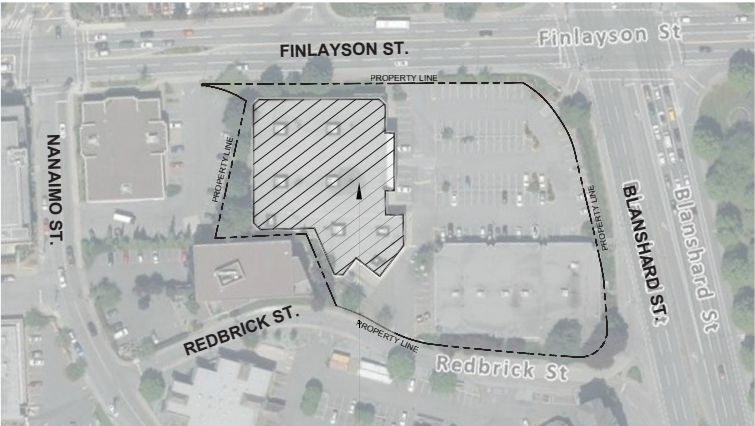


INDOOR PLAYGROUND TENANT IMPROVEMENT

ADDRESS: 775 FINLAYSON STREET, VICTORIA, BC

DRAWING LIST	DESIGN TEAM
A 1.00 KEY PLAN & STATISTICS A 1.01 EXISTING SITE PLAN A 1.02 PROPOSED SITE PLAN A 1.03 ABBREVIATION & SYMBOLS A 1.04 GENERAL NOTES A 2.00 DEMOLITION PLAN A 2.01 PROPOSED PLAN A 2.02 FURNITURE PLAN A 2.03 RENDERING A 3.00 BICYCLE PARKING DETAILS	ARCHITECT: PACIFIC WEST ARCHITECTURE INC. SUITE 940, 1200 WEST 73RD AVE. VANCOUVER, BC, V6P 6G5 T: 604.616.7892 CONTACT: PATRICK YANG



Zoning Analysis Table		
Civic Address	775 Finlayson Street, Victoria BC	
Legal Description	LOT 1, SECTION 4, VICTORIA DISTRICT, PLAN 33644	
Current Zoning	C1-RC/C1	
Site Area	10648.96 m ² (114624.45 sq.ft.)	
Floor Area m ²	775 Finlayson St : 2537.3 m ² 3080 & 3090 Blanshard St: 1755.7 m ²	
CRITERIA	REQUIREMENTS	PROPOSED
Minimum Vehicle Parking Requierments (Village/ Centre)	Health and Fitness: 1 space per 20 m ² floor area Parking required for 775 Finlayson St: 127 Retail Use : 1 space per 50 m ² floor area Parking required for 3080 & 3090 Blanshard St: 35 Total Parking Required: 162	119
Accessible Parking	1 accessible parking space for every 25 parking spaces Total accessible parking Required: 5	5
Van Accessible Vehicle	1 (4.1.2 (b))	1
Parking Stall Dimension	Standard: 2.6m W x 5.1 m L (8.53 ft. W x 16.74 ft. L) Accessible : 2.6m W x 5.1m L (8.53 ft. W x 16.74 ft. L), 1.5m Access aisle	Standard: 2.6m W x 5.1 m L (8.53 ft. W x 16.74 ft. L) Accessible : 2.6m W x 5.1m L (8.53 ft. W x 16.74 ft. L), 1.5m Access aisle
Drive aisle	7.0 m	7.0 m
Long-Term Bicycle Parking	Health and Fitness: 1 space per 400m ² floor area, or part thereof Bicycle parking required for 775 Finlayson St: 7 Retail Use: 1 space per 200m ² floor area, or part thereof Bicycle parking required for 3080 & 3090 Blanshard St: 9 Total long term bicycle parking required: 16	16
Short-Term Bicycle Parking	Health and Fitness: 1 space per 100m ² floor area, or part thereof Total Parking Required for 775 Finlayson St: 25 Retail Use: 1 space per 200m ² floor area, or part thereof Bicycle parking required for 3080 & 3090 Blanshard St: 9 Total short term bicycle parking required: 34	40

NO.	CODE ANALYSIS BCBC 2024 PART 3		
1	PROJECT DESCRIPTION:	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	
2	MAJOR OCCUPANCY	EXISTING: GROUP E - MERCANTILE PROPOSED: GROUP A2 - INDOOR PLAYGROUND	3.1.2.1.
3	CONSTRUCTION ARTICLE	EXISTING: GROUP E, PROPOSED: GROUP A, DIVISION 2, UP TO 6 STOREYS, ANY AREA, SPRINKLERED	3.2.2.66, 3.2.2.24.
4	BARRIER - FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8
5	TRAVEL DISTANCE	MAXIMUM: 45 m PROVIDE: 41.6 m	3.4.2.5.

PWA

pacific west architecture

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Vancouver B.C. V6P 6G5
Office: 604 568 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com

REGISTERED ARCHITECT
PACIFIC WEST ARCHITECTURE INC.
2025.05.22

REVISIONS
1

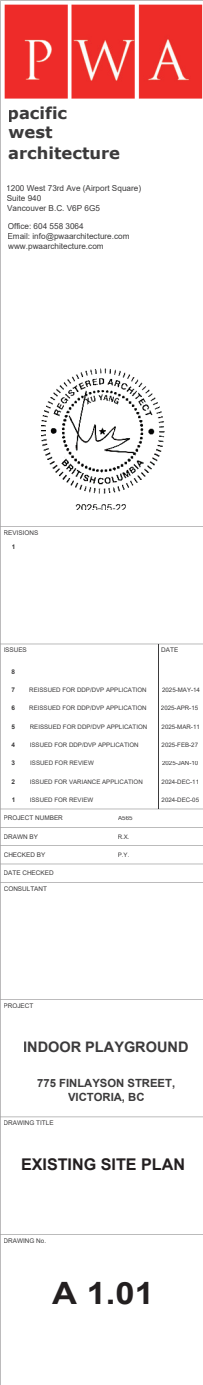
ISSUES	DATE
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7	REISSUED FOR DD/DP/VP APPLICATION 2025-MAY-14
6	REISSUED FOR DD/DP/VP APPLICATION 2025-APR-15
5	REISSUED FOR DD/DP/VP APPLICATION 2025-MAR-11
4	ISSUED FOR DD/DP/VP APPLICATION 2025-FEB-27
3	ISSUED FOR REVIEW 2025-JAN-10
2	ISSUED FOR VARIANCE APPLICATION 2024-DEC-11
1	ISSUED FOR REVIEW 2024-DEC-05

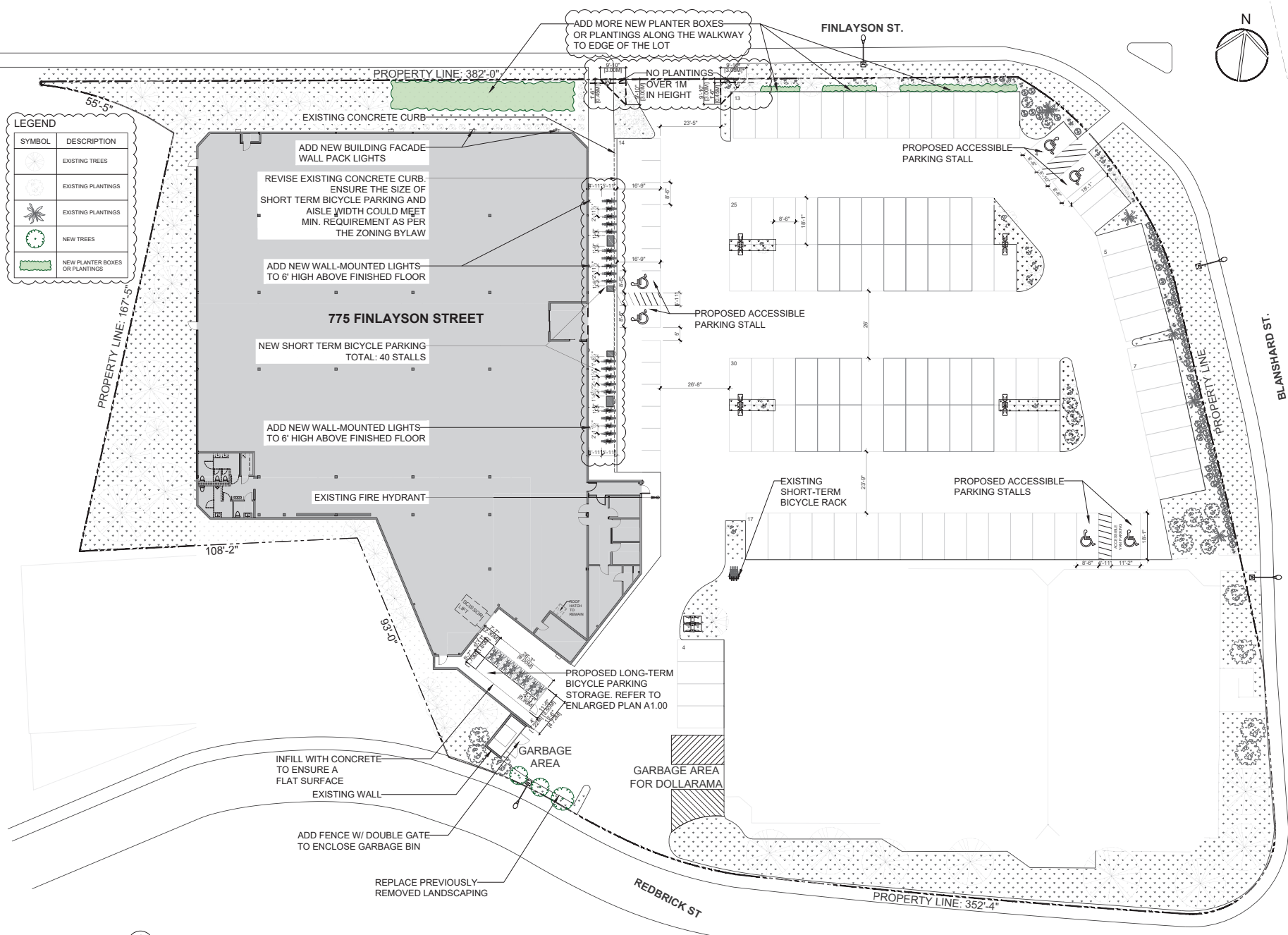
PROJECT NUMBER: 4886
DRAWN BY: R.K.
CHECKED BY: P.Y.
DATE CHECKED:
CONSULTANT:

PROJECT
INDOOR PLAYGROUND
775 FINLAYSON STREET, VICTORIA, BC

DRAWING TITLE
KEY PLAN & STATISTICS

DRAWING NO.
A 1.00





**pacific
west
architecture**

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Office: 604 558 3064
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REVISIONS
1

ISSUES	DATE
8	
7 REISSUED FOR DD/DPV APPLICATION	2025-MAY-14
6 REISSUED FOR DD/DPV APPLICATION	2025-APR-15
5 REISSUED FOR DD/DPV APPLICATION	2025-MAR-11
4 ISSUED FOR DD/DPV APPLICATION	2025-FEB-27
3 ISSUED FOR REVIEW	2025-JAN-10
2 ISSUED FOR VARIANCE APPLICATION	2024-DEC-11
1 ISSUED FOR REVIEW	2024-DEC-08

PROJECT NUMBER	4000
DRAWN BY	R.K.
CHECKED BY	P.V.
DATE CHECKED	
CONSULTANT	

PROJECT

INDOOR PLAYGROUND

775 FINLAYSON STREET,
VICTORIA, BC

DRAWING TITLE

**PROPOSED
SITE PLAN**

DRAWING NO.

A 1.02

ABBREVIATIONS LEGEND

ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION

AB	ANCHOR BOLT	FI	FACE OF	MISC	MISCELLANEOUS	I	TREAD
AC	AIR CONDITION(ING)(ED)	F/F	FACE TO FACE	MKR BD	MARKER	TAB	TOP OF
ACS PNL	ACCESS PANEL	FA	FIRE ALARM	(MKR BD-)	BOARD	T&B	TOP & BOTTOM
ACST	ACOUSTICAL	FAP	FIRE ALARM ANNUNCIATOR	MO	MILMETER	T&G	TONGUE & GROOVE
ACT (ACT-)	ACOUSTICAL CEILING TILE	FAB	FABRIC	MTD	MOUNTED	TDR (TOR-)	TOWEL DISPENSER/ RECEPTACLE
AD	AREA DRAIN	FAB (FAB-)	FABRICATED(I)	MTG	MEETING	TEL	TELEPHONE
ADA	AMERICANS WITH DISABILITIES	FACR	FIRE ALARM CONTROL PANEL	MTL	METAL	TEMP	TEMPORARY
ADH	ADHESIVE	ACT	FIRE CABINET	MVL	MULLION	TER (TER-)	TERRAZZO
ADJ	ADJUSTABLE	FC	FINISHED CEILING LEVEL	MVB	MOVABLE	THK	THICK
AF	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	N	NORTH	THRES	THRESHOLD
AFRE	ABOVE FLOOR REFERENCE	FDN	FOUNDATION	NT	NOT APPLICABLE	TIM	TENANT IMPROVEMENT
AGGR	AGGREGATE	FE	FIRE EXTINGUISHER	NO	NOT IN CONTRACT	TROB	TACKBOARD
ANCH	ANCHOR	FEL	FIRE EXTINGUISHER CABINET	NR	NUMBER	TRD	TOILET
AHU	AIR HANDLING UNIT	FH	FIRE HYDRANT	NMA	NOMINAL	TUPO	TEMPERED
ALT	ALTERNATE	FHC	FIRE HOSE CABINET	NTS	NOT TO SCALE	TUPOG	TOPOGRAPHY, TOPOGRAPHIC
ALUM	ALUMINUM	FHV	FIRE HOSE VALVE CABINET	OUT	CUT TO OUT	TPT	TOILET PAPER DISPENSER
		FHO	FIRE HOSE RACK	OV	OVERALL	TRD	TREATED
		FIN	FINISHED	OC	ON CENTER	TS	TUBE STEEL
ANOD	ANODIZED(I)	FIST	FUTURE	OF	OUTSIDE DIAMETER	TSO	TOILET SEAT COVER
ANN	ANNUNCIATOR	FLA	FLASHING	OFI	OWNER FURNISHED,	TSO-	DISPENSER
APPROX	APPROXIMATE	FLEX	FLEXIBLE	OC	OWNER FURNISHED,	TYP	TYPICAL
ARCH	ARCHITECTURAL, ARCHITECT	FLR	FLOOR, FLOORING	OFI	OWNER INSTALLED		
ASPH	ASPHALT	FLR (FLR-)	FLOOR, FLOORING	OFI	OWNER INSTALLED		
AUTO	AUTOMATIC	FLU	FLOURESCENT	OFI	OVERFLOW DRAIN	U	HEAT TRANSFER COEFFICIENT
AWP	ACOUSTICAL WALL	FP	FIRE PROTECTION	OFF	OFFICE	UC	UNDER CABINET
(AWP-)	PANEL	FR	FLOOR REFERENCE	OH	OVERHEAD	UC (UCL-)	UNDER CABINET LIGHTING
BB (BB-)	BACK TO BACK	ELEV	ELEVATION	OP	OPPOSITE HAND	UND	UNDERGROUND
BB (BB-)	BULLETIN BOARD	FRTW	FIRE RETARDANT	OPNG	OPENING	UNIT	UNIT HEATER
BD	BOARD	FT	FOOT (FEET)	OPP	OPPOSITE	UL	UNDERWRITERS
BE (BE-)	BENCH	FTG	FOOTING	PA	PUBLIC ADDRESS	UNEX	UNEXCAVATED
BITUM	BITUMINOUS	FURN	FURNISH, FURNITURE	PBD	PARTICLE BOARD	UNFN	UNFINISHED
BLDG	BUILDING	FURR	FURRING	PC	PRE-CAST	UNO	UNLESS NOTED OTHERWISE
BLK	BLACK	FUT	FUTURE	PCC (PCC-)	PRE-CAST CONCRETE	URNL	URNAL
BLKG	BLOCKING	GA	GALVANIZED	PERP	PERFORMED	US	UNDERSLAB
BM	BEAM	GALV	GALVANIZED	PERP	PERPENDICULAR	UTIL	UTILITY
BM	BENCHMARK	GB	GRAB BAR	PGB	PEG BOARD		
BM	BOTTOM	GB (GB-)	GENERAL	PL	PLATE	VB (VB-)	VINYL BASE
BR (BR-)	BRICK	GEN	GLASS FIBER	PLAM	PLASTIC LAMINATE	VCT (VCT-)	VINYL COMPOSITION TILE
BRG	BEARING	GFRG	REINFORCED CONCRETE	PLAS	PLASTER	VENT	VENTILATION
BRG	BRONZE	GL	GLASS FIBER	PLAS	PLASTER	VERT	VERTICAL
BSMT	BASEMENT	GFRG	REINFORCED GYPSUM	PLMB	PLUMBING	VEST	VESTRULE
BUR	BUILT-UP	GL (GL-)	GROUND	PPLYD	PLYWOOD	VF	VERIFY IN FIELD
	ROOFING	GLU	GLUE	PNT (PNT-)	PAINT	VOL	VOLUME
CAB	CABINET	GLU LM	GRADE	POL	POLISHED	VNR (VNR-)	VENEER
CAB	COVERED BASE	GR	GLASS LAMINATED WOOD	PAR	PART	VN	VAPOR RETARDER
CCTV	CLOSED CIRCUIT TELEVISION	GSU	GLAZED STRUCTURAL UNIT	PREFAB	PREFABRICATED(I)	VWC	VINYL WALL
CEM	CEMENT	GT	GREASE TRAP	PRF	PARKING	W	COVERING
CG (CG-)	CORNER GUARD	GW	GLAZED WALL TILE	PROJ	PROJECT	W	WEST
CH (CH-)	COAT HOOK	GYP	GYPSUM	PROJ SCR	PROJECTION	W	WITH
CI	CAST IRON	H	HIGH	(PROJ) SCR	SCREEN	WO	WITHOUT
CI	CAST-IN-PLACE	H	HIGH	PROP	PROPERTY	WC	WATER CLOSET
CIRC	CIRCULATION	HB	HOSE BIB	PSF	POUNDS PER SQUARE	WO	WOOD
CIRC	CIRCULATION JOINT	HCC	HOLLOW CORE	PSH (PSH-)	PURSE SHELF	WG (WG-)	WALL GUARD
CL	CENTER LINE	HC	HANDICAPPED	PSF	POUNDS PER SQUARE	WF	WIDE FLANGE
CLG	CEILING	HDF	HIGH DENSITY FIBERBOARD	PT	PITCH	WH	WATER HEATER
CLG	CLOSEST	HDW	Hardware	PT	POINT	WI	WROUGHT IRON
CLR	CLEAR	HDWD	Hardwood	PTD (PTD-)	PAPER TOWEL DISPENSER	WIN	WINDOW
CLM	CENTIMETER	HM	HOLLOW METAL	PTN	PARTITION	WM	WIRE MESH
CMU	CONCRETE MASONRY UNIT	HO	HOLD OPEN	PVC	POLYVINYL CHLORIDE	WP	WATER PROOFING
CMU	CLEANOUT	HORZ	HORIZONTAL	PV	PAVING	W RECP	WASTE RECEPTACLE
CO	COLUMN	HP	HIGH POINT	PV	PAVING	WSCT	

MATERIALS

SYMBOLS

LEGEND

DOOR NUMBER

NEW DOOR IN NEW OR EXISTING FRAME

OR

DOOR NO. USE ROOM NO. WITH DOOR MARK OR DOOR MARK ONLY

WINDOW TAG

WINDOW NUMBER

PARTITION TAG

W3

BUILDING SECTION TAG

SECTION DESIGNATION

1
A1.00

1
A1.00

SHEET NUMBER

DETAIL/WALL SECTION TAG

SECTION DESIGNATION

1
A1.00

SHEET NUMBER

PARTIAL PLAN AND DETAIL TAG

PLAN OR DETAIL DESIGNATION

1
A1.00

SHEET NUMBER

EXTERIOR ELEVATION TAG

ELEVATION DESIGNATION

1
A1.00

SHEET NUMBER

INTERIOR ELEVATION TAG

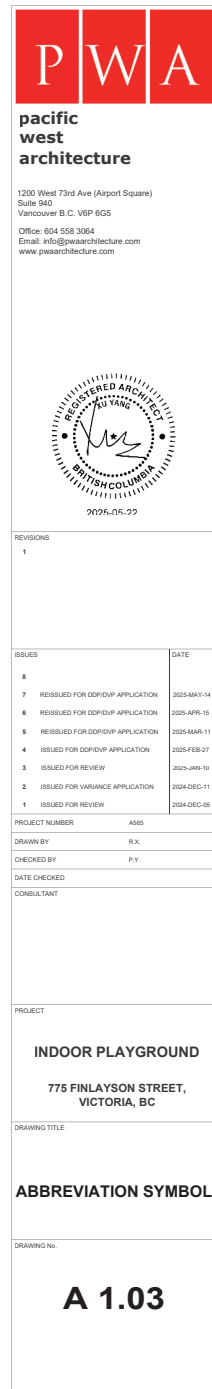
ELEVATION DESIGNATION

1
A4.00

SHEET NUMBER

DRAWING REVISION

#



GENERAL NOTES AND REGULATIONS

1. CONTRACTORS ARE REQUIRED TO VISIT THE SITE PRIOR TO ANY CONSTRUCTION WORK IN ORDER TO EXAMINE LOCAL & EXISTING CONDITIONS ON WHICH THE WORK IS DEPENDENT. NO CONSIDERATION WILL BE GRANTED FOR MISUNDERSTANDING OF WORK TO BE DONE, RESULTING FROM FAILURE TO VISIT THE SITE.
2. THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKERS COMPENSATION INSURANCE ON FILE IN COMPLIANCE WITH LOCAL CODE. BEFORE COMMENCING WITH THE WORK, THE G.C SHALL SHOW EVIDENCE OF ALL THE INSURANCE REQUIREMENTS.
3. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL LANDLORD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SAME. THE CONTRACTOR SHALL INVESTIGATE LOCAL CODES AND PROCEDURES AND SHALL COMPLY WITH ALL REQUIREMENTS.
4. ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE BY CONTRACTORS; DISCREPANCIES TO BE REPORTED TO GC FOR CLARIFICATION PRIOR TO PROCEEDING. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
5. IF APPLICABLE SIGN CONTRACTOR TO OBTAIN SIGN PERMITS FROM BULDING DEPARTMENT AS APPLICABLE. AN IDENTIFYING STICKER MAY BE INSTALLED, PROVIDING IT CANNOT BE SEEN BY PASSERSBY.
6. GENERAL CONTRACTOR SHALL ADVISE PACIFIC WEST ARCHITECTURE INC. DURING TRACING OF PARTITION FOR FINAL VERIFICATION.
7. ROOM SIZES IF NOTED, ARE APPROXIMATE ONLY. NOT TO BE USED FOR CONSTRUCTION.
8. TOP TRACK OF PARTITIONS ARE TO BE CLIPPED AND NOT SCREWED TO THE T-BAR GRID. PROVIDE CONTINUOUS FOAM TAPE AT TOP TRACK TO ENSURE PROPER SOUND INSULATION. DO NOT ADHERE TO T-BAR GRID - FRICTION FIT CLIPS ONLY.
9. SEISMIC BRACING OF THE PARTITIONS IS THE DESIGN RESPONSIBILITY OF THE STEEL STUD PARTITION TRADE. IT IS THE RESPONSIBILITY OF THIS STEEL STUD PARTITION CONTRACTOR TO ENSURE THAT STEEL STUD PARTITIONS ARE DESIGNED AND INSTALLED TO COMPLY WITH ALL STRUCTURAL AND SEISMIC CODES IN BRITISH COLUMBIA. IF REQUIRED, THIS TRADE SHALL PROVIDE LETTERS OF ASSURANCE, SIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN BRITISH COLUMBIA, THAT THE STRUCTURAL AND SEISMIC REQUIREMENTS HAVE BEEN MET.
10. REQUIREMENTS FOR X-RAYING OR SCANNING OF CONCRETE SLAB TO BE CONFIRMED WITH LANDLORD PRIOR TO ANY WORK.
11. ALL PENETRATIONS THROUGH FIRE SEPARATIONS AND FIRE RATED ASSEMBLIES SHALL BE FIRESTOPPED AND SMOKE SEALED IN ACCORDANCE WITH CANULC-S101M, AND HAVE AN "F" RATING NOT LESS THAN THE FIRE PROTECTION RATING REQUIRED FOR THE CLOSURES IN THE FIRE SEPARATION. ALL SERVICE PENETRATIONS SUCH AS ELECTRICAL WIRES AND CABLES, ELECTRICAL OUTLET BOXES, AND OTHER SIMILAR BUILDING SERVICES TO EXISTING FIRE SEPARATIONS SHALL BE TIGHTLY FITTED AND SEALED TO PREVENT THE PASSAGE OF SMOKE. SMOKE SEALS AT OPENINGS INTENDED FOR GASE OF RE-ENTRY, SUCH AS CABLES, SHALL BE ELASTOMERIC SEALS. DO NOT USE CEMENTITIOUS OR RIGID SEALS AT SUCH LOCATIONS.
12. NO CONTACT CEMENT OR OTHER TOXIC ADHESIVE TO BE USED DURING REGULAR WORKING HOURS. CONFIRM HOURS WITH BUILDING MANAGEMENT / TENANT GUIDELINES.
13. ALL DUCTS PENETRATING A FIRE SEPARATION TO BE COMPLETE WITH FIRE DAMPER IN ACCORDANCE WITH THE BC BUILDING CODE, LATEST EDITION. SEE MECHANICAL ENGINEERING DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE.
14. SUB-TRADES SHALL SUPPLY AND INSTALL ALL ITEMS SHOWN ON THE DRAWINGS. COMPLETE WITH ALL REQUIRED FITTING AND ACCESSORIES. EXCEPT AS MAY BE NOTED ON THE DRAWINGS.
15. ALL WORK SHALL BE PERFORMED BY EXPERIENCED TRADES AND SUB-TRADES TO THE SATISFACTION OF THE DESIGNER.
16. STORAGE OF MATERIALS OR EQUIPMENT OUTSIDE OF TENANT'S DEMISED AREA SHALL NOT BE PERMITTED, UNLESS APPROVED BY LANDLORD.
17. COMMENCEMENT OF SITE WORK BY SUB-TRADES WILL IMPLY ACCEPTANCE OF THE DRAWINGS AND/OR SPECIFICATIONS, AND SITE CONDITIONS, UNLESS EXCEPTIONS ARE NOTED.
18. NO EXTRAS WILL BE ALLOWED FOR WORK WHICH A SITE VISIT WOULD HAVE MADE APPARENT.
19. CONTRACTOR AND/OR SUB-TRADES TO PROVIDE A MINIMUM OF ONE (1) YEAR GUARANTEE AGAINST DEFECTIVE MATERIALS AND/OR WORKMANSHIP. WARRANTY PERIOD SHALL EXPIRE ONE YEAR FROM THE DATE OF PROJECT SUBSTANTIAL COMPLETION.
20. SMOKING IS FORBIDDEN IN ALL AREAS. THIS IS A RIGID RULE AND CONTRACTING PERSONNEL DISREGARDING THIS RULE WILL NOT BE ALLOWED WITHIN BUILDING.
21. SUPERVISOR SHALL MEAN THE BUILDING SUPERVISOR IN CHARGE OF THE BUILDING OR PORTION OF THE BUILDING.
22. ALL UNCRATING OPERATIONS MUST BE DONE OUTSIDE THE BUILDING OR IN AN AREA APPROVED BY THE BUILDING SUPERVISOR.
23. IF THE WORK TO BE PERFORMED IS SUCH THAT DIRT WILL BE TRACKED THROUGH THE BUILDING, SUITABLE FLOOR PROTECTION MUST BE PROVIDED BY THE CONTRACTOR BEFORE COMMENCING WORK
24. SHOULD THE PROJECT WORK INVOLVE THE MOVEMENT OF HEAVY EQUIPMENT, ADEQUATE PRECAUTIONS MUST BE TAKEN TO PROTECT ALL FLOORS, COLUMNS AND WALLS WITHIN THE AREA.
25. ALL MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED USE AS PER ACCEPTED TRADE PRACTICE.
26. ALL CONSTRUCTION METHODS AND MATERIALS TO CONFORM TO THE CURRENT EDITIONS OF THE BRITISH COLUMBIA BUILDING CODE, THE B.C. FIRE CODE, AND ALL SUPPLEMENTS.
27. EQUAL AND/OR ALTERNATIVE ITEMS MAY ONLY BE USED UPON RECEIVING THE APPROVAL OF PACIFIC WEST ARCHITECTURE INC.
28. CONTRACTORS SHALL VERIFY THE AVAILABLE MEANS AND CONDITIONS AFFECTING THE MOVEMENT OF MATERIALS INTO AND WITHIN THE BUILDING.
29. GENERAL CONTRACTOR IS TO ENSURE CONTINUOUS MAINTENANCE OF SITE DURING CONSTRUCTION FOR PROTECTION OF MATERIALS AND WORK COMPLETED TO DATE.
30. DETAILS SHOWN ARE FOR DESIGN INTENT PURPOSES ONLY & ARE NOT INTENDED TO SUPERCEDE FABRICATION METHODS; CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL OF PACIFIC WEST ARCHITECTURE INC.
31. LOCATE THERMOSTATS IN CORNERS OR BESIDE DOOR FRAMES - NOT IN CENTER OF WALL WIDTH. G.C. TO COORDINATE THERMOSTAT LOCATIONS PRIOR TO INSTALLATION TO AVOID INSTALL OVER HEAT EMITTING DEVICES OR CONFLICT WITH FURNITURE.
32. CONTRACTOR IS TO ENSURE ALL EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE PULLS, ALARMS & ALL OTHER FIRE SAFETY EQUIPMENT MEETS CURRENT BUILDING CODES; RELOCATE EXISTING FIXTURES - SUPPLY & INSTALL NEW AS REQUIRED.
33. PATCH AND MAKE GOOD ALL DAMAGE TO EXISTING SURFACES.
34. REFER TO ALL MANUFACTURERS' SPECIFICATIONS FOR FABRICATION METHODS.
35. ALL WORK TO BE DONE DURING NORMAL BUSINESS HOURS - AS APPROVED BY LANDLORD. WORK CREATING NOISE OR DISRUPTION TO SURROUNDING TENANTS MUST BE PERFORMED OUTSIDE NORMAL BUSINESS HOURS WHEN TENANT SPACE IS VACANT.
36. ALL INTERIOR FINISHES TO MEET THE BRITISH COLUMBIA BUILDING CODE, CURRENT EDITION.
37. WALL FINISHES SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 150 AND A SMOKE DEVELOPED CLASSIFICATION OF NOT MORE THAN 300.
38. CARPETS IN GENERAL AREAS SHALL PASS THE TEST METHOD FOR FLAME RESISTANCE IN ACCORDANCE WITH CANULC-S102.2. *TEST FOR SURFACE BURNING CHARACTERISTICS OF FLOORING, FLOOR COVERINGS, AND MISCELLANEOUS MATERIALS AND ASSEMBLIES.
39. CEILING NOT TO EXCEED F.S.R. 150.
40. LUMINAIRE LENSES SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 250 AND A SMOKE DEVELOPED CLASSIFICATION OF NOT MORE THAN 600 TESTED IN CONFORMANCE WITH CANULC-S102.2.
41. BATT INSULATION SHALL HAVE A MAXIMUM F.S.R. OF 25.
42. CLEANING OF FLOORS MUST BE DONE BY VACUUM. USE OF BROOMS FOR THIS PURPOSE IS ONLY ACCEPTABLE IF SUITABLE DUCT CONTAINMENT PRODUCT (DUSTBANE OR APPROVED EQUAL) IS USED.
43. CONTRACT FORCES MUST NOT, UNDER ANY CIRCUMSTANCE, INTERFERE WITH WORKING EQUIPMENT.
44. IT IS THE RESPONSIBILITY OF THE COMPANIES AWARDED CONTRACTS TO ENSURE THAT ALL PERSONNEL UNDER THEIR JURISDICTION ARE AWARE OF THE ABOVE REGULATIONS, INCLUDING ADDITIONAL PERSONNEL ASSIGNED TO THIS JOB AFTER THE COMMENCEMENT OF WORK.
45. A REPORT OF ANY ACCIDENT AT THE SITE RESULTING IN LOST TIME FOR A CONTRACTOR'S OR SUB-CONTRACTOR'S EMPLOYEE SHALL BE SUBMITTED IN WRITING TO THE PROJECT MANAGER.
46. GENERAL CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY ON AND AROUND THE CONSTRUCTION SITE IN ACCORDANCE WITH APPLICABLE LAWS, SAFETY CODES, THE CURRENT EDITION OF BC BUILDING CODE, AND WSI HEALTH, SAFETY AND ENVIRONMENTAL JURISDICTION AND THE WORKERS COMPENSATION BOARD OF BRITISH COLUMBIA. THE MOST STRINGENT PROVISION SHALL APPLY.
47. GENERAL CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY ON AND AROUND THE CONSTRUCTION SITE IN ACCORDANCE WITH APPLICABLE LAWS, SAFETY CODES, THE CURRENT EDITION OF THE B.C. BUILDING CODE, AND HEALTH, SAFETY & ENVIRONMENTAL POLICIES. OBSERVE AND ENFORCE ALL CONSTRUCTION SAFETY MEASURES REQUIRED BY THE LOCAL JURISDICTION AND WORKSAFEBC. THE MOST STRINGENT PROVISION SHALL APPLY.
48. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROJECT JOB SITE AND ANY DAMAGES TO THE SITE DURING THE CONSTRUCTION PERIOD, OR AS A RESULT OF WORK CARRIED OUT DURING THE CONSTRUCTION PERIOD.
49. GENERAL CONTRACTOR TO PROVIDE MARKED UP RED-LINE DRAWINGS TO PACIFIC WEST ARCHITECTURE INC. FOR AS-BUILT DRAWINGS UPON PROJECT COMPLETION.
50. GENERAL CONTRACTOR IS RESPONSIBLE TO REFERENCE AND ABIDE BY RULES AND REGULATION SET OUT IN THE LANDLORD PROVIDED TENANT MANUAL AND CONSTRUCTION GUIDELINE.
51. PROVIDE OCCUPANCY SIGNS CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.

DRAWING

1. ALL CONTRACTORS, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF DOCUMENTS AS SHOWN IN THE SHEET INDEX. FAILURE TO REVIEW CONSTRUCTION DOCUMENTS WILL NOT RELIEVE ANY CONTRACTORS, SUB-CONTRACTORS, VENDORS OR MATERIAL SUPPLIERS FROM PERFORMING WORK OR PROVIDING MATERIALS REQUIRED FOR THE COMPLETION OF THIS PROJECT AS DEFINED WITHIN THE DOCUMENTS AT TIME OF BID.
2. GENERAL CONTRACTOR SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES MUST BE BROUGHT TO THE OWNER'S ATTENTION BEFORE PROCEEDING WITH WORK.
3. SHOULD A CONFLICT EXIST WITHIN THE DRAWINGS OR BETWEEN THE CONSTRUCTION DOCUMENTS AND/OR THE SPECIFICATIONS THE OWNER'S REPRESENTATIVE SHALL BE INFORMED OF THE DISCREPANCY IMMEDIATELY, AT WHICH TIME THE OWNER'S REPRESENTATIVE SHALL PROVIDE DIRECTION AS TO HOW TO PROCEED.
4. INSPECT SITE AND VERIFY FIELD DIMENSIONS BEFORE COMMENCING WITH CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE AND LANDLORD IMMEDIATELY IF THERE ARE ANY SIGNIFICANT DISCREPANCIES.
5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. LARGE SCALE DRAWINGS WILL HAVE PRIORITY OVER SMALL SCALE DRAWINGS
6. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS AND NUMBER OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, OWNER / DESIGNER SHALL BE IMMEDIATELY NOTIFIED IN WRITING.
7. IF ANY ERRORS OR OMISSIONS APPEAR IN CONTRACT DOCUMENTS CONTRACTOR SHALL NOTIFY OWNER / DESIGNER IN WRITING OF SUCH ERRORS OR OMISSIONS.
8. DIMENSIONS SHOWN ON PLANS ARE TO FACE OF EXTERIOR MASONRY, CONCRETE COLUMNS OR GRID LINES AND CENTRE OF STUD UNLESS OTHERWISE NOTED OR DETAILED.
9. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS, VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER / OWNER FOR CLARIFICATION PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION.
10. COLUMN CENTRE LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONS. VERIFY EXACT LOCATIONS IN FIELD.
11. DRAWINGS PREPARED BY PACIFIC WEST ARCHITECTURE INC. SHALL BE CROSS-REFERENCED BY THE SUB-TRADES WITH ALL DRAWINGS INCLUDED IN SET, AND WITH ALL DRAWINGS PREPARED BY OTHER CONSULTANTS. ANY DISCREPANCIES
- BETWEEN DRAWINGS SHALL IMMEDIATELY BE REPORTED TO THE DESIGN CONSULTANT, PRIOR TO ORDERING OF MATERIALS, FURNITURE, EQUIPMENT, FIXTURES, ETC.

JOB SITE OPERATIONS

1. WHEN OVERNIGHT WORK OCCURS IN ANY AREA THAT WILL BE USED TO ACCESS THE OPERATIONAL SPACE DURING THE DAY, THE AREA MUST BE CLEANED AND BROUGHT TO A SAFE WORKING CONDITION AT THE END OF EVERY SHIFT.
2. G.C. TO COORDINATE WITH FACILITIES MANAGER/CLIENT TO DEVELOP A FINAL CONSTRUCTION SCHEDULE.
3. DURING ALL PHASES OF WORK DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS / DEPARTMENTS.
4. EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION UPON THE COMPLETION OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, INCLUDING TRASH GENERATED FROM OWNER FURNISHED ITEMS AND BY OWNER'S CONTRACTORS FOR THE DURATION OF THE PROJECT.
5. ALL EXISTING WORK NOT IN THIS SCOPE OF WORK SHALL BE MAINTAINED IN ITS ORIGINAL CONDITION, UNLESS OTHERWISE NOTED. PROTECT WORK FROM DAMAGE RESULTING FROM THIS WORK.
6. REMOVE ALL ABANDONED IMPROVEMENTS, INCLUDING ELECTRICAL AND MECHANICAL, UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO PROVIDE THOROUGH CLEANING AFTER WORK IS COMPLETED AND REMOVE ALL DEBRIS FROM SITE. SITE IS TO BE THOROUGHLY HOUSE-CLEANED AFTER COMPLETION OF PROJECT AND BEFORE TENANT OCCUPANCY USING PROFESSIONAL CLEANERS.
8. ALL WORK PERFORMED SHALL BE OF THE HIGHEST QUALITY AND DONE ONLY BY EXPERIENCED TRADES.

MATERIALS

1. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
2. G.C SHALL BE RESPONSIBLE FOR COORDINATION WITH OWNER'S REPRESENTATIVE TO PROVIDE A TIMELY ARRIVAL OF ALL MATERIALS, EQUIPMENT AND OTHER SUCH ITEMS TO BE UTILIZED ON THIS PROJECT (OWNER-PROVIDED OR OTHERWISE). G.C SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN 5 DAYS OF DATE OF APPROVED WORK AUTHORIZATION OF THOSE ITEMS THAT MAY NOT BE READILY AVAILABLE. IF NOTIFICATION IS NOT PROVIDED TO THE OWNER'S REPRESENTATIVE, THE G.C ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED ITEMS AND WILL PURSUE WHATEVER MEANS NECESSARY AT NO ADDITIONAL COST TO OWNER.
3. CONTRACTOR TO ENSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE HARDSHIP TO THE OWNER AND NOT DELAY PROGRESS OF THE WORK. NO EXTENSION OF TIME SHALL BE PERMITTED.
4. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE, INVENTORY, STORE, AND SECURE ANY OWNER FURNISHED ITEMS SUPPLIED AND DELIVERED TO THE JOBSITE, OR OTHER AGREED UPON LOCATION, AND FORWARD THE RECEIVING DOCUMENT(S) TO THE OWNER.
5. THE CONTRACTOR SHALL LEAVE WITH FACILITY COORDINATOR ONE(1) GALLON OF PAINT OF EACH COLOUR FOR FUTURE TOUCH-UP WORK.
6. NO SUBSTITUTIONS OF ANY MATERIALS OR ITEMS SPECIFIED IN THE DOCUMENTS ARE PERMITTED, UNLESS NOTED OTHERWISE AND APPROVED BY OWNER. G.C. WILL BE RESPONSIBLE FOR PAYING THE CONSULTANT AT THEIR HOURLY RATE TO REVIEW, CONSIDER AND PRESENT TO THE CLIENT ANY ALTERNATES.
7. ANY WOOD CONSTRUCTION SHALL BE FIRE RETARDANT TREATED. INTERIOR FINISHES SHALL NOT EXCEED A FLAME SPREAD RATING OF 25 AT EXIT CORRIDOR.
8. CONTRACTOR SHALL VERIFY THE AVAILABLE MEANS AND CONDITIONS AFFECTING THE MOVEMENT OF MATERIALS AND COMPONENTS INTO AND WITHIN THE BUILDING
9. LEAD TIMES ON ALL MATERIALS TO BE VERIFIED UPON THE START OF THE PROJECT PACIFIC WEST ARCHITECTURE INC. WILL NOT BE HELD RESPONSIBLE FOR MATERIALS NOT ORDERED ON TIME. DELAYS AND COSTS INCURRED DUE TO THE SAME WILL BE HELD BY THE TRADES RESPONSIBLE. NO SUBSTITUTES WILL BE ACCEPTED.
10. ALL ITEMS REMOVED THAT ARE BUILDING STANDARD SUCH AS LIGHT FIXTURES, DOORS, FRAMES, HARDWARE, CEILING TILES, ETC. THAT ARE NOT SLATED FOR RE-USE ARE TO BE KEPT SAFE AND PACKAGED NEATLY. THEY WILL THEN BE RETURNED TO THE BUILDING OWNER OR THEIR REPRESENTATIVE. ANY MATERIALS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED AT THE EXPENSE OF THE TRADE RESPONSIBLE.
11. STORAGE OF MATERIALS AND EQUIPMENT WILL NOT BE ALLOWED OUTSIDE OF THE DEMISING AREA OF THE TENANT, UNLESS PREVIOUSLY APPROVED BY THE BUILDING OWNER.

PWA

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REGISTERED ARCHITECT
B.C. 1400
2025.05.22

ISSUES

ISSUES	DATE
8	
7 REBUISSUED FOR DDPIVDP APPLICATION	2025-MAY-14
6 REBUISSUED FOR DDPIVDP APPLICATION	2025-APR-15
5 REBUISSUED FOR DDPIVDP APPLICATION	2025-MAR-11
4 ISSUED FOR DDPIVDP APPLICATION	2025-FEB-27
3 ISSUED FOR REVIEW	2025-JAN-10
2 ISSUED FOR VARIANCE APPLICATION	2024-DEC-11
1 ISSUED FOR REVIEW	2024-DEC-05

PROJECT NUMBER

AMB

DRAWN BY

R.K.

CHECKED BY

P.Y.

DATE CHECKED

CONSULTANT

PROJECT

INDOOR PLAYGROUND

775 FINLAYSON STREET,
VICTORIA, BC

DRAWING TITLE

GENERAL NOTES

DRAWING No.

A 1.04



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REVISIONS
1

ISSUES	DATE
8	
7 ISSUED FOR DDPOVP APPLICATION	2025-MAY-14
6 ISSUED FOR DDPOVP APPLICATION	2025-APR-15
5 ISSUED FOR DDPOVP APPLICATION	2025-MAR-11
4 ISSUED FOR DDPOVP APPLICATION	2025-FEB-27
3 ISSUED FOR REVIEW	2025-JAN-10
2 ISSUED FOR VARIANCE APPLICATION	2024-DEC-11
1 ISSUED FOR REVIEW	2024-DEC-05

PROJECT NUMBER	ABMS
DRAWN BY	R.K.
CHECKED BY	P.Y.
DATE CHECKED	
CONSULTANT	

PROJECT

INDOOR PLAYGROUND

**775 FINLAYSON STREET,
VICTORIA, BC**

DRAWING TITLE

DEMOLITION PLAN

DRAWING NO.

A2.00

WALL LEGEND

SYMBOL	DESCRIPTION
	EXISTING BASE BUILDING STRUCTURE & INTERIOR PARTITION TO REMAIN AS IS. MAKE GOOD AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULE.
	ITEMS TO BE DEMOLISHED.
	EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED.

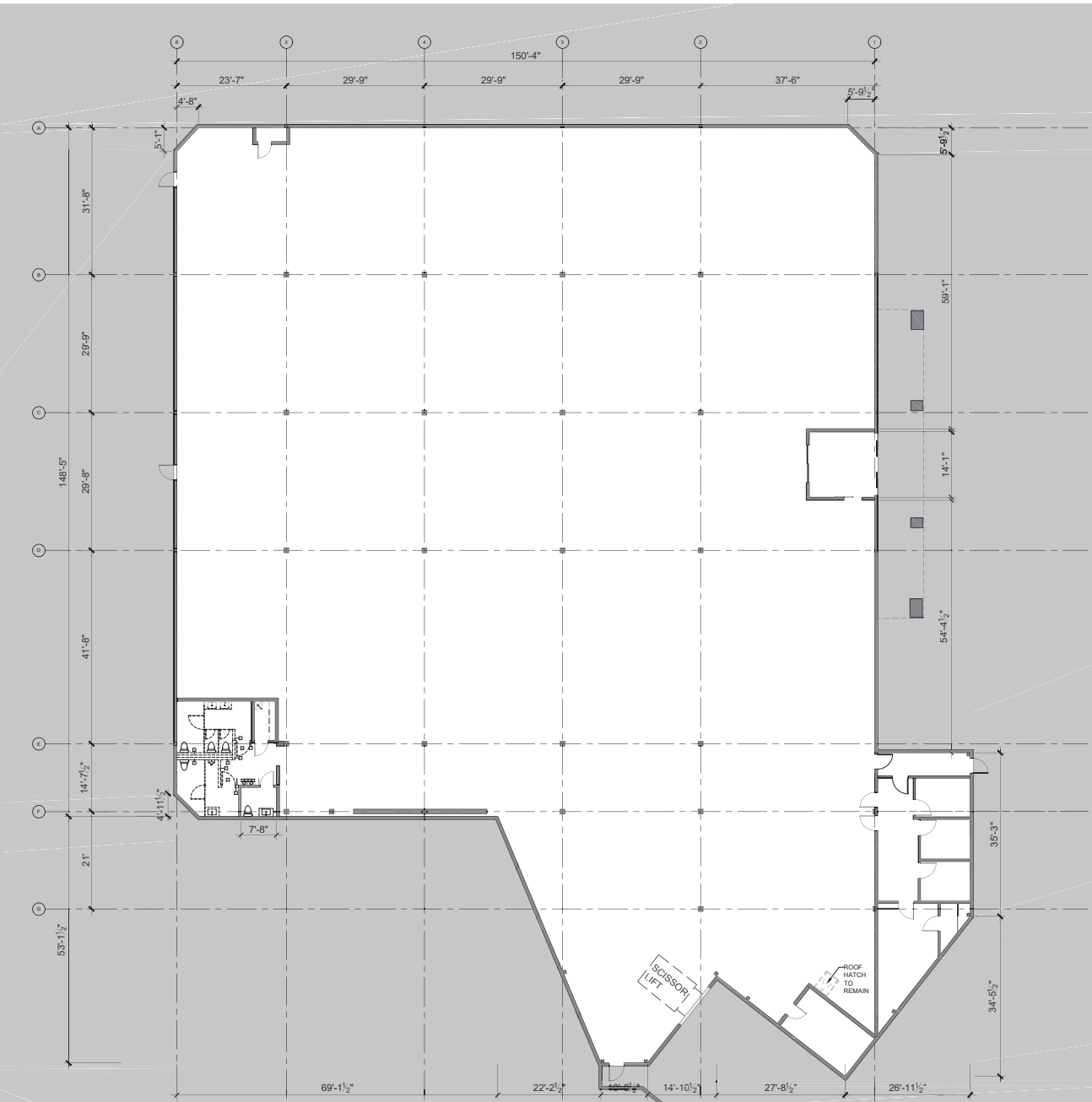
DEMOLITION GENERAL NOTES

- CONFIRM WITH THE LANDLORD REPRESENTATIVE TO SCHEDULE DEMOLITION WORK. PROVIDE BASE BUILDING FLOOR PROTECTION WHERE POTENTIAL DEBRIS AND DIRT CAN DAMAGE COMMON AREA PROPERTY.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND DEMOLITION NOTES.
- TENANT TO REMOVE HOARDING AND PATCH AND REPAIR ADJACENT FINISHES AND PAINT.
- ALL BUILDING COMPONENTS AND FINISHES WHICH ARE TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REVIEW ALL HAZARDOUS MATERIAL ABATEMENT REPORTS BEFORE DEMOLITION OCCURS AND PERFORM TESTING AS REQUIRED TO COMPLETE THE SCOPE OF WORK. CONTRACTOR SHALL TAKE THE APPROPRIATE ACTIONS REGARDING TESTING, NOTIFICATIONS, MEASUREMENTS, ABATEMENT AND DISPOSAL OF ANY ASBESTOS CONTAINING MATERIAL LIKELY TO BE DAMAGED OR AFFECTED BY THE CONSTRUCTION ACTIVITIES OR EFFORTS.
- THESE DEMOLITION PLANS WERE PREPARED FROM EXISTING BUILDING PLANS AND CONSTRUCTION DOCUMENTS IN AN EFFORT TO PROVIDE THIS CONTRACTOR WITH THE GENERAL SCOPE OF THE PROJECT. THE ARCHITECT HAS NOT FIELD VERIFIED ALL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE TO ASCERTAIN THE TRUE SCOPE AND NATURE OF WORK. DIGITAL COPIES OF THE EXISTING BUILDING'S DRAWINGS ARE AVAILABLE TO THE CONTRACTOR UPON REQUEST.
- CONTRACTOR TO PROVIDE A CLEAR PATH OF EGRESS LEADING AWAY FROM THE BUILDING. THE PATH MUST BE A MINIMUM OF 1100mm WIDE AND AT LEAST 3000mm FROM ANY UNPROTECTED OPENING.
- ANY UNCLEAR ISSUES AND/OR DISCREPANCIES SHALL BE CLARIFIED WITH THE CONSULTANT.

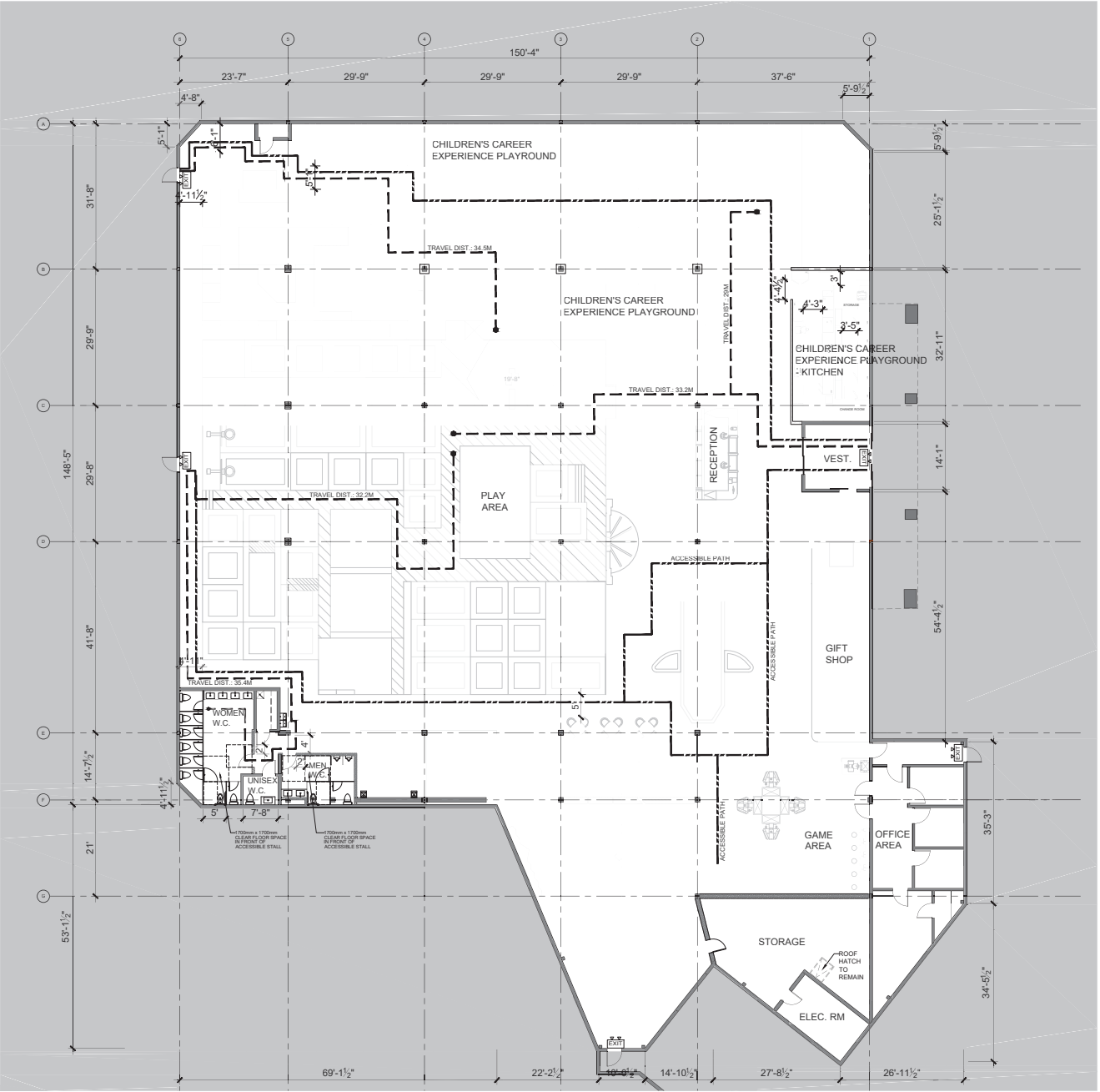
DEMOLITION FLOOR PLAN - KEY NOTES

REMOVE EXISTING TENANT IMPROVEMENTS, FINISHES AND INSTALLATIONS WITHIN THE PREMISES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

SYMBOL	DESCRIPTION
	EXISTING WALLS AND PARTITIONS TO BE REMOVED. PATCH AND REPAIR DEMISING WALLS.
	EXISTING DOORS, FRAME AND HARDWARE TO BE REMOVED.
	EXISTING EQUIPMENT TO BE RELOCATED.



1 DEMOLITION PLAN
Scale: 3/32"= 1'-0"



1 FURNITURE PLAN
Scale: 3/32"= 1'-0"



MILLWORK & FURNITURE - GENERAL NOTES

1. MILLWORK SHOP DRAWINGS REQUIRED FOR DESIGNER REVIEW AND APPROVAL PRIOR TO FABRICATION.
2. SITE MEASURE REQUIRED PRIOR TO FABRICATION OF MILLWORK.
3. CONSULT DESIGNER WHERE SITE DIMENSIONS DIFFER FROM DRAWING DIMENSIONS.
4. MILLWORK SUBSTRATE TO BE HIGH DENSITY MDF, TYPICAL, UNLESS OTHERWISE NOTED.
5. USE FULL EXTENSION HEAVY DUTY ACCURIDE GLIDES.
6. CONCEALED CABINET HINGES- 100 DEGREE OPENING - OVERLAY APPLICATION - METAL FULLY CONCEALED HINGE, SELF CLOSING - 'BLUM' OR EQUAL.
7. SHELVES TO BE SUPPORTED BY COMMERCIAL GRADE ST. STEEL ADJUSTABLE PINS.
8. SUPPLY AND INSTALL CLEAR RUBBER SILENCERS TO BACKSIDE OF ALL CABINET DOORS / DRAWERS
9. CABINET INTERIORS TO BE ALL PLASTIC LAMINATE FINISH AS THEY ARE EXPOSED WITH NO DOORS.
10. MILLWORK TO BE BLANKET WRAPPED / PROTECTED FROM DAMAGE WHILE ON SITE, AND PRIOR TO INSTALLATION, AND/OR TURN OVER OF PROJECT TO CLIENT AT SUBSTANTIAL COMPLETION.



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REVISIONS

1

ISSUES

8

7

6

5

4

3

2

1

DATE

2025-MAY-14

2025-APR-15

2025-MAR-11

2025-FEB-27

2025-JAN-10

2024-DEC-11

2024-DEC-05

PROJECT NUMBER

ABMS

DRAWN BY

R.K.

CHECKED BY

P.Y.

DATE CHECKED

CONSULTANT

PROJECT

INDOOR PLAYGROUND

**775 FINLAYSON STREET,
VICTORIA, BC**

DRAWING TITLE

FURNITURE PLAN

DRAWING NO.

A2.02



REVISIONS

1

ISSUES	DATE
8	
7 REISSUED FOR DD/DVP APPLICATION	2025-MAY-14
6 REISSUED FOR DD/DVP APPLICATION	2025-APR-15
5 REISSUED FOR DD/DVP APPLICATION	2025-MAR-11
4 ISSUED FOR DD/DVP APPLICATION	2025-FEB-27
3 ISSUED FOR REVIEW	2025-JAN-10
2 ISSUED FOR VARIANCE APPLICATION	2024-DEC-11
1 ISSUED FOR REVIEW	2024-DEC-05

PROJECT NUMBER	A565
DRAWN BY	R.X.
CHECKED BY	P.Y.
DATE CHECKED	
CONSULTANT	

PROJECT

INDOOR PLAYGROUND

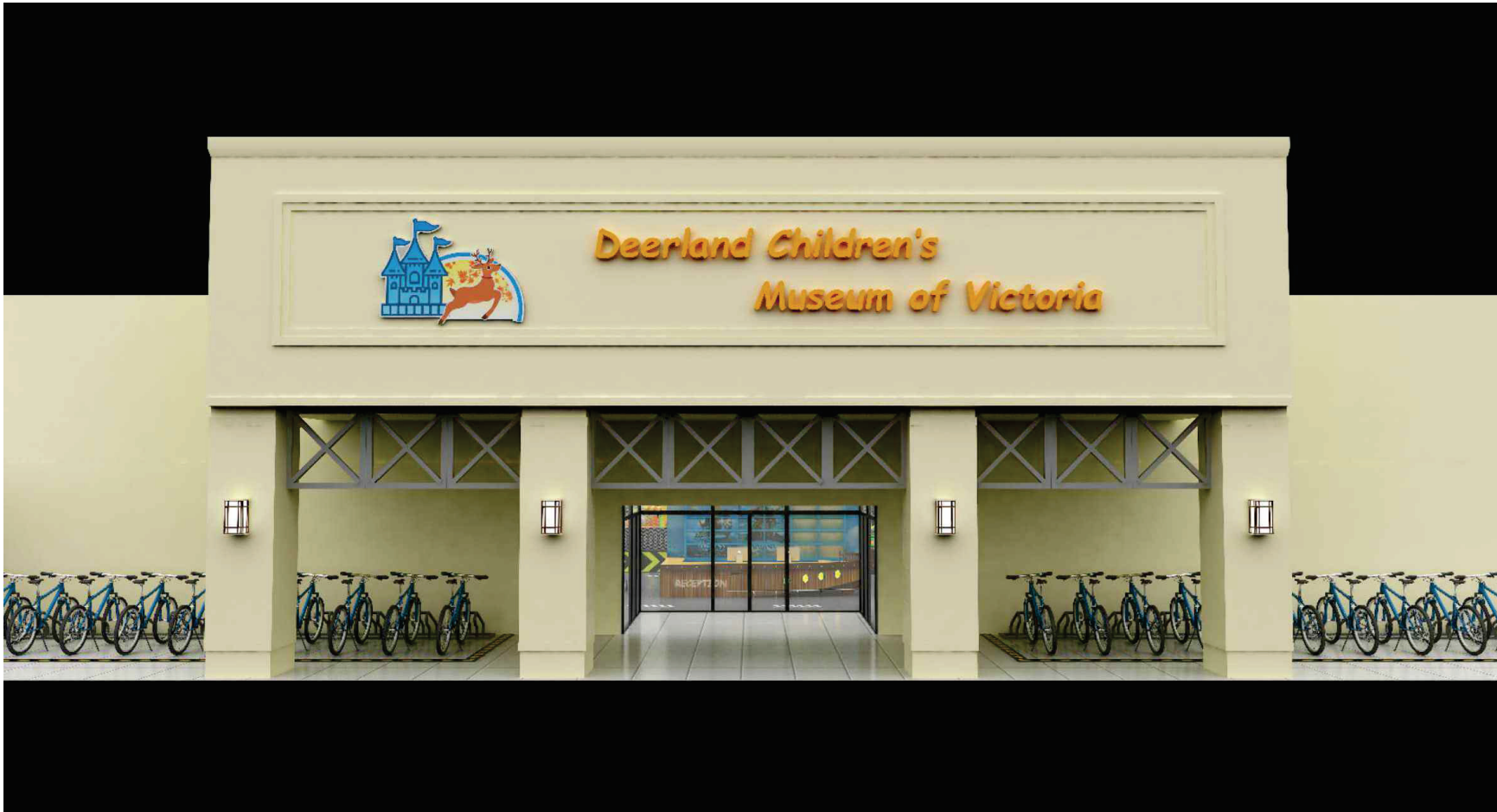
775 FINLAYSON STREET,
VICTORIA, BC

DRAWING TITLE

RENDERING

DRAWING No.

A2.03



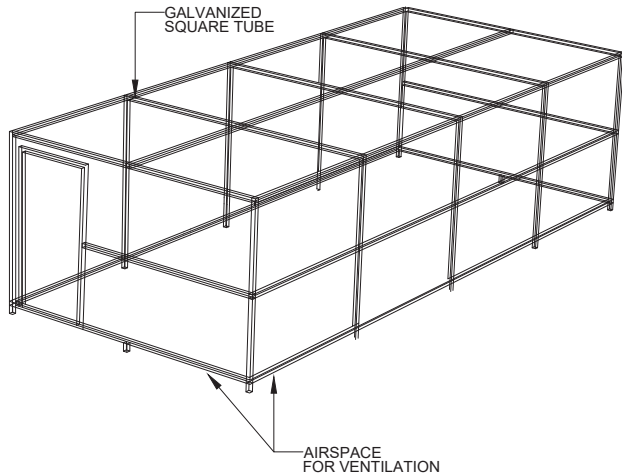
ISSUES	DATE
8	2025-MAY-14
7	REISSUED FOR DDPOVP APPLICATION 2025-APR-15
6	REISSUED FOR DDPOVP APPLICATION 2025-MAR-11
5	REISSUED FOR DDPOVP APPLICATION 2025-FEB-27
4	ISSUED FOR REVIEW 2025-JAN-10
3	ISSUED FOR REVIEW 2024-DEC-11
2	ISSUED FOR VARIANCE APPLICATION 2024-DEC-05
1	ISSUED FOR REVIEW

PROJECT NUMBER	ABMS
DRAWN BY	R.X.
CHECKED BY	P.Y.
DATE CHECKED	
CONSULTANT	

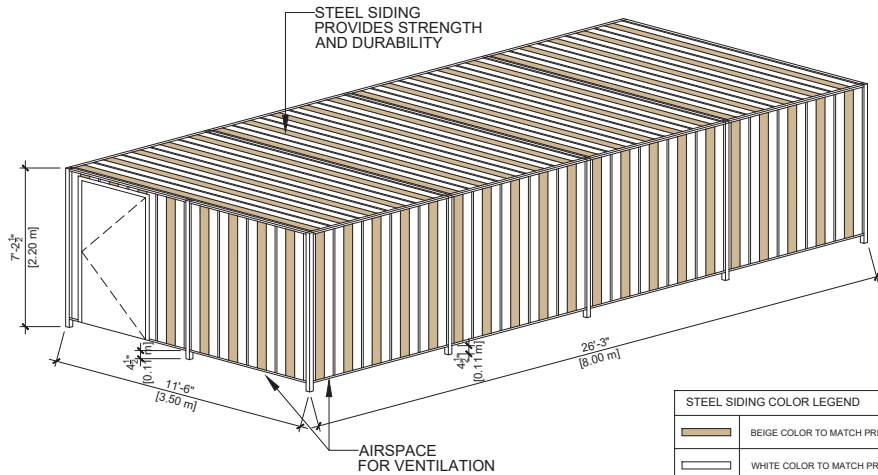
PROJECT
INDOOR PLAYGROUND
775 FINLAYSON STREET,
VICTORIA, BC

DRAWING TITLE
**BICYCLE PARKING
DETAILS**

DRAWING No.
A3.00



1 LONG-TERM BICYCLE PARKING STORAGE DETAIL
Scale: 3/8" = 1'-0"



STEEL SIDING COLOR LEGEND	
	BEIGE COLOR TO MATCH PRIMARY BUILDING
	WHITE COLOR TO MATCH PRIMARY BUILDING



Global Industrial™ U-Rack Bike Rack, 2-Bike Capacity, Flange Mount, Black

- ✓ 2-bike capacity
- ✓ Made using 1-5/8" diameter x .098 thick tubular steel
- ✓ Flange Mount allows floor anchoring in existing cement

2 SHORT-TERM BICYCLE PARKING RACKS
N.T.S.