

Workshop: Fairfield Neighbourhood Plan – from March 1, 2018 COTW Meeting

That Council direct staff to amend the plan as Follows:

6. Design of Cook Street Village Built Form

a. Detailed review of plan policies and guidelines by staff to consider additional adjustments/ revisions based on feedback

(e.g. **character, setbacks, massing, street wall, shading, impacts to street trees**, transitions) through additional urban design analysis. To be incorporated in next version of plan.

b. that consideration be given to a **two storey street wall** with **step backs of any additional storeys**.

Steering Committee	Staff
<p>Density</p> <p>Up to 1.5:1 maximum (FSR) OCP allowances for Cook Street as a secondary arterial road. Up to 2.1:1 provided that 0.4 of the increased density provides permanent secured rental housing.</p>	<p>Maintain existing OCP policy for urban villages (up to 2.5 FSR), acknowledging that approximately 2 FSR may be the likely density outcomes for most projects based on the proposed built form policies and guidelines.</p>
<p>Setbacks</p> <p>☐ For redevelopment using the existing zoning, the use of existing street front footprint is supported.</p> <p>☐ 2m minimum setbacks will be required for the street frontage that remains unchanged in a rezoning.</p> <p>☐ 2m minimum plus a 1m average equalling 3m setback will be required for the street frontage that has increased in a rezoning.</p>	<p>Minimum 1m and average 2m setback to accommodate a combination of sidewalk cafes and retail spill over space. Additional setbacks are encouraged to accommodate additional sidewalk café space as desired.</p>
<p>Stepping back 3m minimum after the second storey and all additional storeys.</p> <p>Upper storey balconies will not project into the step-backs.</p>	<p>Include design guidelines specifying a 5m step-back from the front property line above the second storey.</p>
<p>3m minimum, unobstructed, slab concrete sidewalk will be maintained.</p> <p>Other paving materials or colouring will be used to clearly distinguish the difference between public and private realm.</p>	<p>A 3 metre clear public sidewalk zone throughout the village is desired, with a A 3 metre clear public sidewalk zone throughout the village is desired, with a minimum 2 metre unobstructed hard surfaced clear sidewalk to be maintained</p>



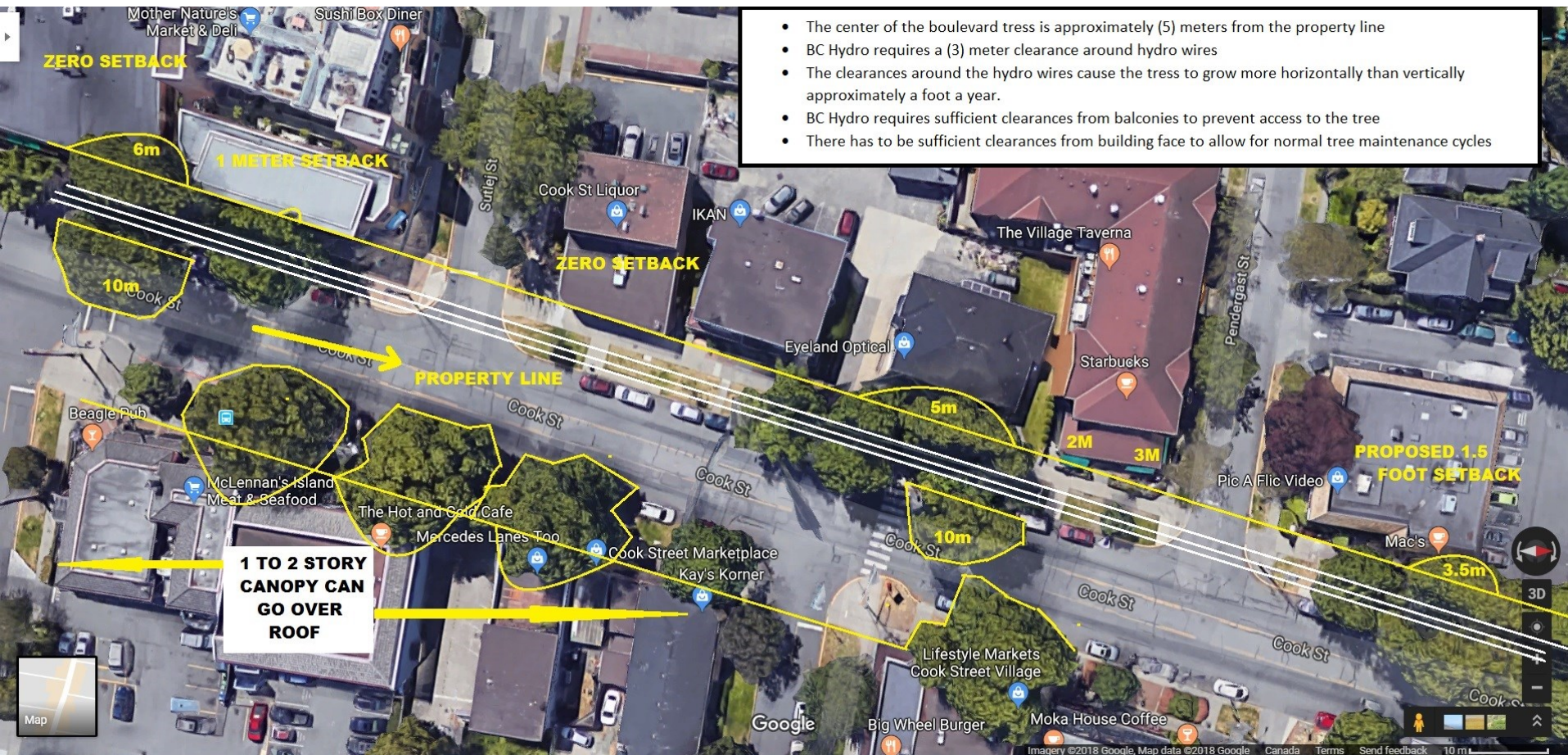
Arbutus tree

ON PRIVATE & PUBLIC PROPERTY

A Summary of the City of Victoria
Tree Preservation Bylaw 05-106

What are SIGNIFICANT trees?

Significant trees will be identified through consultation with the community. Individual trees will be identified by their importance to the community based on heritage, landmark value or wildlife habitat



Level (4)

2.210m is the average setback on Cook
 2.50m is the stepback of the 2 and 3 floor from the property line
 4.50m is the stepback of the 4th floor

pillar
 avg.
 setback

C
 O
 O
 K

2.210m AVG
 setback

1	Revision 1	May 4, 2018
	Revising & Development Permit	February 27, 2018
NO.	DESCRIPTION	DATE



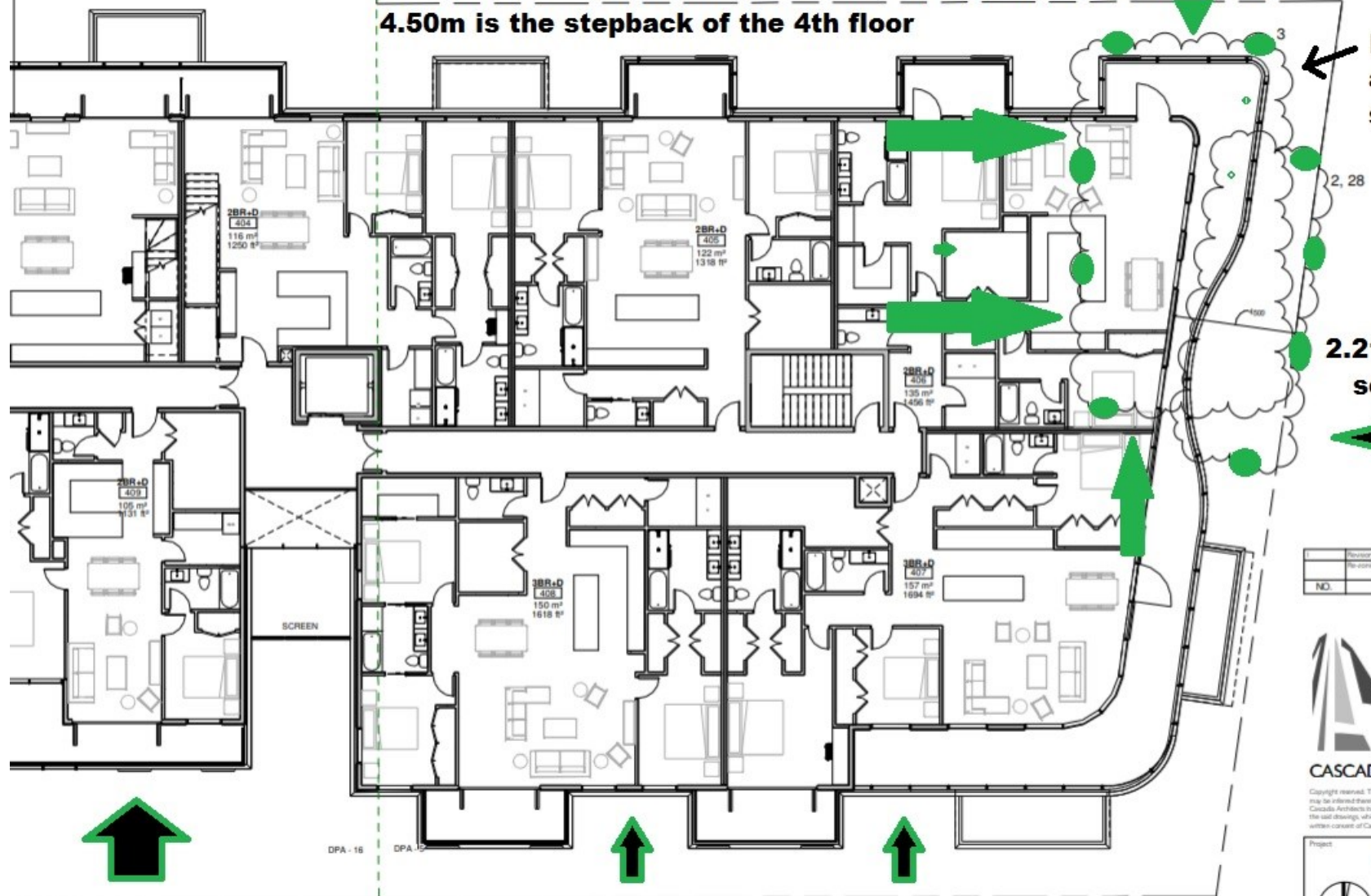
CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained herein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects Inc. holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project	Cook & Pendergast
Client	Aragon Properties Ltd. 328 Cook Street
Sheet Name	Level 4

5.760m setback

3.180m setback



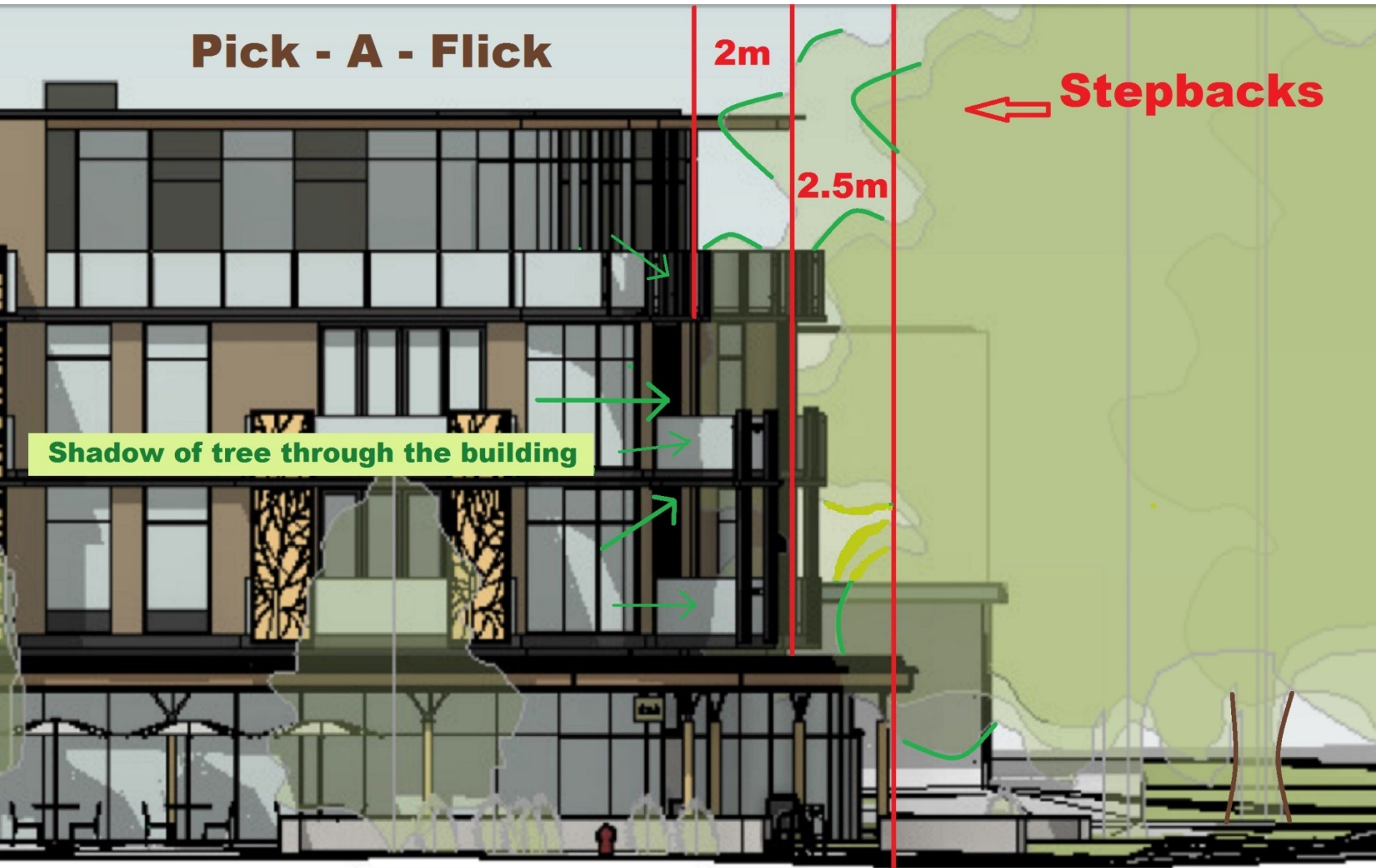
Pick - A - Flick

2m

2.5m

Stepbacks

Shadow of tree through the building

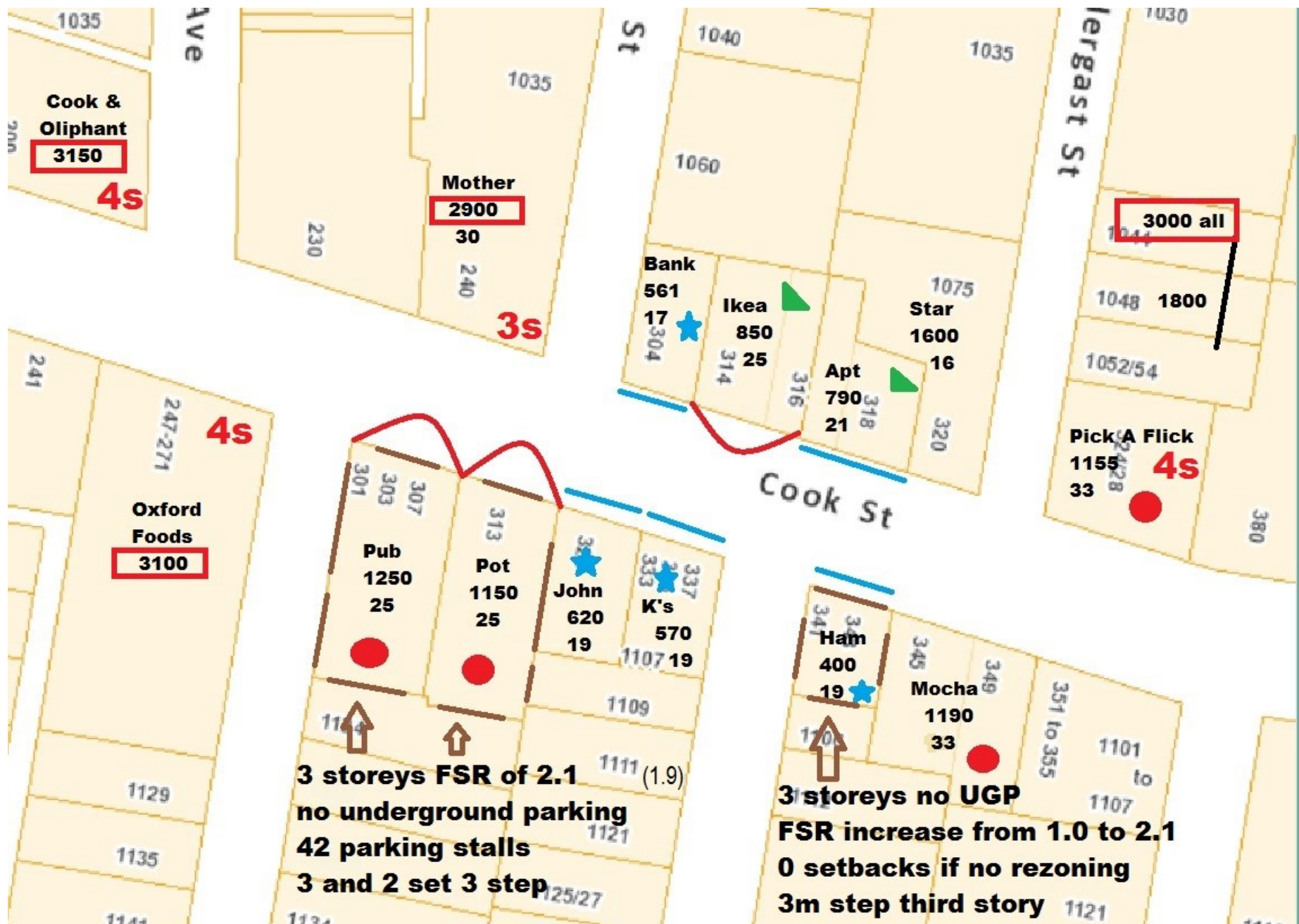


Designation	Built Form	Place Character Features	Uses	Density
Small Urban Village	<p>Single and attached buildings up to two storeys.</p> <p>Low-rise multi-unit buildings up to approximately three storeys including rowhouses and apartments, freestanding commercial and mixed-use buildings.</p> <p>Mixed-use buildings <u>up to</u> approximately four storeys on arterial and secondary arterial roads.</p>	<p>Ground-oriented commercial and community services reinforce the sidewalk.</p> <p>One to three storey building facades define the street wall.</p> <p>Variable landscaping, boulevard and street tree planting.</p> <p>Rear yard off-street parking.</p> <p>Public green space or square.</p>	<p>Low-rise multi-unit residential and mixed-use.</p> <p>Commercial.</p> <p>Home occupations.</p> <p>Live/work.</p>	<p>Total floor space ratios ranging up to approximately 1.5:1.</p> <p>Total floor space ratios <u>up to</u> approximately 2:1 along arterial and secondary arterial roads.</p>
Large Urban Village	<p>Low-rise and mid-rise multi-unit buildings <u>up to</u> approximately six storeys and apartments, freestanding commercial and mixed-use buildings.</p>	<p>Ground-oriented commercial and community services reinforce the sidewalk.</p> <p>One to three storey building facades define the <u>street wall</u>.</p> <p>Regularly spaced boulevard and street tree planting, wide sidewalks.</p>	<p>Low to mid-rise multi-unit residential and mixed-use.</p> <p>Commercial, including visitor accommodation.</p> <p>Live/work.</p> <p>Home occupations.</p>	<p>Total floor space ratios generally up to 1.5:1.</p> <p>Increased density <u>up to</u> a total of approximately 2.5:1 may be considered in strategic locations for the advancement of plan objectives.</p>

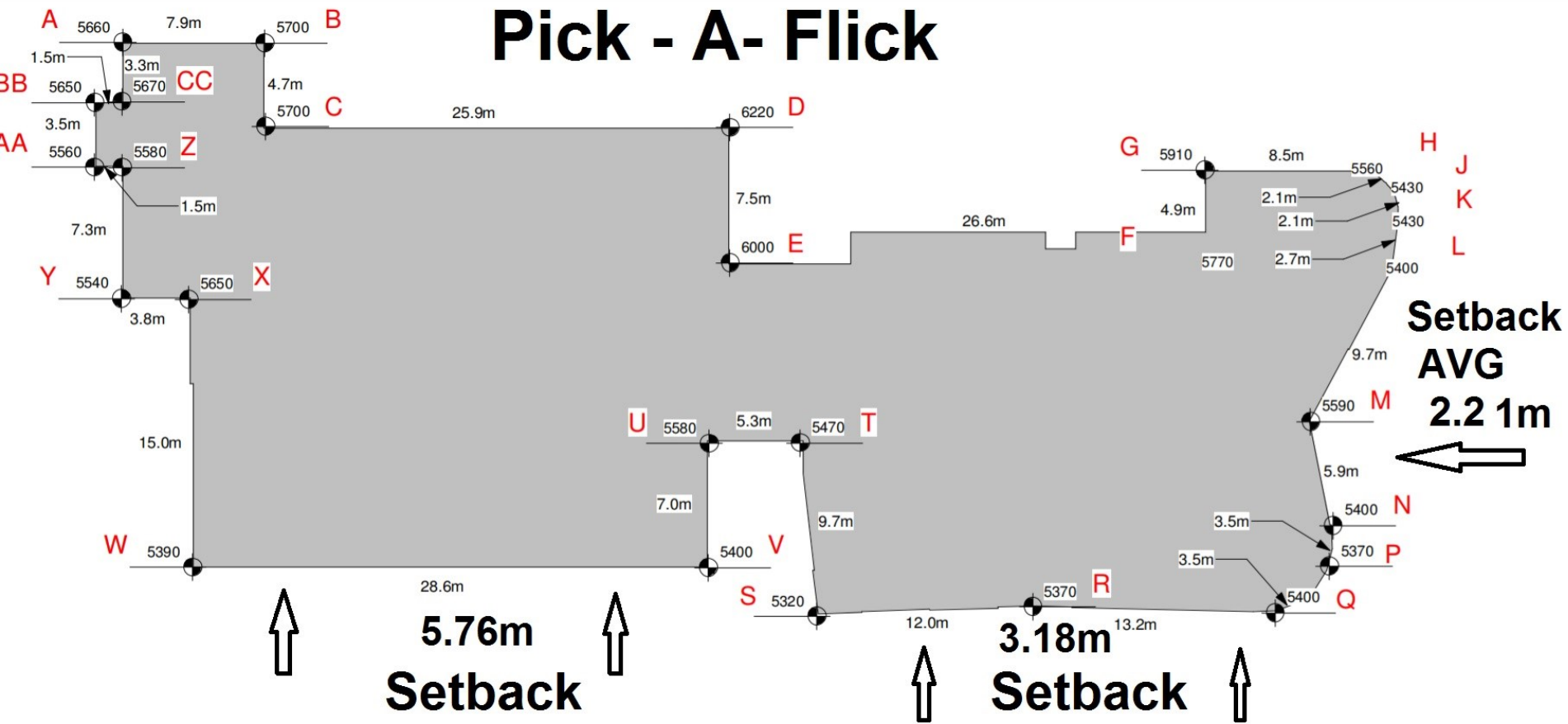
N = newly developed
L20 = leased for 20+ years
C10 = court 10 years +

The dark lines are the property lines, all different owners





Pick - A- Flick



Street front setbacks 2m minimum setbacks will be required for the street frontage that remains unchanged in a rezoning.

Street front setbacks 2m minimum plus a 1m average equalling 3m setback will be required for the street frontage that has increased in a rezoning.

The new Pick A Flick on its own has incorporated the above setbacks that we are requesting

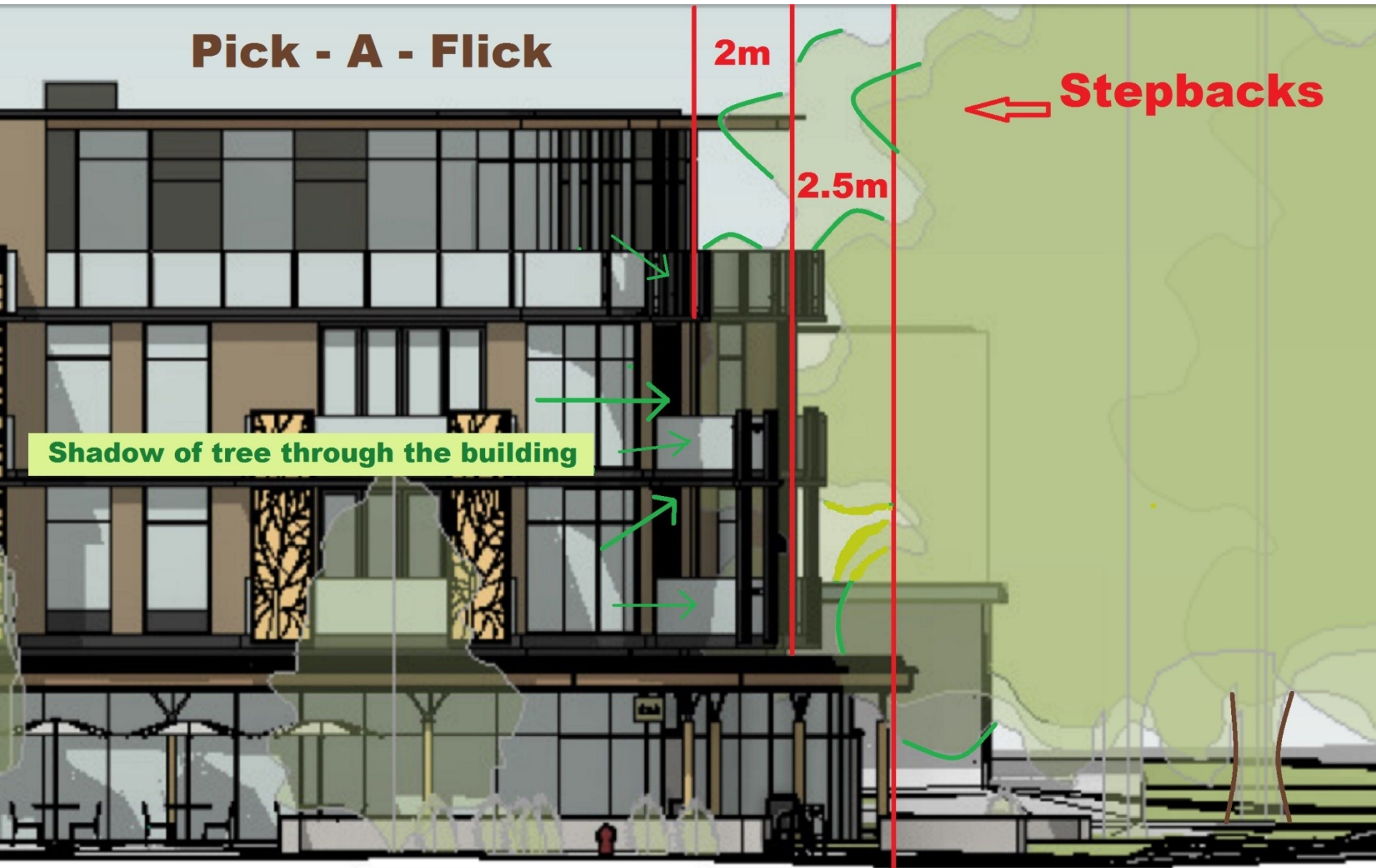
Pick - A - Flick

2m

2.5m

← Stepbacks

Shadow of tree through the building





Arbutus tree

ON PRIVATE & PUBLIC PROPERTY

A Summary of the City of Victoria
Tree Preservation Bylaw 05-106

What are SIGNIFICANT trees?

Significant trees will be identified through consultation with the community. Individual trees will be identified by their importance to the community based on heritage, landmark value or wildlife habitat

Designation	Built Form	Place Character Features	Uses	Density
Small Urban Village	<p>Single and attached buildings up to two storeys.</p> <p>Low-rise multi-unit buildings up to approximately three storeys including rowhouses and apartments, freestanding commercial and mixed-use buildings.</p> <p>Mixed-use buildings <u>up to</u> approximately four storeys on arterial and secondary arterial roads.</p>	<p>Ground-oriented commercial and community services reinforce the sidewalk.</p> <p>One to three storey building facades define the street wall.</p> <p>Variable landscaping, boulevard and street tree planting.</p> <p>Rear yard off-street parking.</p> <p>Public green space or square.</p>	<p>Low-rise multi-unit residential and mixed-use.</p> <p>Commercial.</p> <p>Home occupations.</p> <p>Live/work.</p>	<p>Total floor space ratios ranging up to approximately 1.5:1.</p> <p>Total floor space ratios <u>up to</u> approximately 2:1 along arterial and secondary arterial roads.</p>
Large Urban Village	<p>Low-rise and mid-rise multi-unit buildings <u>up to</u> approximately six storeys and apartments, freestanding commercial and mixed-use buildings.</p>	<p>Ground-oriented commercial and community services reinforce the sidewalk.</p> <p>One to three storey building facades define the <u>street wall</u>.</p> <p>Regularly spaced boulevard and street tree planting, wide sidewalks.</p>	<p>Low to mid-rise multi-unit residential and mixed-use.</p> <p>Commercial, including visitor accommodation.</p> <p>Live/work.</p> <p>Home occupations.</p>	<p>Total floor space ratios generally up to 1.5:1.</p> <p>Increased density <u>up to</u> a total of approximately 2.5:1 may be considered in strategic locations for the advancement of plan objectives.</p>

Make it a priority to designate Boulevard trees SIGNIFICANT

Amend the OCP so Cook Street Village is not STRATEGIC LOCATION

Agree that not all properties support four storeys and the maximum FSR

Agree with regards to setbacks the new Pick - A – Flick development reflects what we are seeking

With regards to setbacks the new Pick – A- Flick development has incorporated double setbacks

but if that incorporate the setbacks we propose, there would be adequate clearances for the trees