

J. REPORTS OF COMMITTEES

J.1 Committee of the Whole

J.1.a Report from the September 27, 2018 COTW Meeting

**J.1.a.g 2501 Blanshard Street - Development Permit with Variances
Application No. 00089 (Hillside/Quadra)**

Councillor Thornton-Joe withdrew from the meeting at 11:49 p.m. due to a pecuniary conflict of interest with the following item as she is the Chair of the Aboriginal Coalition to End Homelessness.

Moved By Councillor Alto
Seconded By Councillor Coleman

That, subject to the preparation and execution of a legal agreements to provide a Statutory Right-of-Way of 2.36m on Hillside Avenue, to the satisfaction of the City Solicitor, and subject to provision of revised plans that provide the required bicycle parking and address the comments from the Advisory Design Panel, to the satisfaction of the Director of Sustainable Planning and Community Development, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00089 for 2501 Blanshard Street, in accordance with:

1. Plans date stamped August 9, 2018.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. increase the number of buildings permitted on-site by one building for a total of 21 buildings
 - ii. decrease the minimum unit floor area from 33.0m² to 29.5m²
 - iii. decrease the north side yard setback from 4.85m to 2.40m.
3. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY

E. LAND USE MATTERS

E.2 2501 Blanshard Street - Development Permit with Variances Application No. 00089 (Hillside/Quadra)

Councillor Loveday joined the meeting at 9:01 a.m.

Councillor Thornton-Joe withdrew from the meeting at 9:03 a.m. due to a pecuniary conflict of interest with the following item as she is the Chair of the Aboriginal Coalition to End Homelessness.

Committee received a report dated September 13, 2018 from the Director of Sustainable Planning and Community Development proposing to construct a three-storey, multi-unit residential, affordable rental building on the northern portion of the property.

Committee discussed:

- *The City right of way for access to the site.*

Moved By Mayor Helps

Seconded By Councillor Alto

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00089 for 2501 Blanshard Street, in accordance with:

1. Plans date stamped August 9, 2018.
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 - iii. decrease the north side yard setback from 4.85m to 2.40m.
3. The Development Permit lapsing two years from the date of this resolution."

Committee discussed:

- *The future of this type of housing and the factors that will make it successful.*
- *Neighbourhood improvements associated with this project.*

FOR (7): Mayor Helps, Councillor Alto, Councillor Coleman, Councillor Loveday, Councillor Lucas, Councillor Madoff, and Councillor Young

CARRIED UNANIMOUSLY



Committee of the Whole Report For the Meeting of September 27, 2018

To: Committee of the Whole **Date:** September 13, 2018
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: Development Permit with Variances Application No. 00089 for 2501 Blanshard Street

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00089 for 2501 Blanshard Street, in accordance with:

1. Plans date stamped August 9, 2018.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. increase the number of buildings permitted on-site by one building for a total of 21 buildings
 - ii. decrease the minimum unit floor area from 33.0m² to 29.5m²
 - iii. decrease the north side yard setback from 4.85m to 2.40m.
3. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit Application for the property located at 2501 Blanshard Street. The

proposal is to construct a three-storey, multi-unit residential, affordable rental building on the northern portion of the property.

The following points were considered in assessing this Application:

- the proposal provides 21 affordable rental units, which is consistent with the *Official Community Plan* (2012) as it expands the range of housing in the neighbourhood
- the proposal is generally consistent with the *Design Guidelines for Multi-Unit Residential, Commercial and Industrial* (2012), as the building is well-articulated and provides a transition in height from the four-storey building to the east and the two-storey building to the west
- the proposal is scheduled to be presented to Advisory Design Panel on September 26, 2018, which is consistent with the policies found in the *Hillside-Quadra Neighbourhood Plan*
- consistency with other policies and considerations (i.e. Tree Bylaw, Highway Access Bylaw)
- the variance to increase the number of buildings on-site is supportable as it reflects a legally non-conforming condition and has minimal impact due to the large size of the property
- the variance to reduce the minimum unit size is supportable as common amenity space and in-building services are provided to residents
- the variance to reduce the north side yard setback is supportable as it only relates to the entrance canopy portion of the building, accentuating the main entrance and providing a positive street relationship.

BACKGROUND

Description of Proposal

The proposal is for a three-storey, multi-unit residential rental building on the northern portion of the Evergreen Terrace property in the Hillside-Quadra neighbourhood. This area was previously occupied by attached dwellings, which were demolished following a fire.

Specific details include:

- 21 affordable rental units
- three-storey modular construction with pilasters to articulate the front façade
- exterior building materials consisting of primarily hardie board of varying colours
- accentuated main entrance
- vehicle and bicycle parking in excess of Schedule C minimums
- two rain gardens at the front of the building
- rear patios constructed of pavers
- concrete pedestrian walkways.

Variances are required for the number of buildings on site, unit floor area, and north side yard setback.

Affordable Housing Impacts

The applicant proposes the creation of 21 new residential units, all of which are to be affordable, which would increase the overall supply of housing in the area. A Housing Agreement is not being proposed at this time.

The 21 units would provide housing that is subsidized and have on-site supports, including 24/7 staffing. The units would be operated for five years in partnership with the Aboriginal Coalition to End Homelessness.

Sustainability Features

As indicated in the applicant's letter dated July 24, 2018, the following sustainability features are associated with this Application:

- the building will have the following rating systems applied: Step Code 3, ENER-Star, Living Building Challenge 3.0, BC Housing Modular Guidelines
- triple glazed windows
- LED lighting with sensors
- use of modular construction, which reduces construction waste
- low flow water and shower fixtures
- rain gardens at the front of the building and no irrigation system
- raised planters for residents to use for outdoor gardening.

Active Transportation Impacts

The Application proposes the following features which support active transportation:

- 21 long term bicycle stalls located in a secure accessory building at the rear of the primary building
- 9 short term bicycle stalls located at the front of the building.

Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings. The pathways surrounding the proposed building are designed to be accessible and there is one accessible unit on the ground floor.

Existing Site Development and Development Potential

The site is presently a 20-building multi-unit development consisting of attached dwellings and low-rise apartments. Under the current R3-2 Zone, Multiple Dwelling District, the property could be developed at a density of up to 1.6:1 floor space ratio (FSR) and with only one multi-unit residential building permitted on-site.

Data Table

The following data table compares the proposal with the existing R3-2 Zone, Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing Zone.

Zoning Criteria	Proposal	Existing Zone
Site area (m ²) – minimum	31602.83	920.0
Number of buildings – maximum	21 *	20 (due to legal non-conformity)
Density (Floor Space Ratio) – maximum	0.50	0.90
Total floor area (m ²) – maximum	15939.40	28442.55
Lot width (m) – minimum		
Height (m) – maximum	9.70	18.50
Storeys – maximum	3	n/a
Site coverage % – maximum	20.40	30.0
Open site space % – minimum	> 30.0	30.0
Unit floor area (m ²) – minimum	29.5 *	33.0
Setbacks (m) – minimum		
Front (Blanshard Street)	17.35	9.00
Rear	15.31	4.85
North side (Hillside Avenue)	2.4 * (entrance canopy)	4.85
South side (Bay Street)	n/a	4.85
Parking – minimum	158	92
Visitor parking	20	20
Bicycle parking stalls – minimum		
Long Term	21	21
Short Term	9	6

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on September 6, 2018 the Application was referred for a 30-day comment period to the Hillside-Quadra CALUC. At the time of writing this report, a letter from the CALUC had not been received.

This Application proposes variances; therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan* (OCP) identifies this property within Development Permit Area 16: General Form and Character. The objectives of this DPA are to integrate multi-unit residential buildings in a manner that is complementary to and enhances the established place character in a neighbourhood through high quality architecture, landscape and urban design that responds to each setting, and human-scaled design.

The overall height of the building provides a transition from the four-storey building to the east (The Summit) and the two-storey attached dwelling to the west. The front façade of the building is articulated through pilasters and varying colours that aid in breaking up the length and overall massing of the building. The front entrance is prominent and accentuated by the entrance canopy, which extends towards to street and provides a positive street relationship.

The proposed landscaping along Hillside Avenue, including two rain gardens, will improve the streetscape and pedestrian experience on the arterial road. The existing tree at the northeast corner of the property will be retained. The applicant proposes additional trees in front of the front façade to provide additional building interest. Permeable surface treatment would be installed on the rear patio.

Local Area Plans

The subject site is designated "Maintain Current Zoning" in the *Hillside-Quadra Neighbourhood Plan*. The applicable policy notes the exterior design of new multi-unit housing should be reviewed by the Advisory Design Panel (ADP) in order to ensure that the "form and materials used are reasonably compatible with those of the neighbours and that the front face of the project contributes to making that portion of the street an attractive, safe and friendly environment." The Application will be presented to ADP on September 26, 2018 and staff's assessment of the front of the building is that it lends itself to a positive street relationship.

Tree Preservation Bylaw and Urban Forest Master Plan

There are no Tree Preservation Bylaw impacts with this Application and there are no impacts to public trees with this proposal.

Regulatory Considerations

There are three variances associated with this proposal, the first being the number of buildings on-site. The R3-A2 Zone only permits one building on-site. In the past, the property had legal non-conforming rights to 21 buildings, but due to a fire that removed an attached dwelling building on the property, the rights continue only to the existing 20 buildings. In addition to the large size of the property, the impact of this variance is minimized by siting the new building on the footprint of the previous attached dwelling building.

The second variance is to the minimum unit size, which would be reduced from 33.0m² to 29.5m². Despite the reduction in size, the livability of the units is being maintained through the

inclusion of amenity space including a common dining area as well as on-site services provided to the future residents.

Finally, a variance is required to permit the entrance canopy extending into the north side yard setback. The actual building face is consistent with the Zone, however the canopy extends within 2.4m of the property line. This canopy accentuates the entrance and improves the street relationship, with little negative impact.

Advisory Design Panel

As per Council's policy, this proposal was given priority status due to its affordability component, and as such the Committee of the Whole date is only one day after the Advisory Design Panel date. Therefore, at the time of writing this report comments from ADP were unavailable. However, staff will provide a verbal update of any comments received from ADP during the Committee of the Whole presentation.

CONCLUSIONS

The proposal is consistent with the relevant design guidelines associated with Development Permit Area 16: General Form and Character. The Application further advances the housing objectives in the OCP relating to affordable rental housing. The variances are minimal and in one case has a positive impact on the building's street relationship. Staff recommend that Council consider supporting this Application.

ALTERNATE MOTION

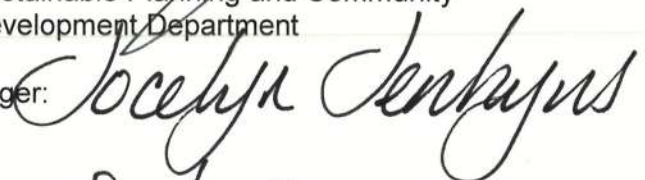
That Council decline Development Permit with Variances Application No. 00089 for the property located at 2501 Blanshard Street.

Respectfully submitted,


Michael Angrove
Planner
Development Services


Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:


Date: Sept. 20, 2018

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped August 9, 2018
- Attachment D: Letter from applicant to Mayor and Council dated July 24, 2018
- Attachment E: ADP Report dated September 12, 2018.

ATTACHMENT A

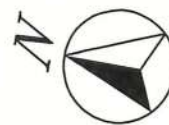


2501 Blanshard Street
Development Permit with Variances #00089

ATTACHMENT B



2501 Blanshard Street
Development Permit with Variances #00089



AUG 08 2018

Planning & Development Department
Development Services Division



BUILDING GROSS AREA

MAIN FLOOR AREA: 424.823 SQ.M.
SECOND FLOOR AREA: 424.823 SQ.M.
THIRD FLOOR AREA: 424.823 SQ.M.

TOTAL DEVELOPMENT: 1,274.469 SQ.M.

① MAIN FLOOR PLAN

SCALE: 1:100

[illegible]

1 SECOND FLOOR PLAN

SCALE: 1:100

DOOR TYPE	Type	DOOR LEAF SIZE		Cost
		WIDTH	HEIGHT	
D1	4' 0" Sliding 1000000000	915	2 135	1
D2	4' 0" Sliding 1000000000	915	2 135	4
D3	4' 0" Sliding 1000000000	915	2 135	28
D4	4' 0" Sliding 1000000000	915	2 135	15
D5	4' 0" Sliding 1000000000	1000	2 135	5

3. THIRD FLOOR PLAN

SCALE: 1:100

ROOF PLAN

SCALE: 1:100



douglas sollows architect inc.

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New York, NY 10019
www.ashley.com

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[illegible]

NOMODIC dot BC HOUSING

Custom Modular Structures

 **BC HOUSING**

project
EVERGREEN TERRACE

VICTORIA, B.C.	
drawn by: YN, DR	revised: DS
scale: 1 : 400	approved: DS

date:	project no.
27 JULY 2018	2018-01
drawing title:	
FLOOR PLANS	

DP2.0	0
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Development Services Division



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NO.	DATE	REVISION FOR	BY	DATE	REVISION FOR
1	2018-07-18	ISSUED FOR SP			

DATE: 2018-07-18

REVISION FOR: SP

BY: [Signature]

DATE: 2018-07-18

REVISION FOR: SP

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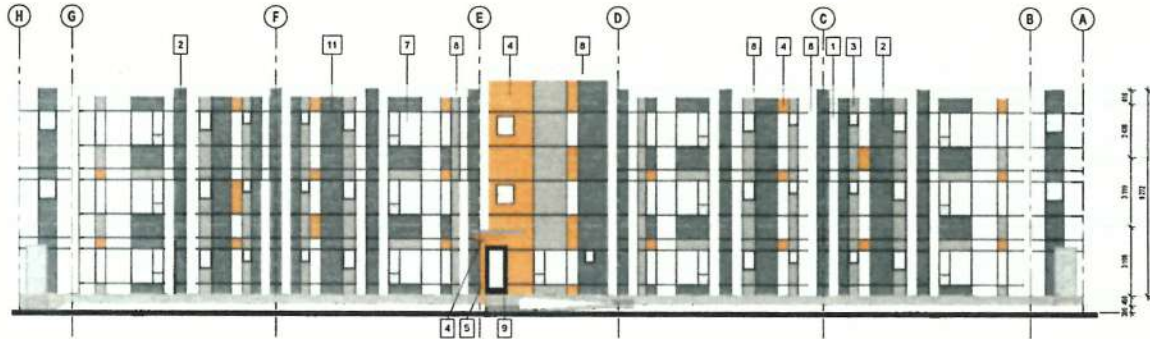
REVISION FOR: SP

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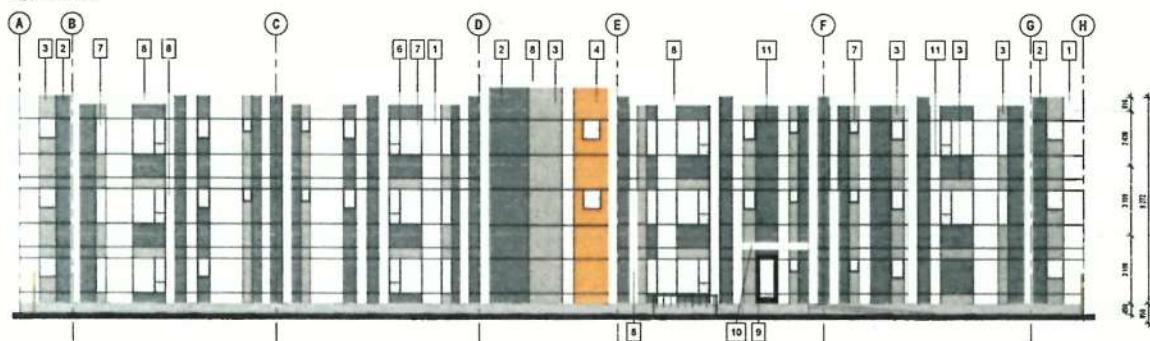
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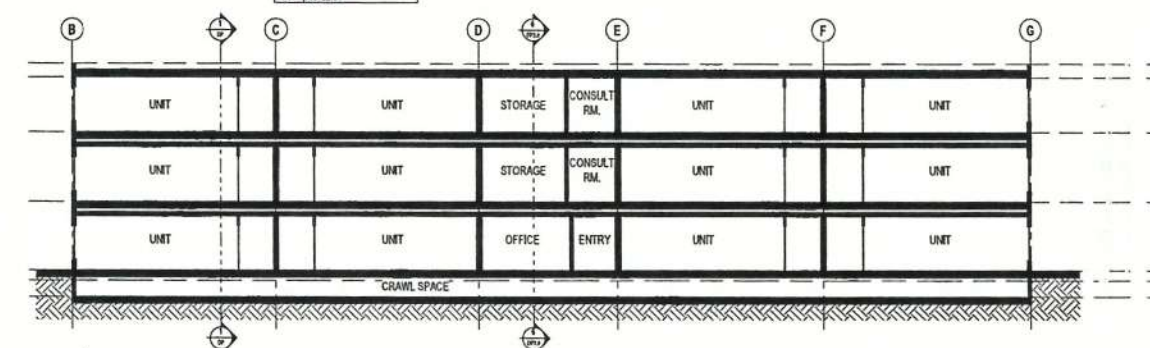


1 DP-NORTH ELEVATION
SCALE: 1:100



1 DP-SOUTH ELEVATION
SCALE: 1:100

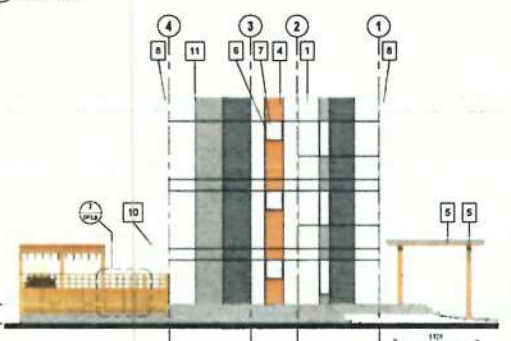
Mat	Description
1	WHITE BRICK - METAL BRICK
2	WHITE BRICK - BRICK
3	WHITE BRICK - ALUMINUM BRICK
4	WHITE BRICK - ALUMINUM BRICK
5	WHITE BRICK - ALUMINUM BRICK
6	WHITE BRICK - ALUMINUM BRICK
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8	WHITE BRICK - ALUMINUM BRICK
9	WHITE BRICK - ALUMINUM BRICK
10	WHITE BRICK - ALUMINUM BRICK
11	WHITE BRICK - ALUMINUM BRICK



1 BUILDING SECTION 1
SCALE: 1:100

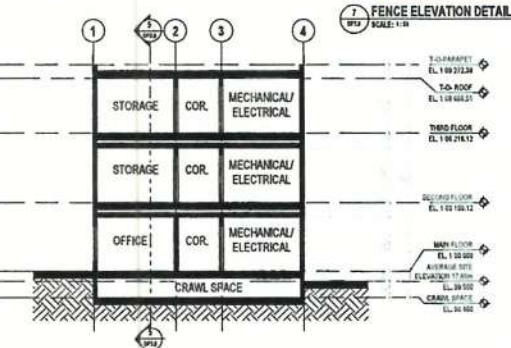


2 DP-WEST ELEVATION
SCALE: 1:100



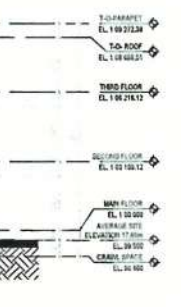
1 DP-EAST ELEVATION
SCALE: 1:100

Mat	Description
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2	WHITE BRICK - BRICK
3	WHITE BRICK - ALUMINUM BRICK
4	WHITE BRICK - ALUMINUM BRICK
5	WHITE BRICK - ALUMINUM BRICK
6	WHITE BRICK - ALUMINUM BRICK
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8	WHITE BRICK - ALUMINUM BRICK
9	WHITE BRICK - ALUMINUM BRICK
10	WHITE BRICK - ALUMINUM BRICK
11	WHITE BRICK - ALUMINUM BRICK



1 BUILDING SECTION 2
SCALE: 1:100

7 FENCE ELEVATION DETAIL
SCALE: 1:10



BC HOUSING

NOMODIC

Custom Modular Structures

BC HOUSING

EVERGREEN TERRACE

VICTORIA, B.C.

Drawn by: YHL/DR

As Indicated

27 JULY 2018

2018-01

Building elev.

Building elevations + sections

DP3.0

0

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Architects
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Principal: Douglas Sallows
Architect: Douglas Sallows

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DATE: 2018-07-27 BY: DS/DSP

Scale: As Shown

Author: ds

Checker: ds

Printer: ds

Plotter: ds

Project: ds

Client: ds

Location: ds

Project: ds

Client: ds

Location: ds

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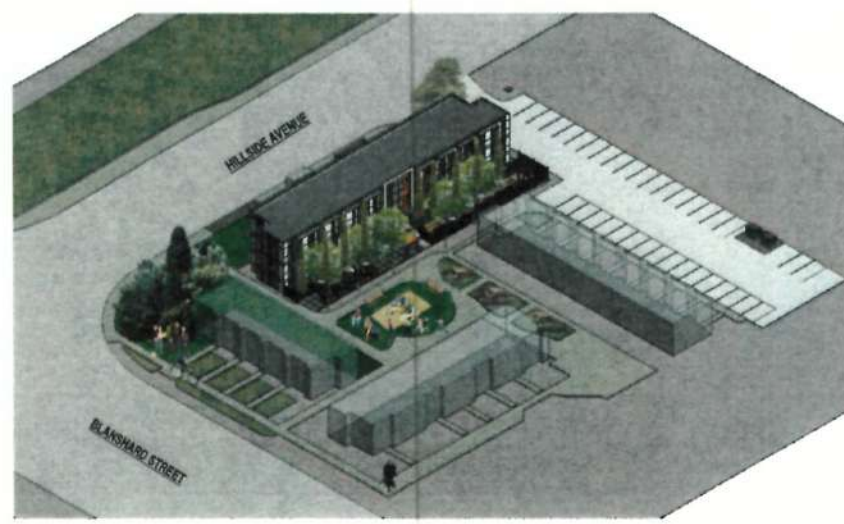
VIEW FROM HILLSIDE AVENUE



EAST LANEWAY VIEW



MAIN ENTRY VIEW



WEST BIRDSYE VIEW

BC HOUSING
NOMODIC
Custom Modular Structures

BC HOUSING

EVERGREEN TERRACE

VICTORIA, B.C.

drawn by: YN, DR

checked by: DS

scale: 1/8" = 1'-0"

date: 27 JULY 2018

project no: 2018-01

drawing title: PERSPECTIVE VIEWS

drawing no: DP4.0

revision no: 0

~~AUG 08 2018~~



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 409-30229-155 r
 address: 409-739-281

tel: 780-944-0566
 toll free: 855-944-0566
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 monthly fee: \$25.00

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Manufacturer: James Hardie
Colour: Wood Grain

Manufacturer: James Hardie
Colour: Iron Gray



Manufacturer: Easytrim
Style: 2-Piece Vertical U Panel Trim
Colour: Black Anodized



VICTORIA, B.C.

drawn by: YN	revised: DS
scale: 1 : 1	approved: DS
date: 7 JULY 2018	project no: 2018-01
drawing title	

drawing no:	ref/iss no:
DP5.0	0

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Development Services Division

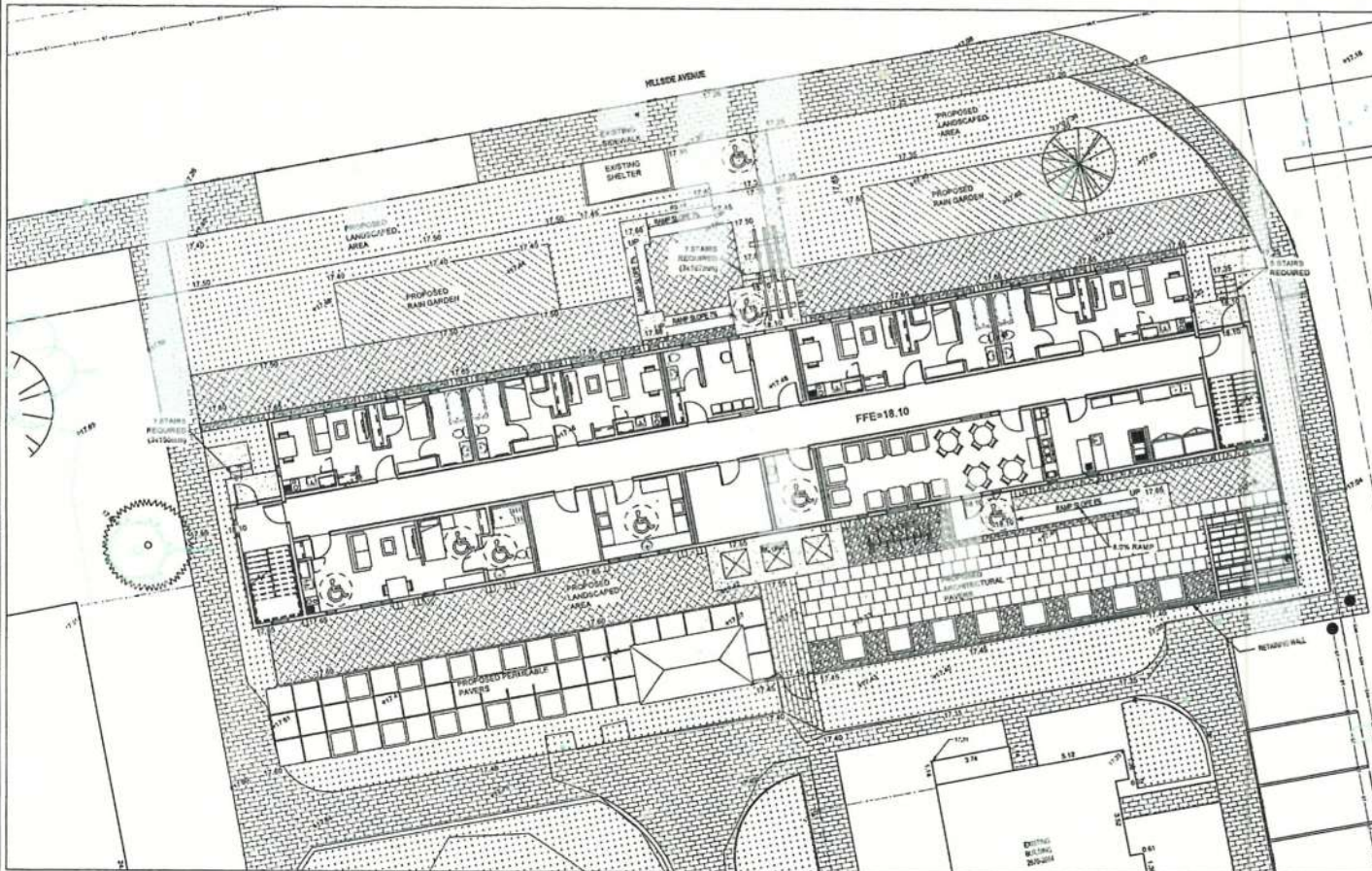


LEGEND

PROPOSED ELEVATION
-1.7%
PROPOSED SLOPE
EXISTING ELEVATION

1. CONTRACTOR TO CONTACT UTILITY LOCATIONS PRIOR TO ANY WORKS ON SITE
2. LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE
3. NOT NECESSARILY ALL EXISTING UTILITIES ARE SHOWN
4. CONTRACTOR RESPONSIBLE TO LOCATE AND PROTECT ALL UTILITIES DURING CONSTRUCTION
5. ALL ELEVATION SHOWN ARE DETECTED
6. ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH CITY OF VICTORIA SPECIFICATIONS
7. CONTRACTOR TO OBTAIN ALL REQUIRED CONSTRUCTION ELEVATIONS PRIOR TO CONSTRUCTION
8. CONTRACTOR TO PROVIDE DRAINAGE DURING CONSTRUCTION PERIOD
9. THE OWNER/DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF THE CITY OF VICTORIA DRAINAGE AND REMEDIATION CONTROL, BUILDINGS AND FIRE MANUAL

FOR ALL RAMP, RETAINING WALLS, FENCES
AND STEPS DETAILS REFER TO ARCHITECTURAL
/STRUCTURAL/LANDSCAPE DRAWINGS



NOT FOR CONSTRUCTION

3 27.07.2018 - ISSUED FOR DEVELOPMENT PERMIT
7 18.07.2018 - ISSUED FOR DEVELOPMENT PERMIT
1 1.07.2018 - ISSUED FOR PRELIMINARY REVIEW

NO DATE REVIEWED



APPROVED TWS CHECKED EA DRAWN EA
SCALE AS SHOWN DATE JUL 30/18

PROJECT
NOMODIC MODULAR
STRUCTURES
VICTORIA 21 AFFORDABLE
HOUSING

PRELIMINARY GRADING
PLAN

PROJECT NUMBER 18-1585-012 DRAWING NUMBER C00

TWS-CAD-0004

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AUG 08 2018

UTILITY LOCATES

NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER/ARCHITECT AS TO THE LOCATION AND DEPTH OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UTILITIES THAT MAY BE IMPACTED AND MUST CONTACT THE VARIOUS UTILITY COMPANIES FOR THIS SITE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. PROVIDE SOURCE/LOCATION/DEPTH WITH COPY OF ALL LOCATE REPORTS.

Planning & Development Department
Services Division



KEY PLAN
SCALE N.T.S.

LEGEND

- BROOM FINISHED CONCRETE C/W SAW CUT GRID PANELS, 120mm THICK CONCRETE (10M REBAR 300 C.C. GRID) C/W 150mm SUBGRADE PREPARATION & 100mm COMPACTED GRANULAR BASE
- ARCHITECTURAL PAVERS
- 500 ON 100mm DEPTH TOPSOIL
NOTE: 500 TO BACK OF CURB & EDGE OF SIDEWALKS, SLOPING SMOOTH TRANSITION WITH ADJACENT SURFACES
- 100mm DEPTH SHREDED, SELF-BINDING CEDAR MULCH TO BE PLACED LEVEL WITH ADJACENT SURFACES
- 100mm DEPTH 13mm CEA, GRANITE AGGREGATE
- PERMEABLE PAVERS
- DEVELOPMENT PERMIT BOUNDARY
- PROPERTY LINE
- PROPERTY ROW
- CONTINUOUS 1400mm HT WOOD FENCE C/W 25.4mm SPACING ON PICKETS AND 400mm LATTICE TOP
- ALUMINUM EDGER
- EXISTING TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS
- MULCH TREE WELL
- GARDEN RUST METAL PLANTER
- PROPOSED CONTOUR

PLANT LIST

Key	Tree/Common Name	Botanical Name	Size	Remarks
A	5 Yellow Ginkgo	Ginkgo biloba	10m DB	10m DB, single trunk, upright
B	5 Japanese Maple	Japanese Maple	10m DB	10m DB, single trunk, upright
C	7 Japanese Maple	Japanese Maple	10m DB	10m DB, single trunk, upright
D	48 Green Weeping Willow	Salix babingtonii	10m DB	10m DB, weeping, upright
E	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
F	20 Pine	Pinus densata	10m DB	10m DB, upright, upright
G	20 Pine	Pinus densata	10m DB	10m DB, upright, upright
H	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
I	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
J	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
K	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
L	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
M	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
N	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
O	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
P	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
Q	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
R	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
S	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
T	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
U	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
V	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
W	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
X	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
Y	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright
Z	20 Japanese Red Pine	Pinus densata	10m DB	10m DB, upright, upright

NOTES

PLANTING NEAR UTILITIES

- The contractor will contact / provide utility location agency to less than 10m prior to excavation to locate and mark all underground utilities.
- Prior to installation of plant material, the consultant will inspect and approve all planned tree locations with regards to utilities as located by utility location agency.
- Where possible, trees shall be set back a minimum distance, measured from the center of the tree trunk, from above and below grade utilities and adjacent structures as follows:
 - Distance from Street Light Curbcut: 0.6m
 - Distance from In-ground Main Lines: 0.6m
 - Distance from Other Underground Utilities: 1.2m
 - Distance from Light Standards & BC Hydro poles: 6.0m
 - Distance from Street and Vacuum Utility Poles: 3.0m
 - Distance from Low-voltage: 2.0m

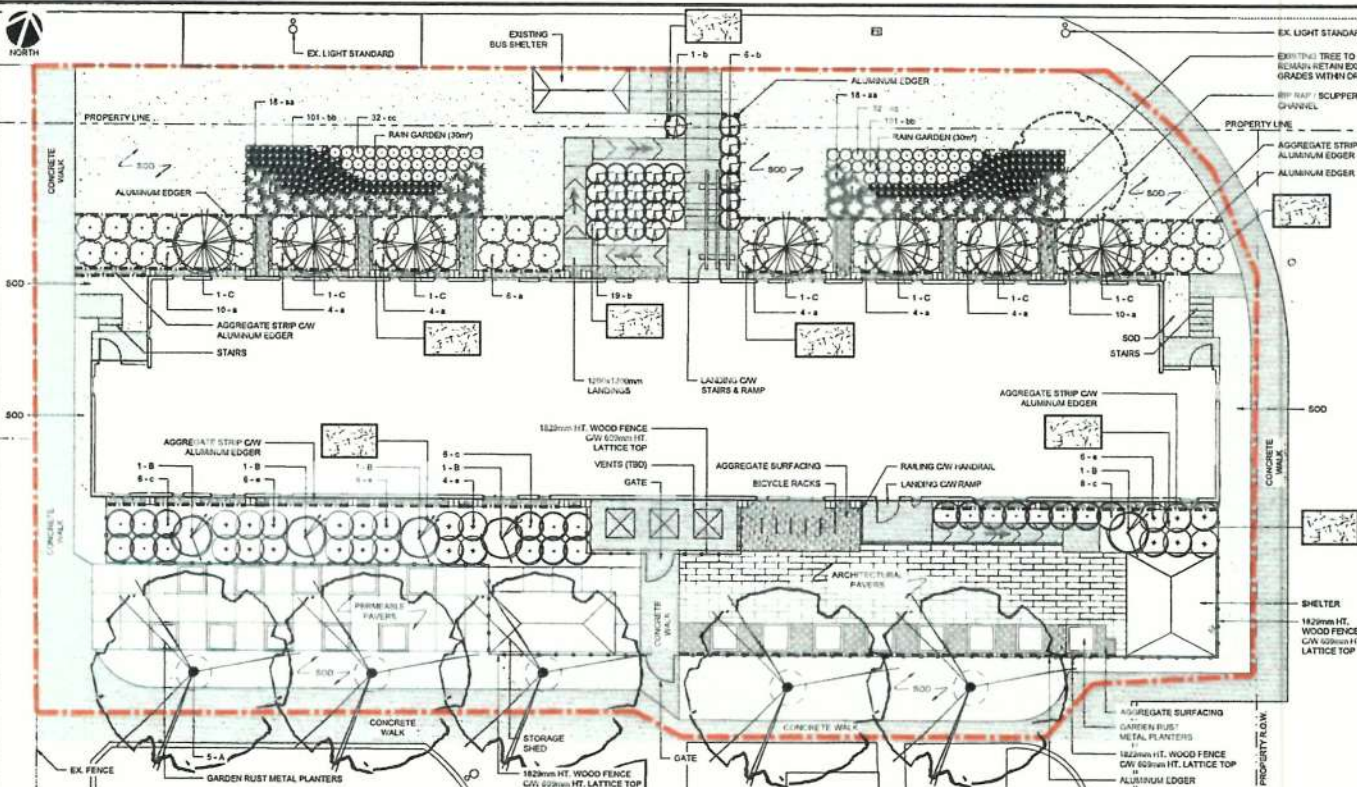
- Distance from Curbcut: 2.0m
- Distance from Manholes, Valve Boxes, Services: 1.2m
- Distance from Sewer Service Boxes: 1.5m
- Distance from Fire Hydrants: 2.0m
- Distance from Road Intersection: 7.0m
- Distance from Face of Curb: 1.0m
- Distance from Edge of Sidewalk: 0.5m
- Distance from Buildings - fastigiate (columnar) tree: 2.0m
- Distance from Buildings - regular crown tree: 3.0m

Note: Distances from overhead power utilities shall be as per the requirements established by the Utility Authority.

* Distances less than indicated above, are at the discretion of the City of Victoria.

- Maintain the minimum defined setbacks from utilities for all excavations.
- All tree / shrub excavation shall be the minimum distance to underground utilities shall be hand-dug. The contractor will be responsible for notifying the consultant and affected utility representatives to review and approve all hand-dug excavations. Affected utility representatives must be present to supervise all hand-dug excavations.
- Prevent damage to existing plant materials, natural features, boulders, boulders, pavements, curbs, sidewalks, and utilities, and make good any changes.
- For small tree stakes to be used within one (1) meter of a power trench.

ALL UTILITY LOCATIONS ARE TO BE VERIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL UTILITY LOCATIONS ARE TO BE FLAGGED, REVIEWED AND APPROVED IN CONJUNCTION WITH PROPOSED TREE LOCATIONS.



LANDSCAPE PLAN

SCALE: 1:100

PLANT IMAGES



McElhanney
McElhanney Consulting Services Ltd.

2001, 13455 - 114th Avenue NW
Edmonton, AB
CANADA T6A 2E2
Tel: 780-429-1200

NOT FOR CONSTRUCTION

Permit

Approved Sealed

NOMODIC
103, 11929 - 40 Street SE, Calgary, AB T2Z 4M8

Evergreen Terrace
Landscape Plan
Victoria, B.C.

L101

Project Number: 2131-00451-03

01

Rev	Date	Description	Drawn	Check	App'd
01	2018-05-07	REVISED FOR DEVELOPMENT PERMIT	CS	CSB	CSB
02	2018-05-13	REVISED FOR CLIENT REVIEW	CS	CSB	CSB
Rev	Date	Description	Drawn	Check	App'd



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urban

douglas sollows

PRAC. ASS. ARCH. SAA. AIAA. Assoc. AIA
principal

July 24, 2018

File: 2018-10 Nomadic Victoria Housing
Cdoc: 2018-10/Authorities/DP/L01 Design Report

CITY OF VICTORIA

Sustainable Planning and Community Development

1 Centennial Square

Victoria, BC. V8W 1P6

Att: Mayor Lisa Helps and Council:

Tel: Mobile: Email:

RE: DEVELOPMENT PERMIT APPLICATION - EVERGREEN TERRACE APARTMENT

Dear Mayor Helps:

This report outlines the principal design elements and consideration for the design of a new apartment building at the north side of BC Housing's Evergreen Terrace Housing Community.

DESCRIPTION OF PROPOSAL

This project replaces a two storey town house complex that was destroyed by fire in 2017.

- Evergreen Terrace is owned by the Provincial Rental Housing Corporation.
- Bordered by Hillside Avenue on the North; Blanchard Street on the West and Bay Street on the South.
- The site is approximately 3.1 hectares.
- There are mix of building forms within the project:
 - 2 storey townhouse blocks.
 - 3 and 3 ½ storey apartments.

PROJECT BENEFITS + AMENITIES

This project will provide 21 studio units of affordable housing. This building:

- adds to the diversity of housing types and needs accommodation in the community.
- re-establishes the relationship of the previous townhouses to Hillside Avenue.

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- enhanced landscaping and bio-diversity beyond what was existing.
- Introduces urban gardening opportunities for the new residents and to existing 20 resident townhouses in the immediate courtyard.
- is 35 to 40% more efficient than the 2018 BC Modular Housing Guidelines.

NEIGHBOURHOOD

Evergreen Terrace is located in the Hillside-Quadra-Downtown Blanchard area. The building site is located at the South-East corner of Hillside Avenue (north) and Blanchard St. (west). The surrounding properties:

- Directly East: 4 storey high Senior's Care Centre (under construction).
- Directly North: Sports Field attached to the SJ Willis Education Centre.
- Directly West: Across Blanchard Street to the northwest – 3 storey. commercial/residential.
- Directly West: Across Blanchard Street to the west 1 storey commercial/retail.

DESIGN AND DEVELOPMENT PERMIT GUIDELINES

BC Housing provided a program brief for the design of an apartment building to replace the 9 townhouses with:

- 21 studio units
- staff office
- kitchen/dining/lounge
- outdoor amenity space
- storage

The corner of Blanchard and Hillside is a prominent corner, vehicular thoroughfare and pedestrian pathway. The front yard of the building addresses this with the following design features:

- The building is setback 6.5 meter setback from the property line.
- The main entrance and office area to correspond with the bus stop. This reinforces the direct connection of building to the street provides oversight to the bus stop.
- Wheelchair accessible ramp from the bus stop to the front door.



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- The main entrance is set in the middle of the façade. The sense of "front door" has been reinforced with an entrance canopy. The elevation cladding treatment has been changed with a focus on colour and a raised parapet to give more prominence and reinforce the symmetry.
- The building has been designed to meet BC Housing's affordable housing guidelines and budgets. The development of a simple, economical design has allowed us to develop an elevation that provides depth, pattern, texture and colour.
- The building elevations have been designed to pay homage to the original townhouse concept. This has been accomplished by creating pilasters that start at the base of the building and follow the top and then turn horizontally creating an "eye-brow" at the parapet. This expression provides depth and a shadow cast to the façade. Within this townhouse subdivision we have broken down the elevation using a combination of colour and proportion. This visual movement to the eye further reduces the impact of a long, flat façade.
- We have taken the opportunity to explore and enrich the entry point between the new building and the existing town houses.
 - The east side "portal" provides access from the parking lot through the playground courtyard to 12 townhouses. This walkway will be enhanced with new shrubs, tree canopy and enhanced security lighting.
 - BC Housing is giving consideration to enhancing the playground courtyard with ten raised planter beds to allow for vegetable gardening, new picnic benches to facilitate social interactions among neighbours; and new shade trees.
 - The west side "portal" has an existing sidewalk that connects with the sidewalk on Hillside Avenue. The space will be enhanced with low landscaping and improved night lighting on the building.
- The landscaped front yard has been enhanced from the original townhouses.
 - A functional rain garden is proposed. This will:



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- retain/slow release storm water from the building roof and site;
 - Provide a rich visual focus with the texture of the washed rock and boulders. The variety of plants that can be appreciated by the pedestrians using the sidewalk.
 - Provide a subtle definition/separation between the public sidewalk and the privacy of a living room window.
-
- Pyramidal conifers that will grow to a height of 6.0 meters will be placed between the building pilasters. This adds a further layer of aesthetic and modifies the height and length of the building to the Hillside Avenue street scape.
 - Lower flowering shrubs provide across the base of the building add additional seasonal colour, texture and bio-diversity. The landscape also provides a discrete separation to the living room windows without the need of a fence.

TRANSPORTATION

There are 178 parking stalls on the Evergreen Terrace site. The parking stall previously services the 7 townhouse units will be sufficient for staff operating the new building. The residents do not require vehicles.

HERITAGE

Not applicable.

Sincerely,

Douglas Sollows, Architect AIBC

Cc

John McEown, Project Manager BC Housing

Mike Angrove, Planner, City of Victoria

Jason Rodych, Nomodic Structures



Advisory Design Panel Report For the Meeting of September 26, 2018

To: Advisory Design Panel **Date:** September 12, 2018
From: Michael Angrove, Planner
Subject: Development Permit with Variances Application No. 00089 for 2501 Blanshard Street

EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variances Application for 2501 Blanshard Street and provide advice to Council.

The proposal is for a three-storey, multi-unit residential rental building on a vacant portion of the property. The building is of modular construction and its tenure will feature 21 units of affordable housing.

The property is situated within Development Permit Area 16: General Form and Character, and the following documents were considered in assessing this Application:

- *Official Community Plan (OCP, 2012)*
- *Hillside-Quadra Neighbourhood Plan (2011)*
- *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development (2012)*
- *Advisory Design Guidelines for Buildings, Signs and Awnings (1981)*
- *Guidelines for Fences, Gates and Shutters (2010).*

The proposal is generally consistent with the applicable design guidelines for the following reasons:

- the overall height provides an appropriate transition from the four-storey building to the east to the two-storey attached dwelling to the west
- the front façade is articulated to break up the massing and length of the building as viewed from the street
- the main entrance and extended entrance canopy aids in creating a positive street relationship.

The Options section of this report provides guidance on possible recommendations the Panel may make, or use as a basis to modify, in providing advice on this Application.

BACKGROUND

Applicant:	Mr. John McEown BC Housing
Architect:	Mr. Douglas Sollows, MAIBC Douglas Sollows Architect Inc.
Development Permit Area:	Development Permit Area 16, General Form and Character
Heritage Status:	N/A

Description of Proposal

The proposal is for a three-storey, multi-unit residential rental building on the northern portion of the Evergreen Terrace property in the Hillside-Quadra neighbourhood. This area was previously occupied by attached dwellings, which were demolished following a fire. The proposed building is of modular construction and its tenure will be for 21 units of affordable housing. In conversations with staff, the applicant has indicated interest in providing a mural on the currently blank western façade, which could be provided at a later date and would not require a Development Permit. However, there is no guarantee this would be done and as such, more immediate design solutions may be warranted. The overall density of the site is 0.50:1, and the height of the proposed building would be 9.70m. Variances are required for the number of buildings on site, unit floor area and north side yard setback.

The proposal includes the following major design components:

- 21 affordable rental units
- three-storey modular construction with pilasters to articulate the front façade
- exterior building materials consisting of primarily hardie board of varying colours
- accentuated main entrance
- vehicle and bicycle parking in excess of Schedule C minimums.

Landscaping elements at ground level include:

- two rain gardens at the front of the building
- ten types of trees, shrubs and perennials at the front and rear of the building
- rear patios constructed of pavers
- concrete pedestrian walkways.

The following data table compares the proposal with the existing R3-2 Zone, Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing Zone.

Zoning Criteria	Proposal	Zone Standard
Site area (m ²) – minimum	31602.83	920.0
Number of buildings	21 *	1
Density (Floor Space Ratio) – maximum	0.50	0.90

Zoning Criteria	Proposal	Zone Standard
Total floor area (m ²) – maximum	15939.40	28442.55
Unit floor area (m ²) – minimum	29.5 *	33.00
Height (m) – maximum	9.70	18.50
Storeys – maximum	3	N/A
Site coverage (%) – maximum	20.40	30.00
Open site space (%) – minimum	>30.00	30.00
Setbacks (m) – minimum		
Front (Blanshard Street)	17.35	9.0
Rear (east)	15.31	4.85
Side (north)	2.44 *	4.85
Side (south)	n/a	4.85
Vehicle parking – minimum	158	92
Visitor vehicle parking included in the overall units – minimum	20	20
Bicycle parking stalls – minimum		
Long Term	0 *	21
Short Term	9	6
Distance from entrance	>15.00 *	15.00

Sustainability Features

The applicant has identified the following sustainability features:

- the building will have the following rating systems applied: Step Code 3, ENER-Star, Living Building Challenge 3.0, BC Housing Modular Guidelines
- triple glazed windows
- LED lighting with sensors
- use of modular construction, which reduces construction waste
- low flow water and shower fixtures
- rain gardens at the front of the building and no irrigation system
- raised planters for residents to use for outdoor gardening.

Consistency with Policies and Design Guidelines

Official Community Plan

The subject site is designated Urban Residential in the *Official Community Plan* (OCP, 2012), which envisions ground-oriented multi-unit residential. The OCP envisions variable yard setbacks with primary doorways facing the street and variable front yard landscaping.

The main objectives of Development Permit Area 16: General Form and Character that are relevant to this proposal are:

- to support multi-unit residential developments that provide a sensitive transition to adjacent and nearby areas with built form that is often three storeys or lower
- to integrate multi-unit residential buildings in a manner that is complementary to established place character in a neighbourhood or other area
- to enhance the place character of established areas and their streetscapes through high quality architecture, landscape and urban design that responds to each distinctive setting through sensitive and innovative interventions
- to achieve more livable environments through considerations for human-scaled design, quality open spaces, privacy impacts, safety and accessibility.

The proposed building form is consistent with the OCP.

Hillside-Quadra Neighbourhood Plan

The subject site is designated "Maintain Current Zoning" in the *Hillside-Quadra Neighbourhood Plan*. The applicable policy notes the exterior design of new multi-family housing should be reviewed by the ADP in order to ensure the "form and materials used are reasonably compatible with those of the neighbours and that the front face of the project contributes to making that portion of the street an attractive, safe and friendly environment."

Development Permit Area Design Guidelines

The *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development* are intended to assist in the achievement of design excellence and livability and to contribute to the sense of place related to multi-unit residential development of three or more units, commercial and industrial uses. Specific guidelines include:

- new development should be compatible with and improve the character of established areas through design that is unifying, sensitive and innovative
- multi-unit residential development that directly abuts any residential building that is lower and smaller in scale should provide a transition in its form and massing
- new development should avoid long, unvaried stretches of frontages
- new development is encouraged to have a strong relationship to the street with strong entry features at street level
- larger and longer buildings should be visually broken into human-scaled proportions.

Staff consider that the proposal is generally consistent with the Design Guidelines; however, opportunities may exist to improve the design on the western elevation which is currently a large, blank wall. Comments from the ADP regarding this elevation and other aspects of the design are welcome.

Regulatory Considerations

A variance is being requested for the north side yard setback from 4.85m to 2.44m. This setback is created due to the covered entrance extending into the setback. Staff are supportive of this variance, as it adds prominence to the main entrance and has an overall positive effect on the public realm. The variance to the number of buildings was previously a legally non-conforming scenario. However, since one of the buildings was demolished following a fire, the existing legal non-conformity on-site is now 20 buildings. Therefore, a variance is required to bring the allowable number of buildings back up to 21.

The applicant has indicated that the variances to the bicycle parking will be rectified in revised plans.

OPTIONS

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

Option One

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00089 for 2501 Blanshard Street be approved as presented.

Option Two

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00089 for 2501 Blanshard Street be approved with the following changes:

- as listed by the ADP.

Option Three

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00089 for 2501 Blanshard Street does not sufficiently meet the applicable design guidelines and policies and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice they would like to provide on how the Application could be improved.

ATTACHMENTS

- Subject Map
- Aerial Map
- Plans date stamped August 8, 2018
- Applicant's letter dated July 24, 2018.

cc: John McEown, BC Housing; Douglas Sollows, Douglas Sollows Architect Inc.



MEETING REPORT

AUGUST 23, 2018 NEIGHBOURHOOD OPEN HOUSE

800 BLOCK HILLSIDE AVENUE, VICTORIA BC

Contents

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7 / HOW INTERESTS IDENTIFIED ARE ADDRESSED IN THE PROJECT	5
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1/ PURPOSE

This report provides a record of the neighbourhood open house held by BC Housing and the Aboriginal Coalition to End Homelessness on Thursday, August 23, 2018 to inform citizens and explore community interests on a proposal to develop further housing on the 800 block of Hillside Avenue, Victoria. We have submitted a development permit with variances to the City of Victoria, to build 21 new studio homes with supports for First Nations, Metis and Inuit women at the 800 block of Hillside Avenue. We anticipate that construction will start in Fall 2018, with the goal of opening in March 2019.

The neighbourhood open house record includes:

- A summary of the meeting;
- An analysis of the comment sheets; and
- A written discussion on how issues and concerns identified at the meeting are addressed in the project or will be addressed through changes to the proposal.

This report will be shared with the City of Victoria in advance of council consideration.

2/ BACKGROUND

The Proposal: The project at the 800 block of Hillside Avenue will provide 21 new modular homes with support services for Indigenous women in Victoria experiencing or at risk of homelessness. Each self-contained home will include a private bathroom and kitchen. Tenants will also have access to shared amenity space, a meal program, and support services.

The site at Hillside Avenue is centrally-located and currently vacant. The Rapid Response to Housing program uses modular units that require appropriate land and space to accommodate the faster delivery and installation times. Several factors are considered when identifying a site, including: land ownership, current land use/zoning, lease & legal considerations, access to transit, access to health services, and site access & servicing (utilities).

The need: The 2018 Greater Victoria Point-in-Time Homeless Count identified 1525 people experiencing homelessness, of those 33% identified as Indigenous. There is currently no culturally supportive housing in Victoria for Indigenous women, despite the data reflecting that 40% of indigenous people experiencing homelessness are women (in contrast to 30% of non-indigenous women.)

3/ NOTIFICATION

Letters were mailed to neighbours within 300 meters of the site on June 12, with a reminder letter sent on August 3, 2018.

The event was also publicized on the project website found here:

<https://www.bchousing.org/partner-services/public-engagement/projects/victoria-hillside-avenue>

A news release¹ announcing the development was posted on April 14, 2018.

¹ <https://www.bchousing.org/news?newsId=1479151228055>

4/ MEETING SUMMARY

The August 23 neighbourhood open house was held from 7:00 pm to 9:00 pm at the Sandman Hotel Victoria at 2852 Douglas Street. A presentation was given with representatives of BC Housing and the Aboriginal Coalition to End Homelessness presenting information on the proposal.

BC Housing and Aboriginal Coalition to End Homelessness also set up poster boards with key information on the development (**Appendix A**). Representatives from these organizations were available to talk with attendees, answer questions, and complete comment forms.

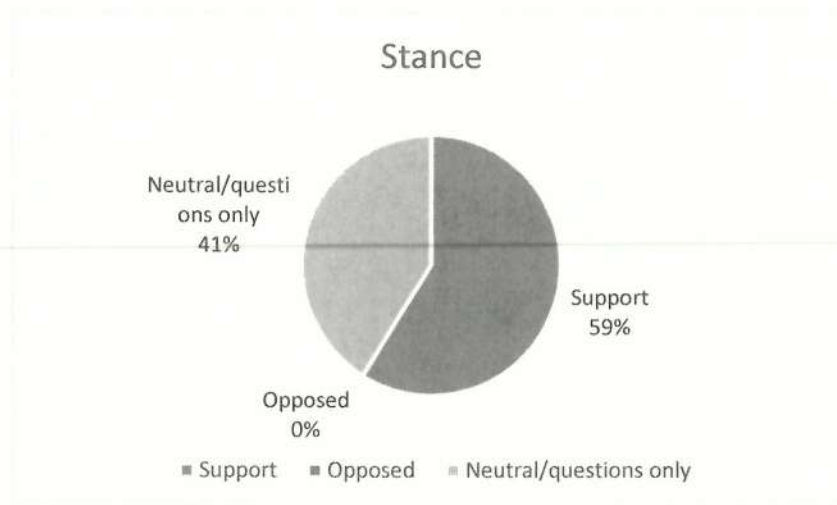
Appendix B presents the feedback received:

- Approximately 14 people attended the meeting.
- 3 comment forms were received
- A further 14 comments were sent via email to the BC Housing community relations email inbox

5/ SUMMARY OF COMMENTS RECEIVED

In total, 17 comments have been received up to and including August 27, 2018 by form and by email. The breakdown of stance by method of submission is noted, with the caveat that some individuals may have submitted feedback through more than one source.

- 0 comments (0%) expressed opposition to the proposal;
- 10 comments (59%) expressed support of the proposal;
- 7 comments (41%) expressed a neutral or undecided view of proposal or sought information.



6/ WHAT WE HEARD

Most respondents indicated support for the development with comments that suggested that this development is important for Victoria and Indigenous women in the area. Below are common themes from the comment cards.

Theme	Specific Comments	Number of mentions
Agree with project	Need access to education opportunities	1
	Needed in Victoria	2
	Accommodation for pets needed	1

7 / HOW INTERESTS IDENTIFIED ARE ADDRESSED IN THE PROJECT

The key public interests identified in the open house are related:

- Tenant Selection; and
- Management of the housing;

Interest	Response
Tenant Selection	<p>All potential tenants will be required to complete a Supportive Housing Registration application to be considered for supportive housing. Tenants will be selected through a collaborative and thorough assessment process between BC Housing, the Aboriginal Coalition to End Homelessness and local service providers to ensure the needs of a tenant match the culturally supportive services provided, such as life skills training, employment assistance, and help with accessing a range of social and health care services.</p> <p>The homes would be for Victoria women who identify as First Nations, Metis, or Inuit, are over the age of 19, currently experiencing or at risk of homelessness, and who need low-cost housing with a range of supports. Successful applicants will be people who have made a choice to work toward living a healthy and stable life. All tenants would pay rent for and sign a program agreement around expectations.</p> <p>People who apply to live at the proposed housing will need to:</p> <ul style="list-style-type: none"> • Be over the age of 19 • Identify as an Indigenous woman • Be a Victoria resident* currently experiencing homelessness • Need additional support services to maintain housing • Pay rent • Sign a program agreement <p>The Aboriginal Coalition to End Homelessness is currently offering an Indigenous Women's Circle, providing life skills, cooking classes and cultural supports, to support women to maximize the potential of housing stability and success. It is anticipated that many of these women will apply.</p>

Interest	Response
Management	<p>The housing will be operated by the Aboriginal Coalition to End Homelessness. The responsibilities of the operator will include property management, operations management, and tenant selection. Once tenants move in, staff will remain on-site 24/7 for support. The operator will be committed to be a good neighbour.</p> <p>The safety of our future tenants, staff and the surrounding community is a priority. There would be staff on site 24 hours a day, seven days a week to ensure that tenants are supported and that potential concerns are immediately addressed.</p> <p>Security features will optimize lighting, fencing, enable fob system for guests only, and create contained outdoor amenity space for smoking / dog walking.</p> <p>The responsibilities of the Aboriginal Coalition to End Homelessness would include property management, operations management and tenant selection. Once tenants move in, staff would be on-site 24/7 to support tenants and make sure they have the best opportunities possible to move forward on the housing continuum and secure needed services. The operator would work with each tenant to: have an individualized support plan; be oriented to community and building expectations; and link to health and other social / employment services. Tenants would also be provided with basic custodial and maintenance services.</p> <p>A minimum of two staff will be on-site 24 hours a day, seven days a week. During the day, due to programming activities, there may be more than two staff on-site. Staff would be supported by a manager, who would be onsite Monday-Friday, in addition to various other staff that will be providing on-site services to the tenants.</p> <p>The Aboriginal Coalition to End Homelessness will ensure that all staff will have the appropriate training and skills necessary to support the clients. The required training, as required by BC Housing, includes, but is not limited to:</p> <ul style="list-style-type: none"> • Crisis prevention training; • First Aid/CPR; • Indigenous awareness training; • Mental health first aid training; • Domestic violence and safety planning; • Substance use awareness and safety training; and • Trauma-informed training.

APPENDIX A: OPEN HOUSE BOARDS

Welcome

New Supportive Housing for Victoria

We acknowledge our work is taking place on the traditional territory of the Lekwungen speaking people of the Songhees and Esquimalt Nations.

Neighbourhood Open House

Thursday, August 23, 2018

7:00 pm

Doors open

7:30 pm

Presentation

Respectful Dialogue

- Ensure comments and discussions are respectful
- Recognize that the business case is one we need thoughtful discussion about how to meet community needs
- Share your thoughts - If you can meet formally in the community center for guidance email communityrelations@bchousing.org.



Victoria

Community Need

According to the 2018 Victoria Homeless Count



1,525 people experiencing homelessness



33% identify as Indigenous



40.3% of indigenous people experiencing homelessness identify as women

Housing and services* currently available to Indigenous women in Victoria:

*Funded through BC Housing

AVAILABLE TO WOMEN WHO ARE ELIGIBLE

- Transition houses
- Victoria Women's Transition House
- Oliver Women's Safe Home
- Créche Transition House

- Second stage housing
- Margaret Laurence House
- Crèche Second Stage

SPECIFIC TO INDIGENOUS PEOPLES

- 34 housing units for people experiencing homelessness
- 30 rent supplements
- 87 units of housing for low-income families



New Supportive Housing Proposed for Victoria

Proposed Project:

21 self-contained culturally supportive studio homes

Proposed Location:

800 block of Hillside Avenue

Operated by:

Aboriginal Coalition to End Homelessness

Who is it for:

First Nations, Metis and Inuit women

Housing Type:

Safe, secure, self-contained studio apartments with shared amenity space.

This site provides:

- Proximity to services and transit
- Currently vacant land owned by the Provincial Rental Housing Corporation
- A site that can be developed in a timely way



Housing Along the Spectrum

Highlights

- Creation of 21 new homes for First Nation, Metis and Inuit women
- Provides stable and supportive housing
- Opportunity for women to move off the streets and out of precarious housing



Who would live in this housing?

Women who apply to live here will need to:

- Be a resident of Greater Victoria
- Identify as First Nations, Métis or Inuit
- Be over the age of 19
- Be experiencing or at risk of homelessness
- Need additional support to maintain housing



Tenant Selection Process:

- Women must apply through the Supportive Housing Registry.
- Aboriginal Coalition to End Homelessness will work with BC Housing and local service providers to ensure the needs of a potential tenant are well matched to the types of support services provided.
- Women will be assessed using a thorough and thoughtful process to determine the support services they need to remain housed and live a more healthy, stable life, while ensuring a healthy tenant mix within the building.

What are some of the contributing factors to homelessness?

There are various factors which contribute to homelessness for Indigenous women such as:

- Inter-generational trauma
- Racial and cultural discrimination
- Lack of access to affordable housing
- Societal marginalization and poverty
- Domestic violence and violence against Indigenous women

All tenants would pay rent, sign a program agreement and make a choice to work toward living a healthy, stable life.

Services

All tenants would have access to a range of culturally supportive housing supports on-site.



24/7 staffing and support services



Safe place to sleep



Connect to local community services



Connection to employment programs



Referral to health care, mental health and addiction services



Trauma-informed support and care
Co-occurring physical and mental health issues, substance use, and trauma history



Outreach worker assists with finding housing and supports to maintain and improve housing



Meals provided



Social connection



Affordable Rents



Accessible units



Laundry

Culturally Supportive Housing



- Indigenous-led organization that hires Indigenous staff, provides opportunities to connect with Indigenous culture and supports culturally responsive programs.
- Grounding services in ceremony and traditional teachings, providing access to Elders, and focusing on community healing rather than individual healing.
- Offers supports that address and engage issues relating to cultural identity and historical experience as part of the recovery process.
- Ensures health professionals who provide support services are culturally and linguistically competent.

Culturally Supportive Housing



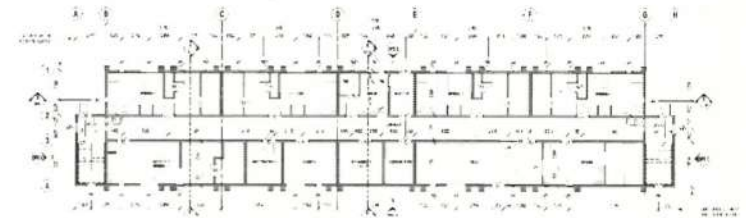
- Education, advocacy and programming around Indigenous issues and knowledge, and female empowerment.
- Peer support networks.
- Integrates family and community in the housing
- Encourages clients to preserve and practice their own Indigenous customs and traditions.
- Services are open, respectful and non-judgmental.
- An amenity space that offers opportunities for socialization, cultural events and ceremonies.

Renderings

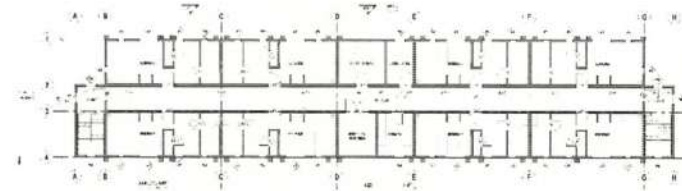


Disclaimer: These images are subject to adjustment as part of the municipal approval process.

Floor Plans



Level 1



Level 2 & 3

Disclaimer: These plans are subject to adjustment as part of the municipal approval process.

Partners

We are committed to ensuring that everyone has a place to call home.



BC Housing will provide support and advice on how to best manage the housing and service operations for long-term residents.

BC Housing will work in partnership with the project and non-profit partners, mental health services and providers, other local government, and a newly formed non-profit housing provider.



Aboriginal Coalition to End Homelessness BC Housing will provide housing and support services for Indigenous people, including those who are homeless. The coalition will work with the project and non-profit partners to create a culturally safe and respectful environment for Indigenous people. The coalition will also work with the project and non-profit partners to develop a range of housing options.

Variances

As part of the Development Permit application, BC Housing will be seeking the following variances*, which will require City of Victoria council approval:

1. Number of Buildings

The Evergreen Terrace site, which currently contains 21 buildings, was constructed prior to the current zoning bylaw implementation. This means that the site is currently legally non-conforming to the R3-2 zoning (1 building per site) that the City has designated for the area. BC Housing would like to add one additional building to the site for the proposed housing.

2. Minimum Unit Size

The City of Victoria has a minimum unit size requirement of 33 meters squared. Some units in the proposed development are under this minimum. BC Housing is requesting a variance, as these units are temporary in nature.

Timeline:

BC Housing anticipates starting construction Fall 2015 and opening the building for occupancy in spring 2019. This timeline is subject to the municipal approval process.

* Please note that all necessary variances will be confirmed by municipal staff. These are known variances at this time and are subject to change.



How Can I Provide Input?



Email comments or questions to
communityrelations@bchousing.org



Fill out a comment form today.

All comments received by August 27 will be added to a summary report submitted to the City of Victoria.

APPENDIX B: FEEDBACK



Victoria Supportive Housing Neighbourhood Open House: Aug 23, 2018

Which of the following best identifies you?

- | | |
|---|---|
| <input type="checkbox"/> Hillside-Quadra Resident | <input checked="" type="checkbox"/> Victoria Resident |
| <input type="checkbox"/> Hillside-Quadra Business Owner | <input type="checkbox"/> Victoria Business Owner |
| <input type="checkbox"/> Evergreen Terrace Tenant | <input type="checkbox"/> Other: _____ |

How did you hear about this Open House?

- | | |
|--|--|
| <input type="checkbox"/> Invitation letter in the mail | <input type="checkbox"/> Facebook or Twitter posts |
| <input checked="" type="checkbox"/> Newspaper article | <input type="checkbox"/> Word of mouth |
| <input type="checkbox"/> Online | <input type="checkbox"/> Other: _____ |

Do you have any questions about this proposal that you would like addressed?

WHY IS REZONING REQUIRED TO
REPLACE 1 BUILDING WITH ANOTHER.
INTERESTING - ALON - CONFORMING

Any comments:

NEW HOUSING, ESPECIALLY THE AFFORDABLE
TYPE IS MOST WELCOME IN VICTORIA

Please put this form in a comment box or email: communityrelations@bchousing.org.
Comments received by August 27, 2018, will form part of a summary report submitted to the City of Victoria.

Please note: your comments will be shared with BC Housing, Aboriginal Coalition to End Homelessness & the City of Victoria.

Victoria Supportive Housing

Neighbourhood Open House: Aug 23, 2018

Which of the following best identifies you?

- | | |
|--|--|
| <input checked="" type="checkbox"/> Hillside-Quadra Resident | <input type="checkbox"/> Victoria Resident |
| <input type="checkbox"/> Hillside-Quadra Business Owner | <input type="checkbox"/> Victoria Business Owner |
| <input type="checkbox"/> Evergreen Terrace Tenant | <input type="checkbox"/> Other: _____ |

How did you hear about this Open House?

- | | |
|--|--|
| <input type="checkbox"/> Invitation letter in the mail | <input type="checkbox"/> Facebook or Twitter posts |
| <input type="checkbox"/> Newspaper article | <input type="checkbox"/> Word of mouth |
| <input type="checkbox"/> Online | <input type="checkbox"/> Other: _____ |

Do you have any questions about this proposal that you would like addressed?

access to education opportunities
ie Dogwood Certificate
ReV Seal

Any comments:

accommodation of pets.
ie some people already have a
pet and would need a place
that allows them to keep
their pet.

Please put this form in a comment box or email: communityrelations@bchousing.org.
Comments received by August 27, 2018, will form part of a summary report submitted to the City of Victoria.

Please note: your comments will be shared with BC Housing, Aboriginal Coalition to End Homelessness & the City of Victoria.



Victoria Supportive Housing Neighbourhood Open House: Aug 23, 2018

Which of the following best identifies you?

- | | |
|--|--|
| <input checked="" type="checkbox"/> Hillside-Quadra Resident | <input type="checkbox"/> Victoria Resident |
| <input type="checkbox"/> Hillside-Quadra Business Owner | <input type="checkbox"/> Victoria Business Owner |
| <input type="checkbox"/> Evergreen Terrace Tenant | <input type="checkbox"/> Other: _____ |

How did you hear about this Open House?

- | | |
|--|--|
| <input type="checkbox"/> Invitation letter in the mail | <input type="checkbox"/> Facebook or Twitter posts |
| <input checked="" type="checkbox"/> Newspaper article | <input type="checkbox"/> Word of mouth |
| <input type="checkbox"/> Online | <input type="checkbox"/> Other: _____ |

Do you have any questions about this proposal that you would like addressed?

Any comments:

Great project! Much needed.
I support it.

Please put this form in a comment box or email: communityrelations@bchousing.org.
Comments received by August 27, 2018, will form part of a summary report submitted to the City of Victoria.

Please note: your comments will be shared with BC Housing, Aboriginal Coalition to End Homelessness & the City of Victoria.

Email 1 Received 23 April 2018

Hi there,

I wanted to write a letter saying I am excited about the new supportive housing units at Evergreen Terrace. I live in the neighbourhood and am happy to see something being built in that space.

Email 2 Received 24 August 2018

hi did enjoy that meeting at Sandman
in that old field they are building for
homeless women, Aborigin women oak bay
lodge and Rockbay

Am I correct? when will they ever
start building the evergreen where the fire
was a long time ago.

Email 3 Received 1 May 2018

Hi there,

I am writing to inquire about the notice we received about 21 new units of housing with supports for Aboriginal women. I work in women's Supportive Recovery programming with Island Health in Victoria, and my clients often must find housing after they have graduated through our programs. I currently have one Aboriginal women in our program who has already submitted her BC Housing application, but has so far not had luck finding any affordable housing.

Is it possible to get some information on:

1. Who would be eligible for these new units?
2. How does one get their name on the list, if their BC Housing application has already been submitted?

Thanks in advance for any info you have to offer,

Email 4 Received 1 May 2018

I've heard from a local indigenous woman that the government doesn't want to support local indigenous women; so they often fund and support women who are indigenous to other places within the territory of the local indigenous. This disempowers local indigenous women. Someone who is indigenous to the east coast living on the west coast is supporting the colonial system if they aren't helping the local indigenous women.

Will this project empower more local indigenous women (Coast Salish) or more foreign indigenous women?

Email 5 Received 27 June 2018

Good morning - I would love to be notified of when the open house is rescheduled so that our staff may attend. So grateful to hear about this project happening so close to our office. We received the memo this morning in the mail and would like to be kept informed about this much needed project.

Email 6 Received 06 July 2018

Hello. Has a new date been set for the open house of the proposed Hillside supportive housing complex?

Can you please tell me what the policy is/will be for smoking at this and other BC Housing properties?

Email 7 Received 13 August 2018

Hi there,

I am a Masters of Indigenous Governance student at the University of Victoria and have been working on my Community Governance Project (it is essentially my final thesis of the program), that once completed I will be graduating. My project is on a written report that nuances the intersectionality of Indigenous disability, and looks particularly to the housing shortages in BC. It is argued in my final thesis that the lack of affordable housing for Indigenous disabled populations leads to homelessness, lack of food security, increased health issues, further marginalization, children entering care and abused partners being unable to leave toxic relationships because of lack of options/transportation/supports. These are a brief glimpse into some of the intersections that I explore as they get a lot further nuanced and comprehensively addressed.

Given this information, I would love to arrange an interview with BC Housing in regards to this new housing neighbourhood on Hillside Avenue that is specifically for Indigenous women. My hope is to include at the end of my paper some programs locally that provide options to those faced by the complex intersections of Indigenous disability. In this case I would like to highlight a glimmer of hope that this new housing unit will offer to Indigenous bodies in 2019 and the important work that both BC Housing and the Aboriginal Coalition to End Homelessness do.

Let me know what you think and if you would be interested in arranging an interview. I can also send some questions via email if that is an easier process as I am sure you have an extremely busy schedule.

Email 8 Received 04 May 2018

Indigenous housing ? ? ?

Indigenous in Victoria means Coast Salish. The Aboriginal organizations are fraudulently using the term to access funding and jobs. Have you seen the homes of the non Aboriginals and non Coast Salish working for those aboriginal organizations? They should not be permitted to work here if they are not coast salish. The First Nations agreement is that anything they take from our community they must pay back all times three plus. That could mean their organizations and their personal homes time three plus. Their spouses must pay equal amount owing also. I don't see why the Indigenous need to be counted as numbers to fund the white guys and friends regime any longer. The local Indigenous women would be great hosts for running aboriginal housing if the ideas of owning women and people were obliterated.

Email 9 Received 23 April 2018

Hi,

I just received your note informing me of the plan to build 21 units of housing with supports for Indigenous women at Evergreen Terrace. I just want to let you know that, as a small business in the neighbourhood, I support this 100% and am so pleased to see such concrete actions being taken to support these women in need. I look forward to watching the progress of these units and welcoming these women to our community.

Email 10 Received 26 June 2018

Good Evening,

I live in the neighbourhood and received one of the letters inviting me to your Open House regarding the Hillside Avenue Supportive Housing. (I have also CC'd my partner and a dear friend who also lives and works in the Hillside area).

I'd like to start by saying I am 100% supportive of supportive Housing for Indigenous Women and am looking forward to the rescheduled meeting. The idea of having a home filled with Indigenous Women makes me feel much safer in my neighborhood not to mention I understand the housing crisis all too well.

I do have a few questions:

Why is the Open House Post-Poned? How can I find out when the new date to attend the Open House will be? Are there ways for people who are unable to make the physical event to get more information and ask questions?

Lastly, I am interested in knowing what is going to happen at the Open House. Is it purely informational? Will there be an invitation for feedback/input? I do hope that this is not the kind of meeting that people can stop such an important project from happening by attending.

Email 11 Received 18 June 2018

Hello,

Thank you for the notice online and in my mailbox. [redacted due to personal information].

I am supportive of the plan to build additional housing on Evergreen Terrace land.

Are there any plans to include bike parking? I don't see any bike parking available. I've heard from the Community Center that bike theft is a big problem in Evergreen Terrace.

[redacted due to personal information]

I'm working in this neighbourhood to advocate for free bikes, bike kitchens (tools) and other cycling related amenities such as more bike racks throughout the neighbourhood. Used bikes are fairly easy to come by. This is a very cycling-friendly area and riding bikes is a great way to get around the city especially if you don't have much money.

There are hundreds of bikes at Pandora's Harris Green Park.

I looked at the proposed building plans and I see there is a some building storage which is good. I think there should be some dedicated bike parking with a security camera.

I understand residents will have special supports on site and a security camera would be such an easy thing to install in a new building.

Email 12 Received 16 April 2018

Hello, [redacted due to personal information] and I moved to Victoria close to six years ago and been homeless for close to half of that time. I just secured a one bedroom apartment that costs me my whole [redacted due to personal information]. I have no other income and rely heavily on the food banks. I am VERY interested in the project upcoming on hillside Rd. How would I apply? Show interest! Keep informed! I can't keep paying this much rent and live, it's imposible!

This housing is so needed!

Development Permit with
Variances Application
for
2501 Blanshard Street



