

**Consultants:**

**Architect**

Eric Barker Architect Inc.  
Xavier Crespo Architect AIBC  
727 Pandora Ave.  
Victoria, B.C.  
V8W 1N9  
(250)-385-4564

**Landscape Architect**

Small & Rosset  
Carole Rosset BCLA  
3012 Menzer Road RR5  
Sooke, B.C.  
V9Z 0C9  
(250)-881-0705

**Structural**

RJC  
Leon Plett P.Eng.  
220-645 Tyee Road  
Victoria, B.C.  
V9A 6X5  
(250)-386-7794



1 View To South East



2 View To South West



3 View To North East



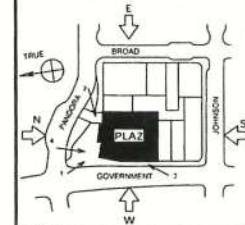
4 View To South

9/21/2016 6:16:20 AM

**ERIC BARKER ARCHITECT INC.**  
127 HANCOCK AVENUE VICTORIA  
250-385-4564 Fax: 250-400-1999

Sheet List	
Sheet Number	Sheet Name
A0 00	Cover Sheet 1
A0 01	Cover Sheet 2
A0 02	3D Views
A0 03	3D Views
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A0 07	Centennial Diagram
A0 08	Shadow Study 9 AM
A0 09	Shadow Study 12 PM
A0 10	Shadow Study 3 PM
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A1 07	Level Five
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A1 09	Roof Plan
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A3 04	East Courtyard Elevation
A3 05	West Courtyard Elevation
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L2 00	Roof Landscape Plan
L3 00	Landscape

**KEY PLAN**



No.	Date	Description
1		
2	2016	Development Permit Plaza Hotel
<p><b>JULY 17, 2017</b> <b>THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA</b></p>		
<p>Cover Sheet 1</p>		
Project number	211010	
ISS	Sept. 20 2016	
Drawn by	Robert Crone	
Checked by		
<p><b>A0.00</b></p>		
Scale		

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ATTACHMENT F



5 Front View SW to South East



6 West View to South



7 Front View SW to South East



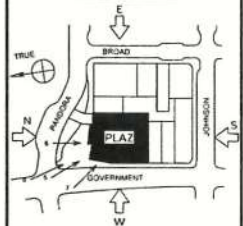
8 West View to South East

9/21/2018 6:18:24 AM

ERIC BARKER ARCHITECT INC.  
 371 PANDORA AVENUE, VICTORIA  
 BC V8M 1A8, CAN. Fax: (250) 455-6100

NOTE: This specific sheet has some images that may not show all the planned trees as indicated on the landscape plan, this is just to be able to show the entire architectural composition of the building.

KEY PLAN



No.	Date	Description
1	07/17/2018	Development Permit Plaza Hotel

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Cover Sheet 2

Sheet number	211010
Date	Sept. 20 2018
Drawn by	Edward Croston
Checked by	Checker

A0.01

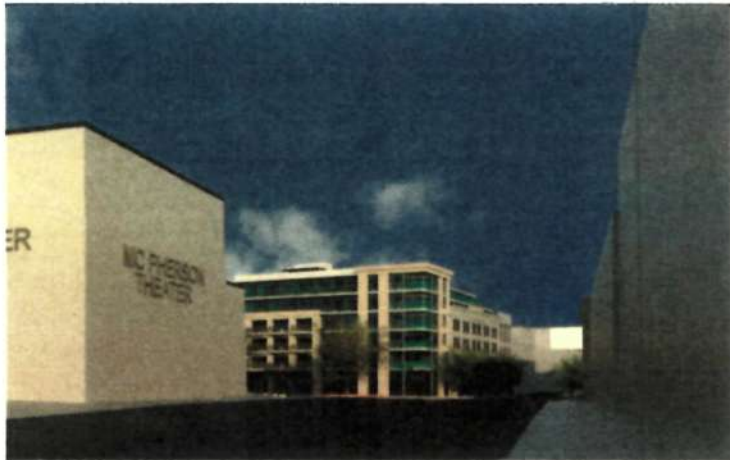
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9 Birds Eye 3D Context



10 Street View Government Looking South

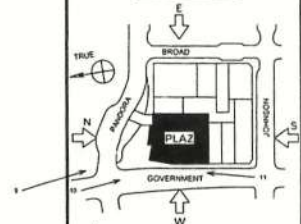


11 Street View Government Looking North

9/21/2018 8:18:25 AM

ERIC BARKER ARCHITECT inc.  
 271 PARKWAY AVENUE, VICTORIA  
 (250) 385-4565 FAX (250) 456-1999

KEY PLAN



No.	Date	Description
1	07/17/2017	Development Permit Plaza Hotel

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

3D views

Project number	2110710
Date	Sept 20, 2018
Project	30000000
Project	30000000

A0.02

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12 Birds eye View To South West



13 Birds eye View To North East



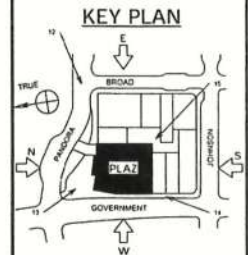
14 Birds eye View To South East



15 Birds eye View To North West

9/21/2018 6:18:27 AM

**ERIC BARKER ARCHITECT INC.**  
 127 PANDORA AVENUE, VICTORIA,  
 BC V8S 1K5 CANADA  
 TEL: 250-383-4565 FAX: 250-383-4566 WWW



No.	Date	Description
1	10/10/2016	2016 Project # 201619 -
2	10/10/2016	2016 Project # 201619 -
3	10/10/2016	2016 Project # 201619 -

**Development Permit  
 Plaza Hotel**

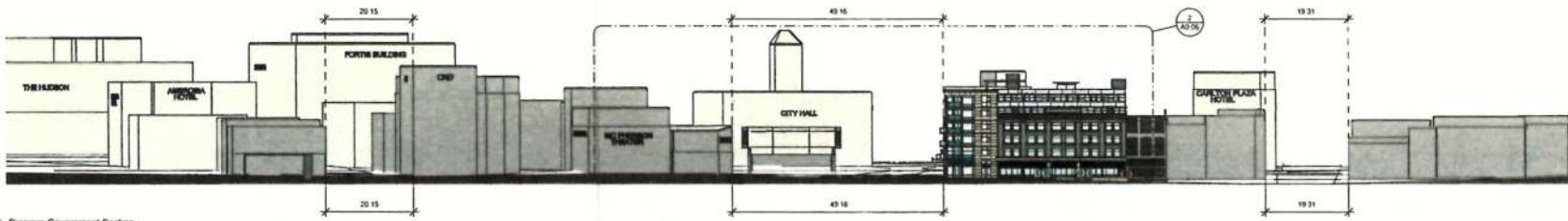
**JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA**

**3D Views**

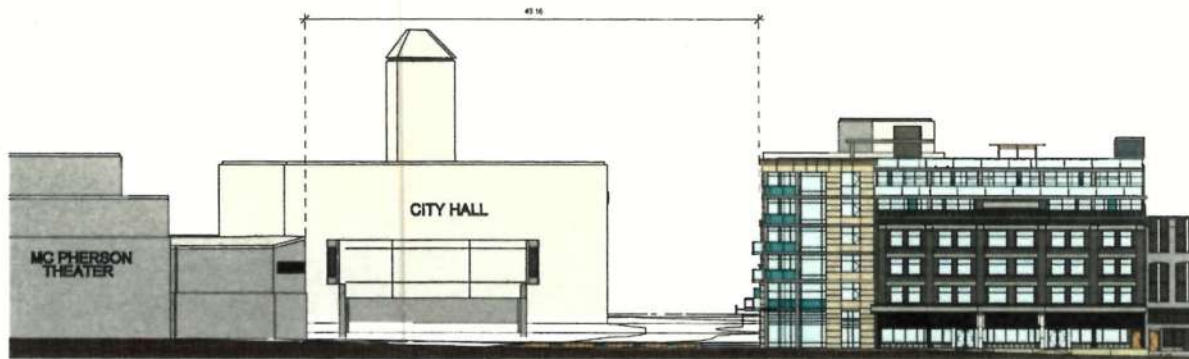
Project Number	211010
Date	Sept. 20 2018
Drawn by	Raver Corp
Checked by	Phan

**A0.03**

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① Diagram Government Section  
1:500



② Callout of Diagram Government Section  
1:250



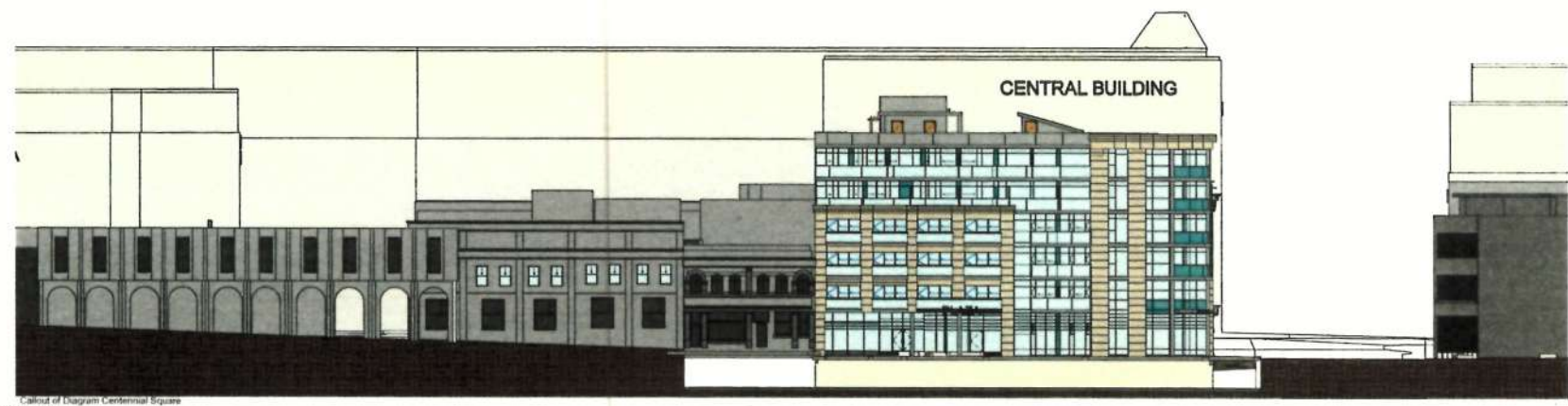
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**ERIC BARKER ARCHITECT inc.**  
 127 PANDORA AVENUE VICTORIA  
 (250) 381-4555 Fax (250) 455-1500

No.	Date	Description
2	July 17, 2017	Development Permit Plaza Hotel
		THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA
		Government Diagram
Issue Number	211010	
Date	Sept 20 2018	
Drawn by	Author	
Checked by	Checker	
Scale	As indicated	

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9/21/2018 6:18:51 AM

ERIC BARKER ARCHITECT INC.  
 327 PANDORA AVENUE, VICTORIA,  
 0000 585 4585 Fax: 1250 4580 V500



No.	Date	Description
B-1	Current	Development Permit 2018-000000-0015 - New Plaza Hotel Development Permit at Centennial Square 2018/09/04 10:18 am
Development Permit Plaza Hotel		
JULY 17, 2017 THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA		
Centennial Diagram		
Drawn by	Author	Checked by
A0.07		
Scale	As indicated	

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① Shadow Study Winter Solstice 9 AM  
1: 1500



② Shadow Study Spring Equinox 9 AM  
1: 1500



③ Shadow Study Summer Solstice 9 AM  
1: 1500



④ Shadow Study Fall Equinox 9 AM  
1: 1500

9/21/2018 6:19:11 AM

ERIC BARKER ARCHITECT INC.  
ERIC BARKER ARCHITECT INC.  
327 PANDORA AVENUE VICTORIA  
BC V8S 4S5 Fax: (250) 416-0100

No.	Date	Description
1	2018/09/21	Development Permit Plaza Hotel
<p>JULY 17, 2017 THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA</p> <p>Shadow Study 9 AM</p>		
Project Number	211010	
Date	Sept	19 2017
Drawn by	Xavier Orrego	
Checked by	Erickson	
Scale	1	1500

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① Shadow Study Winter Solstice 12 PM  
1: 1500



② Shadow Study Spring Equinox 12 PM  
1: 1500



③ Shadow Study Summer Solstice 12 PM  
1: 1500



④ Shadow Study Fall Equinox 12 PM  
1: 1500

9/21/2018 6:19:31 AM

ERIC BARKER ARCHITECT INC.  
127 HASTINGS STREET, VICTORIA, BC  
PHONE: 250-455-1144 FAX: 250-455-1144 WWW

No.	Date	Description
1	2016	Development Permit Plaza Hotel
<p>JULY 17, 2017 THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA</p> <p>Shadow Study 12 PM</p>		
Project number	211010	
Date	Sept. 20 2018	
Drawn by	Xavier Crespo	
Checked by	Frankie	
Scale	1: 1500	

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① Shadow Study Winter Solstice 3 PM  
1 1500




② Shadow Study Spring Equinox 3 PM  
1 1500



③ Shadow Study Summer Solstice 3 PM  
1 1500



④ Shadow Study Fall Equinox 3 PM  
1 1500

9/27/2018 8:19:40 AM  
  
**ERIC BARKER ARCHITECT inc.**  
 127 PANDORA AVENUE, VICTORIA  
 (250) 383-4541 Fax (250) 458-1500

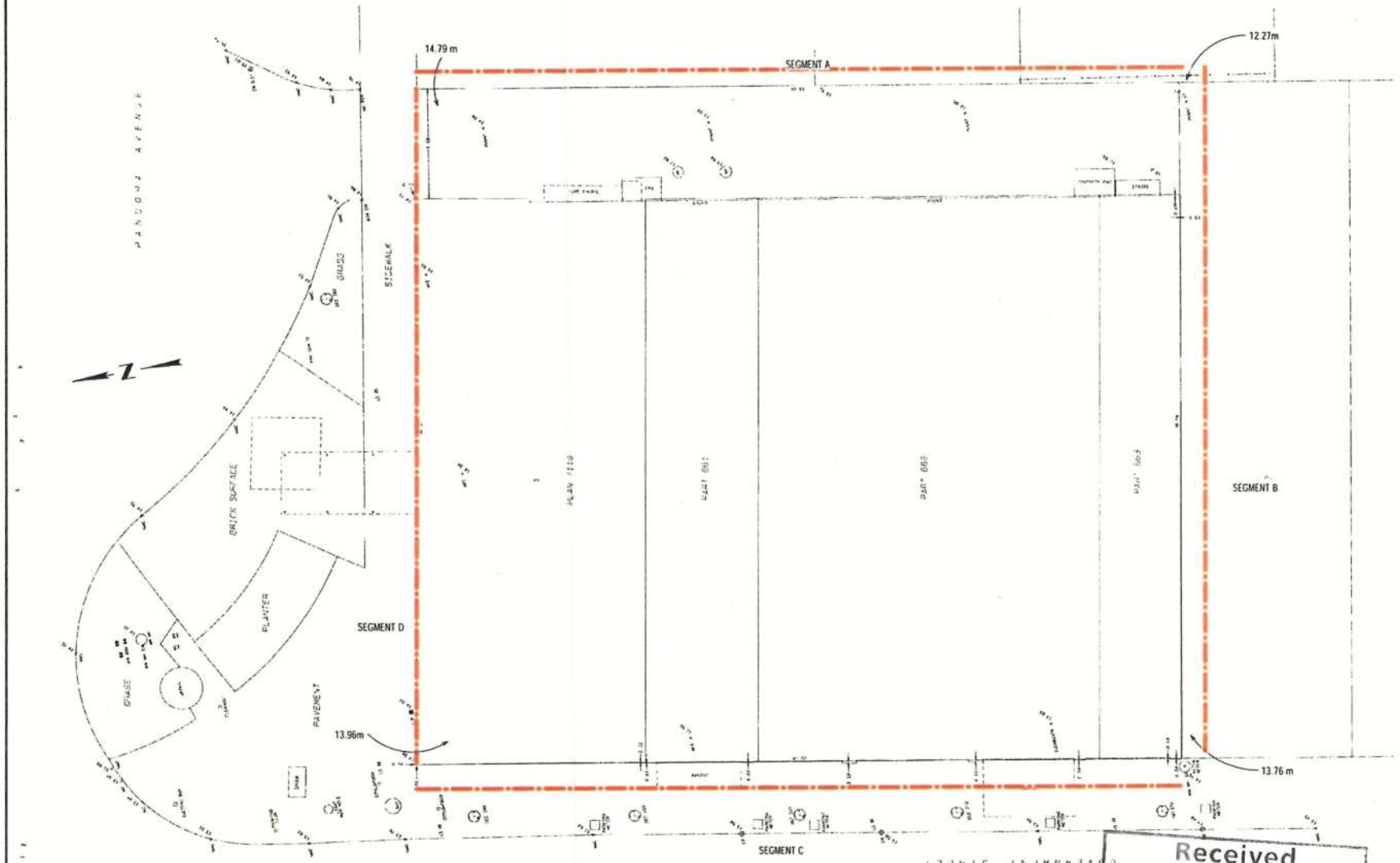
No.	Date	Description
1	2016	Development Permit Plaza Hotel
2	2017	JULY 17, 2017 THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA
3	2018	Shadow Study 3 PM
Account No.	211010	
Date	Sept. 20 2018	
Drawn by	Esmer Cremon	
Checked by	Chantal	
<b>A0.10</b>		
Scale	1 1500	

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8/21/2018 6:19:58 AM

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 227 HANCOCK AVENUE VICTORIA, BC  
 (250) 385-4343 Fax (250) 455-1500

Average Grade Calculations				
Segment	Elev 1 m	Elev 2 m	Segment Length m	Grade Points
A	14.79	12.27	40.91	553.512
B	12.27	13.76	36.56	475.828
C	13.76	14	41.02	569.358
D	13.96	14.79	36.57	525.694
Totals			155.06	2124.392
Average Grade =				13.700



No.	Date	Description
1	2018	Development Permit Plaza Hotel
2	2018	Site Survey

Development Permit  
Plaza Hotel

JULY 17, 2017  
THE RETAIL RESIDENTIAL  
BUILDING AT 603 PANDORA

Site Survey

Project Number: 211010  
 Date: Sept 25 2018  
 Drawn by: Author  
 Checked by: Checker

A1.00

Scale: 1:100

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Neighborhood Context Plan

Building Code Review the Retail Residential building at 603 Pandora Avenue

**Proposed Building Uses:**

- Basement Floor
  - Garage
  - Bicycle Storage
  - Garbage Room
  - Utility Room
  - Tenant Storage
- Ground Floor
  - Mercantile /Restaurant
  - Work/Live Units
  - Residential Entrance/Exits
- Level Two, Three, Four, Five and Six
  - Residential Units

The Residential Building Group C shall be designed to comply with B.C.B.C. 2012 **3.2.2.50, Group C, up to 6 Storeys, Sprinklered** Area no more than 6000 m2 Combustible or on Combustible Construction, 1 Hour Fire Rated Floor, 1 Hour Fire Rated Mezzanines, All Load Bearing Walls shall be 1 Hour Fire Rated.

The Basement Parking Garage shall be designed to comply with BCBC 2012 **3.2.2.86, Group F, Division 3, One Storey, Sprinklered** The building is permitted to be of non-combustible construction.

The Mercantile Building, Level One, Group E shall be designed to comply with BCBC 2012 **Group E 3.2.2.62, Group E, Any Height, Any Area, Sprinklered** Non Combustible Construction. 2 Hour Fire Rated Floor, 1 Hour Fire Rated Mezzanines All Load Bearing Walls shall be equal to that supported.

The Restaurant use, Level One, Group A2, Shall be designed to comply with BCBC 2012 **3.2.2.24, Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered** Non Combustible Construction. 1HR fire rated floor, 1 HR fire rated mezzanines. All load bearing walls and columns shall have a fire resistance rating not less than the required to support the supported assembly.

**Civic Address:** 603 Pandora Avenue

**Legal Description:**  
Lot 1, of Lots 661, 662 and 663  
Victoria City, Plan 7110  
PID 000-021-172

**Development Information:**

New Zone

Site: 1488.6 m2/16023 sf

Basement 1,372 m2 / 14,768 sf

Level 1 1210.04 m2 / 13024.86 sf

Level 2 1135.42 m2 / 12221.59 sf

Level 3 1136.13 m2 / 12229.22 sf

Level 4 1136.77 m2 / 12233.06 sf

Level 5 1056.52 m2 / 11372.25 sf

Level 6 926.52 m2 / 9972.93sf

**Total Building Area 6601.40 m2 / 71056.92 sf**

**FSR : 4.435 (6601.40 m2)**

**Site Coverage : 1308.46 m2 / 87.9%**

**Open Site Space: 165.77 m2 / 11.3%**

**Existing Average Grade: 13.70m**

**Building Height: 23.02m**

**Number of Storeys: 7**

Note: encroachment area are balconies, therefore have not been taken into consideration for the site coverage calculation

**REQUIRED**

Off Street Parking/Vehicle parking for strata units:

0.65 x 31 units < 45m2 = 20.15

0.80 x 56 units > 45m2 to 70m2 = 44.80

1.20 x 13 units > 70m2 = 15.6

Visitor parking

0.10 x 100 units = 10

Retail parking - Not required

**TOTAL REQUIRED 81 STALLS RESIDENTS, 10 VISITORS**

**REQUIRED**

Bicycle Parking for strata units long term:

1 x 36 units < 45m2 = 36

1.25 x 49 units > 45m2 = 61.25

Short term

.1X 85 units 8.5 spaces required

Retail long term

449m2 floor area / 200m2 = 2

Retail short term

449m2 floor area / 200m2 = 2

**TOTAL REQUIRED 100 LONG TERM ,11 SHORT TERM**

**PROVIDED**

Off Street Parking = 27 Stall

1 Accessible Stall

28 Stalls total (variance)

0 Visitors (variance)

**PROVIDED**

Short Term Bicycle Parking = 7 (variance)

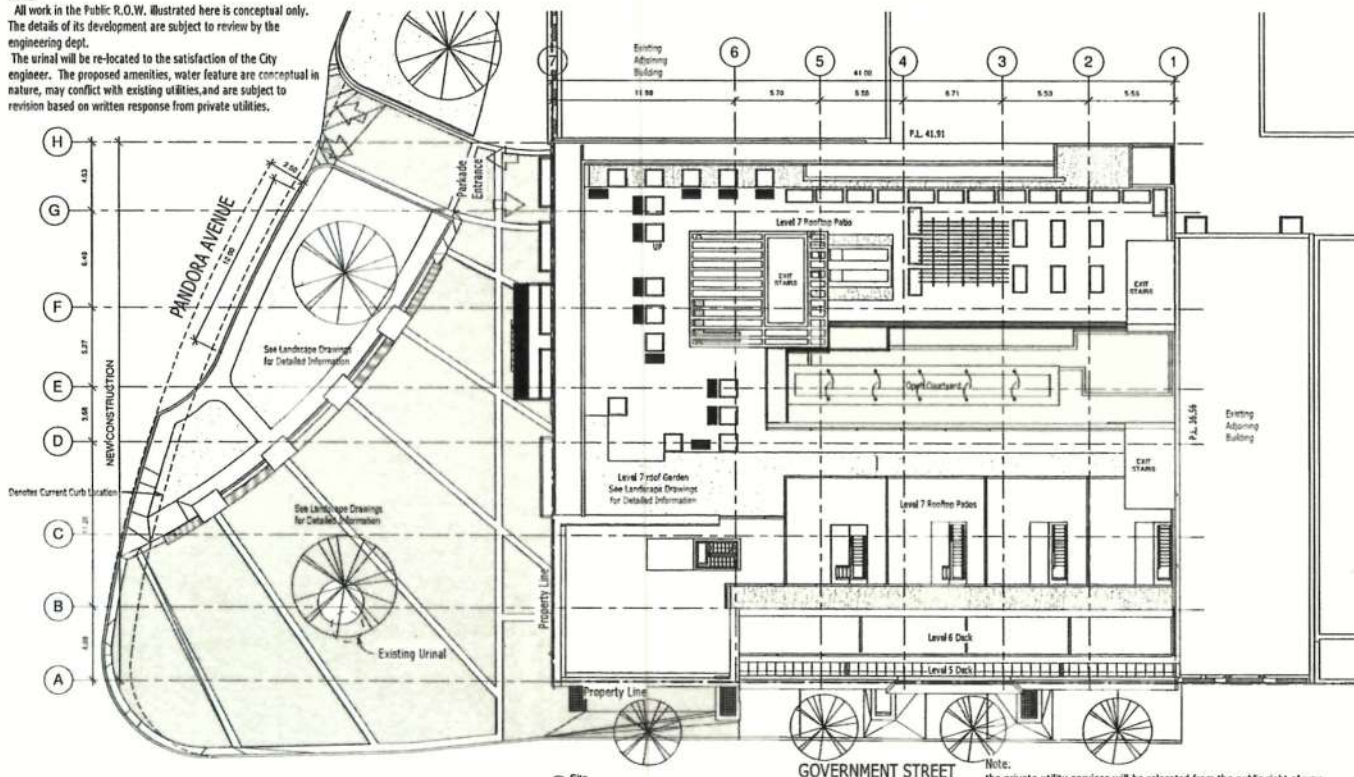
Long Term Bicycle Storage = 21 Bicycle secured stalls/ Storage

82 Bicycle secured stalls

103 Bicycle Stalls Total

Storage = 21 Bicycle secured stalls/ Storage

**NOTE:**  
All work in the Public R.O.W. illustrated here is conceptual only. The details of its development are subject to review by the engineering dept.  
The urinal will be re-located to the satisfaction of the City engineer. The proposed amenities, water feature are conceptual in nature, may conflict with existing utilities, and are subject to revision based on written response from private utilities.



Note:  
the private utility services will be relocated from the public right of way and the under sidewalk basement will be filled, to the satisfaction of the Director of Engineering.



**Setbacks**  
Government St. Setback: 0 m  
Rear Yards Setback: 0 m  
Pandora Ave. Setback: 0 m  
Side Yard South Setback: 0 m  
Encroachment on Pandora Frontage: 2.8 m /40 m2

**100 Residential Units Total comprised of:**

Studio/bachelor	48
1 Bedroom	39
2 Bedroom	13

4 Retail Units

**NOTE:**  
PROVIDE CALCS AT THE END OF SCHEDULE C  
CONFORMANCE WITH THE REQUIREMENTS OF THE BCBC 2012 AND THE FSR  
CALCULATED WITHIN THE PROPOSED DEVELOPMENT PLAN AND SUBMITTED TO THE ENGINEERING DEPT.

No.	Date	Description
34	2018 12 07	Revised bicycle parking
33	2018 10 25	Revised site plan
32	2018 09 15	Final approved by council
31	2018 09 15	Final approved by council
30	2018 09 15	Final approved by council
29	2018 09 15	Final approved by council
28	2018 09 15	Final approved by council
27	2018 09 15	Final approved by council
26	2018 09 15	Final approved by council
25	2018 09 15	Final approved by council
24	2018 09 15	Final approved by council
23	2018 09 15	Final approved by council
22	2018 09 15	Final approved by council
21	2018 09 15	Final approved by council
20	2018 09 15	Final approved by council
19	2018 09 15	Final approved by council
18	2018 09 15	Final approved by council
17	2018 09 15	Final approved by council
16	2018 09 15	Final approved by council
15	2018 09 15	Final approved by council
14	2018 09 15	Final approved by council
13	2018 09 15	Final approved by council
12	2018 09 15	Final approved by council
11	2018 09 15	Final approved by council
10	2018 09 15	Final approved by council
9	2018 09 15	Final approved by council
8	2018 09 15	Final approved by council
7	2018 09 15	Final approved by council
6	2018 09 15	Final approved by council
5	2018 09 15	Final approved by council
4	2018 09 15	Final approved by council
3	2018 09 15	Final approved by council
2	2018 09 15	Final approved by council
1	2018 09 15	Final approved by council

**Development Permit Plaza Hotel**

**JULY 17, 2017**  
**THE RETAIL RESIDENTIAL BUILDING AT 603 PANDORA**

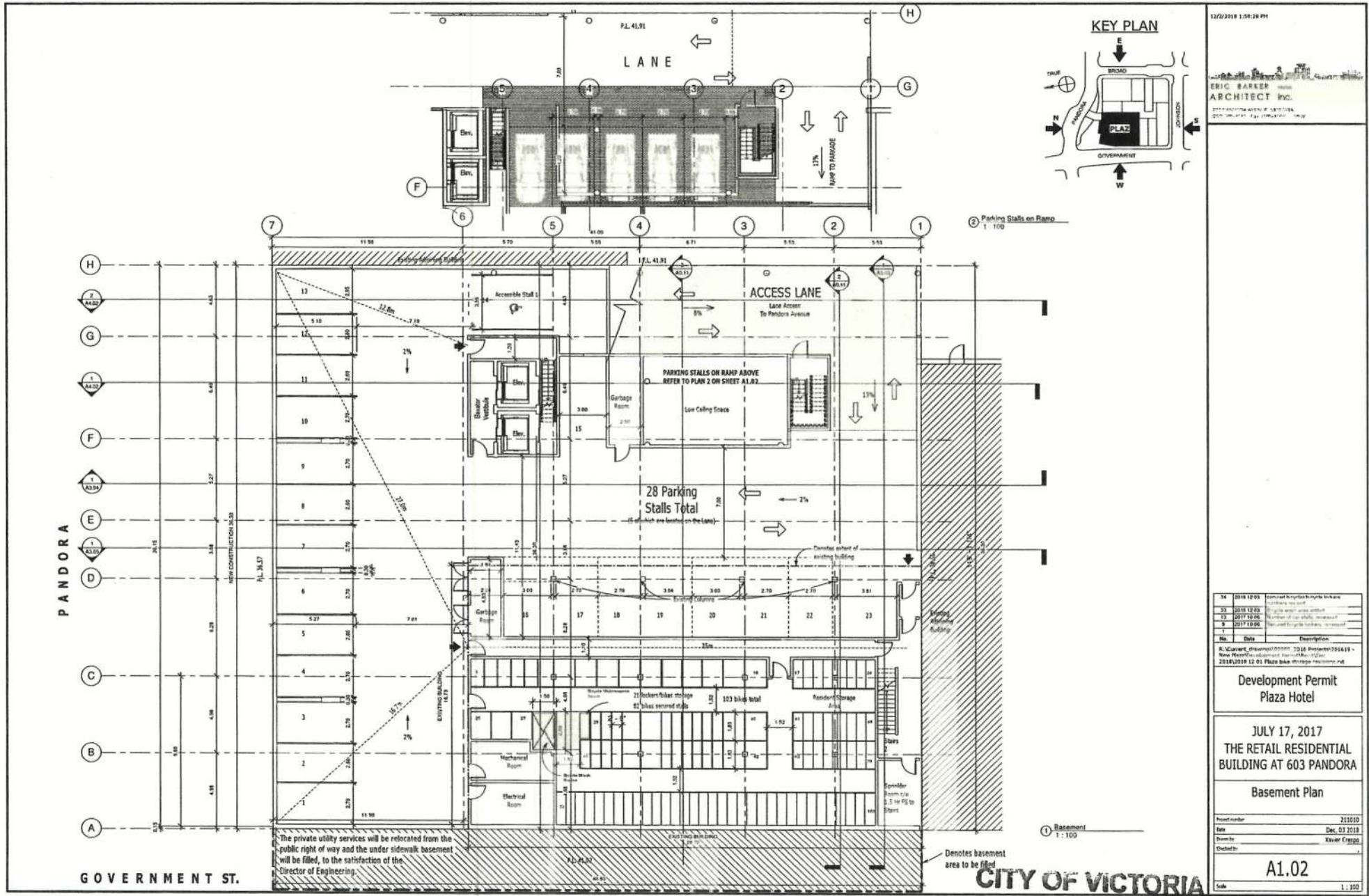
**Site Plan**

Project number: 210305  
Date: Dec. 03 2018  
Drawn by: Xavier Crespo  
Checked by:  
Scale: As indicated

**A1.01**

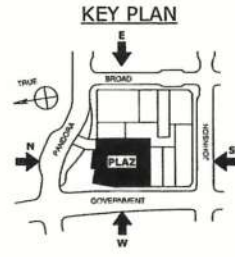
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**NOV 3 0 2018**

**DEEMED**  
**SEP 24 2018**



12/2/2018 1:58:28 PM

ERIC BARKER ARCHITECT inc.  
 277 FAULTY AVENUE # 101/102  
 VICTORIA, BC V8V 2E6



② Parking Stalls on Ramp  
 1:100

① Basement  
 1:100

The private utility services will be relocated from the public right of way and the under sidewalk basement will be filled, to the satisfaction of the Director of Engineering

Denotes basement area to be filled

No.	Date	Description
24	2018 10 03	Approved by City of Victoria
23	2018 10 03	Final design review
13	2017 10 06	Revised design, approved
9	2017 10 06	Revised design, approved
1		

A:\Client\development\2018\2018-10-03\2018-10-03 Plaza Hotel - Basement Plan.dwg

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Basement Plan

Project number: 210030  
 Date: Dec. 03 2018  
 Drawn by: Xavier Cheng

A1.02  
 Scale: 1:100

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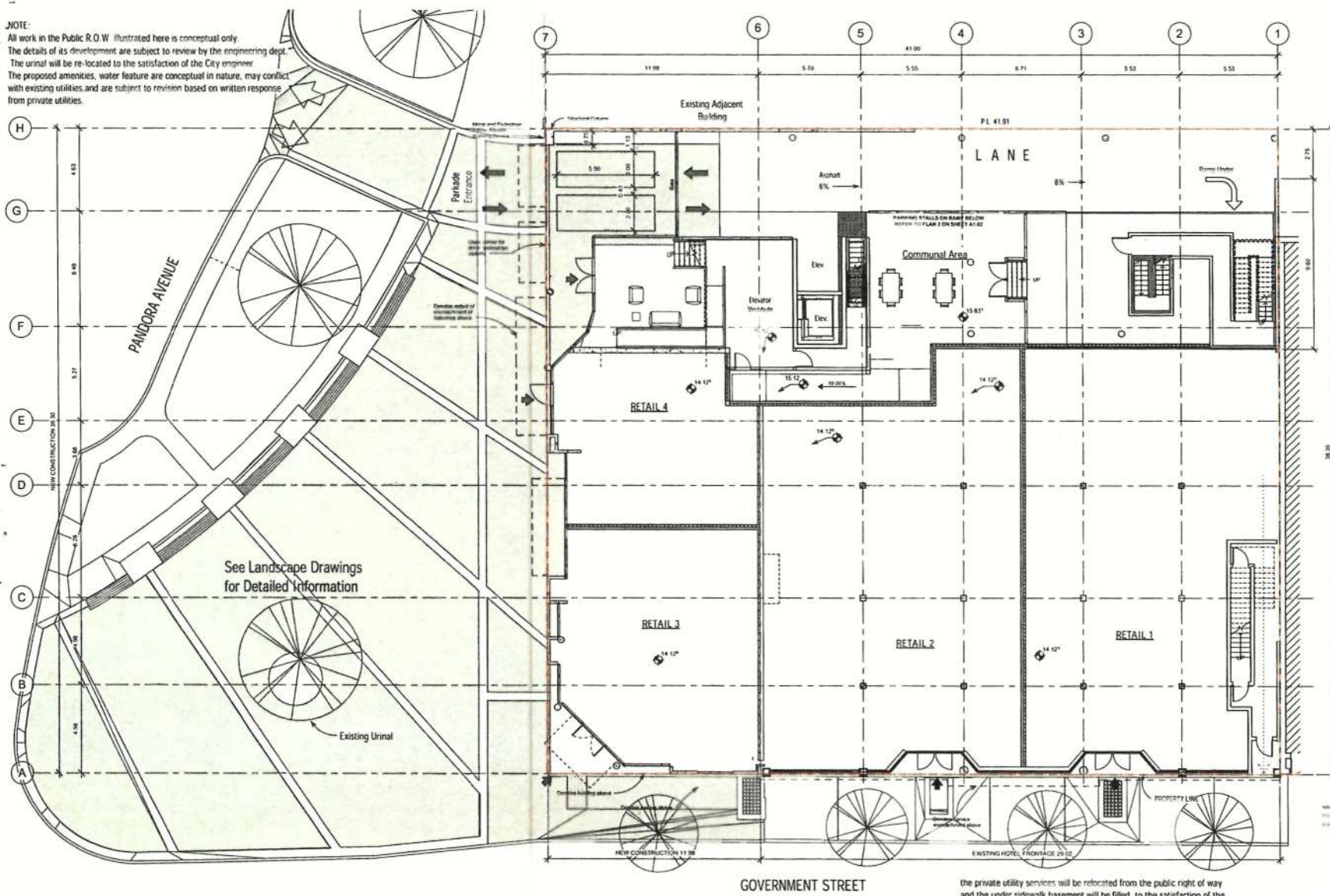
DEEMED

NOV 30 2018

SEP 24 2018

**NOTE:**

All work in the Public R.O.W. illustrated here is conceptual only. The details of its development are subject to review by the engineering dept. The urinal will be re-located to the satisfaction of the City engineer. The proposed amenities, water feature are conceptual in nature, may conflict with existing utilities and are subject to revision based on written response from private utilities.



① Ground Level  
 1/100

No.	Date	Description
31	2018 08 12	Issue private subject
29	2018 08 12	Issue private subject - 1 & 2
24	2018 08 12	The utility meters in A - 45 drops in location of the street
23	2018 08 12	Checklist will point back to the building
22	2018 08 12	PL all entrance - 14 July 18 all designs and approved as per building
18	2018 01 15	Revised design - 14 July 18 all designs and approved as per building
17	2018 01 15	Revised design - 14 July 18 all designs and approved as per building
15	2017 10 06	Revised design - 14 July 18 all designs and approved as per building
8	2017 10 06	Revised design - 14 July 18 all designs and approved as per building
5	2017 10 06	Revised design - 14 July 18 all designs and approved as per building
4	2017 10 06	Revised design - 14 July 18 all designs and approved as per building
4	2017 10 06	Revised design - 14 July 18 all designs and approved as per building

Development Permit  
 Plaza Hotel

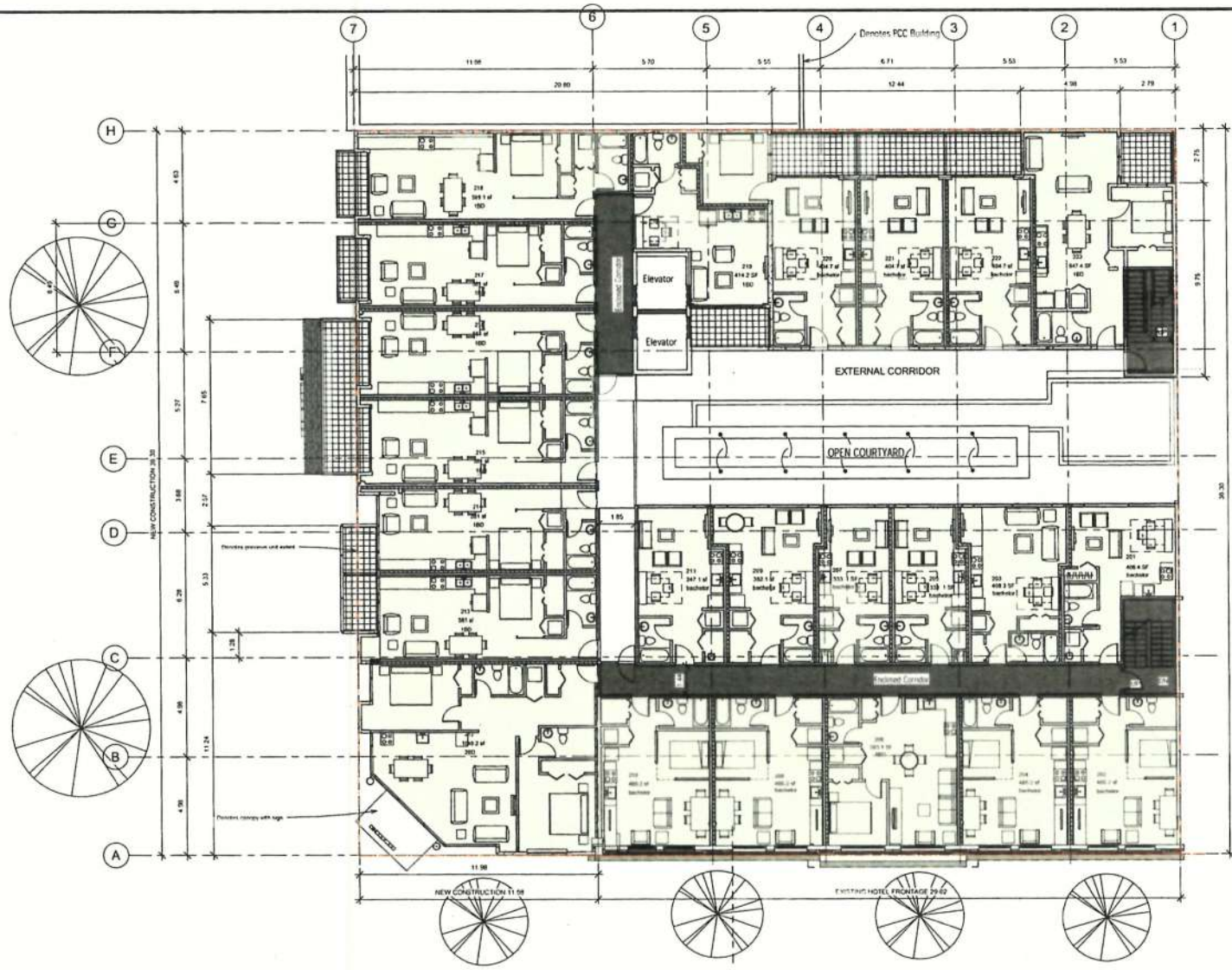
JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Level One - Ground Floor  
 Plan

Project Number	219100
Date	Sept. 20 2018
Project	REZ/11
Sheet No.	A1.03
Scale	1/100

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**ERIC BARKER ARCHITECT INC.**  
3111 FRANKLIN AVENUE, VICTORIA, BC  
V8M 2K1 TEL: 250-383-4565 FAX: 250-383-4562 WWW: EBARCHITECT.COM



No.	Date	Description
31	2018 09 12	Final plan set - initial
29	2018 09 12	Revisions to the architectural and edge finished floor
25	2018 09 12	Final floor plan - 0001 MP 1 & 2
18	2018 01 15	Final floor plan - 0001 MP 1 & 2
17	2018 01 15	Final floor plan - 0001 MP 1 & 2
11	2017 10 06	Final floor plan - 0001 MP 1 & 2
3	2017 10 06	Final floor plan - 0001 MP 1 & 2

R:\Projects\444444\000000\_2016\Project\201619 - New Plaza\Development\Plan\MP1\Level2 2016\Plan 09 19 plan.rvt

**Development Permit  
Plaza Hotel**

**JULY 17, 2017  
THE RETAIL RESIDENTIAL  
BUILDING AT 603 PANDORA**

**Level Two**

Project number: 211010  
Date: Sept. 20 2018  
Drawn by: JCB  
Checked by:

**A1.04**

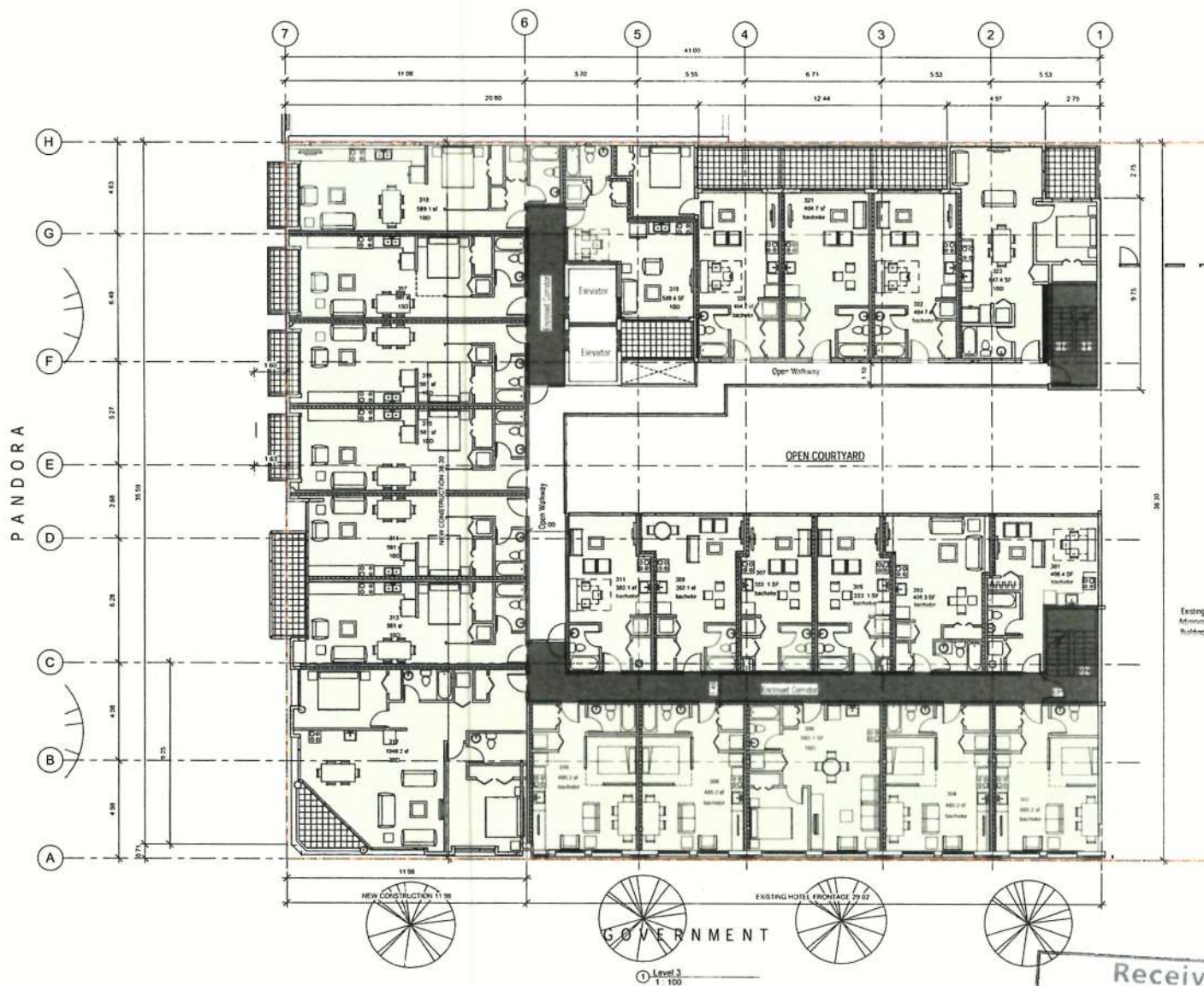
Scale: 1/100

Level 2  
1/100

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No.	Date	Description
30	2015 05 12	Revisions and placement down 1 cm of 45 degree on exterior with the street
29	2014 04 12	Changes on the north portion back to right light the base of the building
28	2015 05 12	Revisions to the west portion of edge
19	2014 05 14	Revisions to the west portion of edge
17	2014 05 14	Revisions to the west portion of edge
11	2012 10 06	Revisions to the west portion of edge
3	2012 10 06	Revisions to the west portion of edge

Development Permit  
 Plaza Hotel

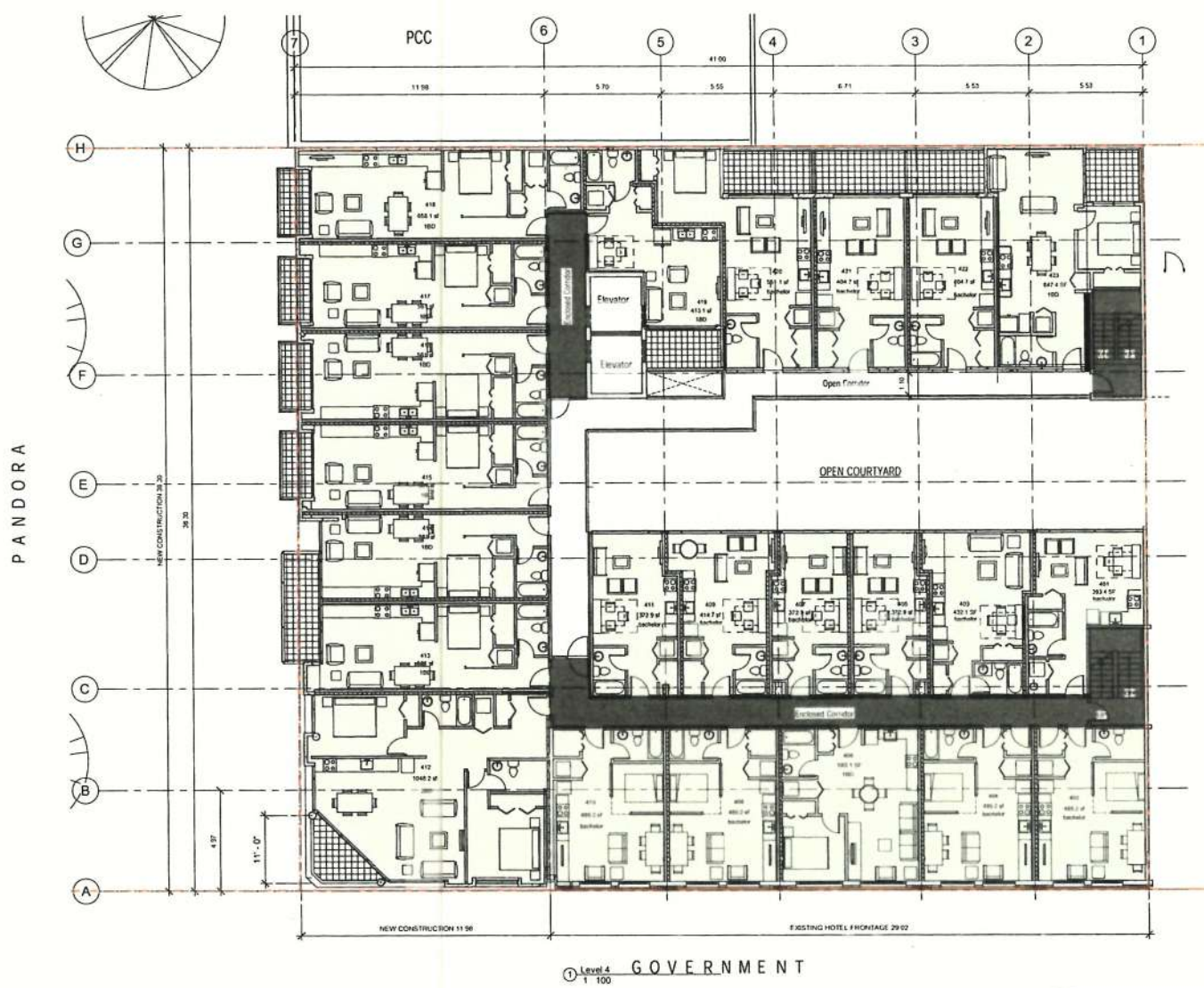
JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Level Three

Project number: 211010  
 Date: Sept. 20 2016  
 Prepared by: Aquino Crespo  
 Checked by: [ ]  
 Scale: 1:100

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GOVERNMENT  
 Level 3  
 1:100



No.	Date	Description
33	2018 01 12	Revised grid (added floor level of 4)
28	2018 01 12	Revised grid (added floor level of 4)
18	2018 01 11	Revised grid (added floor level of 4)
17	2018 01 11	Revised grid (added floor level of 4)
11	2017 10 01	Revised grid (added floor level of 4)
3	2017 10 01	Revised grid (added floor level of 4)

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

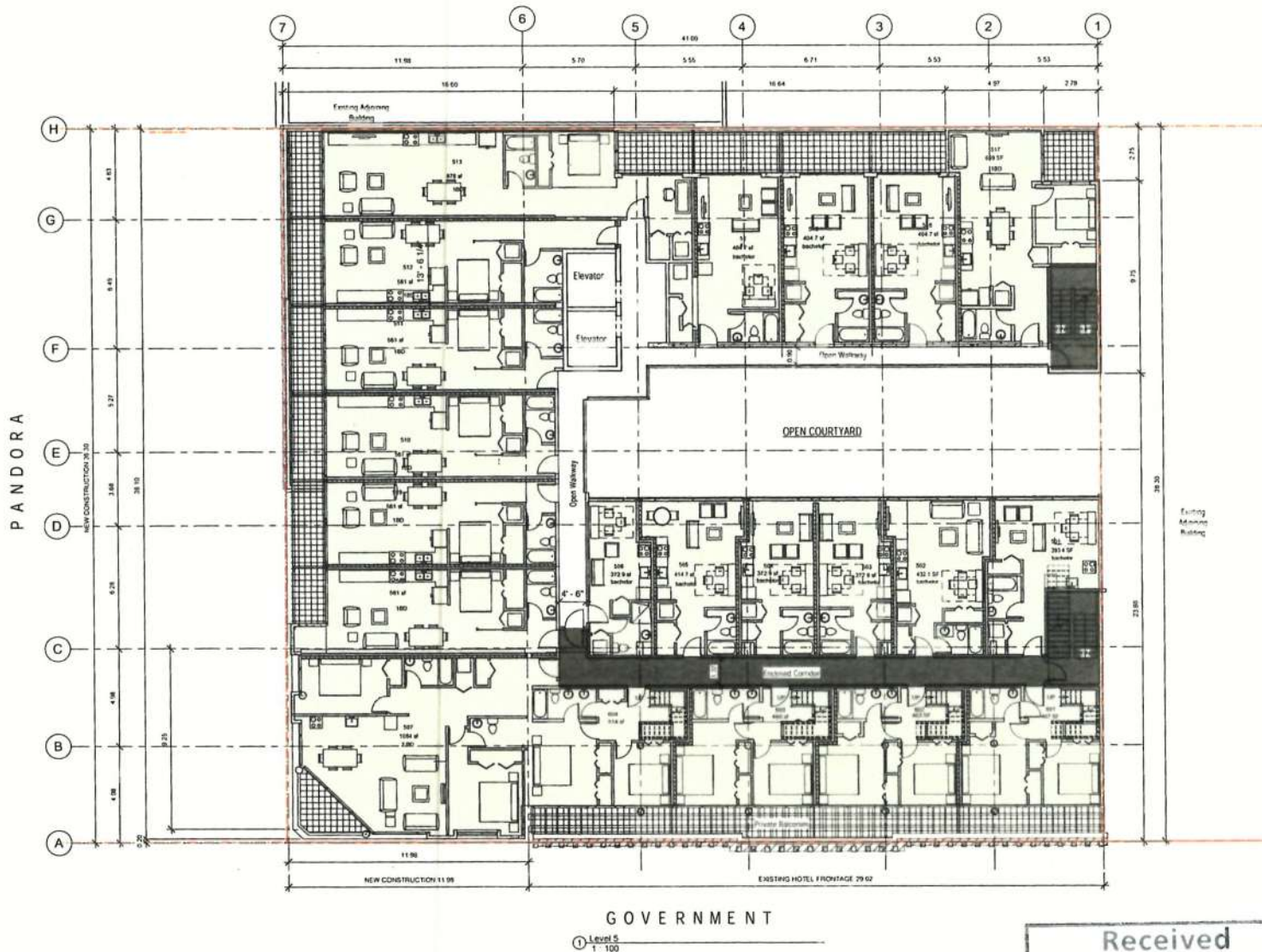
Level Four

Project number: 211010  
 Date: Sept. 20 2018  
 Drawn by: Author  
 Checked by: Checker

A1.06  
 Scale: 1/100

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① Level 5  
 1 - 100

No.	Date	Description
30	2018 09 12	Revisions sent to client for review of 45
29	2018 09 11	Revisions sent to client for review of 45
28	2018 09 11	Revisions sent to client for review of 45
18	2018 07 11	Final design complete and ready for construction. 100% of construction documents completed. 100% of construction documents completed.
15	2018 04 14	Final design complete and ready for construction. 100% of construction documents completed. 100% of construction documents completed.
11	2017 10 06	Final design complete and ready for construction. 100% of construction documents completed. 100% of construction documents completed.
3	2017 10 06	Final design complete and ready for construction. 100% of construction documents completed. 100% of construction documents completed.

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Level Five

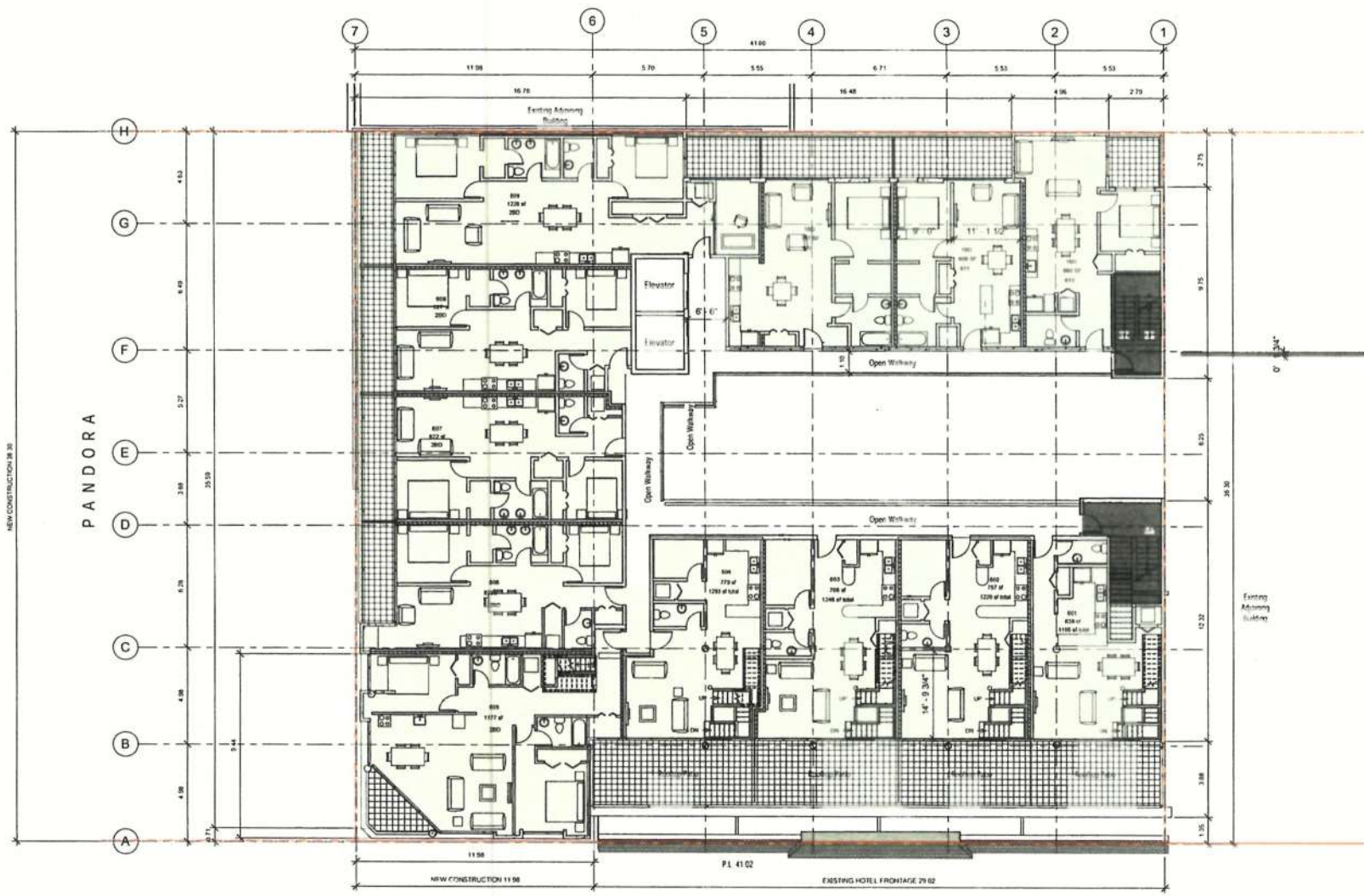
Project Number: 211010  
 Date: Sept. 20 2018  
 Drawn by: JCB/BJ

A1.07

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9/21/2016 8:20:39 AM

**ERIC BARKER ARCHITECT inc.**  
 123 PANDORA AVENUE, VICTORIA  
 2500 101 4100 Fax: 2500 4441 V8WV



PANDORA

GOVERNMENT

Level 6  
 1:100

30	2018 09 12	Revisions and attached drawings for 45
29	2018 04 12	Revisions for further polished floor finish
18	2018 01 15	Final drawings for the building
16	2018 01 15	Final drawings for the building
11	2017 10 06	Revisions for the building
3	2017 10 06	Revisions for the building

No. Date Description  
 11 2017 10 06 Revisions for the building  
 3 2017 10 06 Revisions for the building

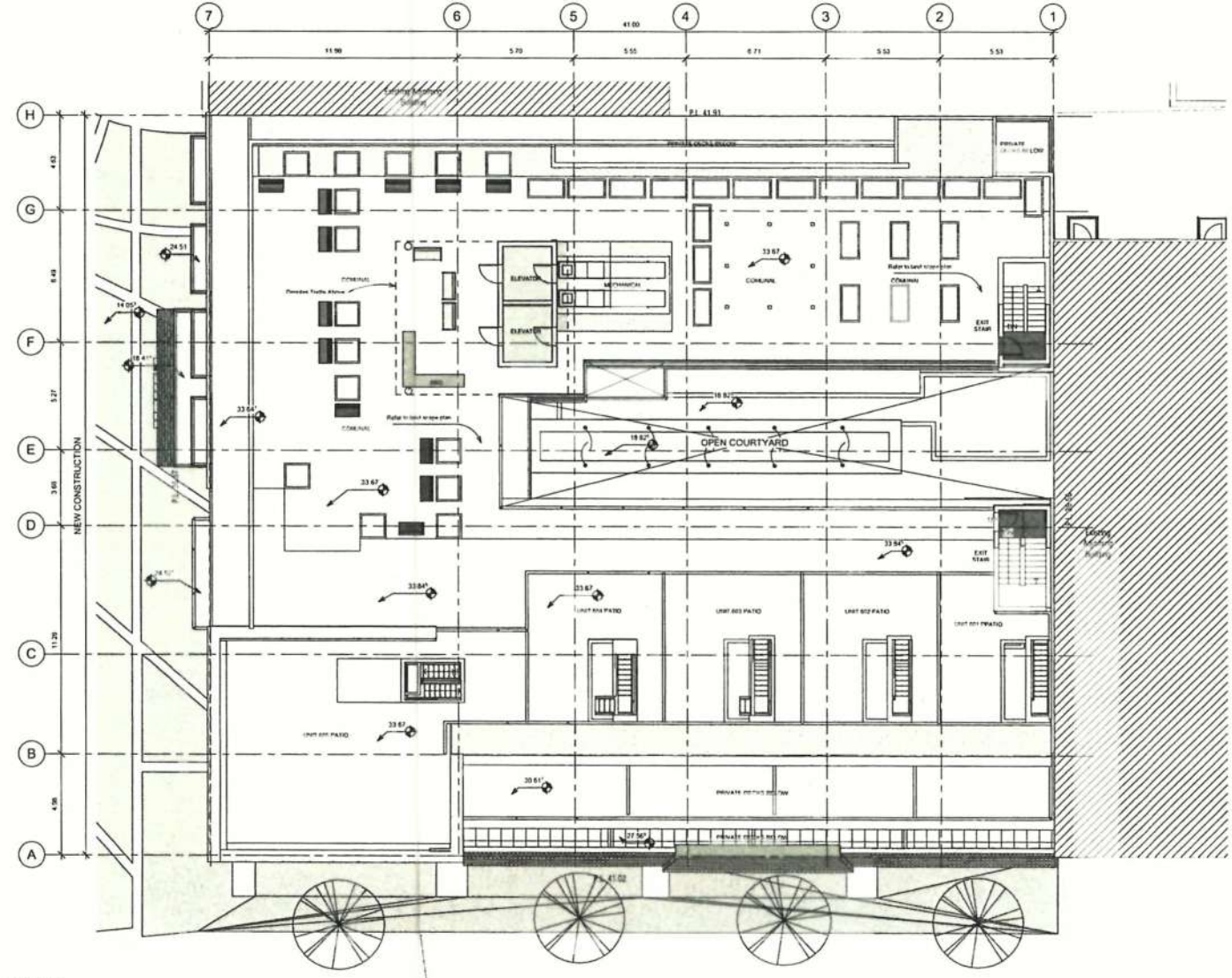
Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Level Six

Project number	211010
Date	Sept. 20 2018
Prepared by	MC/JH
Checked by	
Scale	1:100

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1 Roof Plan  
1:100

No.	Date	Description
1		

**Development Permit  
Plaza Hotel**

**JULY 17, 2017  
THE RETAIL RESIDENTIAL  
BUILDING AT 603 PANDORA**

**Roof Plan**

Project Number	21610
Date	Sept. 20 2018
Drawn By	KC/JJ

Sheet No.	A1.09
Scale	1:100

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**ERIC BARKER ARCHITECT INC.**  
 727 PANDORA AVENUE VICTORIA  
 250-595-4565 Fax 250-595-4560

Revision	Key Text
1	Metal Panel Siding
2	Aluminum & Plywood Finishes
3	Expanded Program
4	Final Construction
5	Plaster Finish
6	Final Finishes
7	Final Finishes
8	Aluminum & Glass Handrail
9	Metal Columns
10	Final Finishes
11	Final Notes



No.	Date	Description
31	2017 05 12	Final Review - submit
29	2017 04 12	Revisions - update to final edge
28	2017 04 12	Revisions - update to final edge
26	2016 09 12	Revisions - update to final edge
25	2016 09 12	Revisions - update to final edge
20	2016 01 15	Revisions - update to final edge
19	2016 01 15	Revisions - update to final edge
17	2016 01 15	Revisions - update to final edge
16	2016 01 15	Revisions - update to final edge
8	2017 10 06	Revisions - update to final edge
7	2017 10 06	Revisions - update to final edge
6	2017 10 06	Revisions - update to final edge
5	2017 10 06	Revisions - update to final edge
4	2017 10 06	Revisions - update to final edge
3	2017 10 06	Revisions - update to final edge
2	2017 10 06	Revisions - update to final edge

**Development Permit**  
**Plaza Hotel**

**JULY 17, 2017**  
**THE RETAIL RESIDENTIAL**  
**BUILDING AT 603 PANDORA**  
**North & West Elevations**

Sheet number: 211010  
 Date: Sept. 20 2018  
 Drawn by: Eddy Fong  
 Checked by:  
**A3.01**  
 Scale: 1/100

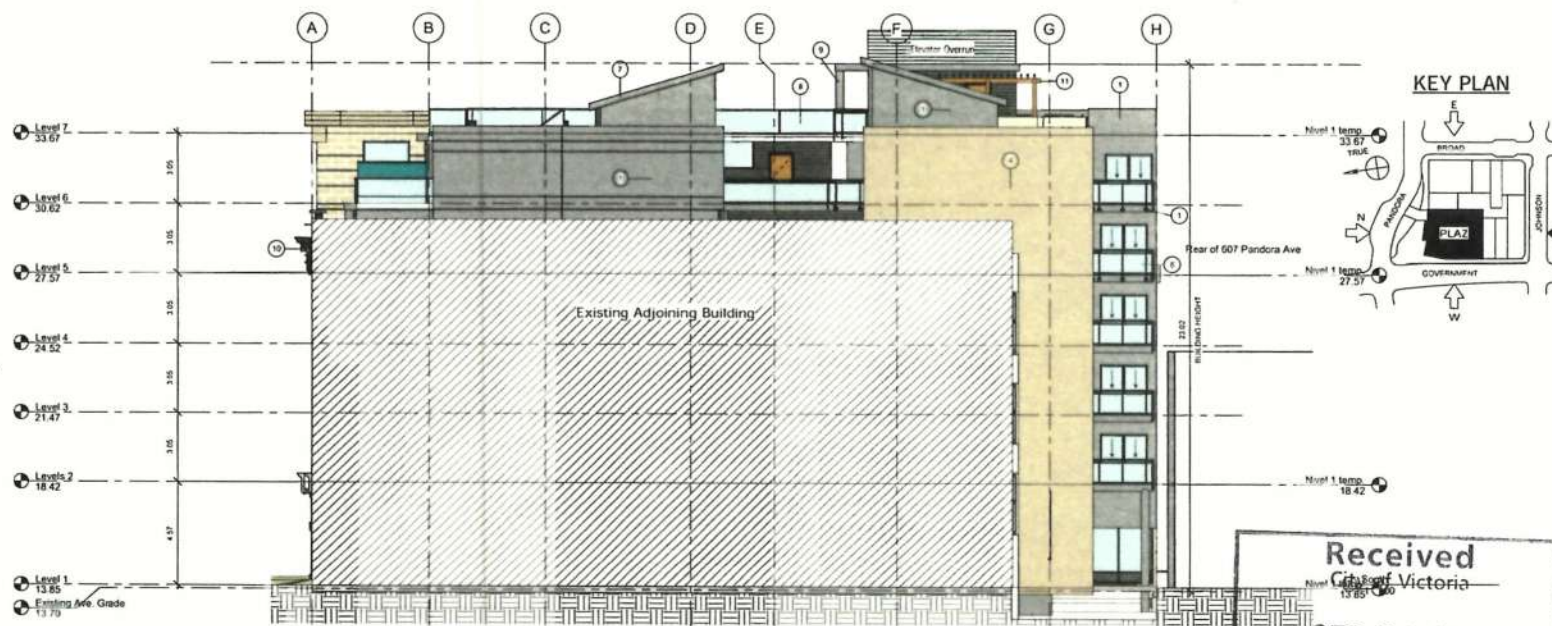
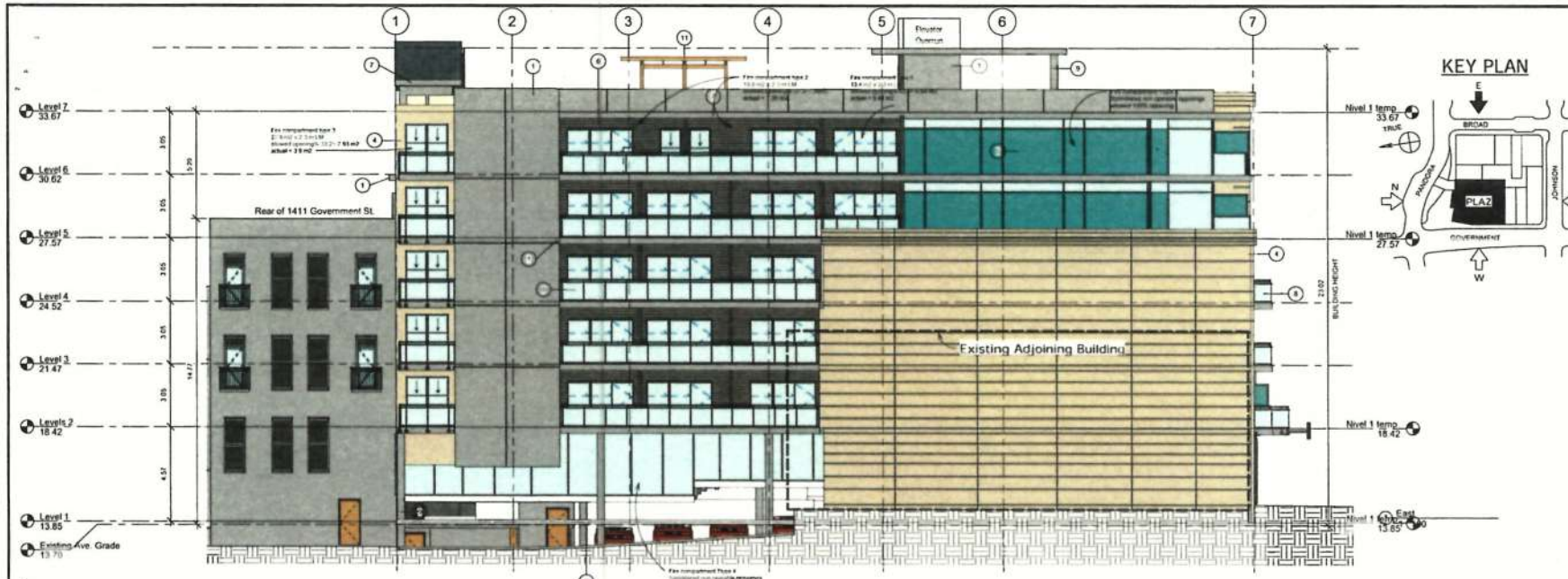
Received  
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New Level 5 & 6 Historical Restoration Levels 1, 2, 3 & 4  
 See Heritage Consultant Report for Detailed Information

9/21/2018 6:21:04 AM

**ERIC BARKER ARCHITECT inc.**  
 723 PANDORA AVENUE, VICTORIA  
 (250) 361-4555, Fax: (250) 361-1007

Metal Panel Siding	
Key	Key Text
1	Metal Panel Siding
2	Expansion & Contraction Finishes
3	Expanded Concrete
4	Concrete Cast-in-Place
5	Concrete Form
6	Insulation
7	Structural Steel
8	Structural & Cladding Members
9	Block Lumber
10	Concrete Formwork
11	Rebar Ties



No.	Date	Description
1	2017-10-06	Primary elevation color palette selected
2	2018-08-01	Final elevation drawings

**Development Permit**  
**Plaza Hotel**

**JULY 17, 2017**  
**THE RETAIL RESIDENTIAL**  
**BUILDING AT 603 PANDORA**

**East & South Elevations**

Project Number: 2191010  
 Date: Sept. 20, 2018  
 Project: Kvaal Condon  
 Designer:

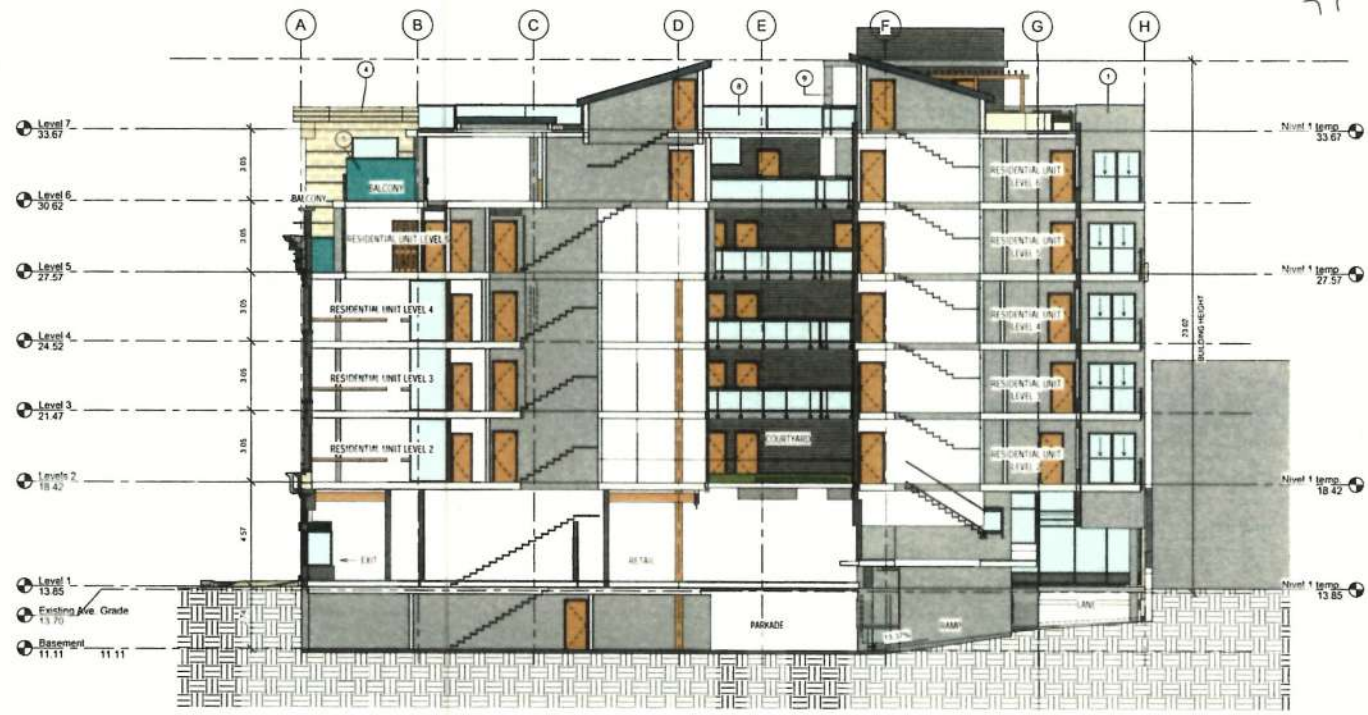
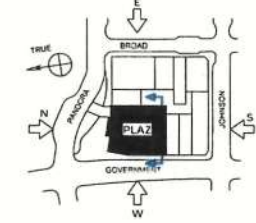
**A3.02**  
 Scale: 1/100

**Received**  
 City of Victoria  
**SEP 24 2018**  
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**ERIC BARKER ARCHITECT inc.**  
 117 HANCOCK AVENUE, VICTORIA,  
 B.C. V8S 4K6, CANADA TEL: 250.403.1888 FAX: 250.403.1889

**KEY PLAN**



① Stair Section 1  
 1/100

Metal Panel Siding	
Key Value	Key Text
1	Aluminum Panel Siding
2	Aluminum & Fiberglass Panels
3	Aluminum Fiberglass Panels
4	Aluminum Fiberglass Panels
5	Aluminum Fiberglass Panels
6	Aluminum Fiberglass Panels
7	Aluminum Fiberglass Panels
8	Aluminum Fiberglass Panels
9	Aluminum Fiberglass Panels
10	Aluminum Fiberglass Panels
11	Aluminum Fiberglass Panels
12	Aluminum Fiberglass Panels

No.	Date	Description
1	09/21/2018	Development Permit Application
2	09/21/2018	Development Permit Application
3	09/21/2018	Development Permit Application

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Stair Section & South  
 Courtyard Elevation

Project Number	218010
Date	09/21/2018
Project No.	18/10
Checked by	Checker

A3.03

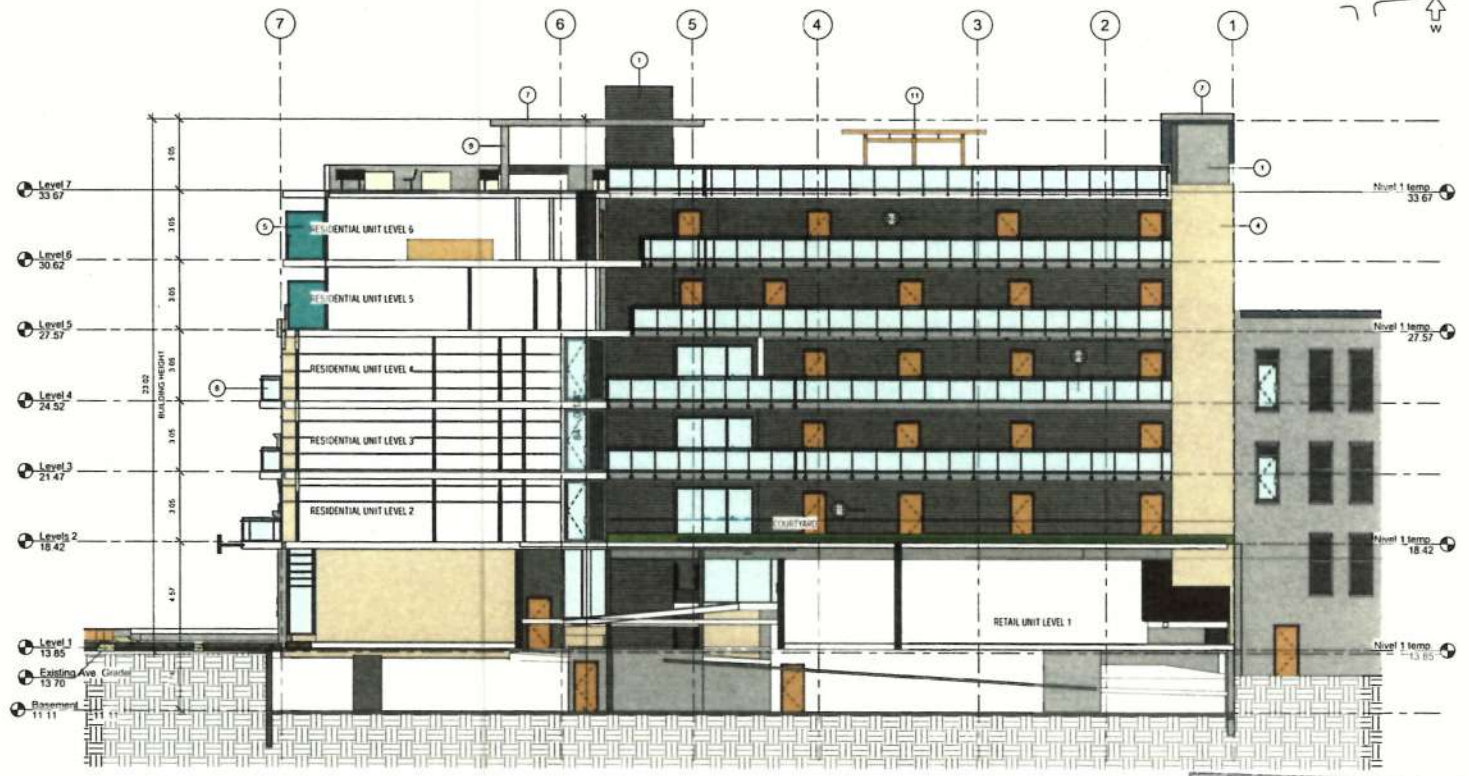
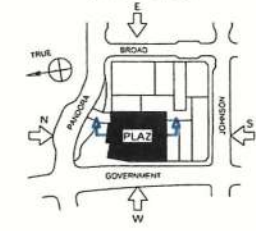
Scale 1:100

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**SEP 24 2018**  
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5/21/2018 6:21:12 AM

**ERIC BARKER ARCHITECT INC.**  
 377 HANCOCK AVENUE, VICTORIA  
 250-765-4545 Fax: 250-765-4540 VBCB

**KEY PLAN**



① Copy of Courtyard Section  
 1:100

Metal Panel Siding	
Key Note	Key Text
1	Metal Panel Siding
2	Aluminum & Copper Finishes
3	Formwork Concrete
4	Precast Concrete Panel
5	Concrete Finish
6	Formwork Concrete
7	Metal Panel
8	Aluminum & Glass Handrail
9	Small Concrete
10	Formwork Concrete
11	Wood Deck

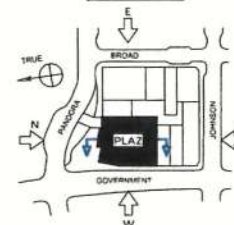
**Received**  
 City of Victoria  
  
**SEP 24 2018**  
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 Development Services Division

No.	Date	Description
1	5/21/2018	Development Permit Plaza Hotel
<p>Development Permit            Plaza Hotel</p>		
<p>JULY 17, 2017            THE RETAIL RESIDENTIAL            BUILDING AT 603 PANDORA</p>		
<p>East Courtyard Elevation</p>		
Project number	211010	
Date	Sept. 20, 2018	
Drawn by	JC/11	
Checked by	JC/11	
<p><b>A3.04</b></p>		
Scale	1:100	

8/21/2018 8:21:14 AM

**ERIC BARBER ARCHITECT INC.**  
 327 PANDORA AVENUE, VICTORIA  
 (250) 491-4844 Fax: (250) 476-0100

**KEY PLAN**



① Overhang Section 3  
 1" = 100'

Material	Key Fall
1. Metal Panel Siding	
2. Aluminum & Plastic Tiles	
3. Exposed Concrete	
4. Precast Concrete Panel	
5. Concrete Clam	
6. Hardie Fibreboard	
7. Insulation Panels	
8. Fiberglass & Glass Insulation	
9. Metal Finishes	
10. Masonry Heritage Facade	
11. Masonry Units	

No.	Date	Description
1		

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

West Courtyard Elevation

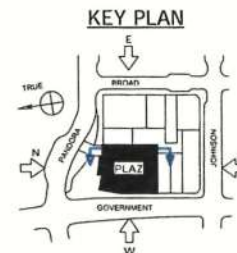
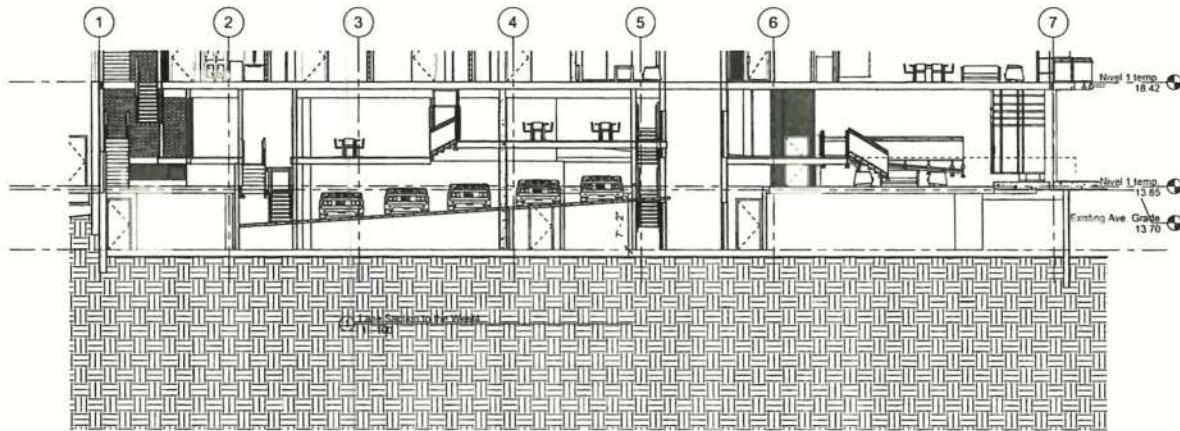
Project Number	211010
Date	Sept. 20, 2017
Project By	JCB/ST
Checked By	Chaplin

A3.05

Scale 1" = 100'

Received  
 City of Victoria  
 SEP 24 2018  
 Planning & Development Department  
 Development Services Division





9-21/2018 5 21 10 AM  
**ERIC BARKER ARCHITECT INC.**  
 121 PANDORA AVENUE, VICTORIA  
 (778) 561-4565 Fax (250) 456-1100

Keystone Legend	
Key Value	Keystone Text
1	Metal Panel Siding
2	Composite Panel Siding
3	Exposed Concrete
4	Brick Masonry
5	Opaque Glass
6	Richina Cladding
7	Metal Fascia
8	Aluminum & Glass Handrail
9	Metal Column
10	Retain Heritage facade
11	Wood Trellis



② Lane Section to the West  
 1:100

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**SEP 24 2018**  
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No.	Date	Description
28	2018 09 12	Revised date increased and add
26	2018 09 12	Revised date - mark the top of the
1		

Development Permit  
 Plaza Hotel

JULY 17, 2017  
 THE RETAIL RESIDENTIAL  
 BUILDING AT 603 PANDORA

Lane Section

Project number: 211610  
 Date: Sept. 20 2018  
 Drawn by: MJD  
 Checked by:

A4.02

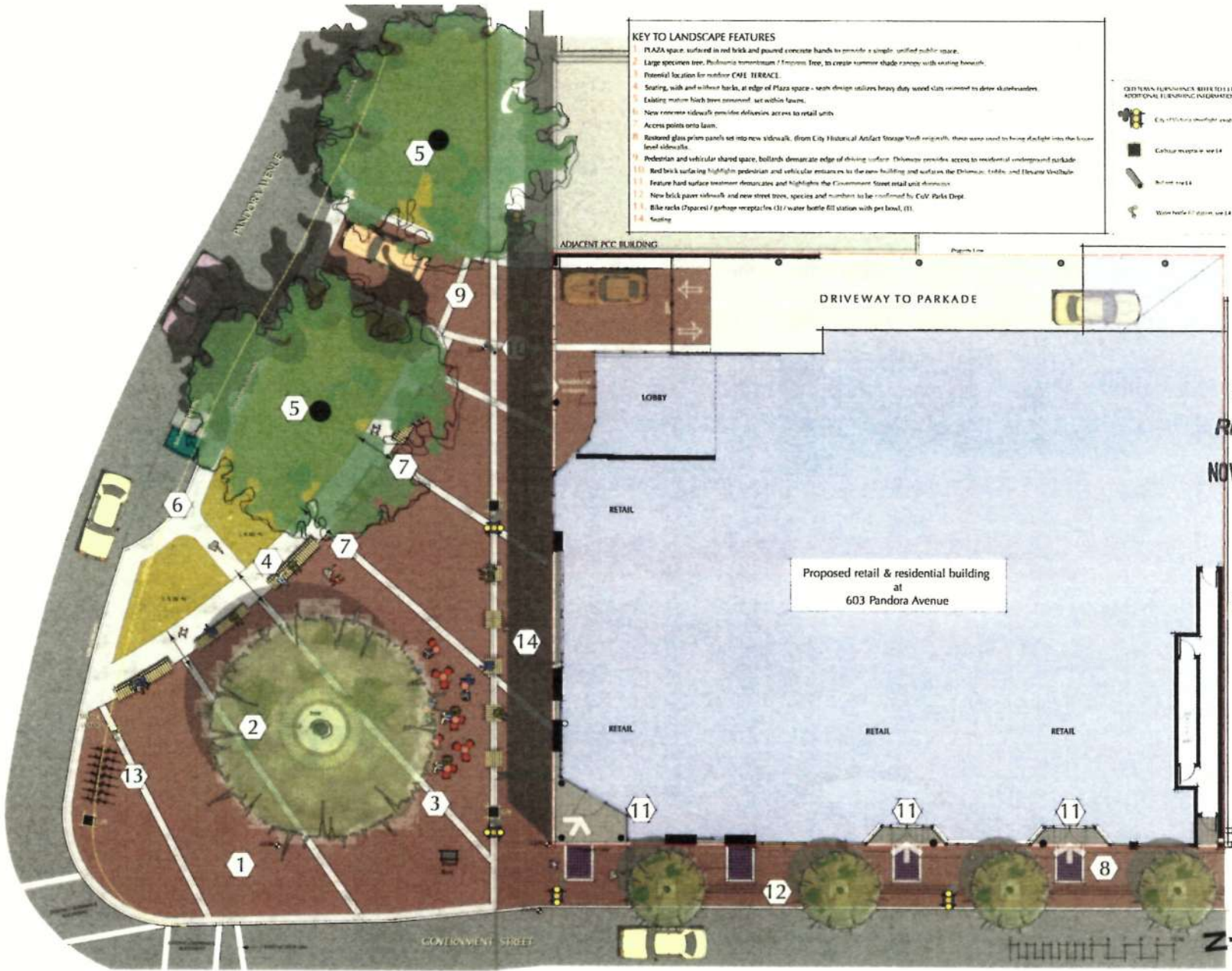
Scale: 1:100

**KEY TO LANDSCAPE FEATURES**

- 1 PLAZA space, surfaced in red brick and paved concrete bands to provide a simple, unified public space.
- 2 Large specimen tree, *Podocarpus totaraensis* / Emerald Tree, to create summer shade canopy with seating benches.
- 3 Potential location for outdoor CAFE TERRACE.
- 4 Seating, with and without backs, at edge of Plaza space - seat design utilizes heavy duty wood slats oriented to deter skateboarding.
- 5 Existing mature trees to be preserved, set within spaces.
- 6 New concrete sidewalk remains deliveries access to retail units.
- 7 Access points onto lawn.
- 8 Reused glass prism panels set into new sidewalk (from City Historical Artifact Storage Yards originally, these were used to bring daylight into the lower level sidewalks).
- 9 Pedestrian and vehicular shared space, bollards demarcate edge of driving surface. This space provides access to residential underground parking.
- 10 Red brick surfacing highlights pedestrian and vehicular entrances to the new building and surfaces the Driveway, Lobby, and Elevator Vestibule.
- 11 Feature hard surface treatment, demarcates and highlights the Government Street retail unit entrance.
- 12 New brick paved sidewalk and new street trees, species and numbers to be confirmed by CoV Parks Dept.
- 13 Bike racks (spaces) / garbage receptacles (1) / water bottle fill station with pet bowl, (1).
- 14 Seating.

**EXISTING FURNISHINGS REFER TO EXISTING ADDITIONAL FURNISHING INFORMATION**

- City Historical Artifact Storage
- Garbage receptacle
- Bench
- Water bottle fill station



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**RECEIVED DEEMED**  
NOV 01 2018 SEP 24 2018

- 01: 24 April 2018
- 02: 01: 24 April 2018
- 03: 02: 01: 24 April 2018
- 04: 03: 01: 24 April 2018
- 05: 04: 01: 24 April 2018
- 06: 05: 01: 24 April 2018
- 07: 06: 01: 24 April 2018
- 08: 07: 01: 24 April 2018
- 09: 08: 01: 24 April 2018
- 10: 09: 01: 24 April 2018
- 11: 10: 01: 24 April 2018
- 12: 11: 01: 24 April 2018
- 13: 12: 01: 24 April 2018
- 14: 13: 01: 24 April 2018

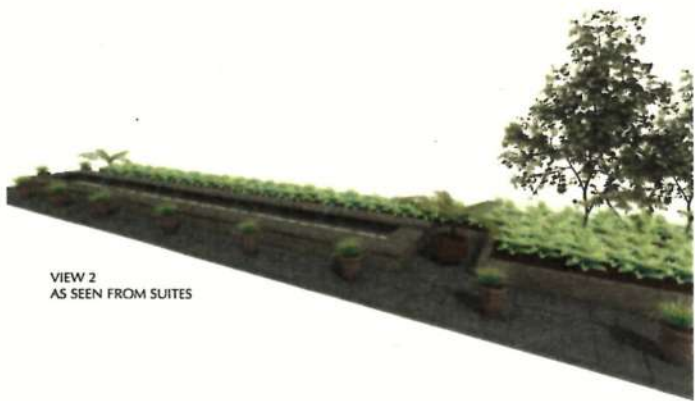
**PLAZA HOTEL**  
RETAIL / RESIDENTIAL BUILDING  
AT  
603 PANDORA AVENUE,  
VICTORIA, BC

**THE PLAZA**  
Public Space, Streetscape

REVISION: 20 Sept. 2018	Drawn: [Name]	Sheet: <b>L1</b>
Drawn: [Name]	Checked: [Name]	
Scale: 1:300		



PLAN  
 LEVEL 2  



FIELD	DATE
CONSTRUCTION	
REVISION	
PREPARATION	
APPLICATION	

PLAZA HOTEL  
 RETAIL / RESIDENTIAL BUILDING  
 AT  
 603 PANDORA AVENUE,  
 VICTORIA, BC

THE PLAZA  
 Level 2  
 Courtyard Garden

Date	10/14/2018	Sheet
Drawn	car	<b>L2</b>
Checked	sp	
Title	1:1000	
Copyright	© Small & Rossell Landscape Architects Inc.	

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 NOV 01 2018  
**DEEMED**  
 SEP 24 2018

**VIEWING TERRACE**

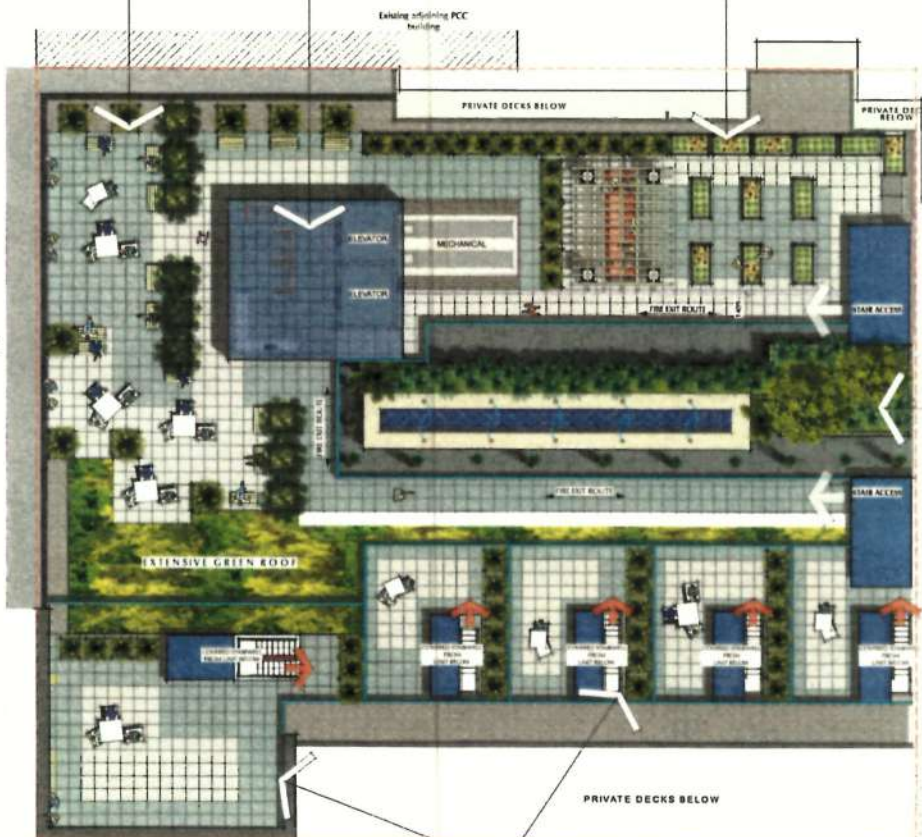
PERMANENT BENCH SEATS  
VARIETY OF SPACES FOR VISUOUS  
ACCESS TO EDGE OF ROOF FOR VIEWING

**COVERED SEATING SPACE**

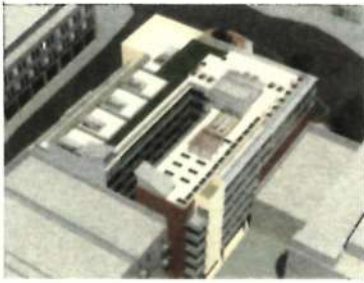
ACCESS FROM ELEVATORS  
BUILT UNDER PREPARED SPACE  
PARKING STRUCTURE

**ACTIVITY GARDEN**

RAISED BEDS FOR EDIBLE GARDENING  
COMPOST BINS FOR RECYCLING GARDEN CLIPPINGS  
PERCHES FOR SHADZ  
LONG TABLE FOR WASHING PRODUCE AND STORES



**COURTYARD BELOW ON LEVEL TWO**



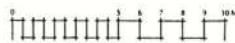
Revision 1: 10 October 2012  
Minor updates to landscape plan  
Revision 2: 20 June 2018  
Level 7 roof top garden updated

ISSUED FOR	DATE
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<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> EXHIBITATION	
<input checked="" type="checkbox"/> APPLICATION	2018.09.24

**PLAZA HOTEL**  
RETAIL / RESIDENTIAL BUILDING  
AT  
603 PANDORA, VICTORIA, BC

**LEVEL 7  
ROOF TOP GARDENS**

REVISED	DATE	BY	SHEET
Drawn	04/07/2017	car	<b>L3</b>
Checked			
Scale	1:100		
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