

I. REPORTS OF COMMITTEES

I.1 Committee of the Whole

I.1.d Report from the December 13, 2018 COTW Meeting

I.1.d.a Development Permit with Variances Application No. 00054 for 1800 Quadra Street (North Park)

Moved By Councillor Alto
Seconded By Councillor Potts

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00054 for 1800 Quadra Street, in accordance with:

1. Plans date stamped November 14, 2018.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the building setback along North Park Street from 6.0m to 0.58m
 - ii. increase the horizontal distance of the structure on one plane from a maximum of 30m to a maximum of 41.93m.
3. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY

E.4 Development Permit with Variances Application No. 00054 for 1800 Quadra Street

Moved By Councillor Alto

Seconded By Councillor Collins

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00054 for 1800 Quadra Street, in accordance with:

1. Plans date stamped November 14, 2018.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the building setback along North Park Street from 6.0m to 0.58m
 - ii. increase the horizontal distance of the structure on one plane from a maximum of 30m to a maximum of 41.93m.
3. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of December 13, 2018

To: Committee of the Whole **Date:** November 29, 2018

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: Development Permit with Variances Application No. 00054 for 1800 Quadra Street

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00054 for 1800 Quadra Street, in accordance with:

1. Plans date stamped November 14, 2018.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the building setback along North Park Street from 6.0m to 0.58m
 - ii. increase the horizontal distance of the structure on one plane from a maximum of 30m to a maximum of 41.93m.
3. The Development Permit lapsing two years from the date of this resolution."

EXECUTIVE SUMMARY

The purpose of this report is to present Council with updated information and recommendations for the Development Permit with Variances Application for the property located at 1800 Quadra Street. The revised proposal is to construct a 15.5 square metre addition to the south elevation of the existing church. The requested variances are related to the minimum setback of a building and the maximum horizontal distance of a structure on one plane.

The application was first considered by Council on February 8, 2018 (see attached Committee of the Whole report) and Council passed the following motion:

1. *"Work with the applicant to reduce the prominence of the proposed addition and reduce its impacts on the public street, and to bring the revised proposal back to a future Committee of the Whole meeting;*
2. *request that the applicant provide any information they have on the older portion of the building;*
3. *request the applicant to engage the CALUC on the proposed design."*

In response, the applicant has revised the design to reduce the impact of the proposed addition on North Park Street and reduce its prominence in relation to the original portion of the building, which was constructed circa 1912. The entry vestibule to the church, constructed when the church was built circa 1978, is proposed to be removed and the entry recess enclosed with an addition. The proposed addition is a continuation of the 1978 church architecture, extending the horizontal lines and materials of the walls, window openings and cedar fascia to the older building. A new building entrance would be constructed several meters to the east. The key revisions to the proposal are as follows:

- the proposed addition to the church has been reduced from 60 square metres to 15.5 square metres
- the proposed addition no longer requires the removal of trees along the North Park Street frontage
- the streetwall of the church, generally at a distance of 2.74m from the lot line, would remain set back further from North Park Street than the 1912 building
- the original base at the corner of the east elevation of the 1912 building is proposed to be exposed and repaired after removal of the newer concrete stairs and planter box
- the proposed exterior finishes for the addition are brick cladding, vinyl windows and doors with tinted glazing, an aluminum canopy, concrete steps, metal flashings and cedar siding to match existing exterior finishes of the church
- the requested variances are a decrease in the south setback from 6.0m to 0.58m, and an increase in the maximum horizontal distance of a structure along one plane from 30.0m to 41.93m. A decrease in open site space (%) is no longer requested as a variance.

Minimum Building Setback

The applicant is proposing a variance to reduce the minimum setback of a building from 6.00m to 0.58m from the south lot line. Staff support the proposed variance given consideration of the existing condition, and that the proposed addition is generally consistent with the applicable design guidelines for Development Permit Area 3 (HC): Core Mixed-Use Residential in the *Official Community Plan* (OCP). The building setback of 0.58m is measured from the property line to the proposed stairs, which are approximately 2.19m in width facing the street frontage. For the remainder of the street frontage, the church streetwall, which is generally 2.74m from the property line, is maintained which allows for some pedestrian movement and landscape between the building and sidewalk. The 1912 building remains closer to North Park Street, distinct from the newer additions and its south east corner gains prominence through removal of the 1978 stairs and canopy. The proposed stairs, as part of the addition, address the street and provide an identifiable building entrance.

Maximum Horizontal Distance of a Structure Along One Plane

The applicant is proposing a variance to increase the maximum horizontal distance of a structure from 30.00m to 41.93m. The increase is related to enclosing the existing south entry recess of the church with an addition that would add approximately 4.42m of building frontage to the existing plane of the church. Staff support the proposed variance given consideration of the existing condition, and that the proposed addition is generally consistent with the applicable design guidelines. The design guidelines encourage articulation of building facades and rich detailing in order to provide a high-degree of public interest along streets. To add visual interest along the length of the proposed south elevation of the structure, the applicant has proposed the inclusion of windows, a pedestrian entrance with lit canopy, and a masonry planter with ornamental plantings.

Data Table

The following data table compares the proposal with the previous proposal considered at the February 8, 2018 Committee of the Whole meeting and the existing R3-C Zone, Central Area Residential District. An asterisk is used to identify where the proposal would require variances.

Zoning Criteria	Proposal Considered at February 8, 2018 Council Meeting	Current Proposal	R3-C Zone
Setbacks (m) – minimum: South - North Park Ave.	0.40*	0.58*	6.00
Horizontal distance of a structure extending continuously along one plane (m) – maximum	38.20*	41.93*	30.00

The applicant has provided scans of architectural drawings (see attached), which show plans for alterations to The Knights of Pythias Hall at 840 North Park Street, now consolidated with the Glad Tidings Pentecostal Church at 1800 Quadra Street.

The Knights of Pythias Hall at 840 North Park Street/1800 Quadra Street was originally constructed in 1912. The subject property is not registered or designated; however, a Statement of Significance that was on file at the City has been attached as information.

The applicant has also responded to Council's request to engage the CALUC on the proposed design (see attached correspondence dated October 9 and 11, 2018 and Letter to Mayor and Council dated October 17, 2018).

Respectfully submitted,



Moira Wilson
Senior Planner – Urban Design
Development Services Division



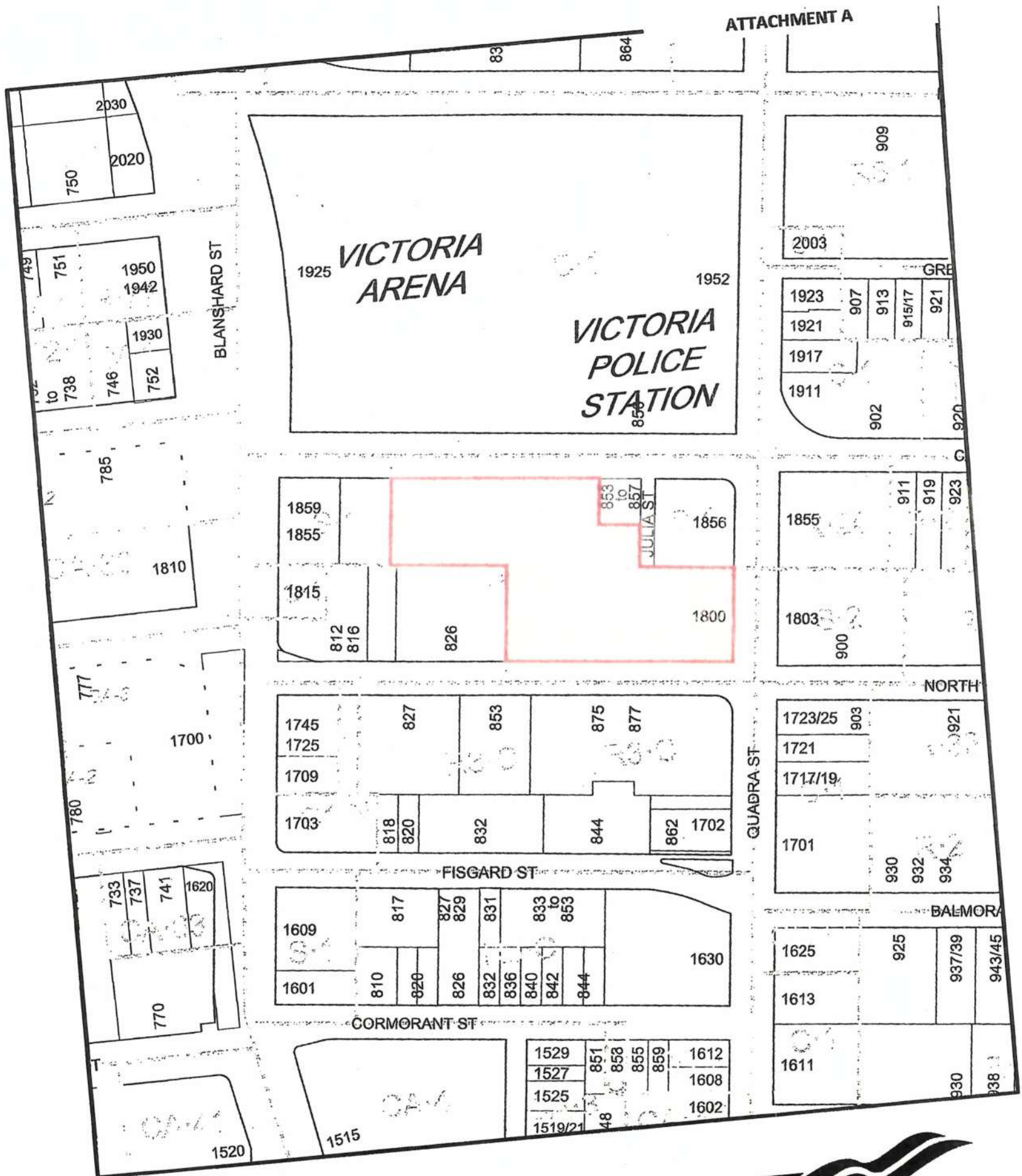
Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:


Date: Dec 4, 2018

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Letter from applicant to Mayor and Council dated October 17, 2018
- Attachment D: Plans date stamped November 14, 2018
- Attachment E: Committee of the Whole Report dated February 8, 2018
- Attachment F: Minutes from the Council meeting dated February 8, 2018
- Attachment G: Architectural drawings from applicant of previous alterations dated 1965 and date unknown, as information
- Attachment H: Statement of Significance for 840 North Park Street / 1800 Quadra Street, as information
- Attachment I: Correspondence dated October 9 and October 11, 2018



1800 Quadra Street
Development Permit with Variance #00054





1800 Quadra Street
Development Permit with Variance #00054





17 October 2018

City of Victoria
#1 Centennial Square
Victoria, British Columbia

Attention: Moira Wilson, Senior Planner

Re: Revised Development Permit Application – 1800 Quadra Street

Dear Moira,

Please find enclosed revised application for a development permit for Glad Tidings Church at 1800 Quadra Street. In the previous submission the church was aiming to create a better functioning building by adding a new lobby (67 sqm.) along the North park frontage of the building and was asking for a variance in setback. After comments from City of Victoria staff and the North park neighborhood association we have revised our design. In the current design we are connecting the old assembly hall and church building by adding a small lobby (only 15.5 sqm.) within the existing setback. The R3-C zone requires a setback of 4.5 meters from a street boundary, but the existing setback of the church building is 2.74m. We are not making any changes in existing setback and total number of existing trees. We are relocating the exit door off North park Ave. with additional landscaping.

This addition creates better functional space for the church. It encloses an exterior staircase that is hidden away from the street and is not safe from a CPTED point of view. The church is proposing to locate all of their public washrooms to this side of the building and an interior connection to the new washrooms will be required. The existing connection is through a 3 foot wide corridor.

The cedar siding along the fascia on the existing façade is also in need of repair and refurbishment. By creating this addition at this location, the church can create a new cedar fascia that is identical to the existing fascia. The materials and finishes to the addition will match the existing building.

We trust that this revised Development Permit application request is supportable.

Our proposal meets all other R3-C zoning bylaw requirements. Should you have any questions regarding our proposal, please contact our office at 250-360-2888.

Yours truly,

Alan Lowe, Architect AIBC
Alan Lowe Architect Inc.

RE-ISSUED FOR DEVELOPMENT PERMIT

1800 QUADRA STREET
VICTORIA, BRITISH COLUMBIA

PROJECT NUMBER: 17-490

16 OCT., 2018

alan  architect inc.


#118 - 21 Erie Street, Victoria, British Columbia
t 250.360.2888

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project name:

sheet / revision:

3 FOR CP AMENDMENT APPLICATION	18 Oct. '18
2 FOR CP AMENDMENT APPLICATION	4 Dec. '17
1 FOR DEVELOPMENT PERMIT	30 Sept. '17
No. Issued / Revision	Date

alan  architect inc.

203 - 1118 Government St., Victoria, British Columbia t 250.360.2888

and

GLAD TIDINGS
PENTECOSTAL CHURCH

1800 QUADRA ST.

drawing title

COVER SHEET

project no.: 17-490

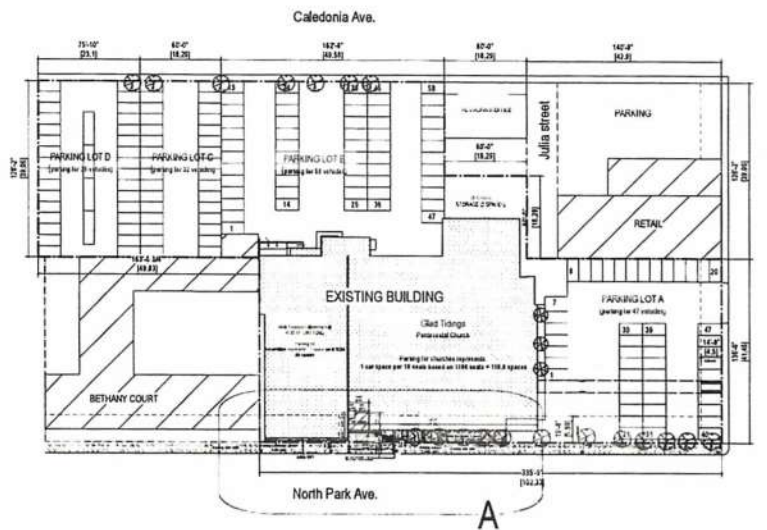
date	Oct. 10 2018	scale	AS NOTED
checked by	LOWE	drawn by	RM
sheet no.			

A0.0

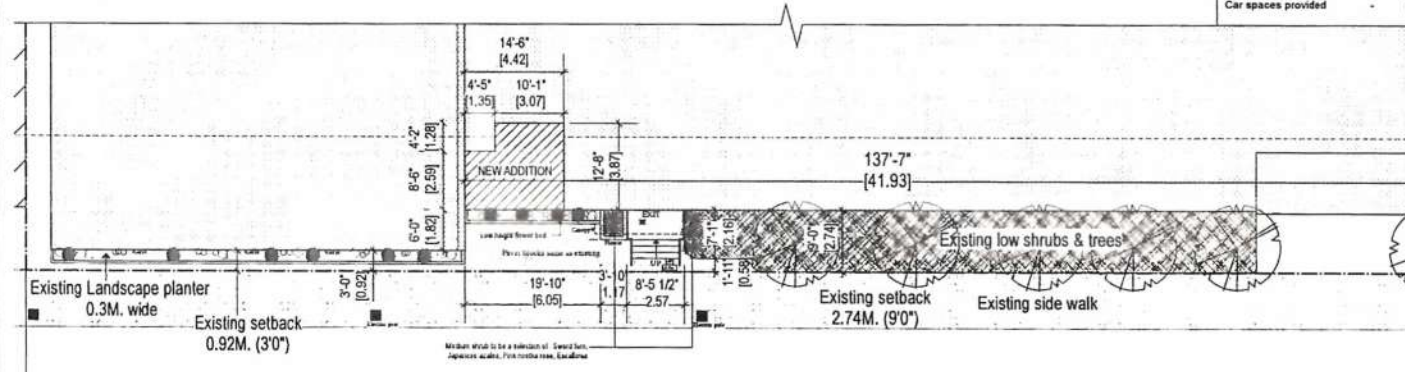
Received
City of Victoria

NOV 14 2018

Planning & Development Department
Development Services Division



1 SITE PLAN
A1 SCALE 1/8"



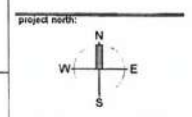
2 ENLARGE SITE PLAN AT "A"
A1 SCALE 1/16"

North Park Ave.

PROJECT DATA	
Legal Address:	Lot A, Lots 2 & 3, Plan 7018 and Lot A, Plan 18549 Lots 23, 23A (Lot 3 and Lot 4 Caledonia Ave.)
Civic Address:	1800 Quadra street, Victoria B.C.
ZONING DATA	
Zone	R3-C
Site Area	86,962.00 sqft. (8079.00 sqm.)
Permissible Site coverage	50%
Existing Building foot print (including church and assembly hall)	27,638.00 sqft. (2567.65 sqm.)
Existing Site Coverage	31.80%
Proposed addition	167.00 sqft. (15.50 sqm.)
Proposed building foot print	27,805.00 sqft. (2583.15 sqm.)
Proposed site coverage	31.97%
Existing total area of church	46,364.00 sqft. (4307.35 sqm.)
Existing floor space ratio	0.53
Proposed total area of church	46,531.00 sqft. (4322.87 sqm.)
Proposed floor space ratio	0.53
Existing open site space	02.29%
Proposed open site space	02.42%
Existing parking space	65.91%
Proposed parking space	65.75%
SETBACKS:	
Required at street boundary	19'8" (6.0 M)
Existing setback at North Park	9'0" (2.743 M)
Proposed setback at North Park	9'0" (2.743 M)
Existing total seats	1107 seats
Proposed total seats	1107 seats
PARKING CALCULATION	Parking for church represents: 1 car space per 10 seats. Parking for assemblies represents: 1 car space per 6 sqm. (Area of Multi purpose fellowships hall - 4230 SF (393 SQM.))
Car spaces required	(110.6 + 65) = 176 Cars
NOTE: 50% SPACES PERMITTED IN THIS ZONE, THEREFORE 88 CARS REQUIRED.	
Car spaces provided	173 Cars

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continued...



Issue / Revisions:

1. REVISION BY ARCHITECT	16 Nov. 18
2. FOR INFORMATION APPLICATION	16 Dec. 18
3. FOR INFORMATION APPLICATION	16 Dec. 18
4. FOR INFORMATION PERMIT	20 Dec. 18
5. FOR INFORMATION PERMIT	20 Dec. 18
6. FOR INFORMATION PERMIT	20 Dec. 18

alan lowe architect inc.

8110-21 Elm Street
Victoria, British Columbia
V8M 1A8
250.360.2384

LANDSCAPE DETAILS

- Medium shrub to be a selection of:
Sword fern, Japanese azalea,
Pink nortia rose, Escallonia
- Low height flower bed (same as the
existing flower bed which is in front of
assembly hall)

PAVER DETAILS

Same as existing side walk (concrete paver blocks)

LIGHTING DETAILS

- Canopy (soffit) light

REVISIONS TO -
GLAD TIDINGS
PENTECOSTAL CHURCH
1800 QUADRA STREET
VICTORIA B.C.

SITE PLAN

Received
City of Victoria

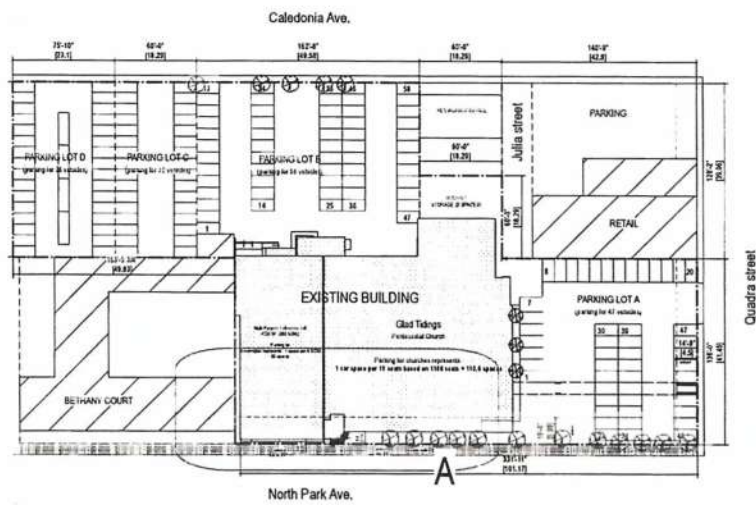
NOV 14 2018

Planning & Development Department
Development Services Division

project no.:	17-490
date	13 Nov. 2017
drawn by	LOWE, G. & W. H.
checked by	LOWE, G. & W. H.
scale	AS NOTED

A1

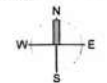
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PROJECT DATA

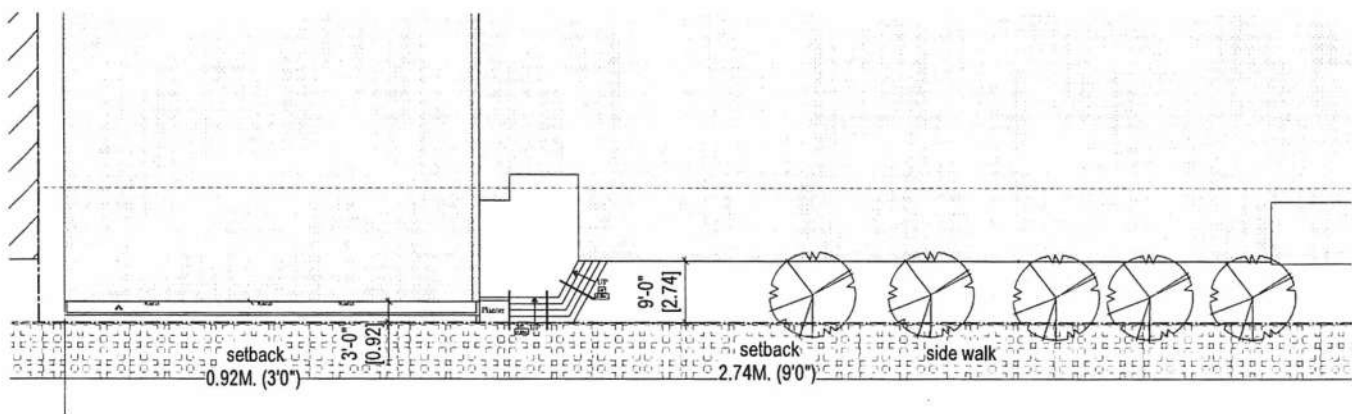
Legal Address:	Lot A, Lots 2 & 3, Plan 7018 and Lot A, Plan 18549 Lots 23, 23A (Lot 3 and Lot 4 Caledonia Ave.)
Chvic Address:	1800 Quadra street, Victoria B.C.
ZONING DATA	
Zone	- R3-C
Site Area	- 86,962.00 sqft.
Permissible Site coverage	- 50%
Existing Building foot print (including church and assembly hall)	- 27,638.00 sqft.
Existing Site Coverage	- 31.80 %
Existing total area of church	- 46,364.00 sqft.
Existing floor space ratio	- 0.53
Existing open site space	- 58.20%
Existing total seats	- 1107 seats
PARKING CALCULATION	- Parking for church represents: 1 car space per 10 seats. Parking for assemblies represents: 1 car space per 6 sqm. (Area of Multi purpose fellowships hall - 4230 SF, (393 SQM.))
Car spaces required	- $(110.6 + 65) = 176$ Cars
NOTE: 50% SPACES PERMITTED IN THIS ZONE, THEREFORE 88 CARS REQUIRED.	
Car spaces provided	- 173 Cars

project north:



Issue / revisions:

1 EXISTING SITE PLAN
 SCALE 1/16



2 ENLARGE SITE PLAN AT "A"
 SCALE 1/16

North Park Ave.

Received
 City of Victoria

 NOV 14 2018
 Planning & Development Department
 Development Services Division

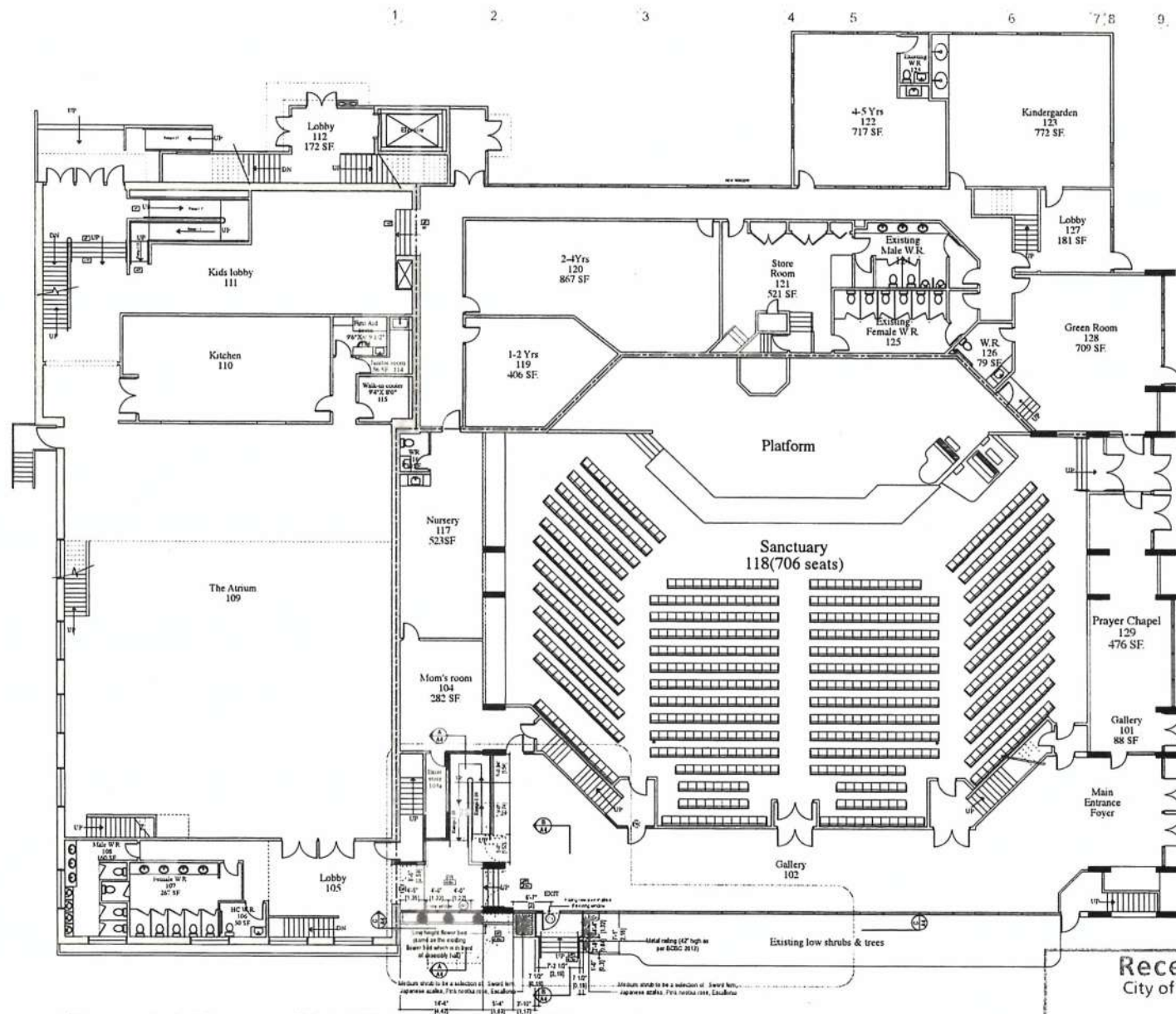
3 FOR UP INDEPENDENT APPLICATION	18 Oct. '18
2 FOR UP INDEPENDENT APPLICATION	4th Dec. '17
1 FOR DEVELOPMENT PERMIT	25 Sept. 17
For: Structural Revision	DAK

alan lowe architect inc.
 #119-33 Elm Street
 Victoria, British Columbia V8W 2E4
 Tel: 250.560.2544

PROPOSER:
 RENOVATIONS TO -
 GLAD TIDINGS
 PENTECOSTAL CHURCH
 1800 QUADRA STREET
 VICTORIA, B.C.
 DRAWING NO.
 EXISTING SITE PLAN

project no.:	17-490
date:	15 Nov 2017 scale: 1/32" = 1'-0"
checked by:	LOWE / m.wiley
drawn by:	DAK

A1.1



WALL DETAILS -

---	EXISTING WALL TO BE REMOVED
---	EXISTING WALL TO REMAIN
---	EXISTING FIRE WALL TO REMAIN
---	NEW PARTITION WALL

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Project North:

 Issue / Revisions:

3. FOR UP REVISION APPLICATION	15 Dec. 18
2. FOR UP REVISION APPLICATION	4 Dec. 17
1. FOR DEVELOPMENT PERMIT	20 June 17
Rev. Issued/Revised	Date

alan lowe architect inc.
 8118 - 21st Street
 Victoria, British Columbia
 V8P 2C2
 1.250.300.2882

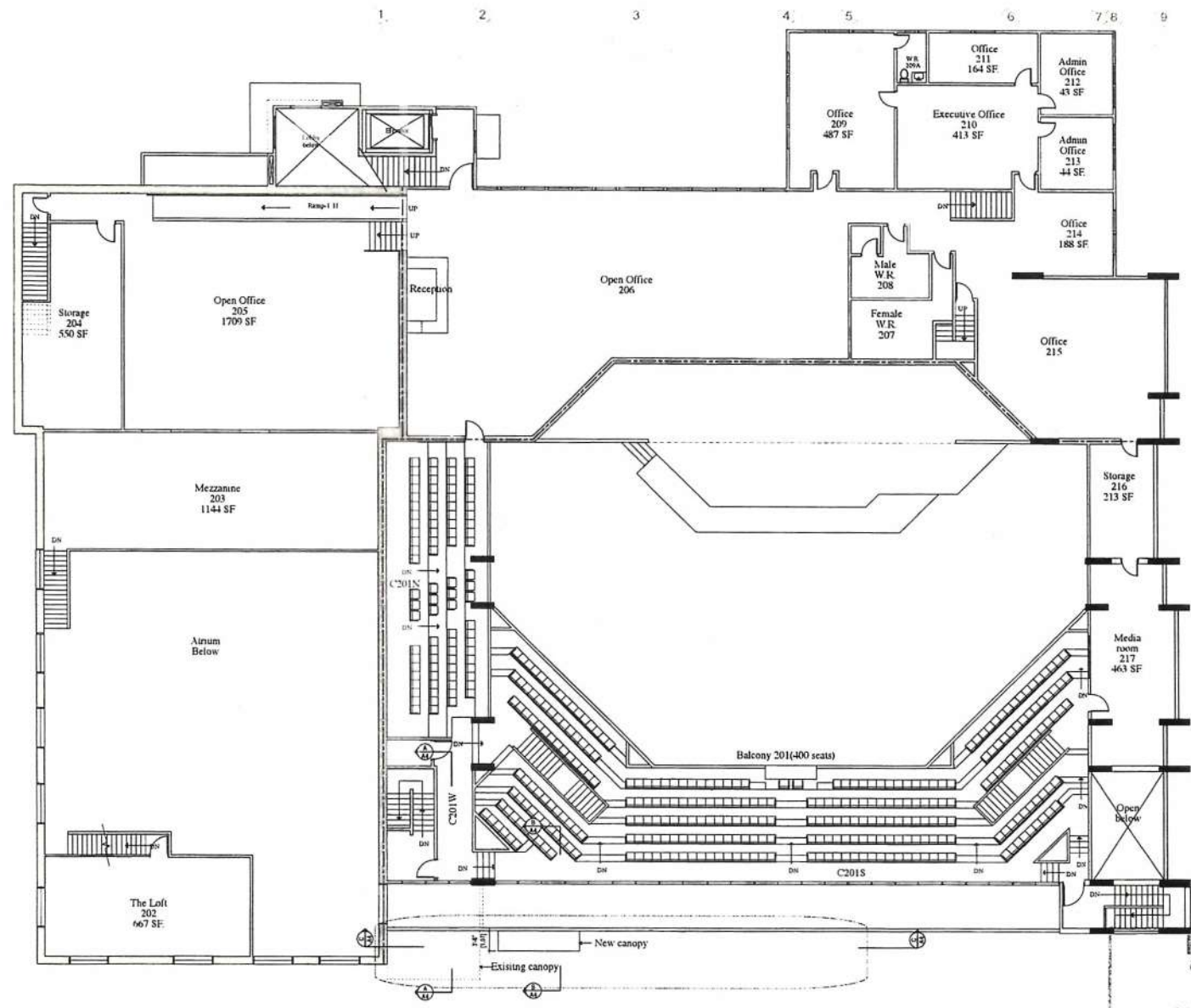
REVISIONS TO -
GLAD TIDINGS PENTECOSTAL CHURCH
 10100th St
 VICTORIA, BC
MAIN FLOOR PLAN

project no.:	17-490
date:	13 June 2017
scale:	1/100
checked by:	LOWE
drawn by:	LOWE
sheet no.:	

A2.1

Received
 City of Victoria
 NOV 14 2018
 Planning & Development Department
 Development Services Division

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WALL DETAILS:-

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING FIRE WALL TO REMAIN
- NEW PARTITION WALL

project north:

ISSUE / REVISIONS:

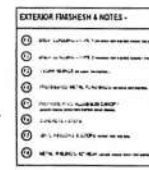
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1	FOR DEVELOPMENT PERMIT	23 Sep. 17
2	FOR DEVELOPMENT PERMIT	4 Dec. 17
3	FOR DEVELOPMENT PERMIT	14 Dec. 18

alan iowa architect inc.
 4115 - 21 Ave. South
 Victoria, British Columbia V8N 2A4

RENOVATIONS TO:
**GLAD TIDINGS
 PENTECOSTAL CHURCH**
 1100-1101 STREET
 VICTORIA, B.C.
**SECOND FLOOR
 PLAN**

project no.: 17-490
 date: 15 Nov. 2017 scale: 1/100
 prepared by: LONN, Gwynn
 checked by: A2.2

Received
 City of Victoria
NOV 14 2018
 Planning & Development Department
 Development Services Division



Continuing existing band on other side too

3
A-3.1 SCALE 1/8"

14'-6" [4.42]

3'-10" [1.17]

8'-5 1/2" [2.57]

2'-4" [0.71]

NEW ADDITION

PROPOSED

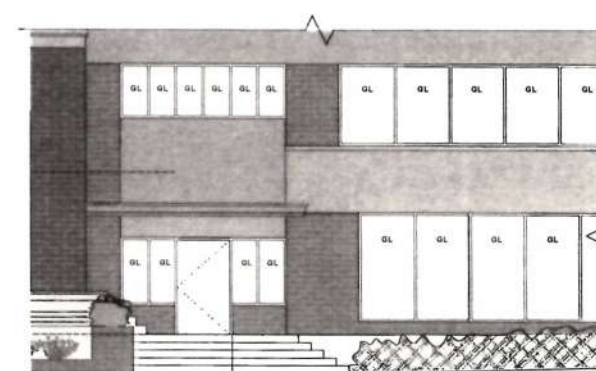
NEW ENTRY

NEW WINDOWS

NEW DOOR

GL

3 DETAIL AT "A"
A3.1 SCALE 1/4"



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City of Victoria

NOV 14 2018

Planning & Development Department
Development Services Division

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Journal of Management Education

project results

1997年12月1日

3	FOR SP AMENDMENT APPLICATION	18 Oct. '18
2	FOR SP AMENDMENT APPLICATION	4 Dec. '17
1	FOR DEVELOPMENT PERMIT	20 Sept. '15
No. Issued / Revisions		Date

alan lowe architect inc.

8114-21 Eve Jones
Victoria, British Columbia

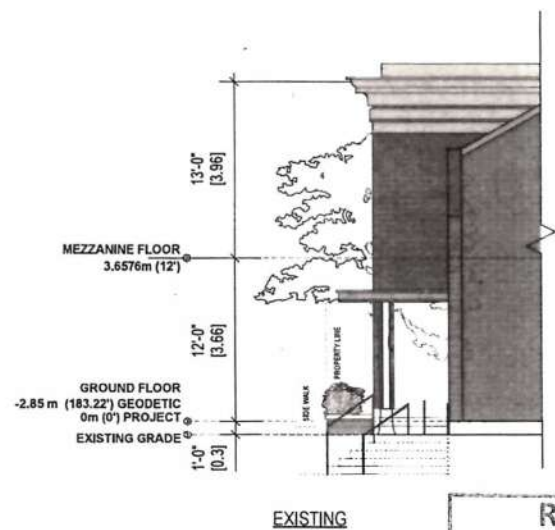
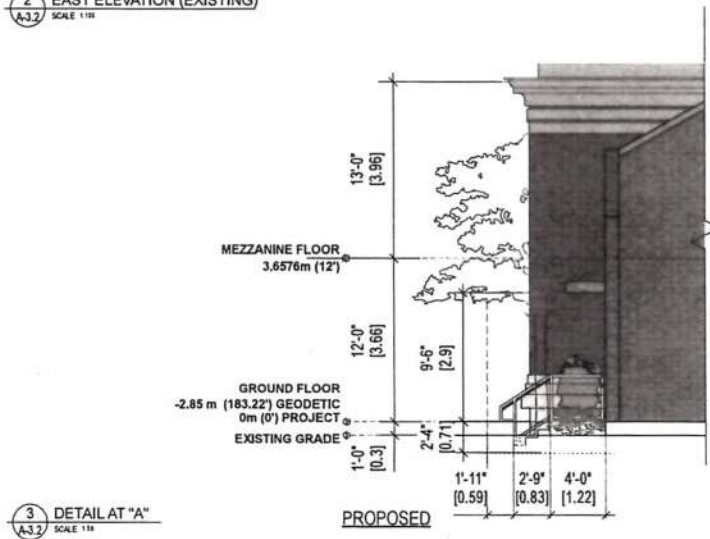
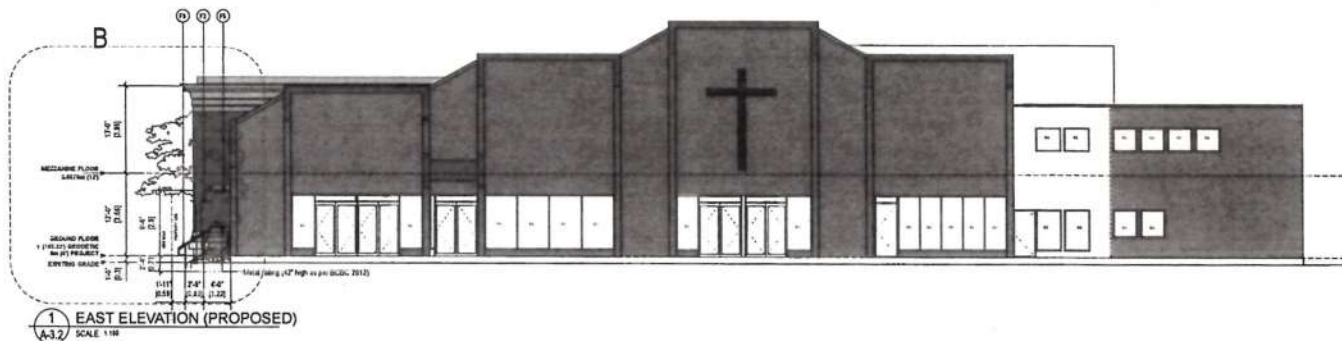
**RENOVATIONS TO
GLAD TIDINGS PENTECOSTAL CHURCH**
4100 CENTRAL AVE.
LUTHER, IL.

SOUTH ELEVATION

project no.: 17-490

date	21 May 2018	scale	AS NOTED
checked by	LOAN	drawn by	PH
sheet no.			

A-3.1



EXTERIOR FINISHES & NOTES -

(1)	SPRINKLER GLASSING - TYPE 1 (see note on page 10)
(2)	SPRINKLER GLASSING - TYPE 2 (see note on page 10)
(3)	CEILING FINISHES - (see note on page 10)
(4)	PAINTED METAL FINISHES - (see note on page 10)
(5)	PREFABRICATED ALUMINUM GLASSING - (see note on page 10)
(6)	GLASSING - (see note on page 10)
(7)	WALL FINISHES & COLORS - (see note on page 10)
(8)	METAL FINISHES - (see note on page 10)

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Project No. 17-490

Scale 1/16

3. FOR OF IMPROVEMENT APPLICATION 18 Oct. 18
2. FOR OF IMPROVEMENT APPLICATION 4 Oct. 17
1. FOR DEVELOPMENT PERMIT 23 Sept. 17
Mr. Michael J. Davidson Date

alan lowe architect inc.
#114 - 21 Elm Street
Victoria, British Columbia
V8P 2G6
1.250.462.2886

REVISIONS TO
GLAD TIDINGS PENTECOSTAL CHURCH
GLAD TIDINGS PENTECOSTAL CHURCH
GLAD TIDINGS PENTECOSTAL CHURCH

Working title
EAST ELEVATION

project no.: 17-490
Date: 21 May 2018 Scale: 1/16" = 1'-0"
Checked by: LORIE Drawn by: RIA
Sheet no.

A-3.2

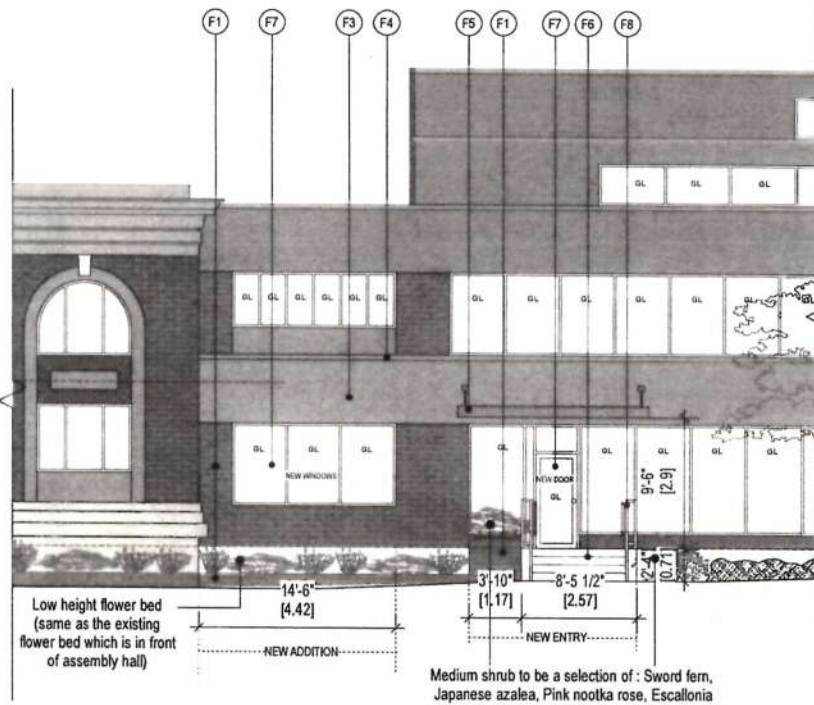
Received
City of Victoria
NOV 14 2018
Planning & Development Department
Development Services Division

Received
City of Victoria
NOV 14 2018

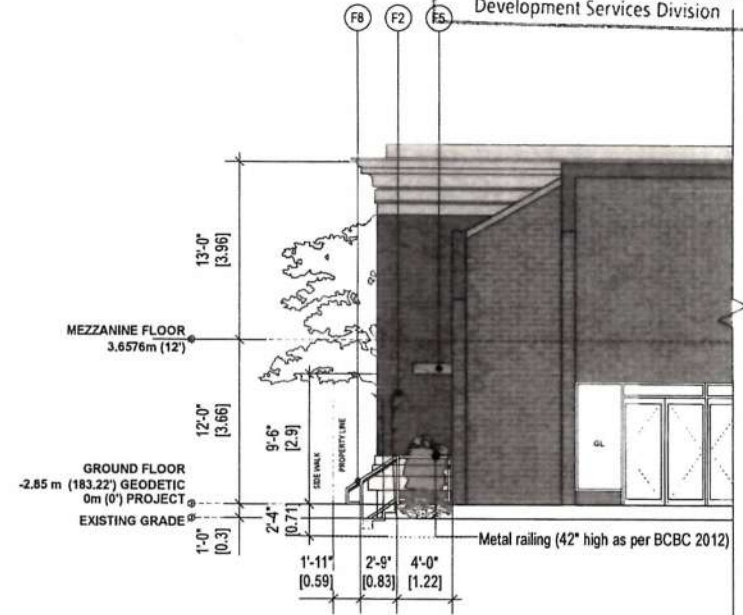
Planning & Development Department
Development Services Division

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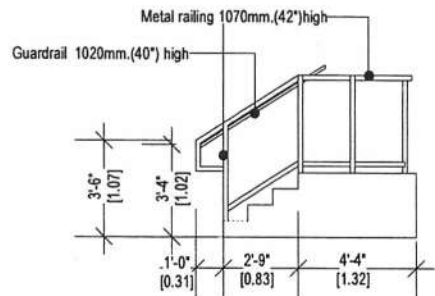
ALAN LOWE



1 PARTIAL SOUTH ELEVATION (PROPOSED)
A-3.3 SCALE: 1/8"

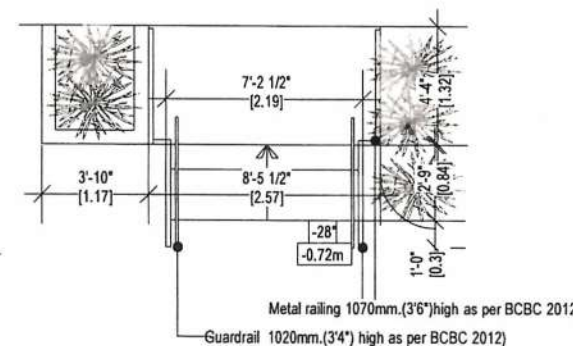


2 PARTIAL EAST ELEVATION (PROPOSED)
A-3.3 SCALE: 1/8"



3 RAILING DETAILS
A-3.3 SCALE: 1/8"

SIDE ELEVATION



PLAN

EXTERIOR FINISHES & NOTES -

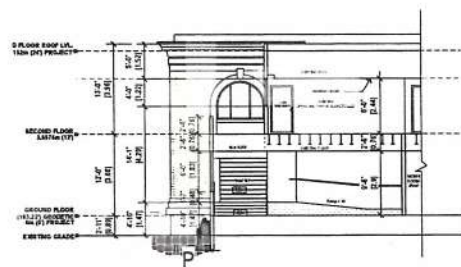
- (F1) BRICK CLADDING - TYPE 1 (TO MATCH WITH EXISTING CHARLEY BUILDING)
- (F2) BRICK CLADDING - TYPE 2 (TO MATCH WITH EXISTING ASSEMBLY HALL)
- (F3) CEDAR SIDINGS (TO MATCH THE EXISTING)
- (F4) PREFINISHED METAL FLASHINGS- (TO MATCH WITH EXISTING)
- (F5) PREFABRICATED ALUMINUM CANOPY (COLOUR SHOULD MATCH WITH EXISTING CEDAR SIDINGS)
- (F6) CONCRETE - STEPS
- (F7) VINYL WINDOWS & DOORS (MATCH WITH EXISTING)
- (F8) METAL RAILINGS- 42" HIGH (COLOUR SHOULD MATCH WITH EXISTING)

RENOVATIONS TO
GLAD TIDINGS PENTECOSTAL CHURCH
1100-21 GLEN DRIVE
VICTORIA, BC V8M 1G8

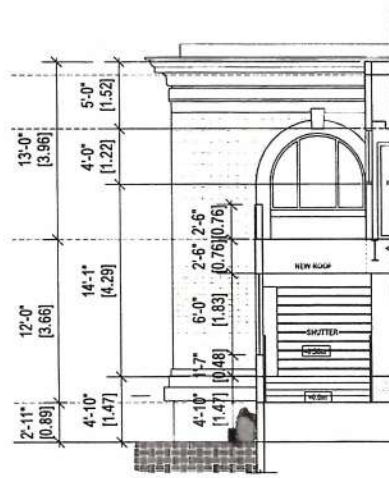
ALAN LOWE
ELEVATION FINISHES
& RAILING DETAILS

project no.: 17-490
date: 31 May 2018 scale: AS NOTED
checked by: LORNE drawn by: MIA
field no.

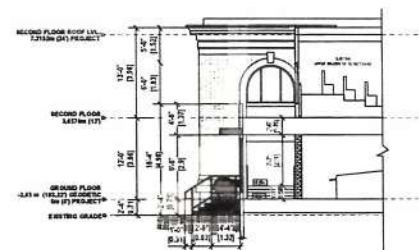
A-3.3



1 SECTION - 1 (PARTIAL)
A-4 SCALE: 1/8"



4 DETAIL AT P
A-4 SCALE: 1/8"



2 SECTION - 2 (PARTIAL)
A-4 SCALE: 1/8"

K J I

R

project north:

ISSUE / REVISIONS:

3. FOR UP-REPAIR APPLICATION	18 Dec '18
2. FOR UP-REPAIR APPLICATION	4 Dec '17
1. FOR DEVELOPMENT PERMIT	25 Sept '17
No. Revision	Date

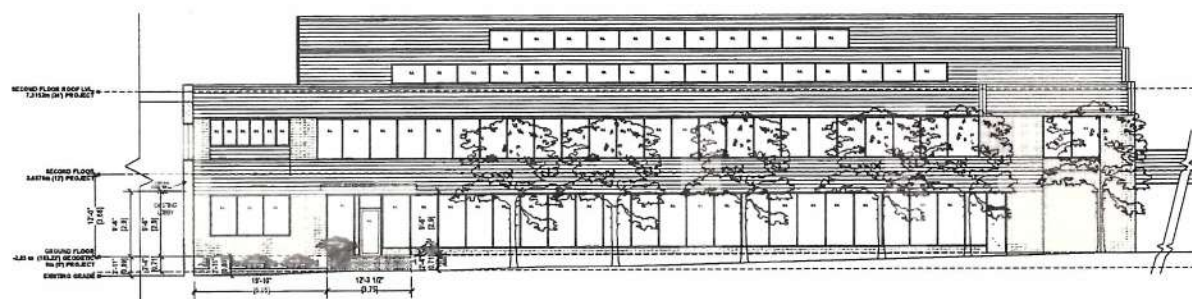
alan lowe architect inc.
#112-31 Elm Street
Victoria, British Columbia
V8P 1A1
250.360.2355

RENOVATIONS TO -
GLAD TIDINGS
PENTECOSTAL CHURCH
1212 GARDEN STREET
VICTORIA, BC
V8M 1G5

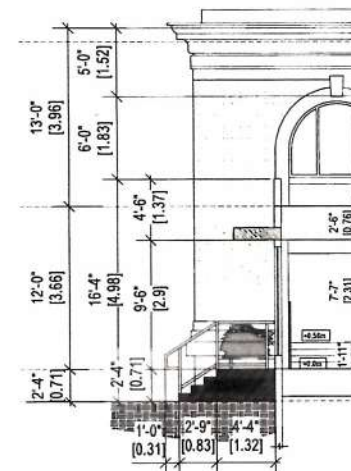
SECTIONS

project no.	17-490
date	15 Nov 2017
drawn by	LOWE
checked by	LOWE
scale	AS NOTED
sheet no.	8/11

A-4



3 SECTION - 3 (PARTIAL)
A-4 SCALE: 1/8"



5 DETAIL AT R
A-4 SCALE: 1/8"

Received
City of Victoria

NOV 14 2018

Planning & Development Department
Development Services Division



Committee of the Whole Report

For the Meeting of February 8, 2018

To: Committee of the Whole **Date:** January 26, 2018

From: Jonathan Tinney, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variances No. 00054 for 1800 Quadra Street

RECOMMENDATION

That Council decline Development Permit with Variances Application No. 00003 for the property located at 1800 Quadra Street.

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances application for the property located at 1800 Quadra Street. The proposal is for a 60 square meter addition to the existing church. The variances being requested are related to setbacks and the maximum horizontal distance of a structure.

The following points were considered in assessing this application:

- the proposal is partially consistent with the objectives and guidelines contained in Development Permit Area 3 (HC): Core Mixed-Use Residential of the *Official Community Plan*, 2012 (OCP). The proposal provides visual interest and a connection to the public street with windows and a prominent entry, and includes materials and details that would fit with the existing building to the east. The proposal does not, however, respond to the context of the existing older portion of the building to the west
- the requested variances are to reduce the setback to the south lot line and increase the maximum horizontal distance of a structure. These variances would impact the public street. To help mitigate the impacts, the applicant is proposing to provide a landscaping strip between the addition and the lot line and to provide a break between the existing older portion of building to the west and the new addition

- a variance is also requested to reduce the minimum open site space. The existing site is legal non-conforming and the proposed change is small; therefore, it will not have a substantial impact.

BACKGROUND

Description of Proposal

The proposal is for a one-storey 60 square meter addition to the existing church. Specific details include:

- design elements such as a flat roof, prominent entry with roof overhang, and windows (to match existing windows)
- the exterior materials are to match existing, including brick, cedar fascia, and metal flashing, and aluminium cladding on entry overhang
- new soft landscaping would be introduced including shrubs and groundcover between the proposed addition and the street.

The proposed variances are related to:

- reducing the minimum open site space from 40.00% to 7.00%
- reducing the minimum setback of a building from 6.00m to 0.40m for 19.50m of building frontage
- increasing the maximum horizontal distance of a structure from 30.00m to 38.20m.

Sustainability Features

The applicant has not identified any sustainability features associated with this proposal.

Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with this application.

Public Realm Improvements

No public realm improvements are proposed in association with this Development Permit Application.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Existing Site Development and Development Potential

The site is presently a church. Under the current R3-C Zone, the site could be redeveloped as multiple dwellings, churches, business or professional offices, retail stores, restaurants, rest homes, nursing homes and hospitals, laundrettes, theatres, auditoriums and places of recreation, private hospitals, intermediate care facilities, and commercial care facilities. The maximum floor space ratio is 2.50:1.00 to 3.00:1.00 depending on the site coverage and open site space provided.

Data Table

The following data table compares the proposal with the existing R3-C Zone, Central Area Residential District. An asterisk is used to identify where the proposal would require variances.

Two asterisks are used where the existing development is legally non-conforming.

Zoning Criteria	Proposal	R3-C Zone
Site area (m ²) - minimum	8079.00	920.00
Density (Floor Space Ratio) - maximum	0.54:1.00	2.50:1.00 to 3.00:1.00
Total floor area (m ²) - maximum	4367.37	n/a
Height (m) - maximum	13.40	37.00
Storeys - maximum	2	n/a
Site coverage % - maximum	31.80	50.00
Open site space % - minimum	7.00*	40.00
Setbacks (m) – minimum:		
South - North Park Ave.	0.40*	6.00
East - Quadra St.	40 (approx.)	4.50
West – Julia St.	Less than 1.0**	6.00
North - Internal	9.48	6.00
Horizontal distance of a structure - minimum	38.20*	30.00
Parking - minimum	173	88
Parking setback - minimum	0.00**	6.50

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variances Applications*, on November 8, 2017, the application was referred for a 30-day comment period to the North Park CALUC. A letter dated December 10, 2017 is attached to this report.

This application proposes variances; therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 3 (HC): Core Mixed-Use Residential. The proposal is partially consistent with the design guidelines associated with this development permit area.

The proposal provides a connection to the public street and sidewalk with windows on both the south and east elevations. Additionally, an entrance faces the street that is clearly identified with a roof overhang and stairs.

The proposed building façade would provide visual interest along the street and includes materials and details that would fit with the existing building to the east. The proposal does not,

however, respond to the context of the existing older portion of the building to the west in terms of building elements such as façade rhythm and horizontal cornice lines.

The applicant is proposing to provide a 0.91m break between the existing western portion of the building and the proposed addition. This would help differentiate between the two portions of building that were built at different times and have different styles. The existing older portion would not, however, retain its prominence over the newer addition because the proposed addition would be located closer to the street.

Tree Preservation Bylaw and Urban Forest Master Plan

There are no Tree Preservation Bylaw impacts with this application.

Regulatory Considerations

The applicant is requesting three variances related to setbacks. These are not supportable because of the impact they would have on the public sidewalk and street.

Minimum Site Open Space

The applicant is proposing a variance to reduce the minimum site open space from 40.00% to 7.00%. The existing open site space is legal non-conforming and is only approximately 8.00%; therefore, this variance will not have a substantial impact.

Minimum Setback of a Building

The applicant is proposing to reduce the minimum setback from a building to the south lot line from 6m to 0.405m. This variance will impact the public street and sidewalk by permitting the building to be located closer to North Park Street than is currently allowed. The sidewalk at this location is located close to the lot line. To help soften the impact on the street the applicant is proposing to have a landscape planting strip located between the addition and the lot line. The proposed addition would also provide a connection to the public street with windows and a covered entry.

Minimum Setback between Adjacent Planes

The applicant is proposing a variance to increase the maximum aggregated horizontal distance of a structure from 30m to 38.20m. To help break-up this length of façade, the applicant is proposing to provide a 0.909m wide break between the existing building located to the west and the proposed addition. This would help differentiate between the two portions of building.

CONCLUSIONS

The proposal to construct an addition to an existing church is partially consistent with Development Permit Area 3 (HC): Core Mixed-Use Residential. The materials and details would provide visual interest and would be in keeping with the existing building. The variances, however, are not supportable because of the impacts the addition would have on the public street and sidewalk by permitting the building to be located close to the lot line. Staff recommend that Council consider declining this application. An alternate motion has been provided should Council wish to direct staff to work with the applicant to revise the proposal to reduce the prominence of the proposed addition, and reduce its impacts on the public street.

ALTERNATE MOTIONS

Option 1 – Direct Staff to Work with Applicant to Revise Plans

That Council direct staff to work with the applicant to reduce the prominence of the proposed addition and reduce its impacts on the public street, and to bring the revised proposal back to a future Committee of the Whole meeting.

Option 2 – Approve the Current Proposal

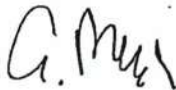
That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00054 for 1800 Quadra Street, in accordance with:

1. Plans date stamped December 4, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the minimum open site space from 40.00% to 7.00%;
 - ii. reduce the minimum setback from a building to the south lot line from 6.00m to 0.40m for 19.5m of building frontage;
 - iii. increase the maximum horizontal distance of a structure from 30.00m to 38.20m;
3. The Development Permit lapsing two years from the date of this resolution."


Respectfully submitted,


Rob Bateman
Senior Process Planner
Development Services Division



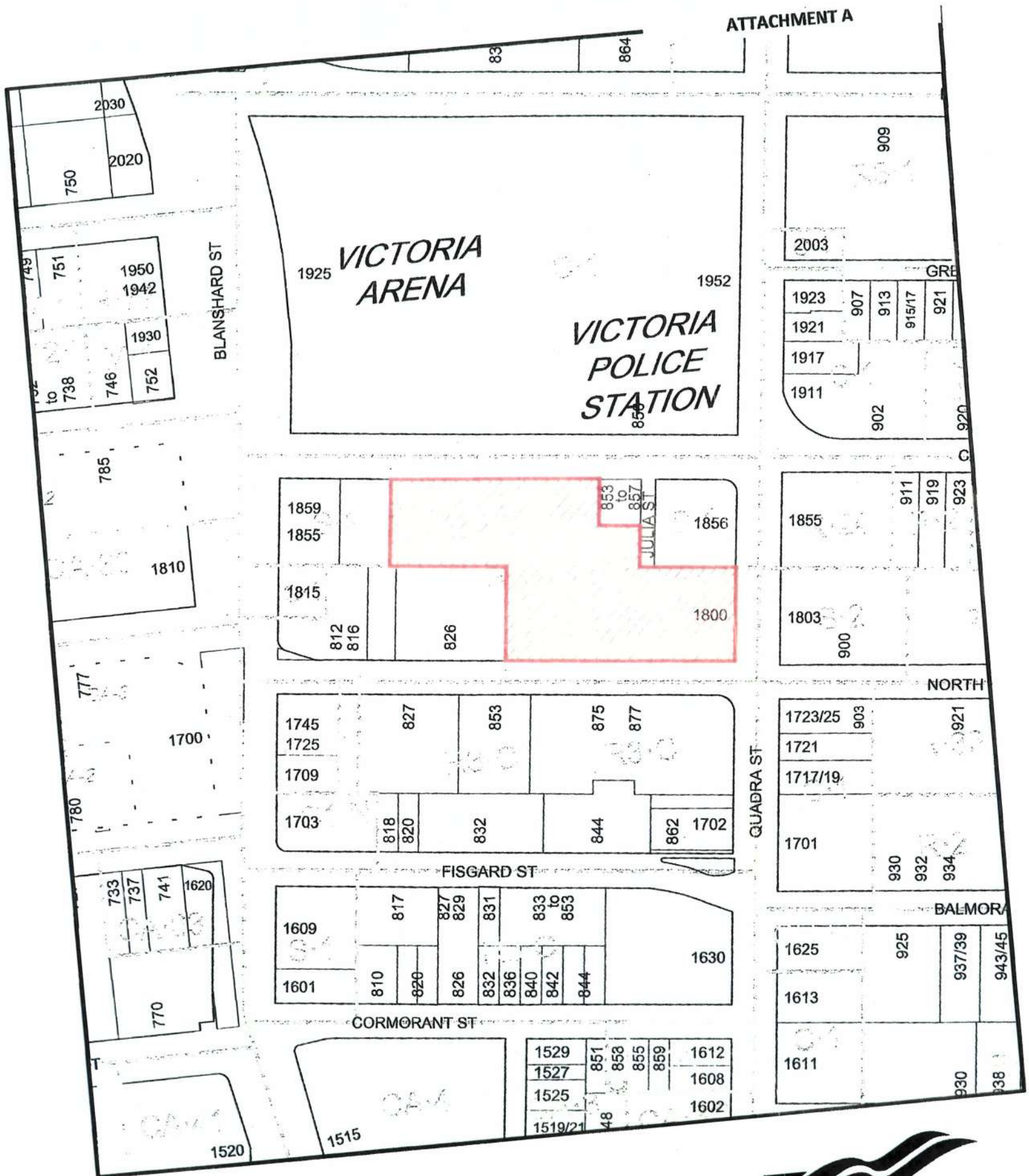

Jonathan Finney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.


Date: Jan 31, 2018

List of Attachments:

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped December 4, 2017
- Attachment D: Letter from applicant to Mayor and Council dated December 4, 2017
- Attachment E: Community Association Land Use Committee Comments dated December 10, 2017



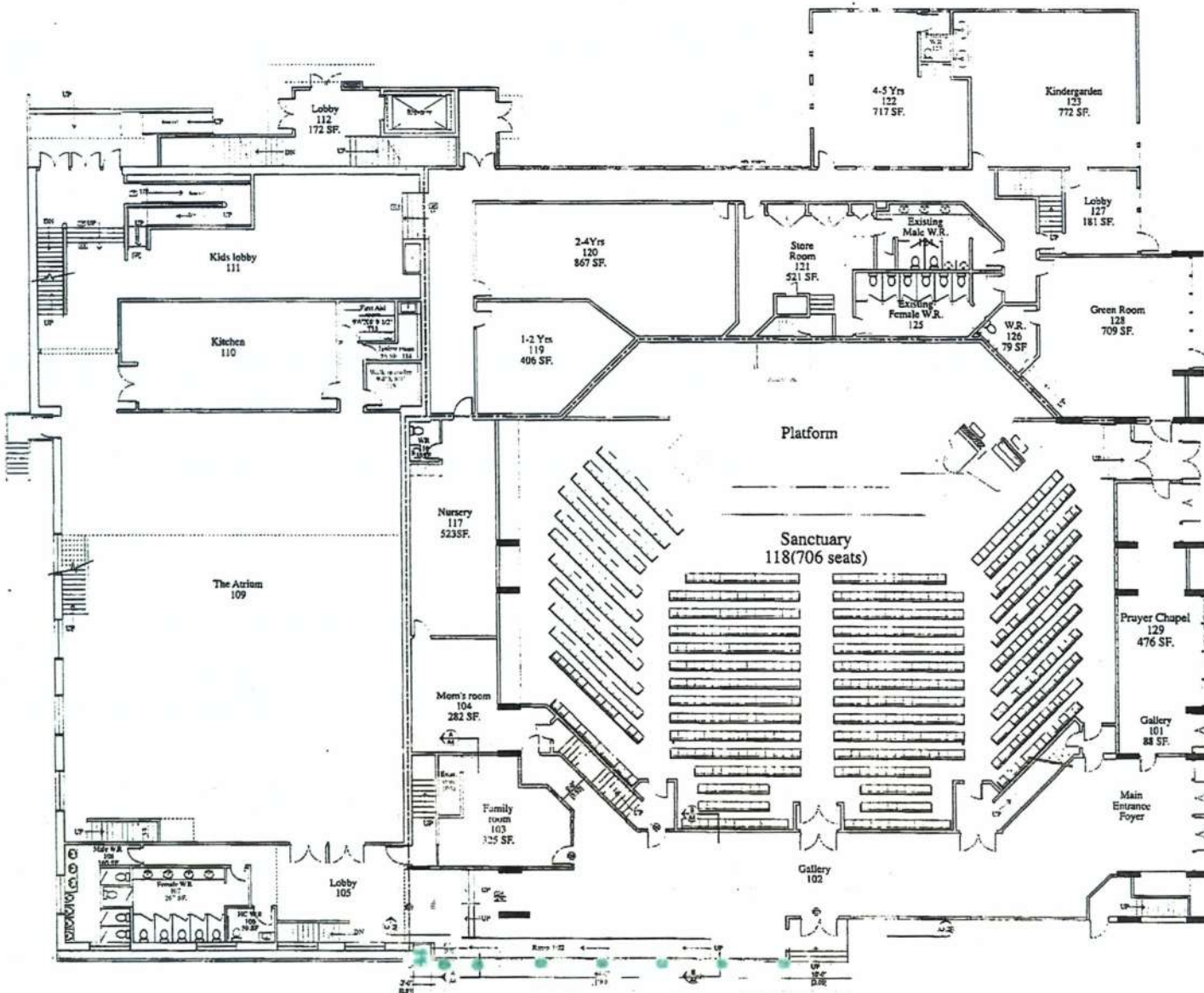
1800 Quadra Street
Development Permit with Variance #00054



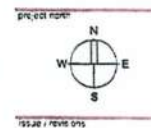


1800 Quadra Street
Development Permit with Variance #00054





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1. 177.17' x 177.17' x 177.17'	27.00' x 27.00'
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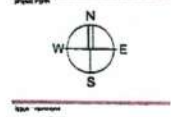
alan **architect inc.**
202 - 1110 DUNDAS ST. W. #100 TORONTO, ONT. M6H 1B5
Tel: (416) 593-1110 Fax: (416) 593-1111

RENDERING: 10
MAIN FLOOR
PLAN

project no.:	17-490
date:	11 Jan 2017
drawn by:	LHJ
checked by:	MD

A2.1

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1. PRELIMINARY APPROVAL	27 Nov 12
2. PRELIMINARY APPROVAL	15 Nov 12
3. PRELIMINARY APPROVAL	12 Nov 12
4. PRELIMINARY APPROVAL	28 Nov 12
5. PRELIMINARY APPROVAL	28 Nov 12

alan LOWE architect inc.
 200 - 1119 Glenview Dr.
 Victoria, British Columbia V8N 4L5
 Tel: 250.681.1111 Fax: 250.681.1112

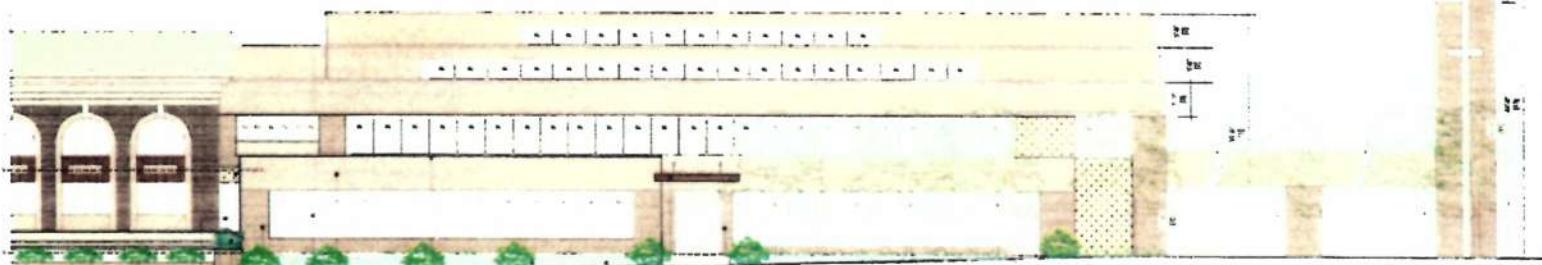
RENDERING TO:
GLAD TOWNSHORE PROTESTANT CHURCH

SOUTH ELEVATION

project no.: 17-480

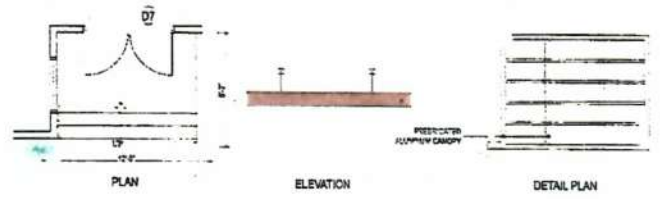
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PROJECT BY	LEWIS	DATE	15 Nov 2012

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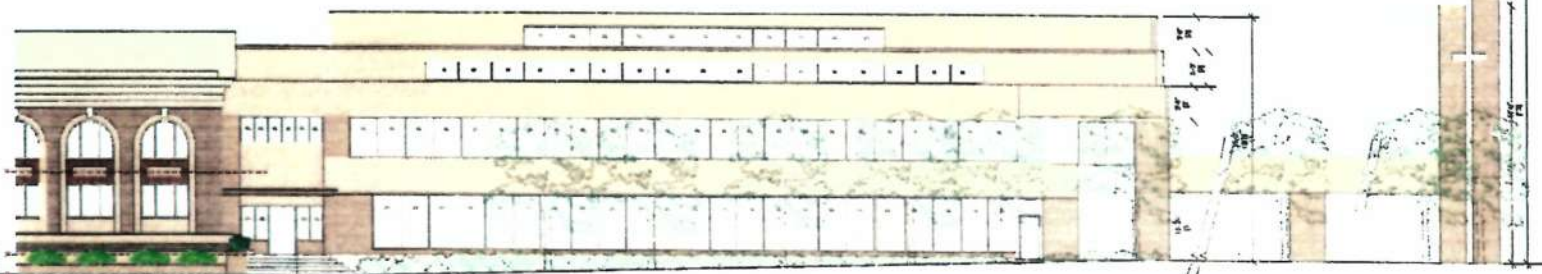


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1 SOUTH ELEVATION (PROPOSED)
 SCALE: 1/4" = 1'-0"

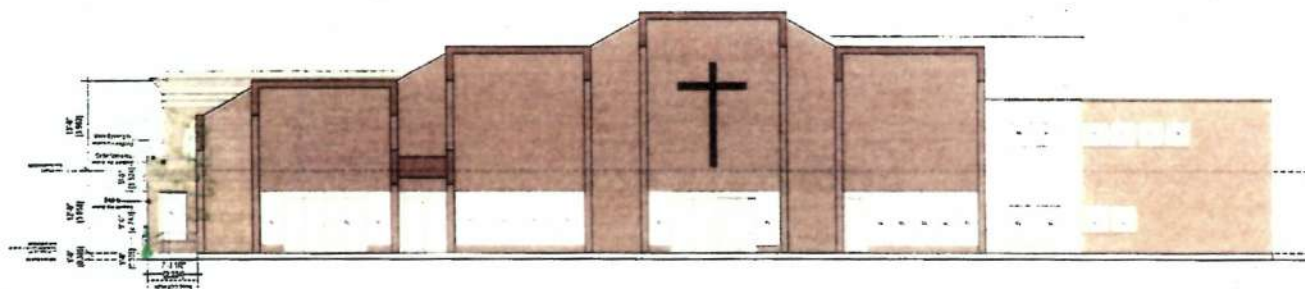


3 CANOPY DETAILS (PROPOSED)
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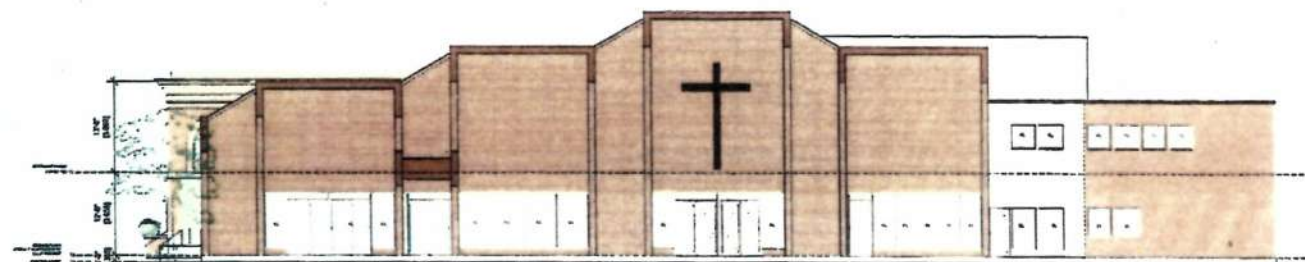


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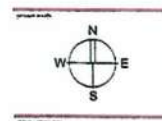
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1 EAST ELEVATION (PROPOSED)
A-3.2 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION (EXISTING)
A-3.2 SCALE: 1/8" = 1'-0"



- 4. FOR THE ARCHITECT'S USE ONLY 27 May 1978
- 3. FOR THE ARCHITECT'S USE ONLY 19 May 1978
- 2. FOR THE ARCHITECT'S USE ONLY 03 May 1978
- 1. FOR THE ARCHITECT'S USE ONLY 27 May 1978

alan LOWE architect inc.
221 - 1112 Glenview Dr. 1978 May 1978
Vancouver, British Columbia 1978 May 1978

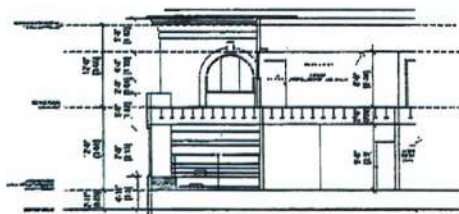
RENOVATIONS TO
GLAC TONGUE PENTECOSTAL CHURCH

drawing title
EAST ELEVATION

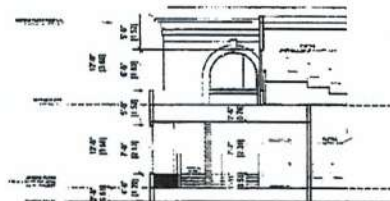
project no.: 17-490
date: 14 May 1978
drawn by: LOWE
checked by: [blank]
scale: 1/8" = 1'-0"

A-3.2

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A SECTION (PARTIAL)
SCALE 1/8" = 1'-0"

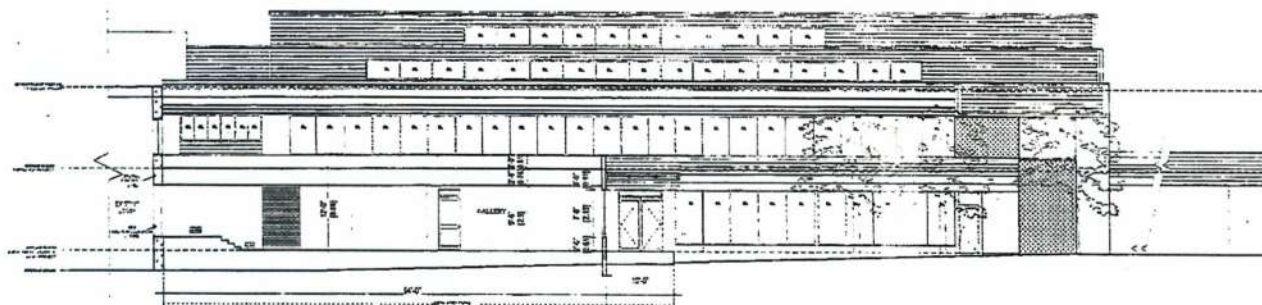


B SECTION (PARTIAL)
SCALE 1/8" = 1'-0"

project north



18500 / 18500 01/15



C SECTION (PARTIAL)
SCALE 1/8" = 1'-0"

1	175' 0" SECTION (PARTIAL)	175' 0" 1/15
2	175' 0" SECTION (PARTIAL)	175' 0" 1/15
3	175' 0" SECTION (PARTIAL)	175' 0" 1/15
4	175' 0" SECTION (PARTIAL)	175' 0" 1/15

alan **lowe** architect inc.
200 - 1010 Commercial St. 1000 1010 1010
1000 1010 1010 1010 1010

SECTION (PARTIAL)
SECTION (PARTIAL)
SECTION (PARTIAL)

project no.	17-490
date	10/10/10
drawn by	LDG
checked by	LDG

A-4

alan  architect inc.



January 31, 2018

City of Victoria
#1 Centennial Square
Victoria, British Columbia

Attention: Mayor Helps and Councillors

Re: Development Variance Permit Application – 1800 Quadra Street

Dear Mayor and Council,

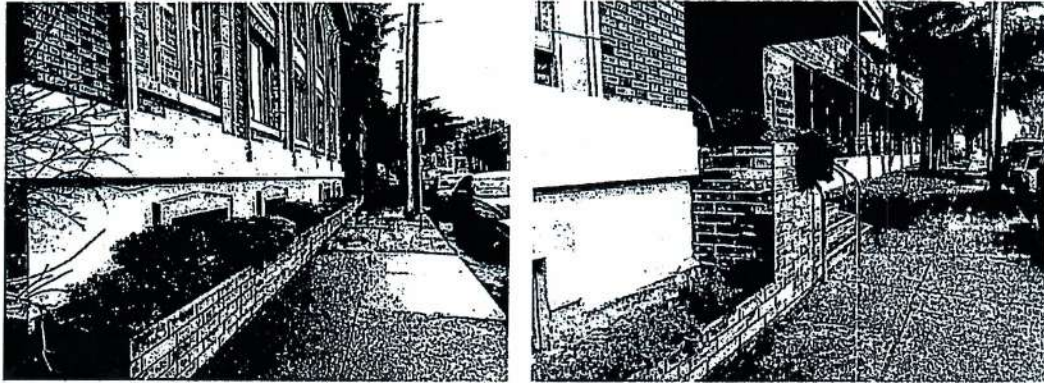
Please find enclosed our application for a development permit with variances for a small ones tory 646 square foot addition to the Glad Tidings Church at 1800 Quadra Street. The church is aiming to create a better functioning building for its congregation and accessibility and safety is very important. With the interior renovations proposed for the church, the lobby around the sanctuary becomes very tight within the existing footprint of the building.

The church would like to propose a 60 square metre (646 sq.ft.) addition along the North Park frontage of the building. The R3-C zone requires a setback of 6.0 metres from a street boundary. Our proposal is to request a variance for the setback to 0.4 metres. If a variance was not required, we could have applied for a delegated development permit for the size of this addition. A portion of the existing building is already 0.9 metres from the property line and a brick landscape planter is built within 0.3 metres of the property line. We are requesting that the proposed addition would be allowed to come out to the line of the existing planter.

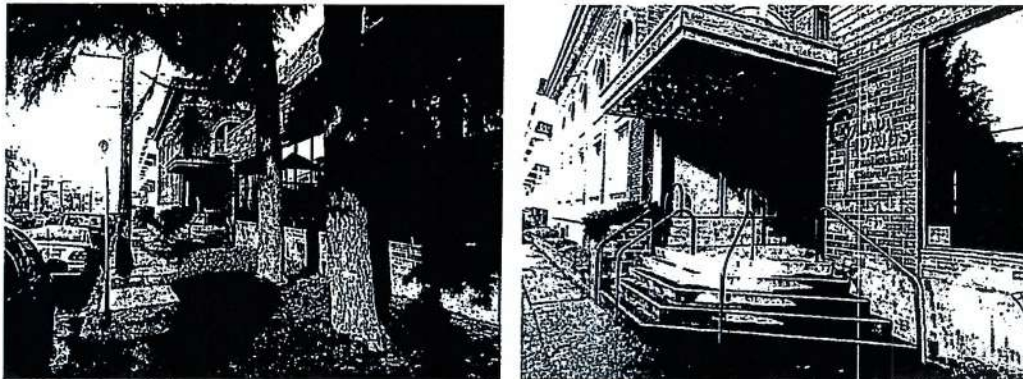
The zone also requires the staggering of the building along the street wall by 1.5 metres. We would like to request a variance to reduce this to 0.9 metres.

This addition creates better functional space for the church. It encloses an exterior staircase that is hidden away from the street and is not safe from a CPTED point of view. The church is proposing to locate all of their public washrooms to this side of the building and an interior connection to the new washrooms will be required. The existing connection is through a 3 foot wide corridor for a church with a capacity of 1000 persons.

In order to show that the new addition does not overlap with the original building built in the early 1900s, we have separated our addition with a 3'-0" structural glazed element to show the existing building fabric. This 3'-0" section is also set back to create a vertical element.



Existing church building built in early 1900s is 0.9 metres from property line, the planter extends further towards sidewalk, with 1979 church building beyond.



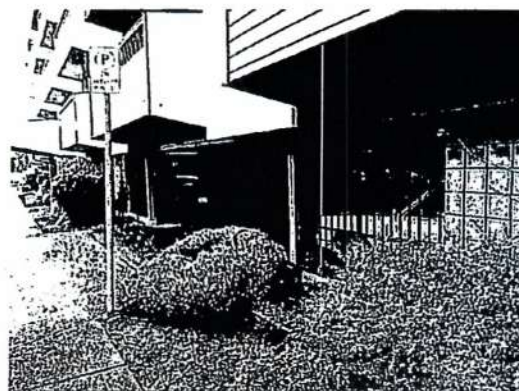
Location of proposed one storey lobby addition. Reduced setback would not feel out of character along the north side of North Park. Existing stairs are steep and not accessible. Area to be enclosed and ramp access created from new lobby.

The cedar siding along the fascia on the existing façade is also in need of repair and refurbishment. By creating this one level addition at this location, the church can create a new cedar fascia that is identical to the existing fascia. The materials and finishes to the addition will match the existing building.

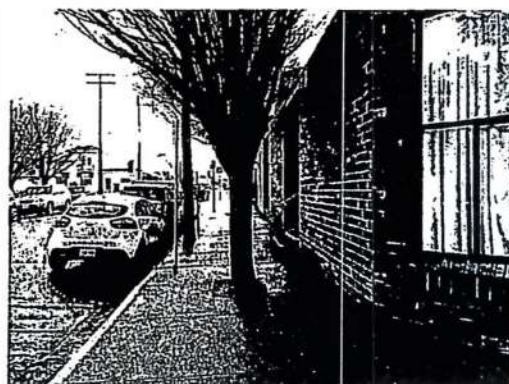
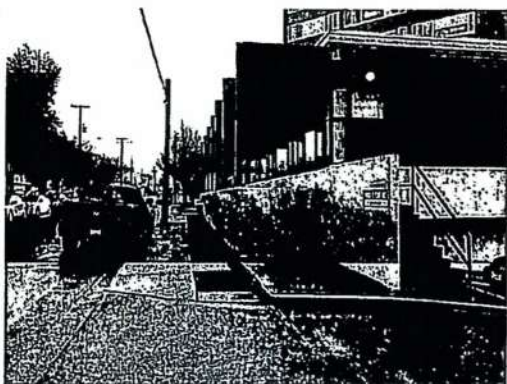
We have also reviewed the unprotected openings in the south façade along North Park and have confirmed that the unprotected openings meet the BC Building Code requirements. The unprotected openings allowed would be 60% and our calculations show that our openings are only 50%.

We have canvassed our neighbours along the street and they do not have any concerns regarding our variance to expand the lobby. We will note that the Bethany Court housing complex to the west has balconies extending out to the property line and their entrance canopy extending over the

City sidewalk and the North Park Manor across the street having their community room (being converted to residential units) extending out to the property line with a 5 foot high concrete wall and the Baptist Church on the corner extending out to the property line with trees planted in the middle of the sidewalk.



Bethany Court to the west with 3 levels of balconies extending to the property line with parking under the building.



North Park Manor community room extends to property line across the street as well as the Baptist Church on the corner. Tree also planted in the middle of the sidewalk.

Although this may not meet the setback requirements of the zone, the R3-C zone was meant for multi-family developments that are 3 storeys or higher and would have wanted the residential units set back from the property line for some privacy. As this is a church building, those privacy issues are not a concern and it is more beneficial to create better functional space for the church rather than having a dark landscaped area with overgrown trees that is never used. The glazing in the lobby addition will create a more animated street edge. The portion of the building that we are requesting the variance will not be a solid wall.

We trust that this Development Permit application with a variance is minor and that this request is supportable.

Our proposal meets or exceeds all other R3-C zoning bylaw requirements. Should you have any questions regarding our proposal, please contact our office at 250-360-2888.

Yours truly,

Alan Lowe, Architect AIBC
Alan Lowe Architect Inc.

Katie Lauriston

From: Pam Hartling <[REDACTED]>
Sent: Sunday, December 10, 2017 8:24 PM
To: Victoria Mayor and Council
Cc: Development Services email inquiries; Chris Fleming
Subject: RE: Development Permit with Variance Received for 1800 Quadra Street - DPV No. 00054

Dear Mayor and Council,

The NPNA LUC has considered this DVP application. In order to protect the public realm and maintain the best possible pedestrian facilities, we suggest that the applicant be encouraged to find another option.

Regards,

Pam Hartling
Land Use Chair, North Park Neighbourhood Association

From: Katie Lauriston [mailto:kauriston@victoria.ca]
Sent: November 8, 2017 8:56 AM
To: info@npna.ca; [REDACTED]; [REDACTED]
Subject: Development Permit with Variance Received for 1800 Quadra Street - DPV No. 00054

Dear Ms. Jenny Farkas, Ms. Pam Hartling and Mr. Chris Fleming,

Re: 1800 Quadra Street – DPV No. 00054

City staff have completed a plan check on the submitted plans and have identified the following *Zoning Regulation Bylaw* variances for the building siting along the North Park frontage to accommodate the addition:

- Building setback reduced from 6.0 m to 0.329 m for 24 m of building frontage
- Building setback reduced from 1.5 m to 0.92 m along a horizontal distance of 30 m of building frontage

The details of this application can be found on the Development Tracker at 1800 Quadra Street. You will also be notified of any further revisions to the plans.

If your Land Use Committee has comments it would like considered by City Council, please submit them to Mayor and Council with a copy to the Sustainable Planning and Community Development Department within 30 days from the date of this email.

Yours truly,

Katie Lauriston
Planning Secretary
Sustainable Planning and Community Development
Development Services Division
City of Victoria

1 Centennial Square, Victoria BC V8W 1P6

T 250.361.0498 F 250.361.0386



1. **Development Permit with Variances Application No. 00054 for 1800 Quadra Street**

Motion:

It was moved by Councillor Isitt, seconded by Councillor Lucas, that Council direct staff to:

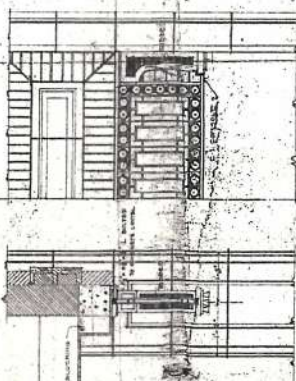
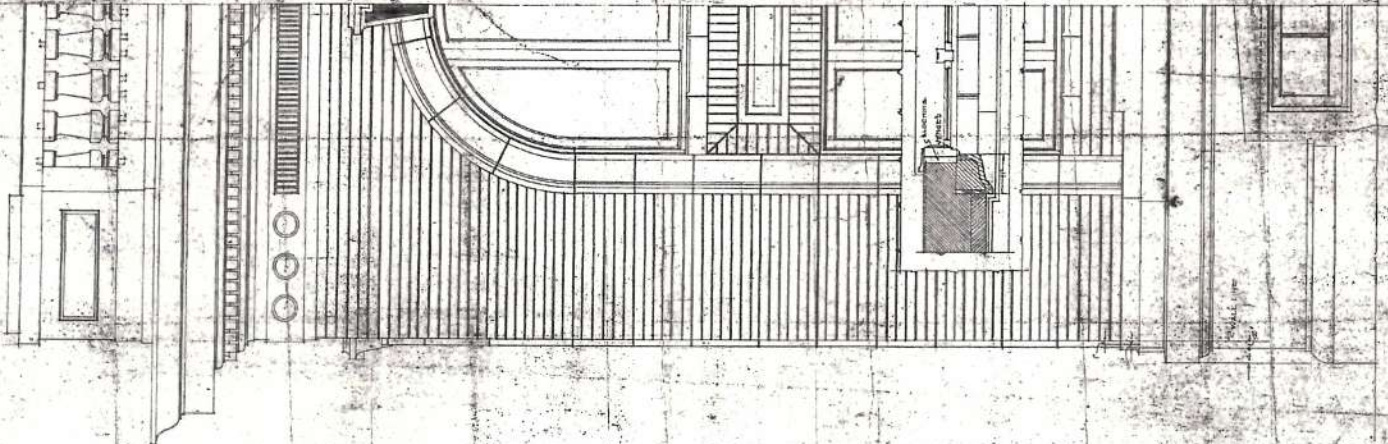
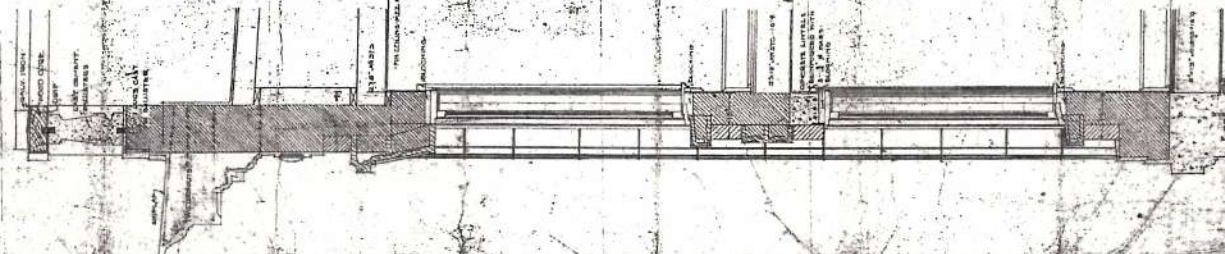
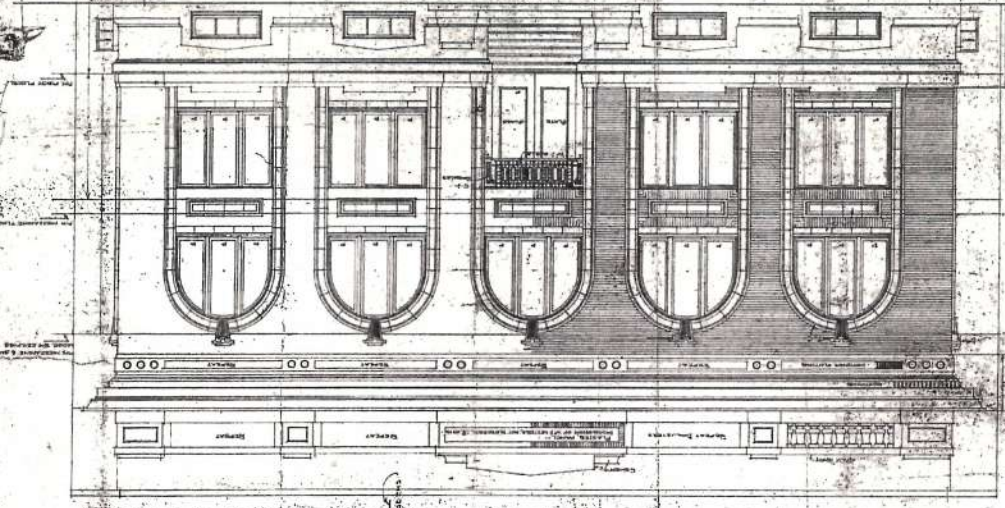
1. work with the applicant to reduce the prominence of the proposed addition and reduce its impacts on the public street, and to bring the revised proposal back to a future Committee of the Whole meeting;
2. request that the applicant provide any information they have on the older portion of the building;
3. request the applicant to engage the CALUC on the proposed design.

Carried Unanimously

SECTION TO NORTH - PARK STREET

NEW BUILDING FOR THE UNIVERSITY OF
NEW SOUTH WALES
PLANNING DEPT. 4/10/1912
1012

30.1.1913
No. 6



DETAIL OF WINDOW GRILLE IN ENTRANCE

DETAIL OF ROOF

KNIGHTS OF PYTHIAS HALL 840 NORTH PARK STREET / 1800 QUADRA STREET



Original Owner: Knights of Pythias

Historic Name: Castle Hall / Knights of Pythias Hall

Architect: Bresemann & Durfee

Date of Construction: 1912

Current Name: now consolidated with the Glad Tidings Pentecostal Church, 1800 Quadra Street

Description of Historic Place

The Knights of Pythias Hall is a two-storey masonry building with Classical Revival detailing, situated mid-block on the north side of North Park Street in the North Park neighbourhood of Victoria. The front façade is capped with a projecting metal cornice, and is clad with high-fire two-tone brick and glazed terra cotta arches that frame the first and second storey windows. The original structure has now been consolidated with the Glad Tidings Pentecostal Church, with a large addition built to the east of the original building.

Heritage Value of Historic Place

The Knights of Pythias Hall, constructed in 1912, is significant for its association with the Order of the Knights of Pythias, an international, non-sectarian fraternal order. Organizations such as this were vitally important to the establishment and stability of early Victoria society. It was within such organizations that people met for business and companionship, for assistance in settling in a new environment, and aid in times of trouble. Founded as a non-sectarian fraternal order in Washington, D.C. in 1864 by Justus H. Rathbone, the Knights of Pythias promoted friendship, charity and benevolence. In 1882, the Order was introduced to Victoria by Brother Walter Scott Chambers, with the first lodge instituted in 1883 as Far West Lodge Number 1. Indicative of the order's growth, this large hall was built during the Edwardian era, situated at the eastern edge of downtown in close proximity to the rapidly growing residential areas of the city. At the time, both Blanshard and Quadra Streets were

developing as major north-south axes, providing convenient access to the Hall, which was also known as Castle Hall.

The Knights of Pythias Hall is additionally significant as a sophisticated example of the work of architects Emanuel Joseph Bresemann (1881-1971) and Morien Eugene Durfee (1885-1941). Bresemann was born in Tacoma, Washington and had a prolific career in San Francisco. There, Bresemann met Wisconsin-born Durfee and subsequently the two formed a partnership. After opening an office in Seattle in 1908, the firm set up branch offices in both Victoria and Vancouver. Among their most notable commissions was the First Congregational Church on Quadra Street, North Park, built in 1912. The Knights of Pythias Hall displays the firm's proficiency with the Classical Revival vocabulary that was reached the height of its popularity during the Edwardian era. This also a notable example of terra cotta ornamentation, used here in an unusual colour that highlights the two-tone brick cladding.

The Knights of Pythias Hall has been consolidated with Glad Tidings Church, contributing to the social vitality of the North Park neighbourhood. It symbolizes the continuing community character of North Park, which developed as a Garden City suburb and continues today as a mix of residential, commercial and recreational uses.

Character-Defining Elements

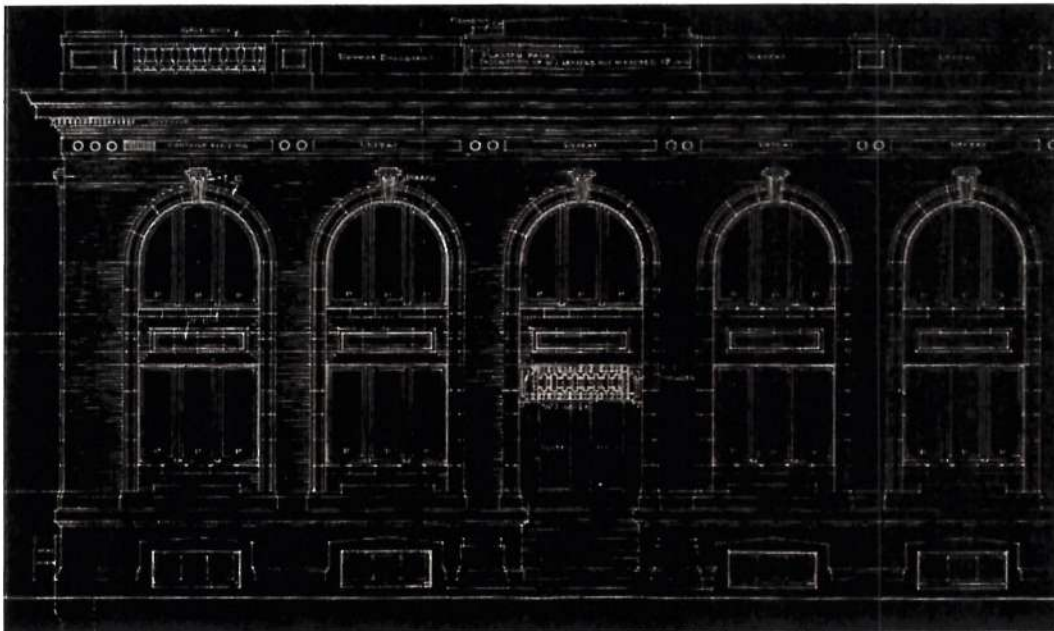
Key elements that define the heritage character of the Knights of Pythias Hall include its:

- location mid-block on the north side of North Park Street, in the North Park neighbourhood
- continuous community use
- institutional form, scale and massing as expressed by its two-storey height plus full basement, built to the front and side property lines, rectangular plan and flat roof, and an elaborate façade treatment that returns on the side facades for one full bay
- construction materials including: tan and brown high-fire, iron-spot brick; light-orange coloured glazed terra cotta window surrounds, keystones and spandrel blocks; and sheet metal ornamentation
- Classical Revival style details such as: round-arched window surrounds with keystones; and projecting metal cornice with dentils and running ornament
- triple-assembly window openings with heavy wooden mullions; and double-height windows at the sides with fanlight transoms





Knights of Pythias Hall, collection Rick Coleman



Front Elevation 1912, City of Victoria Plans

From: [Alan Lowe](#)
To: [Moir Wilson](#)
Cc: [richa](#); [Jerry Stenberg](#)
Subject: Fwd: Meeting request for Proposed Renovation at Glad Tidings Church
Date: October 11, 2018 10:57:16 AM
Attachments: [PastedGraphic-2.tiff](#)

FYI, email from North Park Neighbourhood Association.

Regards,

Alan Lowe, Architect AIBC



www.lowegroup.ca

250-360-2888

We have moved to:

#118-21 Erie Street
Victoria, British Columbia V8V 5A8

Begin forwarded message:

From: Jenny Farkas [REDACTED]
Subject: Re: Meeting request for Proposed Renovation at Glad Tidings Church
Date: October 11, 2018 at 10:17:41 AM PDT
To: Alan Lowe Office <alan@lowegroup.ca>
Cc: richa@lowegroup.ca, caluc@npna.ca

Hi again Alan and Richa
Thank you for meeting with me on site at Glad Tidings Church today.

Your revised plan to connect the old and newer building seems like an intelligent and simpler solution.

As we agreed, you will make one further revision to retain all trees and suggest to the church to do some limb trimming to allow more lighting on the new/proposed entrance.

Jenny Farkas, Acting President
North Park Neighbourhood Assoc.

Sent from my iPhone

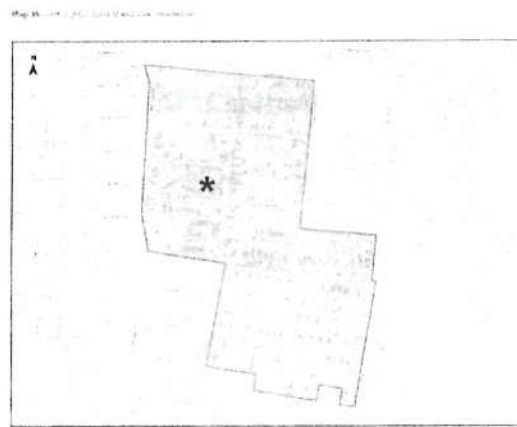
On Oct 9, 2018, at 11:11 PM, Alan Lowe Office <alan@lowegroup.ca> wrote:

250-360-2888

Development Permit with Variances for 1800 Quadra Street



DPA 3 (HC): Core Mixed Use Residential



February 8, 2018 Council Meeting

Motion to direct staff to:

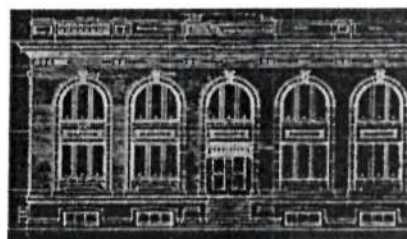
1. work with the applicant to reduce the prominence of the proposed addition and reduce its impacts on the public street, and to bring the revised proposal back to a future Committee of the Whole meeting;
2. request that the applicant provide any information they have on the older portion of the building;
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Information



Knights of Pythias Hall
collection Rick Coleman

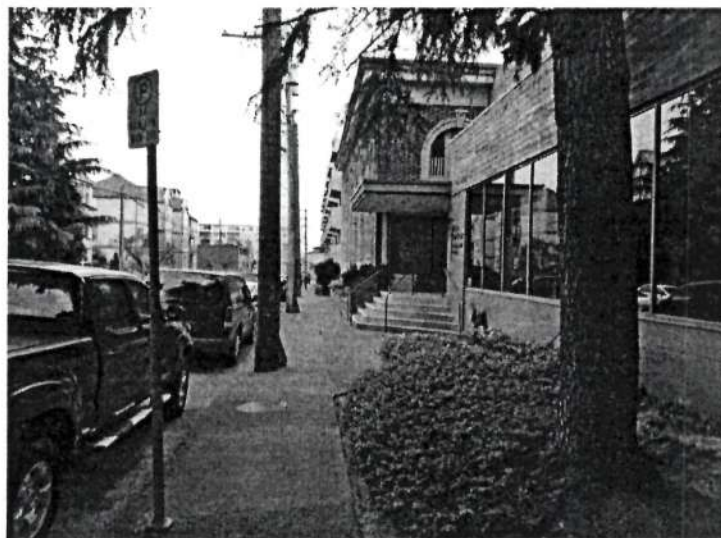


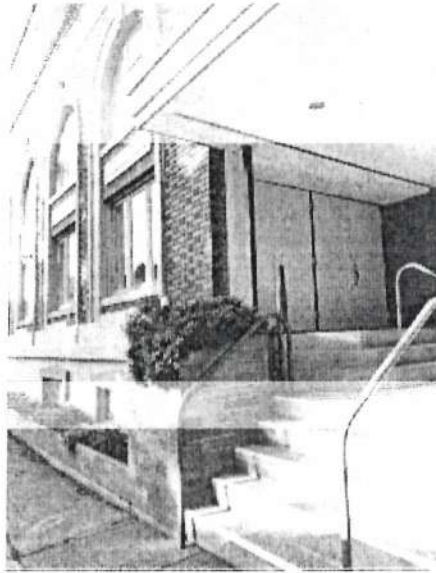
Front Elevation 1912
City of Victoria Plans



Subject Site



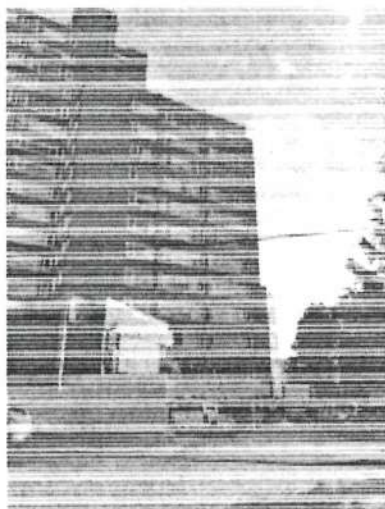




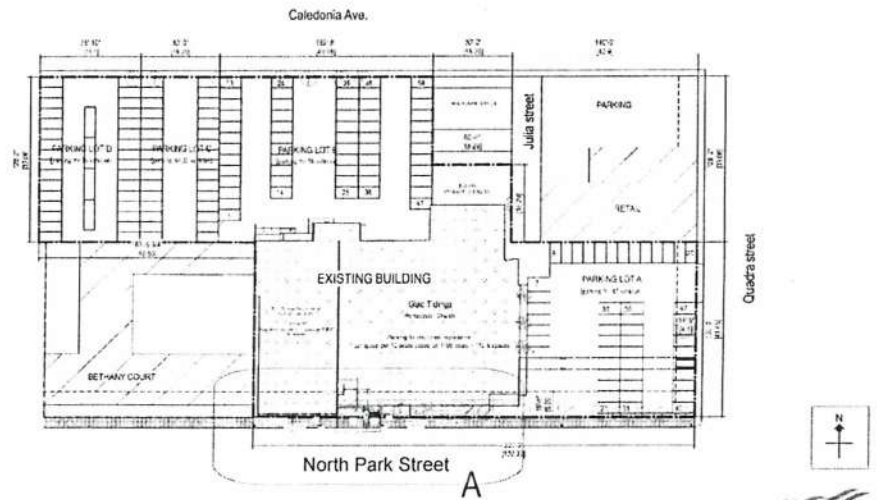
Context - North Park Street



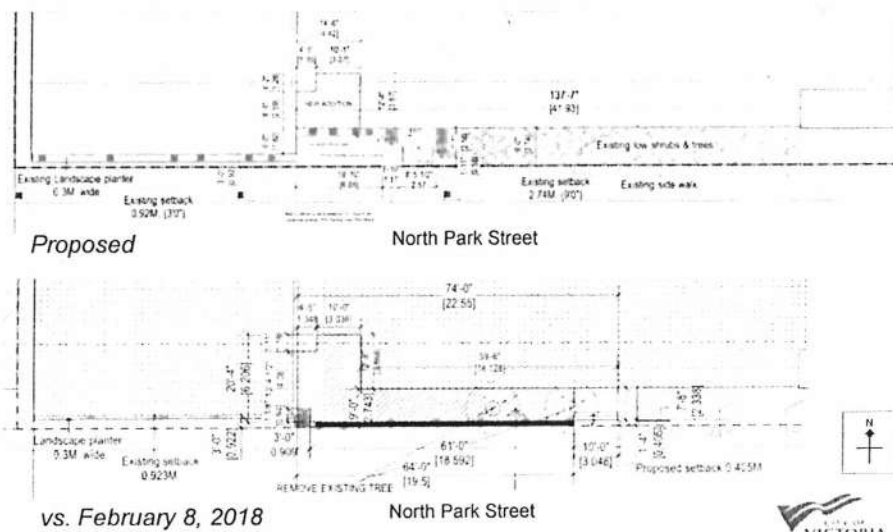
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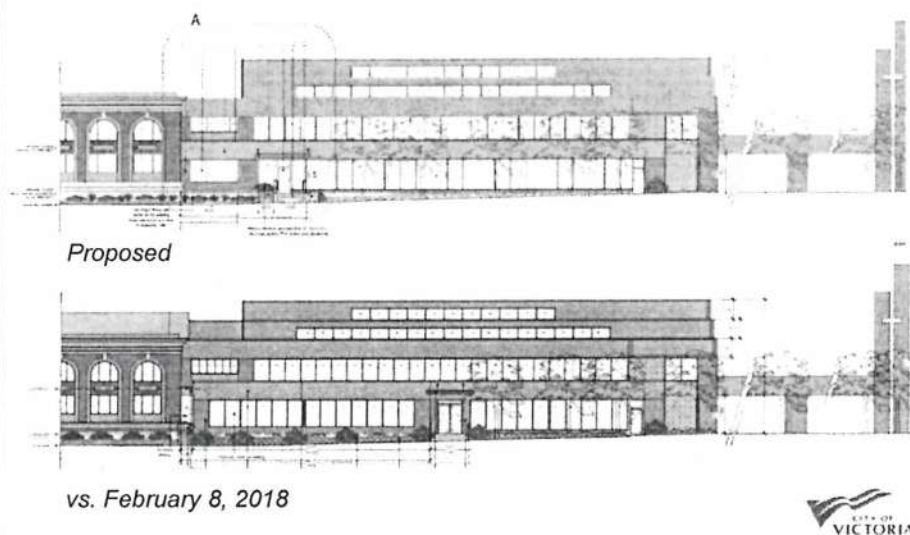
Site Plan



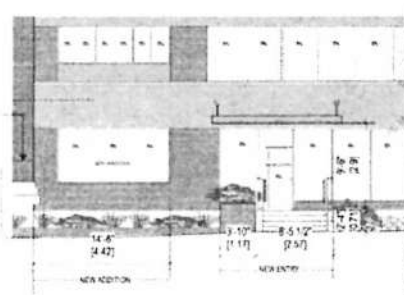
Site Plan – Enlargement



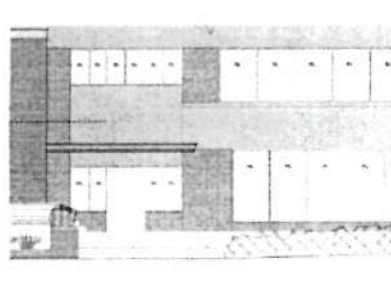
South Elevation



South Elevation – Enlargement

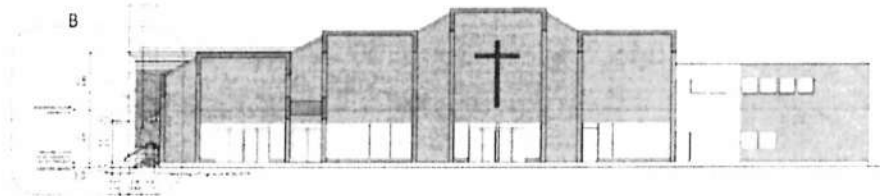


Proposed

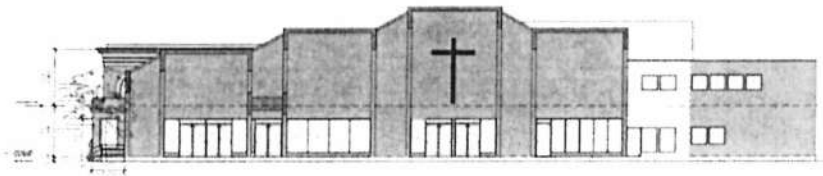


vs. Existing

East Elevation



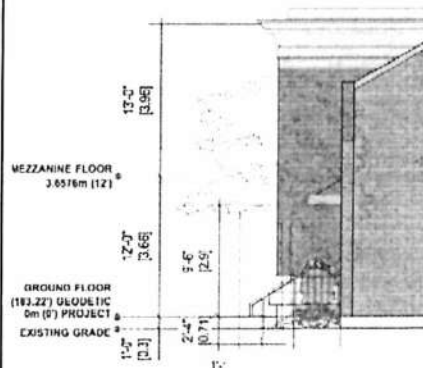
Proposed



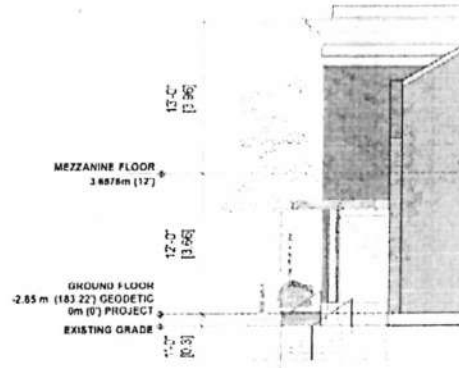
vs. February 8, 2018



East Elevation - Enlargement



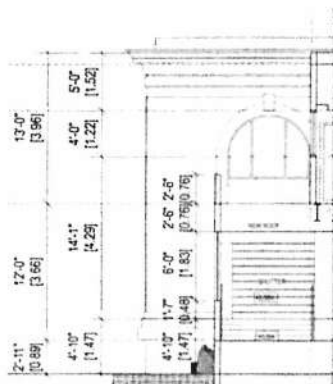
Proposed



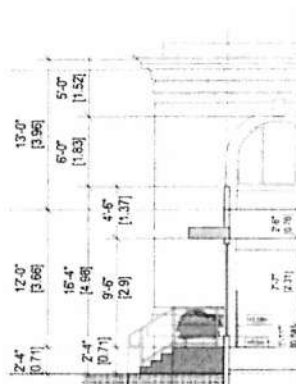
vs. Existing



East Sectional Elevation - Enlargement



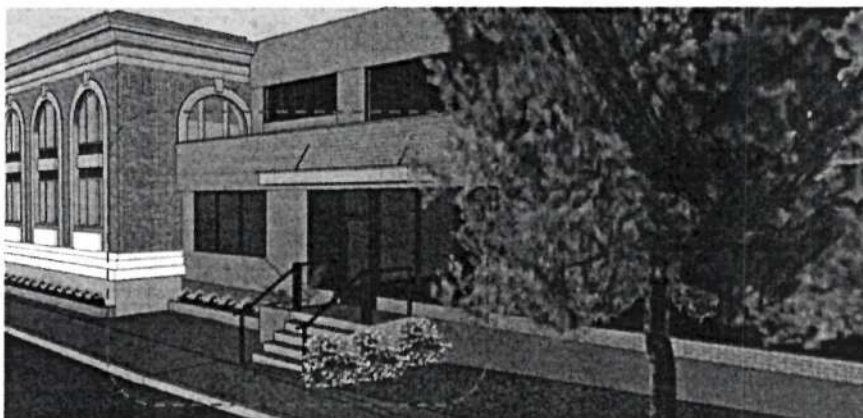
Proposed



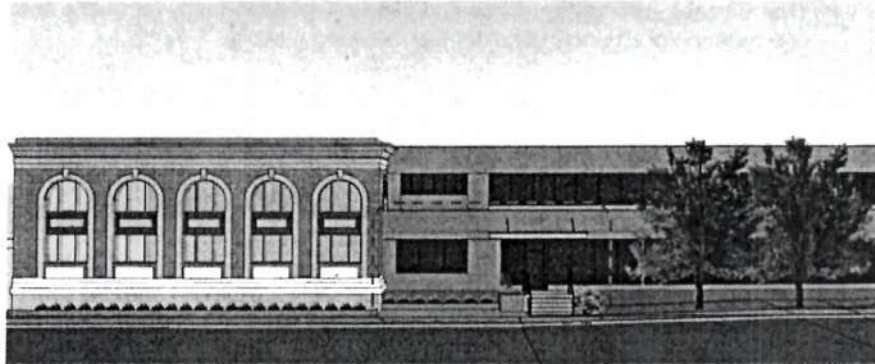
vs. Existing



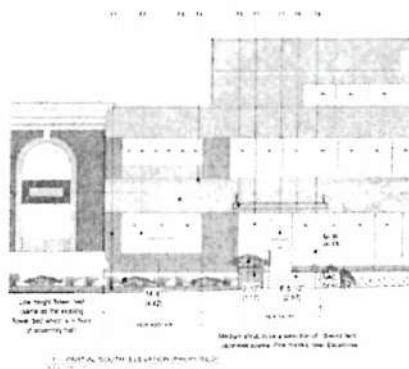
Rendering



Rendering



Materials



EXTERIOR FINISHES & NOTES -

- (F1) BRICK CLADDING - TYPE 1 (CLAY BRICKS WITH WHITE MORTAR)
- (F2) BRICK CLADDING - TYPE 2 (CLAY BRICKS WITH RED MORTAR)
- (F3) CEDAR SIDINGS (CLAYTON & DEERBROOK)
- (F4) PREFINISHED METAL FLASHINGS (ALUMINUM)
- (F5) PREFABRICATED ALUMINUM CANOPY (CLAYTON & DEERBROOK)
- (F6) CONCRETE - STEPS
- (F7) VINYL WINDOWS & DOORS (CLAYTON & DEERBROOK)
- (F8) METAL RAILINGS 42" HIGH (CLAYTON & DEERBROOK)



Recommendation

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00054 for 1800 Quadra Street, in accordance with:

1. Plans date stamped November 14, 2018.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the building setback along North Park Street from 6.0m to 0.58m
 - ii. increase the horizontal distance of the structure on one plane from a maximum of 30m to a maximum of 41.93m.
3. The Development Permit lapsing two years from the date of this resolution."

