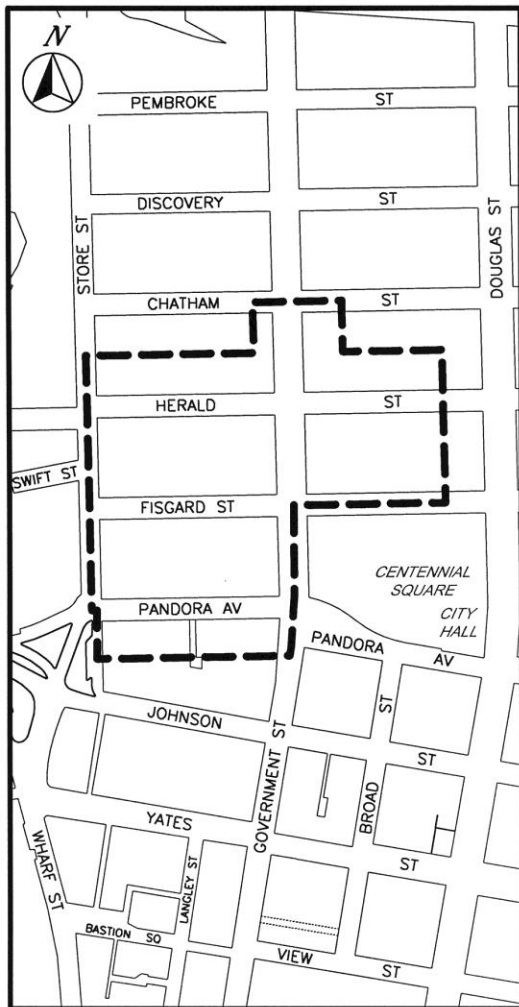


PREFACE

At its July 21, 1983 meeting Victoria City Council endorsed the "Guidelines for Chinatown Development Permit Area" and passed a resolution that they be published for public information



CHINATOWN GUIDELINES FOR BUILDING, CANOPIES, LANDSCAPING, COLOURS & SIGNS.

INTRODUCTION

The guidelines are meant to assist developers to achieve a design compatible with the characteristics of Chinatown (area outlined on the map). Because it is a designated Development Permit Area under Bylaw 78-28 all exterior design is subject to City Council approval. The guidelines are general in nature and intended to identify issues that should play a part of the design process. The guidelines do not replace the requirements of statutory regulations such as Building Code, Zoning and Sign Bylaws. Additional guidelines are available for heritage buildings¹.

Chinatown is characterized by its exuberance and both development and redevelopment should add to its unique, oriental appearance and mystique.

Chinatown streetscapes are brightly coloured and picturesquely ornamented with oriental motifs, e.g. dragon; phoenix (symbols of heaven and earth), traditional patterns representing longevity and good luck, decorative mouldings, panels, lanterns, lions and wind chimes.

The area enjoys a major concentration of heritage buildings with an intimate labyrinth of walkways and walled courtyards.

AN ACCEPTABLE APPLICATION WILL INCLUDE THESE CONSIDERATIONS:

BUILDINGS

- a) Attractive streetscapes, architectural and landscape features of the immediate area will be identified and acknowledged.
- b) New construction will complement flanking buildings having either heritage qualities or special oriental motifs and detail
- c) In evaluating a design, particular emphasis will be placed on the solution to these general aspects²:
 - i. comprehensive design approach,
 - ii. relevancy of expression,
 - iii. context,
 - iv. pedestrian access.

CANOPIES

Applications should acknowledge that canopies of various types are an important element of Chinatown, for example, the Gate of Harmonious Interest is a traditional example in terms of its concave shape and upturned eaves. Various oriental decorative motifs should be considered (wherever possible) to the building faces and structural elements.

LANDSCAPING

Applications should incorporate landscape elements that extend and enhance the Chinatown network of walkways and walled courtyards. Important aspects:

- a) Spaces should be intimate in scale and invite exploration by visitors.
- b) Planting materials and scale should be oriental in nature and compatible in size with their small scale environment.
- c) Landscape elements should include water, rocks, potted plants, guardian animal symbols, traditional window grates and balustrades and openings in tile-capped garden walls.
- d) Ornamental paving should incorporate oriental patterns and traditional symbols

COLOURS

Oriental colours such as reds and greens constitute a main theme. Supporting colours must be carefully proportioned in the overall colour scheme for the building.

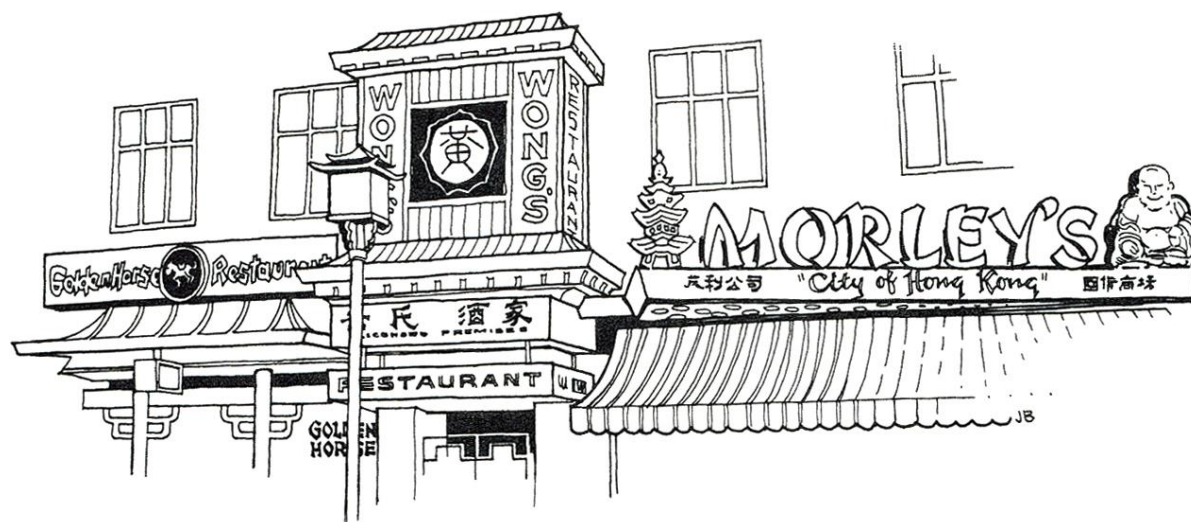
SIGNS³

- a) Applications should respect the integrity of the building design and general character of the signs/awnings and buildings in the immediate vicinity. The following basic design principles should be considered:
 - i. all vibrant, strongly colourful signs are encouraged. Neon tube, signs on shop window glass and front-lit signs are especially desirable,
 - ii. oriental lettering, symbols, patterns and decorative mouldings should be used,

- iii. the overall design, including its size, shape, material, texture, colour and method of lighting, should enhance the architecture of the building,
 - iv. size and location should respond rather than ignore significant architectural features of the building,
 - v. strong colours are preferred and should relate to the colour of the building. Where a 'trademark' colour is necessary, care should be taken to frame it in colours related to the building,
 - vi. fastening should be an integral part of the overall design.
- b) Comprehensive Sign Scheme Owners of buildings that are visually prominent and house a large number of commercial businesses are encouraged to prepare an overall sign plan for the building. This will minimize conflicts and delays when the individual sign applications are made

NOTES:

1. See Heritage Buildings Alterations & Signs for renovation guidelines to registry and designated buildings. (Information on the location of Chinatown Heritage buildings is available in the Planning Department)
2. Victoria's Advisory Design Guidelines provides a glossary of these and other terms used by the Advisory Design Panel. (Brochure available at Planning Department)
3. Procedure for Signs
Prior to installation, a permit is issued by the Public Works Department. This is standard procedure, as required by bylaw, for all signs throughout the City of Victoria. For those within Development Permit Areas, an additional step is included in the procedure. In accord with Bylaw #80-149, application must be approved by the Advisory Design Panel or City Council. Application is submitted to the Public Works Department and consists of a coloured illustration showing the building with existing signs, a coloured illustration of the proposal and a Public Works application form that records materials, form of illumination, size and a statement that the owner consents



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