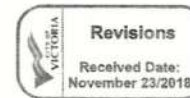


PROJECT INFORMATION TABLE	
Zone (existing)	CR-3M, R-K
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m ²)	2875 m ² (DPA 5 = 1099 m ² , DPA 16 = 1776 m ²)
Total floor area (m ²)	6299 m ² (DPA 5 = 2747 m ² , DPA 16 = 3552 m ²)
Commercial floor area (m ²)	535 m ²
Floor space ratio	2.19:1 (DPA 5 = 2.5:1, DPA 16 = 2:1)
Site coverage (%)	65.7%
Open site space (%)	34.1%
Height of building (m)	16.15 m
Number of storeys	4
Parking stalls (number) on site	80
Bicycle parking number (Class 1 and Class 2)	63 CLASS 1, 12 CLASS 2
Building Setbacks (m)	* MEASURED TO BUILDING FACE
Front yard	3.18 m (PENDERGAST STREET)
Rear yard	4.18 m
Side yard (indicate which side)	3.54 m (WEST P.L.)
Side yard (indicate which side)	0.46 m (COOK STREET)
Combined side yards	4.00 m
Residential Use Details	
Total number of units	48
Unit type, e.g., 1 bedroom	11 1BR, 28 2BR, 9 3BR
Ground-orientated units	7
Minimum unit floor area (m ²)	66 m ²
Total residential floor area (m ²)	5160 m ²



COOK & PENDERGAST CORNER PERSPECTIVE



A0.00	Cover Sheet	A2.01	Ground Floor	A9.01	Materials
A1.00	Survey, Existing Site Plan & Average Grade	A2.02	Level 2	L1.01	Landscape Materials Plan
A1.01	Code Analysis	A2.03	Level 3	L1.02	Tree Retention and Removal Plan
A1.02	Limiting Distance	A2.04	Level 4	L1.03	Stormwater Management Plan
A1.03	Overall Site Plan	A2.05	Roof Level	L1.04	Planting Plan & Plant List
A1.04	Shadow Studies - Equinox	A3.00	Elevations	L1.05	Roof & Rooftop Landscape & Planting Plan
A1.05	Shadow Studies - Summer	A3.01	Context Elevations	C1.00	Preliminary Site Plan
A1.06	Shadow Studies - Winter	A4.00	Building Sections		
A2.00	Parking Level	A4.01	Context Sections		
		A9.00	Perspectives		

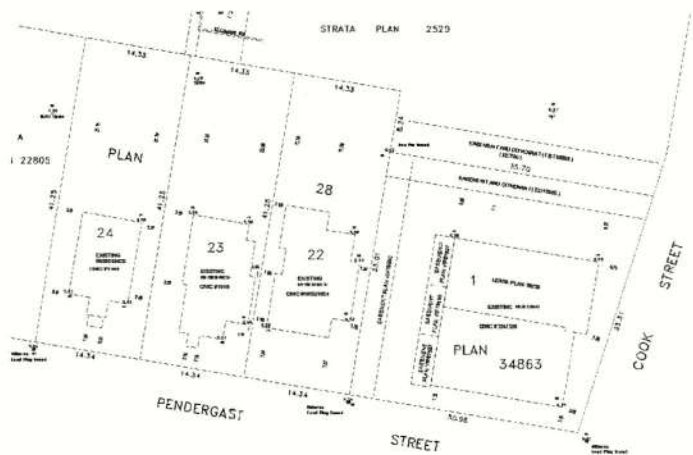


SITE CONTEXT PLAN

APPLICANT

PROJECT TEAM

ARCHITECT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER	CIVIL ENGINEER	TRAFFIC CONSULTANT	LANDSCAPE ARCHITECT	ARBORIST
ARAGON PROPERTIES LTD. 201-1628 WEST 1st AVENUE VANCOUVER BC V6J 1G1 604.732.6170	CASCADIA ARCHITECTS 1060 MEARES STREET VICTORIA BC V8V 3J6 250.590.3223	FAST + EPP 201-1672 WEST 1st AVENUE VANCOUVER BC V6J 1G1 778.406.0023	WILLIAMS ENGINEERING SUITE 202, 31 BASTION SQUARE VICTORIA BC V8W 1J1 604.294.8414	SMITH + ANDERSEN 338-6450 ROBERTS STREET BURNABY BC V5G 4E1 604.294.8414	J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE VICTORIA BC V8Z 4B7 250.727.2214	WATT CONSULTING GROUP 501-740 HILLSIDE AVENUE VICTORIA BC V8T 1Z4 250.388.9877	MURDOCH de GREEFF INC. 200-524 CULDUTH ROAD VICTORIA BC V8Z 1G1 250.412.2891
CONTACT: LENNY MOY lmoy@aragon.ca LUKE RAMSEY lramsey@aragon.ca	CONTACT: PETER JOHANNKNECHT peter@cascadiaarchitects.ca GREGORY DAMANT greg@cascadiaarchitects.ca	CONTACT: ROBERT JACKSON rjackson@fastepp.com	CONTACT: COLLIN CRONKHITE ccronkhite@williamsengineering.com	CONTACT: RON SHARMA Ron.Sharma@smithandanderson.com	CONTACT: ROSS TUCK rtuck@jeanderson.com	CONTACT: DANIEL CASEY dcasey@wattconsultinggroup.com	CONTACT: SCOTT MURDOCH scott@mdesign.com
							TALBOT MACKENZIE & ASSOCIATES BOX 48153 RPO UPTOWN VICTORIA BC V8Z 7H6 250.479.6733
							CONTACT: GRAHAM MACKENZIE tmtreehelp@gmail.com



J.E. Anderson and Associates

SURVEYORS ENGINEERS
VICTORIA

SITE PLAN

AS SHOWN PENDERGAST STREET AND COOK STREET
TOTAL LOT 1, PLAN 34863 AND THIS
22, 23 AND 24, PLAN 28, ALL OF
FAIRFIELD FARM ESTATE, VICTORIA CITY

DESIGNED BY: J.E. ANDERSON & ASSOCIATES

SCALE: 1:250 DATE: JAN 10, 2018

DUCKETT DEVELOPMENTS INC.

DATE: 10/1/2018

1 Survey Plan 1:300

AVERAGE GRADE CALCULATIONS

GRADE POINTS:

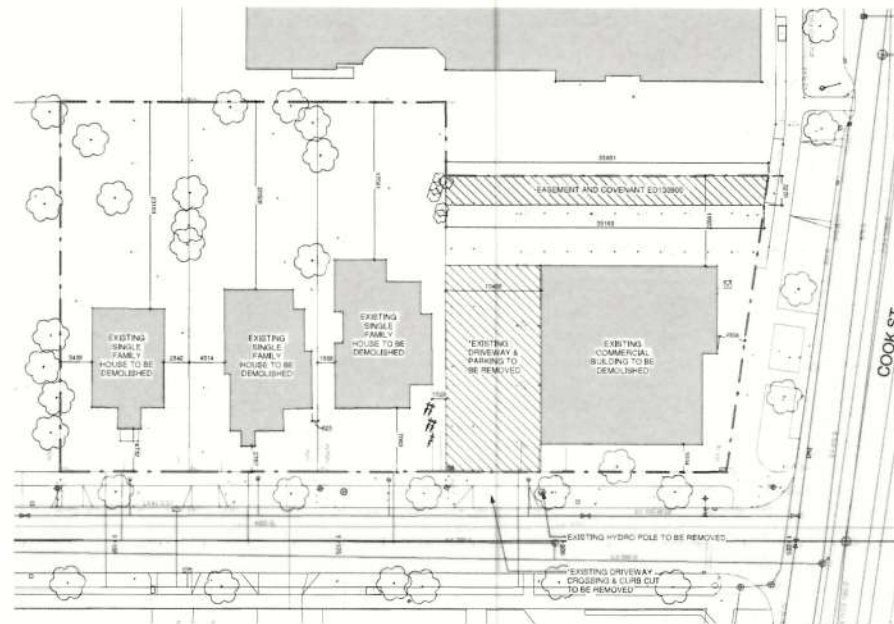
A: 5.66	R: 5.37
B: 5.70	S: 5.32
C: 5.70	T: 5.47
D: 6.22	U: 5.58
E: 6.00	V: 5.40
F: 5.77	W: 5.39
G: 5.91	X: 5.65
H: 5.56	Y: 5.54
J: 5.43	Z: 5.58
K: 5.43	AA: 5.56
L: 5.40	BB: 5.65
M: 5.59	CC: 5.67
N: 5.40	
P: 5.37	
Q: 5.40	

GRADE POINTS:

A-B:	$((5.66+5.70)/2) \times 0.79$	=44.87
B-C:	$((5.70+5.70)/2) \times 0.47$	=26.79
C-D:	$((5.70+6.22)/2) \times 25.9$	=154.36
D-E:	$((6.22+6.00)/2) \times 0.75$	=45.83
E-F:	$((6.00+5.77)/2) \times 26.6$	=156.54
F-G:	$((5.77+5.91)/2) \times 0.49$	=28.62
G-H:	$((5.91+5.56)/2) \times 0.85$	=48.75
H-J:	$((5.56+5.43)/2) \times 0.21$	=11.54
J-K:	$((5.43+5.43)/2) \times 0.21$	=11.40
K-L:	$((5.43+5.40)/2) \times 0.27$	=14.62
L-M:	$((5.40+5.59)/2) \times 0.97$	=53.30
M-N:	$((5.59+5.40)/2) \times 0.59$	=32.40
N-P:	$((5.40+5.37)/2) \times 0.35$	=18.85
P-Q:	$((5.37+5.40)/2) \times 0.35$	=18.85
Q-R:	$((5.40+5.37)/2) \times 13.2$	=71.80
R-S:	$((5.37+5.32)/2) \times 12.0$	=64.14
S-T:	$((5.32+5.47)/2) \times 0.97$	=52.33
T-U:	$((5.47+5.58)/2) \times 0.53$	=29.28
U-V:	$((5.58+5.40)/2) \times 0.70$	=38.43
V-W:	$((5.40+5.39)/2) \times 28.6$	=154.30
W-X:	$((5.39+5.65)/2) \times 15.0$	=82.80
X-Y:	$((5.65+5.54)/2) \times 0.38$	=21.26
Y-Z:	$((5.54+5.58)/2) \times 0.73$	=40.59
Z-AA:	$((5.58+5.56)/2) \times 0.15$	=8.36
AA-BB:	$((5.56+5.65)/2) \times 0.35$	=19.62
BB-CC:	$((5.65+5.67)/2) \times 0.15$	=8.49
CC-A:	$((5.67+5.66)/2) \times 0.33$	=18.70

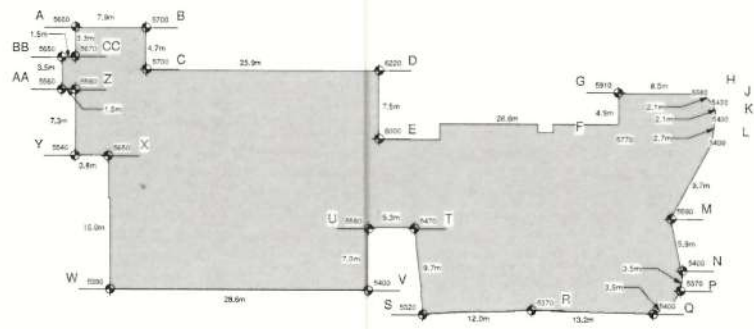
227.2 1276.82

AVERAGE GRADE = $1276.82/227.2 = 5.62$



NOTE:
REFER TO LANDSCAPE PLAN FOR TREE
INFORMATION INCLUDING LOCATION OF
TREES TO BE REMOVED

2 Existing Site Plan 1:250



3 Average Grade Plan 1:250

NO.	DESCRIPTION	DATE
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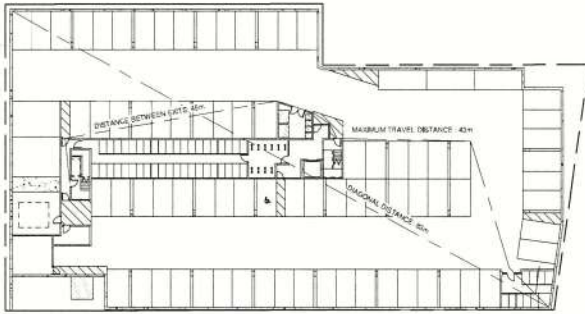


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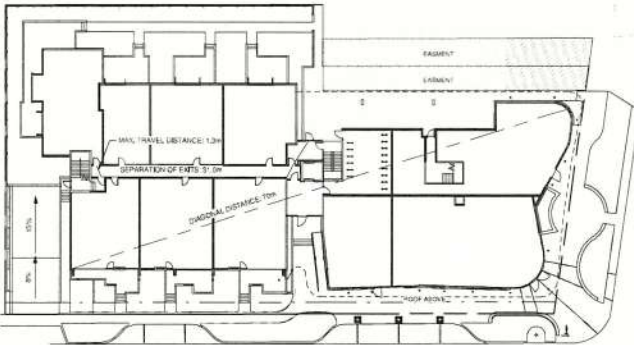
Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

Survey, Existing Site Plan &
Average Grade
Date: May 4, 2018
As indicated
Project # 1719
May 4, 2018
Sheet # 1
A1.00

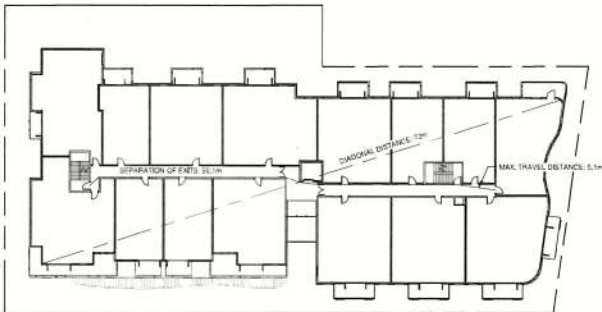
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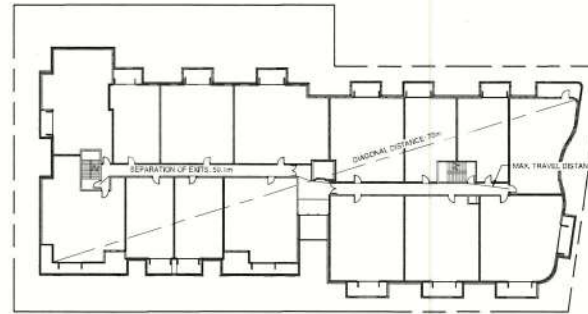
1 Parking Level - Code Plan
1 : 300



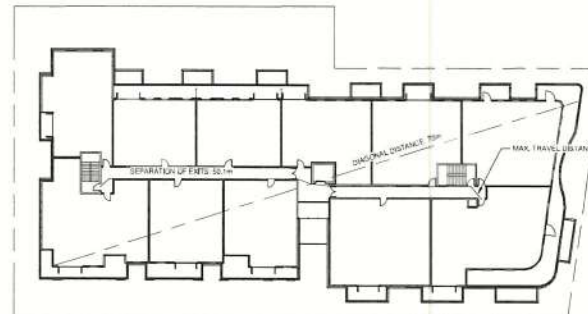
2 Grade - Code Plan
1 : 300



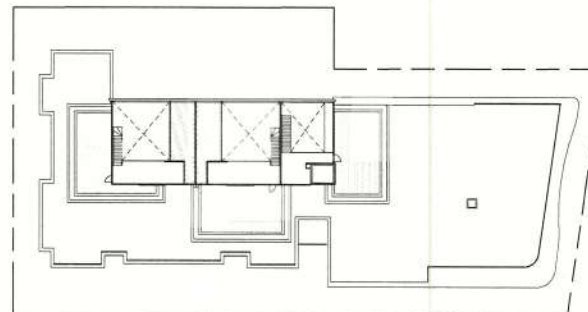
3 Level 2 - Code Plan
1 : 300



4 Level 3 - Code Plan
1 : 300



5 Level 4 - Code Plan
1 : 300



6 Roof - Code Plan
1 : 300

BC BUILDING CODE 2012

- 3.1 GENERAL**
- 3.1.2.1 OCCUPANCY CLASSIFICATION:**
GROUP C, RESIDENTIAL, OCCUPANCY LEVEL 1A
GROUP F, DIVISION 3, PARKING LEVEL
- 3.1.3 SEPARATION OF USES**
F-C TO C INCLUDING 1.1M / 1.1 R.R.
C TO F, DIVISION 3, 2.1M / 1.1 R.R.
- 3.1.7 OCCUPANT LOAD**
SEE A1.01
- 3.2 FIRE SAFETY**
BUILDING AREA
1793 sq ft
- 3.2.2 BUILDING SIZE AND CONSTRUCTION**
3.2.2.20 GROUP C, UP TO 5 STORES: SPRINKLERED
SPRINKLERED: YES
- 3.4 EXITS**
3.4.2.1 MINIMUM NUMBER OF EXITS: 2 PER FLOOR
3.4.2.2 DISTANCE BETWEEN EXITS: SEE A1.01
3.4.2.3 LOCATION OF EXITS
MAX TRAVEL PERMITTED (RESIDENTIAL): 30m
MAX TRAVEL PERMITTED (F3 USE): 45m
- 3.7 HEALTH REQUIREMENTS**
NUMBER OF REQUIRED WASHROOM: T.B.D.
3.8 REQUIREMENTS FOR PERSONS WITH DISABILITIES
T.B.D.

NO.	DESCRIPTION	DATE



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Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

Code Analysis

Scale	1 : 300	Project #	1719
Client	A1.01		
Drawn by	A1.01		

2018 05 08 12:29 PM

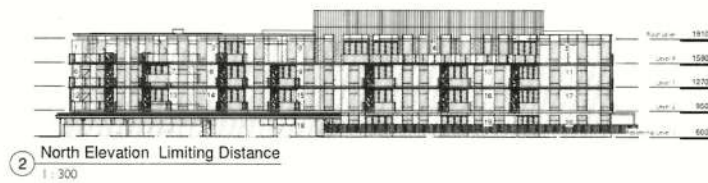
GROUP E OCCUPANCY
 LIMITING DISTANCE: 16.2 m
 EXPOSING BUILDING FACE: 200+ m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY
 LIMITING DISTANCE: 16.2 m
 EXPOSING BUILDING FACE: 150+ m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



GROUP E OCCUPANCY
 LIMITING DISTANCE: 4.7 m
 EXPOSING BUILDING FACE: 73 m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 20%
 PROPOSED AREA OF UNPROTECTED OPENINGS: 10 m²
 PROPOSED PERCENTAGE OF UNPROTECTED OPENINGS: 26.3%

GROUP C OCCUPANCY
 SEE TABLE



NORTH ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING	PROPOSED AREA OF OPENING	PROPOSED % OPENING
1	4.1 m	45 m ²	90%	23 m ²	51%
2	4.1 m	35 m ²	75%	18 m ²	51%
3	4.1 m	39 m ²	75%	21 m ²	52%
4	12.2 m	41 m ²	100%	41 m ²	63%
5	5.8 m	28 m ²	100%	11 m ²	39%
6	4.1 m	27 m ²	78%	13 m ²	48%
7	4.1 m	20 m ²	100%	14 m ²	70%
8	4.1 m	18 m ²	100%	14 m ²	78%
9	4.1 m	20 m ²	78%	16 m ²	82%
10	10.5 m	44 m ²	100%	35 m ²	81%
11	5.8 m	28 m ²	100%	11 m ²	39%
12	4.1 m	27 m ²	78%	13 m ²	48%
13	4.1 m	20 m ²	100%	14 m ²	70%
14	4.1 m	20 m ²	100%	14 m ²	70%
15	4.1 m	29 m ²	78%	18 m ²	62%
16	10.5 m	44 m ²	100%	31 m ²	61%
17	5.8 m	28 m ²	100%	11 m ²	39%
18	5.8 m	28 m ²	100%	8 m ²	21%
19	10.5 m	44 m ²	100%	42 m ²	95%
20	5.8 m	31 m ²	100%	8 m ²	26%

GROUP E OCCUPANCY
 LIMITING DISTANCE: 10.3 m
 EXPOSING BUILDING FACE: 79 m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY
 LIMITING DISTANCE: 10.3 m
 EXPOSING BUILDING FACE: 100+ m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



GROUP E OCCUPANCY
 N/A

GROUP C OCCUPANCY
 LIMITING DISTANCE: 5 m
 EXPOSING BUILDING FACE: 400 m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 40%
 PROPOSED AREA OF UNPROTECTED OPENINGS: 83 m²
 PROPOSED PERCENTAGE OF UNPROTECTED OPENINGS: 20.8%



NO.	DESCRIPTION	DATE
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 Aragon Properties Ltd.
 328 Cook Street

Limiting Distance

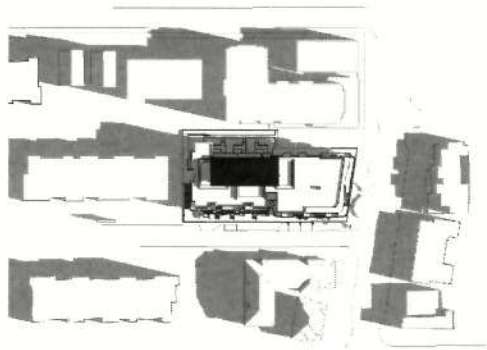
DATE: May 4, 2018

Scale: 1 : 300 Project #: 1719

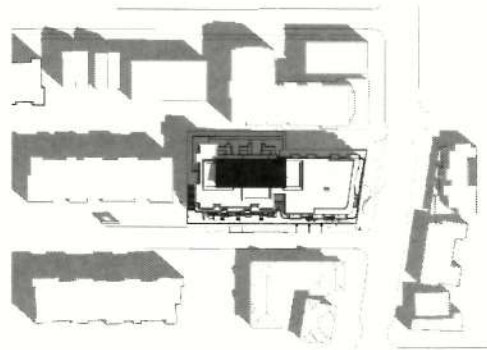
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Sheet #: A1.02

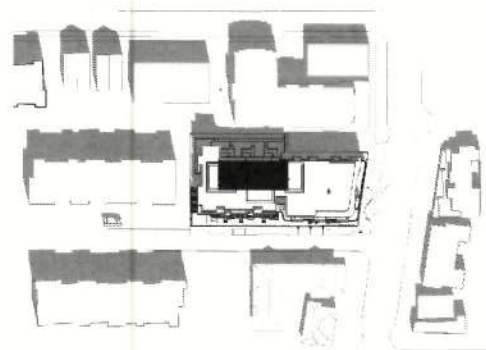
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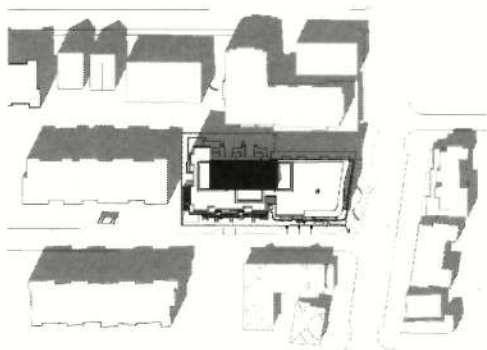
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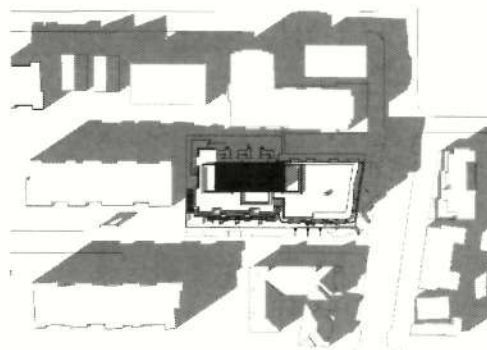
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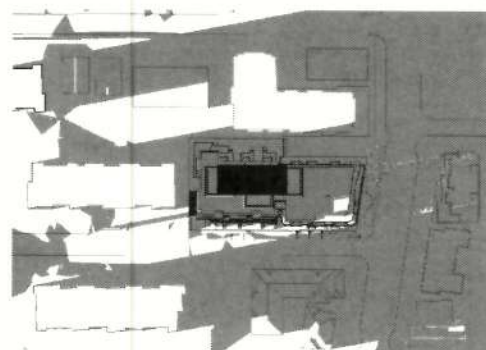
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1 : 1000



② Shadow - Equinox - 2 PM
1 : 1000



③ Shadow - Equinox - 4 PM
1 : 1000



⑥ Shadow - Equinox - 6 PM
1 : 1000

NO.	DESCRIPTION	DATE
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CASCADIA ARCHITECTS INC.

10000 100th Ave. S.E. Suite 1000, Bellevue, WA 98004
Tel: 206.468.1111 Fax: 206.468.1112
www.cascadiaarchitects.com

Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

Shadow Studies - Equinox

Scale: May 4, 2018

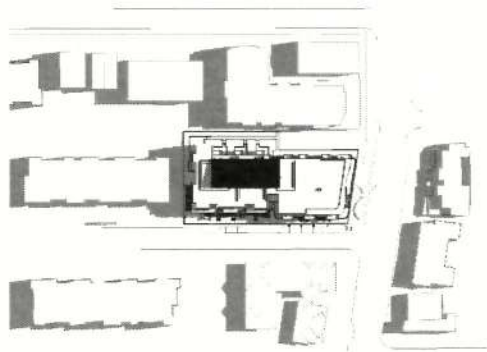
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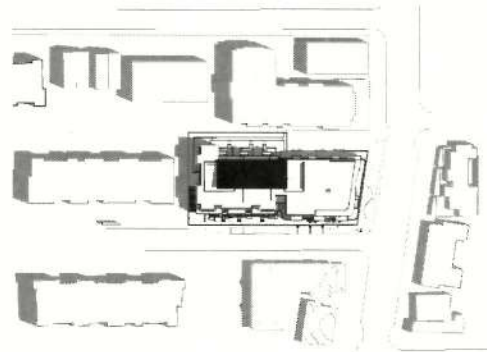
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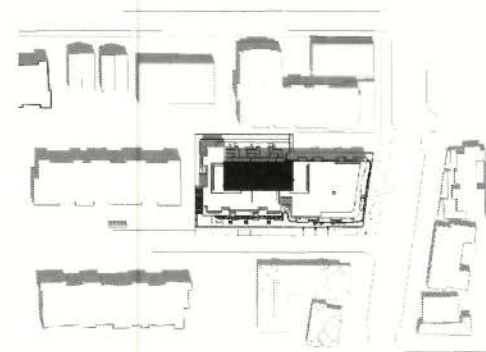
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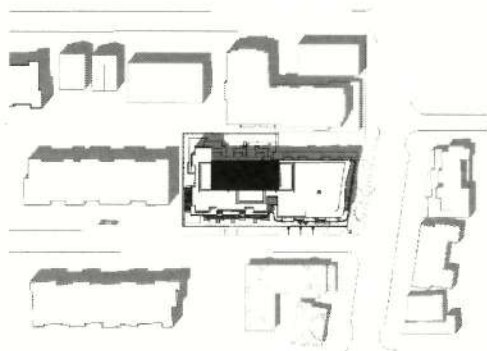
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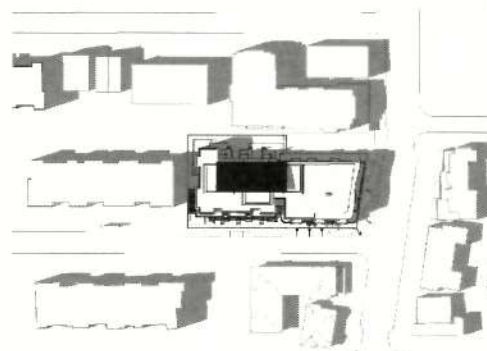
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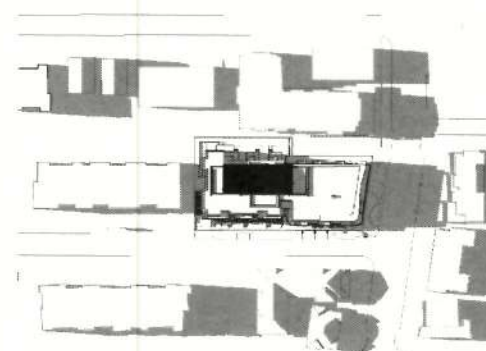
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④ Shadow - Summer - 2 PM
1 : 1000



⑤ Shadow - Summer - 4 PM
1 : 1000



⑥ Shadow - Summer - 6 PM
1 : 1000

NO.	DESCRIPTION	DATE
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328 Cook Street

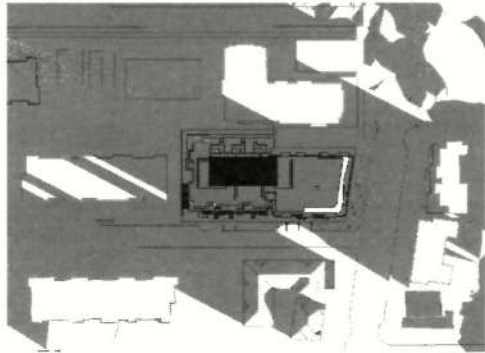
Shadow Studies - Summer

DATE: May 4, 2018

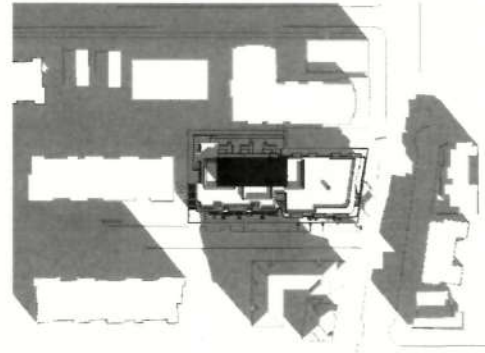
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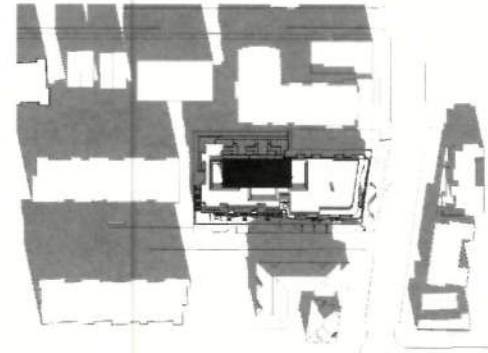
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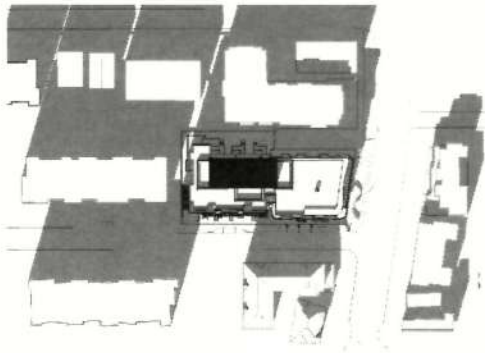
① Shadow - Winter - 8 AM
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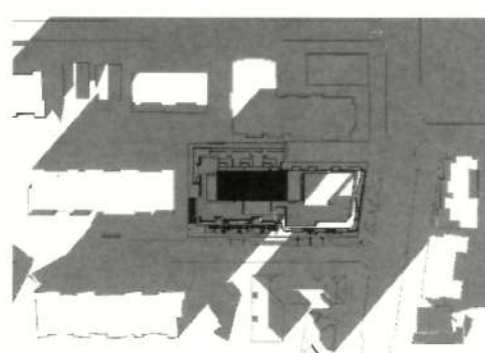
② Shadow - Winter - 10 AM
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③ Shadow - Winter - 12 PM
1 : 1000



④ Shadow - Winter - 2 PM
1 : 1000



⑤ Shadow - Winter - 4 PM
1 : 1000

NO.	DESCRIPTION	DATE
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Cascadia Architects Inc. is a professional architectural firm providing architectural services to clients in the Pacific Northwest. The firm is committed to providing high-quality, innovative, and sustainable architectural solutions for its clients.

Project: Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

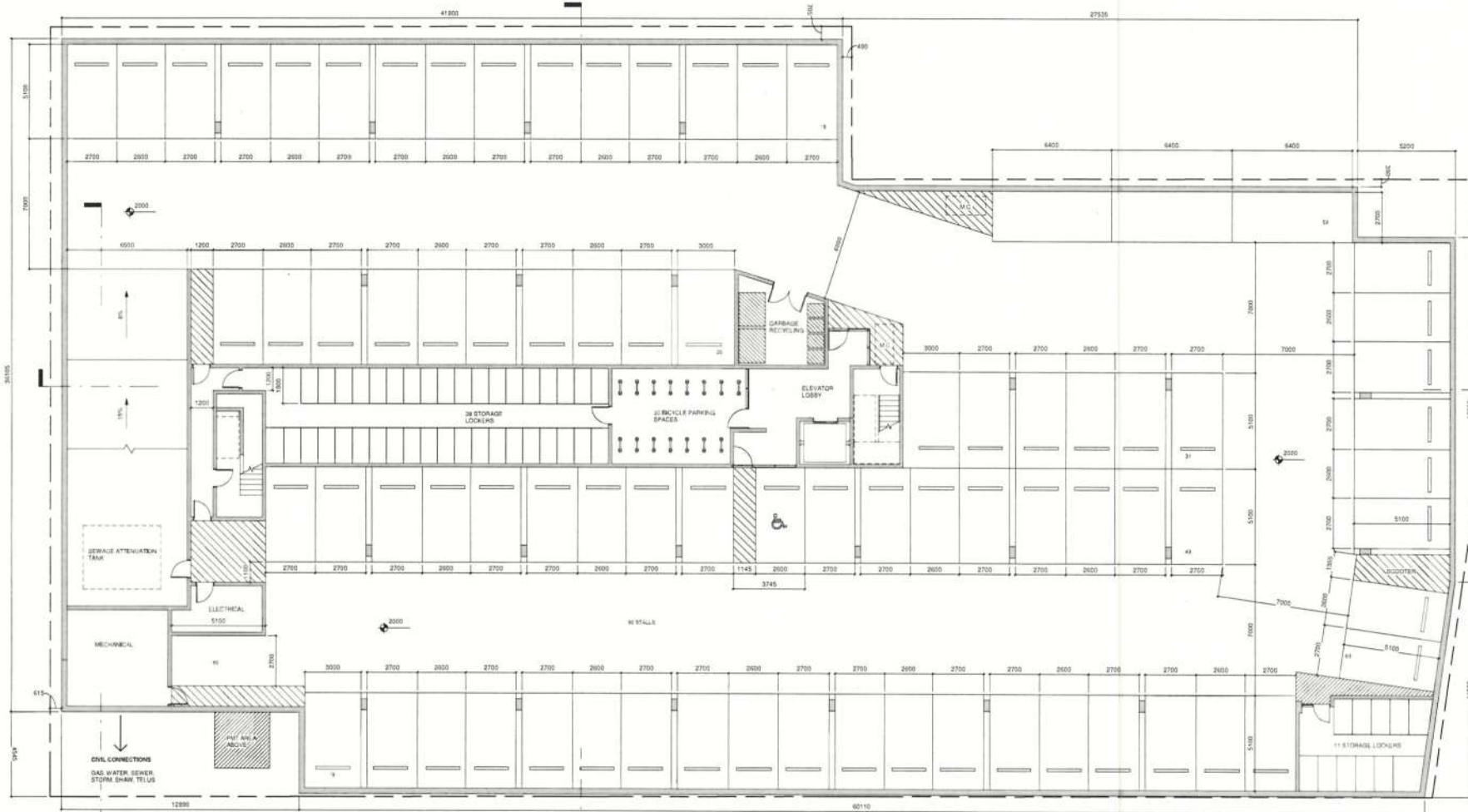
Shadow Studies - Winter

City: May 4, 2018

Scale: 1 : 1000 Project #: 1719

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2018-05-04 09:47 AM



NO.	DESCRIPTION	DATE
1	Revision 1	September 8, 2018
2	Revision 2	May 4, 2018



Cook & Pendergast
 Aragon Properties Ltd.
 328 Cook Street

Parking Level

Date: **May 4, 2018**

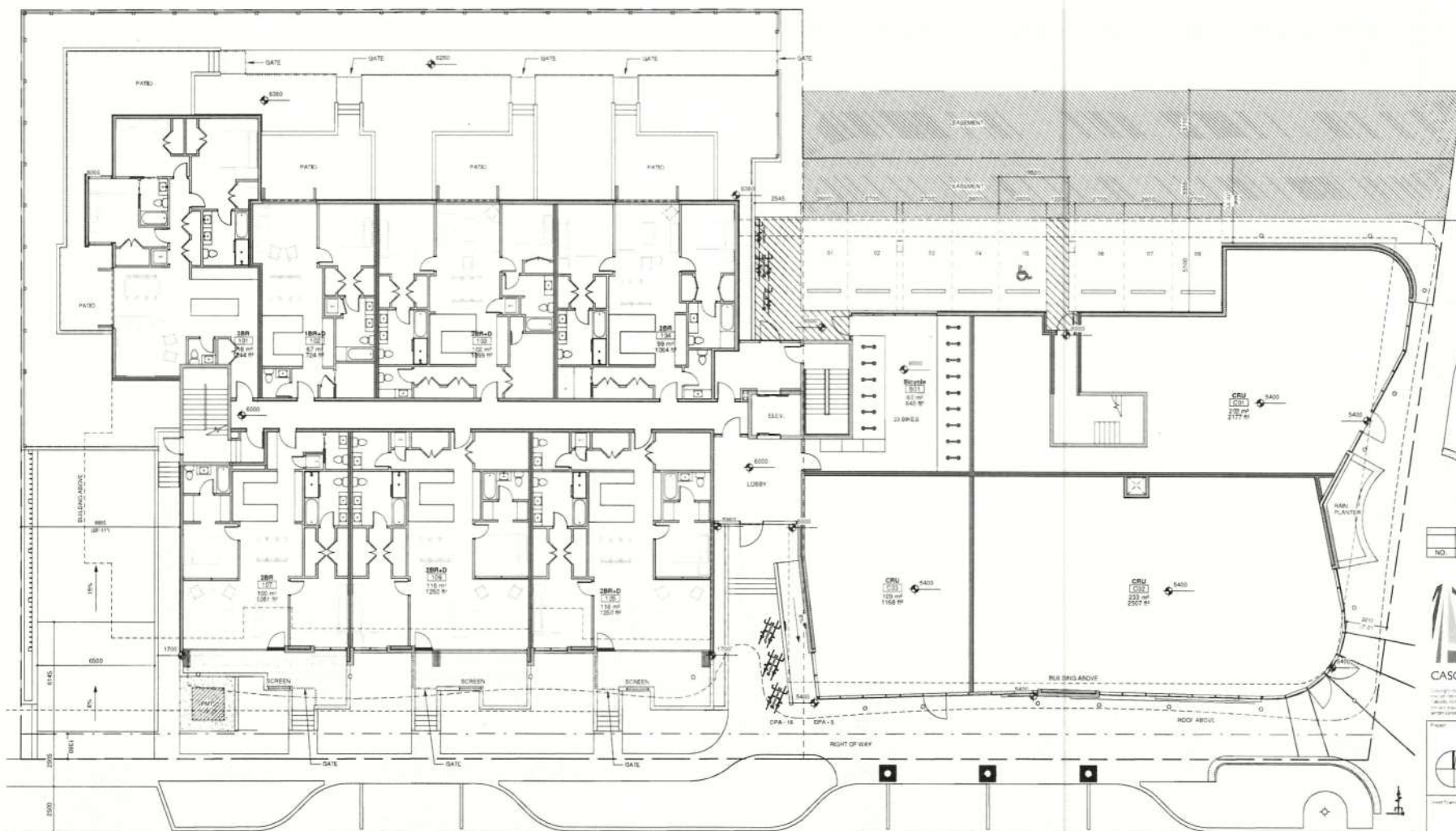
Scale: **1 : 100** Project # **1719**

Version: **2**

September 13, 2018

A2.00

2018 11 22 3:35 11 PM



DPA - 5 AREA = 587 m²

DPA - 16 AREA = 840 m²

NO.	DESCRIPTION	DATE



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Cook & Pendergast

Aragon Properties Ltd.
328 Cook Street

Ground Floor

Date: May 4, 2018

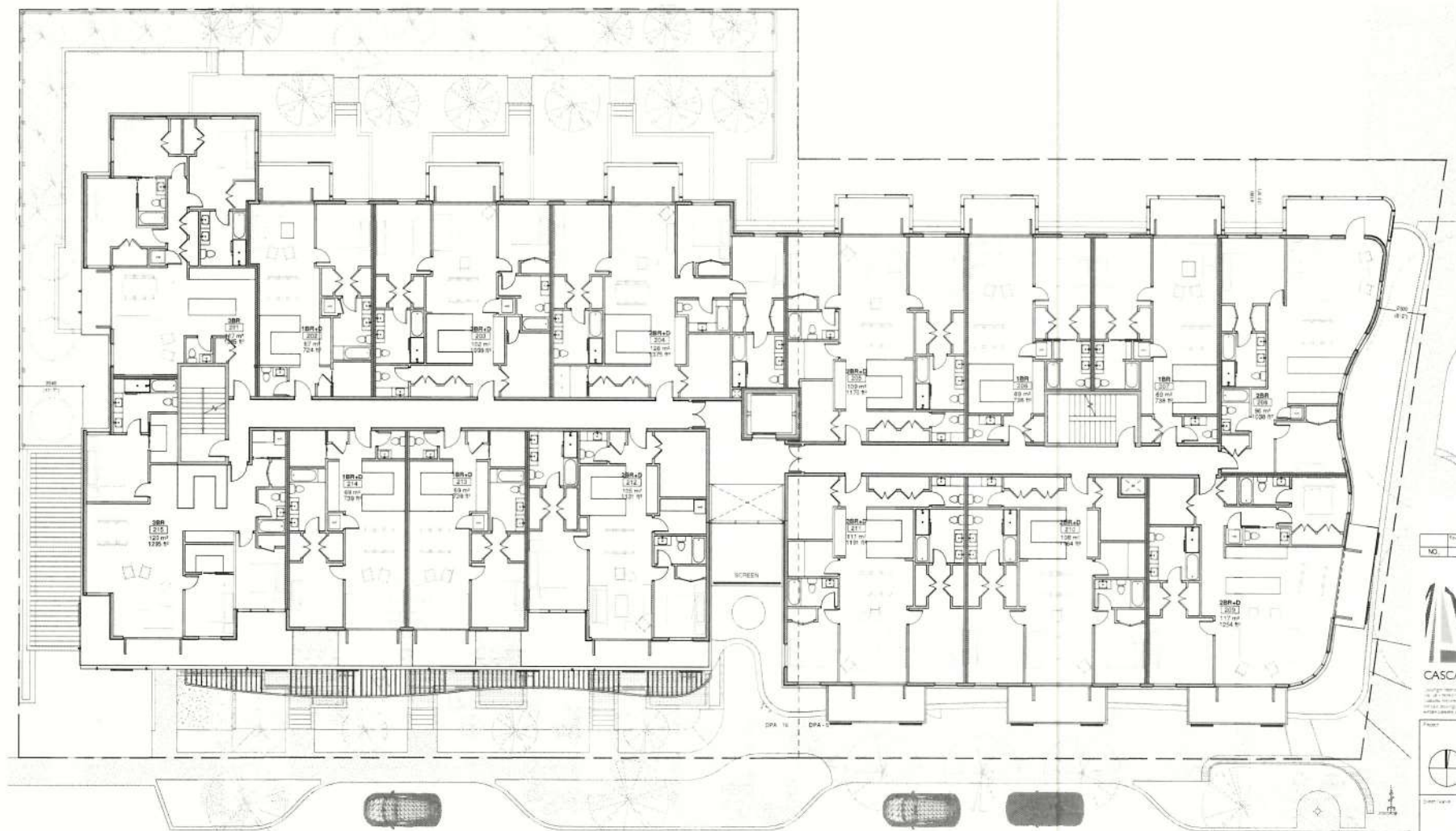
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Revision: May 4, 2018

Sheet #: 1

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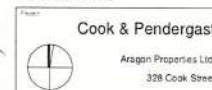
DPA - 5 AREA = 741.5 m²

DPA - 16 AREA = 892 m²

NO.	DESCRIPTION	DATE
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Cook & Pendergast
Arsgan Properties Ltd.
338 Cook Street



Level 2

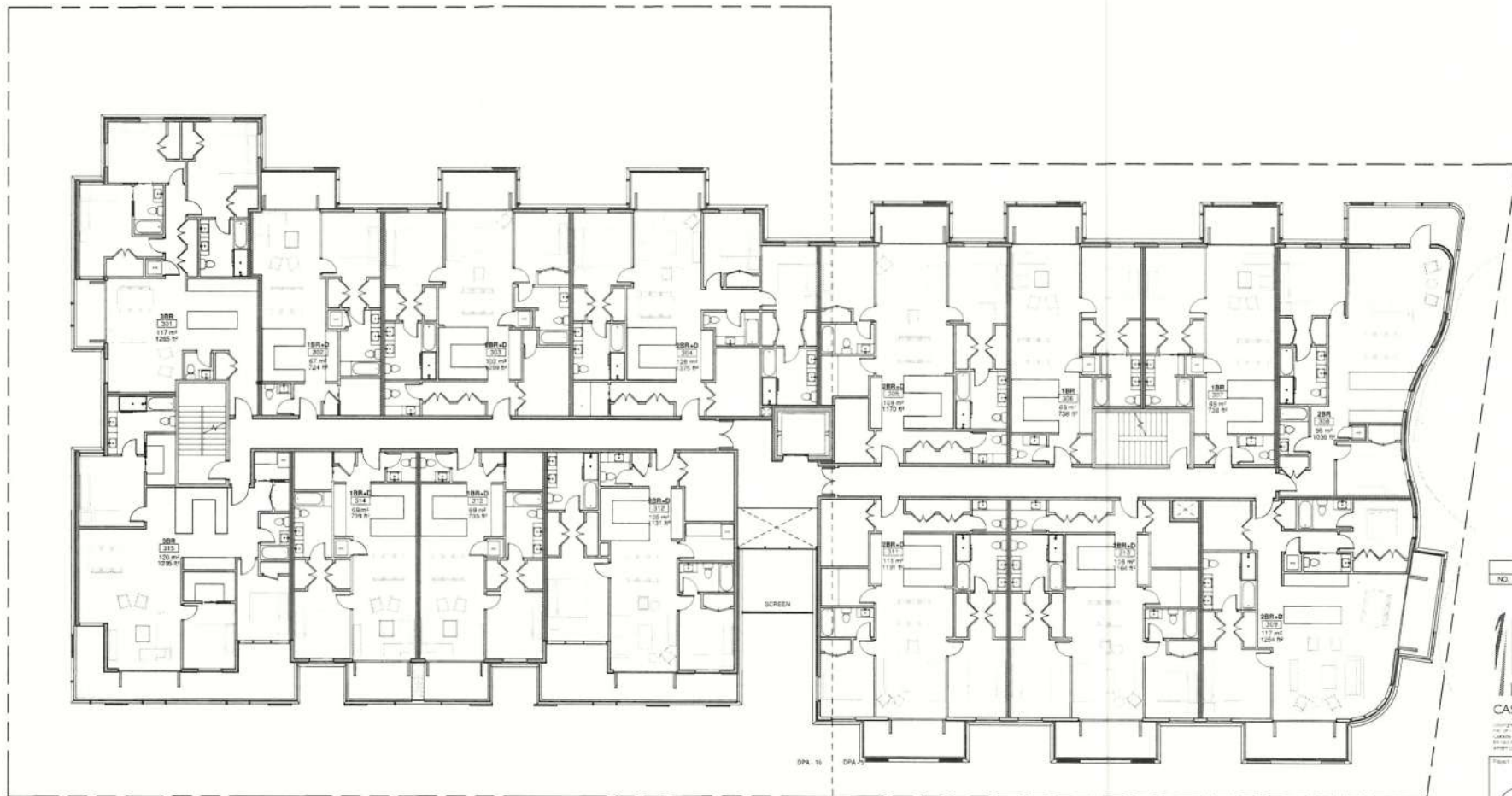
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Project: 1715

Revision: 1

Sheet: A2.02

2018-05-04 10:17 AM



DPA - 5 AREA = 741.5 m²

DPA - 16 AREA = 892 m²

NO	DESCRIPTION	DATE
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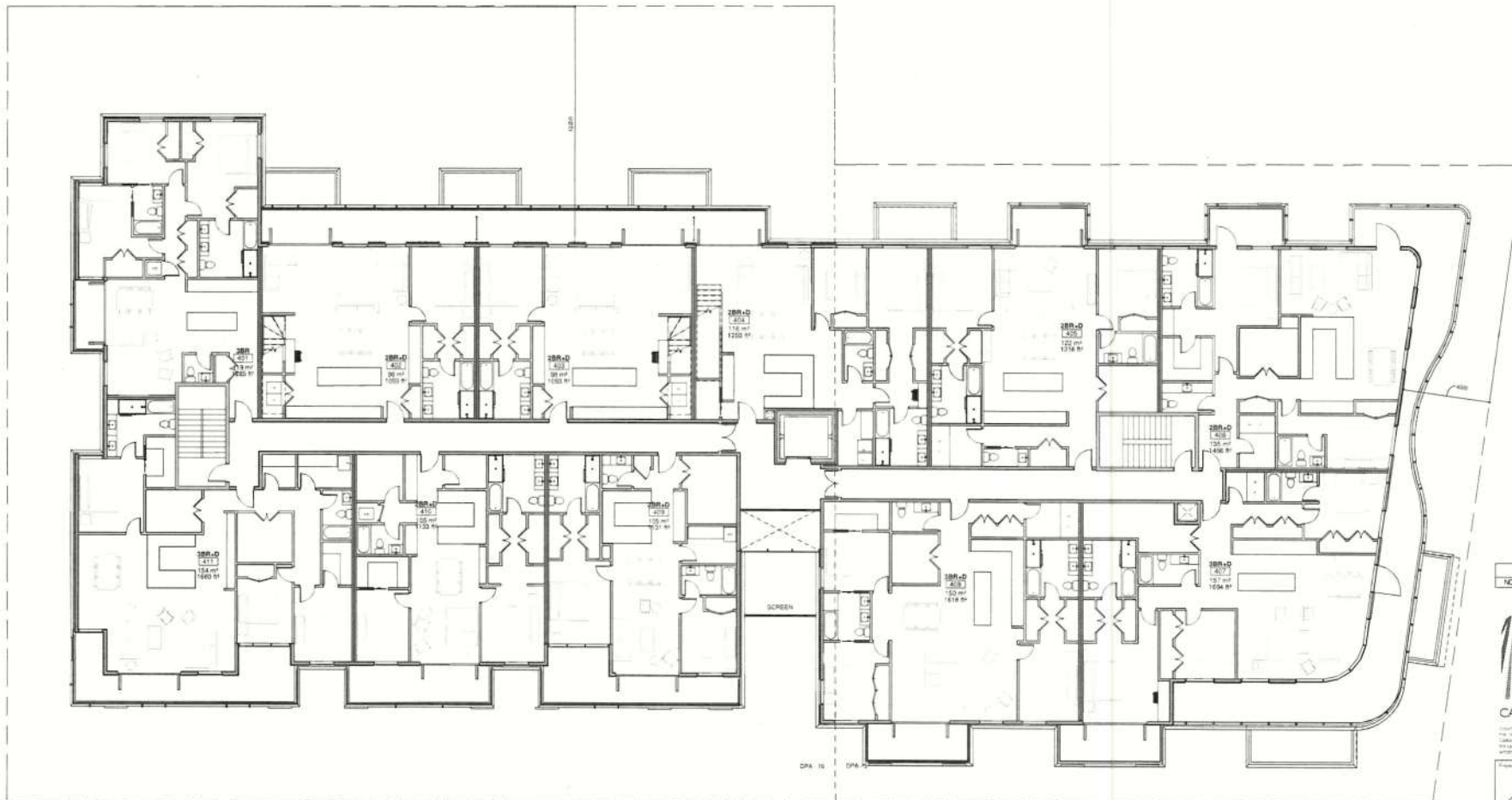


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Project	
Cook & Pendergast	
Aragon Properties Ltd.	
328 Cook Street	
Sheet Name	
Level 3	
Date	
May 4, 2018	
Scale	Project #
1 : 100	1719
Revision	
1	A2.03

2018 05 04 09:12 AM



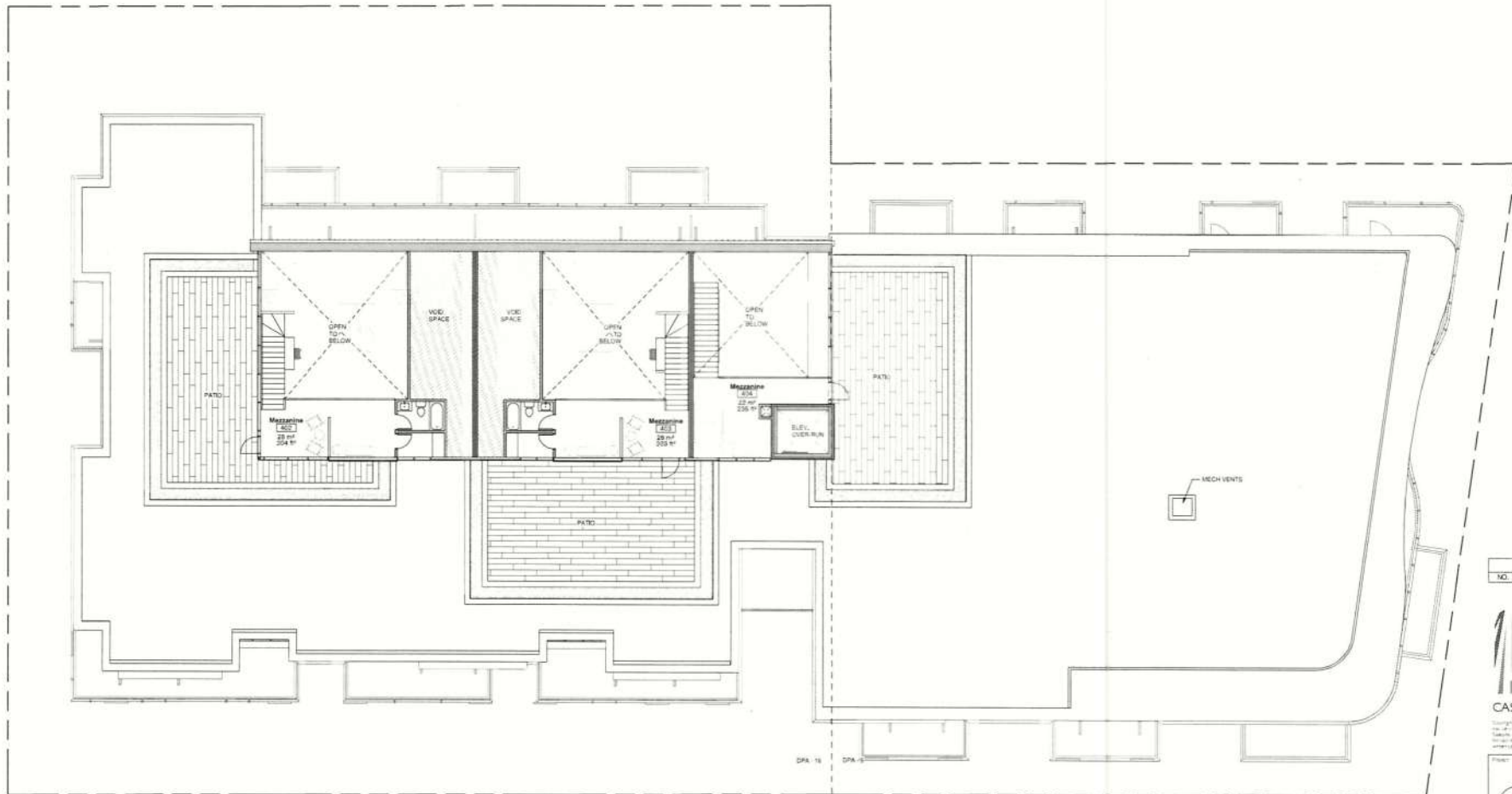
DPA - 5 AREA = 677 m²
DPA - 16 AREA = 847 m²

NO.	DESCRIPTION	DATE
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Cook & Pendergast Aragon Properties Ltd. 328 Cook Street	
Level 4	
Date: May 4, 2018	Project #: 1719
Scale: 1 : 100	Sheet: A2.04

2018-05-04 09:28:17 AM



DPA - 16 AREA = 81 m²

NO.	DESCRIPTION	DATE
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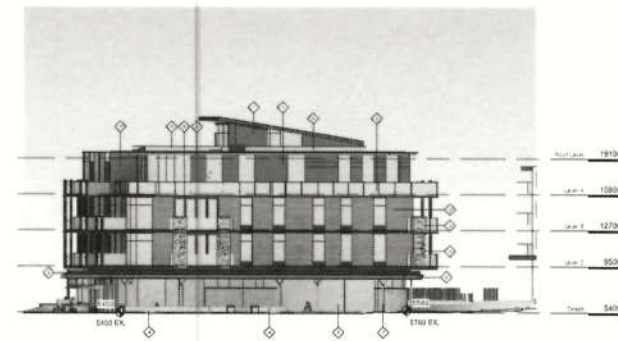
CASCADIA ARCHITECTS INC.

2019 05 09 09:22:00

Cook & Pendergast Aragon Properties Ltd. 329 Cook Street	
Roof Level	
Date May 4, 2018	Project # 1719
Scale 1:100	Sheet # A2.05



1 South Elevation
1:200



2 East Elevation
1:200



3 North Elevation
1:200



4 West Elevation
1:200

MATERIALS LEGEND	
1 CEMENTITIOUS PANEL CLADDING	7 CLEAR SEALED WOOD
2 WOOD-FINISH BOARD CLADDING	8 PRE-FINISHED METAL (CHARCOAL)
3 BRICK CLADDING	9 PERFORATED PRE-FINISHED ALUMINUM
4 STONE CLADDING	10 SOLID PRE-FINISHED ALUMINUM
5 GLASS	11 CONCRETE BLOCK
6 T&G CEDAR SOFFIT	12 PRE-FINISHED STANDING SEAM METAL

NO.	DESCRIPTION	DATE
-----	-------------	------



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Project	
Cook & Pendergast	
Aragon Properties Ltd.	
328 Cook Street	
Sheet Name	
Elevations	
Date	
May 4, 2018	
Scale	1:200
Sheet #	1719
Sheet #	
A3.00	

2018-10-23 3:40:13 PM



VIEW ALONG COOK STREET



VIEW ALONG PENDERGAST STREET



CORNER OF COOK STREET & PENDERGAST STREET



① Pendergast Street Elevation
1 : 300



② Cook Street Elevation
1 : 300

NO.	DESCRIPTION	DATE



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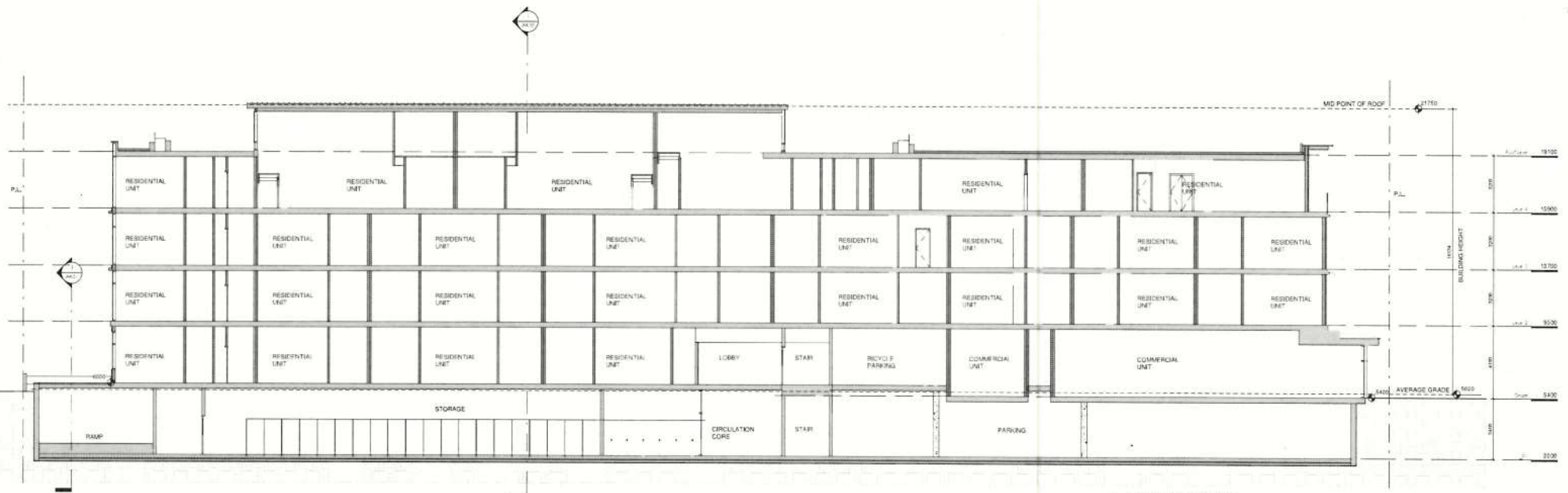
10000 100th Street, Suite 100, Richmond, BC V6V 1K1
Tel: 604-271-1111 Fax: 604-271-1112
Website: www.cascadiaarchitects.com

Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

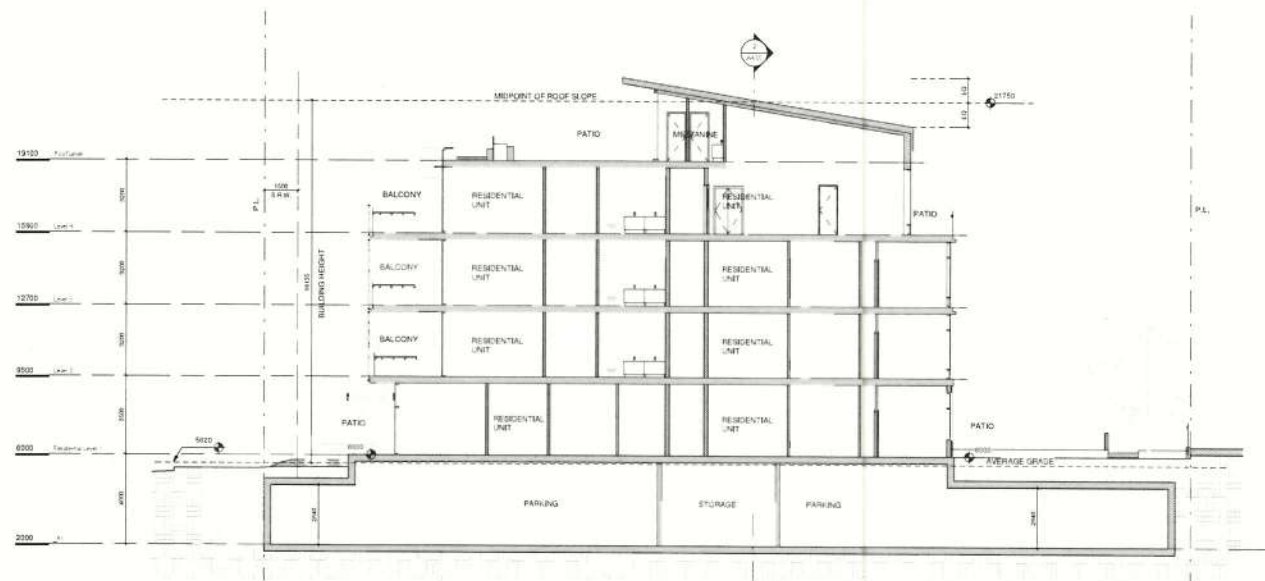
Context Elevations

Client	May 4, 2018
Scale	1 : 300
Project #	1719
Revision	
Sheet #	A3.01

2018.10.22 3:41:00 PM



2 Longitudinal Section
1:100



1 Cross Section
1:100

NO.	DESCRIPTION	DATE
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CASCADIA ARCHITECTS INC.

10000 10th Avenue, Suite 100, Vancouver, BC V6P 1G1
Tel: 604-271-1111 Fax: 604-271-1112
www.cascadiaarchitects.com

Project: **Cook & Pendergast**
Aragon Properties Ltd.
328 Cook Street

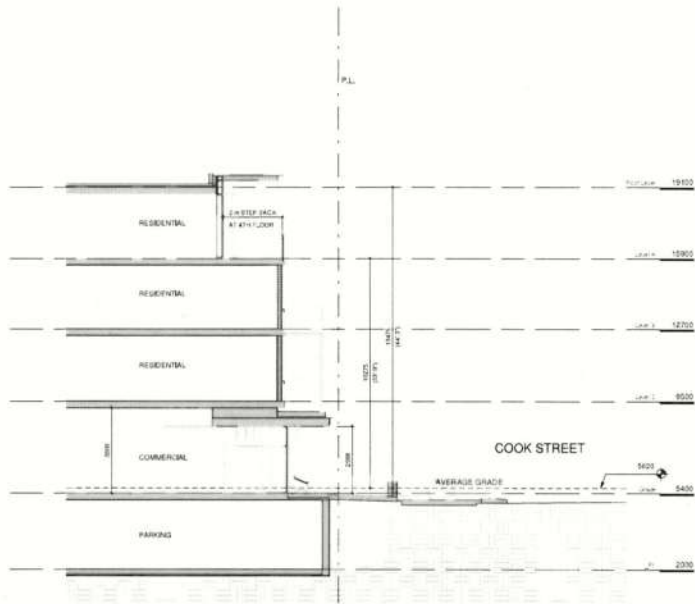
Building Sections

DATE: May 4, 2018

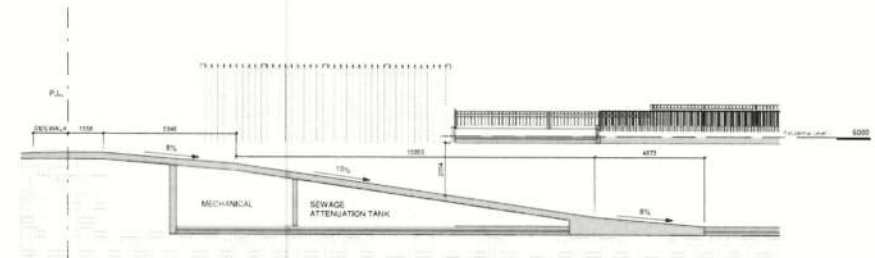
Scale: 1:100 Project #: 1719

Sheet #: A4.00

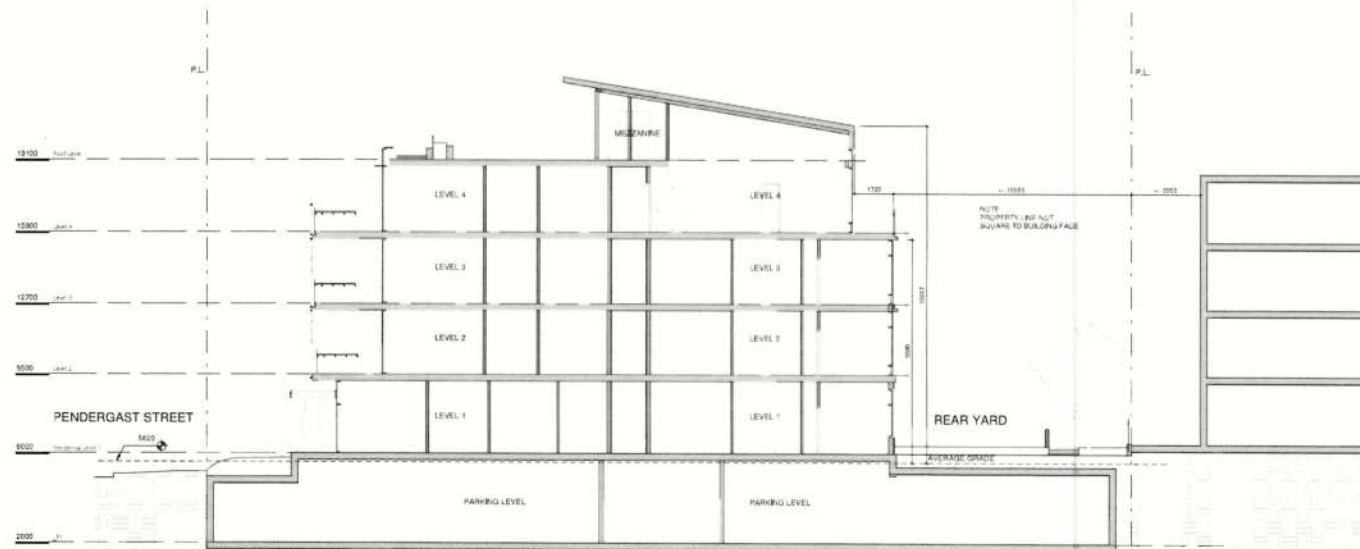
2018.05.04 17:21 AM



① Cook Street Section
1 : 100



③ Parking Ramp
1 : 100



② Site Cross Section
1 : 100

NO.	DESCRIPTION	DATE
-----	-------------	------



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Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

Context Sections

Drawn	1 : 100	Project #	1719
Scale	1 : 100	Sheet #	A4.01
Client	Aragon Properties Ltd.		
Project	Cook & Pendergast		
Location	328 Cook Street		
Drawn	1719		
Scale	1 : 100		
Sheet #	A4.01		

2018 05 04 09:07:43 AM



VIEW FROM COOK & PENDERGAST



RESIDENTIAL ENTRANCE



BIRDSEYE VIEW LOOKING SOUTHEAST

NO.	DESCRIPTION	DATE
1	1	1



Small text block below the logo, likely a disclaimer or contact information.

Project	
Cook & Pendergast	
Aragon Properties Ltd. 328 Cook Street	
Drawn by: [Signature]	
Perspectives	
Date: May 4, 2016	
Sheet	Project #
1719	1
May 4, 2016	1
A9.00	

2016-11-03 10:00 PM

PROJECT MATERIALS



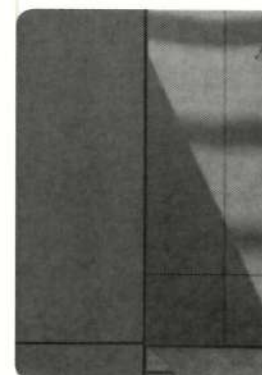
STONE



BRICK



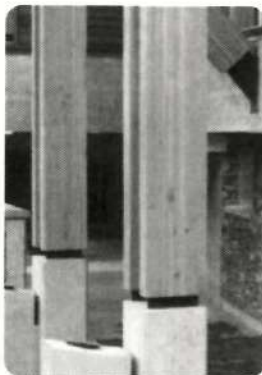
WOOD



CEMENTITIOUS



SOFFIT



TIMBER



PAVING



METAL

CLADDING

ACCENT

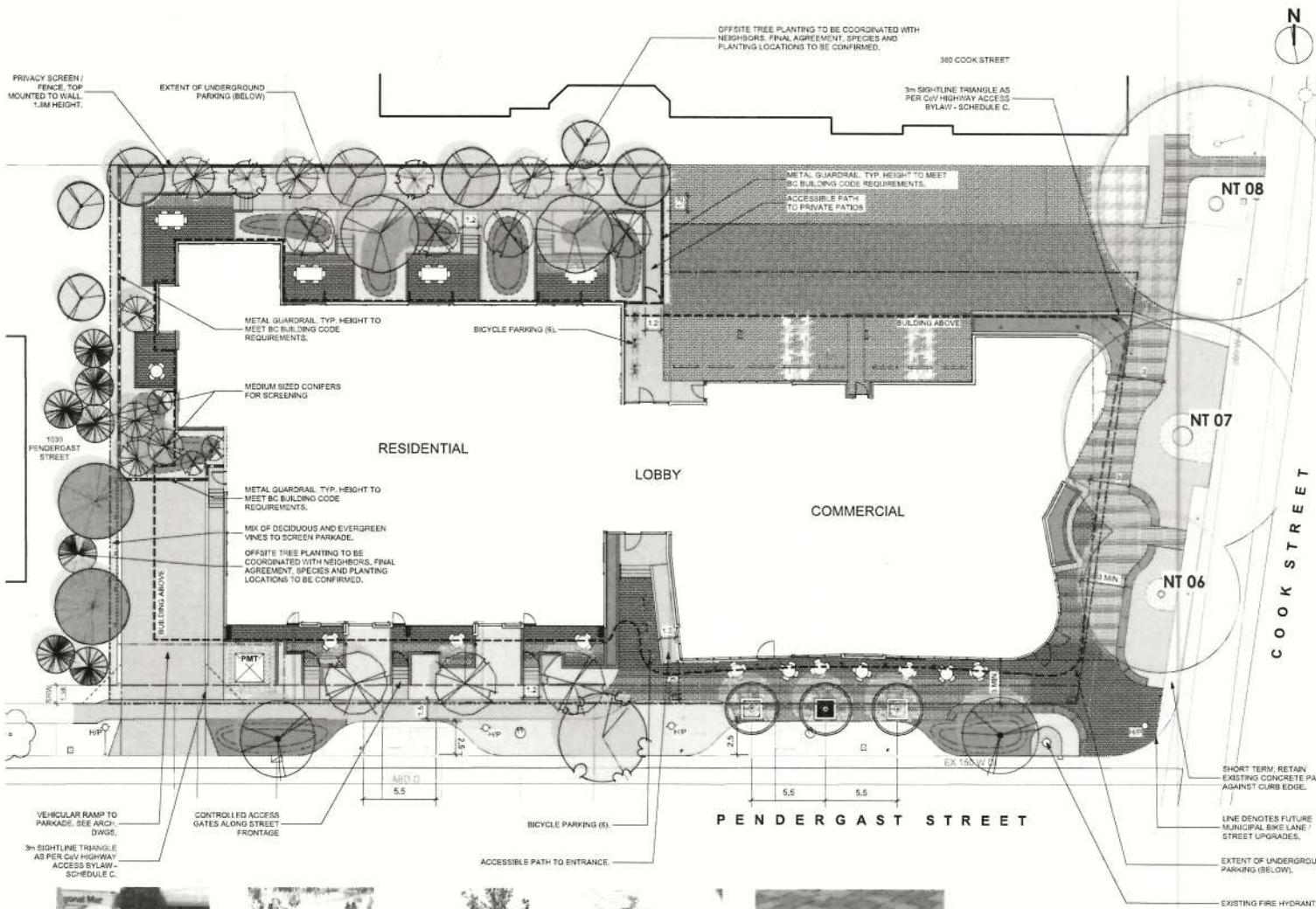
NO.	DESCRIPTION	DATE
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CASCADIA ARCHITECTS INC.
Architects, Engineers, Planners, and Environmental Consultants
 1000 West 10th Avenue, Suite 100, Vancouver, BC V6H 1A5
 Tel: 604.681.1111 Fax: 604.681.1112 Email: info@cascadiaarchitects.com

Project	
Cook & Pendergast	
Aragon Properties Ltd. 328 Cook Street	
Client Name	
Materials	
Date	
May 4, 2018	
Sheet	Project #
	1719
	Architect
	△
	Sheet #
	A9.01

2018-05-09 2:42:43 PM



LEGEND

- Property line
- Statutory Right of Way (SRW)
- Extent of Parkade (below) (reference only)
- Building Outline (above) (reference only)
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL

UNDERGROUND UTILITIES

EXISTING	PROPOSED
Storm drain	
Sewer	
Water	
Electrical	
Gas	

LANDSCAPE MATERIALS

- Solid Fence, 1.8m height max., wood construction, top mounted to wall
- Metal, vertical picket fence (height varies) or guardrail to BC Building Code requirements (if controlled access gate, where indicated)
- Cast in Place Concrete Wall, height varies
- Protestant Unit Paving: Obscure style pavers by Absorbent Concrete, Running bond pattern, colour: Desert Sand
- Vehicular Unit Paving: Venetian Cobble style pavers by Absorbent Concrete, Random pattern as per mfr. Colour: Granite Blend
- Cast in place concrete paving
- Granular Path
- Ornamental Planting Area
- Rain Garden Area

LANDSCAPE FURNISHINGS

- Custom Seating Bench
- Modular Street Furniture Elements
- Tree Grate
- Bike Rack (2 bike capacity)

EXISTING TREE SUMMARY

- Existing Trees Retained
- Existing Concrete Protected Trees Retained (3)
- Refer L1.02 Tree Retention and Removal Plan for additional information.

NOT FOR CONSTRUCTION

rev no	description	date
1	Rev. Summary	2018.06.04



Client
ARAGON PROPERTIES LTD.
201-1628 WEST 1ST AVENUE
VANCOUVER, BC

Project
328 COOK STREET
324/238 COOK STREET &
1044-1054 PENDERGAST STREET
VICTORIA, BC

Sheet Title
Landscape Materials Plan

Project no.	117-26
Scale	1:150 @ 24"x36"
Drawn by	MDG
Checked by	SMP/PG
Revision no.	Sheet no.

L1.01



EXEMPLARY MODULAR STREET FURNITURE ELEMENT



EXEMPLARY CUSTOM STREET FURNITURE ELEMENT



ON STREET RAIN GARDEN



STREET TREES IN TREE GRATES

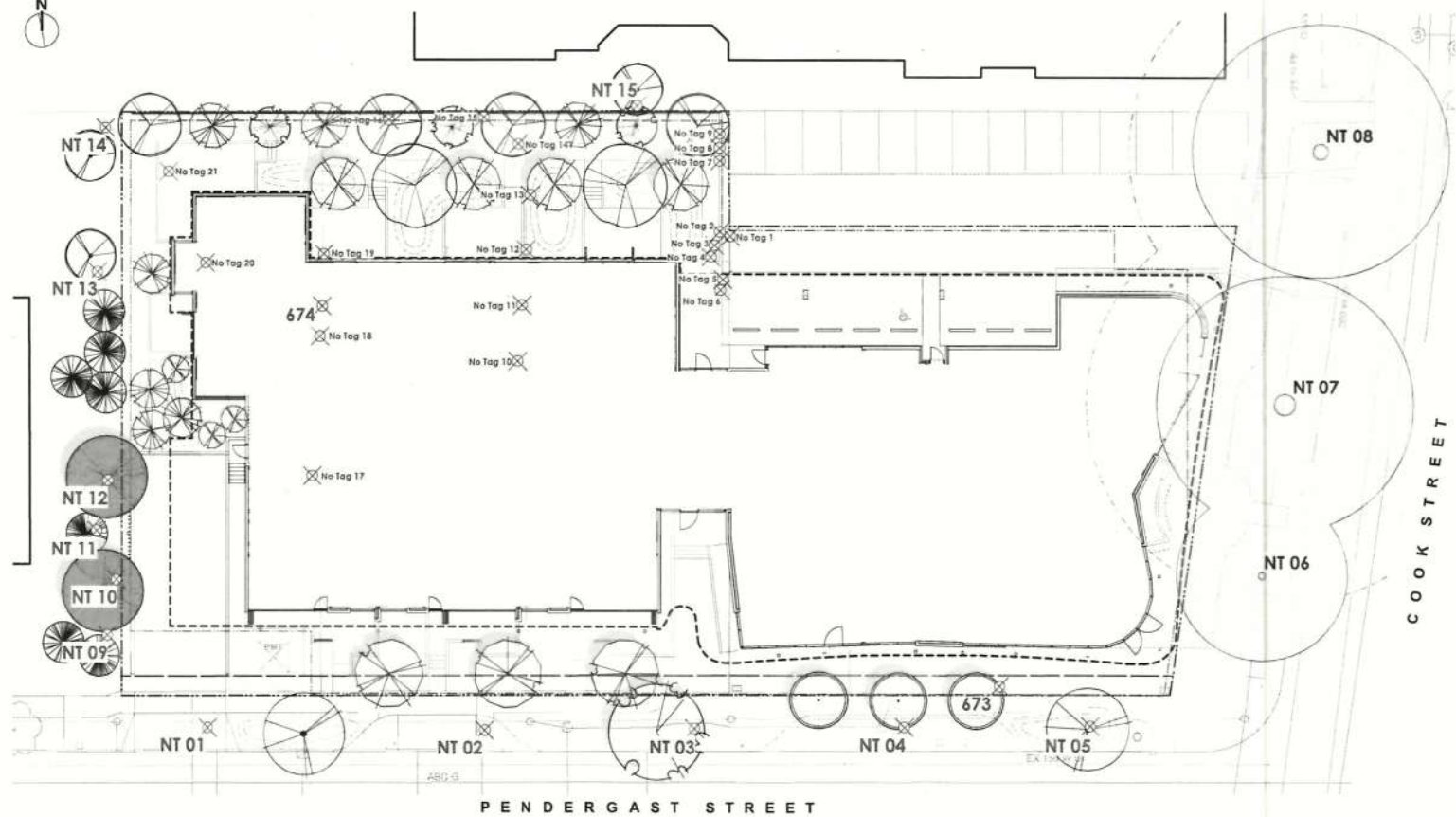


VEHICULAR PERMEABLE PAVING EXAMPLE

- IRRIGATION AND LIGHTING NOTES**
1. Contractor to field & install irrigation system around existing trees, to limit disturbance to root systems.
 2. Shelves shall be installed at the necessary depths prior to pavement construction. Shelves shall adhere 200 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
 3. Approval to address shoring of irrigation lines in protected root zone (PZ) of existing trees.
 4. Placement of electrical conduit through site to be coordinated with electrician.
 5. Approval to be made and supervised all excavation/trenching within PZ of retained trees.

- DRAWING NOTES**
1. DO NOT SCALE DRAWING. Verify all property lines and existing site conditions/vegetation to remain, prior to commencing work.
 2. All plan dimensions in metres and all detail dimensions in millimetres.
 3. Plant quantities on Plans shall have precedence over plant list quantities.
 4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 6. Contractor to provide irrigation system for all planters and green roofs to current IMBC Standards and Contract Specifications.
 7. Landscape installation to carry a 1 year warranty from date of acceptance.
 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standards.
 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 10. Tree protection fencing for existing trees, to be installed prior to commencement of all site work.

These images are to show design intent, for illustrative purposes only and not for marketing purposes. Individual images are subject to copyright.



LEGEND

- Property line
- Extent of Underground Passage (inductive)
- Existing Tree to be Retained
 - Crown Spread
 - Protected Root Zone (PRZ)
 - Tree Tag #
- Existing Tree to be Removed
 - Tree Tag #
 - Surveyed from

Replacement Tree ratio = 2:1 as per City of Victoria Bylaws. Refer L3.01 / 02 Planting Plan for additional information.

EXISTING TREE SUMMARY

- Existing Condition: 38 trees on development lands, bordering neighboring properties and maintaining municipal road R.O.W.s.
- Retention of 3 Horse Chestnut Trees on Cook Street and removal of 35 other trees. Removed trees include: 23 trees within development lands, 2 of which are Bylaw Protected, 7 neighbouring trees in close proximity to property lines and 5 municipal Cherry trees on Pendergast Street.
- Total trees post development is 47. This includes retention of the 3 Horse Chestnut trees and planting of 44 new trees, 12 of which are proposed on neighboring properties.

TREE STATEMENT

Many of the subject existing trees relating to this development that are proposed as being removed are a mixture of self-assessed trees, remnants of an older mature Leyland Cypress hedge and/or other limited landscape amenity.

Proposed new tree plantings will aim to re-establish a healthier urban biodiversity, increase species diversity and offer better habitat value. Part of our tree planting strategy is to aim for generous soil volume allocation for each tree with a goal of increasing the urban forestry canopy over time. The design team's intention will be guided by the City of Victoria's (CoV) Urban Forestry Strategy. Trees in the streetscape will be selected in consultation with CoV Parks staff.

Protection measures are being proposed to assist with the retention of the 3 Horse Chestnut Trees on Cook Street. This includes the installation of permeable paving installed on top of existing subgrade within the critical root zone (CRZ) areas. In addition, the new sidewalk alignment is setback from its current location allowing for more soil volume and less tree Root Encasement. Pockets of low slatting are proposed within the understorey which will also limit foot traffic disturbance and compaction within the CRZ areas.

NOT FOR CONSTRUCTION

Rev. No.	Rev. Description	Date
1	Rev. Sum. Response	20/03/24



client:
ARAGON PROPERTIES LTD.
201-1628 WEST 1ST AVENUE
VANCOUVER, BC

project:
328 COOK STREET
324/238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

sheet title:
Tree Retention and
Removal Plan

PROJECT NO.	11726
SCALE	1:150 @ 24"x36"
DRAWN BY	MDI
CHECKED BY	SMP/SG
REVISION NO.	SHEET NO.

L1.02

EXISTING TREE INVENTORY

Based on Construction Impact & Tree Preservation Plan Report from Talbot MacKenzie & Associates, dated November 10, 2017. Refer to Arborist Report for details on tree conditions and Arborist recommendations. No Tag trees based on Murdoch de Greeff field inventory work.

RETAINED TREES

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
NT 06*	51	6.0	Aesculus hippocastanum, Horsechest Nut	12.0
NT 07*	118	16.0	Aesculus hippocastanum, Horsechest Nut	18.0
NT 08*	152	13.0	Aesculus hippocastanum, Horsechest Nut	18.0

TOTAL TREES TO BE RETAINED: 3

BYLAW PROTECTED TREES REMOVED

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
674	61	5.0	Thapa alba, Western Red Cedar	12.0
673	26, 22, 23, 22	10.0	Pinus resinosa, Purple Leaf Plum	12.0

BYLAW PROTECTED TREES TO BE REMOVED: 2

OTHER TREES REMOVED

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
NT 01*	26	3.0	Pinus spp., Cherry	6.0
NT 02*	17	2.0	Pinus spp., Cherry	4.0
NT 03*	35	4.0	Pinus spp., Cherry	10.0
NT 04*	15	2.0	Pinus spp., Cherry	4.0
NT 05*	15	2.0	Pinus spp., Cherry	4.0
NT 09*	20, 15	3.0	Bux aquifolium, Holly	5.0
NT 10*	55	8.0	Thapa alba, Western Red Cedar	10.0
NT 11*	97	7.0	Campanula latifolia, Lavender Cypress	8.0
NT 12*	59	7.0	Campanula latifolia, Lavender Cypress	12.0
NT 13*	26, 23	4.0	Pinus spp., Cherry	6.0
NT 14*	35	4.0	Pinus spp., Apple	6.0
NT 15*	40	5.0	Pinus spp., Cherry	10.0

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
No Tag 1	-	-	Pinus spp., Cherry	-
No Tag 2	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 3	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 4	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 5	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 6	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 7	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 8	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 9	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 10	-	-	Fraxinus spp., Ash spp.	-
No Tag 11	-	-	Larix laricina, Golden Chain Tree	-
No Tag 12	-	-	Fraxinus spp., Ash spp.	-
No Tag 13	-	-	Fraxinus spp., Ash spp.	-
No Tag 14	-	-	Fraxinus spp., Ash spp.	-
No Tag 15	-	-	Fraxinus spp., Ash spp.	-
No Tag 16	-	-	Pinus spp., Cherry	-
No Tag 17	-	-	Cedrus spp., Cedar cultivar	-
No Tag 18	-	-	Catalpa spp., Pothosmone spp.	-
No Tag 19	-	-	Pinus spp., Cherry	-
No Tag 20	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 21	-	-	Fraxinus spp., Ash spp.	-

OTHER TREES TO BE REMOVED: 33

TOTAL TREES TO BE REMOVED: 35

Bylaw protected trees are shown underlined.
* Offsite trees with PRZ extending into the project site.

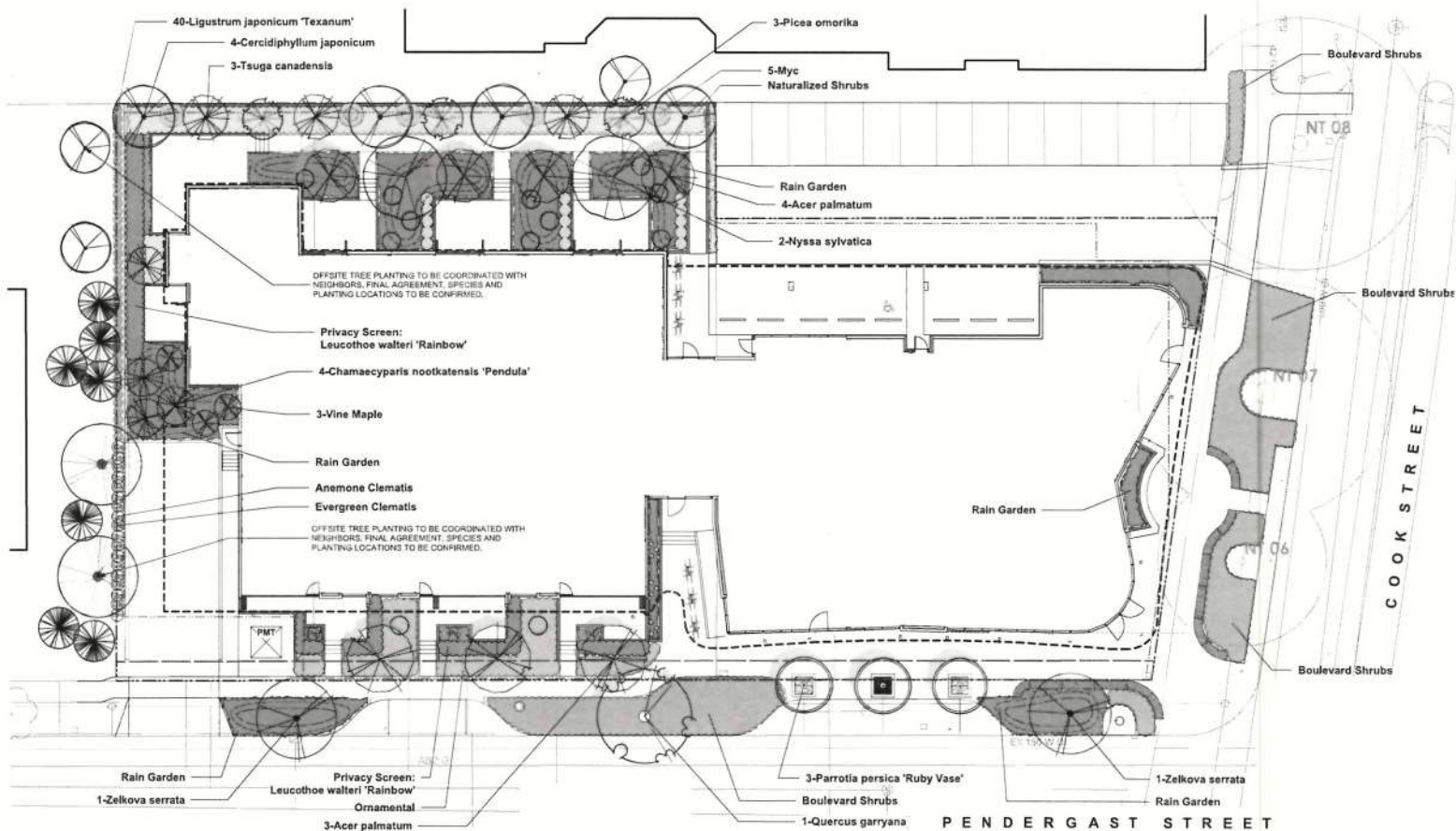
NEW TREES ON SITE: 12

NEW TREES ON NEIGHBORING PROPERTIES: 12

TOTAL NEW TREES: 44



- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All other dimensions in metric and all detail dimensions in millimeters.
 - Plant quantities in this sheet shall be amended over client list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters and green roofs to current ASBC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
Ac	16	Acer circinnatum	Vine Maple
Pa	7	Acer palmatum	Japanese Maple
Cj	4	Cercidiphyllum japonicum	Natural Tree
Ch	4	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress
Ny	2	Nyssa sylvatica	Tupelo
Pr	2	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Ironwood
Po	1	Picea omorika	Siberian Spruce
Qg	1	Quercus garryana	Garry Oak
Tc	2	Tsuga canadensis	Canadian Hemlock
Zs	2	Zelkova serrata	Japanese Zelkova
ORNAMENTAL:			
Br	16	Brachyglottis 'sunshine'	Brachyglottis 'sunshine'
Ch	15	Chamaecyparis 'terrestris'	Mexican Orange
Cj	37	Celastrus x corchorifolius	Rock Rose
Lo	37	Loxostoma 'terrestris'	Topiary Hedge
Lr	55	Leucothoe walteri 'Rainbow'	Rainbow Leucothoe
Lj	45	Ligustrum japonicum 'Texanum'	Walled Privet
My	5	Myrica californica	Pacific Wax Myrtle
Ph	33	Prostanthera cuneolata	Mini Bush
Rh	12	Rhododendron spp.	Large Rhododendron
PERENNIALS & VINES:			
Ce	9	Clematis integrifolia	Evergreen Clematis
Cm	9	Clematis montana 'Ectopetal'	Anemone Clematis
Hb	9	Hemerocallis 'Della de Oro'	Dwarf Yellow Daylily
Ls	9	Liatris spicata	Spike of Gaylussacia
Lm	9	Liriodendron tulipifera	Lily turf
Pg	9	Parthenocissus quinquefolia	Virginia Creeper
Rf	9	Rubus idaeus	Black-Eyed Susan

NATURALIZED:			
Cc	14	Cornus sericea	Red-twig Dogwood
Lp	7	Lonicera pileata	Privet Honeyuckle
Ma	20	Manisaea esculenta	Oregon Grape
Ph	2	Physocarpus opulifolius 'Diosky'	Diosky Nem-bark
Pr	21	Polystichum munitum	Sword Fern
Ra	5	Ribes sanguineum	Red Flowering Currant
Sa	18	Symphoricarpos alba	Snowberry
BARRIER:			
Al	44	Althya 'Mollissima' var. 'syriacusum'	Northern Lady Fern
Ca	39	Carex mumpsei 'Ice Dance'	Japanese Sedge Grass
Ca	241	Carex obovata	Slough Sedge
Ch	49	Carex testacea 'Primo Fini'	Primo Fini Sedge
Ch	74	Chamaecyparis 'terrestris'	Sage
Ch	83	Chamaecyparis 'terrestris'	Oregon Ivy
Ch	49	Juniperus 'Complanata' Grey'	Soft Common Rush
Ch	49	Juniperus 'Complanata'	Lily turf
Ma	9	Manisaea esculenta	Oregon Grape
Ph	21	Polystichum munitum	Sword Fern
So	21	Schizanthus coccinea 'Oregon Sunset'	Common Flag
Vo	10	Vaccinium ovatum 'Thunderbolt'	Evergreen Huckleberry
Vo	9	Veronica bonariensis	Tall Verbena
BOULEVARD:			
Br	34	Brachyglottis 'sunshine'	Brachyglottis 'sunshine'
Cs	36	Celastrus x corchorifolius	Sageleaf Rock Rose
Lp	90	Lonicera pileata	Privet Honeyuckle
BOULEVARD RAIN GARDEN:			
Jg	163	Juniperus 'Complanata' Grey'	Soft Common Rush
Lp	20	Lonicera pileata	Privet Honeyuckle

PLANTING NOTES

- Plant quantities and species may change between issuance of OP and Construction due to plant availability and design changes.
- Office trees in municipal areas to be coordinated with City of Victoria Parks staff for species, size, and final planting locations, prior to planting.
- All proposed trees will be designated as bylaw protected trees. This will be shown on the Building Permit drawings.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain prior to commencing work.
- All dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters and green roofs to current BRC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

NOT FOR CONSTRUCTION

Rev. Sum. Response 20 8.09.04

Murdoch de Greeff Inc.
Landscape Planning & Design

Client:
ARAGON PROPERTIES LTD.
201-1628 WEST 1ST AVENUE
VANCOUVER, BC

Project:
328 COOK STREET
324-238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

Sheet title:
Planting Plan and
Plant List

Project No.: 117.28

Scale: 1"=50' @ 34"x50"

Drawn by: MGI

Checked by: SMPEG

Revision No.: Sheet No.

L3.01

DETAILED CONSTRUCTION NOTES:

- ① CITY OF VICTORIA TO INSTALL 100MM DOMESTIC NEW 150MM FIRE SERVICE TO PROPERTY LINE AT DEVELOPERS EXPENSE.
- ② CITY OF VICTORIA TO INSTALL SEWER AND DRAIN SERVICES TO PROPERTY LINE IN SAME TRENCH AT DEVELOPERS EXPENSE.
- ③ CONTRACTOR TO CAP EXISTING SEWER AND DRAIN SERVICES AT PROPERTY LINE.
- ④ CITY OF VICTORIA TO CAP EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
- ⑤ CONTRACTOR TO INSTALL URINARY TO CITY OF VICTORIA STANDARDS.
- ⑥ CONTRACTOR TO MAINTAIN FIBER OPTIC CONNECTION DURING CONSTRUCTION AND INITIAL 15MM RISE PUC CONDUIT.



COOK & PENDERGAST ARAGON PROPERTIES PRELIMINARY SITE PLAN

Scale
1:250
Sheet 1 of 1
Eng. Project No. 30886

JE A J E ANDERSON & ASSOCIATES
SURVEYORS • ENGINEERS
VICTORIA HAWARD PARKVILLE
PHONE 250-727-2214 FAX 250-727-1225



PRELIMINARY ONLY

W:\Projects\30886 - Aragon - Cook & Pendergast - Draft - Engineering\02 - Streets & Stations (Rev)\30886 - Site April 22 2010.dwg Plot Date: April 22, 2010