

SKETCH PLAN OF: Attachment C

Civic: 1491 Edgeware Road & 2750 Gosworth Road

Legal Lots 12 & 13, Block 25, Section 29-30.

Victoria District, Plan 19

Parcel Identifier: 009-345-183 & 009-346-376
in the City of Victoria

LEGEND

Elevations are to geodetic datum.

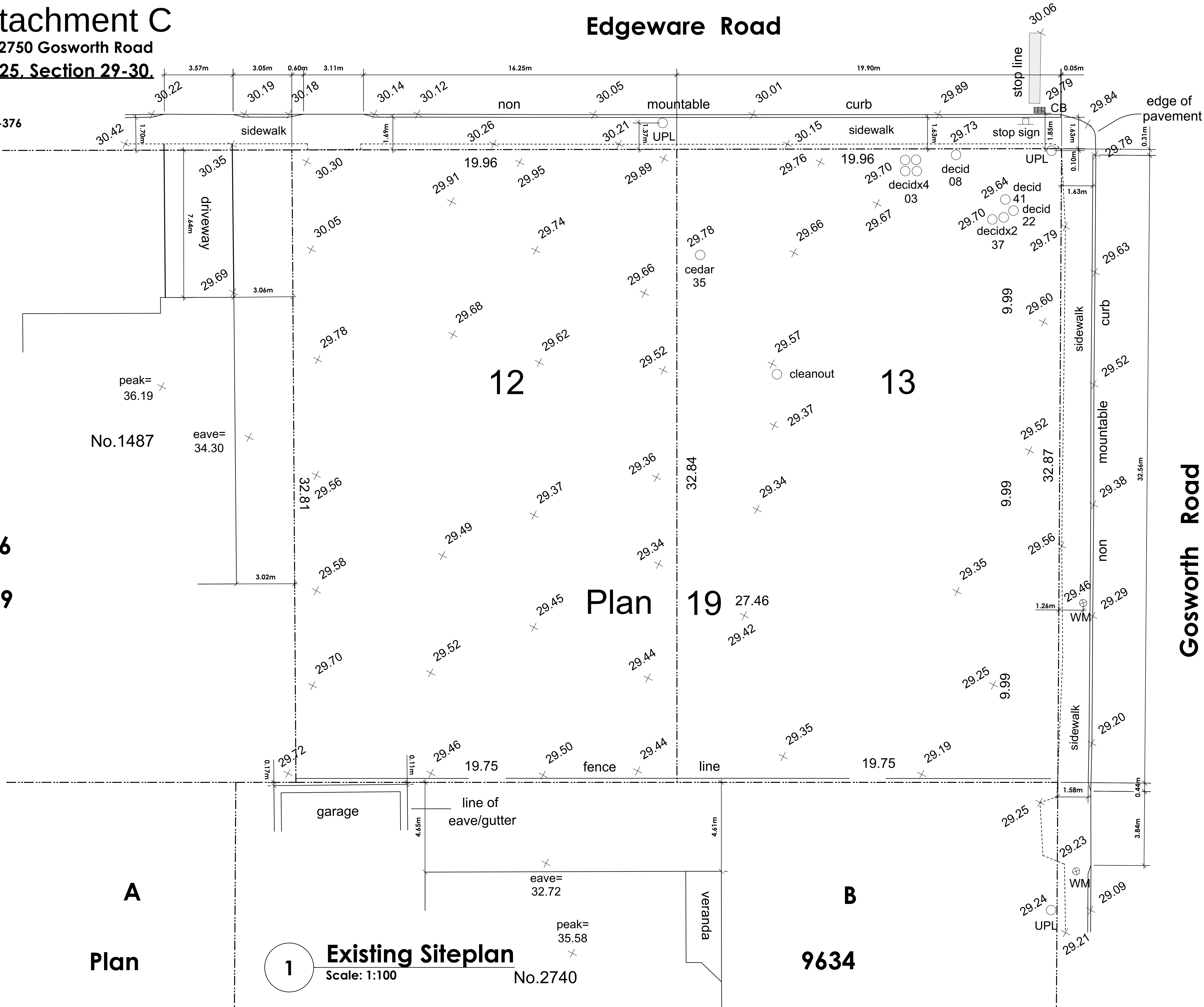
CB  - denotes - catch basin

UPL  - denotes - utility pole with light

WM  - denotes - water meter

 - denotes - existing elevation

Tree diameters are in centimetres.



CUBE DEVELOPMENTS

"Four Oaks"

Existing Site Plan



Revisions

Received Date:
January 15, 2019

small lot rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale

1:100

drawn by
NS

VICTORIA
DESIGN
GROUP

Date: 9/1/19

#103 891
ATTREE AVENUE
VICTORIA, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

Existing Siteplan

Scale: 1:100

No.2740

9634

SKETCH PLAN OF:

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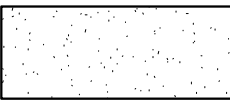
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 CONCRETE DRIVEWAY

 PERMEABLE PAVERS

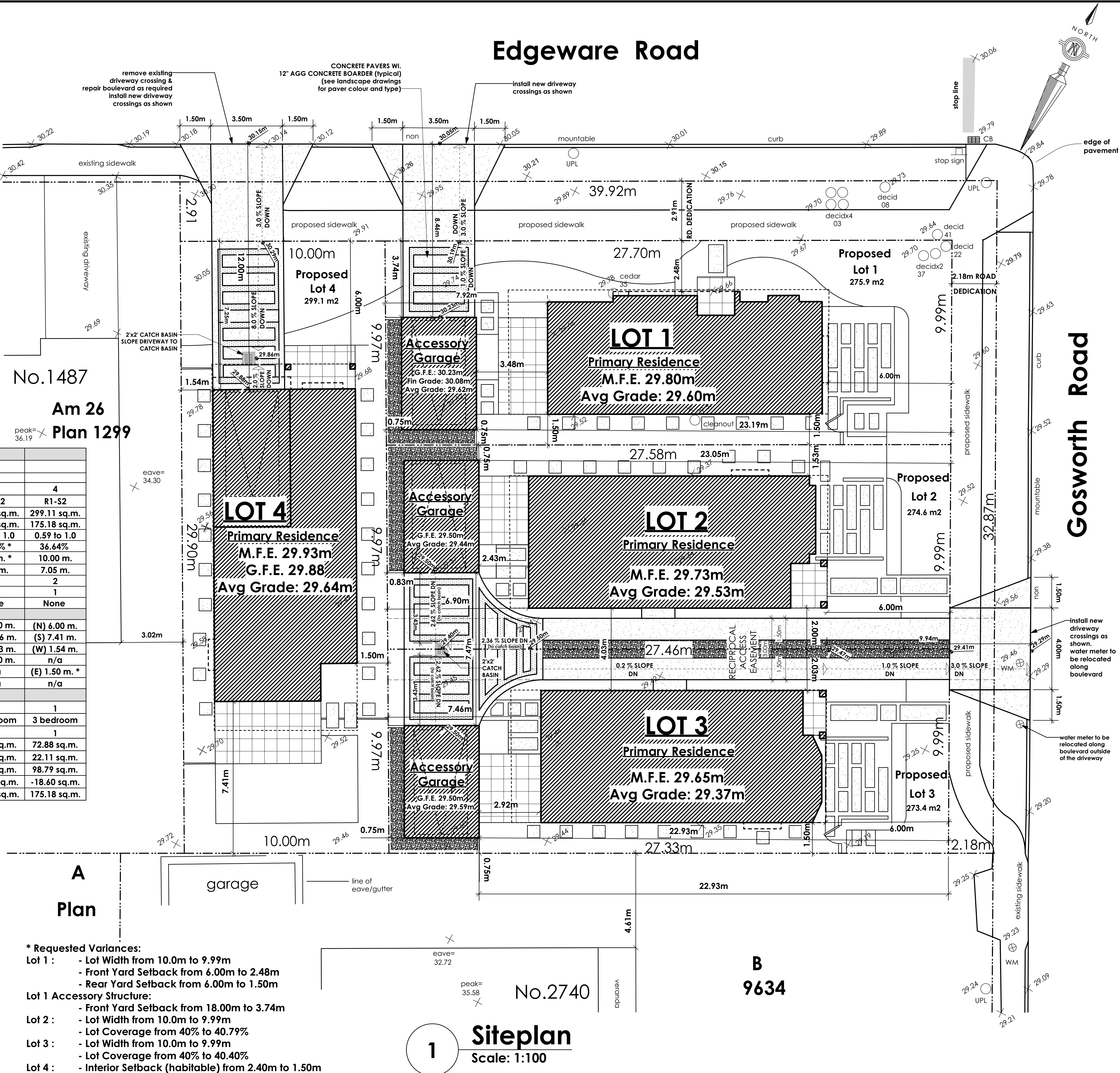
PROJECT INFORMATION TABLE					
Zone (Existing)	R1-B				
Lot Number	Permitted	1	2	3	4
Zone (Proposed)	R1-S2	R1-S2	R1-S2	R1-S2	R1-S2
Site Area	min. 260 sq.m.	275.85 sq.m.	274.62 sq.m.	273.39 sq.m.	299.11 sq.m.
Total Floor Area (sq.m.)	max. 190 sq.m.	139.76 sq.m.	163.20 sq.m.	162.36 sq.m.	175.18 sq.m.
Floor Space Ratio	max. 0.60 to 1.0	0.51 to 1.0	0.59 to 1.0	0.59 to 1.0	0.59 to 1.0
Site Coverage %	max. 40 %	35.51%	40.79% *	40.40% *	36.64%
Frontage of a Lot on a Street	min. 10.00 m.	9.99 m. *	9.99 m. *	9.99 m. *	10.00 m.
Height of Building (m)	max. 7.50 m.	7.49 m.	7.48 m.	7.38 m.	7.05 m.
Number of Storeys	max. 2	2	2	2	2
Parking Stalls (number) on Site	1 per dwelling	1	1	1	1
Bicycle Parking (storage and rack)	N/A	None	None	None	None
Building Setbacks (m)					
Front Yard	min. 6.00 m.	(N) 2.48 *	(E) 6.00 m.	(E) 6.00 m.	(N) 6.00 m.
Rear Yard to Building	min. 6.00 m.	(S) 1.50 *	(W) 6.90 m.	(W) 7.46 m.	(S) 7.41 m.
Side Yard	min. 1.50 m.	(W) 7.92 m.	(N) 1.53 m.	(N) 2.03 m.	(W) 1.54 m.
Side Yard	min. 1.50 m.	n/a	(S) 2.00 m.	(S) 1.50 m.	n/a
Side Yard with Habitable Space and Window(s)	min. 2.40 m.	n/a	n/a	n/a	(E) 1.50 m. *
Flanking Street	min. 2.40 m.	(E) 6.00 m.	n/a	n/a	n/a
Residential Use Details					
Total Number of Units		1	1	1	1
Unit Type, e.g., 1 Bedroom		3 bedroom	3 bedroom	3 bedroom	3 bedroom
Ground-Orientated Units		1	1	1	1
First Storey Area (Excluding Garage Area)		69.91 sq.m.	81.83 sq.m.	80.51 sq.m.	72.88 sq.m.
Garage Area		18.25 sq.m.	18.25 sq.m.	18.25 sq.m.	22.11 sq.m.
Second Storey Area		69.85 sq.m.	81.37 sq.m.	81.85 sq.m.	98.79 sq.m.
Garage Exemption	max. 18.60 sq.m.	-18.25 sq.m.	-18.25 sq.m.	-18.25 sq.m.	-18.60 sq.m.
Total Floor Area		139.76 sq.m.	163.20 sq.m.	162.36 sq.m.	175.18 sq.m.

PROJECT INFORMATION TABLE (Accessory)				
Lot Number	Permitted	1	2	3
Zone (proposed)		R1-S2	R1-S2	R1-S2
Site Area (sq.m.)		275.85 sq.m.	274.62 sq.m.	273.39 sq.m.
Rear yard area		41.39 sq.m.	69.03 sq.m.	74.32 sq.m.
Rear yard site coverage %	max. 30 %	6.62%	26.44%	24.56%
Height of building (m)	max. 4.00 m.	3.87 m.	3.32 m.	3.28 m.
Number of storeys		1	1	1
Building Setbacks (m)				
Front yard	min. 18.00 m.	(N) 3.74 m. *	23.05 m.	22.93 m.
Rear yard	min. 0.60 m.	(S) 0.75 m.	0.83 m.	0.75 m.
Side yard	min. 0.60 m.	n/a	(N) 0.75 m.	(N) 3.73 m.
Side yard	min. 0.60 m.	(W) 0.75 m.	(S) 3.74 m.	(S) 0.75 m.
Flanking Street Setback	min. 2.40 m.	(E) 23.19 m.	n/a	n/a
Between buildings	min. 2.40 m.	3.48 m.	2.43 m.	2.92 m.
Residential Use Details				
Total number of units		1	1	1
Unit type, e.g., 1 bedroom		Garage	Garage	Garage
Ground-orientated units		1	1	1
Garage Area		18.25 sq.m.	18.25 sq.m.	18.25 sq.m.

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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION



- * Requested Variances:
- Lot 1 :
- Lot Width from 10.0m to 9.99m
- Front Yard Setback from 6.00m to 2.48m
- Rear Yard Setback from 6.00m to 1.50m
- Lot 1 Accessory Structure:
- Front Yard Setback from 18.00m to 3.74m
- Lot 2 :
- Lot Width from 10.0m to 9.99m
- Lot Coverage from 40% to 40.79%
- Lot 3 :
- Lot Width from 10.0m to 9.99m
- Lot Coverage from 40% to 40.40%
- Lot 4 :
- Interior Setback (habitable) from 2.40m to 1.50m

1 Siteplan
Scale: 1:100

CUBE
DEVELOPMENTS

"Four Oaks"

Site Plan

small
lot
rezoning

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EDGEWARE RD
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CUBE DEVELOPMENTS

"Four Oaks"

Site Plan - Average Grade Calculations

AVERAGE GRADE CALCULATION: LOT 1

A to B:	(29.65+ 29.55) ÷ 2 x 5.49	= 162.50
B to C:	(29.55+ 29.52) ÷ 2 x 13.41	= 396.06
C to D:	(29.52+ 29.65) ÷ 2 x 5.49	= 162.42
D to E:	(29.65+ 29.65) ÷ 2 x 3.20	= 94.88
E to F:	(29.65+ 29.65) ÷ 2 x 0.30	= 8.90
F to G:	(29.65+ 29.65) ÷ 2 x 4.11	= 121.86
G to H:	(29.65+ 29.65) ÷ 2 x 0.97	= 28.76
H to I:	(29.65+ 29.65) ÷ 2 x 1.83	= 54.26
I to J:	(29.65+ 29.65) ÷ 2 x 1.17	= 34.69
J to K:	(29.65+ 29.65) ÷ 2 x 0.25	= 7.41
K to L:	(29.65+ 29.65) ÷ 2 x 0.51	= 15.12
L to M:	(29.65+ 29.65) ÷ 2 x 1.37	= 40.42
M to N:	(29.65+ 29.65) ÷ 2 x 0.30	= 8.90
N to O:	(29.65+ 29.65) ÷ 2 x 1.52	= 45.07
O to P:	(29.65+ 29.65) ÷ 2 x 0.30	= 8.90
P to A:	(29.65+ 29.65) ÷ 2 x 1.12	= 33.21

Total = 1223.56

Average Grade:1223.56 / 41.34 = 29.60m

AVERAGE GRADE CALCULATION: GARAGE LOT 1

A to B:	(29.71+ 29.55) ÷ 2 x 5.49	= 162.67
B to C:	(29.55+ 29.52) ÷ 2 x 3.66	= 108.10
C to D:	(29.52+ 29.71) ÷ 2 x 5.49	= 162.59
D to A:	(29.71+ 29.71) ÷ 2 x 3.66	= 108.74

Total = 542.09

Average Grade:542.09 / 18.30 = 29.62m

AVERAGE GRADE CALCULATION: LOT 2

A to B:	(29.44+ 29.52) ÷ 2 x 3.35	= 98.76
B to C:	(29.52+ 29.52) ÷ 2 x 0.30	= 8.86
C to D:	(29.52+ 29.53) ÷ 2 x 0.46	= 13.58
D to E:	(29.53+ 29.53) ÷ 2 x 0.86	= 25.40
E to F:	(29.53+ 29.53) ÷ 2 x 2.19	= 64.67
F to G:	(29.53+ 29.53) ÷ 2 x 14.58	= 430.55
G to H:	(29.53+ 29.53) ÷ 2 x 6.45	= 190.47
H to I:	(29.53+ 29.53) ÷ 2 x 13.72	= 405.15
I to J:	(29.53+ 29.53) ÷ 2 x 0.46	= 13.58
J to A:	(29.53+ 29.44) ÷ 2 x 0.30	= 8.85

Total = 1259.86

Average Grade: 1259.86 / 42.67 = 29.53m

AVERAGE GRADE CALCULATION: GARAGE LOT 2

A to B:	(29.50+ 29.37) ÷ 2 x 5.49	= 161.60
B to C:	(29.37+ 29.37) ÷ 2 x 3.66	= 107.49
C to D:	(29.37+ 29.50) ÷ 2 x 5.49	= 161.60
D to A:	(29.50+ 29.50) ÷ 2 x 3.66	= 107.97

Total = 538.66

Average Grade:538.66 / 18.30 = 29.44m

AVERAGE GRADE CALCULATION: LOT 3

A to B:	(29.37+ 29.31) ÷ 2 x 2.34	= 68.66
B to C:	(29.31+ 29.31) ÷ 2 x 0.59	= 17.29
C to D:	(29.31+ 29.30) ÷ 2 x 0.92	= 26.96
D to E:	(29.30+ 29.29) ÷ 2 x 2.29	= 67.09
E to F:	(29.29+ 29.24) ÷ 2 x 1.09	= 31.90
F to G:	(29.24+ 29.44) ÷ 2 x 13.26	= 389.05
G to H:	(29.44+ 29.44) ÷ 2 x 6.45	= 189.89
H to A:	(29.44+ 29.37) ÷ 2 x 13.92	= 409.32

Total = 1200.15

Average Grade: 1200.15/ 40.86 = 29.37m

AVERAGE GRADE CALCULATION: GARAGE LOT 3

A to B:	(29.45+ 29.50) ÷ 2 x 5.49	= 161.82
B to C:	(29.50+ 29.50) ÷ 2 x 3.66	= 107.97
C to D:	(29.50+ 29.45) ÷ 2 x 5.49	= 161.82
D to A:	(29.45+ 29.45) ÷ 2 x 3.66	= 107.97

Total = 539.39

Average Grade:539.39 / 18.30 = 29.48m

Edgeware Road

Gosworth Road

AVERAGE GRADE CALCULATION: LOT 4

A to B:	(29.73+ 29.73) ÷ 2 x 3.56	= 105.84
B to C:	(29.73+ 29.73) ÷ 2 x 1.22	= 36.27
C to D:	(29.73+ 29.68) ÷ 2 x 3.40	= 101.00
D to E:	(29.68+ 29.50) ÷ 2 x 1.78	= 52.51
E to F:	(29.50+ 29.50) ÷ 2 x 1.83	= 53.99
F to G:	(29.50+ 29.51) ÷ 2 x 5.18	= 153.22
G to H:	(29.51+ 29.65) ÷ 2 x 15.24	= 452.48

Total = 1388.21

Average Grade: 1388.21 / 46.84 = 29.64m

Am 26 Plan 1299

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- Rear Yard Setback from 6.00m to 1.50m
- Lot 1 Accessory Structure:
- Front Yard Setback from 18.00m to 3.74m
- Lot 2 : - Lot Width from 10.0m to 9.99m
- Lot Coverage from 40% to 40.79%
- Lot 3 : - Lot Width from 10.0m to 9.99m
- Lot Coverage from 40% to 40.40%
- Lot 4 : - Interior Setback (habitable) from 2.40m to 1.50m

Siteplan Grades

Scale: 1:100

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

VICTORIA
DESIGN
GROUP

Date: 9/1/19



1 **Lot 1 - Front Elevation**
Scale: 1/4" = 1'-0"



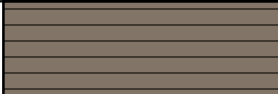
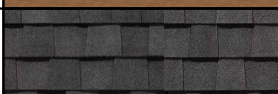
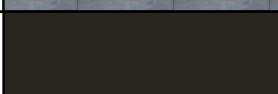
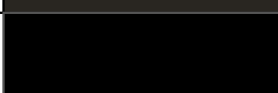
2 **Lot 1 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 1 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 1 - Left Side Elevation**
Scale: 1/4" = 1'-0"

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Board & Batten		SHERWIN WILLIAMS - FOOTHILLS SW7514
Conc. Fibre Lap Siding		SHERWIN WILLIAMS - FOOTHILLS SW7514
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Roof		ANTIQUE BLACK
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BLACK 525
Windows		BLACK

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 1
Colour
Elevations

small
lot
rezoning

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SMALL LOT REZONING PRESENTATION



1 **Lot 2 - Front Elevation**
Scale: 1/4" = 1'-0"



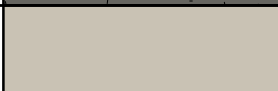
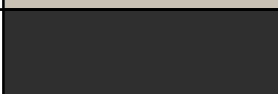
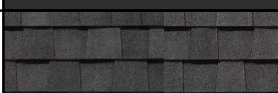
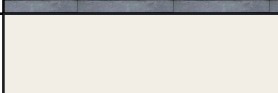
2 **Lot 2 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 2 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 2 - Left Side Elevation**
Scale: 1/4" = 1'-0"

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Stucco		BENJAMIN MOORE - KENDALL CHARCOAL HC-166
Trim		BENJAMIN MOORE - REVERE PEWTER HC-172
Entry Doors		SHERWIN WILLIAMS - TRICORN BLACK SW6258
Roof		ANTIQUE BLACK
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		CASHMERE 514
Windows		WHITE

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SMALL LOT REZONING PRESENTATION



1 **Lot 3 - Front Elevation**
Scale: 1/4" = 1'-0"



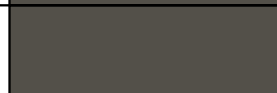
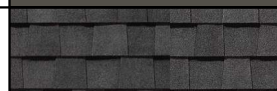
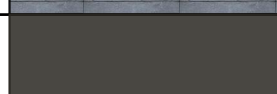
2 **Lot 3 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 3 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 3 - Left Side Elevation**
Scale: 1/4" = 1'-0"

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - BLACK FOX SW7020
Roof		ANTIQUE BLACK
Metal Roof		WESTFORM - WEATHERED ZINC
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BLACK 525
Windows		BLACK

CUBE
DEVELOPMENTS

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Lot 3
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SMALL LOT REZONING PRESENTATION



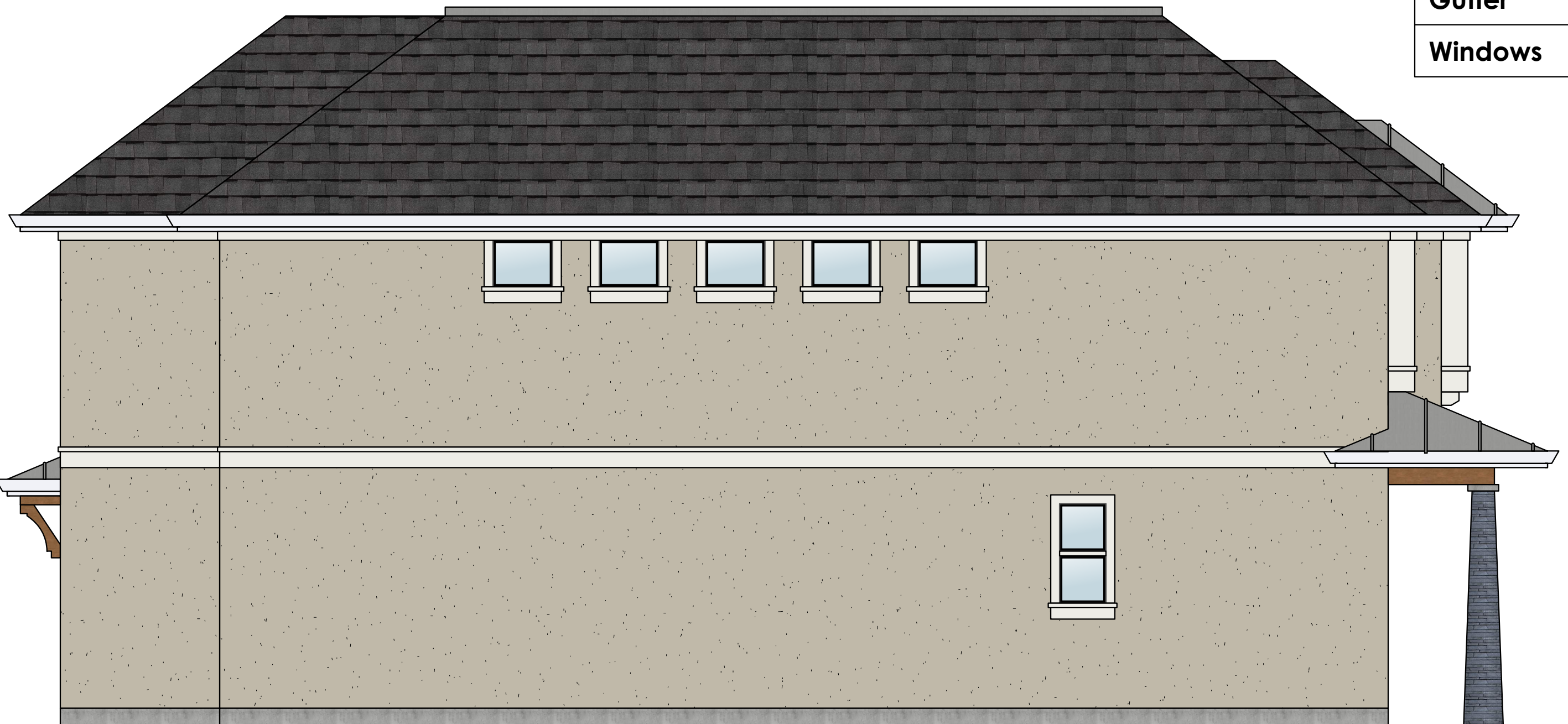
1 **Lot 4 - Front Elevation**
Scale: 1/4" = 1'-0"



2 **Lot 4 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 4 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 4 - Left Side Elevation**
Scale: 1/4" = 1'-0"

Stucco		SHERWIN WILLIAMS - JOGGING PATH 7638
Trim		SHERWIN WILLIAMS - PURE WHITE 7005
Entry Doors		PRATT & LAMBERT - AFRICAN NIGHT 32-18
Beams		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Roof		ANTIQUE BLACK
Metal Roof		WESTFORM - WEATHERED ZINC
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BRIGHT WHITE 431
Windows		BLACK

CUBE
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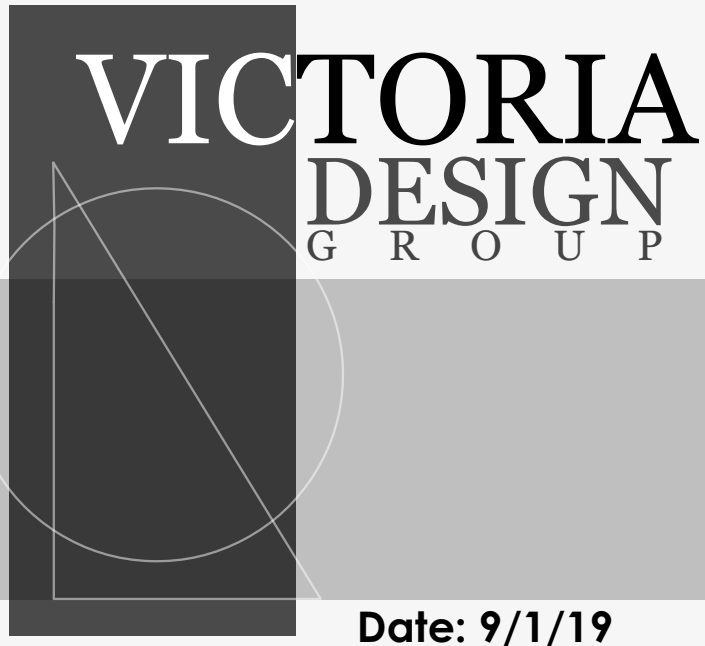
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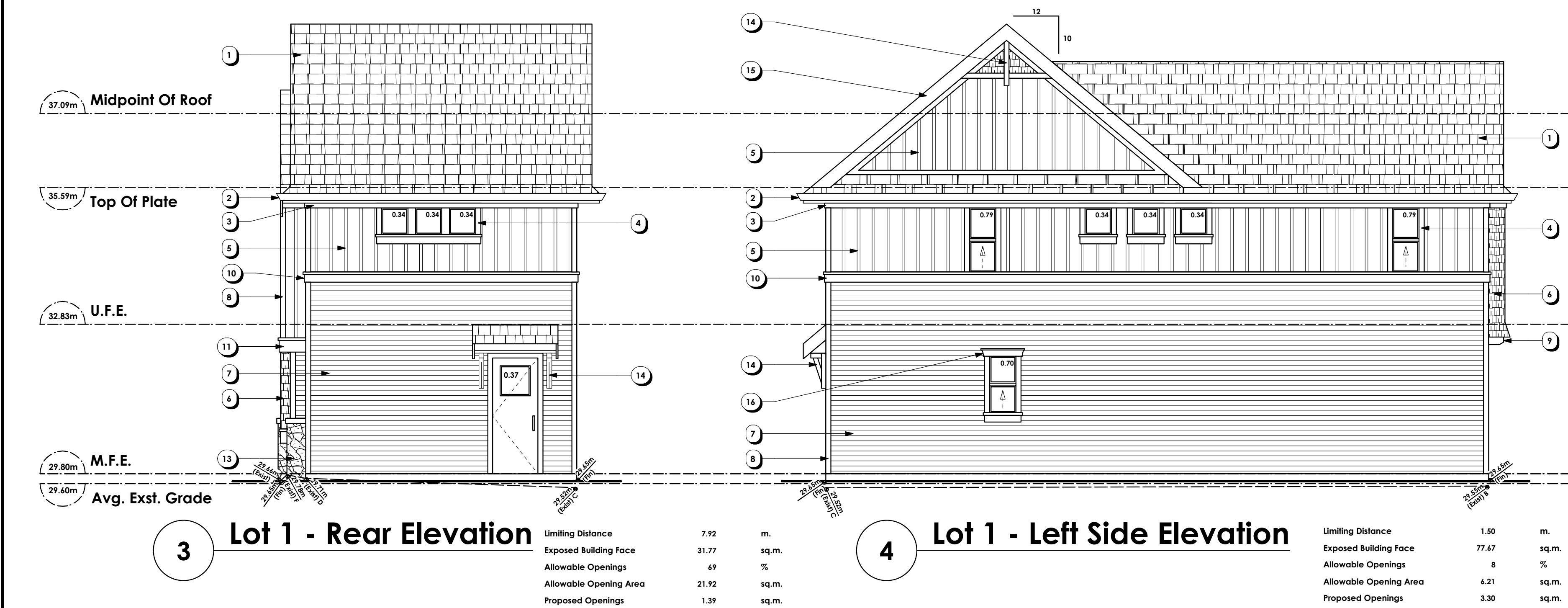
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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION



- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMN. GUTTER
 - 3 2x4 SOFFIT TRIM
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 BOARD AND BATTEN SIDING
 - 6 CEDAR SHINGLE SIDING
 - 7 CONC. FIBRE LAP SIDING
 - 8 1x4 CORNER TRIM
 - 9 DECORATIVE BLOCKING

- 10 METAL FLASHING ON 1x8 FASCIA BOARD
- 11 METAL FLASHING ON 1x12 FASCIA BOARD
- 12 10"x10" (FIN.) COLUMN ON 4" WOOD CAP C/W METAL FLASHING ON PRE-MANUF. STONE VENEER COLUMN BASE
- 13 PRE-MANUF. STONE VENEER
- 14 DECORATIVE WOOD BRACE
- 15 2x10 BARGE BOARD
- 16 METAL FLASHING ON 2X6 TRIM

DOOR SCHEDULE			
A	8/0 X 6/8 (2438 X 2032)	F	2/10 X 6/8 (864 X 2032)
B	6/0 X 6/8 (1829 X 2032)	G	2/8 X 6/8 (813 X 2032)
C	5/0 X 6/8 (1524 X 2032)	H	2/6 X 6/8 (762 X 2032)
D	4/0 X 6/8 (1219 X 2032)	J	2/4 X 6/8 (711 X 2032)
E	3/0 X 6/8 (914 X 2032)	K	2/0 X 6/8 (610 X 2032)
		L	1/6 X 6/8 (508 X 2032)



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drawn by
NS

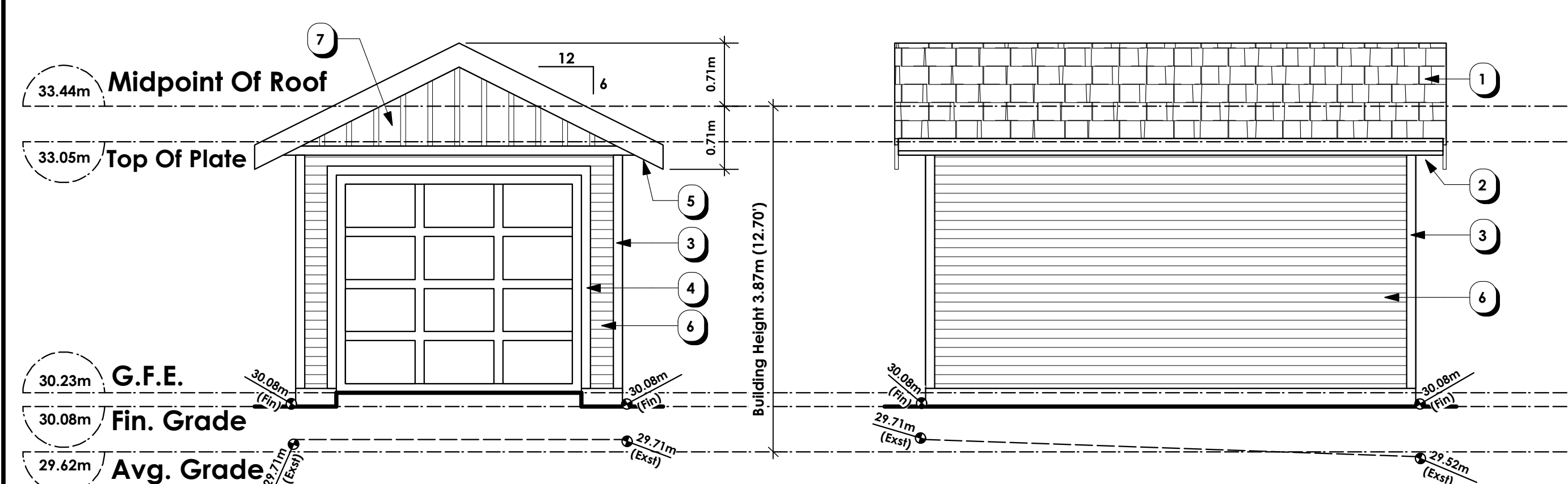
VICTORIA
DESIGN
GROUP

Date: 9/1/19

#103 891
ATTREE AVENUE
VICTORIA, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

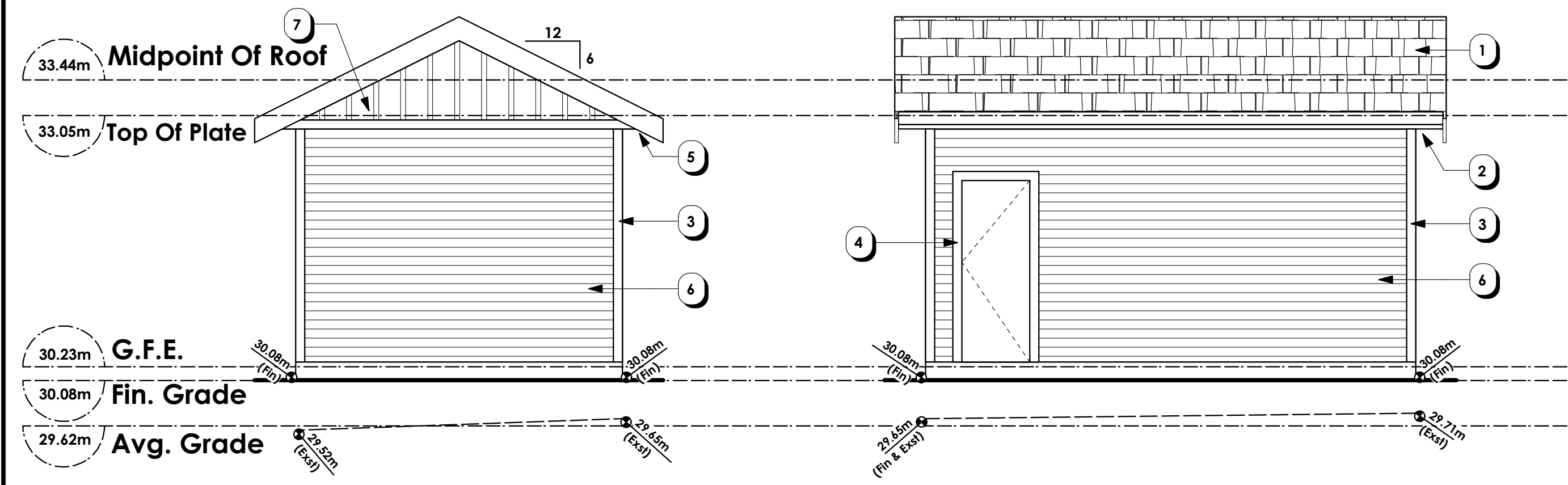
1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION



1 **Lot 1 North Elevation**
Scale: 1/4" = 1'-0"

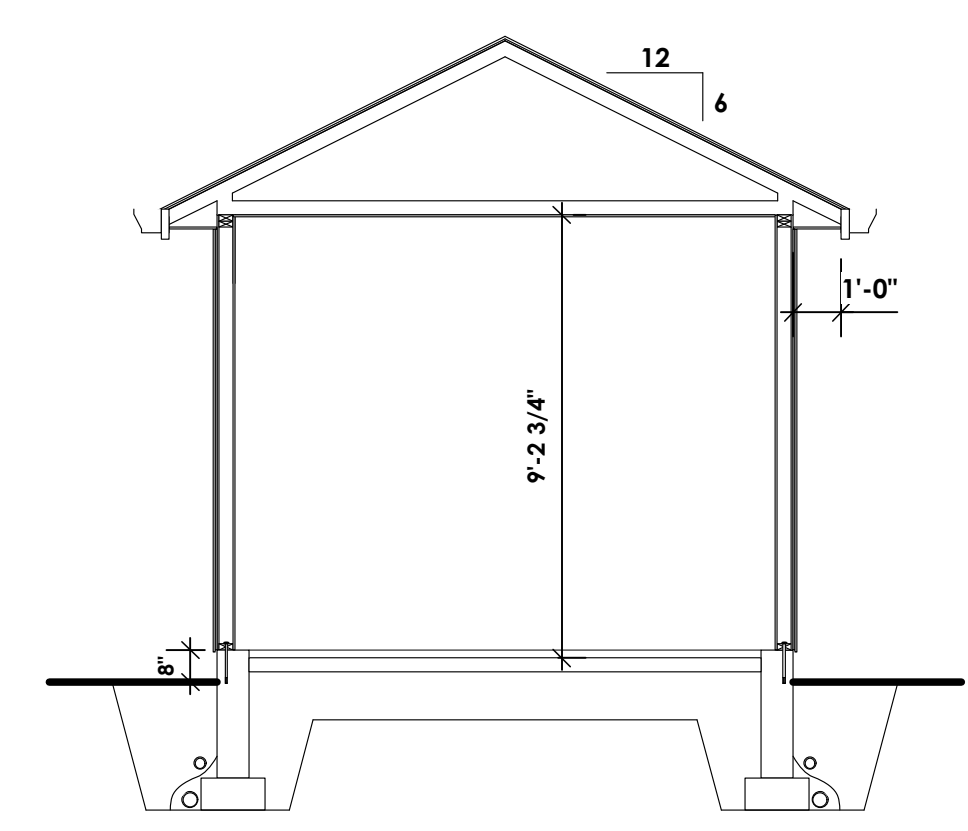
2 **Lot 1 West Elevation**
Scale: 1/4" = 1'-0"

- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMN. GUTTER.
 - 3 1x4 CORNER TRIM
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 2x10 BARGE BOARD
 - 6 HARDIEPLANK LAP SIDING (4" REVEAL)
 - 7 BOARD AND BATTEN SIDING



3 **Lot 1 South Elevation**
Scale: 1/4" = 1'-0"

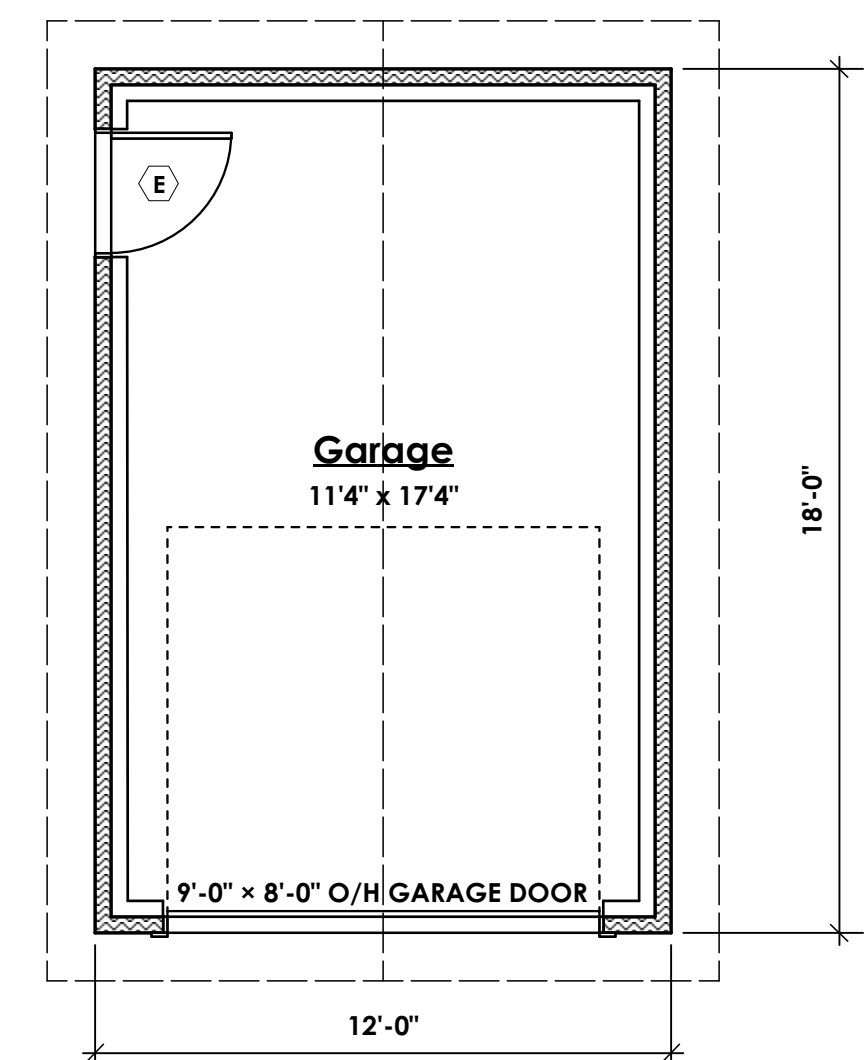
4 **Lot 1 East Elevation**
Scale: 1/4" = 1'-0"



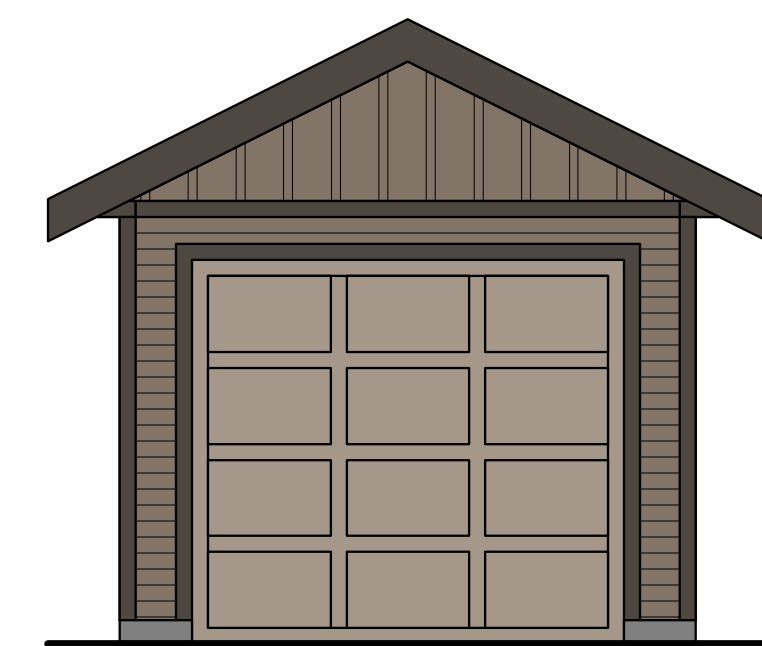
6 **Section A-A**
Scale: 1/4" = 1'-0"

Colour Legend

Board & Batten		SHERWIN WILLIAMS - FOOTHILLS SW7514
Conc. Fibre Lap Siding		SHERWIN WILLIAMS - FOOTHILLS SW7514
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Garage / Entry Doors		BENJAMIN MOORE - ASHLEY GRAY HC-87
Roof		ANTIQUE BLACK
Gutter		GENTEK - BLACK 525



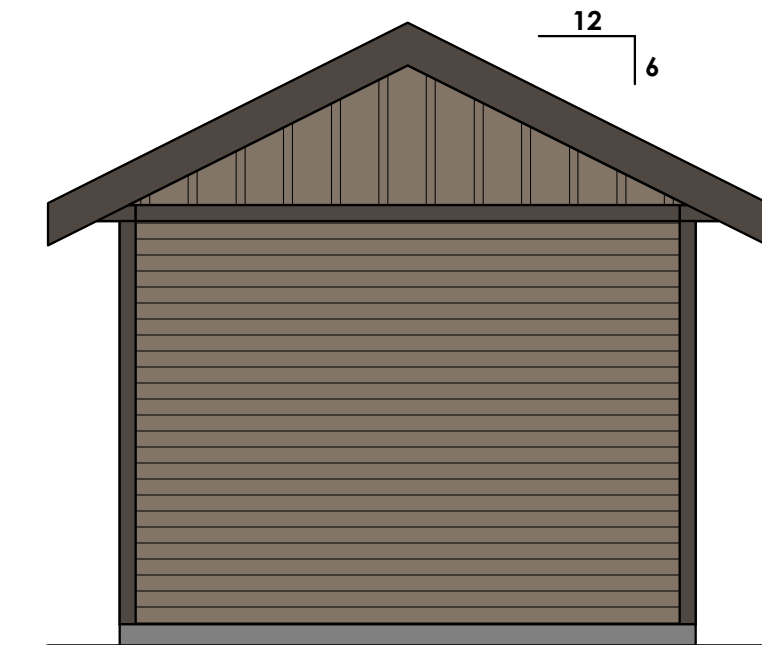
5 **Lot 1 Garage Floor Plan**
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



7 **Lot 1 North Elevation**
Scale: 1/4" = 1'-0"



8 **Lot 1 West Elevation**
Scale: 1/4" = 1'-0"



9 **Lot 1 South Elevation**
Scale: 1/4" = 1'-0"



10 **Lot 1 East Elevation**
Scale: 1/4" = 1'-0"

CUBE DEVELOPMENTS

"Four Oaks"

Lot 1
Garage

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS

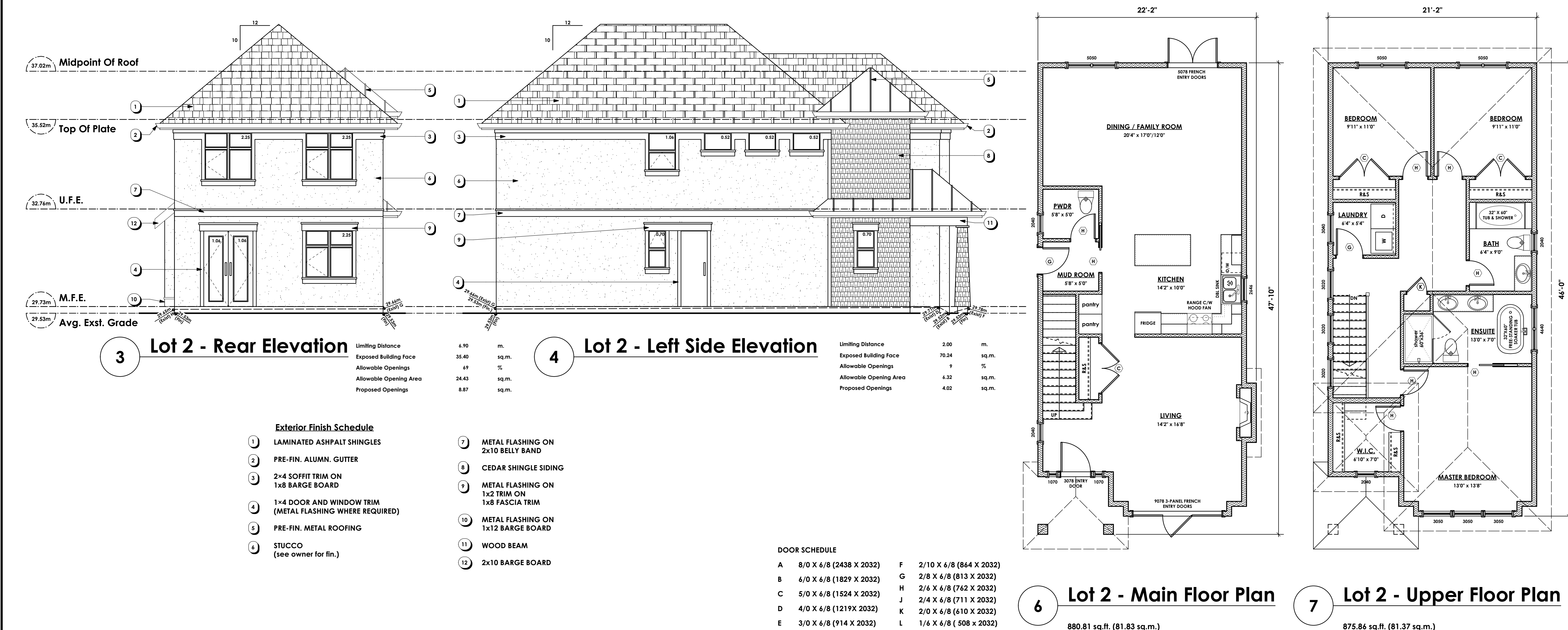
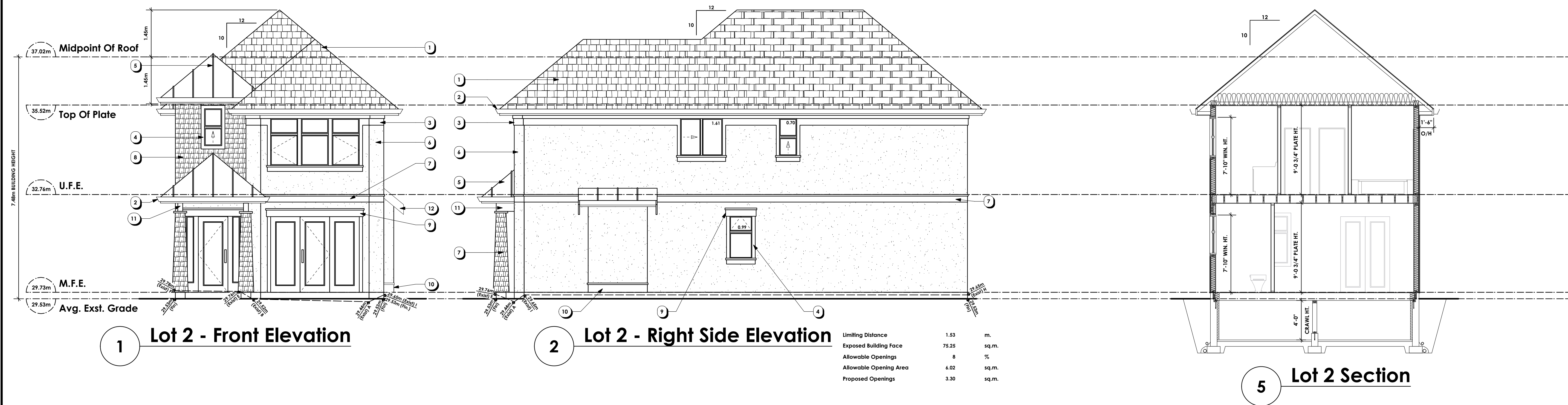
VICTORIA
DESIGN
GROUP

Date: 9/1/19

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION



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1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 2

small
lot
rezoning

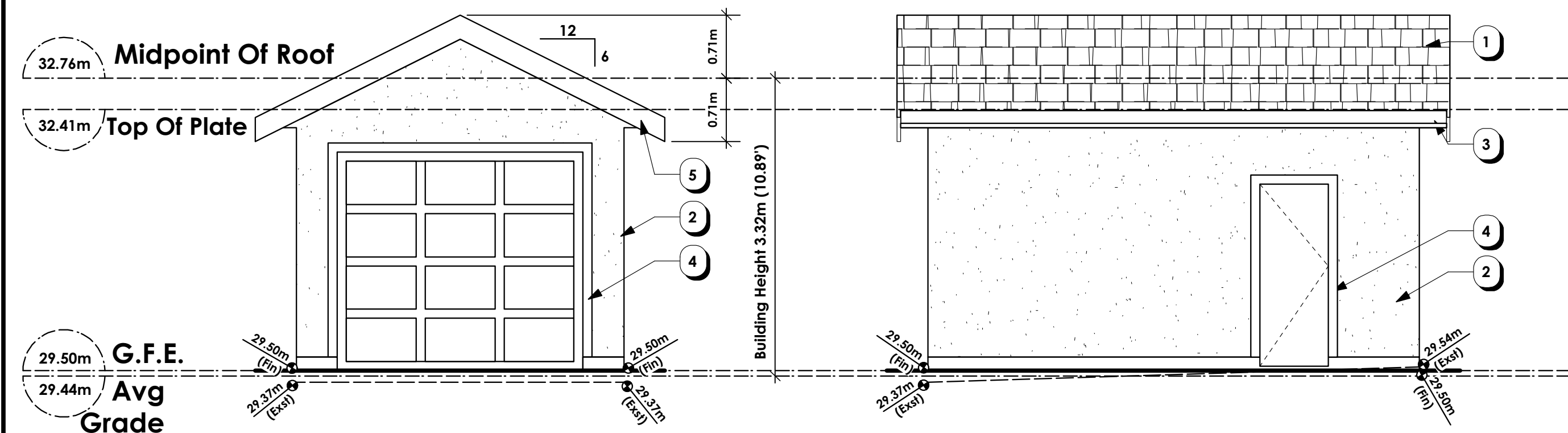
1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
3/16" = 1'-0"
drawn by
NS

VICTORIA
DESIGN
GROUP

Date: 9/1/19

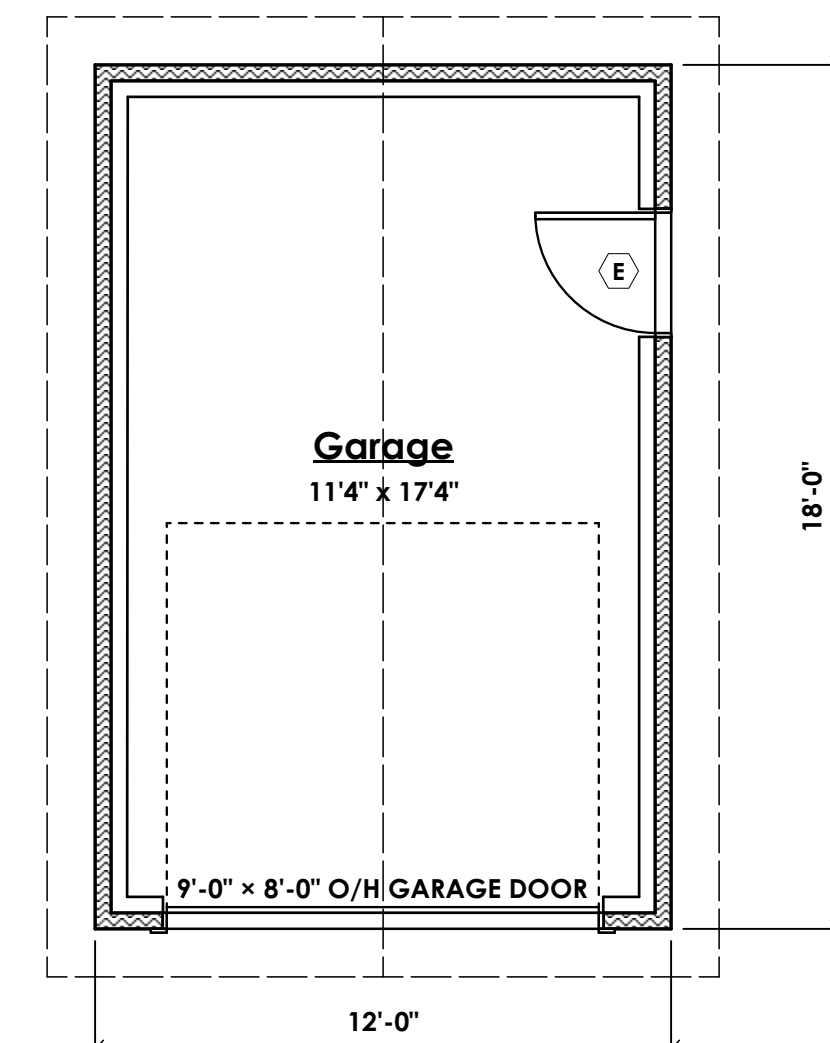


1 **Lot 2 South Elevation**
Scale: 1/4" = 1'-0"

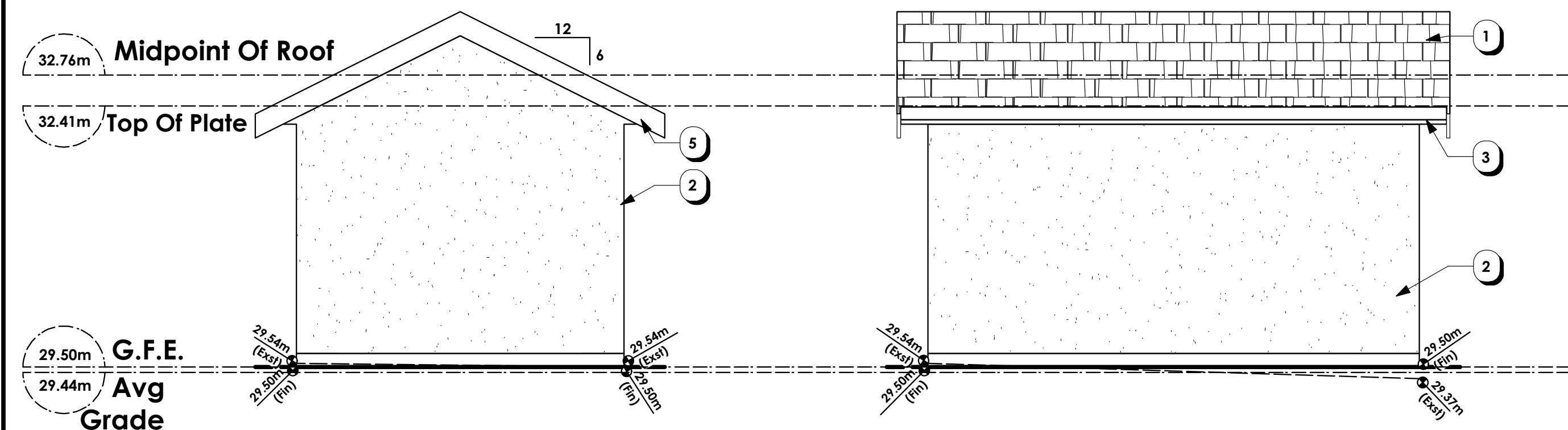
2 **Lot 2 East Elevation**
Scale: 1/4" = 1'-0"

Exterior Finish Schedule

- 1 LAMINATED ASPHALT SHINGLES
- 2 STUCCO
- 3 PRE-FIN. ALUMN. GUTTER.
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD

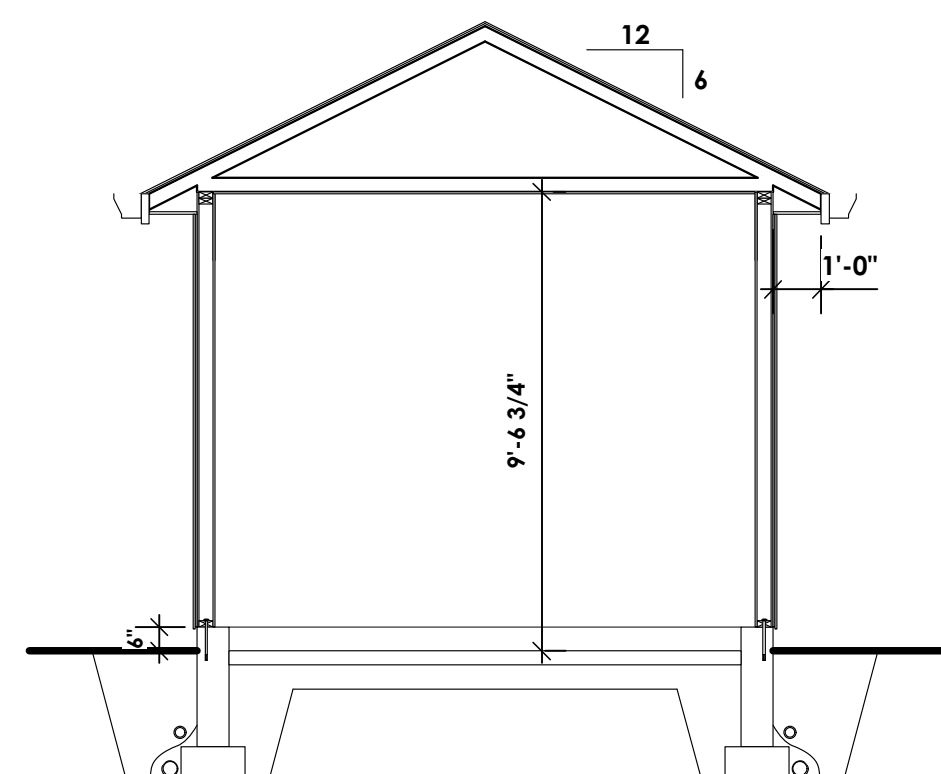


5 **Lot 2 Garage Floor Plan**
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



3 **Lot 2 North Elevation**
Scale: 1/4" = 1'-0"

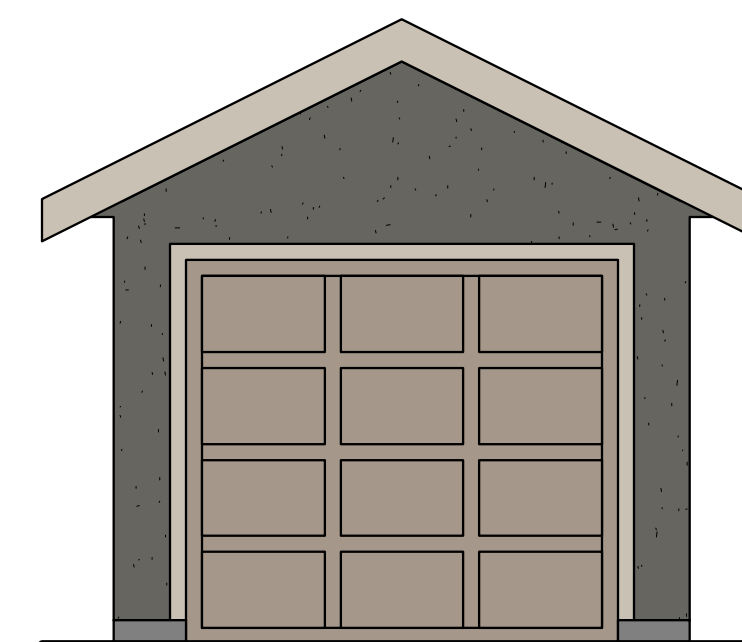
4 **Lot 2 West Elevation**
Scale: 1/4" = 1'-0"



6 **Section A-A**
Scale: 1/4" = 1'-0"

Colour Legend

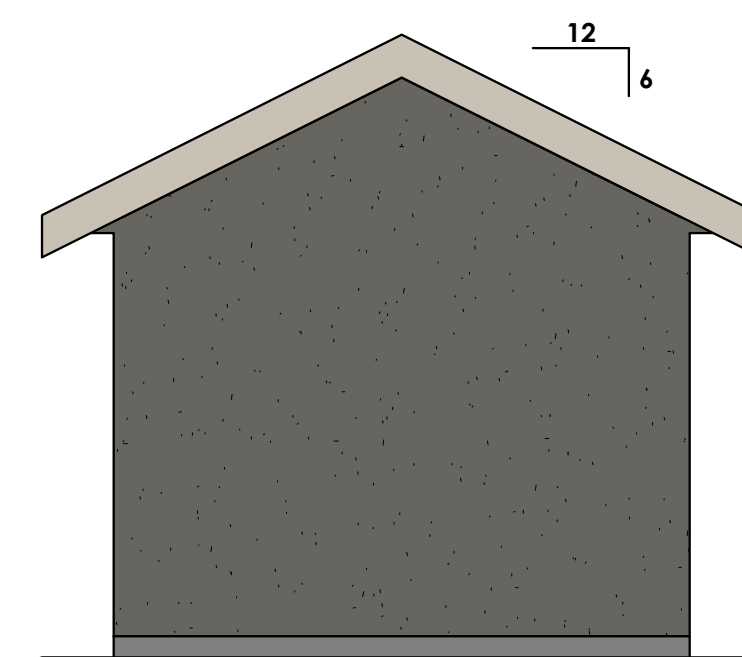
Stucco		BENJAMIN MOORE - KENDALL CHARCOAL HC-166
Trim		BENJAMIN MOORE - REVERE PEWTER HC-172
Entry Doors		SHERWIN WILLIAMS - TRICORN BLACK SW6258
Roof		ANTIQUE BLACK
Gutter		CASHMERE 514
Garage		BENJAMIN MOORE - CHELSEA GRAY HC-168



7 **Lot 2 South Elevation**
Scale: 1/4" = 1'-0"



8 **Lot 2 East Elevation**
Scale: 1/4" = 1'-0"



9 **Lot 2 North Elevation**
Scale: 1/4" = 1'-0"



10 **Lot 2 West Elevation**
Scale: 1/4" = 1'-0"

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1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 2
Garage

small
lot
rezoning

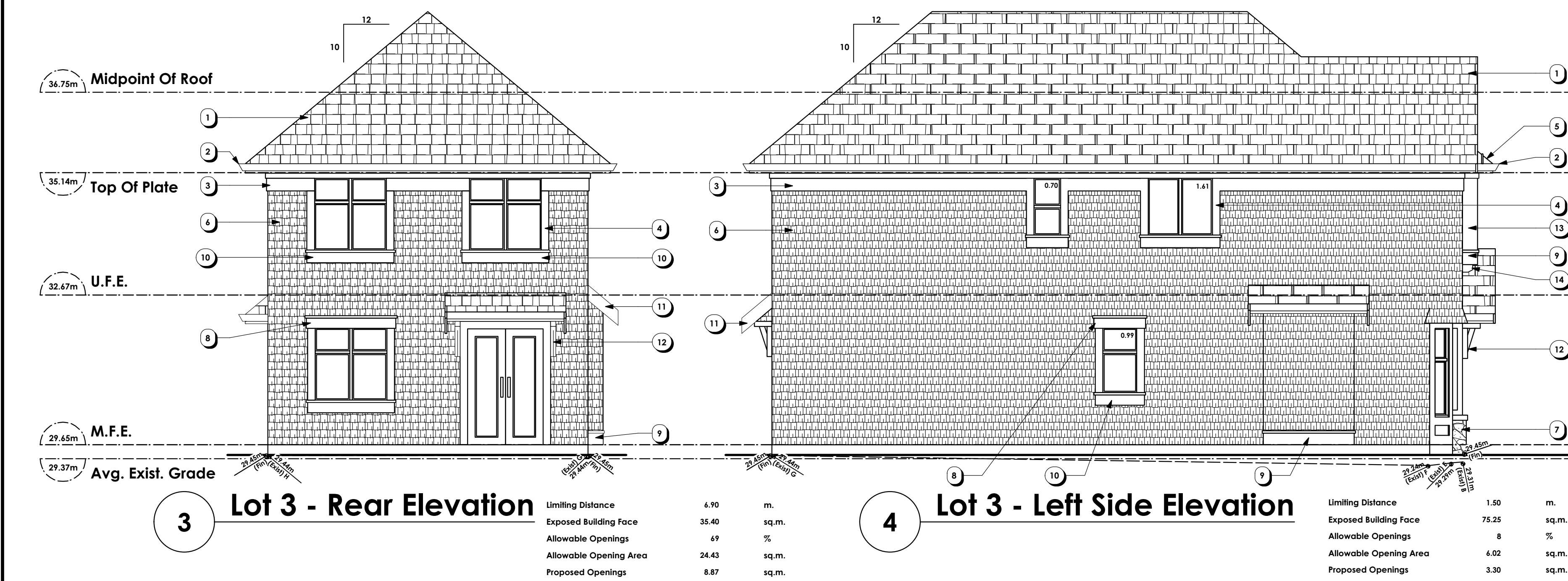
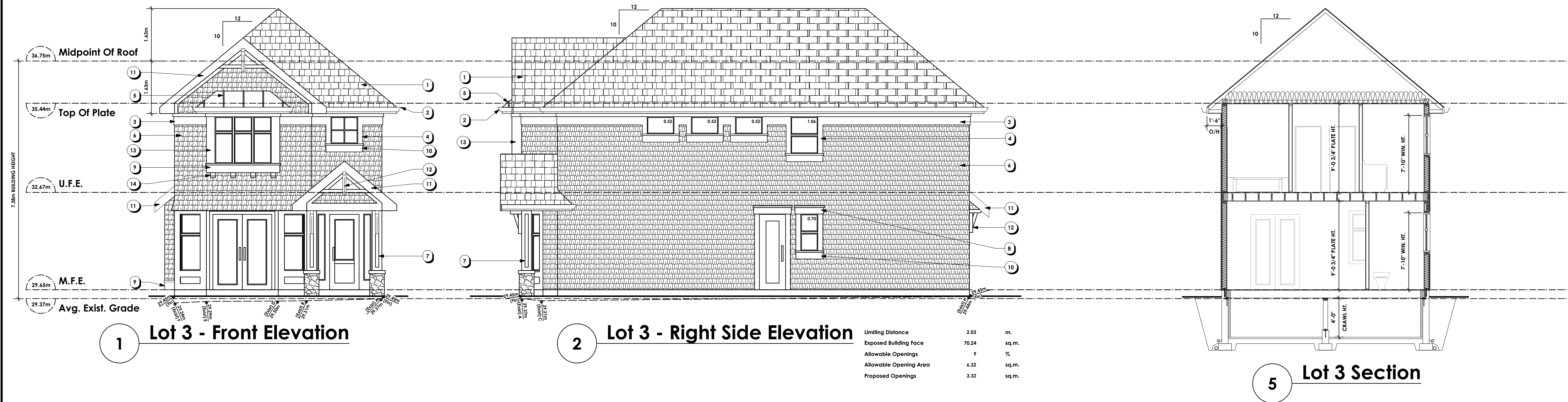
1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"
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VICTORIA
DESIGN
GROUP

Date: 9/1/19

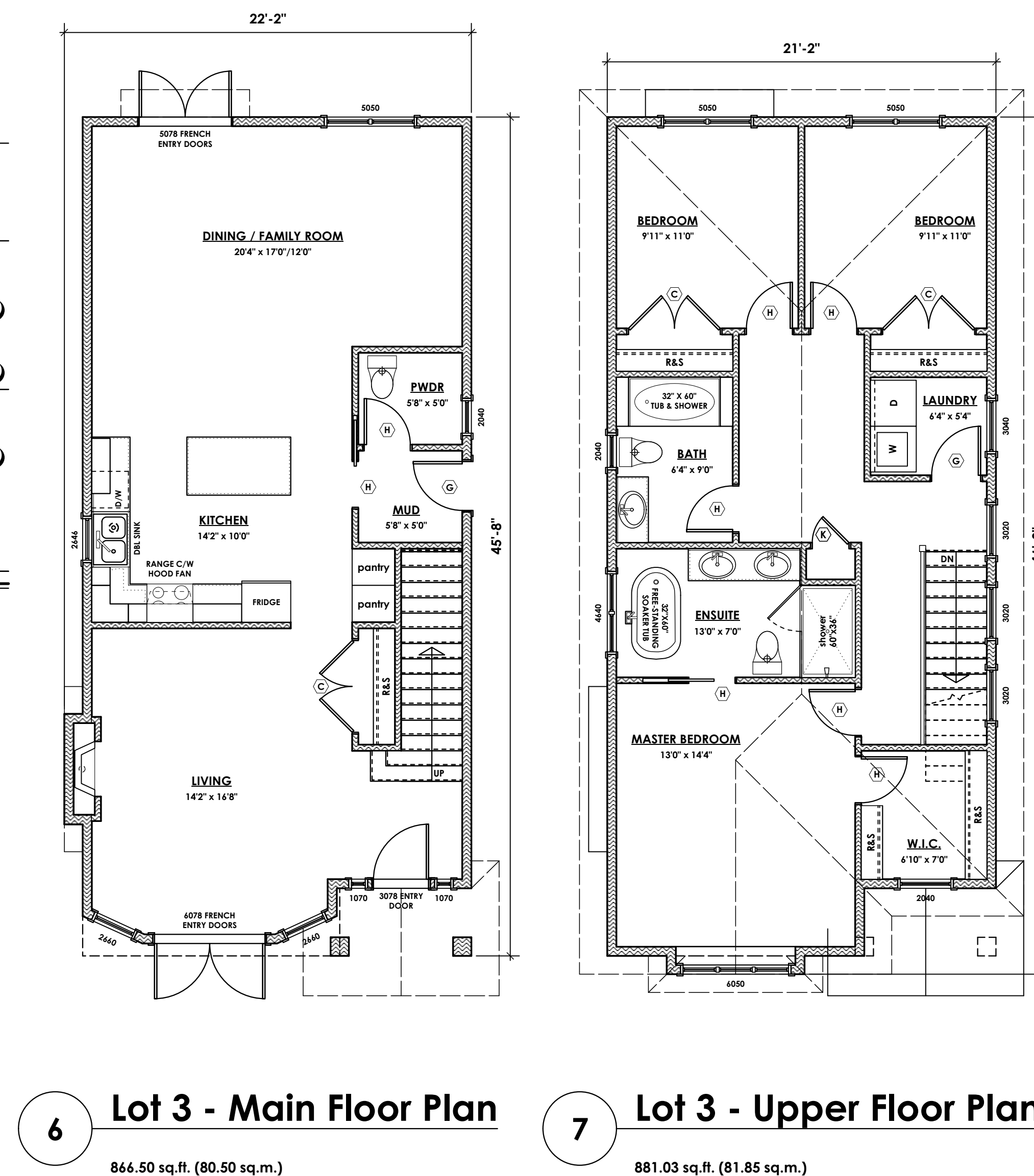


- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMN. GUTTER
 - 3 2x4 SOFFIT TRIM ON 1x10 BARGE BOARD
 - 4 1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 PRE-FIN. METAL ROOFING
 - 6 CEDAR SHINGLE SIDING
 - 7 CLADDING ON 12"x12" FRAMED COLUMN ON 18"x18" STONE VENEER BASE

- 8 METAL FLASHING ON 1x2 TRIM ON 1x8 FASCIA TRIM
- 9 METAL FLASHING ON 1x12 SILL TRIM
- 10 METAL FLASHING ON 1x10 SILL TRIM
- 11 2x10 BARGE BOARD
- 12 DECORATIVE WOOD BRACE
- 13 CUSTOM WOOD TRIM
- 14 DECORATIVE WOOD BLOCKING

DOOR SCHEDULE

A	8/0 X 6/8 (2438 X 2032)	F	2/10 X 6/8 (864 X 2032)
B	6/0 X 6/8 (1829 X 2032)	G	2/8 X 6/8 (813 X 2032)
C	5/0 X 6/8 (1524 X 2032)	H	2/6 X 6/8 (762 X 2032)
D	4/0 X 6/8 (1219 X 2032)	J	2/4 X 6/8 (711 X 2032)
E	3/0 X 6/8 (914 X 2032)	K	2/0 X 6/8 (610 X 2032)
		L	1/6 X 6/8 (508 X 2032)



CUBE DEVELOPMENTS

"Four Oaks"

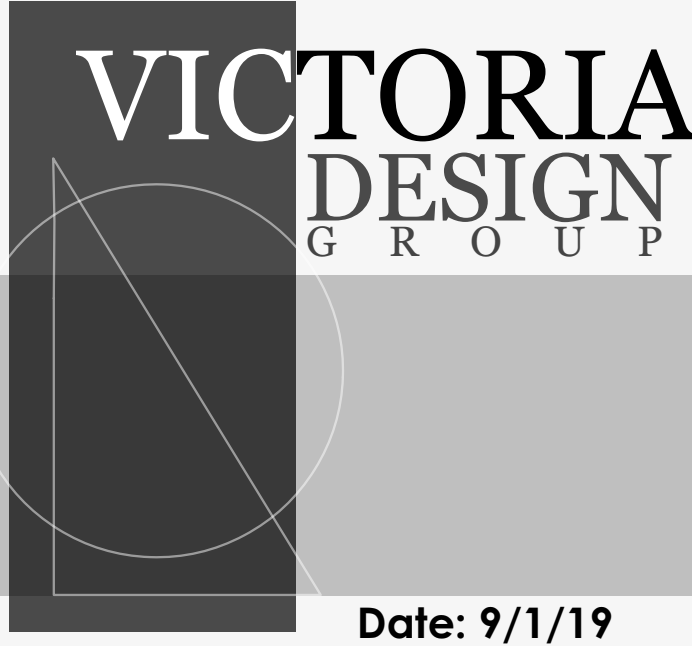
Lot 3

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale 3/16" = 1'-0" drawn by NS



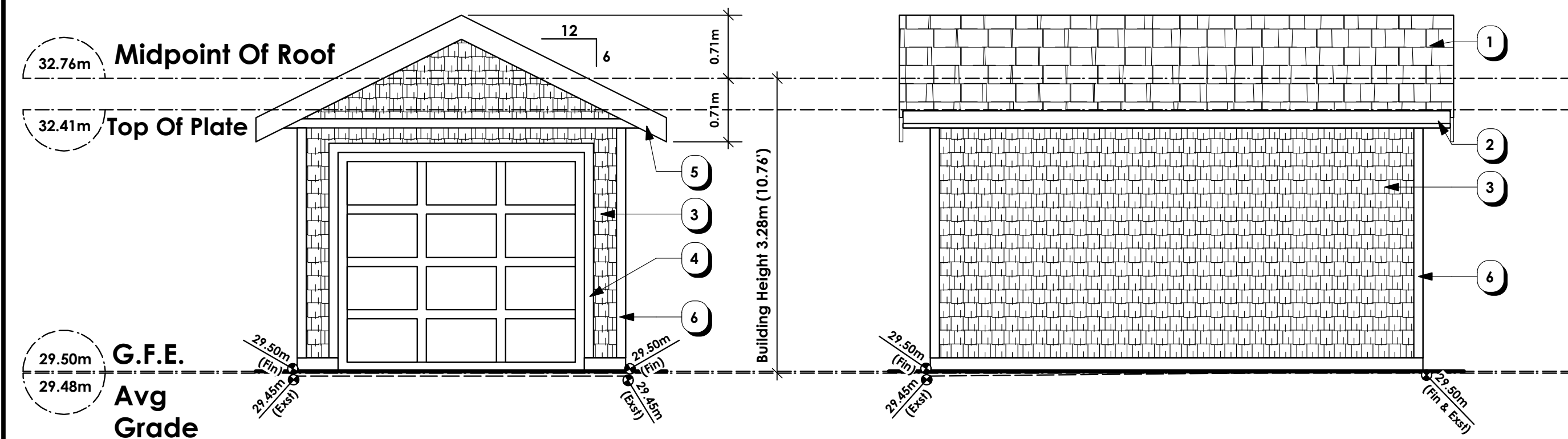
Date: 9/1/19

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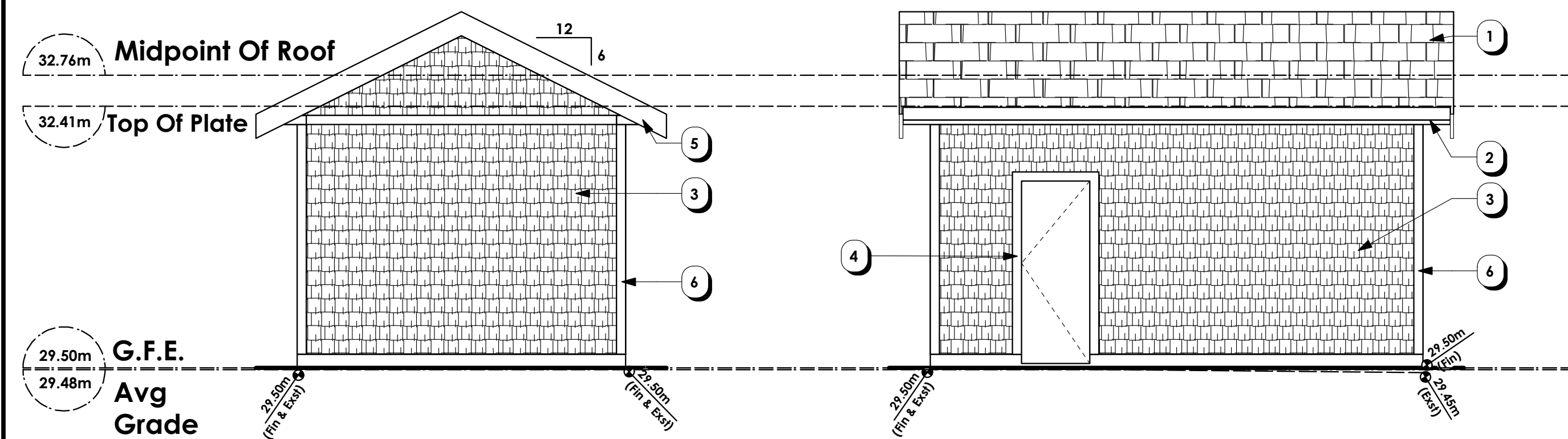
1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION



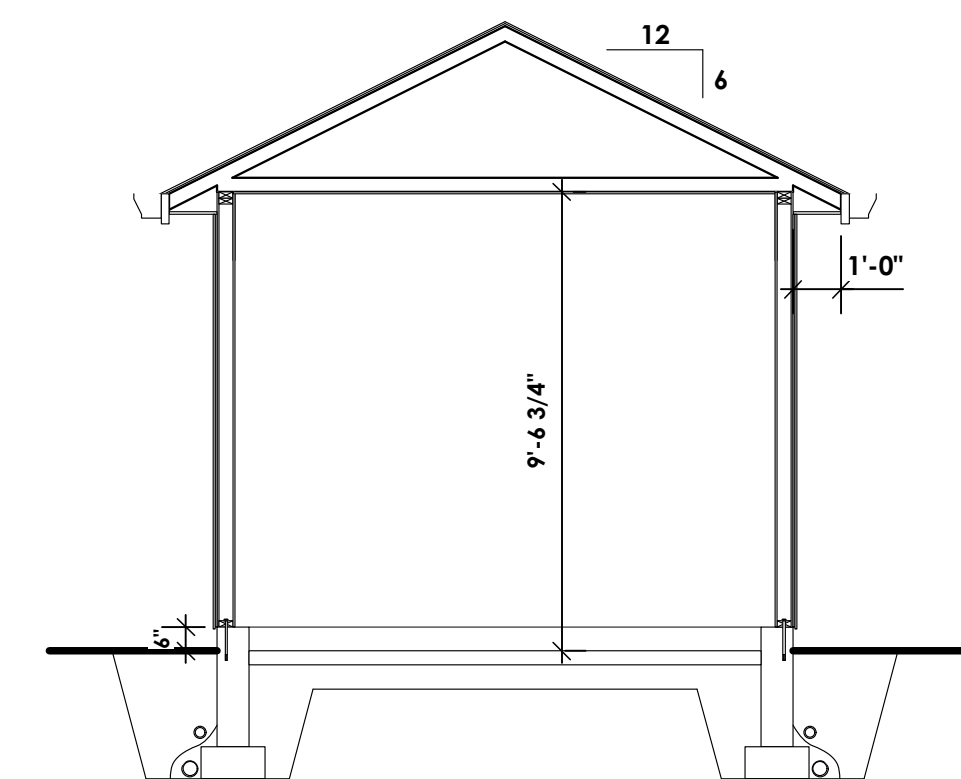
1 **Lot 3 North Elevation**
Scale: 1/4" = 1'-0"

2 **Lot 3 West Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 3 South Elevation**
Scale: 1/4" = 1'-0"

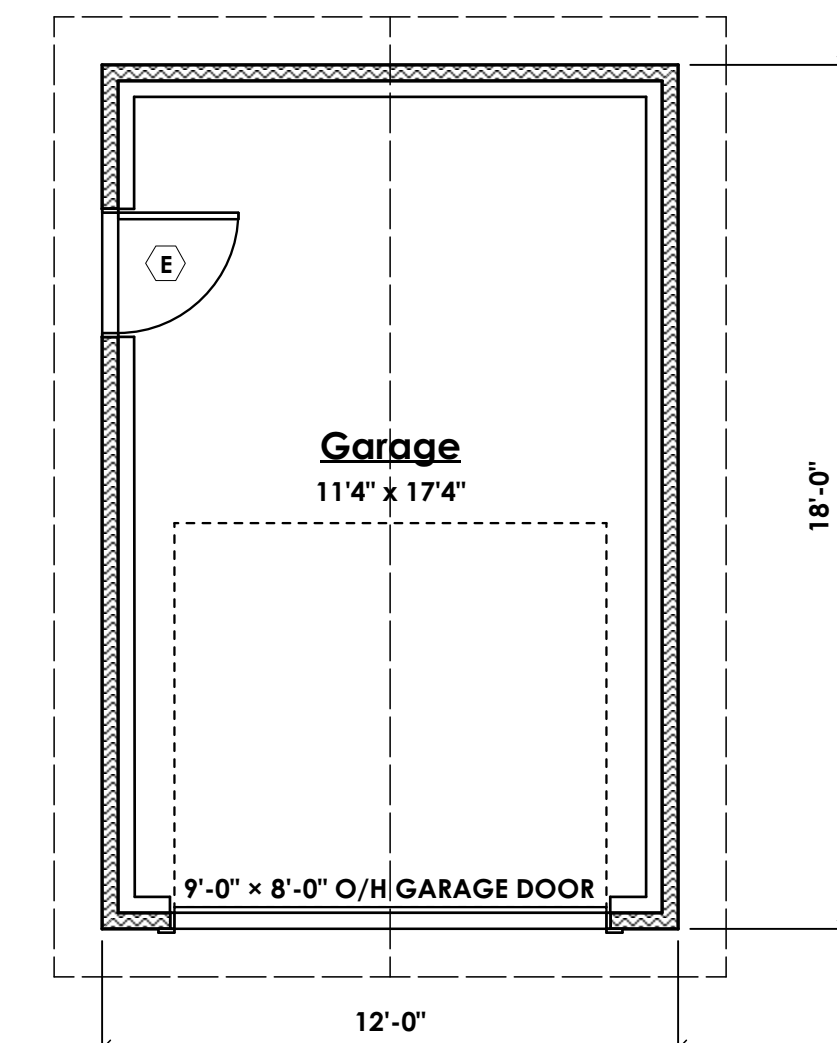
4 **Lot 3 East Elevation**
Scale: 1/4" = 1'-0"



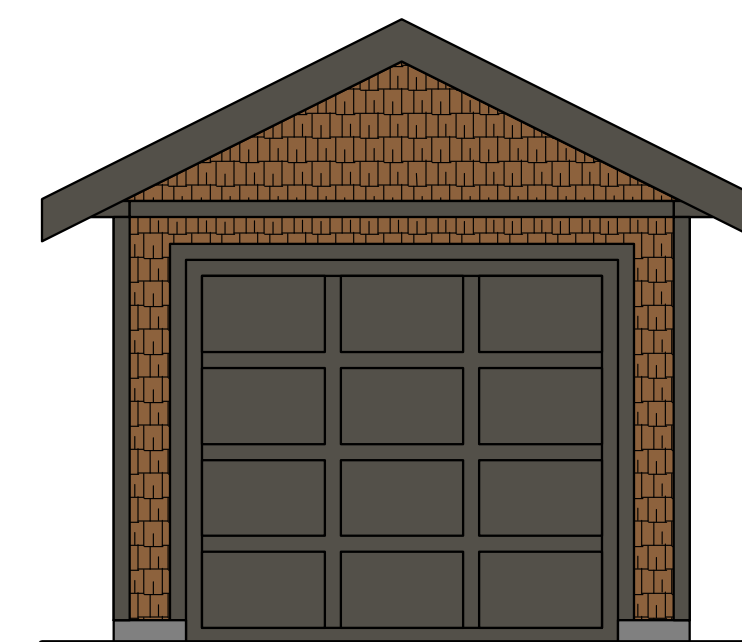
6 **Section A-A**
Scale: 1/4" = 1'-0"

Exterior Finish Schedule

- 1 LAMINATED ASPHALT SHINGLES
- 2 PRE-FIN. ALUMN. GUTTER.
- 3 CONCRETE FIBRE SHINGLE SIDING
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD
- 6 1x4 CORNER TRIM



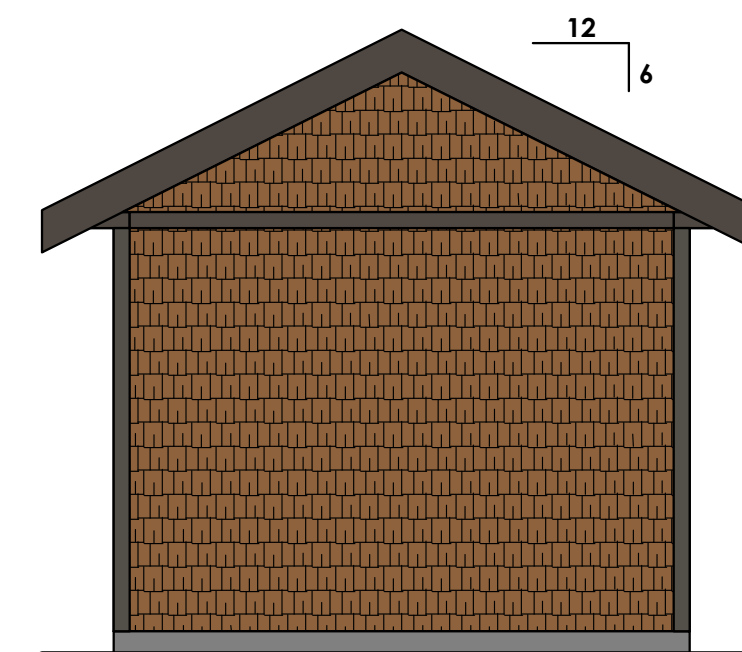
5 **Lot 3 Garage Floor Plan**
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



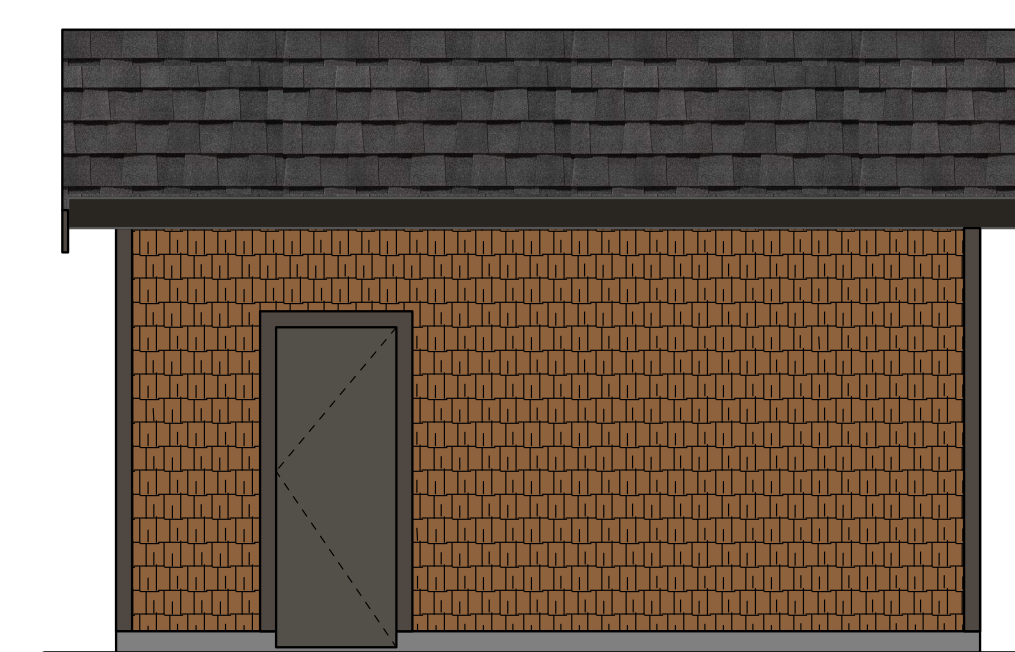
7 **Lot 3 North Elevation**
Scale: 1/4" = 1'-0"



8 **Lot 3 West Elevation**
Scale: 1/4" = 1'-0"



9 **Lot 3 South Elevation**
Scale: 1/4" = 1'-0"



10 **Lot 3 East Elevation**
Scale: 1/4" = 1'-0"

Colour Legend

Conc. Fibre Shingle Siding		PAINTED TO MATCH SW - HAWTHORNE SW3518 STAIN
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - BLACK FOX SW7020
Roof		ANTIQUE BLACK
Gutter		GENTEK - BLACK 525

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

**CUBE
DEVELOPMENTS**

"Four Oaks"

**Lot 3
Garage**

**small
lot
rezoning**

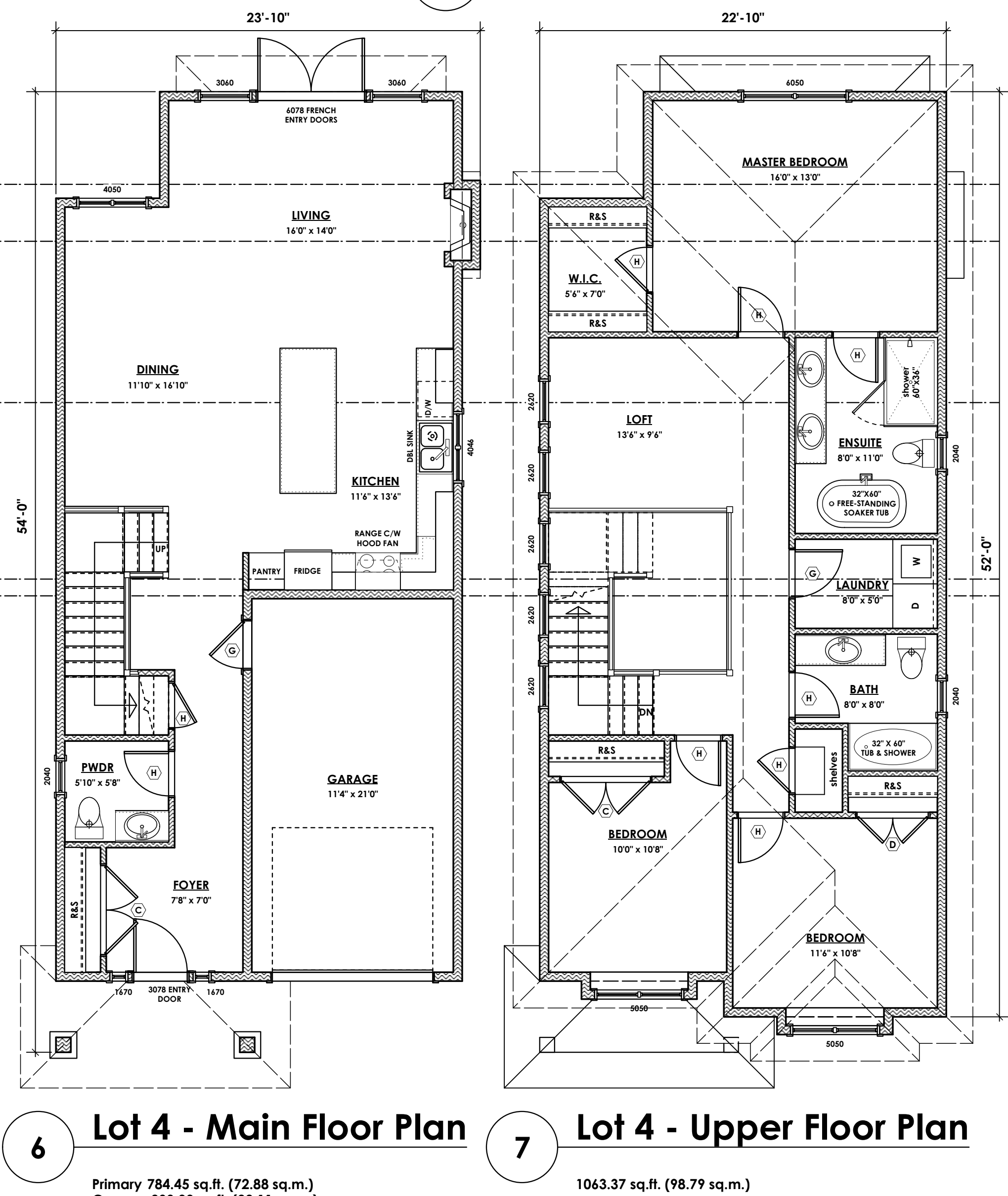
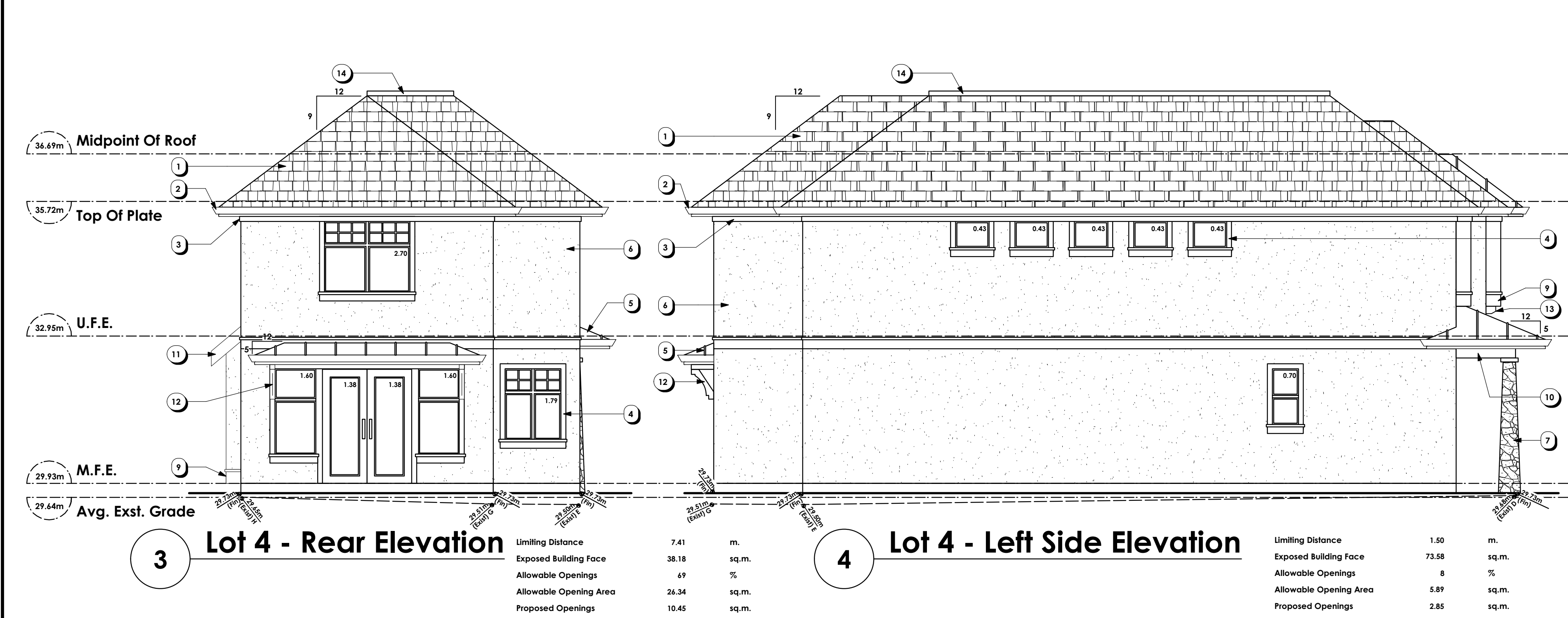
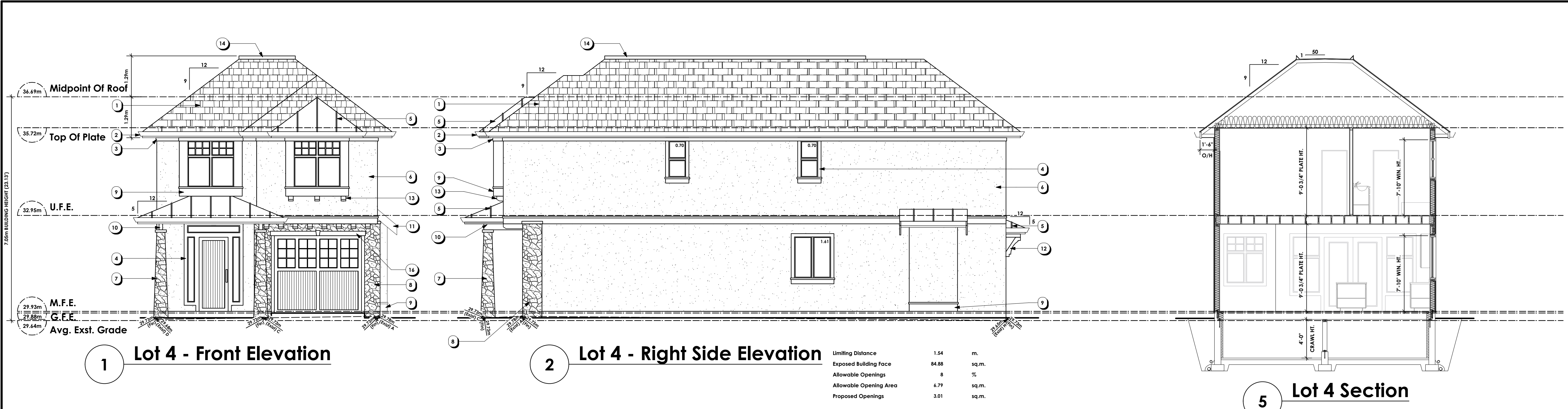
**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

**drawing #
8150**

**scale
1/4" = 1'-0"
drawn by
NS**

**VICTORIA
DESIGN
GROUP**

Date: 9/1/19



Exterior Finish Schedule			
1	LAMINATED ASPHALT SHINGLES	8	PRE-MANUF. STONE VENEER
2	PRE-FIN. ALUMN. GUTTER	9	METAL FLASHING ON 1x12 SILL TRIM
3	2x4 SOFFIT TRIM	10	WOOD BEAM
4	1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)	11	2x10 BARGE BOARD
5	PRE-FIN. METAL ROOFING	12	STRUCTURAL WOOD BRACE
6	STUCCO (see owner for fin.)	13	DECORATIVE WOOD BLOCKING
7	CLADDING ON 12"x12" FRAMED COLUMN TAPERING TO 18"x18"	14	METAL FLASHING
		15	METAL FLASHING ON 2x10 BELLY BAND
		16	METAL FLASHING ON 2x6 WOOD TRIM WITH DECORATIVE KEYSTONE

DOOR SCHEDULE			
A	8/0 X 6/8 (2438 X 2032)	F	2/10 X 6/8 (864 X 2032)
B	6/0 X 6/8 (1829 X 2032)	G	2/8 X 6/8 (813 X 2032)
C	5/0 X 6/8 (1524 X 2032)	H	2/6 X 6/8 (762 X 2032)
D	4/0 X 6/8 (1219 X 2032)	J	2/4 X 6/8 (711 X 2032)
E	3/0 X 6/8 (914 X 2032)	K	2/0 X 6/8 (610 X 2032)
		L	1/6 X 6/8 (508 X 2032)

CUBE DEVELOPMENTS

"Four Oaks"

Lot 4

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale 3/16" = 1'-0" drawn by NS

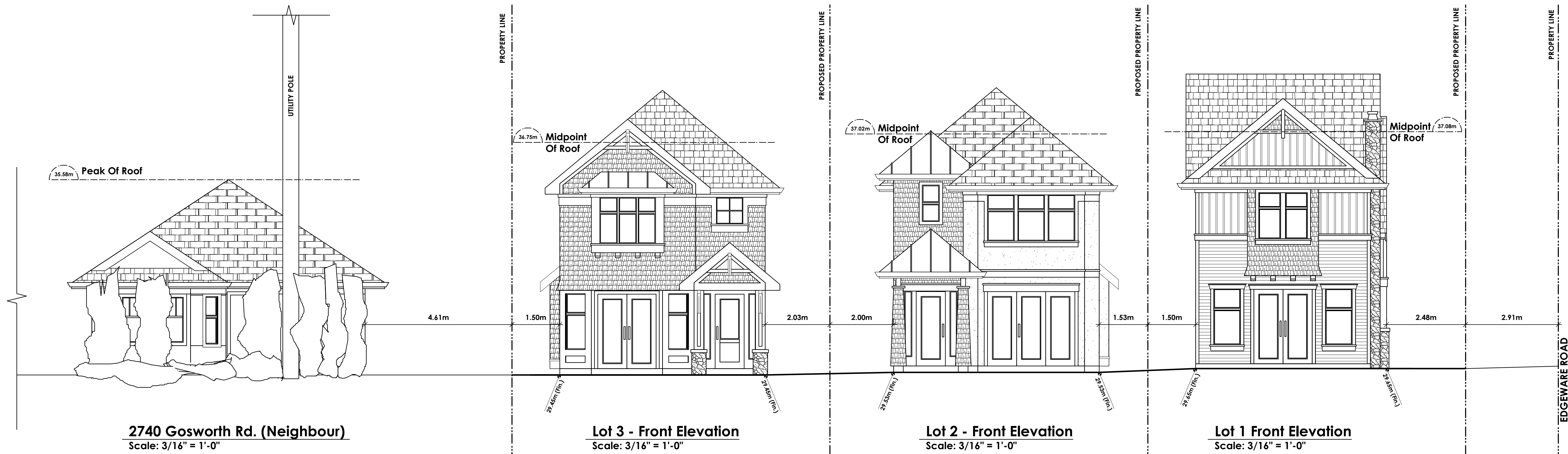
VICTORIA DESIGN GROUP

Date: 9/1/19

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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION



1 **Gosworth Rd Streetscape**
Scale: 3/16" = 1'-0"



2740 Gosworth Rd. (Neighbour)
Scale: 3/16" = 1'-0"



Proposed Lot 3
Scale: 3/16" = 1'-0"



Proposed Lot 2
Scale: 3/16" = 1'-0"



Proposed Lot 1
Scale: 3/16" = 1'-0"

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1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

VICTORIA
DESIGN
GROUP

Date: 9/1/19

**CUBE
DEVELOPMENTS**

"Four Oaks"

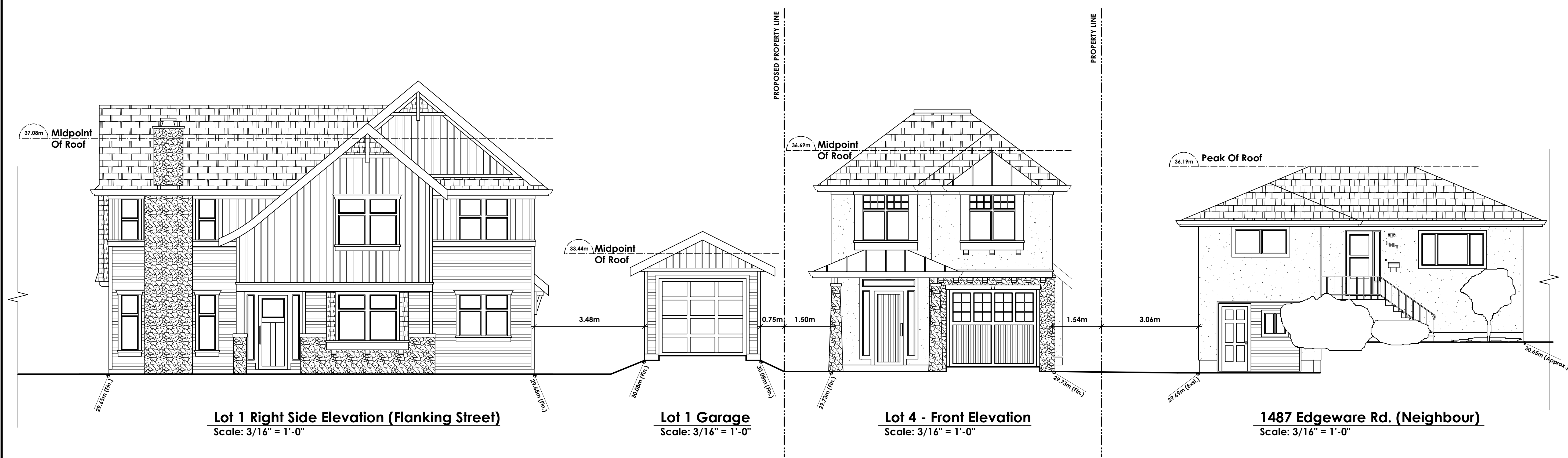
**Gosworth
Road
Streetscape**

**small
lot
rezoning**

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

**drawing #
8150**

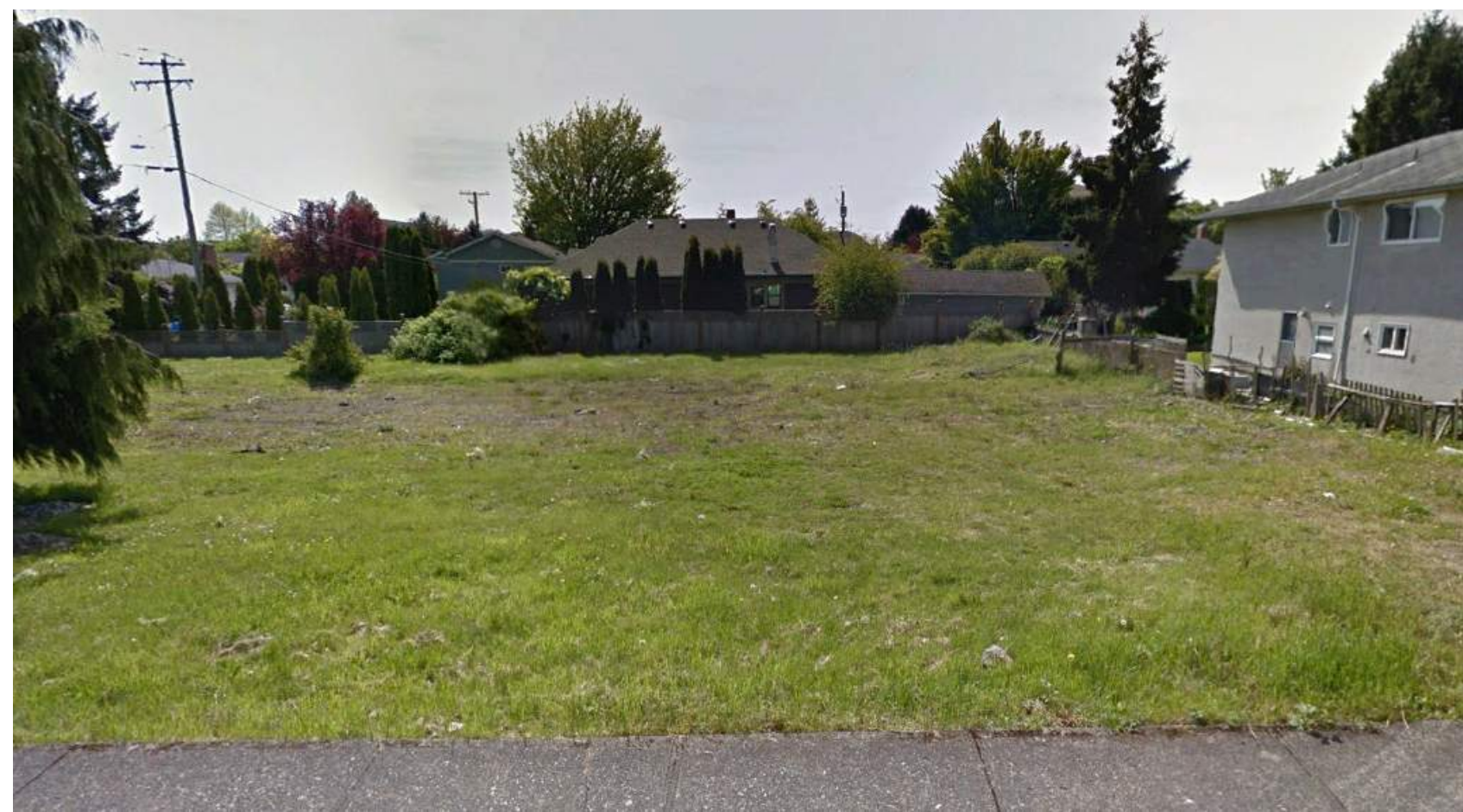
**scale
3/16" = 1'-0"
drawn by
NS**



1 Edgeware Rd Streetscape
Scale: 3/16" = 1'-0"



Proposed Lot 1
Scale: 3/16" = 1'-0"



Proposed Garage Lot 1
Scale: 3/16" = 1'-0"

Proposed Lot 4
Scale: 3/16" = 1'-0"



1487 Edgeware Rd. (Neighbour)
Scale: 3/16" = 1'-0"

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1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

CUBE DEVELOPMENTS

"Four Oaks"

Edgeware Road Streetscape

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale 3/16" = 1'-0"

drawn by NS

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Date: 9/1/19