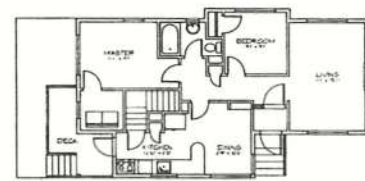
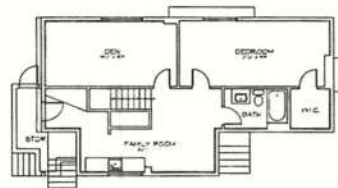


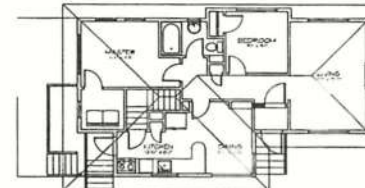
Existing Lower Floor Plan - Existing House
SCALE 1:100



Existing Main Floor Plan - Existing House
SCALE 1:100



Proposed Lower Floor Plan - Existing House
SCALE 1:100



Proposed Main Floor Plan - Existing House
SCALE 1:100



Existing Elevations - Existing House
SCALE 1:100



Proposed Elevations - Existing House
SCALE 1:100

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (WEST)	
DISTANCE TO PROPERTY LINE	1.51 M (5.10')
EXPOSED BUILDING FACE AREA	14.30 M ² (201.94 SF)
GLAZING AREA	0.38 M ² (6.00 SF)
PERCENTAGE	2.40% (ALLOWED 14.20%)

MAXIMUM GLAZING CALCULATION - REAR ELEVATION - PLANE A	
DISTANCE TO PROPERTY LINE	2.33 M (7.64')
EXPOSED BUILDING FACE AREA	4.10 M ² (104.64 SF)
GLAZING AREA	2.12 M ² (22.86 SF)
PERCENTAGE	21.89% (ALLOWED 16.40%)
** EXISTING NON CONFORMING CONDITION **	

MAXIMUM GLAZING CALCULATION - REAR ELEVATION - PLANE B	
DISTANCE TO PROPERTY LINE	2.54 M (8.33')
EXPOSED BUILDING FACE AREA	31.30 M ² (401.31 SF)
GLAZING AREA	5.07 M ² (54.62 SF)
PERCENTAGE	13.61% (ALLOWED 14.20%)

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SEPTEMBER 4, 2018

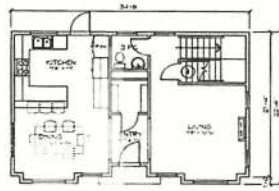


1161 NEWPORT AVE
VICTORIA, B.C. V8S 5E6
PHONE: (250) 360-2144
FAX: (250) 360-2115
Drawn BY: L. HORVAT
Date: Nov. 20, 2017
Scale: AS NOTED
Project:
PROPOSED STRATA
SUBDIVISION @ 2424
RICHMOND ROAD

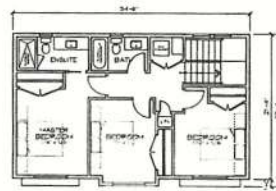
Title:
EXISTING & PROPOSED
PLANS, EXISTING &
PROPOSED
ELEVATIONS

Revision:
REV 1/17
REV 2/17
REV 3/17
Sheet:
DP-3
Proj. No.:

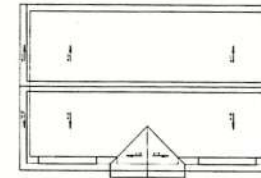
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City of Victoria
NOV 02 2018
Planning & Development Department
Development Services Division



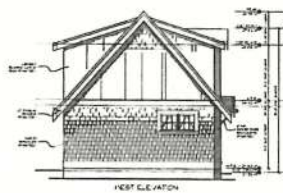
Proposed Main Floor Plan - Proposed House
SCALE 1:100



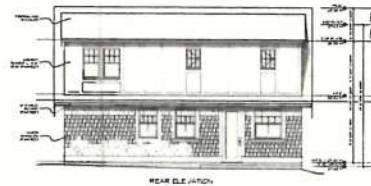
Proposed Upper Floor Plan - Proposed House
SCALE 1:100



Proposed Roof Plan - Proposed House
SCALE 1:100



MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (WEST)	
DISTANCE TO PROPERTY LINE	15.2 M (50.0')
EXPOSED BUILDING FACE AREA	40.70 M ² (435.11 SF)
GLAZING AREA	0.81 M ² (8.65 SF)
PERCENTAGE	2.00% (ALLOWED 0.12%)



MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (EAST)	
DISTANCE TO PROPERTY LINE	13.71 M (45.0')
EXPOSED BUILDING FACE AREA	26.70 M ² (286.53 SF)
GLAZING AREA	0.81 M ² (8.65 SF)
PERCENTAGE	2.30% (ALLOWED 0.42%)

Proposed Elevations - Proposed House
SCALE 1:100



Streetscape - Emerson Street
SCALE 1:100

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Date: Nov. 20, 2017
Scale: AS NOTED
Project: PROPOSED STRATA
SUBDIVISION # 2424
RICHMOND ROAD
Title: PROPOSED NEW
HOUSE PLANS &
ELEVATIONS;
STREETSCAPE
Revision: Sheet:
REV 1: 10/11/18
REV 2: 11/07/2018
DP-4
Proj. No. -

**MALARKEY SHINGLES
"MIDNIGHT BLACK"
ROOF SHINGLES**



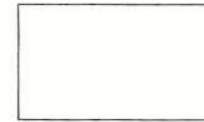
CLOVERDALE PAINT
"BUMMIT" GA019
CEMENT BOARD PANELS, FASCIA
BOARDS, WINDOW AND DOOR
TRIM, BASE TRIM



MATCH PAINT TO : CLOVERDALE PAINT -
SEMI-TRANSPARENT STAIN
"SMOKE BLUE" STO 14
HARDI SHINGLES



Front Elevation - Proposed Building
SCALE 1:50



VINYL
WHITE
HANDS, GUTTERS AND
DOWNSPOUTS



CLOVERDALE PANT
"IRON" CA201
KNEE BRACKETS, DOORS



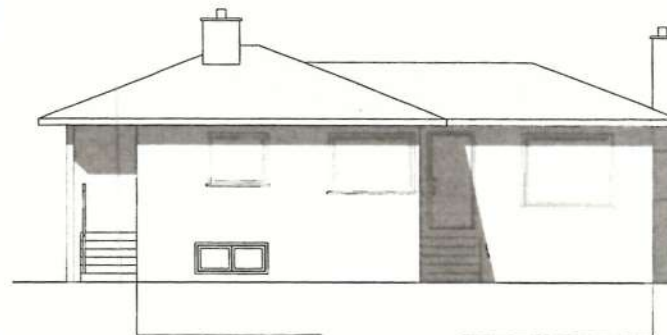
MALARKEY SHINGLES
"MIDNIGHT BLACK"
ROOF SHINGLES



CLOVERDALE PANT
"SUMMIT" GA019
FASCIA BOARDS



CLOVERDALE PANT
"SAND SCULPTURE" CA014
STUCCO PANT



Front Elevation - Existing Building
SCALE 1:50



CLOVERDALE PAINT
"IRON" CA201
KENDON TRIM



VINYL
"WHITE"
PAIDONS, BUTTERS AND
DOWNSPOUTS



MATCH PAINT TO : CLOVERDALE PAINT -
SEMI-TRANSPARENT STAIN
"SMOKE BLUE" STO 14

DOORS



Proposed Fence
SCALE 1:50



UNTREATED FISH NATURAL
CEDAR FENCE

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Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: Nov. 20, 2017

Scale: AS NOTED

Project:
PROPOSED STRATA
SUBDIVISION @ 2424
RICHMOND ROAD

Title:
COLOUR AND
FINISH SELECTIONS

Revision: 1ST EXTENSION JUNE 1978 REV 1 SEPT 4/78 REV 2 NOV 2/78	Sheet: DP-5
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DP-5

Pro]. No. -