

I. REPORTS OF COMMITTEES

I.1 Committee of the Whole

I.1.b Report from the February 7, 2019 COTW Meeting

I.1.b.j Consultation on Draft Old Town Design Guidelines (2019) and OCP Amendment Bylaw

Moved By Councillor Thornton-Joe
Seconded By Councillor Collins

That Council:

1. Approve, in principle, the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019).
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend Development Permit Area 1(HC): Core Historic with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019); to remove reference to the Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983); and to amend Development Permit Area 9(HC): Inner Harbour with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019).
3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including downtown residents, Old Town property owners, local development and business communities and local heritage organizations on the proposed amendments to the Official Community Plan through online consultation concurrent with public review of the proposed Old Town Design Guidelines (2019).
5. Direct staff to amend the document in Section 1.1 on page 3 to include a sentence that acknowledges that locals love the human-scale of Old Town and structure the content to begin with making benefit for locals and then making benefit for visitors and economic development impacts.

6. Direct staff to amend the document in Section 1.2 on page 5 to amend "traditional territories" to read as "traditional homelands"
7. Direct staff to include recognition of the family group if possible in the document.

CARRIED UNANIMOUSLY

E. LAND USE MATTERS

E.5 Consultation on Draft Old Town Design Guidelines (2019) and OCP Amendment Bylaw

Committee received a report dated January 23, 2019, from the Acting Director of Sustainable Planning and Community Development regarding the draft Old Town Design Guidelines (2019) and public engagement summary.

Moved By Mayor Helps

Seconded By Councillor Thornton-Joe

That Council:

1. Approve, in principle, the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019).
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend Development Permit Area 1(HC): Core Historic with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019); to remove reference to the Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983); and to amend Development Permit Area 9(HC): Inner Harbour with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019).
3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including downtown residents, Old Town property owners, local development and business communities and local heritage organizations on the proposed amendments to the Official Community Plan through online consultation concurrent with public review of the proposed Old Town Design Guidelines (2019).

Moved By Mayor Helps

Seconded By Councillor Isitt

Amendment:

5. Direct staff to amend the document in Section 1.1 on page 3 to include a sentence that acknowledges that locals love the human-scale of Old Town and structure the content to begin with making benefit for locals and then making benefit for visitors and economic development impacts.

CARRIED UNANIMOUSLY

Moved By Mayor Helps

Seconded By Councillor Isitt

Amendment:

6. Direct staff to amend the document in Section 1.2 on page 5 to amend "traditional territories" to read as "traditional homelands"

CARRIED UNANIMOUSLY

Moved By Councillor Isitt
Seconded By Mayor Helps

Amendment:

7. Direct staff to include recognition of the family group if possible in the document.

CARRIED UNANIMOUSLY

Main motion as amended:

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of February 7, 2019

To: Committee of the Whole **Date:** January 23, 2019
From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development
Subject: Old Town Design Guidelines (2019) and OCP Amendment Bylaw

RECOMMENDATION

That Council:

1. Approve, in principle, the Old Town Design Guidelines – New Buildings and Additions to Existing Buildings (2019).
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend Development Permit Area 1(HC): Core Historic with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019); to remove reference to the Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983); and to amend Development Permit Area 9(HC): Inner Harbour with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019).
3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including downtown residents, Old Town property owners, local development and business communities and local heritage organizations on the proposed amendments to the Official Community Plan through online consultation concurrent with public review of the proposed Old Town Design Guidelines (2019).

EXECUTIVE SUMMARY

The purpose of this report is to present Council with the draft Old Town Design Guidelines – New Buildings and Additions to Existing Buildings (2019) (Attachment A) which have been developed in response to a request from Council in February 2018 as a means of providing additional support for the implementation of *Zoning Bylaw 2018*. The updated guidelines are intended to replace the current *Design Guidelines: Old Town, Victoria, BC – New Buildings and Additions to Non-Heritage Buildings* (Attachment B) which have been in place since 2006, as well as, the *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs* (Attachment C) which have been in place since 1983.

The proposed Old Town Design Guidelines (2019) have been developed to provide improved guidance, clarity, interpretation and user-friendliness for designers, architects and property owners who are actively planning or considering a new building or an addition to an existing (heritage or non-heritage) building within the Old Town area (Attachment D). The guidelines help to ensure that the design of new buildings or additions result in built forms that are complementary to the historic character and context of Old Town. The guidelines are also an important evaluation tool for City staff and Council when reviewing development applications and proposals.

The process to develop the new guidelines included extensive consultation with a Working Group composed of representatives from the downtown neighbourhood, as well as the local heritage, business and development communities. Working Group members provided valuable and insightful feedback, technical information, advocacy, and support with communicating the project among their respective organizations and networks. The draft guidelines were also further refined based on comments received through a broader public engagement process (Attachment E).

The Old Town Design Guidelines (2019) are premised on achieving five key design principles that relate to good fit, reinforcing the existing character of Old Town, achieving appropriately scaled development, context sensitivity and cohesive designs while also encouraging design flexibility.

The resulting design guidelines include a chapter for new buildings and additions to non-heritage buildings that addresses seven key topic areas including building mass, scale and siting; street rhythm; façade composition; relationship to street and open space; materials and finishes; liveability; and off-street parking. The document also contains a chapter to specifically address rooftop additions on heritage buildings through detailed design guidelines that reflect best practices from across Canada and the United States and which are intended to be used in tandem with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

In order to implement the Old Town Design Guidelines, staff are also seeking direction to prepare an Official Community Plan (OCP) Amendment Bylaw to replace reference to the current *Design Guidelines: Old Town, Victoria, BC – New Buildings and Additions to Non-Heritage Buildings (2006)* with reference to the updated Old Town Design Guidelines – New Buildings and Additions to Existing Buildings (2019) within DPA 1(HC): Core Historic and DPA 9(HC): Inner Harbour. The OCP amendment Bylaw will also remove reference to the *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983)* within DPA 1(HC): Core Historic. The OCP Amendment Bylaw requires a public hearing allowing Council to receive and consider additional public feedback prior to a final decision.

PURPOSE

The purpose of this report is to present Council with the draft Old Town Design Guidelines (2019) including a public engagement summary and seek direction to prepare an Official Community Plan (OCP) Amendment Bylaw to enact the guidelines.

BACKGROUND

The *Design Guidelines: Old Town, Victoria, BC – New Buildings and Additions to Non-Heritage Buildings* were approved by Council 12 years ago to provide guidance for new buildings and additions to non-heritage buildings within the Old Town area which includes the Old Commercial District, Chinatown and Waterfront. To improve the effectiveness of the guidelines and to better support the implementation of the new *Zoning Bylaw 2018*, in February 2018, Council requested staff to prioritize the update of the *Old Town Design Guidelines (2006)*. The Chinatown area is also subject to the *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs*, which have been in place since 1983. As part of reviewing the *Old Town Design Guidelines*

(2006), staff used this opportunity to update and consolidate both documents as a means of providing most of the relevant design guidelines for the broader Old Town area in a single document and to provide design guidelines in a more consistent format.

The process to update the guidelines included in-depth collaboration with the project Working Group composed of key stakeholders representing downtown residents along with Victoria's heritage, design, development and business communities. Public engagement and consultation also included a public open house, online feedback through the project website and review by the City's Heritage Advisory Panel and Advisory Design Panel.

ISSUES & ANALYSIS

1. Updated Design Guidelines

Maintaining the special character of Old Town for present and future generations requires the ongoing conservation and enhancement of its unique character. When new buildings are constructed, or additions are made to existing buildings, it's important that they are designed to complement and enhance the heritage character and historical significance of this special area of downtown Victoria. In response to this overarching objective, the City recently completed a review and update of the current *Old Town Design Guidelines (2006)*. The updated Old Town Design Guidelines (2019) build upon the current guidelines but now include a broader range of design topics and guidelines for new buildings and additions to existing (heritage and non-heritage) buildings, as well as, supplementary guidelines for the Old Commercial District, Chinatown and the Waterfront sub-areas. In response to initial consultation with key stakeholders, the guidelines were also developed to provide improved guidance, clarity, interpretation and user-friendliness for designers, architects and property owners to ensure that new developments are designed to fit with the character and low-scale context of Old Town and not detract or diminish the area's historic and human-scale qualities. At the same time, the guidelines provide an appropriate balance between prescriptiveness and supporting design flexibility and creativity. The guidelines are also an important evaluation tool for City staff and Council when reviewing development proposals.

2. Design Principles

The proposed Old Town Design Guidelines (2019) are premised on achieving a range of design principles that were established in collaboration with the Working Group and confirmed through the public engagement process. The design principles described in Chapter 4 provide the basis for the detailed design guidelines. The five key design principles outline the importance for good fit, reinforcing the existing character of Old Town and achieving new development that is appropriately scaled and provides a cohesive design with the adjacent area, while also encouraging contemporary design solutions.

3. Design Guidelines for New Buildings and Additions

Chapter 5 of the proposed Old Town Design Guidelines (2019) introduces guidelines for new buildings and additions that address seven topics including: building mass, scale and siting; street rhythm; façade composition; relationship to street and open space; materials and finishes; liveability; and off-street parking. Each topic is presented in its own section and is introduced with a background explanation and an intent statement describing the desired design outcomes. The detailed design guidelines are also supplemented with photographs and illustrations that help describe the guidelines and improve overall user-friendliness.

4. Design Guidelines for Rooftop Additions on Heritage Buildings

The potential impact of rooftop additions on heritage buildings was one of the most common concerns that staff heard from project stakeholders and the public during the initial project consultation process. Therefore, Chapter 6 of the proposed Old Town Design Guidelines (2019) contains detailed design guidelines for rooftop additions on heritage buildings which reflect best

practices from Canada and the United States. These guidelines have been developed to ensure that rooftop additions are carefully designed to be compatible with the historic building while also clearly distinguishable and subordinate in terms of scale, siting and finishing materials. The provision of a rooftop addition should also result in the conservation of the heritage building to the greatest extent possible. Therefore, the Old Town Design Guidelines (2019) are intended to be used in tandem with the *Standards & Guidelines for the Conservation of Historic Places in Canada*, which is a federal government resource (Parks Canada) that provides sound, practical and result-oriented guidance to achieve good conservation practice of heritage resources across Canada. The roof top addition guidelines have also been developed based on the *U.S. National Parks Service Preservation Brief #14*, which provides design guidance for new exterior additions to Historic Buildings.

5. Application within Development Permit Areas and Heritage Conservation Areas

Appendix A of the *Official Community Plan* (2012) identifies areas of the city that are designated as Development Permit Areas (DPA) and Heritage Conservation Areas (HCA). Each DPA and HCA contains a list of guidelines that development applications must be consistent with. Old Town is primarily contained within DPA 1(HC): Core Historic, except for the area along the waterfront which is contained within a portion of DPA 9(HC): Inner Harbour (Attachment D). This means that all new buildings or additions to non-heritage buildings within Old Town are subject to a development permit, while any addition to a heritage building is subject to a heritage alteration permit. In both cases, permit applications are currently reviewed against the guidelines. Therefore, the implementation of the Old Town Design Guidelines (2019) will require an amendment to the *Official Community Plan* to reference the new guidelines in DPA 1(HC): Core Historic and DPA 9(HC): Inner Harbour.

6. Consultation

The process to review and update the Old Town Design Guidelines (2019) included the establishment of a 14-person working group composed of two self-appointed representatives from each of the following organizations: Victoria Downtown Residents Association, Heritage Advisory Panel, Advisory Design Panel, Urban Development Institute, Hallmark Heritage Society, Victoria Civic Heritage Trust and the Downtown Victoria Business Association. The project was led by a joint team of City staff with consulting assistance from Mr. Steve Barber, the City's former Senior Heritage Planner.

The Working Group met three times throughout the process including a detailed walking tour of Old Town and provided a highly-valuable role through informing the proposed guidelines, confirming the project scope, identifying initial areas for improvement, providing general feedback, sharing technical information and reviewing the draft guidelines prior to undertaking broader public engagement. Working Group members were also responsible for communicating project information with their respective organizations.

The broader public consultation and engagement process included a public open house on December 11, 2018 that was attended by over 50 people. Notice of the public open house was sent to and promoted by each of the organizations represented in the Working Group. Additional feedback was also received through the project website and individual presentations to the Victoria Downtown Residents Association, Victoria Civic Heritage Trust, Heritage Advisory Panel and the Advisory Design Panel. All comments received (Attachment D) were reviewed by staff, and where appropriate, further refinements were made to the draft guidelines. Staff have also recently received correspondence from the various project stakeholders that outline their overall support and endorsement for the Old Town Design Guidelines (Attachment F).

7. Rescinding Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs

The project scope for reviewing and updating the Old Town Design Guidelines included the opportunity to incorporate and build upon relevant design guidelines from the *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs* (Attachment C), which have been in place since 1983. This means that most of the design guidelines for Chinatown are now contained in one document and presented in a consistent manner. Therefore, staff are proposing that Council rescind the previous *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs* following approval of the Old Town Design Guidelines (2019) and the subsequent OCP Amendment Bylaw which would remove reference to the *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs* from DPA 1(HC): Core Historic).

8. Consultation on OCP Amendment Bylaw

In accordance with the *Local Government Act*, when an amendment is proposed to the OCP, the local government (Council) must, in addition to the public hearing, provide one or more opportunities it considers appropriate for consultation with persons, organizations and authorities it considers will be affected. Specifically, Council must:

- (a) consider whether the opportunities for consultation with one or more of the persons, organizations and authorities should be early and ongoing; and
- (b) specifically consider whether consultation is required with the following:
 - (i) the board of the regional district in which the area covered by the plan is located, in the case of a municipal official community plan;
 - (ii) the board of any regional district that is adjacent to the area covered by the plan;
 - (iii) the council of any municipality that is adjacent to the area covered by the plan;
 - (iv) first nations;
 - (v) boards of education, greater boards and improvement district boards;
 - (vi) the Provincial and Federal governments and their agencies.

Given that the Old Town Design Guidelines (2019) will only apply in Old Town, staff recommend that Council consider “persons affected” by the proposed OCP amendments to encompass not only Old Town property owners and residents, but also the local downtown business community, development industry and heritage community.

Based on the extensive level of consultation that has occurred with the development of the proposed Old Town Design Guidelines (2019), staff recommend that the consultation opportunity consist of the proposed Old Town Design Guidelines (2019) and a copy of the proposed OCP Amendment Bylaw being made available on the City of Victoria website for a period of two weeks; and in addition, sending electronic copies of the proposed guidelines and the bylaw to each organization on the Working Group, as well as, to the surrounding neighbourhoods of Burnside, James Bay and Victoria West.

The City website will identify the appropriate staff person who can provide further information, answer questions, and receive comments from the community. A report on the results of this consultation, including any resulting changes to the proposed Old Town Design Guidelines (2019), will be provided to Council at the time the OCP Amendment Bylaw is presented for first reading.

Given the limited application of the guidelines within Old Town, and in consideration of section 475(2)(b) of the *Local Government Act*, staff do not recommend additional consultation with the Capital Regional District, First Nations, Island Health, adjacent municipalities, school boards or other levels of government.

OPTIONS AND IMPACTS

Option 1 (Recommended):

Approve in principle the Old Town Design Guidelines – New Buildings and Additions to Existing Buildings (2019), direct staff to prepare an Official Community Plan Amendment Bylaw and seek additional feedback through the City website prior to advancing the OCP Amendment Bylaw to a meeting of Council for consideration of first and second reading and a public hearing.

This option will allow a final opportunity for comments and consideration at a public hearing in a timely manner, so the guidelines can take effect.

Option 2:

Approve in principle the Old Town Design Guidelines – New Buildings and Additions to Existing Buildings (2019), direct staff to prepare an Official Community Plan Amendment Bylaw and seek additional feedback through a more robust consultation process that includes use of the City website, as well as, a public open house for downtown residents, Old Town property owners, development industry and local heritage organizations prior to advancing the OCP Amendment Bylaw to a meeting of Council for consideration of first and second reading and a public hearing

This option is not recommended given an open house was recently held and given the extensive consultation to date.

Accessibility Impact Statement

The Old Town Design Guidelines (2019) detailed in this report do not have any impacts on accessibility.

2015 – 2018 Strategic Plan

This project supports Objective 3: Strive for Excellence in Planning and Land Use, as the updated Old Town Design Guidelines (2019) are anticipated to provide improved clarity and guidance to property owners, designers and developers; thereby, supporting higher-quality and context-sensitive building designs within Old Town. The project also supports Objective 5: Create Prosperity Through Economic Development, as the on-going conservation and adaptive reuse of heritage buildings within Old Town serves to strengthen the area's role as a hub for commercial activity, tourism and downtown living.

Impacts to Financial Plan

Approval and implementation of the Old Town Design Guidelines (2019) will not have any impacts to the *Financial Plan*.

Official Community Plan Consistency Statement

This project is consistent with the *Official Community Plan* (2012) which supports a balance between new development and heritage conservation (policy 8.1) in addition to ensuring that consideration is given to the heritage value and special character of areas, districts, streetscapes, cultural landscapes and individual properties in local area plans and related studies (policy 8.5).

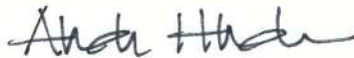
CONCLUSIONS

The proposed Old Town Design Guidelines (2019) have been recently developed in response to Council direction and now contain more comprehensive and detailed design guidelines for new buildings and additions to existing (heritage and non-heritage) buildings within Old Town. The proposed guidelines have been refined based on recent feedback received through the Working Group and from the public engagement process. Reporting back to Council with the related Official Community Plan Amendment Bylaw, following a focused public consultation process, allows Council to consider additional feedback prior to first and second reading of the bylaw and a subsequent public hearing.

Respectfully submitted,



Robert Batallas, Senior Planner
Community Planning Division

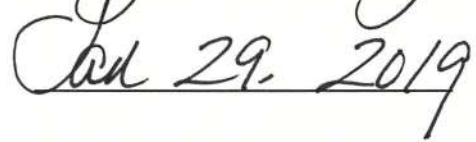


Andrea Hudson, Acting Director
Sustainable Planning and Community Development

Report accepted and recommended by the City Manager:



Date:



List of Attachments:

- Attachment A: Draft Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019)
- Attachment B: Design Guidelines: Old Town, Victoria, BC – New Buildings and Additions to Non-Heritage Buildings (2006)
- Attachment C: Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983)
- Attachment D: Old Town Design Guidelines Boundary Map
- Attachment E: Summary of Public Engagement Comments
- Attachment F: Stakeholder Letters and Motions

DRAFT

CITY OF VICTORIA

Old Town Design Guidelines

New Buildings and Additions to Existing Buildings (2019)

Publishing Information

Title: Old Town Design Guidelines for New Buildings and Additions to Existing Buildings (2019)

Prepared By: City of Victoria
Sustainable Planning and Community Development Department

Status: Draft Old Town Design Guidelines 2019

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Prologue

The *Old Town Design Guidelines for New Buildings and Additions to Existing Buildings (2019)* promotes the long term stability of Old Town by encouraging contextually sensitive new buildings and additions. We are stewards rather than curators of the historic environment, which means that new development and new urban spaces will inevitably reflect modern technology and new ways of working, living and playing. This document promotes architecture and design that embodies our modern age, while simultaneously reinforcing the timeless urban design and architectural principles of Old Town, which is key to achieving a “good fit”.

In response to increasing development pressure in Old Town, which is a heritage conservation area, the City of Victoria reviewed and updated the original 2006 Old Town Design Guidelines for 2019 and beyond. This refreshed document builds upon the key directions and objectives from the original document while seeking to provide improved clarity and certainty through more detailed guidelines that address a broad range of design topics for new (infill) buildings and additions to existing buildings.



The Janion (Reliance Properties/Merrick Architecture) Victoria, BC

Old Town



- Legend
- Old Town Boundary
 - Building Footprints

Map 1: Old Town Boundary

1. Introduction



1.1 The Future of Old Town

Victoria is widely appreciated for its historic charm, which many visitors first experience when walking among the historic buildings of Old Town in the heart of the city (SEE MAP 1: OLD TOWN BOUNDARY). Old Town is one of the largest heritage conservation areas in British Columbia and a place of local, provincial and national significance. The area attracts a substantial number of visitors throughout the year. Research finds that visiting historic sites is the number one activity for U.S. visitors to Victoria and the second top activity for other international visitors.¹ Collectively, tourism in Greater Victoria contributes \$1.2 billion to the regional GDP every year.² As Victoria's main hub for tourism, retail and entertainment, the conservation of Old Town's unique character is clearly in its long term interest.

These guidelines are a key part of the City's vision for managing change within Old Town and are an extension of the *Official Community Plan* (OCP). The OCP designates the area as a Heritage Conservation Area (HCA) and directs the majority of new growth and redevelopment to surrounding areas. Its overall objective for Old Town is to protect and revitalize the existing historic buildings and streetscapes while accommodating new development that respects and enhances

the existing historic context with high quality new buildings, building additions, facade improvements and other physical changes.

These guidelines are for new buildings and additions to heritage buildings in Old Town. The preservation and restoration of heritage buildings is not covered, since it is addressed in the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The design guidelines are premised on the following objectives:

- Support and enhance the unique and rich heritage context of Old Town;
- Contribute to Old Town's human scale character and strengthen the cohesiveness of the area;
- Maintain the authenticity of existing heritage buildings in Old Town by supporting distinguishable new buildings; and
- Respect the heritage values of the existing context.

Applied to individual developments, the guidelines will help ensure that new buildings and additions to existing buildings contribute positively to and strengthen the rich heritage fabric of Old Town that is so valued by residents and visitors alike.

¹ Destination British Columbia. Regional Tourism Profile. May 2017.

² InterVISTAS. Economic Impact of Tourism in Greater Victoria, BC. Tourism Victoria, 2018.

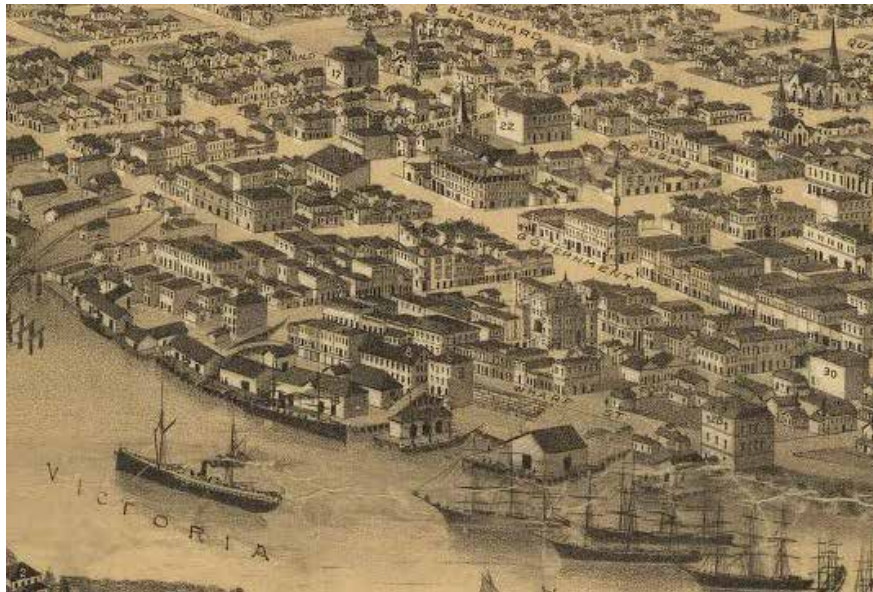


Government Street between Bastion and Fort Street, Victoria BC, 1903

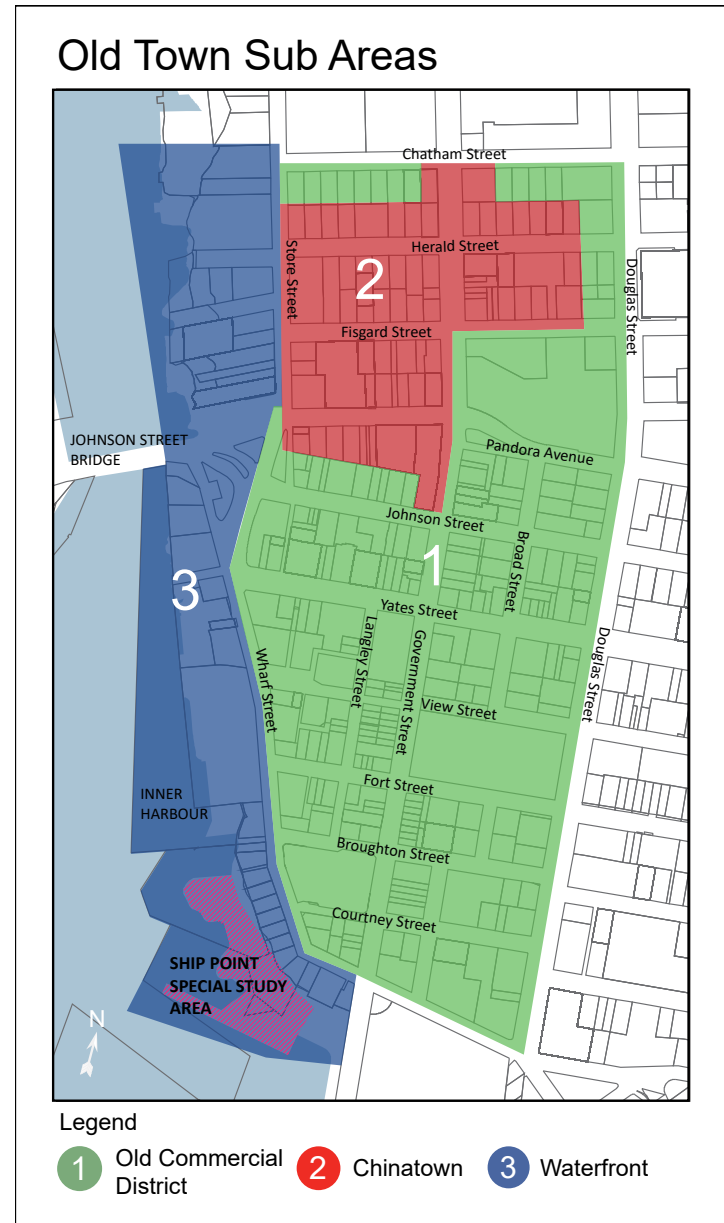
1.2 Importance

Old Town is an important part of Canadian history and is one of the largest single historic areas in the province. It was established on the traditional territories of the Songhees and Esquimalt First Nations, who have lived on southern Vancouver Island for thousands of years. Within Old Town are three areas of distinct character; the Old Commercial District, Chinatown, and the Waterfront (SEE MAP 2: OLD TOWN SUB AREAS). The federal government recognized Old Town as a “National Historic Event” in 1990. A national historic event is a “defining action, episode, movement or experience in Canadian history”. Parks Canada recognized the event of Old Town becoming an important port and commercial gateway that linked the Pacific Rim to the interior of British Columbia. The City of Victoria has also identified the heritage significance of many properties through inclusion in the *City of Victoria Register of Heritage Properties* (SEE MAP 4: OLD TOWN HERITAGE PROPERTIES).

Chinatown in Victoria is the oldest surviving Chinatown in Canada and is recognized as a National Historic Site. In addition to Chinatown, there are nine other National Historic Sites within Old Town. Decisions and actions that affect historic places must protect their commemorative integrity – that is to say, the ability of their physical presence to remind us of their profound cultural importance. New construction has the potential to strengthen, as well as to erode this integrity.



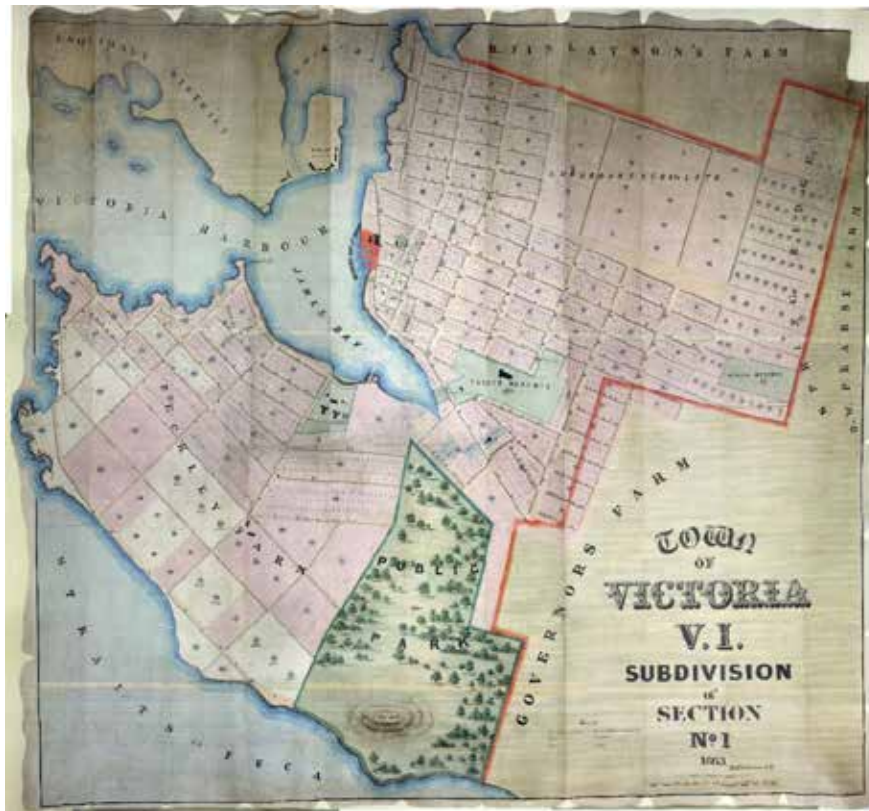
Victoria, B.C. 1889. Ellis & Co., Publishers of “The Colonist”, Victoria, BC



Map 2: Old Town Sub Areas

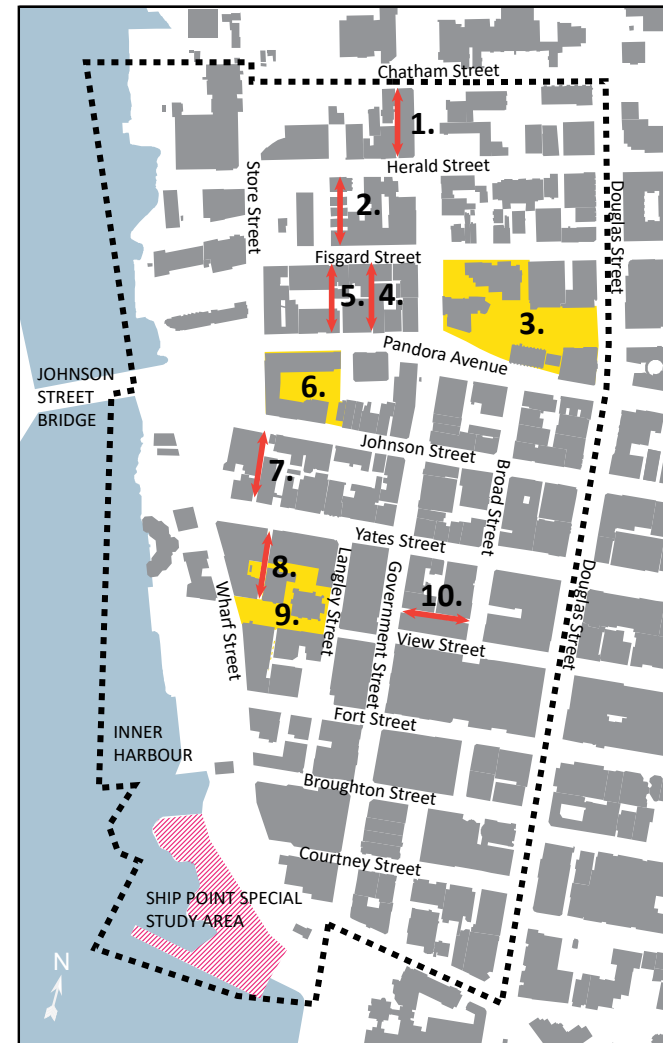
1.3 Street and Block Patterns

Hudson's Bay Company engineer and surveyor Joseph Pemberton prepared the initial town plan for Victoria by establishing a grid pattern of streets and blocks shown below in the town subdivision plan of 1863, prepared by H.O. Tiedeman. The plan shows a regular pattern of identical lots, 66ft (20m) in width. The present day street pattern of Old Town is clearly visible. Today, the original lot pattern is partially intact within the blocks bounded by Store Street, Douglas Street, Chatham Street and Herald Street. The lot pattern of other blocks has diversified, but with the exception of the Bay Centre site, there are few large sites.



1863 Subdivision Plan

Courtyards, Squares and Alleys



- | | | |
|---------------|----------------------|---------------------|
| Legend | 1. Lim Dat Alley | 6. Market Square |
| Square | 2. Dragon Alley | 7. Waddington Alley |
| Alley | 3. Centennial Square | 8. Commercial Alley |
| | 4. Fan Tan Alley | 9. Bastion Square |
| | 5. Theatre Alley | 10. Trounce Alley |

Map 3: Courtyards, Squares and Alleys



Fan Tan Alley



Market Square



Bastion Square

1.4 Courtyards, Alleyways and Squares

A characteristic feature of Old Town is its network of pedestrian-friendly courtyards, alleyways and squares, some of which post-date the pre-WWI era (SEE MAP 3: COURTYARDS, SQUARES AND ALLEYS). The two most significant public squares in Old Town are Centennial Square and Bastion Square, constructed in the 1960s as part of an effort to revitalize downtown. Centennial Square, completed in 1966, was a pioneering effort to stimulate the revitalization of the downtown by combining conserved historic buildings with contextually appropriate modernist architecture. The re-design of Centennial Square rescued old City Hall from possible demolition and provided the template for further downtown revitalization detailed in the City's 1965 Overall Plan for Victoria. The private sector also contributed significantly to the preservation of historic buildings and public space. Developer and heritage preservation pioneer Sam Bawlf and his brother, architect Nick Bawlf, constructed Market Square in the 1970s. The development rehabilitated a full half block of heritage buildings on Pandora Avenue, Wharf Street and Johnson Street arranged around a partially enclosed courtyard with new cafes, restaurants and other retail spaces.

Chinatown features a unique network of alleys and passageways lined with doorways and window openings. Chinatown's alleys were deliberately hard to find and inaccessible to outsiders. They provided some protection for members of the Chinese community, who historically faced prejudice and racism. Fan Tan Alley and Dragon Alley are the most well known. Fan Tan Alley is the narrowest street in North America and spans between Pandora Avenue and Fisgard Street. It measures 0.9 metres (3 feet) in width at its narrowest. Its name refers to the Chinese gambling game 'Fan Tan'. Dragon Alley spans between Fisgard and Herald Street. Dragon Alley is accessed through narrow passages in a pair of buildings, one on Fisgard

Street and one on Herald Street. Both buildings were constructed by Michael Hart in the late 1800s. Quan Yuen Yen and Joe Gar Chow bought the buildings in 1911 and constructed an unusual two-storey tenement building between them, designed by architect Samuel Buttrey Birds. The tenement building housed single Chinese residents. The layout of the tenement created a compact village-like labyrinth of small courtyards and light wells concealed between the larger commercial buildings, a layout that emulated town planning in older Chinese cities.

Multi-functional, pedestrian-friendly alleys are found throughout the Old Town commercial district as well (SEE MAP 3: COURTYARDS, SQUARES AND ALLEYS). Historically they functioned as service spaces, stable areas and secondary access for businesses. Trounce alley, located between Government and Broad Street was named after Thomas Trounce and contains 125 year old gaslights. Trounce constructed the alley in 1859 when the colonial administration sold off a right-of-way (now View Street) to a private owner for development. In response, Trounce opened 'Trounce Avenue' to provide an alternate means of access between Government and Broad Streets for his Broad Street properties. This increased the extent of retail frontage. Trounce Alley is framed by the Green Block, built in 1889 for Alexander Alfred Green, a banker. Trounce Alley was originally framed by a second identical building, however it was destroyed by fire and replaced by the Central building, which is six storeys in height. Waddington Alley, between Johnson Street and Yates Street, is a narrow alley paved with wood blocks. Property owner Alfred Waddington created it to access his three lots and create additional street frontage. It is lined with buildings and mostly closed to traffic.

1.5 Traditional Architecture and Urbanism

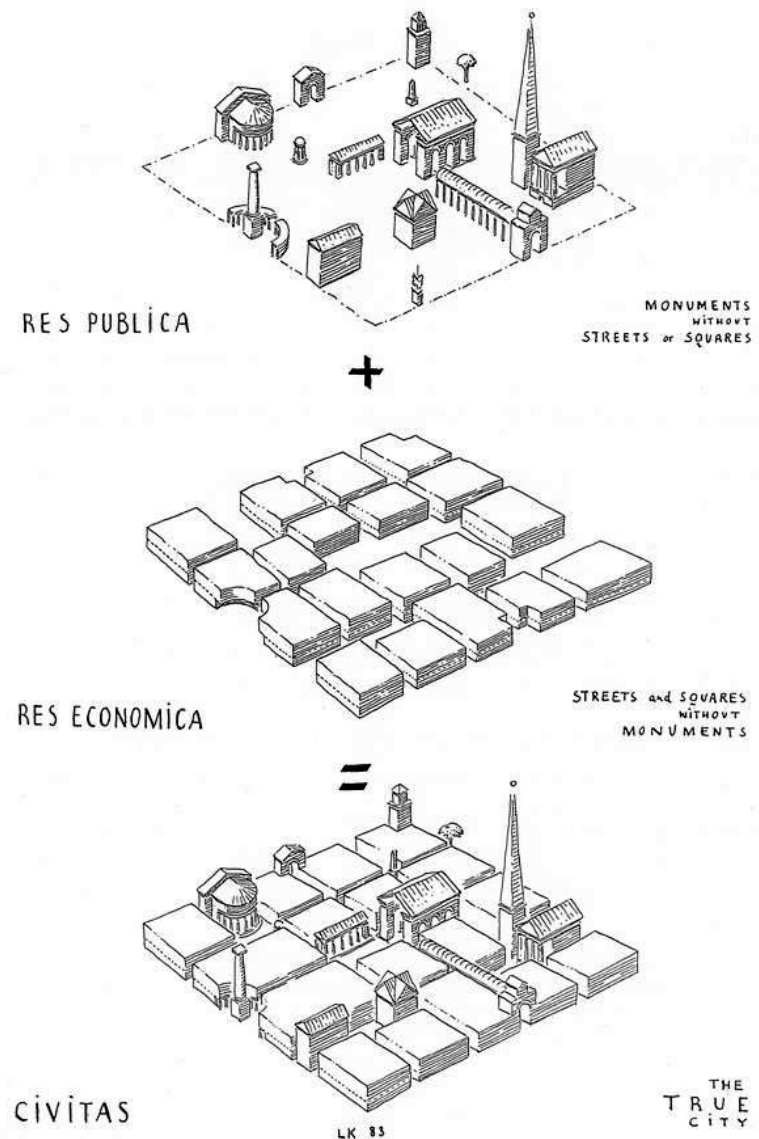
Traditional architecture is designed to a human scale, and references the proportions and geometries of the human body. This was the basis for the classical architecture of Greece and Rome, from which all subsequent western styles were derived. The traditional architecture of Old Town relies on five basic elements: order, proportion, hierarchy, balance and scale¹. It is orderly and logical. Interior functions of a building are expressed on the exterior. Traditional architecture is well proportioned. Different individual parts of the building are carefully sized in relation to each other and the whole. Traditional architecture has a clear hierarchy of components. The most important aspects of the design are visually emphasized through size, centering, or framing with ornamentation. Traditional buildings also display balance in the weighting of visual components of the facade. Lastly, individual elements are appropriately scaled relative to one another so the design appears stable.

Traditional urban design, like traditional architecture, uses order, hierarchy and scale to help a viewer interpret and navigate the city. Institutional buildings, such as government buildings and churches, tend to occupy prominent locations, be designed to an impressive scale, and have more elaborate roof lines and designs to make them distinguishable from more commonplace buildings. Commercial and warehouse buildings tended to have flat roof lines and simpler designs that contribute to a larger cohesive urban fabric and framing of more iconic civic, cultural and institutional buildings.

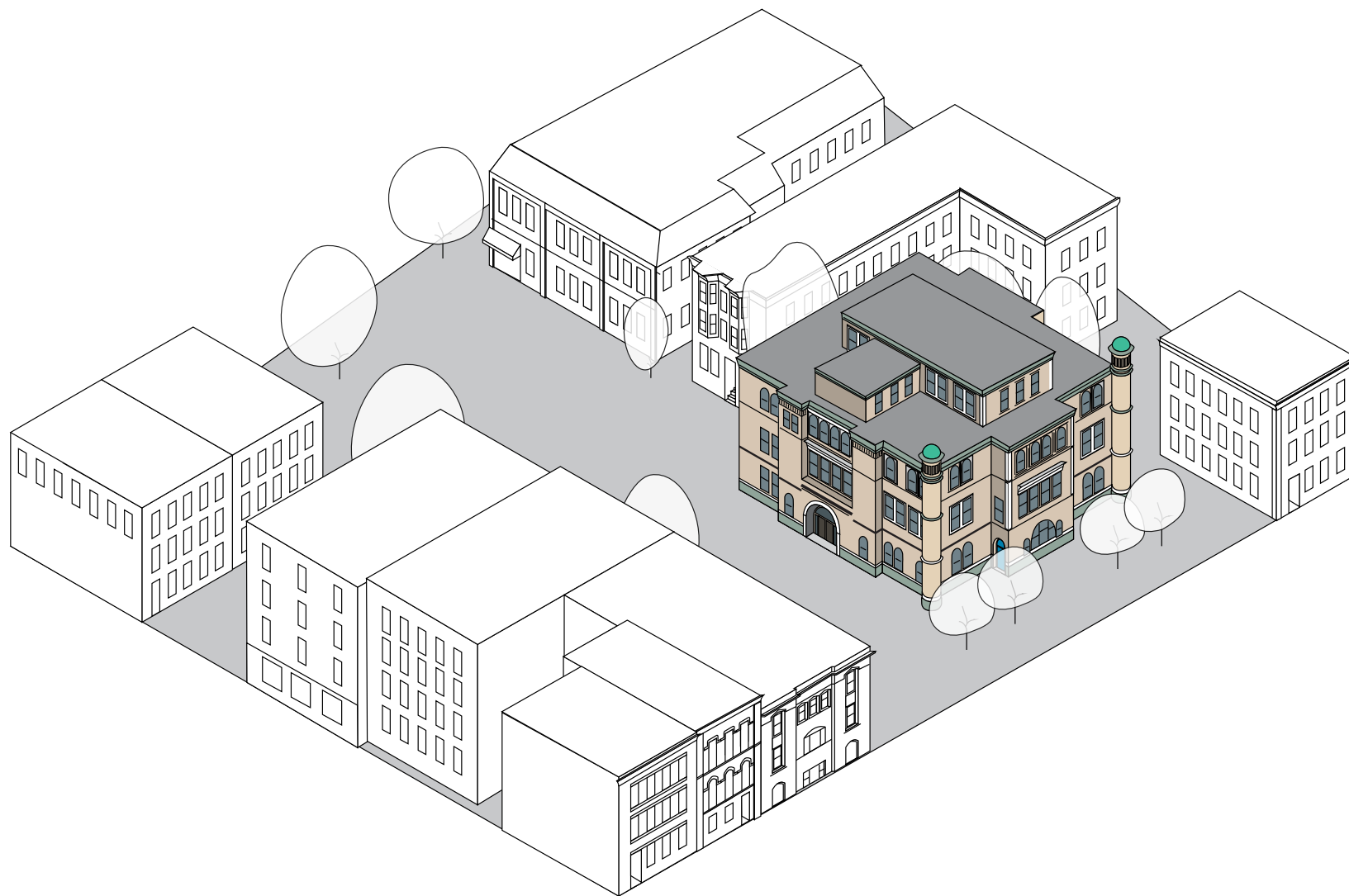
¹ Cusato, Marianne & Pentreath, Ben, Get Your House Right, Sterling Publishing Co. Inc., 2007



The Old Provincial Courthouse (c. 1889) Victoria BC



An illustration by Leon Krier depicting the vocabulary of traditional urban design



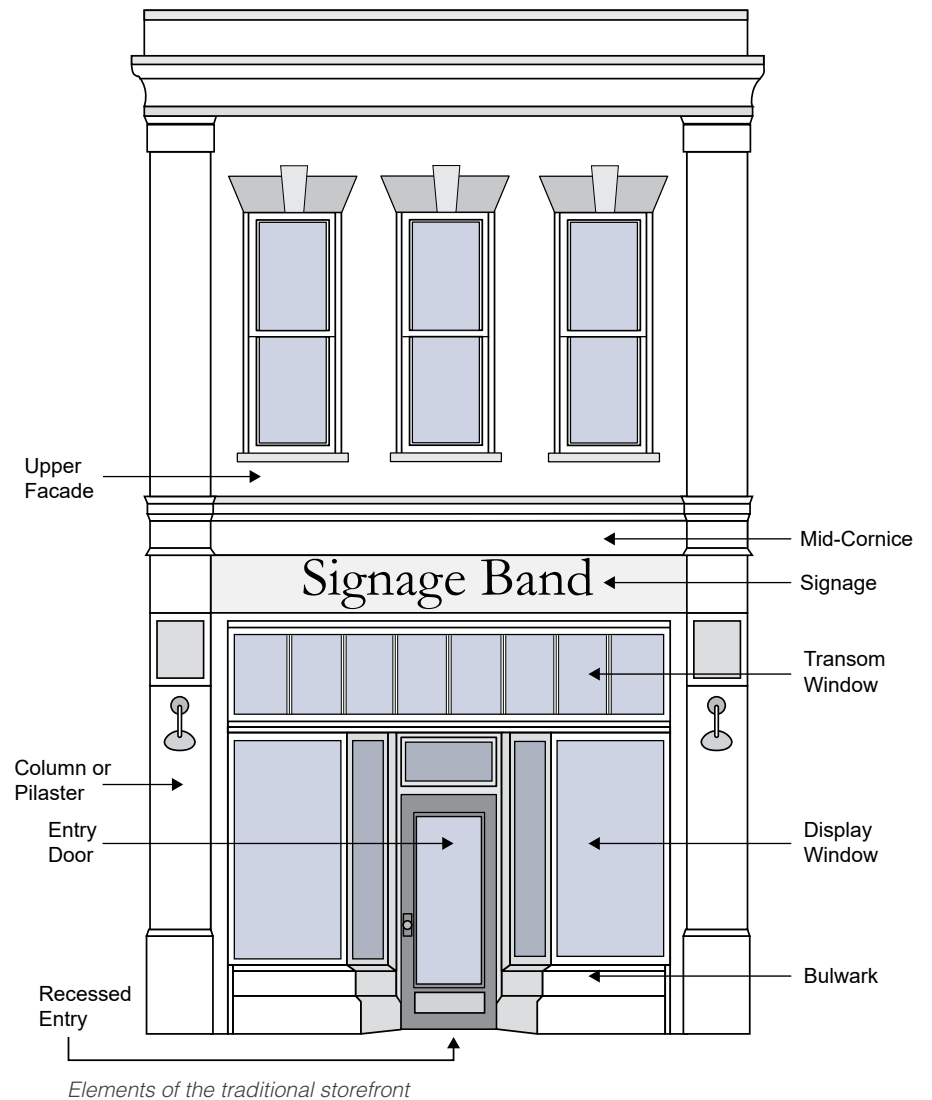
The Old Provincial Courthouse (c. 1889) in Bastion Square, designed by Herman Otto Tiedemann, was a landmark building designed to stand out from the surroundings through its four distinct facades, elaborate detailing and unique roof line punctuated by towers at the corners. The combination of a consistent and harmonious fabric of buildings punctuated by important landmarks made historic cities easier to navigate.

2. Old Town Context

The following section contains statements of significance for Old Town and its three sub-areas: The Old Commercial District, Chinatown and the Waterfront (SEE MAP 2- OLD TOWN SUB AREAS). A Statement of Significance is a summary of the historical, cultural, aesthetic, scientific or educational worth or usefulness of an historic place, whether it is an individual property or an area. It contains a description of the historic place and its key features, a summary of the area's heritage values and a list of character-defining elements. Character-defining elements are the aspects of an historic area that contribute to its heritage value and that should be retained in order to preserve this value. This document includes a statement of significance and character-defining elements for each sub area in Old Town. The guidelines in Chapter 5 should be interpreted with reference to the area's character defining elements and Statement of Significance.



Yates Street Victoria, BC



2.1 Statement of Significance – Old Commercial District

The Old Town District of Victoria is significant as the historic nucleus of Canada's first Pacific port city. As a major commercial centre, area of settlement and active port prior to the First World War, the streetscapes of the Old Town District possess valuable association with the early commercial and social growth of Victoria, British Columbia, and western Canada. The location of the Old Town District – around the original site of Fort Victoria – is an important indication of the intentions of the City's first planners to take advantage of the natural geography and to make the best use of the Inner Harbour waterway.

The influence of the British Empire over colonial Victoria is evident in the conventional layout of this historic district and in its various building types. The juxtaposition of law and order (as seen in such buildings as the court house, City Hall, and bank structures) with commercial structures such as warehouses and mercantile buildings – laid out within a grid of streets, alleyways and courtyards– is significant as it reflects the British influence on western Canada and the expectation to maintain protocol throughout the Empire.

The significant architectural styles in the Old Town District embody Victoria's transformation from a gold rush boom town to a permanent port and centre of trade. The confident styles of the commercial architecture in the late nineteenth century (1870 –1900) are valuable as they represent the replacement of the business-minded Hudson's Bay Company by the American entrepreneurs of Victoria's merchant community in this period of rapid growth. This shift to centralized business endeavors in Victoria, which began in the mid-1880s when Vancouver became the terminus of the Canadian Pacific Railway and climaxed in the early twentieth century, is particularly evident in such structures as the warehouses that line Wharf Street, and the retail and wholesale buildings on Government Street.

Architectural themes in the Old Town District are valuable indications of the trends occurring in Canada before the First World War. The presence of Victorian, Italianate, Edwardian, and Commercial Style structures portrays Victoria as a modern contemporary city (as opposed to a frontier town). Vernacular design elements, such as the adaptation of metropolitan styles to accommodate local building materials and craftsmanship, combined with more traditional elements, form a significant architectural hybrid representative of Victoria as a Canadian outpost of the British Empire.

Old Town Heritage Properties



Legend

- Designated Heritage Property
- Registered Heritage Property

This map is based on information as of November 2018

Map 4: Old Town Heritage Properties

2.2 Character Defining Elements – Old Commercial District

The following building elements are provided as a general representation of the range of architectural features and expressions that are evident throughout Old Town and especially within the Old Commercial District in both heritage and non-heritage buildings. These character defining elements provide the basis for the related design guidelines outlined in this document:

- Classically inspired three part building facades with a clearly defined base, middle and top;
- Vertical facade expressed by use of structural bays, vertical elements and proportions, and punched openings, including upper storey double-hung windows;
- Use of high quality materials such as wood, metal, brick, natural stone and glass;
- Well crafted facade ornamentation and detailing;
- Highly transparent and articulated ground floors incorporating recessed (raked) commercial entryways with large front display windows with multi-panelled bulkheads (window base) and continuous transom windows;
- A continuous street wall with chamfered/splayed building corners at street intersections;
- Varied range of low to mid-scale building heights generally ranging from three to five storeys;
- Varied and attractive roof lines along each street that are accented by architectural features such as parapets and cornice lines;
- The prominent use of brick masonry construction, such as the use of arched entryways into brick buildings;
- Prefabricated structural and decorative components of exterior facades of commercial buildings such as wood brackets and tin cornices;
- The presence of pedestrian paths, mews, alleys and courtyards within and through blocks; and
- Architecturally distinctive buildings at street heads.



Lower Johnson Streetscape, Victoria BC

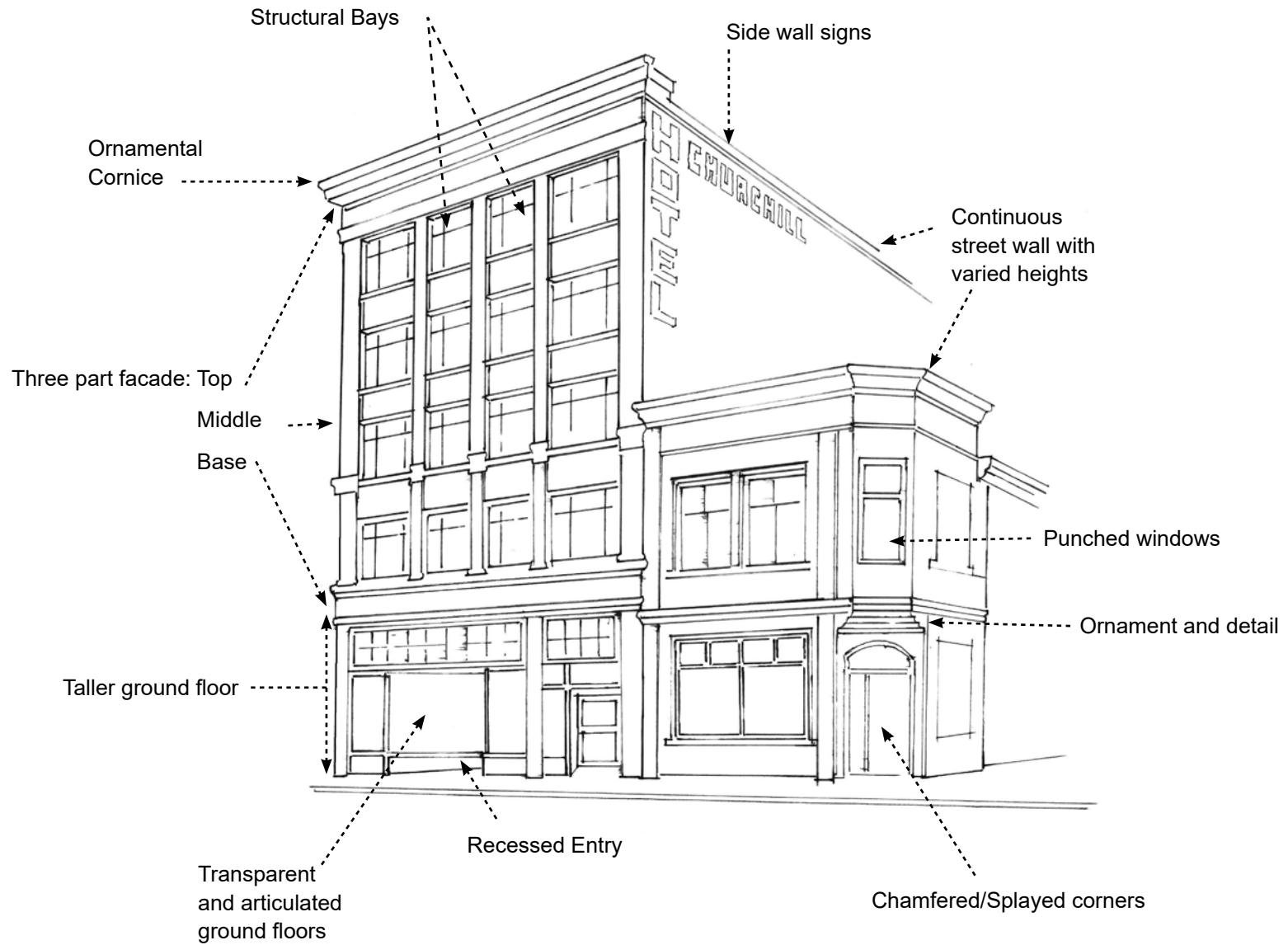
The lower Johnson streetscape displays many of Old Town's characteristics, including attractive and varied roof lines, facade ornamentation and the prevalence of brick masonry construction.



Wharf Street, Victoria BC

A continuous row of masonry buildings along Wharf Street with varied roof lines.

Old Town – Character Defining Elements



2.3 Statement of Significance – Chinatown

The Government of Canada designated Victoria's Chinatown a National Historic Site because it is the oldest surviving Chinatown in Canada. It was the largest urban centre of Chinese population in Canada through the first decade of the twentieth century; it is one of a very few Chinatowns in North America to retain cohesive groupings of heritage buildings.

The heritage value of this site is embodied in the diverse collection of structures within the district, their spatial connections, and ongoing role in commercial, social and institutional activities of the Chinese Canadian community. It speaks to the fact that, for nearly three decades before the Canadian Pacific Railway was completed, Victoria was the first port of entry of most Chinese immigrants and remained an important enclave until after World War II.

2.4 Character Defining Elements – Chinatown

The Government of Canada has identified the following character defining elements as contributing to the heritage value of Chinatown as a National Historic Site:

- The plan, incorporating the standard grid of urban blocks with interconnecting interior alleyways;
- Placement of most buildings tight to the sidewalk, usually abutting one another;
- One and two-storey brick tenement buildings within the inner core area;
- The predominance of brick construction;
- Typically Italianate-inspired, rectilinear massing of two to three-storey, flat-roofed buildings, with large ground-floor shop windows, and upper floors with doorways originally opening onto balconies;
- Surviving balconies;
- Occasional use of Chinoiserie motifs including upturned eaves and tiling, and detailing such as roof ornaments, domes, prominent parapets, pressed metal cornices and flagpoles;
- More elaborate 20th-century designs as illustrated by the Chinese Public School with its square massing elaborated with decorative balcony;
- Upturned overhanging eaves with heavily worked bracketing and roof-top 'pagoda' lantern, and the Gee Tuck Tong Benevolent Association Building with recessed upper floor balcony and "cheater storey" inserted between ground and second floors; and
- Post-1900 buildings with an internal corridor accessing an inner core area; reinforcing late 20th-century buildings including the Chinatown Care Centre and the Chung Wah Mansion housing complex.



The Lee's Benevolent Association Building includes recessed balconies, a tile roof, upturned eaves and Italianate details. Victoria BC



The Chinese Public School is a landmark with its vibrant colours, lanterns and decorative balcony. Victoria BC



The Yen Wo Society building features a 'cheater storey' above the ground floor as well as a flagpole. Victoria BC

2.5 Statement of Significance – Waterfront

The groups of waterside warehouses and hotels dating to the 1860s and the accompanying landscape of loading docks, retaining walls and wharves along Store Street reminds us of Victoria's role as a commercial seaport and the trans-shipping point for the material and supplies that built British Columbia. It served the Gold Rush era and created links with Asia via the Pacific Ocean in the second half of the nineteenth century. The commercial activities of the harbour are valued for the way they have shaped the development of the land beside the water, as are the architectural treatments of buildings and landscape that remind us of these maritime industrial origins.

2.6 Character Defining Elements – Waterfront

- Building types and spaces associated with the functions of a commercial harbour;
- Buildings over the water, vessels, float planes, buoys and marks, wharves, pontoons, piles, boat ramps, davits and ladders, hawsers, bollards, and mooring rings;
- Random rubble stonework, brick masonry, and iron shutters and doors;
- Stone and brick retaining walls;
- Buildings with an industrial aesthetic;
- Dual-aspect structures that present a commercial frontage to Wharf Street and a harbour frontage to the water;
- The rich texture of the land/water edge resulting from conditions including inter-tidal beaches, projecting structures, inundations and reclamations;
- Load-bearing masonry buildings and details and forms that accompany load-bearing masonry surrounded by subordinate lighter wood and metal structures;
- The constantly changing water's edge resulting from the movement of vessels, the trans-shipping of cargo and the state of the tide; and
- The glimpses of water seen between buildings, down alleyways and slips and on street axes.
- The view of Old Town from the water; defined by a concentration of small scale historic buildings tiering up from the waterfront with a distinct rhythm and rich design quality.



Old Town's topography slopes upward from the water's edge, creating a layered effect of buildings. Visible in the photograph is a rubble stone wall along the shore, and some of the historic buildings on Wharf Street associated with the original commercial functions of the harbour. Victoria BC

3. How to Use the Guidelines

The guidelines are a resource for designers, architects and property owners who are actively planning or considering a new building or addition to an existing building located within Old Town (SEE MAP 1: OLD TOWN BOUNDARY). They are also an evaluation tool for City staff and municipal decision makers reviewing proposals. The purpose of the guidelines is to clarify how to achieve the broad objectives for the Old Town heritage conservation area (SEE DPA1 (HC): CORE HISTORIC) and the Inner Harbour heritage conservation area (SEE DPA 9 (HC): INNER HARBOUR) as described within the OCP. It is important to note that the guidelines only apply within those portions of DPA 9 (HC) illustrated in Map 5. Designers, architects and property owners should reference the guidelines and consider the following questions before undertaking or planning any design work related to new buildings or building additions within Old Town:

- How closely does the design adhere to the principles and intent of the guidelines?
- Where does it depart from them and why?
- Does the design respond to the statement of significance and character-defining elements for the sub-area?

3.1 Design Guideline Structure

The design guidelines provide a range of baseline guiding statements that are intended to be used together to ensure that the design of new buildings or additions to existing buildings result in built forms that are complementary to the context of Old Town and that reflect the design principles outlined in this document.

They provide detailed design intent, criteria and a rationale to guide, evaluate and support decision making on the overall form and character of new buildings and additions. Projects may also be subject to other guidelines depending on the zoning, proposed uses, location, building type and scale of project.

Each design topic is supplemented by a **background** statement that explains the general rationale for the respective guidelines, an **intent statement** that describes the overall desired outcome followed by specific **design guidelines**. Each design topic is also supplemented with photographs and/or illustrations that support the intent statement and that provide examples of how the design guidelines can be implemented. Design guidelines should also be considered with the related statement of significance and character-defining elements described in Chapter 2.

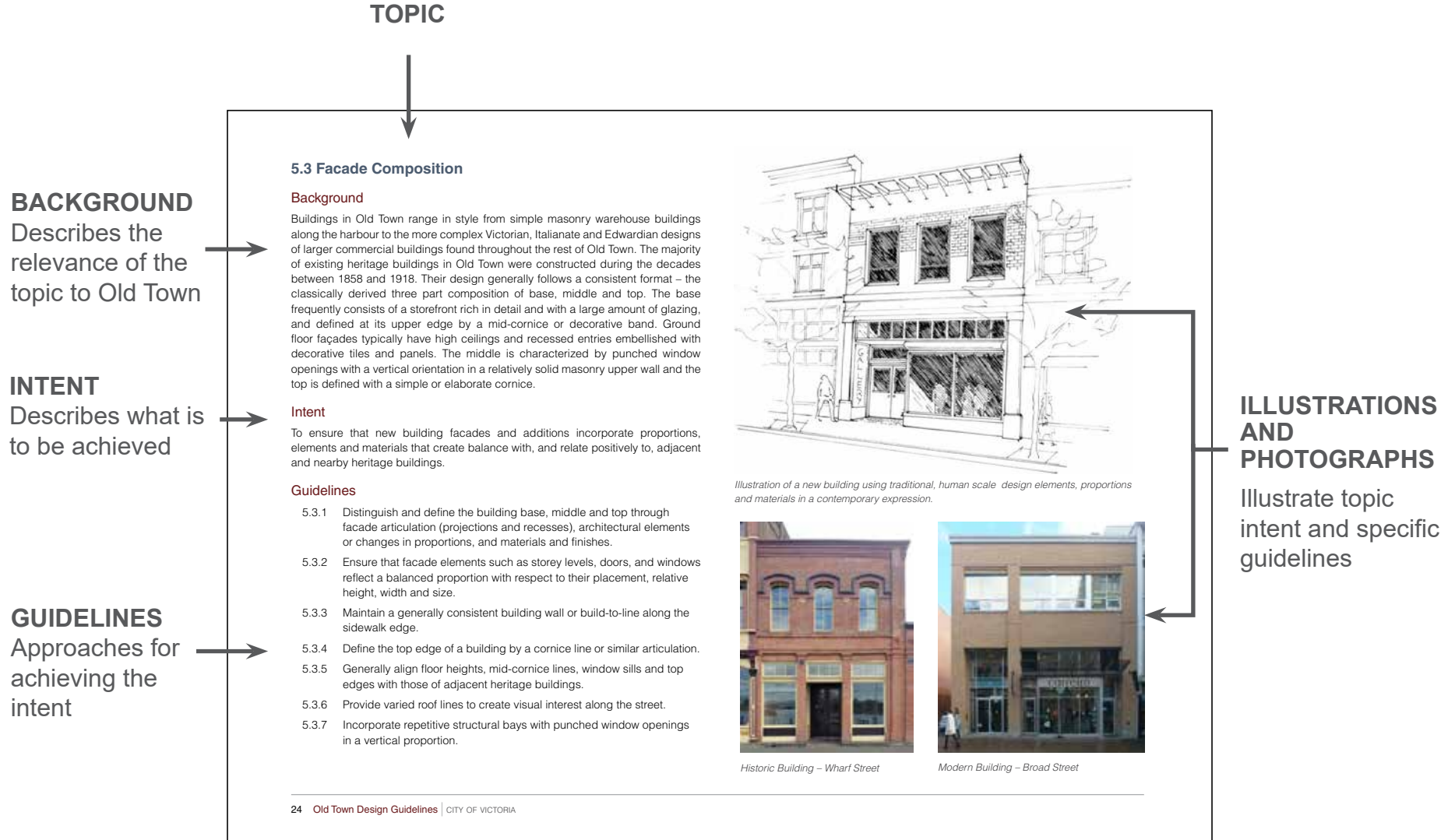
Applicants should clearly demonstrate compliance with all of the applicable design guidelines; however, it is also recognized that the ability to fully meet each design guideline may be influenced by land use, lot size, topography and the overall complexity of the development.



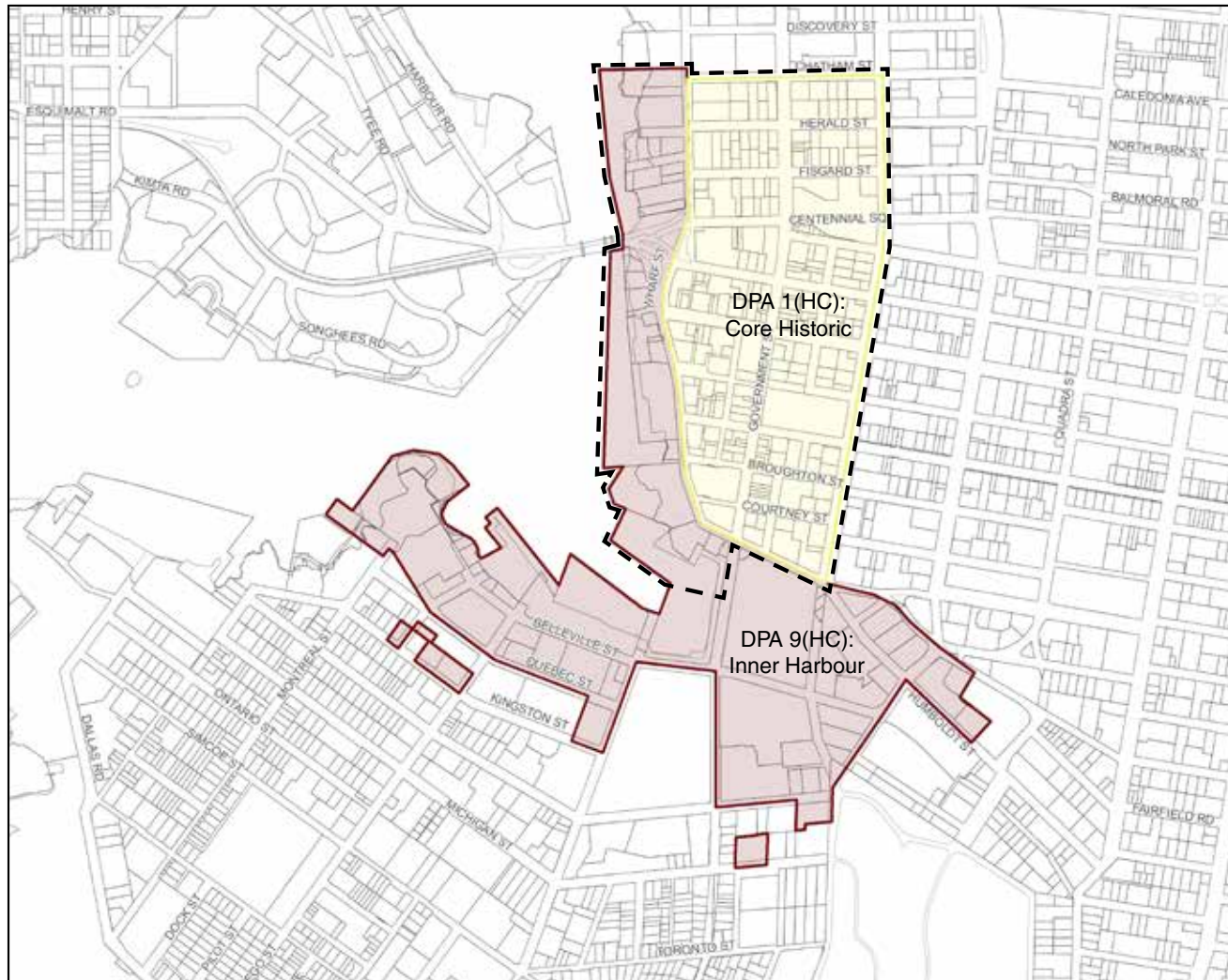
Hudson Mews (Merrick Architecture / Townline Developments) Victoria, BC

The four storey base of the Hudson Mews Development, located adjacent to Old Town, is an example of a modern building with traditional facade details such as punched windows and well defined lintels and sills.

Sample Design Guideline Structure



Development Permit/Heritage Conservation Areas: Old Town



- DPA 1 (HC): Core Historic (Heritage Conservation Area)
- DPA 9 (HC): Inner Harbour (Heritage Conservation Area)
- Old Town Design Guidelines Boundary

Map 5: Development Permit/Heritage Conservation Areas- Old Town

4. Design Principles

The following design principles provide the basis for the design guidelines in Chapters 5 and 6, which seek to ensure that new buildings and additions are responsive and complementary to the existing historic character, local topography, urban design and sense of place that is evident throughout Old Town.

- **Good Fit:** to foster infill building designs that respect, complement and contribute positively to the historic context of Old Town while encouraging innovative, creative and timeless design solutions.
- **Reinforce Existing Character:** to ensure that new buildings contribute and do not detract from the established character of the area.
- **Human Scale:** to create visual interest and a comfortable urban environment for pedestrians by providing appropriately scaled building mass, articulating facades and incorporating a range of detailed building elements at street level.
- **Cohesiveness:** to ensure that new buildings have a unified architectural composition that relates well to the fronting street and reflects the internal function and use.
- **Authenticity:** to ensure that new buildings are distinguishable from the genuinely historic buildings of Old Town (See Standard 11, *Standards and Guidelines for the Conservation of Historic Places in Canada*), while being sympathetic and compatible to their proportions, mass, scale and rhythm.



PHOTO: COLIN MILLER/ERIC PIASECKI

The Emory (Morris Adjmi Architects) New York NY

The Emory Building incorporates high quality limestone and glazed gray brick cladding along with modern sash windows and simplified cornices that reference the adjacent buildings.



PHOTO: SIMON MENGES

Selfridges Addition (David Chipperfield Architects), London UK

This addition to the Selfridges building is clearly contemporary, and yet reinforces its context through a pattern of strong vertical elements.

5. Design Guidelines for New Buildings and Additions

5.1 Building Mass, Scale and Siting

Background:

The land use policies contained in the *Downtown Core Area Plan* and the OTD-1 Zone contained in *Zoning Bylaw 2018* both generally limit the height of new buildings and additions in Old Town to a maximum of 15m to protect its human scale, urban form, and the layered effect of buildings rising up from the waterfront toward Douglas Street. Taller buildings are permitted in the areas surrounding Old Town. This approach is intended to create an 'Urban Amphitheatre', with a low-scale urban form along the waterfront and throughout Old Town, rising steadily eastward to a concentration of newer, higher density commercial, mixed-use and residential buildings in the Central Business District (Downtown) and the Residential Mixed Use District (Harris Green). These policies and zoning have helped maintain and reinforce the scale established by Old Town's numerous heritage buildings, 95% of which are five storeys or less in height. In addition to scale, the following guidelines state that new buildings and additions should be located at or close to the front and side property lines in keeping with the historic pattern.

Intent:

To ensure the design of new buildings and additions complements the mass, scale, height and street wall pattern of nearby heritage buildings and the immediate context.

Guidelines

- 5.1.1 Locate and site new buildings and additions to create a continuous 'street wall edge'.
- 5.1.2 Design new buildings and additions to reflect the established proportions, composition and spatial organization of adjacent historic facades.
- 5.1.3 Design new buildings with a minimum building height of two storeys to maintain continuity of the street wall and to provide a comfortable street enclosure.
- 5.1.4 Include a distinct roof line in the building design, through such measures as a simplified or contemporary cornice or parapet.



Templar Flats (Lintack Architects/Core Urban Inc. Developments) Hamilton ON

This new building has a traditional facade whose height, window pattern and selection of materials complements the adjacent two buildings.

- 5.1.5 Ensure that the main facade height of a new building does not exceed the facade height of a directly adjacent lower scale heritage building by more than three storeys to avoid drastic changes in scale along the street.
- 5.1.6 Vary the massing of a new building on a corner site to respond to streetscapes with different building heights and scales.

- 5.1.7 Modulate the overall horizontal and/or vertical building mass on large buildings to achieve a scale that is compatible with adjacent buildings.
- 5.1.8 For buildings over 30m in width, incorporate an articulated vertical break in the facade with a patio, courtyard, recessed entryway or other features to help break up the expanse of the facade.

Waterfront (Additional Guidelines)

- 5.1.9 Orient and scale new buildings to maintain views of the layered pattern of ascending building heights in Old Town visible from the water.
- 5.1.10 Buildings along the waterfront create the foreground for Old Town and nearby areas. Design new buildings to maximize views to Old Town and preserve views of landmark heritage buildings including the Empress Hotel, CPR Steamship Terminal and the Malahat Building.
- 5.1.11 Avoid buildings with a dominant horizontal expression in favour of more compact buildings that reflect the smaller scale vertical expression of existing heritage buildings.
- 5.1.12 Locate and design new buildings along the waterfront to provide direct pedestrian access to the Harbour Pathway where appropriate.



92A Scollard Street (Shim Sutcliffe Architects) Toronto ON
This contemporary red brick building in the Yorkville Hazelton Heritage Conservation District complements the low-scale character of its surroundings.



The Janion includes a waterfront patio with pedestrian access to the Harbour Pathway.



The topography of Old Town gradually rises upwards from the waterfront, supporting a layering of buildings. Victoria BC

5.2 Street Rhythm

Background

Most blocks in Old Town consist of numerous individual buildings and lots, with a rich variety of building widths and heights. This creates a distinctive rhythm and pattern for the streetscapes which supports walkability and fosters a sense of discovery. In general, heritage buildings have strong vertical and horizontal definition as well as depth and relief through projecting details that are visually interesting. They have large ground floor windows framed by pilasters or columns, and topped with transom windows. Cornices mark the ground storey and the top floor. Facades are divided into vertical bays with pilasters or buttresses that project slightly from the main wall. Windows are generally vertically proportioned, punched, aligned horizontally and accentuated at the top and bottom with sills, lintels and brickwork. Recessed entryways are located frequently along the street and there is an evident rhythm of building elements, proportions, and articulation along the street. Brackets, dentils and other architectural details are also frequently present.

Intent

To ensure new buildings incorporate vertical proportions and elements, including appropriately proportioned, spaced and recessed entryways, punched windows and use of structural bays that contribute to the established street rhythm and reflect the historic streetscape pattern.

Guidelines

- 5.2.1 Incorporate frequent entryways at a spacing that reflects the pattern and frequency of entryways that exist throughout the area.
- 5.2.2 Punctuate and emphasize entryways by incorporating recesses and a high level of design detail in the facade and ground plane.
- 5.2.3 Incorporate a rhythm of structural bays, windows, and features.
- 5.2.4 Articulate facades, especially for larger buildings, into a series of intervals, using vertically proportioned windows and bays, to reflect and fit within the established streetscape pattern and, more broadly, within the traditional 66ft (20m) lot and building width pattern that exists throughout Old Town.
- 5.2.5 Provide windows, doors and other architectural elements that are of a scale and proportion similar to the historic architectural pattern and



Illustrative example of a new infill building (in yellow), complementing the existing pattern, placement, spacing and proportions of windows, entries, structural bays and other architectural elements.



The Janion (Reliance Properties/Merrick Architecture) Victoria BC

The extension to the Janion Building continues the vertical pattern of structural bays.

that are designed to support the functional needs of existing and future businesses and residents.

- 5.2.6 Incorporate a variety of roof line heights into larger buildings to provide visual relief and variety of scale.

Waterfront

- 5.2.7 Design new buildings with a dual frontage that includes an attractive building face toward the street and water where applicable.
- 5.2.8 Ensure that new waterfront buildings and additions create a complementary foreground to Old Town by reinforcing the existing scale, pattern, articulation and architectural expression of surrounding heritage buildings that are visible from the water.
- 5.2.9 Articulate the facade facing the water into vertical intervals that reflect the window pattern and proportions of other surrounding heritage buildings that are visible from the water.



Mermaid Wharf, Victoria BC

Mermaid Wharf has a strong relationship to the water and the adjacent waterfront uses. It is comprised of two parts, one of which reinforces the masonry character of Old Town as viewed from the water. The two-part design also helps minimize the visual effect of the massing.



41 Bond Street (DDG Partners/HTO Architects) New York NY

This modern building re-interprets the architectural vocabulary of adjacent buildings. There is alignment between the horizontal elements of the new building and adjacent facades.



West Court Jesus College (Niall Mclaughlin Architects) Cambridge UK

This new project displays a strong sense of rhythm through closely spaced vertical elements. The mass of the building is articulated into smaller units similar in width to the adjacent buildings.

5.3 Facade Composition

Background

Buildings in Old Town range in style from simple masonry warehouse buildings along the harbour to the more complex Victorian, Italianate and Edwardian designs of larger commercial buildings found throughout the rest of Old Town. The majority of existing heritage buildings in Old Town were constructed during the decades between 1858 and 1918. Their design generally follows a consistent format – the classically derived three part composition of base, middle and top. The base frequently consists of a storefront rich in detail and with a large amount of glazing, and defined at its upper edge by a mid-cornice or decorative band. Ground floor façades typically have high ceilings and recessed entries embellished with decorative tiles and panels. The middle is characterized by punched window openings with a vertical orientation in a relatively solid masonry upper wall and the top is defined with a simple or elaborate cornice.

Intent

To ensure that new building facades and additions incorporate proportions, elements and materials that create balance with, and relate positively to, adjacent and nearby heritage buildings.

Guidelines

- 5.3.1 Distinguish and define the building base, middle and top through facade articulation (projections and recesses), architectural elements or changes in proportions, and materials and finishes.
- 5.3.2 Ensure that facade elements such as storey levels, doors, and windows reflect a balanced proportion with respect to their placement, relative height, width and size.
- 5.3.3 Maintain a generally consistent building wall or build-to-line along the sidewalk edge.
- 5.3.4 Define the top edge of a building by a cornice line or similar articulation.
- 5.3.5 Generally align floor heights, mid-cornice lines, window sills and top edges with those of adjacent heritage buildings.
- 5.3.6 Provide varied roof lines to create visual interest along the street.
- 5.3.7 Incorporate repetitive structural bays with punched window openings in a vertical proportion.



Illustration of a new building using traditional, human scale design elements, proportions and materials in a contemporary expression.



Historic Building – Wharf Street



Modern Building – Broad Street



074 Lievehof (360 Architecten) Ghent BE

This development uses the same window proportions as adjacent buildings and is massed to provide a transition in scale and a varied roofline. Windows are punched and there are window openings along both street frontages at the ground floor. The building maintains a consistent street wall.

- 5.3.8 On corner lots, consider a chamfered building edge with a doorway, opening or other architectural feature to enhance the corner location.
- 5.3.9 Windows and window openings should be of similar proportion, recess, and alignment to the original windows in the historic context.
- 5.3.10 Consider incorporating recessed balconies in areas where this is an historic characteristic.
- 5.3.11 Blank walls that face public streets and open spaces are strongly discouraged and should be avoided. Where unavoidable, blank walls should be screened or enhanced with design elements appropriate to the context.
- 5.3.12 Locate and screen roof top structures and mechanical equipment so that they are not visible from the public realm.



Magnolia Hotel Victoria, BC

The Magnolia Hotel in Victoria is comprised of a base storey with weather protection canopies and a tall floor-to-ceiling height, a clear middle section, and a modern cornice that demarcates the top of the building. It has a dynamic and visually interesting facade in which high quality materials like brick, stone and tile predominate.

5.4 Relationship to Street and Open Space

Background

Most historic buildings in Old Town were originally scaled, oriented and designed to support pedestrian activity within compact street blocks. Specifically, buildings were built to the property line with little or no setbacks, with richly detailed shop fronts incorporating large areas of glazing and with welcoming entryways located frequently along the street. This was to support and accommodate the high levels of pedestrian activity associated with travel by horse and carriage, and later the street car, which were the predominant forms of transportation that shaped the original use, activity and character of Old Town.

Intent

Buildings should relate positively to the fronting public street or open space by incorporating building elements and details that create visual interest, support pedestrian activity and achieve human scale.

Guidelines

- 5.4.1 Design shop fronts entryways with a high level of transparent glazing along the street level.
- 5.4.2 Incorporate recessed entryways with unique designs and finishes such as transom windows, use of trim details for windows and doors, and attractive finishing materials on entryway flooring.
- 5.4.3 Incorporate a minimum 4.5m ground floor height to support ground floor commercial uses.
- 5.4.4 Ensure that the design and finish of the underside of balconies and soffits are considered and integrated with the overall building design.
- 5.4.5 Vary the planes and textures of storefronts to be similar to nearby heritage buildings.
- 5.4.6 Design facades with architectural details and materials that create shadows and depth to achieve a three dimensional quality.
- 5.4.7 Integrate planned or future lighting and weather protection features to complement the building design and fenestration pattern.
- 5.4.8 Provide architecturally designed lighting elements that are appropriate for the use and scale of the building.
- 5.4.9 Use lighting to highlight building features and illuminate the public realm while avoiding over illuminating the building or projecting light into the sky or onto adjacent properties.



Chophouse Row (Graham Baba Architects) Seattle WA

The shop fronts of Chophouse Row are highly transparent and have exterior furnishings that enliven the public realm and establish a strong connection between the interior and exterior.



*Valentino Flagship Store
(David Chipperfield Architects) London UK
Daytime.*



*Valentino Flagship Store
(David Chipperfield Architects) London UK
Night time illumination.*

- 5.4.10 Incorporate pedestrian-scale lighting along the length of the building face.
- 5.4.11 Control the intensity and impact of building and signage lighting through dimming and variation in colours.
- 5.4.12 Design and orient commercial signs so that they are scaled to pedestrians and do not overwhelm the building facade.
- 5.4.13 Limit commercial signage in number, location and size to reduce visual clutter and make individual signs easier to see.
- 5.4.14 Avoid commercial signage above the ground storey.
- 5.4.15 Preferred sign types for Old Town include:
 - projecting two-dimensional or 'blade' type signs
 - externally lit signs
 - external neon signs and small neon signs inside windows
 - individual cut out or silhouette letter signs mounted on store fronts
 - restored historic sidewall signs
- 5.4.16 Back-lit plastic box signs are strongly discouraged and should be avoided.
- 5.4.17 Where functionally appropriate, consider limiting the width of garage entries and driveways to mitigate impacts on the presence of a contiguous street wall along the public realm.
- 5.4.18 Locate, design and site garage entrances to minimize impacts on the pedestrian realm.
- 5.4.19 Ensure that any on-site loading spaces are not visually open to the sidewalk. If the loading space is on site, it should have an attractive door along the sidewalk similar to a garage opening.
- 5.4.20 Minimize the visual impact of security features such as movable gates or roll-down doors by inseting such features into the storefront bay opening.
- 5.4.21 Consider incorporating small setbacks for portions of the facade at street level to accommodate sidewalk cafes, patios and other outdoor seating areas that support animation of the street.



A series of contextually appropriate signs on Pandora Street, Victoria, BC



*The Union Building (Ciccozzi Architecture/ Anthem Properties) Victoria BC
The Union Building incorporates modern weather protection canopies.*

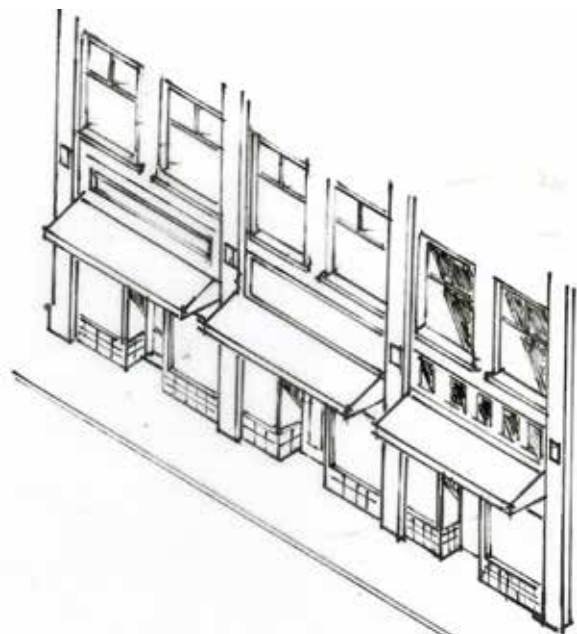


*325 Henry Street (BKSK Architects) New York City, NY
This roll down door is well integrated with the architecture of the building and has minimal impact on the street.*



Buchanan Street, Glasgow Scotland

This pedestrian friendly street features a mix of old and new buildings with projecting awnings and generous amounts of ground floor glazing.



Frequent entryways, large amounts of transparent glazing, recessed entries and weather protection contribute to the existing streetscape pattern and support pedestrian activity and comfort.



107-111 Greene Street (Joseph Pellombardi Architects) New York NY

This building in the SoHo Cast Iron Historic District has a three-dimensional facade with recessed windows and projecting horizontal and vertical elements that cast deep shadows in the sunlight. The ground floor features frequent entries and abundant glazing.

Chinatown (Additional Guidelines)

- 5.4.22 Incorporate traditional colours such as reds and greens as accent colours for awnings, signs and architectural elements as a means of reinforcing the distinct character of the area.
- 5.4.23 Signs and awnings should respect the general character of the existing traditional signs and awnings.
- 5.4.24 Colourful signs are encouraged including the use of brightly coloured projecting neon tube signs, signs on storefront windows and front lit signs.
- 5.4.25 Avoid the use of flat wall signs and the use of plastic on the sign face.
- 5.4.26 Incorporate lettering, symbols, patterns and decorative moulding on signs that reflect and evoke the cultural significance of Chinatown.
- 5.4.27 Current and/or historic mid-block alley ways and courtyards should be retained in new development.
- 5.4.28 Incorporate traditional Chinese planting materials and landscape elements within courtyards and walkways.



The Union Building (Ciccozzi Architecture/Anthem Properties) Victoria, BC

The Union building in Chinatown includes a modern transom window with a grid pattern of muntins similar to the transom window on the Chinese Empire Reform Building and the windows of the Yen Wuo Tsung Tsin (Hakka) Society Building. The project also incorporates outdoor seating for visitors and a detailed signage band.



Chinatown, Victoria, BC

PHOTO: CITY OF VICTORIA

Doorways in Chinatown accentuated through colour.

5.5 Materials and Finishes

Background

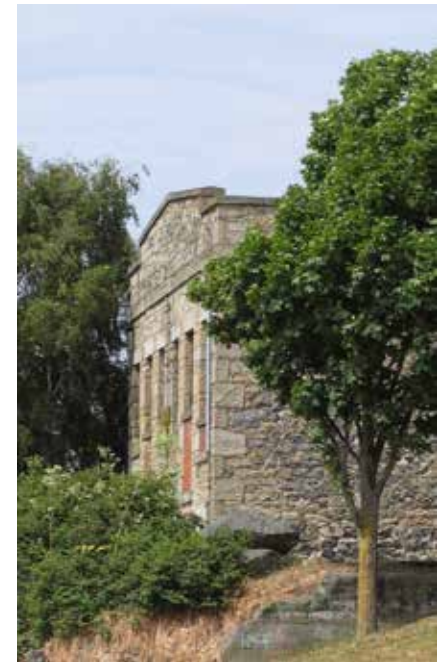
Heritage buildings in Old Town used a variety of high quality materials, finishes and details, which contribute to the visual character, texture, composition and charm of the streetscape, and the area's overall legibility and identity. The choice of materials in new construction has an important influence on the compatibility with the historic character and should be carefully considered.

Intent

To ensure the use of high quality materials, colours and textures are complementary to those found in Old Town.

Guidelines

- 5.5.1 Incorporate high quality, durable materials into buildings, facades and additions.
- 5.5.2 Avoid the extensive use of highly reflective materials.
- 5.5.3 Use materials with textures and patterns that are visually interesting.
- 5.5.4 Avoid the use of paint on previously unpainted brick or masonry.
- 5.5.5 Consider the use of metal for any proposed balconies that face the street.
- 5.5.6 Use high-quality materials for canopies and awnings such as metal, wood, woven fabric, canvas or glass.
- 5.5.7 Use exterior materials and paint colours that reflect local heritage palettes (refer to municipal staff for specific guidance).



Heritage buildings in Old Town display a variety of high-quality, durable materials.



*Hudson Mews (Merrick Architecture / Townline Developments) Victoria, BC
The Hudson Mews project, near the boundary of Old Town, uses contextually sensitive brick materials and durable concrete lintels and sills. Window details are aluminum rather than vinyl.*



The Union Building (Ciccozzi Architecture/Anthem Properties) Victoria BC

The Union Building incorporates recessed balconies, black painted metal and Chinese inspired cultural motifs.

Chinatown (Additional Guidelines)

- 5.5.8 Use materials, colours, finishes, patterns and designs for new buildings and additions within Chinatown that are compatible with its cultural context and reinforce its values and status as a National Historic Site.
- 5.5.9 Consider incorporating ornamental paving within courtyards, alleyways and patios within Chinatown.
- 5.5.10 Incorporate balconies on residential buildings that are designed as horizontal recesses or projections to reflect the design of existing balconies in Chinatown.



Glass House (MVRDV Architects) Amsterdam NL

This project displays an innovative blend of modern glass bricks blending into brown bricks above the second storey.



Keefer Block (W.T. Leung Architects) Vancouver BC

This project in Vancouver's Chinatown uses traditional cultural motifs and colours.

5.6 Liveability

Background

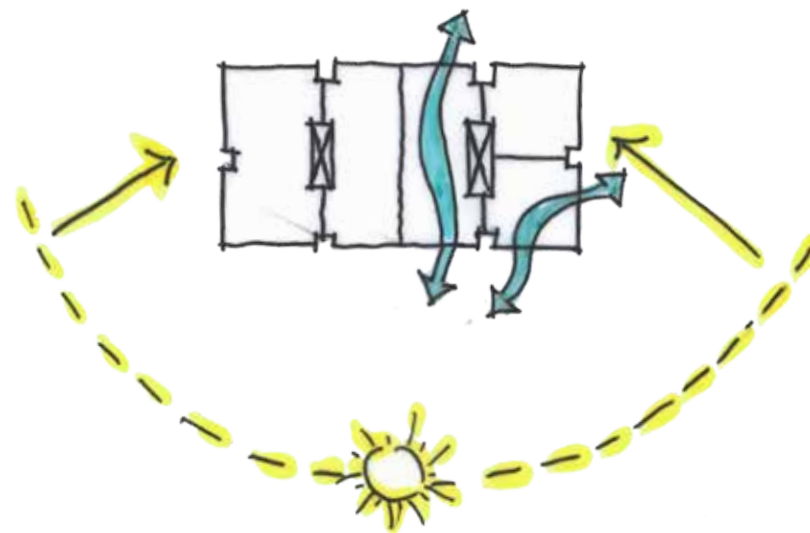
Old Town's low-rise scale means that sidewalks and streets receive abundant sunlight and have open views of the sky while accommodating a mixed use character within a rich concentration of attractive heritage buildings. Old Town's compact streetscapes promote walkability and a comfortable human-scale environment, however, it is also important to ensure that new buildings do not significantly impact residential liveability. The following guidelines provide a basis for considering liveability impacts and potential design solutions.

Intent

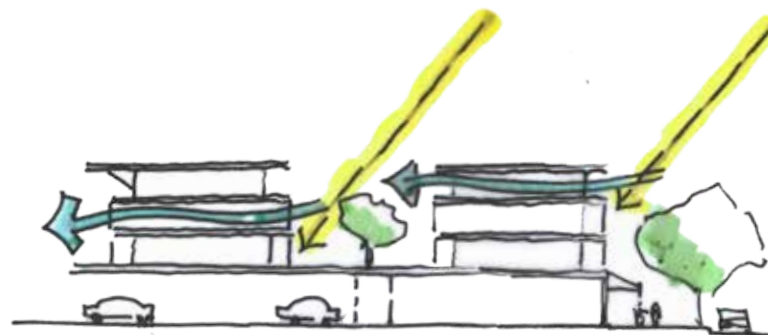
To ensure new buildings and additions maximize access to sunlight, create useable private and semi-private outdoor amenity spaces, and provide privacy for residents.

Guidelines

- 5.6.1 Stagger or offset windows and balconies from those on existing adjacent residential properties that share a side or rear property line to improve privacy and liveability.
- 5.6.2 Where feasible and appropriate, incorporate internal courtyards and passageways to increase sunlight access and create semi-private amenity spaces.
- 5.6.3 Provide residential dwelling units with direct access to private and semi-private open space such as recessed balconies, courtyards or terraces.
- 5.6.4 Limit the use of exterior hallways and exterior staircases as a means of mitigating the appearance of large building mass and bulk when viewed from the fronting street.
- 5.6.5 Where a new building or addition includes an exterior hallway or exterior staircase, ensure that they are designed to complement and integrate with the overall building design, the design character of the overall streetscape and not appear purely as a functional component of the building when viewed from the adjacent street.



Providing windows and other openings on multiple frontages helps to improve air circulation and sunlight access.



Courtyard buildings enable improved air circulation and sunlight access.



Union Building (Athem Properties) Victoria BC

The Union Building in Victoria includes a courtyard and garden space that provides significant separation between residential units.



Lum Sam & Lee Chong Building (Le Fevre & Company) Victoria, BC

This rehabilitated inner courtyard of the includes well integrated modern staircases and detailing.



Hudson Mews (Merrick Architecture / Townline Developments) Victoria, BC

Exterior staircases should be designed to complement the building they are part of.

- 5.6.6 Where an exterior hallway or exterior staircase faces directly toward an adjacent residential property, mitigate any impacts from overlook, privacy, noise and light on the adjacent property through strategies such as: architectural screening, light shielding, increased setbacks and the location and siting of these building elements.
- 5.6.7 Where at-grade space is limited, common open amenity spaces are encouraged on roof tops and upper terraces.
- 5.6.8 The residential portion of buildings should be designed to receive daylight and natural ventilation from at least two sides of a building (dual aspect units either front or back, or on two sides for corner units).
- 5.6.9 Provide sound attenuation for rooftop mechanical units.



1315–1317 Waddington Alley (Le Fevre & Company) Victoria BC

The rehabilitation of the Morley Soda Factory included an internal courtyard feature.

PHOTO: RUSS HEINL

5.7 Off-Street Parking

Background

It is important that the location and design of parking areas as part of new development not create negative impacts on the public realm or alter the compact character of Old Town.

Intent

To minimize the impact of off-street motor vehicle parking by locating it underground, and away from the active pedestrian street frontage.

Guidelines

- 5.7.1 Locate off-street motor vehicle parking below grade and/or within a building. Off-street surface parking should not be visible from fronting streets and open spaces.
- 5.7.2 Any vehicle entrance and its associated components (doorways, ramps, etc.) should be architecturally integrated into the building so as to minimize its exposure. In particular, recess and enclose entryways and avoid ramps located directly off the street.
- 5.7.3 Use high quality materials for parking entrance gates and doors, attractive lighting and low-level landscaping along the street frontage.
- 5.7.4 Locate parking entrances next to service and utility areas to avoid multiple vehicle access driveways and entrances along the street frontage.
- 5.7.5 Ensure that the parking entrance does not dominate the building facade and significantly interrupt the provision of a contiguous street wall.
- 5.7.6 A variance for off-street bicycle or motor vehicle parking may be considered where providing such parking would negatively impact the streetscape.
- 5.7.7 A variance for locating short term bicycle parking on the adjacent public right of way may be considered where it cannot be accommodated on private property, provided it does not impede pedestrian movement.
- 5.7.8 Ensure that off-street parking does not negatively impact or prevent the full conservation of heritage buildings.



The Janion parking garage entry is narrow at the street and set back from the conserved facade of the heritage building.



*2 North Moore Street (Turrett Collaborative Architecture) New York NY
Garage entry with high quality materials.*

6. Design Guidelines for Rooftop Additions on Heritage Buildings

There are a variety of rooftop additions to heritage buildings throughout Old Town, many of which were built to accommodate residential units as part of the comprehensive physical rehabilitation and seismic upgrading of an existing heritage building.

The small size of some additions, or their positioning away from visible elevations of the historic building make them nearly invisible to pedestrians. When a new addition is imperceptible from the street, a viewer perceives the historic building as its architect intended. More importantly a viewer can appreciate the building's continuing relevance and functionality. Other additions are inevitably conspicuous and visibly change the scale and appearance of an historic building. Needs evolve, and sometimes those needs dictate more visible change. Conspicuous additions establish a relationship between historic and contemporary styles of design, which reflect the different priorities of their time. The most successful additions conserve a historic building's character-defining elements and in their design visibly display a consideration for them.

The *Standards and Guidelines for the Conservation of Historic Places in Canada* classify new additions as a form of rehabilitation, which is one of three conservation approaches described. Unlike preservation, which is the protection and maintenance of an historic place, or restoration, which returns an historic place to its original appearance, rehabilitation involves making strategic alterations to an historic place, usually as a result of a change in use or increase in density. A change in use or density can be an important catalyst for the restoration of missing features, which many buildings in Old Town could benefit from.

Overall, the *Old Town Design Guidelines* advocate for a minimal intervention approach to rehabilitation projects. If possible, new additions should be avoided, and only pursued once other less invasive options for accommodating new functions are ruled out.

The following guidelines for rooftop additions to heritage buildings are derived from the *Standards and Guidelines for the Conservation of Historic Places in Canada* and *U.S. National Parks Service Preservation Brief #14*.



The Monaco (Moore Paterson Architects) Victoria BC

PHOTO: STEVE BARBER

6.1 Meaningful Conservation and Enhancement

Background

Many buildings throughout Old Town have been altered over time, especially storefronts. Adding a rooftop addition to a heritage building is often an opportunity to meaningfully conserve and enhance a heritage building through restoration of missing features and the maintenance of existing features. Applicants and design professionals should inquire with the City about original building permit plans and historic photos to use as the basis for an accurate restoration. An addition should meaningfully conserve the historic building to the greatest extent possible, including the side and rear walls. Conservation of original materials in publicly accessible ground-floor interior spaces is encouraged.

Intent

Use new rooftop additions as an opportunity to meaningfully conserve and enhance the heritage character of the historic building.

Guidelines

- 6.1.1 Integrate new rooftop additions sensitively to enable conservation of the entire historic building along with its original window openings and interior configurations to the greatest extent possible.
- 6.1.2 Conserve and reuse original materials within publicly accessible, ground floor interior spaces.
- 6.1.3 Combine the design of a new rooftop addition with the enhancement of the historic building through the restoration of missing original building features and the maintenance of existing features.



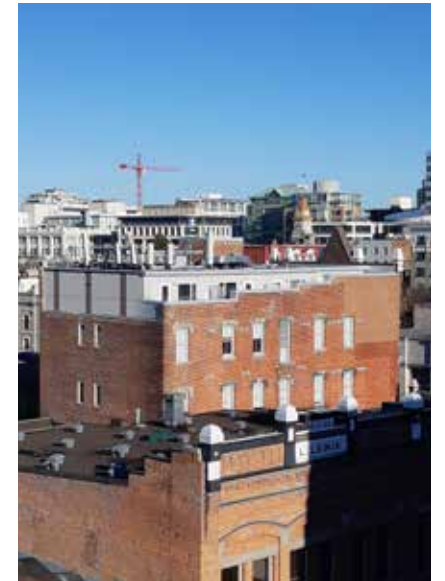
1312 Government Street (Le Fevre & Company) Victoria BC

In 2014 Le Fevre & Company constructed a one storey addition to the former New England Hotel, which enabled the restoration of the building exterior and conservation and reuse of some original interior elements like this original masonry interior wall.



1312 Government Street (Le Fevre & Company) Victoria BC

The rooftop addition is not visible from the street.



1312 Government Street (Le Fevre & Company) Victoria BC

The rooftop addition is concealed behind the parapet.

6.2 Compatibility

Background

Heritage buildings are generally recognized as significant, non-renewable cultural resources, which differentiates them from other buildings. The design of new additions should consider the unique aesthetic characteristics of the historic place and be designed with a high level of care and quality to reflect the irreplaceable value of the historic place they are part of.

Intent

Make new rooftop additions physically and visually compatible with the historic building.

Guidelines

- 6.2.1 Minimize the detailing of rooftop additions and consider using a subdued colour scheme in the same family as the dominant colour of the historic building.
- 6.2.2 Use high quality and durable materials.
- 6.2.3 Design and locate balcony railings, plantings, mechanical equipment, furniture or any other structures associated with a new addition so that they are minimally visible when viewed from the adjacent street.



21-27 Ninth Avenue (BKSK Architects) New York NY

This rooftop addition in NYC is designed to an appropriate scale and is articulated into three volumes to match the three separate storefront units below.



The Hudson addition (Townline / Merrick Architecture) Victoria BC

The rooftop addition of the Hudson is compatible in colour and materials and is minimally visible from the street because of the significant setbacks used.



The rooftop addition, associated railings and equipment of 21-27 Ninth Avenue are not visible from close range.



The rooftop addition to 21-27 Ninth Avenue features simple detailing and complementary modern materials like COR-TEN steel.

6.3 Hierarchy

Background

A new rooftop addition should not compete with a historic building in size, scale or design, and should maintain the visual significance of the historic building within the streetscape. An addition that radically exceeds the size and scale of a historic building, or has a visually dominant design undermines the heritage value of the building and district. Old Town has a uniquely cohesive historic character that new additions should respect. In a heritage conservation area, the success of an addition will be measured by its compatibility both with the building itself and the district as a whole. A rooftop addition that is subordinate to an individual historic building will be subordinate to the district by extension.

Intent

Make new rooftop additions subordinate to the historic building.

Guidelines

- 6.3.1 Rooftop additions should be physically smaller in scale than the building they are connected to.
- 6.3.2 Rooftop additions located on buildings three storeys or less should be stepped back no less than 4m from the facade of the building that faces a street in order to reduce the impact of the additional building mass on the public street, improve sunlight access on the public street and better distinguish the form and scale of the original heritage building.
- 6.3.3 Rooftop additions located on buildings four storeys or greater should be stepped back no less than 3m from the facade of the building that faces a street in order to reduce the impact of the additional building mass on the public street, improve sunlight access on the public street and better distinguish the form and scale of the original heritage building.
- 6.3.4 Use a less dominant colour or lighter shade of colour to reinforce the hierarchical relationship between the two buildings.



Superior Officers Council (BKSK Architects) New York NY

The rooftop addition to 40 Peck Street is physically smaller than the historic building and uses simple detailing.

6.4 Distinguishability

Background

The importance of distinguishing new construction from a conserved historic building is a key concept in both the *Standards and Guidelines for the Conservation of Historic Places in Canada* and the *US National Parks Service Technical Preservation Brief #14*. Standard 11 of the *Standards and Guidelines for the Conservation of Historic Places in Canada* defines “distinguishable” as a balance between “mere imitation of the existing form and pointed contrast”. *US National Parks Service Technical Preservation Brief #14* states that a modern addition should be “readily distinguishable from the older work” and not “replicative”. Accordingly, the Old Town Design Guidelines discourage additions that imitate the building they are connected to. A viewer should be able to tell where an historic building ends and a new addition begins, so that there is no confusion over the original appearance of the historic place. New rooftop additions should be designed to modern standards, however still demonstrate consideration for the historic building in scale, proportion, materials and colour.

Intent

Make new rooftop additions distinguishable from the historic building.

Guidelines

- 6.4.1 Design new rooftop additions with contemporary materials and finishes.
- 6.4.2 Use a slightly different ratio of solid to transparent materials than the historic building.
- 6.4.3 Incorporate setbacks from street-facing elevations to maintain the distinction between old and new construction.



PHOTO: KOEN VAN DAMM

KI Residences (Vincent Van Duysen Architect) Ghent BE

This small scale addition is setback from the front facade and the upper storey is enclosed in a sloped roof angled away from the front facade of the building. The roof is finished in natural stone in a neutral colour.



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Design Guidelines:

Old Town, Victoria, B.C.

New Buildings And Additions To Non-Heritage Buildings



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Prologue

For many years, design guides for new buildings in historic cities emphasized subservience to the past. Their key message was that design in a historic context must be imitative or meek - the commonly used words were “compatible with” and “subordinate to.” Buildings that followed such guidance often said little about the time in which they were designed – they ignored contemporary values. We are custodians, not curators, of the historic environment. Our city is evolving, it is not a museum object, and we have a duty in the design of new buildings, additions to non-heritage buildings, and new urban spaces to respond to changing ways of working, living and playing. Equally, in our search for contemporary urbanism in Old Town, the latent structures that will answer this call shall respond to the existing urban context *and* find form that reflects the values of the time in which they are conceived.



Character Areas

Introduction

There are many ways to design a new building, or an addition to an existing one, that are in harmony with their surroundings. They range from copying nearby architectural forms, through reinterpreting old forms in new materials, to using new forms and materials that complement or enhance what is already there. All of these approaches are valid as long as their design is skillfully executed.

Old Town is a historic place of profound importance in Canadian history, and is the largest single historic area in the Province. Within Old Town are three areas of distinct character; the commercial district, Chinatown, and the waterfront. The role of the commercial district as western Canada's principal port up to 1900 is recognized by its designation as a National Historic Event. Victoria's Chinatown, the oldest surviving Chinatown in Canada is similarly recognized as a National Historic Site. Old Town contains four other National Historic Sites. Decisions and actions that affect historic places must protect their commemorative integrity – that is to say, the ability of their physical presence to remind us of their profound cultural importance. New construction has the potential to strengthen, as well as to erode this integrity.

The City of Victoria seeks to protect, conserve, and enhance the heritage character of Old Town, established through the presence of sites, buildings and structures which are of architectural and historical significance through its designation as an Heritage Conservation Area. In May of 2005, the City began using the *Standards and Guidelines for the Conservation of Historic Places in Canada* to review proposals to make alterations to **designated and registry heritage buildings**, and for new buildings and landscapes in **heritage conservation areas**, of which Old Town (Development Permit Area No. 1 [Heritage Conservation]), is the largest under Victoria's Official Community Plan. In creating this Heritage Conservation Area, the City aims **to regulate development to ensure consistency with the established form and character of the area**. The guidance that follows tailors the generalized approach of the *Federal Standards and Guidelines for the Conservation of Historic Places in Canada* to Old Town, by making it easier to understand what we value about this historic place, and by illustrating the forms and characteristics to which the design of new buildings and landscapes and additions to existing non-heritage buildings should respond.

This guidance has been developed under the powers given to municipal governments in British Columbia according to Section 919.1 (1)(d) and (f) and 970.1(1)&(2) of the Local Government Act item ii. that allows Council to approve the particulars of the exterior design and finish of all buildings and structures, and also to establish landscaping standards.



Old Town seen from the clock tower of City Hall.

How to Use These Guidelines

1. Understand Heritage Value and Character

Read the statements of heritage value for Old Town and the particular character area in which you are proposing to build. Become familiar with what it is about the historic place that is valued and develop an awareness of the general and special characteristics of the area, to **understand what physical things, such as spaces, connections, materials, textures, colour, views and shapes, contribute to the special character there.**

2. Consider How Your Plans will Affect Neighbouring Property

Develop an understanding of how your design could affect the privacy of neighbours. Consider how it could affect their natural light. Could the changes you propose affect the noise level of the neighbourhood? How will your design mitigate against any potential negative effects?

3. Decide on a Design Approach

Decide how your design is going to respond to the general and special characteristics of its surroundings. Take photographs that illustrate the character of the area around your site, write down your design approach, and prepare a sketch design. Use these analyses, and any others that you consider necessary, to present an outline design to city staff early on in your design process. **Consider whether your building and landscape might be worthy of preservation by future generations for their positive contribution to the character of Old Town.**

4. Develop Your Design

Develop your design considering the comments of the city staff. Make your application for a Development Permit.

5. Review Process

Your Development Permit Application will be reviewed by staff, who will put forward a recommendation to Council. Council will make the decision to approve, approve with amendments, or decline your application. Staff support will be contingent upon applications demonstrating a clear understanding of, and a sensitive response to the general and special characteristics of their surroundings. In some cases applications may be referred to an advisory committee for review to assist Council with their decision.

Applicants are required to demonstrate an awareness of the development context and to explain how the design responds to that context.



Respond to Old Town character

This guide is intended to stimulate designs for buildings and landscapes that do more than simply meet mandatory technical requirements such as zoning and the building codes. It encourages designs that are strongly contextual, visually interesting and uplifting to use. By providing a better understanding of what is special about Old Town, the City is seeking to inspire creative developments that contribute to the cherished character of this place. It is not looking for monumental buildings and spaces, however, as these could be just as damaging to the character of Old Town as bland buildings could be. Designs are sought that can assert themselves – that have their own presence while being sensitive to their context – and that stand shoulder-to-shoulder with the fine historic buildings and streetscape of the largest heritage conservation area in the province.

This guide recognizes that there are an infinite number of ways to successfully respond to the special urban character of Old Town, and because of the fine-grain (the densely built up, small scale, small lot character) of the historic place, that the character can change from block to block, and even from building to building. Instead this guidance identifies the heritage value of Old Town generally and the local variations in character that are seen in the **old commercial district**, on the **waterfront**, and in **Chinatown**, and urges proponents to consider how their design will respond to these characteristics to enrich and amplify the sense of place of the historic heart of the city.

This modern hard landscaped area recalls the mid-block walkways once common to Chinatown



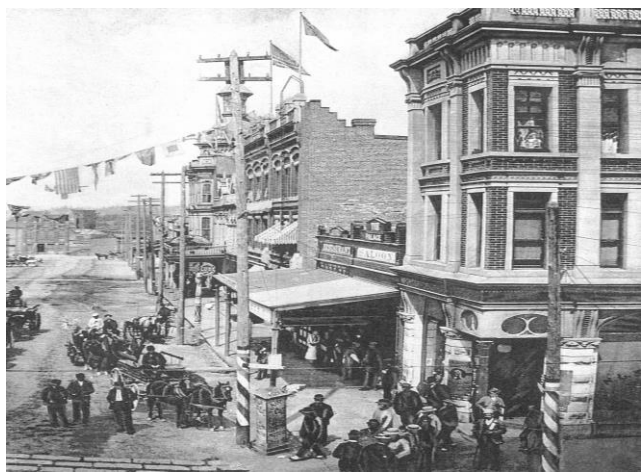
Old Town – General Characteristics

Preserve **heritage value** by responding to the **general characteristics** of Old Town

Heritage Value

The distinctive character of Old Town, without parallel in other Canadian cities, derives from Victoria's decline as a major seaport and centre of commerce by 1900, that protected it from the pressures of urban development that have altered the scale and character of most other urban seaports. The special character of Old Town resides primarily in a surviving, diverse assortment of buildings that document Victoria's key periods of growth: its emergence as a seaport and distribution centre during the gold rush era between 1858 and 1865 (the **waterfront**); its cosmopolitan population (including **Chinatown**); its commercial links to coastal cities to the south; and in the large cohesive group of modest (for the time), low-rise commercial structures (the **commercial core**) constructed up to the early 1900s when commercial power shifted to Vancouver, the city chosen as the western terminus of the Canadian Pacific Railway. The significance of this period of Old Town's history is formally recognized by its designation as a National Historic Event.

Old Town retains much of its nineteenth-century commercial character



General Characteristics

The general characteristics of Old Town include:

- historic buildings ranging in height from one to five storeys
- classically-inspired proportion and building elements
- load-bearing brick and stone buildings and details and forms that accompany load-bearing masonry
- architecturally distinctive buildings at street heads
- rounded or splayed building corner, often with corner entrances, at street intersections
- buildings at street intersections with asymmetrical facades terminating in a taller corner element
- pedestrian paths, mews, and courtyards within / through blocks
- large areas of glazing at street level displaying merchandise
- rich detailing, craftsmanship and colour of street / alley elevations
- views of harbour, mountains and hills on street ends
- cohesiveness of buildings and spaces that are neighbourly yet dense



Old Commercial District – Special Characteristics

Preserve **heritage value** by responding to the **special characteristics** of the old commercial district

Heritage Value

The old commercial district is significant as the historic nucleus of Canada's first Pacific port city. As a major commercial centre, area of settlement, and active port prior to the First World War, the streetscapes possess valuable association with the early commercial and social growth of Victoria, British Columbia, and western Canada. The location of the old commercial district - around the original site of Fort Victoria – is an important indication of the intentions of the city's first planners to take advantage of the natural geography and to make the best use of the Inner Harbour waterway. The juxtaposition of law and order (as seen in such buildings as the court house, city hall, and bank structures) with commercial structures such as warehouses and mercantile buildings, laid out within a pedestrian-scaled grid of streets, alleyways and courtyards, is significant as a reminder of the British influence on the planning of western Canadian cities.

The significant architectural styles in the old commercial district embody Victoria's transformation from a gold rush boom town to a permanent port and centre of trade. The confident styles of the commercial architecture in the late-nineteenth century (1870-1900) are valuable as they represent the replacement of the business-minded Hudson's Bay Company by the American entrepreneurs of Victoria's merchant community in this period of rapid growth. This shift to centralized business endeavors in Victoria, which began in the mid-1880s when Vancouver became the terminus of the Canadian Pacific Railway and climaxed in the early twentieth century, is particularly evident in such structures as the warehouses that line Wharf Street, and the retail and wholesale buildings on Government Street. Architectural themes in the Old Town District are valuable indications of the trends occurring in Canada before the First World War.

Lower Yates Street exhibits many of the defining characteristics common to the old commercial district

Special Characteristics

The special characteristics of the old commercial district include:

- the views of the Inner Harbour from Wharf Street, Bastion Square and Fort Street
- the street plan, including alleyways and courtyards, and city blocks of various shapes and sizes including small blocks
- the architectural differences seen in the buildings and streets; the identification of the oldest streets closest to the water, and newer streets and buildings farther inland
- Government Street, the central orienting spine of the old commercial district defined by a streetscape of businesses including historic banks, offices and shops
- the density and intact street front character of historic streetscapes created by the distinct collection of nineteenth and twentieth century (1880-1910) commercial and administrative buildings built up to the property line
- the varying heights averaging four storeys that contribute to the rich skyline texture of the street frontages
- prevailing American commercial architectural styles overlain with Victorian applied ornament on functional brick structures;
- the prominent use of brick masonry construction, such as the use of arched entryways into brick buildings
- articulated, three dimensional nature of facades and skylines



Waterfront – Special Characteristics

Preserve **heritage value** by responding to the **special characteristics** of Old Town's waterfront

Heritage Value

The groups of waterside warehouses and hotels dating to the 1860s and the accompanying landscape of loading docks, retaining walls and wharves, along Store Street reminds us of Victoria's role as a commercial seaport and the trans-shipping point for material and supplies that built British Columbia, served the Gold Rush era and built trade with Asia via the Pacific Ocean in the second half of the nineteenth century. The commercial activities of the harbour are valued for the way they have shaped the development of the land beside the water, as are the architectural treatments of buildings and landscape that remind us of these maritime industrial origins.

Buildings and landscaping beside the water have different characteristics to such elements seen in the old commercial district.. The industrial aesthetic and dual-aspect elements of this character area are echoed in this modern waterfront apartment building

Special Characteristics

The special characteristics of the waterfront area of Old Town include:

- the intersection of bridge, harbour and street
- building types and spaces associated with the functions of a commercial harbour
- buildings over the water, vessels, floatplanes, buoys and marks, wharves, pontoons, piles, boat ramps, davits and ladders, hawsers, bollards, and mooring rings
- random rubble stonework, brick masonry, and iron shutters and doors
- stone and brick retaining walls
- buildings with an industrial aesthetic
- dual-aspect structures that present a commercial frontage to Wharf Street and a harbour frontage to the water
- the rich texture of the land / water edge resulting from conditions including inter-tidal beaches, projecting structures, inundations and reclamations
- Load-bearing masonry buildings and details and forms that accompany load-bearing masonry surrounded by subordinate lighter wood and metal structures
- the constantly changing water's edge resulting from the movement of vessels, the trans-shipping of cargo and the state of the tide
- the glimpses of water seen between buildings, down alleyways and slips and on street axes



Chinatown – Special Characteristics

Preserve **heritage value** by responding to the **special characteristics** of Chinatown

Heritage Value

Victoria's Chinatown, a formally recognized National Historic Site, is valued as the oldest surviving and continuously used Chinatown in Canada. The historic place is a document of the emergence of the Chinese-Canadian in Victoria and Canada-wide. The early history of Chinese immigration to Canada – when thousands of men came to work on the Canadian Pacific Railway, in logging camps, gold fields and coal mines throughout British Columbia in the nineteenth century - is evident in the physical attributes of this historic district. The variety of buildings in this area, including mercantile houses, cultural associations and temples, creates unique streetscapes which illustrate the perseverance of the Chinese community in the face of cultural exclusion. The labyrinth of off-grid alleyways within Chinatown remind us of the intensity of the former land use and are valued for the way their exotic quality distinguishes the area from other parts of the city. The architecture of Chinatown is valued as a largely complete illustration of the growth of a distinct Chinese-Canadian culture in Canada. Buildings dating to the nineteenth century and possessing typically Victorian elements of design, represent the influence of British order over the foreign population. Buildings constructed in the twentieth century illustrate a distinctly Chinese architectural vocabulary, indicative of the growth and increased strength of the Chinese community within itself prior to the First World War.

Chinatown buildings have a very different character to the waterfront and commercial core. They are a fusion of nineteenth-century Chinese and western commercial architectural languages.

Special Characteristics

- the sense of place attributable to Chinese-Canadian commercial activities such as groceries and restaurants; the prolific use of primary colours alongside various types of signs including neon
- the fine grain of the area derived from the scale and mass of the buildings ranging from 3 to 5 storeys, and including the off-grid path network and intimate scale of alleyways and courtyards within clusters of buildings
- densely packed buildings on blocks comprising a street frontage of a mixture of very wide and very narrow commercial buildings
- the construction materials such as brick, attributable to the era before the First World War
- the juxtaposition of traditional architectural styles with later Chinese-style buildings
- Chinese cultural characteristics manifested in such architectural details as storefront mezzanines, recessed balconies, decorative wrought ironwork, upturned eaves and tile roofs and Asian-style ornamentation.



Worked Examples

1215 Broad Street

1215 Broad Street constructed in 2001 is valued for its contemporary interpretation of Old Town's commercial architecture, and for its positive contribution to the street:

The characteristics that underlie the building's value include:

- The classically inspired facade as seen in the relationship of window to wall, and the use of pilasters and transom panels to divide the street façade into pleasingly proportioned areas
 - The building height
 - Construction up to the building line
 - Wide retail display windows at street level and smaller office windows above
 - Robust, competent brick detailing and construction
 - Articulation of the street façade achieved by features such as the corbelled window heads, the pilasters, the recessed entrance and display window and the canopy
- Signage integrated with design



Steamcrane Quay

Steamcrane Quay located beside Jutland Road on the Selkirk waterfront is valued as a good example of a contemporary waterfront landscape:

The characteristics that underlie the landscape's value include:

- Hard landscape detailing that refers to the maritime industrial past of the quay including fair-faced concrete walls, pieces of heavy machinery arranged as objets d'art, and beds of river rocks
 - The way the landscape reminds us of the passage of time by the juxtaposition of the neat urban vegetation with the bare concrete and industrial artifacts
 - The evocation of the memory of past quayside activities including the incorporation of the steamcrane rail ties, and the use of lighting bollards and handrails with a nautical flavour
 - The shape of the soft and hard elements that encourage people to sit, but not to loiter
- The robust detailing that requires little maintenance



Worked Examples

720 Douglas Street

The Victoria Conference Centre at 720 Douglas Street is valued as an exemplar of 1980s urbanism in a significant historic precinct.

The characteristics that underlie the building's value include:

- the building massing and spatial composition that acknowledges the powerful plan geometries of the Empress Hotel and the Provincial Legislature
- The open public spaces and their landscaping
- The mid-block walkway
- The materials of construction and their colours that refer to the materials of the Empress Hotel and the Crystal Garden across Douglas Street
- The roof form that echoes the profile of the nearby Crystal Garden
- The scale of the display windows and entrances along Douglas Street



1645 / 75 Douglas Street

Just outside the boundaries of Old Town, 1645/75 Douglas Street is valued as a contemporary interpretation of the large commercial buildings that are scattered along Douglas Street.

The characteristics that underlie the building's value include:

- An architecturally distinctive building forming the backdrop to a public square
- The rounded corner and corner entrance at the street intersection
- Display windows at street level
- References in the design of the façade to neighbouring buildings
- The use of different materials and details to reduce the perceived mass of the building
- The use of elements of classical architecture in a contemporary way such as the streamlined cornice, the attic storey of smaller windows, the expressed frame and the massive masonry plinth

The colour of the pre-cast masonry that echoes the colour of the adjacent Hudson's Bay Company building's facade



Worked Examples

532 1/2 Fisgard Street

532 1/2 Fisgard Street is valued as a good example of an addition to, and the adaptive reuse of, a building in Old Town

The characteristics that underlie the building's value include:

- The recollection of the network of alleyways and courtyards that characterize Chinatown blocks
- The retention of the mid-block tenement buildings, facades
- The bold additions to the tenements that illustrate their original form by the use of different materials and colour
- The restoration and adaptive reuse of the commercial buildings that front Fisgard and Herald Street
- The landscaping of the courtyards within the block
- The dense yet neighbourly rooftop additions



407 Swift Street

One of the few new waterfront developments within the Old Town Conservation Area, 407 Swift Street is valued for its response to the defining characteristics of the Old Town waterfront

The characteristics that underlie the building's value include:

- the dual aspect structure that presents a façade inspired by warehouse design to the water and a façade inspired by commercial architecture to Swift Street
- the use of vast expanses of brick and small metal balconies reminiscent of warehouse fire escapes
- absence of ornament/use of an industrial aesthetic
- waterfront landscaping including wharves, docks, piles and indigenous plant material



Related Documents

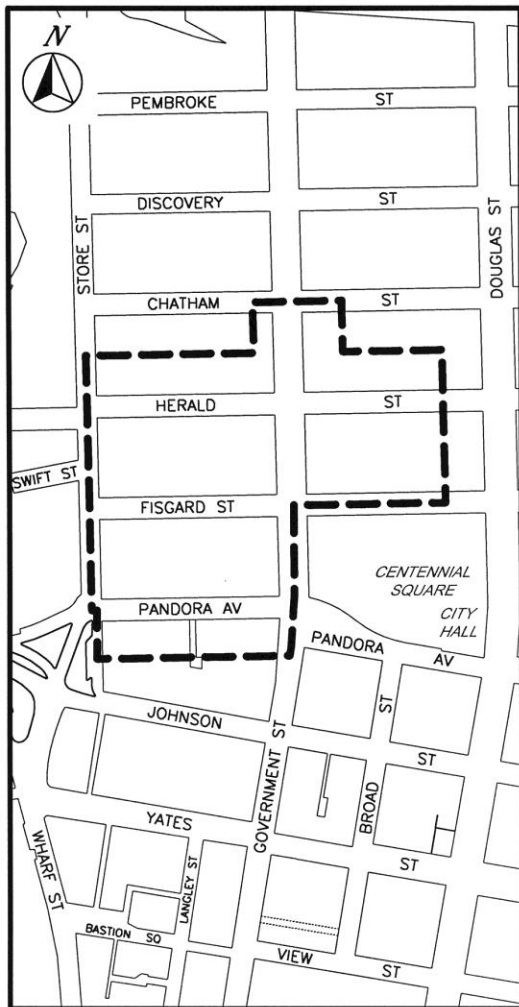
This guidance should be read in conjunction with the City's existing published guidelines listed below and available at the planning counter in City Hall:

- *Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983)*, City of Victoria 1983
- *Advisory Design Guidelines for Buildings, Signs and Awnings (1981)*; City of Victoria 1981
- *Crime Prevention Through Environmental Design - Guidelines*
- *Downtown Plan 1990*
- *Zoning Schedule E (draft)*
- *Noise Bylaw / Zoning Adaptable Standards*
- *Standards and Guidelines for the Conservation of Historic Places In Canada 2003*
- *Victoria Harbour Plan 2001*



PREFACE

At its July 21, 1983 meeting Victoria City Council endorsed the "Guidelines for Chinatown Development Permit Area" and passed a resolution that they be published for public information



CHINATOWN GUIDELINES FOR BUILDING, CANOPIES, LANDSCAPING, COLOURS & SIGNS.

INTRODUCTION

The guidelines are meant to assist developers to achieve a design compatible with the characteristics of Chinatown (area outlined on the map). Because it is a designated Development Permit Area under Bylaw 78-28 all exterior design is subject to City Council approval. The guidelines are general in nature and intended to identify issues that should play a part of the design process. The guidelines do not replace the requirements of statutory regulations such as Building Code, Zoning and Sign Bylaws. Additional guidelines are available for heritage buildings¹.

Chinatown is characterized by its exuberance and both development and redevelopment should add to its unique, oriental appearance and mystique.

Chinatown streetscapes are brightly coloured and picturesquely ornamented with oriental motifs, e.g. dragon; phoenix (symbols of heaven and earth), traditional patterns representing longevity and good luck, decorative mouldings, panels, lanterns, lions and wind chimes.

The area enjoys a major concentration of heritage buildings with an intimate labyrinth of walkways and walled courtyards.

AN ACCEPTABLE APPLICATION WILL INCLUDE THESE CONSIDERATIONS:

BUILDINGS

- a) Attractive streetscapes, architectural and landscape features of the immediate area will be identified and acknowledged.
- b) New construction will complement flanking buildings having either heritage qualities or special oriental motifs and detail
- c) In evaluating a design, particular emphasis will be placed on the solution to these general aspects²:
 - i. comprehensive design approach,
 - ii. relevancy of expression,
 - iii. context,
 - iv. pedestrian access.

CANOPIES

Applications should acknowledge that canopies of various types are an important element of Chinatown, for example, the Gate of Harmonious Interest is a traditional example in terms of its concave shape and upturned eaves. Various oriental decorative motifs should be considered (wherever possible) to the building faces and structural elements.

LANDSCAPING

Applications should incorporate landscape elements that extend and enhance the Chinatown network of walkways and walled courtyards. Important aspects:

- a) Spaces should be intimate in scale and invite exploration by visitors.
- b) Planting materials and scale should be oriental in nature and compatible in size with their small scale environment.
- c) Landscape elements should include water, rocks, potted plants, guardian animal symbols, traditional window grates and balustrades and openings in tile-capped garden walls.
- d) Ornamental paving should incorporate oriental patterns and traditional symbols

COLOURS

Oriental colours such as reds and greens constitute a main theme. Supporting colours must be carefully proportioned in the overall colour scheme for the building.

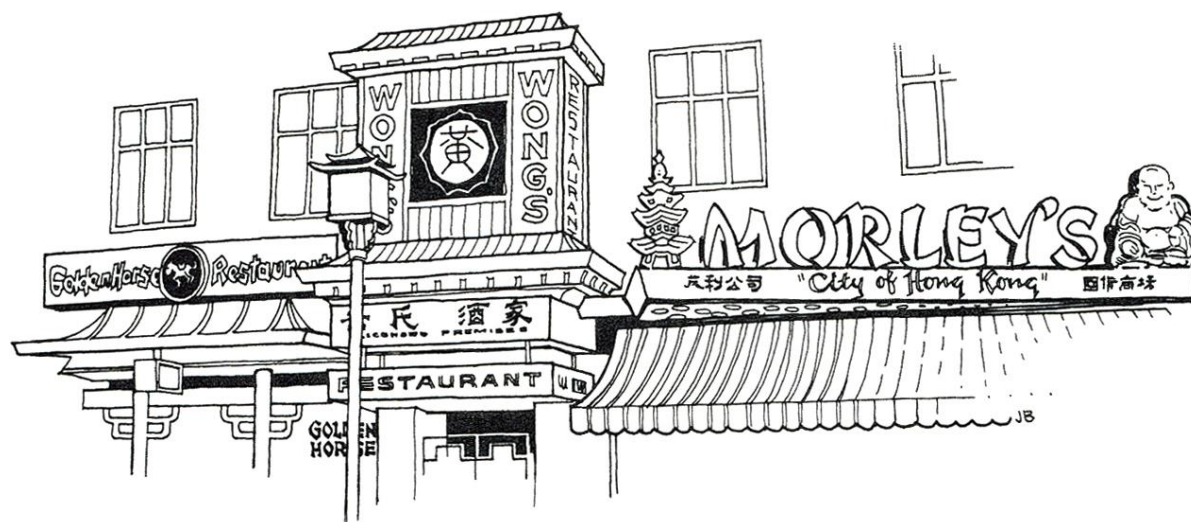
SIGNS³

- a) Applications should respect the integrity of the building design and general character of the signs/awnings and buildings in the immediate vicinity. The following basic design principles should be considered:
 - i. all vibrant, strongly colourful signs are encouraged. Neon tube, signs on shop window glass and front-lit signs are especially desirable,
 - ii. oriental lettering, symbols, patterns and decorative mouldings should be used,

- iii. the overall design, including its size, shape, material, texture, colour and method of lighting, should enhance the architecture of the building,
 - iv. size and location should respond rather than ignore significant architectural features of the building,
 - v. strong colours are preferred and should relate to the colour of the building. Where a 'trademark' colour is necessary, care should be taken to frame it in colours related to the building,
 - vi. fastening should be an integral part of the overall design.
- b) Comprehensive Sign Scheme Owners of buildings that are visually prominent and house a large number of commercial businesses are encouraged to prepare an overall sign plan for the building. This will minimize conflicts and delays when the individual sign applications are made

NOTES:

1. See Heritage Buildings Alterations & Signs for renovation guidelines to registry and designated buildings. (Information on the location of Chinatown Heritage buildings is available in the Planning Department)
2. Victoria's Advisory Design Guidelines provides a glossary of these and other terms used by the Advisory Design Panel. (Brochure available at Planning Department)
3. Procedure for Signs
Prior to installation, a permit is issued by the Public Works Department. This is standard procedure, as required by bylaw, for all signs throughout the City of Victoria. For those within Development Permit Areas, an additional step is included in the procedure. In accord with Bylaw #80-149, application must be approved by the Advisory Design Panel or City Council. Application is submitted to the Public Works Department and consists of a coloured illustration showing the building with existing signs, a coloured illustration of the proposal and a Public Works application form that records materials, form of illumination, size and a statement that the owner consents

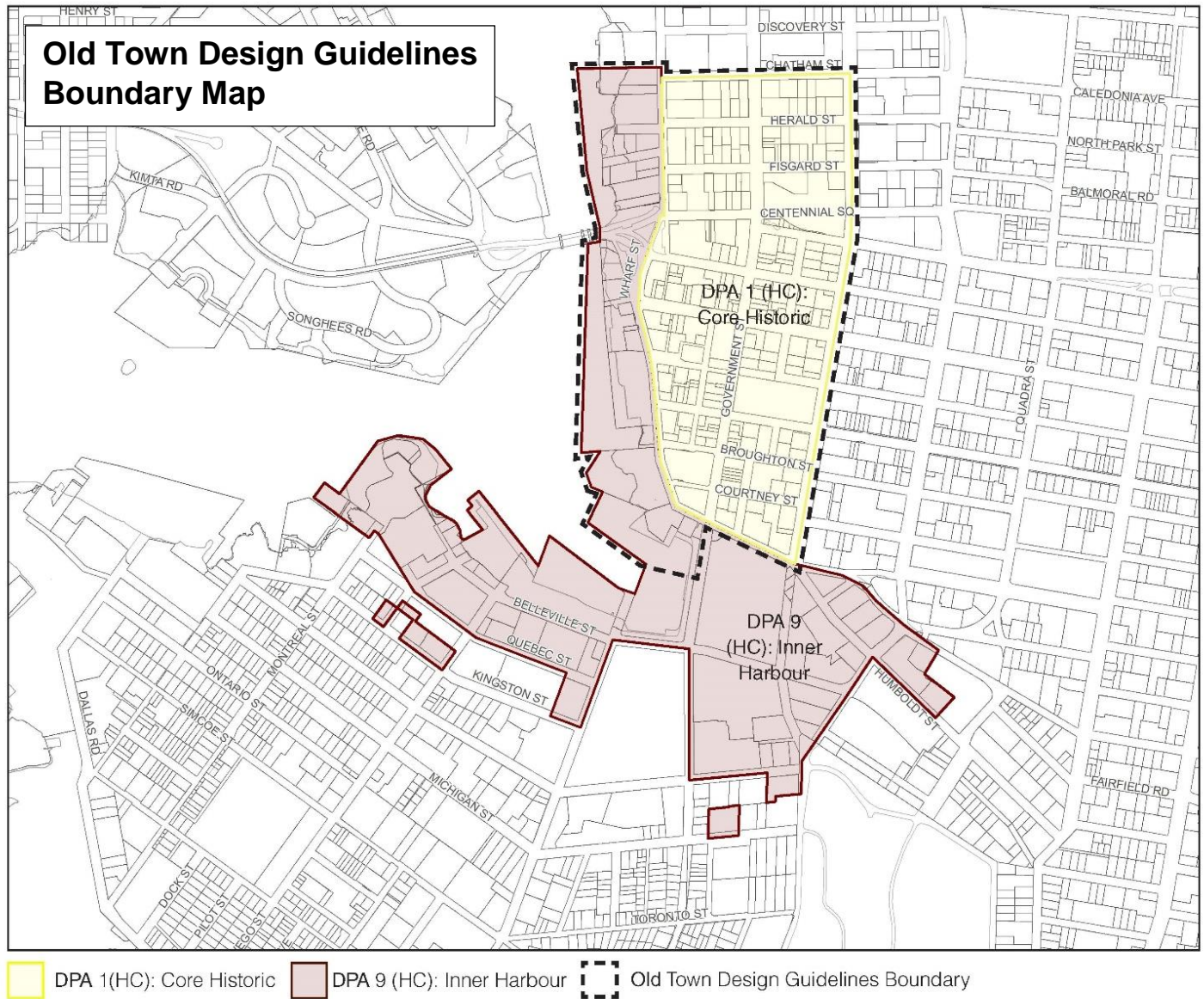


CHINATOWN



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GUIDELINES FOR BUILDINGS, CANOPIES, LANDSCAPING
COLOURS & SIGNS 1983



Old Town Design Guidelines – Public Engagement Comments

The project Working Group worked with staff to develop the Draft Old Town Design Guidelines which were then subject to a broader public engagement process. The following table includes a summary of all comments received through the public engagement and consultation process as well as the resulting refinements to the document.

Comments	Source	Change or Response
General		
<ul style="list-style-type: none"> Think of streets as urban rooms 	Open House	N/A
<ul style="list-style-type: none"> Thanks for the opportunity to comment 	Open House	N/A
<ul style="list-style-type: none"> Great Improvement 	Open House	N/A
<ul style="list-style-type: none"> Adequate detail 	Open House	N/A
<ul style="list-style-type: none"> If passed, I hope it is enforced 	Open House	N/A
<ul style="list-style-type: none"> Must read design in context 	Open House	N/A
<ul style="list-style-type: none"> Fabulous! 	Open House	N/A
<ul style="list-style-type: none"> Good work, reads well, laid out well 	Heritage Advisory Panel	N/A
<ul style="list-style-type: none"> Great job! Appreciate range of examples 	Heritage Advisory Panel	N/A
<ul style="list-style-type: none"> Replace front cover image showing painted heritage buildings 	Email	Replaced image with a different Old Town Streetscape
<ul style="list-style-type: none"> I was impressed with the quality of the proposed guidelines and the upbeat look and feel 	Email	N/A
<ul style="list-style-type: none"> Overall great document. Nice balance, lots of good discussion. Good technical writing. Good precedent images. Reads as an architectural digest. Likes the separate rooftop additions section. Good layout. 	Advisory Design Panel	No change.
<ul style="list-style-type: none"> I was happy to see them building on the approach of the predecessor document and delighted that they strike a balance between providing examples and concrete advice without being too prescriptive. 	Email	N/A
Prologue		
<ul style="list-style-type: none"> The prologue and other parts of the document discourage traditional design approaches that could be more contextual 	Email	The Standards and Guidelines for the Conservation of Historic Places in Canada, define distinguishable as follows:

than modern approaches. It is unclear what distinguishable means in this document (distinguishable to whom?)		<i>"To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value"</i>
Comments	Source	Change or Response
Chapter 2 Old Town Context		
<ul style="list-style-type: none"> Add a character defining element for the waterfront that addresses the aesthetic and scale of Old Town when viewed from the water 	Heritage Advisory Panel	Section 2.6 Character Defining Elements – Waterfront: <ul style="list-style-type: none"> View of Old Town from the water; defined by a concentration of small-scale historic buildings tiering up from the waterfront with a distinct rhythm and rich design quality.
Chapter 3 How to Use the Guidelines		
<ul style="list-style-type: none"> Revise wording to reference DPA 1 and DPA 9 as identified in the related map 	Open House	The purpose of the guidelines is to provide clarity on how to achieve the broad objectives for the Old Town heritage conservation area (SEE DPA1 (HC): CORE HISTORIC) and the Inner Harbour heritage conservation area (SEE DPA 9 (HC): INNER HARBOUR) as described within the OCP. It is important to note that the guidelines only apply within those portions of DPA 1 (HC) and DPA 9 (HC) as illustrated in Map 5. Property owners and architects should refer to the document prior to submitting an application and consider the following guiding questions:
<ul style="list-style-type: none"> Include a map of DPA 1 and DPA 9 with an overlay of the OTDG sub areas to clearly identify where the guidelines apply. 	Open House	Map 5 has been prepared to show extent of DPA 1 and 9 along with outline of OTDG policy area.
<ul style="list-style-type: none"> Revise wording to suggest that guidelines should be referred to prior to considering any design work 	Heritage Advisory Panel	New wording in Chapter 3: Designers, architects and property owners should reference the guidelines and consider the following questions before undertaking or planning

		any design work related to new buildings or building additions within Old Town:
Comments	Source	Change or Response
Chapter 4 Design Principles		
<ul style="list-style-type: none"> Consider a different photo that better reflects the guidelines i.e. well-defined base, body and top. 	Heritage Advisory Panel	Image replaced
<ul style="list-style-type: none"> On page 18 it is stated that innovative, creative and timeless solutions are encouraged. The terms innovative and timeless seem to be at cross purposes. 	Email	No change - semantic difference of opinion. Timeless and innovative do not necessarily contradict one another. The unique combination of timeless elements to different degrees on a given site can be innovative. At a minimum it will be "new" because every site and local Old Town context is different.
Chapter 5 New Buildings and Additions		
<ul style="list-style-type: none"> Can density height and massing be even more strongly addressed in the document? 	Advisory Design Panel	No change – the design guidelines cannot alter zoning height or density, they however address massing quite extensively.
<ul style="list-style-type: none"> Page 19 - 5.1. Include a more thorough explanation of the 15m height limit. The principle behind the 15 metre limitation was to ensure that new buildings were subordinate to the heritage buildings. 15 metres allows for a building that is not as low as some of the existing buildings but is not as tall as other buildings. The Royal Trust building on Government and View is often referenced as an example of why a new building should be permitted greater height. 	Email	Additional explanation of the 15m building height has been added into Section 5.1 Building mass, Scale and Siting.
<ul style="list-style-type: none"> Page 20 -5.1.5. An excellent point, specific to scale, it might be useful to insert that the potential for three storeys must be within the 15 metre height limitation. 	Email	No change - Maximum building height is regulated through the Zoning Bylaw.

Comments	Source	Change or Response
<ul style="list-style-type: none"> Page 20 - 5.1.10. It is important that buildings along the water not detract from the prominence of landmark heritage buildings, such as the Empress Hotel, CPR Terminal and the Malahat Building. It is of equal, or greater importance, that these buildings do not detract from the landmark quality of Old Town itself and should be considered as creating the foreground to the historic district. 	Email	<p>Changed guideline: 5.1.10</p> <p>Buildings along the waterfront create the foreground for Old Town and nearby areas. Design new buildings to maximize views to Old Town and preserve views of landmark heritage buildings including the Empress Hotel, CPR Steamship Terminal and the Malahat Building.</p>
<ul style="list-style-type: none"> Page 22 - 5.2.8. Provides another opportunity to reinforce the principle that waterfront buildings should respond to the scale, pattern, articulation and architectural expression of Old Town, as a whole, and be seen as visually creating the foreground to the historic district. 	Email	<p>Changed guideline 5.2.8 Ensure that new waterfront buildings and additions create a complementary foreground to Old Town by reinforcing the existing scale, pattern, articulation and architectural expression of surrounding heritage buildings that are visible from the water.</p>
<ul style="list-style-type: none"> Page 26 - 5.4.16. Is it possible to actually prohibit back-lit plastic box signs? 	Email	No change - Regulated through City of Victoria Sign Bylaw.
<ul style="list-style-type: none"> Provide reference images of the Intent Statement 	Open House	All images have been reviewed and updated to better align with Intent Statements.
<ul style="list-style-type: none"> Need to set height limits as well as FSR – re: proposed development on east side of Johnson Street Bridge 	Open House	No Change - Building height and density are established through land use policies (DCAP) and the zoning bylaw.
<ul style="list-style-type: none"> It talks about buildings, how about 'space' need directions and guidelines to provide inviting connections to the waterfront (David Foster Way) 	Open House	The design guidelines address form and character of buildings located on private property, not access via public property. However, guideline 5.1.12 has been added to support connectivity with the Harbour Pathway for properties located directly adjacent to the pathway.

Comments	Source	Change or Response
<ul style="list-style-type: none"> There are not much of actual samples in town – most of the area is currently parking lots (Waterfront) 	Open House	Additional photos of the Janion and Mermaid Wharf as seen from the water have been added.
<ul style="list-style-type: none"> Photo for waterfront guidelines shows typology of Old Commercial District 	Open House	See above
<ul style="list-style-type: none"> Use a Victoria example in this section 	Advisory Design Panel	See above
<ul style="list-style-type: none"> 5.4.17 addresses garages – assumes we have vehicle access roads. Photo illustrates otherwise – inconsistent with the message. Roads in Old Town are not necessarily vehicular. 	Open House	No change – roads are used by cars
<ul style="list-style-type: none"> 5.6 Liveability - Allow and encourage courtyards. 	Open House	Already supported through guideline 5.6.2
<ul style="list-style-type: none"> Page 32 – The elevated courtyard at the Union building is not a good example of a courtyard, is bad for theatre alley and was a compromise to conceal parking. Reconsider using this example. 	Email	The focus of this example is separation distance and not the elevation of the courtyard. The word “ elevated ” has been removed.
<ul style="list-style-type: none"> 5.7 Off Street Parking – (Background) assumes a potential increase in the demand for off-street parking. May not be the case. Inconsistent with photos elsewhere which highlight pedestrian only zones. 	Open House	Reference to potential increased demand for parking has been removed.
<ul style="list-style-type: none"> 5.7 Off Street Parking – please include guidelines and intent in the case that more residents does not mean increased need for off-street parking. Intent statement should address both conditions (increase and decrease) 	Open House	See above. However, where off-street parking is not provided then the off-street parking design guidelines would not apply.

Comments	Source	Change or Response
Chapter 6 Rooftop Additions		
<ul style="list-style-type: none"> Page 34 - Rooftop Additions: Rooftop additions should be the exception not the rule. Revise section to make this clear. Rooftop additions compromise authenticity. Add specifics about where rooftop additions should not be visible from (i.e. the public realm.) Make sure it accounts for a variety of vantages not just across the street. 	Email	No change - Rooftop additions are a reasonable alteration to an historic building. Chapter 6 also reinforces that "if possible, new additions should be avoided and only pursued if other less invasive options are ruled out."
<ul style="list-style-type: none"> Page 35 - 6.1. Do not promote rooftop additions as a means of conserving and enhancing heritage buildings. The Tax Incentive and Building Improvement Program already support rehabilitation and should preclude the need to connect additions with rehabilitation 	Email	See above.
<ul style="list-style-type: none"> Revisit photos to show successful international examples of rooftop additions 	Email	All photos have been reviewed and updated with additional international and local examples.
<ul style="list-style-type: none"> 6.1.1 should result in the conservation of the whole building, not just the side and rear walls 	Staff	Wording has been revised to highlight the conservation of the whole building to the greatest extent possible.
<ul style="list-style-type: none"> 6.3.2 Consider requiring a specified deeper setback for rooftop additions that are located on shorter buildings 	Heritage Advisory Panel	<p>6.3.2 Rooftop additions located on buildings three storeys or less should be setback a minimum of 3m from the facade of the building that faces a street in order to reduce the impact of the additional building mass on the public street, improve sunlight access on the public street and better distinguish the form and scale of the original heritage building.</p> <p>6.3.3. Rooftop additions located on buildings four storeys or greater should be setback a minimum of 4m from the facade</p>

		of the building that faces a street in order to reduce the impact of the additional building mass on the public street, improve sunlight access on the public street and better distinguish the form and scale of the original heritage building.
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January 18, 2019

Mayor and Council
City of Victoria
1 Centennial Square
Victoria BC V8W 1P6

Re: Old Town Design Guidelines Review

Mayor and Council –

The Urban Development Institute – Capital Region wishes to thank the City of Victoria for the opportunity to be an active participant in reviewing the Old Town Design Guidelines. We have reviewed the DRAFT guidelines and find them to be a fair reflection of the discussion and input provided by the participants, and in particular the development partners in the City of Victoria.

Victoria is fortunate to have a preserved heritage precinct that can be further enhanced with preservation, creativity and ingenuity. In general, UDI supports moving the DRAFT guidelines for the review and adoption by council. It is prudent to acknowledge that policies such as this can impact project viability, and in particular with respect to housing project affordability. Rooftop additions on heritage buildings may be required to make a project financially viable, while giving a tired heritage building a new lease on life. Similarly, good design does not need to cost more. Policies and guidelines such as this, that support creativity and can be interpreted judiciously, are in the interests of our entire community. However, the challenge given the variety of designs, heights and quality of building structures in Old Town, “one size” does not necessarily fit all projects. We believe these are very good guidelines but they should be regarded as guidelines with flexibility in the interpretation by professional staff on a project and locational basis.

Again, UDI would like to thank staff for including us in their review process. UDI welcomes the opportunity of further collaboration and future engagement with staff, Mayor and Council members.

Kind Regards,

A handwritten signature in dark ink, appearing to read "Kathy Hogan".

Kathy Hogan – Executive Director
(on behalf of the UDI Capital Region Board of Directors)

CC: Robert Batallas

Heritage Advisory Panel Motion (December 12, 2018)

Motion:

That the Heritage Advisory Panel finds the result satisfactory and that the Panel recommend that Council approve the proposed updates to the *Old Town Design Guidelines*.

Carried Unanimously

Advisory Design Panel Motion (December 19, 2018)

Motion:

It was moved by Justin Gammon, seconded by Sorin Birliga, that the quality of the draft Design Guidelines be acknowledged and that the Advisory Design Panel endorses the document as presented, with consideration to the comments discussed above.

Carried Unanimously



P.O. Box 50013, Fairfield Plaza PO , Victoria, B.C. V8S 1G0

Robert Batallas, MCIP,RPP
Senior Planner,
Sustainable Planning and Community Development
City of Victoria,
1 Centennial Square, Victoria BC, V8W 1P6,

January 21, 2019

Dear Robert:

The Hallmark Heritage Society, having reviewed the draft document “Old Town Design Guidelines”, wishes to endorse the document and recommend to Victoria City Council that this document be accepted and integrated into the Official Community Plan, the Downtown Development Plan, and the Old Town Plan as soon as possible.

The document reinforces the Society’s mandate to preserve historic ambience of Old Town and to ensure that future development is sympathetic with that which currently exists. The Society recognizes that there will be change in Old Town but wishes to emphasize this change can be made in a sympathetic manner: it can be change in use without destroying that which is so valued by the Citizens of Victoria and the visitors upon whom we are so dependent for economic stability.

Like all planning documents, the Old Town Design Guidelines are dependent upon Planning and Council to be given priority when debating the suitability and compatibility of new developments. The Hallmark Heritage Society shall watch with interest to see if new developments are prepared to adopt these guidelines and adapt their proposals to meet the good intentions that were expressed during their development.

We wish to thank the City Planning Department for the extensive engagement which was carried out in the development of these Guidelines. This process, while time-consuming and probably troublesome, has resulted in a document which reflects well upon the effort. A full public process is necessary to ensure the interests of all stakeholders are properly represented.

Regards,

Ken Johnson, Pres.,
Hallmark Heritage Society



Downtown Victoria Business Association
20 Centennial Square
Victoria, BC
V8W 1P7
(250)386-2238
info@downtownvictoria.ca

January 21, 2019

Re: City of Victoria Old Town Design Guidelines

As the Downtown Victoria Business Association (DVBA), the look and feel of downtown is very significant to us, particularly the large portion of downtown which overlaps the City's designated "Old Town" area. One of the many reasons tourists visit Victoria is to enjoy the historic feel and look of this area. At the same time, downtown is crowded, and there are continual demands for further development and greater density. A balance between heritage and growth is necessary.

These new design guidelines strike that balance in a reasonable way, likely due to the extensive consultation City staff have put into creating these guidelines. The DVBA has been happy to take part in these consultations, and the resulting document is quite in line with the discussions.

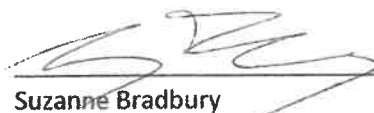
We were particularly pleased to see the way the guidelines take into account the various districts of downtown, for example maintaining the unique look and feel of Chinatown in contrast to the waterfront and other parts of Old Town. This distinction will keep the developing history of our downtown visible to the casual observer. As the guidelines have also been formally endorsed by the City's Heritage Advisory Panel, it seems safe to say that the guidelines will help carry us forward into the future without sabotaging the past.

We're happy to offer our organization's support for these new Old Town Design Guidelines.


Sincerely,



Jeff Bray
DVBA Executive Director



Suzanne Bradbury
DVBA Past-President



Jonathan Michaels
DVBA Board of Directors



Victoria
CIVIC
HERITAGE
TRUST

Sustainable Planning & Community Development
City of Victoria
1 Centennial Square
Victoria BC V8W 1P6

23 January 2019

Attention: Mr Robert Batallas, MCIP, RPP, Senior Planner

**Letter of Support
Old Town Design Guidelines**

Dear Mr Batallas:

Thank you very much for making a presentation to our Board of Directors about the Old Town Design Guidelines (OTDG) on 21 January 2019.

Our Board is very pleased to offer its strong support for the engagement process and the outcomes as represented in the final draft of the **Old Town Design Guidelines: New Buildings and Additions to Existing Buildings (2019)**.

Two of our Directors, Greg Baynton and Connie Quaedvlieg, represented the VCHT in the Working Group review process for the OTDG from May 2018-January 2019. I also served as an alternate and attended two meetings.

We found the Working Group review and engagement process to be focused as well as very professionally organized and capably led by City planning staff. In only four meetings staff were able to facilitate and consolidate a wide range of views at the table, meanwhile translating a considerable amount of information into a clear and concise public document.

The OTDG is an important and timely document that addresses with visual and written clarity some difficult design issues that impact the urban fabric and authenticity of Old Town.

Design topics relevant to Victoria's maturing historic core are tackled directly in the OTDG, including the context of Old Town character areas and existing heritage buildings, new buildings and additions, and guidelines for rooftop additions on heritage buildings.

On behalf of the Board, thank you for the opportunity to participate in the OTDG Working Group to provide input on design issues that affect our work to administer heritage incentives on behalf of the City of Victoria. Congratulations on a job well done.

Yours sincerely,

Greg Ovstaas
President

copy: Ms Merinda Conley, Senior Heritage Planner, City of Victoria



1715 Government Street
Victoria, BC, V8W 1Z4

Mayor and Council
City of Victoria
No.1 Centennial Square
Victoria, BC, V8W 1P6

January 26, 2019

Re: Updated Old Town Design Guidelines

Dear Mayor Helps and Council,

The Downtown Residents Association (DRA) values the updated architectural and development guidelines that intend to combine the urban landscape and our unique civic history within a culturally rich city precinct, namely Old Town. We believe that sensitive and high-quality architectural design and careful workmanship can be an agent of social memory which can be an important element in fostering engaged citizenship, civic pride, enhanced visitation and the healthy lifestyle generated through urban walkability.

An interest in the craft-based traditions of building with traditional and sustainable materials can and should lead building restoration, including the renovation of historic buildings. One cannot build contemporary architecture in a heritage precinct, without having assimilated the material and cultural lessons of the past. Nevertheless, infill can employ quality new materials if they are selected for suitability and durability within Old Town.

A sculptural understanding of massing, rhythm and texture should guide our approach to any urban infill in this nationally significant and internationally recognized district. Based on each different location, we can create infill architecture whose expression reveals an architectural pattern language guided by the larger vision of our heritage, which is well outlined in the updated Old Town Guidelines. The implementation of these Old Town Guidelines will depend on a civic commitment to these ideas, and an understanding of the importance of cultural continuity. Every new project in Old Town should try to reinforce the inherent characteristics of the neighbourhood's environment – its rhythm, its material texture, its scale and identity. Victoria is historically unique and fortunate through building retention to have the Old Town district's red bricks, carved stones, alleys, detailed cornices and patterned fenestration with a rhythm, texture, materiality and energy that attracts visitors from all over the world. It is our duty and responsibility as the stewards of this generation to preserve our heritage while maintaining an open mind to adaptive reuse. The DRA celebrates the hard work, and the

attention paid, to both civic input and to design detail, that has been included in the updated OLD TOWN GUIDELINES and we encourage our planners, staff and politicians to recognize and implement these concepts for the long-term benefit of Victoria.

Sincerely,

JC Scott

On Behalf of the Land Use Committee - Downtown Residents Association

A handwritten signature in black ink, appearing to read 'Ian Sutherland', with a stylized, flowing script.

Ian Sutherland

On Behalf of the Board of Directors - Downtown Residents Association

JCS/jcs

Draft Old Town Design Guidelines

New Buildings and Additions to Existing Buildings (2019)



Background

- Council direction provided in February 2018 and project began in April 2018
- Focus on developing design guidelines for new buildings and additions to existing buildings
- Integration of additional design guidelines for Chinatown, Old Commercial District and the Waterfront
- Initial meetings held with key stakeholders to identify potential improvements and request involvement on project Working Group



Old Town Design Guidelines

What we heard...

- Provide improved clarity and interpretation
- Current document does not contain clear guidance or direction
- Current document does not address additions to heritage buildings or rooftop additions
- Build upon existing document as well as Standards & Guidelines
- Allow for creativity in design – do not pre design buildings
- Ensure good fit within historic context
- Maintain and reinforce the area's low-scale building height (3-5 storeys)
- Support guidelines with photographs and illustrations that include contemporary building designs



Old Town Design Guidelines

Approach

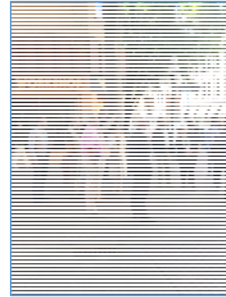
- **Working Group established** with representatives from:
 - Heritage Advisory Panel
 - Urban Development Institute
 - Victoria Downtown Residents Association
 - Advisory Design Panel
 - Hallmark Heritage Society
 - Victoria Civic Heritage Trust
 - Downtown Victoria Business Association
- Working Group met three times and also attended a walking tour.
- City retained Steve Barber (former Senior Heritage Planner) as a project consultant to provide technical expertise, best practices and support engagement efforts.



Old Town Design Guidelines

Engagement and Consultation

- Workshops and meetings with Working Group
- Old Town Walking Tour
- Public Open House
- Project Website
- Presentations to stakeholder organizations
- Guidelines refined based on feedback



Old Town Design Guidelines

OTDG Structure

1. **Introduction** – Historic importance, urban structure and future of Old Town
2. **Old Town Context** – Statements of Significance and Character Defining Elements for Old Commercial District, Chinatown and Waterfront
3. **How to Use the Guidelines** – Purpose and structure of the guidelines and their relation to the statements of significance and character defining elements for each sub area
4. **Design Principles** – Basis for the design guidelines
5. **Design Guidelines for New Buildings and Additions**
6. **Design Guidelines for Rooftop Additions on Heritage Buildings**



Old Town Design Guidelines

Design Principles

The design guidelines are premised on achieving the following principles, which provide the basis for the design of new buildings and additions to existing buildings to ensure they are responsive and complementary to the existing historic character, local topography, urban design and sense of place that is evident throughout Old Town.



Old Town Design Guidelines

Design Guidelines (New Buildings and Additions)

Topic Areas and Intent



Old Town Design Guidelines

Design Guidelines (Rooftop Additions)

Topic Areas and Intent



Meaningful Conservation and Enhancement
Intent: Use new rooftop additions as an opportunity to meaningfully conserve and enhance the heritage character of the historic building.



Compatibility
Intent: Make new rooftop additions physically and visually compatible with the historic building.



Hierarchy
Intent: Make new rooftop additions subordinate to the historic building.



Distinguishability
Intent: Make new rooftop additions distinguishable from the historic building.



Old Town Design Guidelines

Recommendation

That Council:

1. Approve, in principle, the Old Town Design Guidelines – New Buildings and Additions to Existing Buildings (2019).
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend Development Permit Area 1(HC): Core Historic with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019); to remove reference to the Chinatown Guidelines for Buildings, Canopies, Landscaping, Colours & Signs (1983); and to amend Development Permit Area 9(HC): Inner Harbour with an updated reference to the Old Town Design Guidelines - New Buildings and Additions to Existing Buildings (2019).



Old Town Design Guidelines

3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including downtown residents, Old Town property owners, local development and business communities and local heritage organizations on the proposed amendments to the Official Community Plan through online consultation concurrent with public review of the proposed Old Town Design Guidelines (2019).

