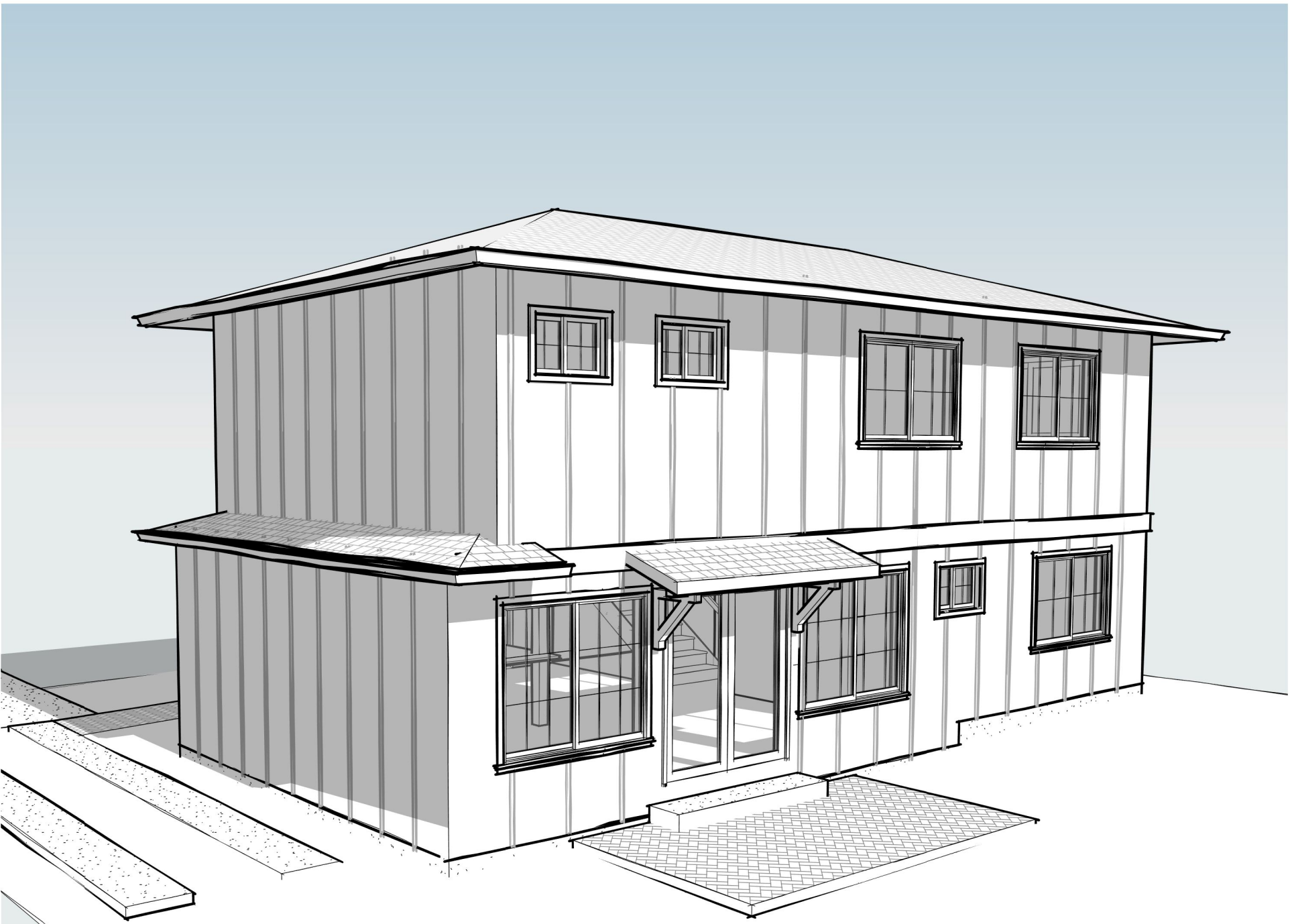


1 Front Left



2 Front Right

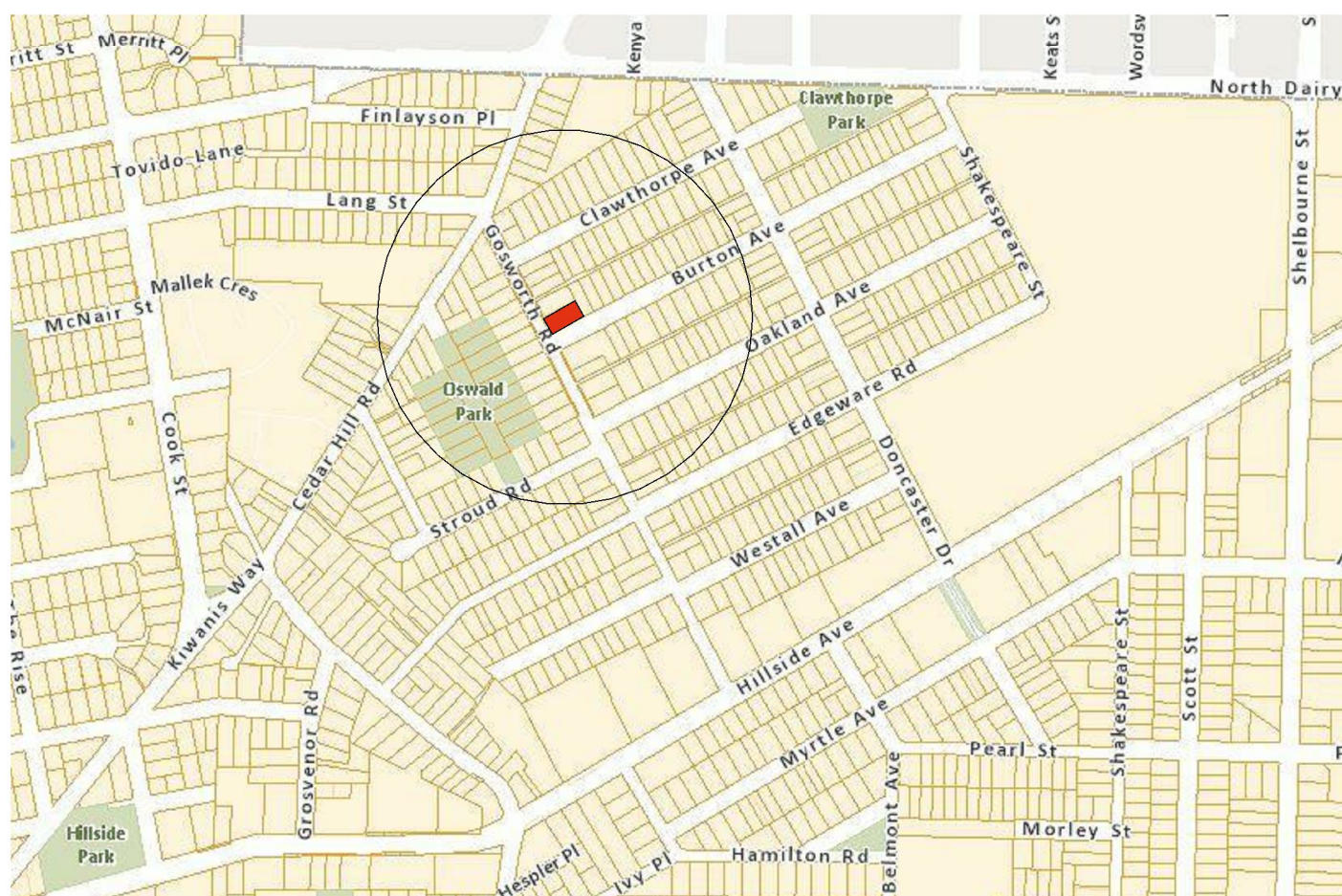


3 Rear



4 South (Front) Cover  
3/16" = 1'-0"

VICINITY MAP



GENERAL NOTES:

- 1) DIMENSIONS PROVIDED SHALL TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS OF BUILDING DESIGNER AND CONSULTANT'S DRAWINGS PRIOR TO WORK COMMENCEMENT. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY. ANY NOTES ELSEWHERE ON THE PLANS THAT EXCEED THE REQUIREMENTS STATED IN THE GENERAL NOTES TAKE PRECEDENCE.
- 2) PRIOR TO ANY ALTERATION OR MODIFICATION OF PLANS OR DETAILS ON SITE, CONTRACTOR(S), TRADEPERSONS AND/OR HOMEOWNER(S) MUST CONTACT BUILDING DESIGNER TO CONFIRM BUILDING CODE AND/OR STRUCTURAL ENGINEERING REQUIREMENTS AND TO MAINTAIN ACCURACY AND COMPLETENESS OF PLANS.
- 3) ALL NEW CONSTRUCTION TO MEET CURRENT BC BUILDING CODE 2012.
- 4) VENTILATION INTAKE AND EXHAUST TO MEET ALL BCBC REGULATIONS.
- 5) VENTILATION CHECKLIST TO BE COMPLETED PRIOR TO FRAMING INSPECTION.
- 6) SAFETY GLASS REQUIRED FOR ALL BATHTUB ENCLOSURES, SIDELIGHTS, AND GLASS IN DOORS.
- 7) EGRESS FROM ALL BEDROOMS TO MEET CURRENT BCBC REGULATIONS.
- 8) CARBON MONOXIDE ALARM LOCATIONS TO BE DETERMINED, AS PER BCBC.
- 9) PHOTO-ELECTRIC/INTERCONNECTED SMOKE DETECTORS LOCATED AS PER BCBC.

PROJECT DATA:

Property Owners: 2960521 Holdings Ltd.  
Civic Address: 2921 Gosworth Road, Victoria BC, V8T 3C8  
Legal Description: Amended lot 18, Block 1, Section 29-30, Victoria District, Plan 1222  
Zone: R1-B  
Project Description: Rezoning to R1-S2; Small Lot House  
Site Area: 670m<sup>2</sup> (7212 SF)  
Storesys: LOT A: 1  
LOT B: 2

PROJECT INFORMATION TABLE - PARENT LOT (A)

	PROPOSED/EXIST.	ALLOWED
Zoning:	R1-S2	
Site Area:	314.8 M <sup>2</sup>	MIN. 260 M <sup>2</sup>
Site Coverage:	96.1 M <sup>2</sup> = 30.5 %	40 %
Total Floor Area:	91.7 M <sup>2</sup>	190 M <sup>2</sup>
Floor Space Ratio:	0.29	0.6
Height of building (M):	4.7 M	7.5 M
Number of storeys:	1	2
<u>SETBACKS</u>		
Front Yard:	3.38 M	6.0 M
Rear Yard:	2.67 M	6.0 M
Side - East:	1.5 M	1.5 M
Side - West:	7.54 M	2.4 M
Open Site Space (%):	62.5 %	
Parking Stalls on site:	1	MIN. 1

PROJECT INFORMATION TABLE - SMALL LOT (B)

	PROPOSED	ALLOWED
Zoning:	R1-S2	
Site Area:	315 M <sup>2</sup>	MIN. 260 M <sup>2</sup>
Site Coverage:	84.4 M <sup>2</sup> = 26.8 %	40 %
Total Floor Area:	144.6 M <sup>2</sup>	190 M <sup>2</sup>
Floor Space Ratio:	0.46	0.60
Height of building (M):	6.18 M	7.5 M
Number of storeys:	2	2
<u>SETBACKS</u>		
Front Yard:	4.9 M	6.0 M
Rear Yard:	6.0 M	6.0 M
Side - East	3.39 M	1.5 M
Side - West	1.50 M	1.5 M
Open Site Space (%):	60.0 %	
Parking Stalls on site:	1	MIN. 1

VARIANCE SOUGHT: Front Yard setback: 1.07 m

PROJECT TEAM:

SURVEYOR:

Wey Mayerburg Land Surveying Inc.  
#4-2227 James White Boulevard  
Sidney, BC V8L 1Z5  
250-656-5155

STRUCTURAL ENGINEER:

Byron Rotgans, P.Eng.  
Munro Engineering Ltd.  
1198 Munro St.  
Victoria, BC V8A 5P6  
250-851-2640

Sheet List

Sheet Number	Sheet Name
A1	Cover
A2	Site
A2.1	Site - Context
A3	LOT A - Elevations & Floor Plan
A4	LOT B - Elevations
A6	LOT B - Main Floor Plan
A7	LOT B - Upper Floor Plan
A8	LOT B - Foundation and Roof Plan
A9	LOT B - Sections & Details
A10	Sections & Details
A11	Notes & RSI

Villamar<sup>DESIGN</sup>

6825A  
VETANESS ROAD  
VICTORIA, BC  
V8M 2A7  
778-951-4088

2921 Gosworth Rd.  
Victoria, BC

2960521  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

Cover

SHEET ISSUE DATE

JAN. 25, 2019

PROJECT NUMBER

1017

DRAWN BY

AJN

CHECKED BY

DE

A1

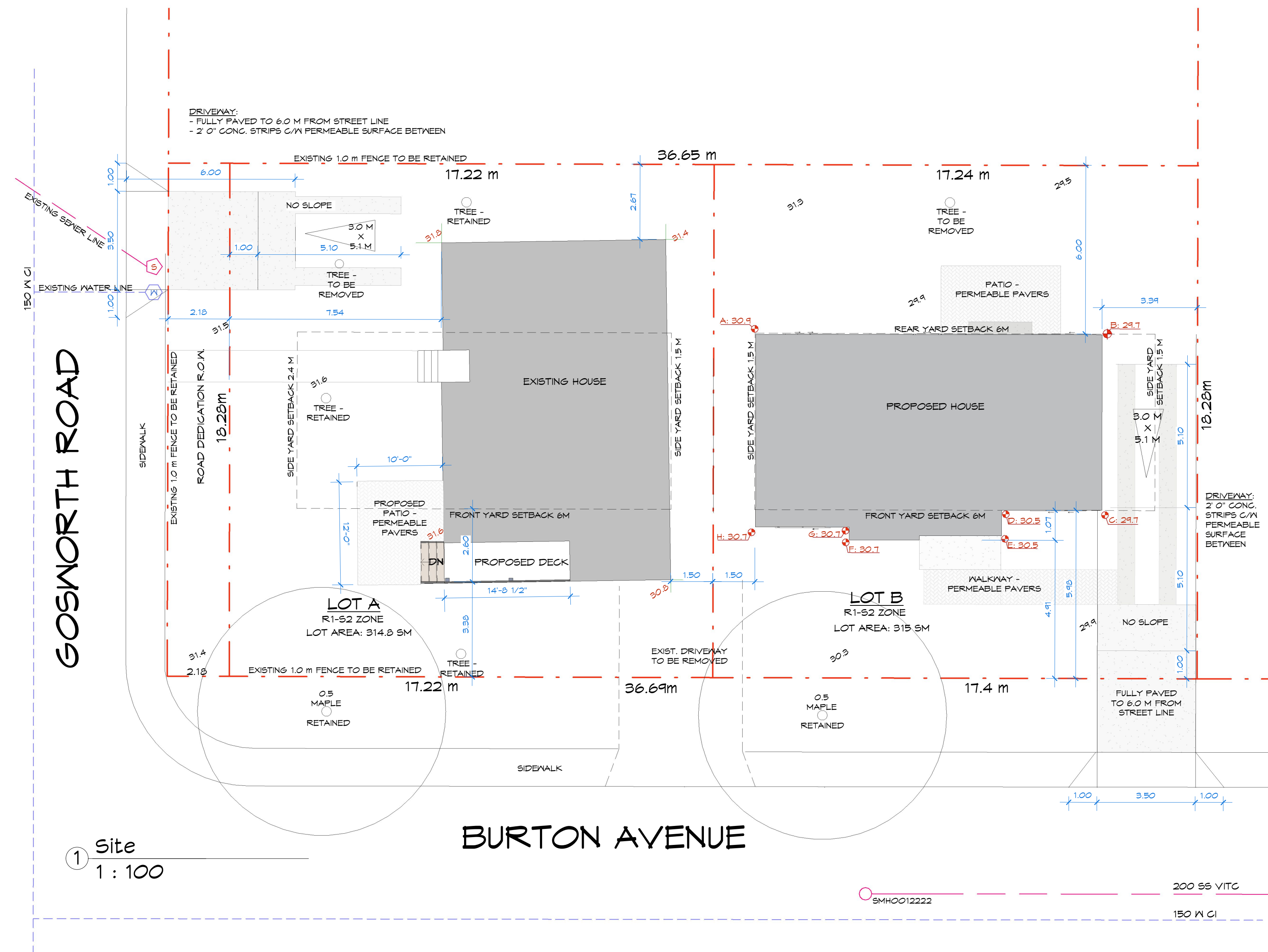
SCALE

As indicated



GRADE POINT A: 30.9  
GRADE POINT B: 29.7  
GRADE POINT C: 29.7  
GRADE POINT D: 30.5  
GRADE POINT E: 30.5  
GRADE POINT F: 30.7  
GRADE POINT G: 30.7  
GRADE POINT H: 30.7

GRADE POINTS	AVERAGE OF POINTS	DIST. BETWEEN	TOTALS
POINTS A-B	$((30.9 + 29.7) / 2)$	X 12.34 m	= 373.90
POINTS B-C	$((29.7 + 29.7) / 2)$	X 6.25 m	= 185.63
POINTS C-D	$((29.7 + 30.5) / 2)$	X 3.58 m	= 107.76
POINTS D-E	$((30.5 + 30.5) / 2)$	X 0.91 m	= 27.76
POINTS E-F	$((30.5 + 30.7) / 2)$	X 5.41m	= 165.55
POINTS F-G	$((30.7 + 30.7) / 2)$	X 0.46 m	= 14.12
POINTS G-H	$((30.7 + 30.7) / 2)$	X 3.35 m	= 102.85
POINTS H-A	$((30.7 + 30.9) / 2)$	X 8.86 m	= 211.29
TOTAL		= 39.16 m	= 1188.86
GRADE CALCULATION		1188.86 / 39.16 = 30.36 m	



6825A  
VEYANESS ROAD  
VICTORIA, BC  
V8M 2A7  
778-351-4088

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

Site

SHEET ISSUE DATE

JAN. 25, 2019

PROJECT NUMBER	1817
----------------	------

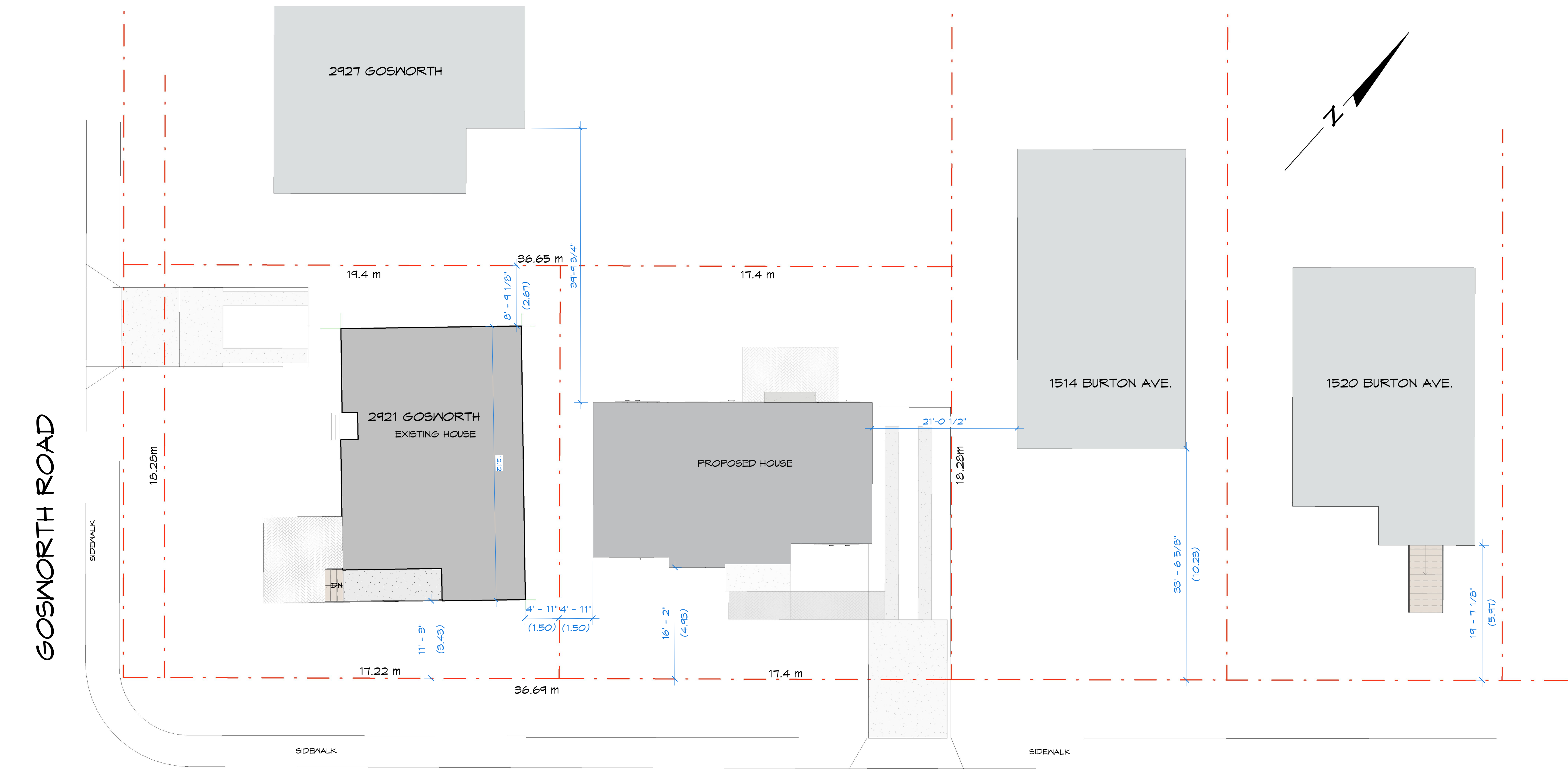
DRAWN BY AJW

A2

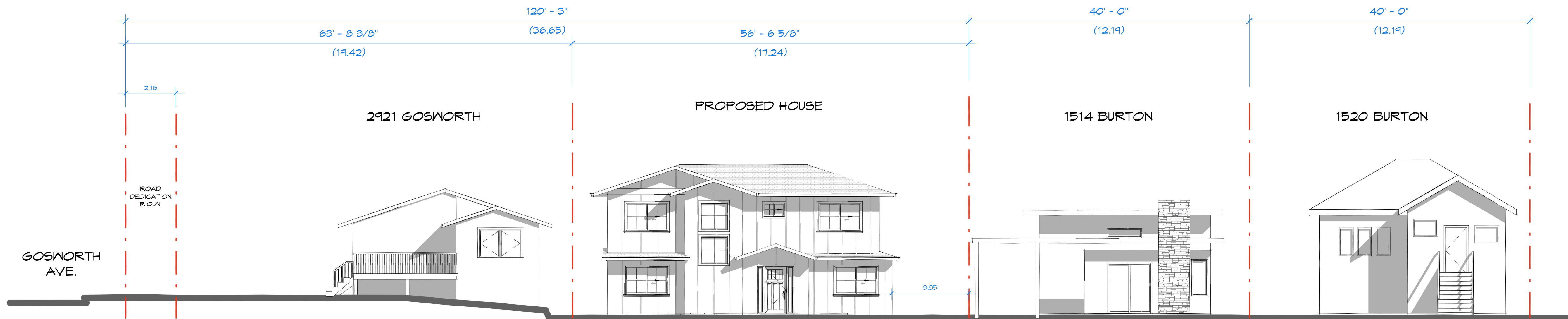
SCALE	As indicated
-------	--------------



Z:\DESIGN ONLY\2921 GOSWORTH REZONING\A - Design\99 - REVIT models\Gosworth 2-smallified.rvt



② Site - Context  
1:96



① South (Front)-Streetscape  
1:96

**Villamar**  
DESIGN

6825A  
VETERANESS ROAD  
VICTORIA, BC  
V8M 2A7  
778-951-4088

2921 Gosworth Rd.  
Victoria, BC

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

Site - Context

SHEET ISSUE DATE  
JAN. 25, 2019

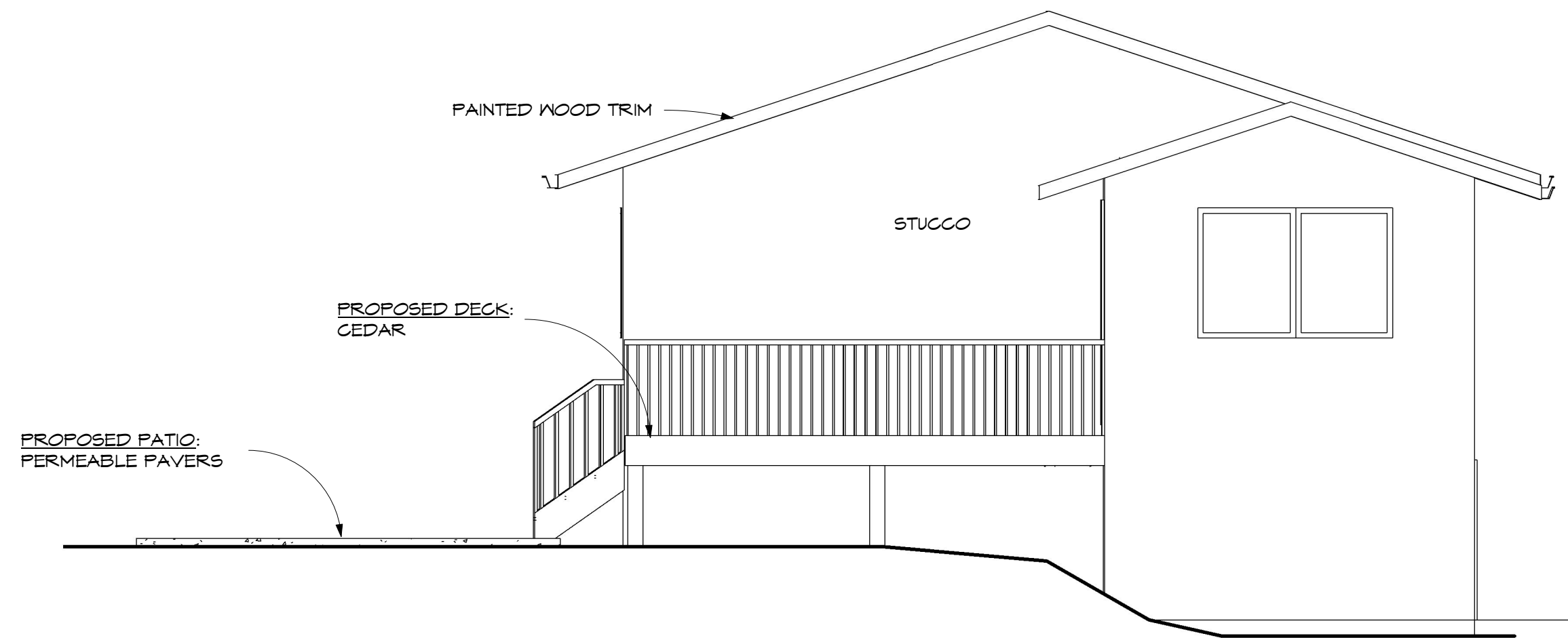
PROJECT NUMBER 1017  
DRAWN BY AJN  
CHECKED BY DE

A2.1

SCALE As indicated



Z:\DESIGN ONLY\2921 GOSWORTH REZONING\A - Design\99 - REVIT models\Gosworth 2-smallified.rvt



① South - EXISTING  
1:48



② West - EXISTING  
1:48

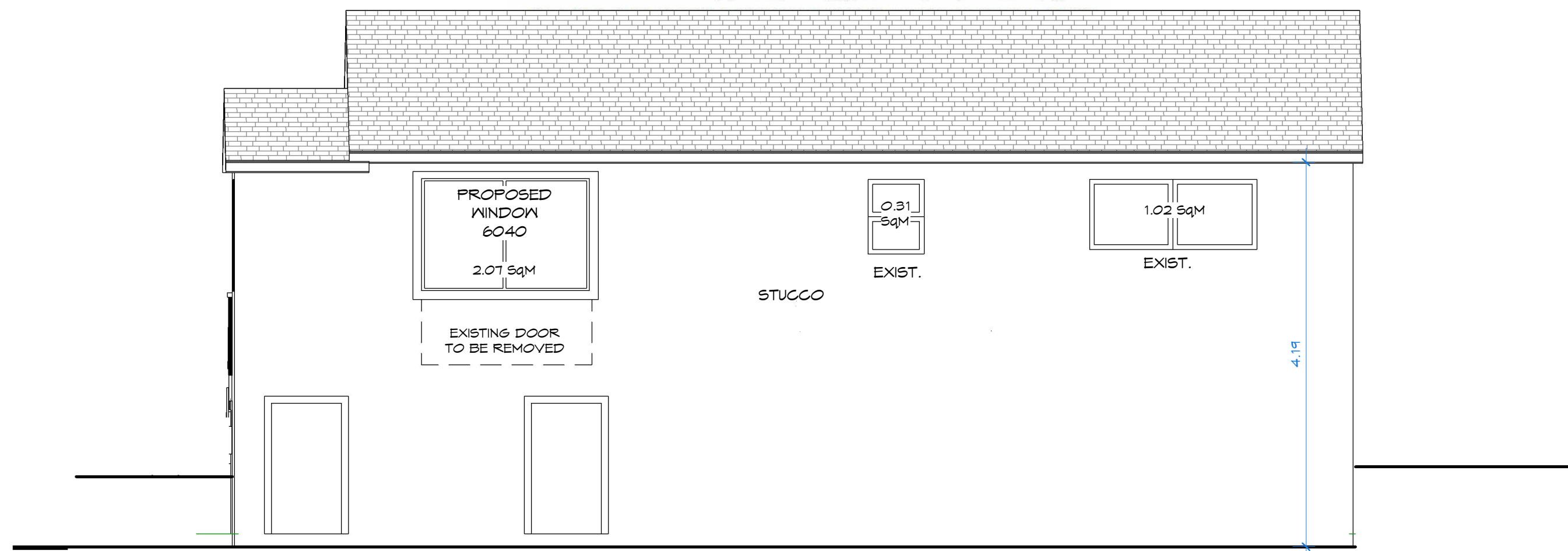
Table 9.16.15.4 Maximum Area of Glazed Openings in Exterior Walls of Buildings Containing only Dwelling Units Forming Part of Sentence 9.10.15.4 (1)												
Column 1: Maximum Area of Existing Building Facing Face, m <sup>2</sup>	Column 2: Maximum Aggregate Area of Glazed Openings, % of Existing Building Face Area											
	Less than 1.2	1.2	1.5	2.0	4.0	6.0	8.0	10.0	12.0	16.0	20.0	25.0
30	0	7	9	12	30	88	100	-	-	-	-	-
40	0	7	8	11	32	69	100	-	-	-	-	-
50	0	7	8	10	28	57	100	-	-	-	-	-
60	0	7	7	9	18	34	56	84	100	-	-	-
Over 100	0	7	7	8	12	15	25	40	59	92	100	-

PLEASE PROVIDE THE FOLLOWING INFORMATION:

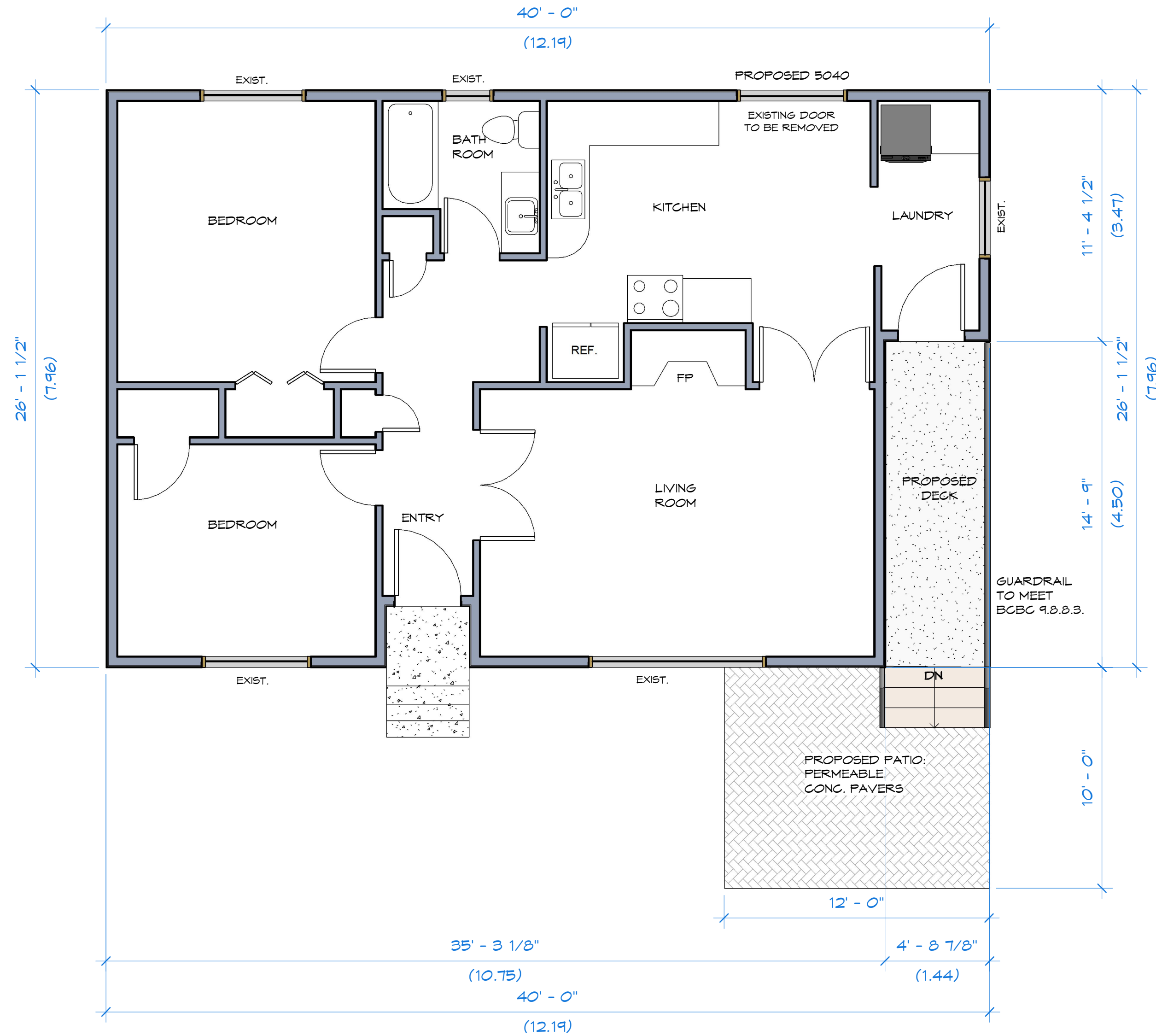
Area of exterior wall of existing building adjacent to proposed new lot line: 51.2 (a)

Area of all openings on the wall: 3.4 (b)

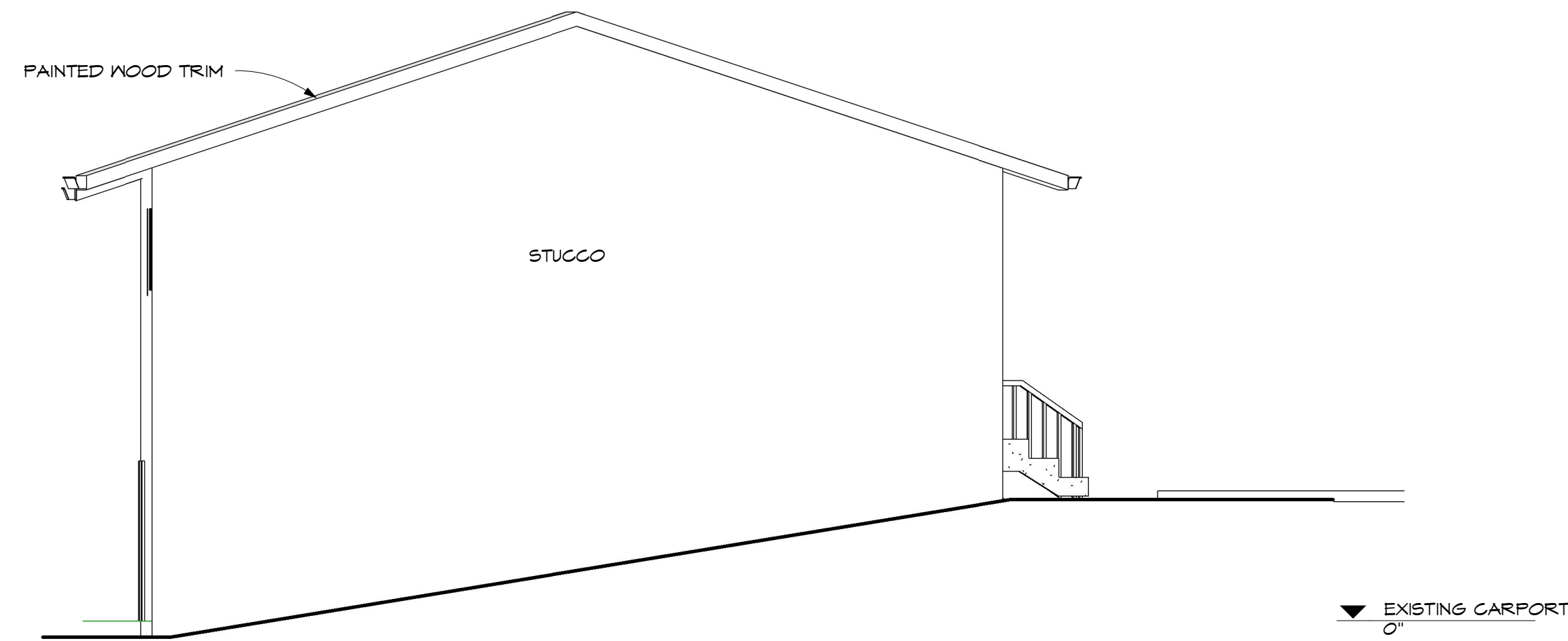
Calculations:  $100 \times (b) \div (a) = 6.6$  % (c)



④ East - EXISTING  
1:48



③ LOT A - Existing Floor Plan  
1:48



⑤ North - EXISTING  
1:48

Villamar<sup>DESIGN</sup>

6825A  
VICTORIA ROAD  
VICTORIA, BC  
V8M 2A7  
778-951-4088

2921 Gosworth Rd.  
Victoria, BC

29G0521  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

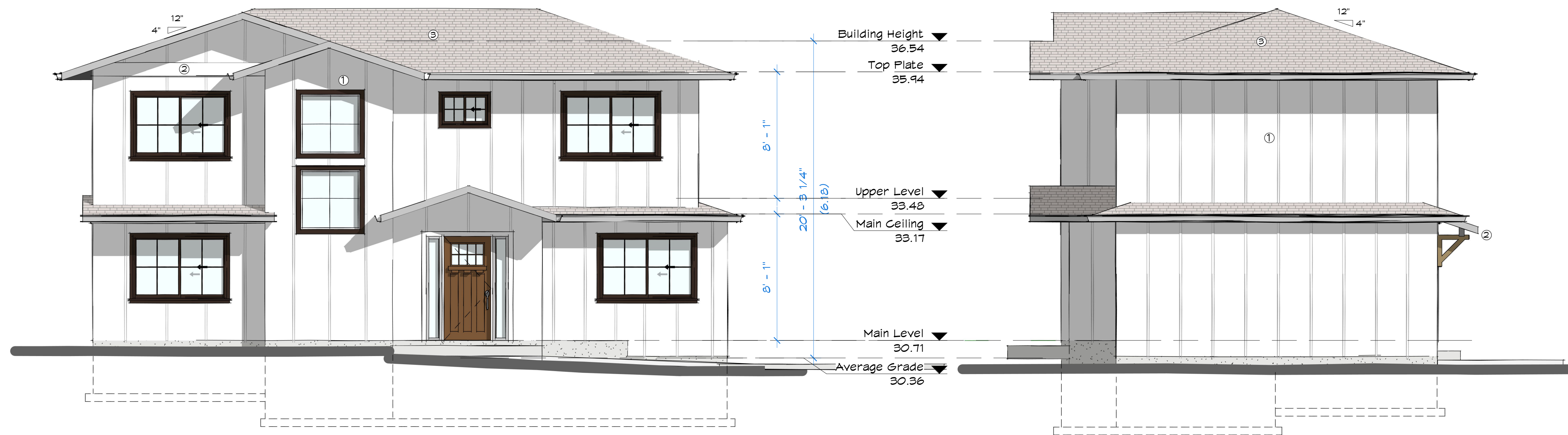
REZONE

LOT A - Elevations  
& Floor Plan

SHEET ISSUE DATE	JAN. 25, 2019
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE
SCALE	As indicated



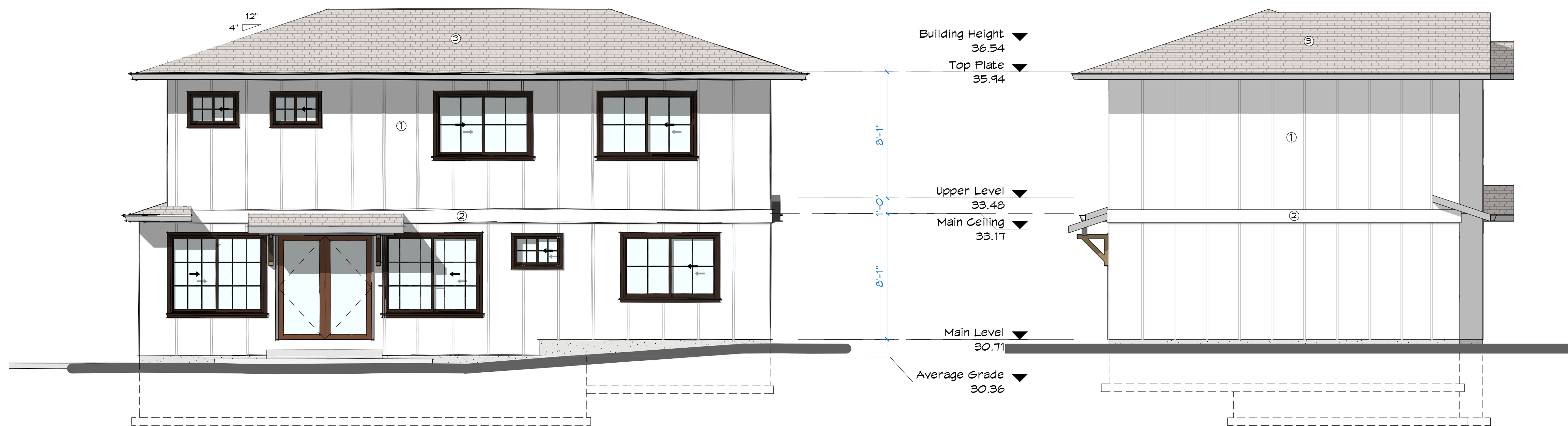
Z:\DESIGN ONLY\2921 GOSWORTH REZONING\A - Design\99 - REVIT models\Gosworth 2-smallified.rvt



① South (Front)  
1/4" = 1'-0"

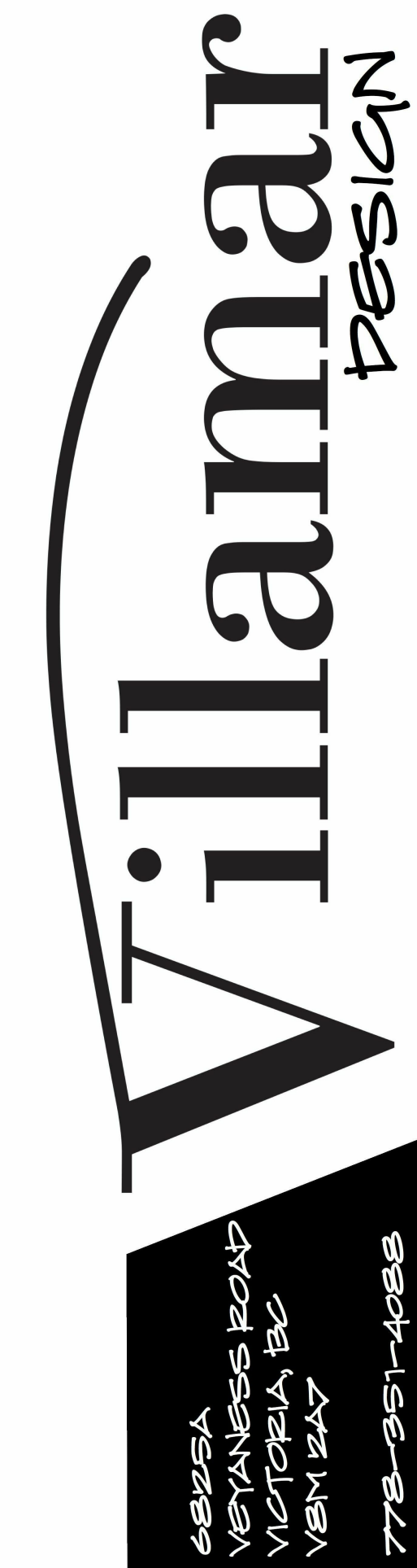
② East (right)  
1/4" = 1'-0"

MATERIAL and COLOUR KEY	
1	BOARD & BATTEN SIDING - HardiePanel or equal, Arctic White
2	PAINTED WOOD TRIM - White
3	ASPHALT ROOF SHINGLES - Malarkey or equal, Storm Grey
- WINDOWS AS SHOWN - Black	



③ North (Rear)  
1/4" = 1'-0"

④ West (Left)  
1/4" = 1'-0"



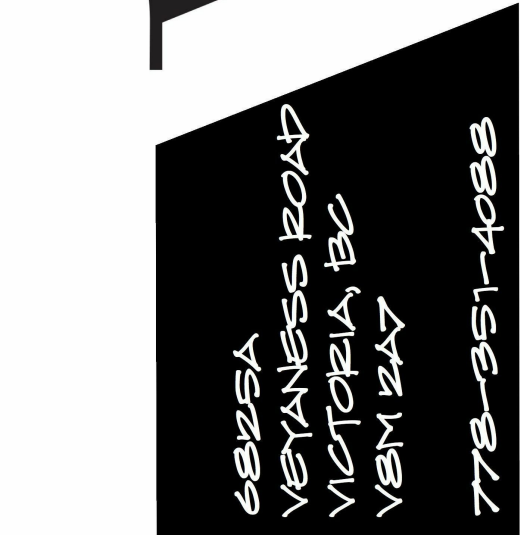
2921 Gosworth Rd.  
Victoria, BC

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE	
LOT B - Elevations	
SHEET ISSUE DATE	
JAN. 25, 2019	
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE
A4	
SCALE As indicated	





2921 Gosworth Rd.  
Victoria, BC

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

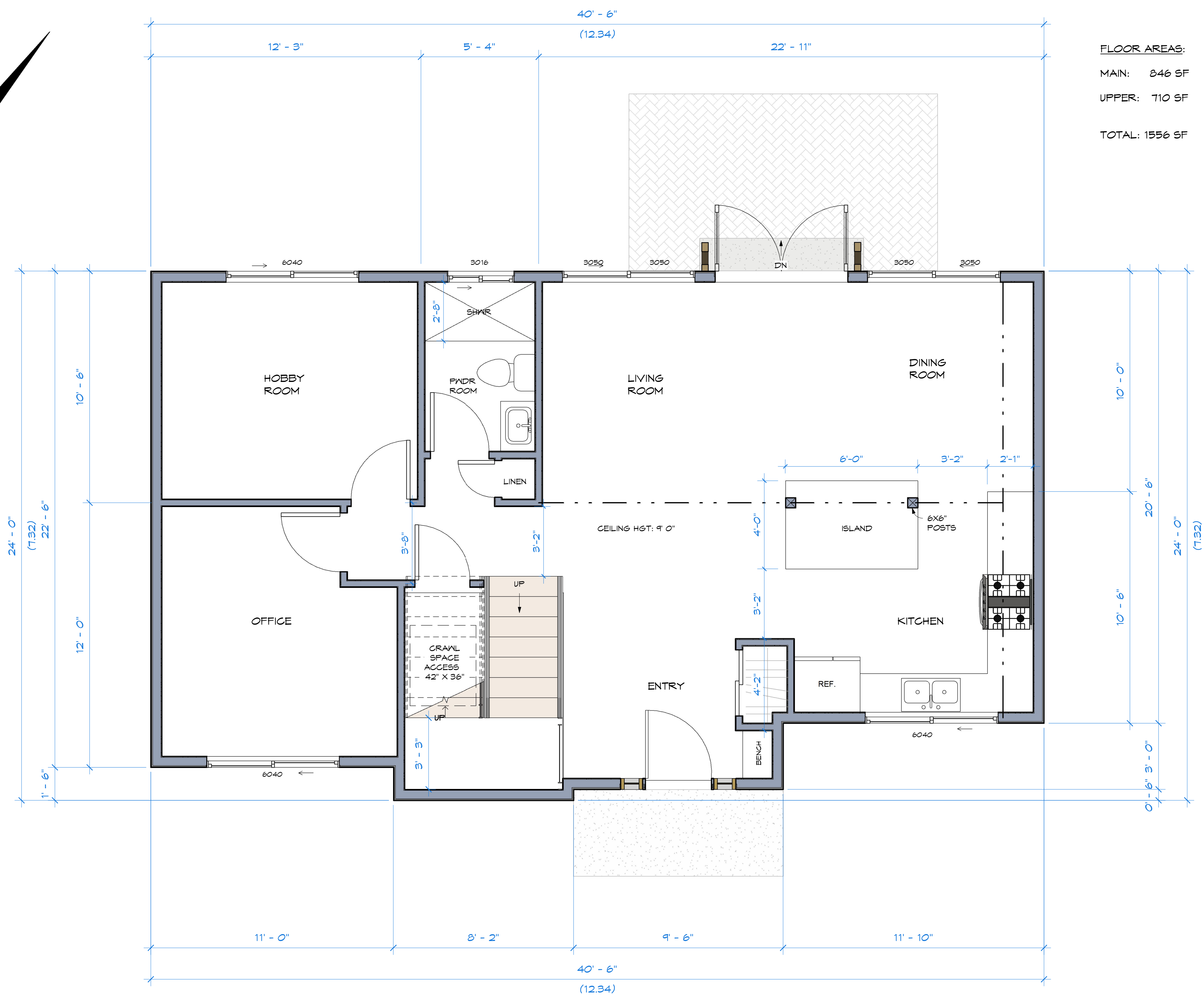
LOT B - Foundation  
Plan

SHEET ISSUE DATE	
JAN. 25, 2019	
PROJECT NUMBER	1817
DRAWN BY	AJW
CHECKED BY	DE

A5

SCALE As indicated





① Main Level  
1:32



2921 Gosworth Rd.  
Victoria, BC

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

LOT B - Main Floor  
Plan

SHEET ISSUE DATE

JAN. 25, 2019

PROJECT NUMBER	1817
----------------	------

DRAWN BY	AJW
----------	-----

CHECKED BY	DE
------------	----

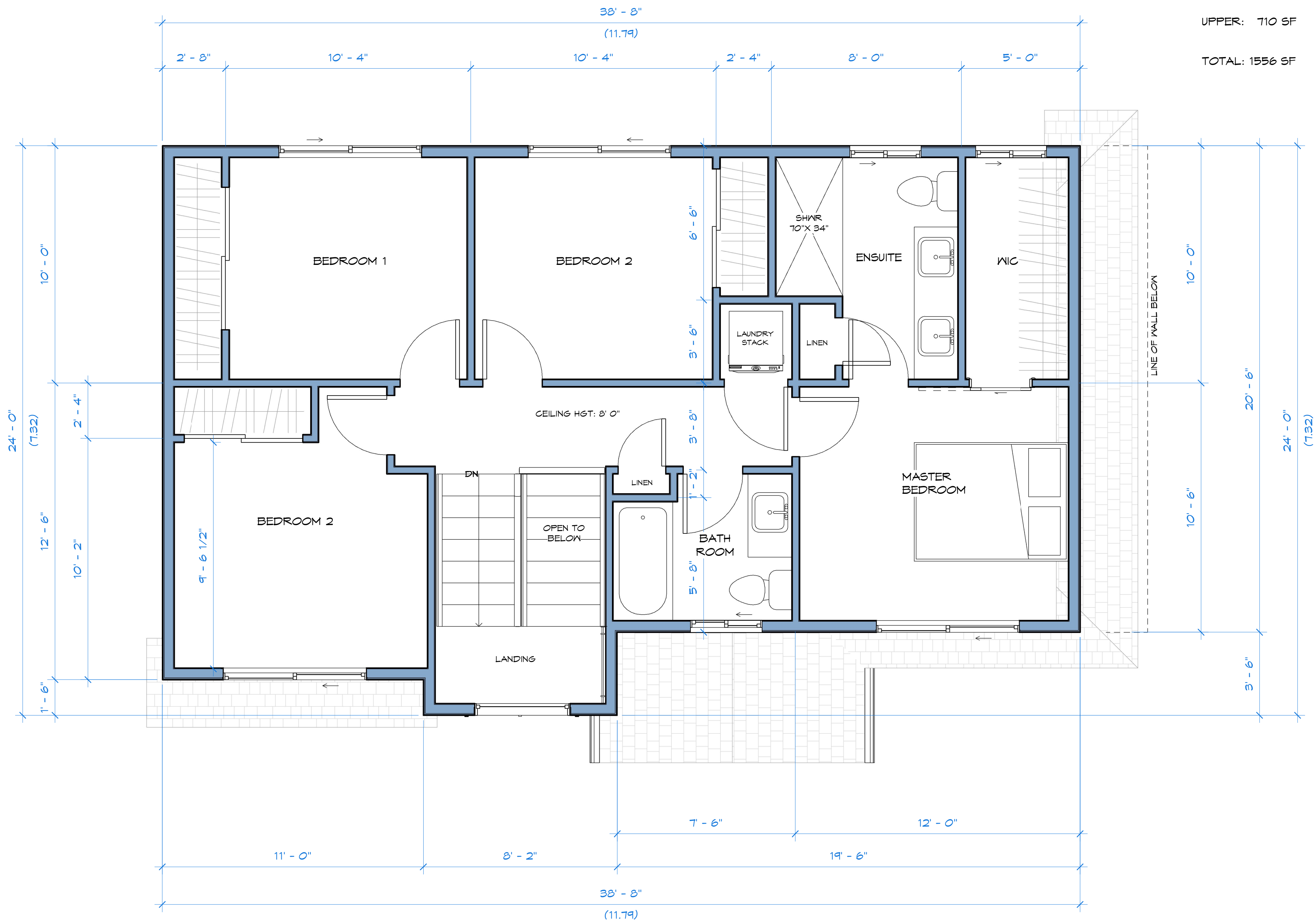
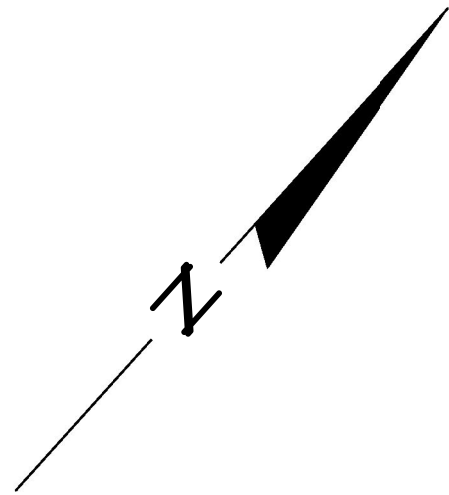
A6

SCALE	As indicated
-------	--------------



Z:\DESIGN ONLY\2921 GOSWORTH REZONING\A - Design\99 - REVIT models\Gosworth 2-smallified.rvt

① Upper Level  
1:32



FLOOR AREAS:  
MAIN: 846 SF  
UPPER: 710 SF  
TOTAL: 1556 SF



**Villamar**<sup>DESIGN</sup>

6825A  
VICTANESS ROAD  
VICTORIA, BC  
V8M 2A7  
778-951-4088

2921 Gosworth Rd.  
Victoria, BC

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

LOT B - Upper  
Floor Plan

SHEET ISSUE DATE	JAN. 25, 2019
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE

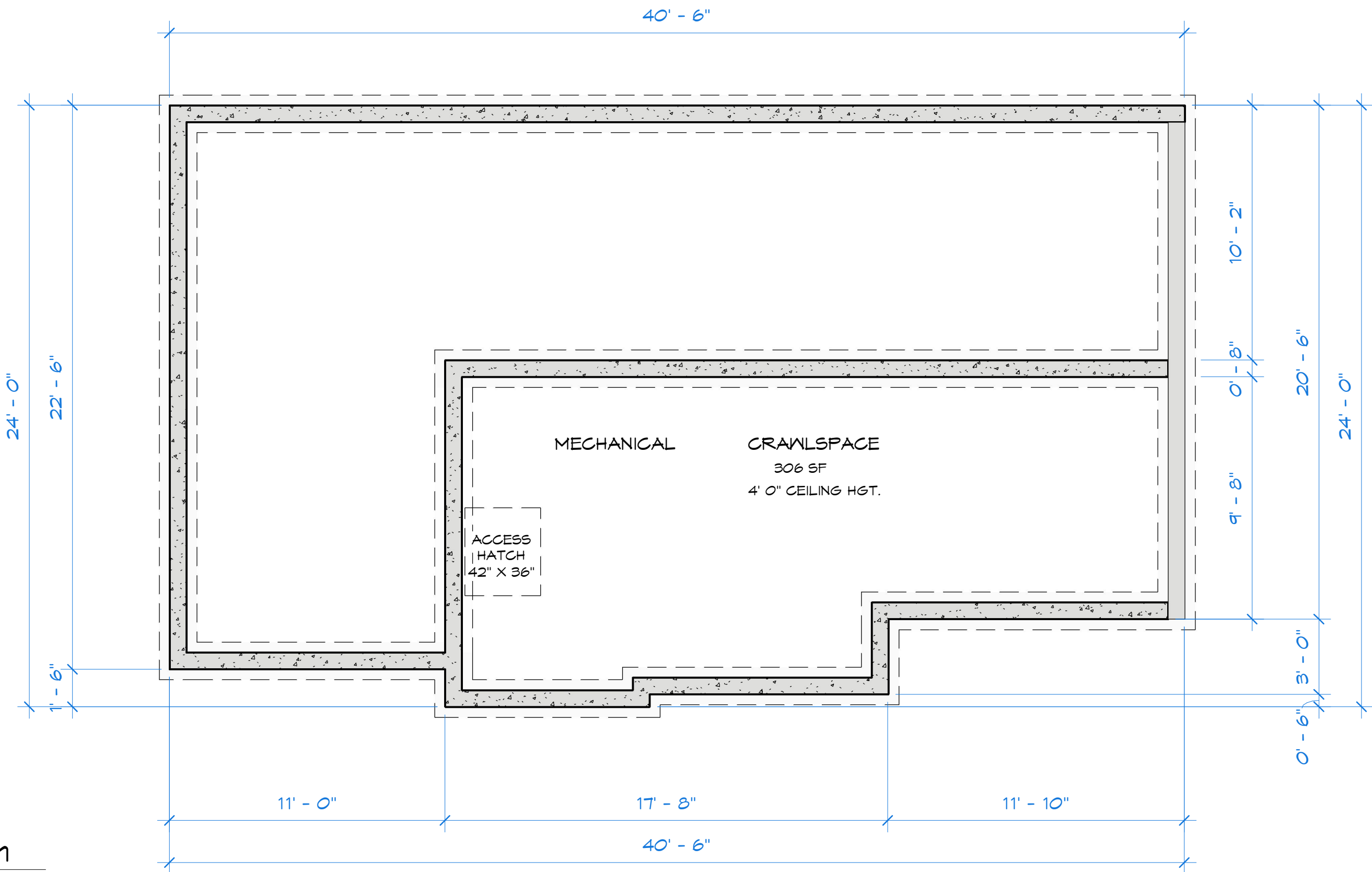
A7

SCALE As indicated

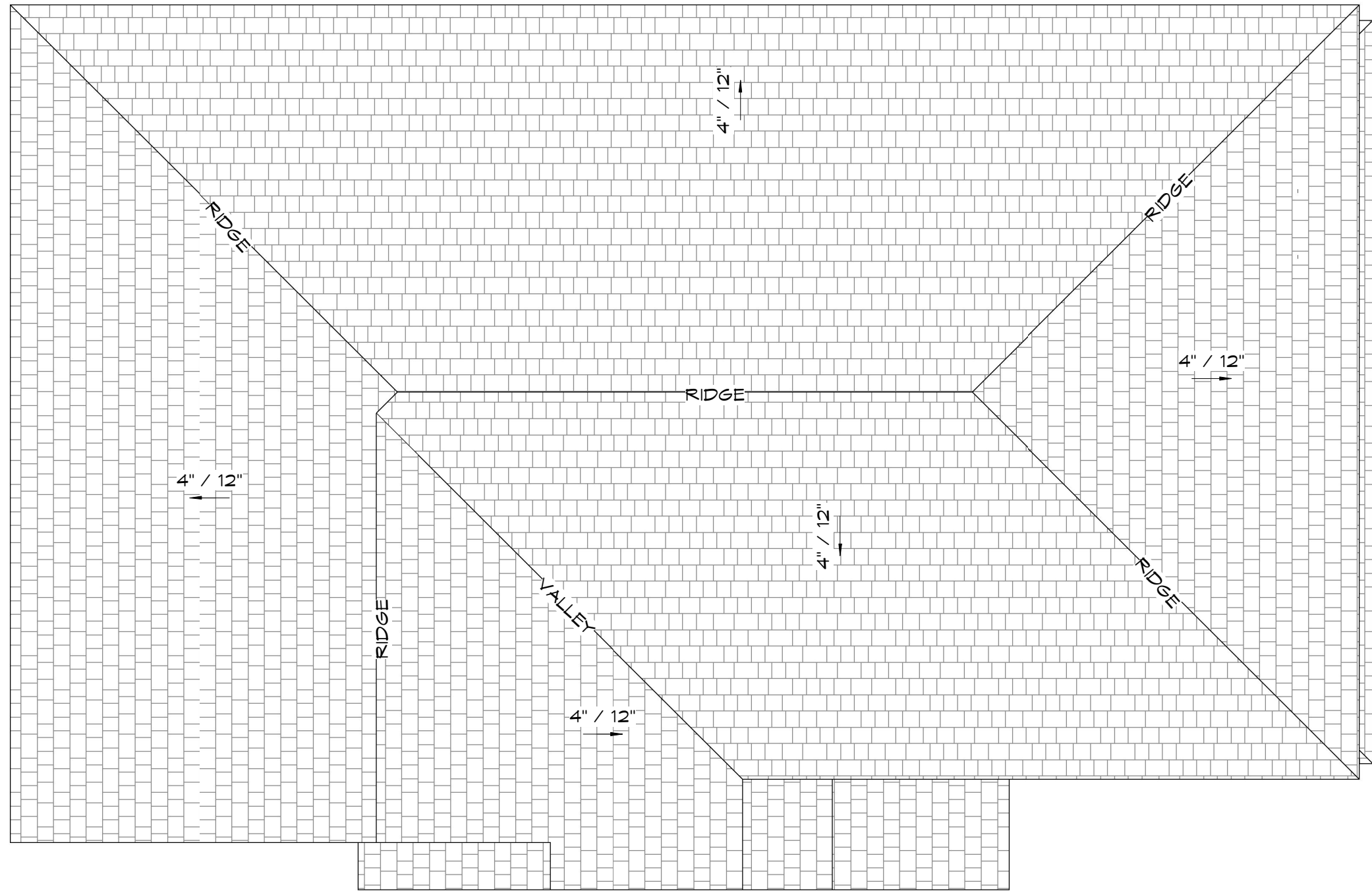


Z:\DESIGN ONLY\2921 GOSWORTH REZONING\A - Design\99 - REVIT models\Gosworth 2-small\rfd.rvt

② Foundation Plan  
1/4" = 1'-0"



① Roof Plan  
1/4" = 1'-0"



ROOF AREAS:

MAIN ROOF: 1170 SF  
LOWER ROOFS: 192 SF

TOTAL: 1362 SF

\* THIS IS FOR REFERENCE ONLY  
AND MUST BE CONFIRMED BY  
ROOFING CONTRACTOR

Villamar<sup>DESIGN</sup>

6805A  
VETANESS ROAD  
VICTORIA, BC  
V8M 2A7  
778-951-4088

2921 Gosworth Rd.  
Victoria, BC

29GOS21  
Holdings Ltd.

DATE	ISSUED FOR
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

LOT B - Foundation  
and Roof Plan

SHEET ISSUE DATE	JAN. 25, 2019
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE

A8

SCALE As indicated





INTERLOCKING PAYER PATIO & WALKWAYS



GROUNDCOVERS AND PERENNIALS



ROCK BOULDERS IN PLANTING AREA



COLOUR AND TEXTURE PLANTIS SCHEME



**LEGEND**  
**HARDSCAPE FINISHES:**  

PP1

Permeable paving to meet current 2018 City of Victoria standards

PP2

Concrete unit permeable paving [Permeable paving to meet current 2018 City of Victoria standards]

PP3

Municipal road or sidewalk(s) , and/or existing paving to remain.

PP4

Crushed granular screenings

  
**SOFTSCAPE:**  

Lawn

Planting area

  
**MISCELLANEOUS:**  

Wooden perimeter fencing /screening approx. 1500-1800mm height

Large rock boulders approx 4' x3' dia.

Concrete or mortared rock retaining/upstand walls; Heights vary.

  
**NOTES:**  

1) All building layout information and setback dimensions supplied by Villamar Design.

2) All survey information supplied by Glen Mitchell BCLS and Wey Mayenburg BCLS

3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.

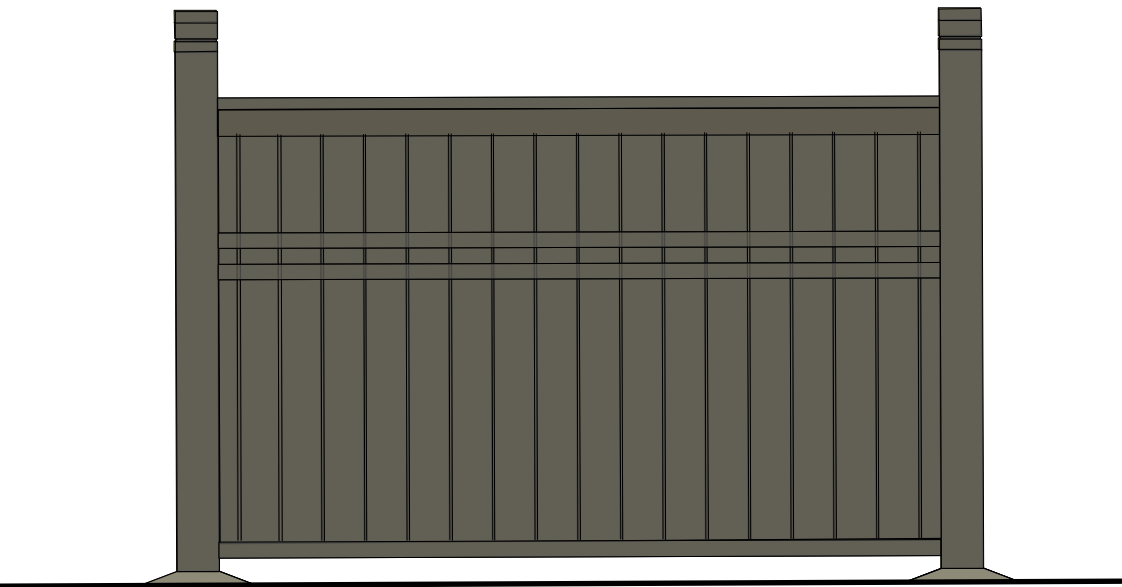
4) All errors and omissions must be reported immediately to the Designer.

5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.

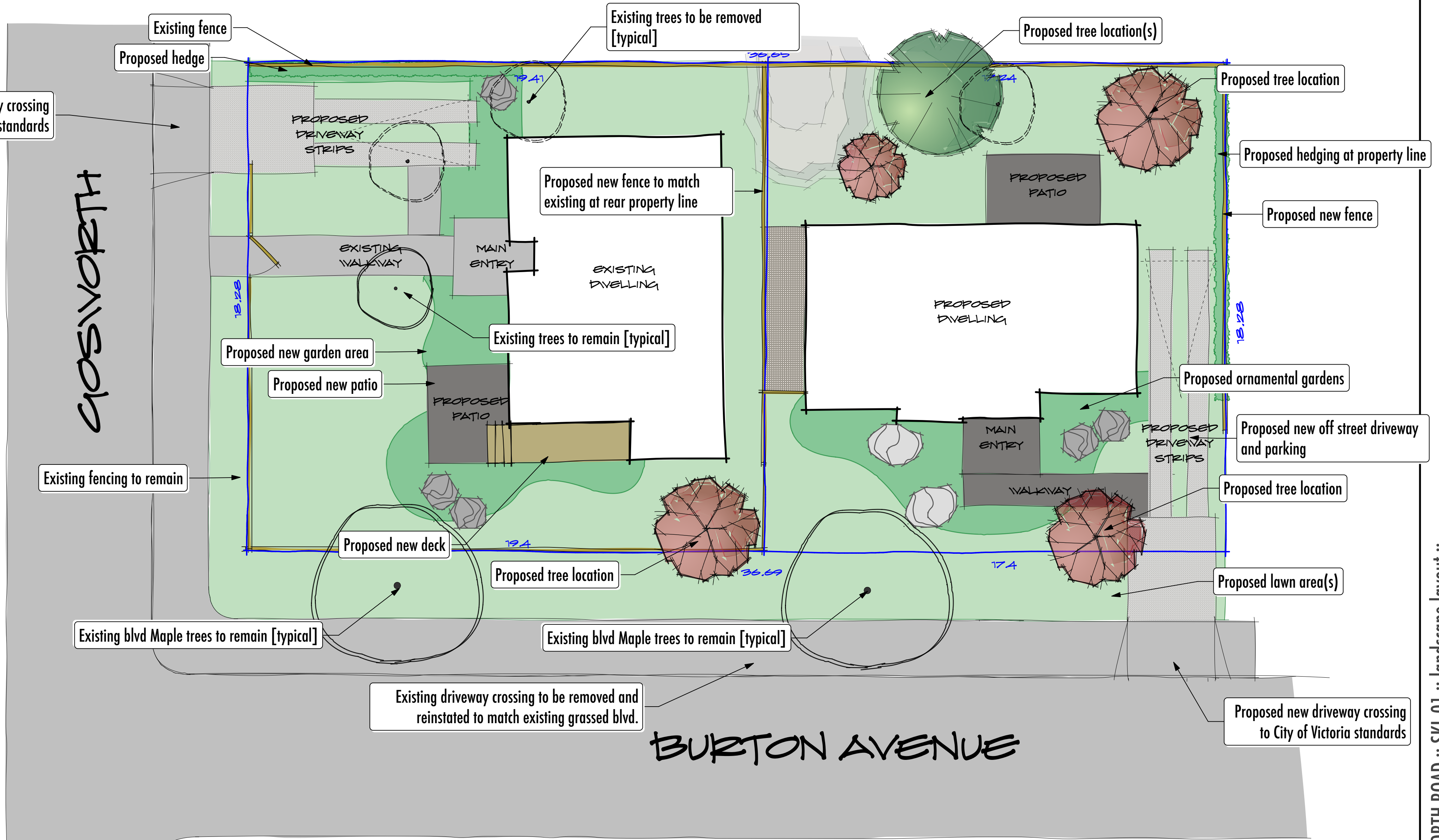
RECOMMENDED PLANT LIST			
BOTANICAL NAME	COMMON NAME	SIZE /REMARKS	
TREES			
Acer rubrum Crimson Sentry	Crimson Sentry Maple	6cm. cal. /B&B	
Acer palmatum Bloodgood	Bloodgood Japanese Maple	2.4M ht.	
Acer circinatum**	Vine Maple	2.0M ht.	
Fagus sylv. Dawyckii Gold	Columnar Gold Beech	3.5M ht.	
Liquidambar styraciflua	American Sweetgum	6cm. cal. /B&B	
SHRUBS & PERENNIALS			
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#3 Pot	
Camelia Japonica	Pink Flowering Camelia	#5 Pot	
Calamagrostis x acutiflora Karl Foerster	Karl Foerster Grass	#2 Pot	
Ceanothus	California Lilac	1.5M. Ht.	
Erysimum cheiri. Bowles Mauve	English Wallflower	#1 Pot	
Echinacea purpurea	Purple Echinacea	#1 Pot	
Euphorbia wulfenii	Wall's Euphorbia	#2 Pot	
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot	
Hamamelis Int. Jellena	Orange Witch Hazel	1.5M. Ht.	
Lavandula Munstead	English Lavender	#1 Pot	
Liriope Muscari	Big Blue Lily Turf	#1 Pot	
Magnolia Kickii	Purple Magnolia	#5 Pot	
Mahonia aquifolium**	Oregon Grape	#3 Pot	
Pennisetum alop. Orientale	Oriental Fountain Grass	#1 Pot	
Pennisetum alop. Little Bunny	Little Bunny Grass	#1 Pot	
Phormium tenax Amazing Red	Dwarf NZ Flax	#5 Pot	
Phormium tenax Sundowner	Bronze NZ Flax	#5 Pot	
Ribes Sang. King Edward**	Ornamental Currant	#5 Pot	
Rosemary Officinalis	Rosemary	#3 Pot	
Rudbeckia Fulgida	Orange Coneflower	#1 Pot	
Spiraea x bumalda Goldflame	Goldflame Spirea	#2 Pot	
VINES & GROUNDCOVER			
Arctostaphylos uva ursi**	Kinnickinnick	SP3	
Thymus pseudolanuginosus	Wooly Thyme	SP3	
Parthenocissus Tricus. Veitchii	Boston Ivy	#2 Pot / Staked	
** indigenous plants for consideration in these new garden areas			

**NOTES:**

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition). All growing medium to comply to BCLSA/ BCLNA standard designation "TP - Level-1 Well Groomed Areas". Underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved. Driveway material to be permeable. Walkways and patios to be interlocking brick pavers (concrete unit pavers). Fencing to be built to match existing perimeter fencing. All new fencing to meet the City of Victoria bylaws for height and extent. All new fence posts to have metal bracket connections set into concrete piers or drilled into rock and epoxied. Existing fence in parent property to remain as is. All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arbourist where necessary. Arbourist to install tree protection fencing for all affected boulevard trees and existing trees to remain (on site) where necessary. Boulevard landscape to remain unchanged from existing.



PERIMETER FENCING / SCREENING NTS



SKL.01  
20.JULY.2018  
1:100  
LATEST REVISION: 07.DECEMBER.2018

# 2921 GOSWORTH ROAD LANDSCAPE LAYOUT

**STUDIO  
ONE  
CREATIVE**  
PHONE: 250-881-0706  
EMAIL: DENSING@MAC.COM