

NO. 19-009

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the R-2-T Zone, Two Single Family Dwelling District, and to rezone land known as 1276 and 1278 Gladstone Avenue from the R1-B Zone, Single Family Dwelling District, to the R-2-T Zone, Two Single Family Dwelling District.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT
BYLAW (NO. 1166)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of
Schedule “B” under the caption PART 2 – Attached Dwelling Zones by adding the
following words:

“2.149 R-2-T Zone, Two Single Family Dwellings District”

- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 2.148
the provisions contained in Schedule 1 of this Bylaw.
- 4 The land known as 1276 and 1278 Gladstone Avenue, legally described as PID 009-
166-084, Lot 2, Section 61, Spring Ridge, Victoria City, Plan 312 and shown hatched on
the attached map, is removed from the R1-B Zone, Single Family Dwelling District, and
placed in the R-2-T Zone, Two Single Family Dwelling District.

READ A FIRST TIME the day of 2019

READ A SECOND TIME the _____ day of _____ 2019

Public hearing held on the _____ day of _____ 2019

READ A THIRD TIME the _____ day of _____ 2019

ADOPTED on the _____ day of _____ 2019

CITY CLERK

MAYOR

PART 2.149 – R-2-T ZONE, TWO SINGLE FAMILY DWELLINGS DISTRICT**2.149.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Uses permitted in the R1-B Zone, Single Family Dwelling District, subject to the regulations set out in Part 1.2 of the Zoning Regulation Bylaw
- b. Up to 2 single family dwellings, subject to regulations in this Part

2.149.2 Definition

For the purposes of Part 2.149, the North Building is defined as the building on the northern portion of the lot, and the South Building is defined as the building on the southern portion of the lot.

2.149.3 Lot Area

a. <u>Lot area</u> (minimum)	625m ²
b. <u>Lot width</u> (minimum)	13.74m average <u>lot width</u>

2.149.4 Floor Area, Floor Space Ratio, Site Coverage

a. <u>Floor space ratio</u> (maximum)	0.3:1
b. <u>Site Coverage</u> (maximum)	40%

2.149.5 South Building Height, Storeys, Floor Area

a. <u>Total floor area</u> (m) – maximum	90m ²
b. Combined floor <u>area</u> (m) – maximum	132m ²
c. <u>Building height</u> (maximum)	5.5m
d. <u>Storeys</u> (maximum)	1 storey
e. <u>Roof Deck</u> – not permitted	
f. <u>Basement</u> – permitted	

Schedule 1

PART 2.149 – R-2-T ZONE, TWO SINGLE FAMILY DWELLINGS DISTRICT

2.149.6 South Building Setbacks

a. <u>Setback</u> from Gladstone Avenue – minimum	4.7m
b. Rear – minimum	30m
i. Projections (stairs) – maximum	3m
c. Side (east) – minimum	3.5m
d. Side (west) – minimum	0.5m
e. <u>Combined side yard</u> – minimum	4m

2.149.7 North Building Height, Storeys, Floor Area

a. <u>Total floor area</u> (m) – maximum	80m ²
b. Combined floor <u>area</u> (m) – maximum	160m ²
c. <u>Building height</u> – maximum	5.6m
d. <u>Storeys</u> – maximum	1 storey
e. <u>Roof Deck</u> – not permitted	
f. <u>Basement</u> – permitted	

2.149.8 North Building Setbacks

a. <u>Setback</u> from Gladstone Avenue (front) – minimum	25m
i. Projections (stairs) – maximum	2.5m
b. Rear – minimum	5.4m
i. Projections (stairs) – maximum	2.6m
c. Side (east) – minimum	0.9m
d. Side (west) – minimum	3.5m
e. <u>Combined side yard</u> – minimum	4.4m

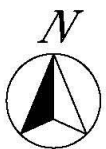
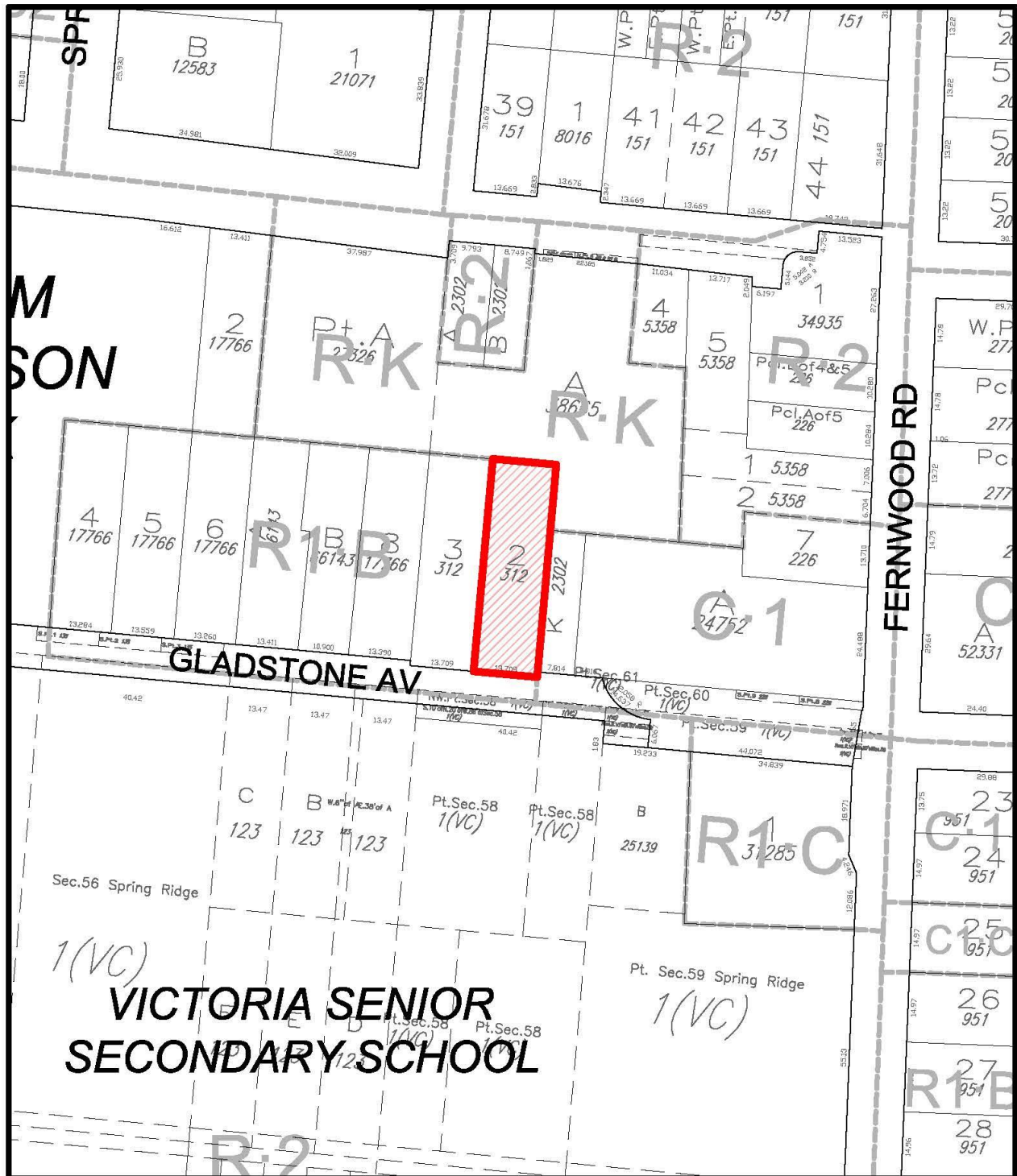
2.149.9 Parking

The regulations in Schedule "C" shall apply in this Zone.

PART 2.149 – R-2-T ZONE, TWO SINGLE FAMILY DWELLINGS DISTRICT

2.149.10 General Regulations

Except as provided in this Part, the regulations applicable to the R1-B Zone, Single Family Dwelling District apply in this Zone.



1276 & 1278 Gladstone Avenue
Rezoning No.00629

