



Council Report

For the Meeting of April 11, 2019

To: Council **Date:** March 28, 2019

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: **Update: Development Permit with Variances No. 00090 for 1491 Edgeware Road and 2750 Gosworth Road**

RECOMMENDATION

Development Permit with Variances Application No. 00090

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00659, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00090 for 1491 Edgeware Road and 2750 Gosworth Road, in accordance with:

1. Plans date stamped January 15, 2019.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:

Proposed Lot 1

- i. decrease the lot width from 10.0m to 9.99m
- ii. decrease the front yard setback from 6.00m to 2.48 m
- iii. decrease the rear yard setback from 6.00m to 1.50m
- iv. decrease the front yard setback for an accessory building from 18.0m to 3.74m
- v. allow an accessory building to be located in the side yard.

Proposed Lot 2

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.79%.

Proposed Lot 3

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.4%.

Proposed Lot 4

- i. decrease the minimum side yard setback with a habitable window from 2.40m to 1.50m.

3. The Development Permit lapsing two years from the date of this resolution.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with the revised landscape plans for this Development Permit with Variances application. The proposal is to build four small lot single family dwellings.

On March 14, 2019, Council passed a motion to refine the landscape plans and correct inconsistencies to the Satisfaction of the Director of Sustainable Planning and Community Development. The applicant has made those changes and staff have revised the motion to change the date of the plans and remove this requirement, as it has been addressed.

Additionally, as per Council's motion for staff to provide information and advice on traffic calming on Gosworth Road, the Director of Engineering and Public Works will provide this information verbally at a Public Hearing.

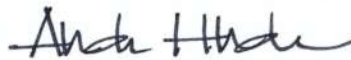
CONCLUSIONS

As per Council's motion on March 14, 2019, the applicant has revised the landscape plan. Additionally, staff are prepared to provide information on traffic calming on Gosworth Road. As the applicant has carried out the recommendations set forth by Council, staff recommend that the application advance to a Public Hearing.

Respectfully submitted,



Chelsea Medd
Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: April 5, 2019

List of Attachments

- Attachment A: Motion from March 14, 2019 Council Meeting
- Attachment B: Plans dated January 15, 2019 (Landscape Plan received March 28, 2019 and deemed January 15, 2019).

3. 1491 Edgeware Road & 2750 Gosworth Road - Rezoning Application No. 00659 & Development Permit with Variances Application No. 00090 (Oaklands)

Motion:

Rezoning Application No. 00659

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00659 for 1491 Edgeware Road and 2750 Gosworth Road, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set.

Development Permit with Variances Application No. 00090

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00659, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00090 for 1491 Edgeware Road and 2750 Gosworth Road, in accordance with:

1. Plans date stamped January 15, 2019.
2. Prior to issuance of the Development Permit with Variances, refine plans to include detailed elevations of fences and landscape screens meeting all bylaws, and making revisions to the landscape plan in order to correct inconsistencies to the Satisfaction of the Director of Sustainable Planning and Community Development.
3. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:

Proposed Lot 1

- i. decrease the lot width from 10.0m to 9.99m
- ii. decrease the front yard setback from 6.00m to 2.48 m
- iii. decrease the rear yard setback from 6.00m to 1.50m
- iv. decrease the front yard setback for an accessory building from 18.0m to 3.74m
- v. allow an accessory building to be located in the side yard.

Proposed Lot 2

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.79%.

Proposed Lot 3

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.4%.

Proposed Lot 4

- i. decrease the minimum side yard setback with a habitable window from 2.40m to 1.50m.

4. The Development Permit lapsing two years from the date of this resolution.

And that staff be directed to provide information and advice regarding traffic calming on Gosworth and provide this information in conjunction with the public hearing.

Carried

SKETCH PLAN OF:

Civic: 1491 Edgeware Road & 2750 Gosworth Road

Legal Lots 12 & 13, Block 25, Section 29-30

Victoria District, Plan 19

Parcel Identifier: 009-345-183 & 009-346-376

In the City of Victoria

LEGEND

Elevations are to geodetic datum.

CB ■ - denotes - catch basin

UPL ○ - denotes - utility pole with light

WM ⊗ - denotes - water meter

+ - denotes - existing elevation

Tree diameters are in centimetres.

Am 26
Plan 1299



A
Plan

1 Existing Siteplan
Scale: 1:100

No.2740

Edgeware Road

12

13

Plan 19

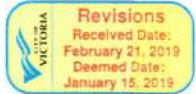
9634

Gosworth Road

CUBE
DEVELOPMENTS

"Four Oaks"

Existing
Site Plan



small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1:100

drawn by
NS

VICTORIA
DESIGN
GROUP

Date: 13/2/1

ATTACHMENT B

1491 EDGEWARE RD & 2750 GOSWORTH RD, VICTORIA, B.C.

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ATREE AVENUE
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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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SKETCH PLAN OF:

Civic: 1491 Edgeware Road & 2750 Gosworth Road
Legal Lots 12 & 13, Block 25, Section 29-30,

Victoria District, Plan 19

Parcel Identifier: 009-345-183 & 009-346-376
In the City of Victoria

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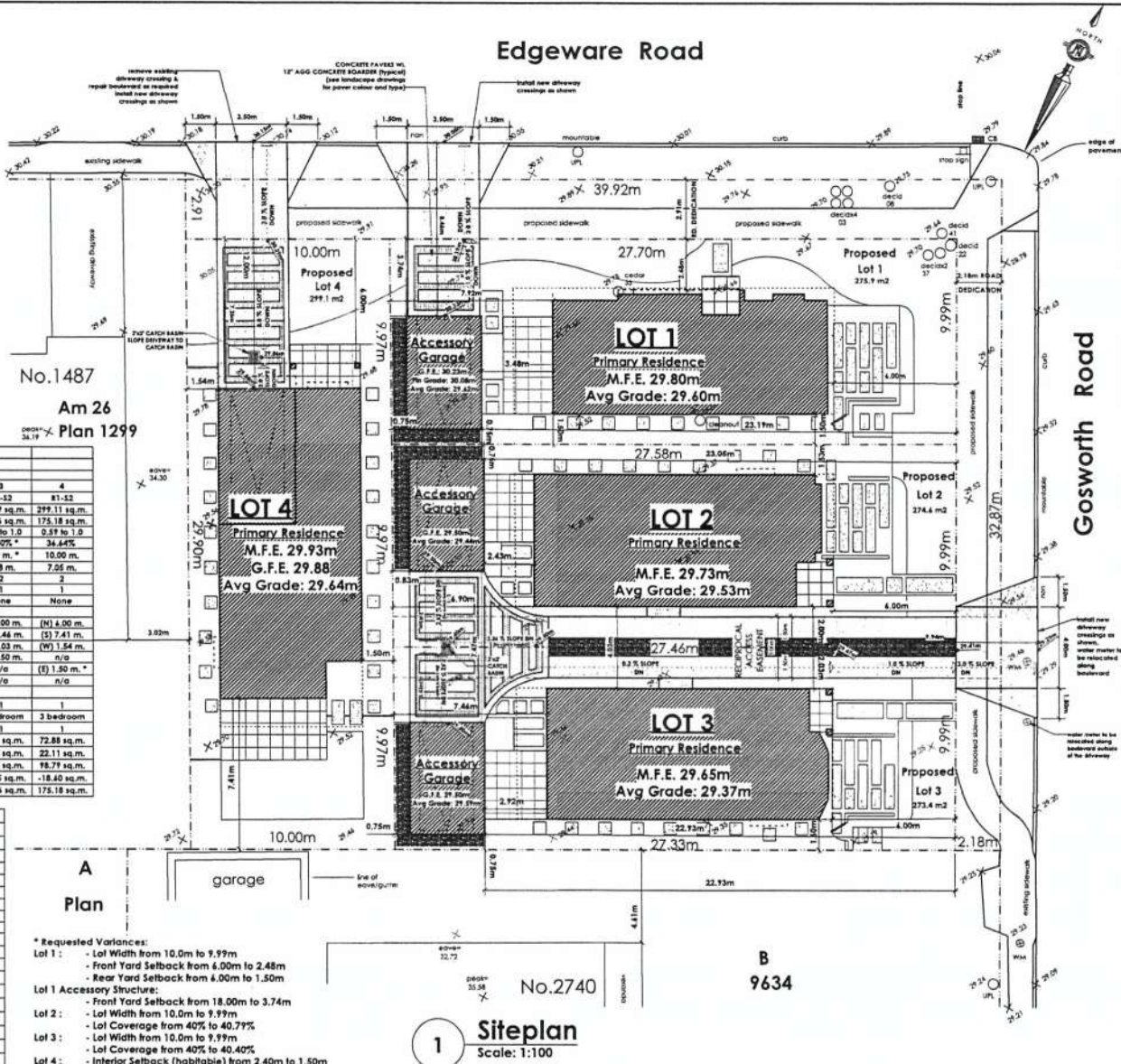
- CONCRETE DRIVEWAY
- PERMEABLE PAVERS

| PROJECT INFORMATION TABLE | | | | | |
|--|------------------|--------------|--------------|--------------|---------------|
| Zone (Existing) | R1-B | | | | |
| Lot Number | Permitted | 1 | 2 | 3 | 4 |
| Zone (Proposed) | R1-S2 | R1-S2 | R1-S2 | R1-S2 | R1-S2 |
| Site Area | min. 240 sq.m. | 275.85 sq.m. | 274.42 sq.m. | 273.39 sq.m. | 273.11 sq.m. |
| Total Floor Area (sq.m.) | max. 190 sq.m. | 139.74 sq.m. | 143.20 sq.m. | 142.34 sq.m. | 175.18 sq.m. |
| Floor Space Ratio | max. 0.40 to 1.0 | 0.51 to 1.0 | 0.51 to 1.0 | 0.51 to 1.0 | 0.51 to 1.0 |
| Site Coverage % | max. 40 % | 35.51% | 40.77% | 40.40% | 34.44% |
| Frontage of a lot on a street | min. 10.00 m. | 9.99 m. * | 9.99 m. * | 9.99 m. * | 10.00 m. |
| Height of building (m) | max. 7.50 m. | 7.49 m. | 7.48 m. | 7.38 m. | 7.95 m. |
| Number of storeys | max. 2 | 2 | 2 | 2 | 3 |
| Parking stalls (number) on site | 1 per dwelling | 1 | 1 | 1 | 1 |
| Bicycle Parking (storage and rack) | N/A | None | None | None | None |
| Building Setbacks (m) | | | | | |
| Front Yard | min. 4.00 m. | (N) 2.48 * | (E) 4.00 m. | (E) 4.00 m. | (N) 4.00 m. |
| Rear Yard to building | min. 4.00 m. | (S) 1.50 * | (W) 4.00 m. | (W) 7.46 m. | (S) 7.41 m. |
| Side Yard | min. 1.50 m. | (W) 7.92 m. | (N) 1.53 m. | (N) 2.03 m. | (W) 1.54 m. |
| Side Yard | min. 1.50 m. | n/a | (S) 2.00 m. | (S) 1.50 m. | n/a |
| Side Yard with Habitable Space and Window(s) | min. 2.40 m. | n/a | n/a | n/a | (S) 1.50 m. * |
| Flanking Street | min. 2.40 m. | (E) 4.00 m. | n/a | n/a | n/a |
| Residential Use Details | | | | | |
| Total Number of Units | 1 | 1 | 1 | 1 | 1 |
| Unit Type, e.g., 1 Bedroom | 3 bedroom | 3 bedroom | 3 bedroom | 3 bedroom | 3 bedroom |
| Ground-Oriented Units | 1 | 1 | 1 | 1 | 1 |
| First Storey Area (Excluding Garage Area) | 41.71 sq.m. | 81.83 sq.m. | 80.51 sq.m. | 72.88 sq.m. | |
| Garage Area | 18.25 sq.m. | 18.25 sq.m. | 18.25 sq.m. | 18.25 sq.m. | 22.11 sq.m. |
| Second Storey Area | 41.85 sq.m. | 81.37 sq.m. | 81.85 sq.m. | 18.79 sq.m. | |
| Garage Exemption | max. 18.40 sq.m. | -18.25 sq.m. | -18.25 sq.m. | -18.25 sq.m. | -18.40 sq.m. |
| Total Floor Area | | 139.74 sq.m. | 143.20 sq.m. | 142.34 sq.m. | 175.18 sq.m. |

| PROJECT INFORMATION TABLE (Accessory) | | | | |
|---------------------------------------|---------------|---------------|--------------|--------------|
| Lot Number | Permitted | 1 | 2 | 3 |
| Zone (Proposed) | R1-S2 | R1-S2 | R1-S2 | R1-S2 |
| Site Area (sq.m.) | | 275.85 sq.m. | 274.42 sq.m. | 273.39 sq.m. |
| Rear yard area | | 41.39 sq.m. | 47.03 sq.m. | 74.32 sq.m. |
| Rear yard site coverage % | max. 30 % | 4.42% | 26.44% | 24.56% |
| Height of building (m) | max. 4.00 m. | 3.82 m. | 3.32 m. | 3.28 m. |
| Number of storeys | | 1 | 1 | 1 |
| Building Setbacks (m) | | | | |
| Front yard | min. 18.00 m. | (N) 3.74 m. * | 23.05 m. | 22.93 m. |
| Rear yard | min. 0.40 m. | (S) 0.75 m. | 0.83 m. | 0.75 m. |
| Side yard | min. 0.40 m. | n/a | (N) 0.75 m. | (N) 3.73 m. |
| Side yard | min. 0.40 m. | (W) 0.75 m. | (S) 3.74 m. | (S) 0.75 m. |
| Flanking Street Setback | min. 2.40 m. | (S) 23.19 m. | n/a | n/a |
| Between buildings | min. 2.40 m. | 3.48 m. | 2.43 m. | 2.92 m. |
| Residential Use Details | | | | |
| Total number of units | 1 | 1 | 1 | 1 |
| Unit type, e.g., 1 bedroom | Garage | Garage | Garage | Garage |
| Ground-oriented units | 1 | 1 | 1 | 1 |
| Garage Area | | 18.25 sq.m. | 18.25 sq.m. | 18.25 sq.m. |

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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION

CUBE
DEVELOPMENTS

"Four Oaks"

Site Plan

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150
scale
1:100
drawn by
NS

VICTORIA
DESIGN
GROUP

Date: 13/2/19

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Edgware Road

AVERAGE GRADE CALCULATION: LOT 1

| | |
|---------|-------------------------------------|
| A to B: | (29.45 + 29.65) ÷ 2 × 5.49 = 142.80 |
| B to C: | (29.55 + 29.52) ÷ 2 × 1.41 = 29.54 |
| C to D: | (29.52 + 29.45) ÷ 2 × 5.49 = 142.42 |
| D to E: | (29.45 + 29.45) ÷ 2 × 3.20 = 94.88 |
| E to F: | (29.45 + 29.45) ÷ 2 × 0.20 = 8.90 |
| F to G: | (29.45 + 29.45) ÷ 2 × 4.11 = 121.84 |
| G to H: | (29.45 + 29.45) ÷ 2 × 5.97 = 88.74 |
| H to I: | (29.45 + 29.45) ÷ 2 × 1.83 = 54.24 |
| I to J: | (29.45 + 29.45) ÷ 2 × 1.17 = 34.49 |
| J to K: | (29.45 + 29.45) ÷ 2 × 0.25 = 7.41 |
| K to L: | (29.45 + 29.45) ÷ 2 × 0.51 = 15.12 |
| L to M: | (29.45 + 29.45) ÷ 2 × 1.37 = 40.42 |
| M to N: | (29.45 + 29.45) ÷ 2 × 0.30 = 8.90 |
| N to O: | (29.45 + 29.45) ÷ 2 × 1.52 = 45.07 |
| O to P: | (29.45 + 29.45) ÷ 2 × 0.30 = 8.90 |
| P to A: | (29.45 + 29.45) ÷ 2 × 1.12 = 33.21 |

Total = 1223.56

Average Grade: 1223.56 / 41.34 = 29.60m

AVERAGE GRADE CALCULATION: GARAGE LOT 1

| | |
|---------|-------------------------------------|
| A to B: | (29.71 + 29.52) ÷ 2 × 5.49 = 142.47 |
| B to C: | (29.55 + 29.52) ÷ 2 × 3.44 = 108.10 |
| C to D: | (29.52 + 29.71) ÷ 2 × 5.49 = 142.59 |
| D to A: | (29.71 + 29.71) ÷ 2 × 3.44 = 108.74 |

Total = 542.09

Average Grade: 542.09 / 18.30 = 29.62m

AVERAGE GRADE CALCULATION: LOT 2

| | |
|---------|--------------------------------------|
| A to B: | (29.44 + 29.45) ÷ 2 × 1.38 = 98.74 |
| B to C: | (29.52 + 29.52) ÷ 2 × 0.30 = 8.84 |
| C to D: | (29.52 + 29.52) ÷ 2 × 0.44 = 13.58 |
| D to E: | (29.52 + 29.52) ÷ 2 × 0.34 = 25.40 |
| E to F: | (29.52 + 29.52) ÷ 2 × 2.19 = 44.67 |
| F to G: | (29.52 + 29.52) ÷ 2 × 14.58 = 436.65 |
| G to H: | (29.52 + 29.52) ÷ 2 × 1.45 = 194.47 |
| H to I: | (29.52 + 29.52) ÷ 2 × 13.72 = 405.18 |
| I to J: | (29.52 + 29.52) ÷ 2 × 0.44 = 13.58 |
| J to A: | (29.52 + 29.44) ÷ 2 × 0.30 = 8.85 |

Total = 1259.84

Average Grade: 1259.84 / 42.67 = 29.53m

AVERAGE GRADE CALCULATION: GARAGE LOT 2

| | |
|---------|-------------------------------------|
| A to B: | (29.50 + 29.37) ÷ 2 × 5.49 = 141.40 |
| B to C: | (29.37 + 29.37) ÷ 2 × 3.44 = 107.49 |
| C to D: | (29.37 + 29.50) ÷ 2 × 5.49 = 141.40 |
| D to A: | (29.50 + 29.50) ÷ 2 × 3.44 = 107.17 |

Total = 538.66

Average Grade: 538.66 / 23.40 = 29.44m

AVERAGE GRADE CALCULATION: LOT 3

| | |
|---------|--------------------------------------|
| A to B: | (29.37 + 29.31) ÷ 2 × 2.34 = 68.44 |
| B to C: | (29.31 + 29.31) ÷ 2 × 0.51 = 17.29 |
| C to D: | (29.31 + 29.30) ÷ 2 × 0.92 = 24.74 |
| D to E: | (29.30 + 29.29) ÷ 2 × 2.29 = 67.09 |
| E to F: | (29.29 + 29.26) ÷ 2 × 1.01 = 31.90 |
| F to G: | (29.24 + 29.44) ÷ 2 × 13.24 = 387.06 |
| G to H: | (29.44 + 29.44) ÷ 2 × 0.49 = 188.89 |
| H to A: | (29.44 + 29.37) ÷ 2 × 13.92 = 401.32 |

Total = 1200.15

Average Grade: 1200.15 / 40.86 = 29.37m

AVERAGE GRADE CALCULATION: GARAGE LOT 3

| | |
|---------|-------------------------------------|
| A to B: | (29.45 + 29.45) ÷ 2 × 5.49 = 142.80 |
| B to C: | (29.50 + 29.50) ÷ 2 × 3.44 = 107.17 |
| C to D: | (29.50 + 29.45) ÷ 2 × 5.49 = 141.82 |
| D to A: | (29.45 + 29.45) ÷ 2 × 3.44 = 107.79 |

Total = 539.39

Average Grade: 539.39 / 18.30 = 29.48m

CUBE DEVELOPMENTS

"Four Oaks"

Site Plan - Average Grade Calculations

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale

1:100

drawn by NS

VICTORIA DESIGN GROUP

Date: 13/2/19

AVERAGE GRADE CALCULATION: LOT 4

| | |
|---------|--------------------------------------|
| A to B: | (29.73 + 29.73) ÷ 2 × 3.34 = 105.84 |
| B to C: | (29.73 + 29.73) ÷ 2 × 1.22 = 36.37 |
| C to D: | (29.73 + 29.48) ÷ 2 × 3.40 = 120.90 |
| D to E: | (29.48 + 29.50) ÷ 2 × 14.43 = 432.90 |
| E to F: | (29.50 + 29.50) ÷ 2 × 1.78 = 42.51 |
| F to G: | (29.50 + 29.51) ÷ 2 × 1.83 = 43.79 |
| G to H: | (29.51 + 29.41) ÷ 2 × 5.18 = 153.22 |
| H to A: | (29.41 + 29.73) ÷ 2 × 16.24 = 452.48 |

Total = 1388.21

Average Grade: 1388.21 / 46.84 = 29.64m

No.1487
Am 26
Plan 1299

A
Plan

* Requested Variances:

- Lot 1:
 - Lot Width from 10.0m to 9.99m
 - Front Yard Setback from 4.00m to 2.48m
 - Rear Yard Setback from 4.00m to 1.50m
- Lot 1 Accessory Structure:
 - Front Yard Setback from 18.00m to 3.74m
- Lot 2:
 - Lot Width from 10.0m to 9.99m
 - Lot Coverage from 40% to 40.79%
- Lot 3:
 - Lot Width from 10.0m to 9.99m
 - Lot Coverage from 40% to 40.40%
- Lot 4:
 - Inferior Setback (habitable) from 2.40m to 1.50m

1 Siteplan Grades
Scale: 1:100

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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION



1 **Lot 1 - Front Elevation**
Scale: 1/4" = 1'-0"



2 **Lot 1 - Right Side Elevation**
Scale: 1/4" = 1'-0"

| | | |
|------------------------|--|---|
| Cedar Shingles | | SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN |
| Board & Batten | | SHERWIN WILLIAMS - FOOTHILLS SW7514 |
| Conc. Fibre Lap Siding | | SHERWIN WILLIAMS - FOOTHILLS SW7514 |
| Trim | | SHERWIN WILLIAMS - BLACK FOX SW7020 |
| Entry Doors | | SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN |
| Roof | | ANTIQUE BLACK |
| Stone | | K2 STONE - PACIFIC ASHLAR |
| Gutter | | GENTEK - BLACK 525 |
| Windows | | BLACK |



3 **Lot 1 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 1 - Left Side Elevation**
Scale: 1/4" = 1'-0"

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1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 1
Colour
Elevations

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS



Date: 13/2/19

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1 **Lot 2 - Front Elevation**
Scale: 1/4" = 1'-0"



2 **Lot 2 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 2 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 2 - Left Side Elevation**
Scale: 1/4" = 1'-0"

| | | |
|----------------|--|---|
| Cedar Shingles | | SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN |
| Stucco | | BENJAMIN MOORE - KENDALL CHARCOAL HC-166 |
| Trim | | BENJAMIN MOORE - REVERE PEWTER HC-172 |
| Entry Doors | | SHERWIN WILLIAMS - TRICORN BLACK SW6258 |
| Roof | | ANTIQUE BLACK |
| Stone | | K2 STONE - PACIFIC ASHLAR |
| Gutter | | CASHMERE S14 |
| Windows | | WHITE |

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 2
Colour
Elevations

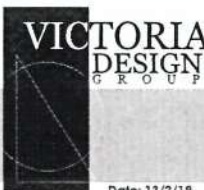
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1491
EDGEWARE RD
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drawing #
8150

scale
1/4" = 1'-0"

drawn by
NS



Date: 13/2/19

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1 **Lot 3 - Front Elevation**
Scale: 1/4" = 1'-0"



2 **Lot 3 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 3 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 3 - Left Side Elevation**
Scale: 1/4" = 1'-0"

| | | |
|----------------|--|---|
| Cedar Shingles | | SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN |
| Trim | | SHERWIN WILLIAMS - BLACK FOX SW7020 |
| Entry Doors | | SHERWIN WILLIAMS - BLACK FOX SW7020 |
| Roof | | ANTIQUE BLACK |
| Metal Roof | | WESTFORM - WEATHERED ZINC |
| Stone | | K2 STONE - PACIFIC ASHLAR |
| Gutter | | GENTEX - BLACK S2S |
| Windows | | BLACK |

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 3
Colour
Elevations

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"

drawn by
NS



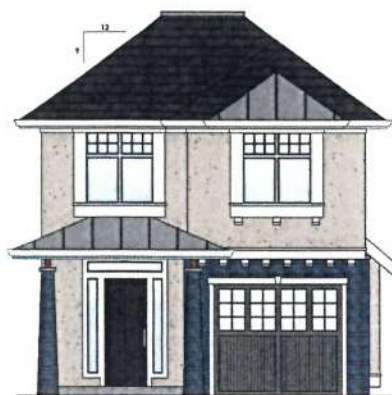
Date: 13/2/19

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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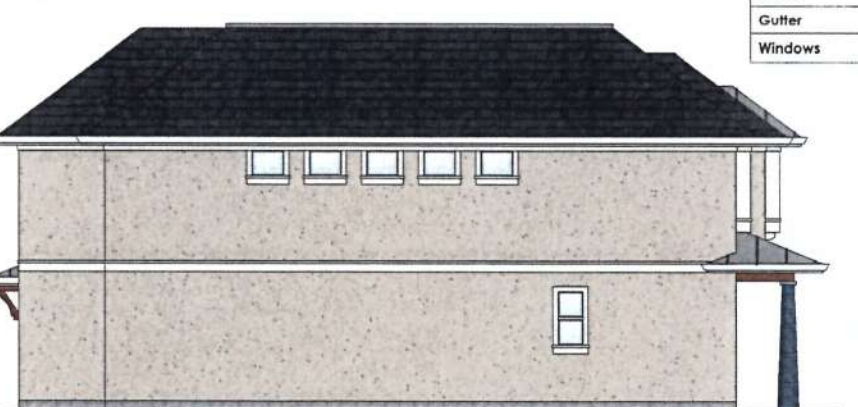
1 **Lot 4 - Front Elevation**
Scale: 1/4" = 1'-0"



2 **Lot 4 - Right Side Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 4 - Rear Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 4 - Left Side Elevation**
Scale: 1/4" = 1'-0"

| | | |
|-------------|--|---|
| Stucco | | SHERWIN WILLIAMS - JOGGING PATH 7438 |
| Trim | | SHERWIN WILLIAMS - PURE WHITE 7005 |
| Entry Doors | | PRATT & LAMBERT - AFRICAN NIGHT 32-18 |
| Beams | | SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN |
| Roof | | ANTIQUE BLACK |
| Metal Roof | | WESTFORM - WEATHERED ZINC |
| Stone | | K2 STONE - PACIFIC ASHLAR |
| Gutter | | GENTEK - BRIGHT WHITE 431 |
| Windows | | BLACK |

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 4
Colour
Elevations

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS



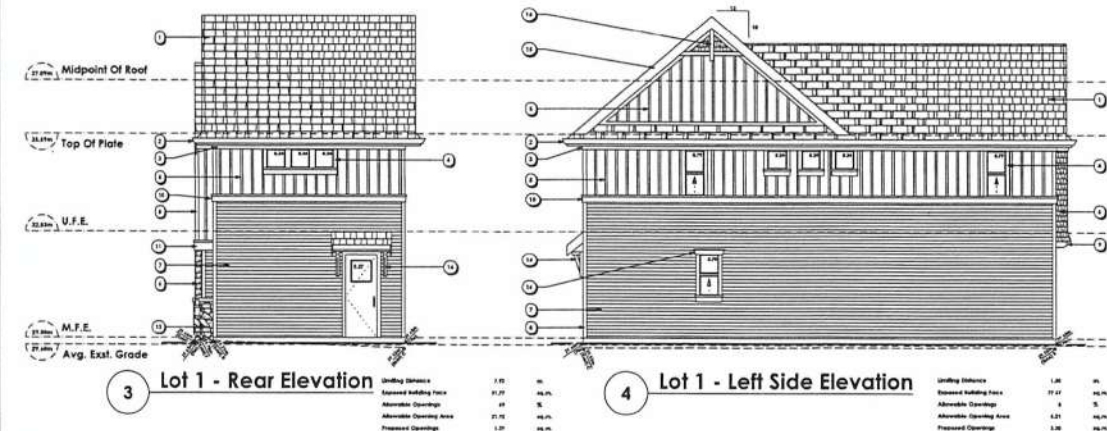
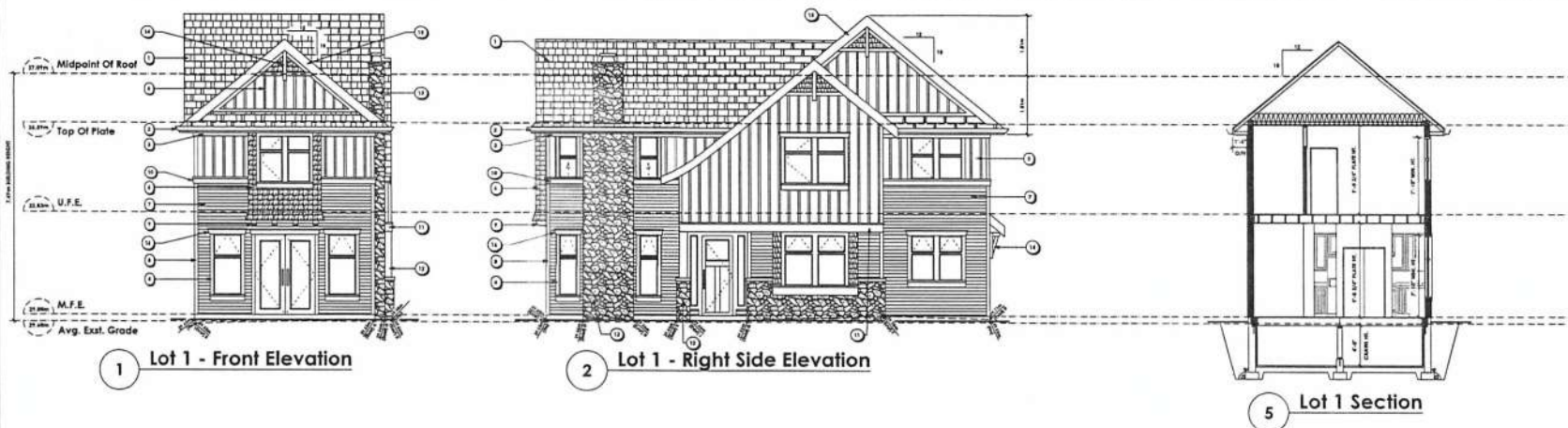
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Exterior Finish Schedule

1 LAMINATED ASPHALT SHINGLES

2 PRE-FIN. ALUMIN. GUTTER

3 2x4 SOFFIT TRIM

4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)

5 BOARD AND BATTEN SIDING

6 CEDAR SHINGLE SIDING

7 CONC. FIBRE LAF SIDING

8 1x4 CORNER TRIM

9 DECORATIVE BLOCKING

10 METAL FLASHING ON 1x4 FASCIA BOARD

11 METAL FLASHING ON 1x12 FASCIA BOARD

12 10"x10" (FIN.) COLUMN ON 4" WOOD CAP C/W METAL FLASHING ON PRE-MANUF. STONE VENER COLUMN BASE

13 PRE-MANUF. STONE VENER

14 DECORATIVE WOOD BRACE

15 2x10 BARGE BOARD

16 METAL FLASHING ON 2x4 TRIM

DOOR SCHEDULE

A 8'0" X 4'8" (2438 X 2032) F 2'10" X 4'8" (844 X 2032)

B 4'0" X 4'8" (1229 X 2032) G 2'8" X 4'8" (813 X 2032)

C 5'0" X 4'8" (1524 X 2032) H 2'4" X 4'8" (711 X 2032)

D 4'0" X 4'8" (1219 X 2032) I 3'4" X 4'8" (711 X 2032)

E 3'0" X 4'8" (914 X 2032) L 1'4" X 4'8" (508 X 2032)



CUBE DEVELOPMENTS

"Four Oaks"

Lot 1

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
3/16" = 1'-0"
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CUBE DEVELOPMENTS

"Four Oaks"

Lot 1 Garage

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

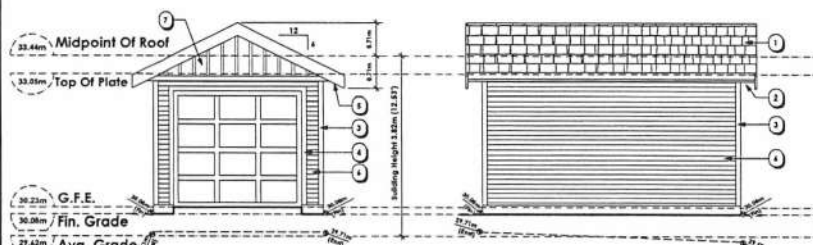
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Date: 13/2/19

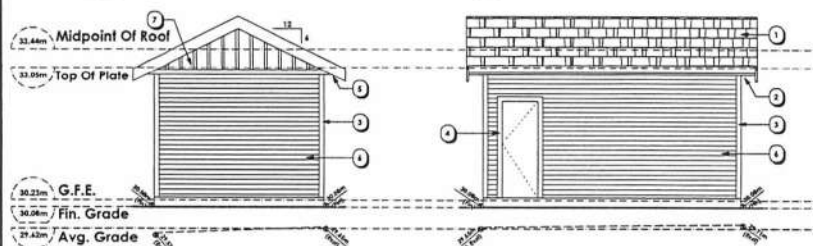
Exterior Finish Schedule

- 1 LAMINATED ASPHALT SHINGLES
- 2 FIB. FIN. ALUMIN. GUTTER
- 3 1x4 CORNER TRIM
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD
- 6 HARDSHIP LAY SIDING (4" REVEAL)
- 7 BOARD AND BATTEN SIDING



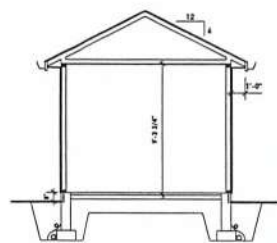
1 Lot 1 North Elevation
Scale: 1/4" = 1'-0"

2 Lot 1 West Elevation
Scale: 1/4" = 1'-0"



3 Lot 1 South Elevation
Scale: 1/4" = 1'-0"

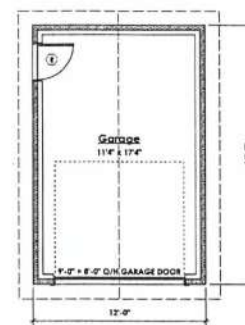
4 Lot 1 East Elevation
Scale: 1/4" = 1'-0"



6 Section A-A
Scale: 1/4" = 1'-0"

Colour Legend

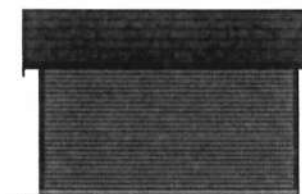
| | |
|------------------------|-------------------------------------|
| Board & Batten | SHERWIN WILLIAMS - FOOTHILLS SW7514 |
| Conc. Fibre Lap Siding | SHERWIN WILLIAMS - FOOTHILLS SW7514 |
| Trim | SHERWIN WILLIAMS - BLACK FOX SW7020 |
| Garage / Entry Doors | BENJAMIN MOORE - ASHLEY GRAY HC-87 |
| Roof | ANTIQUE BLACK |
| Gutter | GENTEK - BLACK S25 |



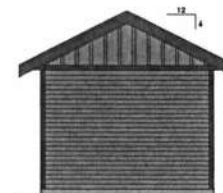
5 Lot 1 Garage Floor Plan
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



7 Lot 1 North Elevation
Scale: 1/4" = 1'-0"



8 Lot 1 West Elevation
Scale: 1/4" = 1'-0"



9 Lot 1 South Elevation
Scale: 1/4" = 1'-0"



10 Lot 1 East Elevation
Scale: 1/4" = 1'-0"

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1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

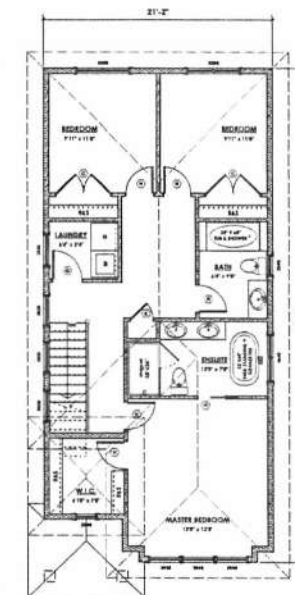
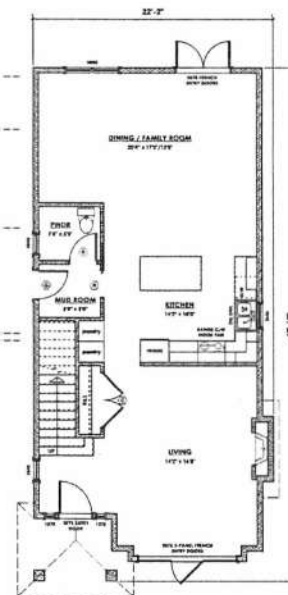


- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMIN. GUTTER
 - 3 2x4 SHIRT TRIM ON 1x6 BARGE BOARD
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 PRE-FIN. METAL ROOFING
 - 6 STUCCO (see owner for R.C.)

- 7 METAL FLASHING ON 2x10 BELLY BAND
- 8 CEDAR SHINGLE SIDING
- 9 METAL FLASHING ON 1x2 TRIM ON 1x6 FASCIA TRIM
- 10 METAL FLASHING ON 1x12 BARGE BOARD
- 11 WOOD BEAM
- 12 2x10 BARGE BOARD

DOOR SCHEDULE

| | | | |
|---|---------------------------|---|---------------------------|
| A | 8'0" X 4'0" (2438 X 2032) | F | 2'10" X 4'0" (844 X 2032) |
| B | 4'0" X 4'0" (1219 X 2032) | G | 2'0" X 4'0" (610 X 2032) |
| C | 6'0" X 4'0" (1829 X 2032) | H | 2'4" X 4'0" (742 X 2032) |
| D | 4'0" X 4'0" (1219 X 2032) | J | 2'4" X 4'0" (742 X 2032) |
| E | 3'0" X 4'0" (914 X 2032) | K | 2'0" X 4'0" (610 X 2032) |
| | | L | 1'4" X 4'0" (508 X 2032) |



CUBE DEVELOPMENTS

"Four Oaks"

Lot 2

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale 3/16" = 1'-0"
drawn by NS

VICTORIA DESIGN GROUP

Date: 13/2/19

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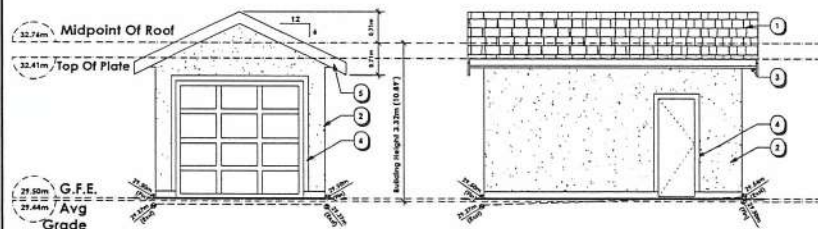
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SMALL LOT REZONING PRESENTATION

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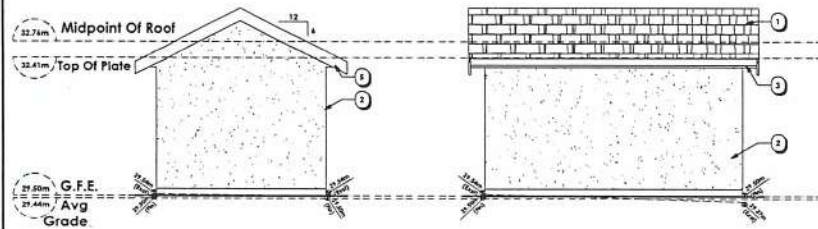
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8150-PROPOSED SMALL LOT REZONING :: 1491 EDGEWARE RD & 2750 GOSWORTH RD, VICTORIA, B.C.



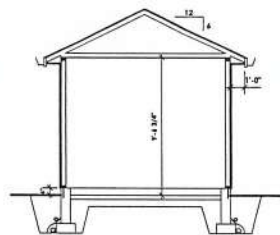
1 **Lot 2 South Elevation**
Scale: 1/4" = 1'-0"

2 **Lot 2 East Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 2 North Elevation**
Scale: 1/4" = 1'-0"

4 **Lot 2 West Elevation**
Scale: 1/4" = 1'-0"



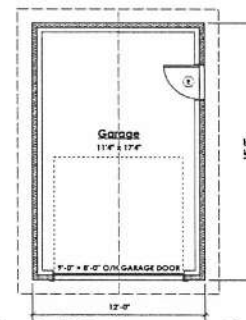
6 **Section A-A**
Scale: 1/4" = 1'-0"

Exterior Finish Schedule

- 1 LAMINATED ASPHALT SHINGLES
- 2 STUCCO
- 3 F22-PIN. ALUMIN. GUTTER
- 4 1-4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2-10 BARGE BOARD

Colour Legend

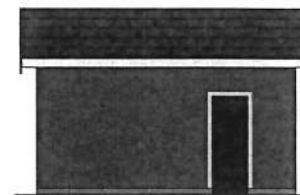
| | |
|-------------|--|
| Stucco | BENJAMIN MOORE - KENDALL CHARCOAL HC-166 |
| Trim | BENJAMIN MOORE - REVERE PEWTER HC-172 |
| Entry Doors | SHERWIN WILLIAMS - TRICORN BLACK SW6258 |
| Roof | ANTIQUE BLACK |
| Gutter | CASHMERE 514 |
| Garage | BENJAMIN MOORE - CHELSEA GRAY HC-168 |



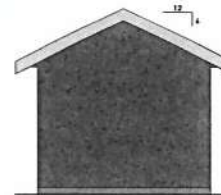
5 **Lot 2 Garage Floor Plan**
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



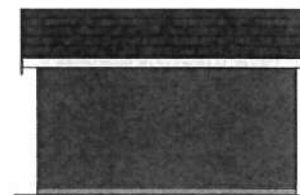
7 **Lot 2 South Elevation**
Scale: 1/4" = 1'-0"



8 **Lot 2 East Elevation**
Scale: 1/4" = 1'-0"



9 **Lot 2 North Elevation**
Scale: 1/4" = 1'-0"



10 **Lot 2 West Elevation**
Scale: 1/4" = 1'-0"

CUBE
DEVELOPMENTS

"Four Oaks"

Lot 2
Garage

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS

VICTORIA
DESIGN
GROUP

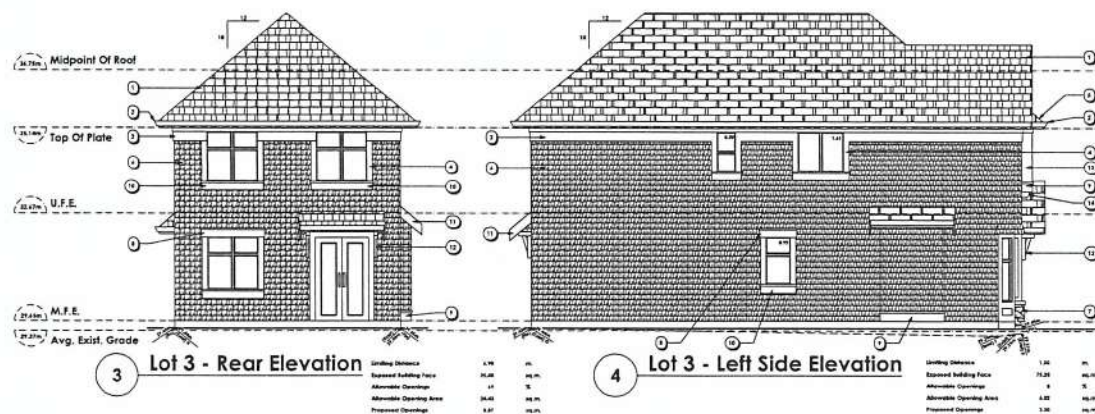
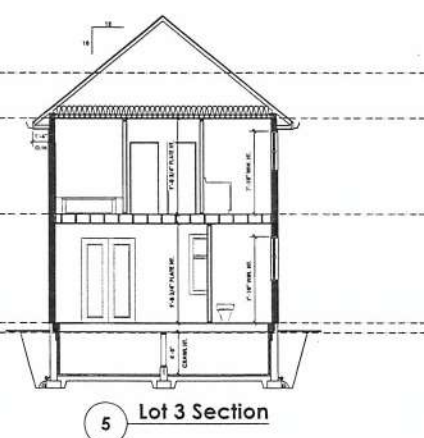
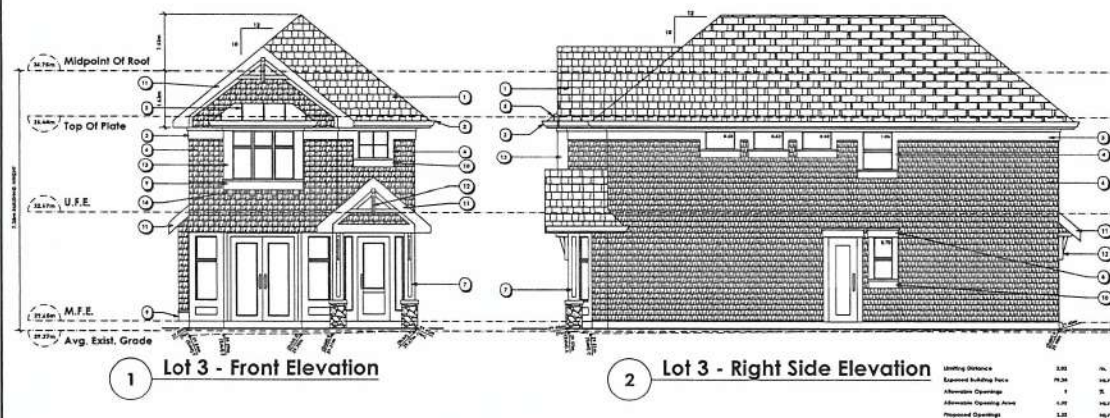
Date: 13/2/19

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMIN. GUTTER
 - 3 2x4 SOFFIT TRIM ON 1x10 BARGE BOARD
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 PRE-FIN. METAL ROOFING
 - 6 CEDAR SHINGLE SIDING
 - 7 CLADDING ON 12"x12" FRAMED COLUMN ON 12"x12" STONE VENEER BASE

- 8 METAL FLASHING ON 1x2 TRIM ON 1x8 FASCIA TRIM
- 9 METAL FLASHING ON 1x12 SILL TRIM
- 10 METAL FLASHING ON 1x10 SILL TRIM
- 11 2x10 BARGE BOARD
- 12 DECORATIVE WOOD BRACE
- 13 CUSTOM WOOD TRIM
- 14 DECORATIVE WOOD BLOCKING

DOOR SCHEDULE

| | | | |
|---|-------------------------|---|-------------------------|
| A | 6/0 X 4/8 (2438 X 2032) | F | 2/10 X 4/8 (844 X 2032) |
| B | 6/0 X 4/8 (1629 X 2032) | G | 3/8 X 4/8 (813 X 2032) |
| C | 6/0 X 4/8 (1624 X 2032) | H | 2/4 X 4/8 (742 X 2032) |
| D | 4/8 X 4/8 (1219 X 2032) | J | 3/4 X 4/8 (711 X 2032) |
| E | 3/8 X 4/8 (714 X 2032) | K | 2/8 X 4/8 (610 X 2032) |
| | | L | 1/4 X 4/8 (508 X 2032) |



CUBE DEVELOPMENTS

"Four Oaks"

Lot 3

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale 3/16" = 1'-0"
drawn by NS

VICTORIA DESIGN GROUP

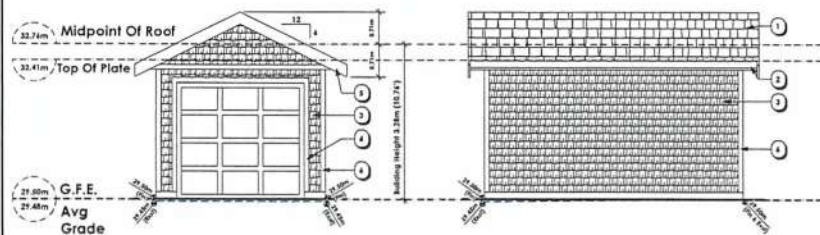
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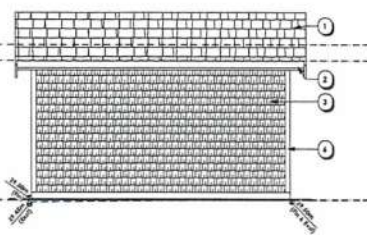
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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

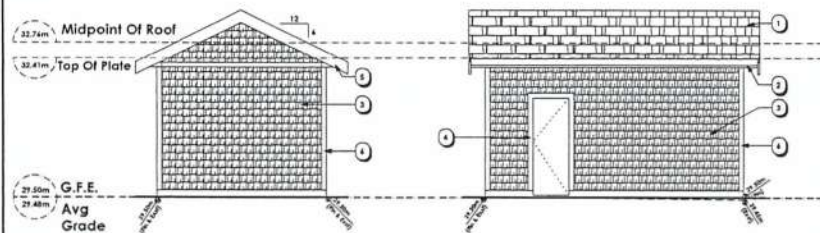
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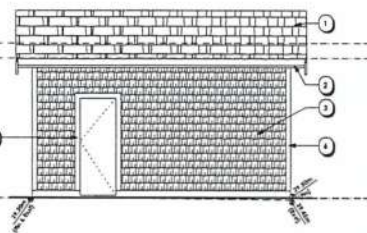
1 **Lot 3 North Elevation**
Scale: 1/4" = 1'-0"



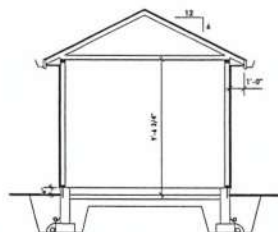
2 **Lot 3 West Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 3 South Elevation**
Scale: 1/4" = 1'-0"



4 **Lot 3 East Elevation**
Scale: 1/4" = 1'-0"



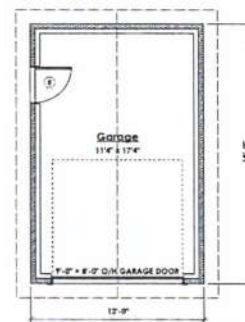
6 **Section A-A**
Scale: 1/4" = 1'-0"

Colour Legend

| | |
|----------------------------|--|
| Conc. Fibre Shingle Siding | PAINTED TO MATCH SW - HAWTHORNE SW3518 STAIN |
| Trim | SHERWIN WILLIAMS - BLACK FOX SW7020 |
| Entry Doors | SHERWIN WILLIAMS - BLACK FOX SW7020 |
| Roof | ANTIQUE BLACK |
| Gutter | GENTEK - BLACK 525 |

Exterior Finish Schedule

- 1 LAMINATED ASPHALT SHINGLES
- 2 FRS-FIN. ALUMN. GUTTER.
- 3 CONCRETE FIBRE SHINGLE SIDING
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD
- 6 1x4 CORNER TRIM



5 **Lot 3 Garage Floor Plan**
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



7 **Lot 3 North Elevation**
Scale: 1/4" = 1'-0"



8 **Lot 3 West Elevation**
Scale: 1/4" = 1'-0"



9 **Lot 3 South Elevation**
Scale: 1/4" = 1'-0"



10 **Lot 3 East Elevation**
Scale: 1/4" = 1'-0"

CUBE DEVELOPMENTS

"Four Oaks"

**Lot 3
Garage**

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS

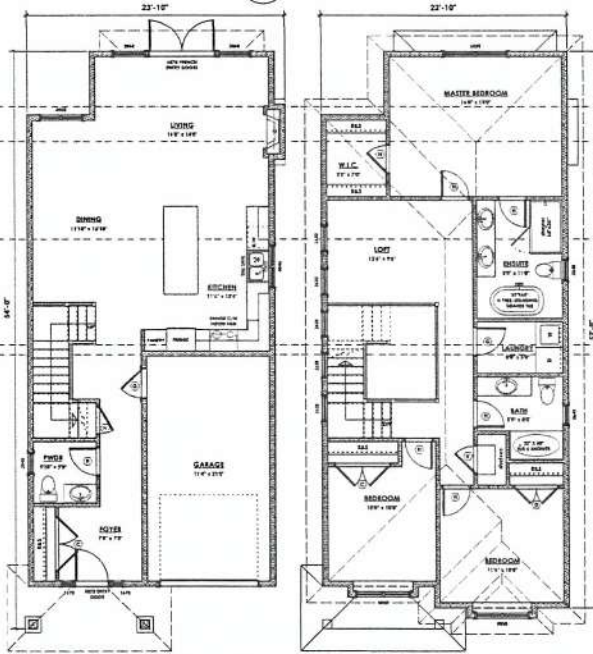
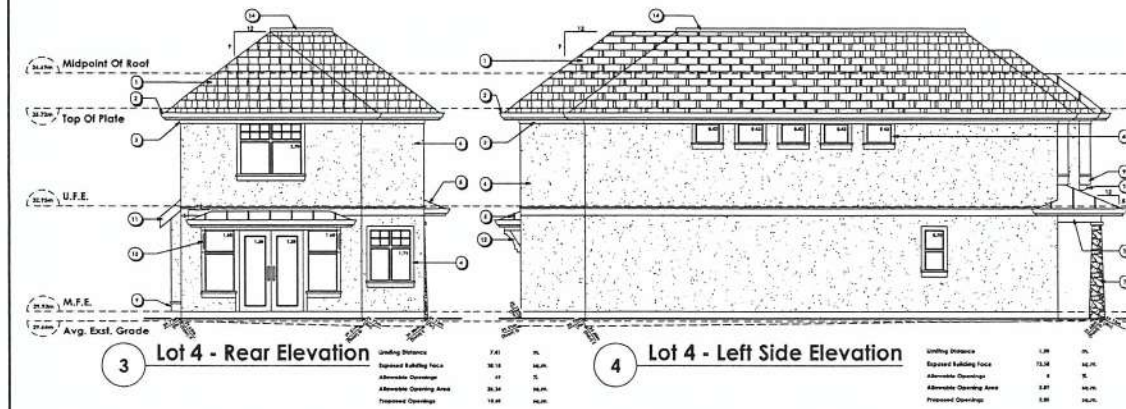
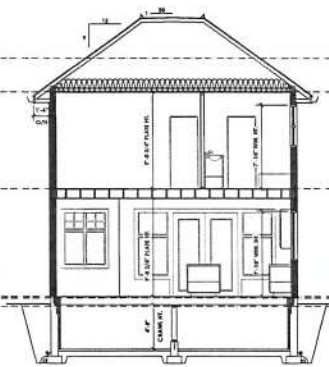
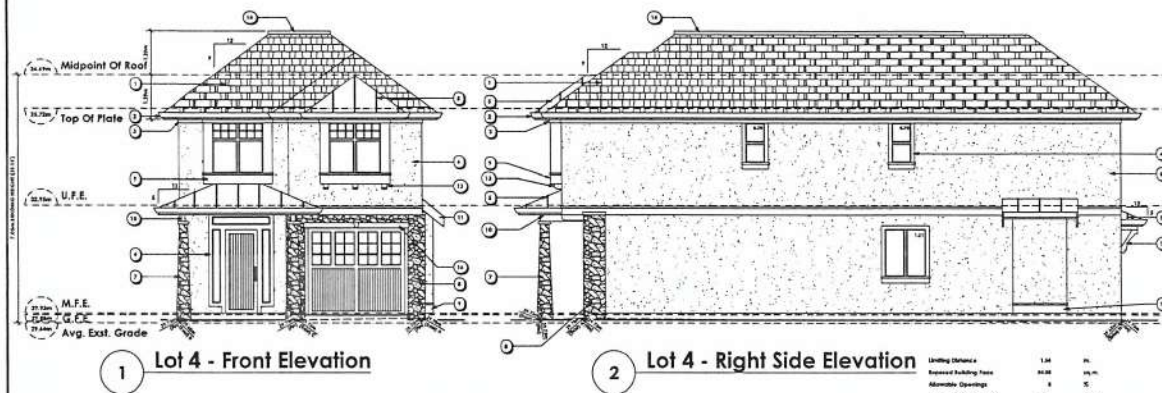


Date: 13/2/19

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION



- Exterior Finish Schedule**
- ① LAMINATED ASPHALT SHINGLES
 - ② PRE-FIN. ALUMIN. GUTTER
 - ③ 2x4 SOFFIT TRIM
 - ④ 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - ⑤ PRE-FIN. METAL ROOFING
 - ⑥ STUCCO (See schedule for Rn.)
 - ⑦ CLADDING ON 12"x12" FRAMED COLUMN TAPERING TO 18"x18"
 - ⑧ PRE-MAKUP STONE VENEER
 - ⑨ METAL FLASHING ON 1x12 SILL TRIM
 - ⑩ WOOD BEAM
 - ⑪ 2x10 BARGE BOARD
 - ⑫ STRUCTURAL WOOD BRACE
 - ⑬ DECORATIVE WOOD BLOCKING
 - ⑭ METAL FLASHING
 - ⑮ METAL FLASHING ON 2x10 BELLY BAND
 - ⑯ METAL FLASHING ON 2x4 WOOD TRIM WITH DECORATIVE EXTENSION

- DOOR SCHEDULE**
- A 8/0 X 4/8 (2436 X 2032)
 - B 4/0 X 4/8 (1829 X 2032)
 - C 5/0 X 4/8 (1534 X 2032)
 - D 4/0 X 4/8 (12176 X 2032)
 - E 3/0 X 4/8 (714 X 2032)
 - F 2/10 X 4/8 (844 X 2032)
 - G 2/8 X 4/8 (813 X 2032)
 - H 2/4 X 4/8 (742 X 2032)
 - J 3/4 X 4/8 (711 X 2032)
 - K 2/0 X 4/8 (610 X 2032)
 - L 1/4 X 4/8 (508 X 2032)

CUBE DEVELOPMENTS

"Four Oaks"

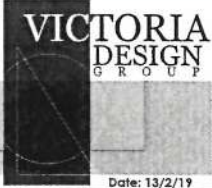
Lot 4

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150

scale 3/16" = 1'-0"
drawn by NS



Date: 13/2/19

1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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CUBE
DEVELOPMENTS

"Four Oaks"

Gosworth
Road
Streetscape



1 Gosworth Rd Streetscape
Scale: 3/16" = 1'-0"

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
3/16" = 1'-0"
drawn by
NS



2740 Gosworth Rd. (Neighbour)
Scale: 3/16" = 1'-0"



Proposed Lot 3
Scale: 3/16" = 1'-0"



Proposed Lot 2
Scale: 3/16" = 1'-0"



Proposed Lot 1
Scale: 3/16" = 1'-0"

#103 891
Aintree Avenue
Victoria, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

1491 EDGEWARE RD & 2750 GOSWORTH RD

SMALL LOT REZONING PRESENTATION

CUBE DEVELOPMENTS

"Four Oaks"

Edgeware Road
Streetscape



1 Edgeware Rd Streetscape
Scale: 3/16" = 1'-0"



Proposed Lot 1
Scale: 3/16" = 1'-0"



Proposed Garage Lot 1
Scale: 3/16" = 1'-0"



Proposed Lot 4
Scale: 3/16" = 1'-0"



1487 Edgeware Rd. (Neighbour)
Scale: 3/16" = 1'-0"

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
3/16" = 1'-0"

drawn by
NS



Date: 13/2/19

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SMALL LOT REZONING PRESENTATION

LA DR LANDSCAPE ARCHITECTS

4364 Queens Ave., Vienna, B.C. V8T 1M5

Oct 9-14 100-1000 100-1000
Nov 1-14 100-1000 100-1000

JAN 15 2018

