

I. REPORTS OF COMMITTEES

I.1 Committee of the Whole

I.1.a Report from the March 7, 2019 COTW Meeting

I.1.a.c 1491 Edgeware Road & 2750 Gosworth Road - Rezoning Application No. 00659 & Development Permit with Variances Application No. 00090 (Oaklands)

Moved By Councillor Isitt
Seconded By Councillor Alto

Rezoning Application No. 00659

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00659 for 1491 Edgeware Road and 2750 Gosworth Road, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set.

Development Permit with Variances Application No. 00090

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00659, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00090 for 1491 Edgeware Road and 2750 Gosworth Road, in accordance with:

1. Plans date stamped January 15, 2019.
2. Prior to issuance of the Development Permit with Variances, refine plans to include detailed elevations of fences and landscape screens meeting all bylaws, and making revisions to the landscape plan in order to correct inconsistencies to the Satisfaction of the Director of Sustainable Planning and Community Development.
3. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:

Proposed Lot 1

- i. decrease the lot width from 10.0m to 9.99m
- ii. decrease the front yard setback from 6.00m to 2.48 m
- iii. decrease the rear yard setback from 6.00m to 1.50m
- iv. decrease the front yard setback for an accessory building from 18.0m to 3.74m
- v. allow an accessory building to be located in the side yard.

Proposed Lot 2

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.79%.

Proposed Lot 3

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.4%.

Proposed Lot 4

- i. decrease the minimum side yard setback with a habitable window from 2.40m to 1.50m.

- 4. The Development Permit lapsing two years from the date of this resolution.

And that staff be directed to provide information and advice regarding traffic calming on Gosworth and provide this information in conjunction with the public hearing.

CARRIED UNANIMOUSLY

F. LAND USE MATTERS

F.1 1491 Edgeware Road & 2750 Gosworth Road - Rezoning Application No. 00659 & Development Permit with Variances Application No. 00090 (Oaklands)

Committee received a report dated February 21, 2019 from the Acting Director of Sustainable Planning and Community Development regarding an application to rezone two existing lots from the R1-B Zone, Single Family Dwelling District, to the R1-S2 Zone, Restricted Small Lot (Two Storey) District, in order to subdivide the property and construct four new small lot houses.

Moved By Councillor Alto
Seconded By Councillor Loveday

Rezoning Application No. 00659

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00659 for 1491 Edgeware Road and 2750 Gosworth Road, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set.

Development Permit with Variances Application No. 00090

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00659, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00090 for 1491 Edgeware Road and 2750 Gosworth Road, in accordance with:

1. Plans date stamped January 15, 2019.
2. Prior to issuance of the Development Permit with Variances, refine plans to include detailed elevations of fences and landscape screens meeting all bylaws, and making revisions to the landscape plan in order to correct inconsistencies to the Satisfaction of the Director of Sustainable Planning and Community Development.
3. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:

Proposed Lot 1

- i. decrease the lot width from 10.0m to 9.99m
- ii. decrease the front yard setback from 6.00m to 2.48 m
- iii. decrease the rear yard setback from 6.00m to 1.50m
- iv. decrease the front yard setback for an accessory building from 18.0m to 3.74m
- v. allow an accessory building to be located in the side yard.

Proposed Lot 2

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.79%.

Proposed Lot 3

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.4%.

Proposed Lot 4

- i. decrease the minimum side yard setback with a habitable window from 2.40m to 1.50m.

- 4. The Development Permit lapsing two years from the date of this resolution.

Amendment:

Moved By Councillor Isitt

Seconded By Councillor Loveday

That the motion be amended to include the following:

“And that staff be directed to provide information and advice regarding traffic calming on Gosworth and provide this information in conjunction with the public hearing.”

CARRIED UNANIMOUSLY

On the main motion as amended:

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of March 7, 2019

To: Committee of the Whole **Date:** February 21, 2019

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: Rezoning Application No. 00659 for 1491 Edgeware Road and 2750 Gosworth Road

RECOMMENDATION

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00659 for 1491 Edgeware Road and 2750 Gosworth Road, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set.

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1491 Edgeware Road and 2750 Gosworth Road. The proposal is to rezone two existing lots from the R1-B Zone, Single Family Dwelling District, to the R1-S2 Zone, Restricted Small Lot (Two Storey) District, in order to subdivide the property and construct four new small lot houses.

The following points were considered in assessing this application:

- the proposal is generally consistent with the Traditional Residential Urban Place Designation and objectives for sensitive infill development, as described in the *Official Community Plan* (OCP, 2012)
- the proposal is generally consistent with the site criteria (lot area and lot width) specified in the *Small Lot House Rezoning Policy*, 2002. There is a minor variance requested for lot width for three of the lots from 10m to 9.99m.
- the existing two lots have been vacant since sometime between 2011 and 2013
- the proposal is consistent with the *Oaklands Neighbourhood Plan*, 1993, which considered small lots based on merit and meeting the small lot policy.

BACKGROUND

Description of Proposal

The proposal is to rezone 1491 Edgeware Road and 2750 Gosworth Road from the R1-B Zone, Single Family Dwelling District, to the R1-S2 Zone, Restricted Small Lot (Two Storey) District, and to subdivide the existing two lots to create four small lots.

The following differences from the standard R1-S2 Zone, Restricted Small Lot (Two Storey) District, are being proposed and will be discussed in relation to the concurrent Development Permit with Variances Application:

- decrease the lot width for Lots 1, 2, and 3
- decrease the front yard setback for Lot 1
- decrease rear yard setback for Lot 1
- allow an accessory building in the side yard of Lot 1
- decrease the front yard setback for Lot 1 for an accessory building
- increase the site coverage for Lot 2 and 3
- decrease the side yard setback for a habitable window for Lot 4.

Affordable Housing Impacts

The applicant proposes the creation of four new residential units which would increase the overall supply of housing in the area.

Sustainability Features

As indicated in the applicant's letter date stamped January 15, 2019, the following sustainability features are associated with this proposal:

- compact building design
- infill housing along cycling and public transit routes
- use of permeable pathways and driveways.

Active Transportation Impacts

The applicant has not identified any active transportation impacts associated with this application.

Public Realm Improvements

As a condition of subdivision, the applicant is required to dedicate 2.91m on the Edgeware Road frontage and 2.18m on the Gosworth Road frontage for highway purposes. These dedications will be used to fulfil Council approved objectives listed within the OCP, neighbourhood plan, Subdivision Bylaw and Development Servicing Bylaw, Pedestrian Master Plan, Urban Forest Master Plan, and Greenways Plan to promote active transportation options and provide space for treed boulevards.

Accessibility Impact Statement

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Land Use Context

The area is characterized by single family dwellings, small lot single family dwellings, and two-family dwellings.

Existing Site Development and Development Potential

The site is presently two vacant lots zoned R1-B, Single Family Dwelling District. Under the current R1-B Zone, the property could be developed as two single family dwellings, each with a secondary suite or garden suite.

Data Table

The following data table compares the proposal with the proposed R1-S2 Zone. An asterisk is used to identify where the proposal is less stringent than the zone.

Zoning Criteria	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Proposed Lot 4	Zone Standard R1-S2
Site area (m ²) – minimum	275.85	274.62	273.39	299.11	260.00
Lot width (m) – minimum	9.99 *	9.99 *	9.99 *	10.00	10.00
Density (Floor Space Ratio) – maximum	0.51	0.59	0.59	0.59	0.60
Total floor area (m ²) – maximum	139.76	163.20	162.35	175.18	190.00
Height (m) – maximum	7.49	7.48	7.38	7.05	7.50
Storeys – maximum	2	2	2	2	2
Basement	no	no	no	no	Permitted
Site coverage (%) – maximum	35.51	40.79 *	40.40 *	36.64	40.00
Setbacks (m) – minimum					
Front	2.48 * (north)	6.00 (east)	6.00 (east)	6.00 (north)	6.00
Rear	1.50 * (south)	6.90 (west)	7.46 (west)	7.41 (south)	6.00

Zoning Criteria	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Proposed Lot 4	Zone Standard R1-S2
Side	7.92 (west)	1.53 (north)	2.03 (north)	1.54 (west)	1.50 – non-habitable 2.40 – habitable
Side	n/a	2.00 (south)	1.50 (south)	1.50 * – habitable (east)	1.50 – non-habitable 2.40 – habitable
Side – flanking street	6.00 (east)	n/a	n/a	n/a	2.40
Parking – minimum	1	1	1	1	1
Parking – location	garage	garage	garage	interior	Schedule C
Schedule F – Accessory Building Regulations					
Location	Side *	Rear	Rear	n/a	Rear
Rear Yard Site Coverage (%) – maximum	6.62	26.44	24.56	n/a	30.00
Combined floor area (m ²) – maximum	18.25	18.25	18.25	n/a	Schedule F 37.00
Height (m) – maximum	3.82	3.32	3.28	n/a	4.00
Setbacks (m) – minimum					
Front	3.74 * (north)	23.05 (east)	22.93 (east)	n/a	18.00
Rear	0.75 (south)	0.83 (west)	0.75 (west)	n/a	0.60
Side	0.75 (west)	0.75 (north)	3.73 (north)	n/a	0.60
Side	23.19 (east)	3.74 (south)	0.75 (south)	n/a	0.60

Zoning Criteria	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Proposed Lot 4	Zone Standard R1-S2
Separation from single family dwelling (m) – minimum	3.48	2.43	2.92	n/a	2.40

Relevant History

A house that straddled the two lots was demolished sometime between 2011 and 2013. The lot has been vacant since that time.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, the applicant has consulted the Oaklands CALUC at a Community Meeting held on July 30, 2018. A letter from the Community Association dated September 13, 2018 is attached to this report.

In accordance with the City's *Small Lot House Rezoning Policy*, the applicant has polled the immediate neighbours and reports that 100% support the application. Under this policy, "satisfactory support" is considered to be support in writing for the project by 75% of the neighbours. The required Small Lot House Rezoning Petitions, Summary and illustrative map provided by the applicant are attached to this report.

ANALYSIS

Official Community Plan

The *Official Community Plan* Urban Place Designation for the property is Traditional Residential, which contemplates small residential lots to accommodate new ground-oriented infill. In accordance with the OCP, small lots are subject to DPA 15A: Intensive Residential - Small Lot. The proposal is generally consistent with the objectives of DPA 15A to achieve new infill development in a way that is compatible with the existing neighbourhood.

Local Area Plans

The *Oaklands Neighbourhood Plan* states that small lot houses will be considered on individual merit provided that the proposal meets the small lot policy. The proposed small lots generally meet the intent of the Neighbourhood Plan.

Small Lot House Rezoning Policy

The *Small Lot House Rezoning Policy* encourages sensitive infill with an emphasis on ground-oriented housing that is consistent with the existing character of development. The proposed lots each exceed the required site area minimum of 260m². The policy requires a minimum lot width of 10m, and three of the lots are slightly under that minimum width at 9.99m. This difference is negligible, and is due to the requirement for road dedications.

Tree Preservation Bylaw and Urban Forest Master Plan

There are three existing trees on the subject site: a multi-stem fruit tree, a Hawthorne tree, and a Cypress tree. In order to build the homes and for the new sidewalks to meet mobility and transportation engineering requirements for this development, the existing trees are all proposed for removal. Six new municipal canopy trees are proposed for this development. There are no bylaw protected trees on this property, or neighbours' trees affected by this proposed development.

CONCLUSIONS

This proposal to rezone the subject properties to create four small lots is generally consistent with the applicable City policies. As such, staff recommend that Council consider supporting this application.

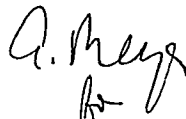
ALTERNATE MOTION

That Council decline Rezoning Application No. 00659 for the property located at 1491 Edgeware Road and 2750 Gosworth Road.

Respectfully submitted,

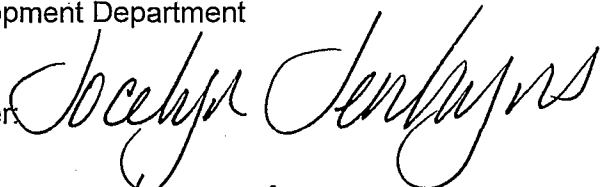


Chelsea Medd
Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager



Date: Feb 28, 2019

List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped January 15, 2019
- Attachment D: Renderings date stamped December 21, 2018
- Attachment E: Letter from applicant to Mayor and Council date stamped January 15, 2019
- Attachment F: Community Association Land Use Committee Comments date stamped September 13, 2018
- Attachment G: Small Lot Petition date stamped November 16, 2018
- Attachment H: Correspondence.



Committee of the Whole Report

For the Meeting of March 7, 2019

To: Committee of the Whole **Date:** February 21, 2019

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: Development Permit with Variances Application No. 00090 for 1491 Edgeware Road and 2750 Gosworth Road

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00659, if it is approved, consider the following motion:

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3. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:

Proposed Lot 1

- i. decrease the lot width from 10.0m to 9.99m
- ii. decrease the front yard setback from 6.00m to 2.48 m
- iii. decrease the rear yard setback from 6.00m to 1.50m
- iv. decrease the front yard setback for an accessory building from 18.0m to 3.74m
- v. allow an accessory building to be located in the side yard.

Proposed Lot 2

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.79%.

Proposed Lot 3

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.4%.

Proposed Lot 4

- i. decrease the minimum side yard setback with a habitable window from 2.40m to 1.50m.

1. The Development Permit lapsing two years from the date of this resolution.

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variances Application for the property located at 1491 Edgeware Road and 2750 Gosworth Road. The proposal is rezone the two existing lots, subdivide to four small lots and construct four new single family dwellings.

The following points were considered in assessing this application:

- the proposal is consistent with the objectives and guidelines for sensitive infill contained in Development Permit Area 15A: Intensive Residential - Small Lot, of the *Official Community Plan* (OCP, 2012)
- the proposal is consistent with the *Oaklands Neighbourhood Plan 1993*, which considers infill development based on an applications merit and meeting the small lot policy
- the proposal is generally consistent with the Design Guidelines contained in the *Small Lot House Rezoning Policy 2004*
- numerous variances are proposed related to lot width, front and rear yard setbacks, accessory building location and setback, and site coverage. The variances are supportable, as they are minor in nature, and are due to the road dedications and what is considered the street frontage.

BACKGROUND

Description of Proposal

The Development Permit with Variances Application is to subdivide the existing two lots and construct four small lot houses. Specific details include:

- each house would be two storeys with pitched rooflines, covered entries, and pedestrian-oriented streetscapes
- the houses are differentiated through architectural design and materials. Siding materials for the houses include stucco, cedar shingles, board and batten, concrete lap siding, and cultured stone. Roofing materials include fibreglass shingles and metal roof accents
- parking located in internal garages within the houses or in detached garages in the rear yards
- outdoor patios located at front and/or rear yard
- two lots share a driveway, which reduces the amount of hard landscaping
- driveway materials are a combination of concrete strips, tumbled rock, and decorative paving

- pathway and patio materials are concrete bands with granite fines
- soft landscaping throughout the development.

The proposed variances are related to:

- decreasing the lot width for lot 1, 2, and 3
- decreasing the front yard setback for lot 1
- decreasing the rear yard setback for lot 1
- allowing an accessory building in the side yard for lot 1
- decreasing the front yard setback for an accessory building for lot 1
- increasing the site coverage for lot 2 and 3
- decreasing the side yard setback for a habitable window for lot 4.

Data Table

The following data table compares the proposal with the proposed R1-S2 Zone. An asterisk is used to identify where the proposal is less stringent than the zone.

Zoning Criteria	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Proposed Lot 4	Zone Standard R1-S2
Site area (m ²) – minimum	275.85	274.62	273.39	299.11	260.00
Lot width (m) – minimum	9.99 *	9.99 *	9.99 *	10.00	10.00
Density (Floor Space Ratio) – maximum	0.51	0.59	0.59	0.59	0.60
Total floor area (m ²) – maximum	139.76	163.20	162.35	175.18	190.00
Height (m) – maximum	7.49	7.48	7.38	7.05	7.50
Storeys – maximum	2	2	2	2	2
Basement	no	no	no	no	Permitted
Site coverage (%) – maximum	35.51	40.79 *	40.40 *	36.64	40.00
Setbacks (m) – minimum					
Front	2.48 * (north)	6.00 (east)	6.00 (east)	6.00 (north)	6.00
Rear	1.50 * (south)	6.90 (west)	7.46 (west)	7.41 (south)	6.00

Zoning Criteria	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Proposed Lot 4	Zone Standard R1-S2
Side	7.92 (west)	1.53 (north)	2.03 (north)	1.54 (west)	1.50 – non-habitable 2.40 – habitable
Side	n/a	2.00 (south)	1.50 (south)	1.50 * - habitable (east)	1.50 – non-habitable 2.40 – habitable
Side – flanking street	6.00 (east)	n/a	n/a	n/a	2.40
Parking – minimum	1	1	1	1	1
Parking – location	garage	garage	garage	interior	Schedule C
Schedule F – Accessory Building Regulations					
Location	Side *	Rear	Rear	n/a	Rear
Rear Yard Site Coverage (%) – maximum	6.62	26.44	24.56	n/a	30.00
Combined floor area (m ²) – maximum	18.25	18.25	18.25	n/a	Schedule F 37.00
Height (m) – maximum	3.82	3.32	3.28	n/a	4.00
Setbacks (m) – minimum					
Front	3.74 * (north)	23.05 (east)	22.93 (east)	n/a	18.00
Rear	0.75 (south)	0.83 (west)	0.75 (west)	n/a	0.60
Side	0.75 (west)	0.75 (north)	3.73 (north)	n/a	0.60
Side	23.19 (east)	3.74 (south)	0.75 (south)	n/a	0.60

Zoning Criteria	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Proposed Lot 4	Zone Standard R1-S2
Separation from single family dwelling (m) – minimum	3.48	2.43	2.92	n/a	2.40

ANALYSIS

Development Permit Area and Design Guidelines

The OCP identifies this property within Development Permit Area 15A: Intensive Residential - Small Lot. The proposed design of the four new small lot houses are generally consistent with the *Small Lot House Design Guidelines*.

The proposed small lot houses generally fit in with the character of Oaklands neighbourhood. The immediate context has a variety lot sizes and houses in terms of character. The proposed setbacks are generally similar to other houses on Gosworth Road and Edgeware Road, with the exception of the house directly to the south, which has a larger setback with the house sited toward the rear of the property.

The proposed houses have pitched rooflines complementary to the adjacent single-family dwellings and to the overall neighbourhood character. The designs incorporate features such as covered entryways, quality materials and traditional rooflines.

The *Small Lot Design Guidelines* emphasize openings, such as windows and entries, as important elements to help projects fit in with the character of existing neighbourhoods. Entryways should be places on the front façade with a landing and porch. The houses have covered entries, which are at grade or one step up.

The *Small Lot Design Guidelines* encourage windows that take into consideration privacy concerns for neighbours. The proposal has windows maximized on the front and rear elevations of each house, and the windows on the side elevations are smaller on non-habitable spaces (e.g. hallways, bathrooms, and laundry rooms), which are located to respect the privacy of adjacent neighbours.

The *Small Lot Design Guidelines* encourage front yards that are people-oriented and not dominated by vehicle parking. This proposal generally meets this design guideline. Vehicle parking for the two houses facing Gosworth Road are located at the rear of the each proposed property in detached garages accessed by a shared driveway. The house on the corner has a detached garage located as far from the intersection as possible. The house on Edgeware Road would have an internal garage.

Each house is differentiated in materials and styles, with materials complementary to those in the neighbourhood. The house proposed for:

- Lot 1 would have primarily lap siding, and board and batten with cedar shingle and stone accents
- Lot 2 would be primarily stucco with cedar shingle accents
- Lot 3 would be primarily cedar shingles with a small amount of stone accents
- Lot 4 would be stucco with stone accents.

The *Small Lot Design Guidelines* recognize front yards as prominent features of the streetscape and, in general, front yard landscaping should reflect that in the neighbourhood. The proposal generally meets the design guidelines in terms of providing privacy fences in the rear yards and planting new landscaping and trees that enhances the streetscape. The usable outdoor space in the rear yards is limited in size due to the accessory buildings (garages) for the three houses facing Gosworth Road; therefore, the outdoor space has been located in the front yards. Staff have identified a concern that the front patios may not be very usable due to their semi-public nature. While front patios are not common in the neighbourhood, there would be soft landscaping and cedar privacy screens around the patios, which may help make the patios more usable and provide definition between the private and public spaces. More detail is required on the cedar privacy screen; however, soft landscaping would provide a more positive streetscape. The request for further detail and refinement is included in the recommended motion.

Overall, the proposed four small lot houses and landscaping are generally consistent with the *Small Lot Design Guidelines*.

Regulatory Considerations

The application proposes the following variances from the *Zoning Regulations Bylaw*:

Proposed Lot 1

- i. decrease the lot width from 10.0m to 9.99m
- ii. decrease the front yard setback from 6.00m to 2.48 m
- iii. decrease the rear yard setback from 6.00m to 1.50m
- iv. decrease the front yard setback for an accessory building from 18.0m to 3.74m
- v. allow an accessory building to be located in the side yard.

Proposed Lot 2

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.79%.

Proposed Lot 3

- i. decrease the lot width from 10.0m to 9.99m
- ii. increase the site coverage maximum from 40% to 40.4%.

Proposed Lot 4

- i. decrease the minimum side yard setback with a habitable window from 2.40m to 1.50m.

Lot Width Variances

The proposed lot width reduction requests from 10.0m to 9.99m for Lot 1, Lot 2 and Lot 3 are minor in nature, and are partially a result of the required road dedications. These variances are considered supportable.

Front Yard Setback and Rear Yard Setback Variances

The proposed variances for Lot 1 to decrease the front and rear yard setbacks are a result of Edgware being considered the frontage on this lot. If Gosworth Road were considered the frontage, the front yard setback of 6.0m and rear yard setback of 6.0m would be met. There are no habitable windows on the rear elevation, which would have a 1.50m setback from the property line. These variances are considered supportable.

Accessory Building Location and Front Yard Setback Variance

The proposed variance for Lot 1 to allow the accessory building to be located on the side yard is due to Edgeware Road being considered the frontage for this lot. This also requires a reduction in the front yard setback for an accessory building. If Gosworth Road were considered the frontage, these two variances would not be required. These variances are considered supportable.

Site Coverage Variance

The proposed variances for site coverage for Lot 2 from 40% to 40.79%, and Lot 3 from 40% to 40.4%, are minor in nature and are considered supportable.

Side Yard Setback

The proposed variance for Lot 4 to reduce the side yard setback for a habitable window is for transom windows in a landing at the top of the stairs on the second storey. The windows would be piano windows and would pose very little privacy concern. This setback is internal to the proposed development and would not impose on existing neighbours. This variance is also considered supportable.

CONCLUSIONS

The proposal to construct four new small lot houses is generally consistent with the *Small Lot House Design Guidelines*. Further, the proposed variances for lot coverage, lot widths, front yard setback, rear yard setback, side yard setback, and accessory building location and setback are considered supportable, as they are either a result of a technicality related to the street front or are minor in nature. Staff recommend that Council consider supporting this Development Permit with Variances Application.

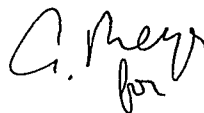
ALTERNATE MOTION

That Council decline Development Permit with Variances Application No. 00090 for the property located at 1491 Edgeware Road and 2750 Gosworth Road.

Respectfully submitted,



Chelsea Medd
Planner
Development Services Division

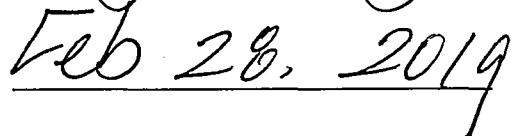


Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



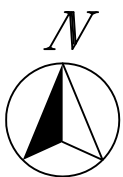
Date:



List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped January 15, 2019

- Attachment D: Renderings date stamped December 21, 2018
- Attachment E: Letter from applicant to Mayor and Council date stamped January 15, 2019
- Attachment F: Community Association Land Use Committee Comments date stamped September 13, 2018
- Attachment G: Small Lot Petition date stamped November 16, 2018
- Attachment H: Correspondence.





SKETCH PLAN OF: Attachment C

Civic: 1491 Edgeware Road & 2750 Gosworth Road

Legal Lots 12 & 13, Block 25, Section 29-30,


Victoria District, Plan 19


Parcel Identifier: 009-345-183 & 009-346-376

in the City of Victoria

LEGEND

Elevations are to geodetic datum.

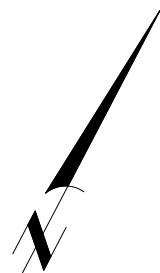
CB  - denotes - catch basin

UPL  - denotes - utility pole with light

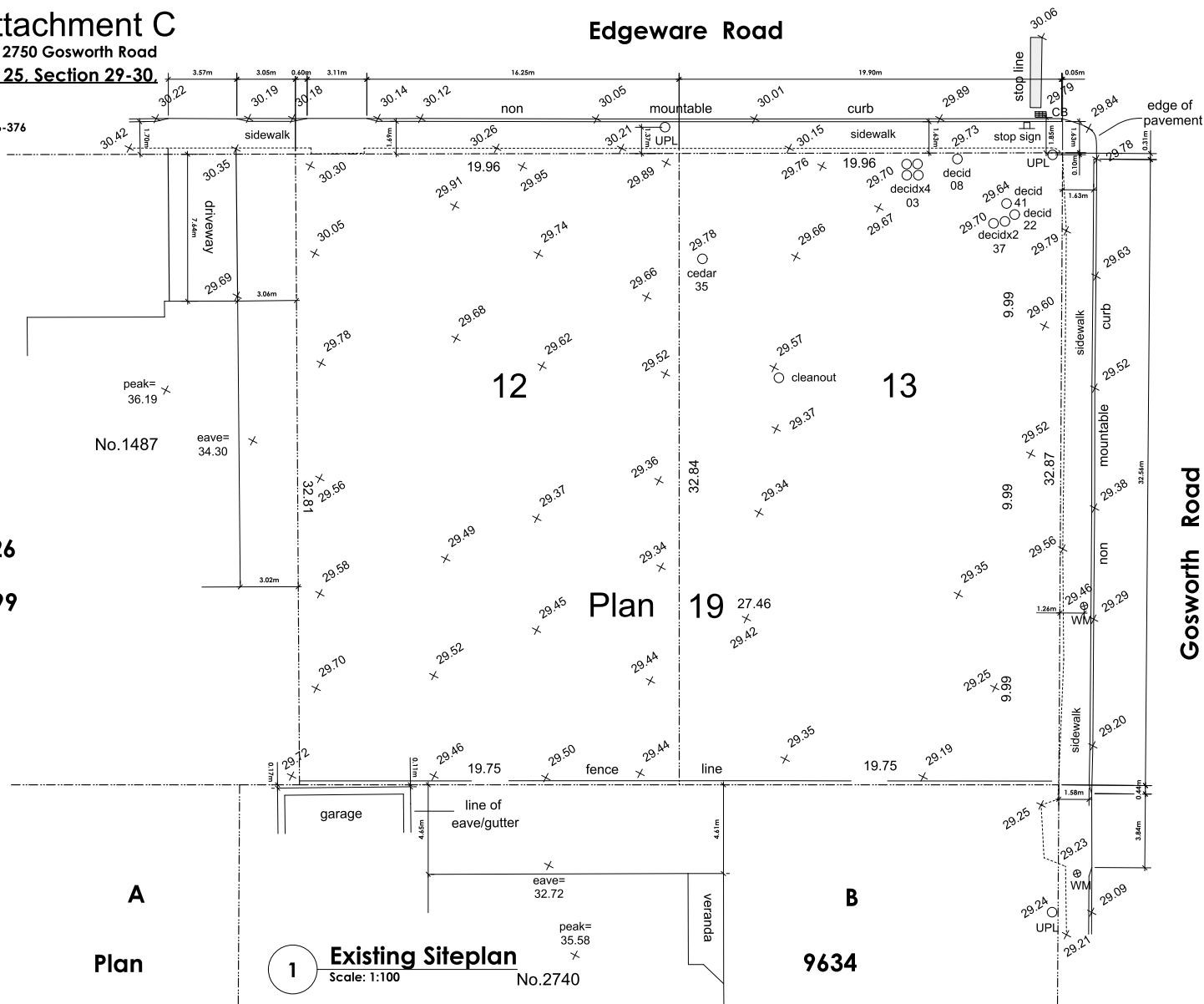
WM  - denotes - water meter

+ - denotes - existing elevation

Tree diameters are in centimetres.



Am 26
Plan 1299



1 Existing Siteplan
Scale: 1:100

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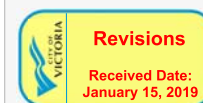
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FAX: 250.382.7364

1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION

CUBE
DEVELOPMENTS

"Four Oaks"

Existing
Site Plan



small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150
scale
1:100
drawn by
NS



Date: 9/1/19

SKETCH PLAN OF:

Civic: 1491 Edgeware Road & 2750 Gosworth Road

Legal Lots 12 & 13, Block 25, Section 29-30.

Victoria District, Plan 19

Parcel Identifier: 009-345-183 & 009-346-376

in the City of Victoria

LEGEND

Elevations are to geodetic datum.

CB - denotes - catch basin

UPL - denotes - utility pole with light

WM - denotes - water meter

- denotes - existing elevation

Tree diameters are in centimetres.

CONCRETE DRIVEWAY

PERMEABLE PAVERS

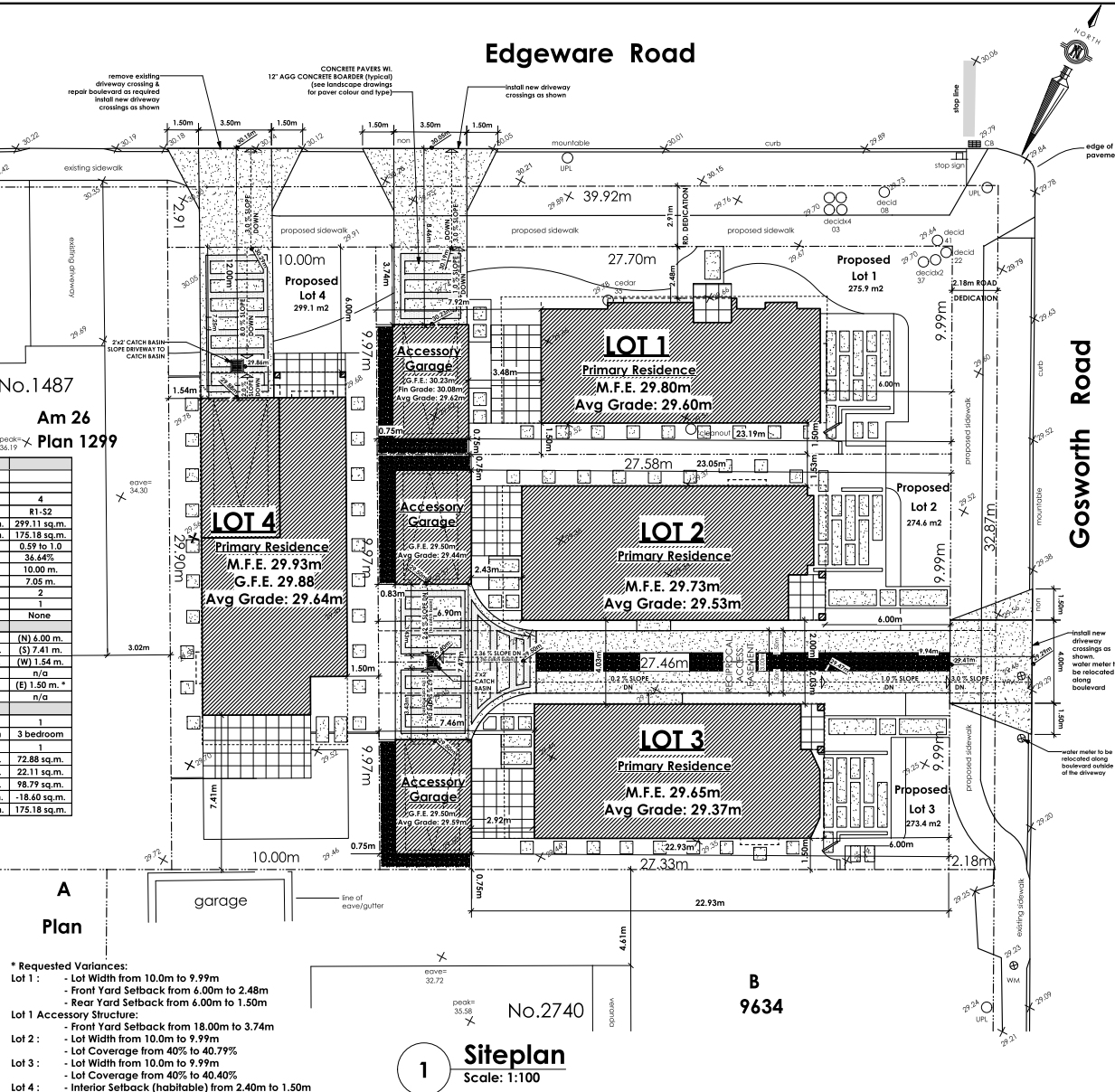
PROJECT INFORMATION TABLE					
Zone (Existing)	R1-B				
Lot Number	Permitted	1	2	3	4
Zone (Proposed)	R1-S2	R1-S2	R1-S2	R1-S2	R1-S2
Site Area	min. 260 sq.m.	275.85 sq.m.	274.42 sq.m.	273.39 sq.m.	299.11 sq.m.
Total Floor Area (sq.m.)	max. 190 sq.m.	139.76 sq.m.	163.20 sq.m.	162.36 sq.m.	175.18 sq.m.
Floor Space Ratio	max. 0.60 to 1.0	0.51 to 1.0	0.59 to 1.0	0.59 to 1.0	0.59 to 1.0
Site Coverage %	max. 40 %	35.51%	40.79%	40.40%	34.44%
Frontage of a Lot on a Street	min. 10.00 m.	9.99 m. *	9.99 m. *	9.99 m. *	10.00 m.
Height of Building (m)	max. 7.50 m.	7.49 m.	7.48 m.	7.38 m.	7.05 m.
Number of Storeys	max. 2	2	2	2	2
Parking Stalls (number) on Site	1 per dwelling	1	1	1	1
Bicycle Parking (storage and rack)	N/A	None	None	None	None
Building Setbacks (m)					
Front Yard	min. 6.00 m.	(N) 2.48 *	(E) 6.00 m.	(E) 6.00 m.	(N) 6.00 m.
Rear Yard to Building	min. 6.00 m.	(S) 1.50 *	(W) 6.90 m.	(W) 7.46 m.	(S) 7.41 m.
Side Yard	min. 1.50 m.	(W) 2.92 m.	(N) 1.53 m.	(N) 2.03 m.	(W) 1.54 m.
Side Yard	min. 1.50 m.	n/a	(S) 2.00 m.	(S) 1.50 m.	n/a
Side Yard with Habitable Space and Window(s)	min. 2.40 m.	n/a	n/a	n/a	(E) 1.50 m. *
Flanking Street	min. 2.40 m.	(E) 6.00 m.	n/a	n/a	n/a
Residential Use Details					
Total Number of Units	1	1	1	1	1
Unit Type, e.g., 1 Bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom	3 bedroom
Ground-Oriented Units	1	1	1	1	1
First Storey Area (Excluding Garage Area)	69.91 sq.m.	81.83 sq.m.	80.51 sq.m.	72.88 sq.m.	81.83 sq.m.
Garage Area	18.25 sq.m.	18.25 sq.m.	18.25 sq.m.	22.11 sq.m.	18.25 sq.m.
Second Storey Area	69.85 sq.m.	81.37 sq.m.	81.85 sq.m.	98.79 sq.m.	81.83 sq.m.
Garage Exemption	max. 18.60 sq.m.	-18.25 sq.m.	-18.25 sq.m.	-18.25 sq.m.	-18.60 sq.m.
Total Floor Area	139.76 sq.m.	163.20 sq.m.	162.36 sq.m.	175.18 sq.m.	175.18 sq.m.

PROJECT INFORMATION TABLE (Accessory)				
Lot Number	Permitted	1	2	3
Zone (Proposed)	R1-S2	R1-S2	R1-S2	R1-S2
Site Area (sq.m.)	275.85 sq.m.	274.42 sq.m.	273.39 sq.m.	299.11 sq.m.
Rear yard area	41.39 sq.m.	69.03 sq.m.	74.32 sq.m.	74.32 sq.m.
Rear yard site coverage %	max. 30 %	6.62%	26.44%	24.56%
Height of building (m)	max. 4.00 m.	3.87 m.	3.32 m.	3.28 m.
Number of storeys	1	1	1	1
Building Setbacks (m)				
Front yard	min. 18.00 m.	(N) 3.74 m. *	23.05 m.	22.93 m.
Rear yard	min. 0.40 m.	(S) 0.75 m.	0.83 m.	0.75 m.
Side yard	min. 0.40 m.	n/a	(N) 0.75 m.	(N) 3.73 m.
Side yard	min. 0.40 m.	(W) 0.75 m.	(S) 3.74 m.	(S) 0.75 m.
Flanking Street Setback	min. 2.40 m.	(E) 23.19 m.	n/a	n/a
Between buildings	min. 2.40 m.	3.48 m.	2.43 m.	2.92 m.
Residential Use Details				
Total number of units	1	1	1	1
Unit type, e.g., 1 bedroom	Garage	Garage	Garage	Garage
Ground-oriented units	1	1	1	1
Garage Area	18.25 sq.m.	18.25 sq.m.	18.25 sq.m.	18.25 sq.m.

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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION



* Requested Variances:

- Lot 1:
 - Lot Width from 10.0m to 9.99m
 - Front Yard Setback from 6.00m to 2.48m
 - Rear Yard Setback from 6.00m to 1.50m

- Lot 1 Accessory Structure:
 - Front Yard Setback from 18.00m to 3.74m
 - Lot Width from 10.0m to 9.99m
 - Lot Coverage from 40% to 40.79%

- Lot 2:
 - Lot Width from 10.0m to 9.99m

- Lot 3:
 - Lot Coverage from 40% to 40.40%

- Lot 4:
 - Interior Setback (habitable) from 2.40m to 1.50m

1 Siteplan
Scale: 1:100

CUBE
DEVELOPMENTS

"Four Oaks"

Site Plan

small
lot
rezoning

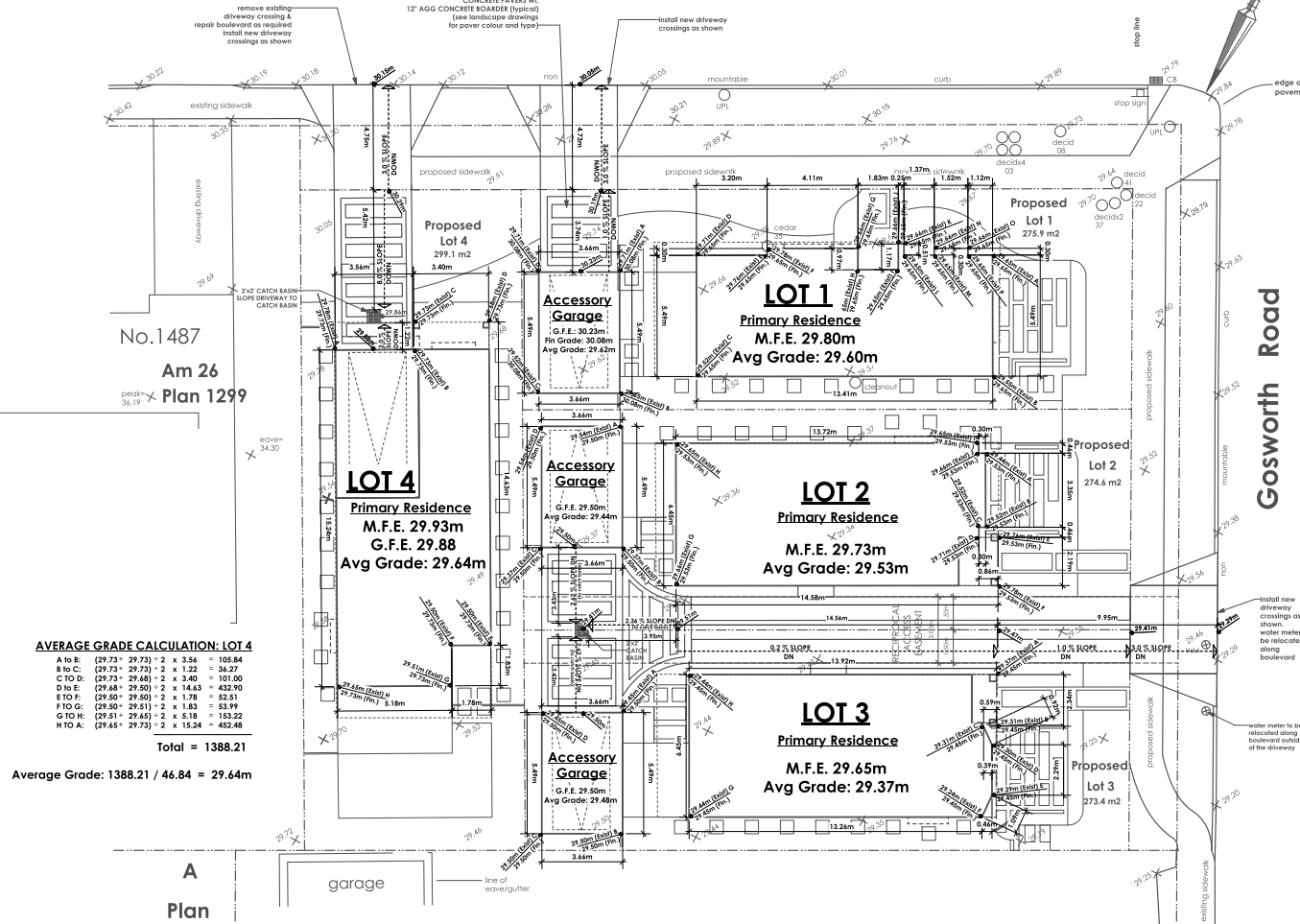
1491
EDGEWARE RD
& 2750
GOSWORTH RD

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scale
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GROUP

Date: 9/1/19

Edgware Road



AVERAGE GRADE CALCULATION: LOT 4

A to B:	(29.73 + 29.73) ÷ 2 × 3.54 = 108.84
B to C:	(29.73 + 29.73) ÷ 2 × 1.22 = 36.27
C to D:	(29.73 + 29.48) ÷ 2 × 3.40 = 101.00
D to E:	(29.48 + 29.50) ÷ 2 × 14.43 = 432.90
E to F:	(29.50 + 29.51) ÷ 2 × 1.78 = 52.51
F to G:	(29.50 + 29.51) ÷ 2 × 1.83 = 53.99
G to H:	(29.51 + 29.48) ÷ 2 × 6.18 = 153.22
H to A:	(29.45 + 29.73) ÷ 2 × 15.24 = 452.48

Total = 1388.21

Average Grade: 1388.21 / 46.84 = 29.64m

*** Requested Variances:**

Lot 1:

- Lot Width from 10.0m to 9.99m
- Front Yard Setback from 6.00m to 2.48m
- Rear Yard Setback from 6.00m to 1.50m

Lot 1 Accessory Structure:

- Front Yard Setback from 18.00m to 3.74m

Lot 2:

- Lot Width from 10.0m to 9.99m
- Lot Coverage from 40% to 40.79%

Lot 3:

- Lot Width from 10.0m to 9.99m
- Lot Coverage from 40% to 40.40%

Lot 4:

- Interior Setback (habitable) from 2.40m to 1.50m

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Siteplan Grades
Scale: 1:100

1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION

AVERAGE GRADE CALCULATION: LOT 1

A to B:	(29.65 + 29.55) ÷ 2 × 5.49 = 162.50
B to C:	(29.55 + 29.52) ÷ 2 × 13.41 = 376.06
C to D:	(29.52 + 29.45) ÷ 2 × 5.49 = 162.42
D to E:	(29.45 + 29.45) ÷ 2 × 3.00 = 94.88
E to F:	(29.45 + 29.45) ÷ 2 × 0.30 = 8.70
F to G:	(29.45 + 29.45) ÷ 2 × 4.11 = 121.86
G to H:	(29.45 + 29.45) ÷ 2 × 0.97 = 28.76
H to I:	(29.45 + 29.45) ÷ 2 × 1.83 = 54.26
I to J:	(29.45 + 29.45) ÷ 2 × 1.17 = 34.69
J to K:	(29.45 + 29.45) ÷ 2 × 0.25 = 7.41
K to L:	(29.45 + 29.45) ÷ 2 × 0.81 = 16.12
L to M:	(29.45 + 29.45) ÷ 2 × 1.37 = 40.62
M to N:	(29.45 + 29.45) ÷ 2 × 0.30 = 8.90
N to O:	(29.45 + 29.45) ÷ 2 × 1.82 = 46.07
O to P:	(29.45 + 29.45) ÷ 2 × 0.30 = 8.90
P to A:	(29.45 + 29.45) ÷ 2 × 1.12 = 33.21

Total = 1223.56

Average Grade: 1223.56 / 41.34 = 29.60m

AVERAGE GRADE CALCULATION: GARAGE LOT 1

A to B:	(29.71 + 29.55) ÷ 2 × 5.49 = 162.47
B to C:	(29.55 + 29.52) ÷ 2 × 3.44 = 108.10
C to D:	(29.52 + 29.71) ÷ 2 × 5.49 = 162.89
D to A:	(29.71 + 29.71) ÷ 2 × 3.44 = 108.74

Total = 542.09

Average Grade: 542.09 / 18.30 = 29.62m

AVERAGE GRADE CALCULATION: LOT 2

A to B:	(29.44 + 29.52) ÷ 2 × 3.35 = 98.76
B to C:	(29.52 + 29.52) ÷ 2 × 0.30 = 8.86
C to D:	(29.52 + 29.53) ÷ 2 × 0.46 = 13.58
D to E:	(29.53 + 29.53) ÷ 2 × 0.86 = 25.40
E to F:	(29.53 + 29.53) ÷ 2 × 2.19 = 44.47
F to G:	(29.53 + 29.53) ÷ 2 × 14.58 = 430.55
G to H:	(29.53 + 29.53) ÷ 2 × 6.45 = 190.47
H to I:	(29.53 + 29.53) ÷ 2 × 13.72 = 405.16
I to J:	(29.53 + 29.53) ÷ 2 × 0.46 = 13.58
J to A:	(29.53 + 29.44) ÷ 2 × 0.30 = 8.85

Total = 1259.86

Average Grade: 1259.86 / 42.67 = 29.53m

AVERAGE GRADE CALCULATION: GARAGE LOT 2

A to B:	(29.50 + 29.37) ÷ 2 × 5.49 = 161.60
B to C:	(29.37 + 29.37) ÷ 2 × 3.66 = 107.49
C to D:	(29.37 + 29.50) ÷ 2 × 5.49 = 161.60
D to A:	(29.50 + 29.50) ÷ 2 × 3.66 = 107.97

Total = 538.66

Average Grade: 538.66 / 18.30 = 29.44m

AVERAGE GRADE CALCULATION: LOT 3

A to B:	(29.37 + 29.31) ÷ 2 × 2.34 = 68.66
B to C:	(29.31 + 29.31) ÷ 2 × 0.59 = 17.29
C to D:	(29.31 + 29.30) ÷ 2 × 0.92 = 26.74
D to E:	(29.30 + 29.29) ÷ 2 × 2.29 = 67.09
E to F:	(29.29 + 29.24) ÷ 2 × 1.09 = 31.90
F to G:	(29.24 + 29.44) ÷ 2 × 13.24 = 389.05
G to H:	(29.44 + 29.44) ÷ 2 × 6.45 = 189.89
H to A:	(29.44 + 29.37) ÷ 2 × 13.92 = 409.32

Total = 1200.15

Average Grade: 1200.15 / 40.86 = 29.37m

AVERAGE GRADE CALCULATION: GARAGE LOT 3

A to B:	(29.45 + 29.50) ÷ 2 × 5.49 = 161.82
B to C:	(29.50 + 29.50) ÷ 2 × 3.66 = 107.97
C to D:	(29.50 + 29.45) ÷ 2 × 5.49 = 161.82
D to A:	(29.45 + 29.45) ÷ 2 × 3.66 = 107.79

Total = 539.39

Average Grade: 539.39 / 18.30 = 29.48m

CUBE DEVELOPMENTS

"Four Oaks"

Site Plan - Average Grade Calculations

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

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VICTORIA DESIGN GROUP

Date: 9/1/19



1 Lot 1 - Front Elevation
Scale: 1/4" = 1'-0"



2 Lot 1 - Right Side Elevation
Scale: 1/4" = 1'-0"



3 Lot 1 - Rear Elevation
Scale: 1/4" = 1'-0"



4 Lot 1 - Left Side Elevation
Scale: 1/4" = 1'-0"

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Board & Batten		SHERWIN WILLIAMS - FOOTHILLS SW7514
Conc. Fibre Lap Siding		SHERWIN WILLIAMS - FOOTHILLS SW7514
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Roof		ANTIQUE BLACK
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BLACK S25
Windows		BLACK

CUBE DEVELOPMENTS

"Four Oaks"

**Lot 1
Colour
Elevations**

**small
lot
rezoning**

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

**drawing #
8150**

**scale
1/4" = 1'-0"**

**drawn by
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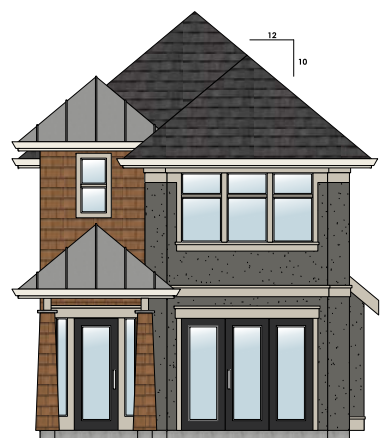
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**1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION**



1 Lot 2 - Front Elevation
Scale: 1/4" = 1'-0"



2 Lot 2 - Right Side Elevation
Scale: 1/4" = 1'-0"



3 Lot 2 - Rear Elevation
Scale: 1/4" = 1'-0"



4 Lot 2 - Left Side Elevation
Scale: 1/4" = 1'-0"

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Stucco		BENJAMIN MOORE - KENDALL CHARCOAL HC-166
Trim		BENJAMIN MOORE - REVERE PEWTER HC-172
Entry Doors		SHERWIN WILLIAMS - TRICORN BLACK SW6258
Roof		ANTIQUE BLACK
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		CASHMERE 514
Windows		WHITE

**CUBE
DEVELOPMENTS**

"Four Oaks"

**Lot 2
Colour
Elevations**

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
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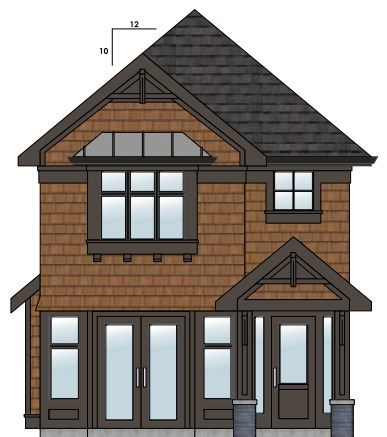


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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION



1 Lot 3 - Front Elevation
Scale: 1/4" = 1'-0"



2 Lot 3 - Right Side Elevation
Scale: 1/4" = 1'-0"



3 Lot 3 - Rear Elevation
Scale: 1/4" = 1'-0"



4 Lot 3 - Left Side Elevation
Scale: 1/4" = 1'-0"

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - BLACK FOX SW7020
Roof		ANTIQUE BLACK
Metal Roof		WESTFORM - WEATHERED ZINC
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BLACK S25
Windows		BLACK

CUBE DEVELOPMENTS

"Four Oaks"

**Lot 3
Colour
Elevations**

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150

scale
1/4" = 1'-0"

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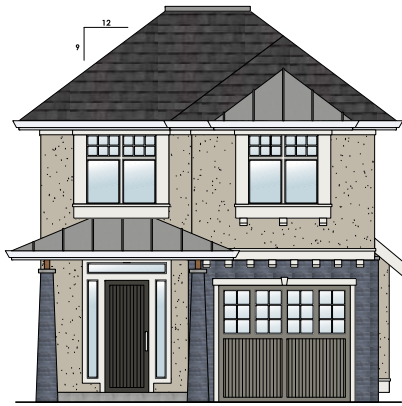
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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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8150: PROPOSED SMALL LOT REZONING :: 1491 EDGEWARE RD & 2750 GOSWORTH RD, VICTORIA, B.C.



1 Lot 4 - Front Elevation
Scale: 1/4" = 1'-0"



2 Lot 4 - Right Side Elevation
Scale: 1/4" = 1'-0"



3 Lot 4 - Rear Elevation
Scale: 1/4" = 1'-0"



4 Lot 4 - Left Side Elevation
Scale: 1/4" = 1'-0"

Stucco		SHERWIN WILLIAMS - JOGGING PATH 7638
Trim		SHERWIN WILLIAMS - PURE WHITE 7005
Entry Doors		PRATT & LAMBERT - AFRICAN NIGHT 32-18
Beams		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Roof		ANTIQUE BLACK
Metal Roof		WESTFORM - WEATHERED ZINC
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BRIGHT WHITE 431
Windows		BLACK

**CUBE
DEVELOPMENTS**

"Four Oaks"

**Lot 4
Colour
Elevations**

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150

scale
1/4" = 1'-0"

drawn by
NS

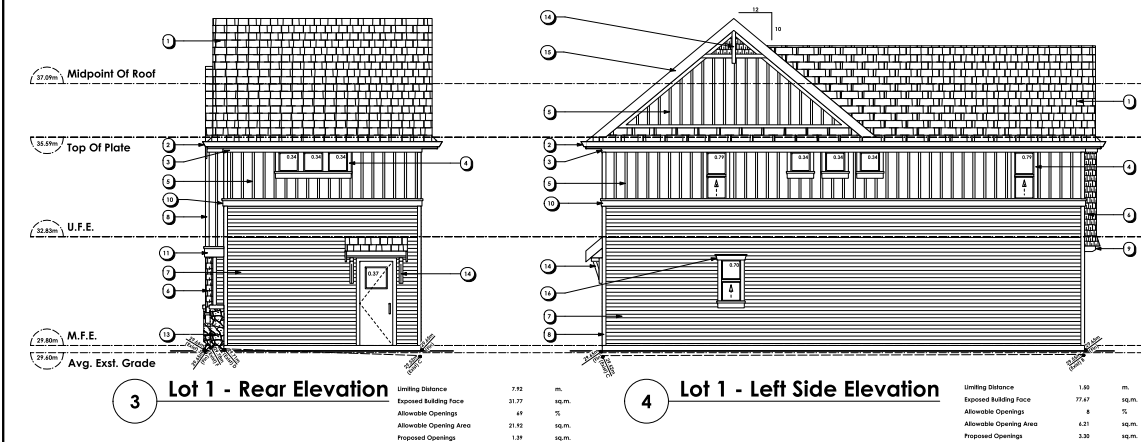
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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

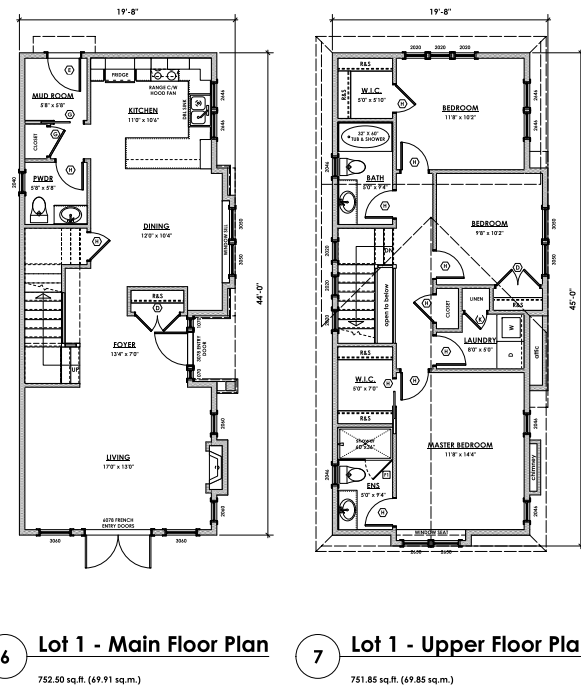


- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMN. GUTTER
 - 3 2x4 SOFFIT TRIM
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 BOARD AND BATTEN SIDING
 - 6 CEDAR SHINGLE SIDING
 - 7 CONC. FIBRE LAP SIDING
 - 8 1x4 CORNER TRIM
 - 9 DECORATIVE BLOCKING

- 10 METAL FLASHING ON 1x8 FASCIA BOARD
- 11 METAL FLASHING ON 1x12 FASCIA BOARD
- 12 10"x10" (FIN.) COLUMN ON 4" WOOD CAP C/JW METAL FLASHING ON PRE-MANUF. STONE VENEER COLUMN BASE
- 13 PRE-MANUF. STONE VENEER
- 14 DECORATIVE WOOD BRACE
- 15 2x10 BARGE BOARD
- 16 METAL FLASHING ON 2X6 TRIM

DOOR SCHEDULE

A	8/0 X 4/8 (5438 X 2032)	F	2/10 X 4/8 (844 X 2032)
B	4/0 X 4/8 (1829 X 2032)	G	2/8 X 4/8 (813 X 2032)
C	5/0 X 4/8 (1524 X 2032)	H	2/6 X 4/8 (742 X 2032)
D	4/0 X 4/8 (1219 X 2032)	J	2/4 X 4/8 (711 X 2032)
E	3/0 X 4/8 (914 X 2032)	K	2/0 X 4/8 (610 X 2032)
		L	1/8 X 4/8 (908 X 2032)



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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION

**CUBE
DEVELOPMENTS**

"Four Oaks"

Lot 1

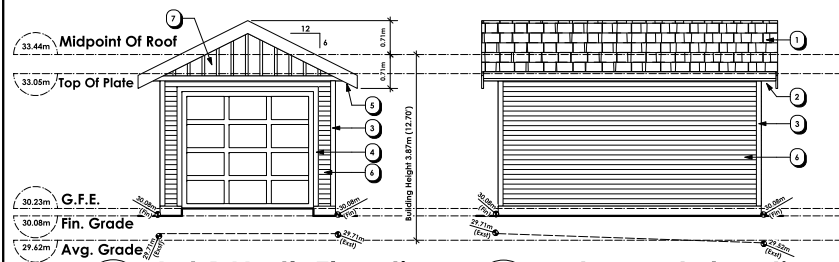
small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150
scale
3/16" = 1'-0"
drawn by
NS

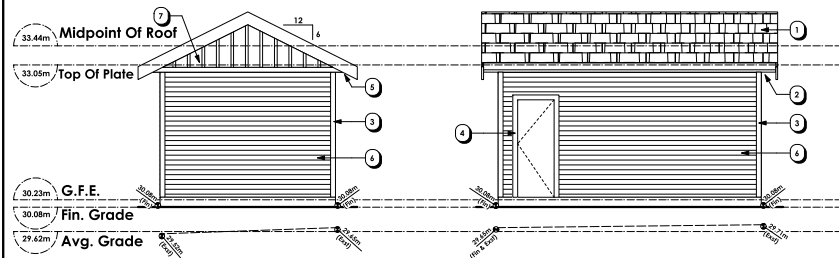


Date: 9/1/19



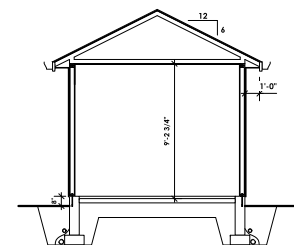
1 Lot 1 North Elevation
Scale: 1/4" = 1'-0"

2 Lot 1 West Elevation
Scale: 1/4" = 1'-0"



3 Lot 1 South Elevation
Scale: 1/4" = 1'-0"

4 Lot 1 East Elevation
Scale: 1/4" = 1'-0"



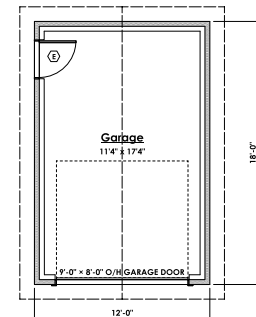
6 Section A-A
Scale: 1/4" = 1'-0"

Exterior Finish Schedule

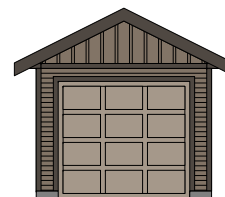
- 1 LAMINATED ASPHALT SHINGLES
- 2 PRE-FIN. ALUMN. GUTTER.
- 3 1x4 CORNER TRIM
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD
- 6 HARDIEPLANK LAP SIDING (4" REVEAL)
- 7 BOARD AND BATTEN SIDING

Colour Legend

Board & Batten		SHERWIN WILLIAMS - FOOTHILLS SW7514
Conc. Fibre Lap Siding		SHERWIN WILLIAMS - FOOTHILLS SW7514
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Garage / Entry Doors		BENJAMIN MOORE - ASHLEY GRAY HC-87
Roof		ANTIQUE BLACK
Gutter		GENTEK - BLACK 525



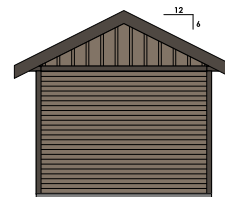
5 Lot 1 Garage Floor Plan
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



7 Lot 1 North Elevation
Scale: 1/4" = 1'-0"



8 Lot 1 West Elevation
Scale: 1/4" = 1'-0"



9 Lot 1 South Elevation
Scale: 1/4" = 1'-0"



10 Lot 1 East Elevation
Scale: 1/4" = 1'-0"

CUBE DEVELOPMENTS

"Four Oaks"

**Lot 1
Garage**

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS

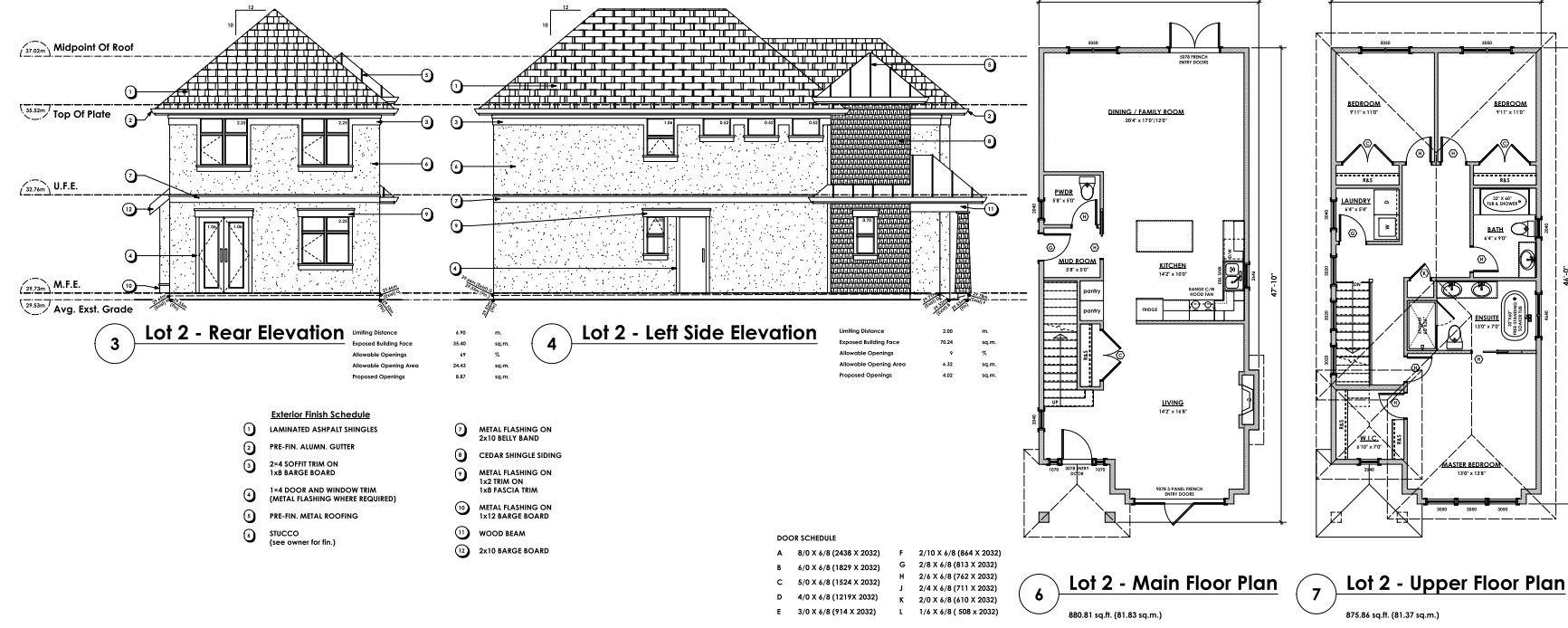
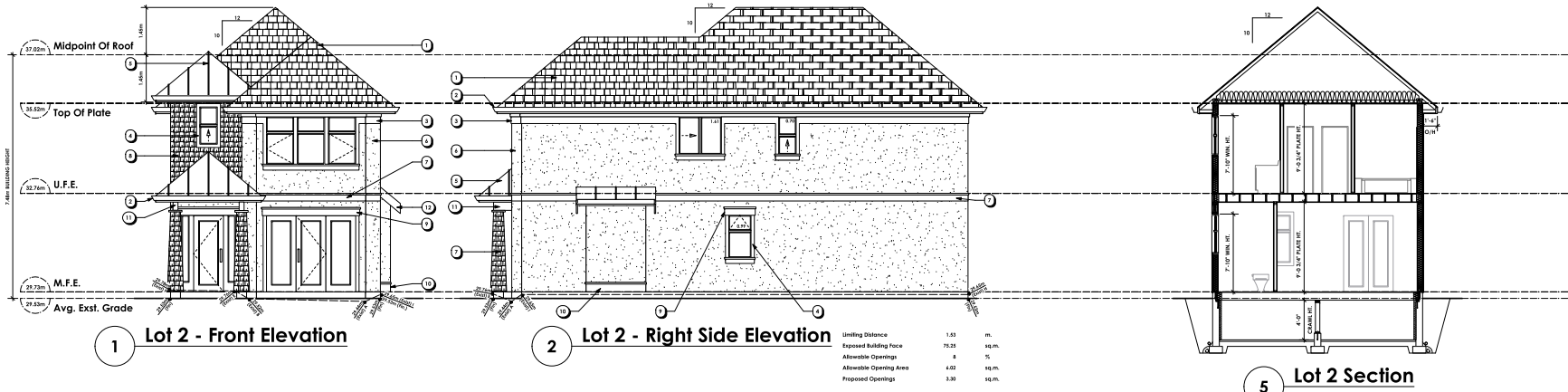
**VICTORIA
DESIGN
GROUP**

Date: 9/1/19

#103 891
AITREE AVENUE
VICTORIA, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

**1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION**



- Exterior Finish Schedule**
- 1 LAMINATED ASPHALT SHINGLES
 - 2 PRE-FIN. ALUMN. GUTTER
 - 3 2x4 SOFFIT TRIM ON 1x8 BARGE BOARD
 - 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
 - 5 PRE-FIN. METAL ROOFING
 - 6 STUCCO (see owner for fin.)
 - 7 METAL FLASHING ON 2x10 BELLY BAND
 - 8 CEDAR SHINGLE SIDING
 - 9 METAL FLASHING ON 1x2 TRIM ON 1x8 FASCIA TRIM
 - 10 METAL FLASHING ON 1x12 BARGE BOARD
 - 11 WOOD BEAM
 - 12 2x10 BARGE BOARD

DOOR SCHEDULE

A	8/0 X 4/8 (3438 X 2032)	F	2/10 X 4/8 (844 X 2032)
B	4/0 X 4/8 (1829 X 2032)	G	2/8 X 4/8 (813 X 2032)
C	5/0 X 4/8 (1524 X 2032)	H	2/6 X 4/8 (762 X 2032)
D	4/0 X 4/8 (1219 X 2032)	J	2/4 X 4/8 (711 X 2032)
E	3/0 X 4/8 (914 X 2032)	K	2/0 X 4/8 (610 X 2032)
		L	1/6 X 4/8 (908 X 2032)

CUBE DEVELOPMENTS

"Four Oaks"

Lot 2

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150
scale
3/16" = 1'-0"
drawn by
NS



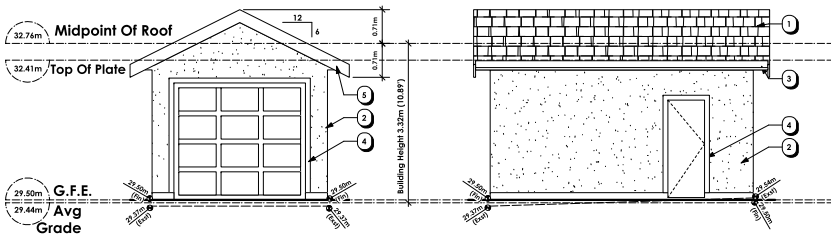
Date: 9/1/19

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VICTORIA, B.C.
V9B 0A6

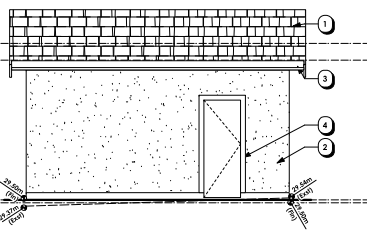
PH: 250.382.7374
FAX: 250.382.7364

1491 EDGEWARE RD & 2750 GOSWORTH RD

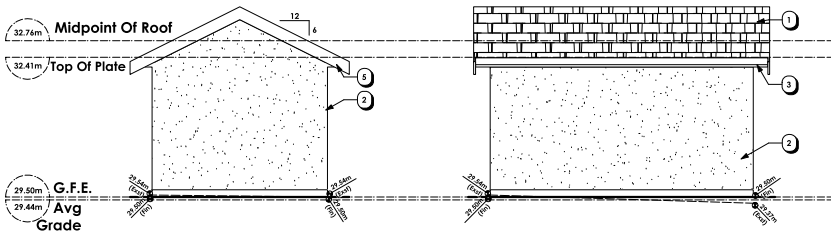
SMALL LOT REZONING PRESENTATION



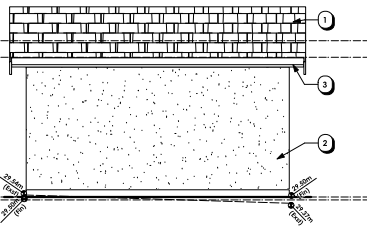
1 Lot 2 South Elevation
Scale: 1/4" = 1'-0"



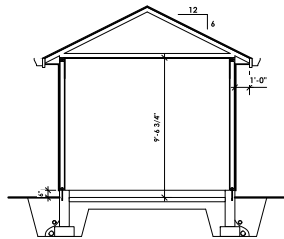
2 Lot 2 East Elevation
Scale: 1/4" = 1'-0"



3 Lot 2 North Elevation
Scale: 1/4" = 1'-0"



4 Lot 2 West Elevation
Scale: 1/4" = 1'-0"



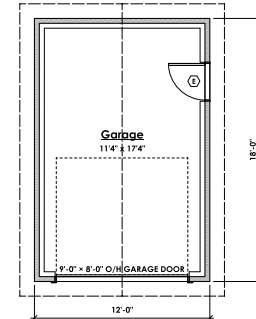
6 Section A-A
Scale: 1/4" = 1'-0"

Exterior Finish Schedule

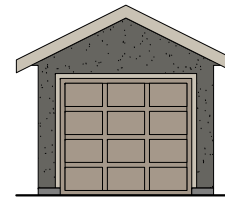
- 1 LAMINATED ASPHALT SHINGLES
- 2 STUCCO
- 3 PRE-FIN. ALUMN. GUTTER.
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD

Colour Legend

Stucco	BENJAMIN MOORE - KENDALL CHARCOAL HC-166
Trim	BENJAMIN MOORE - REVERE PEWTER HC-172
Entry Doors	SHERWIN WILLIAMS - TRICORN BLACK SW6258
Roof	ANTIQUE BLACK
Gutter	CASHMERE 514
Garage	BENJAMIN MOORE - CHELSEA GRAY HC-168



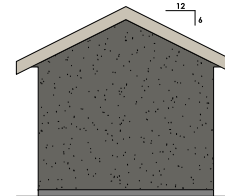
5 Lot 2 Garage Floor Plan
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



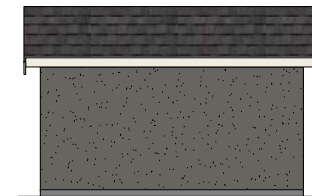
7 Lot 2 South Elevation
Scale: 1/4" = 1'-0"



8 Lot 2 East Elevation
Scale: 1/4" = 1'-0"



9 Lot 2 North Elevation
Scale: 1/4" = 1'-0"



10 Lot 2 West Elevation
Scale: 1/4" = 1'-0"

CUBE DEVELOPMENTS

"Four Oaks"

Lot 2 Garage

small
lot
rezoning

**1491 EDGEWARE RD
& 2750 GOSWORTH RD**

drawing #
8150
scale
1/4" = 1'-0"
drawn by
NS

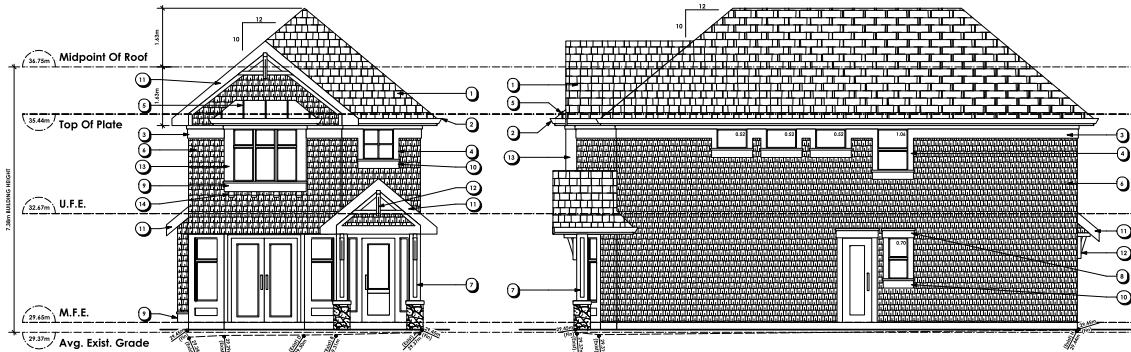
VICTORIA DESIGN GROUP

Date: 9/1/19

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VICTORIA, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

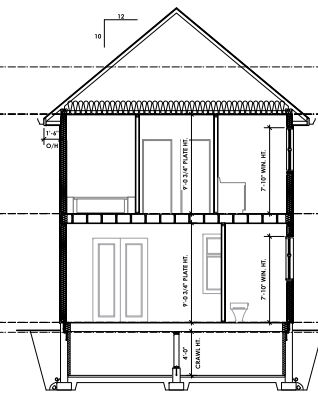
**1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION**



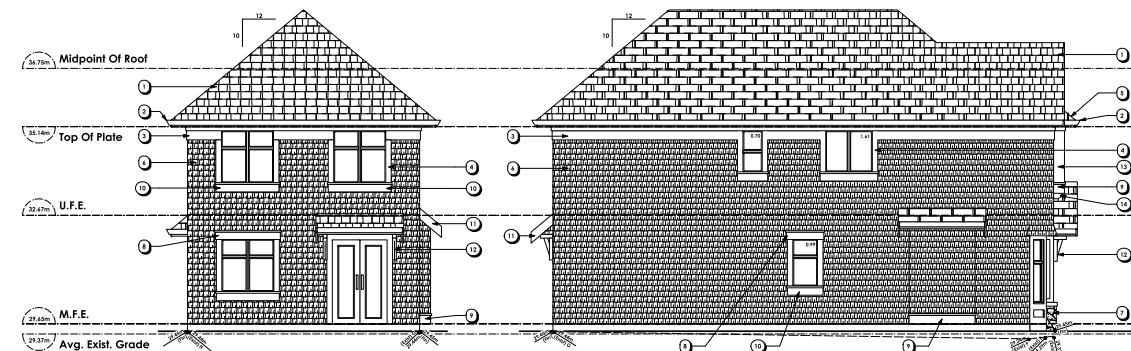
1 Lot 3 - Front Elevation

2 Lot 3 - Right Side Elevation

Limiting Distance	2.80	m.
Exposed Building Face	70.24	sq.m.
Allowable Openings	9	%
Allowable Opening Area	6.20	sq.m.
Proposed Openings	3.30	sq.m.



5 Lot 3 Section



3 Lot 3 - Rear Elevation

4 Lot 3 - Left Side Elevation

Limiting Distance	1.30	m.
Exposed Building Face	70.24	sq.m.
Allowable Openings	9	%
Allowable Opening Area	6.20	sq.m.
Proposed Openings	3.30	sq.m.

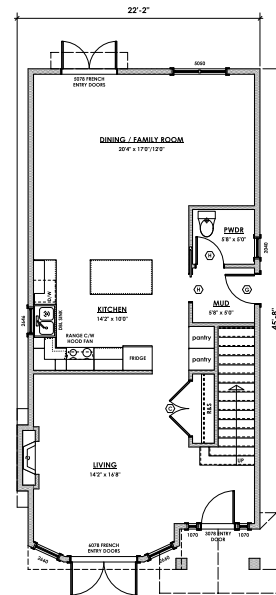
Exterior Finish Schedule

- 1 LAMINATED ASPHALT SHINGLES
- 2 PRE-FIN. ALUMN. GUTTER
- 3 2x4 SOFFIT TRIM ON 1x10 BARGE BOARD
- 4 1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 PRE-FIN. METAL ROOFING
- 6 CEDAR SHINGLE SIDING
- 7 CLADDING ON 12"x12" FRAMED COLUMN ON 18"x18" STONE VENEER BASE

- 8 METAL FLASHING ON 1x2 TRIM ON 1x6 FASCIA TRIM
- 9 METAL FLASHING ON 1x12 SILL TRIM
- 10 METAL FLASHING ON 1x10 SILL TRIM
- 11 2x10 BARGE BOARD
- 12 DECORATIVE WOOD BRACE
- 13 CUSTOM WOOD TRIM
- 14 DECORATIVE WOOD BLOCKING

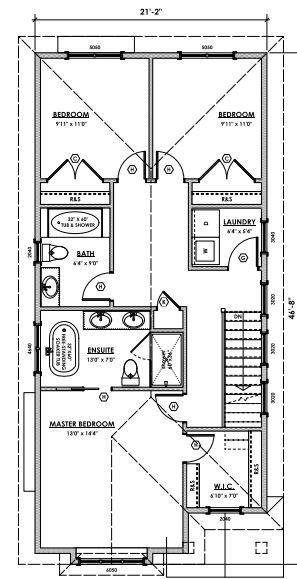
DOOR SCHEDULE

A	8/10 X 4/8 (3438 X 2032)	F	2/10 X 4/8 (844 X 2032)
B	4/10 X 4/8 (1829 X 2032)	G	2/8 X 4/8 (813 X 2032)
C	5/10 X 4/8 (1524 X 2032)	H	2/6 X 4/8 (742 X 2032)
D	4/10 X 4/8 (1219 X 2032)	J	2/4 X 4/8 (711 X 2032)
E	3/10 X 4/8 (914 X 2032)	K	2/2 X 4/8 (610 X 2032)
		L	1/8 X 4/8 (908 X 2032)



6 Lot 3 - Main Floor Plan

866.50 sq.ft. (80.50 sq.m.)



7 Lot 3 - Upper Floor Plan

881.03 sq.ft. (81.85 sq.m.)

CUBE DEVELOPMENTS

"Four Oaks"

Lot 3

small lot rezoning

1491 EDGEWARE RD & 2750 GOSWORTH RD

drawing # 8150
scale 3/16" = 1'-0"
drawn by NS

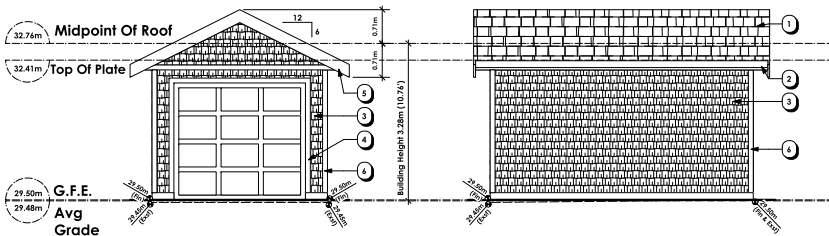
VICTORIA DESIGN GROUP

Date: 9/1/19

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VICTORIA, B.C.
V9B 0A6

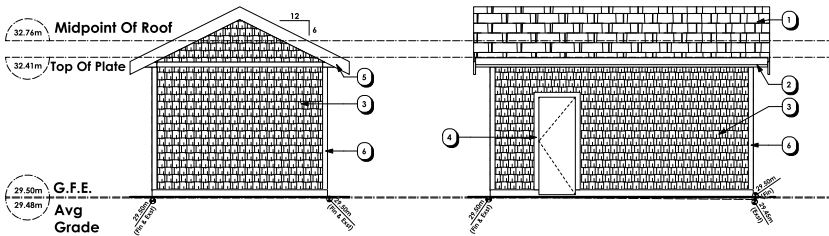
PH: 250.382.7374
FAX: 250.382.7364

1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION



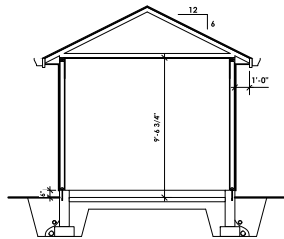
1 **Lot 3 North Elevation**
Scale: 1/4" = 1'-0"

2 **Lot 3 West Elevation**
Scale: 1/4" = 1'-0"



3 **Lot 3 South Elevation**
Scale: 1/4" = 1'-0"

4 **Lot 3 East Elevation**
Scale: 1/4" = 1'-0"



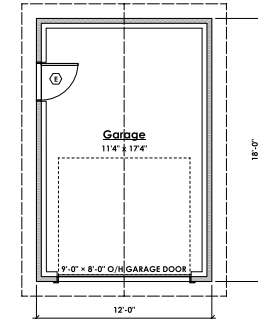
6 **Section A-A**
Scale: 1/4" = 1'-0"

Colour Legend

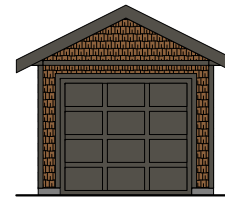
Conc. Fibre Shingle Siding	PAINTED TO MATCH SW - HAWTHORNE SW3518 STAIN
Trim	SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors	SHERWIN WILLIAMS - BLACK FOX SW7020
Roof	ANTIQUE BLACK
Gutter	GENTEK - BLACK 525

Exterior Finish Schedule

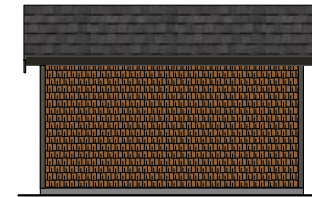
- 1 LAMINATED ASPHALT SHINGLES
- 2 PRE-FIN. ALUMIN. GUTTER
- 3 CONCRETE FIBRE SHINGLE SIDING
- 4 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 5 2x10 BARGE BOARD
- 6 1x4 CORNER TRIM



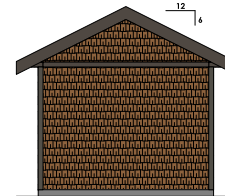
5 **Lot 3 Garage Floor Plan**
Scale: 1/4" = 1'-0"
Garage 196.44 sq.ft. (18.25 sq.m.)



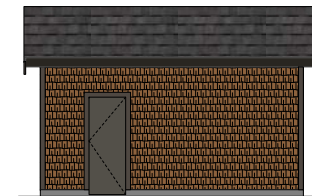
7 **Lot 3 North Elevation**
Scale: 1/4" = 1'-0"



8 **Lot 3 West Elevation**
Scale: 1/4" = 1'-0"



9 **Lot 3 South Elevation**
Scale: 1/4" = 1'-0"



10 **Lot 3 East Elevation**
Scale: 1/4" = 1'-0"

CUBE DEVELOPMENTS

"Four Oaks"

Lot 3 Garage

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150

scale
1/4" = 1'-0"
drawn by
NS

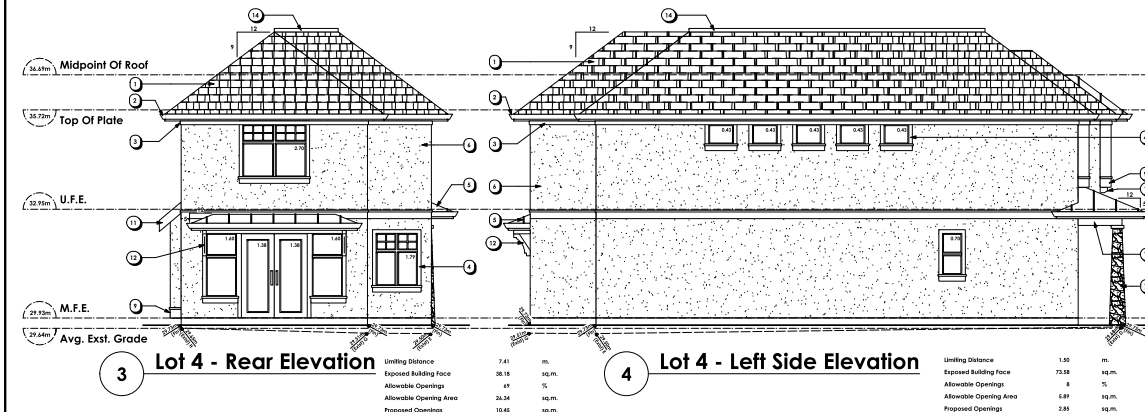
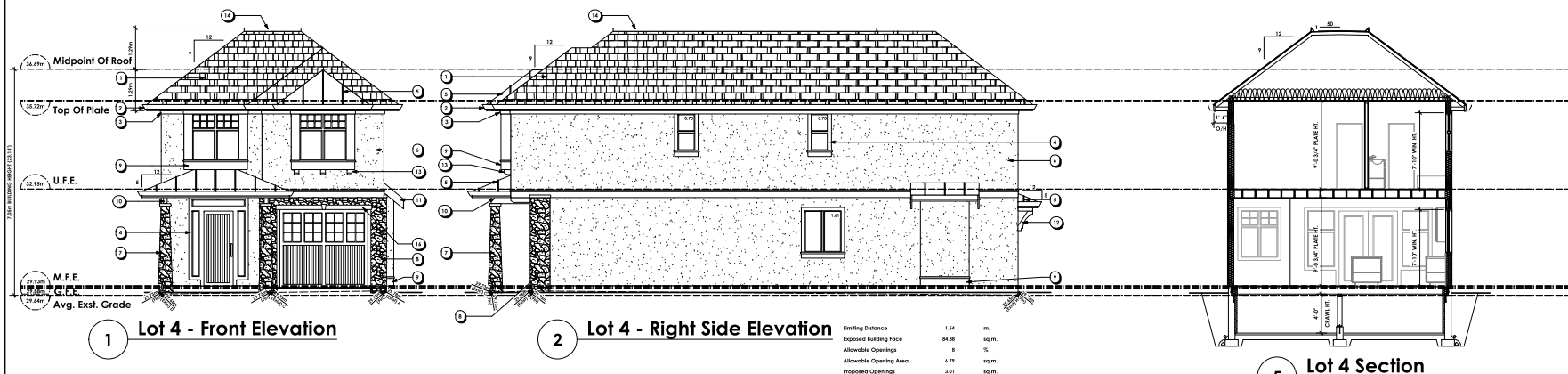
**VICTORIA
DESIGN
GROUP**

Date: 9/1/19

#103 891
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VICTORIA, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

**1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION**



Exterior Finish Schedule

① LAMINATED ASPHALT SHINGLES

② PRE-FIN. ALUMN. GUTTER

③ 2"x4 SOFFIT TRIM

④ 1"x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)

⑤ PRE-FIN. METAL ROOFING

⑥ STUCCO (see owner for fin.)

⑦ CLADDING ON 12"x12" FRAMED COLUMN TAPERING TO 18"x18"

⑧ PRE-MANUF. STONE VENEER

⑨ METAL FLASHING ON 1"x12 SILL TRIM

⑩ WOOD BEAM

⑪ 2"x10 BARGE BOARD

⑫ STRUCTURAL WOOD BRACE

⑬ DECORATIVE WOOD BLOCKING

⑭ METAL FLASHING

⑮ METAL FLASHING ON 2"x10 BELLY BAND

⑯ METAL FLASHING ON 2x6 WOOD TRIM WITH DECORATIVE KEYSTONE

DOOR SCHEDULE

A 8/0 X 4/8 (3438 X 2032) F 2/10 X 4/8 (844 X 2032)

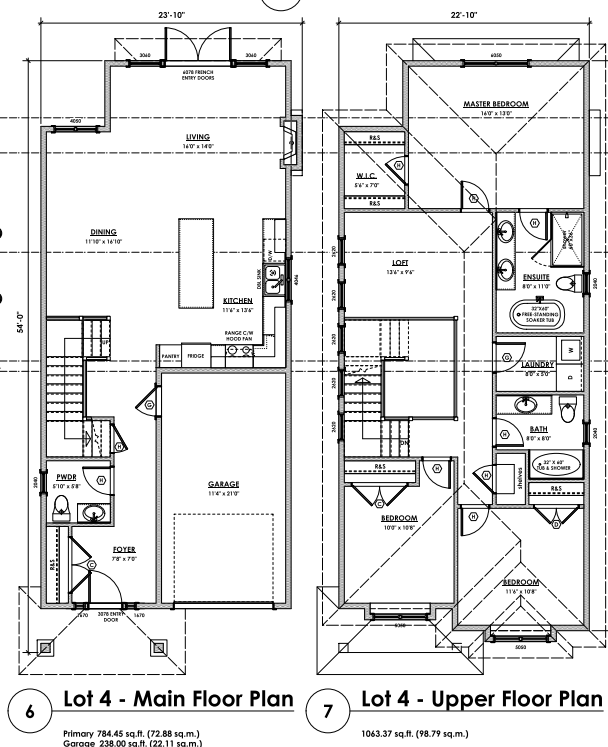
B 4/0 X 4/8 (1829 X 2032) G 2/8 X 4/8 (813 X 2032)

C 5/0 X 4/8 (1524 X 2032) H 2/6 X 4/8 (742 X 2032)

D 4/0 X 4/8 (1219 X 2032) J 2/4 X 4/8 (711 X 2032)

E 3/0 X 4/8 (914 X 2032) K 2/0 X 4/8 (610 X 2032)

L 1/6 X 4/8 (906 X 2032)



CUBE DEVELOPMENTS

"Four Oaks"

Lot 4

small
lot
rezoning

**1491
EDGEWARE RD
& 2750
GOSWORTH RD**

drawing #
8150
scale
3/16" = 1'-0"
drawn by
NS

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GROUP**

Date: 9/1/19

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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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8150: PROPOSED SMALL LOT REZONING :: 1491 EDGEWARE RD & 2750 GOSWORTH RD, VICTORIA, B.C.

CUBE
DEVELOPMENTS

"Four Oaks"

Gosworth
Road
Streetscape

WWW.VICTORIADISIGNGROUP.CA

1491 EDGEWARE RD & 2750 GOSWORTH RD, VICTORIA, B.C.

small
lot
rezoning

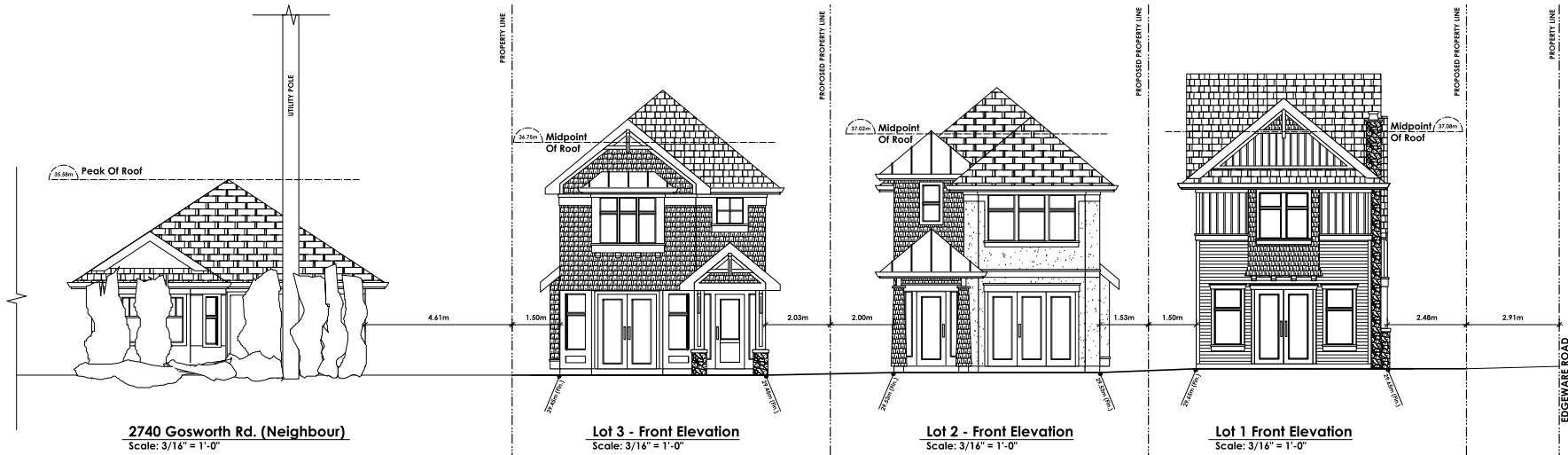
1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
3/16" = 1'-0"
drawn by
NS

VICTORIA
DESIGN
GROUP

Date: 9/1/19



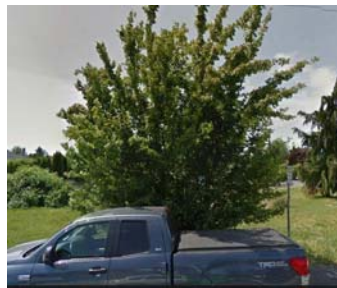
1 Gosworth Rd Streetscape
Scale: 3/16" = 1'-0"



2740 Gosworth Rd. (Neighbour)
Scale: 3/16" = 1'-0"



Proposed Lot 3
Scale: 3/16" = 1'-0"



Proposed Lot 2
Scale: 3/16" = 1'-0"



Proposed Lot 1
Scale: 3/16" = 1'-0"

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VICTORIA, B.C.
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1491 EDGEWARE RD & 2750 GOSWORTH RD SMALL LOT REZONING PRESENTATION

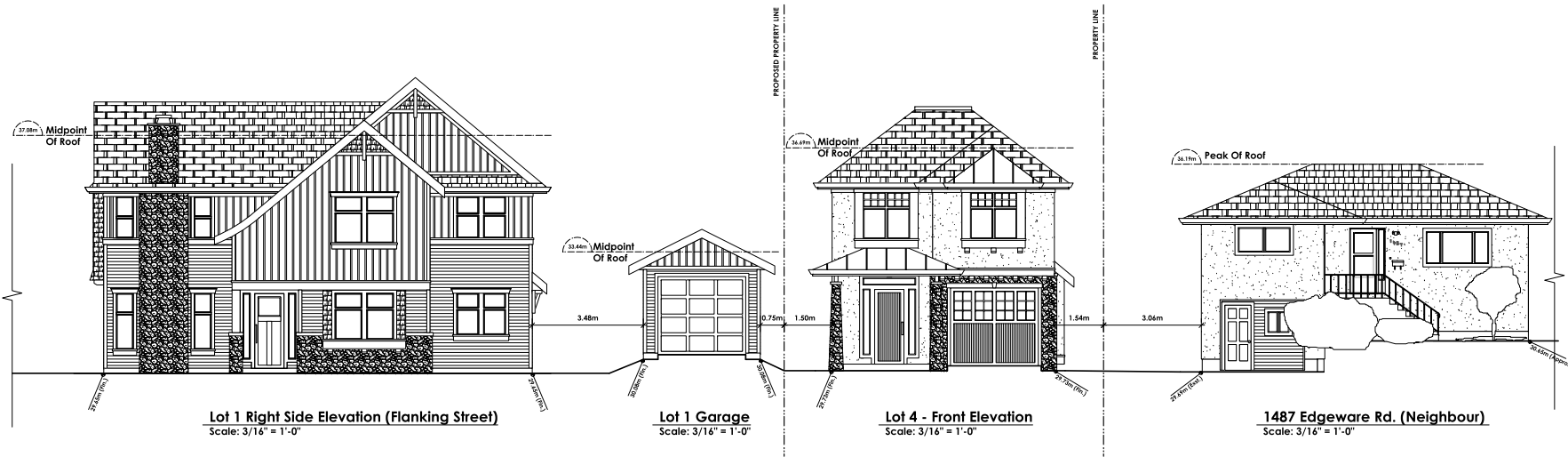
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CUBE
DEVELOPMENTS

"Four Oaks"

Edgeware
Road
Streetscape

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1 Edgeware Rd Streetscape
Scale: 3/16" = 1'-0"



Proposed Lot 1
Scale: 3/16" = 1'-0"



Proposed Garage Lot 1
Scale: 3/16" = 1'-0"

Proposed Lot 4
Scale: 3/16" = 1'-0"



1487 Edgeware Rd. (Neighbour)
Scale: 3/16" = 1'-0"

small
lot
rezoning

1491
EDGEWARE RD
& 2750
GOSWORTH RD

drawing #
8150

scale
3/16" = 1'-0"
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VICTORIA
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1491 EDGEWARE RD & 2750 GOSWORTH RD
SMALL LOT REZONING PRESENTATION

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8150:-PROPOSED SMALL LOT REZONING :: 1491 EDGEWARE RD & 2750 GOSWORTH RD, VICTORIA, B.C.



Received
City of Victoria
DEC 21 2018
Planning & Development Department
Development Services Division



Received
City of Victoria

DEC 21 2018

Planning & Development Department
Development Services Division



SMALL LOT REZONING APPLICATION

January 15th, 2018

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6



ATTN: City of Victoria Mayor and Council

It is my pleasure to present the "Four Oaks" rezoning application. I am applying to rezone the two existing properties at 1491 Edgeware Rd. and 2750 Gosworth Rd. in the Oaklands neighborhood area.

Planning

The two lots are currently zoned R1-B - Single Family Residential. We are applying to rezone these lots to create four R1-S2 – Small Lot Residential lots. Each lot will feature open concept living spaces, pedestrian-oriented parking, tasteful and conscientious landscaping plans, and three bedrooms on the upper floors. Every home will range from 141 m² to 175 m² with lots ranging from 275 m² to 299m². Three of the four garages will be detached and focus vehicle traffic away from the street.

We have requested minor variances with respect to three lot widths (from 10.0m to 9.99m) and two lot coverage amounts (from 40% to approximately 40.6%). These variances are required in order to accommodate sufficient living space for the four lots while also providing the City of Victoria with their requested road dedications for additional boulevard space.

Variances Requested Are:

- *Front and Rear Yard Setback:* Lot 1 requires this variance to accommodate the detached garage while maintaining adequate living space.
- *Site coverage:* Lots 2 and 3 are slightly over the maximum site coverage percentage (40%). This is largely due to the need to increase the public boulevard while also providing sufficient living space and a single parking garage for each home.
- *Street Frontage:* Lots 1, 2, and 3 are all 9.99m wide and the minimum frontage is 10.00m. This small variance has been requested to accommodate the boulevard right of way which will be given to the City as a subject to the rezoning.
- *Side Yard Setback:* Lot 4 requires a .9m side yard setback variance to accommodate the necessary building envelope and the minimum City of Victoria boulevard right of way.

Policy

This proposal is supported by the City of Victoria Official Community Plan (OCP). The Properties at 1491 Edgeware and 2750 Gosworth Road are in a residentially designated neighbourhood in

the Oaklands Community Association area near the Hillside Town Centre "Large Urban Village". The City of Victoria Official Community Plan speaks to the following values which are complimented by this proposal:

- 3.1 Whole Systems Thinking: Consider how the different parts of the city work together to affect the whole, including the environmental, social and economic dimensions of urban life and development.
- 3.5 Life Cycle Planning: Anticipate the needs of citizens throughout their lives.
- 3.7 Community Capacity Building: Strengthen the natural, human, economic, social and cultural resources of Victoria to build, develop and shape a resilient community.
- 3.8 Strong Local Communities: Support and enhance the sense of place and community, and the uniqueness of Victoria's neighbourhoods.
- 3.10 Engaged Citizens: Actively engage citizens and community stakeholders and value and respect their contributions.
- 3.12 Regional Context: Integrate a regional perspective and contribute to regional solutions.

Within the City of Victoria Official Community Plan, the properties in question are designated "Traditional Residential." The neighbourhoods are meant to be attractive, convenient pedestrian- and cycling- friendly spaces. This application honours the existing neighbourhood context while increasing the population to support future Urban Villages at Hillside, Haultain Corners and Cedar Hill Road.

Project Benefits

We are working with City staff and the community to create the most efficient and sustainable use of land for the property. Our proposal highlights the following:

- This development takes advantage of compact building designs to mitigate dwelling footprints and conserve home energy.
- Heat pumps used in each home.
- This proposal also clusters infill around existing sidewalks, City infrastructure, and transportation options.
- Cycling and public transit routes are nearby.
- There is an existing sidewalk along both Gosworth and Edgeware Road.
- Use of permeable pathway and driveways where possible. Natural rainwater runoff mitigation methods are applied.
- A pedestrian-focused design keeps vehicles away from the roads and creates more engaged neighborhoods.
- Follows existing settlement patters with support from the existing neighborhood.
- Smaller lot sizes creates housing options, diversity in the neighborhood, and reduces the land costs for market housing purchases.

Application Improvements

This proposal has been a collaboration with the neighborhood and City staff. We received overall positive support from our application by both neighbors, the Oaklands Community Association, and by City staff. We worked to deliver a design that would respect the existing neighborhood while providing a pedestrian-oriented and attractive design. Some changes that were made upon review of this proposal are:

- Reducing the roof height and design of lot 4 to better transition from the existing homes on Edgeware.
- The creation of a porch style entry on lot 1 to create a more welcoming outdoor space.
- Increased landscape screening for front patios to make outdoor spaces more appealing for future residents.
- A reduction of vertical-oriented exterior elements on lot 3 to better fit with the existing neighborhood.
- A redesign of the sidewalk to create a green boulevard which separates pedestrians from the road and incorporates the Oak trees to begin to develop an urban canopy.

Conclusion

We believe that the proposed lot sizes, tasteful craftsman design, and neighborhood support for this project is complimentary with the City of Victoria Official Community Plan. Supporting this rezoning and variance application will enhance the existing Oaklands neighborhood and compliment the City of Victoria's vision for increased modest-sized, infill housing. The Four Oaks rezoning proposal is in stride with the Smart Growth housing principles and will provide housing opportunities for young professionals, families, and/or seniors downsizing.

Respectfully submitted,

Niall Paltiel
President

SEP 13 2018

Planning & Development Department
Development Services Division**MEETING MINUTES****Oaklands Community Association Land Use Committee
July 30, 2018 Meeting Minutes****Location:** Oaklands Neighbourhood House - 2629 Victor Street**Time:** 7:00 – 8:30 p.m.**Contact:** landuse@oaklandsca.com**Development proposals**

1. Preliminary discussion about 1661 Burton Ave. small lot house rezoning.
 - This lot is across the street from Hillside Mall.
 - Two offsite parking spaces have been created.
 - New home has a relatively small footprint with ~600 ft² per floor.
 - Existing large trees in the rear yard will be maintained. Three other trees near the lane will be taken down, and replaced according to landscape plan.
 - No variances are being requested.
2. Preliminary discussion about 2921 Gosworth Rd. small lot house rezoning.
 - The existing home will be kept.
 - Original orientation of the existing home was toward Gosworth. New home faces the side street.
 - Only variance is front yard setback (approx. 1m)
3. Community meeting about 2850 Shakespeare St. rezoning to R1-S2 restricted small lots.
 - Three variances are being requested for the setbacks.
 - The one tree on the lot is being maintained.
 - Site coverage of new house is 30%.
 - One neighbour on Morley expressed concern that he had not been consulted yet. Developer exchanged contact info with neighbour.
4. Community meeting about 2750 Gosworth/1491 Edgeware rezoning to four small lots.
 - Current zoning is two R-1B lots. New zoning proposed is four R1-S2 lots.
 - New homes proposed are under the 7.5m height restriction.

- City is requiring a right-of-way dedication for sidewalks. A series of variances is being requested for setback and lot coverage.
- Design is meant to be pedestrian-focused by putting the driveways and garages at the rear of properties. French doors open from the living rooms to patios facing the street.
- Landscape plan includes planting oak trees.
- Timeline to start building would be January at the earliest.

Questions:

- When will the project start? There has been some concern about the height of the grass.
- Some concern about lack of greenspace/setback between lot 4 and adjacent house on Edgeware.
- Some questions about roof height in relation to neighbouring lots.
- One resident expressed their support for the project, specifically in relation to the potential for improved sidewalks.

Standing Items

5. 2018 Community Engagement at the Sunset Market

- Committee will inquire to Community Development Coordinator about the potential to share the OCA board table at 2 or 3 markets before the end of the summer.



PETITION FOLLOW - UP



ATTN: Community Planning and Sustainable Development Department
City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6
(250) 361 - 0283

We are pleased to present our petition of the adjacent neighbours of our rezoning properties at 1491 Edgeware Rd. and 2750 Gosworth Rd. in the Oaklands Community neighbourhood. Following our open house on July 30th, 2018, we have gone to work engaging with the neighbourhood. In our conversations and door knocking with the neighbours, the support for our proposal has been outstanding. We have worked with neighbours to address any comments, questions, or concerns and we are proud to have achieved 100% support from all adjacent neighbours and we received positive engagements and comments from other neighbours.

Appendix A features a map with the bubbles of support within the adjacent neighbourhood catchment area as outlined in the City of Victoria small lot rezoning application package. We door knocked and spoke to all affected neighbours. We met multiple times with several neighbours who had concerns about the change in lot size on the property and worked diligently to earn their support. Once we explained that there wouldn't be suites, that we were not applying for any side yard or back yard variances, and that there would be adequate parking under the City of Victoria parking bylaws, neighbours were generally satisfied and supportive.

Here is a summary of comments received from our petition and other engagements while door knocking:

- Ensure landscaping is indigenous
- Appreciate the character of the houses
- Find the design in keeping with the existing neighbourhood
- We need more housing like this in the City of Victoria
- Concern about enough on street parking
- I appreciate that parking is off the street
- Make sure you address parking concerns in the neighbourhood
- Ensure landscaping is not too difficult to maintain

One issue that arose with the neighbour at 1487 Edgeware Rd. was the height of the proposed home. While our initial proposal is under the maximum height requirement for both the current zone and the proposed small lot zone, the neighbour was still concerned about the impact this new home would have. We listened to her concerns and worked with the architect to reduce the pitch of the roof on the lot that abuts her property. We also altered our landscaping plan to ensure that there were not and plants that would block her gardens at the rear of the property. This change can be seen in Appendix B of this report.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Niall Paltiel', with a stylized flourish extending from the end.

Niall Paltiel
President

The logo for Island View Strategies Limited, consisting of the letters 'IVS' in a large, blue, serif font.

Island View Strategies Limited

Dream | Design | Deliver

Appendix A

Four Oaks Community Support



Appendix B

Changes to the Proposed Lot 4

Original Rendering



Updated Rendering



Received
City of Victoria

NOV 16 2018

Planning & Development Department
Development Services Division

SUMMARY SMALL LOT HOUSE REZONING PETITION

I, Niall Paltiel, have petitioned the adjacent neighbours* in compliance with
(applicant)

the *Small Lot House Rezoning Policies* for a small lot house to be located at 1491 Edgeware Rd. and
(location of proposed house)

2750 Gosworth Rd. and the petitions submitted are those collected by September 6th, 2018 **
(date)

Address	In Favour √	Opposed √	Neutral (30-day time expired) √
1487 Edgeware Rd.	Yes		
1490 Edgeware Rd.	Yes		
1496 Edgeware Rd.	Yes		
2740 Gosworth Rd.	Yes		
2755 Gosworth Rd.	Yes		
2761 Gosworth Rd.	Yes		
2802 Gosworth Rd.	Yes		
2803 Gosworth Rd.	Yes		
1456 Westall Ave.	Yes		
2749 Gosworth Rd.	Yes		

SUMMARY	Number	%
IN FAVOUR	10	100%
OPPOSED	0	
TOTAL RESPONSES		100%

*Do not include petitions from the applicant or persons occupying the property subject to rezoning.

**Note that petitions that are more than six months old will not be accepted by the City. It is the applicant's responsibility to obtain new petitions in this event.

Received
City of Victoria

SEP 13 2018

Planning & Development Department
Development Services Division

In preparation for my rezoning application to the City of Victoria, I,

NIALL PALTIER, am conducting the petition requirements for the
(print name)

property located at 1491 EDGEWARE ? 2150 GOSWORTH
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) TERRY FIVAN (see note above)

ADDRESS: 1490 EDGEWARE RD.

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

8/28/18
Date

[Signature]
Signature

CITY OF VICTORIA

In preparation for my rezoning application to the City of Victoria, I,

NIALL PALTIEL, am conducting the petition requirements for the
(print name)

property located at 1491 EDGEMARE ? 2750 GOSWORTH RD

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Noah Treacher (see note above)

ADDRESS: 2749 Gosworth Rd

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

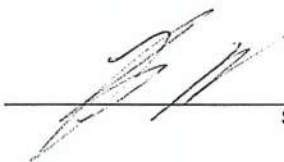
☐ I am opposed to the application.

Comments:

Date

Aug 19 / 2019

Signature



In preparation for my rezoning application to the City of Victoria, I,

NIAL PATIEL, am conducting the petition requirements for the
(print name)

property located at 1491 EDGEWARE RD 3 2570 GUSWORTH RD
to the following Small Lot Zone: R1-SZ

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) CAMPBELL SUZANNE SCHULZ (see note above)

ADDRESS: 1496 EDGEWARE ROAD

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

WE WELCOME THE DEVELOPMENT OF THE VACANT LOT
IMMEDIATELY ACROSS THE STREET. WE ARE CONCERNED
ABOUT THE STRAIN ON STREET PARKING AND THE
DENSITY OF PROPOSED DEVELOPMENT. WE FEEL THAT THREE
HOUSES ON THE DESCRIBED LOTS WOULD BE OPTIMAL.

Sept 1/18
Date

Cliff Scholz
Signature



Niall Paltiel <niallpaltiel@gmail.com>

Four Oaks Rezoning Application

Dennis Howard <[REDACTED]>
To: Niall <[REDACTED]>

Tue, Aug 14, 2018 at 5:11 PM

Hi Niall

As we are out of the country, please accept this email as our acceptance of the proposed plans for rezoning the property at Edgeware and Gosworth.

Respectfully,
Dennis and Lorelei Howard
Owners, [2781 Gosworth Rd](#)
[Quoted text hidden]

In preparation for my rezoning application to the City of Victoria, I,

NIAL PACTICE
(print name), am conducting the petition requirements for the

property located at 1491 EDGEWARE & 2750 GOSWORTH

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Jim Wing (see note above)

ADDRESS: 1487 Edgeware Rd.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

- ☒ I support the application.
☐ I am opposed to the application.

Comments:

Open conditions:

- 6 foot cedar fence
- low-impact landscaping in back yard (below fence line)
- lower roof pitch to 9'x12' and cap top as illustrated in updated elevation drawing (~2ft lower)

August 29, 2018
Date

Jim Wing
Signature

In preparation for my rezoning application to the City of Victoria, I,

NIALL PALTIEL, am conducting the petition requirements for the
(print name)

property located at 1491 EDGEWARE RD ? 2570 GOSWORTH RD
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Janice Hawkes (see note above)

ADDRESS: 2740 Gosworth Road

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

No additional comments
aside from emailed ones
from Virgil Hawkes.

Aug 16/18
Date

[Signature]
Signature

In preparation for my rezoning application to the City of Victoria, I,

NIALL PALTIER (print name), am conducting the petition requirements for the

property located at 1491 EDGEWARE & 2750 GOSWORTH RD.
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Erica Milner (see note above)

ADDRESS: 2755 Gosworth Rd

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

2018-08-14
Date

Erica Milner
Signature

In preparation for my rezoning application to the City of Victoria, I,

NIALL DALY
(print name), am conducting the petition requirements for the

property located at 1491 EDGEMARE RD & 2570 GOSWORTH RD
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) BRENDA WEBB (see note above)

ADDRESS: 1456 WEBSTAIL AVE

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

Aug 14, 2018
Date

Brenda Webb
Signature

In preparation for my rezoning application to the City of Victoria, I,

NIAL PATIEL, am conducting the petition requirements for the
(print name)

property located at 1491 EDGECWARE RD & 2570 GOSWORTH RD
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Mary C. Howarth (see note above)

ADDRESS: 2802 Gosworth Road.

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

It will be a great addition to
the neighbourhood, instead of a deposit
for shopping carts & garbage.

14th Aug 2018
Date

Mary C. Howarth
Signature

In preparation for my rezoning application to the City of Victoria, I,

NIALL PARTIETZ, am conducting the petition requirements for the
(print name)

property located at 1491 EDGEWARE RD & 2750 GOSWORTH RD
to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Albert Akoury (see note above)
ADDRESS: 2803 Gosworth Rd.

Are you the registered owner? Yes ☐ No ☒

I have reviewed the plans of the applicant and have the following comments:

- ☒ I support the application.
☐ I am opposed to the application.

Comments:

19/08/2018

Date



Signature

In preparation for my rezoning application to the City of Victoria, I,

NIAL PALTIEL
(print name), am conducting the petition requirements for the

property located at 1491 EDGEWARE RD ? 2750 GOSWORTH RD

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Nathalie Dechaine (see note above)

ADDRESS: 1450 Edgeware Road

Are you the registered owner? Yes ☒ No ☐

I have reviewed the plans of the applicant and have the following comments:

☒ I support the application.

☐ I am opposed to the application.

Comments:

I'm happy to see this property
being developed and being used
for a much better use!

Aug 27 / 2018
Date

N. Dechaine
Signature

Monica Dhawan

From: Susan Bowen [REDACTED]
Sent: Monday, July 23, 2018 9:56 AM
To: Victoria Mayor and Council
Cc: landuse@oaklandsca.com
Subject: Submission re: proposed re-zoning of 1491 Edgeware Road and 2750 Gosworth Road

To the Mayor and Council of Victoria

We are writing to express out strong opposition to the proposed rezoning of the above noted properties from single-family (R1-B) to small lot residential (R1-S2). As long time residents (30 years) of Edgeware Road our opposition to the rezoning is based on our understanding that the city's plan to increase density in this area was to be confined to the main corridor of Hillside Avenue and not intrude onto the single-family streets in the area. To put four residences on this corner lot will not only increase traffic on Edgeware Road, which is much narrower than most city streets (and is already being used as a short-cut to Hillside Centre from Cedar Hill Road), but we're concerned that sight-lines will be impacted making it difficult and dangerous to cross Edgeware Road at Gosworth.

We note that each lot will provide for only one parking space per lot. Most of the houses in the area have a minimum of two cars per household and several have three cars. It is unlikely that four lots will result in four cars, meaning that additional cars will be parked on already overcrowded roads further obstructing sight-lines.

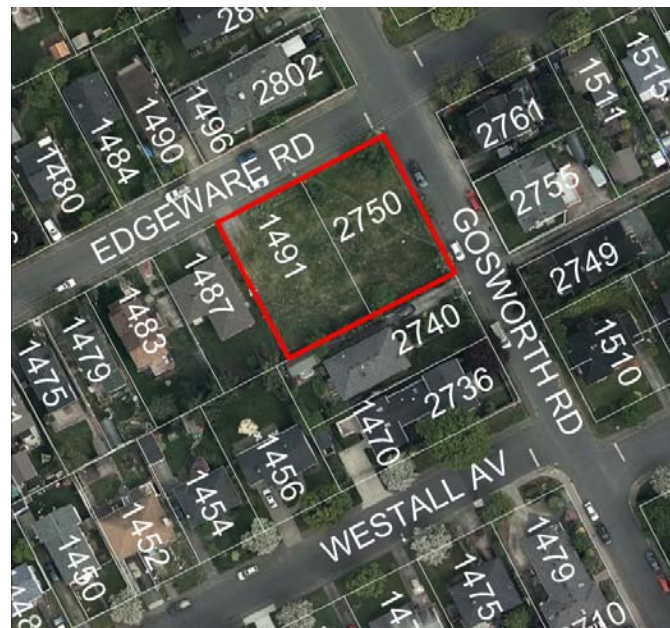
Also, putting four houses on these lots will mean very little room for gardens or water catchment areas with most of the area being used for buildings and parking.

The fact that someone has purchased these lots with the intention of applying for re-zoning to construct four homes rather than two has more to do with increasing their profit margin than any concern for Victoria's housing shortage. Why should area residents have to contend with the long-term consequences of increased density which will only serve to increase the wealth of a property speculator/developer and do nothing to enhance the neighbourhood?

The property in question was originally a single-family residence and has been a vacant lot for many years. It was split into two lots a few years ago and has remained undeveloped. We strongly urge Council to reject this proposal and leave the lot as is, sub-divided into two lots.

Regards,
Susan Bowen
Michael Smith
1476 Edgeware Road
Victoria BC V8T2J5

Rezoning and Development Permit with Variances Application for 1491 Edgeware Road and 2750 Gosworth Road



Subject Property (Edgeware)



Subject Property (Gosworth)



2761, 2755, 2749 Gosworth Road



2749 Gosworth Road (south-east)



2740 Gosworth Road (south)



1496 Edgeware/2802 Gosworth Road (north)

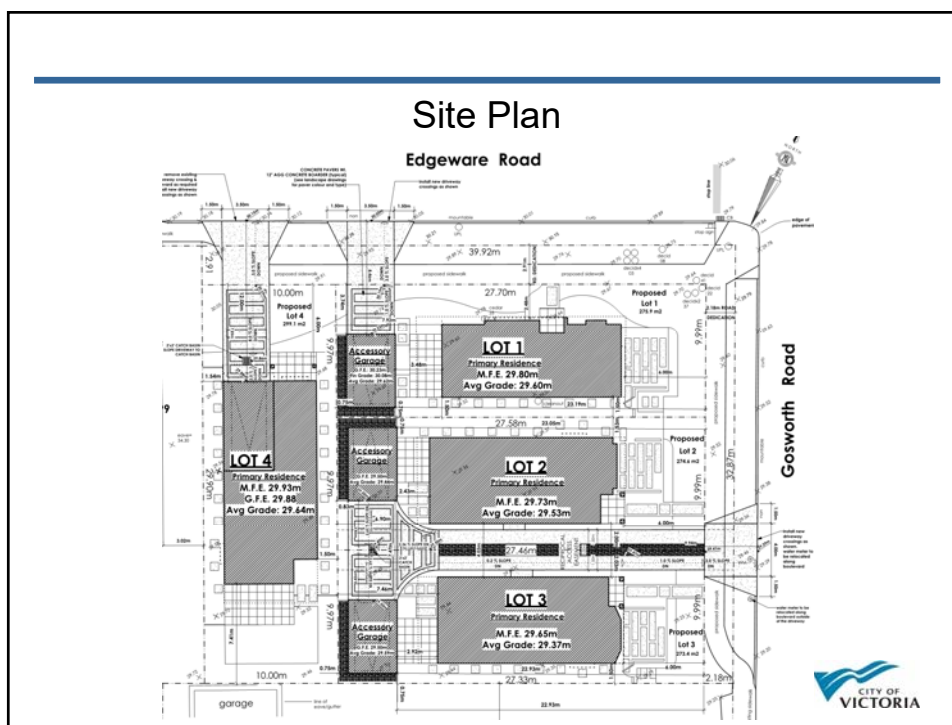
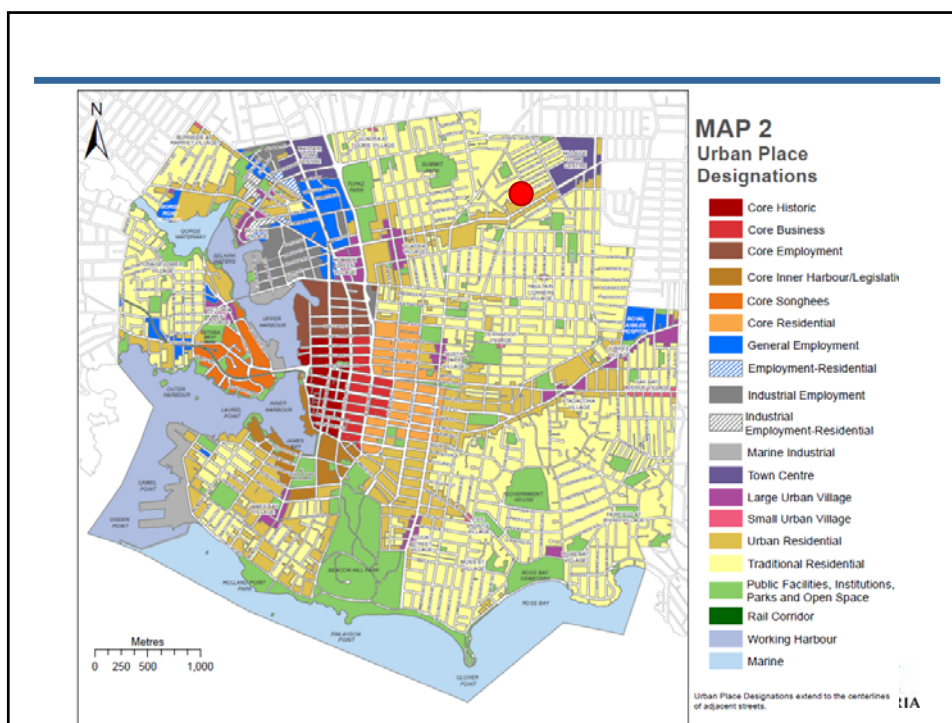


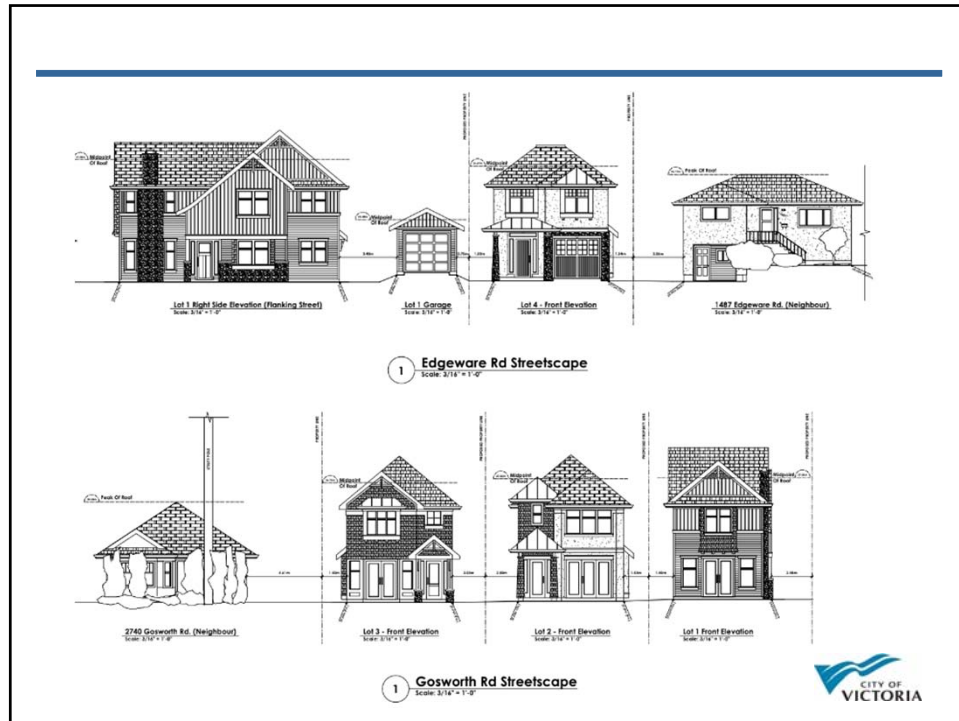
1490 Edgeware Road (north)



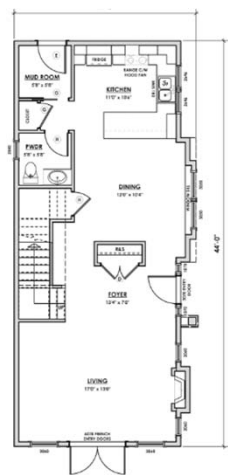
1487 Edgeware Road (west)



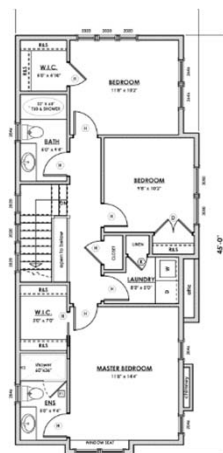




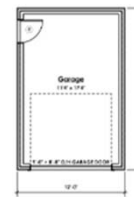
Typical Floorplan (Lots 1,2,3)



Lower Floor



Upper Floor



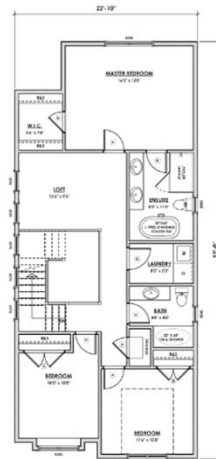
Detached Garage



Lot 4 Floorplan



Lower Floor



Upper Floor



Lot 1 Elevations



1 Lot 1 - Front Elevation
Scale: 1/8" = 1'-0"



2 Lot 1 - Right Side Elevation
Scale: 1/8" = 1'-0"

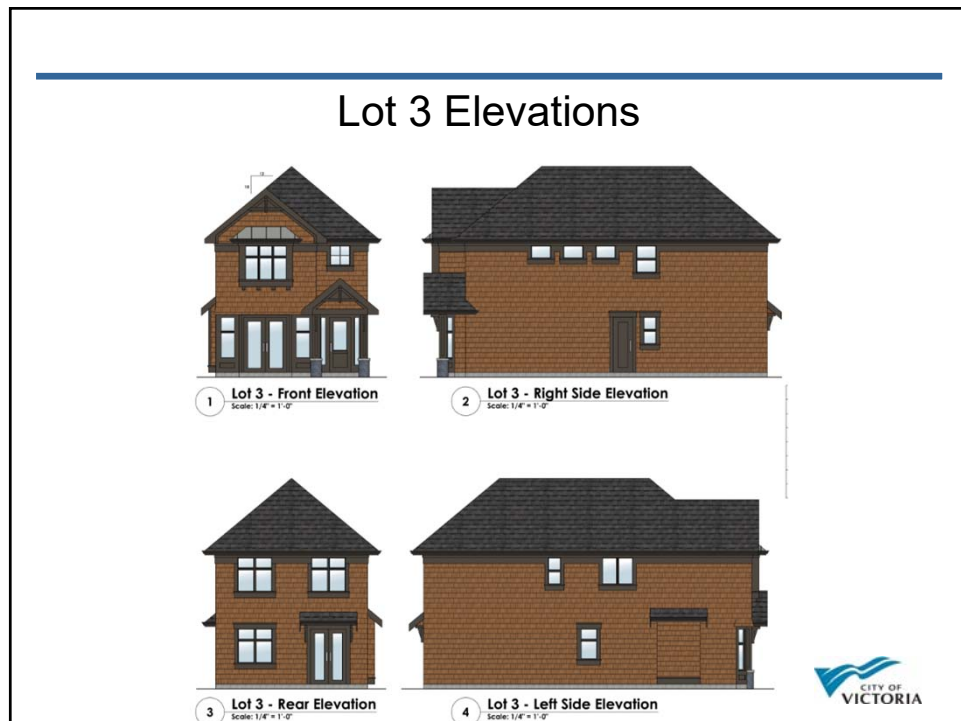
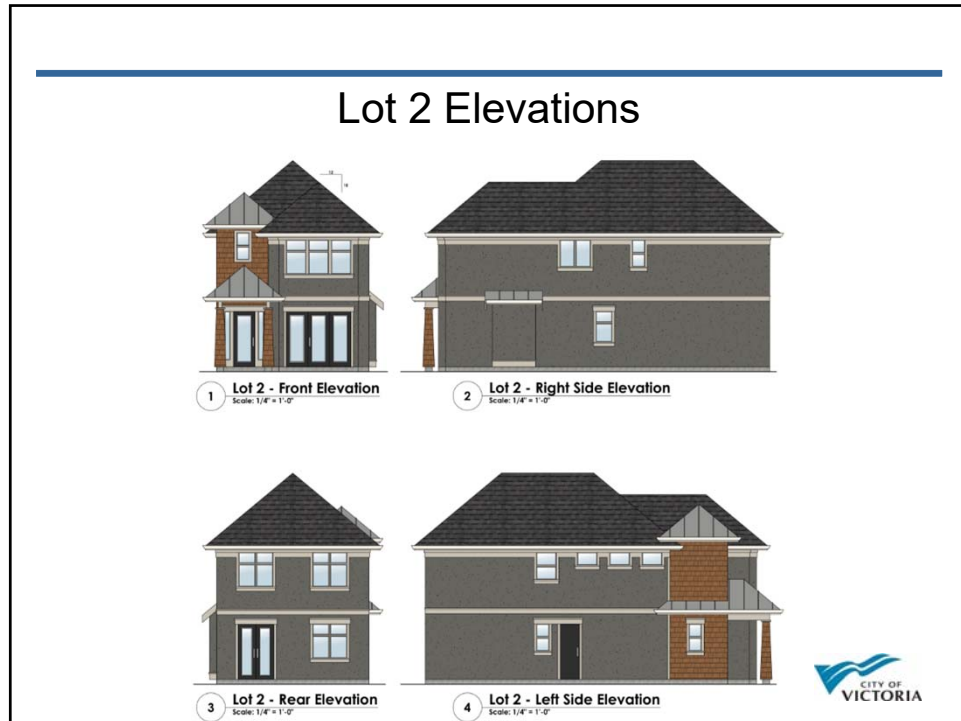


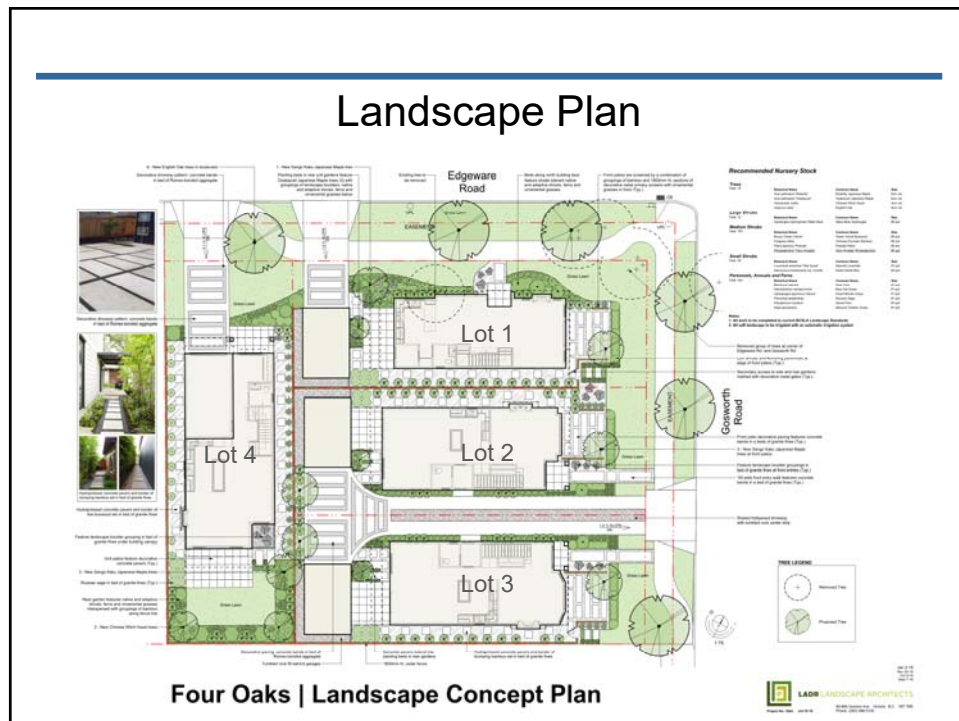
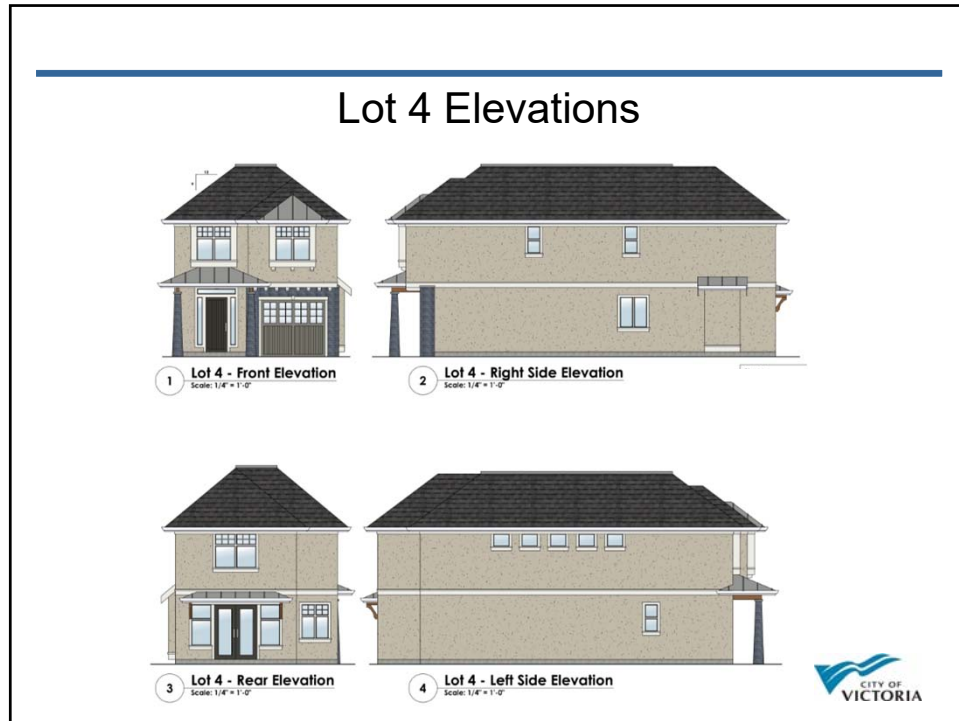
3 Lot 1 - Rear Elevation
Scale: 1/8" = 1'-0"



4 Lot 1 - Left Side Elevation
Scale: 1/8" = 1'-0"







Renderings




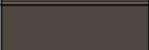



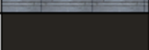



Edgeware Road




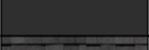

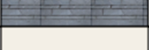




Gosworth Road

Color Board – Lot 1



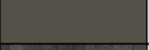


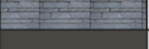


Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Board & Batten		SHERWIN WILLIAMS - FOOTHILLS SW7514
Conc. Fibre Lap Siding		SHERWIN WILLIAMS - FOOTHILLS SW7514
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Roof		ANTIQUE BLACK
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BLACK 525
Windows		BLACK

Color Board – Lot 2

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Stucco		BENJAMIN MOORE - KENDALL CHARCOAL HC-166
Trim		BENJAMIN MOORE - REVERE PEWTER HC-172
Entry Doors		SHERWIN WILLIAMS - TRICORN BLACK SW6258
Roof		ANTIQUE BLACK
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		CASHMERE 514
Windows		WHITE


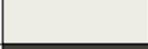
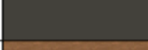



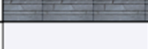




Color Board – Lot 3

Cedar Shingles		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Trim		SHERWIN WILLIAMS - BLACK FOX SW7020
Entry Doors		SHERWIN WILLIAMS - BLACK FOX SW7020
Roof		ANTIQUE BLACK
Metal Roof		WESTFORM - WEATHERED ZINC
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BLACK 525
Windows		BLACK



Color Board – Lot 4

Stucco		SHERWIN WILLIAMS - JOGGING PATH 7638
Trim		SHERWIN WILLIAMS - PURE WHITE 7005
Entry Doors		PRATT & LAMBERT - AFRICAN NIGHT 32-18
Beams		SHERWIN WILLIAMS - HAWTHORNE SW3518 STAIN
Roof		ANTIQUE BLACK
Metal Roof		WESTFORM - WEATHERED ZINC
Stone		K2 STONE - PACIFIC ASHLAR
Gutter		GENTEK - BRIGHT WHITE 431
Windows		BLACK

