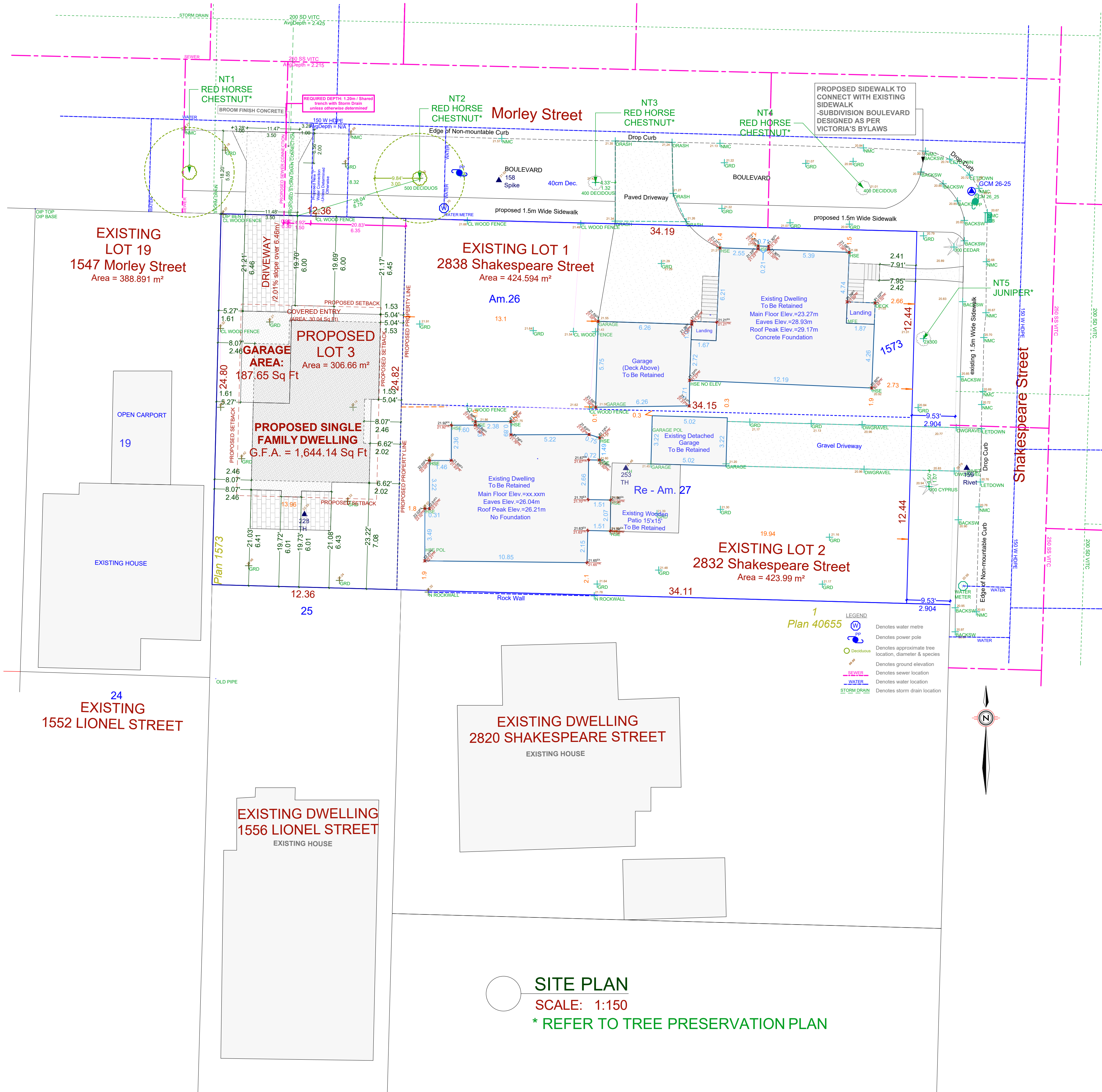


Attachment C



PROJECT DATATABLE - SINGLE FAMILY DWELLING			
Address	Lot 3, Morley Street, Victoria		
Lot Size	306.66 m <sup>2</sup> (3,300.81 R <sup>2</sup> )		
Zoning	R1-S2		
	Proposed	Allowed	
Height			
Average grade	22.01 m Geo.		
Highest sloped roof height	6.89 m (22.59') /2 storeys/	7.50 m (24.61') /2 storeys/	
Floor Area			
Upper floor area	76.86 m <sup>2</sup> (827.32 R <sup>2</sup> )		
Main floor area	75.89 m <sup>2</sup> (816.82 R <sup>2</sup> )		
Garage	17.43 m <sup>2</sup> (187.65 R <sup>2</sup> )		
Garage exemption	18.60 m <sup>2</sup> (200.20 R <sup>2</sup> )		
Total gross floor area	152.75 m <sup>2</sup> (1,644.14 R <sup>2</sup> )	190.00 m <sup>2</sup> (2,045.14 R <sup>2</sup> )	
Floor space ratio	0.4981 /152.75 m <sup>2</sup> (1,644.14 R <sup>2</sup> )	0.6 /183.99 m <sup>2</sup> (1,980.48 R <sup>2</sup> )	
Site coverage			
Lot coverage (total)	33.33 % /102.20 m <sup>2</sup> (1,100.10 R <sup>2</sup> )	40.00 % /122.66 m <sup>2</sup> (1,320.32 R <sup>2</sup> )	
Setbacks			
Front yard setback	6.00 m (19.69')	6.00 m (19.685')	
Rear yard setback	6.01 m (19.72')	6.00 m (19.685')	
Interior side yard setback (West)	1.61 m (5.27')	1.50 m (4.92')	
Interior side yard setback (West) /habitable space with window/	2.46 m (8.07')	2.40 m (7.87')	
Interior side yard setback (East)	1.53 m (5.04')	1.50 m (4.92')	
Interior side yard setback (East) /habitable space with window/	2.46 m (8.07')	2.40 m (7.87')	

PROJECT INFORMATION TABLE - EXISTING SINGLE FAMILY DWELLING			
Address	Lot 1 2838 Shakespeare Street, Victoria		
Lot Size	424.594 m <sup>2</sup> (4,570.29 R <sup>2</sup> )		
Zoning	R1-S2		
	Proposed	Allowed	
Height	21.24 m Geo.		
Average grade			
Highest sloped roof height	7.81 m (25.62') /2.5 storeys/	7.50 m (24.61') /2 storeys/	
Total Floor Area	144.46 m <sup>2</sup> (1,554.95 R <sup>2</sup> )	190.00 m <sup>2</sup> (2,045.14 R <sup>2</sup> )	
Floor Space Ratio	0.34 144.46 m <sup>2</sup> (1,554.95 R <sup>2</sup> )	0.6 254.76 m <sup>2</sup> (2,742.21 R <sup>2</sup> )	
Site coverage			
Lot coverage (total)	30.60 % 129.93 m <sup>2</sup> (1,398.55 R <sup>2</sup> )	40.00 % 169.84 m <sup>2</sup> (1,828.14 R <sup>2</sup> )	
Open space	60.83 % 258.28 m <sup>2</sup> (2,780.10 R <sup>2</sup> )		
Parking Stalls (number) on Site	2		
Setbacks			
Front yard setback	1.20m (3.94') Morley Street	6.00 m (19.685')	
Maximum projections into front setback • steps less than 1.7m in height	N/A	2.50 m (8.20 R)	
Rear yard setback	0.10m (0.33') South	6.00 m (19.685')	
Interior side yard setback (East)	n/a	1.50 m (4.92')	
Interior side yard setback (West)	13.10m (42.98')	1.50 m (4.92')	
Side Flanking Street	2.41m (7.91')	2.40 m (7.87')	
Combined Side Yards	15.83m (51.94')	N/A	

Existing Non-Conforming\*

PROJECT INFORMATION TABLE - EXISTING SINGLE FAMILY DWELLING			
Address	Lot 2 2832 Shakespeare Street, Victoria		
Lot Size	423.99 m <sup>2</sup> (4,563.79 R <sup>2</sup> )		
Zoning	R1-S2		
	Proposed	Allowed	
Height			
Average grade	21.85 m Geo.		
Highest sloped roof height	4.28 m (14.04') /1 storey/	7.50 m (24.61') /2 storeys/	
Total Floor Area	91.14 m <sup>2</sup> (981 R <sup>2</sup> )	190.00 m <sup>2</sup> (2,045.14 R <sup>2</sup> )	
Floor Space Ratio	0.21 91.14 m <sup>2</sup> (981 R <sup>2</sup> )	0.6 183.99 m <sup>2</sup> (1,980.45 R <sup>2</sup> )	
Site coverage			
Lot coverage (total)	26.46 % 112.19 m <sup>2</sup> (1,207.60 R <sup>2</sup> )	40.00 % 122.66 m <sup>2</sup> (1,320.32 R <sup>2</sup> )	
Open space	64.96 % 275.42 m <sup>2</sup> (2,984.60 R <sup>2</sup> )		
Parking Stalls (number) on Site	2		
Setbacks			
Front yard setback	19.94m (65.42')	6.00 m (19.685')	
Rear yard setback	1.80m (5.91')	6.00 m (19.685')	
Interior side yard setback (North)	1.00m (3.28')	1.50 m (4.92')	
Interior side yard setback (South)	1.90m (6.23')	1.50 m (4.92')	
EXISTING ACCESSORY BUILDING - TO BE RETAINED			
Building Use	Detached Garage		
Location	Front Yard	Rear Yard	
Combined Floor Area	12.30m	37.00m	
Height	3.31m	4.00m	
Front Setback	15.25m	18.00m	
Rear Setback	16.80m	0.60m	
Side Setback	0.30m North	0.60m	
Separation Space from Main Building	3.40m	2.40m	
Rear Yard Site Coverage	n/a	30.00m	

VARIANCE REQUIRED\*

EXISTING ACCESSORY BUILDING - TO BE RETAINED			
Building Use	Detached Garage		
Location	Front Yard*	Rear Yard	
Combined Floor Area	12.30m	37.00m	
Height	3.31m	4.00m	
Front Setback	15.25m	18.00m	
Rear Setback	16.80m	0.60m	
Side Setback	8.30m* North	0.60m	
Separation Space from Main Building	3.40m	2.40m	
Rear Yard Site Coverage	n/a	30.00m	

JAVA DESIGNS

WHERE LINES ON PAPER BECOME WALLS ON SITE

PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

CUSTOMER:

PAM HARTLING

ADDRESS:

2832 & 2838 SHAKESPEARE STREET, VICTORIA

ISSUE DATE:

MAR\_06\_2019

DRAWING NAME:

SITE PLAN - ALL LOTS

DRAWING SCALE:

1:150

ISSUE DATE:

MAR\_06\_2019

DRAWING NAME:

SITE PLAN - ALL LOTS

DRAWING SCALE:

1:150

ISSUE DATE:

MAR\_06\_2019

DRAWING NAME:

SITE PLAN - ALL LOTS

DRAWING SCALE:

1:150

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.

ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN

ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.

CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

CONCRETE AND FOUNDATIONS

ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.

GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPA

FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.

ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED. ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS

BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.

ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.

ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.

ROOFING

ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.

PLUMBING & ELECTRICAL

ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING

ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.

DOORS - ROUGH OPENING SIZES

FRAME OPENING 1 1/4" WIDER THAN DOOR

FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".

MISC.

CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:

-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.

-CONFORMITY OF PLANS TO SITE.

-ERRORS AND OMISSIONS -ANY HOUSE BUILT FROM THESE PLANS

NAFS REQUIREMENTS:

Performance Grade of 30

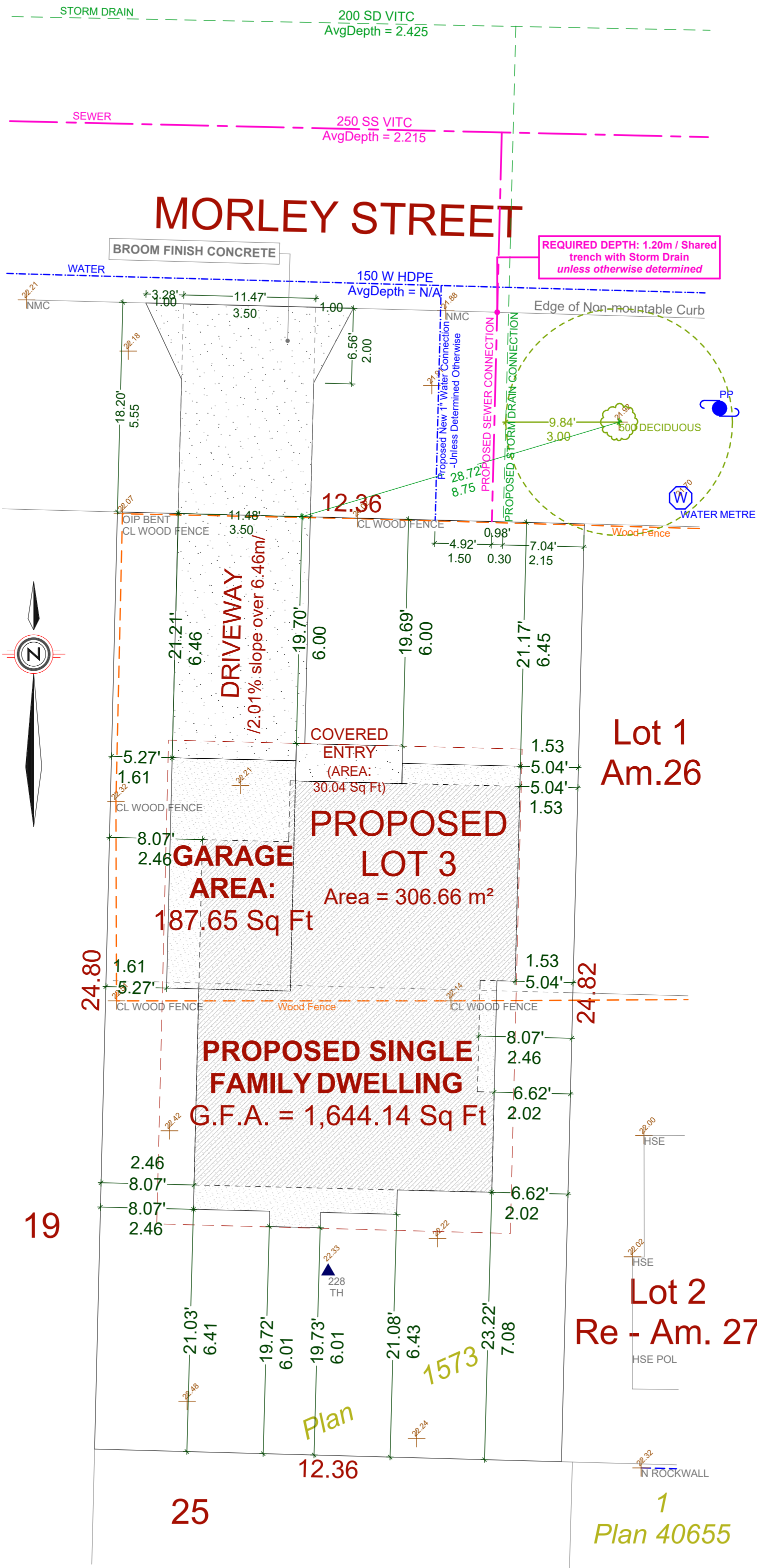
Water Test Pressure of 260 Pa

SHEET NUMBER

A1



<div>NAFS REQUIREMENTS:</div> <div>Performance Grade of 30</div> <div>Water Test Pressure of 260 Pa</div>	<div>GENERAL NOTES</div> <div>ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.</div> <div>ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.</div> <div>DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE</div> <div>-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR</div>	<div>SITE PLAN</div> <div>ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.</div> <div>CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.</div> <div>CONCRETE AND FOUNDATIONS</div> <div>ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.</div>	<div>IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.</div> <div>GARAGE &amp; CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPA</div> <div>FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 29000 PSI (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.</div> <div>ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.</div> <div>ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.</div> <div>ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.</div>	<div>LUMBER, FRAMING AND BEAMS</div> <div>BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.</div> <div>ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.</div> <div>ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.</div>	<div>TRUSSES</div> <div>TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.</div> <div>ROOFING</div> <div>ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.</div> <div>PLUMBING &amp; ELECTRICAL</div> <div>ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.</div>	<div>FLASHING</div> <div>ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.</div> <div>DOORS - ROUGH OPENING SIZES</div> <div>FRAME OPENING 1 1/4" WIDER THAN DOOR</div> <div>FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".</div> <div>MISC.</div> <div>CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19</div>	<div>NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:</div> <div>-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.</div> <div>-CONFORMITY OF PLANS TO SITE.</div> <div>-ERRORS AND OMISSIONS</div> <div>-ANY HOUSE BUILT FROM THESE PLANS</div>



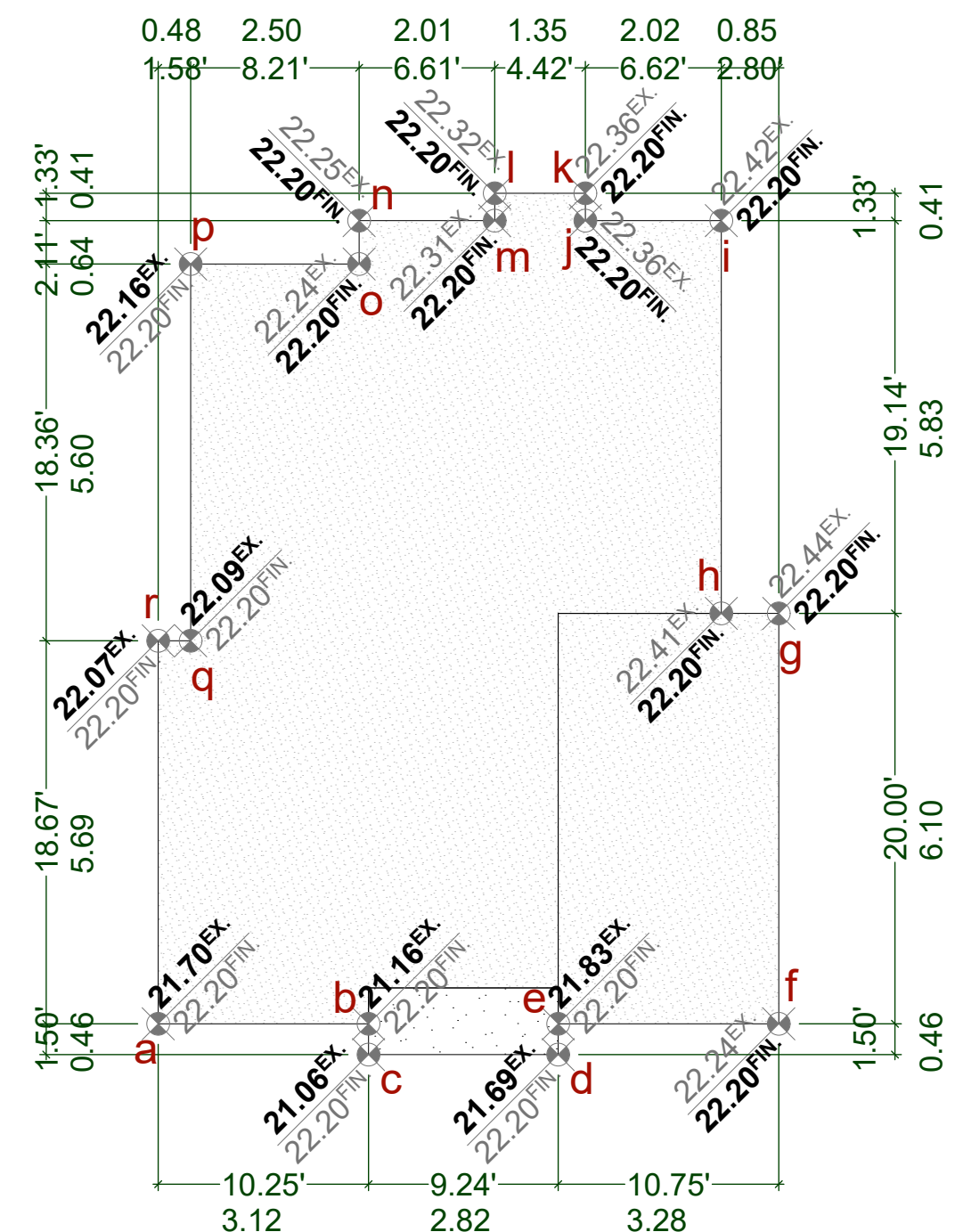
PROJECT DATA TABLE - SINGLE FAMILY DWELLING			
Address		Lot 3, Morley Street, Victoria	
Lot Size		306.66 m² (3,300.81 ft²)	
Zoning		R1-S2	
		Proposed	Allowed
Height			
Average grade		22.01 m Geo.	
Highest sloped roof height		6.89 m (22.59') / 2 storeys/	7.50 m (24.61') / 2 storeys/
Floor Area			
Upper floor area		76.86 m² (827.32 ft²)	
Main floor area		75.89 m² (816.82 ft²)	
Garage		17.43 m² (187.65 ft²)	
Garage exemption		18.60 m² (200.20 ft²)	
Total gross floor area		152.75 m² (1,644.14 ft²)	190.00 m² (2,045.14 ft²)
Floor space ratio		0.4981 (1,644.14 ft²)	0.6 (1,980.48 ft²)
Site coverage			
Lot coverage (total)		33.33 % (1,100.10 ft²)	40.00 % (1,320.32 ft²)
Setbacks			
Front yard setback		6.00 m (19.69')	6.00 m (19.685')
Rear yard setback		6.01 m (19.72')	6.00 m (19.685')
Interior side yard setback (West)		1.61 m (5.27')	1.50 m (4.92')
Interior side yard setback (West) /habitable space with window/		2.46 m (8.07')	2.40 m (7.87')
Interior side yard setback (East)		1.53 m (5.04')	1.50 m (4.92')
Interior side yard setback (East) /habitable space with window/		2.46 m (8.07')	2.40 m (7.87')

LEGEND	
	Denotes water metre
	Denotes power pole
	Denotes approximate tree location, diameter & species
	Denotes ground elevation
	Denotes sewer location
	Denotes water location
	Denotes storm drain location



## PROPOSED ANGLED PERSPECTIVE

NOT TO SCALE



GRADE PLAN			
NOT TO SCALE			
Grade Points	Avg. Of Points	Distance Between	Totals
a/b	21.70 + 21.16 /2 = 21.43	3.12	66.86
b/c	21.16 + 21.06 /2 = 21.11	0.46	9.71
c/d	21.06 + 21.89 /2 = 21.38	2.82	60.29
d/e	21.89 + 21.83 /2 = 21.76	0.46	10.01
e/f	21.83 + 22.20 /2 = 22.02	3.28	72.23
f/g	22.20 + 22.20 /2 = 22.20	6.10	135.42
g/h	22.20 + 22.20 /2 = 22.20	0.85	18.87
h/i	22.20 + 22.20 /2 = 22.20	5.83	129.43
i/j	22.20 + 22.20 /2 = 22.20	2.02	44.84
j/k	22.20 + 22.20 /2 = 22.20	0.41	9.10
k/l	22.20 + 22.20 /2 = 22.20	1.35	29.97
l/m	22.20 + 22.20 /2 = 22.20	0.41	9.10
m/n	22.20 + 22.20 /2 = 22.20	2.01	44.82
n/o	22.20 + 22.20 /2 = 22.20	0.64	14.21
o/p	22.20 + 22.16 /2 = 22.18	2.50	55.45
p/q	22.16 + 22.09 /2 = 22.13	5.60	123.93
q/r	22.09 + 22.07 /2 = 22.08	0.46	10.60
r/a	22.07 + 21.70 /2 = 21.88	5.69	124.50
Total:			969.19
Perimeter:			44.03
AVG. GRADE =			22.01
ALLOWED HEIGHT (7.50m)			29.51 m
(22.01 + 7.50 m)			

CUSTOMER:  
**PAM HARTLING**

ADDRESS:  
**2832 & 2838 SHAKESPEARE STREET, VICTORIA**

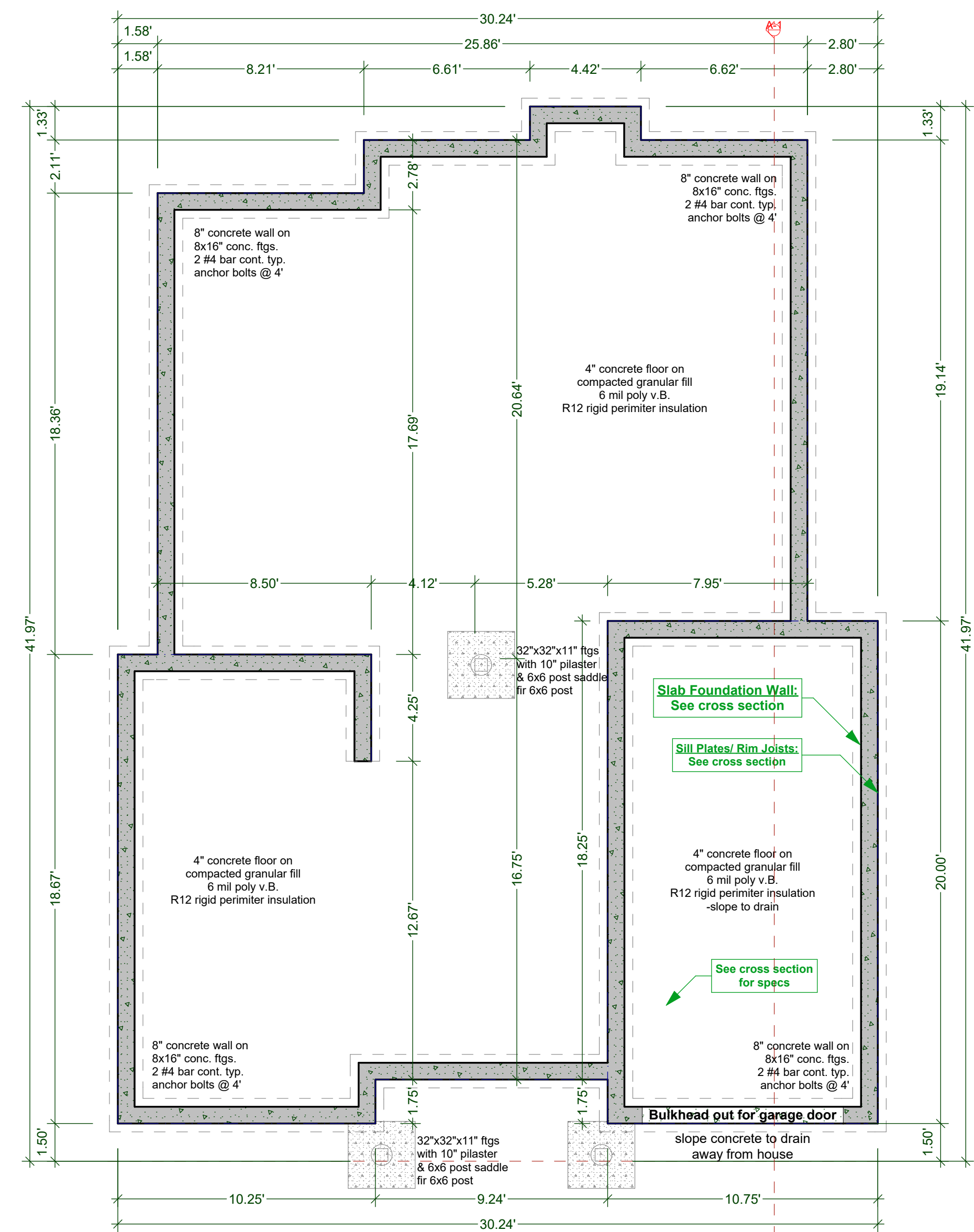
DRAWING NAME:  
**PROPOSED LOT 3: SITE PLAN.  
GRADE PLAN & ANGLED PERSPECTIVE**

DRAWING SCALE:  
**SEE DRAWINGS**

ISSUE DATE:  
**MAR. 06. 2019**

DRAWN BY:  
**KYLE LEGGETT**





\*SOLAR READY PLANS SEE ELECTRICIAN FOR DETAILS

**F1** 4" concrete floor on 6 mil poly V.B.  
compacted granular fill

**F2** 2x10 floor joist 16" O.C. typ. nail  
and glue 3/4" T&G plywood  
X bridging @ 6" O.C. typ.

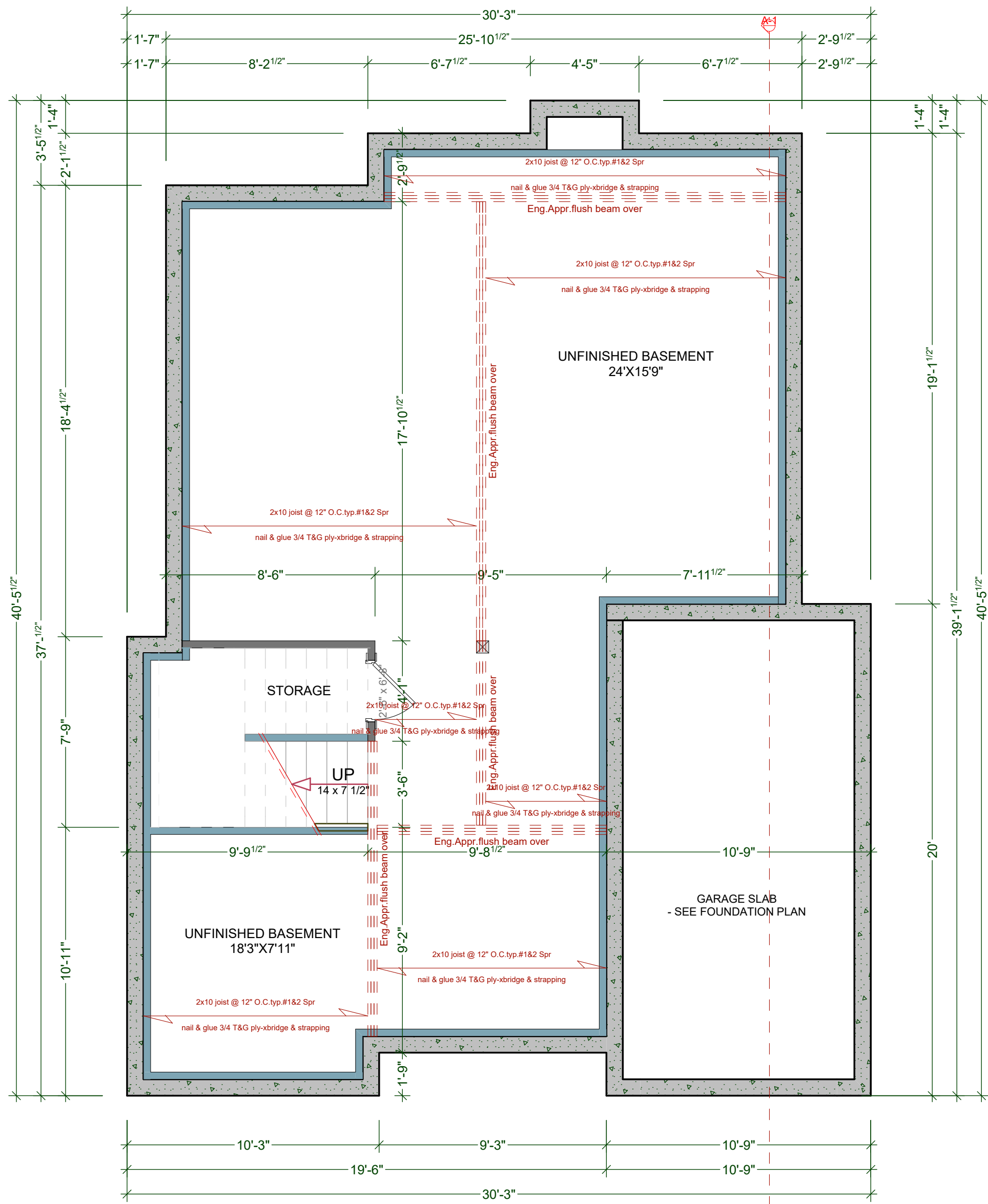
**F3** Asphalt shingles, building paper, 7/16" O.S.B.  
(or 1/2" plywood), engineered trusses designed  
by supplier @ 24" O.C. typ., R28 batt insulation,  
6 mil U.V. poly V.B. 5/8" GWB

**F4** 2x4 framing 16" O.C. typ.  
1/2" GWB finish throughout

**F5** Exterior finish, 3/4" air space, pressure  
tested strapping, 2 layers 30 min. building  
paper, 1/2" sheathing, 2x6 studs at 16" O.C.,  
R-30 test insulation, 6 mil. poly V.B., 1/2"  
GWB. (See elevations)

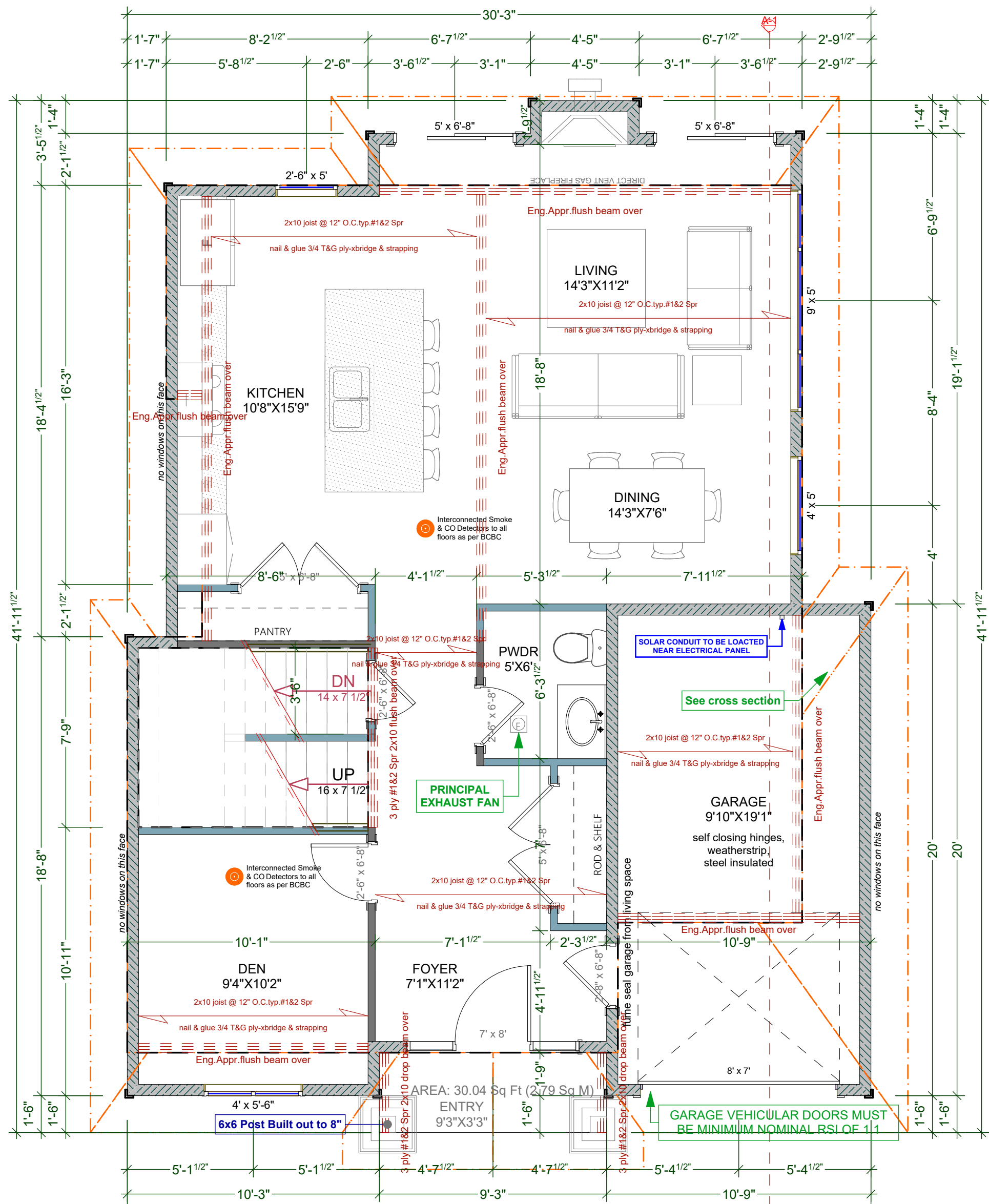
SCALE: 1/4" = 1' - 0"





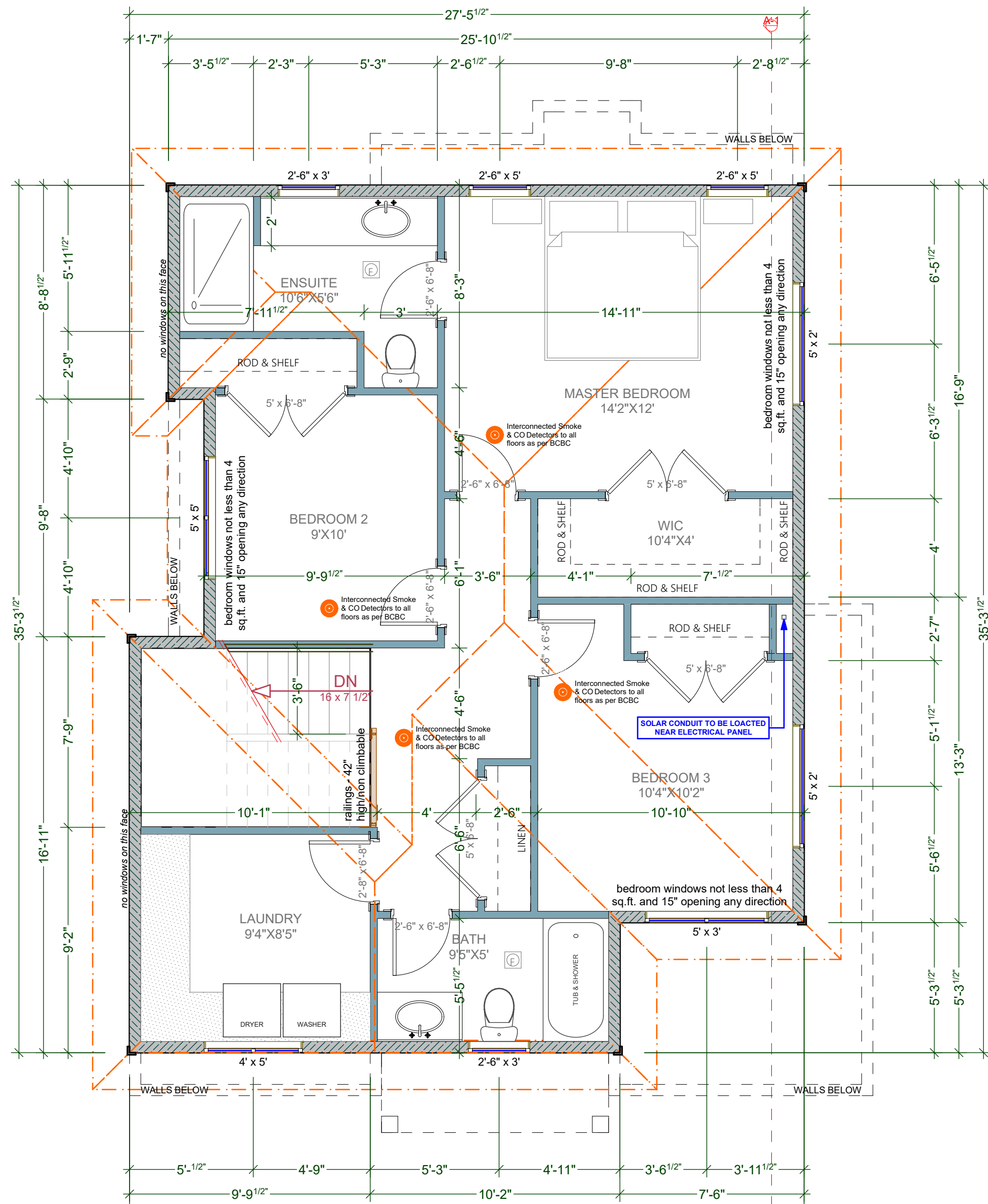
PROPOSED BASEMENT FLOOR PLAN (8'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"  
PROPOSED BASEMENT FLOOR AREA: 783.31 Sq Ft (72.77 Sq M)



PROPOSED MAIN FLOOR PLAN (9'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"  
PROPOSED MAIN FLOOR AREA: 816.82 Sq Ft (75.89 Sq M)  
PROPOSED GARAGE FLOOR AREA: 187.65 Sq Ft (17.43 Sq M)  
\*SOLAR READY PLANS - SEE ELECTRICIAN FOR DETAILS\*



PROPOSED UPPER FLOOR PLAN (8'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"  
PROPOSED UPPER FLOOR AREA: 827.32 Sq Ft (76.86 Sq M)  
\*SOLAR READY PLANS - SEE ELECTRICIAN FOR DETAILS\*

**NAFS REQUIREMENTS:**  
Performance Grade of 30  
Water Test Pressure of 260 Pa

**GENERAL NOTES**  
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DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE  
-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

**SITE PLAN**  
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**CONCRETE AND FOUNDATIONS**  
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ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

**LUMBER, FRAMING AND BEAMS**  
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.  
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ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

**TRUSSES**  
TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.  
**ROOFING**  
ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.  
**PLUMBING & ELECTRICAL**  
ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

**FLASHING**  
ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING.  
ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.  
DOORS - ROUGH OPENING SIZES  
FRAME OPENING 1 1/4" WIDER THAN DOOR  
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".  
**MISC.**  
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:  
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.  
-CONFORMITY OF PLANS TO SITE.  
-ERRORS AND OMISSIONS  
-ANY HOUSE BUILT FROM THESE PLANS



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**DRAWING NAME:**  
PROPOSED LOT 3: BASEMENT,  
MAIN FLOOR & UPPER FLOOR PLANS

**CUSTOMER:**  
PAM HARTLING

**ADDRESS:**  
2832 & 2838 SHAKESPEARE STREET, VICTORIA

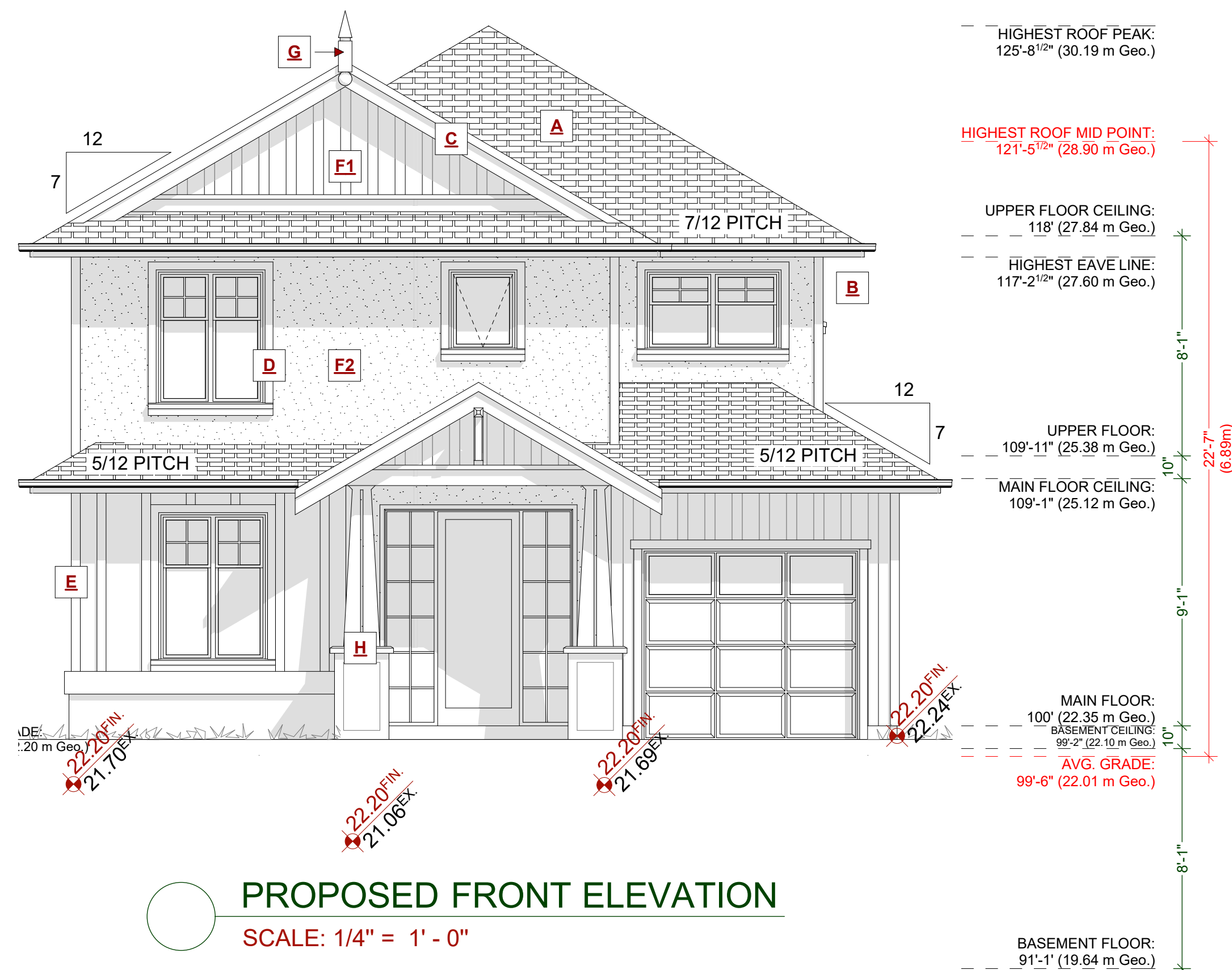
**ISSUE DATE:**  
MAR. 06, 2019  
**DRAWN BY:**  
KYLE LEGGETT

**DRAWING SCALE:**  
1/4"=1'-0"

**SHEET NUMBER**

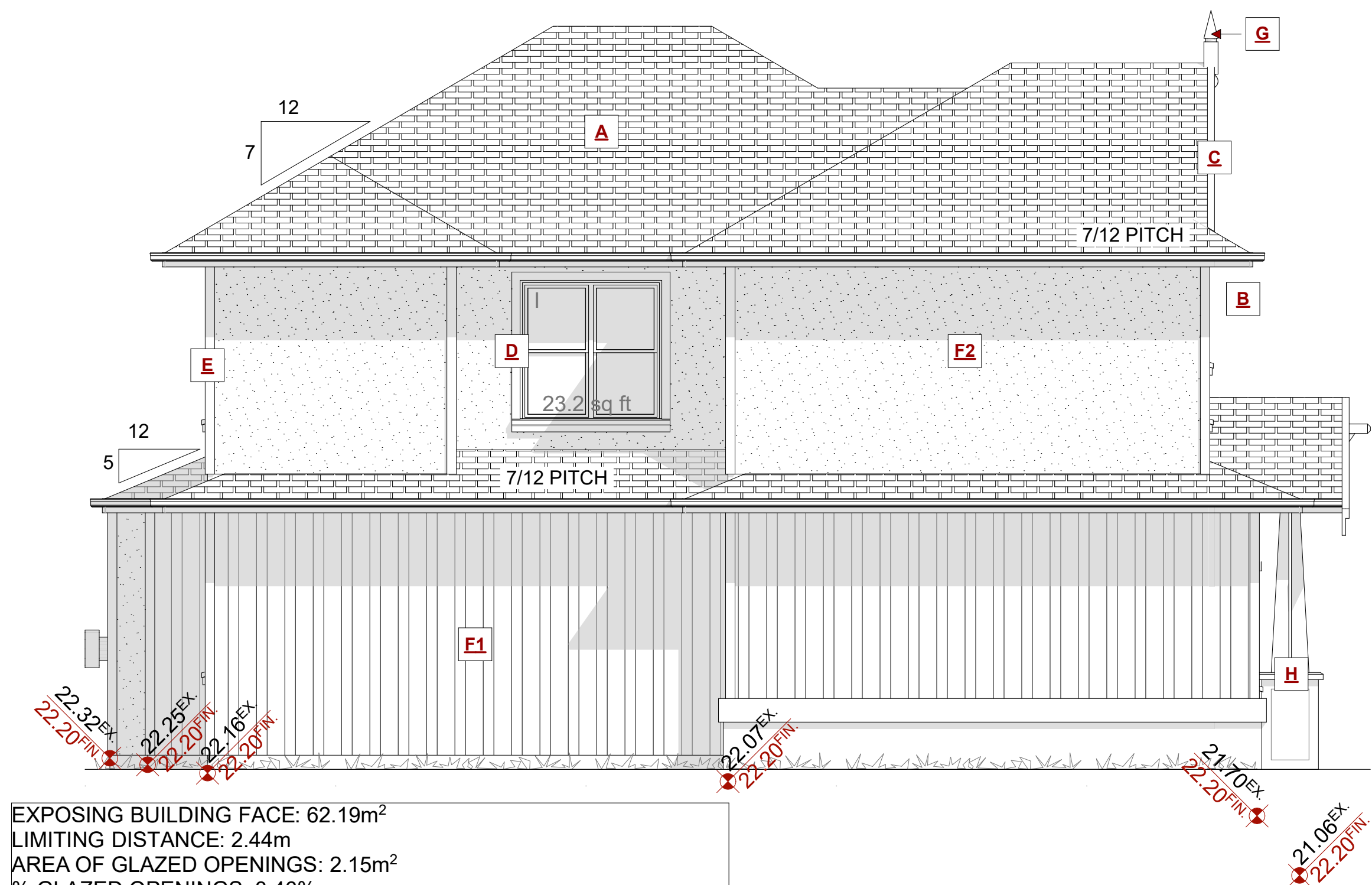
**A4**





PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



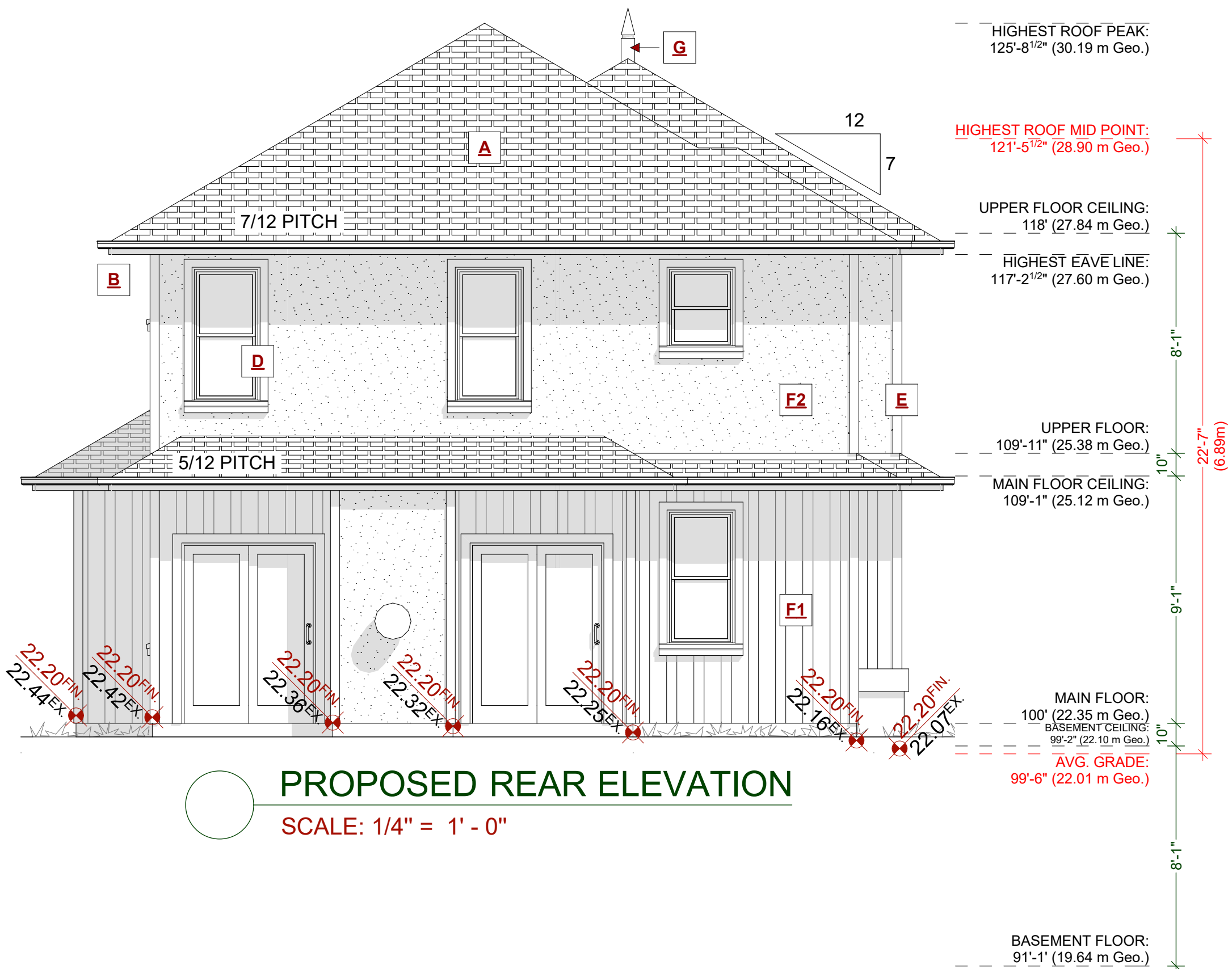
PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 62.19m<sup>2</sup>  
LIMITING DISTANCE: 2.44m  
AREA OF GLAZED OPENINGS: 2.15m<sup>2</sup>  
% GLAZED OPENINGS: 3.46%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 13.23%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 8.23m<sup>2</sup>

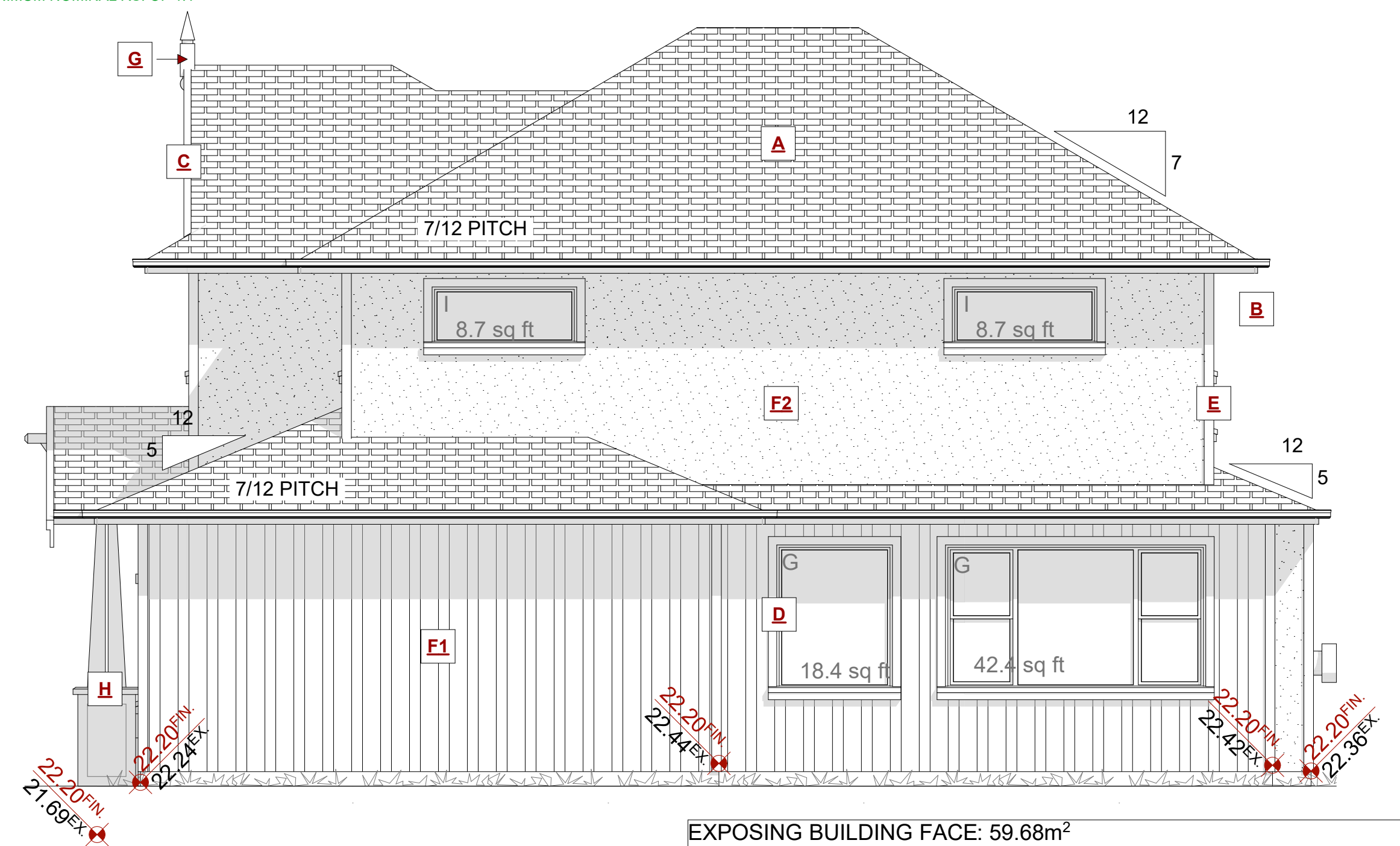
EXTERIOR FINISHES SCHEDULE					
<b>A</b>	ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS	<b>F1</b>	WALL FINISH:	HARDIE-BOARD AND BATTEN 1x3 @ 12" O.C. RAINSCREEN AS PER BCBC
<b>B</b>	GUTTER & SOFFIT:	ALUMINIUM GUTTER AND NON-VENTED SOFFIT	<b>F2</b>	WALL FINISH:	STUCCO - SEE OWNER FOR TEXTURE FINISH - RAIN SCREENS AS PER BCBC
<b>C</b>	BARGE BOARD:	2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR	<b>G</b>	DETAIL:	DECORATIVE FINIAL
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>H</b>	POSTS:	ARTS & CRAFTS COLUMNS MADE OF 5/8" PLYWOOD WITH 2 LAYERS PAPER AND STUCCO WIRE WITH STONE. CONCRETE DRIP CAP OVER INTERNAL 6x6 POST
<b>E</b>	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED			

"\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*" MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.  
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1' - 0"



PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 59.68m<sup>2</sup>  
LIMITING DISTANCE: 2.48m  
AREA OF GLAZED OPENINGS: 7.26m<sup>2</sup>  
% GLAZED OPENINGS: 12.16%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 13.70%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 8.18m<sup>2</sup>

NAFS REQUIREMENTS:

Performance Grade of 30  
Water Test Pressure of 260 Pa

CUSTOMER: PAM HARTLING  
ADDRESS: 2832 & 2838 SHAKESPEARE STREET, VICTORIA

DRAWING NAME: PROPOSED LOT 3: ELEVATIONS  
DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: MAR. 06. 2019  
DRAWN BY: KYLE LEGGETT

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SHEET NUMBER

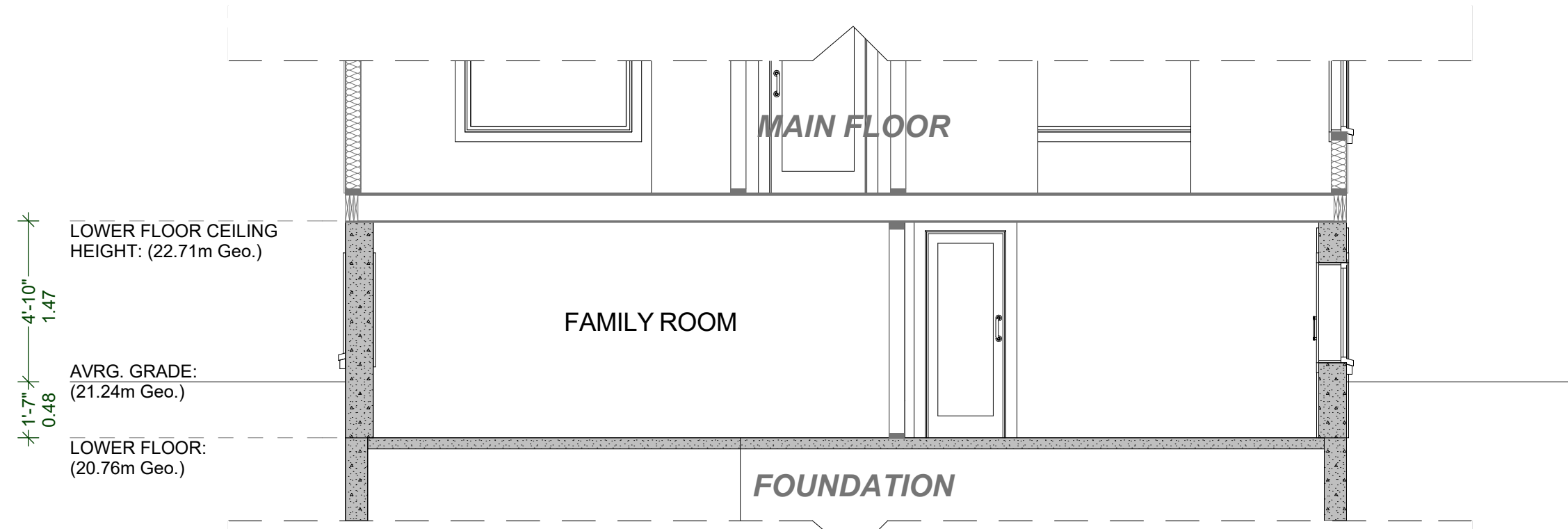
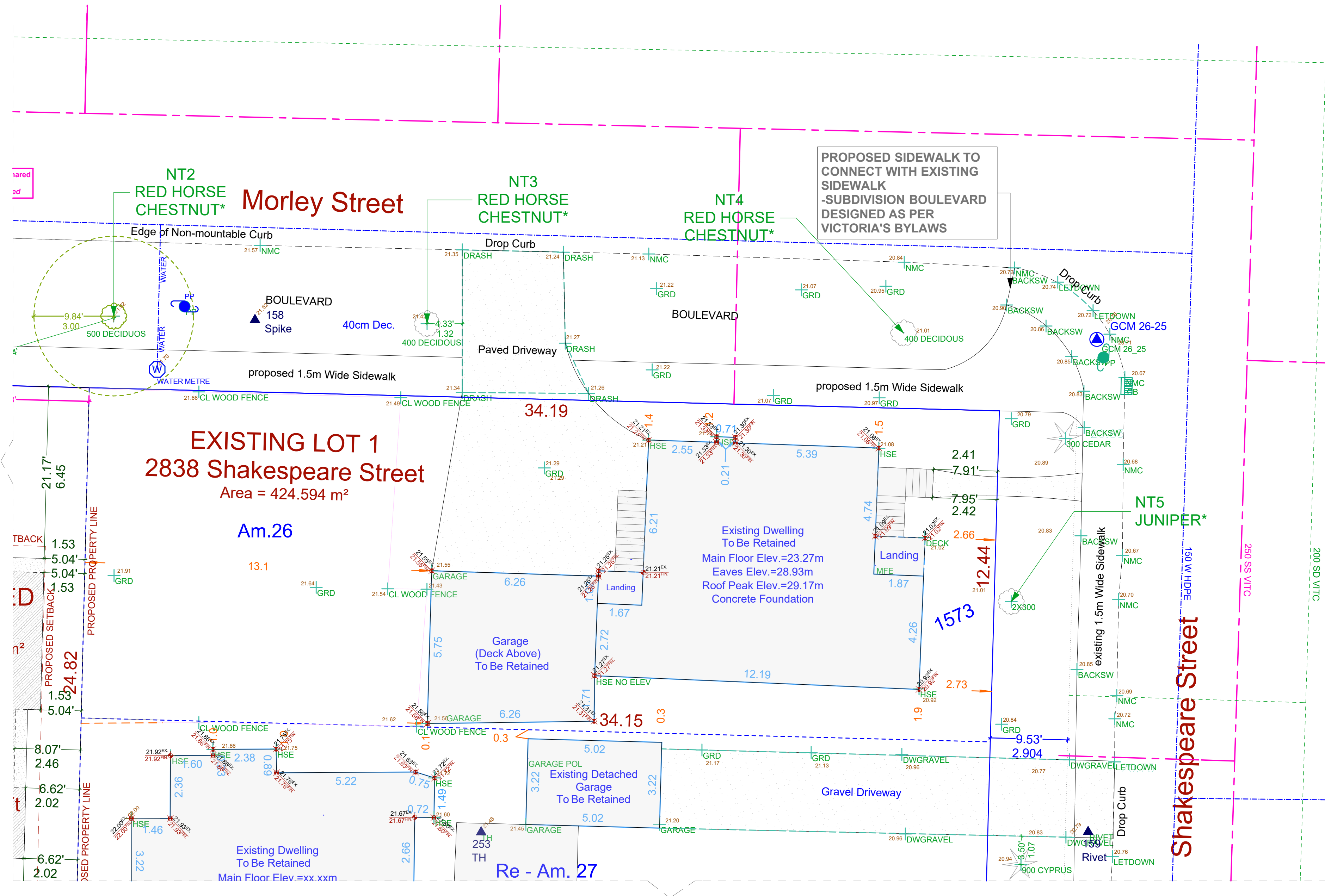
A5



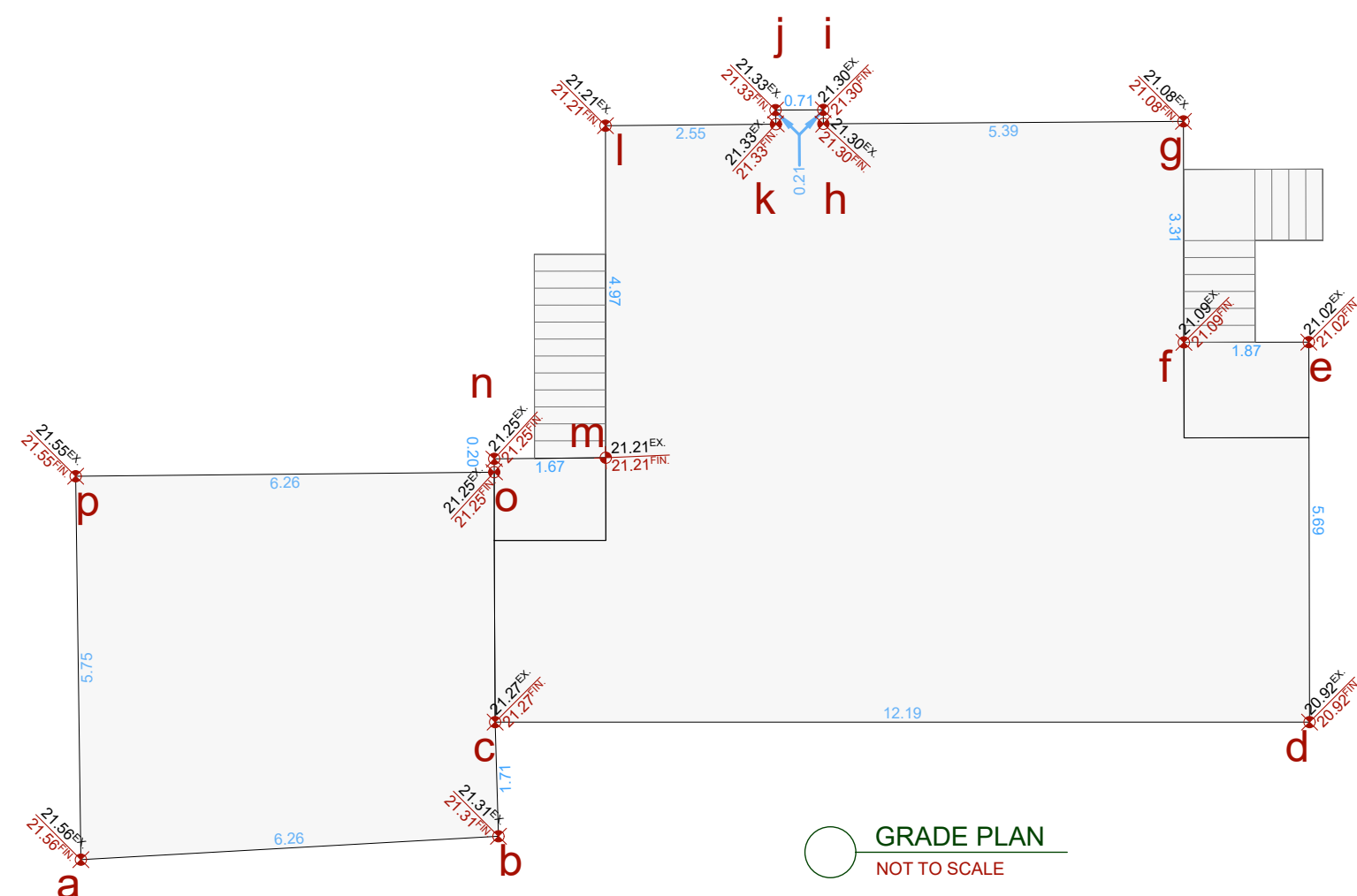
PROJECT INFORMATION TABLE - EXISTING SINGLE FAMILY DWELLING			
Address	Lot 1 2838 Shakespeare Street, Victoria		
Lot Size	424.594 m <sup>2</sup> (4,570.29 R <sup>2</sup> )		
Zoning	R1-S2		
Height	Proposed		
Average grade	21.24 m Geo.		
Highest sloped roof height	7.81 m (25.62') (2.5 storeys)	7.50 m (24.61') (2 storeys)	
Total Floor Area	144.46 m <sup>2</sup> (1,554.95 R <sup>2</sup> )	190.00 m <sup>2</sup> (2,045.14 R <sup>2</sup> )	
Floor Space Ratio	0.34 144.46 m <sup>2</sup> (1,554.95 R <sup>2</sup> )	0.6 254.76 m <sup>2</sup> (2,742.21 R <sup>2</sup> )	
Site coverage	30.65 % 129.93 m <sup>2</sup> (1,398.55 R <sup>2</sup> )	40.00 % 169.84 m <sup>2</sup> (1,828.14 R <sup>2</sup> )	
Lot coverage (total)	60.63 % 258.28 m <sup>2</sup> (2,780.10 R <sup>2</sup> )		
Open space			
Parking Stalls (number) on Site	2		
Setbacks			
Front yard setback	1.20m (3.94') Morley Street	6.00 m (19.685')	
Maximum projections into front setback: * steps less than 1.7m in height	N/A	2.50 m (8.20 ft)	
Rear yard setback	0.10m (0.33') South	6.00 m (19.685')	
Interior side yard setback (East)	n/a	1.50 m (4.92')	
Interior side yard setback (West)	13.10m (42.98')	1.50 m (4.92')	
Side Flanking Street	2.41m (7.91')	2.40 m (7.87')	
Combined Side Yards	15.83m (51.94')	N/A	

Existing Non-Conforming\*

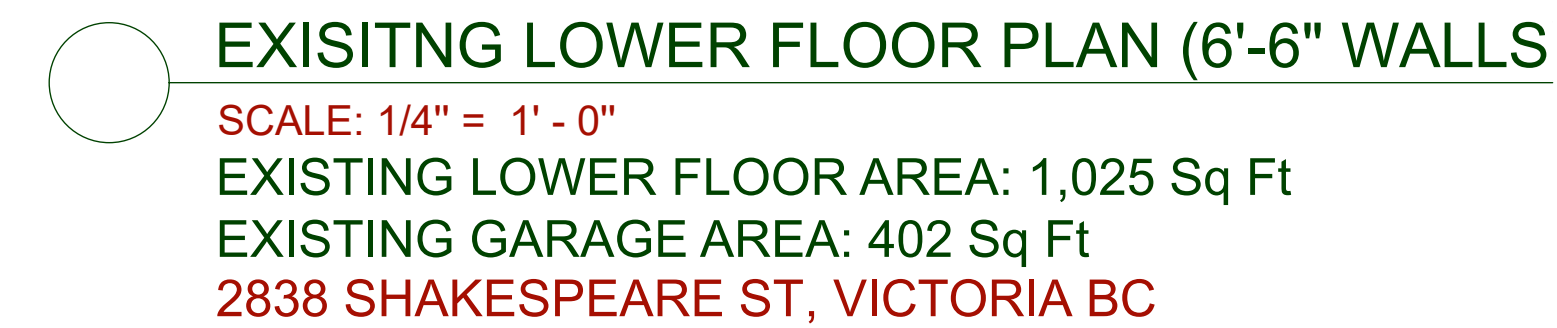
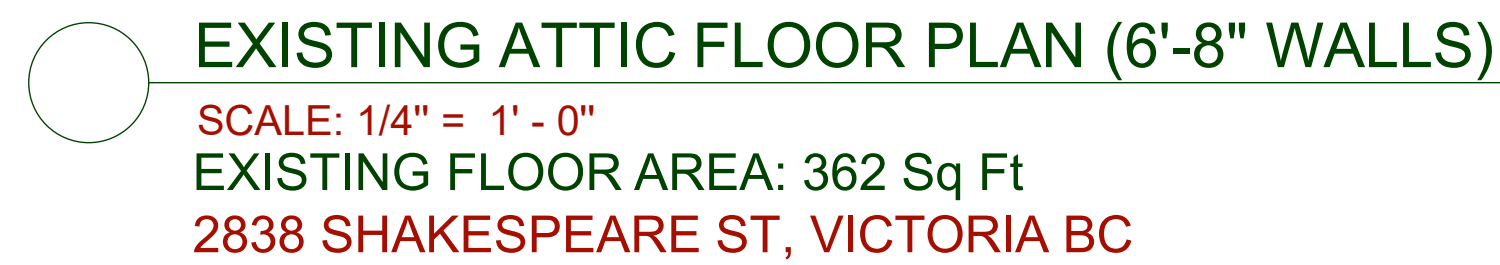
**SITE PLAN**  
SCALE: 1:100



**EXISTING CROSS SECTION A-2: LOT 1 2838 SHAKESPEARE ST.**  
SCALE: 1/4" = 1' - 0"  
EXISTING TO BE RETAINED



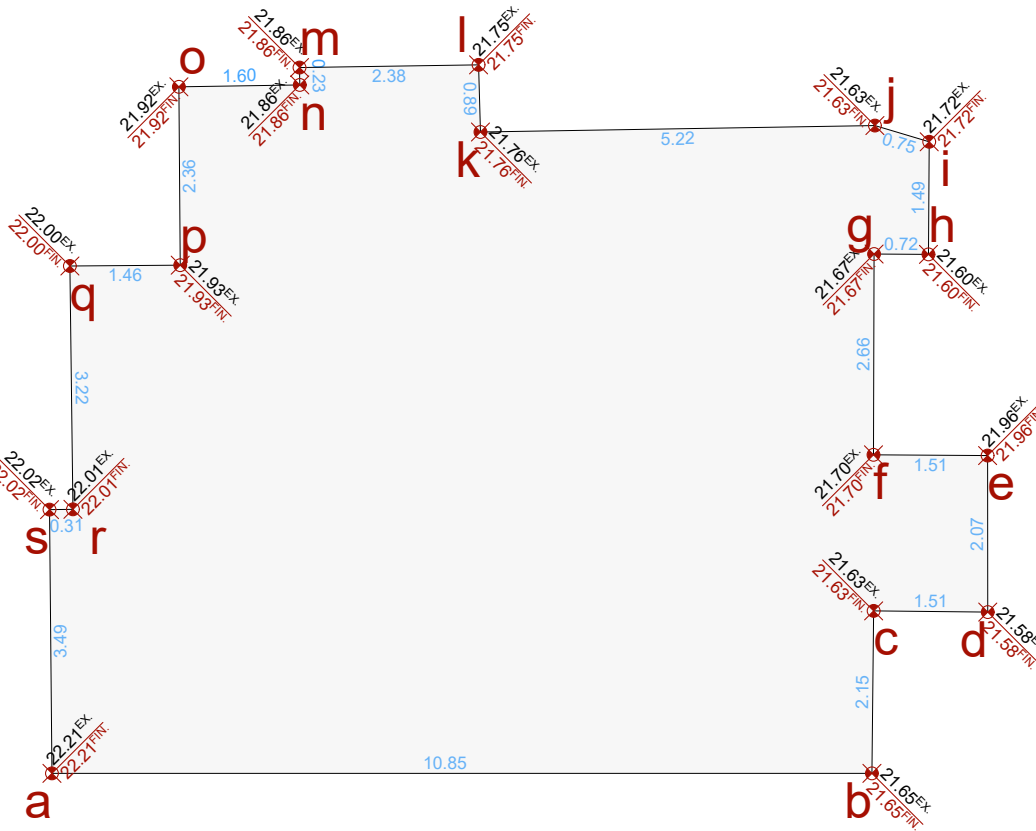
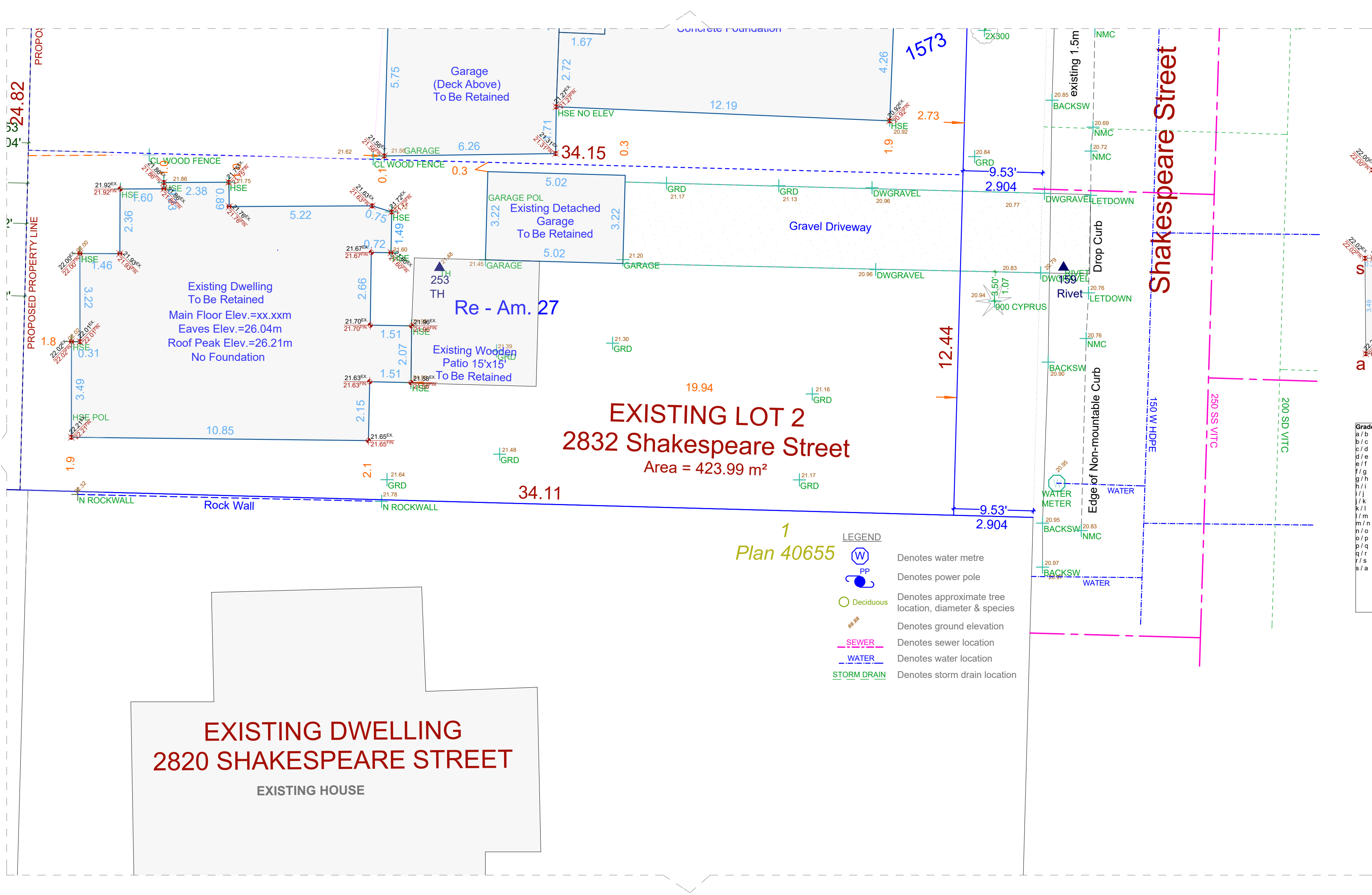
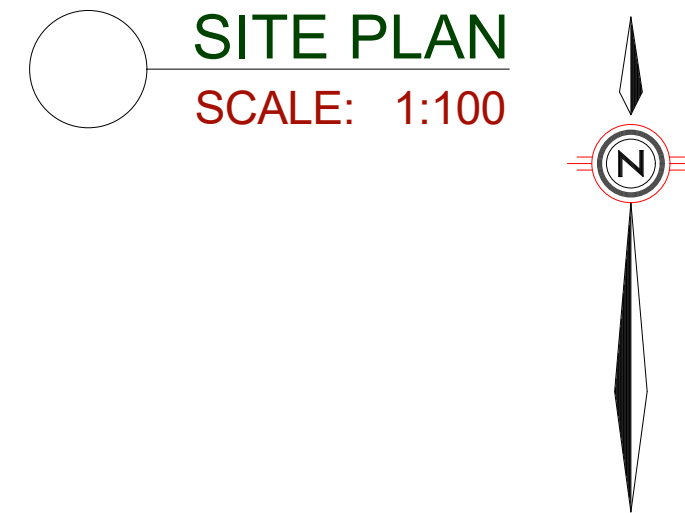
Grade Points	Avg. Of Points	Distance Between	Totals
a/b	21.50 + 21.31 / 2 = 21.44	6.26	134.21
b/c	21.31 + 21.27 / 2 = 21.29	1.71	36.41
c/d	21.27 + 20.92 / 2 = 21.10	12.19	257.21
d/e	20.92 + 21.02 / 2 = 20.97	5.69	119.32
e/f	21.02 + 21.09 / 2 = 21.06	1.87	36.38
f/g	21.09 + 21.08 / 2 = 21.09	3.31	69.81
g/h	21.08 + 21.30 / 2 = 21.19	6.39	114.21
h/i	21.30 + 21.30 / 2 = 21.30	0.21	4.47
i/j	21.30 + 21.33 / 2 = 21.32	0.71	15.14
j/k	21.33 + 21.33 / 2 = 21.33	0.21	4.48
k/l	21.33 + 21.21 / 2 = 21.27	2.55	54.24
l/m	21.21 + 21.21 / 2 = 21.21	4.97	105.41
m/n	21.21 + 21.25 / 2 = 21.23	1.67	35.45
n/o	21.25 + 21.25 / 2 = 21.25	0.20	4.25
o/p	21.25 + 21.55 / 2 = 21.40	6.26	133.96
p/a	21.55 + 21.56 / 2 = 21.56	5.75	123.97
Total:			1,251.92
Perimeter:			58.95
AVG. GRADE =			21.24
ALLOWED HEIGHT (7.50m)			28.74m
(21.24 + 7.50m)			





PROJECT INFORMATION TABLE - EXISTING SINGLE FAMILY DWELLING			
Address	Lot 2 2832 Shakespeare Street, Victoria		
Lot Size	423.99 m <sup>2</sup> (4,563.79 ft <sup>2</sup> )		
Zoning	R1-S2		
	Proposed	Allowed	
Height	21.85 m Geo.		
Average grade	21.85 m Geo.		
Highest sloped roof height	4.28 m (14.04') /1 storey/	7.50 m (24.61') /2 storeys/	
Total Floor Area	91.14 m <sup>2</sup> (981 ft <sup>2</sup> )	190.00 m <sup>2</sup> (2045.14 ft <sup>2</sup> )	
Floor Space Ratio	0.21 91.14 m <sup>2</sup> (981 ft <sup>2</sup> )	0.6 183.99 m <sup>2</sup> (1,980.48 ft <sup>2</sup> )	
Site coverage			
Lot coverage (total)	26.46 % 112.19 m <sup>2</sup> (1,207.60 ft <sup>2</sup> )	40.00 % 122.66 m <sup>2</sup> (1,320.32 ft <sup>2</sup> )	
Open space	64.86 % 275.42 m <sup>2</sup> (2,964.60 ft <sup>2</sup> )		
Parking Stalls (number) on Site	2		
Setbacks			
Front yard setback	19.94m (65.42')	6.00 m (19.685')	
Rear yard setback	1.80m (5.91)*	6.00 m (19.685')	
Interior side yard setback (North)	1.00m (3.28')	1.50 m (4.92')	
Interior side yard setback (South)	1.90m (6.23')	1.50 m (4.92')	
EXISTING ACCESSORY BUILDING - TO BE RETAINED			
Building Use	Detached Garage		
Location	Front Yard*	Rear Yard	
Combined Floor Area	12.30m	37.00m	
Height	3.31m	4.00m	
Front Setback	15.25m	18.00m	
Rear Setback	16.80m	0.60m	
Side Setback	0.30m* North	0.60m	
Seperation Space from Main Building	3.40m	2.40m	
Rear Yard Site Coverage	n/a	30.00m	

VARIANCE REQUIRED\*



Grade Points	Avg. Of Points	Distance Between	Totals
a/b	22.21 + 21.65 /2 = 21.93	10.85	237.94
b/c	21.65 + 21.63 /2 = 21.64	2.15	46.53
c/d	21.63 + 21.58 /2 = 21.61	1.51	32.63
d/e	21.58 + 21.96 /2 = 21.77	2.07	45.06
e/f	21.96 + 21.70 /2 = 21.83	1.51	32.98
f/g	21.70 + 21.67 /2 = 21.69	2.66	57.70
g/h	21.67 + 21.60 /2 = 21.64	0.72	15.58
h/i	21.60 + 21.72 /2 = 21.66	1.49	32.27
i/j	21.72 + 21.63 /2 = 21.68	0.75	16.26
j/k	21.63 + 21.76 /2 = 21.70	5.22	113.27
k/l	21.76 + 21.75 /2 = 21.76	0.89	19.37
l/m	21.75 + 21.86 /2 = 21.81	2.38	51.91
m/n	21.86 + 21.86 /2 = 21.86	0.23	5.03
n/o	21.86 + 21.92 /2 = 21.89	1.60	36.02
o/p	21.92 + 21.93 /2 = 21.93	2.38	51.75
p/q	21.93 + 22.00 /2 = 21.97	1.46	32.08
q/r	22.00 + 22.01 /2 = 22.01	3.22	70.87
r/s	22.01 + 22.02 /2 = 22.02	0.31	6.83
s/a	22.02 + 22.21 /2 = 22.12	3.49	77.20
Total:			980.26
Perimeter:			44.87
AVG. GRADE =			21.85
ALLOWED HEIGHT (7.50m)			29.35m

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SHEET  
NUMBER

A8

CUSTOMER:  
**PAM HARTLING**

DRAWING NAME:  
**EXISTING LOT 2 2832 SHAKESPEARE ST.: SITE PLAN & GRADE PLAN**

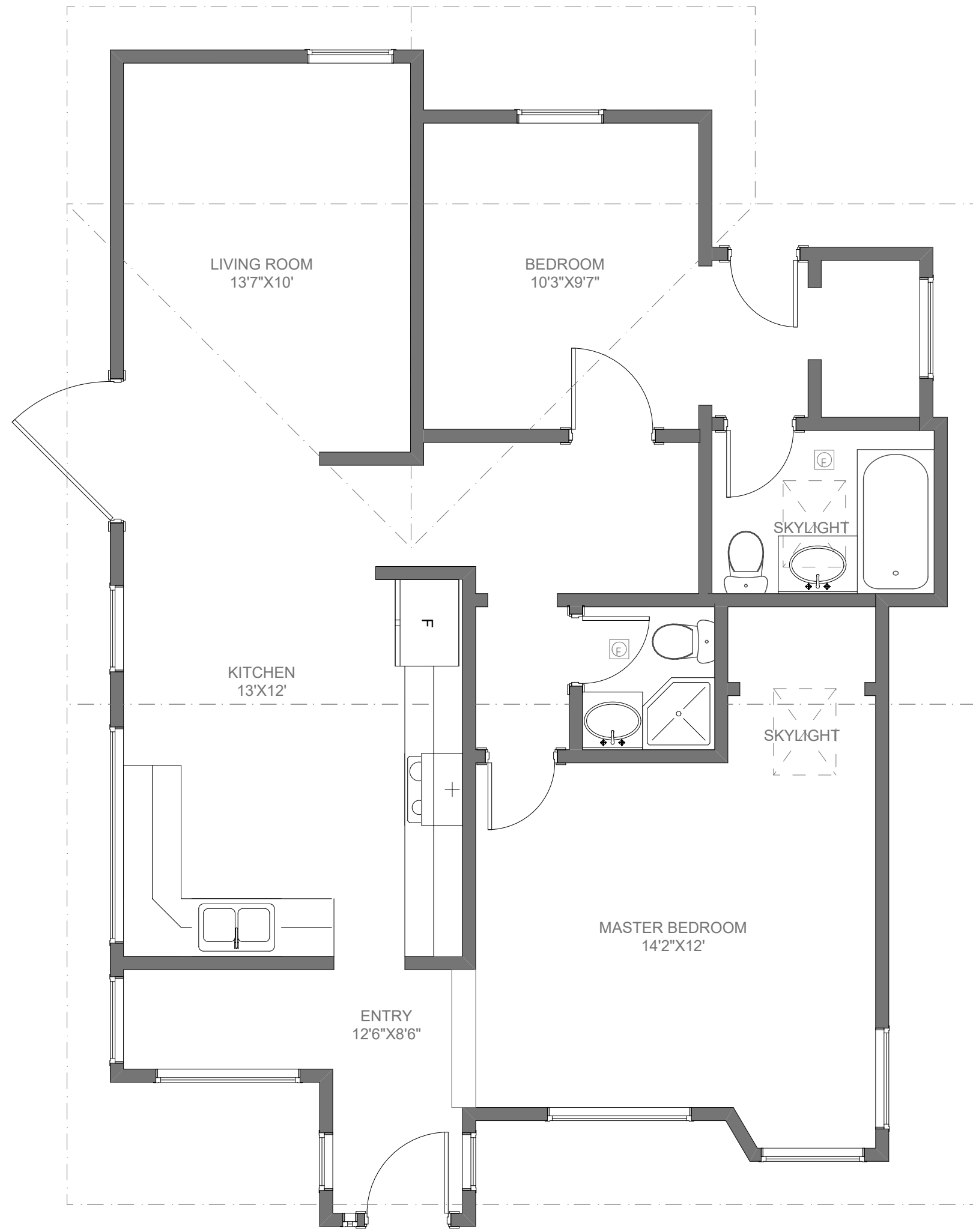
ISSUE DATE:  
**MAR. 06. 2019**

ADDRESS:  
**2832 & 2838 SHAKESPEARE STREET, VICTORIA**

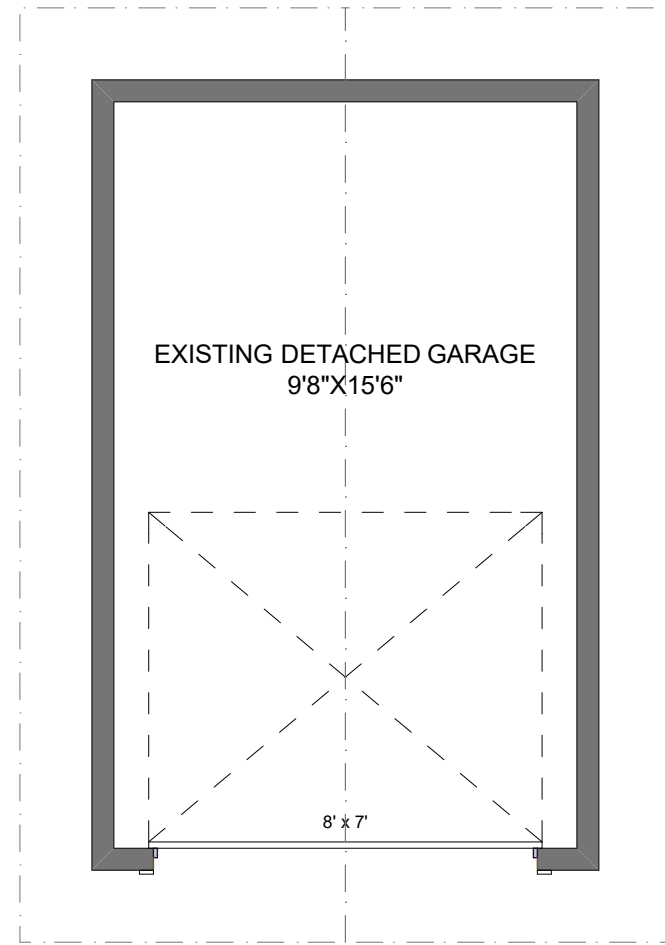
DRAWING SCALE:  
**SEE DRAWINGS**

DRAWN BY:  
**KYLE LEGGETT**

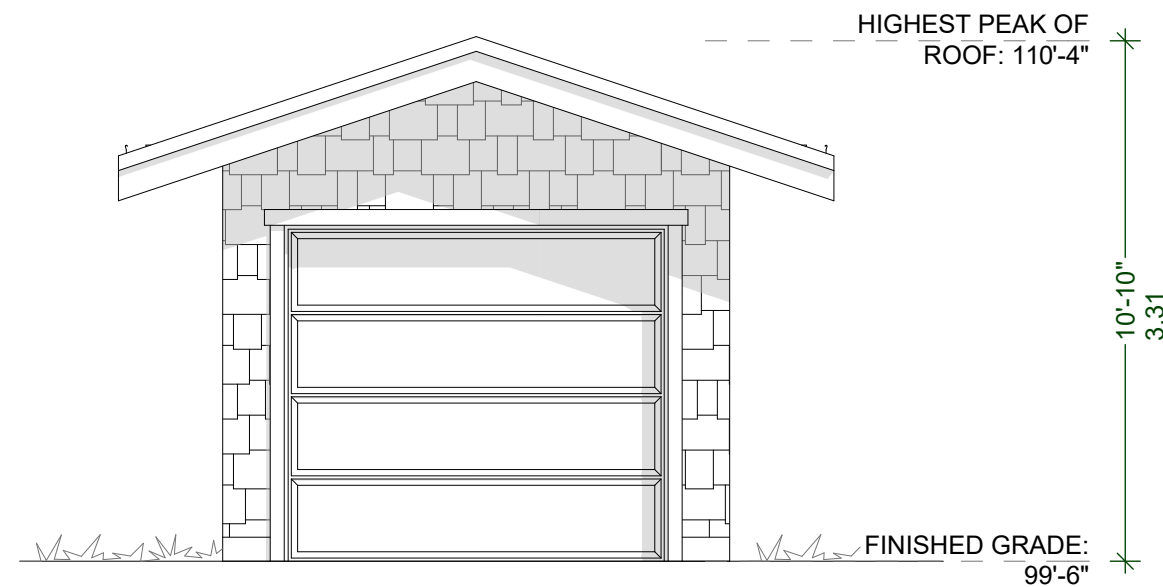




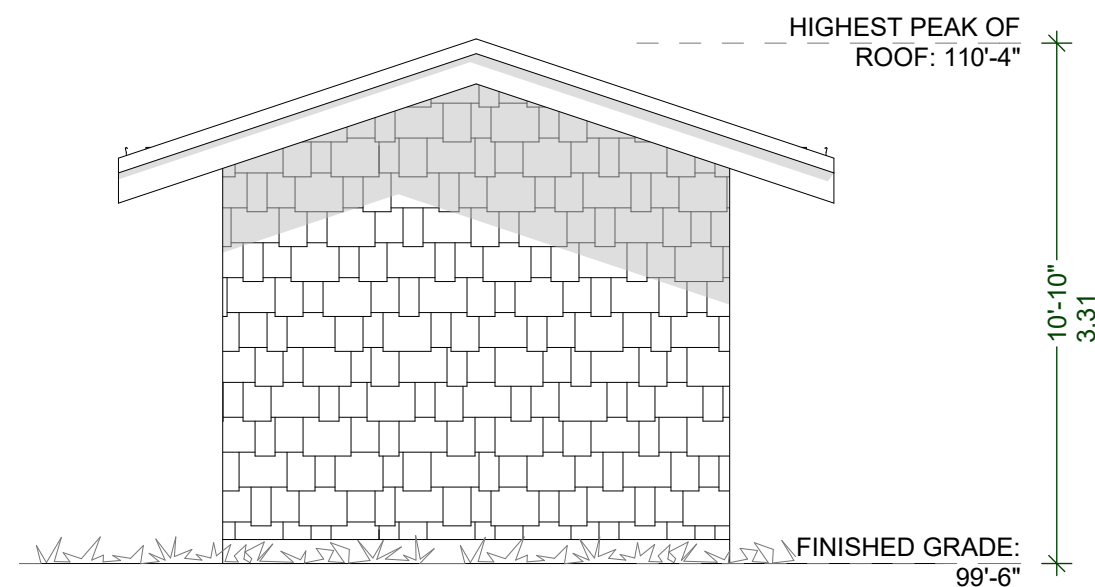
**EXISTING MAIN FLOOR PLAN (8'-8" WALLS)**  
SCALE: 1/4" = 1' - 0"  
EXISTING MAIN FLOOR AREA: 981 Sq Ft  
2832 SHAKESPEARE ST, VICTORIA BC



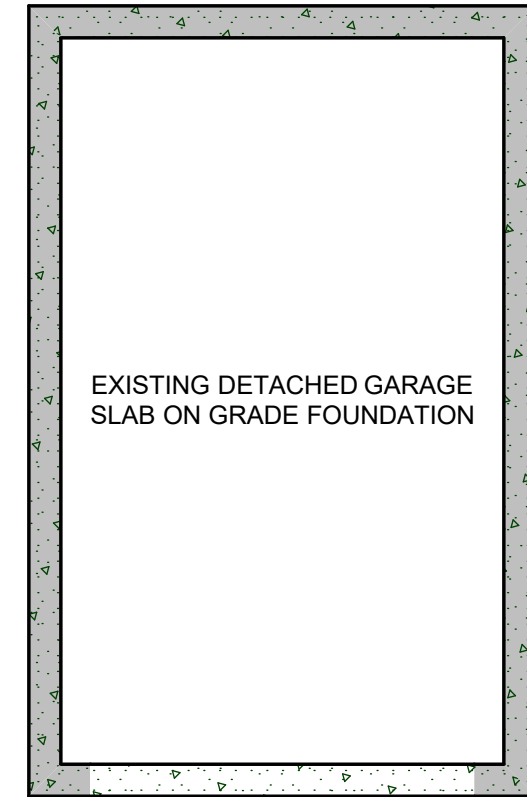
**EXISTING DETACHED GARAGE PLAN (8'-0 3/4" WALLS)**  
SCALE: 1/4" = 1' - 0"  
TOTAL AREA: 174 Sq Ft  
2832 SHAKESPEARE ST, VICTORIA BC



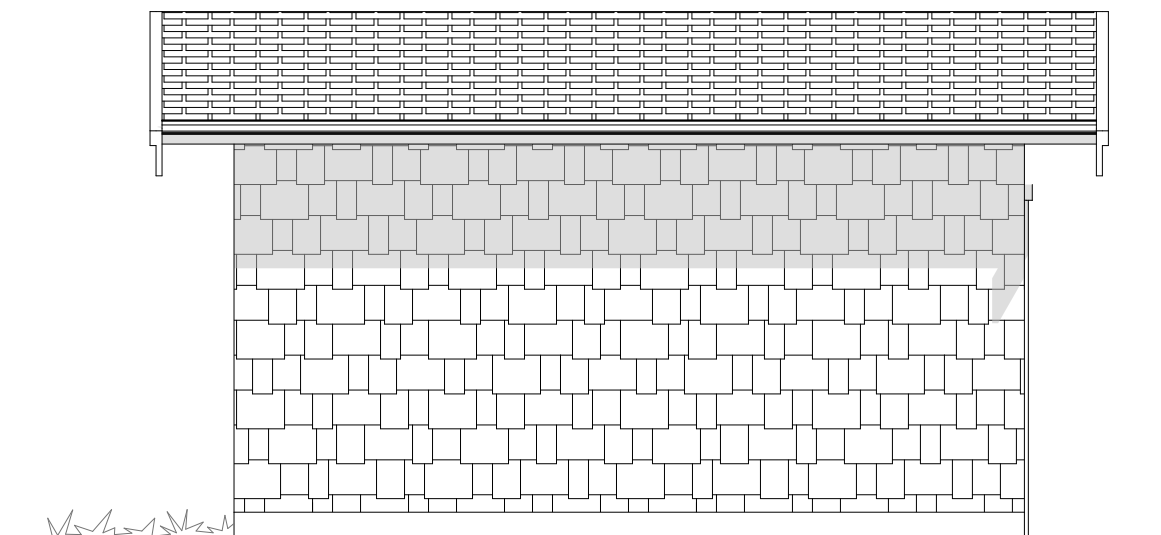
**EXISTING DETACHED GARAGE FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"  
2832 SHAKESPEARE ST, VICTORIA BC



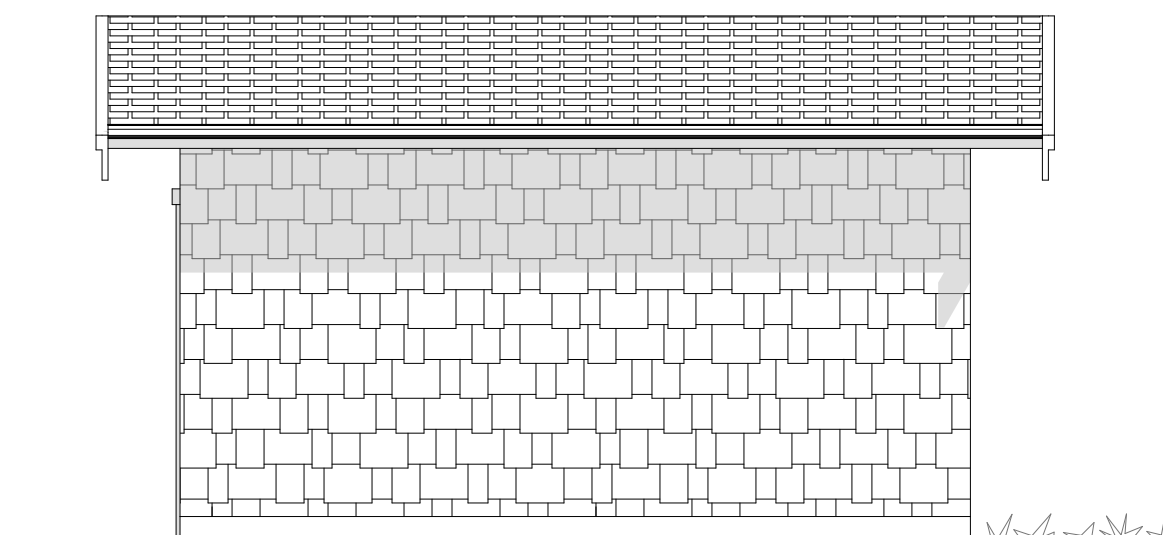
**EXISTING DETACHED GARAGE REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"  
2832 SHAKESPEARE ST, VICTORIA BC



**EXISTING DETACHED GARAGE FOUNDATION**  
SCALE: 1/4" = 1' - 0"  
2832 SHAKESPEARE ST, VICTORIA BC

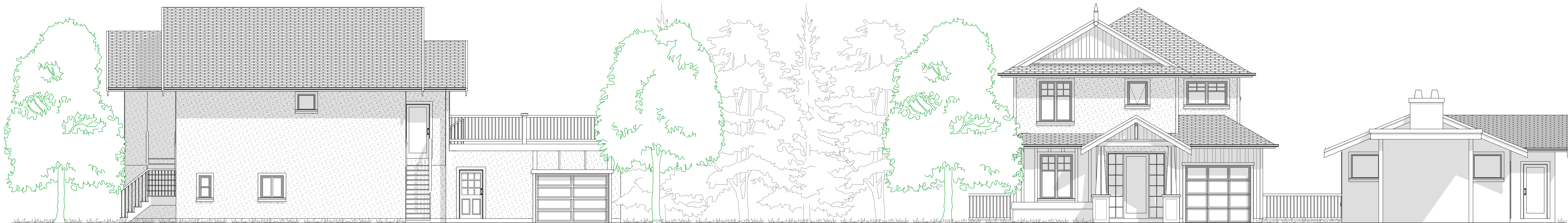


**EXISTING DETACHED GARAGE LEFT ELEVATION**  
SCALE: 1/4" = 1' - 0"  
2832 SHAKESPEARE ST, VICTORIA BC



**EXISTING DETACHED GARAGE RIGHT ELEVATION**  
SCALE: 1/4" = 1' - 0"  
2832 SHAKESPEARE ST, VICTORIA BC





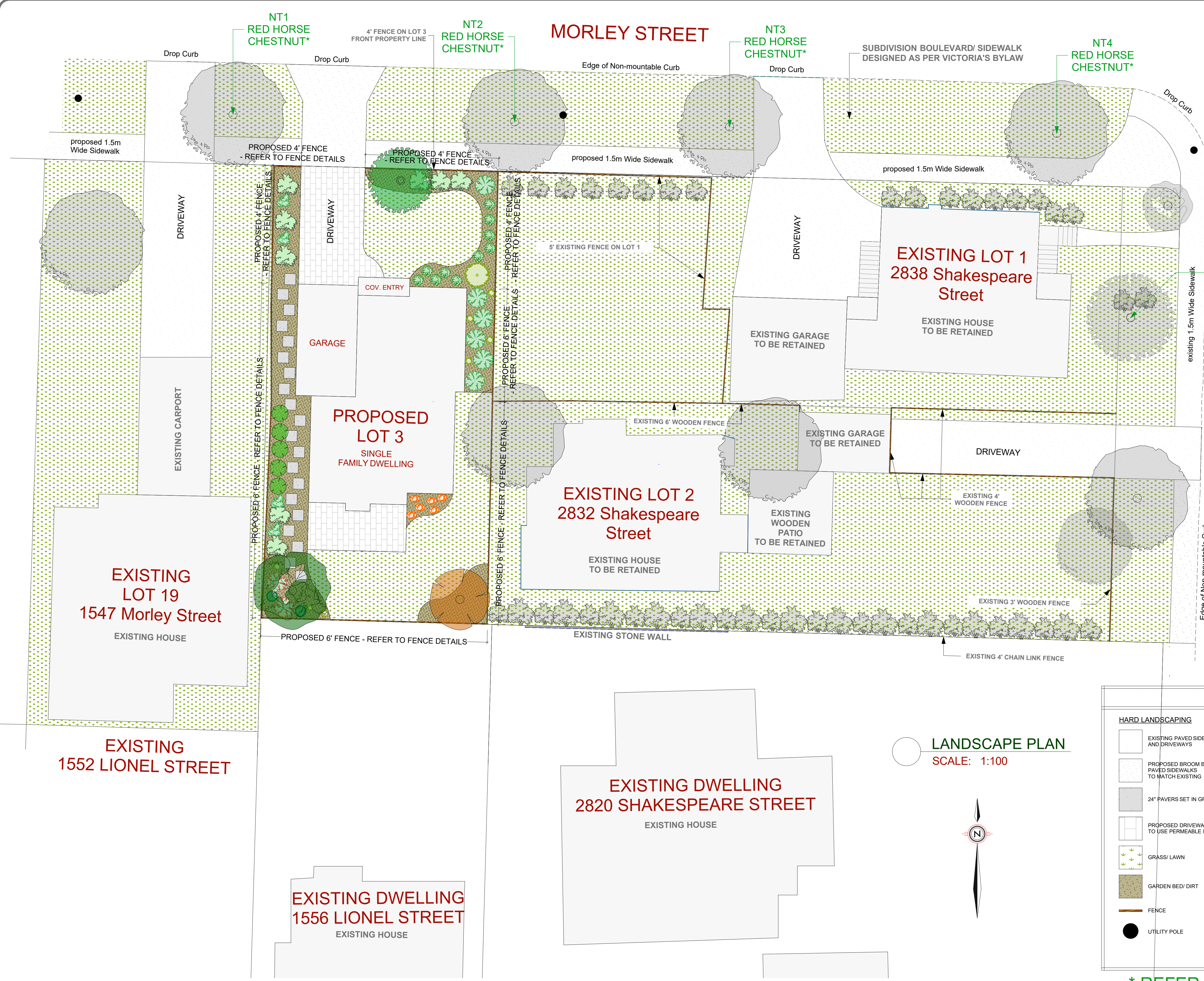
EXISTING LOT 1: 2838 SHAKESPEARE ST.  
SCALE: 1 : 75 SCALE

EXISTING LOT 2 IN BACKGROUND: 2832 SHAKESPEARE ST.  
SCALE: 1 : 75 SCALE

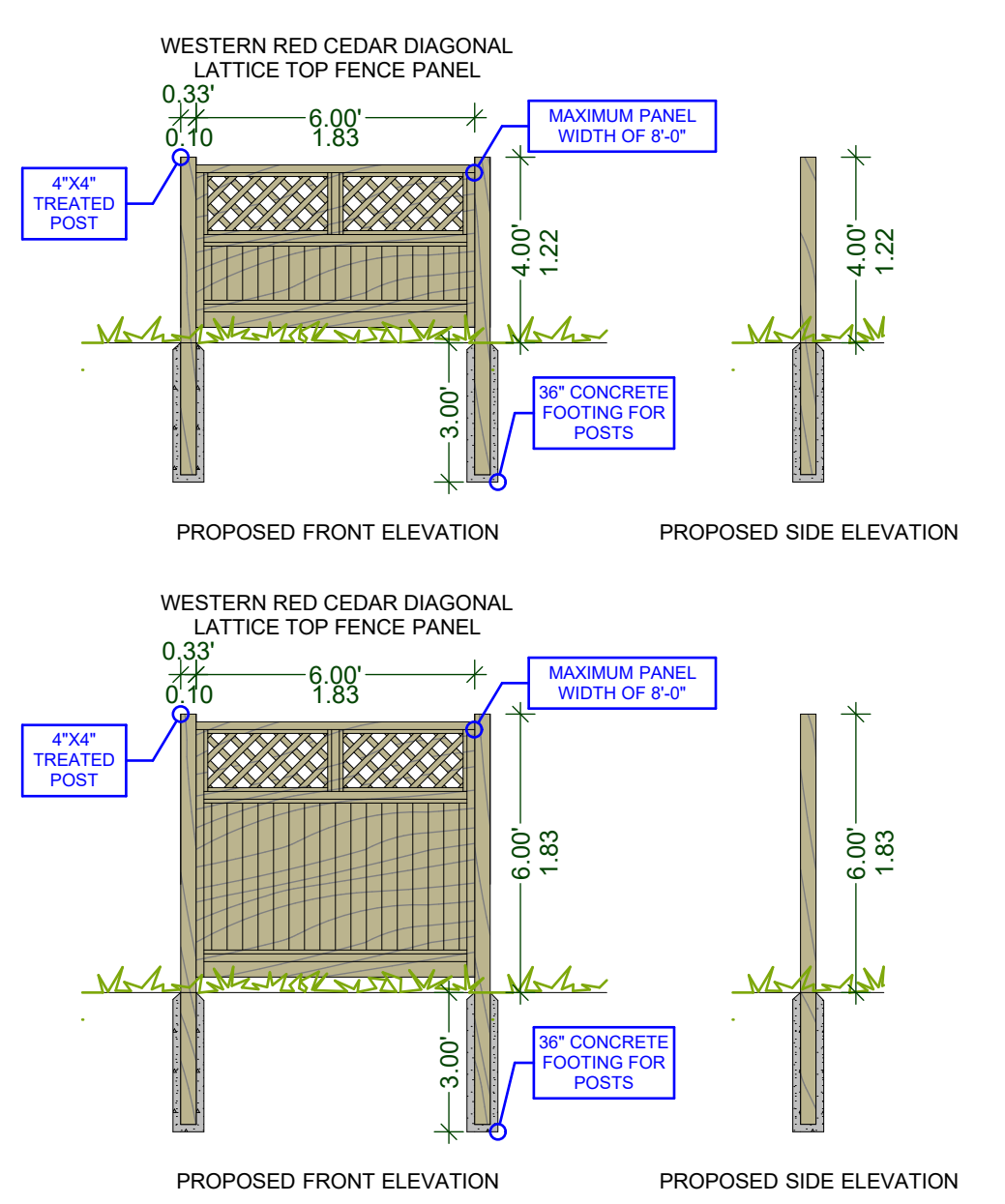
PROPOSED LOT 3: FRONT ELEVATION  
SCALE: 1 : 75 SCALE

EXISTING: 1547 MORLEY ST.  
SCALE: 1 : 75 SCALE





SHAKESPEARE STREET



PROPOSED FENCE DETAILS  
SCALE: 1/4" = 1' - 0"  
NOTE: PROPOSED FENCE DESIGN TO MATCH EXISTING FENCING

LANDSCAPE PLAN LEGEND	
<b>HARD LANDSCAPING</b>	<b>PLANTS/ TREES/ SHRUBS</b>
EXISTING PAVED SIDEWALKS AND DRIVEWAYS	EXISTING PLANTS/SHRUBS TO BE RETAINED
PROPOSED BROOM BRUSHED PAVED SIDEWALKS TO MATCH EXISTING	EXISTING TREES TO BE RETAINED
24" PAVERS SET IN GRAVEL	PROPOSED DOGWOOD CORNUS KONSAWN
PROPOSED DRIVEWAY/ PATIO TO USE PERMEABLE PAVERS	PROPOSED PARROTIA PERSICA "VANESSA"
GRASS/ LAWN	PROPOSED GARY OAK
GARDEN BED/ DIRT	PROPOSED DWARF HINOKI CYPRESS
FENCE	PROPOSED SPRING BULBS
UTILITY POLE	PROPOSED SWORD FERN
	PROPOSED EVERGREEN HUCKLEBERRY SPIN MEDIUM RUBRUM
	PROPOSED ARBUTUS UNEDO COMPACTA
	PROPOSED VIBURNUM AND BODNANTENSE "DAWN"
	PROPOSED BLUE OAT GRASS SEDUM "AUTUMN JOY"
	PROPOSED RED FLOWERING CURRENT
	PROPOSED YEW TAXUS X MEDIA "HICKS"
	PROPOSED TALL OREGON GRAPE
	PROPOSED GROUNDCOVER

\* REFER TO TREE PRESERVATION PLAN

CUSTOMER: **PAM HARTLING**

ADDRESS: **2832 & 2838 SHAKESPEARE STREET, VICTORIA**

DRAWING NAME: **LANDSCAPE PLAN**

ISSUE DATE: **MAR. 06. 2019**

DRAWING SCALE: **1:100**

DRAWN BY: **KYLE LEGGETT**

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SHEET NUMBER  
**A11**





○ 2832 EAST ELEVATION



○ 2832 EAST ELEVATION



○ 2832 NORTH ELEVATION



○ 2832 NORTH ELEVATION



○ 2832 SOUTH ELEVATION



○ 2832 SOUTH ELEVATION



○ 2832 SOUTH ELEVATION



○ 2832 SOUTH ELEVATION



○ 2832 WEST ELEVATION



○ 2832 WEST ELEVATION



○ 2838 EAST ELEVATION



○ 2882 NORTH ELEVATION



○ 2838 SOUTH ELEVATION



○ 2838 SOUTH ELEVATION



○ 2838 SOUTH ELEVATION



○ 2838 WEST ELEVATION