



**1400  
VANCOUVER ST  
VICTORIA, BC**

MIXED-USE  
COMMERCIAL/  
RESIDENTIAL  
DEVELOPMENT

03.22.2019

OWNER: 1153279 BC Ltd

ARCHITECT: AVRP ARCHITECTURE  
910-B RICHARDS STREET  
VANCOUVER, BC V6B 3C1

SUBMITTAL: REZONING AND  
DEVELOPMENT PERMIT  
APPLICATION

**CITY OF VICTORIA**

*RECEIVED*

APR 01 2019

*DEEMED*

MAR 27 2019



CIVIC ADDRESS  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA

**PROJECT INFORMATION TABLE**

|                                    |                     |
|------------------------------------|---------------------|
| ZONE/SITE SPECIFIC                 | SITE AREA 2,151.7qm |
| TOTAL COMMERCIAL                   | 548.7qm             |
| 232 Bqpm                           | NEW COMMERCIAL      |
| 316.0qpm                           | RESTORED HERITAGE   |
| FLOOR SPACE RATIO 4.4              |                     |
| SITE COVERAGE 78%                  |                     |
| OPEN SITE SPACE 560.7qm            |                     |
| HEIGHT OF BUILDING 49.71m          |                     |
| NUMBER OF STORES 16                |                     |
| PARKING STALLS (NUMBER) ON SITE 99 |                     |
| TOTAL BICYCLE PARKING 145          |                     |
| 130                                | LONG TERM           |
| 15                                 | SHORT TERM          |

**BUILDING SETBACK**

| Setbacks (Minimum)        | Building Height (Building/Balkony) | 15-45m  | 45-50m     |
|---------------------------|------------------------------------|---------|------------|
| Front-east 0.07 - changed | 0.15m                              |         |            |
| 12.94-new building        |                                    |         |            |
| Side-south 0.61m          | 0.61/0.2 at level 2                | 6.1/5.5 | 13.51/m/a* |
| Rear-west 0.11m           | 0.11/0.11 at level 2               | 8.1/6.3 | 100/m/a**  |
| Side-north 0.21m          | 0.21/0.21 at level 2               | 6.9/6.5 | 100/m/a**  |

\*LEVEL 15 roof deck handrail below 45m therefore not counted in 45m setback  
\*\*RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS 93  
UNIT TYPE: ALESS THAN 45M2] 2  
B45 TO 70 M2] 39  
C(MORE THAN 70 M2] 52  
GROUND ORIENTED UNITS N/A  
MINIMUM UNIT FLOOR AREA (SM) 42.8  
TOTAL RESIDENTIAL FLOOR AREA (SM) 6995.43  
TOTAL FLOOR AREA 9,488.8

**FLOOR SPACE AREA SUMMARY(SM) & RESIDENTIAL UNIT MATRIX**

| LEVEL         | UNITS |     |     | TOTAL | TOTAL UNIT AREA | AMENITY | COMMERCIAL | RESTORED HERITAGE | MECH  | STORAGE | OVERALL FLOOR AREA | DEEMPTED | SHAFT  | TOTAL FLOOR AREA |           |               |
|---------------|-------|-----|-----|-------|-----------------|---------|------------|-------------------|-------|---------|--------------------|----------|--------|------------------|-----------|---------------|
|               | T-A   | T-B | T-C |       |                 |         |            |                   |       |         |                    |          |        |                  |           |               |
| L16 (Overrun) |       |     |     |       |                 |         |            |                   |       |         |                    |          |        |                  |           |               |
| L15           |       |     |     | 2     | 2,347.66        |         |            |                   | 38.4  |         | 402.42             | 50.11    | 50.11  | 3,148.59         |           |               |
| L14           | 3     | 3   | 4   | 4     | 7,554.6         |         |            |                   | 54.76 |         | 663.06             | 15.04    | 648.02 | 8,272.44         |           |               |
| L13           | 3     | 3   | 4   | 4     | 7,546.98        |         |            |                   |       |         | 655.14             | 15.04    | 640.1  | 8,202.12         |           |               |
| L12           | 3     | 3   | 4   | 4     | 7,539.36        |         |            |                   |       |         | 647.52             | 15.04    | 632.48 | 8,171.84         |           |               |
| L11           | 3     | 3   | 4   | 4     | 7,531.74        |         |            |                   |       |         | 639.9              | 15.04    | 624.86 | 8,141.56         |           |               |
| L10           | 3     | 3   | 4   | 4     | 7,524.12        |         |            |                   |       |         | 632.28             | 15.04    | 617.24 | 8,111.28         |           |               |
| L9            | 3     | 3   | 4   | 4     | 7,516.5         |         |            |                   |       |         | 624.66             | 15.04    | 609.62 | 8,081            |           |               |
| L8            | 3     | 3   | 4   | 4     | 7,508.88        |         |            |                   |       |         | 617.04             | 15.04    | 602    | 8,050.72         |           |               |
| L7            | 3     | 3   | 4   | 4     | 7,501.26        |         |            |                   |       |         | 609.42             | 15.04    | 594.38 | 8,020.44         |           |               |
| L6            | 3     | 3   | 4   | 4     | 7,493.64        |         |            |                   |       |         | 601.8              | 15.04    | 586.76 | 8,000.16         |           |               |
| L5            | 3     | 3   | 4   | 4     | 7,486.02        |         |            |                   |       |         | 594.18             | 15.04    | 579.14 | 7,979.88         |           |               |
| L4            | 3     | 3   | 4   | 4     | 7,478.4         |         |            |                   |       |         | 586.56             | 15.04    | 571.52 | 7,959.6          |           |               |
| L3            | 2     | 2   | 2   | 4     | 4,275.5         | 134.26  |            |                   |       |         | 151.64             | 985.3    | 15.04  | 970.26           | 5,252.1   |               |
| L2            | 1     | 5   | 4   | 4     | 10,690.77       |         |            |                   |       |         | 232.77             | 315.96   | 15.04  | 810.31           | 11,074.74 |               |
| L1            | 2     | 39  |     | 2     | 50              |         |            |                   |       |         | 93                 | 6995.4   | 134.26 | 232.77           | 315.96    | 93,161,151.64 |
| GRAND TOTAL   | 2     | 39  |     | 2     | 50              |         |            |                   |       |         | 93                 | 6995.4   | 134.26 | 232.77           | 315.96    | 93,161,151.64 |

TOTAL FSR: 9712.28/2151.7, 4.4

**PARKING**

| ALLES THAN 45M2] | B45 TO 70 M2] | 39           |
|------------------|---------------|--------------|
| REQUIRED         | REQUIRED      | REQUIRED     |
| Vehicle          | Visitor Blue  | Visitor Blue |
| 32A              | 1             | 2            |
| 39B              | 23.4          | 3.6          |
| 52XC             | 5.2           | 8.9          |
| Commercial       | 76            | 10           |
| REQUIRED         | REQUIRED      | REQUIRED     |
| Vehicle          | Blue          | Visitor Blue |
| 32A              | 1             | 0.1          |
| 39B              | 0.6           | 0.1          |
| 52XC             | 1             | 0.1          |
| Commercial       | 1             | 0.1          |

**Commercial Parking Requirement**

|                  |   |     |       |
|------------------|---|-----|-------|
| Office           | 1 | per | 70 m2 |
| Personal Service | 1 | per | 50 m2 |
| Retail           | 1 | per | 60 m2 |
| Restaurant       | 1 | per | 40 m2 |

**Parking Requirements**

|                       |      |
|-----------------------|------|
| Vehicle - Residential | 76   |
| Visitor               | 10   |
| Commercial Retail     | 10   |
| Restored Heritage     | 8.0  |
| TOTAL                 | 97.0 |

Note: Restored Heritage Parking to verify

**BICYCLE PARKING REQUIREMENTS**

|                    |     |
|--------------------|-----|
| RESIDENTIAL BIKE   | 120 |
| VISITOR BIKE SPACE | 15  |
| TOTAL              | 135 |

STORAGE LOCKER PROVIDED: 97

**VICTORIA**

1400 Vancouver St, Victoria, BC, Canada

**TABLE OF CONTENTS**

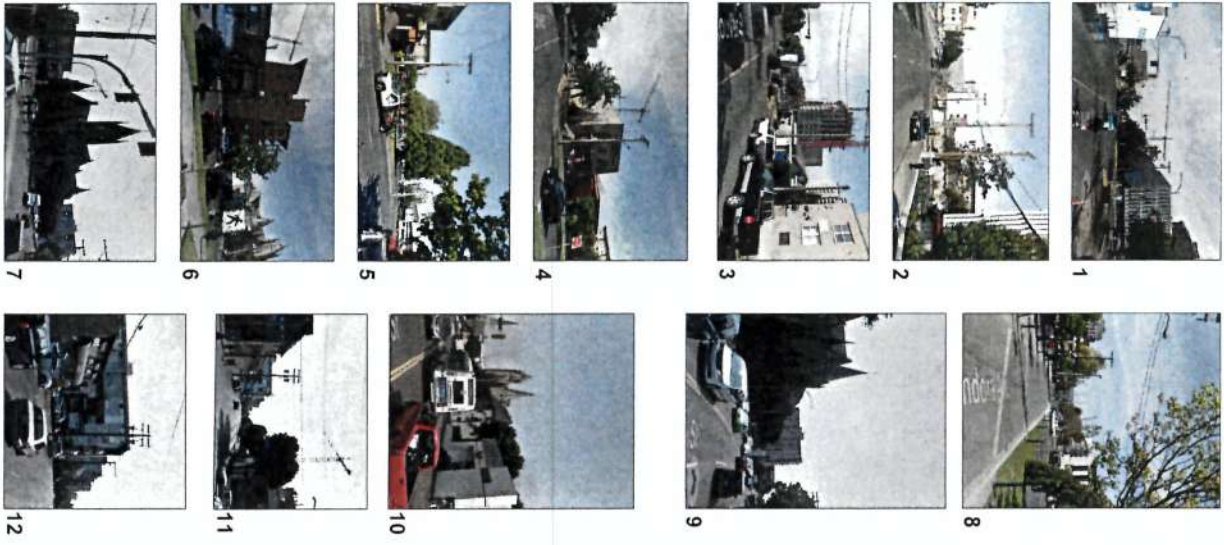
| GENERAL                               | LANDSCAPE                 |
|---------------------------------------|---------------------------|
| 70.00 COVER SHEET                     | LEVEL 1 LANDSCAPE CONCEPT |
| 70.01 TABLE OF CONTENTS               | LEVEL 1 LANDSCAPE CONCEPT |
| 70.02 SITE CONTEXT                    |                           |
| <b>RENDERING &amp; EXHIBITS</b>       |                           |
| A1.01 RENDERING EXHIBITS 1            |                           |
| A1.02 RENDERING EXHIBITS 2            |                           |
| A1.03 RENDERING EXHIBITS 3            |                           |
| A1.04 RENDERING EXHIBITS 4            |                           |
| A1.05 RENDERING EXHIBITS 5            |                           |
| <b>ARCHITECTURAL DRAWINGS</b>         |                           |
| A2.00 EXISTING SITE PLAN              |                           |
| A2.01 PROPOSED SITE PLAN              |                           |
| A2.02 PARKING LEVEL B3                |                           |
| A2.04 PARKING LEVEL B1                |                           |
| A2.05 LEVEL GROUND                    |                           |
| A2.06 LEVEL 2                         |                           |
| A2.07 LEVEL 3                         |                           |
| A2.08 LEVEL 4 (L5-13 SIMILAR)         |                           |
| A2.09 LEVEL 14                        |                           |
| A2.10 LEVEL 15                        |                           |
| A2.11 MECHANICAL LEVEL 16             |                           |
| A3.01 SOUTH ELEVATION                 |                           |
| A3.02 WEST ELEVATION                  |                           |
| A3.03 NORTH ELEVATION                 |                           |
| A3.04 ENLARGED ELEVATION EAST & SOUTH |                           |
| A3.05 ENLARGED ELEVATION WEST & NORTH |                           |
| A3.07 CONTENT ELEVATION EAST/SOUTH    |                           |
| A3.08 CONTENT ELEVATION WEST/NORTH    |                           |
| A4.01 LONGITUDINAL SECTION            |                           |
| A4.02 CROSS SECTION                   |                           |
| A5.01 SHADOW STUDY                    |                           |
| A5.02 SITE SLOPE                      |                           |
| A5.03 SITE SURVEY                     |                           |
| A5.04 AVERAGE GRADE ELEVATION         |                           |
| A5.05 MATERIAL BOARD                  |                           |

**VICINITY MAP**

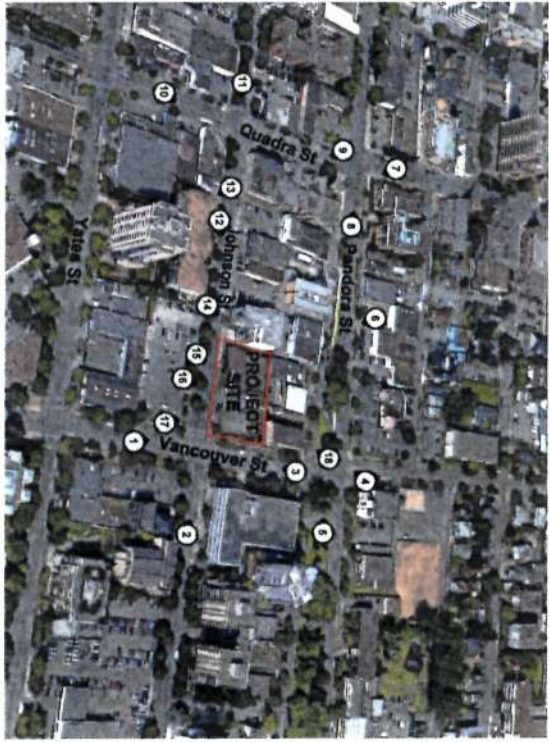


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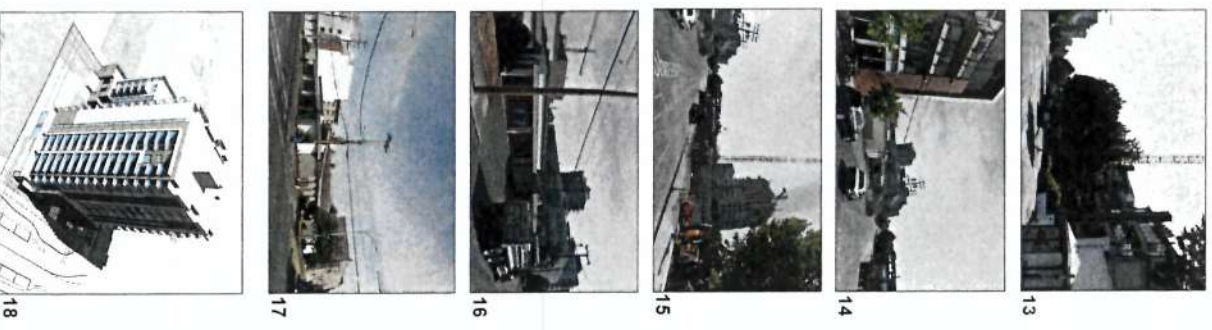




CONTEXT 3D IMAGE



PROJECT LOCATION



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**CONTEXT PLAN**  
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 MAR 27 2019

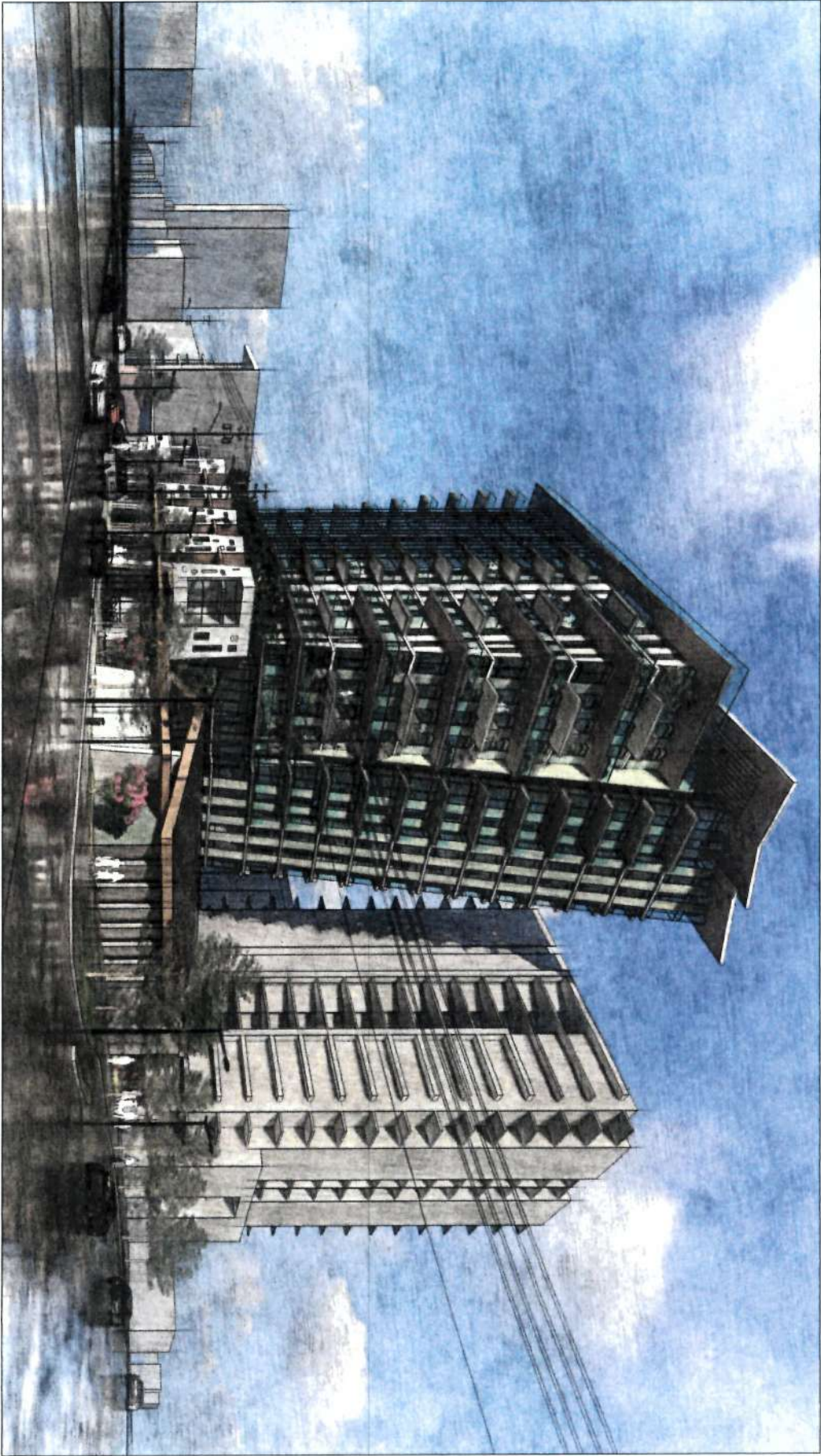


**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA

REVISION: DATE  
 01:00:00 10/11/2017  
 02:00:00 03/28/2018  
 03:00:00 03/22/2019

PROJECT NO: 10000  
 PROJECT NAME: 1400 VANCOUVER ST  
 SHEET TITLE: SITE CONTEXT  
 SHEET NUMBER: T0.02





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AVRP  
ARCHITECTURAL  
RENDERING  
PRACTICE  
VICTORIA, B.C.  
VANCOUVER, B.C.  
VICTORIA, B.C.



STRIP

CONTRACT NO.

PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

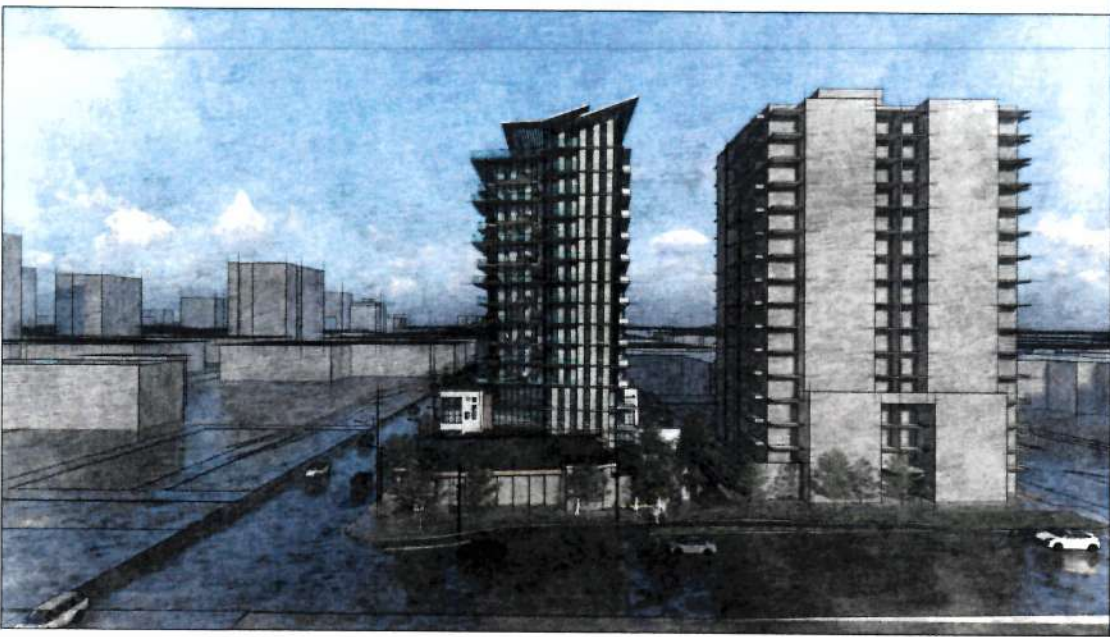
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|-----|-------------|------------|
| 1   | CONCEPT     | 02.14.2019 |
| 2   | CONCEPT     | 02.14.2019 |
| 3   | CONCEPT     | 02.14.2019 |
| 4   | CONCEPT     | 02.22.2019 |

PROJECT NO. 1800  
SHEET NO. NTS

PREPARED BY  
CONCEPT  
EXHIBIT 5.01

SHEET NUMBER  
**R1.01**





AVRP  
ARCHITECTURE INC.  
1109 RICHARD STREET  
VANCOUVER, B.C.  
V6A 4A7



STAMP

FORGULL, YAH

PROJECT NAME

**VICTORIA  
1400 VANCOUVER ST., VICTORIA,  
BC, CANADA**

| ISSUE DATES | DESCRIPTION        | DATE       |
|-------------|--------------------|------------|
| 01-11-2018  | OP. PRELIMINARY    | 01-11-2018 |
| 01-28-2018  | OP. PRELIMINARY #2 | 01-28-2018 |
| 03-13-2018  | OP. MEETING        | 03-13-2018 |
| 03-22-2018  | FOR RESUBMITTAL    | 03-22-2018 |

PROJECT NO 18003

AGENCY & OFFICE

NTS

SHEET TITLE

CONCEPT  
EXHIBITS 02

SHEET NUMBER

**R1.02**

**CITY OF VICTORIA**

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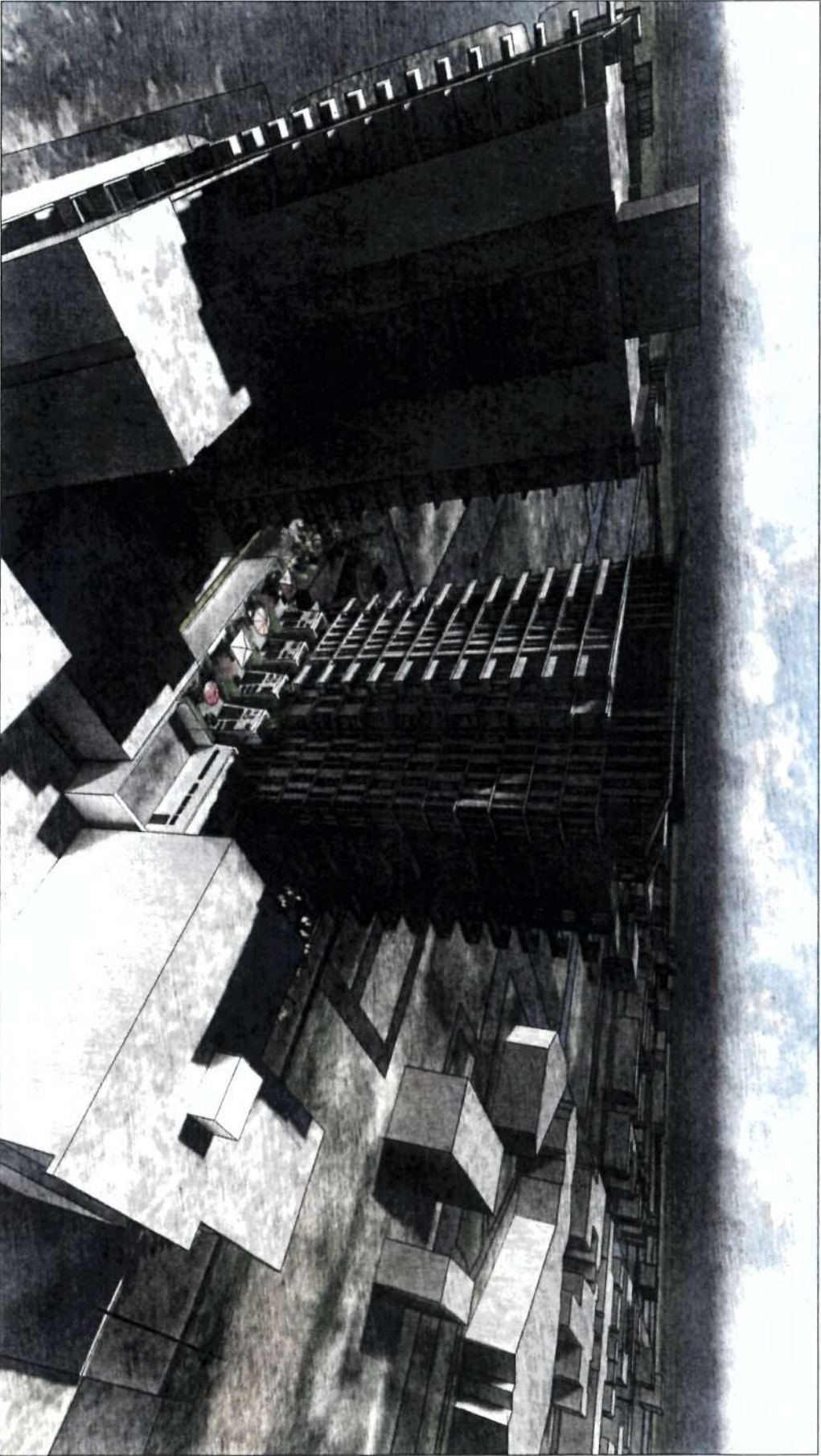
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APR 01 2019

MAR 27 2018

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604-485-4479

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

PROJECT NUMBER  
R1.03

PROJECTING: 2019  
DATE: 01.11.2019  
DATE OF REVISION: 01.29.2019  
DATE OF REVISION: 03.20.2019

PROJECT NUMBER  
R1.03



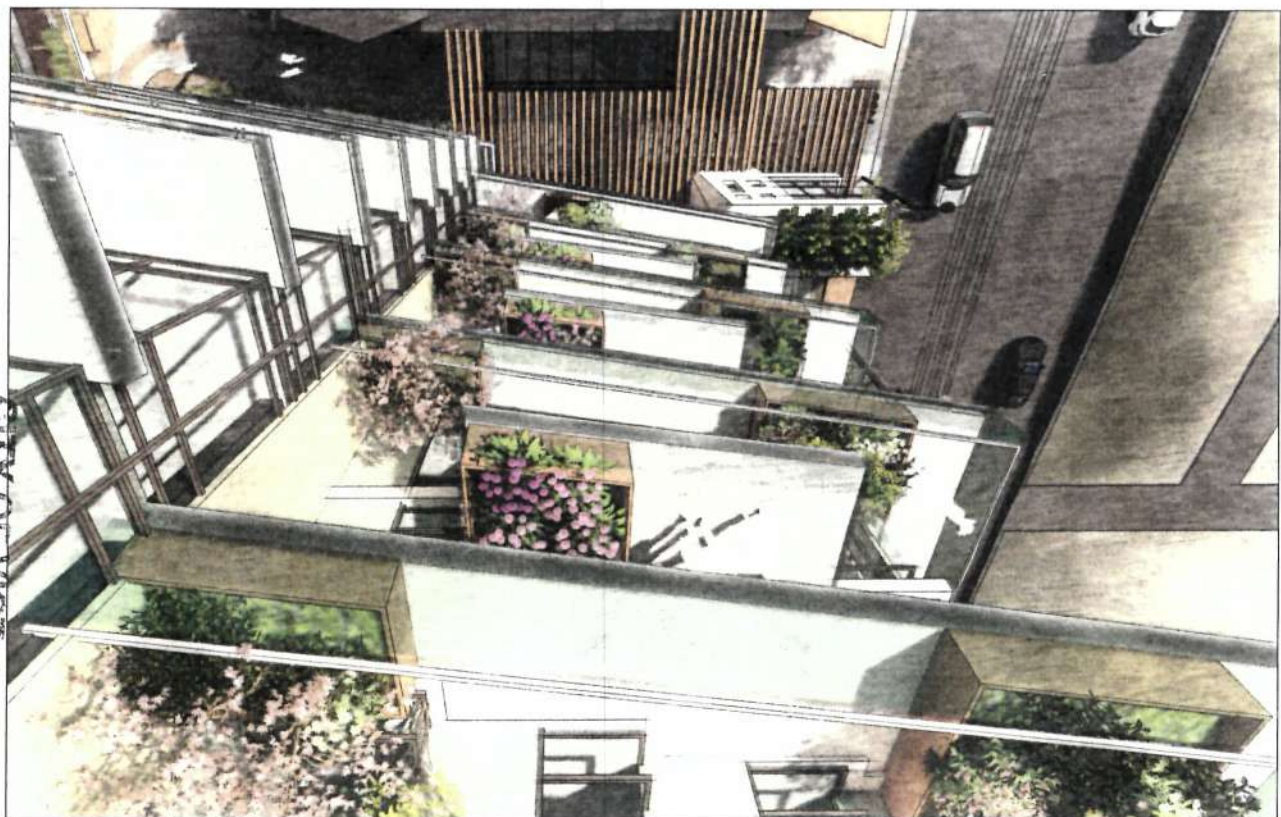
CITY LEVEL



BUILDING ENTRANCE



BUILDING ENTRANCE



CITY OF VICTORIA

**VICTORIA**  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA



PROJECT NAME  
CONTRACT NUMBER

REVISIONS  
DATE  
DESCRIPTION

PROJECT NO.  
SHEET NO.  
SHEET TOTAL  
SHEET NUMBER  
R1.04

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**VANCOUVER STREET ENTRANCE**



**COURTYARD ENTRY**



**SUNNY SUMMER MORNING**



**CITY OF VICTORIA**



AVRP  
ARCHITECTURE INC.  
8106 RICHARD STREET  
VANCOUVER, B.C.  
V6N 1M5



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CONSULTANT

PROJECT NAME

**VICTORIA  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA**

| ISSUE NAME | DESCRIPTION | DATE       |
|------------|-------------|------------|
| DP         | REVISION    | 10/11/2018 |
| DP         | REVISION    | 01/25/2019 |
| ADP        | MEETING     | 02/28/2019 |
| ADP        | REVISION    | 03/22/2019 |

PROJECT NO 1800

AGENCY & SCALE AT 24'x36'

NTS

SHEET TITLE

CONCEPT

EXHIBITS 05

SHEET NUMBER

**R1.05**

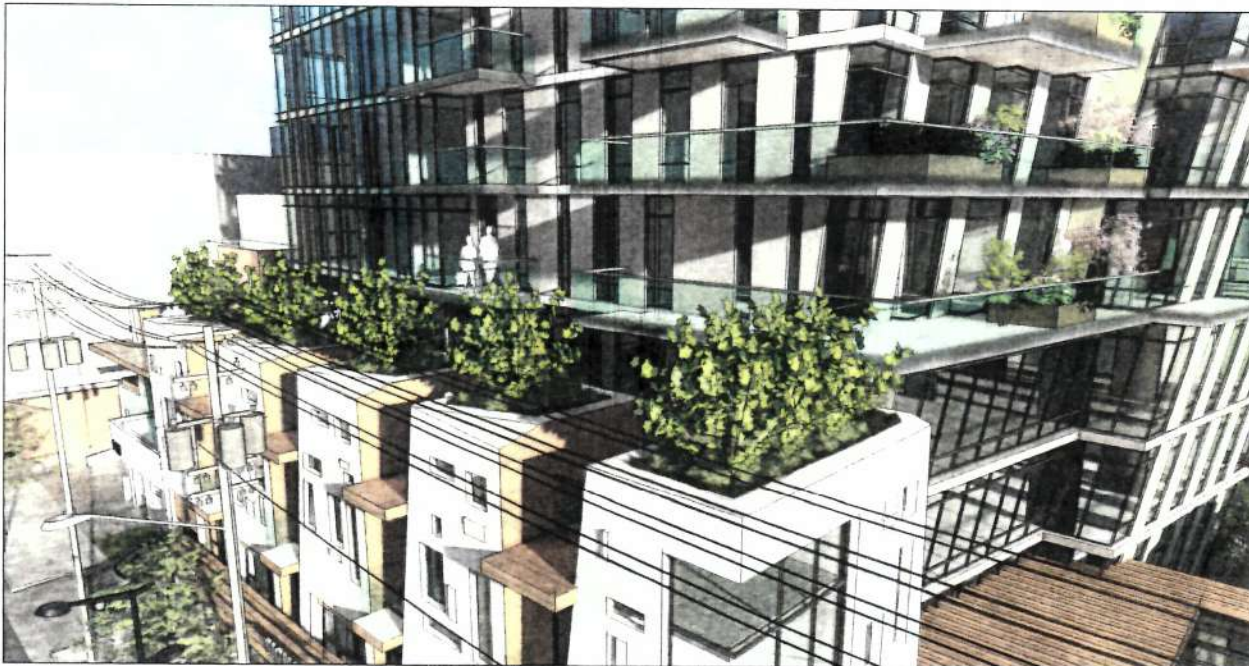
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Planting clusters, flowering accent trees, native forest understory



CITY OF VICTORIA  
Life at different levels



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ARCHITECTURE INC.  
518 RICHARD STREET  
VANCOUVER, B.C.  
(604) 682-4479



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CONSULTANT

PROJECT NAME

VICTORIA  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA

| REV | DESCRIPTION   | DATE       |
|-----|---------------|------------|
| 01  | PRELIMINARY   | 10/11/2018 |
| 02  | CONCEPT       | 01/29/2019 |
| 03  | FOR MEETING   | 02/28/2019 |
| 04  | FOR SUBMITTAL | 03/22/2019 |

PROJECT NO: 1800

AGENCY:

SCALE AT 2/3"=1'

NTS

SHEET TITLE

CONCEPT

EXHIBITS 06

SHEET NUMBER

R1.06

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Hub for interaction: bistro tables, communal table, barbecue



Barbecue, tall glasses, perennials



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ARCHITECTURE INC.  
918 RICHARD STREET  
VANCOUVER, B.C.  
V6B 4K5



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CONSULTANT

PROJECT NAME

**VICTORIA  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA**

| DATE       | DESCRIPTION       | DATE |
|------------|-------------------|------|
| 10.11.2018 | DP - PRELIMINARY  |      |
| 01.20.2019 | DP - REVISION #2  |      |
| 03.19.2019 | ADP - MEETING     |      |
| 03.22.2019 | ADP - PRELIMINARY |      |

PROJECT NO 1800

AGENCY

SCALE AT 1/4"=1'-0"

NTS

SHEET TITLE

CONCEPT

EXHIBITS 07

SHEET NUMBER

**R1.07**

CITY OF VICTORIA

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Early Thursday morning: street trees, benches, shop windows to peruse



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MAR 27 2019



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**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

| DATE       | DESCRIPTION        | DATE |
|------------|--------------------|------|
| 10/11/2018 | CP, PRELIMINARY    |      |
| 01/28/2019 | CP, PRELIMINARY #2 |      |
| 02/19/2019 | ADP MEETING        |      |
| 03/22/2019 | ADP RESUBMITTAL    |      |

PROJECT NO: 18003

GENERIC SCALE AT 24'X36'

NTS

SHEET TITLE

CONCEPT

EXHIBITS 08

SHEET NUMBER

**R1.08**



AVR P ARCHITECTURE INC. 9180 RICHMOND STREET, VANCOUVER, BC V6V 2E9. TEL: 604-273-1111. FAX: 604-273-1112. WWW.AVRPARCHITECTURE.COM



**AVR P**  
ARCHITECTURE INC.  
9180 RICHMOND STREET,  
VANCOUVER, BC  
V6V 2E9



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CONSULTANT

PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

| ISSUE           | DATE       | DESCRIPTION | DATE |
|-----------------|------------|-------------|------|
| CP, REZONING    | 10 11 2016 |             |      |
| CP, REZONING #2 | 01 28 2016 |             |      |
| ADP MEETING     | 02 19 2016 |             |      |
| ADP RESUBMITTAL | 03 22 2016 |             |      |

PROJECT NO. 1400

AGENCY & SCALE AT 24'X36'

NTS

SHEET TITLE

RENDERING 01

SHEET NUMBER

**A1.01**

**CITY OF VICTORIA**

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**APR 01 2019**

**MAR 27 2019**

STREET VIEW, SOUTH EAST



STREET VIEW, NORTH EAST



CITY OF VICTORIA

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**VICTORIA**  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA



CONSULTANT

DESCRIPTION DATE  
DESIGN 01/13/2018  
CONCEPT 01/13/2018  
ARCHITECTURE 01/13/2018  
Landscape 01/13/2018  
AVP RESUBMITTAL 03/22/2019

PROJECT NO 1000  
SHEET NO 001  
SHEET TITLE  
RENDERING 02  
SHEET NUMBER  
**A1.02**

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STREET VIEW, SOUTH WEST



STREET VIEW, SOUTH EAST



SOUTH EAST CORNER DETAIL



SOUTH WEST CORNER DETAIL



STREET VIEW, SOUTH WEST



STREET VIEW, NORTH EAST



EXISTING CHAPEL DETAIL



STREET VIEW, NORTH WEST



AVRP  
ARCHITECTURE INC.  
810 RICHARD STREET  
VANCOUVER, B.C.  
V6C 2K7



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CONSULTANT

PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

| ISSUE DATE | DESCRIPTION     | DATE       |
|------------|-----------------|------------|
| 01         | PRELIMINARY     | 10/11/2018 |
| 02         | SCHEMATIC       | 01/20/2019 |
| 03         | ADP MEETING     | 02/19/2019 |
| 04         | ADP RESUBMITTAL | 03/22/2019 |

PROJECT NO: 18003  
SCALE: AS SHOWN  
N.T.S.

SHEET TITLE  
RENDERING 05

SHEET NUMBER

**A4.05**

**CITY OF VICTORIA**  
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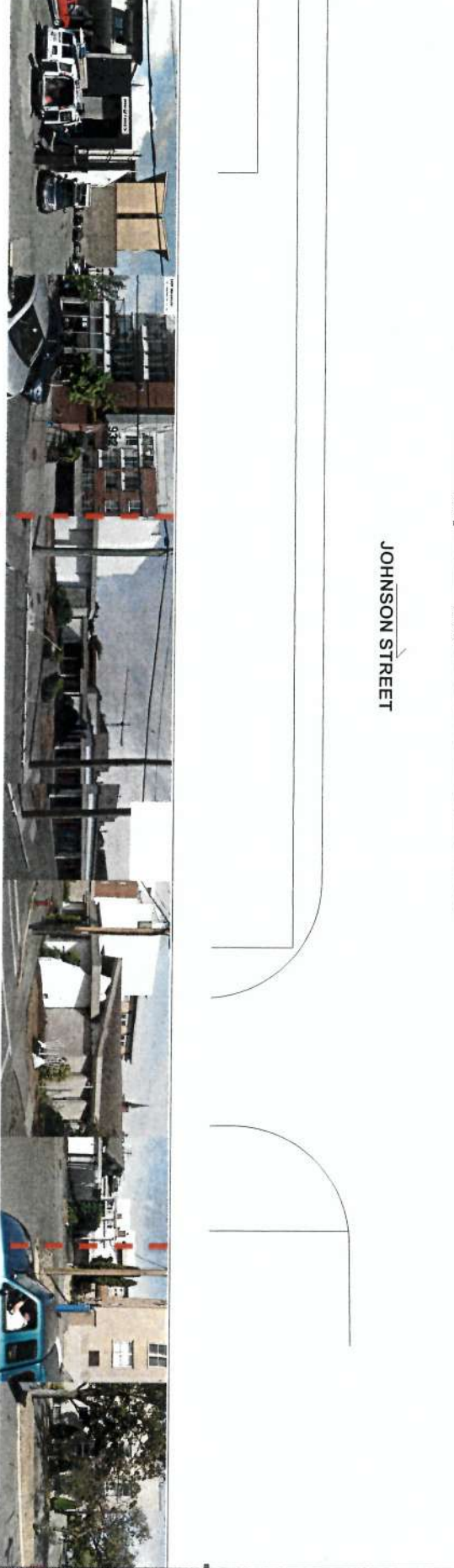


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**LEGEND**

|     |                           |
|-----|---------------------------|
| (B) | WATER METERS              |
| (M) | WATER MAINS               |
| (U) | UTILITY POLES             |
| (S) | SEA WALLS                 |
| (T) | TRAVEL LIGHTS             |
| (P) | PAVE PROJECTS             |
| (C) | UTILITY POLES WITH LIGHTS |



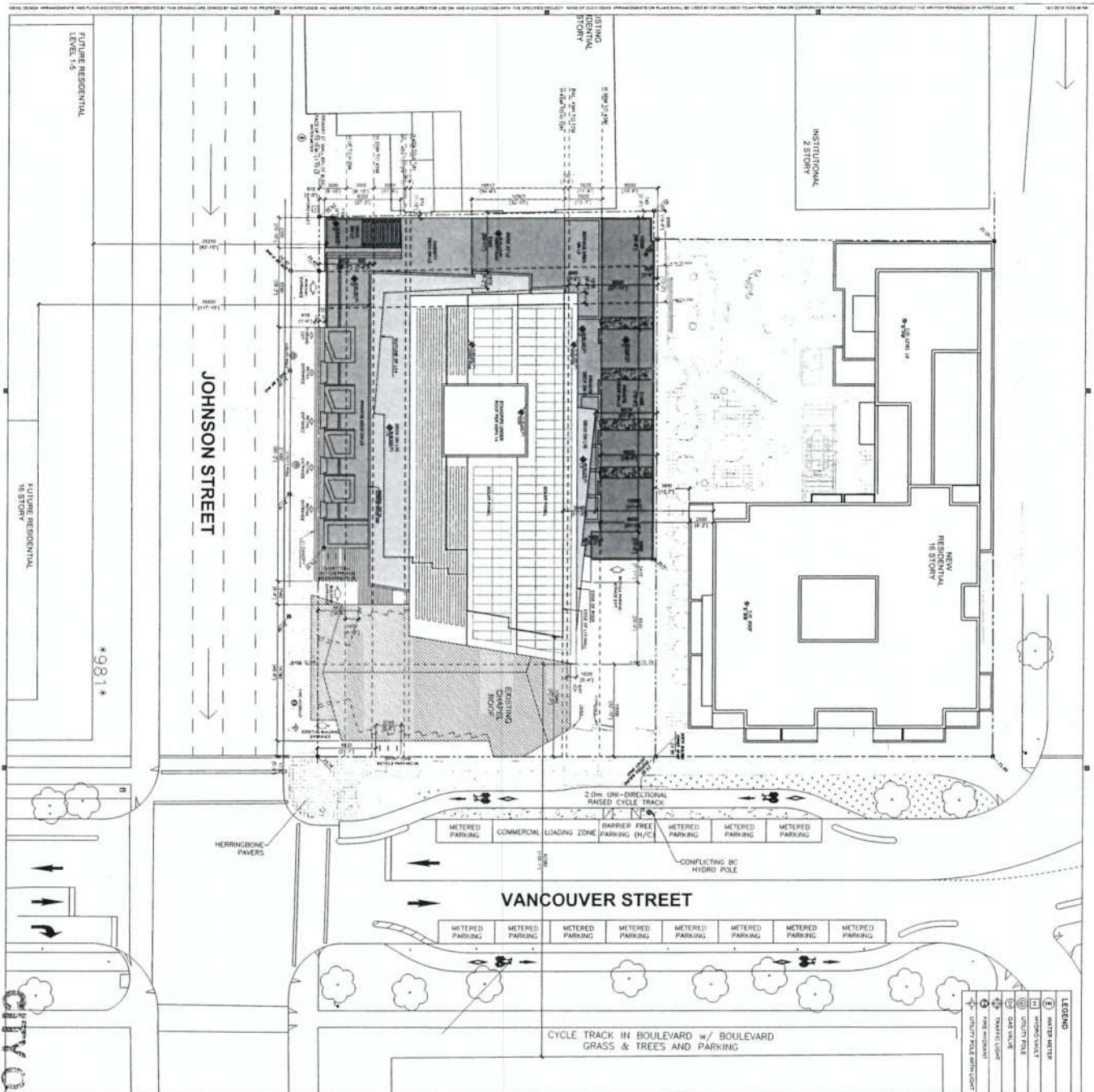
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SITE

**PROJECT NAME:** VICTORIA 1400 VANCOUVER ST, VICTORIA, BC, CANADA  
**DATE:** 10/11/2011  
**DESCRIPTION:** EXISTING SITE PLAN  
**PROJECT NUMBER:** A2.00  
**ARCHITECT:** AVRP ARCHITECTURE INC. 3100 VANCOUVER STREET, VANCOUVER, BC V6J 4V5  
**DATE:** 02/18/2011  
**BY:** [Signature]  
**DATE:** 01/22/2011  
**BY:** [Signature]

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**





**LEGEND**

- ① METERED METE
- ② METERED VEHICLE
- ③ UTILITY POLE
- ④ GAS VALVE
- ⑤ TRAFFIC LIGHT
- ⑥ HYDRO POLE
- ⑦ UTILITY POLE (NON-CONFLICTING)

**PROJECT INFORMATION TABLE**

|   |                        |
|---|------------------------|
| <b>ZONE/SITE SPECIFIC</b>               | 232 80m NEW COMMERCIAL |
| <b>SITE AREA</b>                        | 2,151.74sqm            |
| <b>TOTAL COMMERCIAL</b>                 | 548.71sqm              |
| <b>FLOOR SPACE RATIO</b>                | 4.4                    |
| <b>SITE COVERAGE</b>                    | 78%                    |
| <b>OPEN SITE SPACE</b>                  | 560.71sqm              |
| <b>HEIGHT OF BUILDING</b>               | 49.71m                 |
| <b>NUMBER OF STOREYS</b>                | 16                     |
| <b>PARKING STALLS (NUMBERS) ON SITE</b> | 199                    |
| <b>TOTAL BICYCLE PARKING</b>            | 140                    |
| <b>LONG TERM</b>                        | 10                     |
| <b>SHORT TERM</b>                       | 10                     |

**BUILDING SETBACK**

| Setbacks                 | Building Height (Building/Balcony) |
|--------------------------|------------------------------------|
| Front-east 0.00 - chapel | 0-15m                              |
| 12.94 - new building     | 15-45m                             |
| Side-south 0.61m         | 45-50m                             |
| Side-west 0.11m          | 6.1/5.5 13.51m/a*                  |
| Side-north 0.21m         | 0.1/0.11 at level 2                |
|                          | 8.1/6.3 10.0m/a*                   |
|                          | 6.9/6.5 10.0m/a*                   |

**RESIDENTIAL USE DETAILS**

UNIT TYPE: ALESS THAN 45M<sup>2</sup> 2  
B445 TO 70 M<sup>2</sup> 1) 99  
C/MORE THAN 70 M<sup>2</sup> 52

GROUND ORIENTED UNITS: N/A  
MINIMUM UNIT FLOOR AREA (SM): 42.8  
TOTAL RESIDENTIAL FLOOR AREA (SM): 6995.43  
TOTAL RESIDENTIAL FLOOR AREA: 9,468.8

**FLOOR SPACE AREA (SUMMARY) & RESIDENTIAL UNIT MATRIX**

| UNIT | AREA (SM) | RESIDENTIAL |
|------|-----------|-------------|
| 1    | 42.8      | 1           |
| 2    | 42.8      | 1           |
| 3    | 42.8      | 1           |
| 4    | 42.8      | 1           |
| 5    | 42.8      | 1           |
| 6    | 42.8      | 1           |
| 7    | 42.8      | 1           |
| 8    | 42.8      | 1           |
| 9    | 42.8      | 1           |
| 10   | 42.8      | 1           |
| 11   | 42.8      | 1           |
| 12   | 42.8      | 1           |
| 13   | 42.8      | 1           |
| 14   | 42.8      | 1           |
| 15   | 42.8      | 1           |
| 16   | 42.8      | 1           |
| 17   | 42.8      | 1           |
| 18   | 42.8      | 1           |
| 19   | 42.8      | 1           |
| 20   | 42.8      | 1           |
| 21   | 42.8      | 1           |
| 22   | 42.8      | 1           |
| 23   | 42.8      | 1           |
| 24   | 42.8      | 1           |
| 25   | 42.8      | 1           |
| 26   | 42.8      | 1           |
| 27   | 42.8      | 1           |
| 28   | 42.8      | 1           |
| 29   | 42.8      | 1           |
| 30   | 42.8      | 1           |
| 31   | 42.8      | 1           |
| 32   | 42.8      | 1           |
| 33   | 42.8      | 1           |
| 34   | 42.8      | 1           |
| 35   | 42.8      | 1           |
| 36   | 42.8      | 1           |
| 37   | 42.8      | 1           |
| 38   | 42.8      | 1           |
| 39   | 42.8      | 1           |
| 40   | 42.8      | 1           |
| 41   | 42.8      | 1           |
| 42   | 42.8      | 1           |
| 43   | 42.8      | 1           |
| 44   | 42.8      | 1           |
| 45   | 42.8      | 1           |
| 46   | 42.8      | 1           |
| 47   | 42.8      | 1           |
| 48   | 42.8      | 1           |
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| 50   | 42.8      | 1           |
| 51   | 42.8      | 1           |
| 52   | 42.8      | 1           |
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| 63   | 42.8      | 1           |
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| 65   | 42.8      | 1           |
| 66   | 42.8      | 1           |
| 67   | 42.8      | 1           |
| 68   | 42.8      | 1           |
| 69   | 42.8      | 1           |
| 70   | 42.8      | 1           |
| 71   | 42.8      | 1           |
| 72   | 42.8      | 1           |
| 73   | 42.8      | 1           |
| 74   | 42.8      | 1           |
| 75   | 42.8      | 1           |
| 76   | 42.8      | 1           |
| 77   | 42.8      | 1           |
| 78   | 42.8      | 1           |
| 79   | 42.8      | 1           |
| 80   | 42.8      | 1           |
| 81   | 42.8      | 1           |
| 82   | 42.8      | 1           |
| 83   | 42.8      | 1           |
| 84   | 42.8      | 1           |
| 85   | 42.8      | 1           |
| 86   | 42.8      | 1           |
| 87   | 42.8      | 1           |
| 88   | 42.8      | 1           |
| 89   | 42.8      | 1           |
| 90   | 42.8      | 1           |
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| 92   | 42.8      | 1           |
| 93   | 42.8      | 1           |
| 94   | 42.8      | 1           |
| 95   | 42.8      | 1           |
| 96   | 42.8      | 1           |
| 97   | 42.8      | 1           |
| 98   | 42.8      | 1           |
| 99   | 42.8      | 1           |
| 100  | 42.8      | 1           |



EXISTING CHAPEL FRONT VIEW CA. 1960



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CITY OF VICTORIA

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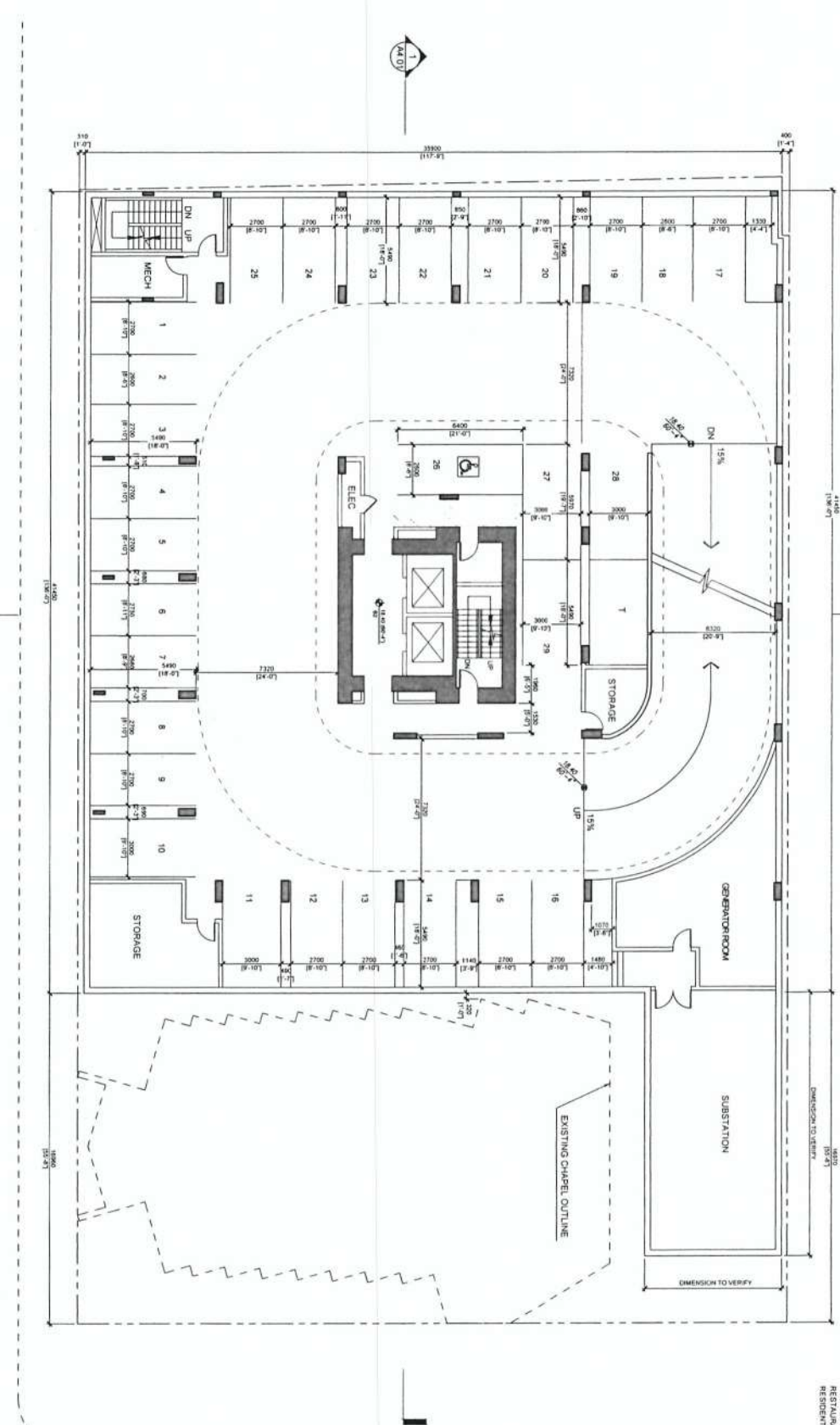
PROJECT NO: 1-200  
SHEET TITLE: PROPOSED SITE PLAN  
PROJECT NUMBER: A2.01

DATE: 10/17/2018  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 03/22/2019









**PARKING LEGEND**

|    |                    |
|----|--------------------|
| #/ | VISITOR PARKING    |
| MC | COMMERCIAL PARKING |
| MR | RESTAURANT PARKING |

**PARKING COUNT**

|            |    |
|------------|----|
| VISITOR    | 0  |
| COMMERCIAL | 0  |
| RESTAURANT | 0  |
| TOTAL      | 29 |

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**A2.03**

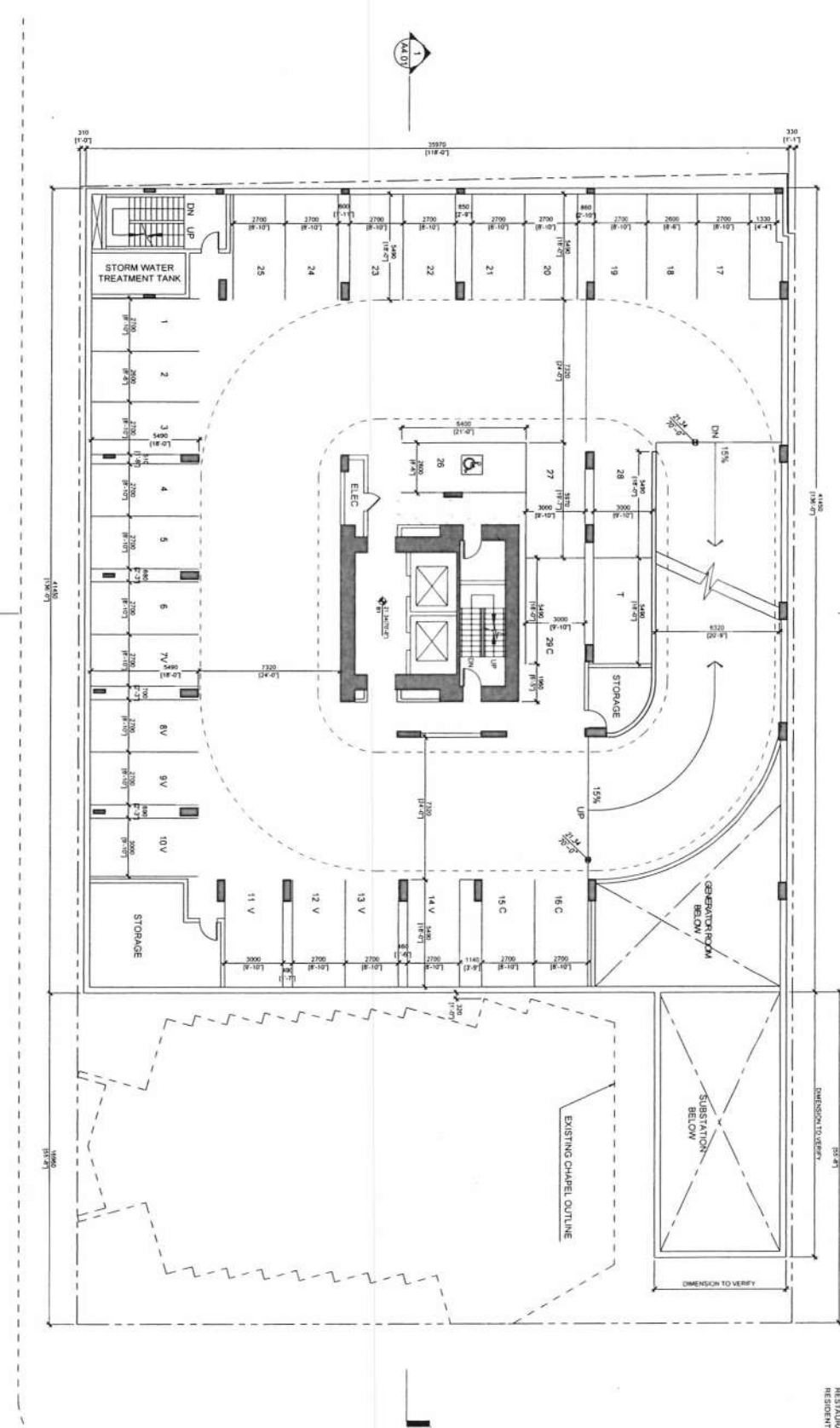
PROJECT NO: 1803  
 SHEET NO: 1-100  
 SHEET TITLE: PARKING LEVEL  
 SHEET NUMBER: 92

DESIGNATION: DATE  
 OF RECORDING: 01.11.2018  
 DATE OF REVISION: 01.28.2018  
 NAME OF REVISION: 02.22.2018

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 BC, CANADA







**PARKING LEGEND**

|    |                 |
|----|-----------------|
| #V | VISITOR PARKING |
| #C | COMMERCIAL      |
| #R | RESIDENTIAL     |

**PARKING COUNT**

|    |             |
|----|-------------|
| 1  | VISITOR     |
| 2  | COMMERCIAL  |
| 3  | RESIDENTIAL |
| 16 | TOTAL       |

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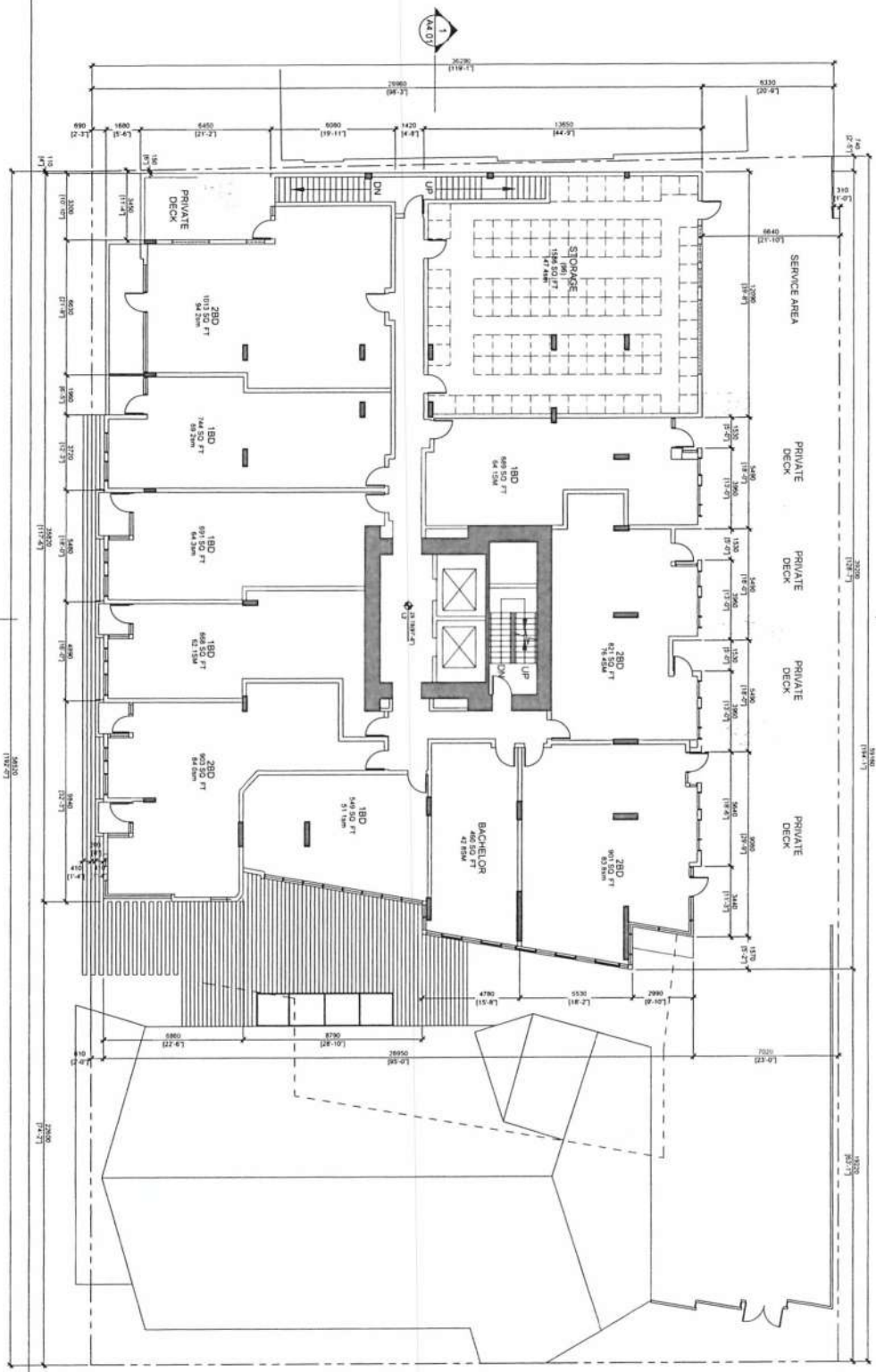


**PROJECT NO:** 1003  
**CLIENT:** CITY OF VICTORIA  
**DATE:** 01/11/2018  
**SCALE:** 1:100  
**PROJECT TITLE:** PARKING LEVEL  
**PROJECT NUMBER:** B1  
**DATE:** 03/22/2019









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 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA



**PROJECT NAME:**  
**DESCRIPTION:**  
**DATE:**

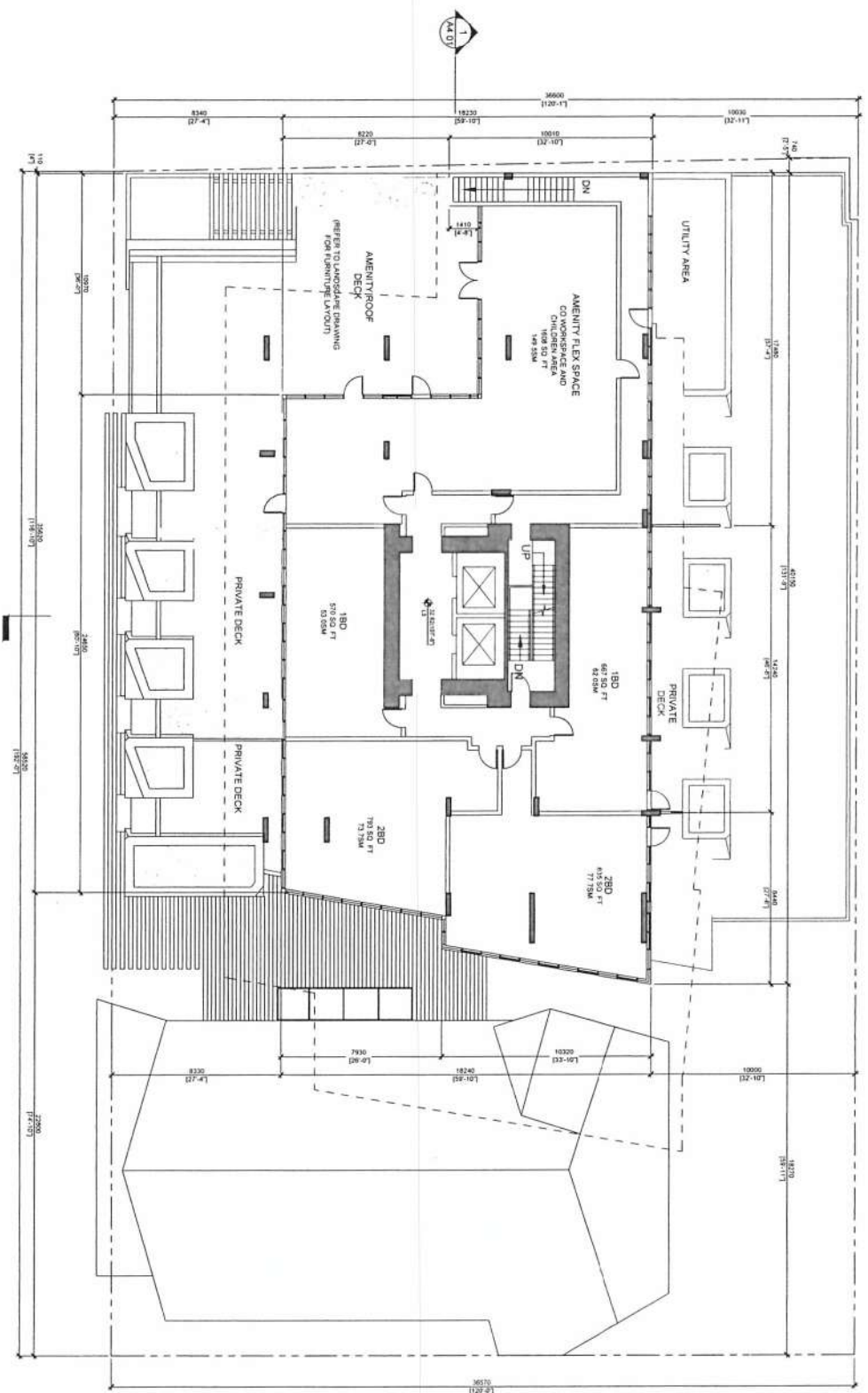
**PROJECT NO.:**  
**DATE:**  
**SCALE:**  
**LEVEL:**

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**A2.06**



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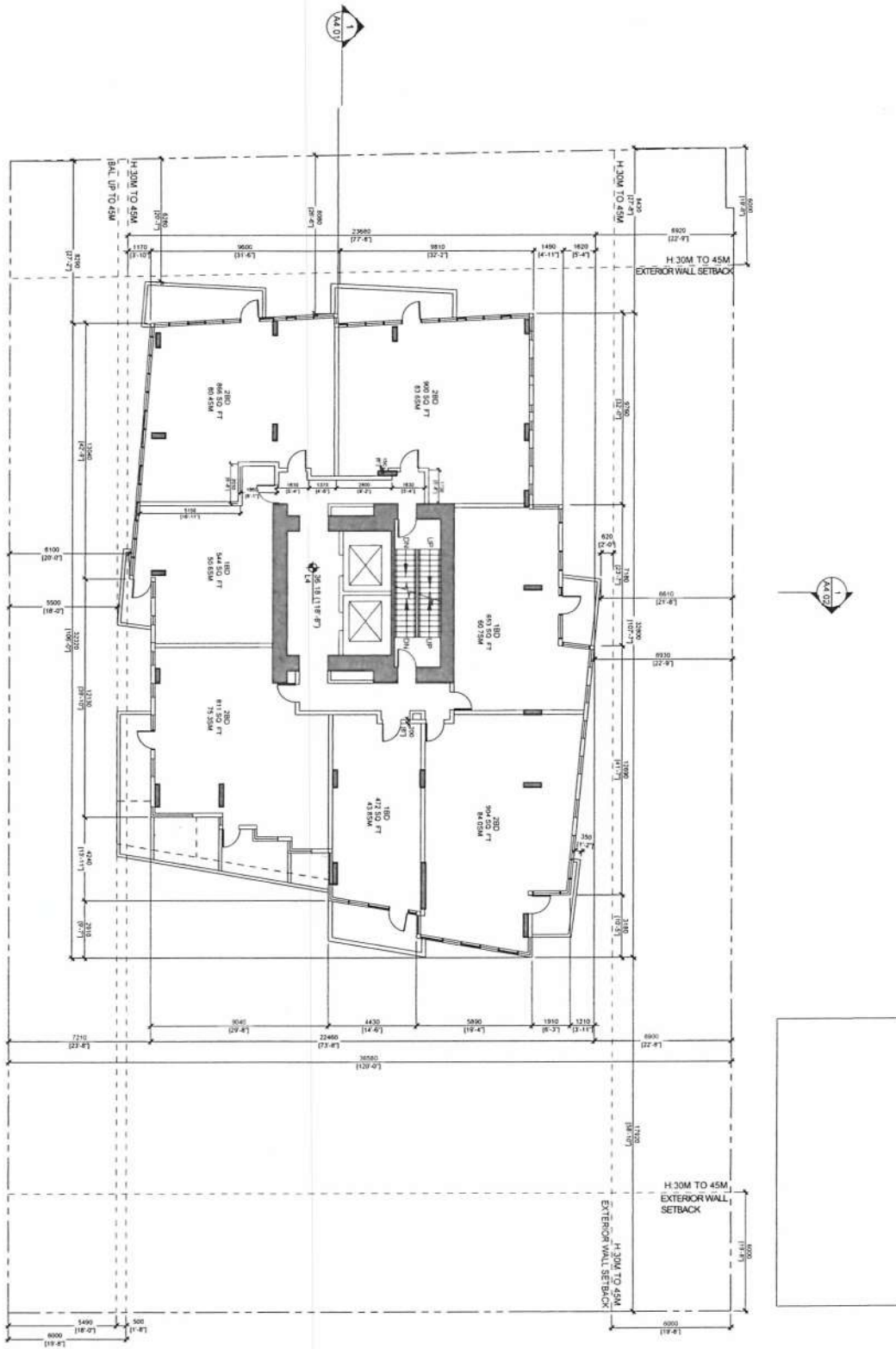
PROJECT NO: 1803  
 SHEET NO: 1803-3  
 SCALE: AS SHOWN  
 1:100  
 LEVEL: 3  
 SHEET NUMBER: **A2.07**

| REVISION | DATE       | DESCRIPTION   |
|----------|------------|---------------|
| 1        | 12.11.2018 | FOR REVIEWING |
| 2        | 01.11.2019 | FOR REVIEWING |
| 3        | 02.19.2019 | FOR REVIEWING |
| 4        | 03.22.2019 | FOR REVIEWING |

**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA

CONSULTANT  
 STATE  
 COX  
 ARCHITECTURE INC.  
 1000 BROADWAY STREET  
 VICTORIA, BC  
 V8W 2M7





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PROJECT NO: 1880  
 SHEET NO: 11  
 SCALE: 1:100  
 DATE: 03/27/18  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]  
**A2.08**

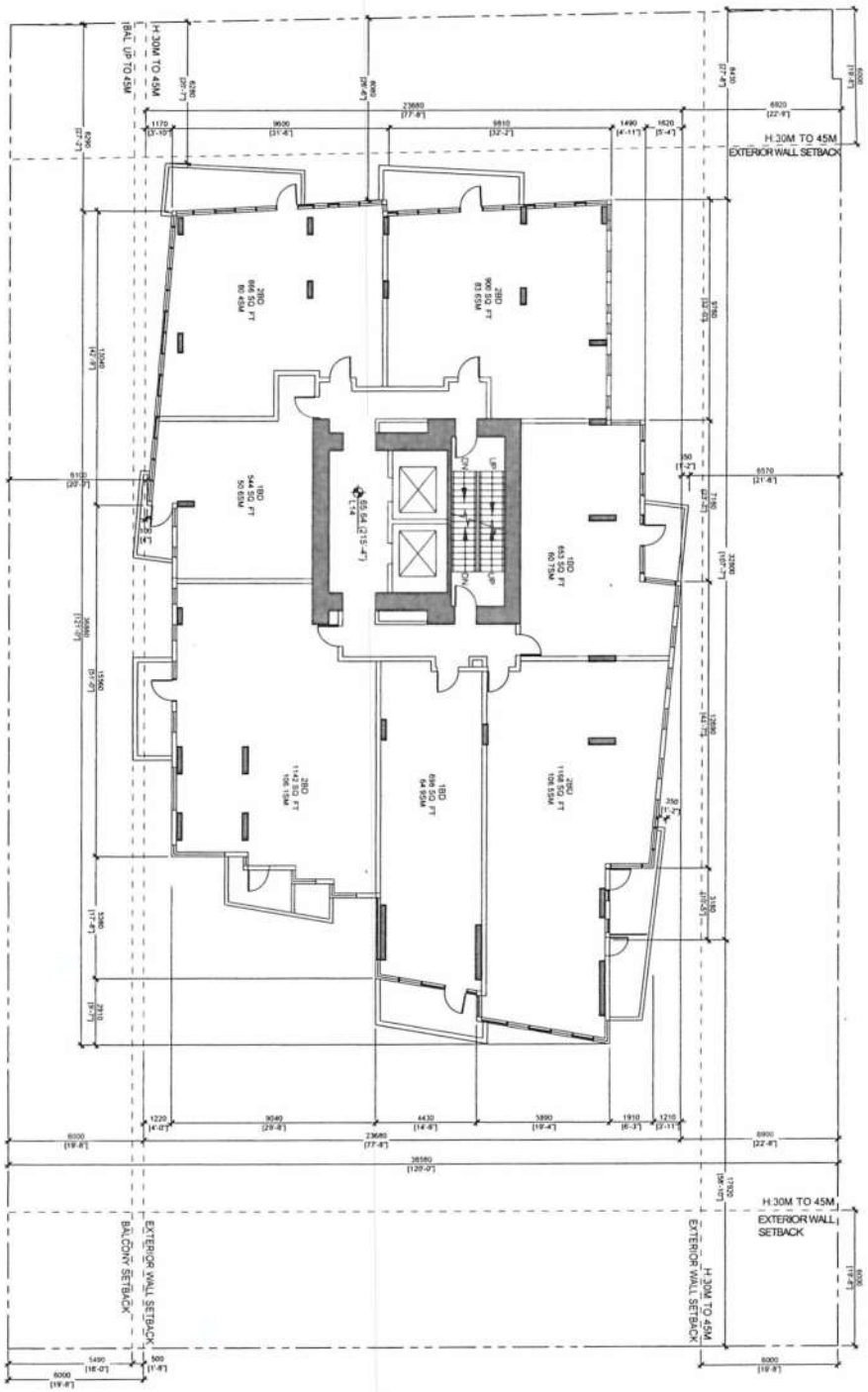
**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA

APPROXIMATE, INC.  
 410 BROADWAY STREET  
 VANCOUVER, BC  
 V6C 2K1  
 TEL: 604.681.1111  
 FAX: 604.681.1112  
 WWW.APROXIMATE.COM



SECTION: 1-1  
 SECTION: 2-2





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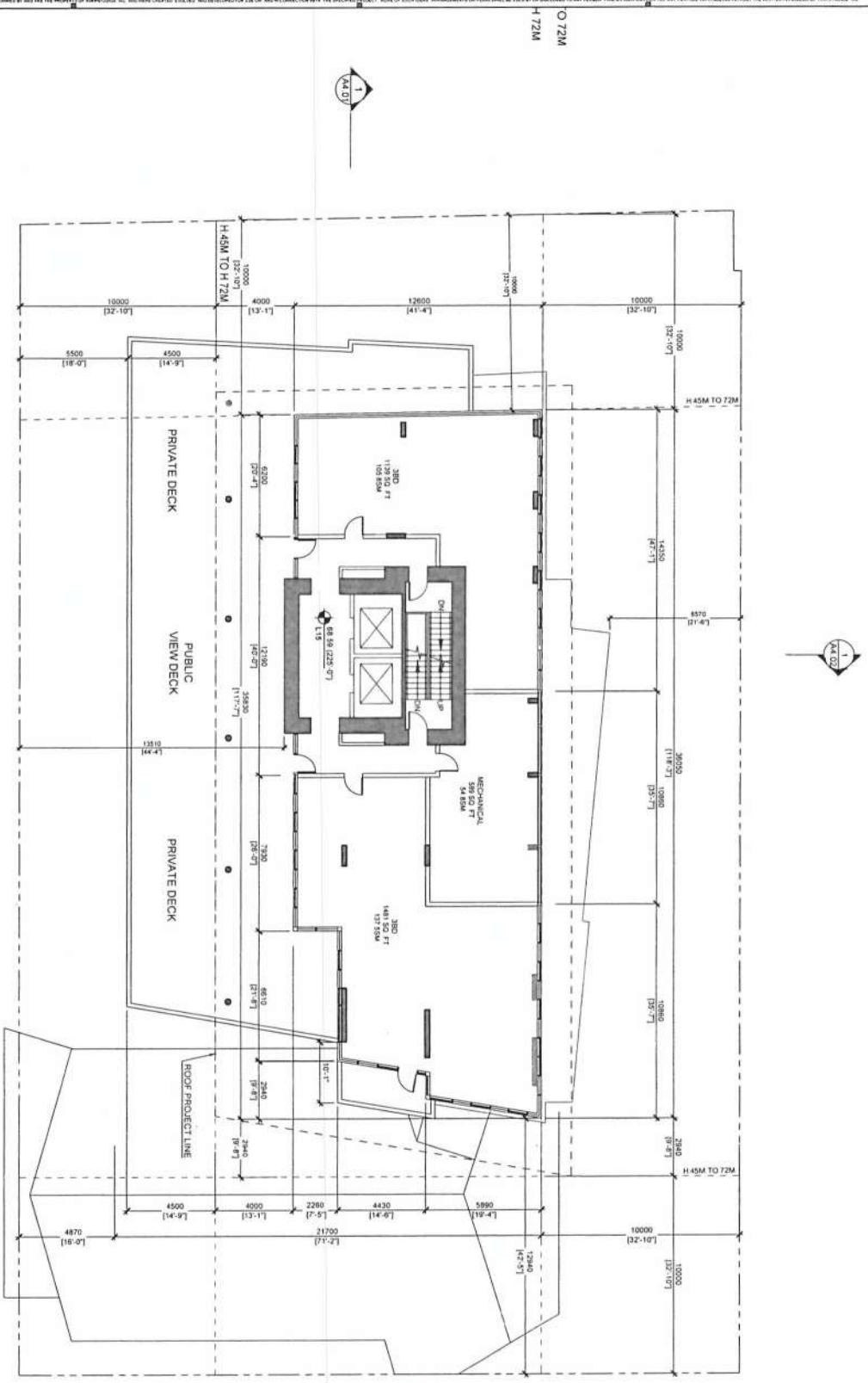
PROJECT NO: 18031  
 PROJECT NAME: 1400 VANCOUVER ST  
 SHEET TITLE: LEVEL 14  
 SHEET NUMBER: A2.09

DATE OF PREPARATION: 01/11/2018  
 DATE OF REVISION: 01/28/2019  
 DATE OF REVISION: 02/22/2019

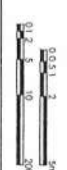
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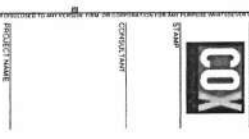


PROJECT NO: 18803  
 SHEET NUMBER: A2-10  
 DATE: 01/11/2018  
 LEVEL: 15

PROJECT TITLE: 1400 VANCOUVER ST, VICTORIA, BC, CANADA  
 ARCHITECT: COX ARCHITECTURE INC.  
 PROJECT MANAGER: [Name]  
 DATE: 01/11/2018

**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA

PROJECT NUMBER: [Number]  
 SHEET NUMBER: [Number]

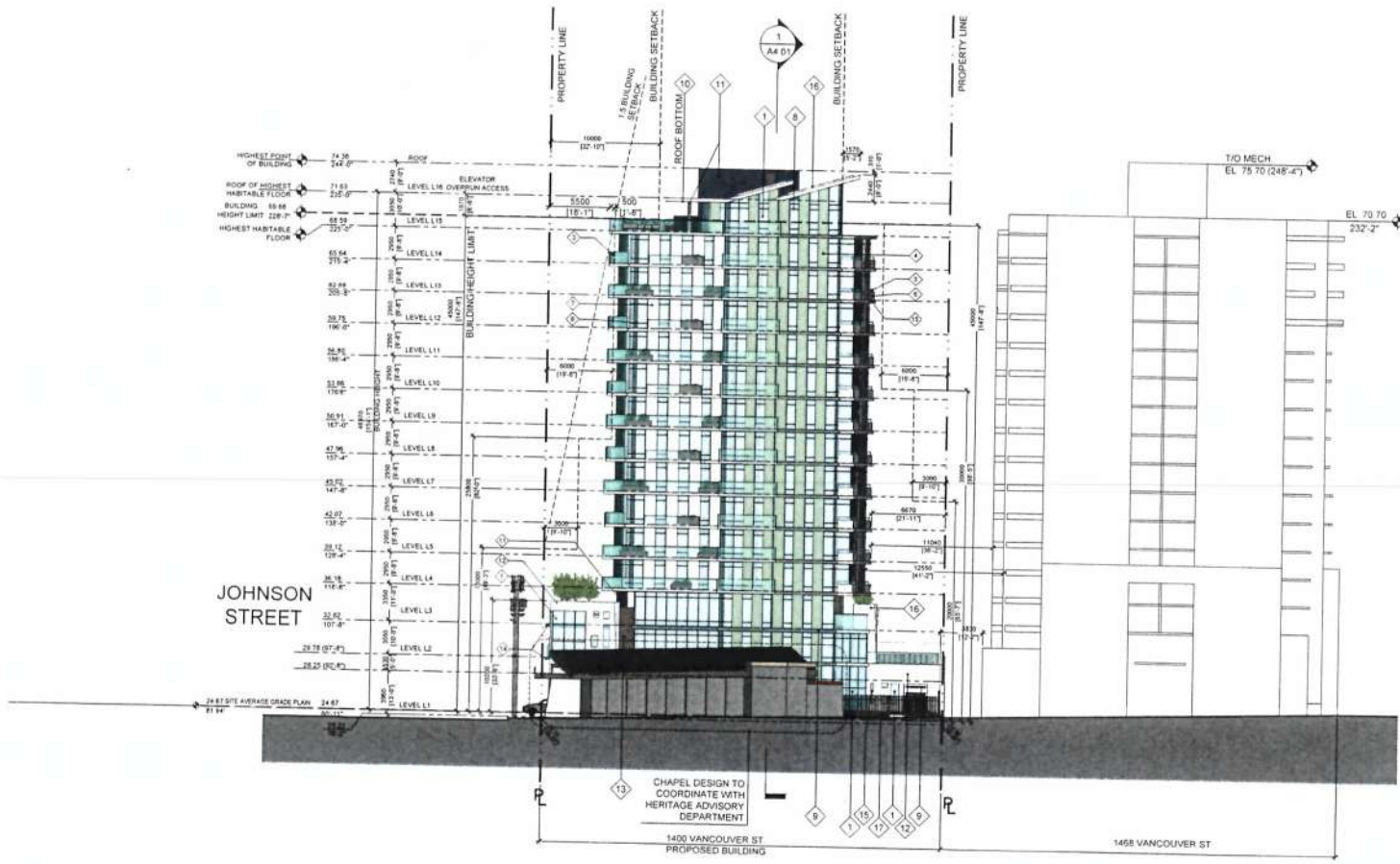


AVRP ARCHITECTURE INC.  
 1000 BAY STREET  
 VICTORIA, BC V8W 2E4





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**MATERIALS LEGEND**

|   |  |
|---|--|
| ◇ | GL-1 Low-E Glass<br>Window Glass - Light Green                 |
| ◇ | GL-2 Low-E Glass<br>Window Glass - Light Gray                  |
| ◇ | GL-3 Fire Glass<br>Handrail - Light Green w/ pattern at bottom |
| ◇ | SP-1 Spandrel Glass<br>Window Wall - Light Gray                |
| ◇ | SP-2 Spandrel Glass Panel<br>Window Wall - Light Green         |
| ◇ | M-1 Metal Panel Coat<br>Balcony - Paint White                  |
| ◇ | M-2 Metal Panel Coat<br>Tower Exterior Wall - Paint Milk White |
| ◇ | M-3 Metal<br>Mullion & Window Frames - Gun Gray                |
| ◇ | M-4 Metal Panel Coat<br>Problem Decorative Slab - Light Gray   |
| ◇ | M-5 Metal Panel Coat<br>Roof Bottom - Bronze                   |
| ◇ | M-6 Metal Panel Coat<br>Antenna Panel Column - Gray            |
| ◇ | T-1 White Stucco<br>Podium - Sand White                        |
| ◇ | T-2 Tile<br>Podium - Brick Red                                 |
| ◇ | CP-1 Composite - Full Wood Finish<br>Canopy & Façade - Orange  |
| ◇ | CP-2 Composite Panel<br>Floor Slab - White                     |
| ◇ | Solar Panel  |
| ◇ | M-7 Façade Curtain Metal<br>Fence - Corten Bronze              |



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CONSULTANT

PROJECT NAME

**VICTORIA  
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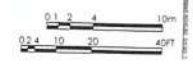
DATE DESCRIPTION DATE

|                |            |
|----------------|------------|
| DR. REVISION   | 10-11-2018 |
| CP. REVISION   | 01-28-2019 |
| ACP MEETING    | 02-18-2019 |
| ACP RESUBMITAL | 03-22-2019 |

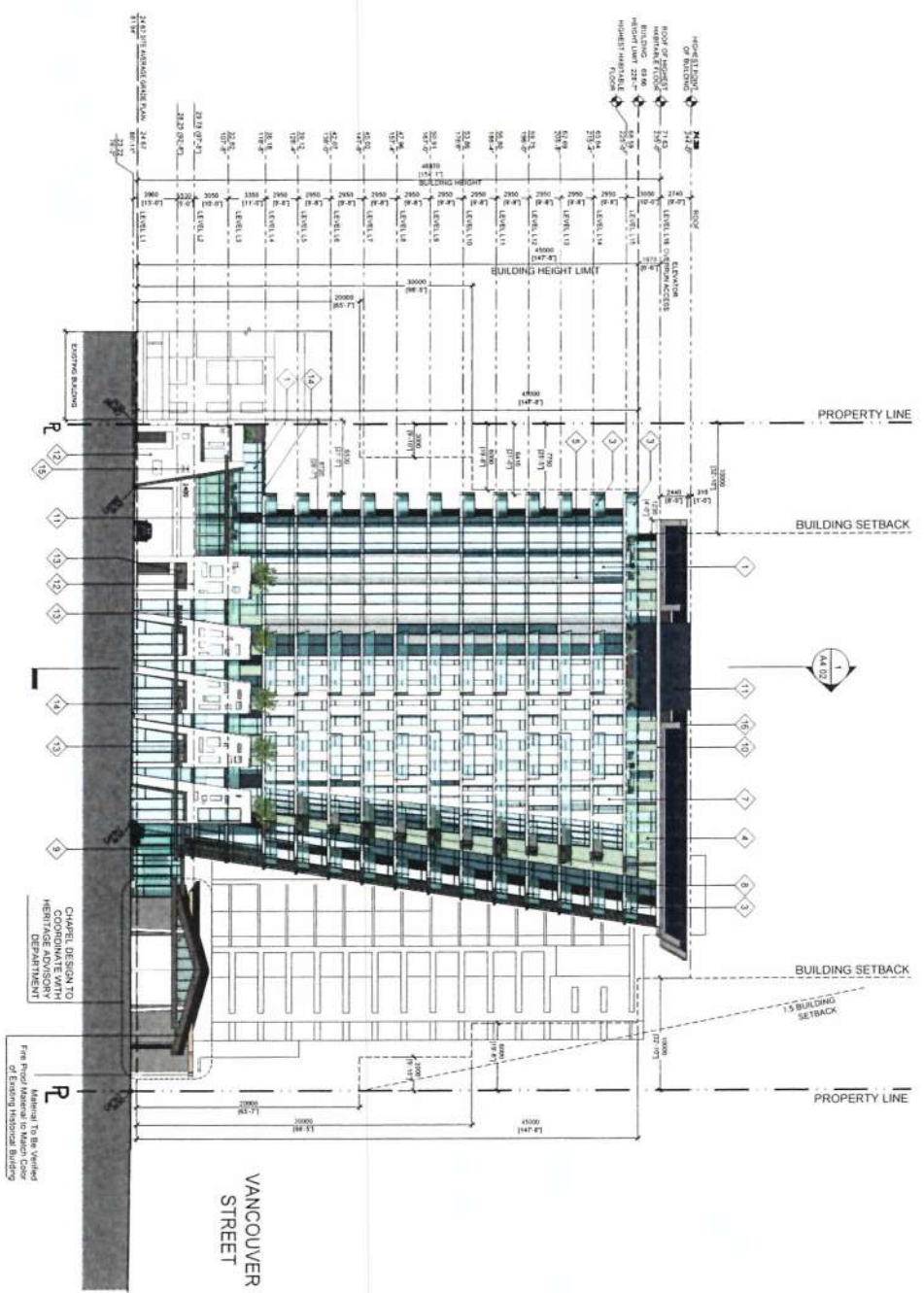
PROJECT NO. 18003  
AGENCY #  
SCALE AT 24'X36'  
1:200  
SHEET TITLE  
EAST ELEVATION  
SHEET NUMBER

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**A3.01**



| MATERIAL LEGEND |                    |
|-----------------|--------------------|
| 1               | 01.1 Level Glass   |
| 2               | 01.2 Level Glass   |
| 3               | 01.3 Level Glass   |
| 4               | 01.4 Level Glass   |
| 5               | 01.5 Level Glass   |
| 6               | 01.6 Level Glass   |
| 7               | 01.7 Level Glass   |
| 8               | 01.8 Level Glass   |
| 9               | 01.9 Level Glass   |
| 10              | 01.10 Level Glass  |
| 11              | 01.11 Level Glass  |
| 12              | 01.12 Level Glass  |
| 13              | 01.13 Level Glass  |
| 14              | 01.14 Level Glass  |
| 15              | 01.15 Level Glass  |
| 16              | 01.16 Level Glass  |
| 17              | 01.17 Level Glass  |
| 18              | 01.18 Level Glass  |
| 19              | 01.19 Level Glass  |
| 20              | 01.20 Level Glass  |
| 21              | 01.21 Level Glass  |
| 22              | 01.22 Level Glass  |
| 23              | 01.23 Level Glass  |
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| 30              | 01.30 Level Glass  |
| 31              | 01.31 Level Glass  |
| 32              | 01.32 Level Glass  |
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| 37              | 01.37 Level Glass  |
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| 39              | 01.39 Level Glass  |
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| 41              | 01.41 Level Glass  |
| 42              | 01.42 Level Glass  |
| 43              | 01.43 Level Glass  |
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| 45              | 01.45 Level Glass  |
| 46              | 01.46 Level Glass  |
| 47              | 01.47 Level Glass  |
| 48              | 01.48 Level Glass  |
| 49              | 01.49 Level Glass  |
| 50              | 01.50 Level Glass  |
| 51              | 01.51 Level Glass  |
| 52              | 01.52 Level Glass  |
| 53              | 01.53 Level Glass  |
| 54              | 01.54 Level Glass  |
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| 59              | 01.59 Level Glass  |
| 60              | 01.60 Level Glass  |
| 61              | 01.61 Level Glass  |
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| 63              | 01.63 Level Glass  |
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| 83              | 01.83 Level Glass  |
| 84              | 01.84 Level Glass  |
| 85              | 01.85 Level Glass  |
| 86              | 01.86 Level Glass  |
| 87              | 01.87 Level Glass  |
| 88              | 01.88 Level Glass  |
| 89              | 01.89 Level Glass  |
| 90              | 01.90 Level Glass  |
| 91              | 01.91 Level Glass  |
| 92              | 01.92 Level Glass  |
| 93              | 01.93 Level Glass  |
| 94              | 01.94 Level Glass  |
| 95              | 01.95 Level Glass  |
| 96              | 01.96 Level Glass  |
| 97              | 01.97 Level Glass  |
| 98              | 01.98 Level Glass  |
| 99              | 01.99 Level Glass  |
| 100             | 01.100 Level Glass |

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PROJECT NO: 1803  
 SHEET NO: 14 OF 20  
 SHEET TITLE: SOUTH ELEVATION  
 SHEET NUMBER: A3.02

REVISION DATE: 01/11/2018  
 DATE: 01/11/2018  
 PROJECT: 1803  
 SHEET: 14 OF 20  
 SHEET TITLE: SOUTH ELEVATION  
 SHEET NUMBER: A3.02

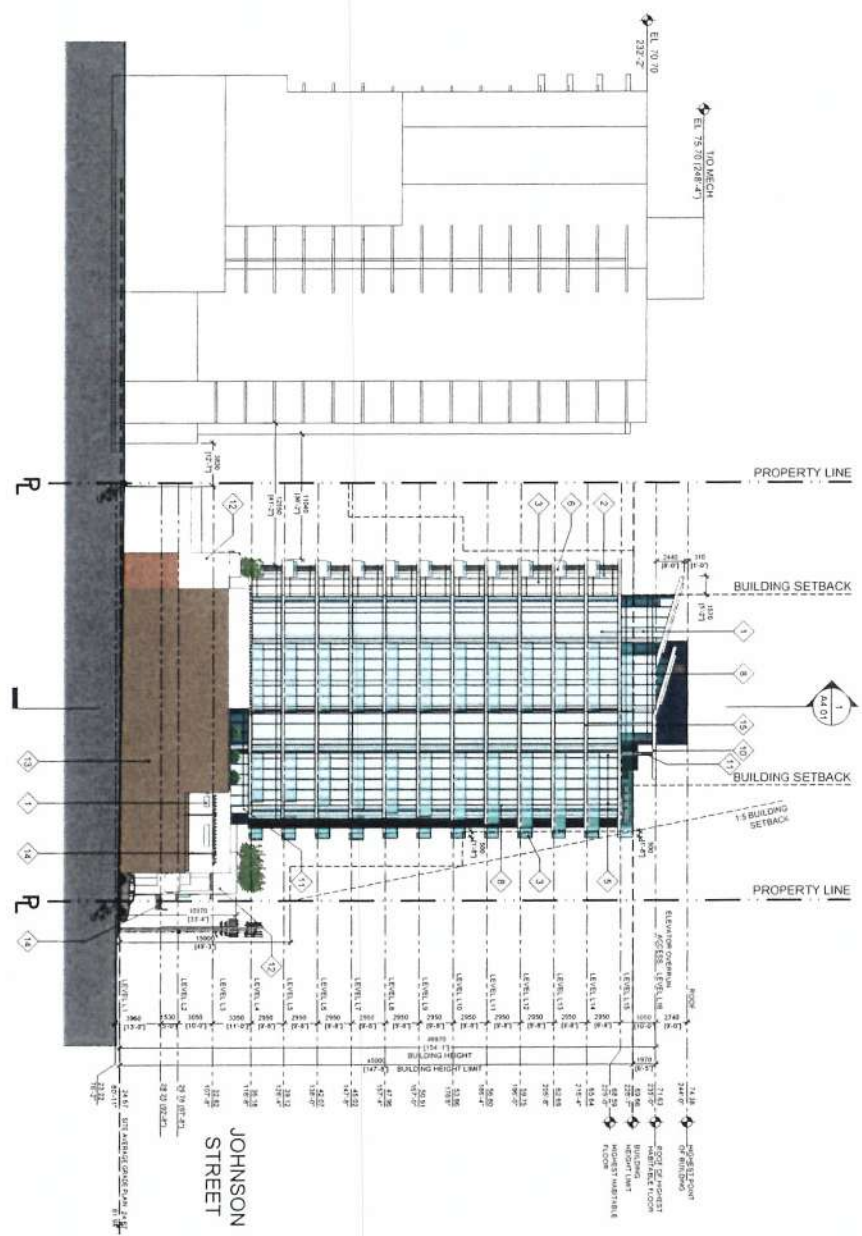
**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

AVRIP  
 118 BROAD STREET  
 VANCOUVER, BC  
 V6C 1A5  
 TEL: 604.681.1111  
 FAX: 604.681.1112  
 WWW.AVRIP.COM

COX  
 CONSULTANT

PROJECT NO: 1803  
 SHEET NO: 14 OF 20  
 SHEET TITLE: SOUTH ELEVATION  
 SHEET NUMBER: A3.02





**MATERIALS LEGEND**

|     |                                  |
|-----|----------------------------------|
| 1   | GLASS CURTAIN WALL               |
| 2   | GLASS CURTAIN WALL - LIGHT GREEN |
| 3   | GLASS CURTAIN WALL - LIGHT GREY  |
| 4   | GLASS CURTAIN WALL - LIGHT BLUE  |
| 5   | GLASS CURTAIN WALL - LIGHT GREEN |
| 6   | GLASS CURTAIN WALL - LIGHT GREY  |
| 7   | GLASS CURTAIN WALL - LIGHT BLUE  |
| 8   | GLASS CURTAIN WALL - LIGHT GREEN |
| 9   | GLASS CURTAIN WALL - LIGHT GREY  |
| 10  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 11  | GLASS CURTAIN WALL - LIGHT GREEN |
| 12  | GLASS CURTAIN WALL - LIGHT GREY  |
| 13  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 14  | GLASS CURTAIN WALL - LIGHT GREEN |
| 15  | GLASS CURTAIN WALL - LIGHT GREY  |
| 16  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 17  | GLASS CURTAIN WALL - LIGHT GREEN |
| 18  | GLASS CURTAIN WALL - LIGHT GREY  |
| 19  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 20  | GLASS CURTAIN WALL - LIGHT GREEN |
| 21  | GLASS CURTAIN WALL - LIGHT GREY  |
| 22  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 23  | GLASS CURTAIN WALL - LIGHT GREEN |
| 24  | GLASS CURTAIN WALL - LIGHT GREY  |
| 25  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 26  | GLASS CURTAIN WALL - LIGHT GREEN |
| 27  | GLASS CURTAIN WALL - LIGHT GREY  |
| 28  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 29  | GLASS CURTAIN WALL - LIGHT GREEN |
| 30  | GLASS CURTAIN WALL - LIGHT GREY  |
| 31  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 32  | GLASS CURTAIN WALL - LIGHT GREEN |
| 33  | GLASS CURTAIN WALL - LIGHT GREY  |
| 34  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 35  | GLASS CURTAIN WALL - LIGHT GREEN |
| 36  | GLASS CURTAIN WALL - LIGHT GREY  |
| 37  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 38  | GLASS CURTAIN WALL - LIGHT GREEN |
| 39  | GLASS CURTAIN WALL - LIGHT GREY  |
| 40  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 41  | GLASS CURTAIN WALL - LIGHT GREEN |
| 42  | GLASS CURTAIN WALL - LIGHT GREY  |
| 43  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 44  | GLASS CURTAIN WALL - LIGHT GREEN |
| 45  | GLASS CURTAIN WALL - LIGHT GREY  |
| 46  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 47  | GLASS CURTAIN WALL - LIGHT GREEN |
| 48  | GLASS CURTAIN WALL - LIGHT GREY  |
| 49  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 50  | GLASS CURTAIN WALL - LIGHT GREEN |
| 51  | GLASS CURTAIN WALL - LIGHT GREY  |
| 52  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 53  | GLASS CURTAIN WALL - LIGHT GREEN |
| 54  | GLASS CURTAIN WALL - LIGHT GREY  |
| 55  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 56  | GLASS CURTAIN WALL - LIGHT GREEN |
| 57  | GLASS CURTAIN WALL - LIGHT GREY  |
| 58  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 59  | GLASS CURTAIN WALL - LIGHT GREEN |
| 60  | GLASS CURTAIN WALL - LIGHT GREY  |
| 61  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 62  | GLASS CURTAIN WALL - LIGHT GREEN |
| 63  | GLASS CURTAIN WALL - LIGHT GREY  |
| 64  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 65  | GLASS CURTAIN WALL - LIGHT GREEN |
| 66  | GLASS CURTAIN WALL - LIGHT GREY  |
| 67  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 68  | GLASS CURTAIN WALL - LIGHT GREEN |
| 69  | GLASS CURTAIN WALL - LIGHT GREY  |
| 70  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 71  | GLASS CURTAIN WALL - LIGHT GREEN |
| 72  | GLASS CURTAIN WALL - LIGHT GREY  |
| 73  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 74  | GLASS CURTAIN WALL - LIGHT GREEN |
| 75  | GLASS CURTAIN WALL - LIGHT GREY  |
| 76  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 77  | GLASS CURTAIN WALL - LIGHT GREEN |
| 78  | GLASS CURTAIN WALL - LIGHT GREY  |
| 79  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 80  | GLASS CURTAIN WALL - LIGHT GREEN |
| 81  | GLASS CURTAIN WALL - LIGHT GREY  |
| 82  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 83  | GLASS CURTAIN WALL - LIGHT GREEN |
| 84  | GLASS CURTAIN WALL - LIGHT GREY  |
| 85  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 86  | GLASS CURTAIN WALL - LIGHT GREEN |
| 87  | GLASS CURTAIN WALL - LIGHT GREY  |
| 88  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 89  | GLASS CURTAIN WALL - LIGHT GREEN |
| 90  | GLASS CURTAIN WALL - LIGHT GREY  |
| 91  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 92  | GLASS CURTAIN WALL - LIGHT GREEN |
| 93  | GLASS CURTAIN WALL - LIGHT GREY  |
| 94  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 95  | GLASS CURTAIN WALL - LIGHT GREEN |
| 96  | GLASS CURTAIN WALL - LIGHT GREY  |
| 97  | GLASS CURTAIN WALL - LIGHT BLUE  |
| 98  | GLASS CURTAIN WALL - LIGHT GREEN |
| 99  | GLASS CURTAIN WALL - LIGHT GREY  |
| 100 | GLASS CURTAIN WALL - LIGHT BLUE  |

**CITY OF VICTORIA**  
**RECEIVED**  
**DEEMED**  
 APR 18 2019  
 MAR 27 2019

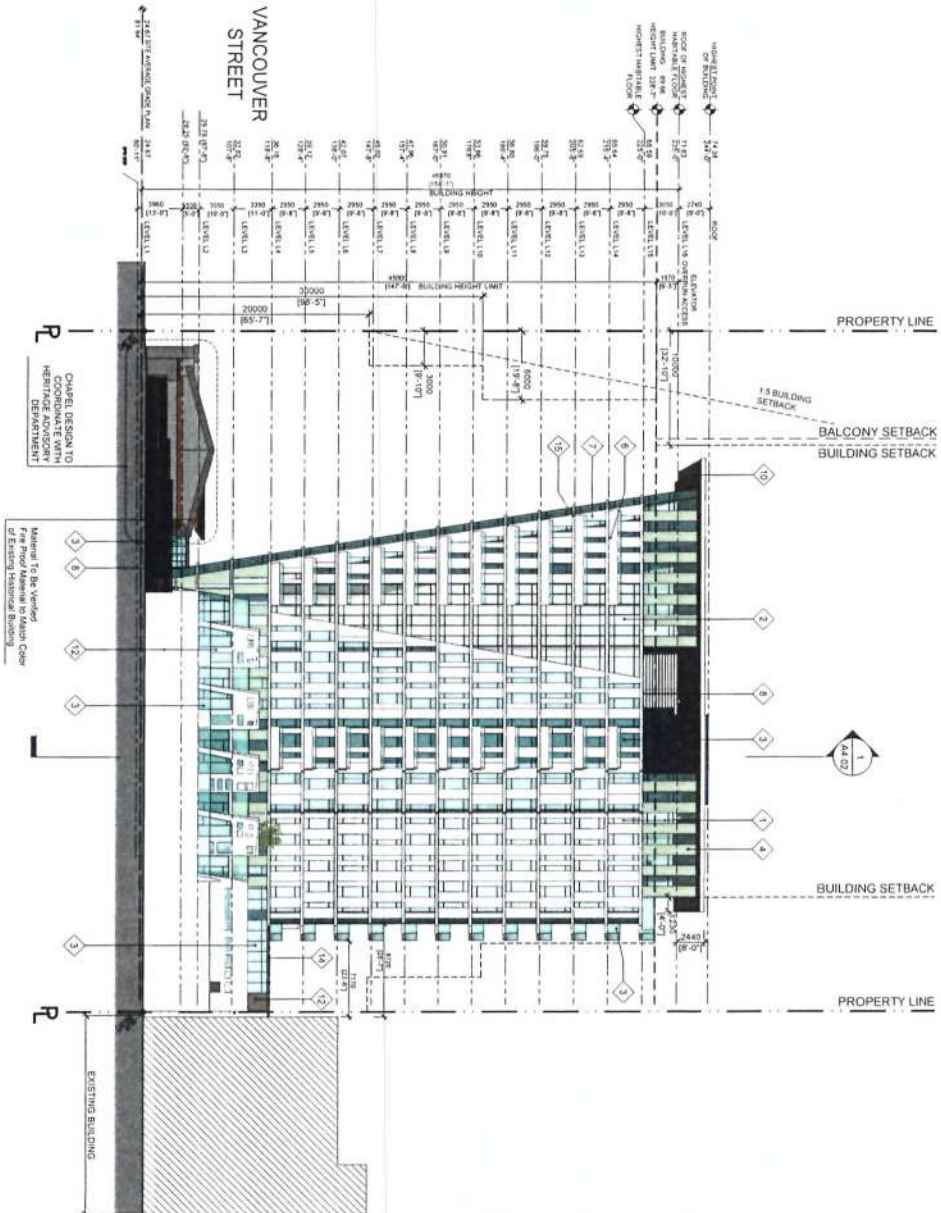


PROJECT NO. 1001  
 ARCHITECTURE INC.  
 510 RICHARD STREET  
 VICTORIA, BC  
 V8M 1A7  
 1.200  
 WEST  
 ELEVATION  
 SHEET NUMBER  
**A3.03**

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

PROJECT TITLE  
 CONSULTANT  
 DRAWING NO.

DATE  
 01/22/2019  
 01/22/2019  
 01/22/2019



**MATERIALS LEGEND**

|    |   |
|----|---|
| 1  | GLASS & ALUMINUM WINDOW CURTAIN WALL SYSTEM |
| 2  | GLASS & ALUMINUM WINDOW CURTAIN WALL SYSTEM |
| 3  | WOOD PANEL - LIGHT OAK                      |
| 4  | WOOD PANEL - LIGHT OAK                      |
| 5  | WOOD PANEL - LIGHT OAK                      |
| 6  | WOOD PANEL - LIGHT OAK                      |
| 7  | WOOD PANEL - LIGHT OAK                      |
| 8  | WOOD PANEL - LIGHT OAK                      |
| 9  | WOOD PANEL - LIGHT OAK                      |
| 10 | WOOD PANEL - LIGHT OAK                      |
| 11 | WOOD PANEL - LIGHT OAK                      |
| 12 | WOOD PANEL - LIGHT OAK                      |
| 13 | WOOD PANEL - LIGHT OAK                      |
| 14 | WOOD PANEL - LIGHT OAK                      |
| 15 | WOOD PANEL - LIGHT OAK                      |
| 16 | WOOD PANEL - LIGHT OAK                      |
| 17 | WOOD PANEL - LIGHT OAK                      |

**CITY OF VICTORIA**  
**RECEIVED** **DEEMED**  
 APR 01 2019 MAR 27 2018



**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA, BC, CANADA**

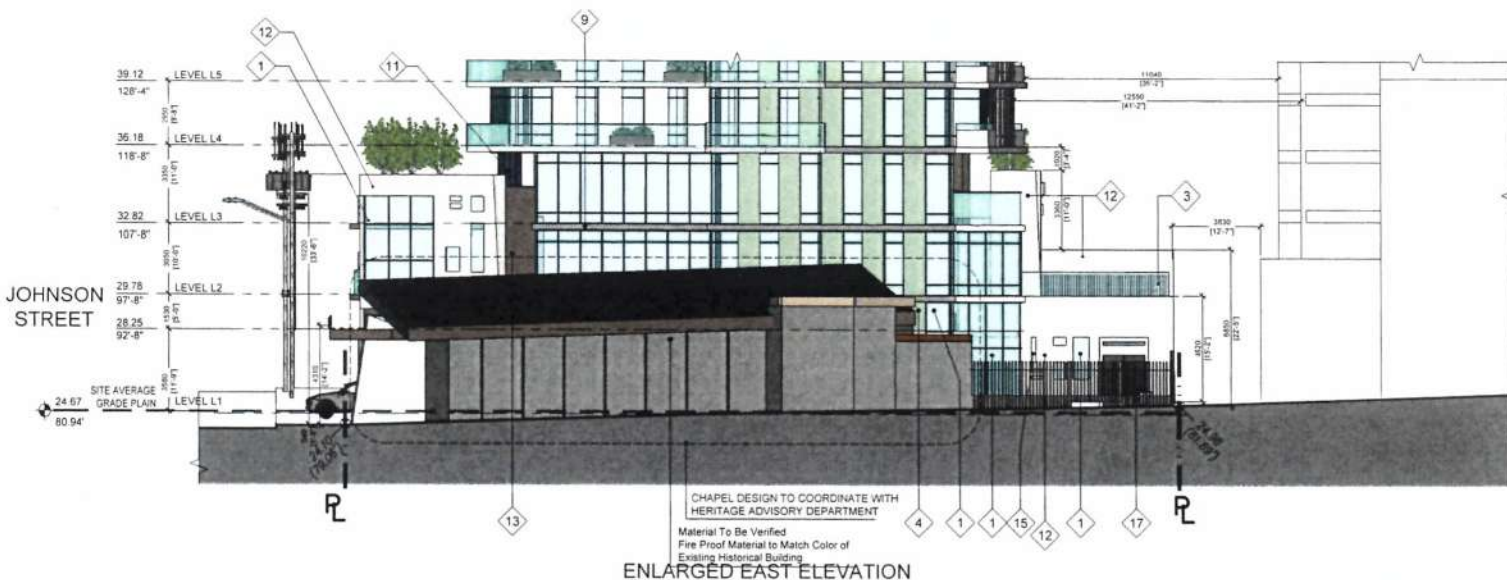
**AVP ARCHITECTURE INC.**  
 5100 HURONTARIO STREET  
 MISSISSAUGA, ONTARIO L4R 1A5  
 TEL: 905.277.7171

**COX**

**PROJECT NO:** 1003  
**PROJECT NAME:** 1400 VANCOUVER STREET  
**SCALE:** 1/200  
**DATE:** 2018  
**REVISION:** A3.04

**DESCRIPTION:** NORTH ELEVATION  
**DATE:** 03/22/2018  
**BY:** [Name]  
**CHECKED BY:** [Name]





**MATERIALS LEGEND**

- ① GL-1 Low-E Glass Window Glass - Light Green
- ② GL-2 Low-E Glass Window Glass - Light Gray
- ③ GL-3 Fire Glass Panel - Light Green w/ pattern at bottom
- ④ SP-1 Spandrel Glass Window Wall - Light Gray
- ⑤ SP-2 Spandrel Glass Panel Window Wall - Light Green
- ⑥ M-1 Metal Panel Coat Balcony - Paint White
- ⑦ M-2 Metal Panel Coat Tower Exterior Wall - Paint Milk White
- ⑧ M-3 Metal Mullions & Window Frames - Gun Gray
- ⑨ M-4 Metal Panel Coat Podium Decorative Slab - Light Gray
- ⑩ M-5 Metal Panel Coat Roof Bottom - Bronze
- ⑪ M-6 Metal Panel Coat Amenity Plaza Column - Gray
- ⑫ T-1 White Skalos Podium - Sand White
- ⑬ T-2 Tile Podium - Strip Red
- ⑭ CR-1 Composite Four Wood Finish Canopy & Façade - Orange
- ⑮ CR-2 Composite Panel Floor Slab - White
- ⑯ Solar Panel
- ⑰ M-7 Façade Corten Metal Fince - Corten Bronze



STAMP  
CONSULTANT  
PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

**REVISIONS**

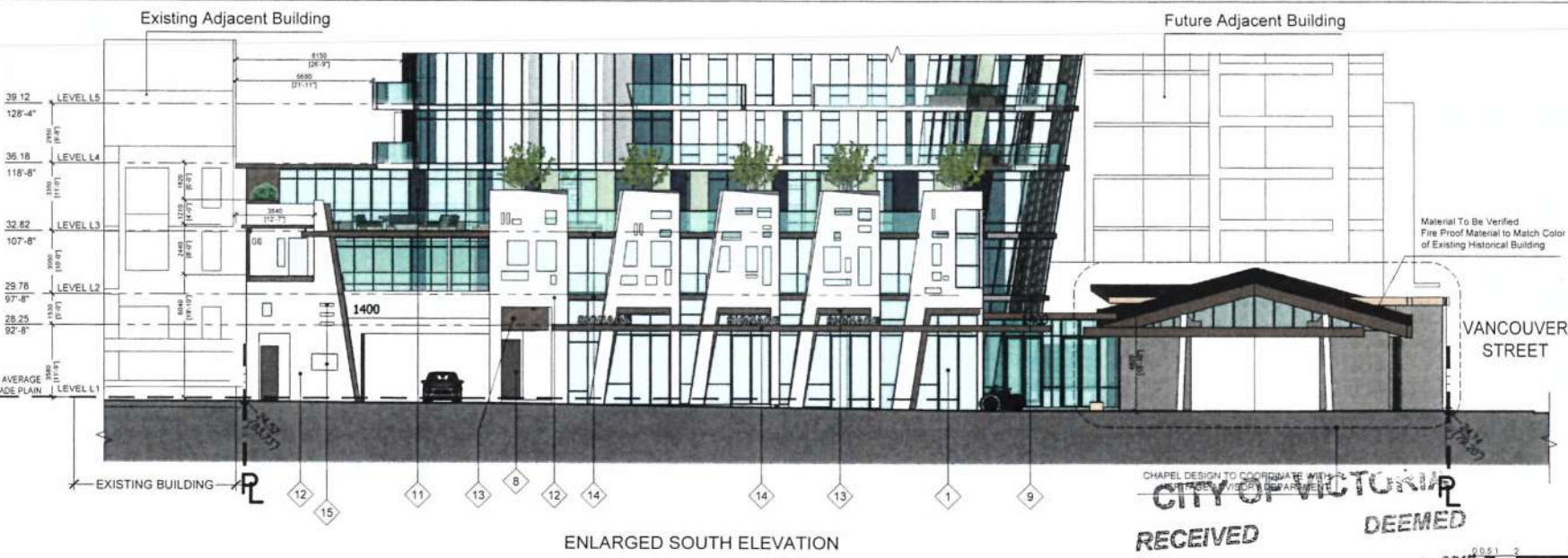
| NO. | DESCRIPTION      | DATE       |
|-----|------------------|------------|
| 01  | ISSUE FOR PERMIT | 10/11/2018 |
| 02  | DP REVISION      | 01/28/2019 |
| 03  | ADP MEETING      | 02/19/2019 |
| 04  | ADP MEETING      | 03/22/2019 |

PROJECT NO 1000  
AGENCY 4  
SCALE AT 3/32" = 1'

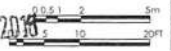
1:100

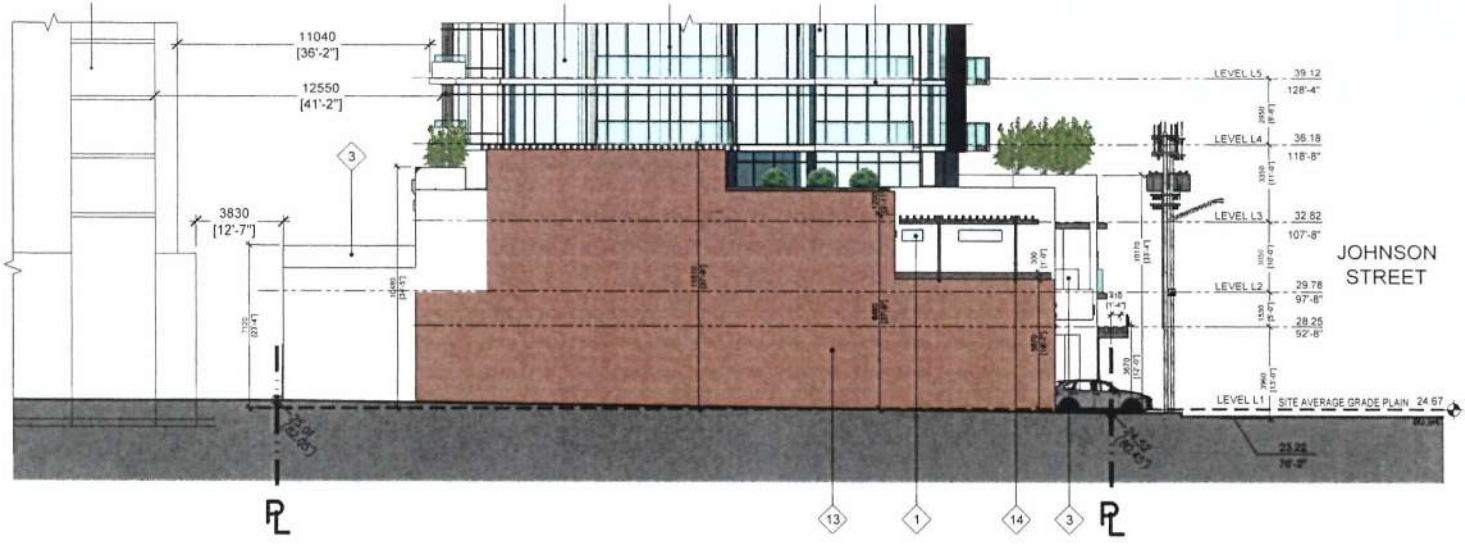
SHEET TITLE ENLARGED ELEVATION EAST & SOUTH  
SHEET NUMBER

**A3.05**



CHAPEL DESIGN TO COORDINATE WITH HERITAGE ADVISORY DEPARTMENT  
**CITY OF VICTORIA**  
**RECEIVED**  
**APR 01 2019**  
**DEEMED**  
**MAR 27 2019**





ENLARGED WEST ELEVATION

**MATERIALS LEGEND**

- 1 GL-1 Low-E Glass Window Glass - Light Green
- 2 GL-2 Low-E Glass Window Glass - Light Gray
- 3 GL-3 Fin Glass Horizontal - Light Green w/ pattern at bottom
- 4 SP-1 Spandrel Glass Window Wall - Light Gray
- 5 SP-2 Spandrel Glass Panel Window Wall - Light Green
- 6 M-1 Metal Panel Coat Balcony - Paint White
- 7 M-2 Metal Panel Coat Tower Entrance Wall - Paint Milk White
- 8 M-3 Metal Mullion & Window Frames - Gun Gray
- 9 M-4 Metal Panel Coat Plenum Decorative Slat - Light Gray
- 10 M-5 Metal Panel Coat Roof Bottom - Bronze
- 11 M-6 Metal Panel Coat Amenity Plate Column - Gray
- 12 T-1 White Shippo Plenum - Sand White
- 13 T-2 Tin Plenum - Brick Red
- 14 CP-1 Composite - Fau Wood Finish Canopy & Fascia - Orange
- 15 CP-2 Composite Panel Floor Slab - White
- 16 Solar Panel
- 17 M-7 Facia Corten Metal Panel - Corten Bronze



STAMP

CONSULTANT

PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

**DATE DESCRIPTION DATE**

DP REVISION 10 11 2018  
CP REVISION #2 01 28 2019  
ADP MEETING 02 19 2019  
ADP RESUBMITTAL 03 22 2019

PROJECT NO 1800  
AGENCY 4  
SCALE AT 24'X36'  
1: 100  
SHEET TITLE  
ENLARGED ELEVATION WEST & NORTH  
SHEET NUMBER

**A3.06**



ENLARGED NORTH ELEVATION

**CITY OF VICTORIA**

RECEIVED  
APR 01 2019

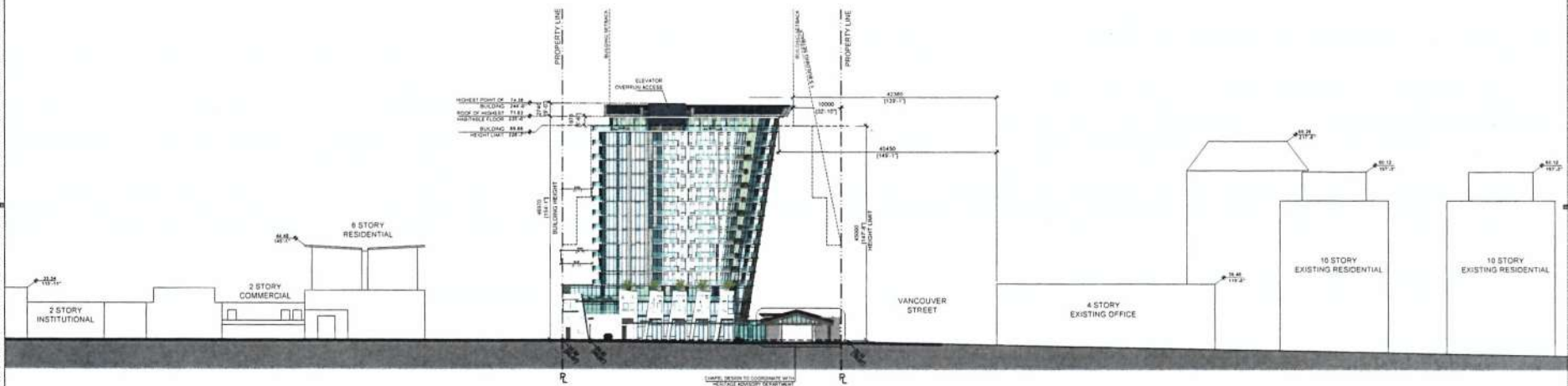
DEEMED  
MAR 27 2019







EAST ELEVATION



SOUTH ELEVATION

CITY OF VICTORIA

RECEIVED

DEEMED

APR 01 2019

MAR 27 2018



AVRP  
ARCHITECTURE INC  
810 RICHARD STREET  
VANCOUVER, BC  
604-662-4479



STAMP

CONSULTANT

PROJECT NAME

**VICTORIA  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA**

| ISSUE DATES | DESCRIPTION     | DATE       |
|-------------|-----------------|------------|
| 01-10-2018  | DP PRELIMINARY  | 10-11-2018 |
| 02-19-2018  | ADP MEETING     | 02-19-2018 |
| 03-23-2018  | ADP PRELIMINARY | 03-23-2018 |

PROJECT NO 1000

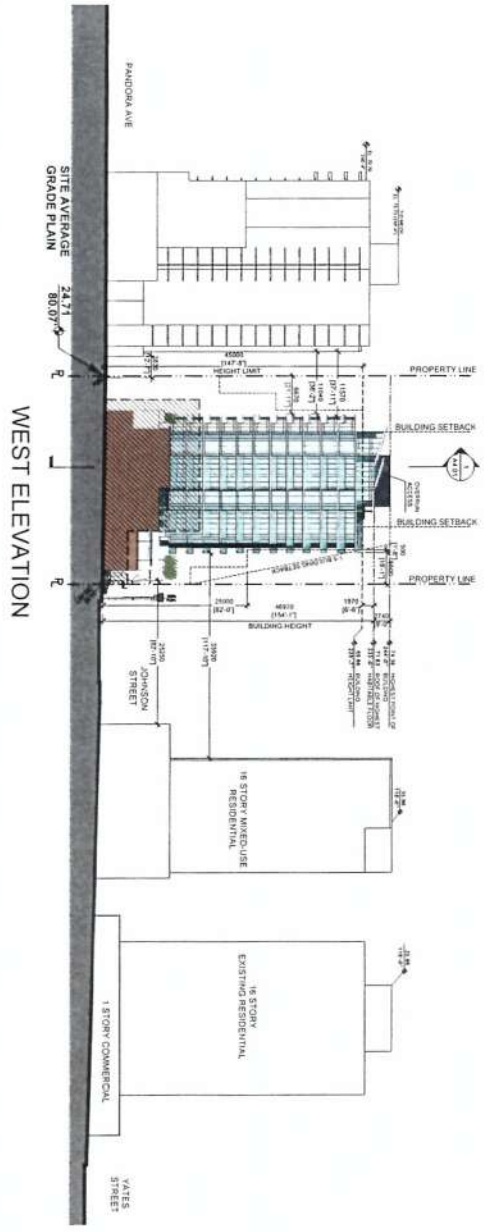
AGENCY & SCALE AT 1/4"=1'-0"

1:400

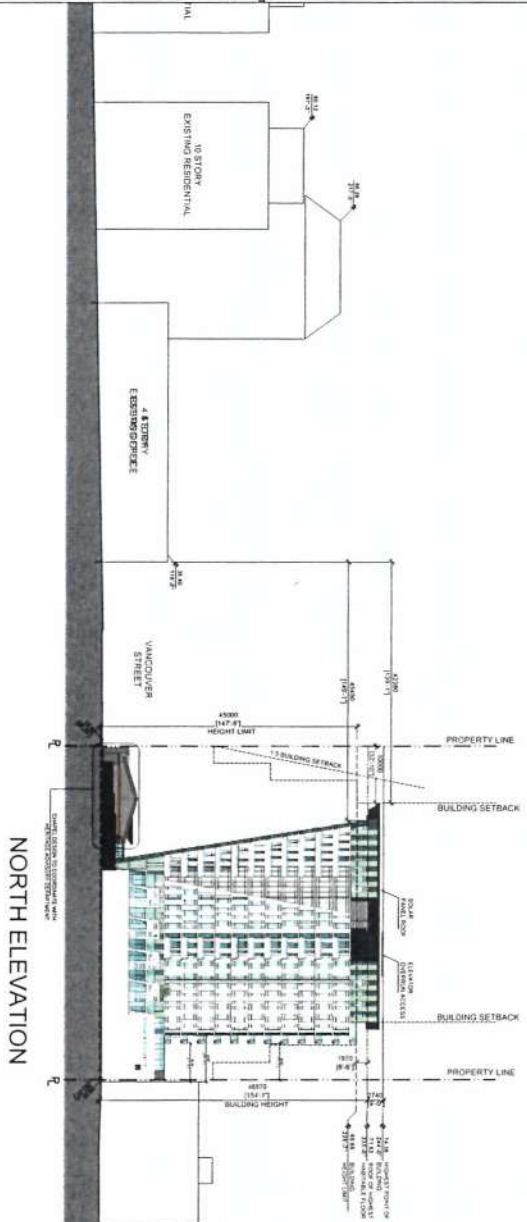
SHEET TITLE

CONTEXT ELEVATION EAST & SOUTH

**A3.07**



WEST ELEVATION



NORTH ELEVATION



**CITY OF VICTORIA**  
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 APR 01 2019

**DEEMED**  
 MAR 27 2019

**A3.08**  
 CONTEXT  
 ELEVATION  
 WEST & NORTH

PROJECT NO: 1800  
 SHEET TITLE: CONTEXT ELEVATION WEST & NORTH

DATE: 11.400

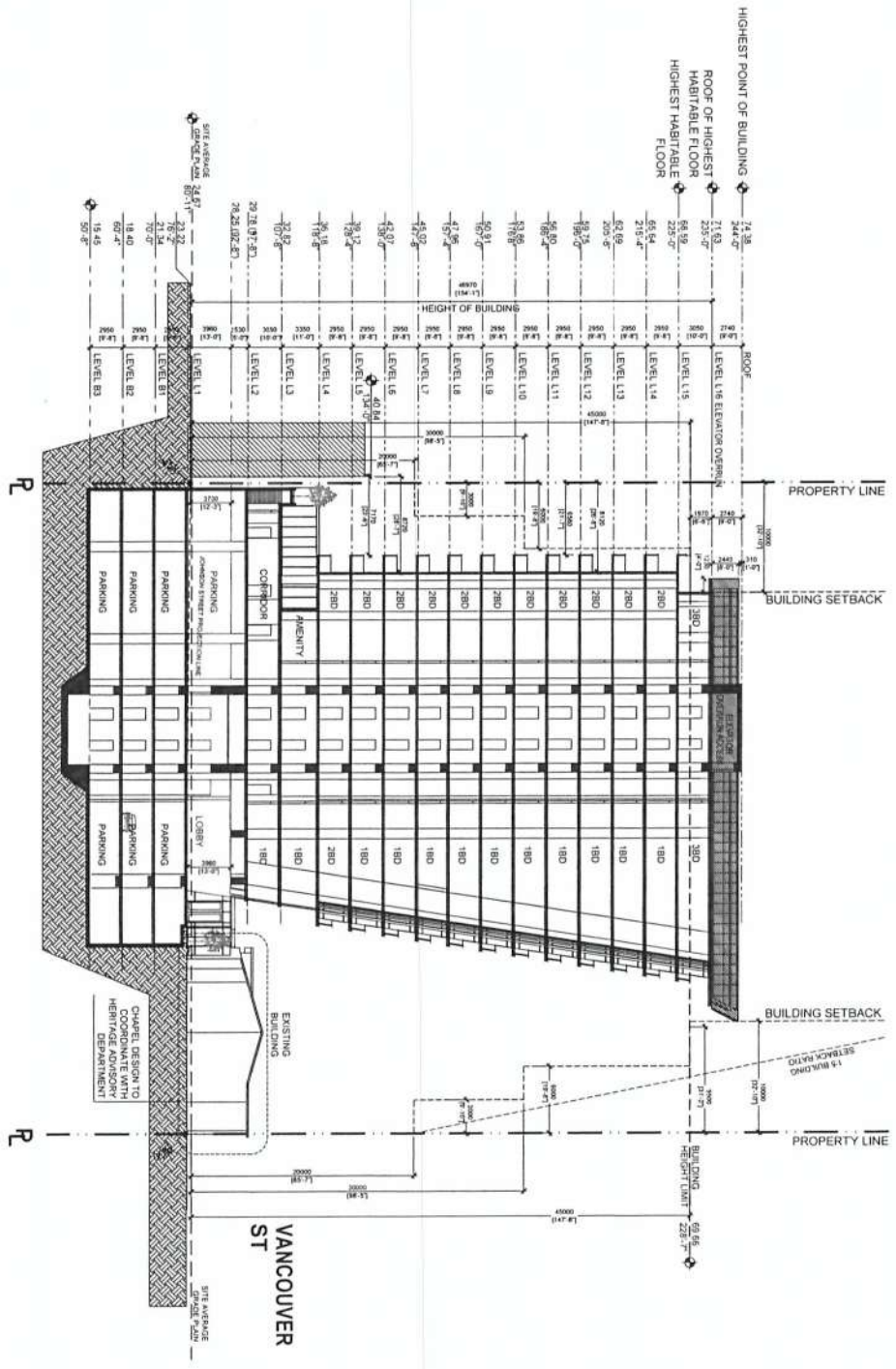
REVISIONS:  
 NO. DESCRIPTION DATE  
 01 REVISION 01.11.18  
 02 REVISION 01.28.18  
 03 REVISION 02.22.18

**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA

PROJECT TITLE:  
 CONSULTANT:  
 DRAWING:







**CITY OF VICTORIA**  
**RECEIVED**  
 APR 01 2019

**DEEMED**  
 MAR 27 2018



PROJECT NO: 18831  
 SHEET NO: 1.200  
 SHEET TITLE: LONGITUDINAL SECTION  
 REVISION: A4.01

DESIGN PERIOD: DATE  
 PREPARED BY: 01.11.2018  
 CHECKED BY: 01.28.2018  
 APPROVED BY: 01.28.2018

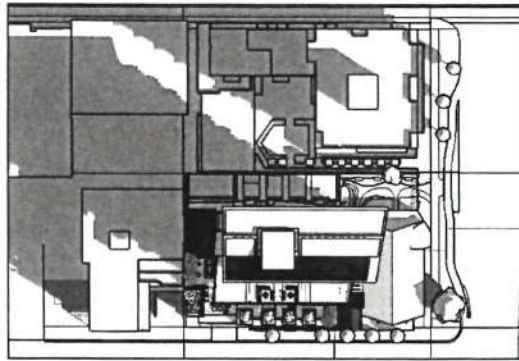
**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA

AVIRP ARCHITECTURE INC  
 1100 VANCOUVER ST  
 VANCOUVER BC  
 V6E 2R7  
 TEL: 604.681.4477

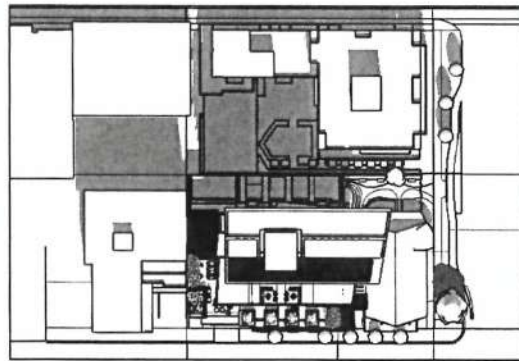
**COX**



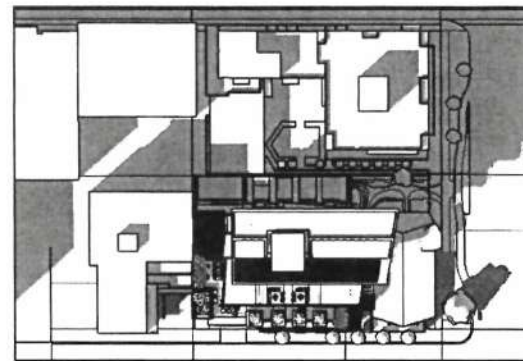




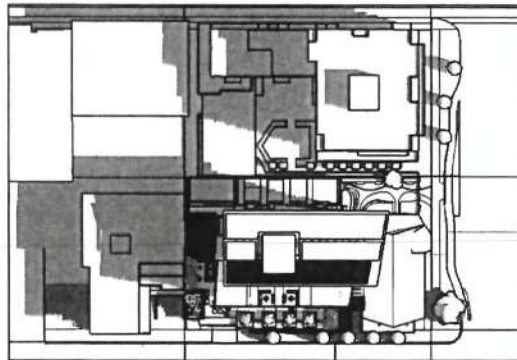
March 21st, 09:00am



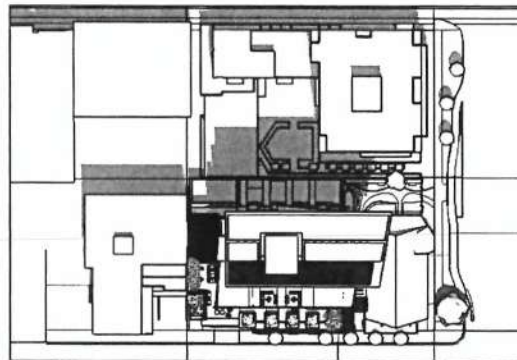
March 21st, 12:00pm



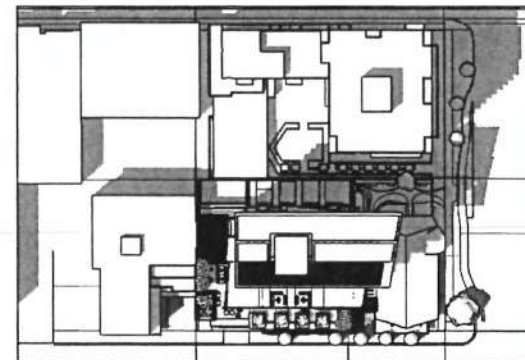
March 21st, 2:00pm



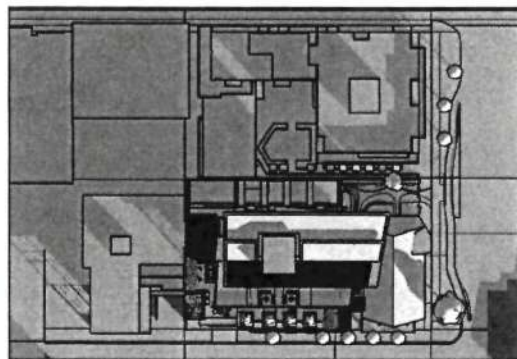
June 21st, 9:00am



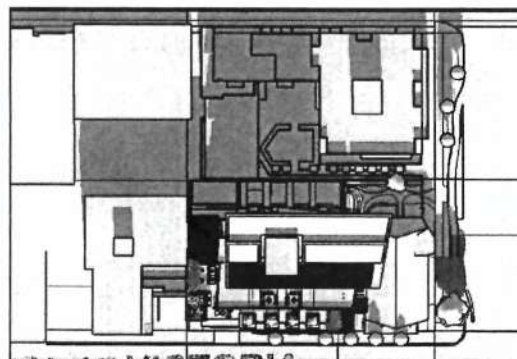
June 21st, 12:00pm



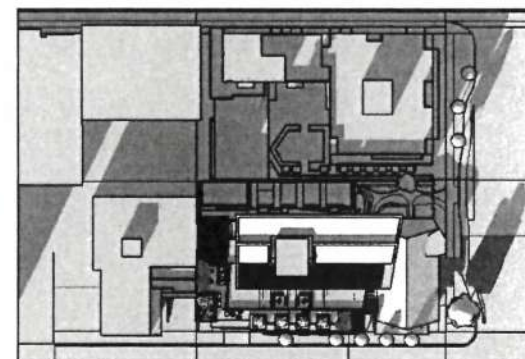
June 21st, 2:00pm



December 21st, 9:00am



December 21st, 12:00pm



December 21st, 2:00pm

CITY OF VICTORIA

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APR 01 2019

MAR 27 2018



AVRP  
ARCHITECTURE INC.  
916, RICHARD STREET  
VANCOUVER, B.C.  
V6C 3K5



STAMP

CONSULTANT

PROJECT NAME

VICTORIA  
1400 VANCOUVER ST, VICTORIA,  
BC, CANADA

| ISSUE DATES     | DESCRIPTION | DATE       |
|-----------------|-------------|------------|
| OP. REZONING    |             | 10 11 2011 |
| OP. REZONING #1 |             | 01 28 2011 |
| ADP MEETING     |             | 02 19 2011 |
| ADP RESUBMITTAL |             | 03 22 2011 |

PROJECT NO. 1800

AGENCY & SCALE AT 1/4"=1'

NTS

SHEET TITLE

SHADOW STUDY

SHEET NUMBER

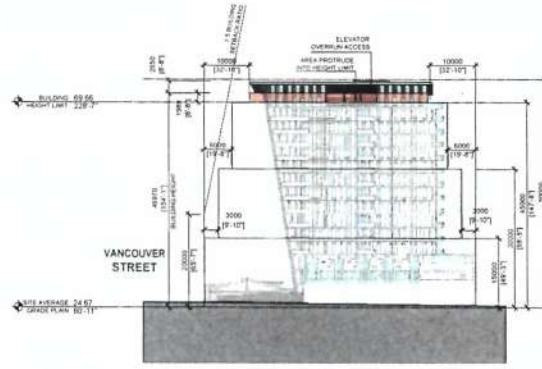
A5.01



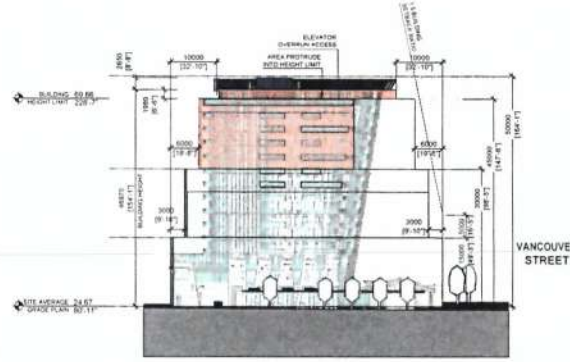
BUILDING ENVELOP

- \*1:5 SETBACK RATIO ALONG JOHNSON STREET
- ELEVATOR OVERRUN ACCESS
- AREA OVER 6M SETBACK
- AREA OVER 45M
- SOLAR ROOF

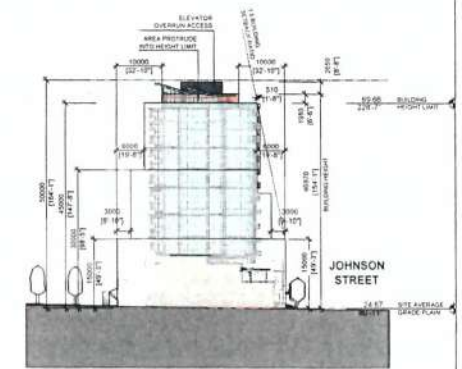
\* Note: By Downtown Core Area Plan 5.184.6, parapets, cornices, guardrails and other architectural elements are excluded from 1:5 building setback ratio requirement.



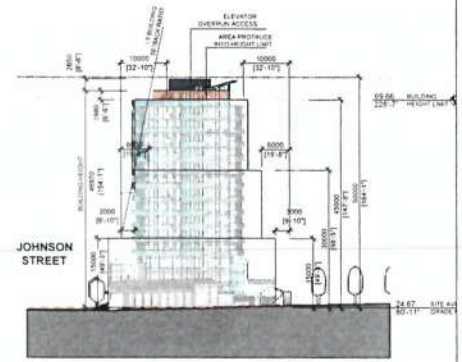
BUILDING NORTH ELEVATION 1:500



BUILDING SOUTH ELEVATION 1:500



BUILDING WEST ELEVATION 1:500



BUILDING EAST ELEVATION 1:500

| LEVEL         | CEILING SLAB TO AVERAGE GRADE PLAIN | TOTAL FLOOR AREA | PLATE LIMITATION        |        |
|---------------|-------------------------------------|------------------|-------------------------|--------|
|               |                                     |                  | FLOOR PLATE LIMITATIONS | HEIGHT |
| L16 (Overrun) | 49.71                               | 50.11            |                         |        |
| L15           | 46.97                               | 387.38           |                         |        |
| L14           | 43.92                               | 648.02           | 650                     | >30M   |
| L13           | 40.97                               | 640.1            |                         |        |
| L12           | 38.03                               | 632.48           |                         |        |
| L11           | 35.08                               | 624.86           |                         |        |
| L10           | 32.13                               | 617.24           |                         |        |
| L9            | 29.19                               | 609.62           |                         |        |
| L8            | 26.24                               | 602              | 930                     | 20-30M |
| L7            | 23.29                               | 594.38           |                         |        |
| L6            | 20.35                               | 586.76           |                         |        |
| L5            | 17.4                                | 579.14           |                         |        |
| L4            | 14.45                               | 571.52           |                         |        |
| L3            | 11.51                               | 544.61           | N/A                     | 0-20M  |
| L2            | 8.15                                | 970.26           |                         |        |
| L1            | 5.11                                | 810.31           |                         |        |

CITY OF VICTORIA  
**RECEIVED** **DEEMED**  
 APR 01 2019 MAR 27 2019



AVRP ARCHITECTURE INC.  
 9105 RICHARD STREET  
 VANCOUVER, B.C.  
 V6C 4A7S

STAMP

CONSULTANT

PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

DATE OF MEETING: 10/11/2016  
 DATE OF MEETING #2: 01/28/2018  
 DATE OF MEETING #3: 02/19/2018  
 DATE OF MEETING #4: 03/22/2018

PROJECT NO: 10000  
 AGENCY & SCALE: AT 1/4"=1'-0"

SHEET TITLE: BUILDING ENVELOP  
 SHEET NUMBER:

**A5.02**



**B. C. LAND SURVEYOR'S SITE PLAN OF:**  
**LOT A, VICTORIA CITY, PLAN 13740**

MUNICIPALITY PID No.  
 Victoria 004-612-264  
 ZONING SITE AREA  
 TBA 2151.3 m<sup>2</sup>  
 23166 s. f.

FILE: 11433 - 15  
 BRADLEY W. GUNTER  
 Brad Gunter Land Surveyor  
 2235 Lydia Street  
 Victoria, BC V8T 4H1  
 P: 250-48-4811  
 brad@bradsurveyor.ca

SCALE = 1: 200



All distances are in metres (M) unless stated.

The intended position of this plan is shown by the lines on the ground. It is not intended to show any other lines on the ground.

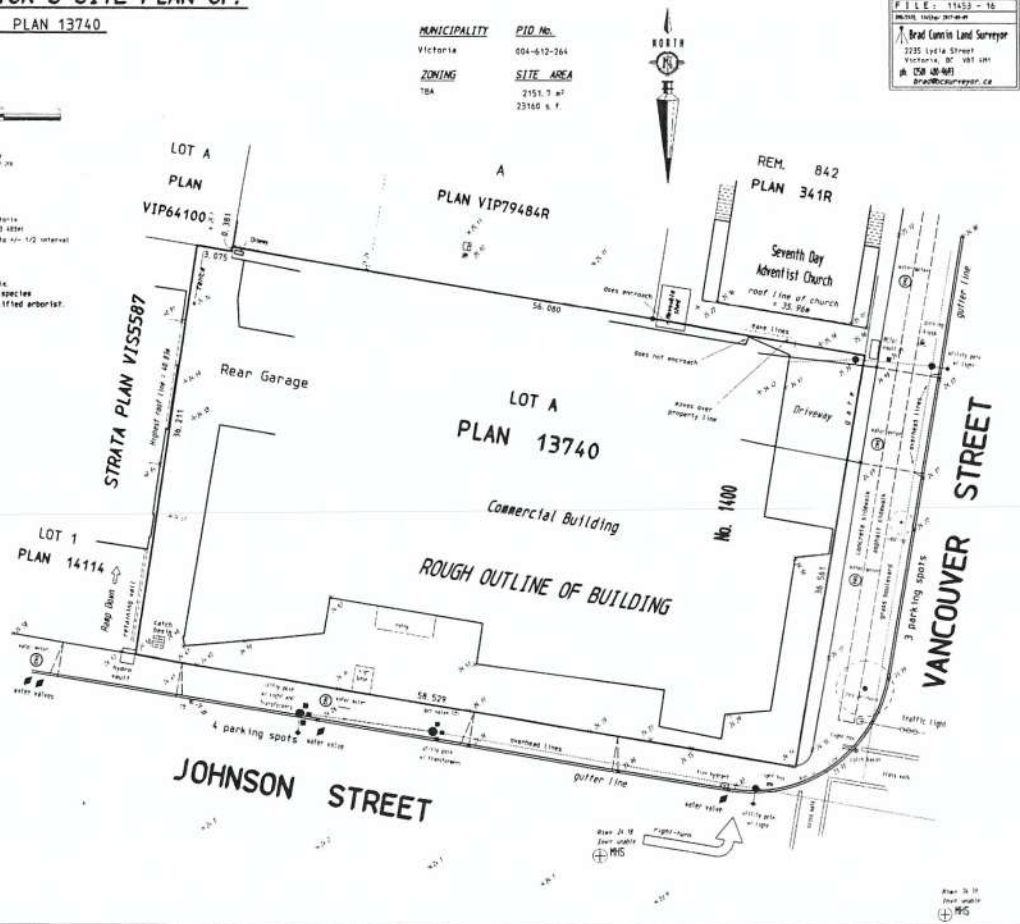
**LEGEND**

Elevations are given to the top of the finished ground surface, unless otherwise stated. Contours are descriptive, and only accurate to 1/2 interval. Grade spots are taken on the spot, unless otherwise stated. Tree bases and canopy are given to the top of the canopy. Where tree location is critical, tree species and canopy should be confirmed by qualified arborist.

1. This plan is prepared for the purpose of showing the location of the proposed building on the site. It is not intended to show any other lines on the ground. It is not intended to show any other lines on the ground. It is not intended to show any other lines on the ground.

**CERTIFIED CORRECT**  
 on the 28th day of April, 2017

Bradley W. Gunter, BCLS



**CITY OF VICTORIA**  
**RECEIVED**  
**APR 01 2019**

**DEEMED**  
**MAR 27 2019**



AVRP ARCHITECTURE INC.  
 810 RICHARD STREET  
 VANCOUVER B.C.  
 V6B 4A7

STAMP  
 CONSULTANT

PROJECT NAME

**VICTORIA**  
**1400 VANCOUVER ST, VICTORIA,**  
**BC, CANADA**

| ISSUE DATES | DESCRIPTION      | DATE       |
|-------------|------------------|------------|
| 01/11/2011  | FOR RECORDING    | 01/11/2011 |
| 01/28/2011  | FOR RECORDING #2 | 01/28/2011 |
| 02/19/2011  | FOR MEETING      | 02/19/2011 |
| 03/22/2011  | FOR RESUBMITTAL  | 03/22/2011 |

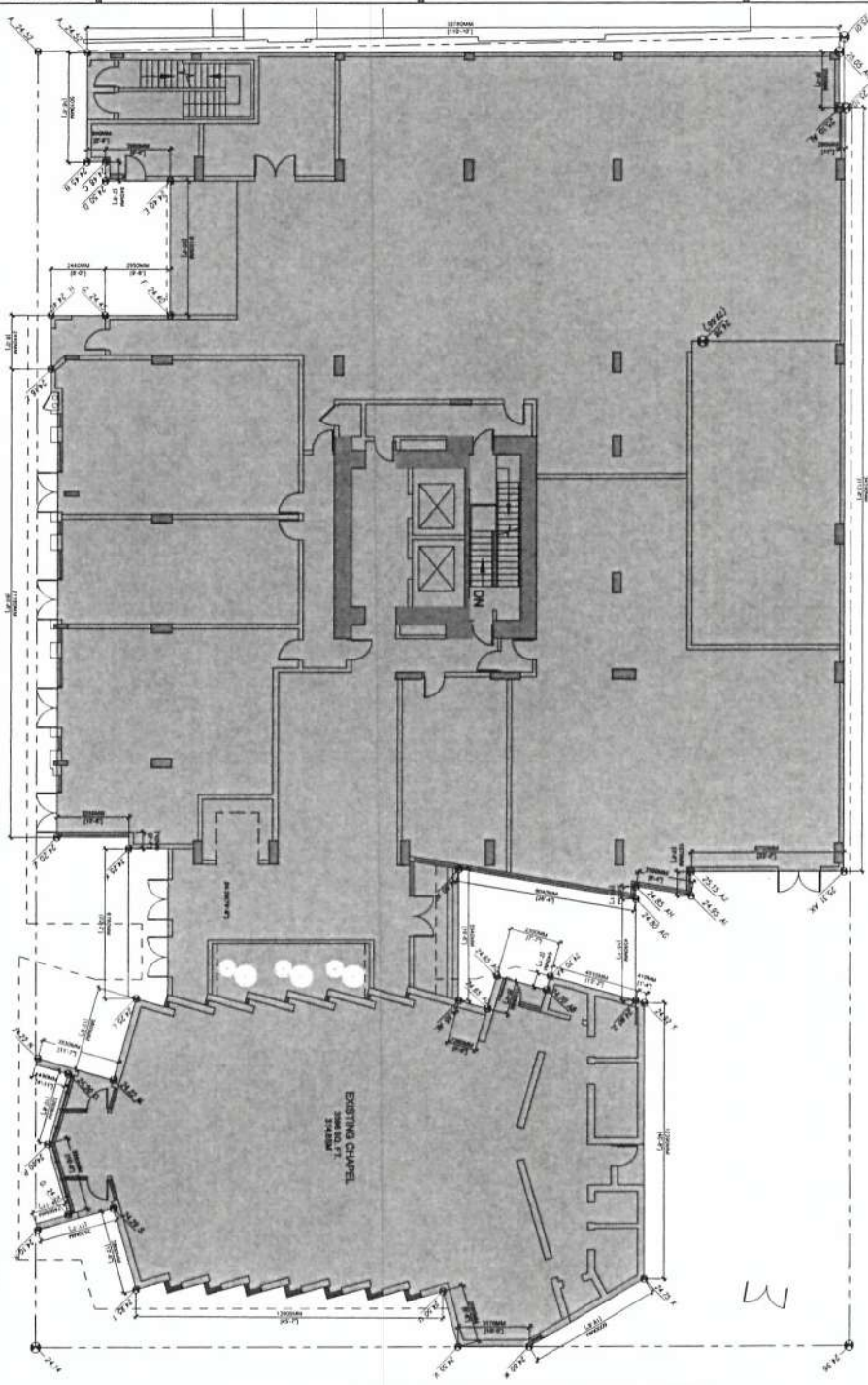
PROJECT NO. 15603

AGENCY # 247336

SCALE AT 1:200

SHEET TITLE  
 SITE SURVEY

SHEET NUMBER  
**A5.03**



| POINTS NAME   | POINTS ELEVATION | POINTS NAME    | POINTS ELEVATION |
|---------------|------------------|----------------|------------------|
| GRADE POINT-A | 24.42            | GRADE POINT-U  | 24.42            |
| GRADE POINT-B | 24.45            | GRADE POINT-V  | 24.45            |
| GRADE POINT-C | 24.45            | GRADE POINT-W  | 24.45            |
| GRADE POINT-D | 24.45            | GRADE POINT-X  | 24.45            |
| GRADE POINT-E | 24.45            | GRADE POINT-Y  | 24.45            |
| GRADE POINT-F | 24.45            | GRADE POINT-Z  | 24.45            |
| GRADE POINT-G | 24.45            | GRADE POINT-AA | 24.45            |
| GRADE POINT-H | 24.45            | GRADE POINT-AB | 24.45            |
| GRADE POINT-I | 24.45            | GRADE POINT-AC | 24.45            |
| GRADE POINT-J | 24.45            | GRADE POINT-AD | 24.45            |
| GRADE POINT-K | 24.45            | GRADE POINT-AE | 24.45            |
| GRADE POINT-L | 24.45            | GRADE POINT-AF | 24.45            |
| GRADE POINT-M | 24.45            | GRADE POINT-AG | 24.45            |
| GRADE POINT-N | 24.45            | GRADE POINT-AH | 24.45            |
| GRADE POINT-O | 24.45            | GRADE POINT-AI | 24.45            |
| GRADE POINT-P | 24.45            | GRADE POINT-AJ | 24.45            |
| GRADE POINT-Q | 24.45            | GRADE POINT-AM | 24.45            |
| GRADE POINT-R | 24.45            | GRADE POINT-AN | 24.45            |
| GRADE POINT-S | 24.45            | GRADE POINT-AO | 24.45            |
| GRADE POINT-T | 24.45            | GRADE POINT-AP | 24.45            |

| POINT NAME | POINTS ELEVATION | DISTANCE BETWEEN GRADE POINTS | TOTAL  |
|------------|------------------|-------------------------------|--------|
| POINT A    | 24.45            | 5.01                          | 172.67 |
| POINT B    | 24.45            | 2.95                          | 172.67 |
| POINT C    | 24.45            | 2.95                          | 172.67 |
| POINT D    | 24.45            | 2.95                          | 172.67 |
| POINT E    | 24.45            | 2.95                          | 172.67 |
| POINT F    | 24.45            | 2.95                          | 172.67 |
| POINT G    | 24.45            | 2.95                          | 172.67 |
| POINT H    | 24.45            | 2.95                          | 172.67 |
| POINT I    | 24.45            | 2.95                          | 172.67 |
| POINT J    | 24.45            | 2.95                          | 172.67 |
| POINT K    | 24.45            | 2.95                          | 172.67 |
| POINT L    | 24.45            | 2.95                          | 172.67 |
| POINT M    | 24.45            | 2.95                          | 172.67 |
| POINT N    | 24.45            | 2.95                          | 172.67 |
| POINT O    | 24.45            | 2.95                          | 172.67 |
| POINT P    | 24.45            | 2.95                          | 172.67 |
| POINT Q    | 24.45            | 2.95                          | 172.67 |
| POINT R    | 24.45            | 2.95                          | 172.67 |
| POINT S    | 24.45            | 2.95                          | 172.67 |
| POINT T    | 24.45            | 2.95                          | 172.67 |

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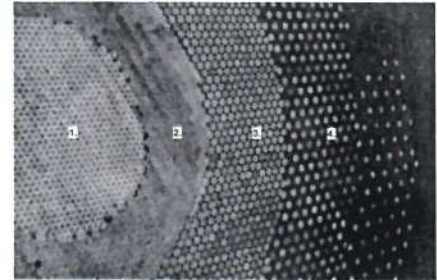
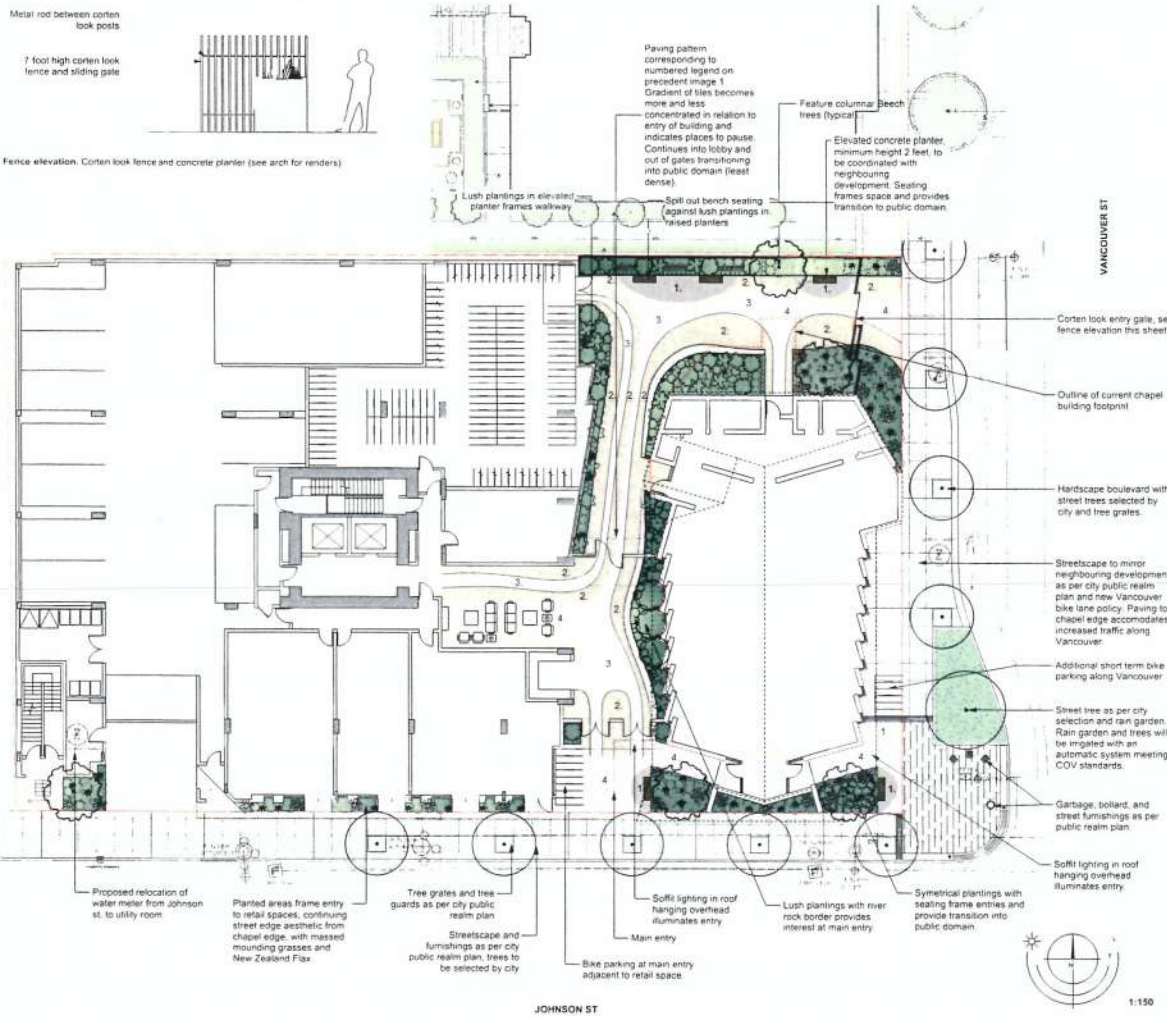
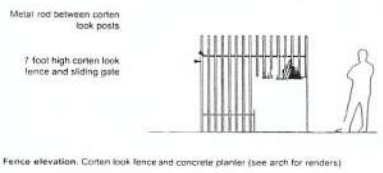
**VICTORIA**  
 1400 VANCOUVER ST, VICTORIA,  
 BC, CANADA



PROJECT NO: 1003  
 SHEET NO: 1-100  
 SHEET TITLE: AVERAGE GRADE ELEVATION  
 DATE: 01-20-2019  
 PROJECT NAME: AS.04







Precedent Image 1. Tile Pattern and Gradient

1. Seating areas
2. Seize circulation areas
3. Entry ribbons
4. Public realm transitions and lobby



Precedent Image 2. Street edge plantings. New Zealand Flax, massed low mounding grasses, and sparsely planted columnar trees

**Recommended Nursery Stock**

| Trees                         |          |  |                                |           |
|-------------------------------|----------|--|--------------------------------|-----------|
| ID                            | Quantity | Botanical Name                           | Common Name                    | Size      |
| FaLy                          | 5        | Fagus sylvatica 'Fastigiata'             | Fatigiate Beech                | 6' 0" cal |
| PiMu                          | 7        | Pinus mugo 'mugo'                        | Swiss Mountain Pine, Mugo Pine | # 12 pot  |
| Large Shrubs                  |          |  |                                |           |
| ID                            | Quantity | Botanical Name                           | Common Name                    | Size      |
| PolA                          | 8        | Actinulus unedo 'Compacta'               | Compact Strawberry Bush        | # 12 pot  |
| FaJa                          | 3        | Fatsia japonica                          | Fatsia                         | # 12 pot  |
| HoSp                          | 1        | Hosta perfoliata 'Elegant'               | Hosta                          | # 5 pot   |
| MuBa                          | 3        | Musa basoo                               | Hardy Fiber Banana             | # 13 pot  |
| RiMa                          | 2        | Rhododendron macrophyllum                | Pacific Rhododendron           | # 12 pot  |
| Medium Shrubs                 |          |  |                                |           |
| ID                            | Quantity | Botanical Name                           | Common Name                    | Size      |
| PuMuPu                        | 6        | Pinus mugo pumilio                       | Dwarf Mugo Pine                | # 5 pot   |
| PiLu                          | 36       | Prunus laudiana                          | Portugale Laurel               | # 5 pot   |
| RiMa                          | 7        | Rhododendron macrophyllum                | Pacific Rhododendron           | # 12 pot  |
| Perennials, Annuals and Ferns |          |  |                                |           |
| ID                            | Quantity | Botanical Name                           | Common Name                    | Size      |
| BeBa                          | 25       | Bergenia x Baby Doll                     | Baby Doll Bergenia             | # 1 pot   |
| FerGl                         | 211      | Festuca glauca                           | Common Blue Fescue             | # 1 pot   |
| HaMa                          | 40       | Hakonechloa macro                        | Golden Japanese Forest Grass   | # 5 pot   |
| HoSp                          | 10       | Hosta perfoliata 'Elegant'               | Hosta                          | # 5 pot   |
| JuDr                          | 34       | Juncus emmanthia                         | Dragonhead Rush                | # 5 pot   |
| MaFe                          | 16       | Maifouca pennsylvanica                   | Orchard Fern                   | # 5 pot   |
| OpJa                          | 125      | Ophiopogon japonicus                     | Standard Mondo Grass           | # 1 pot   |
| PhTe                          | 26       | Phormium tenax                           | New Zealand Flax               | # 7 pot   |
| ZaAc                          | 50       | Zantedeschia Aethiopica                  | White Calla Lily               | # 1 pot   |
| Groundcovers                  |          |  |                                |           |
| ID                            | Quantity | Botanical Name                           | Common Name                    | Size      |
| ArUv                          | 268      | Arctostaphylos uva-ursi 'Vancouver Jade' | Vancouver Jade Kinnikinnick    | # 7 pot   |

Notes:  
 1. All work to be completed to current BCSLA Landscape Standards.  
 2. All soft landscape to be irrigated with an automatic irrigation system

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|---|-------------|------------------|
| A | Jan 14, '19 | Issued for DP    |
| B | Feb. 11 '19 | Revision         |
| C | Mar. 22 '19 | DP re-submission |

REVISIONS

**LADR** LANDSCAPE ARCHITECTURE DESIGN REGISTERED

83,964 Queens Ave. Victoria B.C. V8T 1M5  
 Phone: (250) 538-0105

PROJECT: 1400 Vancouver Street  
 Victoria, BC

TITLE: Level 1 Landscape Concept

SCALE: 1:150  
 DRAWN: O.L.  
 CHECKED: B.W.

PROJECT NO: 1847

DATE: Jan 14, 2019  
 SHEET: 1 of 2

# Landscape Concept Plan Level 1



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Image 1. Mugo Pine



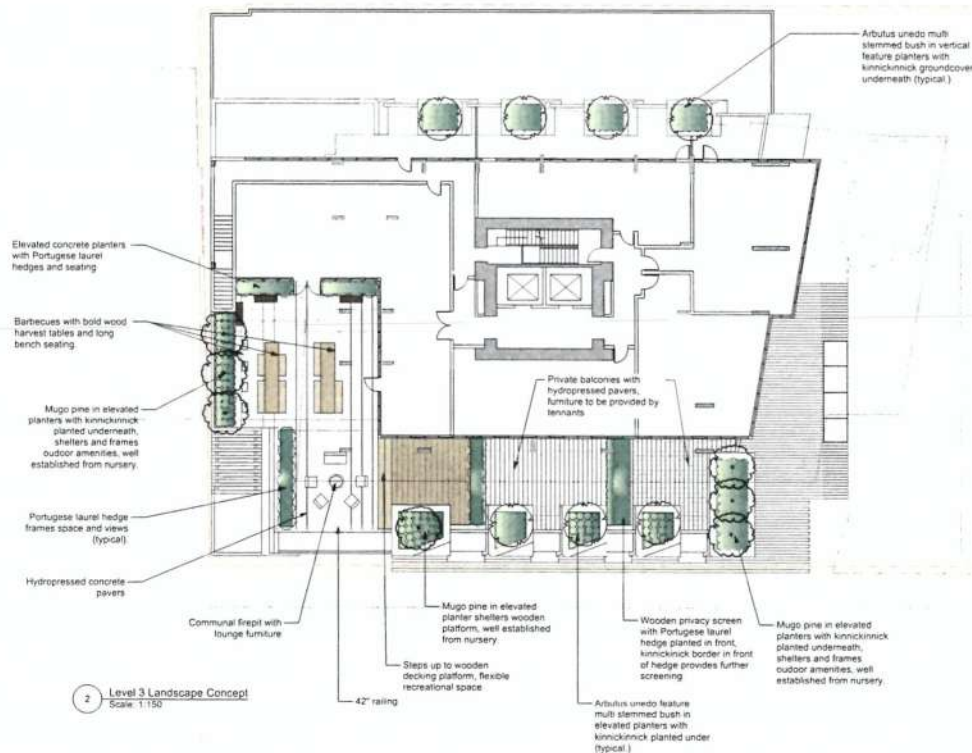
Image 2. Arbutus unedo



Image 3. Kinnickinnick ground cover



Image 4. Portuguese laurel hedge



2 Level 3 Landscape Concept  
Scale: 1:150



# Landscape Concept Plan Level 3

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| B. | Feb, 11 '19 | Revision         |
| C. | Mar. 22 '19 | DP re-submission |
|    |             |                  |
|    |             |                  |

REVISIONS

**LADR** [www.ladr.ca](http://www.ladr.ca)

#3,864 Queens Ave. Victoria B.C. V8T 1M5  
 Phone: (250) 598-0105

PROJECT

1400 Vancouver Street  
 Victoria, BC

TITLE

Level 3 Landscape  
 Concept

SCALE 1:150

DRAWN O.L.  
 CHECKED B.W.

PROJECT No. 1847

DATE Jan 14, 2019

2 of 2  
 SHEET