

NO. 18-095

A BYLAW OF THE CITY OF VICTORIA

The purposes of this Bylaw are to amend the Zoning Regulation Bylaw by creating the R-89 Zone, Gorge Road Multiple Dwelling District, and to rezone land known as 210 Gorge Road East from the T-1 Zone, Limited Transient Accommodation District to the R-89 Zone, Gorge Road Multiple Dwelling District.

The Council of The Corporation of the City of Victoria enacts the following provisions:

- 1 This Bylaw may be cited as the “ZONING REGULATION BYLAW, AMENDMENT BYLAW (NO. 1167)”.
- 2 Bylaw No. 80-159, the Zoning Regulation Bylaw, is amended in the Table of Contents of Schedule “B” under the caption PART 3 – 3.120 by adding the following words:  
  
“3.121, R-89, Gorge Road Multiple Dwelling District”
- 3 The Zoning Regulation Bylaw is also amended by adding to Schedule B after Part 3.120 the provisions contained in Schedule 1 of this Bylaw.
- 4 The land known as 210 Gorge Road East, legally described as PID: 000-947-130, Lot 5, Section 10, Victoria District, Plan 389 and shown hatched on the attached map, is removed from the T-1 Zone, Limited Transient Accommodation District, and placed in the R-89 Zone, Gorge Road Multiple Dwelling District.

READ A FIRST TIME the	day of	2019
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READ A SECOND TIME the	day of	2019
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Public hearing held on the	day of	2019
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READ A THIRD TIME the	day of	2019
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ADOPTED on the	day of	2019
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CITY CLERK

MAYOR

**PART 3.121 – R-89 ZONE, GORGE ROAD MULTIPLE DWELLING DISTRICT****3.121.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Multiple Dwelling
- b. Restaurant
- c. Home occupation subject to the regulations in Schedule “D”
- d. Accessory Buildings subject to the regulations in Schedule “F”

**3.121.2 Lot Area**

<u>Lot area</u> (minimum)	1980m <sup>2</sup>
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**3.121.3 Floor Space Ratio**

<u>Floor space ratio</u> (maximum)	1.71:1
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**3.121.4 Height, Storeys**

Principal <u>building height</u> (maximum)	14.75m
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**3.121.5 Setbacks, Projections**

- a. Gorge Road setback to building (minimum) 5.8m
- b. Gorge Road setback to roof projection (minimum) 4.6m
- c. North side yard setback (minimum) 2.9m
- d. Carroll Street setback (minimum) 4.3m
- e. A portion of the principal building within 19.50m from Gorge Road can have a side yard setback of 1.5m from the easterly property line. All other portions of the principal building must have a minimum side yard setback of 6.0m from the easterly property line.

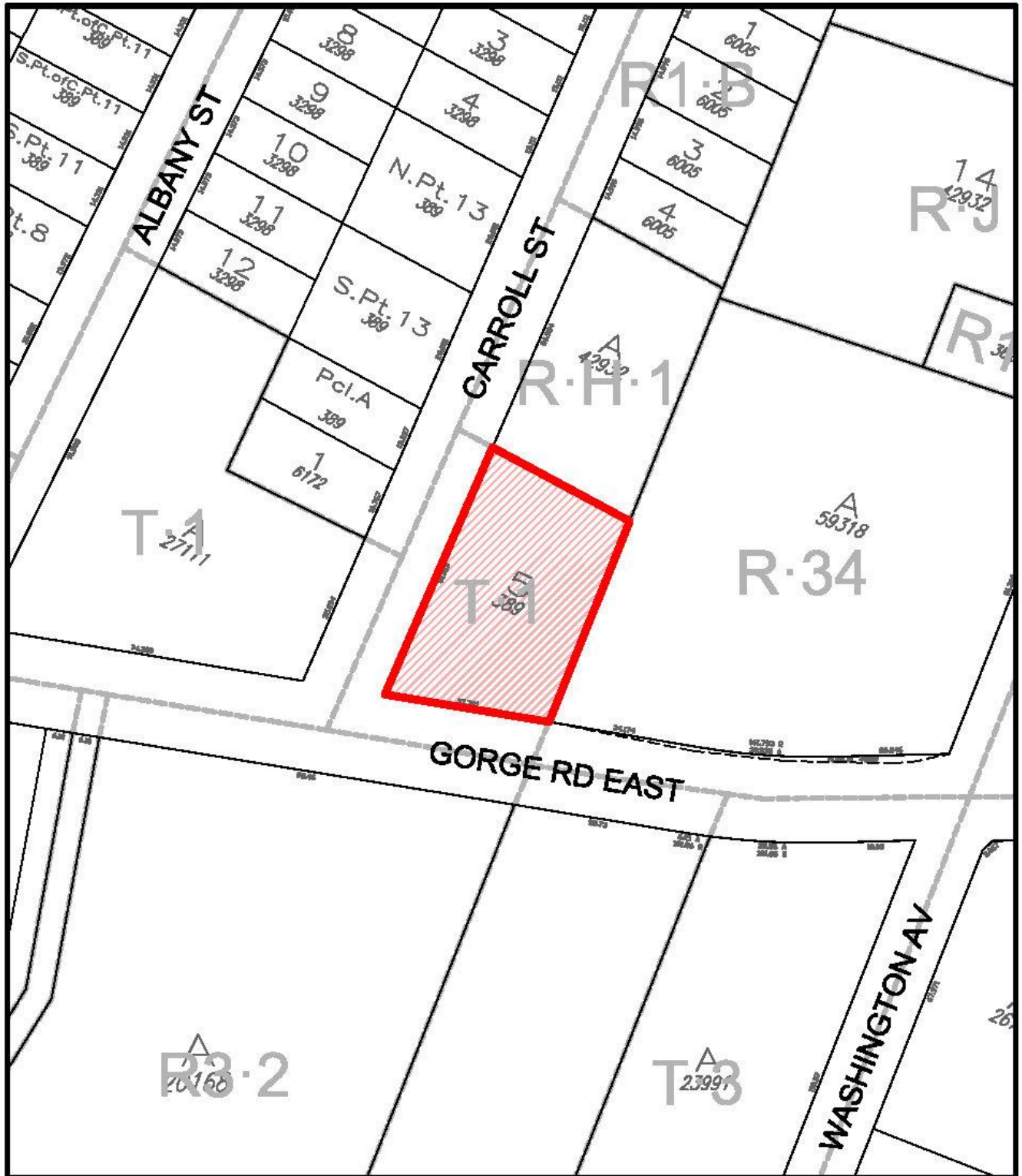
**3.121.6 Site Coverage, Open Site Space**

- a. Site Coverage (maximum) 53.5%
- b. Open site space (minimum) 35%

**PART 3.121 – R-89 ZONE, GORGE ROAD MULTIPLE DWELLING DISTRICT**

**3.121.7 Vehicle and Bicycle Parking**

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| a. <u>Vehicle parking</u> (minimum) | Subject to the regulations in Schedule “C” |
| b. Bicycle parking (minimum)        | Subject to the regulations in Schedule “C” |



210 Gorge Road East  
Rezoning No.00620

