

K. BYLAWS

K.3 Bylaw and Update for 2832 and 2838 Shakespeare Street: Rezoning Application No. 00656 and Development Permit with Variances Application No. 00116

Moved By Councillor Alto

Seconded By Councillor Collins

That the following bylaw **be given first and second readings:**

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1199) No. 19-056

CARRIED UNANIMOUSLY

Moved By Councillor Alto

Seconded By Councillor Collins

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00656, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00116 for 2832 and 2838 Shakespeare Street in accordance with:

1. Plans date stamped March 7, 2019.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the rear yard setback from 6.00m to 1,80m for Lot 2
 - ii. allow an accessory building in the front yard for Lot 2
 - iii. reduce the front yard setback for an accessory building from 18.00m to 15.25m for Lot 2
 - iv. reduce the side yard setback for an accessory building from 0.60m to 0.30m for Lot 2.
3. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY



Council Report

For the Meeting of May 23, 2019

To: Council **Date:** May 16, 2019

From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development

Subject: **Update Report for Rezoning Application No. 00656 and Development Permit with Variances No. 00116 for 2832 and 2838 Shakespeare Street**

RECOMMENDATION

That the following bylaw be given first and second readings:

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1188) No. 19-056

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00656, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00116 for 2832 and 2838 Shakespeare Street in accordance with:

1. Plans date stamped March 7, 2019.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the rear yard setback from 6.00m to 1.80m for Lot 2
 - ii. allow an accessory building in the front yard for Lot 2
 - iii. reduce the front yard setback for an accessory building from 18.00m to 15.25m for Lot 2
 - iv. reduce the side yard setback for an accessory building from 0.60m to 0.30m for Lot 2.
3. The Development Permit lapsing two years from the date of this resolution."

EXECUTIVE SUMMARY

The purpose of this report is to update Council on the Development Permit with Variances application for 2832 and 2838 Shakespeare Street. The conditions set by Council on May 9, 2019 have been met, and the draft minutes are attached. The applicant has revised the landscape plan to include existing trees to be removed to the satisfaction of the Director of Sustainable Planning and Community Development.

BACKGROUND

Minor revisions to the plans were required to show the existing trees on the site and the existing trees proposed to be removed. The landscape plan has been revised and is attached to this report. The two trees proposed to be removed are not protected under the Tree Preservation Bylaw. The motion for Council's consideration has been updated to reflect this.

CONCLUSIONS

As per Council's motion on May 9, 2019, the applicant has revised the landscape plan. As the applicant has carried out the conditions set out by Council, staff recommend that the application advance to a Public Hearing for further consideration.

Respectfully submitted,



Chelsea Medd
Planner
Development Services Division



Andrea Hudson, Acting Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date:

May 17, 2019

List of Attachments

- Attachment A: Plans date stamped March 7, 2019 (with revised landscape plan dated May 10, 2019 and deemed March 7, 2019)
- Attachment B: Motion from Council's May 9, 2019 Draft Minutes.

Planning & Development Department
Development Services Division



Building With Leadership

Statement of Receipts

(A1)

ATTACHMENT A



EFFECTIVE BOUNDARY FLUXES OVER CORRUPTED AND UNCORRUPTED	
External Air Flow	0.00
12" Outside Inlets	0.00
FCI Unit Maximum	
2011 Inside Inlets @ 10' x 10'	
Major Inlets (12' x 10' x 10') = 4	4.14
Air Breathing	2.14
Internal Air Flow	0.00
	6.28

Formula: $\text{Flow} = \text{Area} \times \text{Vel} \times 60 \times 1.34$

[illegible][illegible][illegible]

CONSTRUCTION ASSEMBLIES:

	4" controls floor on 4 mil poly V.B. compacted granular fill
	2x10 floor joist 16" O.C. typ. nail and glue 3/4" x 3/4" T&G plywood 2 angles @ 4" O.C. typ.
	Acoustical insulation, building paper, 7/16" 1/2" plywood, impregnated fibrous designed to meet ASTM C-423 for noise isolation, 4 mil U.V. poly V.B. 1/4" GWS
	2nd flooring 1/2" O.C. fms. 1/2" GWS fms. throughout
	Exterior ceiling, 3/4" air space, pressure treated sheathing, 3 layers 2x4 studs, building paper, 1/2" sheathing, 1/2" studs at 16" O.C., 1/2" GWS, 1/2" U.V. poly V.B. 1/4" GWS. (See elevations)

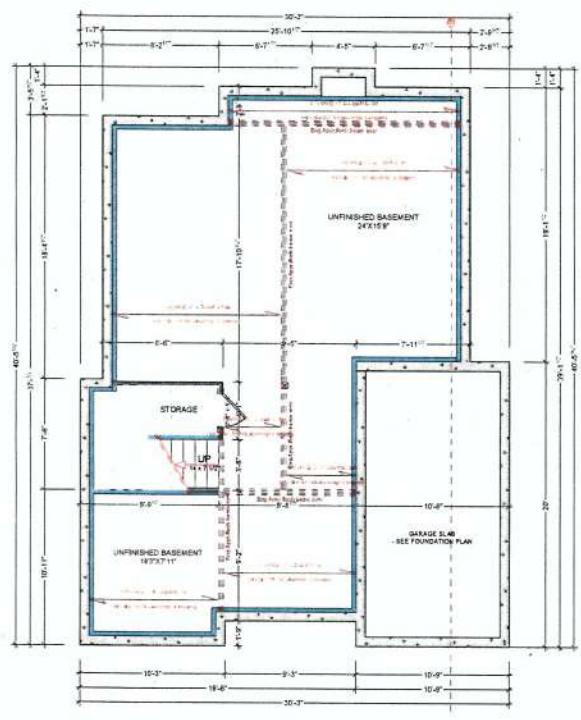


SHEET
NUMBER
A3

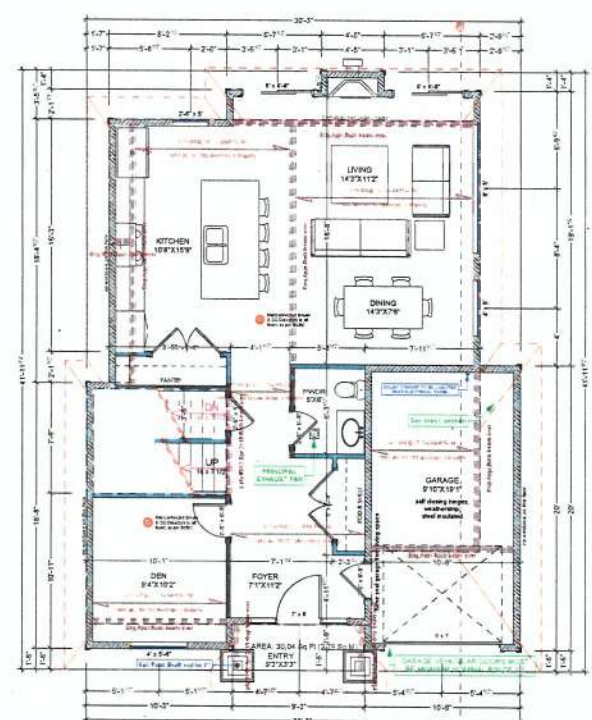
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 MAR 07 2019
 Planning & Development Department
 Building 100 - 1000 Douglas Street

MAR 07 2019

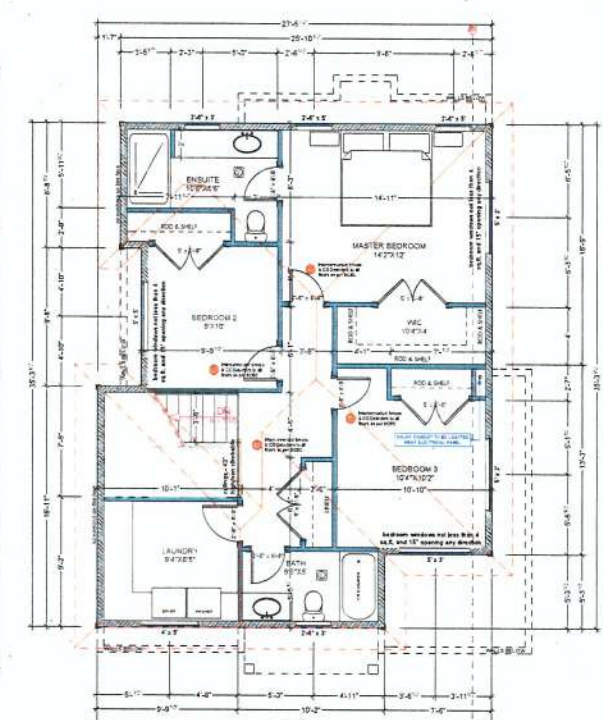
Planning & Design
Development



PROPOSED BASEMENT FLOOR PLAN (8'-0 3/4" WALLS)
SCALE: 1/4" = 1'-0"
PROPOSED BASEMENT FLOOR AREA: 783.31 Sq Ft (72.77 Sq M)



PROPOSED MAIN FLOOR PLAN (9'-0 3/4" WALLS)
SCALE: 1/4" = 1'-0"
PROPOSED MAIN FLOOR AREA: 816.82 Sq Ft (75.89 Sq M)
PROPOSED GARAGE FLOOR AREA: 187.65 Sq Ft (17.43 Sq M)
"SOLAR READY" PLUMBING - SEE ELECTRICAL FOR DETAILS



PROPOSED UPPER FLOOR PLAN (8'-0 3/4" WALLS)
SCALE: 1/4" = 1'-0"
PROPOSED UPPER FLOOR AREA: 827.32 Sq Ft (76.86 Sq M)
"SOLAR READY" PLUMBING - SEE ELECTRICAL FOR DETAILS

NAFS REQUIREMENTS:
Performance Grade of 30
Water Test Pressure of 260 Pa

<p>GENERAL NOTES</p> <p>ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE NATIONAL BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY HAVE PRECEDENCE.</p> <p>ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY OWNER PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.</p> <p>DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.</p> <p>SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR.</p>	<p>SITE PLAN</p> <p>ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED S.E. LAND SURVEYOR.</p> <p>ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER.</p> <p>ALL GRADE ADJUSTMENTS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY NOTATIONS ARE TO BE MADE ON SITE.</p> <p>CONFIRMATION OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.</p> <p>CONCRETE AND FOUNDATIONS</p> <p>ALL CONCRETE FOOTINGS TO HAVE SOLID BEARINGS ON COMPACTED UNDISTURBED SUBGRADE 20% TO 4" DEEPER DEPTH BELOW FROST PENETRATION.</p>	<p>IF DOPTER CONDITIONS APPLY THE FOLLOWING BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.</p> <p>GARAGE & CARPORT FLOORS AND EXTENSION STEPS SHALL NOT BE LESS THAN 12 MPa.</p> <p>FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 28MPa (4080 PSI) IN DAYS. MIXED, PLACED AND TESTED IN ACCORDANCE WITH CANALAS.</p> <p>ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.</p> <p>ALL GRADES ARE ESTIMATED ONLY AND SHALL BE RECHECKED ON SITE.</p> <p>ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.</p>	<p>JOISTER, TRUSSES AND BEAMS</p> <p>BUILDING FRAMES TO BE AUTHORIZED TO FOUNDATION BY FASTENING DELTA PLATE TO FOUNDATION WITH NOT LESS THAN 15mm (5/8") ANCHOR BOLTS AT 1200mm (48") MAXIMUM SPACING.</p> <p>ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.</p> <p>ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN THE 2015 NBC AND THE NATIONAL BUILDING CODE OF CANADA AND VARIATION OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.</p>	<p>ROOFING</p> <p>ALL ROOFING SHALL BE SUPPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE SATE PROTECTION FROM UV RAYS AND BLOW BUILD UP.</p> <p>PLUMBING & ELECTRICAL</p> <p>ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.</p>	<p>FLASHING</p> <p>ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING.</p> <p>ALL ROOFING SHALL INCORPORATE STEEL FLASHING.</p> <p>ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.</p> <p>DOORS - ROUGH OPENING SIZES</p> <p>FRAME OPENING 1" HIGHER THAN DOOR.</p> <p>FRAME HEIGHT 8" FOR EXTERIOR DOORS AND 6" FOR INTERIOR DOORS.</p> <p>DOOR FRAME OPENING 1" HIGHER THAN DOOR.</p> <p>DOOR FRAME HEIGHT 8" FOR EXTERIOR DOORS AND 6" FOR INTERIOR DOORS.</p> <p>MISC.</p> <p>CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CAN 5.18.</p>	<p>NOTES</p> <p>NEITHER JAVA DESIGNS NOR THE DESIGNER ACCEPTS RESPONSIBILITY FOR THE FOLLOWING:</p> <p>INFORMATION PROVIDED ON EXISTING BUILDINGS OF SITE.</p> <p>CONFIRMATION OF PLANS TO SITE.</p> <p>CONTRACTS AND DIMENSIONS NOT SHOWN ON THESE PLANS.</p>
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CUSTOMER:
PAM HARTLING

ADDRESS:
2032 & 2038 SHAKESPEARE STREET, VICTORIA

DRAWING NAME:
PROPOSED LOT 3: BASEMENT, MAIN FLOOR & UPPER FLOOR PLANS

DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
MAR. 06, 2019

DRAWN BY:
KYLE LEGGETT

JAVA DESIGNS
WHERE LINES ON PAPER BECOME WALLS ON SITE
PH: 250.590.2468 FX: 250.590.4577 www.javadesigns.ca

SHEET NUMBER
A4



EXTERIOR FINISHES SCHEDULE			
A ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HP CAPS	P1 WALL FINISH:	HARDBOARD AND SATIN 1/4" @ 12" S.C. HANDSCREEN AS PER BISC
B GUTTER & SOFFIT:	ALUMINUM GUTTER AND NON-PAINTED SOFFIT	P2 WALL FINISH:	STUCCO - SEE OWNER FOR TEXTURE FINISH - 1/4" SCREEN AS PER BISC
C BARGE BOARD:	3/4" WITH 1/4" DOUBLE BARGE BOARD, PAINTED TRIM COLOUR	G DETAIL:	DECORATIVE FINISH
D WINDOW & DOOR TRIM:	1/4" TRIM BOARDS - PAINTED, STAINED	H POSTS:	ARTS & CRAFTS COLUMNS MADE OF 1/4" PLYWOOD WITH LANTERN PAPER AND STUCCO WIRE WITH STONE CONCRETE OVER CUP OVER, INTERNAL 6/8 POST
E CORNER TRIM:	1/4" CORNER BOARDS - PAINTED, STAINED		



NAFS REQUIREMENTS:
Performance Grade of 30
Water Test Pressure of 260 Pa

MAR 07 2019
Planning & Design Architect

CUSTOMER: PAM HARTLING
ADDRESS: 2032 & 2030 SHAKESPEARE STREET, VICTORIA

DRAWING NAME: PROPOSED LOT 3: ELEVATIONS
DRAWING SCALE: 1/4" = 1'-0"

ISSUE DATE: MAR 06 2019
DRAWN BY: KYLE LEGGETT

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SHEET NUMBER: A5

Smoking Kills—Continued

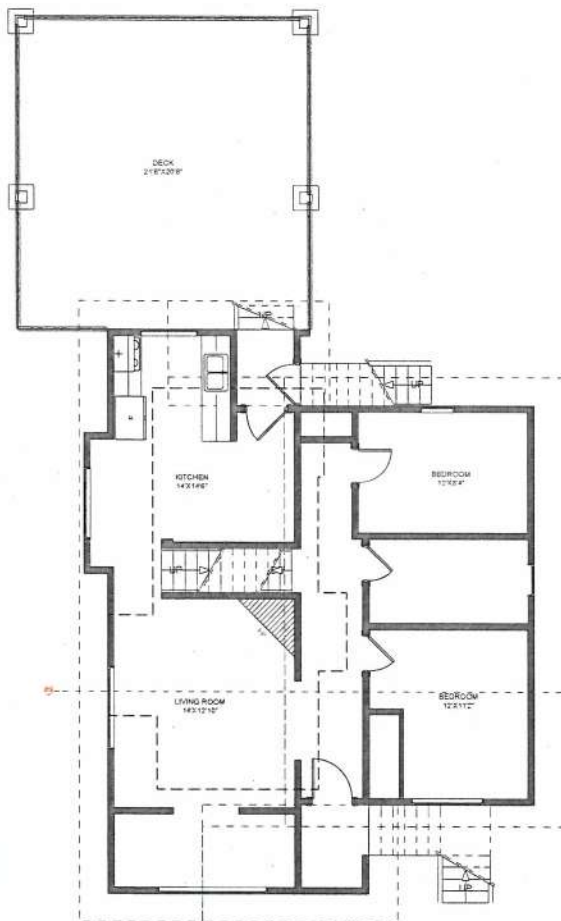


SCALE: $1/4" = 1' - 0"$

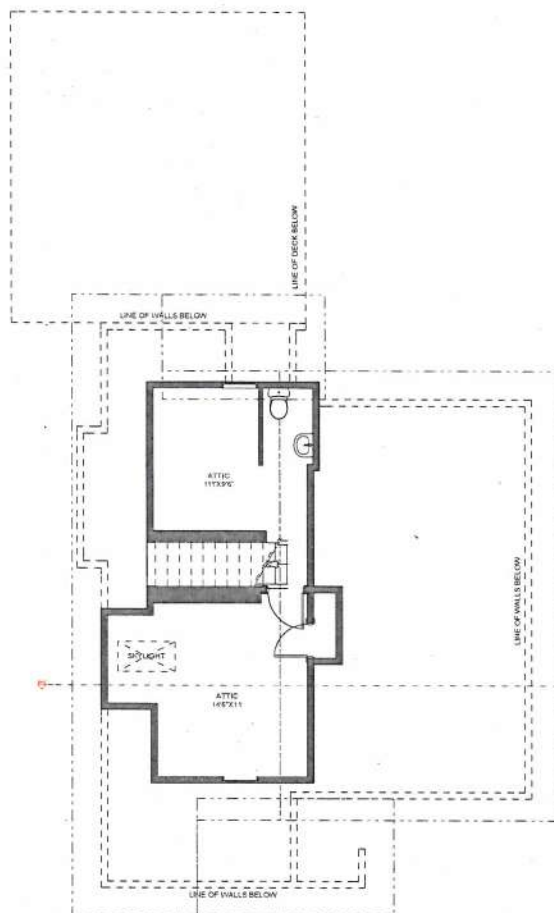


ALL OTHERS - 1000000 (7.00000)
 (27.00000) 29.70000

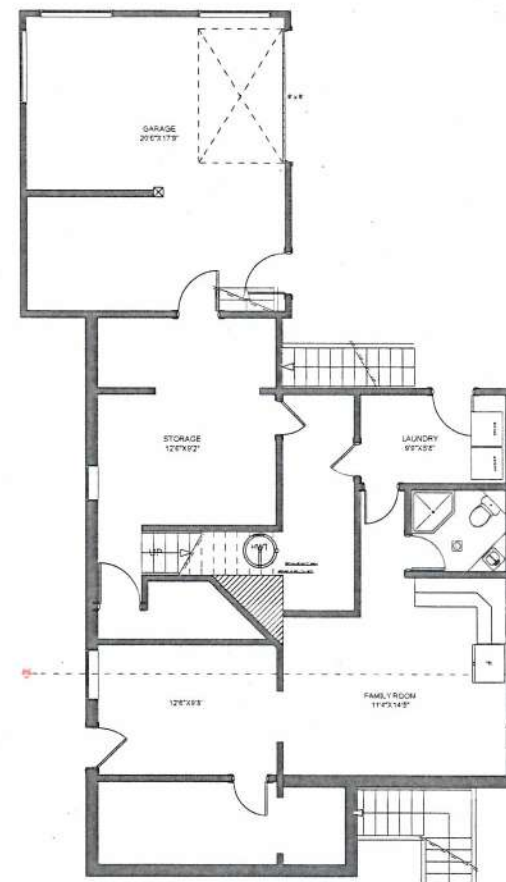
A6



EXISTING MAIN FLOOR PLAN (8'-8" WALLS)
 SCALE: 1/4" = 1'-0"
 EXISTING TOTAL MAIN FLOOR AREA: 991 Sq Ft
 2838 SHAKESPEARE ST. VICTORIA BC




EXISTING ATTIC FLOOR PLAN (6'-8" WALLS)
 SCALE: 1/4" = 1'-0"
 EXISTING FLOOR AREA: 362 Sq Ft
 2838 SHAKESPEARE ST. VICTORIA BC

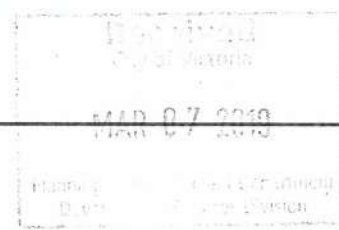


EXISTING LOWER FLOOR PLAN (6'-6" WALLS)
 SCALE: 1/4" = 1'-0"
 EXISTING LOWER FLOOR AREA: 1,025 Sq Ft
 EXISTING GARAGE AREA: 402 Sq Ft
 2838 SHAKESPEARE ST. VICTORIA BC

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 Planning Department

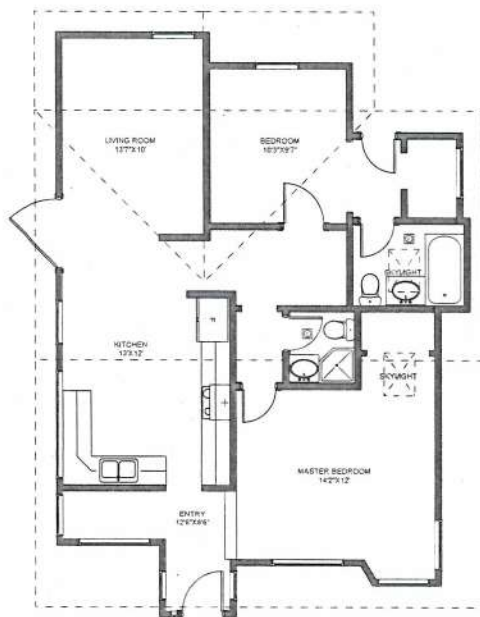
 JAVA DESIGNS WHERE LINES ON PAPER BECOME WALLS ON SITE PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca	ISSUE DATE: MAR. 06, 2019 DRAWN BY: KYLE LEGGETT	DRAWING NAME: EXISTING LOT 1, 2838 SHAKESPEARE ST. FLOOR PLANS DRAWING SCALE: 1/4" = 1'-0"	CUSTOMER: PAM HARTLING ADDRESS: 2832 & 2838 SHAKESPEARE STREET, VICTORIA
	SHEET NUMBER <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> A7 </div>		

SITE PLAN
SCALE: 1:100



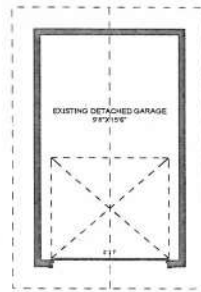
SHEET
NUMBER

A8



EXISTING MAIN FLOOR PLAN (8'-8" WALLS)

SCALE: 1/4" = 1'-0"
EXISTING MAIN FLOOR AREA: 981 Sq Ft
2832 SHAKESPEARE ST, VICTORIA BC



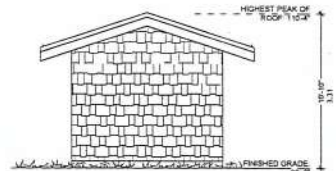
EXISTING DETACHED GARAGE PLAN (8'-0 3/4" WALLS)

SCALE: 1/4" = 1'-0"
TOTAL AREA: 174 Sq Ft
2832 SHAKESPEARE ST VICTORIA BC



EXISTING DETACHED GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"
2832 SHAKESPEARE ST VICTORIA BC



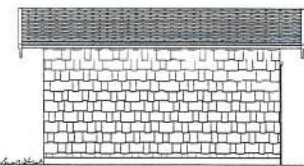
EXISTING DETACHED GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"
2832 SHAKESPEARE ST VICTORIA BC



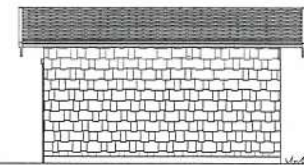
EXISTING DETACHED GARAGE FOUNDATION

SCALE: 1/4" = 1'-0"
2832 SHAKESPEARE ST, VICTORIA BC



EXISTING DETACHED GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"
2832 SHAKESPEARE ST, VICTORIA BC



EXISTING DETACHED GARAGE RIGHT ELEVATION

SCALE: 1/4" = 1'-0"
2832 SHAKESPEARE ST, VICTORIA BC

CUSTOMER:
PAM HARTLING
ADDRESS:
2832 & 2838 SHAKESPEARE STREET, VICTORIA

DRAWING NAME:
EXISTING LOT 2 2832 SHAKESPEARE ST,
FLOOR PLANS & GARAGE ELEVATIONS
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
MAR. 06, 2019
DRAWN BY:
KYLE LEGGELL

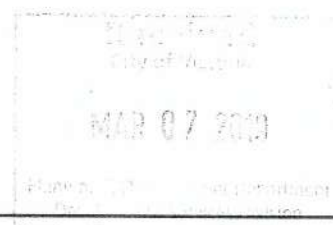
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SHEET
NUMBER

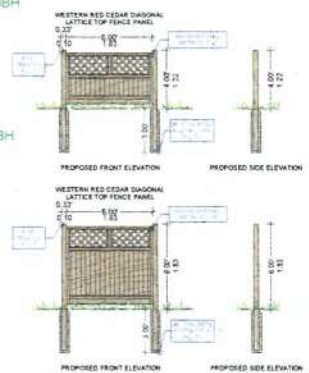
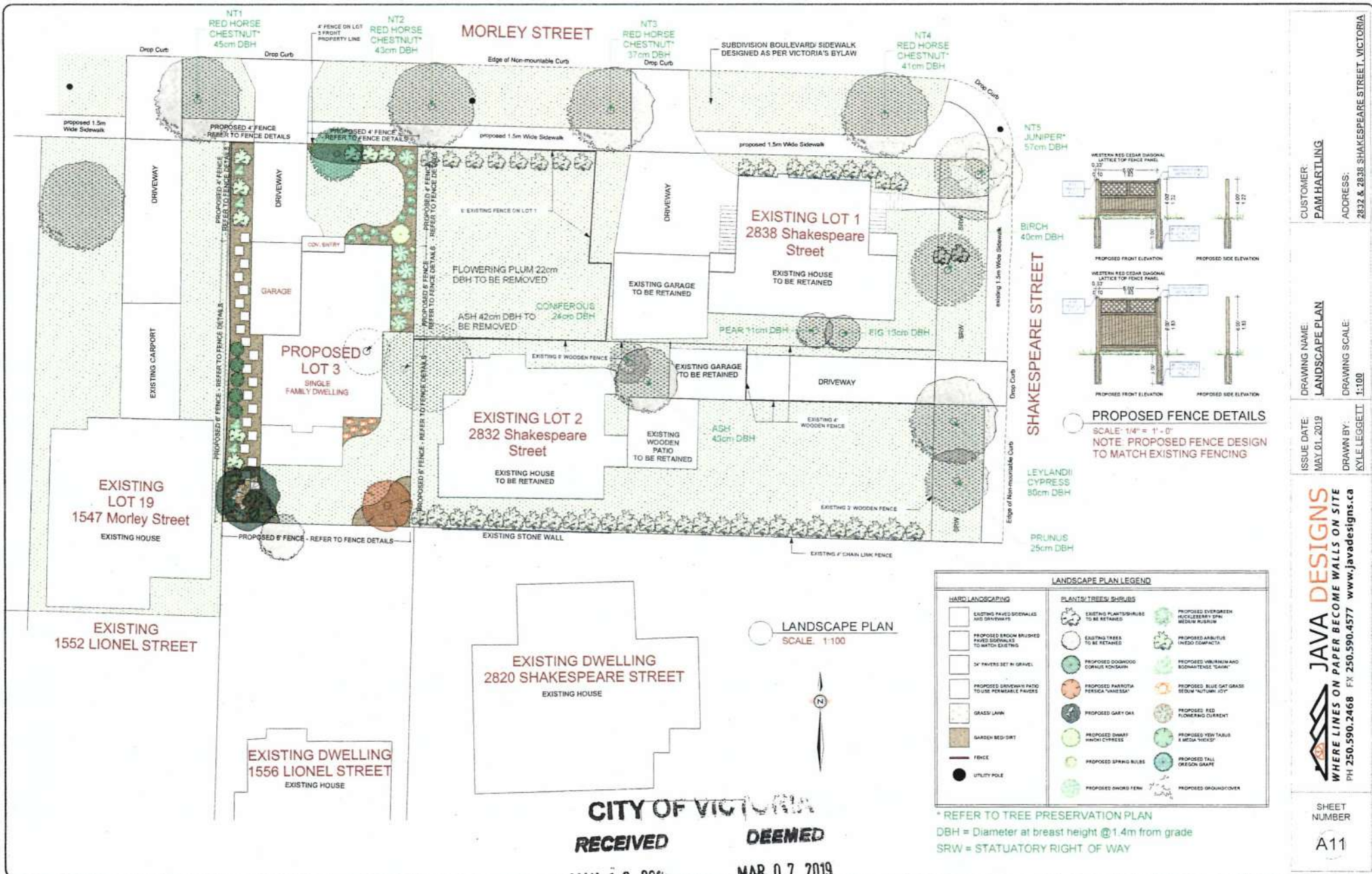
A9

MAR 07 2019



















Building Department
Development Services Division



 JAVA DESIGNS WHERE LINES ON PAPER BECOME WALLS ON SITE PH: 250.590.2468 FX: 250.590.4577 www.javadesigns.ca	ISSUE DATE: MAR. 06, 2019 DRAWN BY: KYLE LEGGETT	DRAWING NAME: STREETSCAPE DRAWING SCALE: 1/16"=1'-0"	CUSTOMER: PAM HARTLING ADDRESS: 2832 & 2838 SHAKESPEARE STREET, VICTORIA
	SHEET NUMBER <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> A10 </div>		



PROPOSED FENCE DETAILS
 SCALE: 1/4" = 1' - 0"
 NOTE: PROPOSED FENCE DESIGN TO MATCH EXISTING FENCING

LANDSCAPE PLAN LEGEND	
HARD LANDSCAPING	PLANTS/TREES/SHRUBS
 EXISTING PAVED SIDEWALKS AND DRIVEWAYS	 EXISTING PLANTS/SHRUBS TO BE RETAINED
 PROPOSED BRICK/BRUSHED PAVED SIDEWALKS TO MATCH EXISTING	 EXISTING TREES TO BE RETAINED
 3/4\" data-bbox="75 445 125 495"/> PROPOSED BRICK/BRUSHED PAVED SIDEWALKS TO MATCH EXISTING	 PROPOSED ARBUTUS (NEED IMPACT)
 GRASS LAWN	 PROPOSED VIBURNUM AND BODNANTENSE "RAIN"
 GARDEN BED-DIRT	 PROPOSED BLUE GRASS SEED "AUTUMN JOY"
 FENCE	 PROPOSED GARY OAK
 UTILITY POLE	 PROPOSED DWARF SHAM CHERRY
	 PROPOSED SPRING RUILES
	 PROPOSED DWARF FERN
	 PROPOSED TALL OREGON GRAPE
	 PROPOSED GRASS COVER

* REFER TO TREE PRESERVATION PLAN
 DBH = Diameter at breast height @ 1.4m from grade
 SRW = STATUTORY RIGHT OF WAY

CUSTOMER: PAM HARTLING

ADDRESS: 2832 & 2838 SHAKESPEARE STREET, VICTORIA

DRAWING NAME: LANDSCAPE PLAN

DRAWING SCALE: 1:100

ISSUE DATE: MAY 01, 2019

DRAWN BY: KYLE LEGGETT

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CITY OF VICTORIA

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MAY 10 2019 **MAR 07 2019**

MAR 07 2019



2832 EAST ELEVATION



2832 EAST ELEVATION



2832 NORTH ELEVATION



2832 NORTH ELEVATION



2832 SOUTH ELEVATION



2832 SOUTH ELEVATION



2832 SOUTH ELEVATION



2832 SOUTH ELEVATION



2832 WEST ELEVATION



2832 WEST ELEVATION



2838 EAST ELEVATION



2882 NORTH ELEVATION



2838 SOUTH ELEVATION



2838 SOUTH ELEVATION



2838 SOUTH ELEVATION



2838 WEST ELEVATION

CUSTOMER:
PAM HARTLING
ADDRESS:
2832 & 2838 SHAKESPEARE STREET, VICTORIA

DRAWING NAME:
EXISTING PHOTOS

ISSUE DATE:
MAR. 06, 2019

JAVA DESIGNS
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SHEET
NUMBER

A12

**I.1.a.b 2832 and 2838 Shakespeare Street: Rezoning Application No. 00656
(Oaklands)**

Motion

Rezoning Application No. 00656

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00656 for 2832 and 2838 Shakespeare Street, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set.

Development Permit with Variances Application No. 00116

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00656, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00116 for 2832 and 2838 Shakespeare Street in accordance with:

1. Plans date stamped March 7, 2019.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the rear yard setback from 6.00 m to 1.80 m for Lot 2
 - ii. reduce the front yard setback for an accessory building from 18.00 m to 15.25 m for Lot 2
 - iii. allow an accessory building in the front yard for Lot 2
 - iv. reduce the side yard setback for an accessory building from 0.60 m to 0.30 m for Lot 2.
3. A revised site plan and landscape plan that includes existing trees to be removed to the satisfaction of the Director of Sustainable Planning and Community Development.
4. The Development Permit lapsing two years from the date of this resolution.

Carried