

# Mixed Use Seniors Residential & Commercial Development

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parc  
retirement  
living

## PACIFIC ARBOUR SIX RESIDENCES LTD

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ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)  
600 - 355 Burrard Street  
Vancouver, BC V6C 2G8  
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Revisions  
Received Date:  
May 31, 2019



ABBREVIATIONS LEGEND					
A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL	ENCL.	ENCLOSURE
A.B.	AIR BARRIER	N/A.	NOT APPLICABLE	EQ.	EQUAL
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT	EXT.	EXTERIOR
B.S.	BASIN	N.T.S.	NOT TO SCALE	F.D.	FLOOR DRAIN
B.D.	BOARD	O.C.	ON CENTRE	FDN.	FOUNDATION
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING	FIN.	FINISH
B.O.W.	BOTTOM OF WALL	P-&S	PEEL & STICK	FLR.	FLOOR
BLDG.	BUILDING	PLYWD.	PLYWOOD	FTG.	FOOTING
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED	GA.	GAUGE
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED	GL.	GLASS
CLKG.	CAULKING	PL.	PROPERTY LINE	GR.	GRADE
CLG.	CEILING	R.	RADIUS	GWB	GYPSUM WALLBOARD
CL	CENTRE LINE	R	RISER	HC	HANDICAPPED
C/W	COMPLETE WITH	R.W.L.	RAIN WATER LEADER	HT.	HEIGHT
CONC.	CONCRETE	REQD.	REQUIRED	HORIZ.	HORIZONTAL
CONT.	CONTINUOUS	REV.	REVISION	H.B.	HOSE BIB
CT	CONTROL JOINT	R & S	ROOF & SHELF	HR.	HOUR
CORR.	CORRIDOR	RM.	ROOM	HWI	HOT WATER HEATER
DIA.	DIAMETER	R.D.	ROOF DRAIN	LIN.	LINEN
DY	DOWN	R.O.	ROUGH OPENING	MAX.	MAXIMUM
DWGS	DRAWINGS	STL.	STEEL	MECH.	MECHANICAL
DW	DISHWASHER	STRUCT.	STRUCTURAL	MEZZ.	MEZZANINE
ELECT.	ELECTRICAL	SPEC	SPECIFICATION	MIN.	MINIMUM
ELEV	ELEVATION	SF	SQUARE FEET	MISC.	MISCELLANEOUS
				WR	WASHROOM

PROJECT / CONSULTANT TEAM						
ARCHITECT	LAND SURVEYOR	LANDSCAPE ARCHITECT	COMMUNITY ENGAGEMENT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER
BESHARAT FRIARS ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC	BRAD CUNNIN LAND SURVEYOR #101-2610 DOUGLAS ST. VICTORIA, BC	PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. 500-1201 WEST PENDER ST. VANCOUVER, BC	MARZOLF & ASSOCIATES STRATEGIC COMMUNICATIONS ULC 2897 YORK AVE. VANCOUVER, BC	RJC ENGINEERS 300-1285 WEST BROADWAY VANCOUVER, BC	AME GROUP 721 JOHNSON ST. VICTORIA, BC	AES ENGINEERING #300 - 1815 BLANSHARD ST. VICTORIA, BC
TEL: 604.662.8544	TEL: 250.381.2257	TEL: 604.688.6111	TEL: 604.742.3211	TEL: 604.738.0048	TEL: 604.685.9381	TEL: 250.381.6121
GEOTECHNICAL ENGINEER	CODE CONSULTANT	TRAFFIC CONSULTANT	CIVIL ENGINEER	WIND CONSULTANT	ENVIRONMENTAL ENGINEER	LEED CONSULTANT
RYZUK GEOTECHNICAL 28 CREASE AVE. VICTORIA, BC	LMDC BUILDING CODE CONSULTANTS LTD. 4th FLOOR - 780 BEATTY ST. VANCOUVER, BC	BUNT & ASSOCIATES #421 - 645 FORT ST. VICTORIA, BC	J.E ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE VICTORIA, BC	ROWAN WILLIAMS DAVIES & IRWIN 650 WOODLAWN ROAD WEST GUELPH, ON	ACTIVE EARTH ENGINEERING LTD. #160-2250 BOUNDARY ROAD BURNABY, BC	MORRISON HERSHFIELD #310-4321 STILL CREEK DRIVE BURNABY, BC
TEL: 250.475.3131	TEL: 604.682.7146	TEL: 604.685.9381	TEL: 250.727.2214	TEL: 519.823.1311	TEL: 778.886.0064	TEL: 604.454.0402

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RE-ISSUED FOR RE-ZONING & DP 29 MAY 2019	







PROJECT INFORMATION / ZONING DATA									
PROJECT DESCRIPTION / USE		10 STOREY MIXED USE BUILDING, INCLUDING COMMERCIAL RETAIL PODIUM, OFFICES, CHILDCARE, SENIORS INDEPENDENT LIVING UNITS & AMENITIES, RESIDENTIAL RENTAL UNITS & TWO LEVEL OF UNDERGROUND PARKING							
LEGAL DESCRIPTION		9 LOTS - PCL "B" OF LOT 275 PID 009-366-555; PCL "A" (DD 46838-I) OF LOT 275 PID 008-426-163; LOT 274 PID 008-426-031 ; LOT A PLAN 45314 PID 007-890-664; LOT A (EH145952) PLAN 6909 PID 019-023-740; LOT A PLAN 16155 PID 004-005-902; THE S'LY 50' OF LOT 270 PID 000-436-925; LOT B PLAN 45314 PID 007-890-711; W 1/2 LOT 268 PID 000-044-059							
CIVIC ADDRESS PRESENT		829/831,835,841/847,849,893/895/899 FORT STREET & 846 BROUGHTON STREET							
CIVIC ADDRESS FUTURE		FORT BUILDING, FORT BRIDGE BUILDING, FORT-QUADRA BUILDING, QUADRA BRIDGE BUILDING & BROUGHTON BUILDING - TBD							
TOTAL LOT AREA		55,588	SF	5,164.3	SM				
LOT SIZE (APPROXIMATE FRONTAGE)				FT	M				
		NORTH / FORT		304.7	92.9				
		EAST / QUADRA		232.0	70.7				
		SOUTH / BROUGHTON		180.3	54.9				
		WEST		120.3	36.7				
OCP / AREA DESIGN GUIDELINES		2012 OFFICIAL COMMUNITY PLAN/OCP DESIGNATION - 2013 DOWNTOWN CORE AREA PLAN/DCAP & CATHEDRAL HILL PRECINCT PLAN LOCATED IN FAIRFIELD NEIGHBORHOOD ALONG FORT STREET							
ZONING - PRESENT		FORT STREET: CA-2 DEVELOPMENT AREA/DPA 7B(HC) BROUGHTON STREET: CHP-OB & CHP-CR DEVELOPMENT PLAN AREA/DPA 14: CATHEDRAL HILL PRECINCT							
PROPOSED NUMBER OF RESIDENTIAL RENTAL UNITS		268							
ZONING - FUTURE		PROPOSED SITE SPECIFIC / TBD							
		REQUIRED / ALLOWED / DCAP				PROPOSED			NOTES
				SF	SM			SF	SM
DENSITY / FSR / GFA		FAR	5.00	277,940	25821	FAR	5.25	291,823	27111
SITE COVERAGE							88.8%	49,356	4,585
OPEN SITE SPACE									EXCLUDING BUILDING PROJECTIONS, CANOPIES & BALCONIES
STREET LEVEL FROM PROPERTY LINE TO BUILDING FACE/LEVEL 1								5,548	513
LEVEL 2								8,413	777
LEVEL 3								6,343	586
LEVEL 8								6,857	634
TOTAL							49%	27,161	2,510
HEIGHT BUILDING		98.4	FT	30.0	M	110.83	FT	33.77	M
						103.75	FT	31.62	M
NUMBER OF STOREY		10				11			
SETBACKS		FT	M	FT	M	FT	M	FT	M
FRONT/NORTH - FORT STREET						0	0.00	12.45	3.79
FRONT/EAST - QUADRA STREET						5.67	1.73	36.20	11.03
FRONT/SOUTH - BROUGHTON STREET						5.41	1.65	40.20	12.25
STREET WALL & SETBACKS (DCAP GUIDELINES FOR NARROW SITES <25 M)									
PRIMARY STREET WALL		SETBACK	LENGTH	HEIGHT		SETBACK	LENGTH	%	HEIGHT
FRONT/NORTH - FORT STREET		0 - 3m	60% min	10 - 15m		0m	233.15	78.3%	8.88m
FRONT/EAST - QUADRA STREET		0 - 3m	60% min	10 - 15m		1.95m	67.41	29.8%	8.88m
FRONT/SOUTH - BROUGHTON STREET		0 - 3m	60% min	10 - 15m		1.65m	119.08	68.6%	25.34-28.59m
SECONDARY STREET WALL		SETBACK	LENGTH	HEIGHT		SETBACK	LENGTH	%	HEIGHT
FRONT/NORTH - FORT STREET		3 -6m	30% min	18 - 25m		3.79m	64.67	21.7%	3.29-19.55m
FRONT/EAST - QUADRA STREET		3 -6m	30% min	18 - 25m		4.24m-11.03m	116.83	51.6%	19.75
FRONT/SOUTH - BROUGHTON STREET		3 -6m	30% min	18 - 25m		6.03-12.25m	47	27.1%	5.02-19.35m
GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M									
FLOOR PLATE LIMITATIONS									
PORTIONS OF BUILDING BELOW 20 M		NA	NA			NA	NA		
PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT		SF	SM			SF	SM		LEVELS 7 AND UP
RESIDENTIAL - FORT BUILDING		10,010	930			5,886	546.8		
RESIDENTIAL - FORT BRIDGE BUILDING		10,010	930			3,098	287.8		
RESIDENTIAL - FORT/QUADRA BUILDING		10,010	930			8,435	783.6		
RESIDENTIAL - QUADRA BRIDGE BUILDING		10,010	930			4,668	433.7		
RESIDENTIAL - BROUGHTON BUILDING		10,010	930			7,415	688.9		REFER TO A004 FOR CALCULATIONS
BUILDING SEPARATION - DCAP GUIDELINES		M	FT			M	FT		
COMMERCIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINE		0	0			0	0		WEST SIDE
RESIDENTIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINE		3	9.84			2.94	9.64		WEST SIDE LEVEL 4
BALCONIES		3.5 M	11.48 FT			NA			
OFF-STREET PARKING									
SENIORS & RESIDENTIAL : P1									
COMMERCIAL/OFFICE/CHILDCARE: LEVEL 1 & P1									
TOTAL PARKING STALLS									REFER TO DETAILED CALCULATIONS ON A002, A200,A201 & TRAFFIC REPORT
LOADING									
SENIORS & RESIDENTIAL				0 STALLS			1	STALLS	
COMMERCIAL				0 STALLS			1	STALLS	
TOTAL LOADING STALLS							2	STALLS	
BICYCLE & SCOOTER PARKING									
SENIORS & RESIDENTIAL									
COMMERCIAL									
TOTAL BICYCLE & RESIDENTIAL STALLS									REFER TO DETAILED CALCULATIONS ON A002 & A202A
GARBAGE / RECYCLING / STORAGE									REQUIREMENTS PROVIDED BY PARC GARBAGE & RECYCLING COLLECTION COMPANY
SENIORS						PROVIDED			
CRU/OFFICE/CHILDCARE						PROVIDED			
NOTES:									
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING									
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS									
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC									

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REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019

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CLIENT

parc retirement living

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

ZONING DATA

SEAL

DRAWING NO.

REVISION

A001

DATE

DRAWN

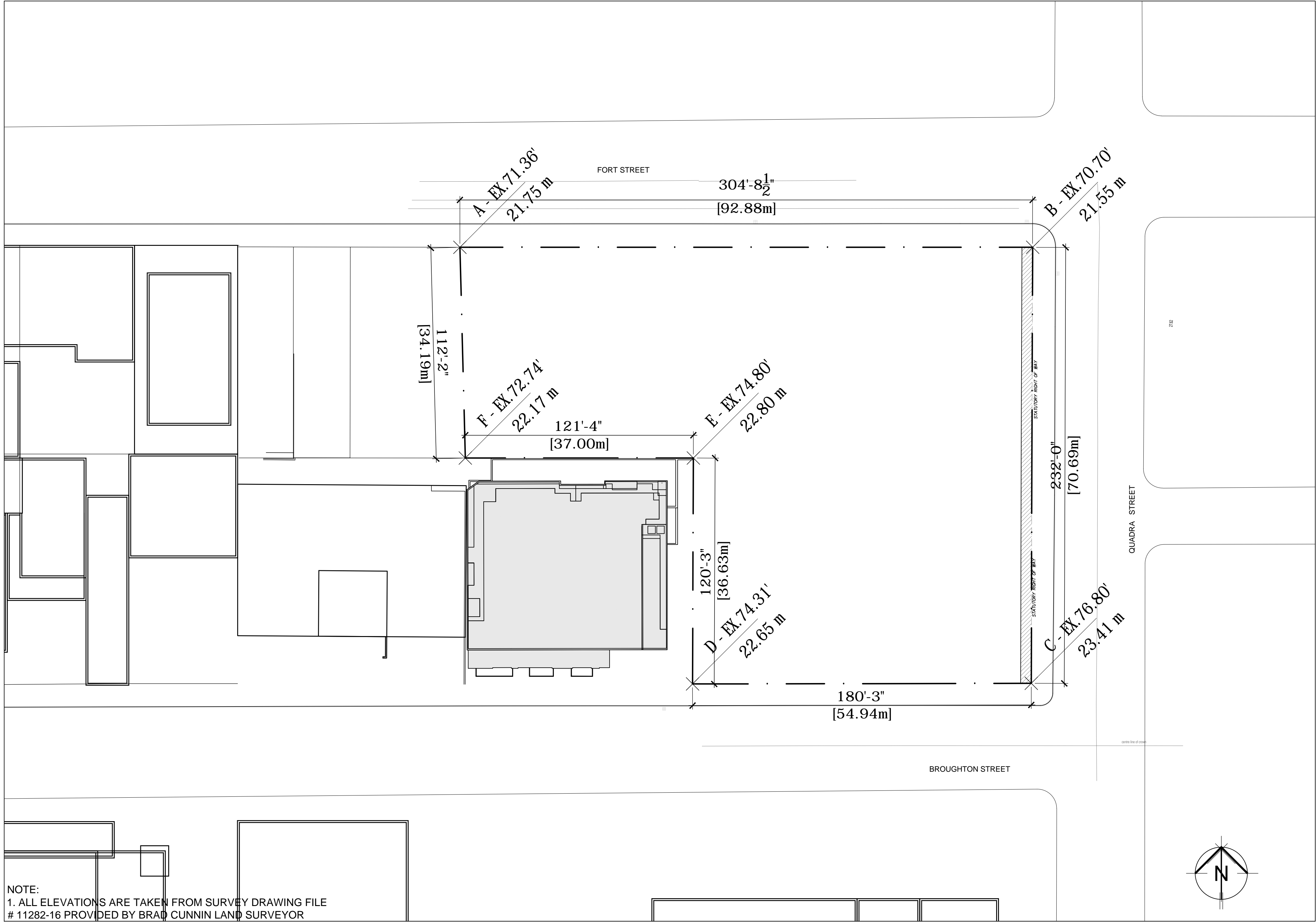
SCALE

CHECKED









AVERAGE NATURAL EXISTING & FINISHED GRADE CALCULATIONS							
Point	Elev. (ft)	Point	Elev. (ft)	Segment	Average Elevation	Length (ft)	Elevation x Length = Z
A	71.36	B	70.70	AB	71.03	304.71	21643.55
B	70.70	C	76.80	BC	73.75	232.00	17110.00
C	76.80	D	74.31	CD	75.56	180.25	13618.79
D	74.31	E	74.80	DE	74.56	120.25	8965.24
E	74.80	F	72.74	EF	73.77	121.33	8950.51
F	72.74	A	71.36	FA	72.05	112.17	8081.85
				TOTAL		TOTAL LENGTH	Total 'Z'
					440.7	1070.71	78369.94
				AVERAGE NATURAL EXISTING GRADE	73.19		
				MAXIMUM HEIGHT A.N.E.G.+ 98.43' =	171.62		

RESIDENTIAL UNIT SUMMARY																			
		LEVEL																	
UNIT TYPE	AREA (SF)	1	2	3	4	5	6	7	8	9	10	BLDG SUB-TOTAL	BATH TYPE	KITCHEN TYPE	BALCONY TYPE*	SUB-TOTAL	%	NOTES	
STUDIO																			
A1	425		1												N	1		AFFORDABLE	
A2	392			1	1	1	1	1	1						N	6		AFFORDABLE ON LEVEL 3-7	
A3	631			1											N	1			
A4	291		1												N	1			
A5	386				2	2	2								N	6		INTERGENERATIONAL & AFFORDABLE	
SUB-TOTAL		0	2	2	3	3	3	1	1	0	0	15				15	5.6%		
1 BEDROOM																			
B1	670										1				T	1			
B2	666		1	1	1	1	1								B	5			
B3	528			1	1	1	1	1	1	1					J	7		INTERGENERATIONAL	
B4	586			2	2	2	2	2	2	2					J	14			
B5	608			1	1	1	1	1	1	1					B	6			
B6	583			1											N	1			
B7	568			3	3	3	3								J	12			
B8	538			1	1	1	1	1	1	1					J	7			
B9	730			1	1	1	1	1	1	1					B	7		INTERGENERATIONAL	
B10	630			1	1	1	1	1	1	1					B	7		INTERGENERATIONAL	
B11	455			1	1	1	1	1							N	5		AFFORDABLE ON LEVEL 3-6	
B12	434										1				T	1		INTERGENERATIONAL	
B13	699										1				T	1			
B14	601			3	3	3	3	3	3	3					N	21		INTERGENERATIONAL IN FORT MID-RISE BUILDING (14 UNITS)	
B15	718									1					B	1			
B16	767									1					T	1			
B17	555								1						N	1			
B18	425										1				T	1		INTERGENERATIONAL	
B19	486										3				T	3			
B20	509										2				T	2		INTERGENERATIONAL	
B21	605										1				T	1			
B22	568										1				T	1			
B23	580			1	1	1	1	1	1	1					N	7		INTERGENERATIONAL	
B24	636									1					N	1			
B25	767								1						B	1			
B26	699										1				T	1			
B27	621							2							T	2			
SUB-TOTAL		0	1	17	16	16	16	14	13	13	12	118				118	44.0%		
1 BEDROOM + FELX																			
C1	708		5	5	5	5	5								B	25			
C2	690							1							T	1			
C3																0		RESERVED	
C4	639			2	2	2	2								B	8			
C5																0		RESERVED	
C6	701			1	1	1	1	1	1	1					B	7		INTERGENERATIONAL	
C7	770			1	1	1	1	1	1	1					N	7			
SUB-TOTAL		0	5	9	9	9	9	9	3	2	2	0	48			48	17.9%		
2 BEDROOM																			
D1	814		1	1	1	1	1	1	1	1					B	8			
D2	886		1	1	1	1	1	1	1						B	7			
D3	855			1	1	1	1	1	1	1					J	6			
D4	890		1	1	1	1	1	1	1	1					B	8			
D5	978			2	2	2	2								B	8			
D6	1054				1										B	1			
D7	802							1	1						B	2			
D8																0		RESERVED	
D9	779							2							T	2			
D10	911							2							T	2			
D11	690							1							T	1			
D12	716										1				T	1			
D13	718										1				T	1			
D14	756										1				T	1		INTERGENERATIONAL	
D15	727										1				T	1		INTERGENERATIONAL	
D16	870										1				T	1			
D17	935										1				T	1			
D18	889										1				T	1			
D19	828			1	1	1	1	1	1	1					N	7			
D20	589			1	1	1	1	1	1	1					B	7			
D21	657									1	1				N	2			
D22	844							1							T	1			
D23	896		1	1	1	1	1								N	5			
D24	816										1				J	1			
D25	776			1											N	1		INTERGENERATIONAL	
D26	755			1											N	1		INTERGENERATIONAL	
D27	737									1					J	1			
D28	1081			1											N	1			
SUB-TOTAL		0	5	11	10	9	9	13	8	7	7	79				79	29.5%		
2 BEDROOM + FLEX																			
E1	928			1	1	1	1								N	4			
E2	1230					1	1								B	2			
SUB-TOTAL		0	0	1	1	2	2	0	0	0	0	6				6	2.2%		
3 BEDROOM																			
F1	1339							1							T	1			
F2	1439									1					J & T	1			
SUB-TOTAL		0	0	0	0	0	0	1	0	1	0	2				2	0.7%		
TOTAL		0	13	40	39	39	39	32	24	23	19	268				268	100%		
*BALCONY TYPES: N - NONE, B - BALCONY, T - ROOF TERRACE, J - JULIET																			
NOTE: ALL UNIT AREA CALCULATIONS ARE APPROXIMATE. 61 INTERGENERATIONAL UNITS ARE DESIGNATED IN NORTHGWEST BUILDING. 16 AFFORDABLE UNITS ARE DESIGNATED (1XA1, 5XA2, 6XA5, 4XB11)																			

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CLIENT

parc

retirement

living

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

PROJECT STATISTICS

SEAL

DRAWING NO.

REVISION

A003

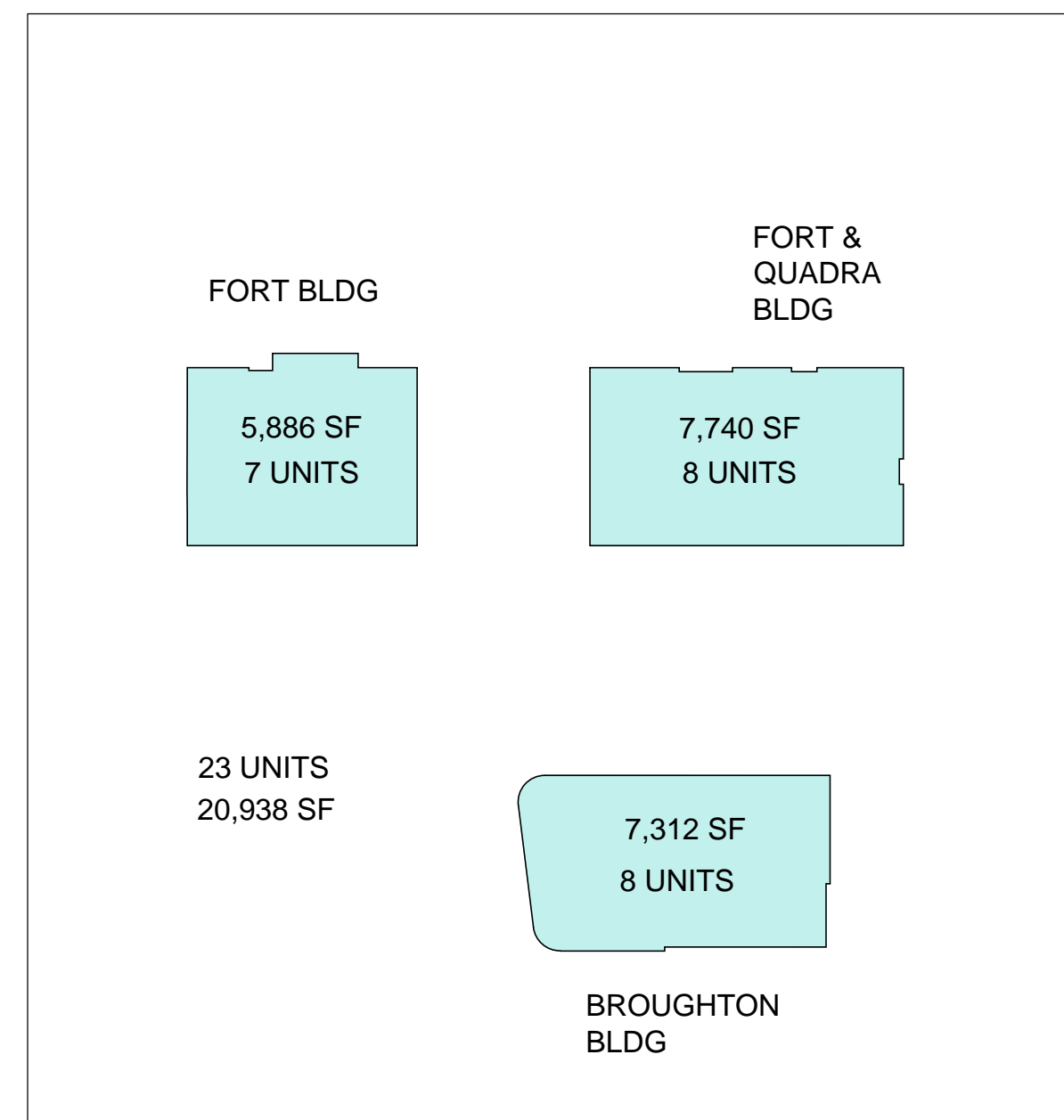
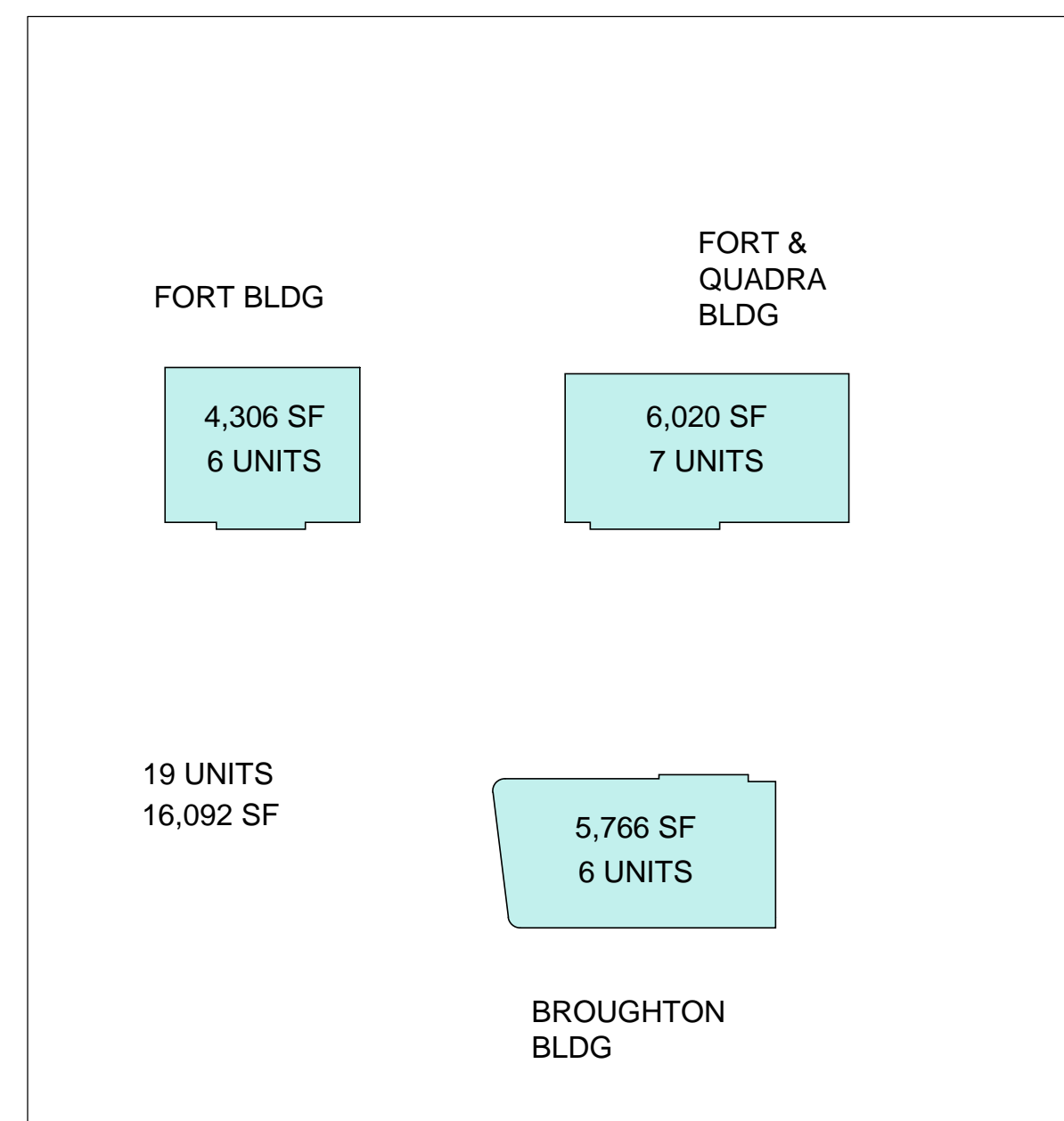
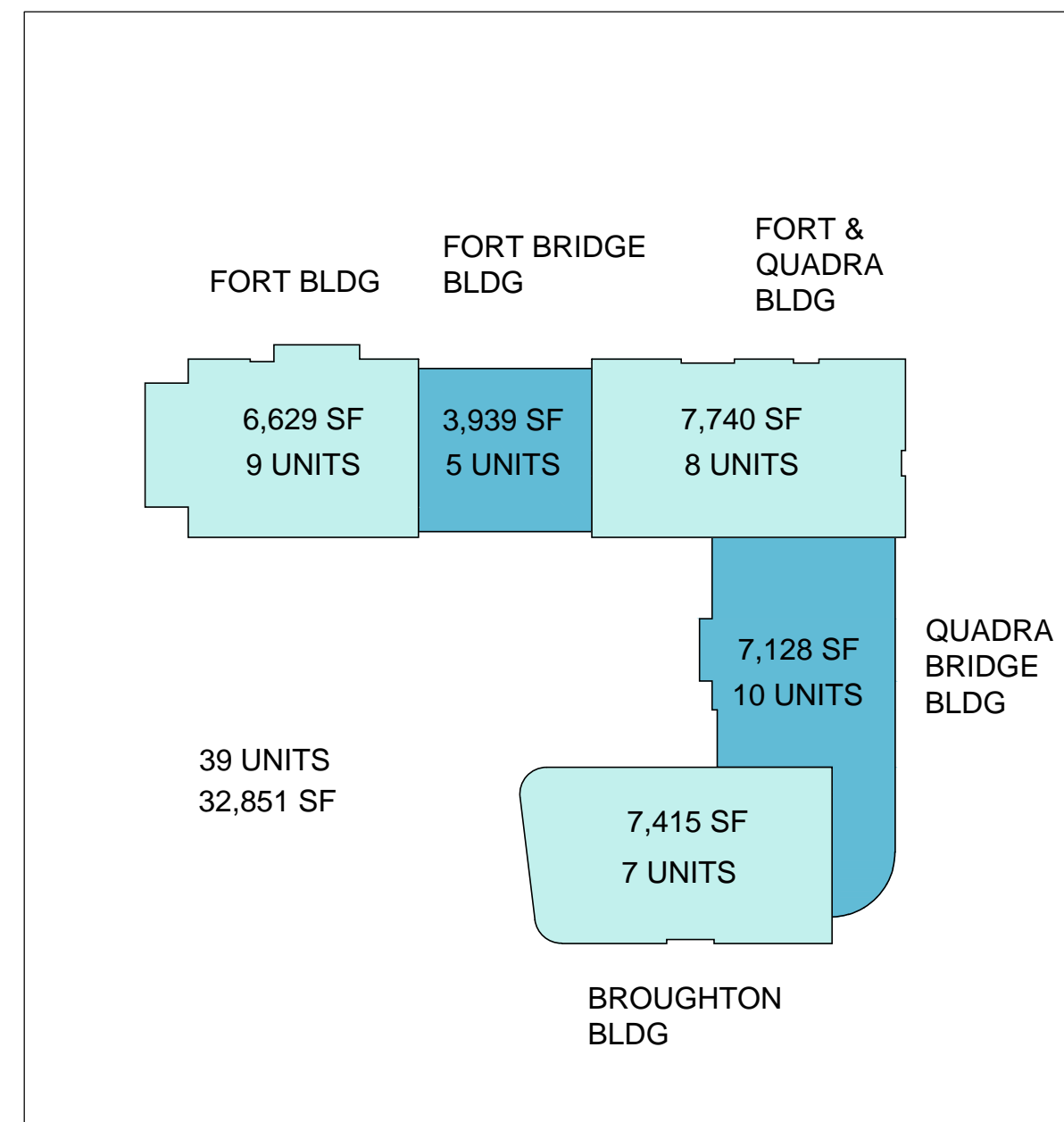
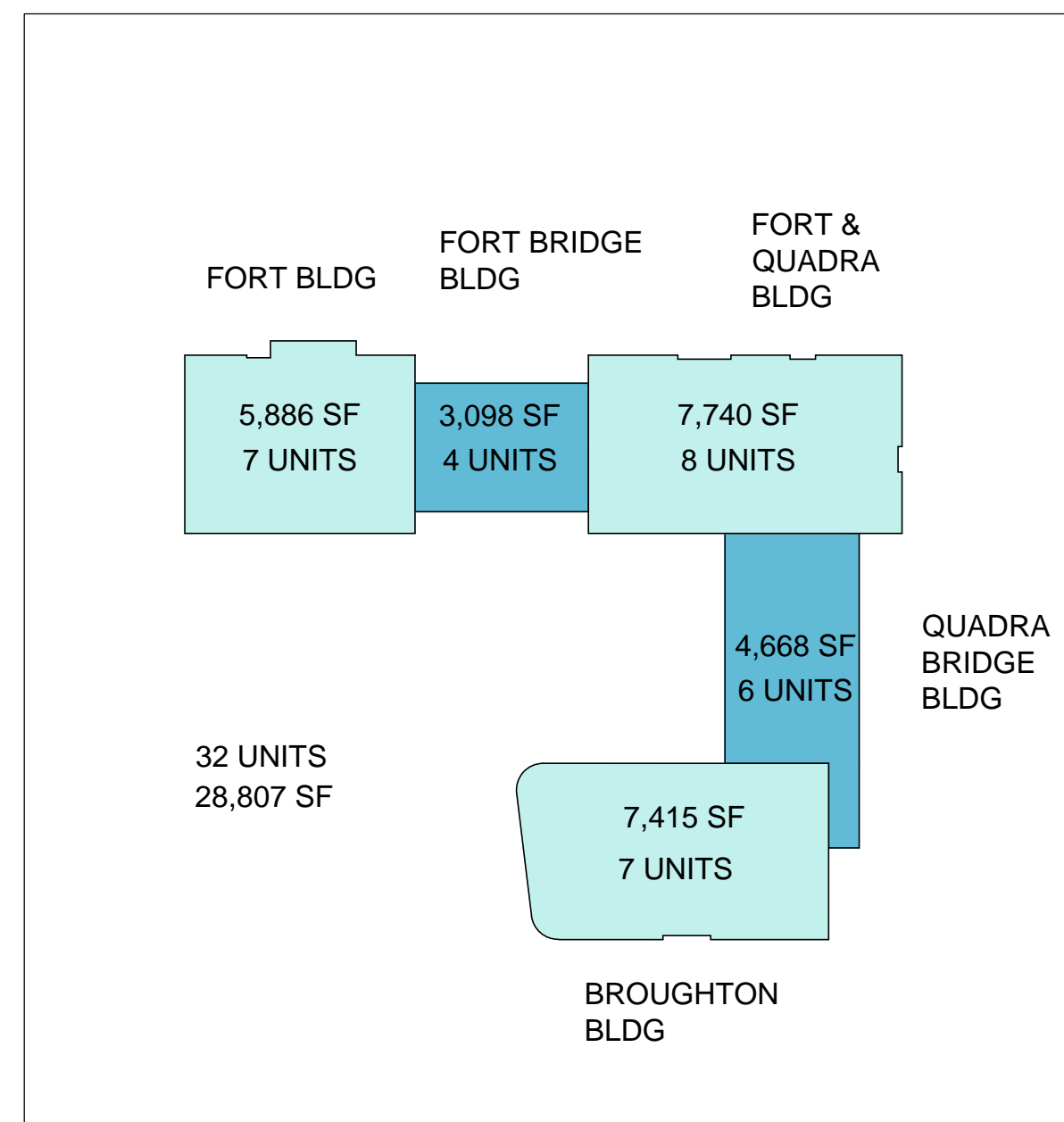
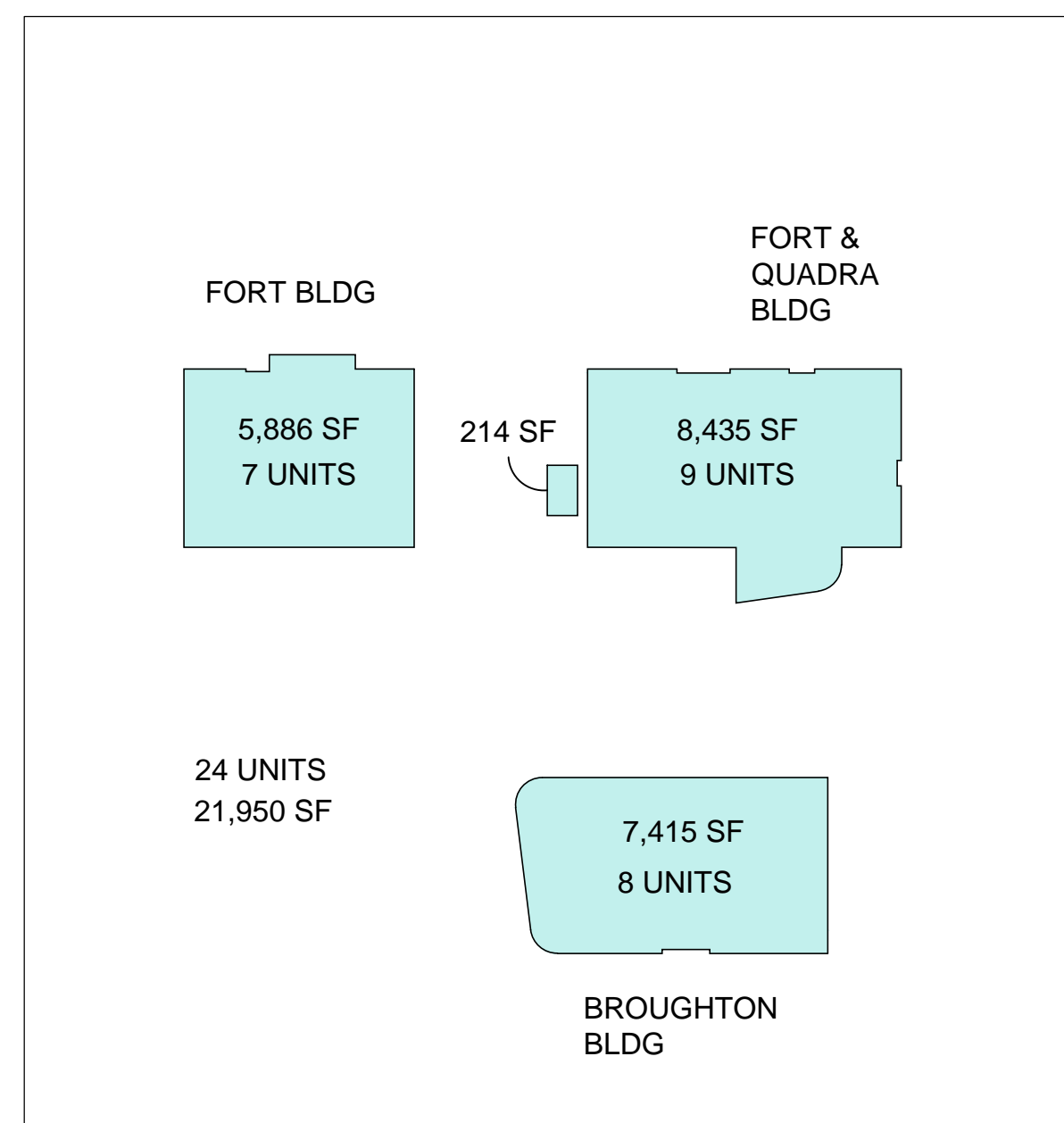
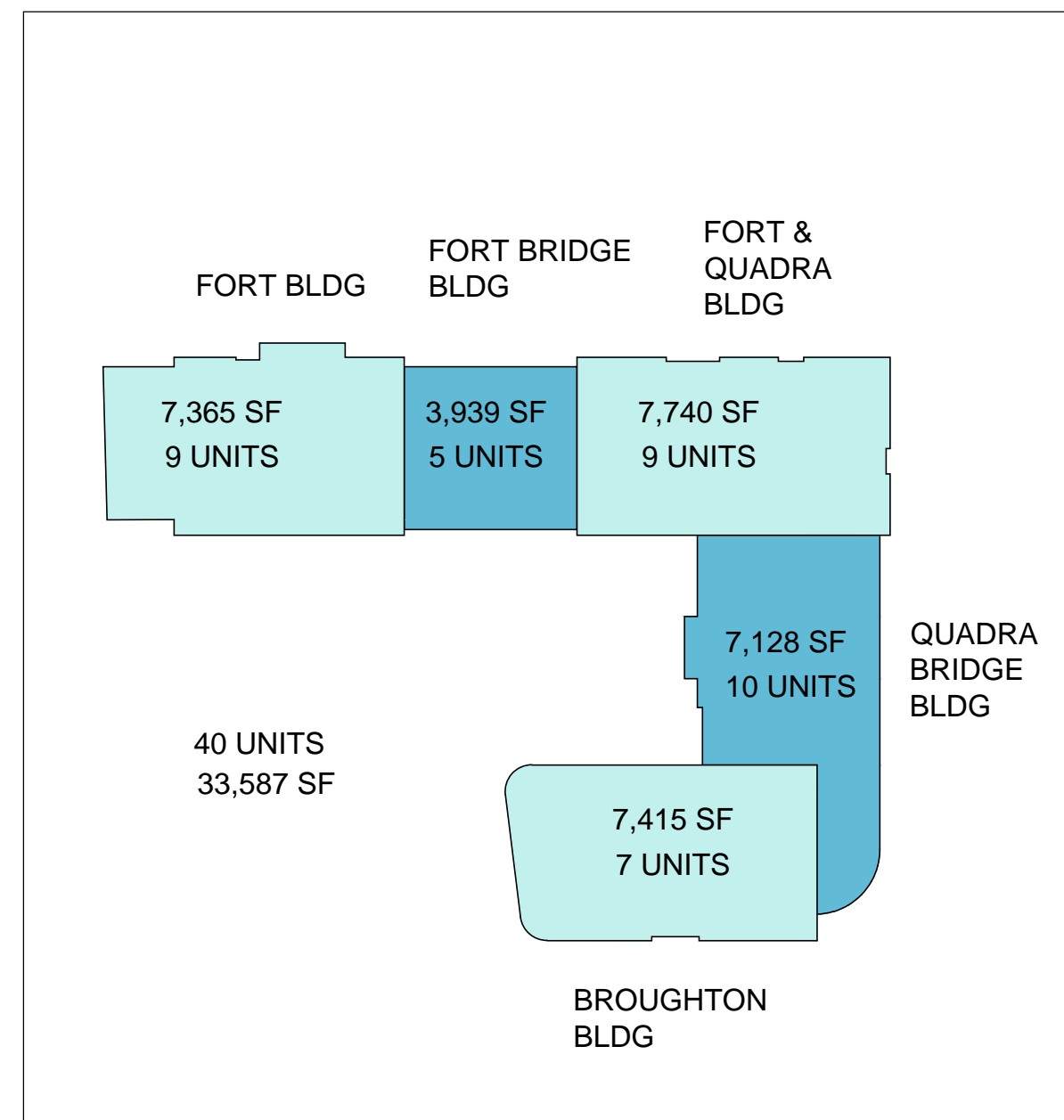
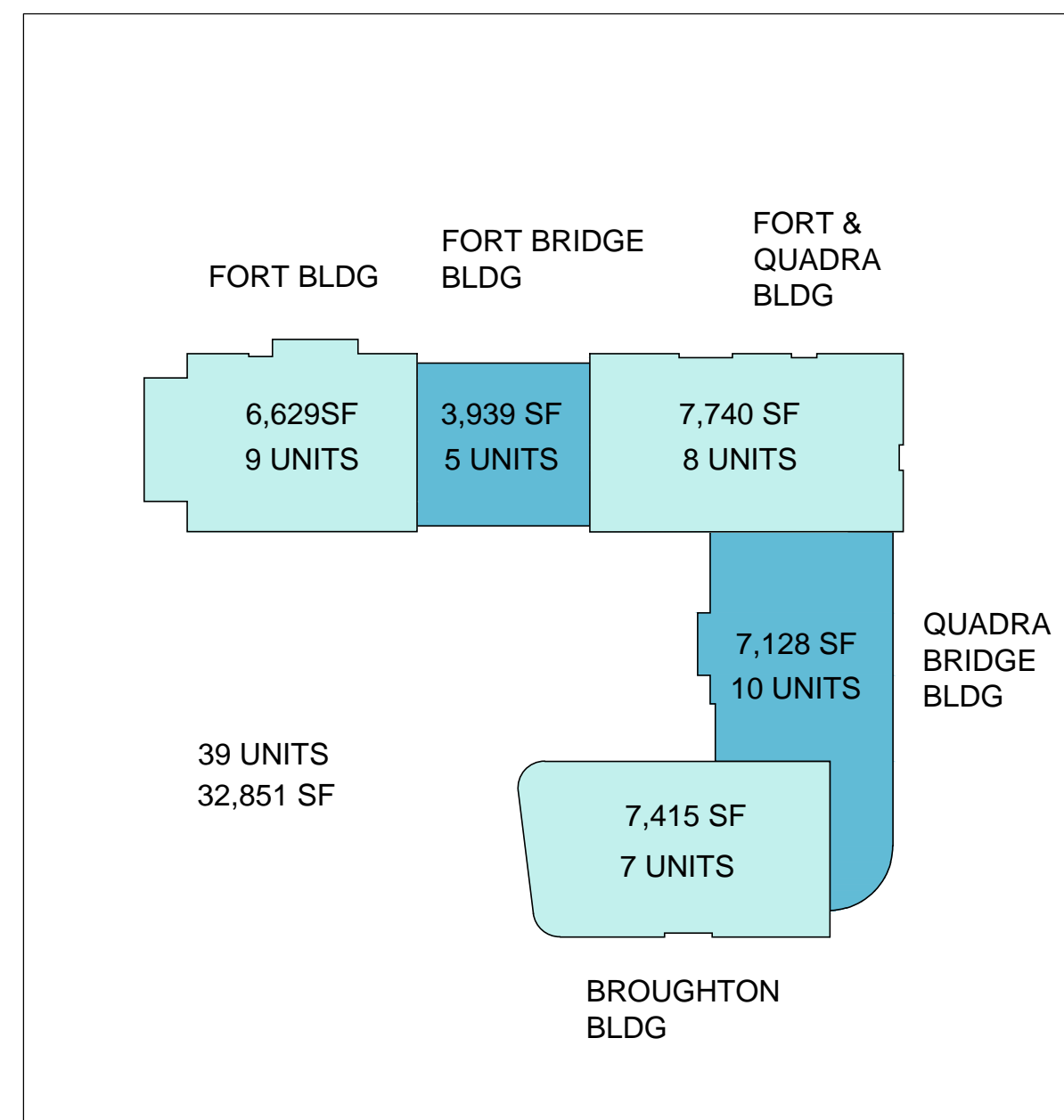
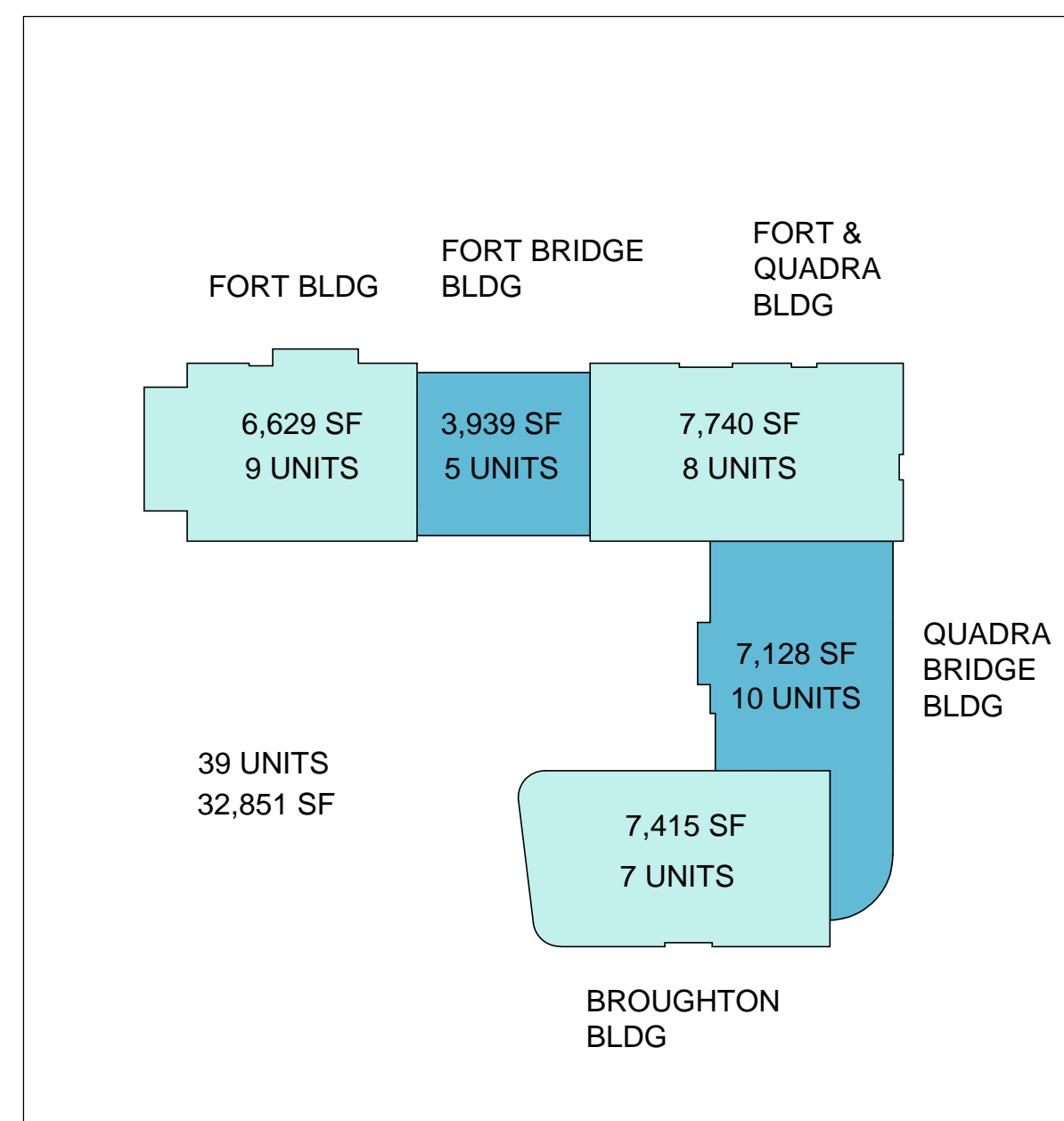
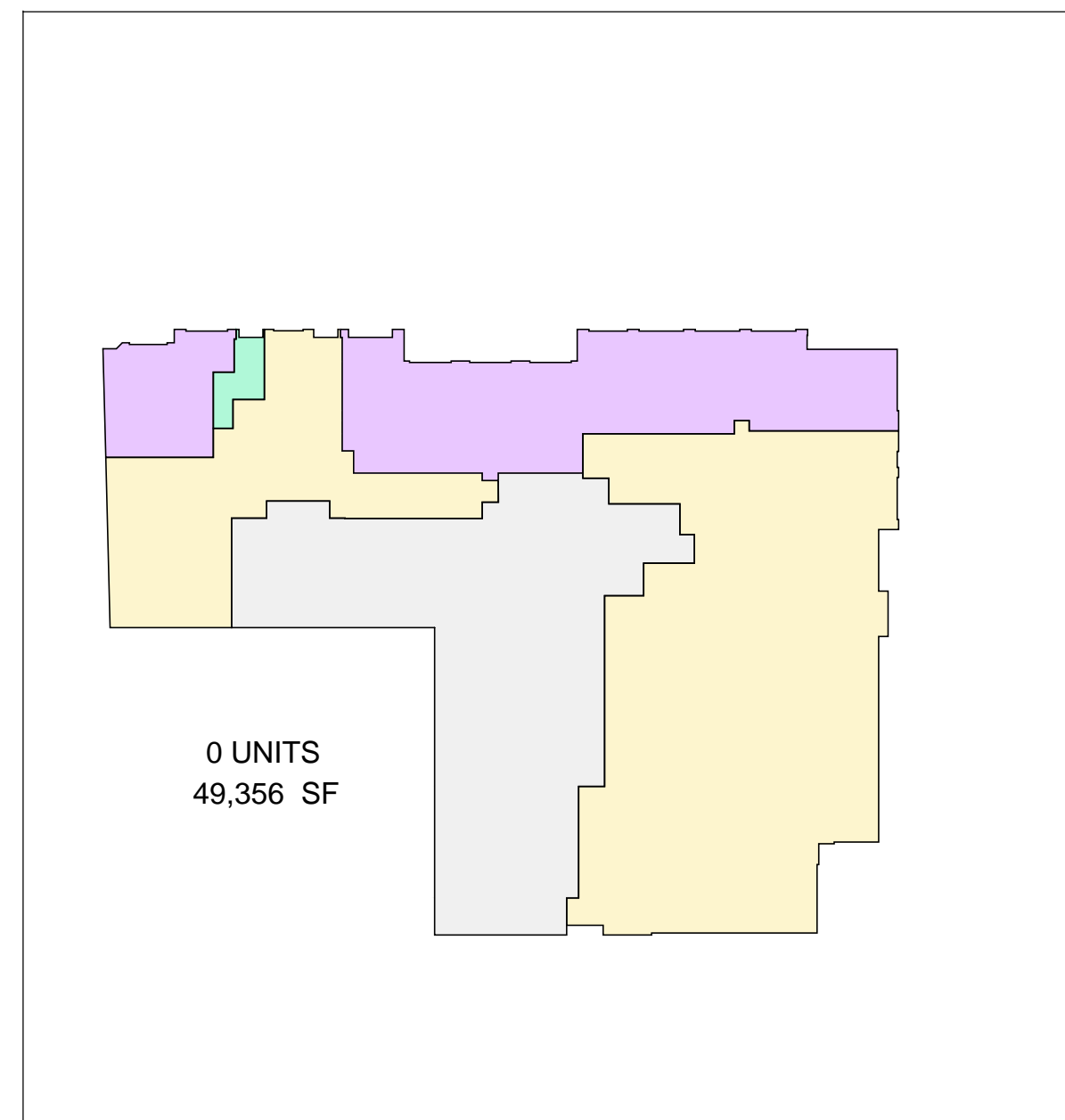
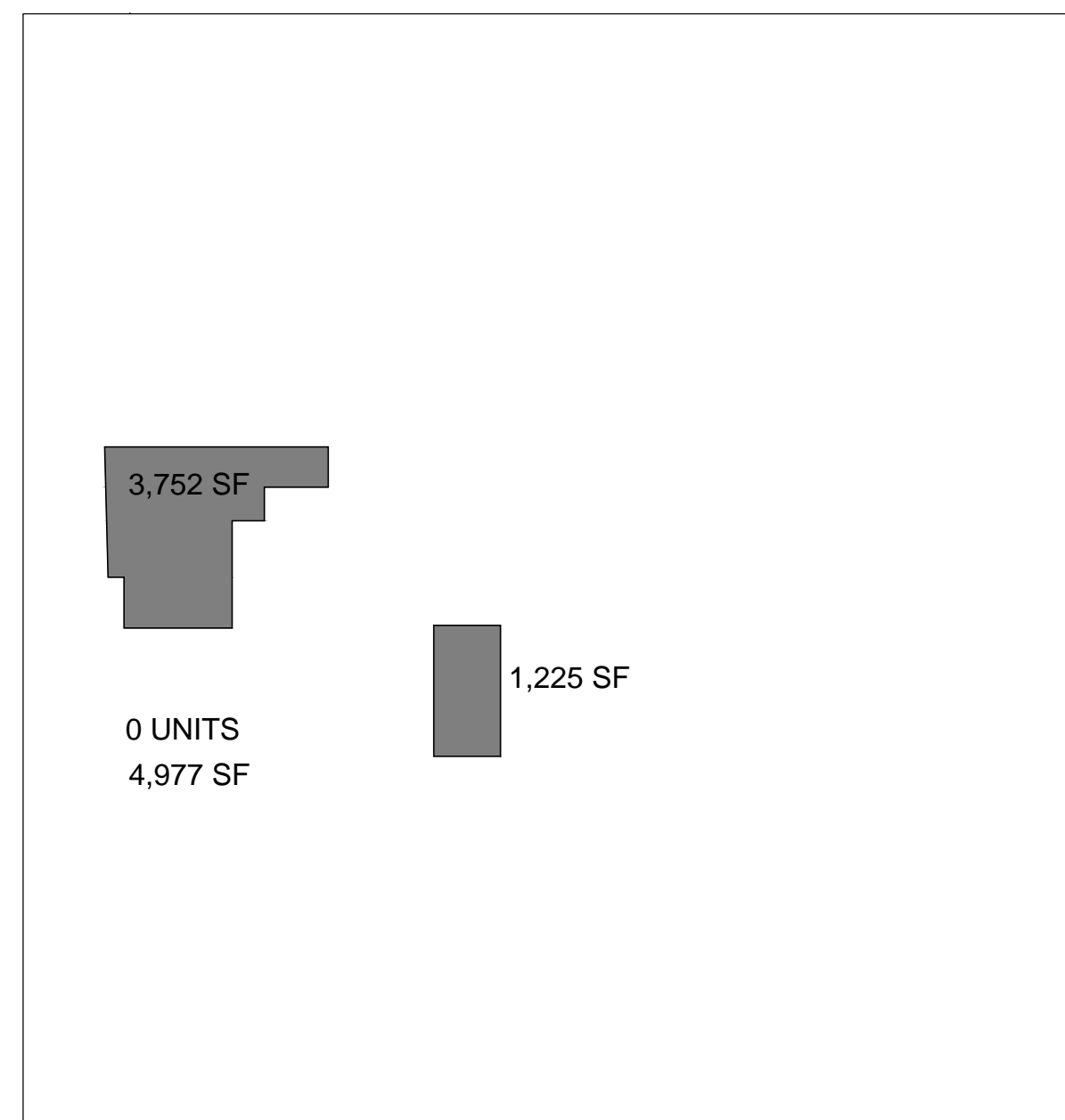
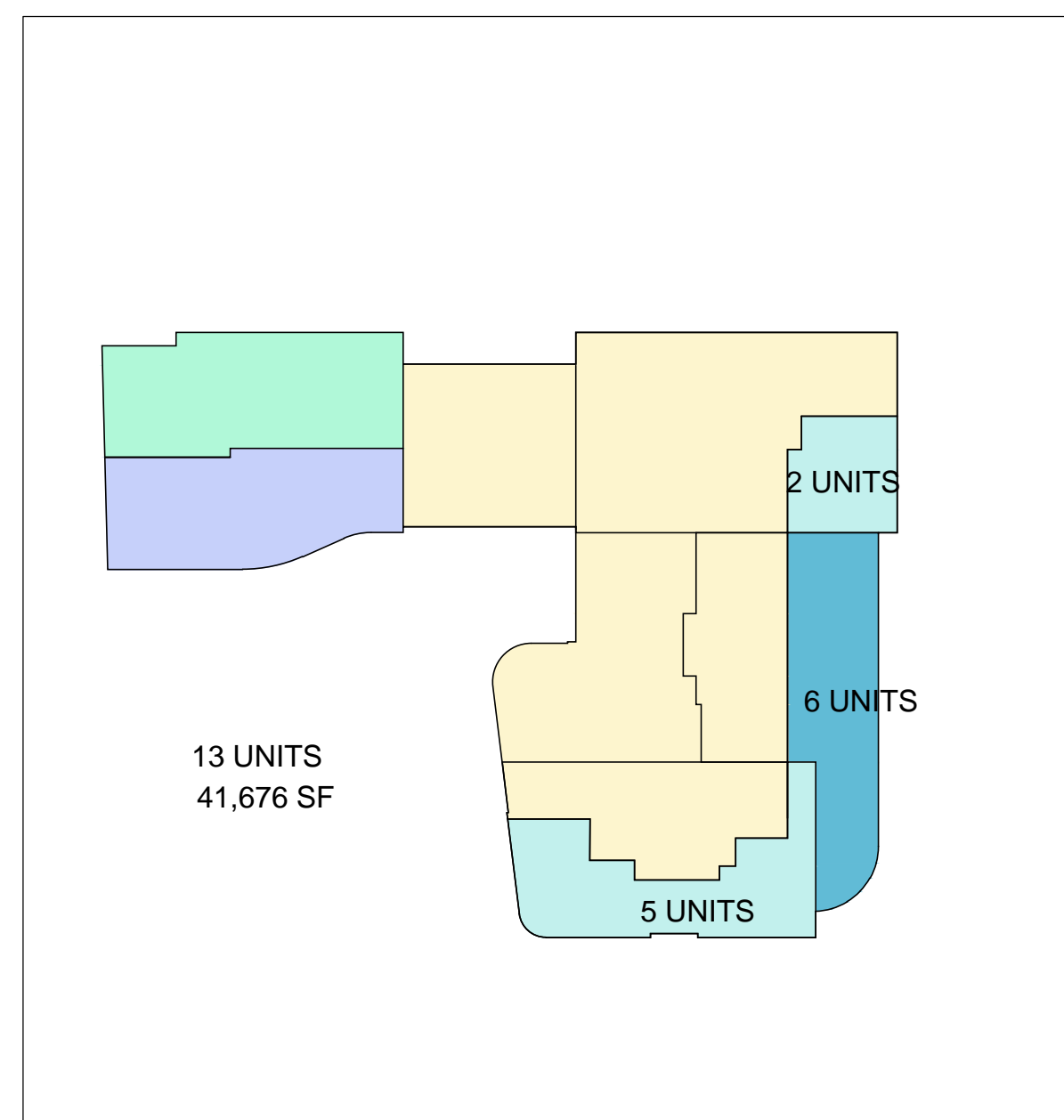
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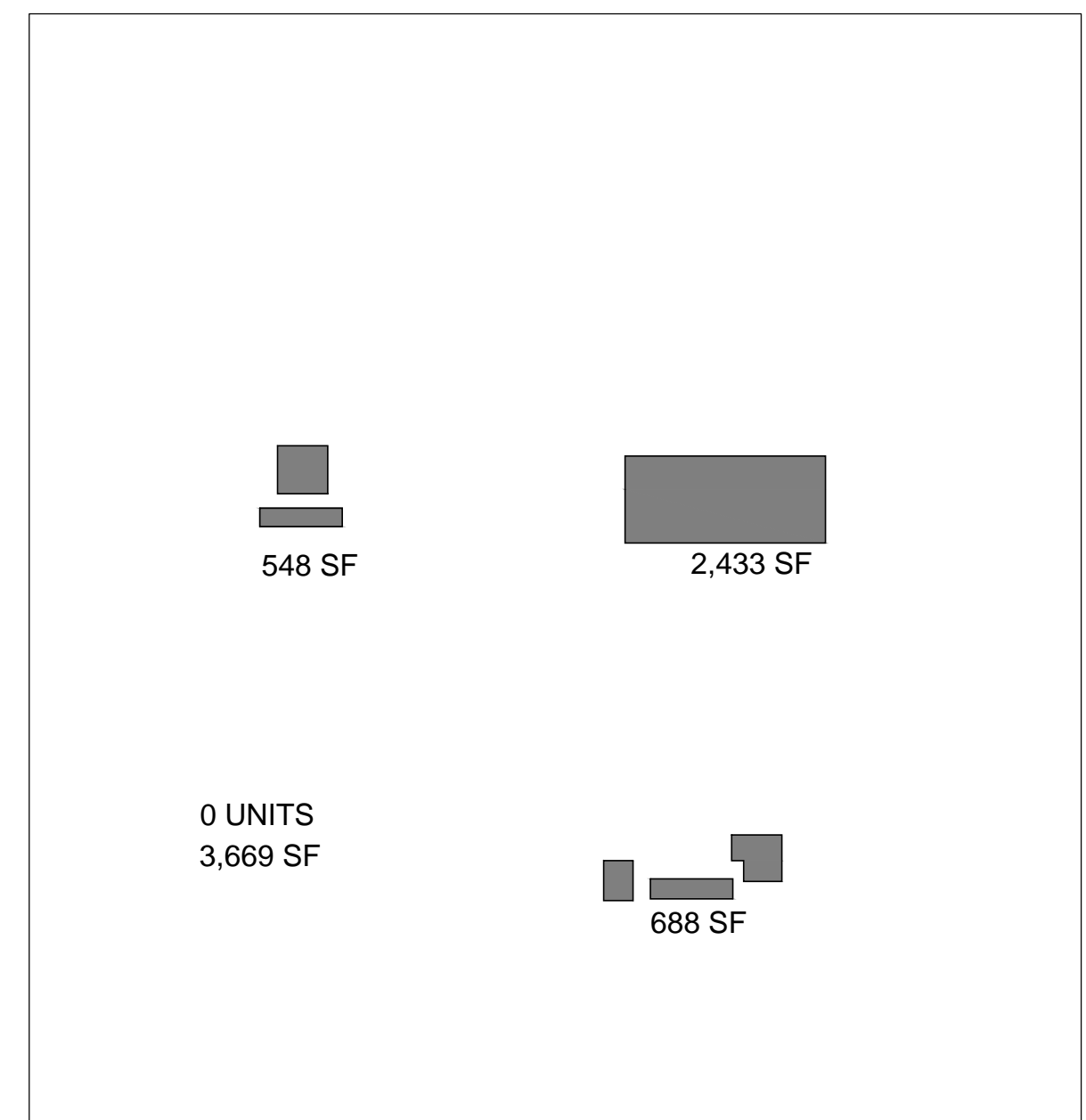
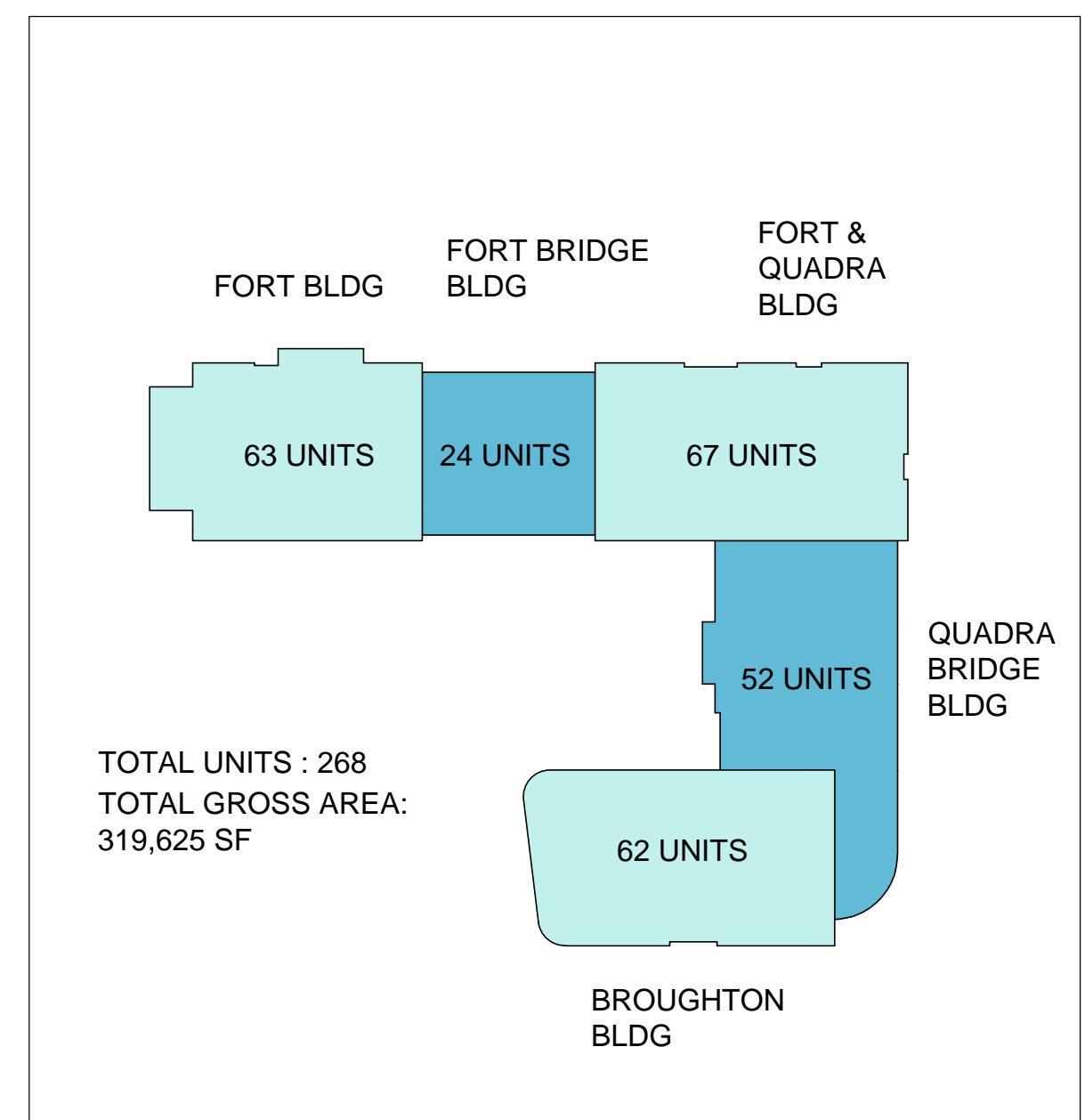
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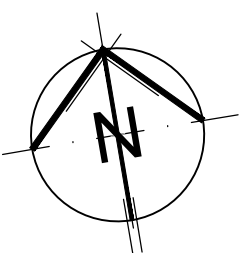
BUILDING BREAKDOWN FLOOR AREA CALCULATIONS						
LEVEL	FORT BUILDING (SF)	FORT BRIDGE BUILDING (SF)	FORT / QUADRA BUILDING (SF)	QUADRA BRIDGE BUILDING (SF)	BROUGHTON BUILDING (SF)	TOTAL
1	49,356					49,356
MECHANICAL	4,977					4,977
2	9,315	3,939	9,017	11,990	7,415	41,676
3	7,365	3,939	7,740	7,128	7,415	33,587
4	6,629	3,939	7,740	7,128	7,415	32,851
5	6,629	3,939	7,740	7,128	7,415	32,851
6	6,629	3,939	7,740	7,128	7,415	32,851
7	5,886	3,098	7,740	4,668	7,415	28,807
8	5,886	214	8,435	0	7,415	21,950
9	5,886	0	7,740	0	7,312	20,938
10	4,306	0	6,020	0	5,766	16,092
ROOF	548	0	2,433	0	688	3,669
TOTAL						319,605



REVISIONS	
NO.	DESCRIPTION
	ISSUED FOR REZONING & DP
	18 SEP 2017
	RE-ISSUED FOR REZONING & DP
	20 FEB 2018
	RE-ISSUED FOR ADP
	02 APR 2018
	RE-ISSUED FOR REZONING & DP
	16 JAN 2019
	RE-ISSUED FOR ADP
	24 APR 2019
	RE-ISSUED FOR REZONING & DP
	29 MAY 2019

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**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

## AREA DIAGRAMS

SEAL

REVISION

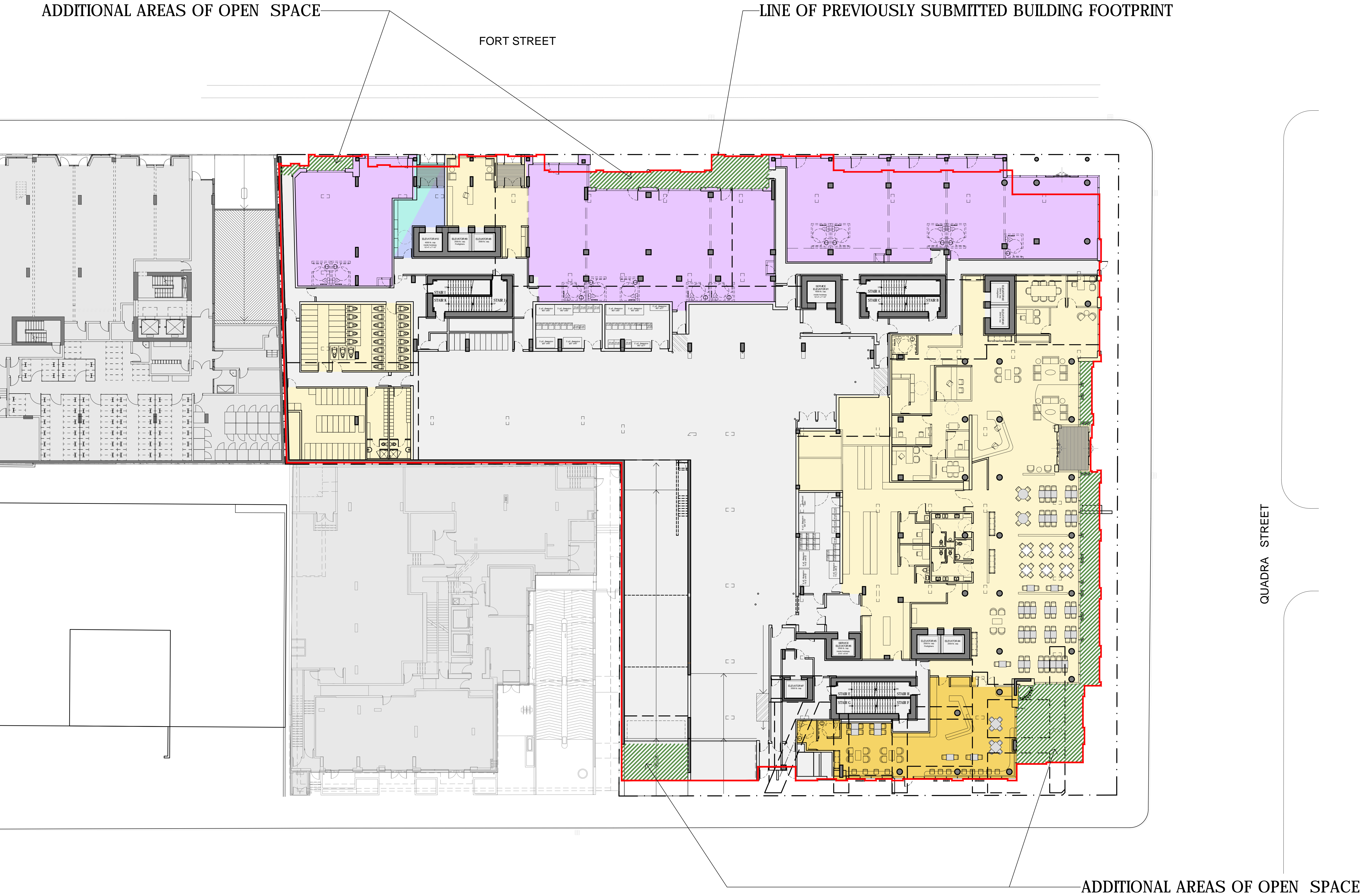
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DATE  
APR 2017

DRAWN

SCALE  
1/64" = 1'-0"

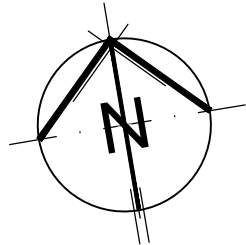




REVISIONS

NO.	DESCRIPTION	DATE
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**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE  
**COMPARISON  
DIAGRAM - LEVEL 1**

SEAL

DRAWING NO.  
A005

DATE  
APR 2017

SCALE  
1/16" = 1'-0"







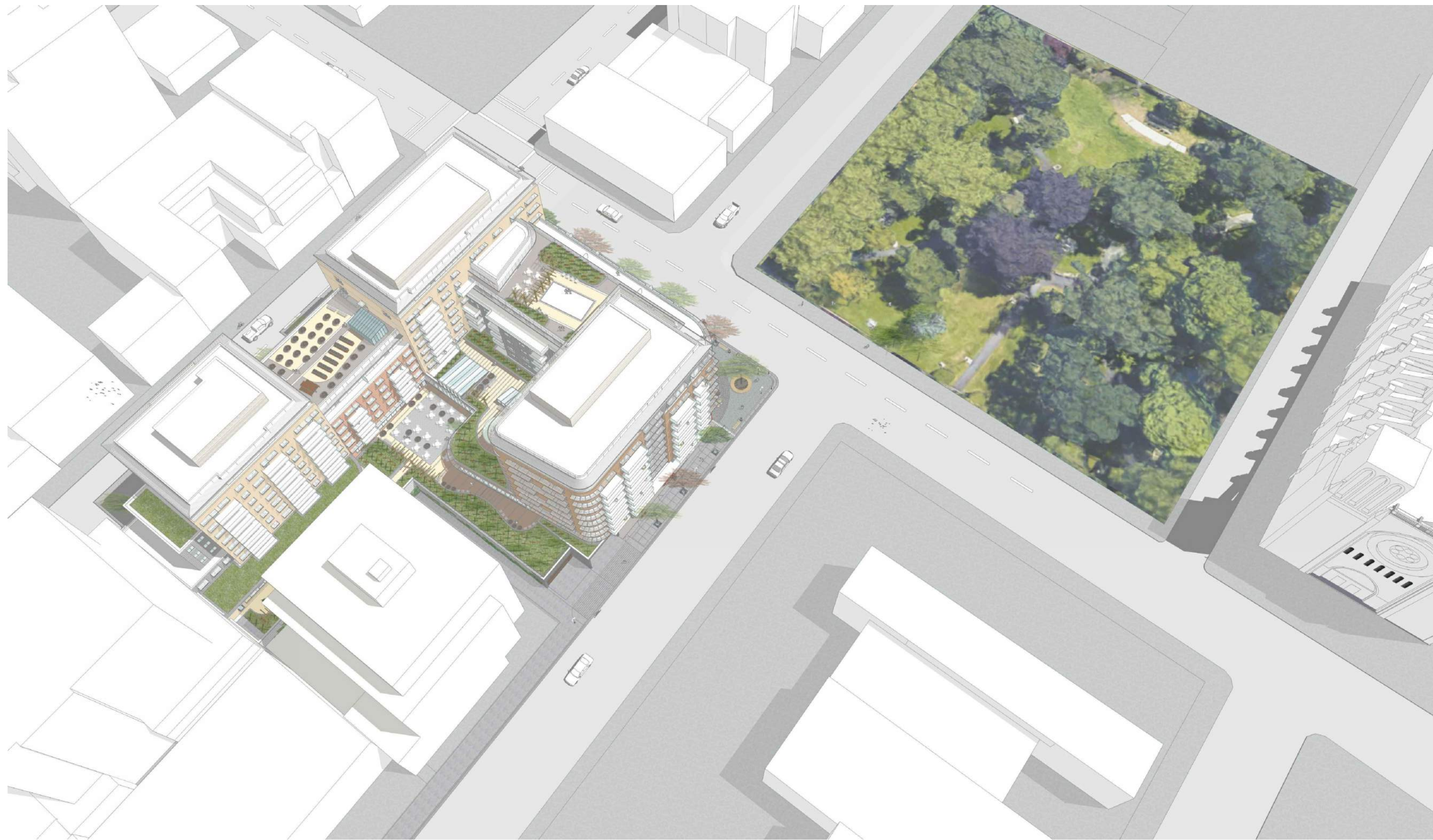


1 VIEW OF BUILDING SOUTH-EAST FROM PIONEER SQUARE



2 VIEW OF "GREEN CORRIDOR" & SOUTH-WEST VIEW FROM BROUGHTON STREET









1 VIEW OF BROUGHTON AND QUADRA CORNER



2 VIEW OF CAFE ENTRANCE AT BROUGHTON



3 VIEW OF URBAN CAFE CORNER AT BROUGHTON AND QUADRA



4 VIEW OF MAIN ENTRANCE AT QUADRA

REVISIONS

NO.	DESCRIPTION	DATE
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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

3D PERSPECTIVES

SEAL

DRAWING NO.

REVISION

**A009**

DATE

DRAWN

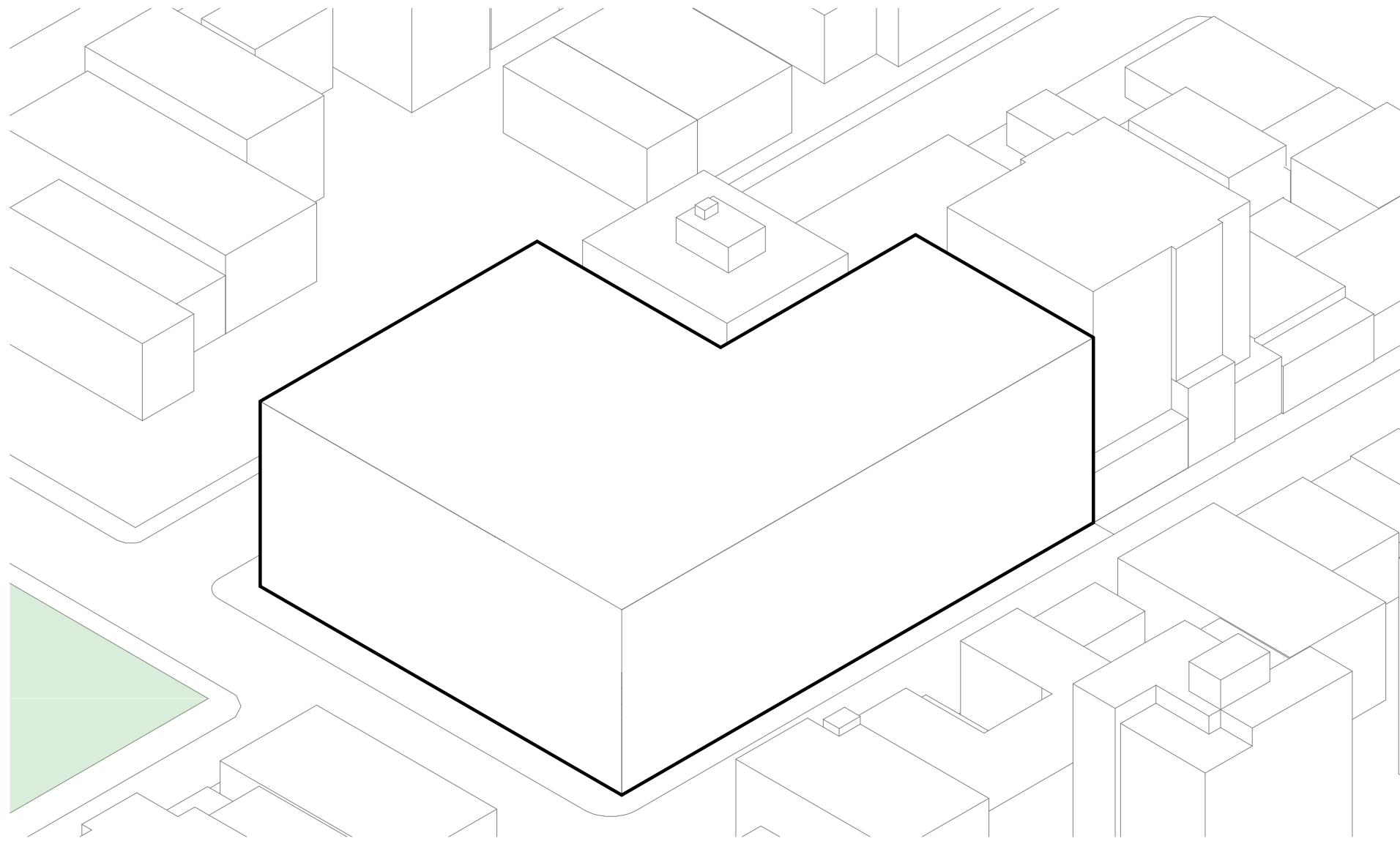
APR 2017

SCALE

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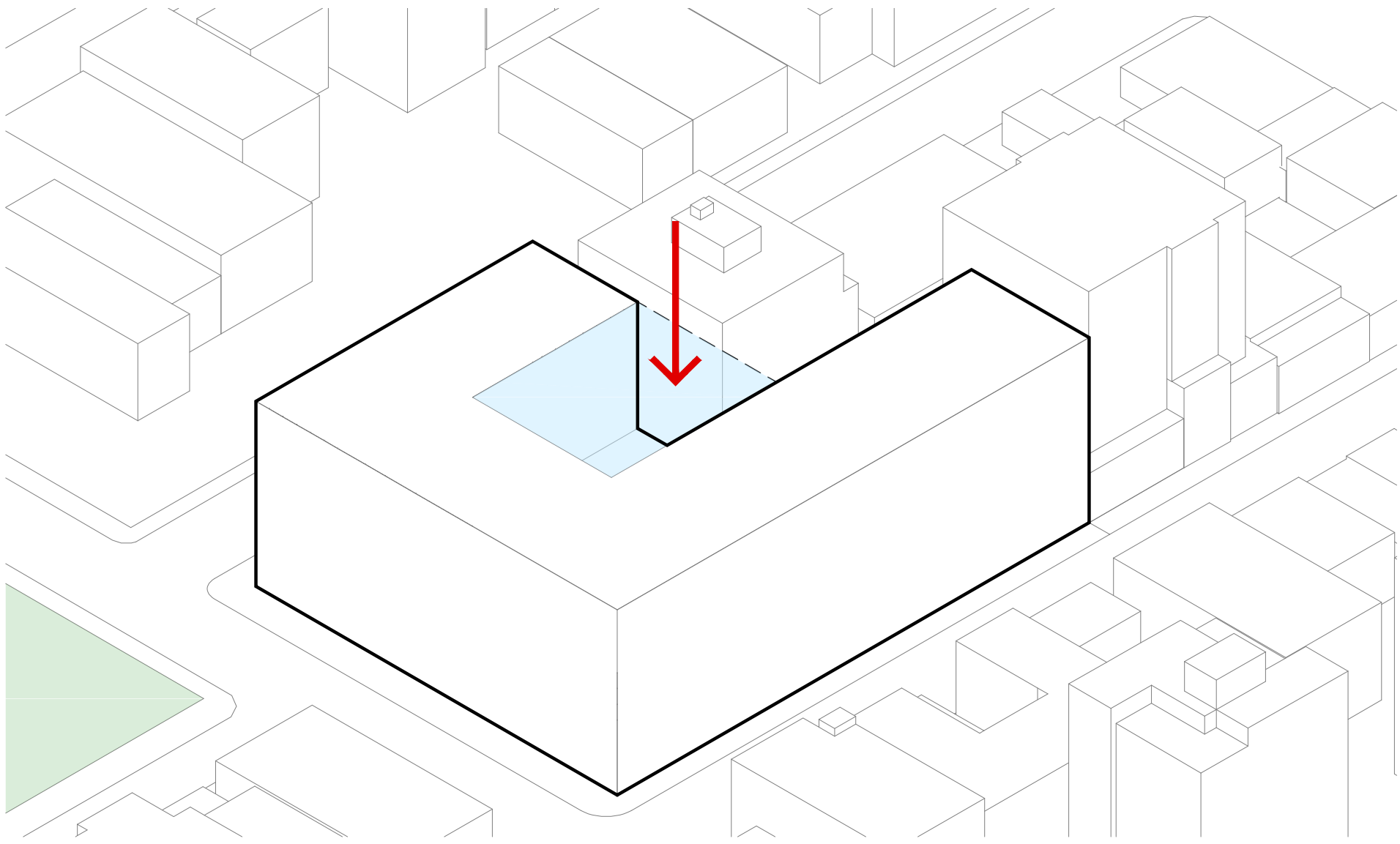
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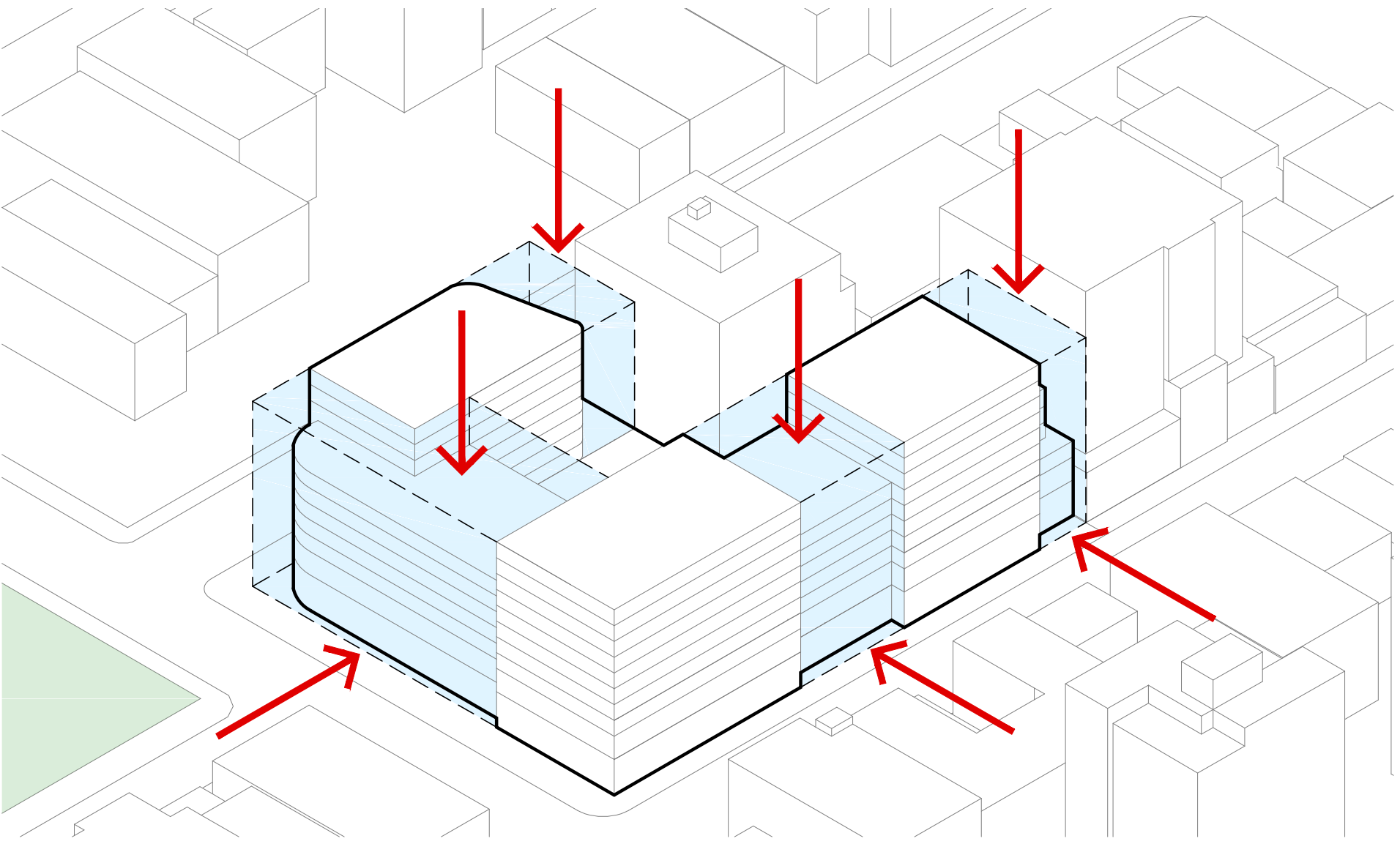
INITIAL MASSING POTENTIAL

Initial massing is created by taking the site footprint and extruding it up 30 m.



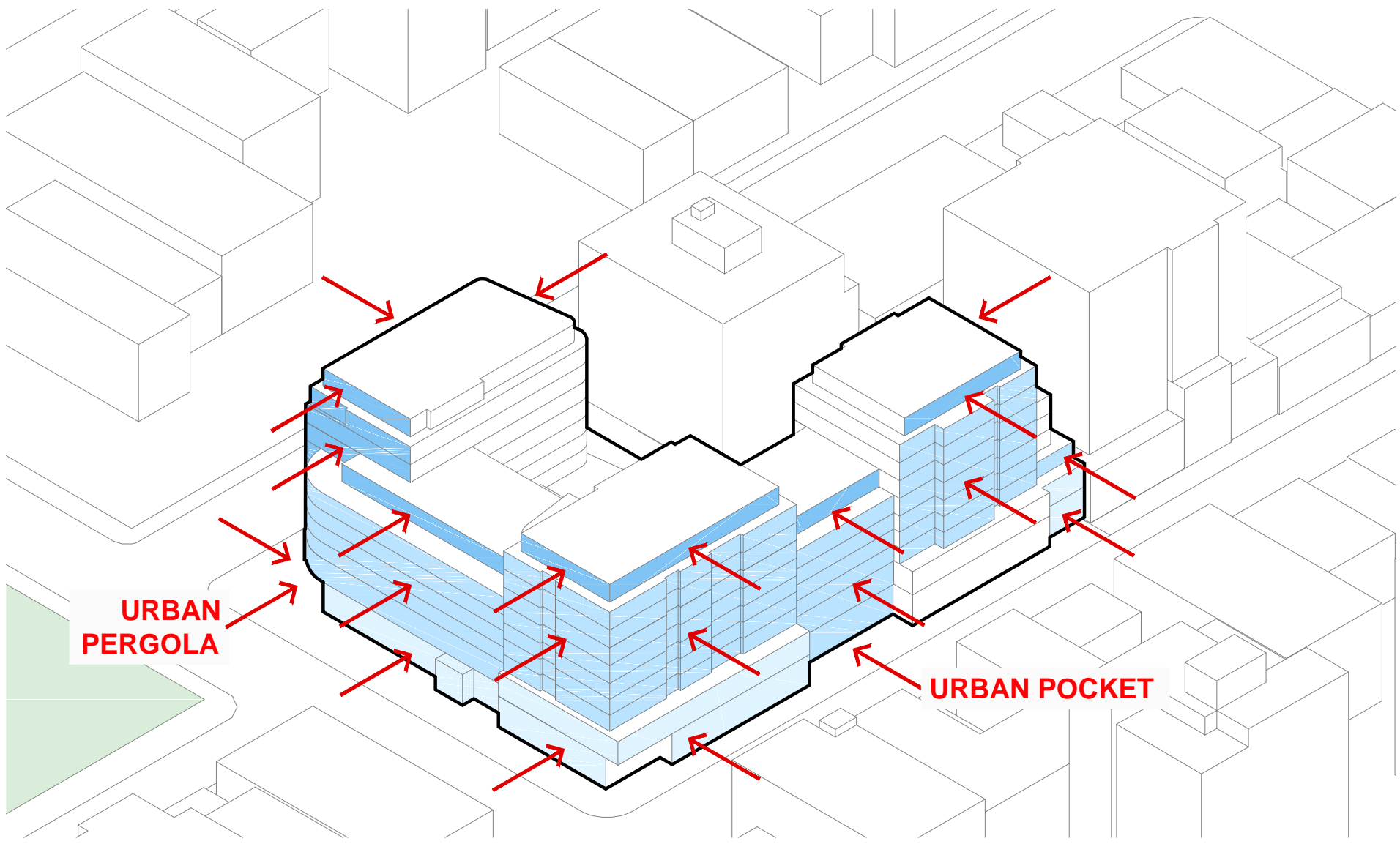
INTERNAL COURTYARD

An internal courtyard is created following extraction from the center of the initial massing.



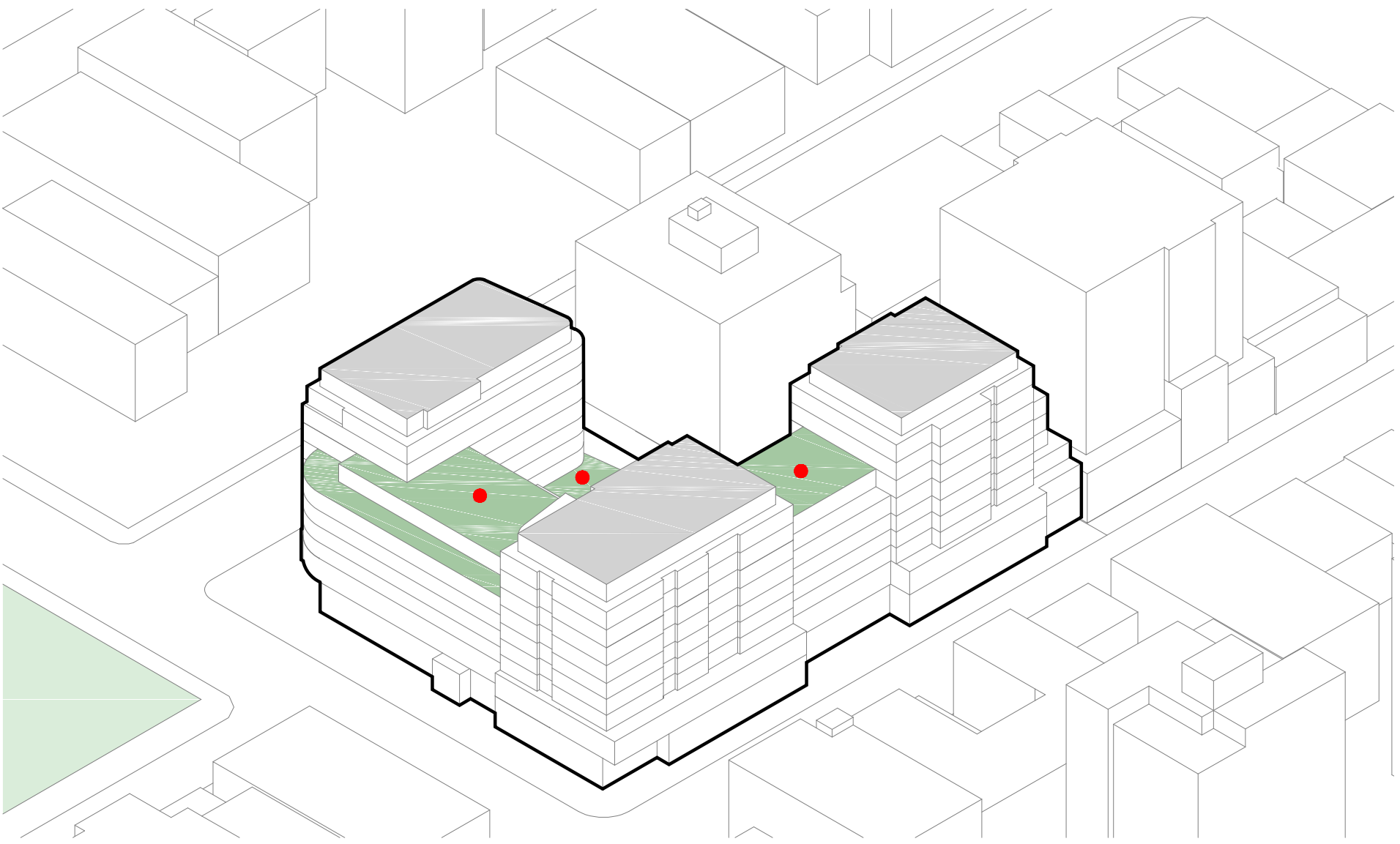
CARVE

The massing is carved in response to context to create view corridors and a sense of openness through the site.



STEPPED SETBACKS

The building is stepped back in response to City of Victoria guidelines and policies including the Downtown Core Area Plan as well as site context and existing and future urban fabric, creating a facade that acknowledges the scale of the neighbourhood. The southeast corner is articulated in reference to Pioneer Square and Christ Church Cathedral across the street.



GREEN ROOFS

Carving and mass reduction provide the opportunity for terraced green roofs. Rooftop amenity spaces offer residents the ability to enjoy year-round activities. These amenities will be accessible to the public at certain times of the day.

- Potential roof top PV panels / solar hot water collector
- Accessible green roof
- Roof top Amenity

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Vancouver, BC V6C 2G8

www.bfstudioarchitects.com

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PROJECT NO.

17420

PROJECT

PARC VICTORIA

Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

FORM OF DEVELOPMENT - MASSING

SEAL

DRAWING NO.

REVISION

A010

DATE

APR 2017

SCALE

N.T.S.

DRAWN

CHECKED







REVISIONS	
NO.	DESCRIPTION
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17420

PROJECT

## PARC VICTORIA

Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

### FORM OF DEVELOPMENT - MAIN LEVEL SETBACKS

SEAL

DRAWING NO.

## REVISION

A012

DATE \_\_\_\_\_

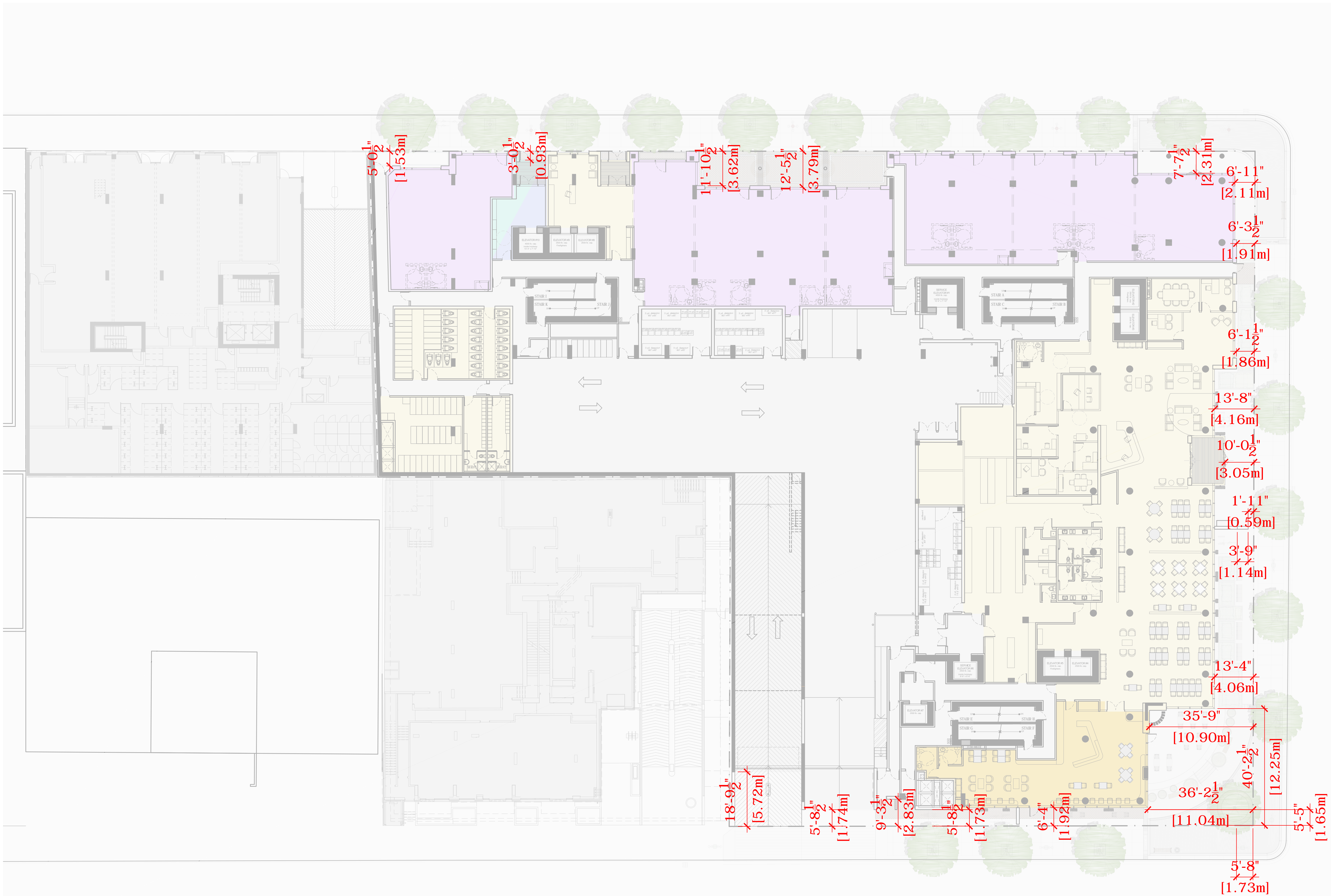
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APR 2017

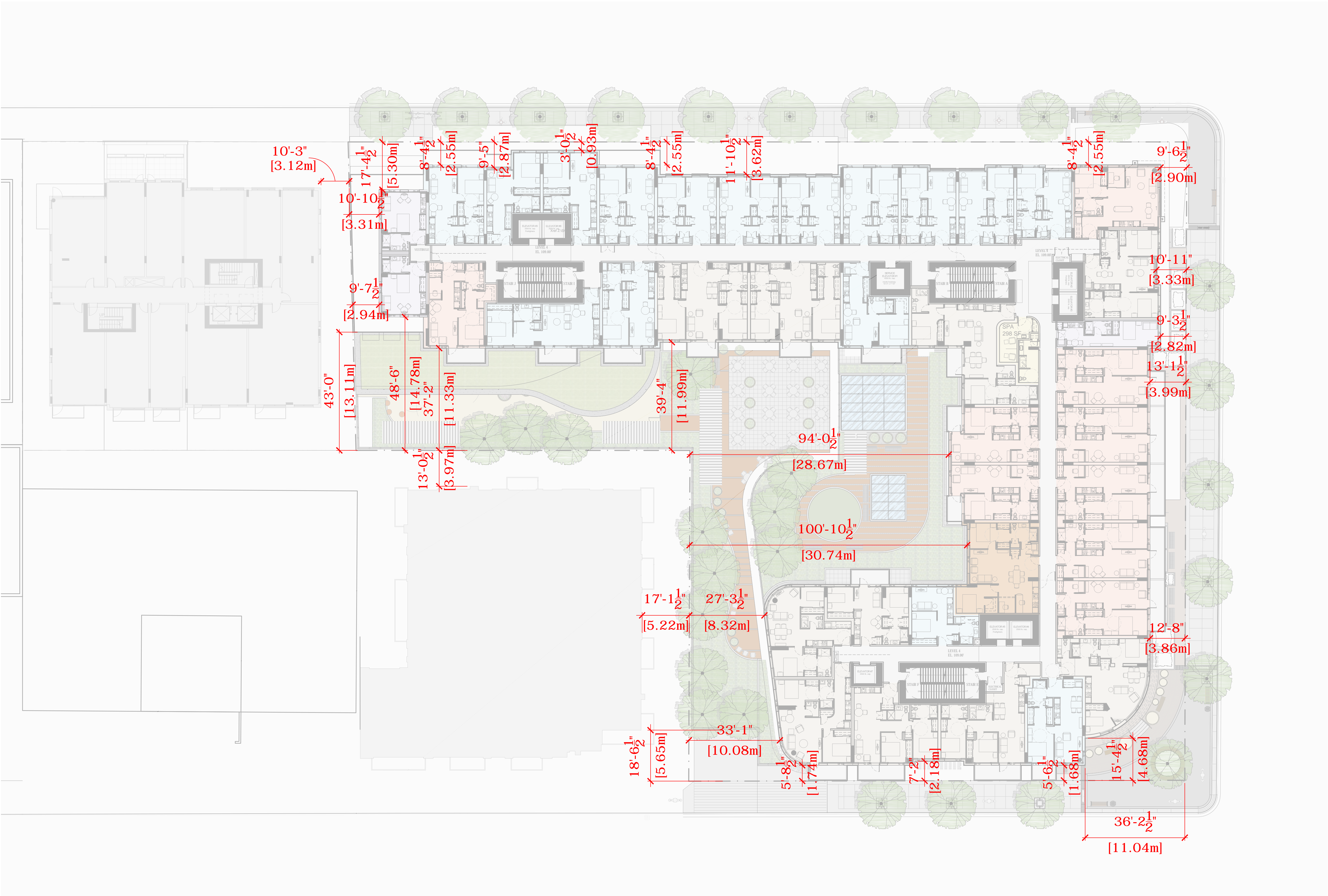
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PROJECT NO.

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PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

FORM OF DEVELOPMENT -  
TYPICAL LEVEL SETBACKS

SEAL

DRAWING NO.

REVISION

A013

DATE

APR 2017

SCALE

N.T.S.

DRAWN

CHECKED





FUTURE ROOF PV PANELS

TRIPLE GLAZING IN METAL & VINYL WINDOWS ON RESIDENTIAL LEVELS

RATIO OF RESIDENTIAL GLAZING TO SOLID WALL: LESS THAN 40%

RAINSCREEN WALL ASSEMBLY

FUTURE ROOF PV PANELS



QUADRA BUILDING BALCONIES & BRISE SOLEIL ACT AS SHADING DEVICES

QUADRA & BROUGHTON BUILDINGS MAIN LEVEL VERTICAL STREET LEVEL SHADING



FUTURE ROOF PV PANELS

SOUTH FACING SHADING DEVICES & BALCONIES

GREEN ROOFS TO REDUCE STORM WATER RUNOFF & HEAT ISLAND EFFECT

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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

FORM OF DEVELOPMENT -  
ENVELOPE / PASSIVE  
DESIGN STRATEGIES

SEAL

DRAWING NO.

REVISION

**A014**

DATE

DRAWN

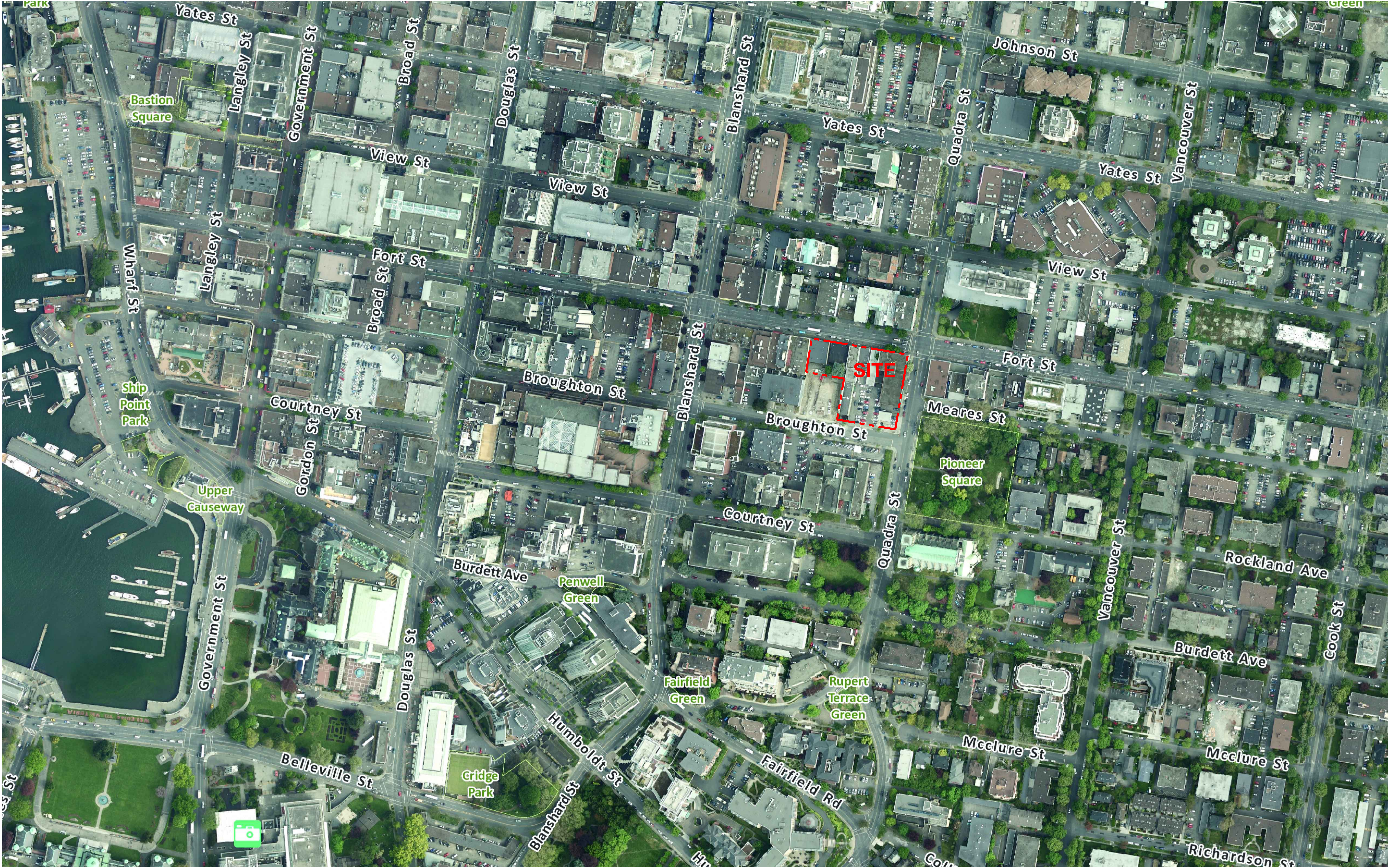
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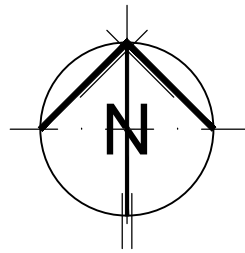
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NO.	DESCRIPTION	DATE
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PARC VICTORIA  
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DRAWING TITLE

AERIAL

SEAL

DRAWING NO.

REVISION

A100

DATE

APR 2017

SCALE

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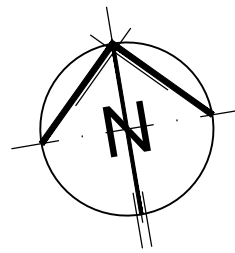
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REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REZONING & DP
2	RE-ISSUED FOR REZONING & DP
3	RE-ISSUED FOR ADP
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DRAWING TITLE

CONTEXT PLAN

SEAL

DRAWING NO.

REVISION

A101

DATE

DRAWN

APR 2017

SCALE

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1:500





1 AERIAL VIEW OF THE BUILDING & CONTEXT

REVISIONS

NO.	DESCRIPTION	DATE
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PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

CONTEXT  
3D VIEWS

SEAL

DRAWING NO.

REVISION

A102

DATE

APR 2017

DRAWN

SCALE

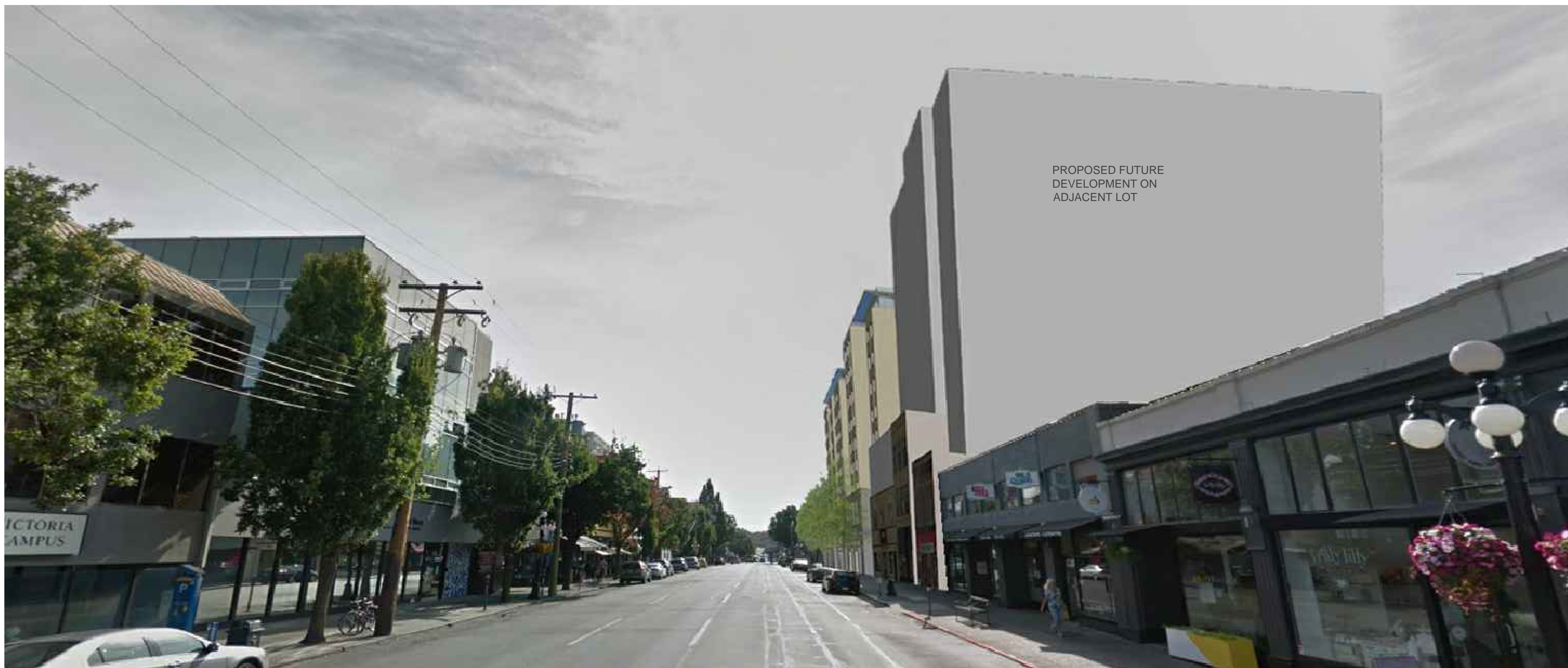
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1 STREET VIEW AT FORT LOOKING WEST



2 STREET VIEW AT FORT LOOKING EAST





1 STREET VIEW AT QUADRA LOOKING NORTH



2 STREET VIEW AT QUADRA LOOKING SOUTH

REVISIONS

NO.	DESCRIPTION	DATE
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DRAWING TITLE

CONTEXT  
3D VIEWS

SEAL

DRAWING NO.

REVISION

A104

DATE  
APR 2017

DRAWN

SCALE

CHECKED

1:500



NOTES

1. FOR DIMENSIONS OF PARKING STALLS, REFER TO DWG A300A - A302C

2. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS

PARKING STALL SIZE

8'-6½" [2.6m]

16'-9" [5.1m]

REGULAR STALL

12'-2" [3.7m]

16'-9" [5.1m]

ACCESSIBLE STALL

8'-6½" [2.6m]

21'-0" [6.4m]

PARALLEL STALL

TYPICAL 4" SIDE CLEARANCE TO STRUCTURAL COLUMNS AS APPLICABLE

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0 1 2 3 4 5 10 15m

0 5 10 15 20 30 40 50'

CLIENT

parc retirement living

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

P2 LEVEL FLOOR PLAN

SEAL

DRAWING NO.

REVISION

A200

DATE

APR 2017

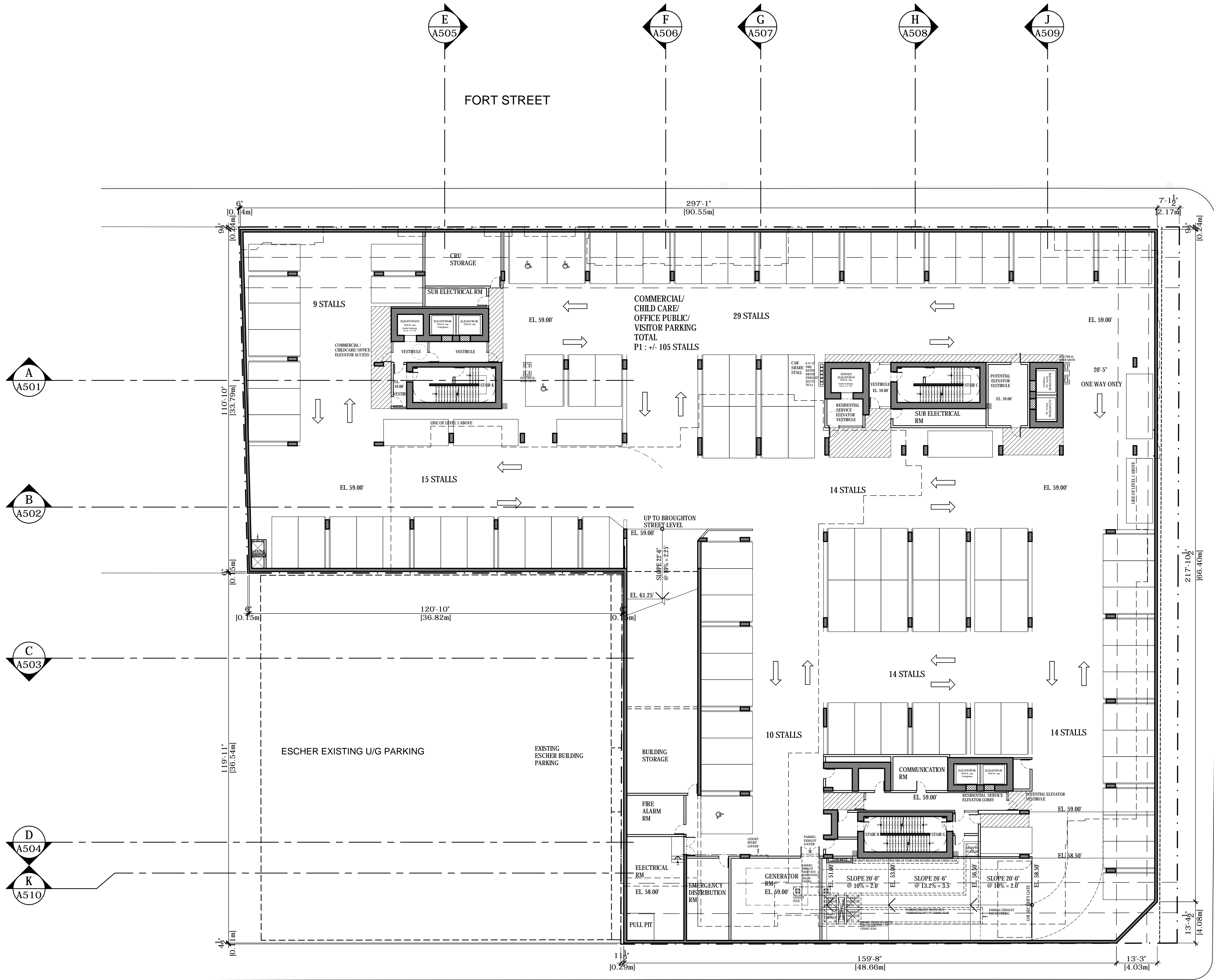
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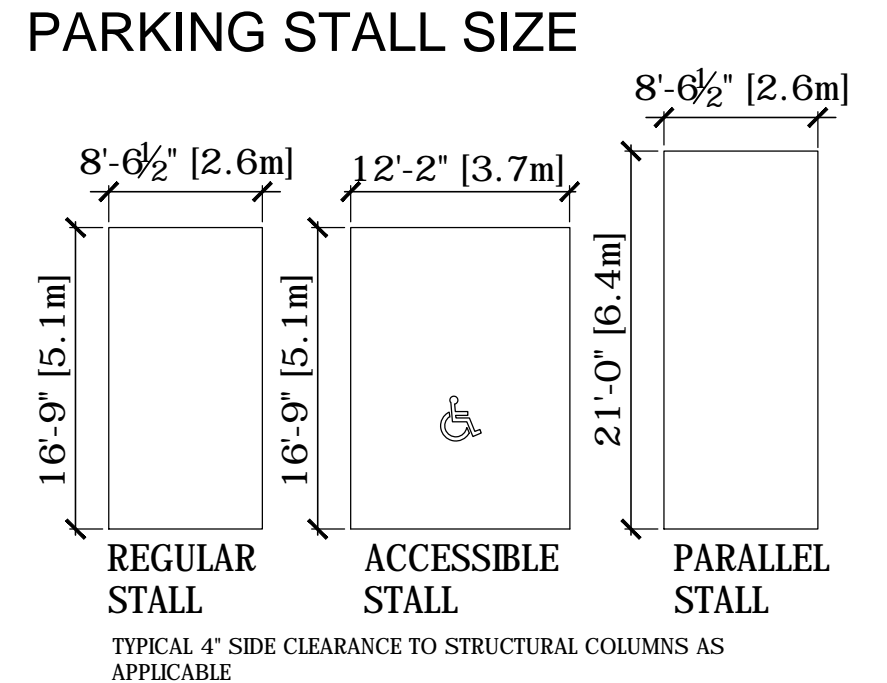
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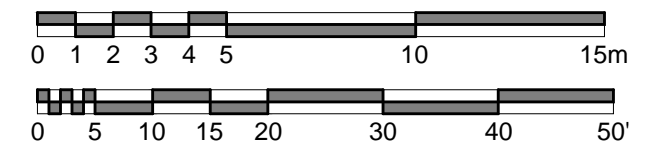
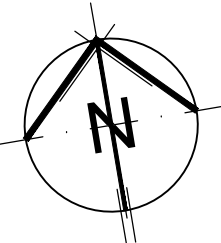


- NOTES
1. FOR DIMENSIONS OF PARKING STALLS, REFER DWG A300A - A302C
  2. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS



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PROJECT

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DRAWING TITLE

P1 LEVEL FLOOR PLAN

SEAL

DRAWING NO.

REVISION

**A201**

DATE

DRAWN

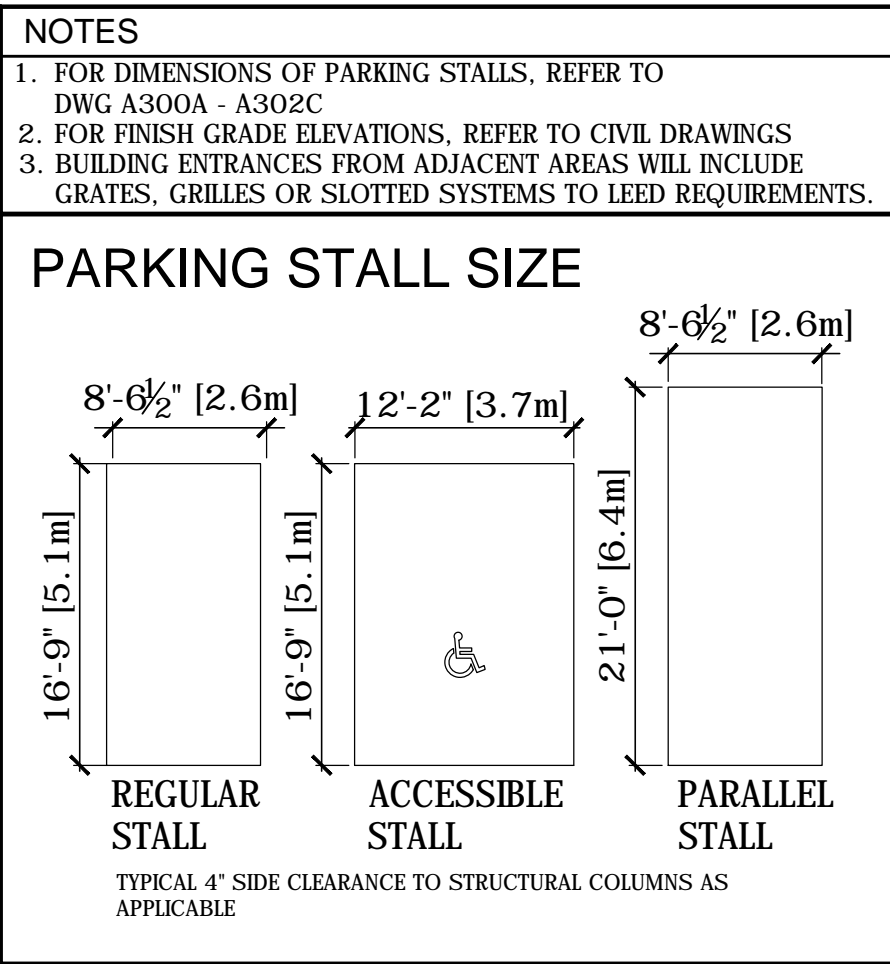
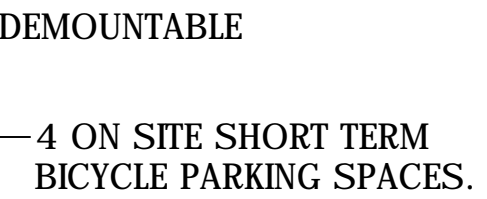
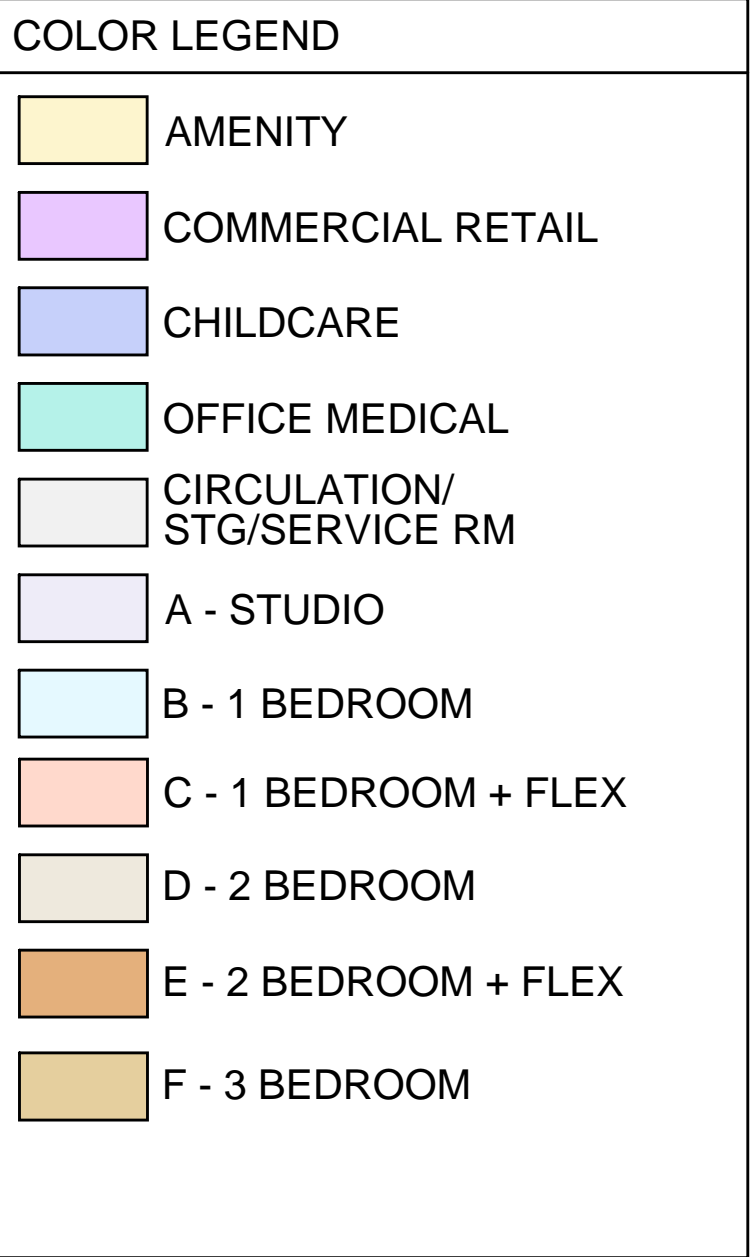
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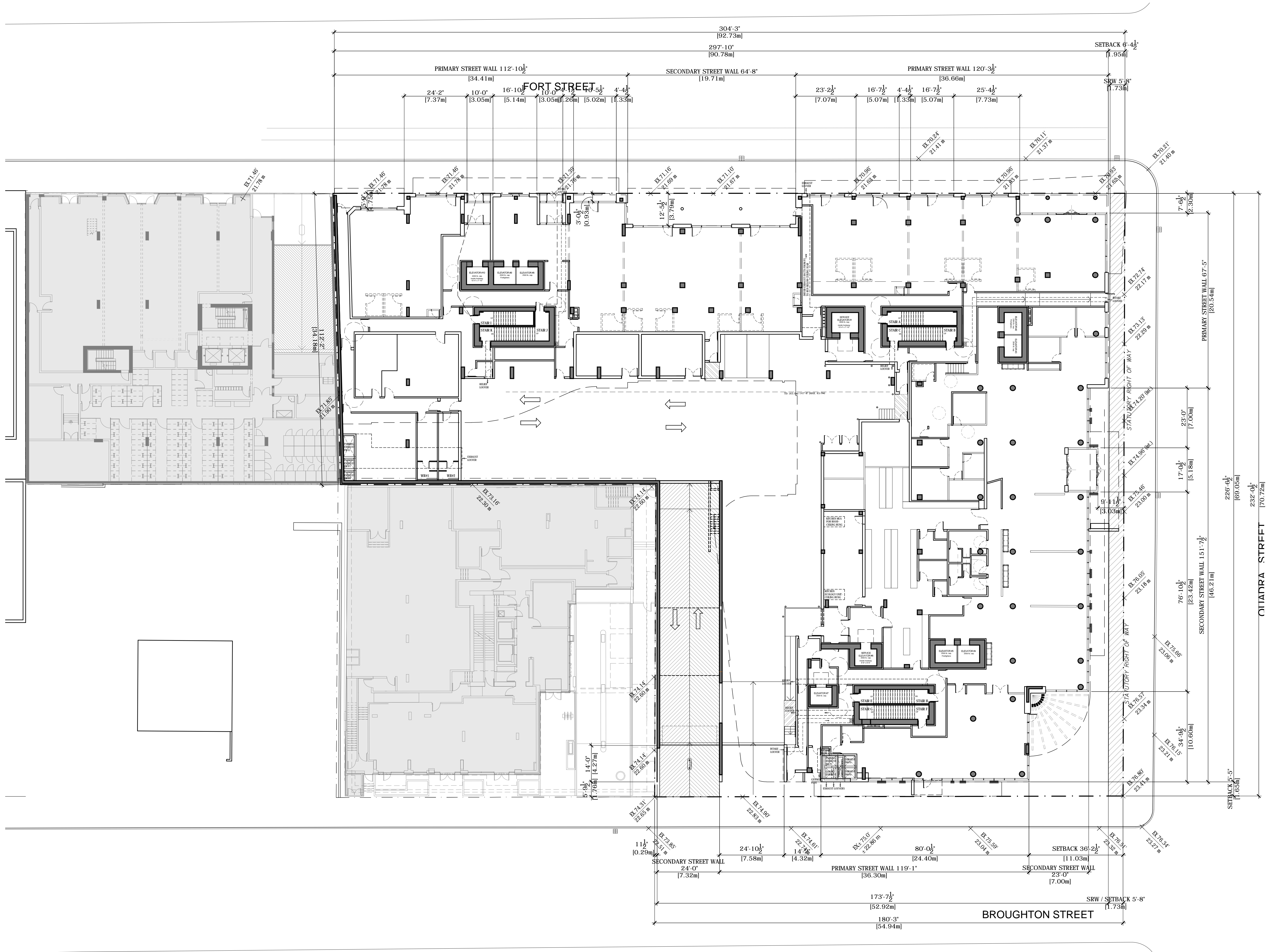
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COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
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- C - 1 BEDROOM + FLEX
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- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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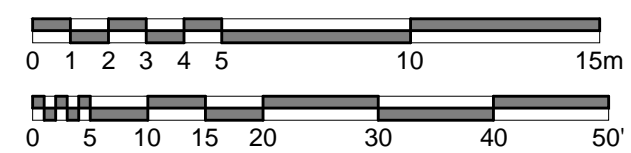
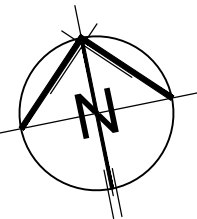
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PROJECT

**PARC VICTORIA**  
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DRAWING TITLE

**SITE PLAN / LEVEL 1  
FLOOR PLAN**

SEAL

DRAWING NO.

REVISION

**A202B**

DATE

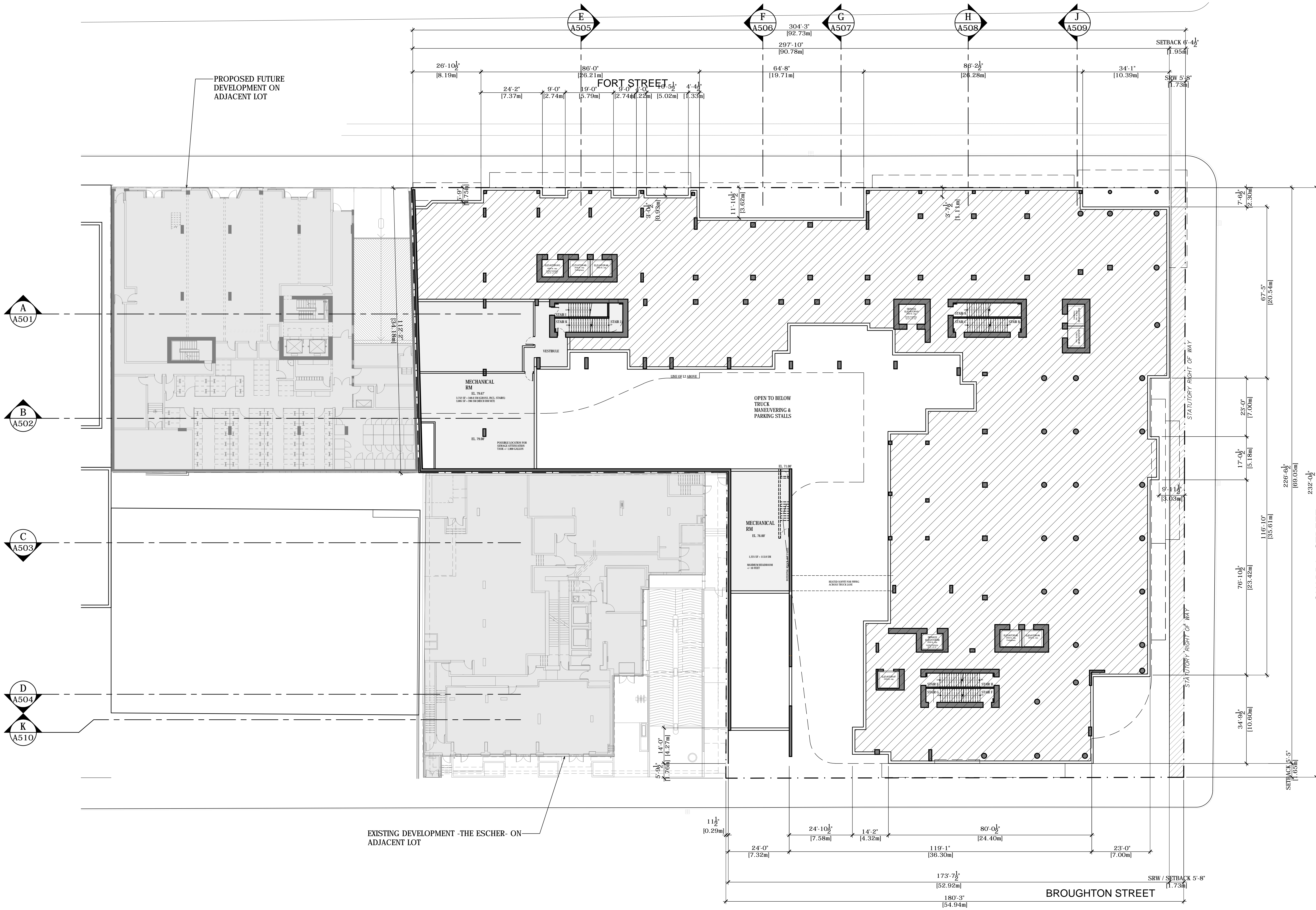
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SCALE

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**COLOR LEGEND**

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- CHILDCARE
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PROJECT NO. 17420

PROJECT **PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **MECHANICAL LEVEL FLOOR PLAN**

SEAL

DRAWING NO. REVISION

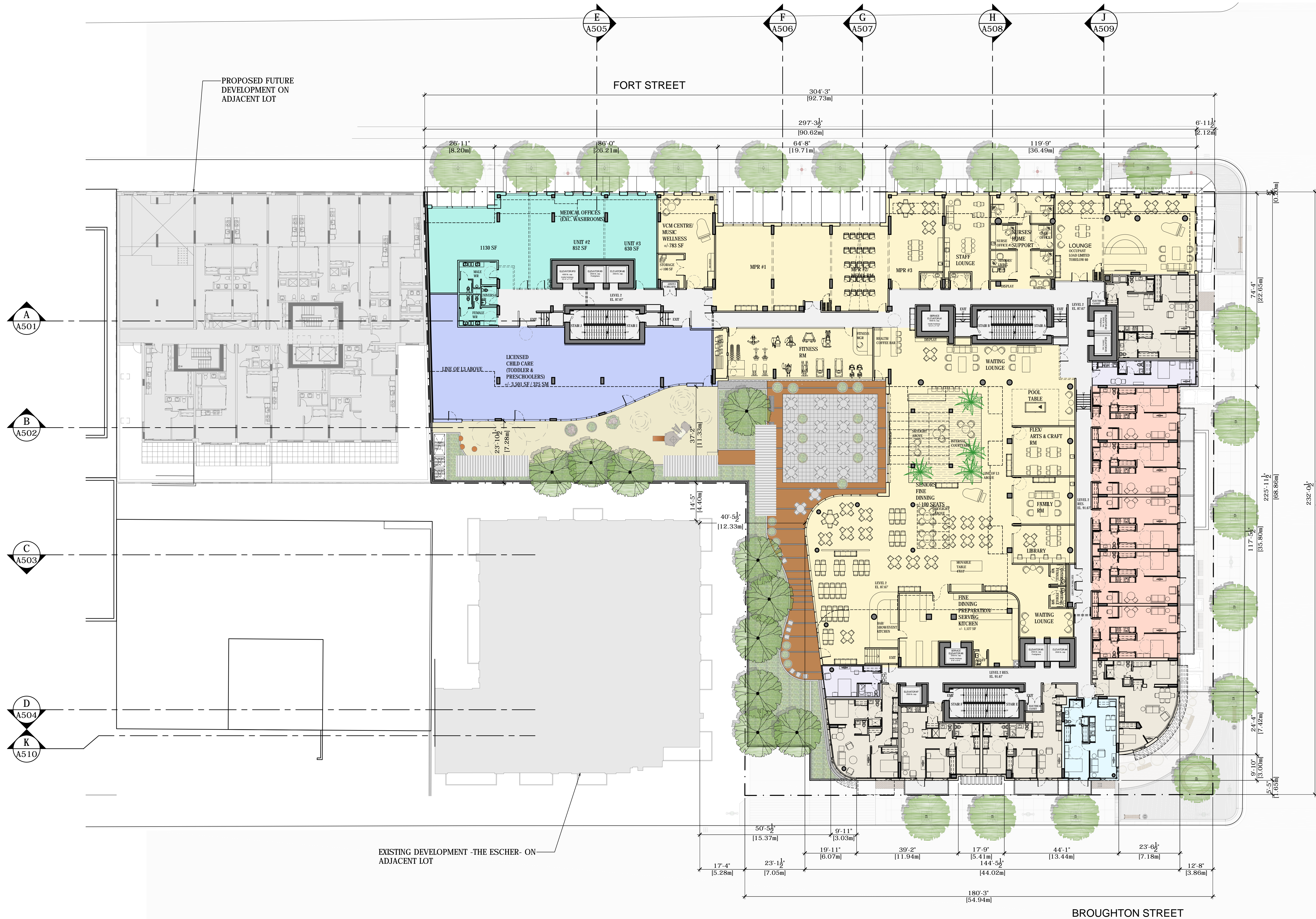
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DATE DRAWN

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1:200





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- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
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- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
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**NOTES**

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**PROJECT NO.** 17420

**PROJECT** PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

**DRAWING TITLE** LEVEL 2 FLOOR PLAN

**SEAL**

**DRAWING NO.** **REVISION**

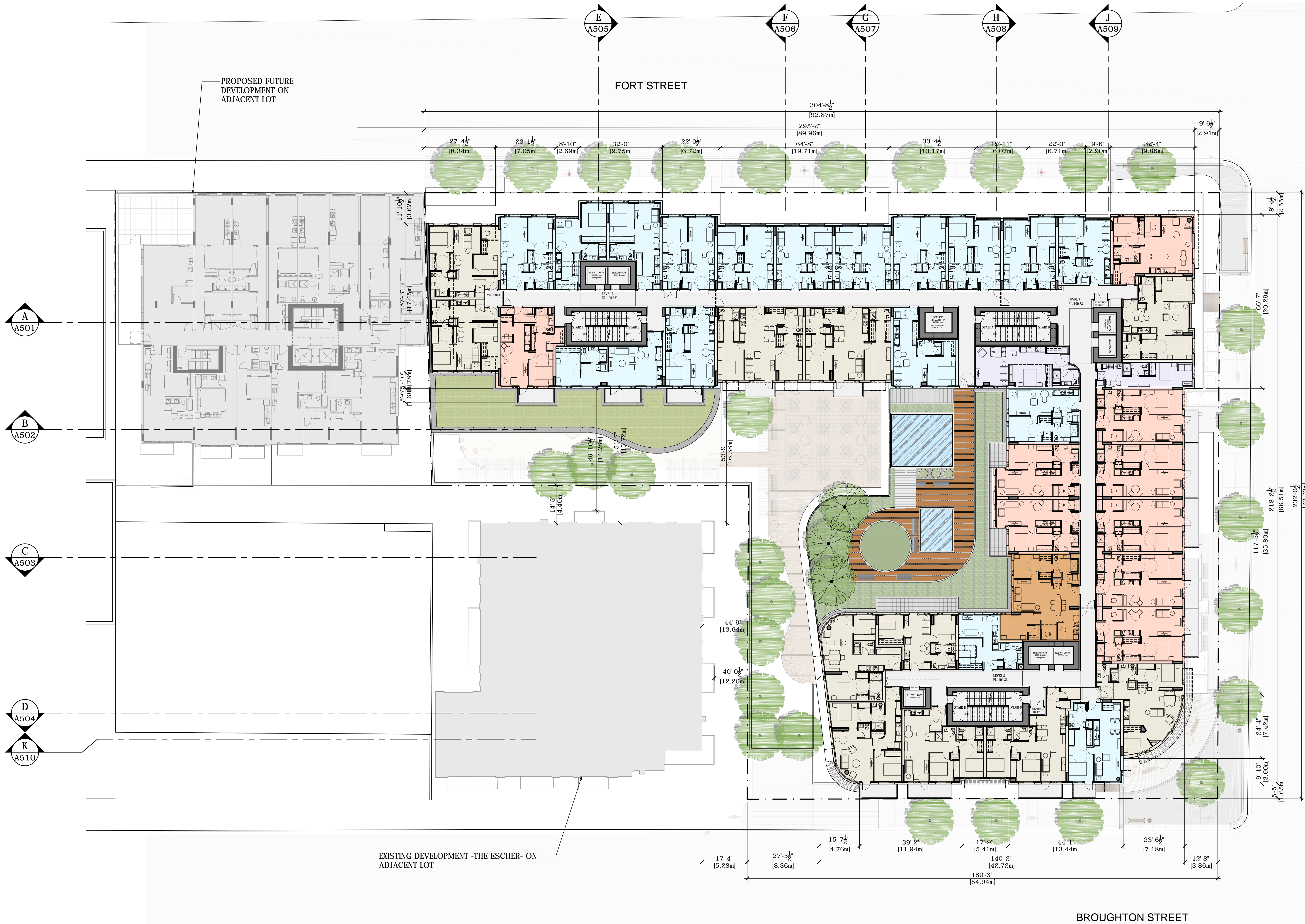
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**DATE** **DRAWN**

**SCALE** **CHECKED**

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**COLOR LEGEND**

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- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

**NOTES**

1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.

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17420

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**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

**DRAWING TITLE**  
**LEVEL 3 UNITS FLOOR PLAN**

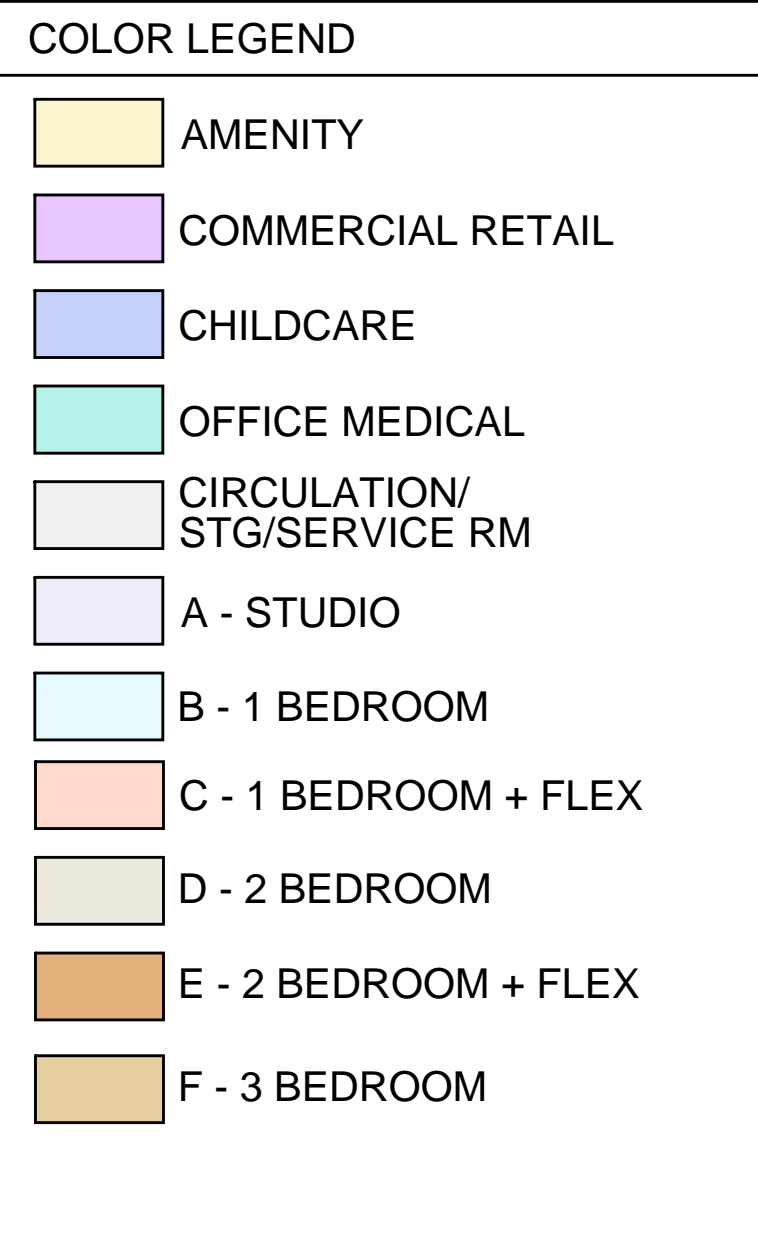
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**DRAWING NO.**  
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**DATE**  
DATE

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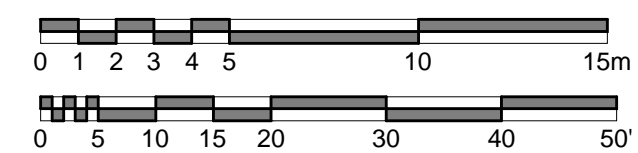
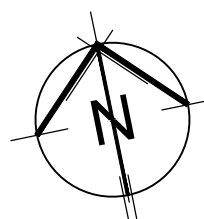


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DRAWING TITLE

LEVEL 4  
FLOOR PLAN

SEAT

DRAWING NO.

REVISION

# A206

DATA

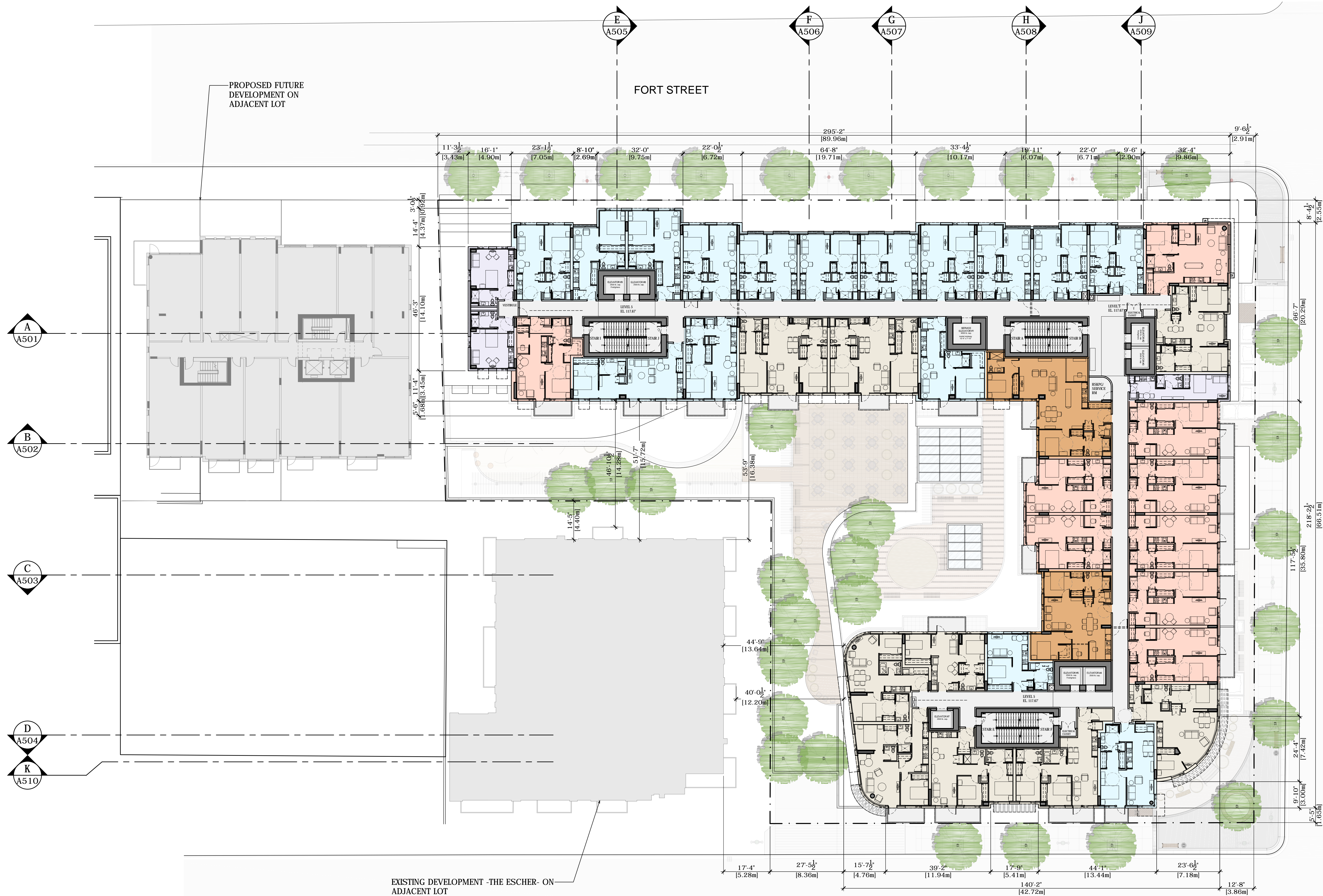
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- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
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PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
**LEVEL 5  
FLOOR PLAN**

SEAL

DRAWING NO. REVISION

**A207**

DATE DRAWN

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1:200





COLOR LEGEND

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- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
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- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

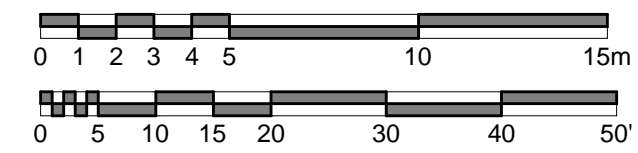
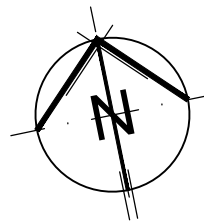
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PROJECT NO.

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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

**LEVEL 6**  
FLOOR PLAN

SEAL

DRAWING NO.

REVISION

**A208**

DATE

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- OFFICE MEDICAL
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**PROJECT NO.**  
17420

**PROJECT**  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

**DRAWING TITLE**  
**LEVEL 7 FLOOR PLAN**

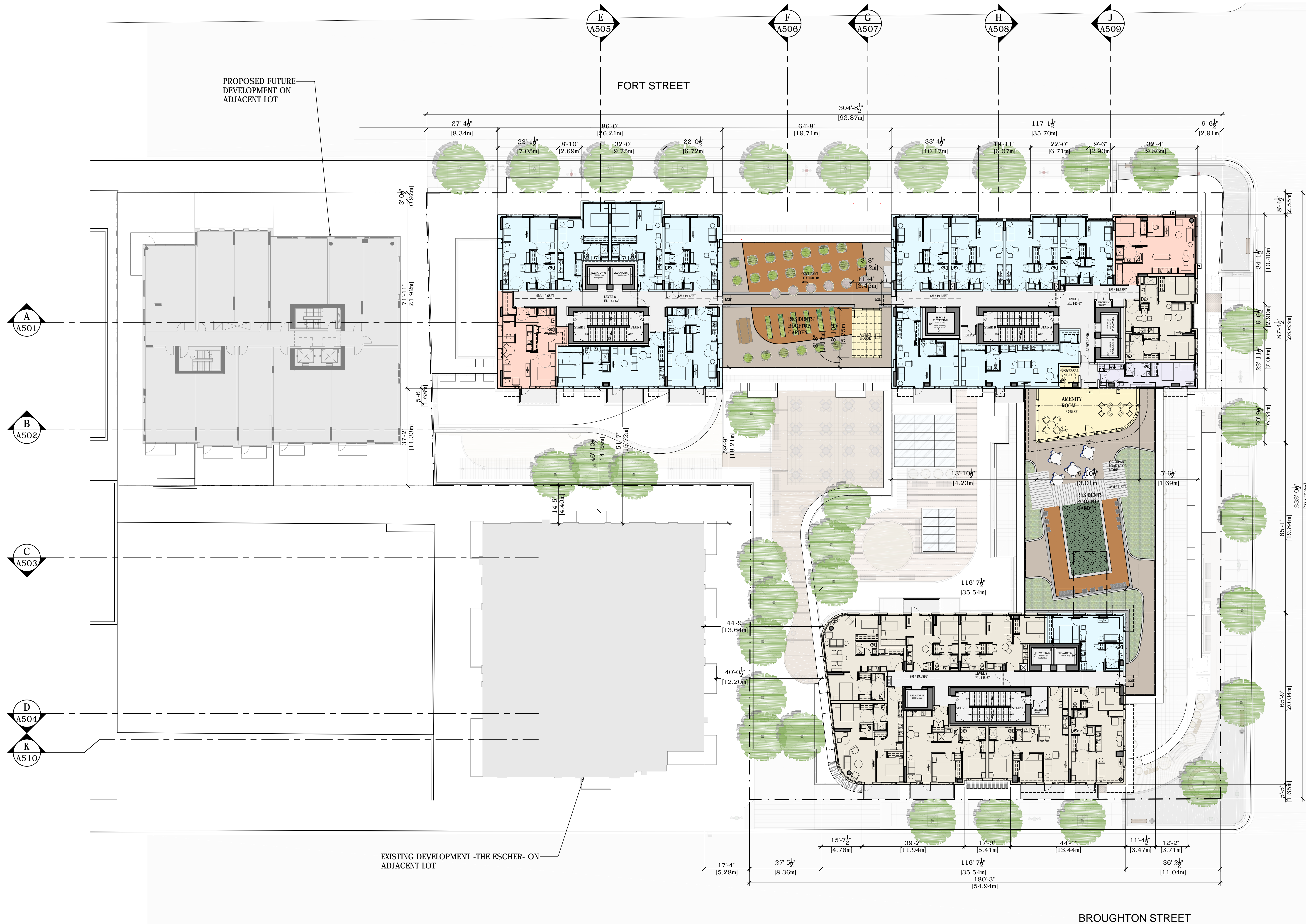
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**DRAWING NO.**  
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**DATE**  
DATE

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- CHILDCARE
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- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

**NOTES**

1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.

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**CLIENT**  
**parc retirement living**

**PROJECT NO.**  
17420

**PROJECT**  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

**DRAWING TITLE**  
**LEVEL 8 FLOOR PLAN**

**DATE**  
DATE

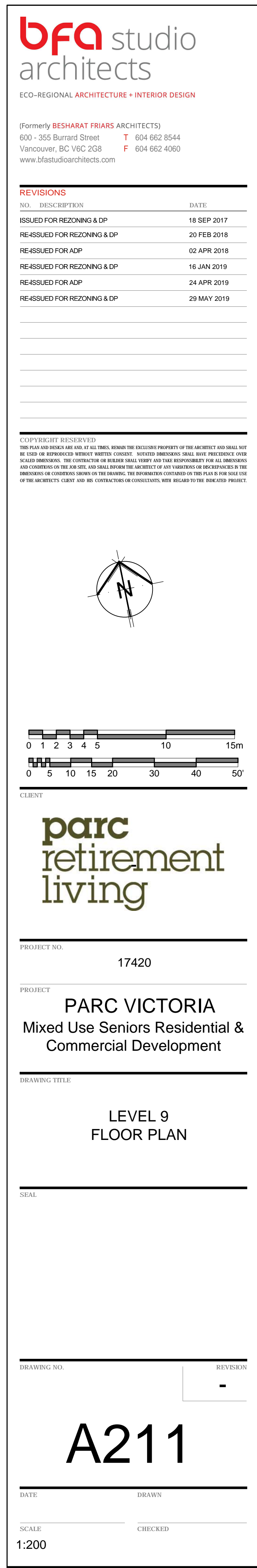
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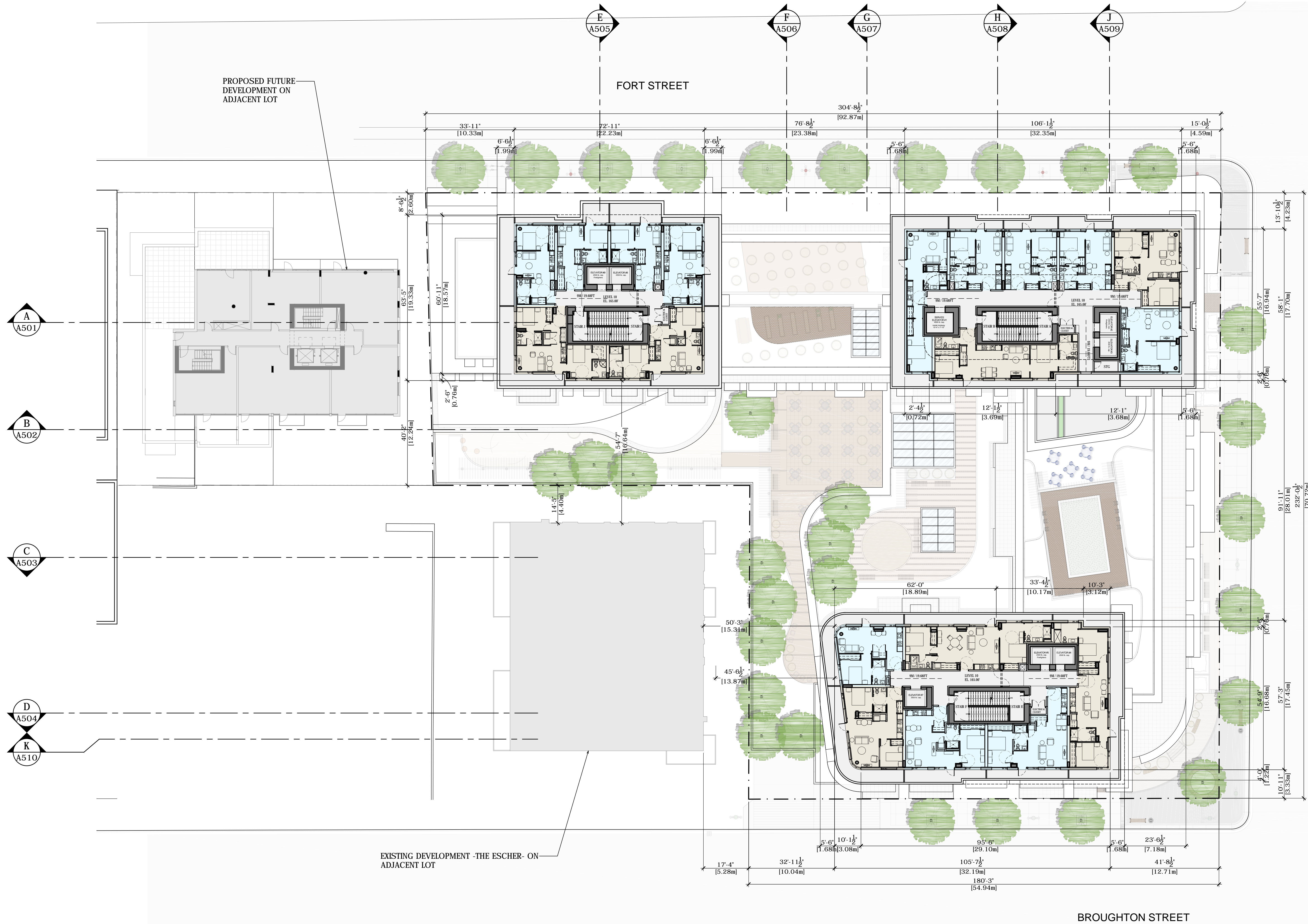
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QUADRA STREET





COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
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retirement  
living

PROJECT NO.

17420

PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**LEVEL 10  
FLOOR PLAN**

SEAL

DRAWING NO.

A212

REVISION

-

DATE

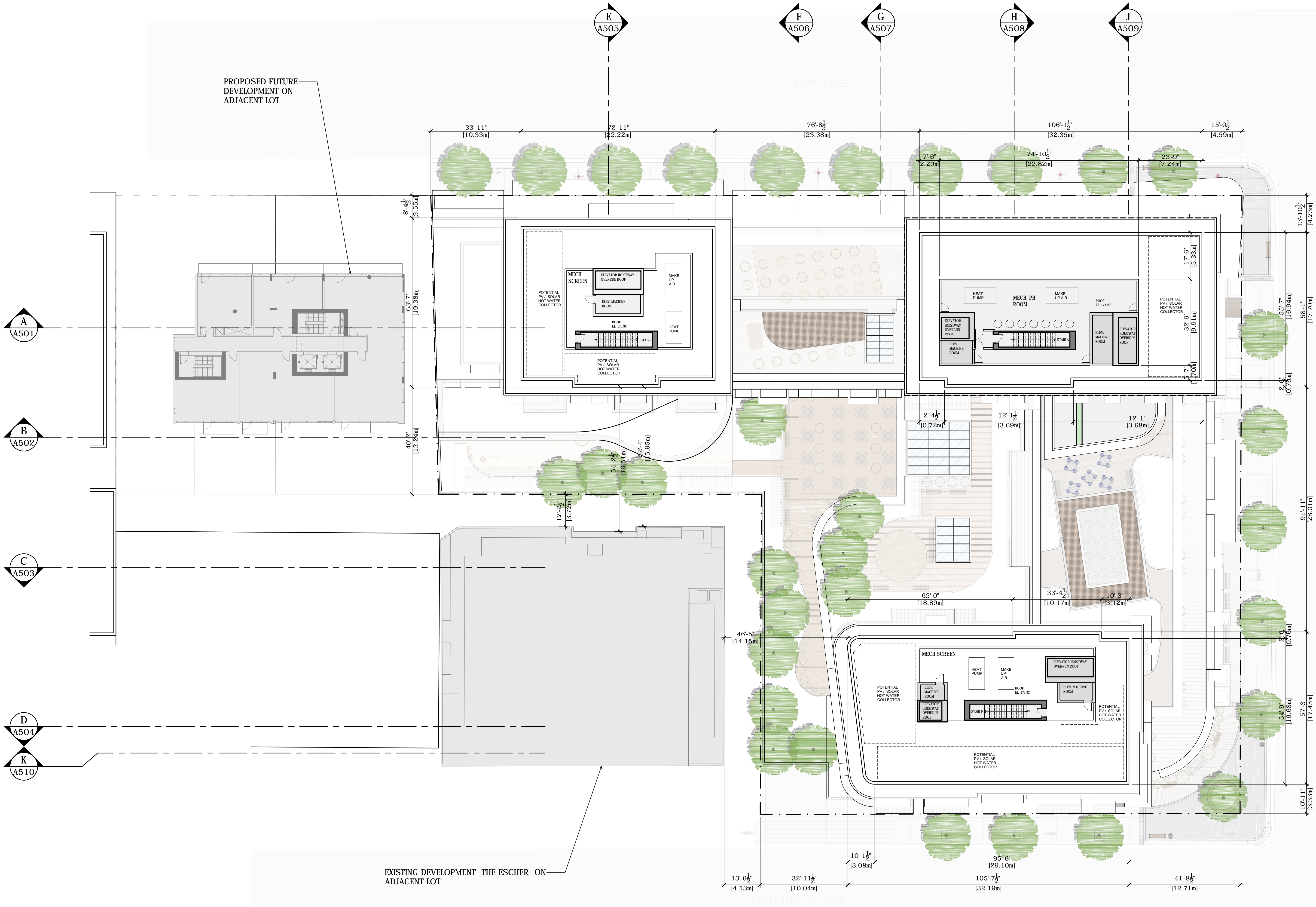
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NOTES

1. LOCATION AND DETAILS OF MECHANICAL ROOF TOP UNITS AND RESPECTIVE SCREENING ENCLOSURE ARE APPROXIMATE. TO BE CONFIRMED BY MECHANICAL CONSULTANT AT WORKING DRAWINGS STAGE

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PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
ROOF PLAN

SEAL

DRAWING NO.

REVISION

-

# A213

DATE  
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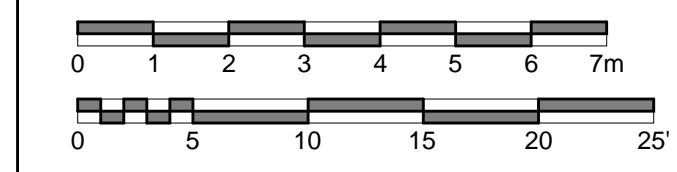
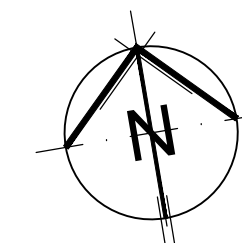
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PROJECT

**PARC VICTORIA**

Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

P2 LEVEL  
PARTIAL FLOOR PLAN

SEAT

DRAWING NO.

REVISION

# A300A

DATE \_\_\_\_\_

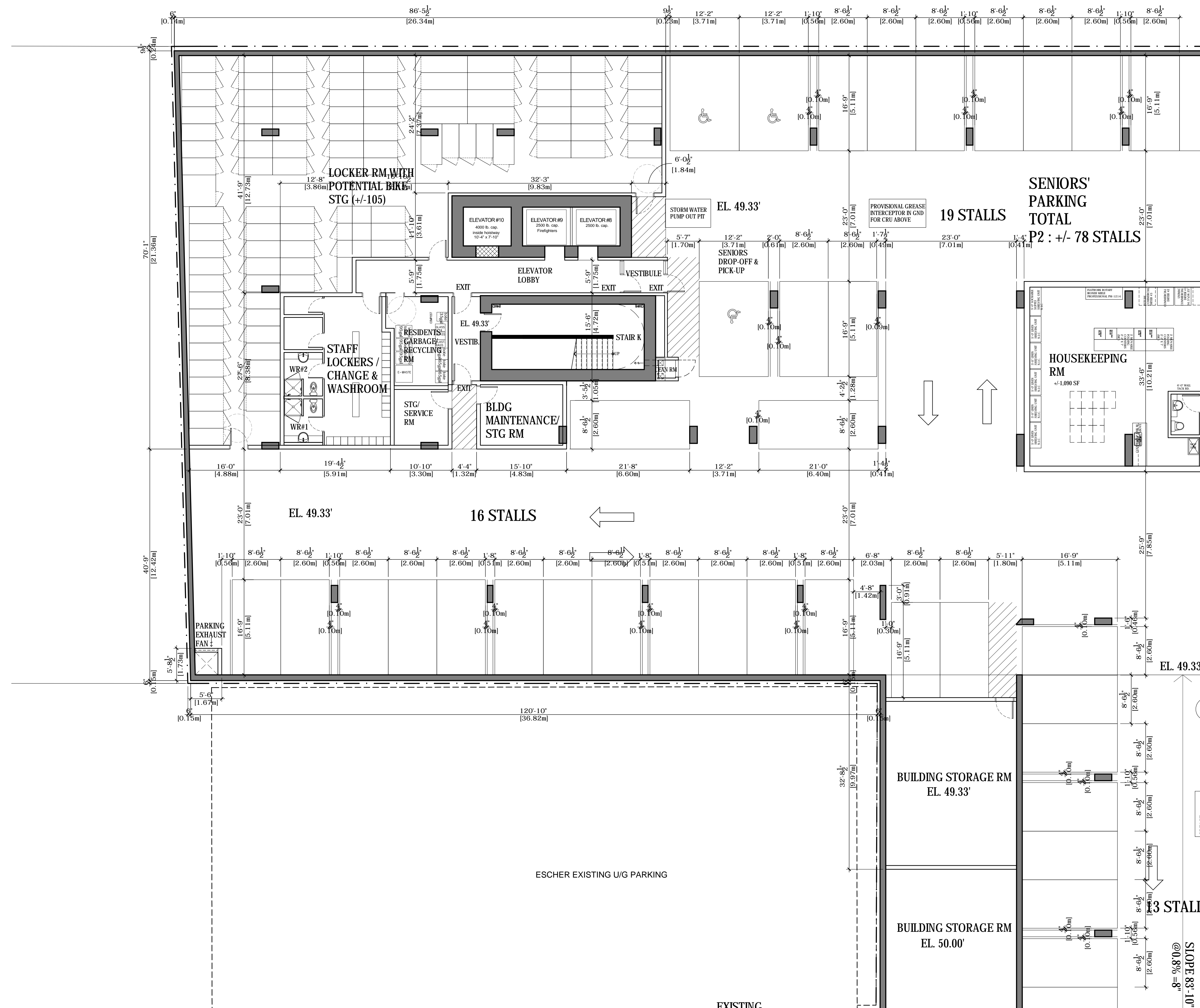
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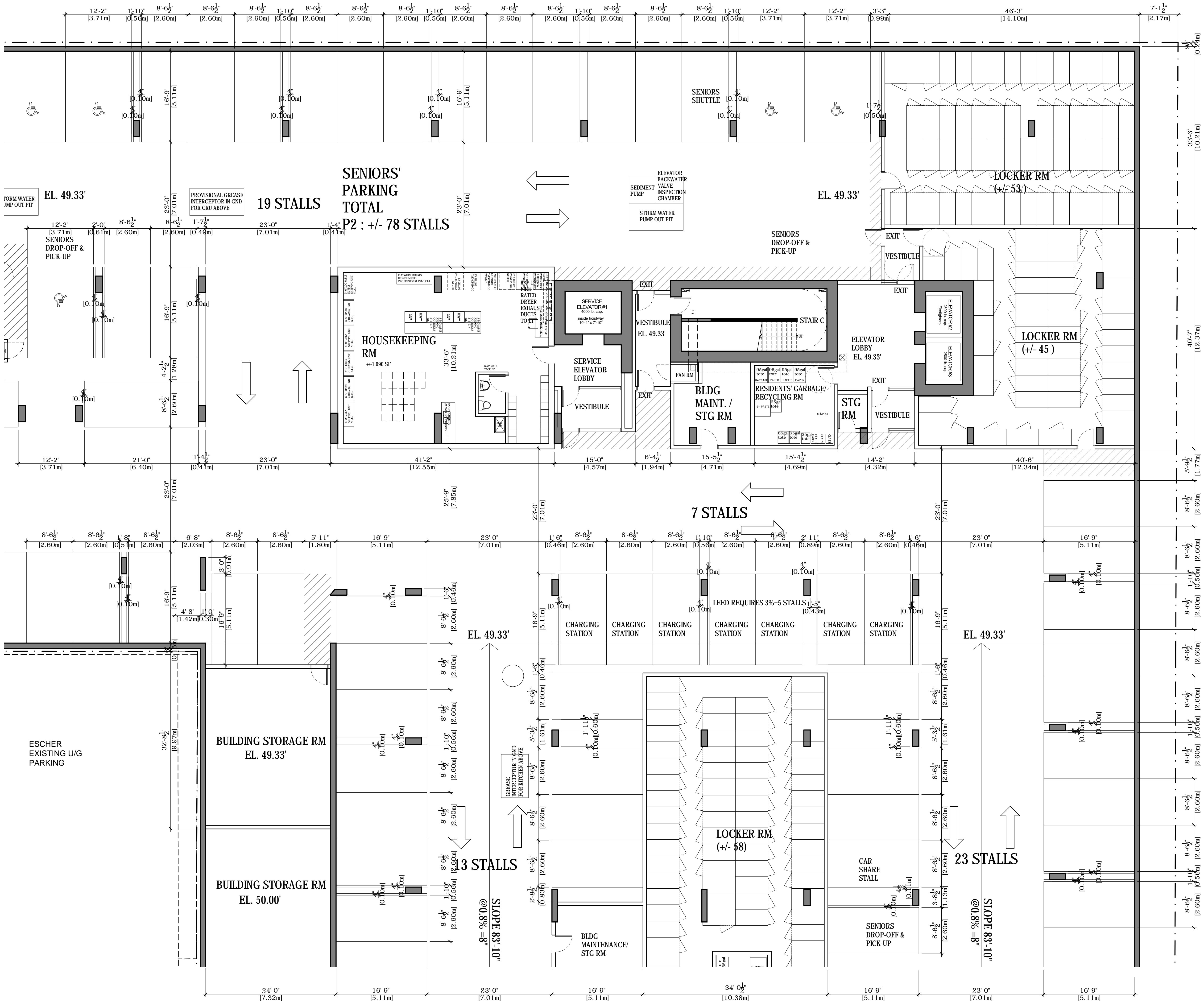
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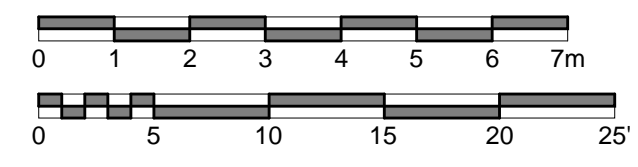
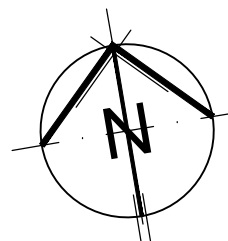




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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

P2 LEVEL  
PARTIAL FLOOR PLAN

SEAL

DRAWING NO.

REVISION

A300B

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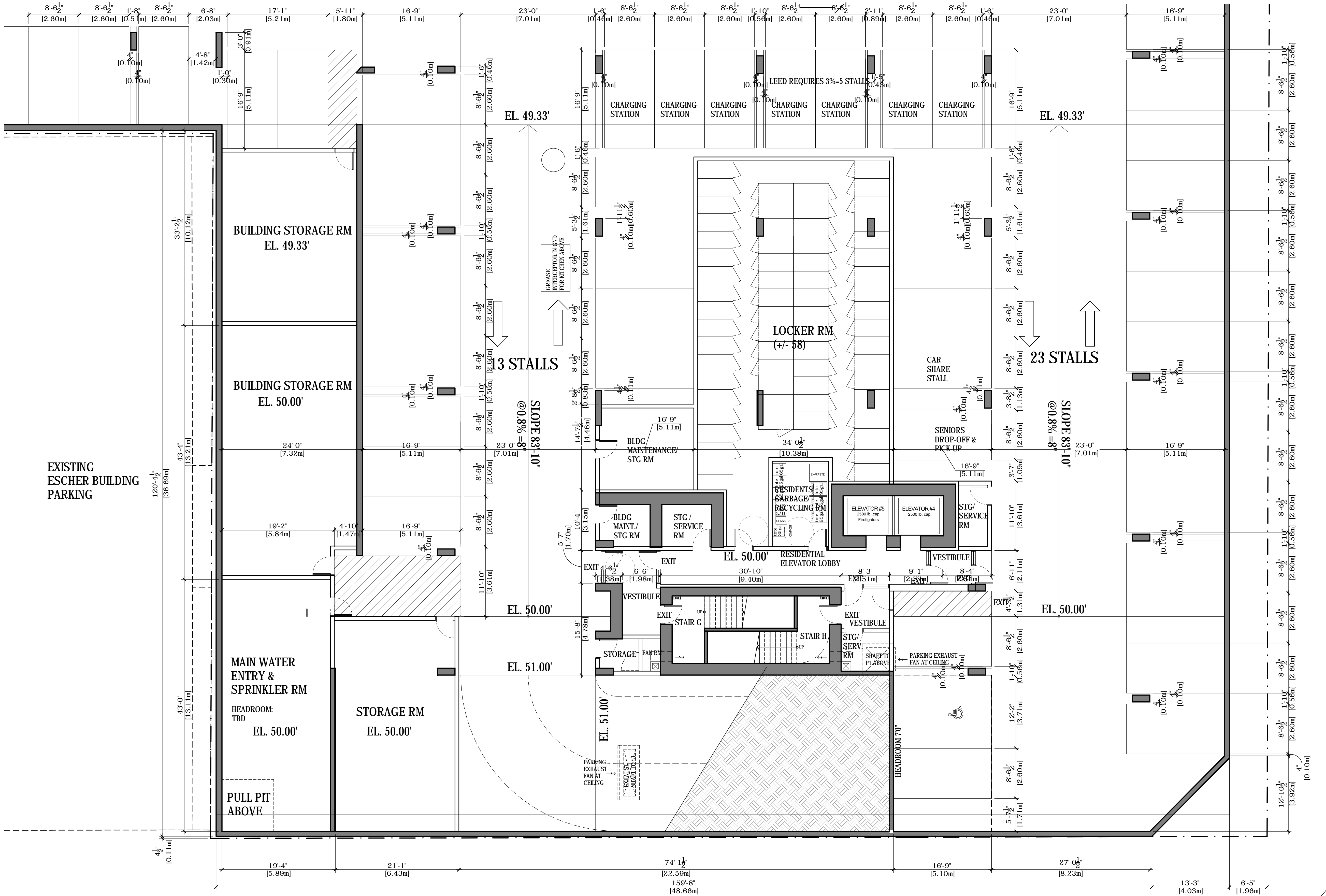
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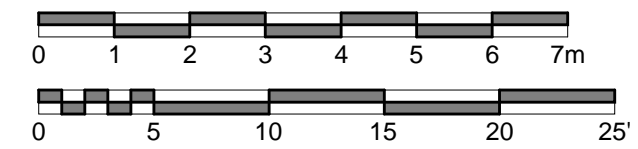
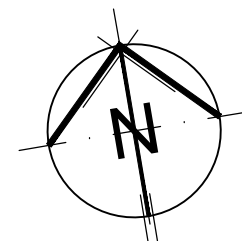




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PROJECT NO.

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PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

P2 LEVEL  
PARTIAL FLOOR PLAN

SEAL

DRAWING NO.

REVISION

A300C

DATE

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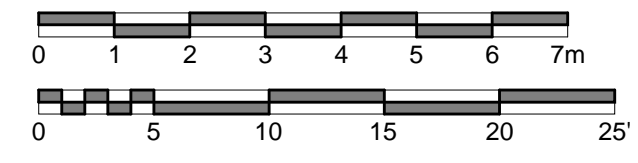
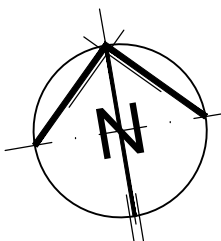
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retirement  
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PROJECT NO. \_\_\_\_\_

17420

PROJECT

**PARC VICTORIA**

Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

P1 LEVEL  
PARTIAL FLOOR PLAN

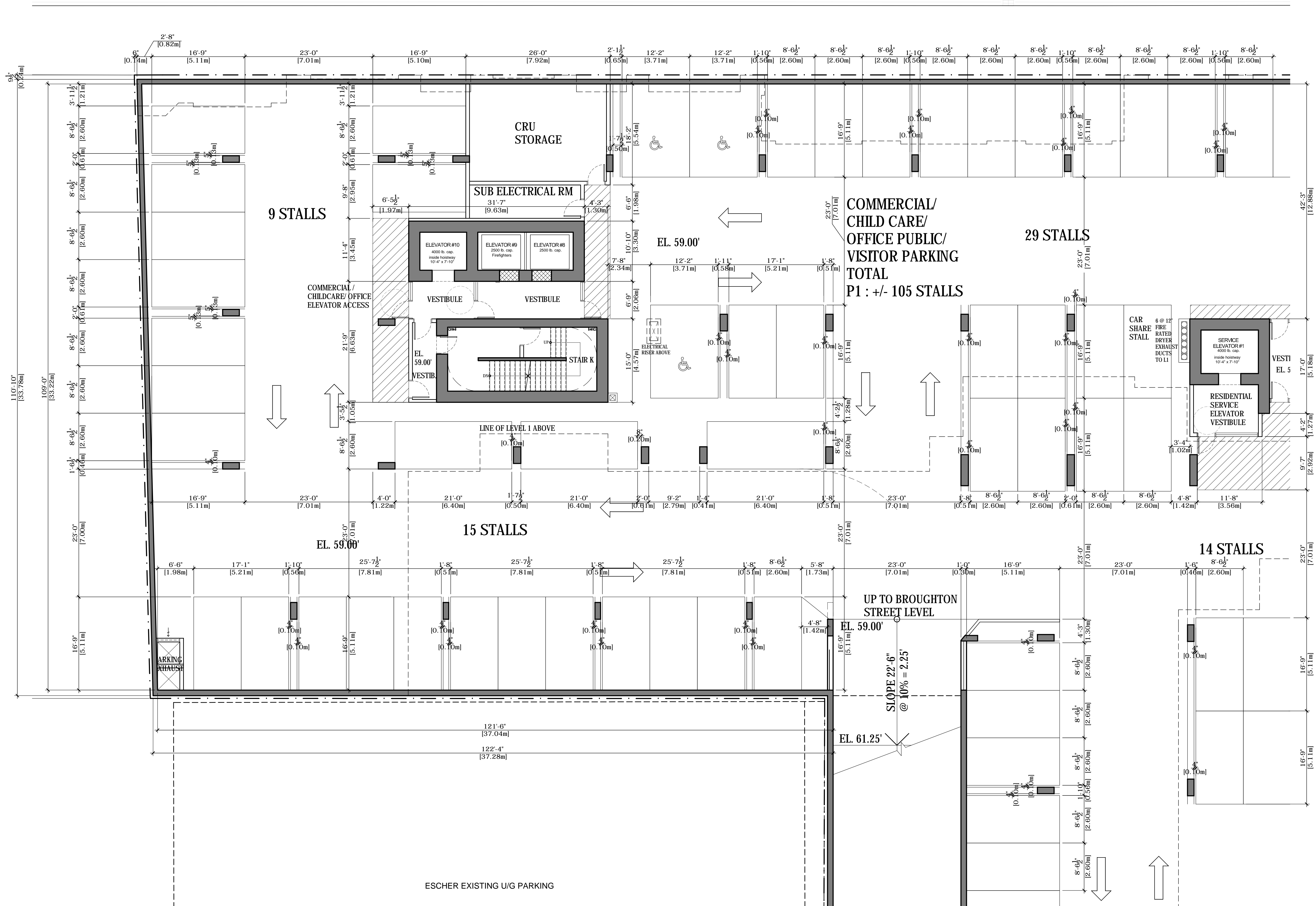
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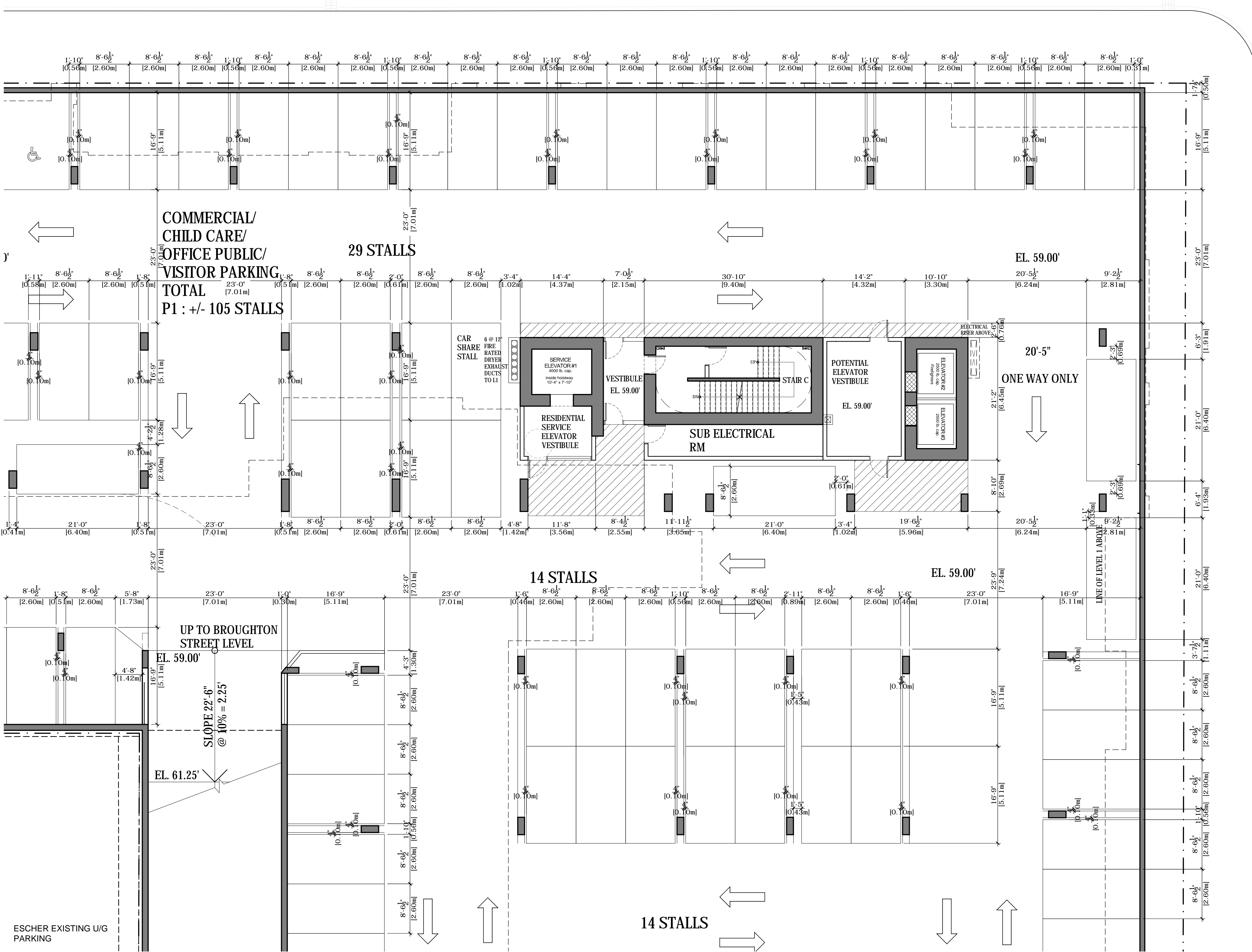
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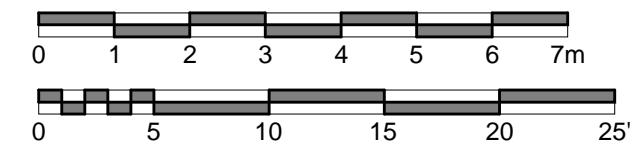
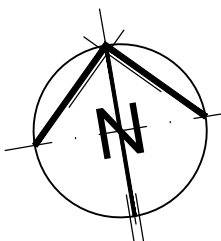




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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

P1 LEVEL  
PARTIAL FLOOR PLAN

SEAL

DRAWING NO.

REVISION

A301B

DATE

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APR 2017

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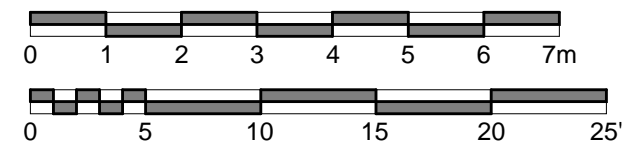
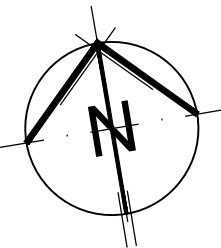
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PROJECT NO.

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PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

P1 LEVEL  
PARTIAL FLOOR PLAN

SEAL

DRAWING NO.

REVISION

# A301C

DATE \_\_\_\_\_

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APR 2017

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COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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PROJECT NO. 17420

PROJECT PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE LEVEL 1  
PARTIAL FLOOR PLAN

SEAL

DRAWING NO. REVISION

**A302A**

DATE DRAWN

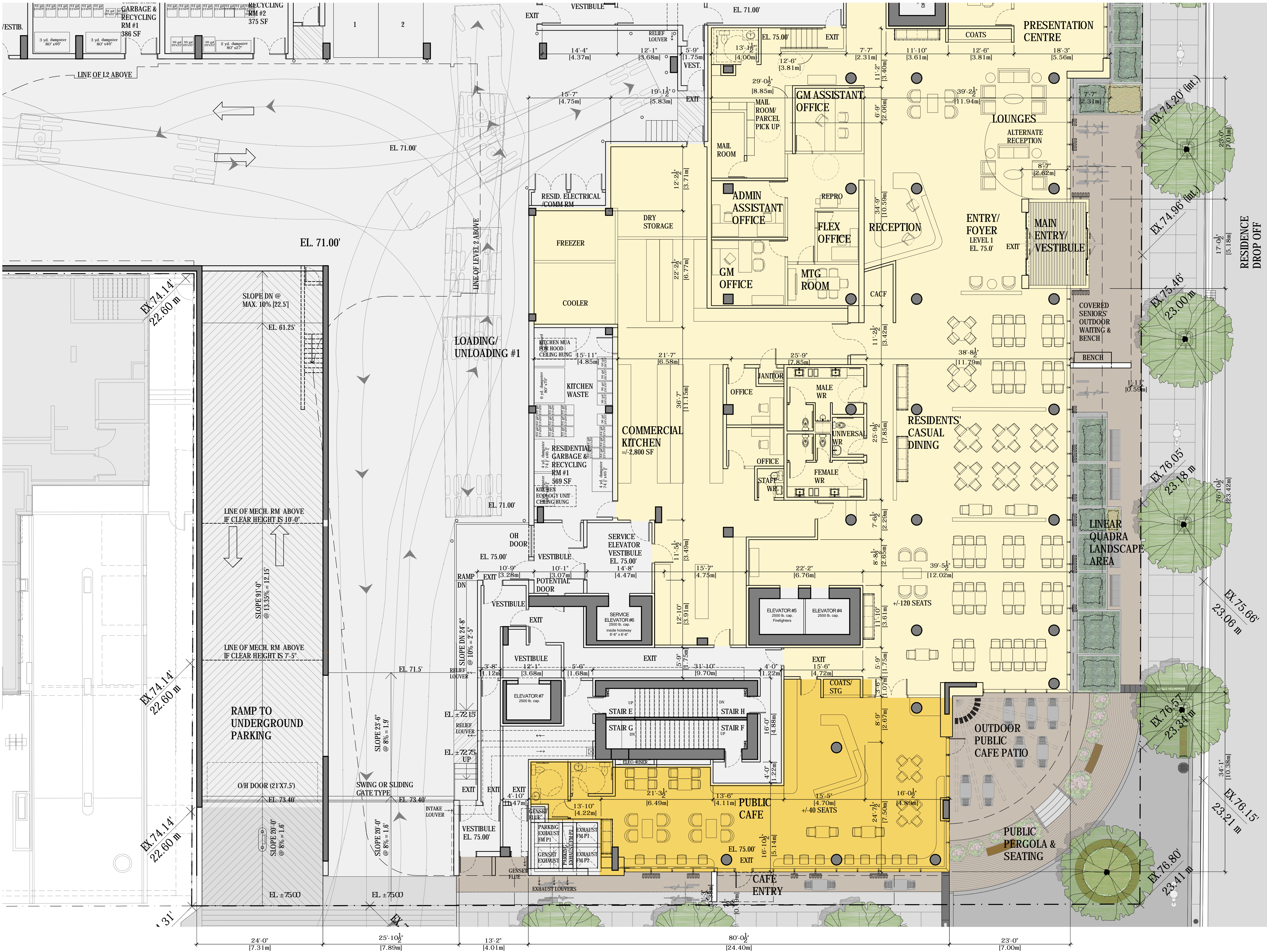
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- COLOR LEGEND
- AMENITY
  - COMMERCIAL RETAIL
  - CHILDCARE
  - OFFICE MEDICAL
  - CIRCULATION/STG/SERVICE RM
  - A - STUDIO
  - B - 1 BEDROOM
  - C - 1 BEDROOM + FLEX
  - D - 2 BEDROOM
  - E - 2 BEDROOM + FLEX
  - F - 3 BEDROOM

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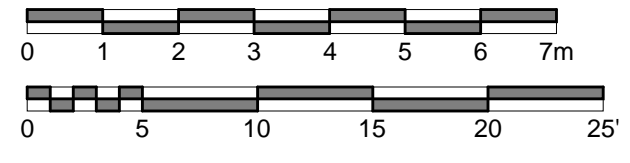
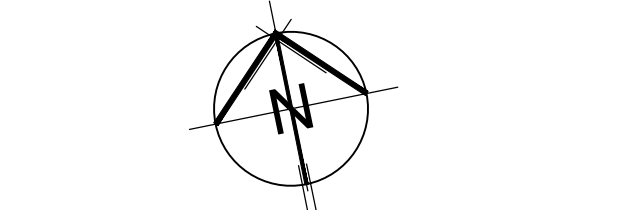
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PROJECT NO. 17420

PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
**LEVEL 1**  
PARTIAL FLOOR PLAN

SEAL

DRAWING NO. REVISION

**A302C**

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**parc**  
retirement  
living

PROJECT NO. \_\_\_\_\_

7420

PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

NORTH ELEVATION  
FORT  
STREETSCAPE

REAL

DRAWING NO.

REVISION

# A401

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APR 2017

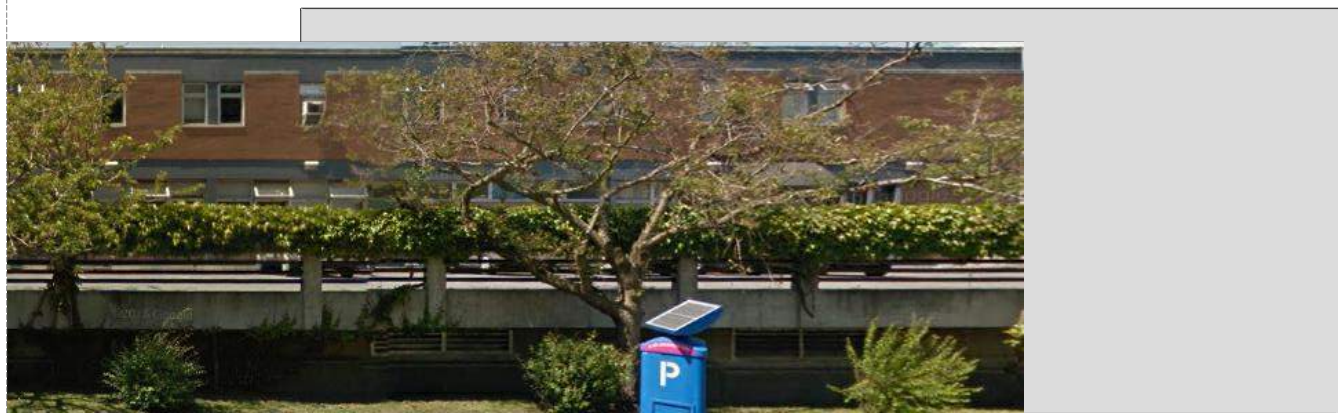
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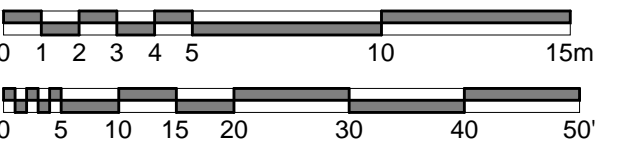




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PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

EAST ELEVATION  
QUADRA  
STREETSCAPE

SEAL

DRAWING NO.

REVISION

A402

DATE

APR 2017

DRAWN

SCALE

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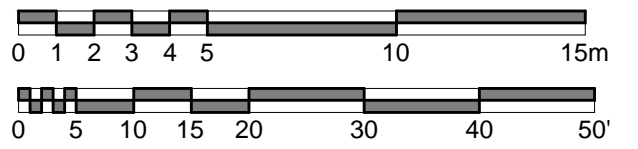




REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019

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CLIENT

parc  
retirement  
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

SOUTH ELEVATION  
BROUGHTON  
STREETSCAPE

SEAL

DRAWING NO.

REVISION

-

A403

DATE

APR 2017

DRAWN

SCALE

1:200

CHECKED





ELEVATION KEYNOTE LEGEND							
ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
BRI-1	STANDARD FACE BRICK-4"x12" PATTERN: TBD	TO MATCH HEBRON/WILD ROSE	ALU-2	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE
BRI-2	STANDARD FACE BRICK-4"x12" PATTERN: TBD	TO MATCH HEBRON/CHAMPAGNE	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS	GREY (PARGED FINISH)	SFW-1	STOREFRONT WINDOW DOOR, REFER TO WINDOW SCHEDULE
STO-1	GRANITE STONE CLADDING PATTERN: TBD	COLOUR: GREY FINISH: HONED	CON-2	ARCHITECTURAL CONCRETE COLUMNS	GREY (PARGED FINISH)	GUA-1	SAFETY GLASS BALCONY GUARD
STO-2	STONE CLADDING PATTERN: TBD	WHITE SLAB	SIL-1	CONCRETE PRECAST SILL/HEADER	GREY	GUA-2	METAL BALCONY GUARD
TER-1	TERRA COTTA - TR2	TO MATCH "ROSE" OR SIMILAR MATT FINISH	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: TO MATCH EUROLINE QUARZGRAU SFTN GLASS: TBD	GPS-1	SAFETY GLASS PRIVACY SCREEN
TER-2	TERRA COTTA - TH2	TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: CLEAR ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-1	ENGINEERED WOOD
MOS-1	EXTERIOR TYPE MOSAIC TILE	MULTI COLOUR - WHITE, MEDIUM & DARK GREY	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-2	EXTERIOR WOOD PATTERN SOFFT
ALU-1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE					

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REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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CLIENT

parc  
retirement  
living

PROJECT NO. 17420

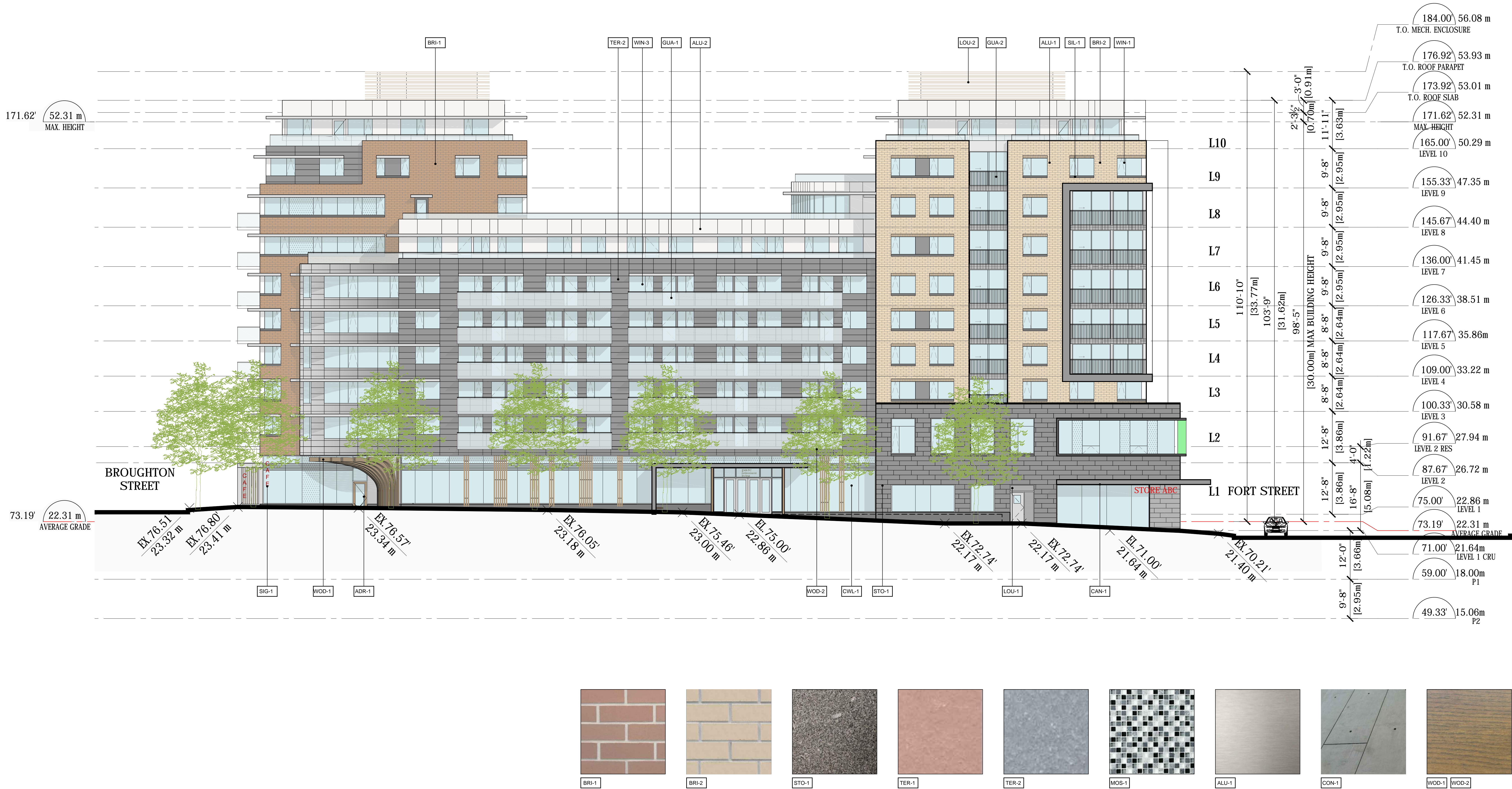
PROJECT  
PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
NORTH ELEVATION  
FORT STREET

SEAL

DRAWING NO. REVISION  
-  
DATE APR 2017  
SCALE 1:125

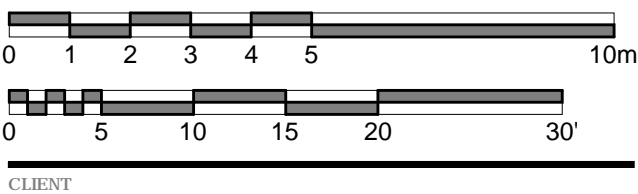




ELEVATION KEYNOTE LEGEND							
ITEM		COLOUR /FINISH		ITEM		COLOUR /FINISH	
<div>BRI-1</div>	STANDARD FACE BRICK-4'X12" PATTERN: TBD	TO MATCH HEBRON/WILD ROSE		<div>ALU-2</div>	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER	
<div>BRI-2</div>	STANDARD FACE BRICK-4'X12" PATTERN: TBD	TO MATCH HEBRON/CHAMPAGNE		<div>CON-1</div>	ARCHITECTURAL CONCRETE W/ REVEALS	GREY (PARGED FINISH)	
<div>STO-1</div>	GRANITE STONE CLADDING PATTERN: TBD	COLOR: GREY FINISH: HONED		<div>CON-2</div>	ARCHITECTURAL CONCRETE COLUMNS	GREY (PARGED FINISH)	
<div>STO-2</div>	STONE CLADDING PATTERN: TBD	WHITE SLAB		<div>SIL-1</div>	CONCRETE PRECAST SILL/HEADER	GREY	
<div>TER-1</div>	TERRA COTTA - TR2	TO MATCH "ROSE" OR SIMILAR MATT FINISH		<div>WIN-1</div>	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: TO MATCH EUROLINE QUARZGRAU SFTN GLASS: TBD	
<div>TER-2</div>	TERRA COTTA - TH2	TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH		<div>WIN-2</div>	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: CLEAR ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	
<div>MOS-1</div>	EXTERIOR TYPE MOSAIC TILE	MULTI COLOUR - WHITE, MEDIUM & DARK GREY		<div>WIN-3</div>	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	
<div>ALU-1</div>	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE					
				<div>CWL-1</div>	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	
				<div>SFW-1</div>	STOREFRONT WINDOW/ DOOR; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	
				<div>GUA-1</div>	SAFETY GLASS BALCONY GUARD	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD	
				<div>GUA-2</div>	METAL BALCONY GUARD	FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY	
				<div>GPS-1</div>	SAFETY GLASS PRIVACY SCREEN	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSCULENT GLASS	
				<div>WOD-1</div>	ENGINEERED WOOD	COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT GLASS	
				<div>WOD-2</div>	EXTERIOR WOOD PATTERN SOFFIT	COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	
				<div>CAN-1</div>	METAL FRAMED CANOPY W/ GLASS	FRAME: TOO MATCH WINDOW FRAMES GLASS: CLEAR LAMINATED	
				<div>CAN-2</div>	FRAMED FABRIC CANOPY	FRAME: NA COLOR: NA	
				<div>OHG-1</div>	ALUMINUM OVERHEAD GARAGE DOOR	FRAME: ALUMINUM POWDER COATED COLOR: RUST	
				<div>ADR-1</div>	ALUMINUM FRAME DOOR W/ GLAZING UNIT	FRAME: TO MATCH WINDOW FRAMES GLASS: TBD	
				<div>LOU-1</div>	ALUMINUM WALL LOUVERS	COLOR: TO MATCH ADJACENT WINDOW FRAMES OR CLADDING	
				<div>LOU-2</div>	METAL SCREEN SYSTEM - ROOFTOP	METAL PATTERN: ALUMINUM POWDER COATED COLOR: LIGHT GREY	
				<div>SIG-1</div>	SIGNAGE	BY SIGNAGE CONSULTANT	

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019

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**parc**  
retirement  
living

PROJECT NO. 17420

PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
**EAST ELEVATION**  
**QUADRA STREET**

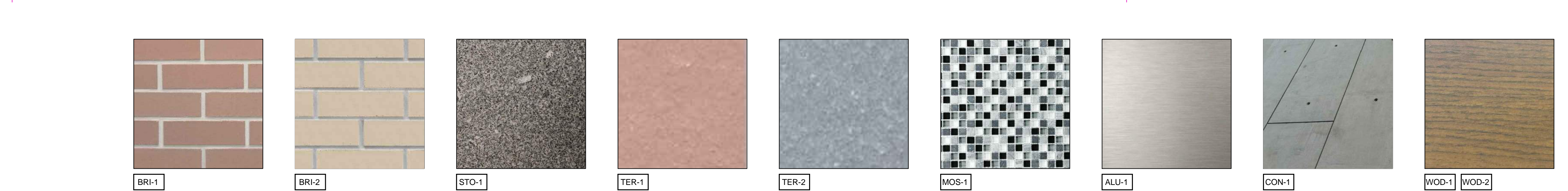
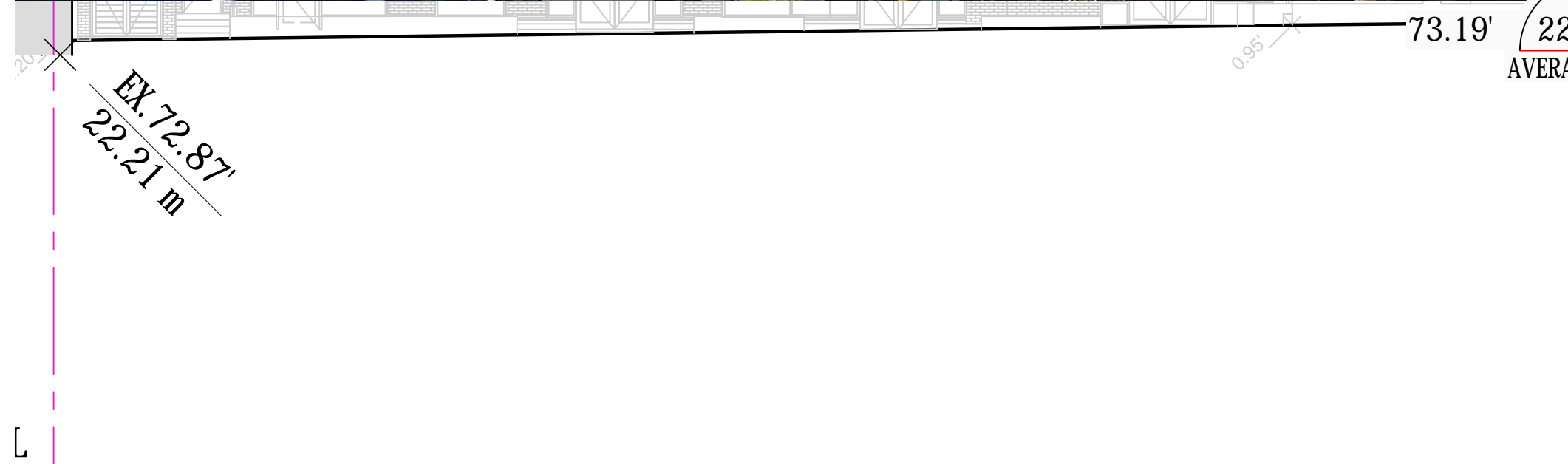
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DRAWING NO. REVISION

**A405**

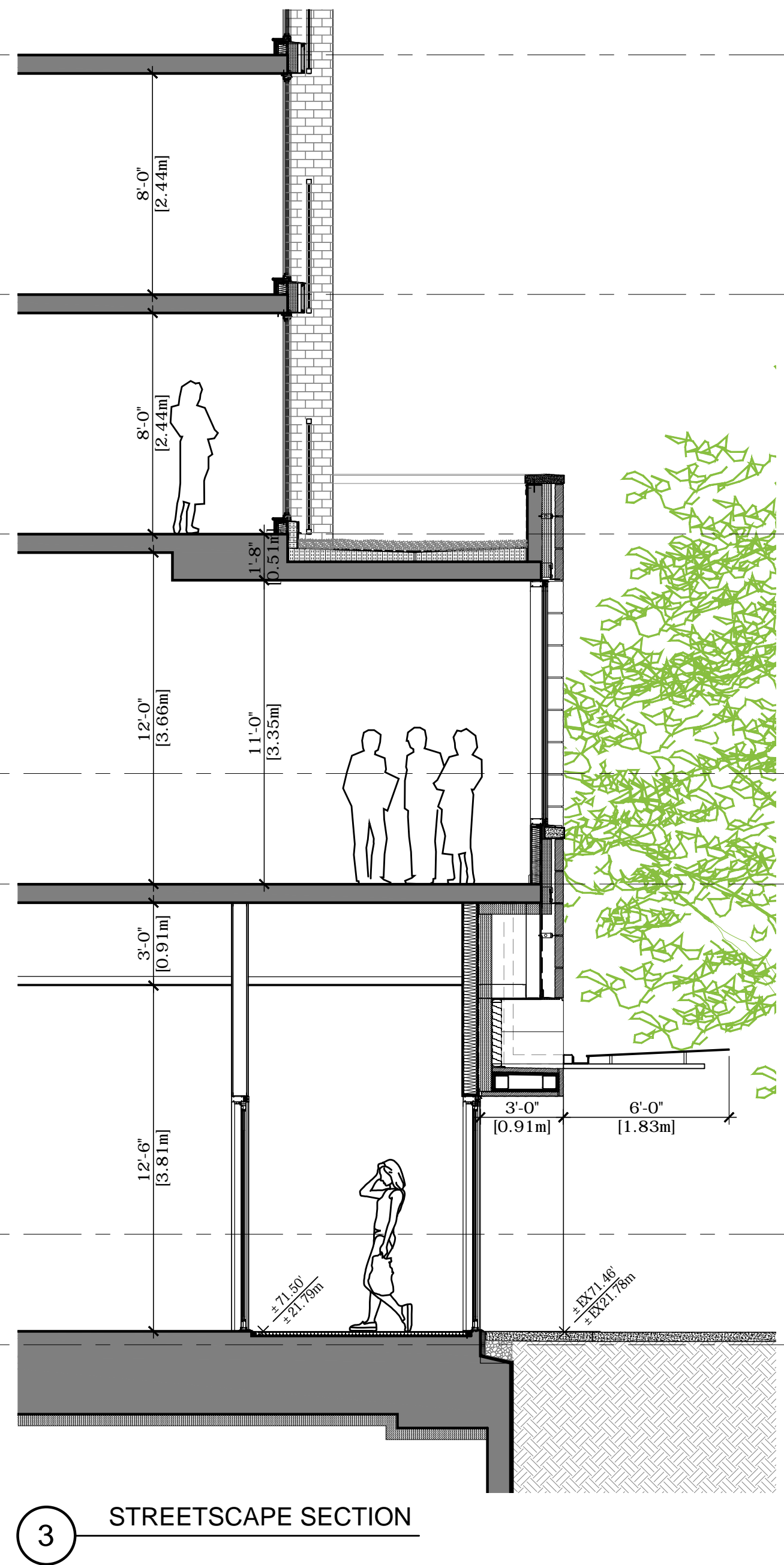
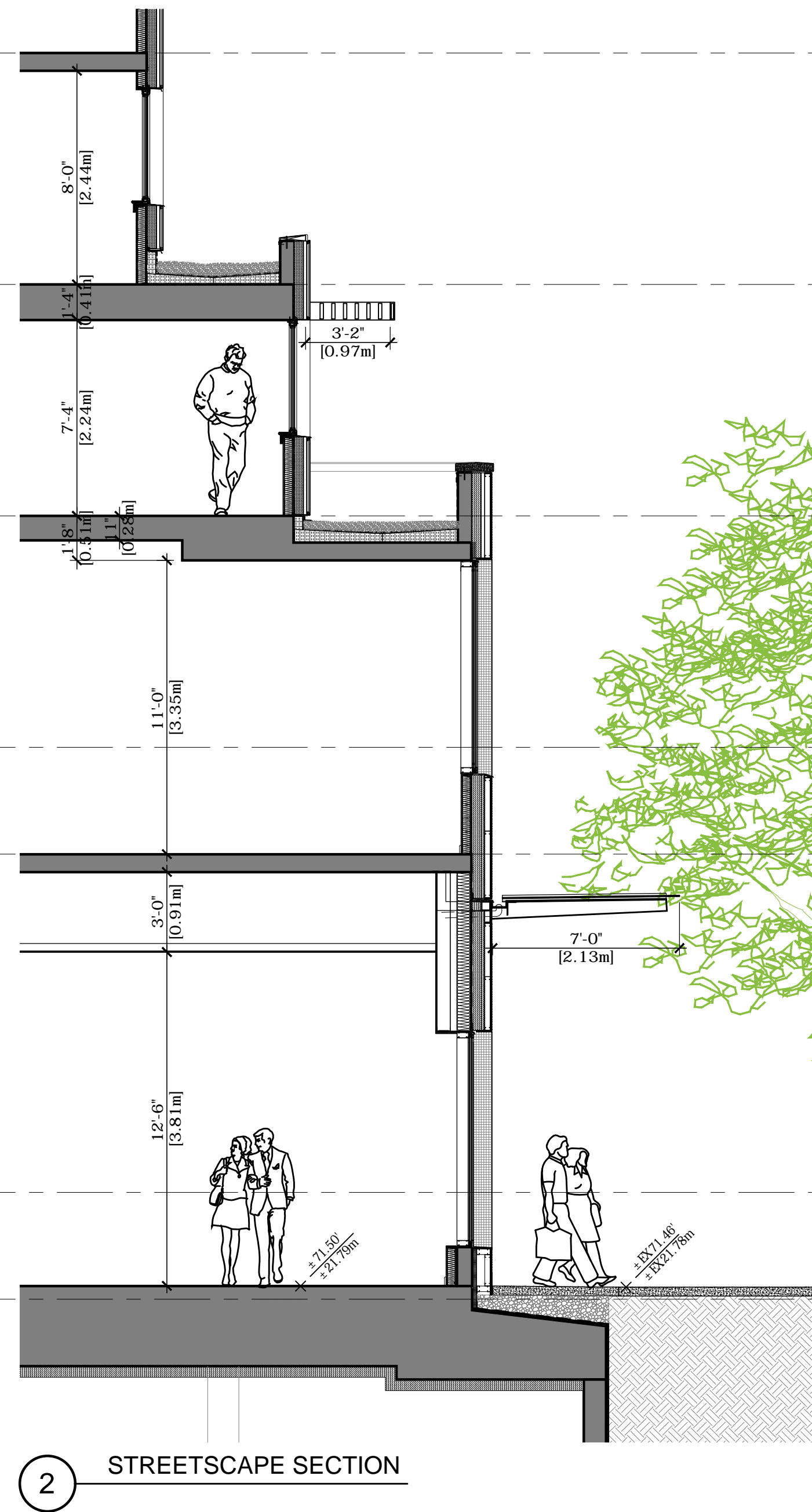
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ELEVATION KEYNOTE LEGEND											
ITEM		COLOUR /FINISH		ITEM		COLOUR /FINISH		ITEM		COLOUR /FINISH	
[BRI-1]	STANDARD FACE BRICK-4'X12' PATTERN: TBD	TO MATCH HEBRON/WILD ROSE		[ALU-2]	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER		[CWL-1]	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	
[BRI-2]	STANDARD FACE BRICK-4'X12' PATTERN: TBD	TO MATCH HEBRON/CHAMPAGNE		[CON-1]	ARCHITECTURAL CONCRETE W/ REVEALS	GREY (PARGED FINISH)		[SFW-1]	STOREFRONT WINDOW/DOOR; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	
[STO-1]	GRANITE STONE CLADDING PATTERN: TBD	COLOUR: GREY FINISH: HONEYED		[CON-2]	ARCHITECTURAL CONCRETE COLUMNS	GREY (PARGED FINISH)		[GUA-1]	SAFETY GLASS BALCONY GUARD	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD	
[STO-2]	STONE CLADDING PATTERN: TBD	WHITE SLAB		[SIL-1]	CONCRETE PRECAST SILL/HEADER	GREY		[GUA-2]	METAL BALCONY GUARD	FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY	
[TER-1]	TERRA COTTA - TR2	TO MATCH "ROSE" OR SIMILAR MATT FINISH		[WIN-1]	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: TO MATCH EUROLINE QUARZGLAU SPTN GLASS: TBD		[GPS-1]	SAFETY GLASS PRIVACY SCREEN	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS	
[TER-2]	TERRA COTTA - TH2	TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH		[WIN-2]	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: CLEAR ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD		[WOD-1]	ENGINEERED WOOD	COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	
[MOS-1]	EXTERIOR TYPE MOSAIC TILE	MULTI COLOUR - WHITE, MEDIUM & DARK GREY		[WIN-3]	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD		[WOD-2]	EXTERIOR WOOD PATTERN SOFFIT	COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	
[ALU-1]	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE									

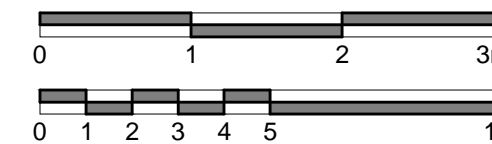




REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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CLIENT

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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

FORT (NORTH) STREETSCAPE  
/ PARTIAL SECTION

SEAL

DRAWING NO.

REVISION

-

A407

DATE

DRAWN

SCALE

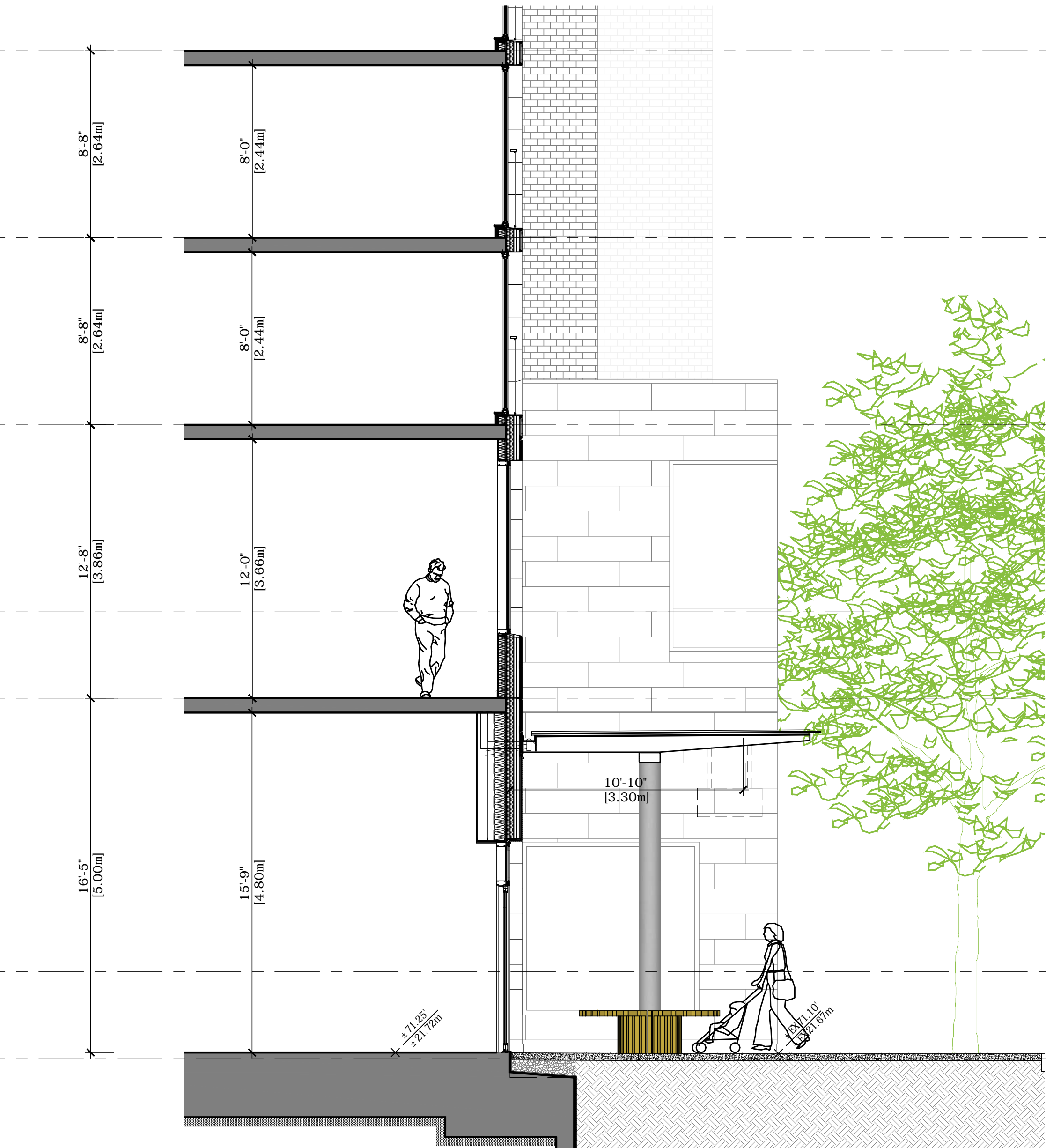
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1 NORTH/ FORT STREET ELEVATION

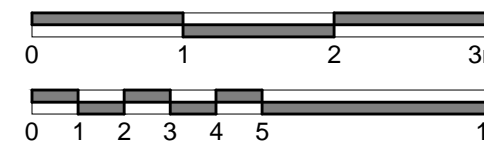


2 STREETSCAPE SECTION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

FORT (NORTH) STREETSCAPE  
/ PARTIAL SECTION

SEAL

DRAWING NO.

REVISION

A408

DATE

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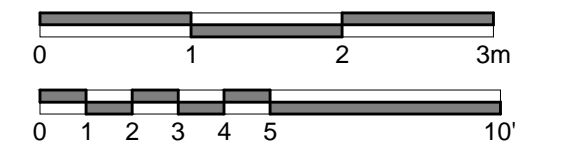
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2 STREETScape SECTION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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PROJECT NO.

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PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

FORT (NORTH) STREETScape  
/ PARTIAL SECTION

SEAL

DRAWING NO.

REVISION

A409

DATE

DRAWN

SCALE

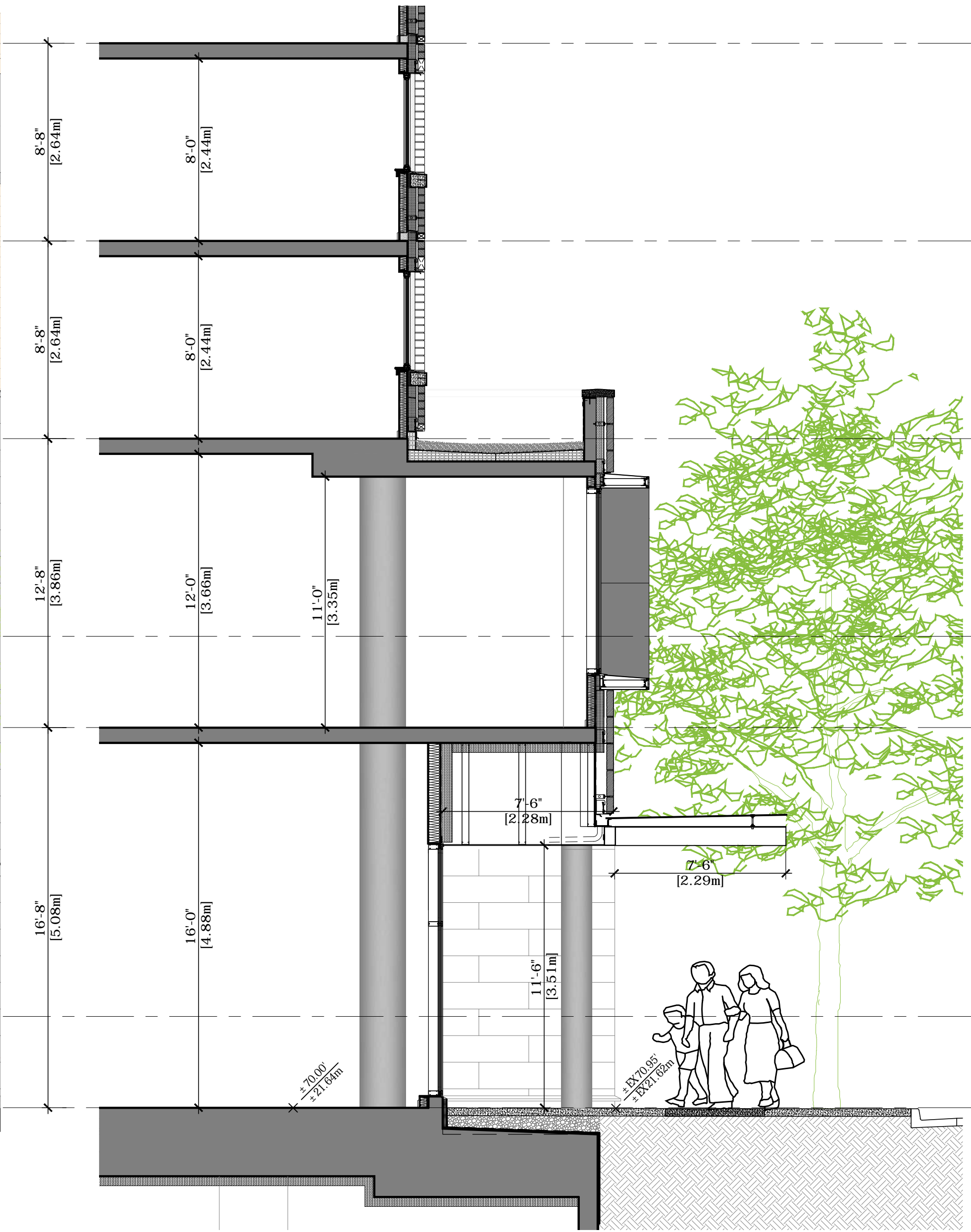
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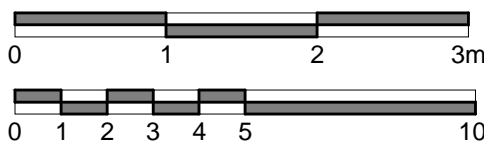
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2 STREETScape SECTION

NO.	DESCRIPTION	DATE
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PROJECT NO. 17420  
PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
**FORT (NORTH) STREETScape / PARTIAL SECTION**

SEAL

DRAWING NO. REVISION  
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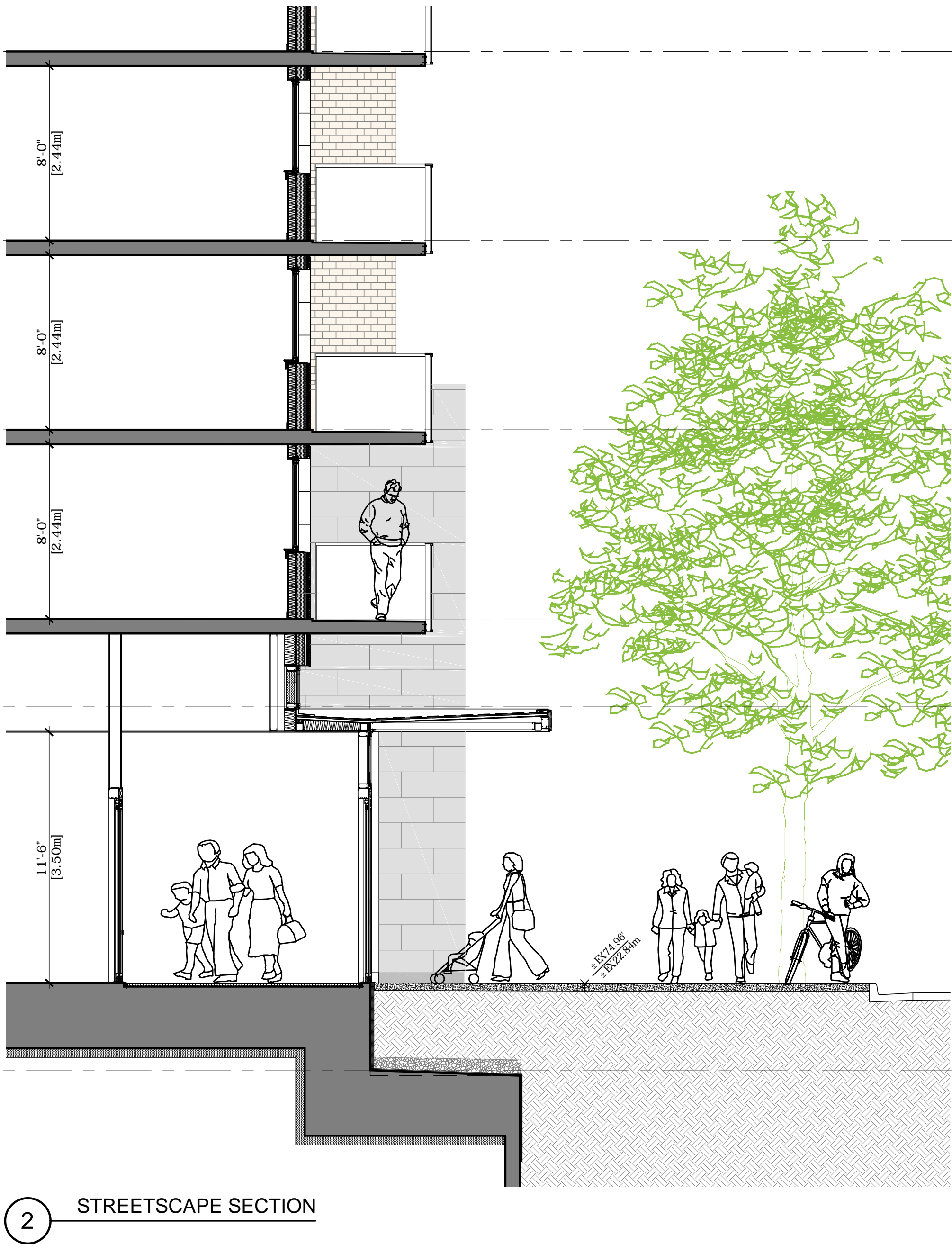
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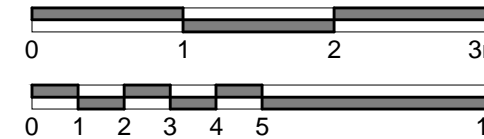




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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

QUADRA (EAST)  
STREETSCAPE / PARTIAL  
SECTION

SEAL

DRAWING NO.

REVISION

A412

DATE

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SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL  
AND CONDITIONS ON THE JOB SITE, AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES  
DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR  
OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS, WITH REGARD TO THE DETAILED

CLIENT \_\_\_\_\_

PROJECT NO. 17420

DRAWING TITLE

SEAL

DRAWING NO.	RE
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DATE	DRAWN
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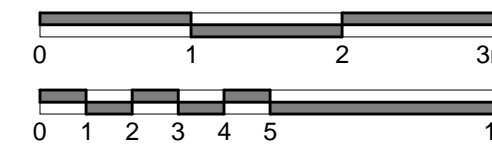




REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	18 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019

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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BROUGHTON (SOUTH)  
STREETSCAPE / PARTIAL  
SECTION

SEAL

DRAWING NO.

REVISION

A414

DATE

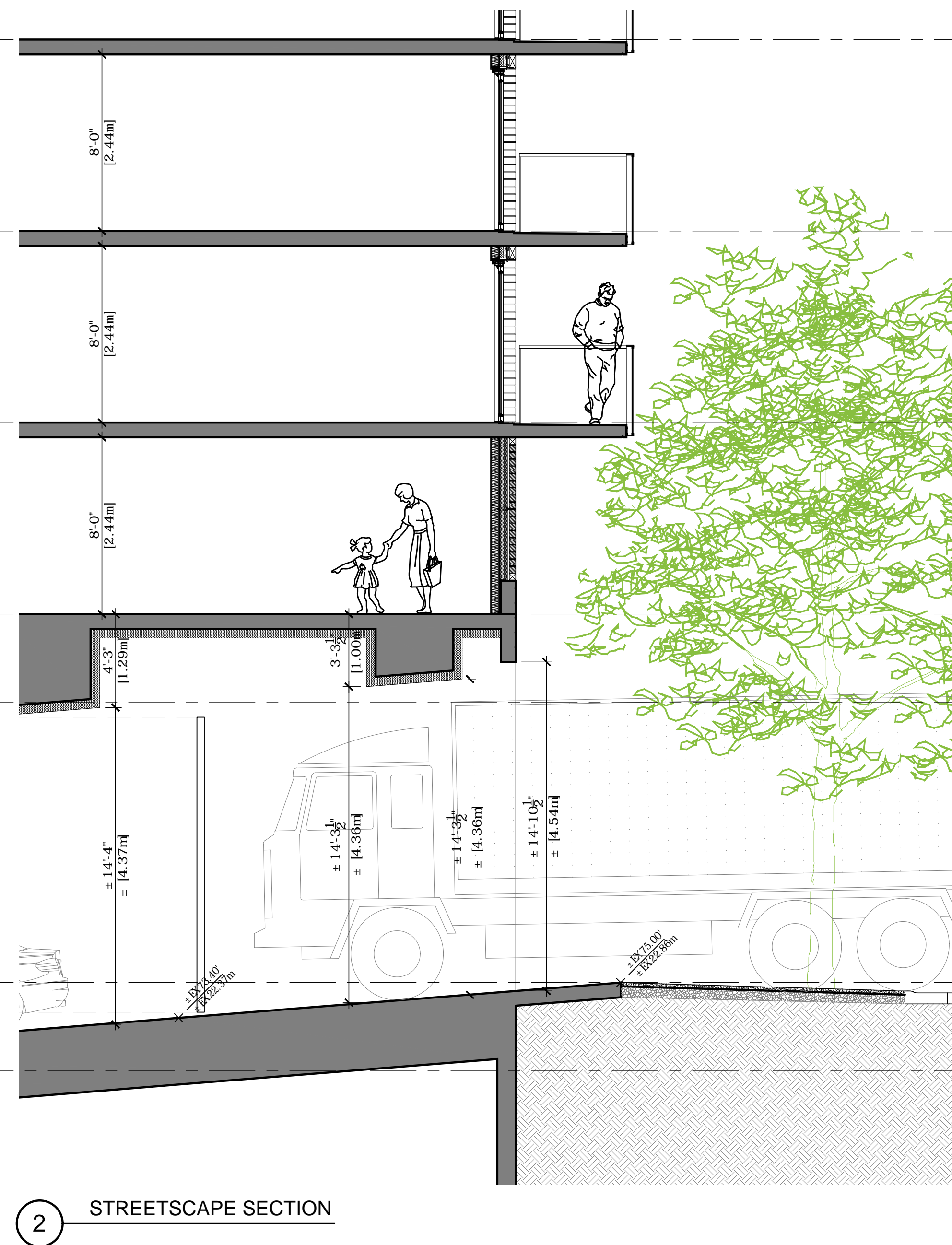
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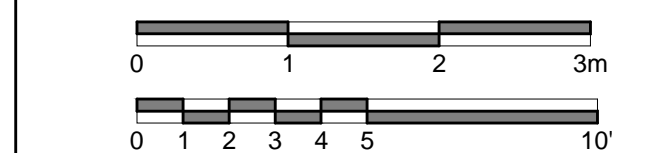
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NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019

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PROJECT NO. 17420  
PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
**BROUGHTON (SOUTH)  
STREETSCAPE / PARTIAL  
SECTION**

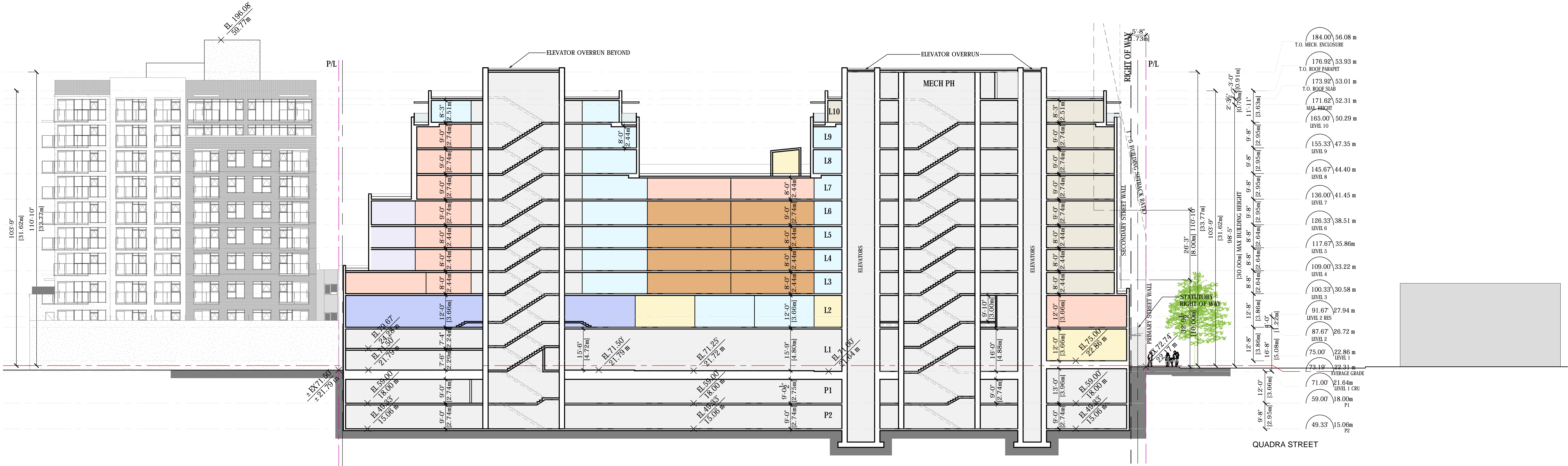
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-

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604 662 4060

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1	ISSUED FOR REZONING & DP	18 SEP 2017
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0 5 10 15 20 30 40 50'

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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION A

SEAL

DRAWING NO.

REVISION

DATE

APR 2017

SCALE

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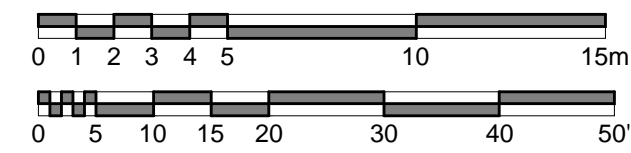
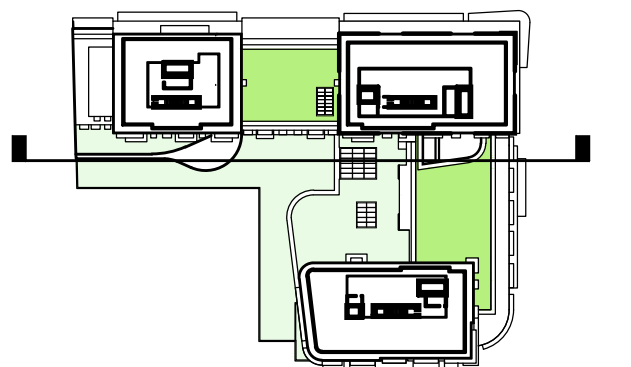
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NO.	DESCRIPTION	DATE
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2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
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retirement  
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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION B/  
INTERNAL SOUTH  
ELEVATION

SEAL

DRAWING NO.

REVISION

A502

DATE

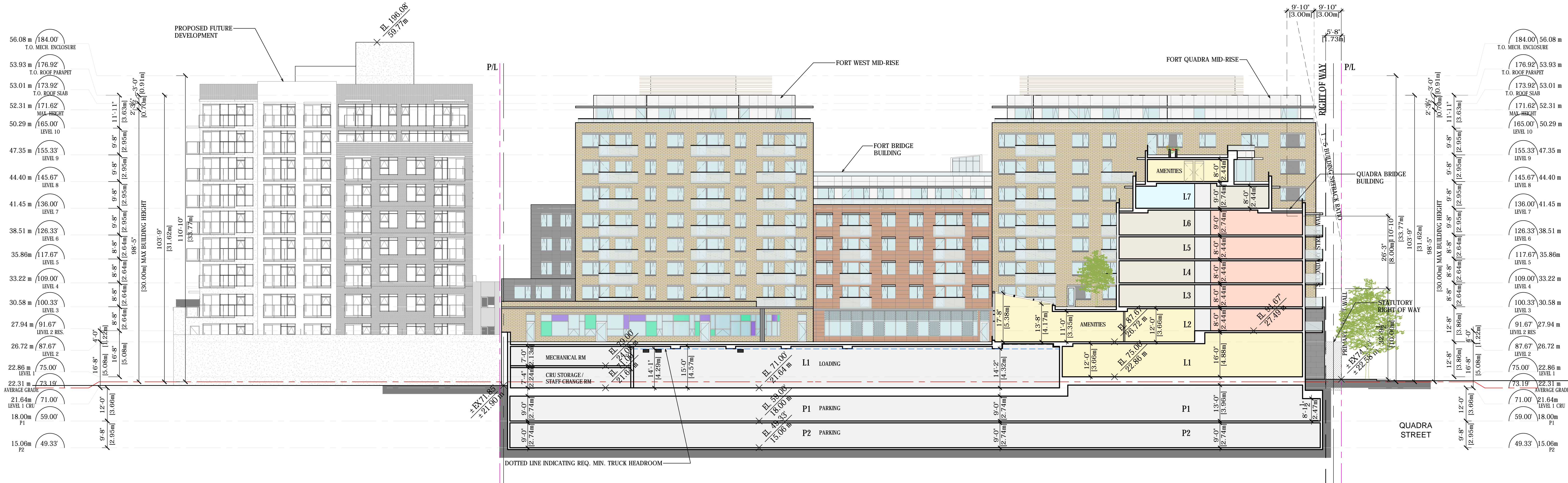
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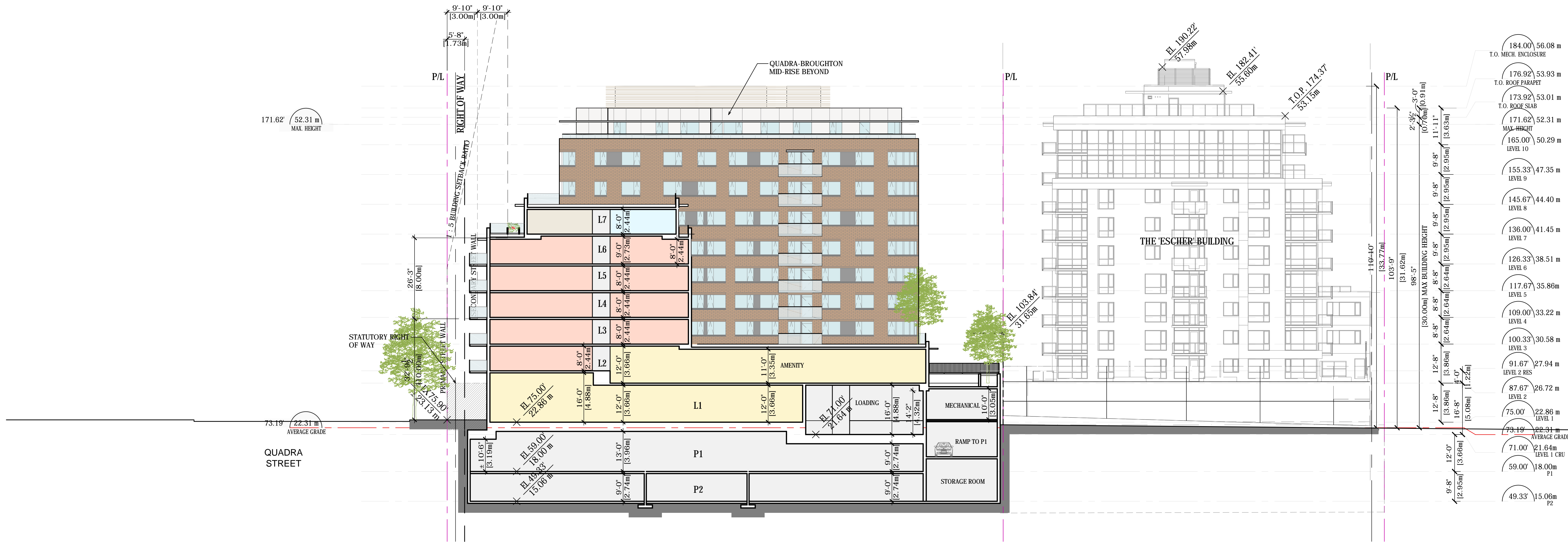
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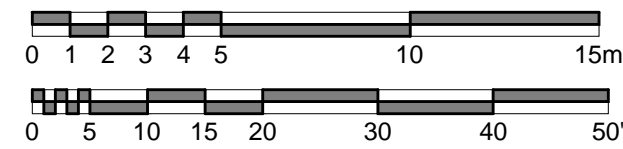
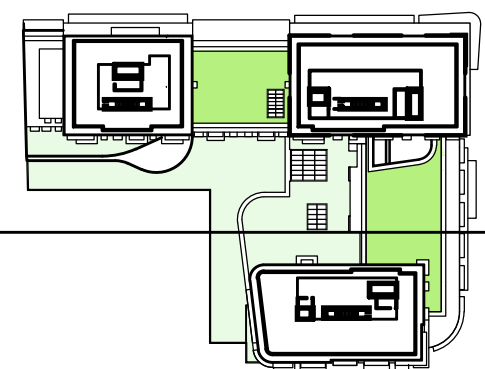




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NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
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RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019

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PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION C/  
INTERNAL NORTH  
ELEVATION

SEAL

DRAWING NO.

REVISION

A503

DATE

APR 2017

DRAWN

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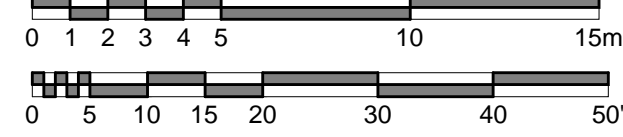
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REVISIONS	
NO.	DESCRIPTION
	DATE
ISSUED FOR REZONING & DP	18 SEP 2017
RE-ISSUED FOR REZONING & DP	20 FEB 2018
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PROJECT NO. \_\_\_\_\_

17420

PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION D

SEAL

DRAWING NO.

REVISION

# A504

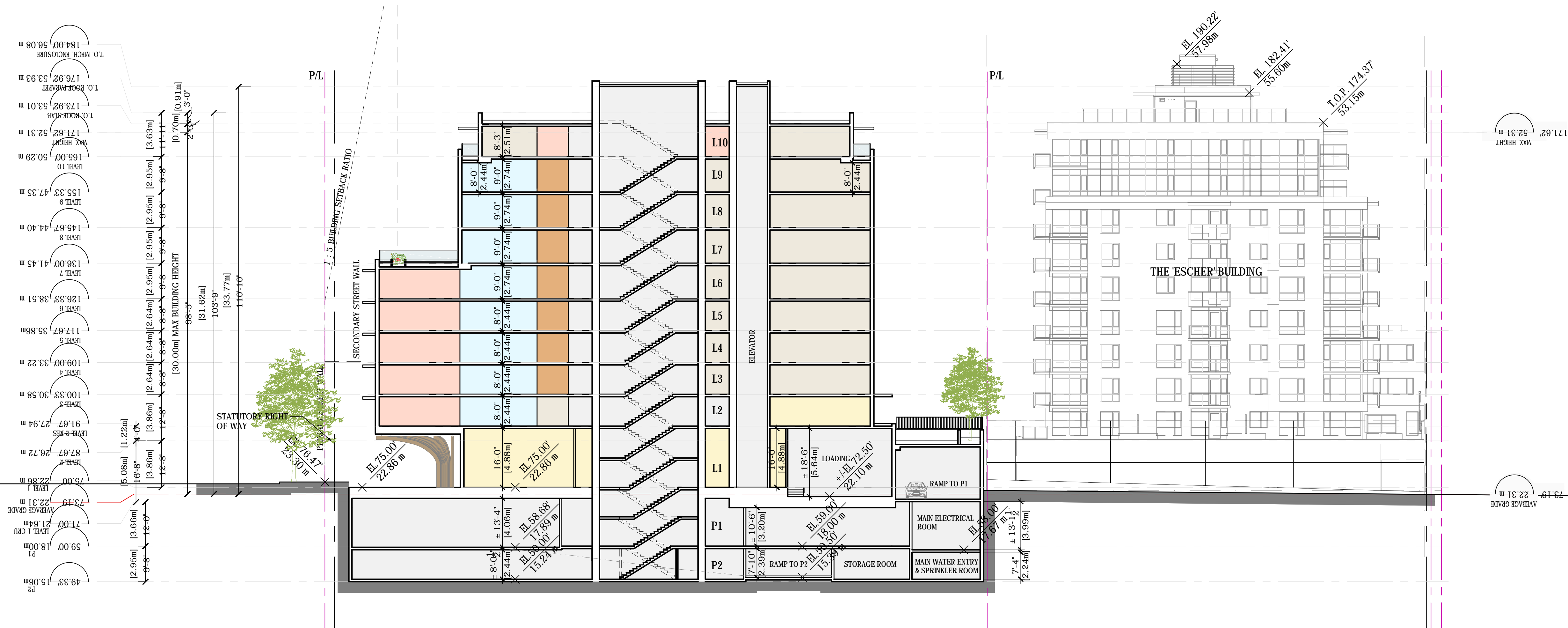
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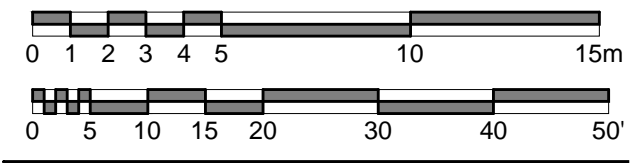
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CLIENT

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION E/  
INTERNAL WEST  
ELEVATION /  
WEST ELEVATION

DRAWING NO.

REVISION

DATE \_\_\_\_\_

DRAWN

APR 2017

SCALE

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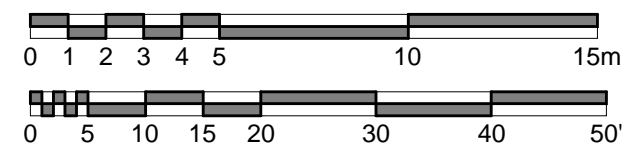
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PROJECT NO.

17420

PROJECT

## PARC VICTORIA

Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION F /  
INTERNAL EAST ELEVATION

SEAL

DRAWING NO.

REVISION

# A506

DATE \_\_\_\_\_

DRAWN

APR 2017

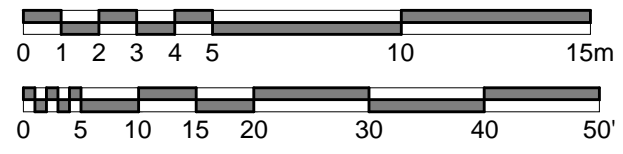
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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

BUILDING SECTION G

SEAL

DRAWING NO.

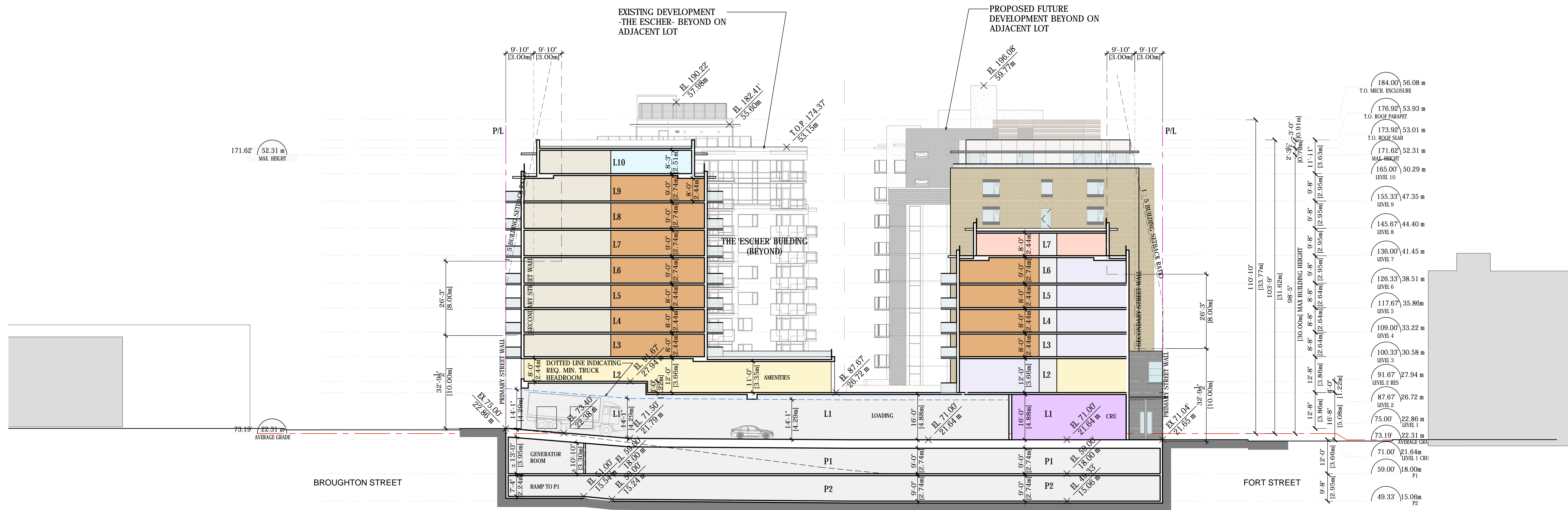
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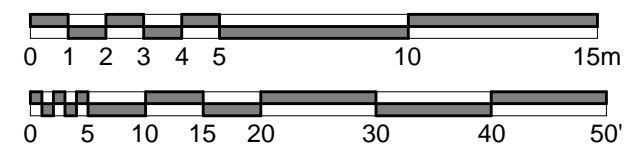
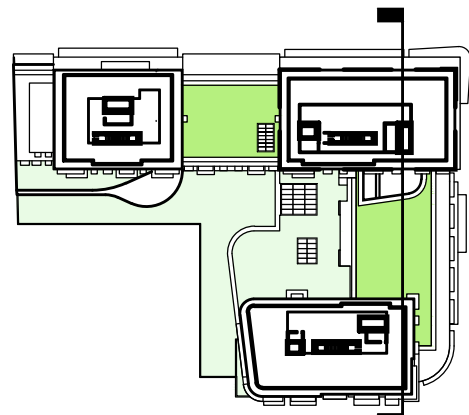




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NO. DESCRIPTION	DATE
ISSUED FOR REZONING & DP	18 SEP 2017
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PROJECT NO.

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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION J

SEAL

DRAWING NO.

REVISION

# A509

DATE \_\_\_\_\_

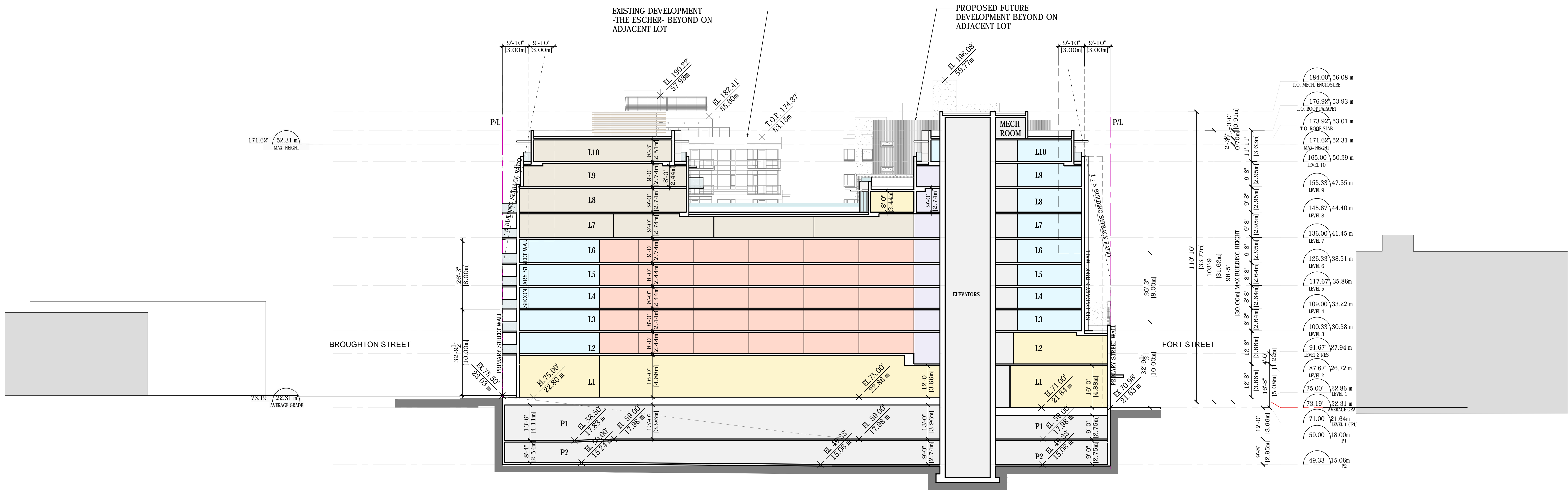
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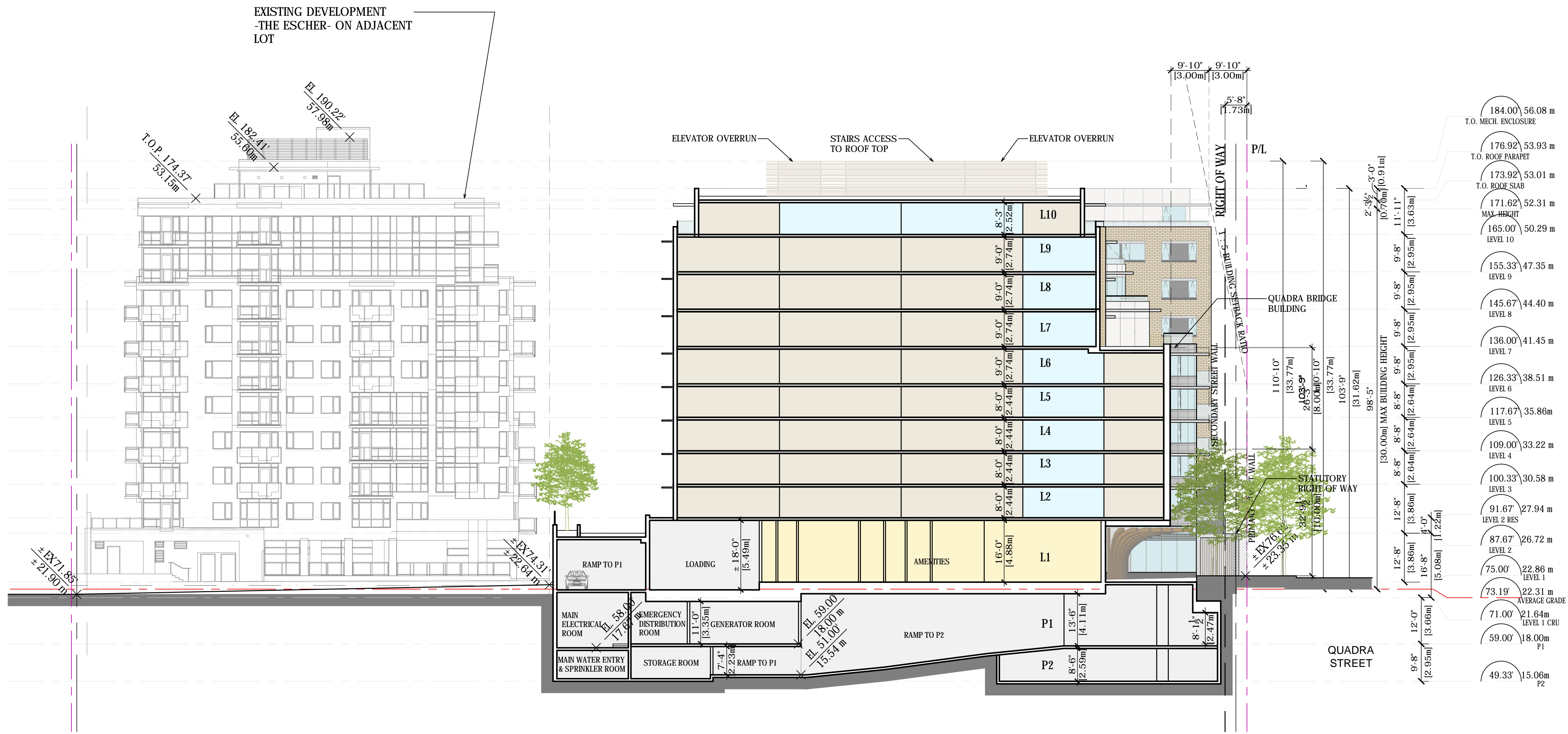
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1	ISSUED FOR REZONING & DP	18 SEP 2017
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5	RE-ISSUED FOR ADP	24 APR 2019
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0 5 10 15 20 30 40 50'

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retirement  
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

BUILDING SECTION K

SEAL

DRAWING NO.

REVISION

A510

DATE

APR 2017

DRAWN

SCALE

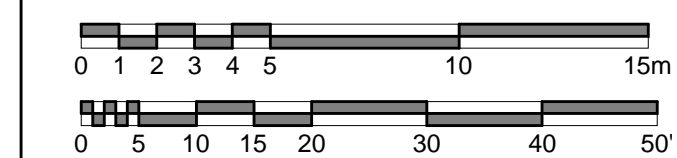
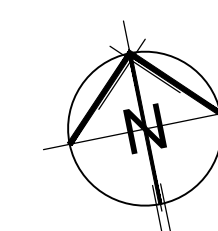
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NO.	DESCRIPTION	DATE
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PROJECT NO. \_\_\_\_\_

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

LEVEL 1  
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

001

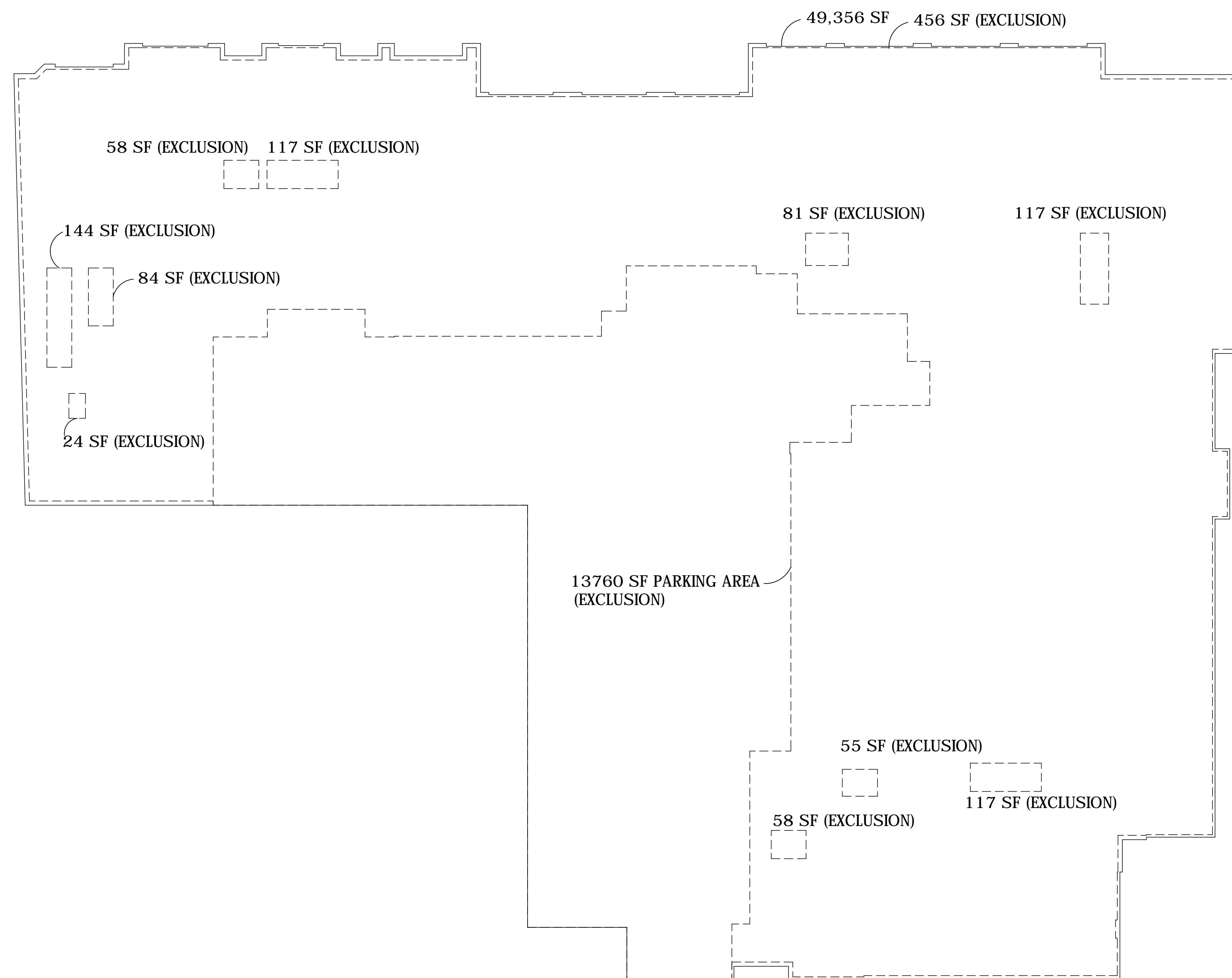
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TOTAL EXCLUDED AREA	=	15,071 SF
TOTAL FSR	=	34,285 SF



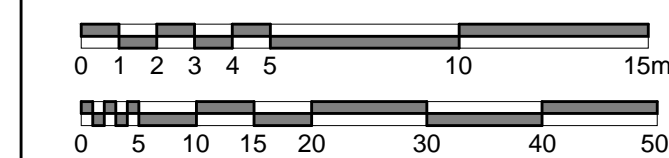
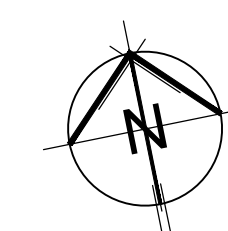
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NO.	DESCRIPTION	DATE
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PROJECT NO. \_\_\_\_\_

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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

MECHANICAL LEVEL  
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

1

002

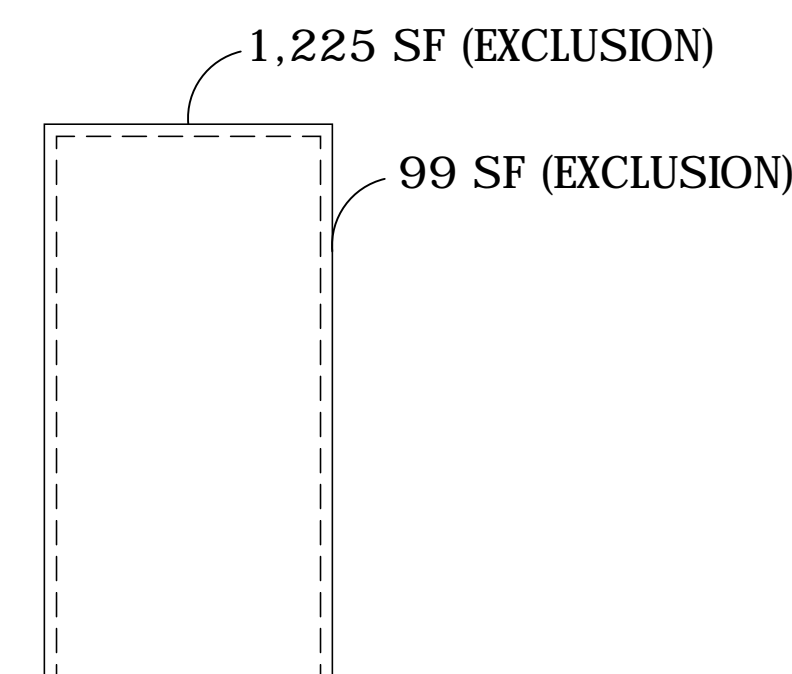
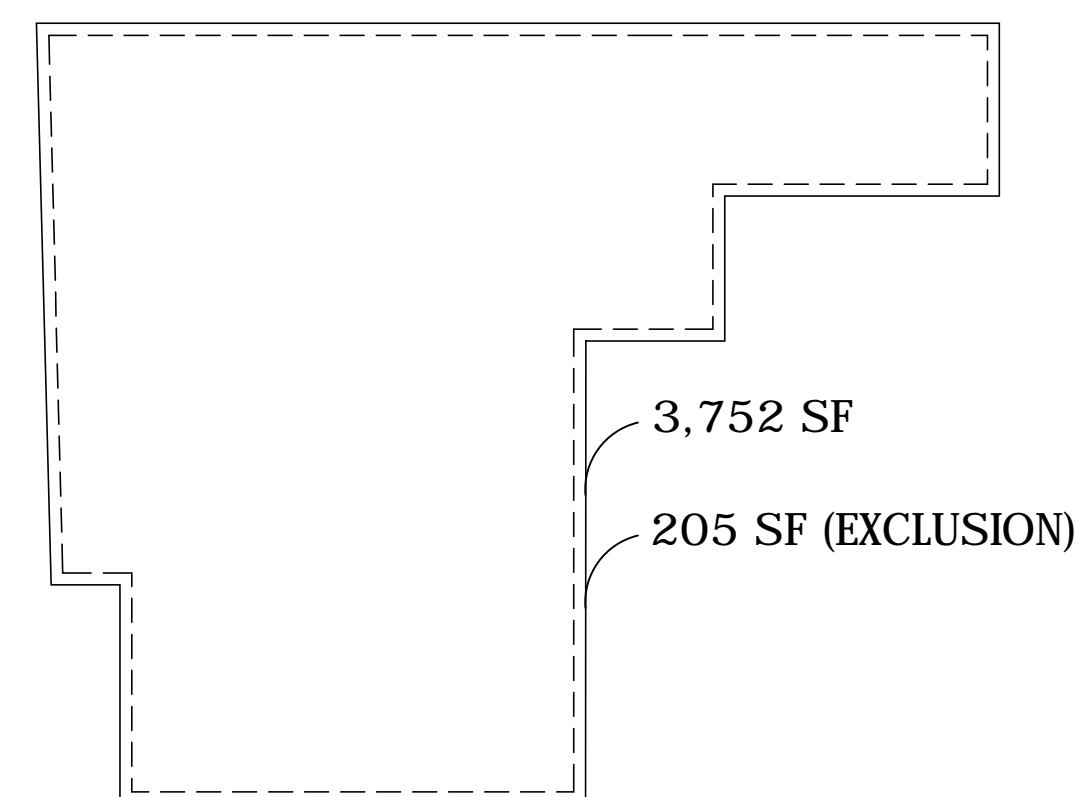
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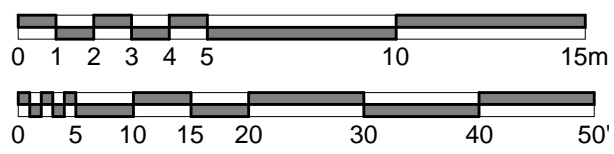
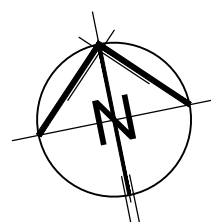
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TOTAL GROSS FLOOR AREA	=	4,977 SF
TOTAL EXCLUDED AREA	=	304 SF
TOTAL FSR	=	<u>4,673 SF</u>



NO.	DESCRIPTION	DATE
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	RE-ISSUED FOR REZONING & DP	20 FEB 2018
	RE-ISSUED FOR ADP	02 APR 2018
	RE-ISSUED FOR REZONING & DP	16 JAN 2019
	RE-ISSUED FOR ADP	24 APR 2019
	RE-ISSUED FOR REZONING & DP	29 MAY 2019

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living

PROJECT NO. \_\_\_\_\_

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PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

## LEVEL 2 AREA OVERLAY

SEAI

DRAWING NO.

REVISION

003

DATE \_\_\_\_\_

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:200



LEVEL 2 AREA CALCULATION:

TOTAL GROSS FLOOR AREA	=	41,676 SF
TOTAL EXCLUDED AREA	=	1,212 SF
TOTAL FSR	=	<u>40,464 SF</u>



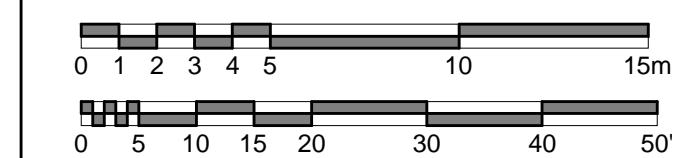
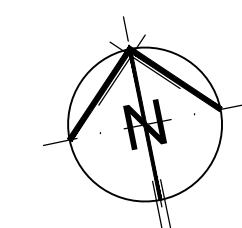
(Formerly **BESHARAT FRIARS** ARCHITECTS)  
600 - 355 Burrard Street T 604 662 8544  
Vancouver, BC V6C 2G8 F 604 662 4060  
www.bfastudioarchitects.com

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	ISSUED FOR REZONING & DP	18 SEP 2017
	RE-ISSUED FOR REZONING & DP	20 FEB 2018
	RE-ISSUED FOR ADP	02 APR 2018
	RE-ISSUED FOR REZONING & DP	16 JAN 2019
	RE-ISSUED FOR ADP	24 APR 2019
	RE-ISSUED FOR REZONING & DP	29 MAY 2019

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**PARC VICTORIA**  
Mixed Use Seniors Residential &  
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DRAWING TITLE

LEVEL 3  
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

004

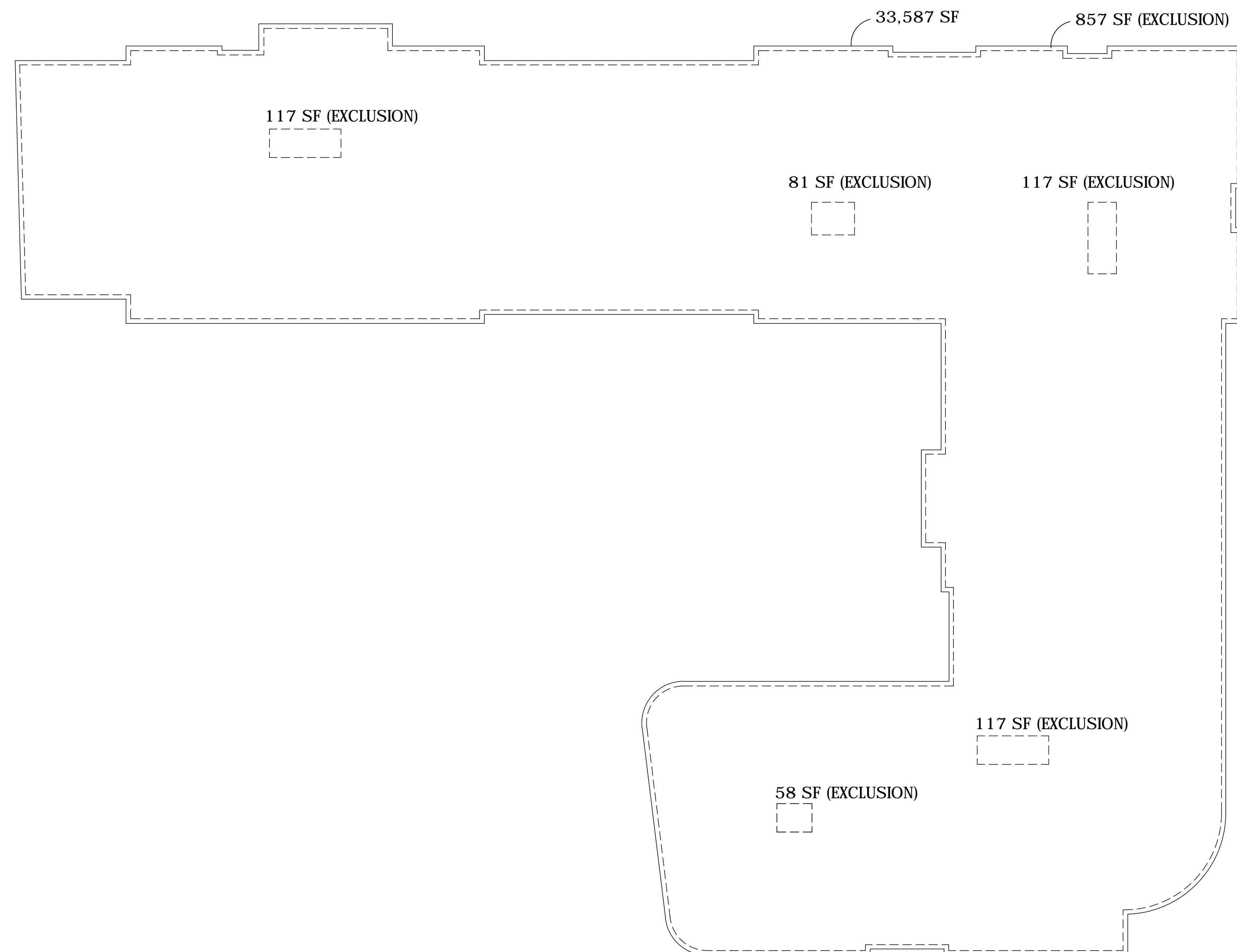
DATE \_\_\_\_\_

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1:200



LEVEL 3 AREA CALCULATION:

TOTAL GROSS FLOOR AREA	=	33,587 SF
TOTAL EXCLUDED AREA	=	1,347 SF
TOTAL FSR	=	<u>32,240 SF</u>

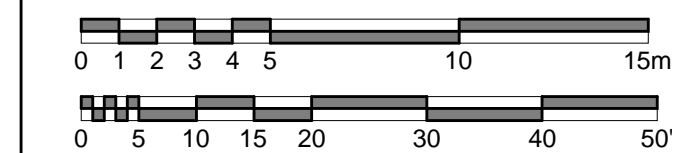
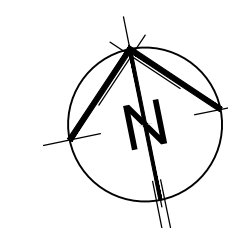


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Vancouver, BC V6C 2G8 F 604 662 4060  
[www.bfastudioarchitects.com](http://www.bfastudioarchitects.com)

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DRAWING TITLE

LEVEL 4  
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

005

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LEVEL 4 AREA CALCULATION:

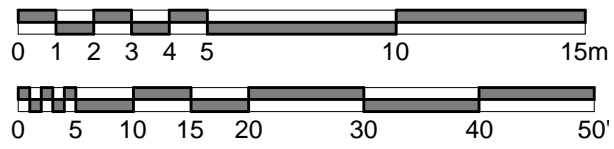
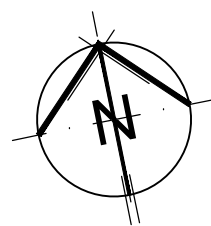
TOTAL GROSS FLOOR AREA	=	32,851 SF
TOTAL EXCLUDED AREA	=	1,338 SF
TOTAL FSR	=	<u>31,513 SF</u>



## REVISIONS

DESCRIPTION	DATE
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PARC VICTORIA  
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DRAWING TITLE

LEVEL 5  
AREA OVERLAY

SEAI

DRAWING NO.

REVISION

006

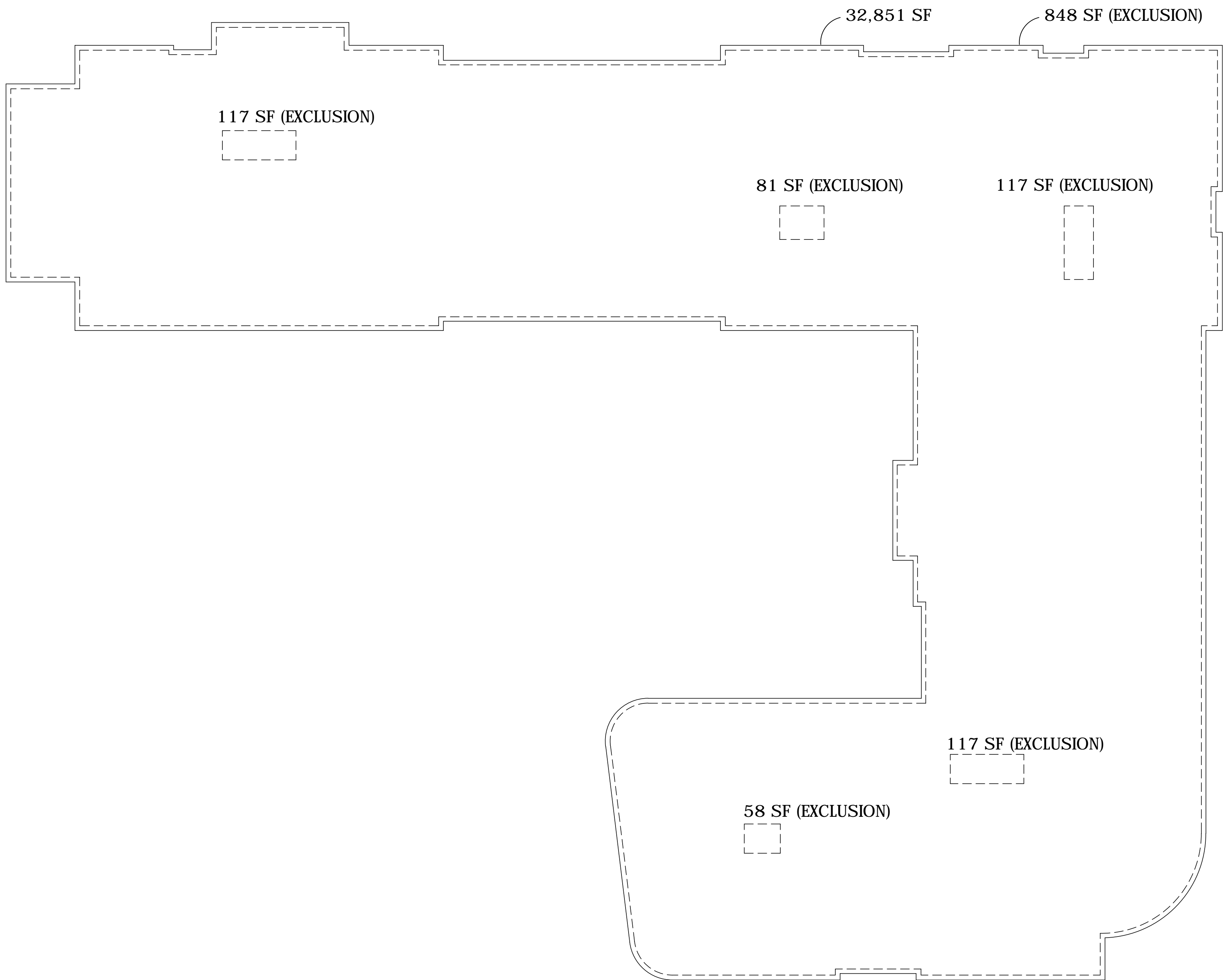
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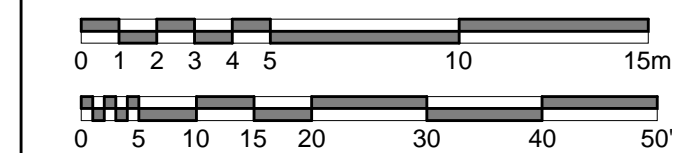
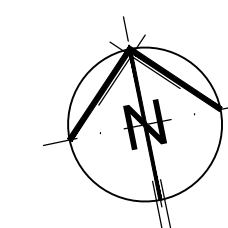
**LEVEL 5 AREA CALCULATION:**

TOTAL GROSS FLOOR AREA	=	32,851 SF
TOTAL EXCLUDED AREA	=	1,338 SF
TOTAL FSR	=	<u>31,513 SF</u>



NO.	DESCRIPTION	DATE
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	RE-ISSUED FOR ADP	24 APR 2019
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**PARC VICTORIA**  
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DRAWING TITLE

LEVEL 6  
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

007

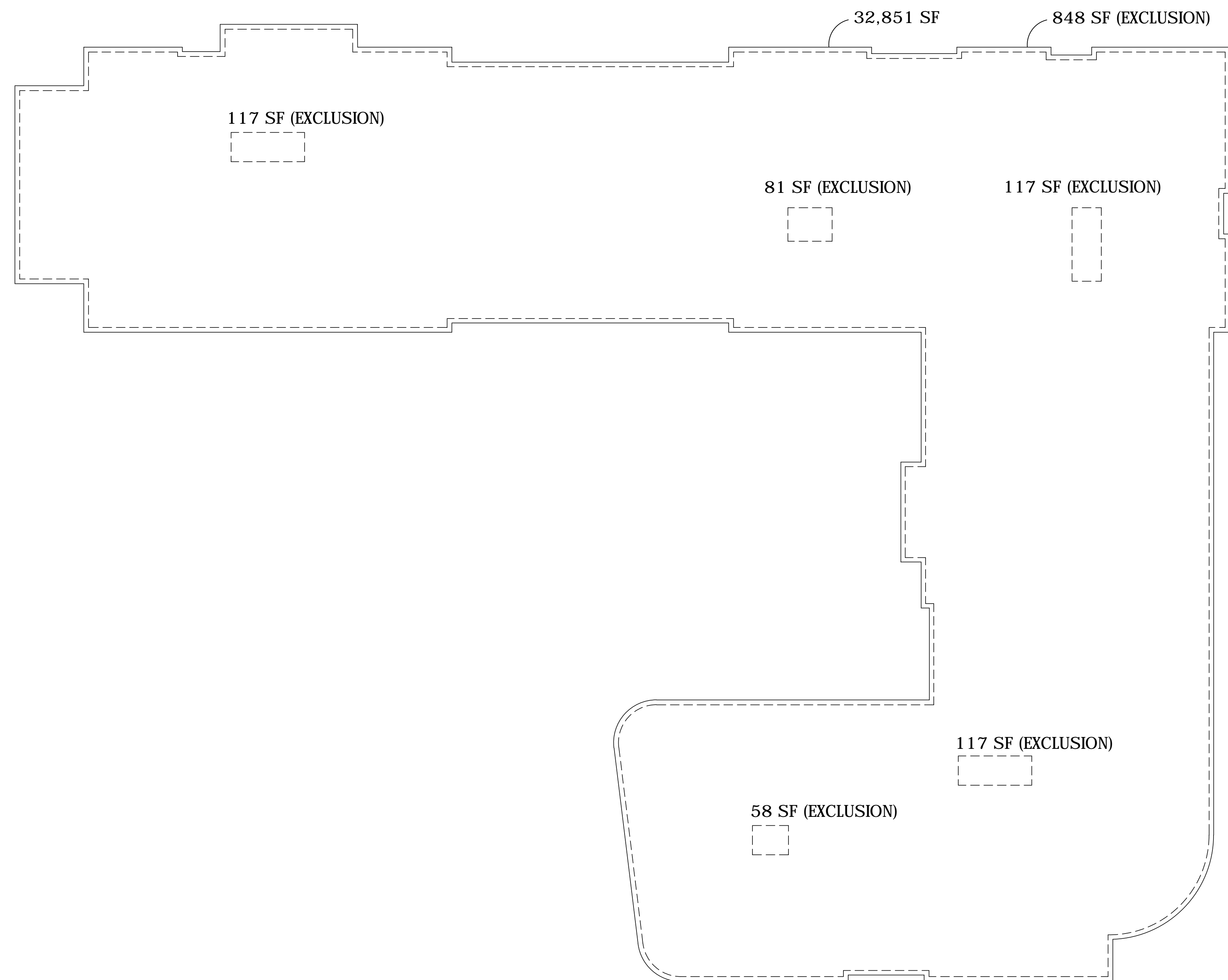
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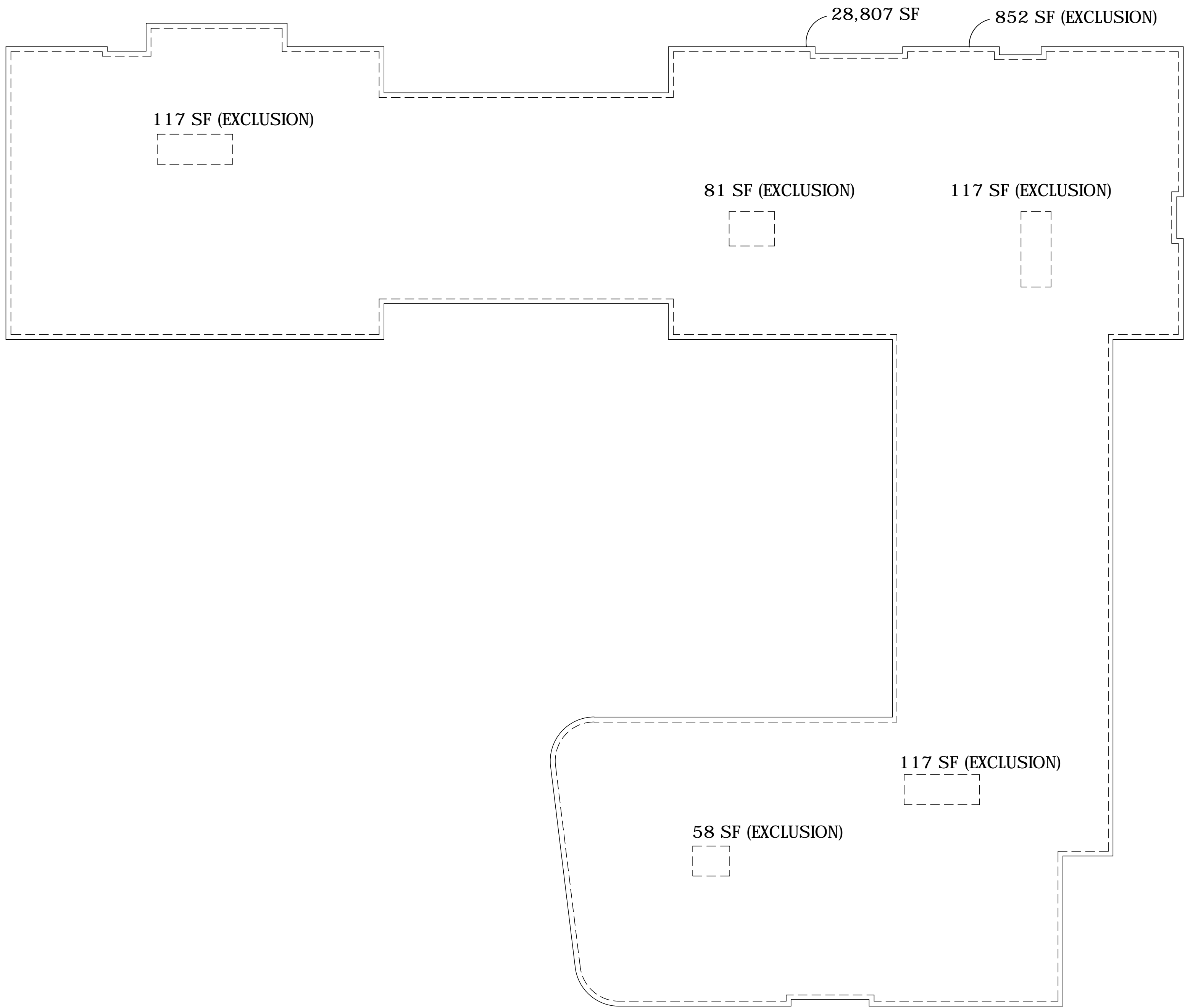
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TOTAL GROSS FLOOR AREA	=	32,851 SF
TOTAL EXCLUDED AREA	=	1,338 SF
TOTAL FSR	=	<u>31,513 SF</u>





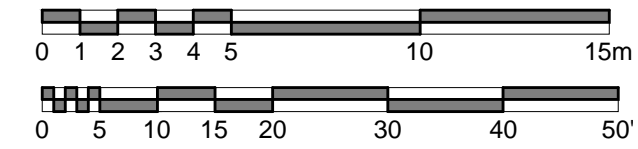
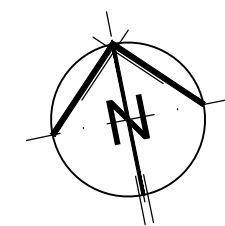
LEVEL 7 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 28,807 SF  
TOTAL EXCLUDED AREA = 1,342 SF  
TOTAL FSR = 27,465 SF

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019

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**PARC VICTORIA**  
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DRAWING TITLE

**LEVEL 7**  
**AREA OVERLAY**

SEAL

DRAWING NO.

REVISION

-

**008**

DATE

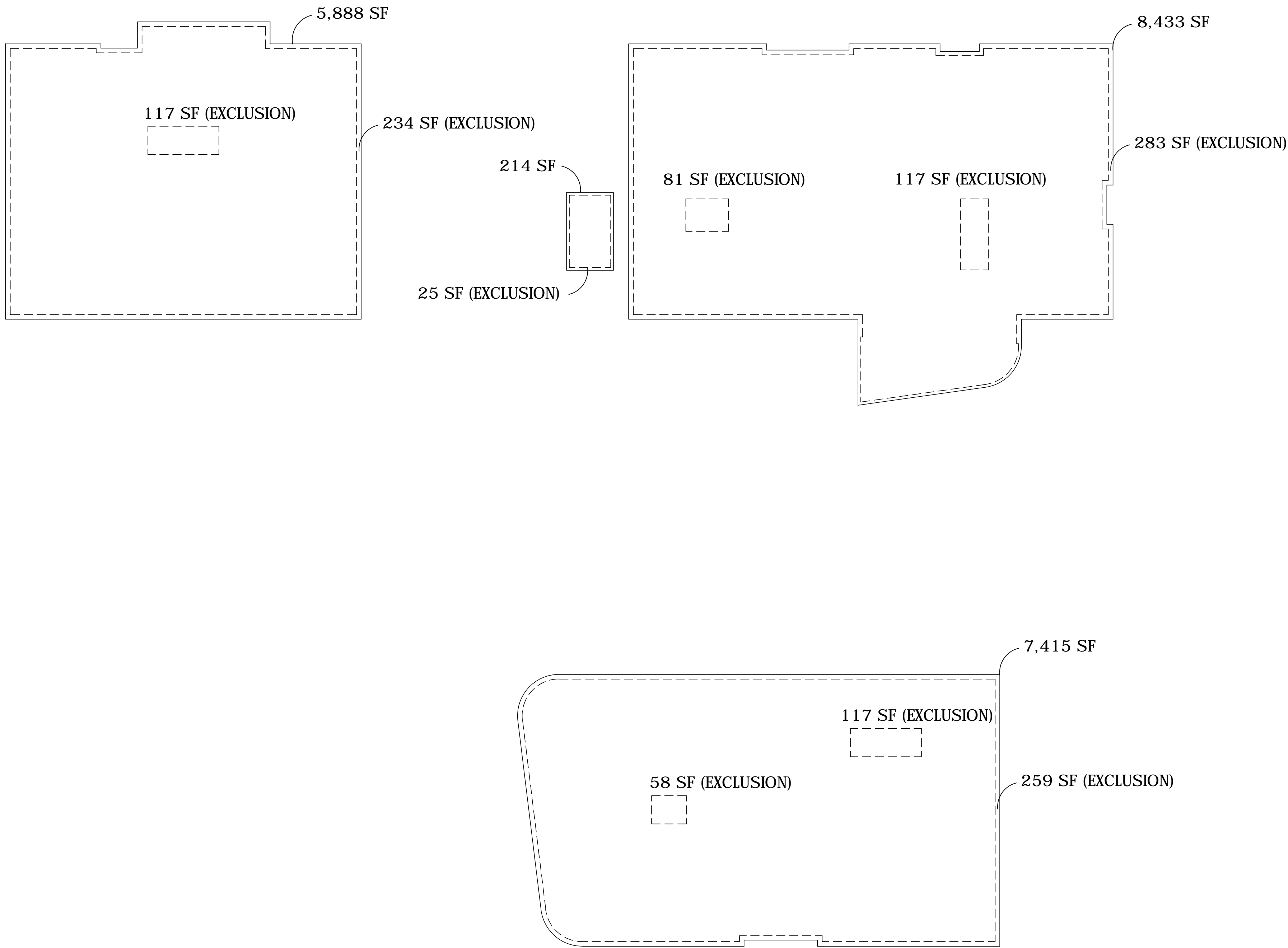
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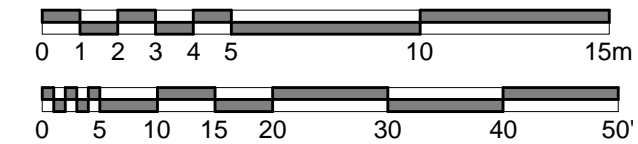
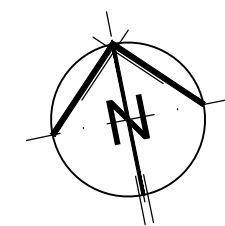
LEVEL 8 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 21,950 SF  
TOTAL EXCLUDED AREA = 1,291 SF  
TOTAL FSR = 20,659 SF

REVISIONS

NO.	DESCRIPTION	DATE
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RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019

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LEVEL 8  
AREA OVERLAY

SEAL

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REVISION

009

DATE

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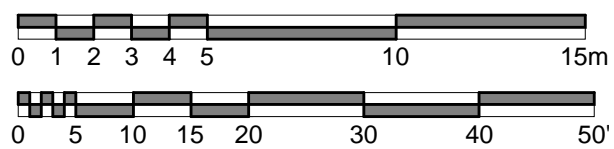
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NO.	DESCRIPTION	DATE
	ISSUED FOR REZONING & DP	18 SEP 2017
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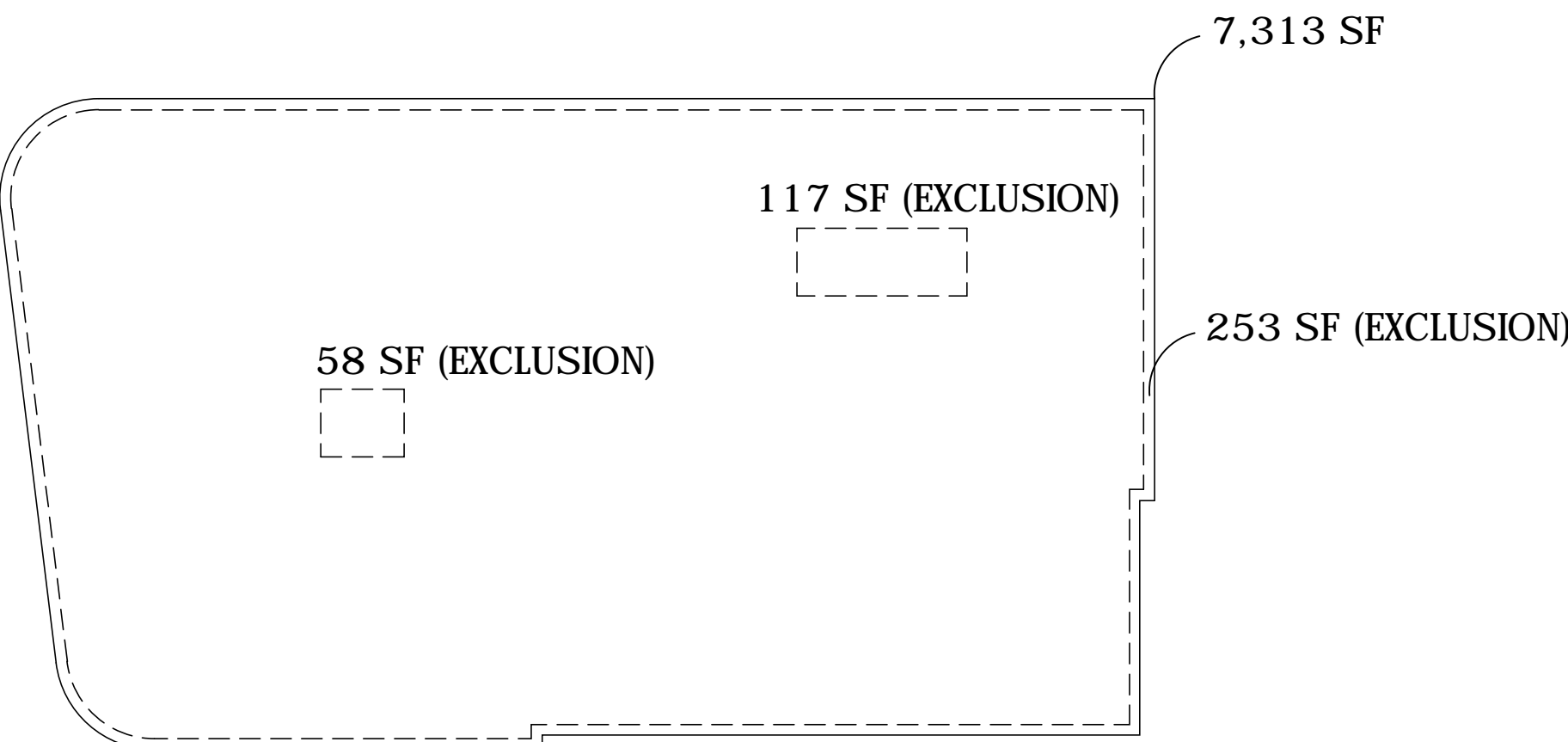
PARC VICTORIA  
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Commercial Development

LEVEL 9  
AREA OVERLAY

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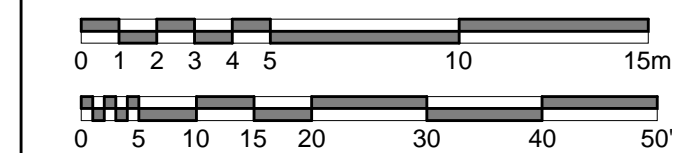
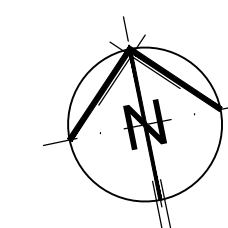


TOTAL GROSS FLOOR AREA	=	20,938 SF
TOTAL EXCLUDED AREA	=	1,252 SF
TOTAL FSR	=	19,686 SF



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DRAWING TITLE

LEVEL 10  
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

011

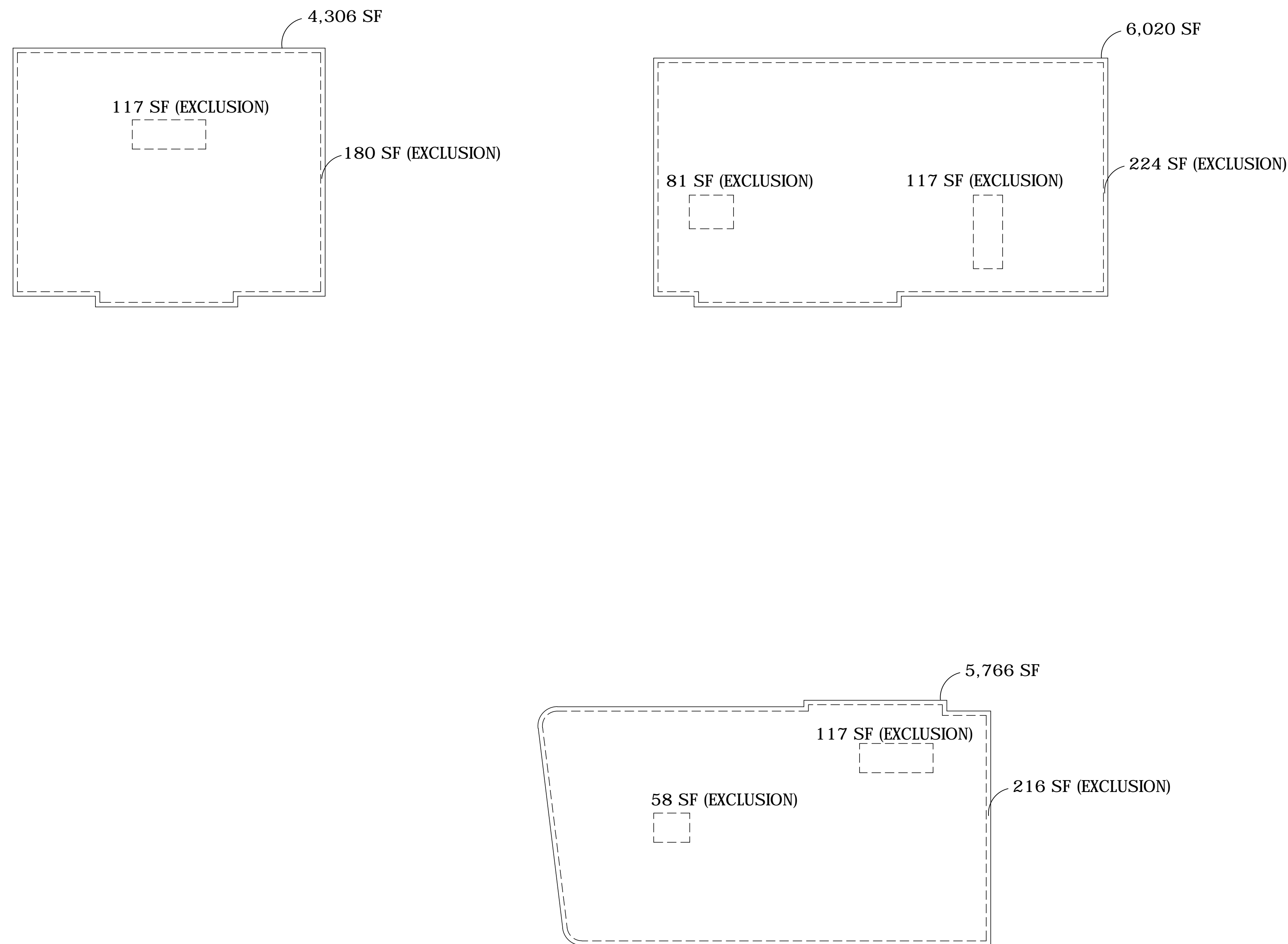
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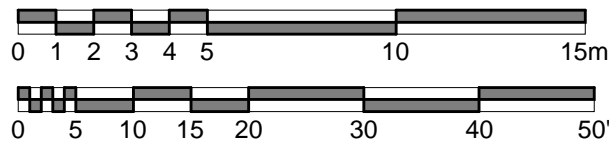
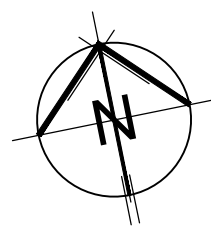
TOTAL GROSS FLOOR AREA	=	16,092 SF
TOTAL EXCLUDED AREA	=	1,110 SF
TOTAL FSR	=	<u>14,982 SF</u>



## REVISIONS

DESCRIPTION	DATE
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PROJECT

PARC VICTORIA  
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DRAWING TITLE

## ROOF AREA OVERLAY

SEAI

DRAWING NO.

REVISION

# O12

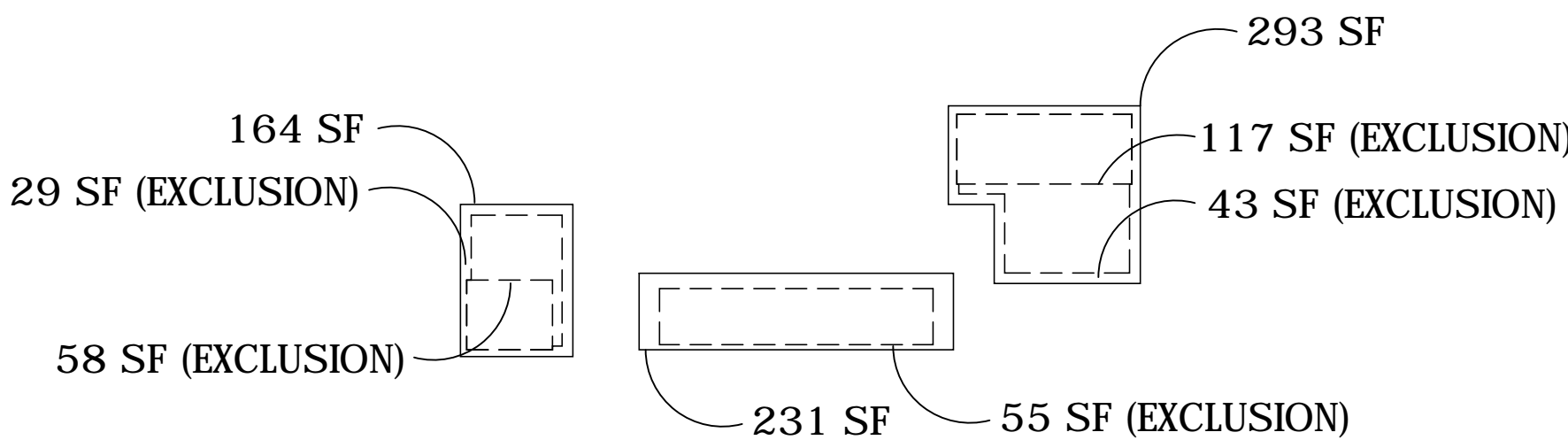
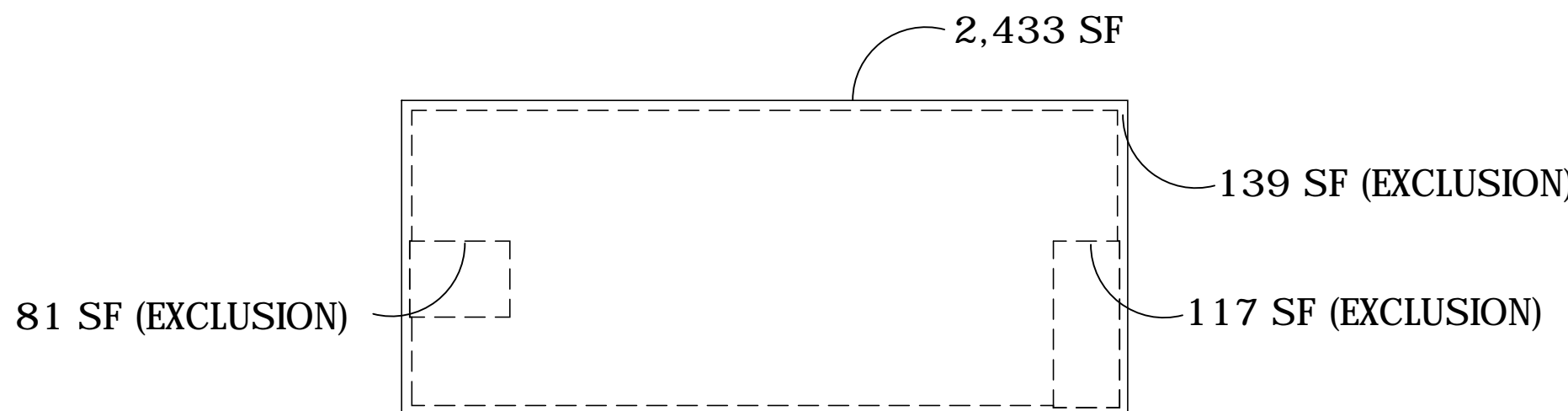
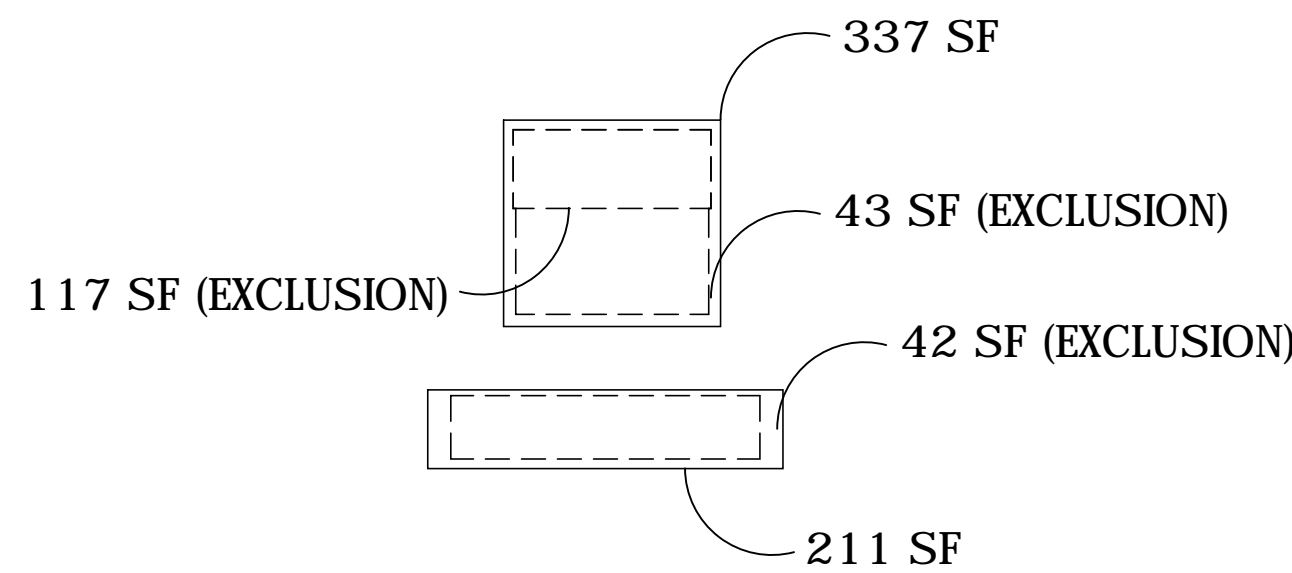
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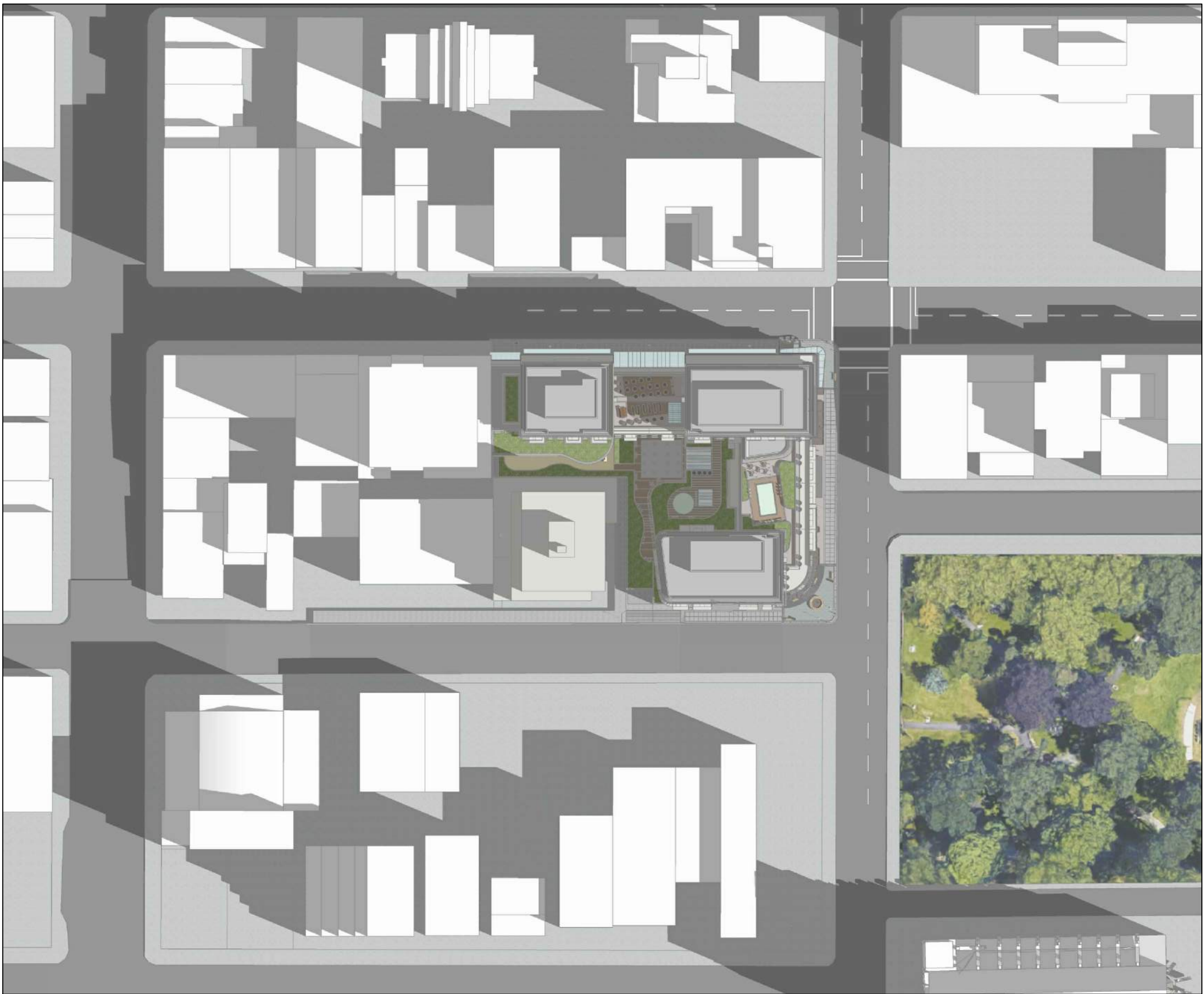
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ROOF AREA CALCULATION:

TOTAL GROSS FLOOR AREA	=	3,669 SF
TOTAL EXCLUDED AREA	=	841 SF
TOTAL FSR	=	<u>2,828 SF</u>





MAR 21 (10:00 am)



MAR 21 (12:00 pm)



MAR 21 (02:00 pm)

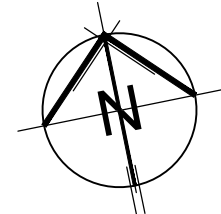


MAR 21 (04:00 pm)

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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PROJECT NO.

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PROJECT

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DRAWING TITLE

SHADOW ANALYSIS

SEAL

DRAWING NO.

REVISION

-

**SH01**

DATE

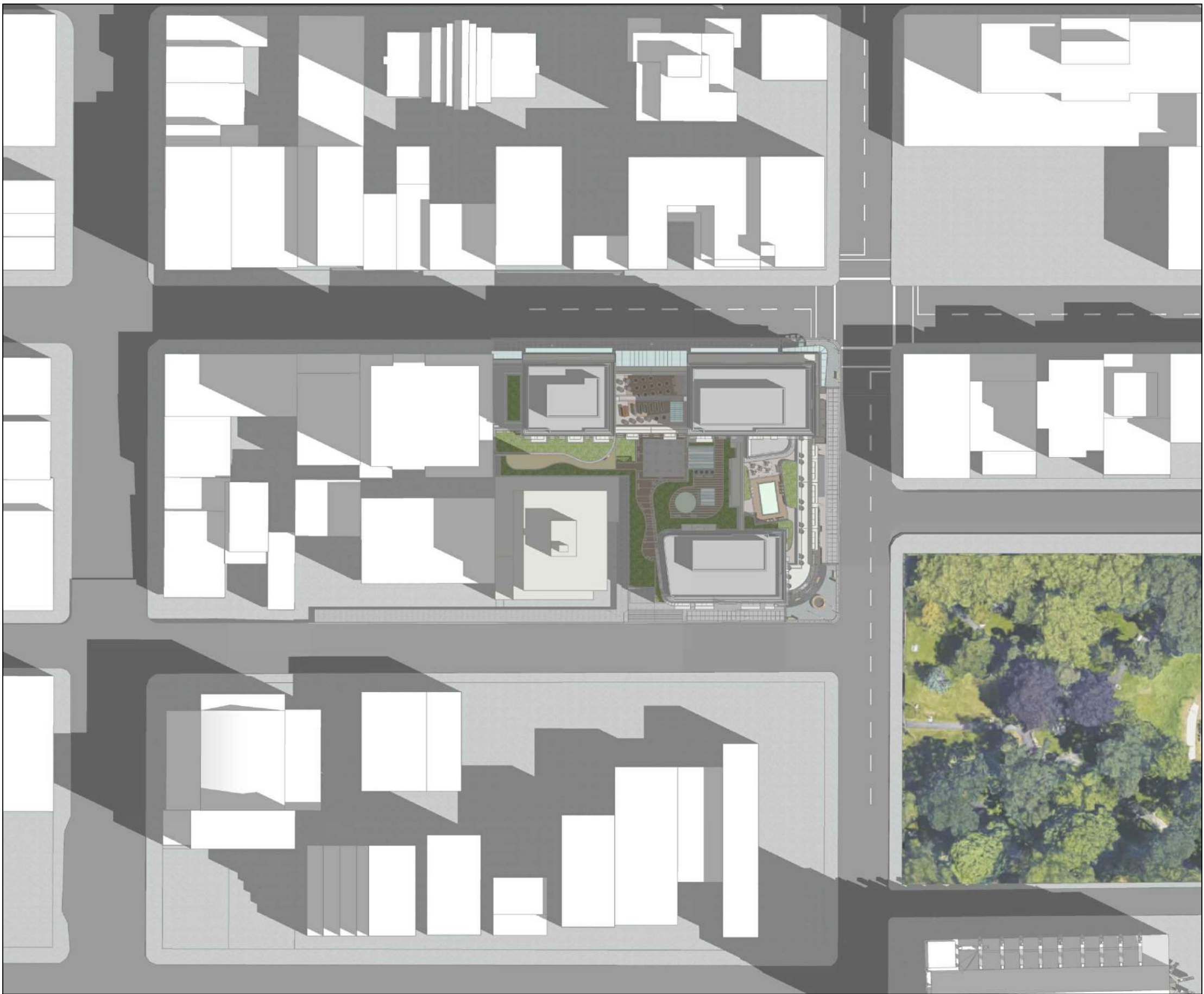
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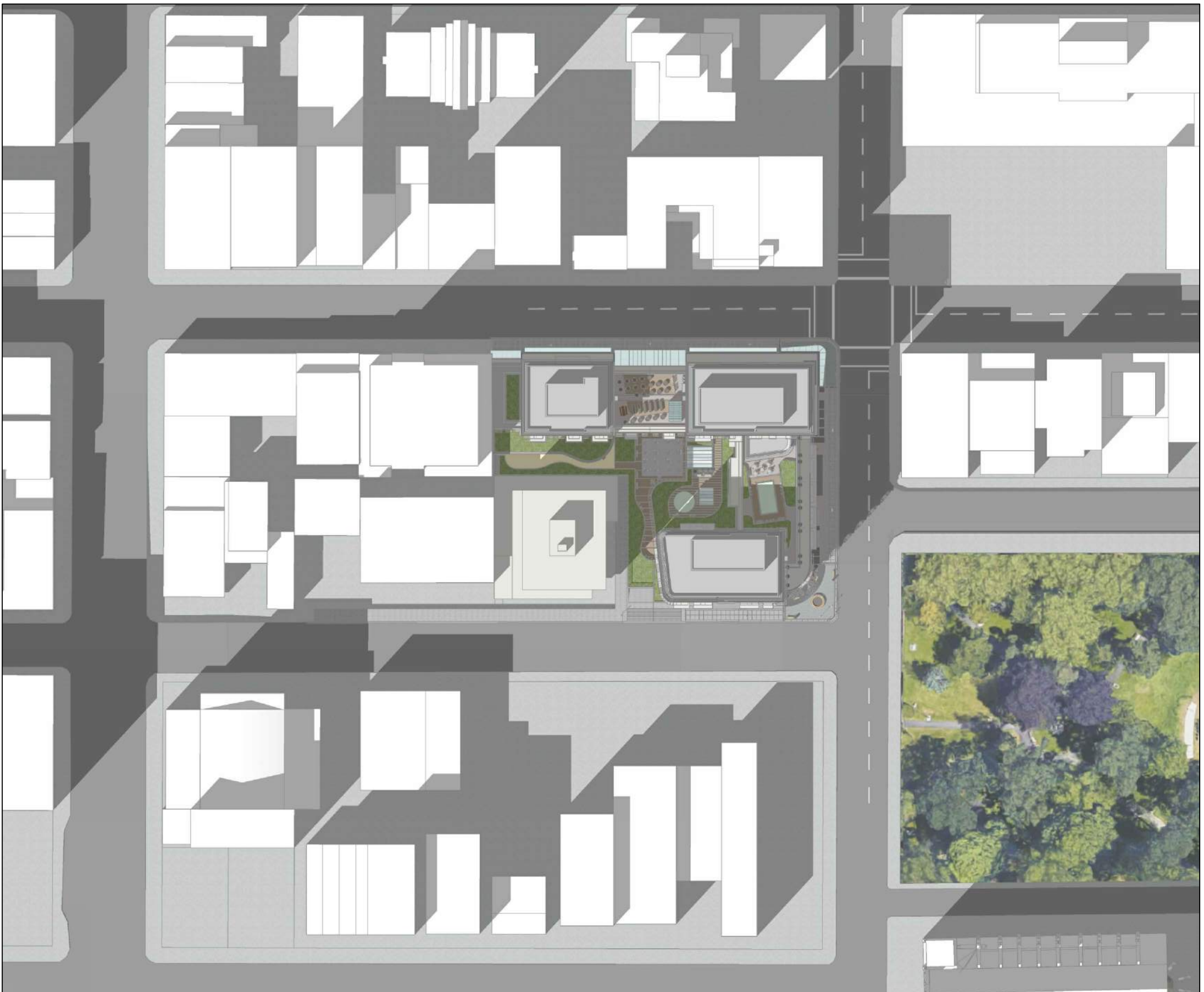
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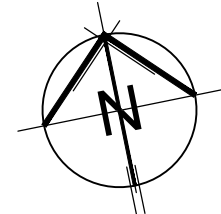


SEP 21 (04:00 pm)

REVISIONS

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4	REISSUED FOR REZONING & DP	29 MAY 2019

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ISSUED  
21 MAY 2019

CLIENT

parc  
retirement  
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

SHADOW ANALYSIS

SEAL

DRAWING NO.

REVISION

-

SH02

DATE

DRAWN

SCALE

CHECKED

NTS



B.C. LAND SURVEYOR'S SITE PLAN OF:

LOT 266 and 267, VICTORIA CITY

LOT 266 and 267, VICTORIA CITY

LEGEND

Elevations are geodetic based on City of Victoria  
Integrated Survey Monument 18-14 (elev = 21802m)  
Contours are descriptive, and only accurate to +/- 1/2 interval.  
Grade shot are taken at the point marked x.  
grade shots at a curb line are in gutter.

Tree bases and canopies approximately to scale.  
Where tree location is critical, tree species  
and canopy should be confirmed by qualified arborist.

- denotes Utility Pole
- denotes Utility Pole with light and transformer
- denotes Water Meter
- denotes Victoria City Heritage Lamppost
- denotes Water Valve
- denotes Light Box
- denotes Traffic Sign
- denotes City Light Manhole
- denotes Fire hydrant
- denotes Catch Basin
- denotes Manhole (Sanitary)
- denotes Manhole (Storm)
- denotes Manhole (specific)
- denotes parking kiosk
- denotes overhead wires

MUNICIPALITY

Victoria

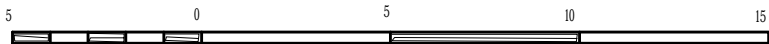
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000-044-059  
000-436-925  
004-005-902  
007-890-664  
007-890-711  
009-386-555  
019-023-740

SITE AREA

3570.7  
38434 s.f.

SCALE = 1 : 200

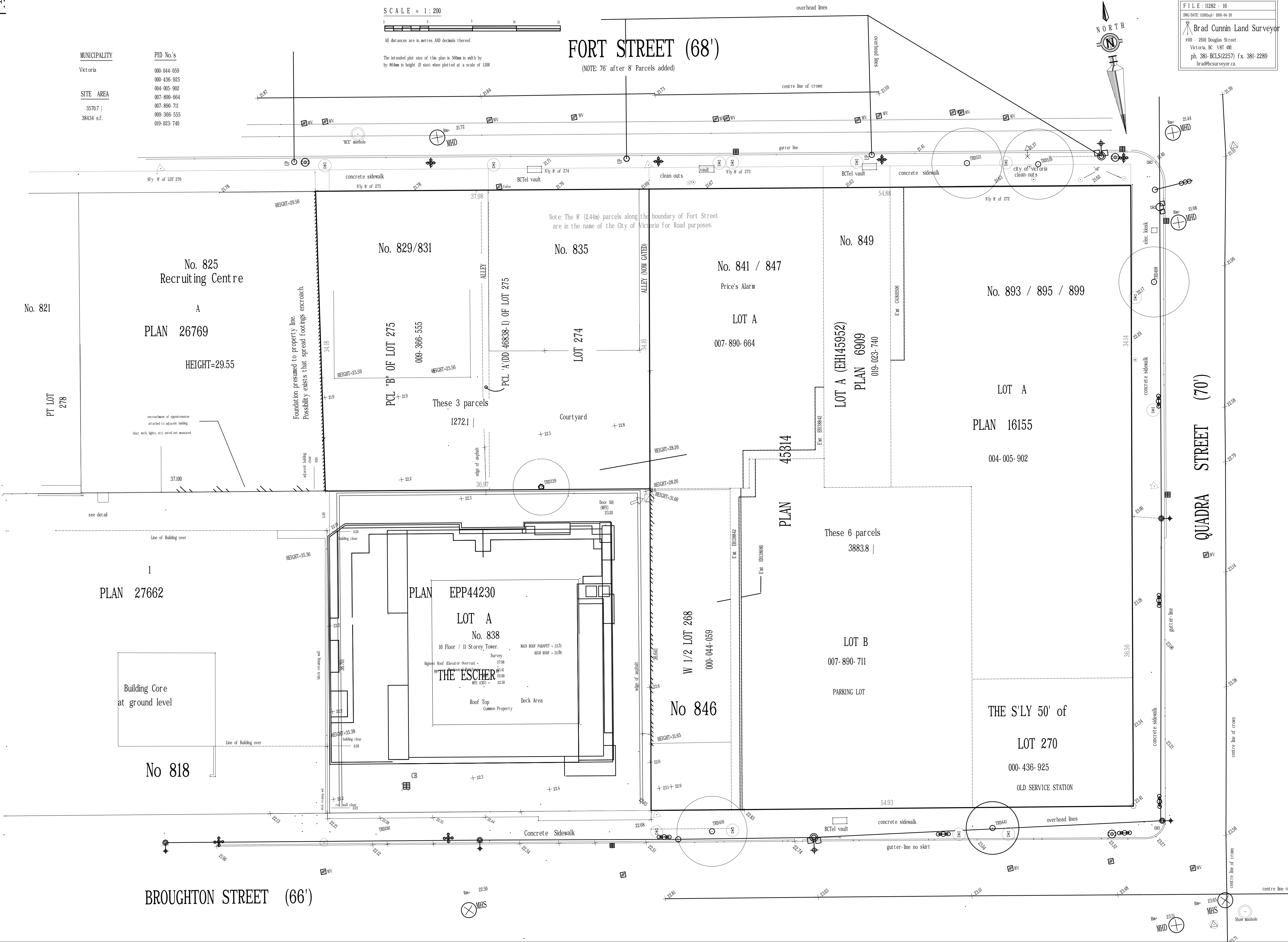


All distances are in metres AND decimals thereof.

The intended plot size of this plan is 560mm in width by  
by 864mm in height (D size) when plotted at a scale of 1:200

FORT STREET (68')

(NOTE: 76' after 8' Parcels added)



FILE: 11282 - 16  
DWG DATE: 11282/01 / 2009-04-20  
Brad Cunin Land Surveyor  
#01 - 2010 Douglas Street  
Victoria, BC V8T 4M1  
ph. 381-BCLS(2257) fx. 381-2289  
brad@bcsurveyor.ca

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This document was prepared for the exclusive  
use of our client, PC Urban Properties Group.

\*This document is intended for use as a topographic plan.  
It is based on Land Title Office records, and does not  
represent a boundary survey.

BCLS INC. accepts no responsibility  
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made or actions taken based on this document.

CERTIFIED CORRECT

on the 26th day of April, 2016.

Bradley W. Cunin, BCLS



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NO.	DESCRIPTION	DATE
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retirement  
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PROJECT NO.

16053

PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential &  
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DRAWING TITLE

**COVER SHEET**

SEAL

DRAWING NO.

REVISION

**L0.00**

DATE  
11 APRIL 2018  
SCALE  
1:200

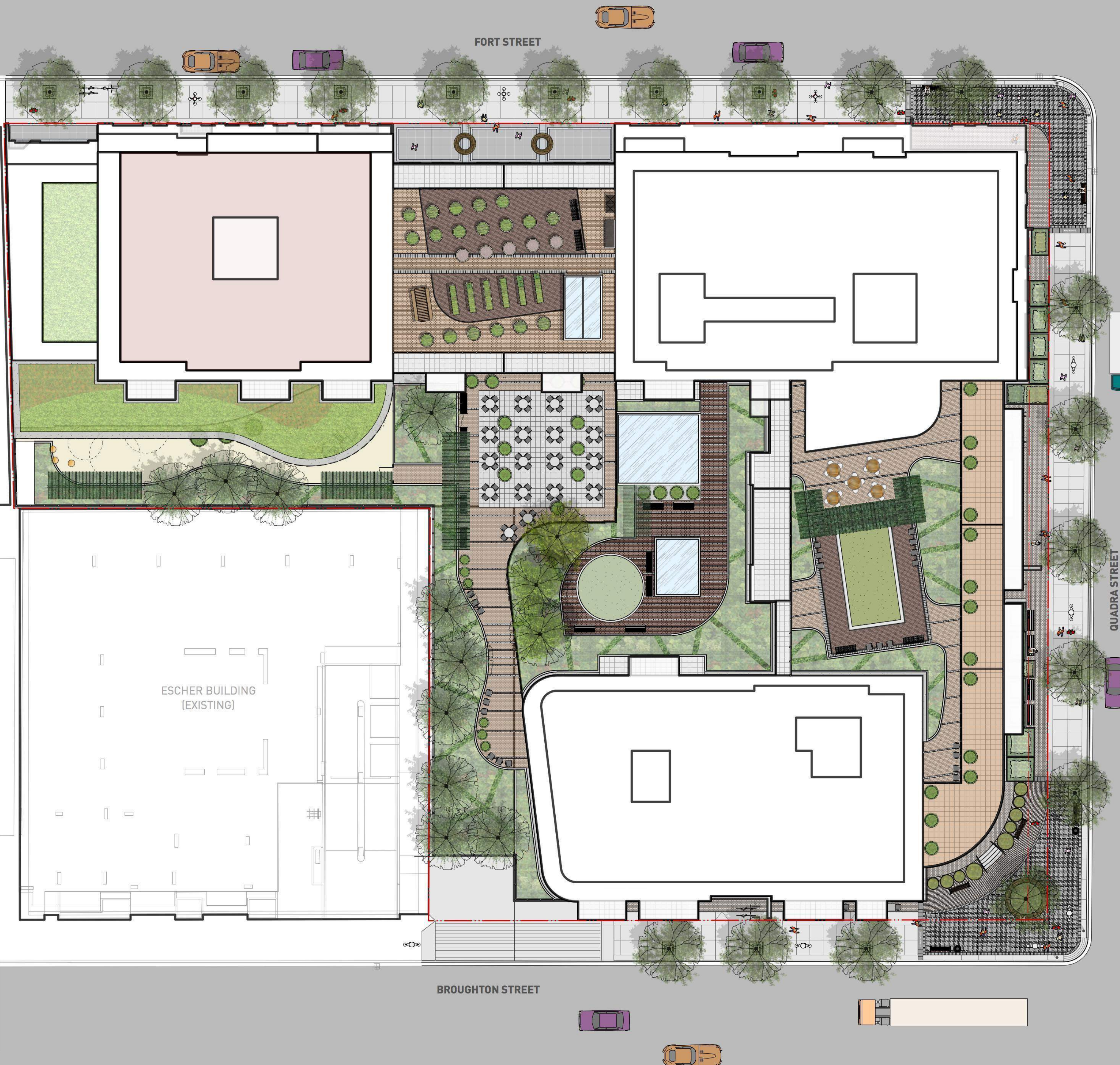
DRAWN  
ER  
CHECKED  
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## PARC SENIORS RESIDENTIAL & COMMERCIAL DEVELOPMENT

Fort & Quadra Streets, Victoria, BC  
PREPARED BY PWL PARTNERSHIP

### DRAWING CONTENTS

L0.00	COVER SHEET
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L0.02	PLANT LIST & IMAGES
L0.03	TREE MANAGEMENT PLAN
L1.01	MATERIALS & GRADING PLAN - LEVEL 1
L1.02	PLANTING PLAN - LEVEL 1
L1.03	MATERIALS, GRADING, & PLANTING PLAN - LEVEL 2
L1.04	MATERIALS, GRADING, & PLANTING PLAN - LEVEL 3
L1.05	MATERIALS PLAN - LEVEL 7
L1.06	PLANTING PLAN - LEVEL 7
L1.07	MATERIALS, & GRADING PLAN - LEVEL 8
L1.08	PLANTING PLAN - LEVEL 8
L2.01	SECTIONS
L2.02	SECTIONS
L3.01	IMAGES & MATERIALS - STREETSCAPE
L3.02	IMAGES & MATERIALS - UPPER LEVELS
L4.01	DETAILS
L4.02	DETAILS
L4.03	DETAILS
L4.04	DETAILS
L4.05	DETAILS











Acer capillipes



Acer capillipes



Quercus robur x 'Crimson Spire'



Quercus robur x 'Crimson Spire'



Stewartia pseudocamellia



Stewartia pseudocamellia



Buxus microphylla 'Winter Gem'



Sarcococca hookeriana humilis



Skimmia japonica



Choisya ternata



Nandina domestica



Euonymus fortunei 'Emerald Gaiety'



Ceanothus impressus 'Victoria'



Osmanthus delavayii



Rosa 'Meidiland Pink'



Rhododendron 'Elizabeth'



Taxus x media 'H. M. Eddie'



Aquilegia 'Dragon Fly' Hybrid



Echinacea purpurea



Erica carnea 'Springwood Pink'



Helleborus sp.



Hosta sp.



Iris sibirica



Lavandula angustifolia 'Hidcote'



Monarda didyma



Dryopteris erythrosora



Phlox maculata alpha



Rudbeckia fulgida 'Goldstrum'



Tiarella cordifolia



Veronica spicata 'Sunny Border Blue'



Carex morrowii 'Ice Dance'



Helichtotrichon sempervirens



Polystichum munitum



Akebia quinata



Allium giganteum

Plant List						
Parc Victoria						
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACC	3	Acer capillipes	Red Snakebark Maple	6 cm cal. [6' Standard]	As Shown	B&B, Specimen and densely branched, no included bark, uniform branching
AGR	3	Acer griseum	Paper Bark Maple	6 cm cal. [2-1/2" cal.]	As Shown	B&B, Uniform branching, dense tree, 6' [1.8m] std.
APL	1	Acer palmatum 'Green'	Green Japanese Maple	4.0 m ht. x 2 m w. [13'ht. x 6.5'w.]	As Shown	B&B, Specimen and densely branched, no included bark, 3 stems
ARA	10	Acer rubrum 'Armstrong'	Armstrong Red Maple	8cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
ARN	5	Acer rubrum 'Scarsen'	Scarlet Sentinel Red Maple	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 6' [1.8 m] std.
CKO	3	Cornus kousa	Kousa Dogwood	6 cm cal. [2-1/2" cal.]	As Shown	B&B, Well branched, dense tree
PCH	3	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	7 cm cal. [2 1/2" cal.]	As Shown	B&B, Well branched, dense tree, 6' [1.8 m] std.
CRC	1	Quercus robur x 'Crimson Spire'	Crimson Spire Oak	8 cm cal. [3" cal.]	As Shown	B&B, Well branched, dense tree
SPS	3	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. [2" cal.]	As Shown	B&B, Well branched, dense tree
TST	10	Thuja Spiral Topiary	Emerald Green Arborvitae	---	As Shown	B&B, Well branched, dense tree, nursery grown
Shrubs						
BMW	94	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	45 cm [18"]	Well established
CIV	16	Ceanothus impressus 'Victoria'	Brilliant Ceanothus	#3 pot	90cm [36"]	Well established
CTR	32	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm [36"]	Well established
CSR	35	Cornus sericea	Red-osier Dogwood	#2 pot	90cm [36"]	Well established, nursery grown
HYR	12	Hibiscus syriacus 'Red Heart'	Red Heart Rose-of-Sharon	#3 pot	100cm [39"]	Well established
LJT	14	Ligustrum japonicum 'Texanum'	Japanese Privet	#3 pot	60cm [24"]	Well established, dense hedging plant
NDM	23	Nandina domestica	Heavenly Bamboo	#3 pot	90cm [36"]	Well established
OSD	13	Osmanthus delavayii	Sweet olive	#3 pot	107cm [42"]	Well established
PLO	131	Prunus laurocerasus 'Otto Luyken'	Otto Luyken laurel	#3 pot	90cm [24"]	Well established
RBB	59	Rhododendron 'Bow Bells'	Bow Bells Rhododendron	#3 pot	75cm [30"]	Well established
REL	46	Rhododendron 'Elizabeth'	Elizabeth Rhododendron	#3 pot	75cm [30"]	Well established
RHC	15	Rhododendron 'Hino Crimson'	Hino Crimson Rhododendron	#3 pot	75cm [30"]	Well established
RMF	13	Rhododendron 'Mary Fleming'	Mary Fleming Rhododendron	#3 pot	75cm [30"]	Well established
RRP	11	Rhododendron 'Ramapo'	Ramapo Rhododendron	#3 pot	75cm [30"]	Well established
RAL	37	Ribes alpinum	Alpine Currant	#3 pot	90cm [36"]	Well established, nursery grown
RSK	9	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#2 pot	100cm [39"]	Well established, nursery grown
RMP	8	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot	60cm [24"]	Well established
RMR	14	Rosa 'Meidiland Red'	Red Meidiland	#2 pot	60cm [24"]	Well established
RWM	9	Rosa 'White Meidiland'	White Meidiland Rose	#2 pot	45 cm [18"]	Well established
RRB	40	Rosa rubrifolia	Redleaf Rose	#3 pot	75cm [30"]	Well established, nursery grown
SHH	208	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	45 cm [18"]	Well established
SJP	231	Skimmia japonica	Japanese Skimmia	#3 pot	60 cm [24"]	Well established
TXM	13	Taxus x media 'H.M. Eddie'	H.M.Eddie Yew	1.2m ht.	40 cm [16"]	Well established, dense hedging plant / B & B
VDV	169	Viburnum davidii	David Viburnum	#2 pot	60 cm [24"]	Well established
Ground Cover						
DBW	73	Daphne burkwoodii 'Carol Mackie'	Carol Mackie Daphne	#1 pot	38cm [15"]	15cm [6"] height
DCN	57	Daphne cneorum	Rose Daphne	#1 pot	38cm [15"]	15cm [6"] height
ECP	335	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	38cm [15"]	15cm [6"] height
EFE	18	Euonymus fortunei 'Emerald Gaiety'	Emeral Gaiety Wintercreeper	#1 pot	38 cm [15"]	25cm [10"] spread. Minimum 3 leads
LMB	83	Liriope muscari 'Big Blue'	Big Blue Lily-turf	#1 pot	30 cm [12"]	Well established
PMY	111	Paxistima mysinites	Oregon Boxwood	#1 pot	38cm [15"]	20cm [8"] height
Perennials						
AFR	65	Aquilegia 'Dragon Fly' Hybrid	White/Pink Columbine	#1 pot	30 cm [12"]	Well established, nursery grown
EPR	14	Echinacea purpurea	Purple Cone Flower	#1 pot	45 cm [18"]	Well established
HOS	176	Helleborus sp.	Lenten Rose	#1 pot	35 cm [14"]	Well established
HHN	44	Hosta sp.	Hosta	#1 pot	40 cm [16"]	Well established
HOV	30	Hosta undulate variegated	Variegated Hosta	#1 pot	40 cm [16"]	Well established
IRS	9	Iris sibirica	Siberian Iris	#1 pot	35cm [14"]	Well established
LHI	97	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#1 pot	40 cm [16"]	Well established
MON	27	Monarda didyma (Red)	Red Bee Balm	#1 pot	40 cm [16"]	Well established
PHL	32	Phlox maculata alpha	Pink Meadow Phlox	#1 pot	30 cm [12"]	Well established, nursery grown
PSR	43	Phlox subulata 'Red Wings'	Red Wings Phlox	#1 pot	30 cm [12"]	Well established, nursery grown
RBG	8	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 pot	40 cm [16"]	Well established
TCO	101	Tiarella cordifolia	Foam Flower	#1 pot	30 cm [12"]	Well established
VSB	64	Veronica spicata 'Sunny Border Blue'	Blue Veronica	#1 pot	30 cm [12"]	Well established, nursery grown
Ornamental Grasses						
Vines						
Aquatic Plants						
Ferns						
DRE	13	Dryopteris erythrosora	Autumn Fern	#1 pot	40 cm [16"]	Well established
PMU	19	Polystichum munitum	Western Sword Fern	#1 pot	40 cm [16"]	Well established, nursery grown
Bulbs						

**NOTE:** LEVEL 7 GREEN ROOF WILL USE ETERA SUN & SHADE SEDUM TILES WHICH CONSISTS OF THE FOLLOWING PLANT MIX:

- Sedum acre 'Aurea'
- Sedum album 'Green Ice'
- Sedum kamtschaticum 'Weihenstephaner Gold'
- Sedum reflexum 'Blue Spruce'
- Sedum reflexum 'Green Spruce'
- Sedum sexangulare
- Sedum spurium 'Album Superbum'
- Sedum spurium 'Fuldaglut'
- Sedum spurium 'Summer Glory'
- Sedum takesimensis 'Golden Carpet'

5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
VANCOUVER, BC V6E 2V2  
604.686.6111

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
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7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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**parc retirement living**

PROJECT NO. 16053

PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**REPRESENTATIVE PLANT LIST**

SEAL

DRAWING NO.

REVISION

**L0.02**

DATE 11 APRIL 2018

SCALE

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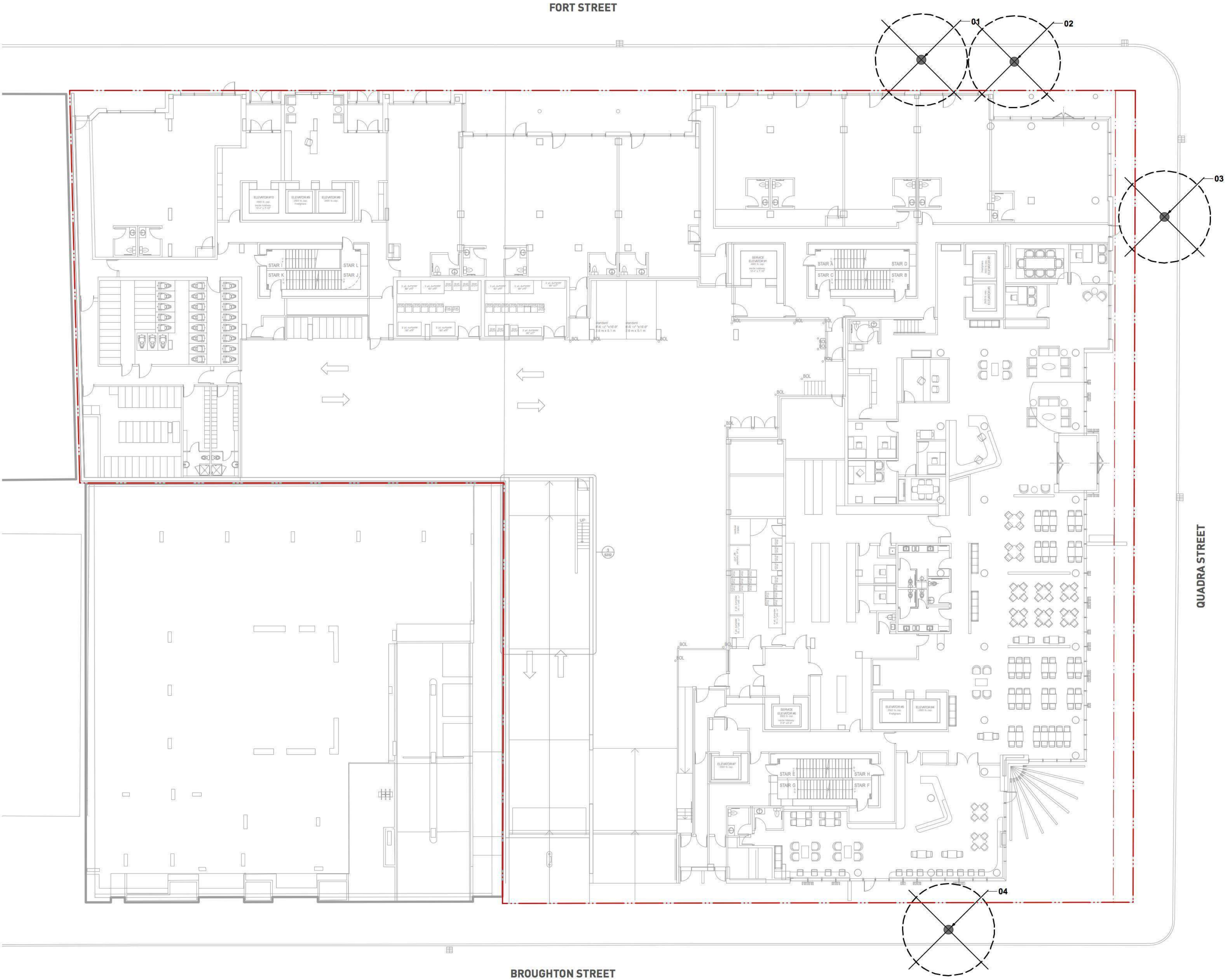
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TREE MANAGEMENT LEGEND

XXXX

TREE TO REPLACE



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VANCOUVER, BC V6E 2V2  
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PARC VICTORIA  
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TREE MANAGEMENT  
PLAN

SEAL

DRAWING NO.

REVISION

L0.03

DATE

11 APRIL 2018

SCALE

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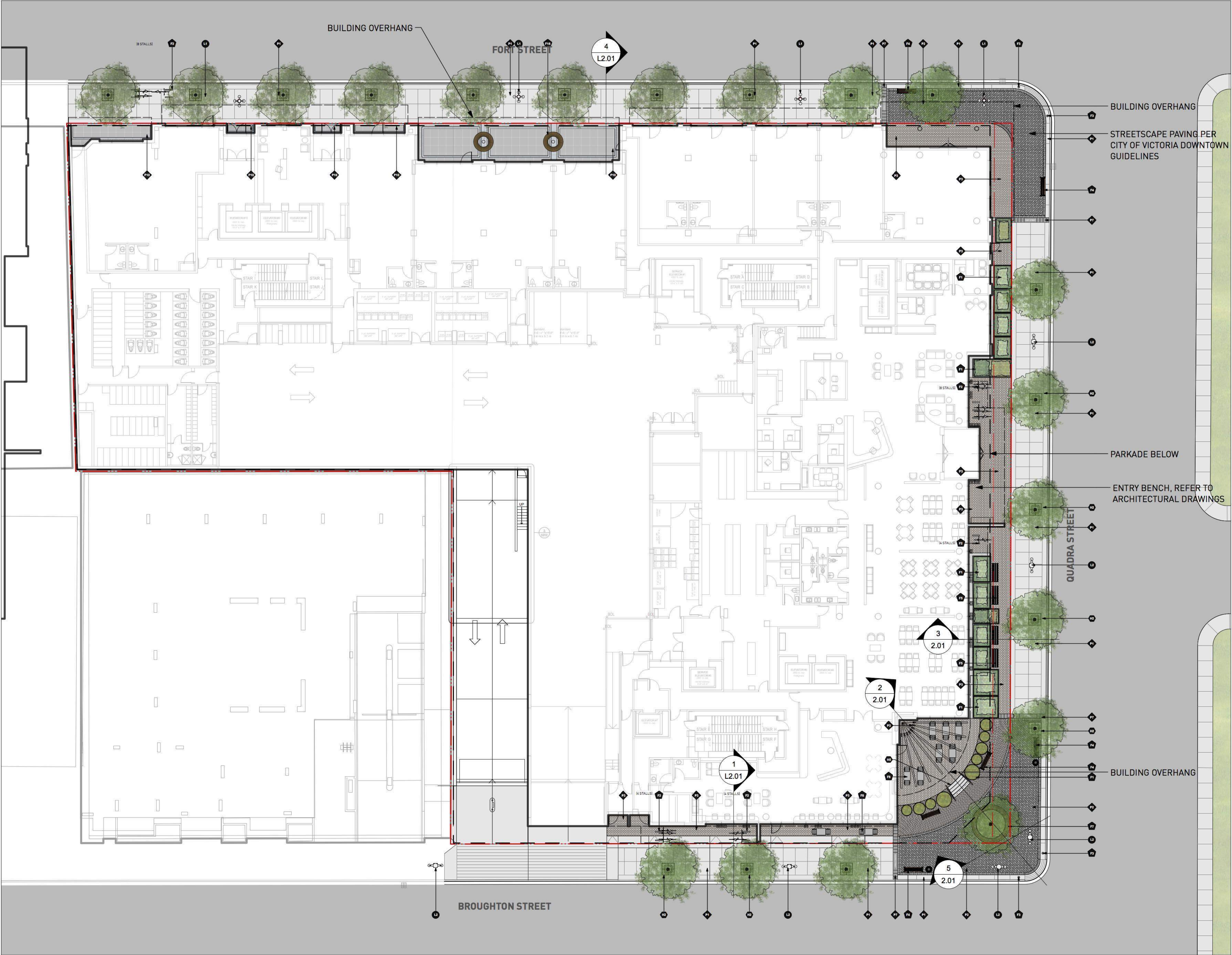
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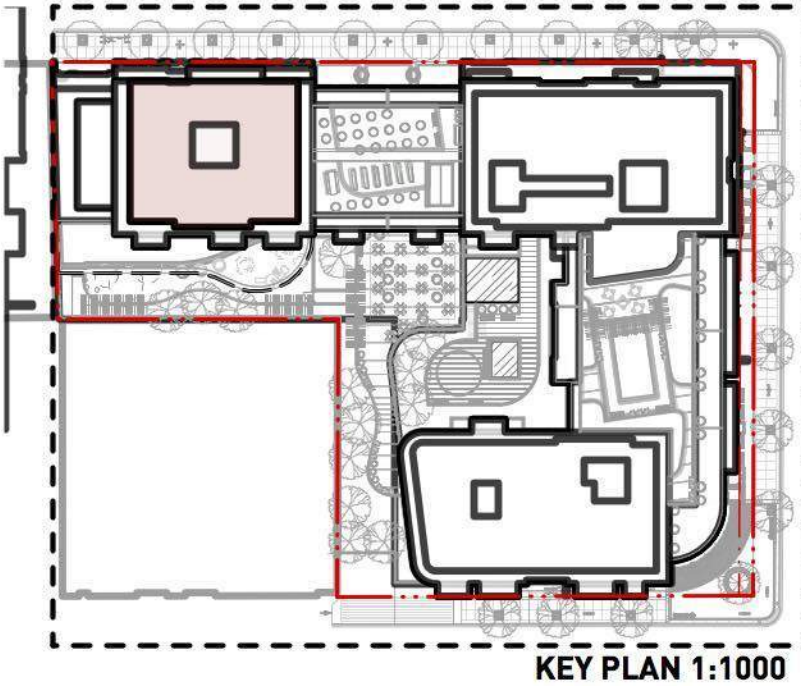
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HARDSCAPE LEGEND	
KEY	DESCRIPTION
H2	Tree Grate SP-48 Square Tree Grate with Frame
H1	River Rock Maintenance Strip Washed Round River Rock
H3	Raised Concrete Planter
H4	Resilient Surface With Concrete Band
H5	Stairs With Handrail & Tactile Warning
H6	Green Roof
PAYING LEGEND	
KEY	DESCRIPTION
P1	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
P2	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
P3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P4	Concrete Unit Paver Colour: Natural Grey Banding Pattern
P5	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
P6	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P7	Basalt Stone Banding Displaying Street Name
P8	Hydrapressed Slab Paver
P9	Stacked Bond Pattern; Colour: Natural Grey
P10	Hydrapressed Slab Paver 'Aristocrat' Paver
P11	Penny Tile Paving At Fort Street Level
SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Planter Pot
F2	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
F3	Bollard Per City Streetscape Guidelines
F4	Backless Bench Per City Streetscape Guidelines
F5	Bench with Back & Arms Both Sides 'Parc Vue' Bench
F6	Chair
F7	Radial Bench Ogden Radial Bench
F8	Patio Table & Chairs
F9	Privacy Screen At Residential Unit Patios
F10	Gate
F11	Trellis
F12	Urban Agriculture
F13	Green Roof
F14	Greenhouse
F15	Compost & Potting Table
F16	Custom Circular Bench
LIGHTING LEGEND	
KEY	DESCRIPTION
L1	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
L2	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black





5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
VANCOUVER, BC V6E 2V2  
604.688.6111

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**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**MATERIALS PLAN  
LEVEL 1**

SEAL

DRAWING NO.

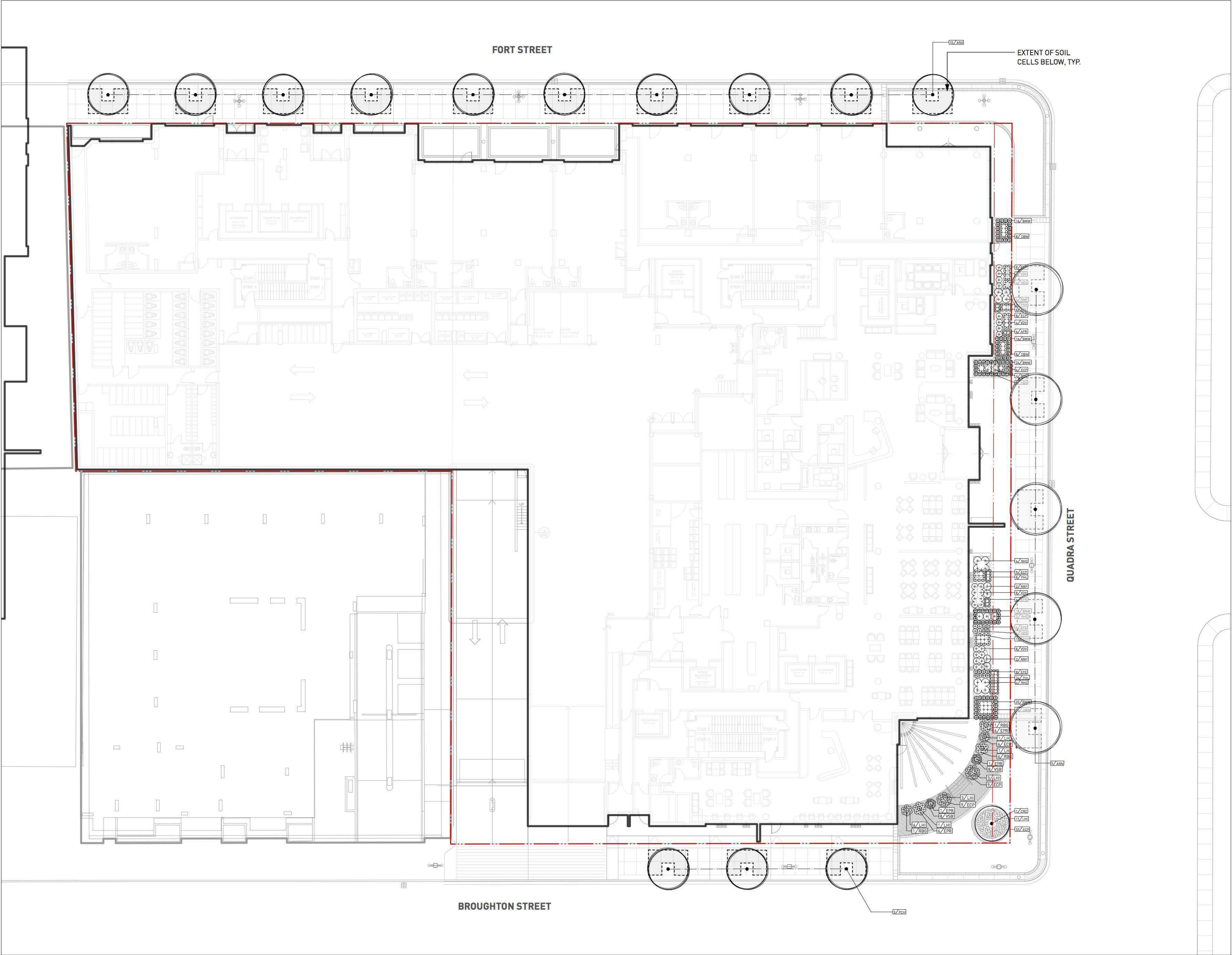
REVISION

**L1.01**

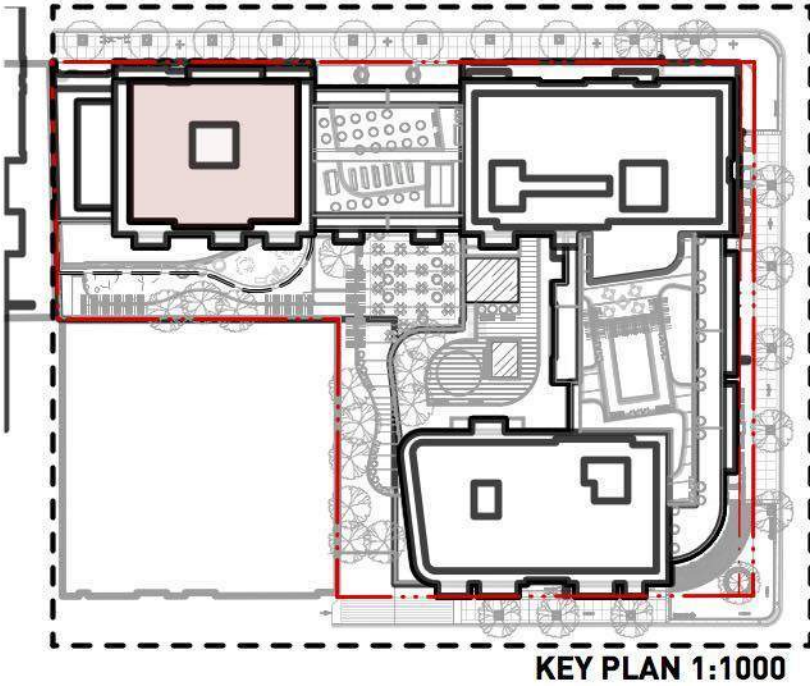
DATE: 11 APRIL 2018  
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NOTE: REFER TO PLANT LIST L0.02.





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VANCOUVER, BC V6E 2V2  
604-688-6111

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DRAWING TITLE

**PLANTING PLAN  
LEVEL 1**

SEAL

DRAWING NO. REVISION

**L1.02**

DATE: 11 APRIL 2018  
SCALE: 1:200

DRAWN: ER  
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1 MATERIALS AND GRADING PLAN  
1:200

SITE FURNISHING LEGEND	
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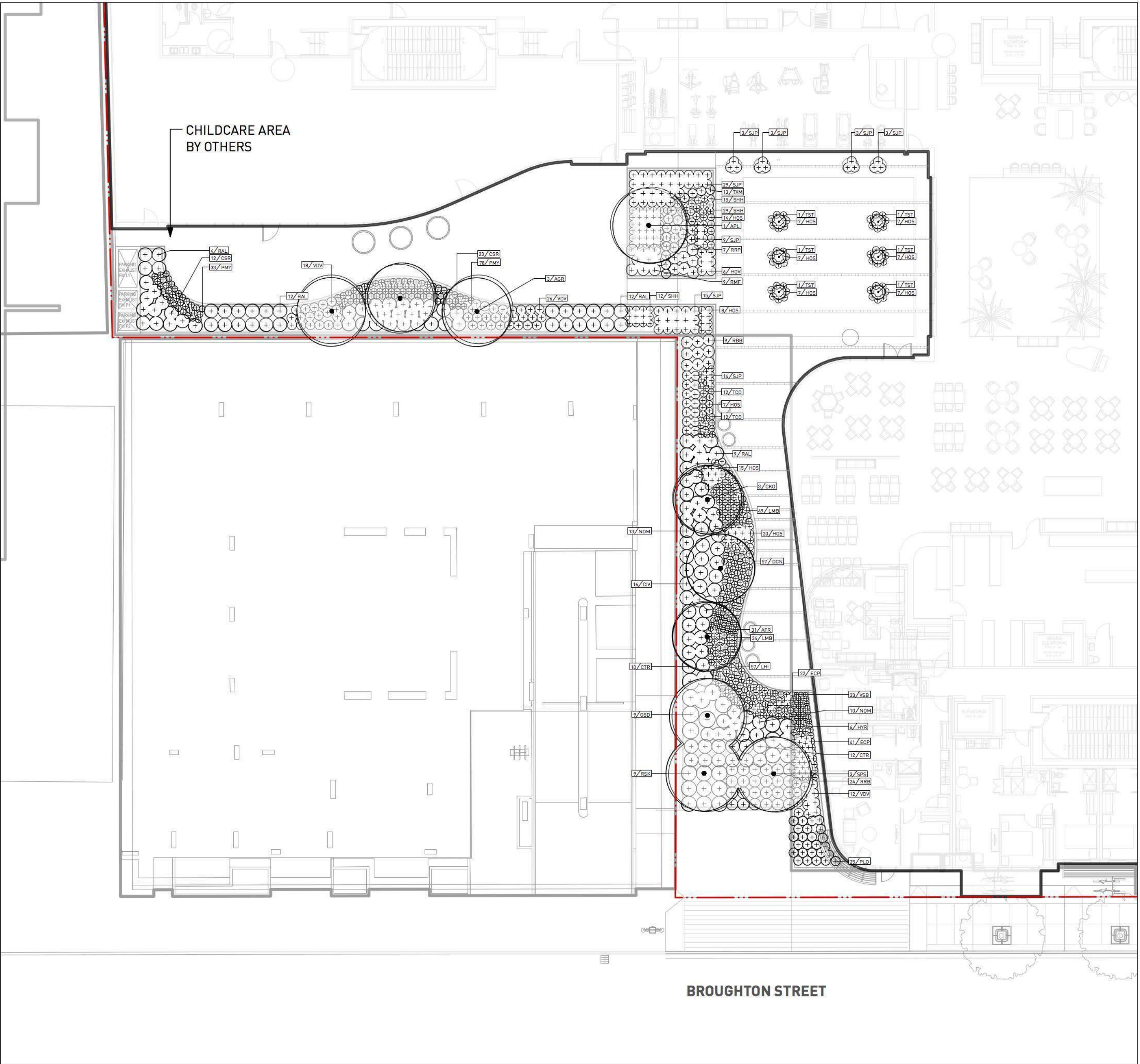
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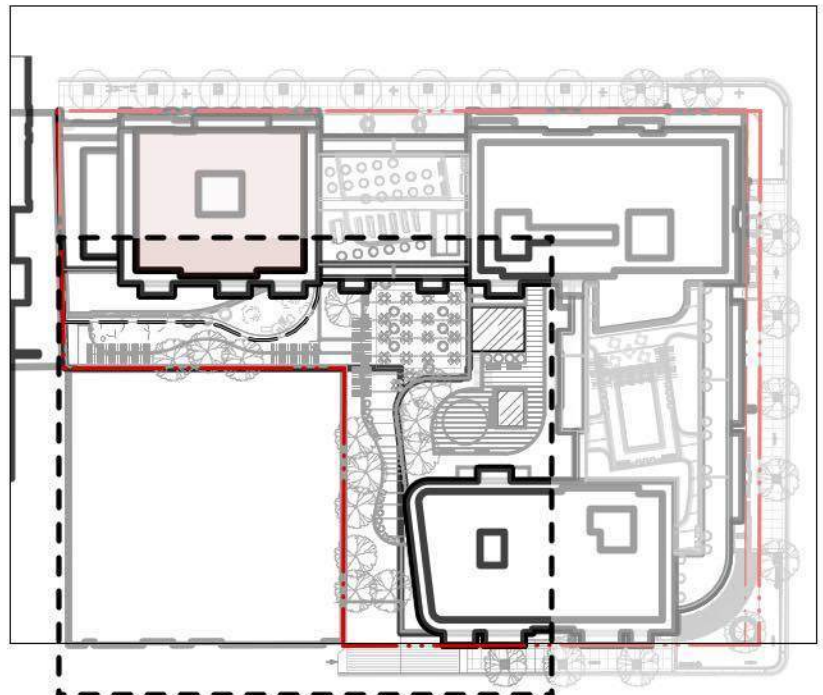
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H6	Green Roof

NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

2 PLANTING PLAN  
1:200



NOTE: REFER TO PLANT LIST L0.02.



KEY PLAN 1:1000



5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
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DRAWING TITLE

**MATERIALS &  
GRADING PLAN AND  
PLANTING PLAN  
LEVEL 2**

SEAL

DRAWING NO.

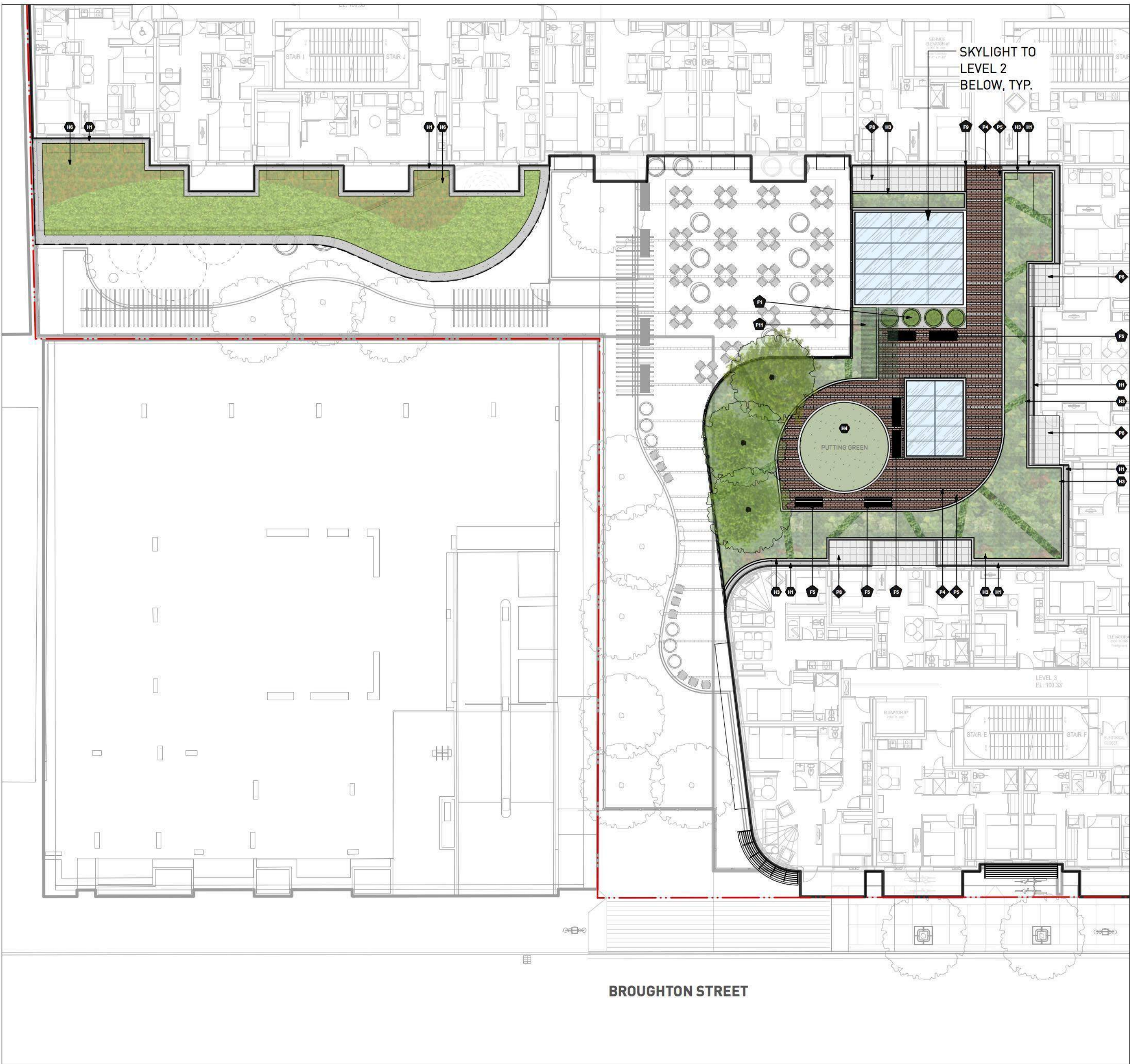
REVISION

**L1.03**

DATE  
11 APRIL 2018  
SCALE  
1:200

DRAWN  
ER  
CHECKED  
BH





1 MATERIALS AND GRADING PLAN  
1:200

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
	Planter Pot
	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
	Bollard Per City Streetscape Guidelines
	Backless Bench Per City Streetscape Guidelines
	Bench with Back & Arms Both Sides 'Parc Vue' Bench
	Chair
	Radial Bench Ogden Radial Bench
	Patio Table & Chairs
	Privacy Screen At Residential Unit Patios
	Gate
	Trellis
	Urban Agriculture
	Green Roof
	Greenhouse
	Compost & Potting Table
	Custom Circular Bench

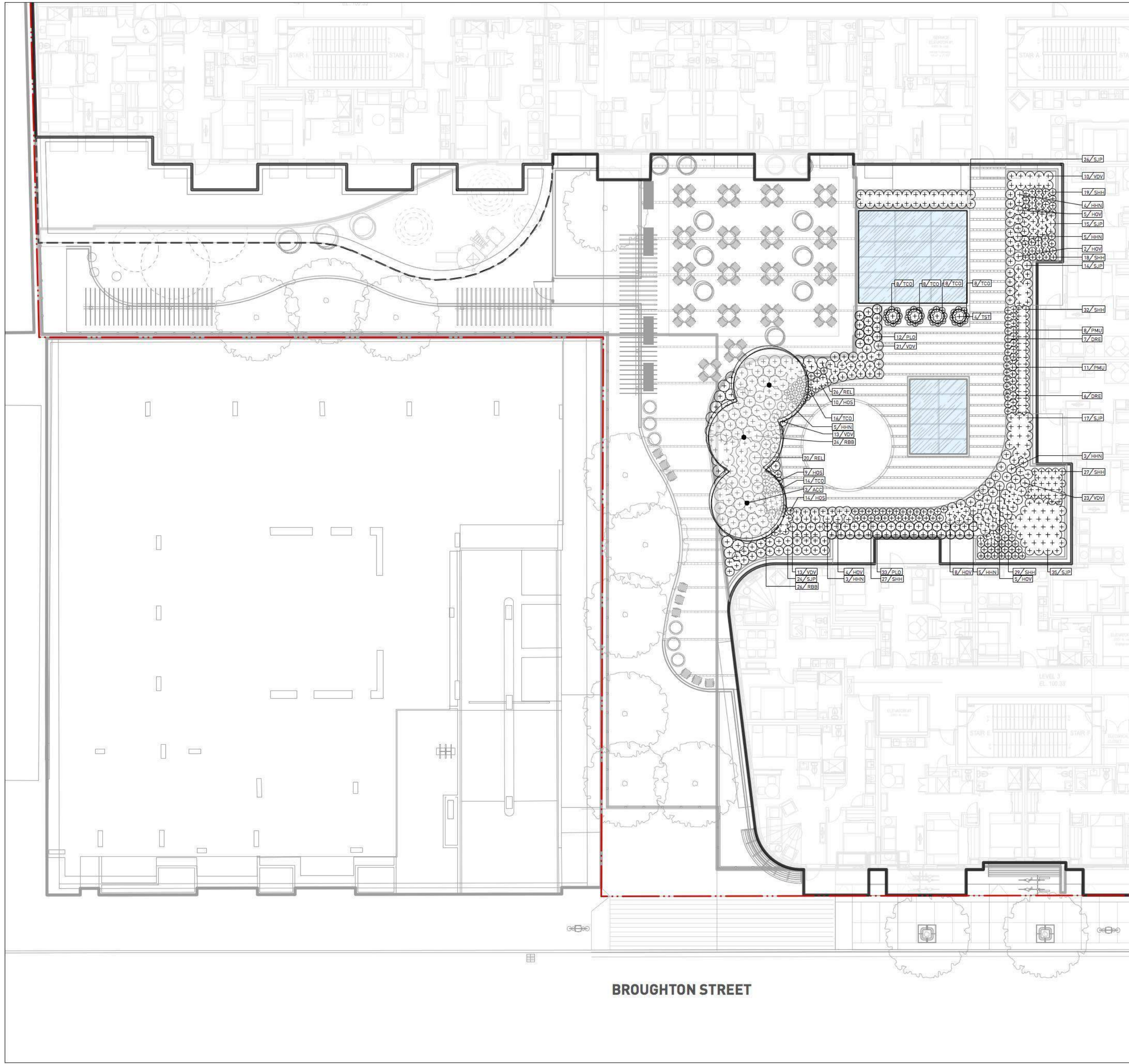
PAVING LEGEND	
KEY	DESCRIPTION
	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Concrete Unit Paver Colour: Natural Grey Banding Pattern
	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Basalt Stone Banding Displaying Street Name
	Hydrpressed Slab Paver
	Stacked Bond Pattern; Colour: Natural Grey
	Hydrpressed Slab Paver 'Aristocrat' Paver
	Penny Tile Paving At Fort Street Level

LIGHTING LEGEND	
KEY	DESCRIPTION
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black

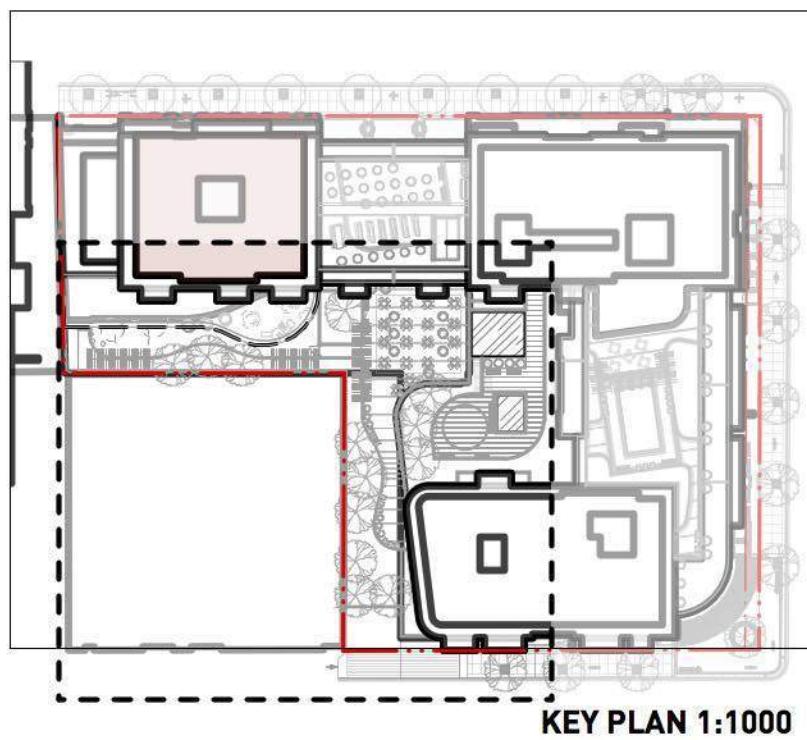
HARDSCAPE LEGEND	
KEY	DESCRIPTION
	Tree Grate SP-48 Square Tree Grate with Frame
	River Rock Maintenance Strip Washed Round River Rock
	Raised Concrete Planter
	Resilient Surface With Concrete Band
	Stairs With Handrail & Tactile Warning
	Green Roof

NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

2 PLANTING PLAN  
1:200



NOTE: REFER TO PLANT LIST L0.02.



5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
VANCOUVER, BC V6E 2V2  
604-688-6111

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3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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PROJECT NO. 16053

PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**MATERIALS AND GRADING PLAN & PLANTING PLAN LEVEL 3**

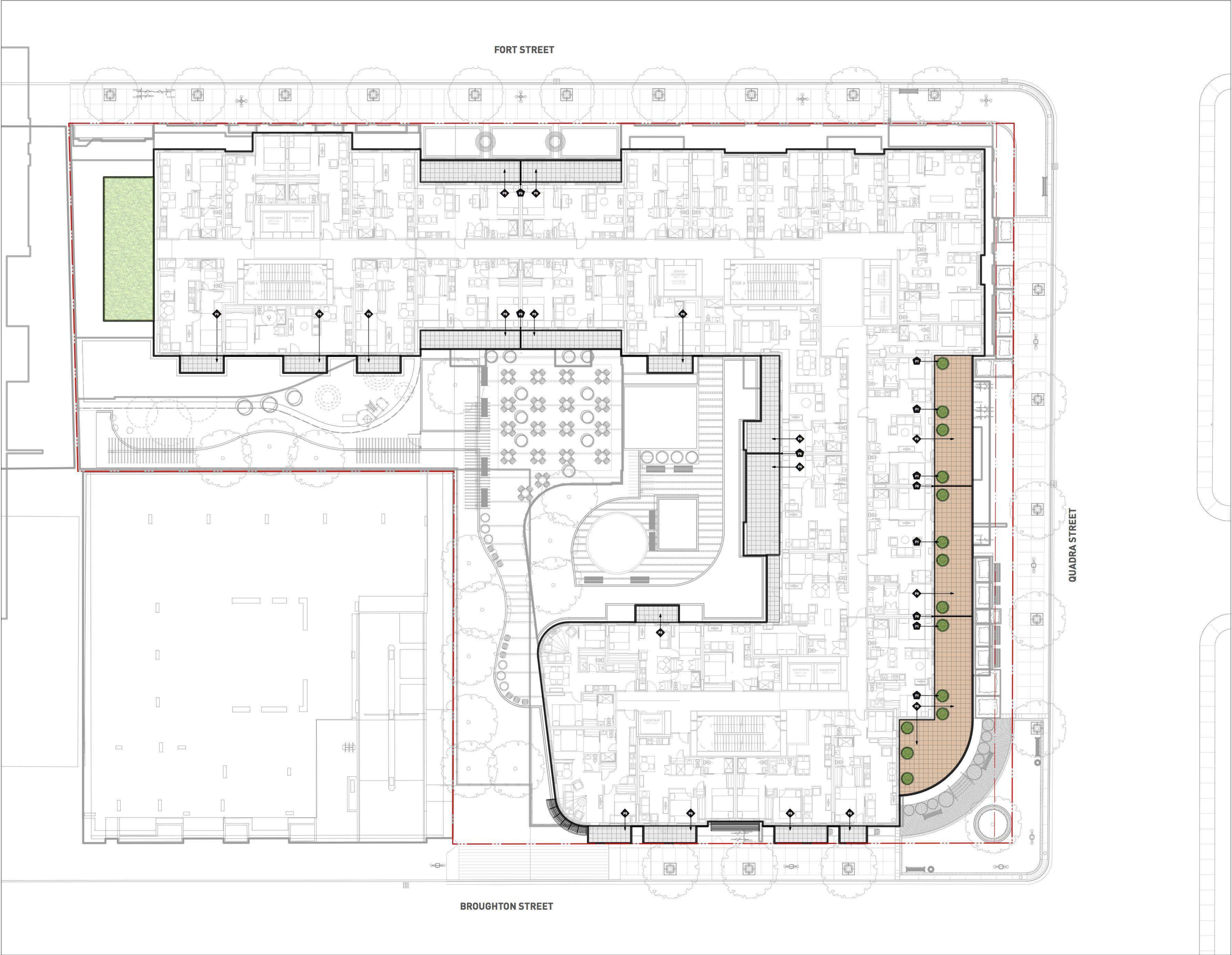
SEAL

DRAWING NO. REVISION

**L1.04**

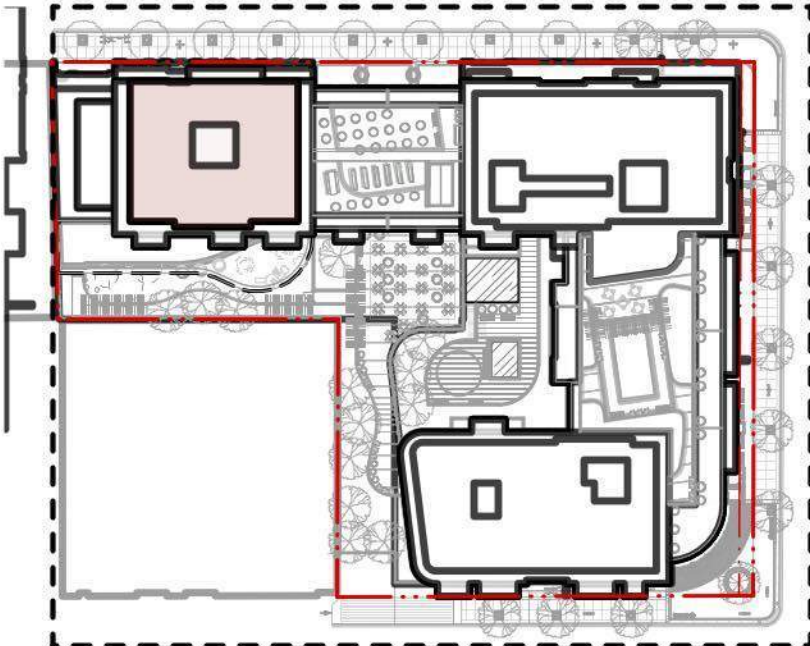
DATE 11 APRIL 2018 DRAWN ER  
SCALE 1:200 CHECKED BH






NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H2	Tree Grate 5P-48 Square Tree Grate with Frame
H1	River Rock Maintenance Strip Washed Round River Rock
H3	Raised Concrete Planter
H4	Resilient Surface With Concrete Band
H5	Stairs With Handrail & Tactile Warning
H6	Green Roof
PAYING LEGEND	
KEY	DESCRIPTION
P1	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
P2	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
P3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P4	Concrete Unit Paver Colour: Natural Grey Banding Pattern
P5	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
P6	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P7	Basalt Stone Banding Displaying Street Name
P8	Hydrapressed Slab Paver Stacked Bond Pattern; Colour: Natural Grey
P9	Hydrapressed Slab Paver 'Aristocrat' Paver
P10	Penny Tile Paving At Fort Street Level
SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Planter Pot
F2	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
F3	Bollard Per City Streetscape Guidelines
F4	Backless Bench Per City Streetscape Guidelines
F5	Bench with Back & Arms Both Sides 'Parc Vue' Bench
F6	Chair
F7	Radial Bench Ogden Radial Bench
F8	Patio Table & Chairs
F9	Privacy Screen At Residential Unit Patios
F10	Gate
F11	Trellis
F12	Urban Agriculture
F13	Green Roof
F14	Greenhouse
F15	Compost & Potting Table
F16	Custom Circular Bench
LIGHTING LEGEND	
KEY	DESCRIPTION
L1	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
L2	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black



KEY PLAN 1:1000



5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
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5	BUDGET SET
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7	REISSUED FOR DP
8	REISSUED FOR DP

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PROJECT

**PARC VICTORIA**  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**MATERIALS PLAN**  
**LEVEL 7**

SEAL

DRAWING NO.

REVISION

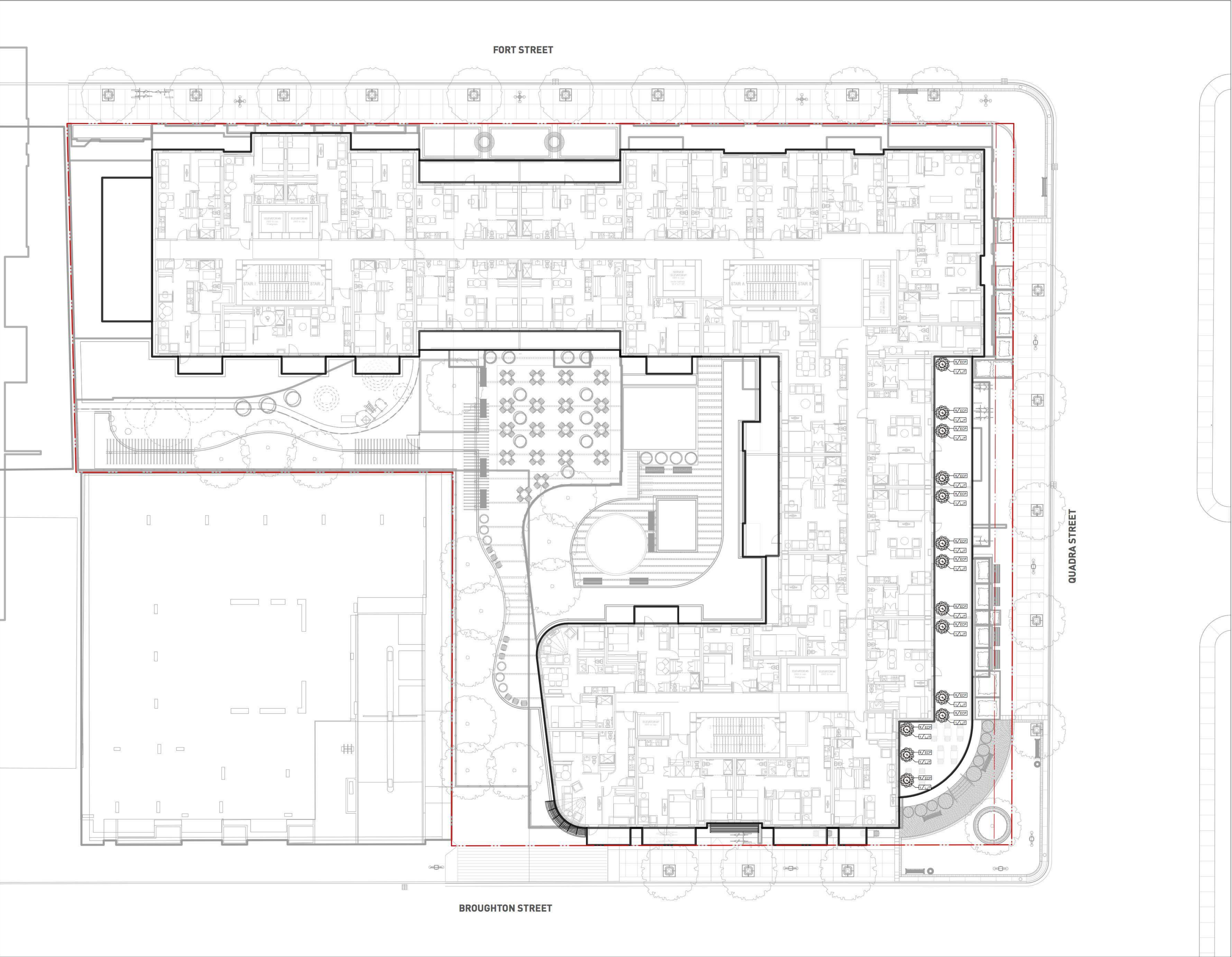
**L1.05**

DATE: 11 APRIL 2018  
SCALE: 1:200

DRAWN: ER  
CHECKED: BH

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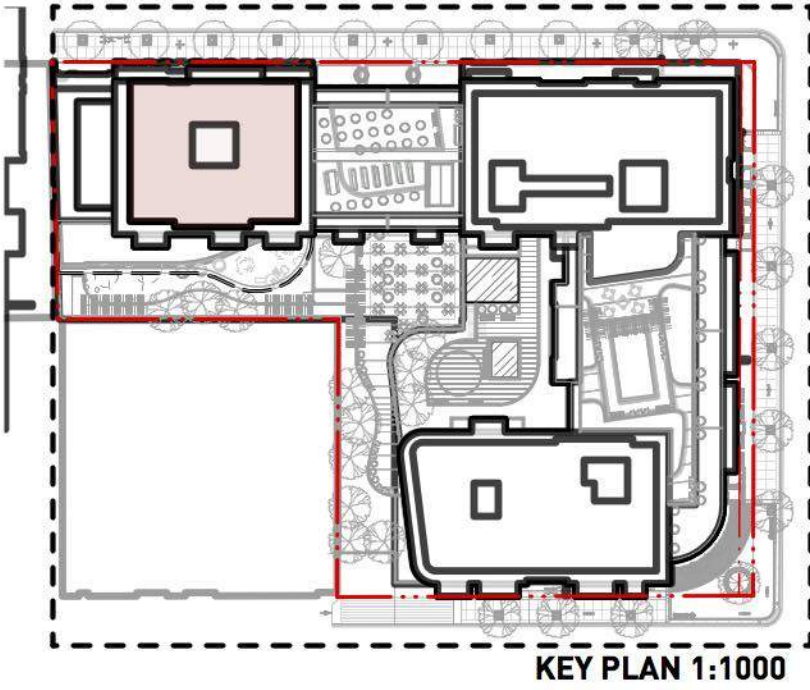




**NOTE:** REFER TO PLANT LIST L0.02.

**NOTE:** LEVEL 7 GREEN ROOF WILL USE ETERA SUN & SHADE SEDUM TILES WHICH CONSISTS OF THE FOLLOWING PLANT MIX:

- Sedum acre 'Aurea'
- Sedum album 'Green Ice'
- Sedum kamtschaticum 'Weihenstephaner Gold'
- Sedum reflexum 'Blue Spruce'
- Sedum reflexum 'Green Spruce'
- Sedum sexangulare
- Sedum spurium 'Album Superbum'
- Sedum spurium 'Fuldaglut'
- Sedum spurium 'Summer Glory'
- Sedum takesimensis 'Golden Carpet'





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DRAWING TITLE

**PLANTING PLAN  
LEVEL 7**

SEAL

DRAWING NO. REVISION

**L1.06**

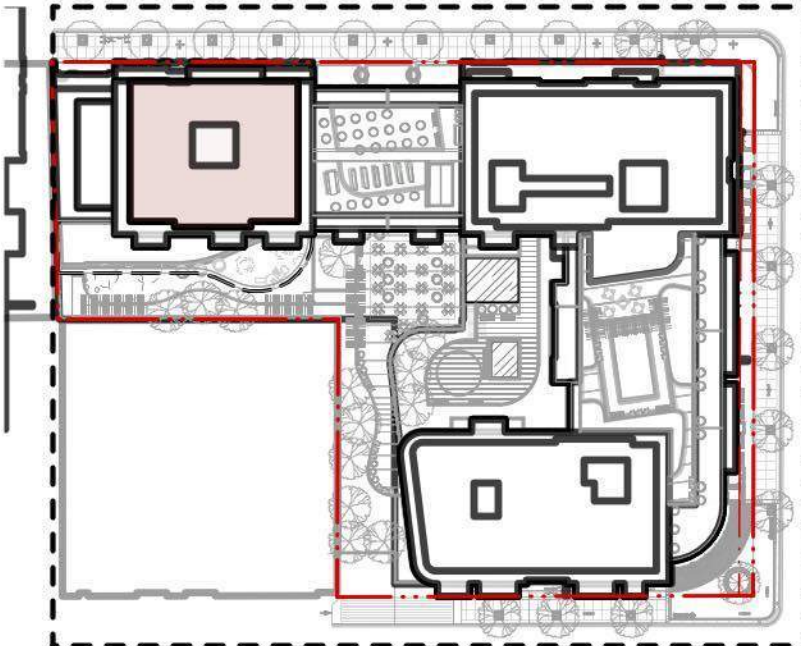
DATE 11 APRIL 2018 DRAWN ER  
SCALE 1:200 CHECKED BH





NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H2	Tree Grate 5P-48 Square Tree Grate with Frame
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PAYING LEGEND	
KEY	DESCRIPTION
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F11	Trellis
F12	Urban Agriculture
F13	Green Roof
F14	Greenhouse
F15	Compost & Potting Table
F16	Custom Circular Bench
LIGHTING LEGEND	
KEY	DESCRIPTION
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L2	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black



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DRAWING TITLE

**MATERIALS & GRADING PLAN**  
**LEVEL 8**

SEAL

DRAWING NO.

REVISION

**L1.07**

DATE: 11 APRIL 2018  
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SEAL

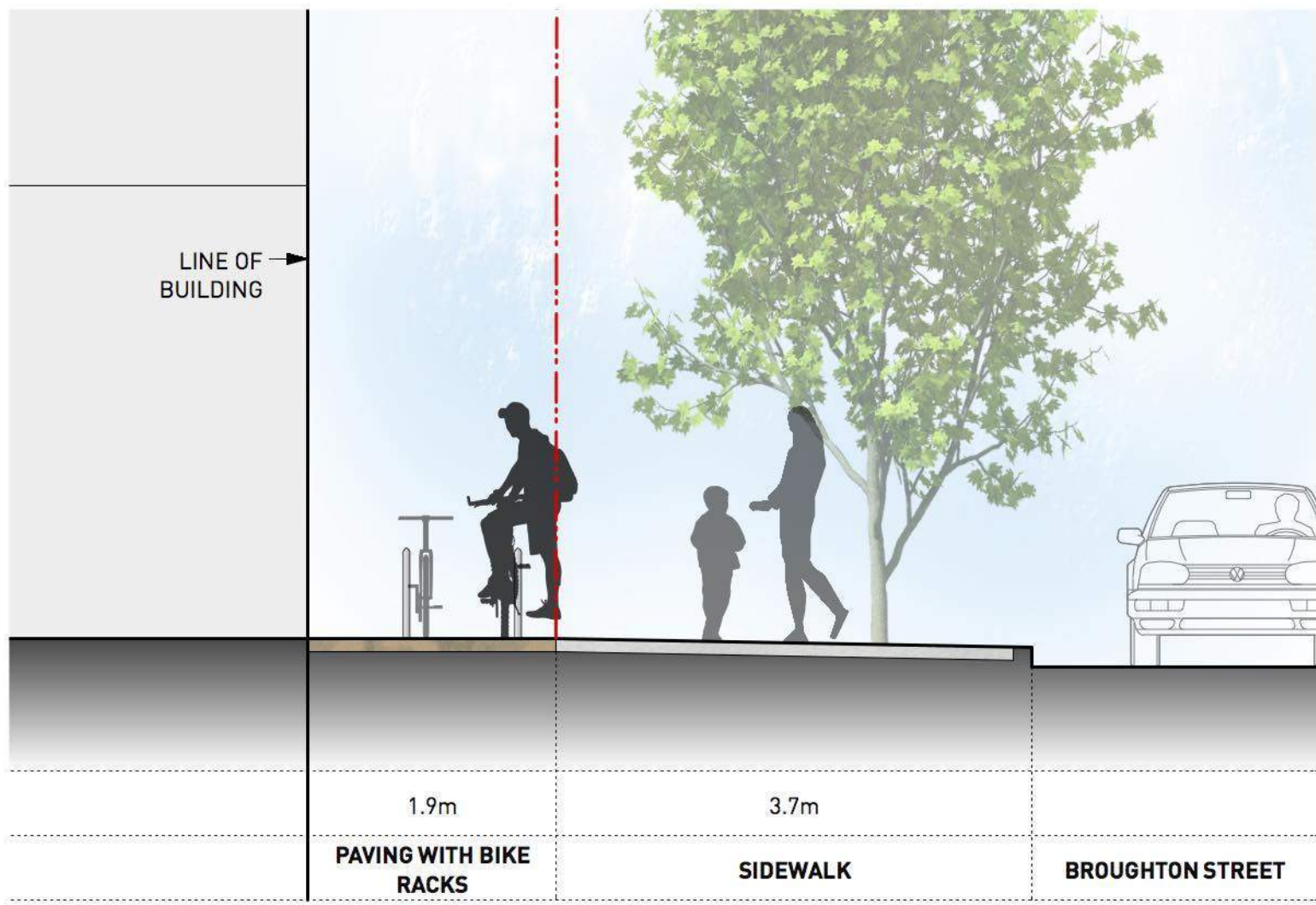
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DATE	DRAWN
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SCALE	CHECKED
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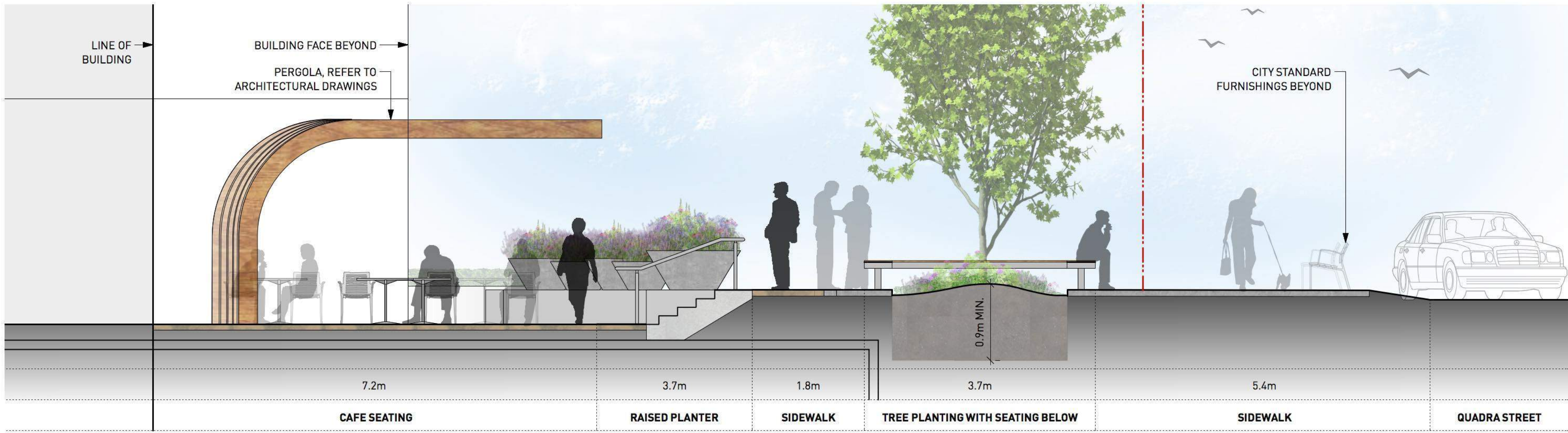


**NOTE:** REFER TO PLANT LIST L0.02.

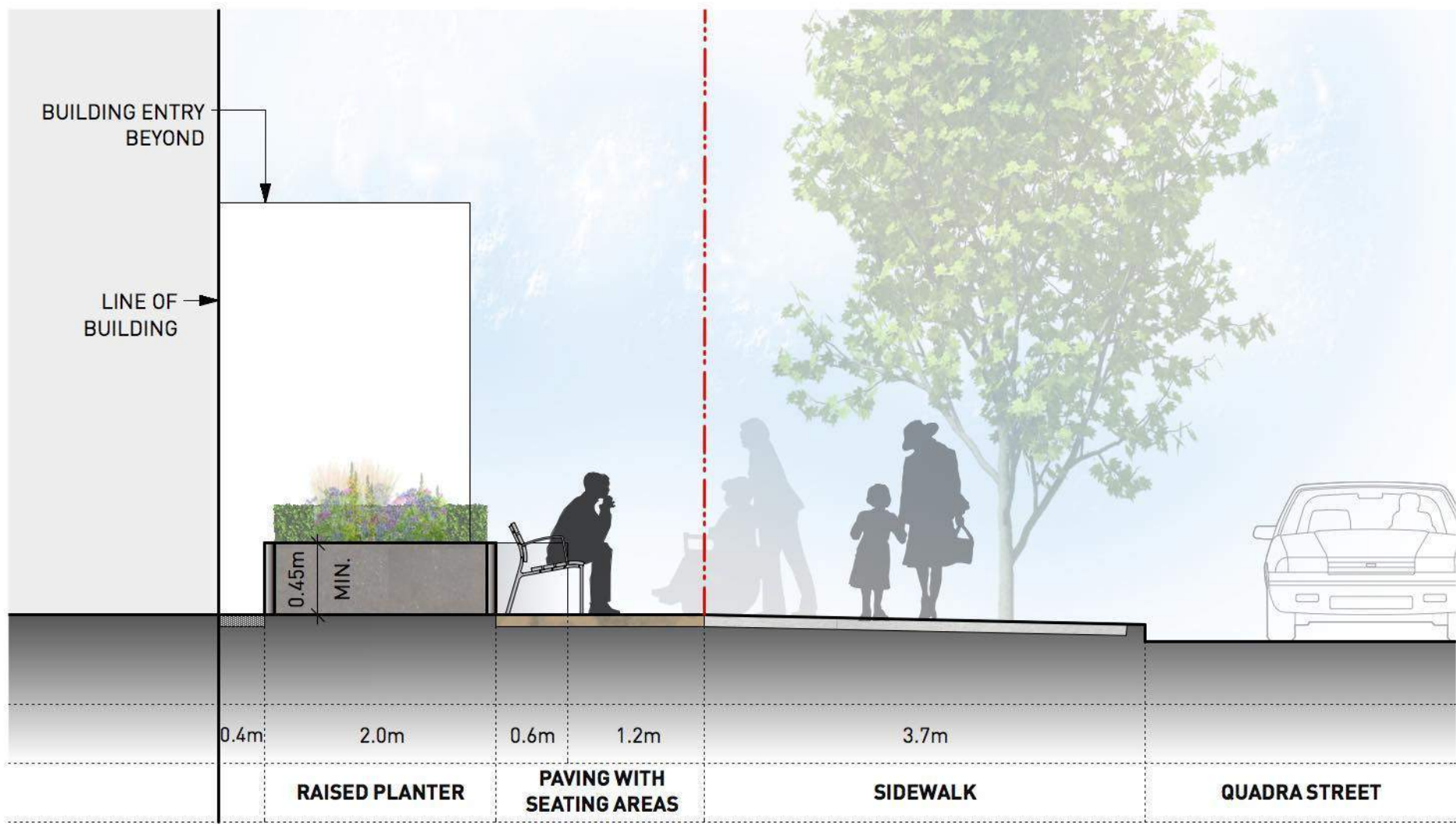




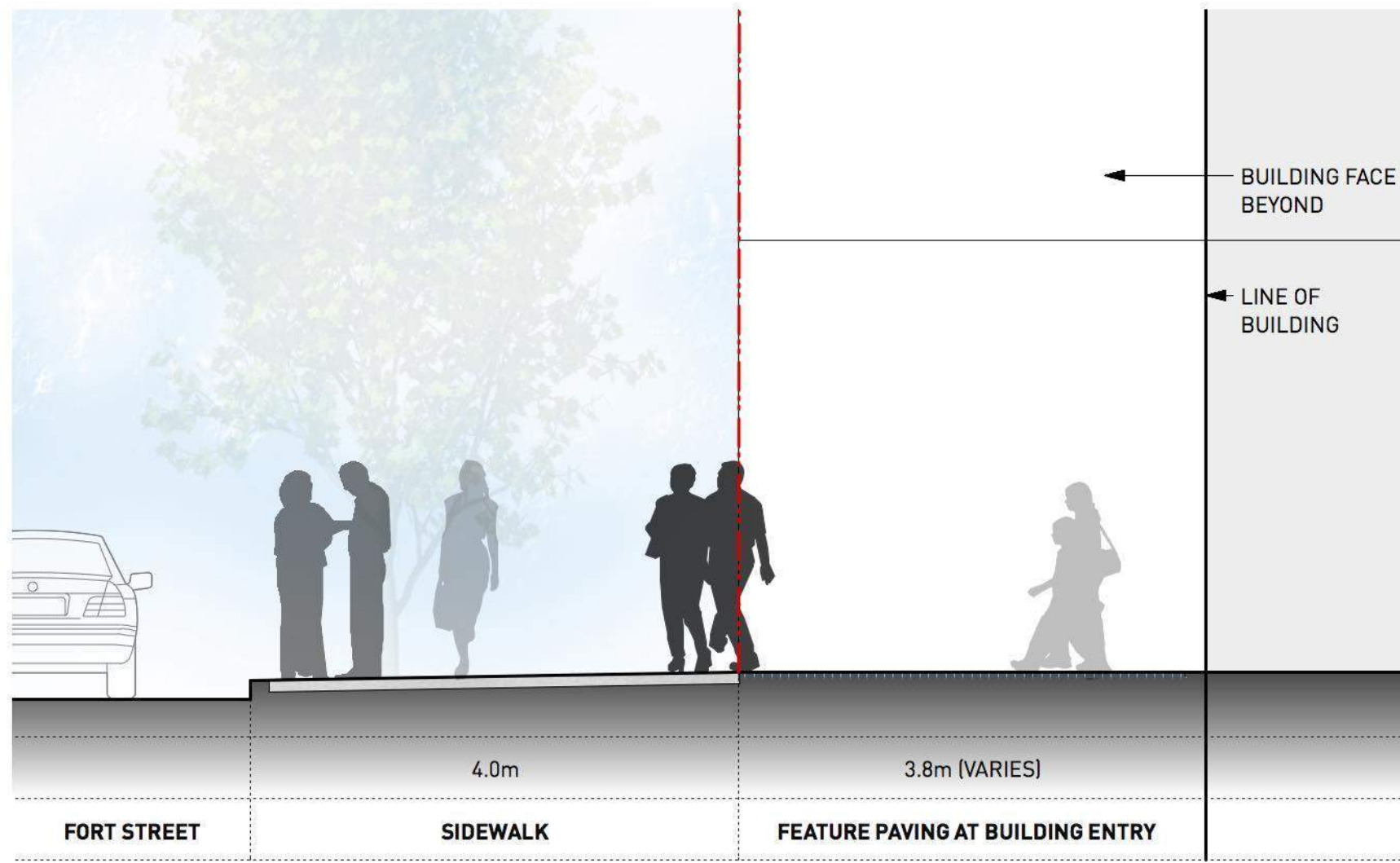
1 SECTION - BROUGHTON STREET, VIEW EAST  
1:50



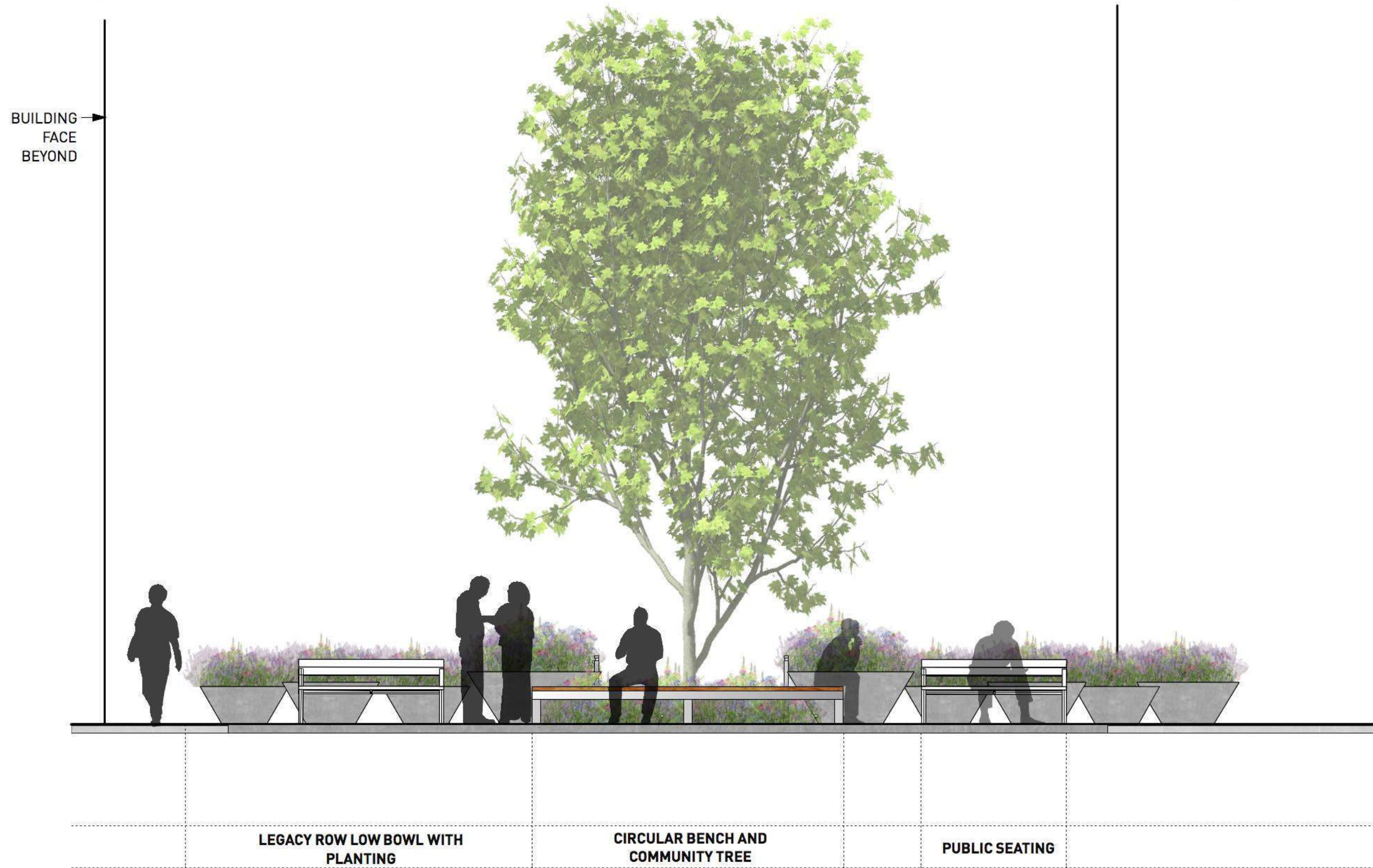
2 SECTION - BROUGHTON STREET CORNER, VIEW NORTHEAST  
1:50



3 SECTION - QUADRA STREET, VIEW NORTH  
1:50



4 SECTION - FORT STREET, VIEW EAST  
1:50



5 ELEVATION - QUADRA STREET AND BROUGHTON STREET ENTRANCE, VIEW NORTHWEST  
1:50



5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
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DRAWING TITLE

**SECTIONS**

SEAL

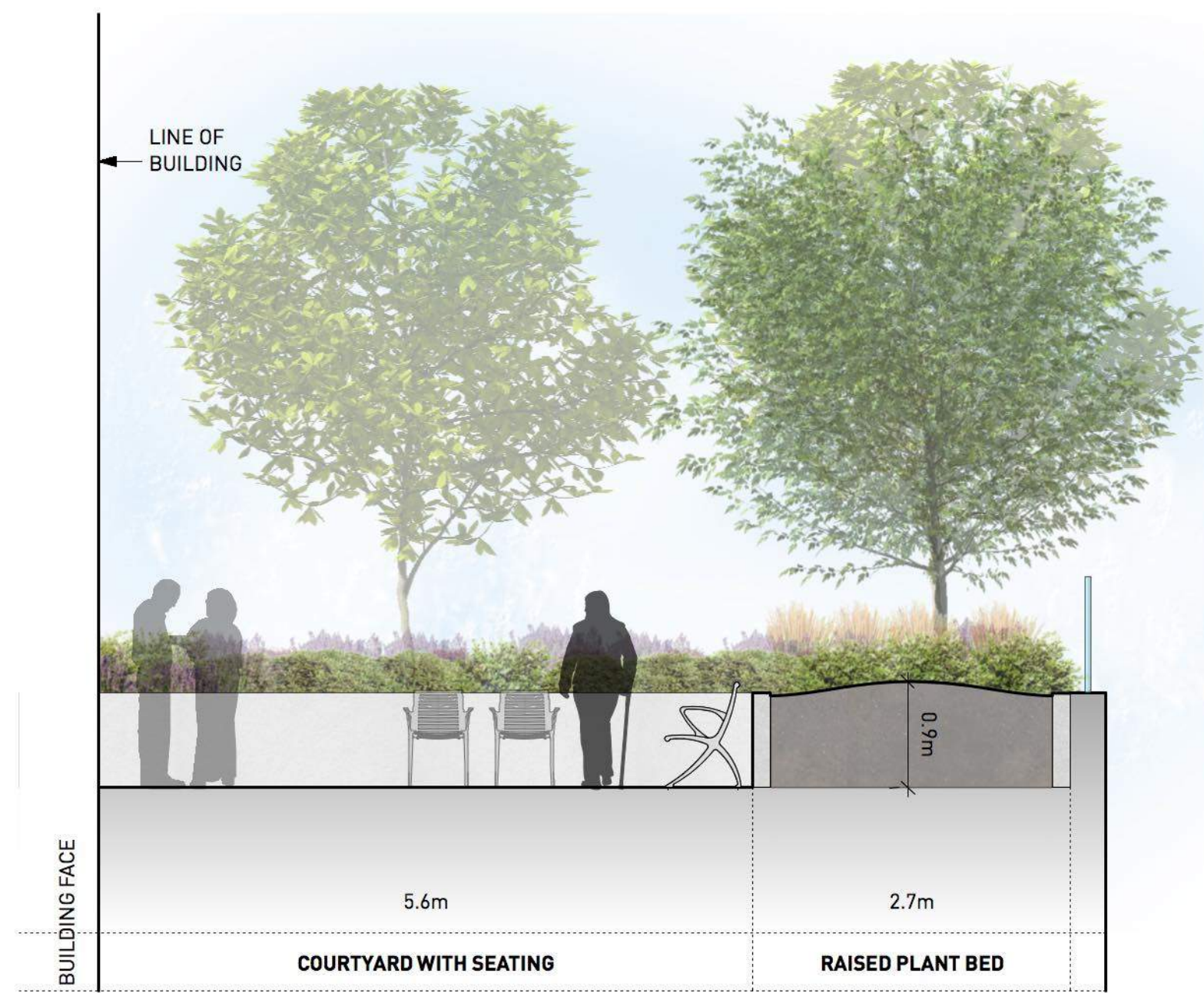
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**L2.01**

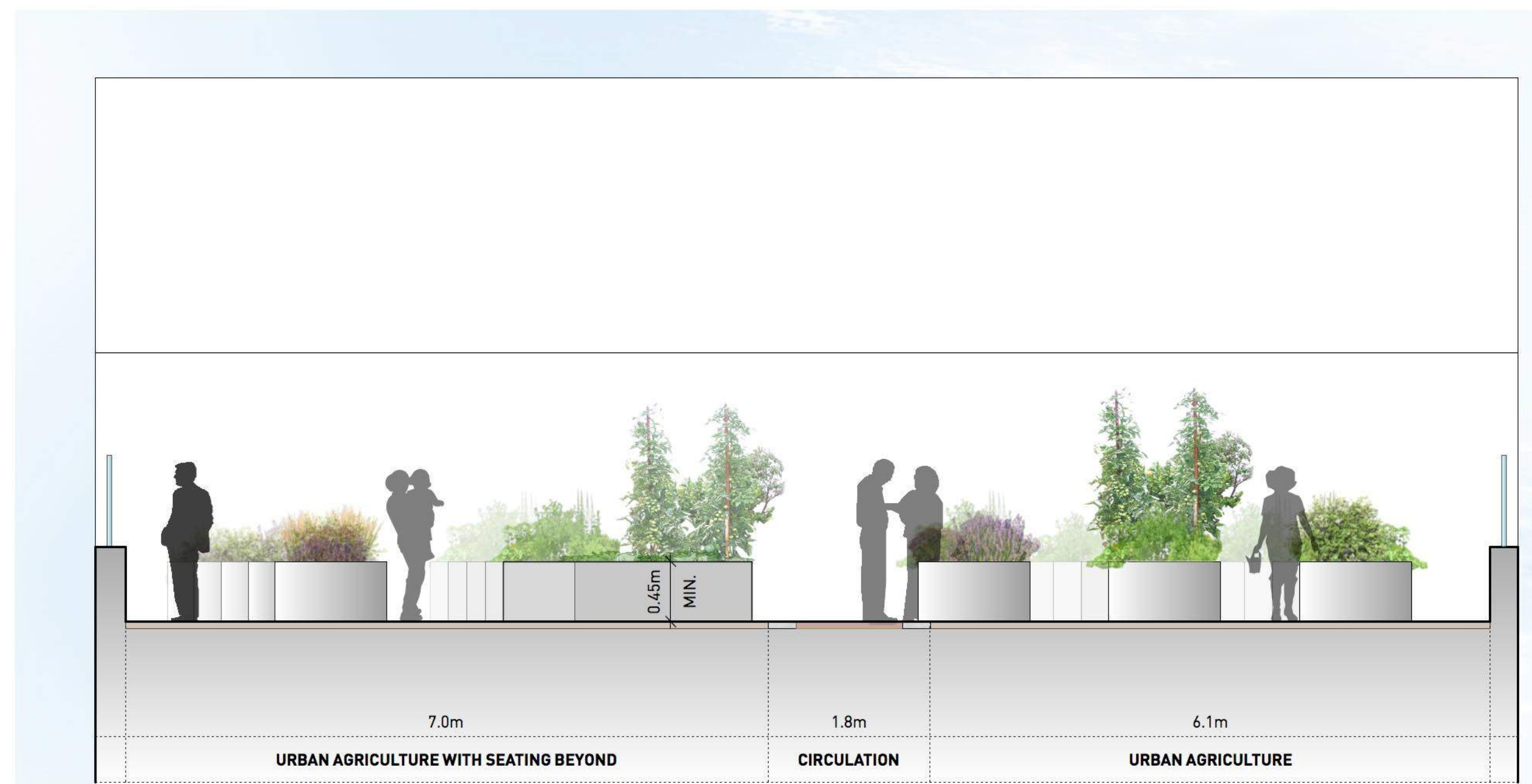
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11 APRIL 2018	ER

SCALE	CHECKED
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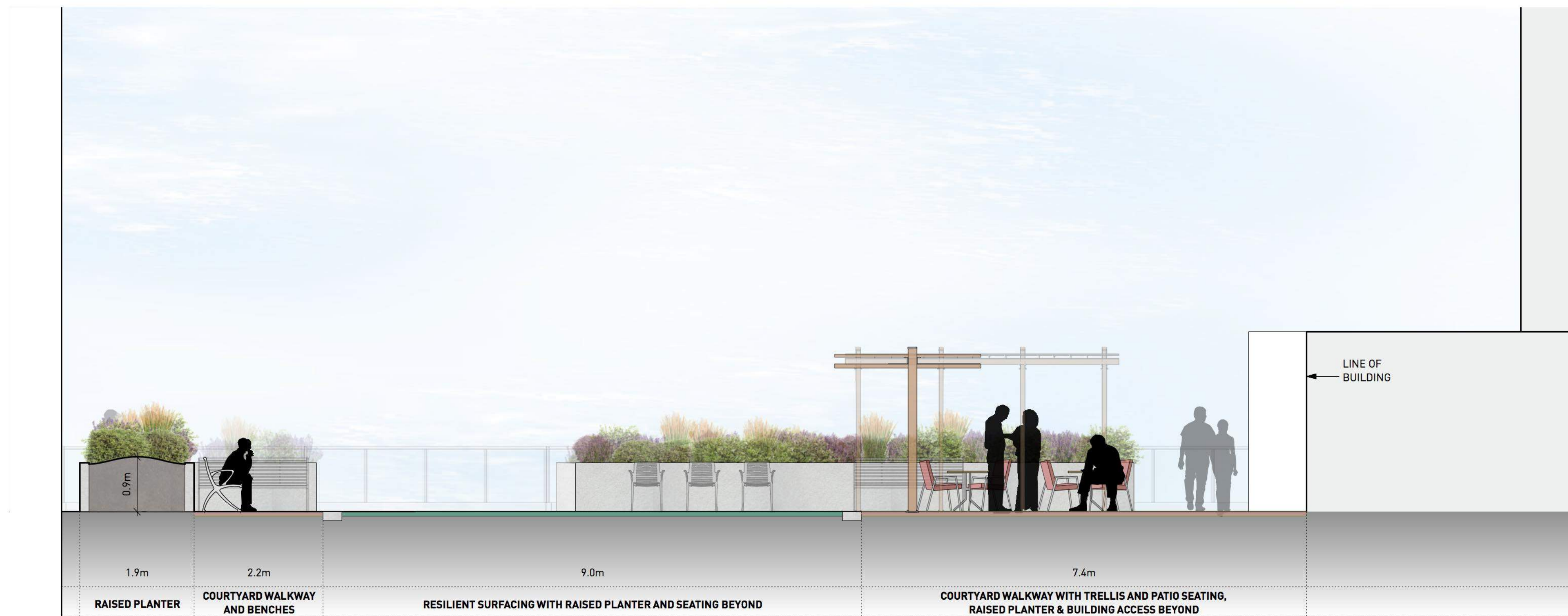




1 SECTION - LEVEL 2 COURTYARD FACING SOUTH  
1:50



2 SECTION - LEVEL 8 COURTYARD FACING WEST  
1:50



3 SECTION - LEVEL 8 COURTYARD FACING WEST  
1:50

REVISIONS		
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LEVEL 1: STREETScape

At the street level, the Fort and Quadra precinct enjoys the open space of Pioneer Square and the grounds of Christ Church Cathedral. The landscape expression responds to the historic character of the area. Fort Street embraces the heritage of tilework typically found at retail entries, varying in pattern or colour. Quadra Street, with its adjacent park-like setting, responds through the use of raised planters featuring seasonal colour as well as abundant seating opportunities. The building's urban pergola is a feature at Broughton Street, where shapes and forms inspired by the cathedral are reflected in the sidewalk paving patterns.

CHARACTER IMAGES



FORT STREET HISTORIC STOREFRONTS WITH PENNY TILE



PARK-LIKE SETTING OF PIONEER SQUARE



SHAPES & FORMS OF CHRIST CHURCH CATHEDRAL

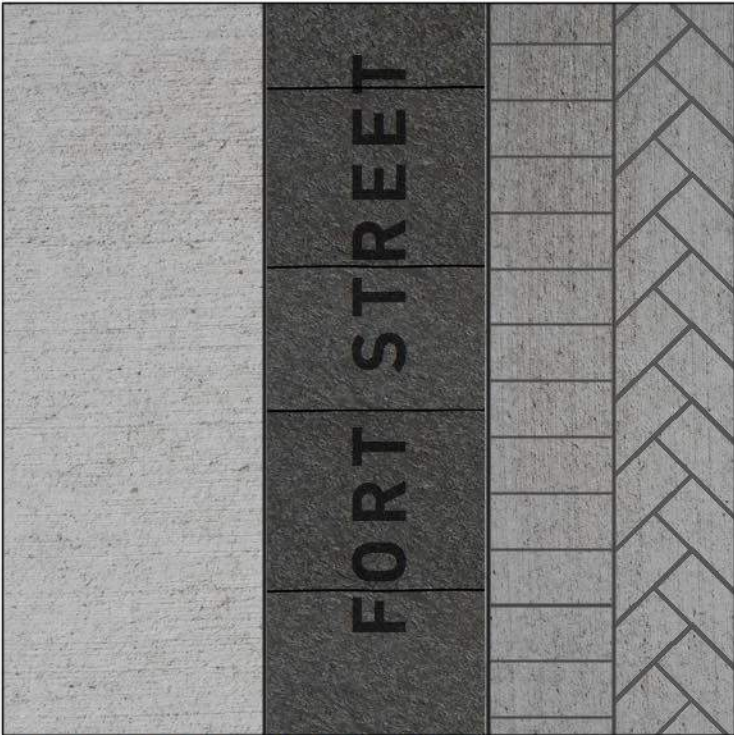
MATERIALS PER CITY OF VICTORIA STREETScape GUIDELINES



SCORED CONCRETE SIDEWALK PAVING



CAST IN PLACE CONCRETE BAND



BASALT STONE PAVING BAND DISPLAYING STREET NAME



CONCRETE UNIT PAVERS HERRINGBONE WITH SOLIDER COURSE NATURAL GREY



STREET TREES IN TREE GRATES GRATES TO ALIGN WITH SCORING PATTERN



STREET FURNISHINGS PER CITY STANDARD



LIGHT FIXTURE

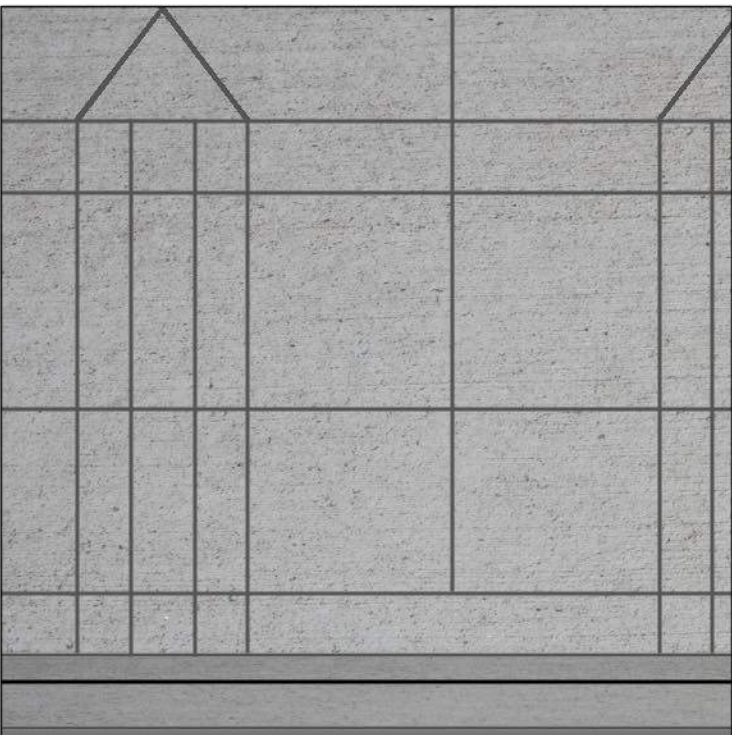


BIKE RACK

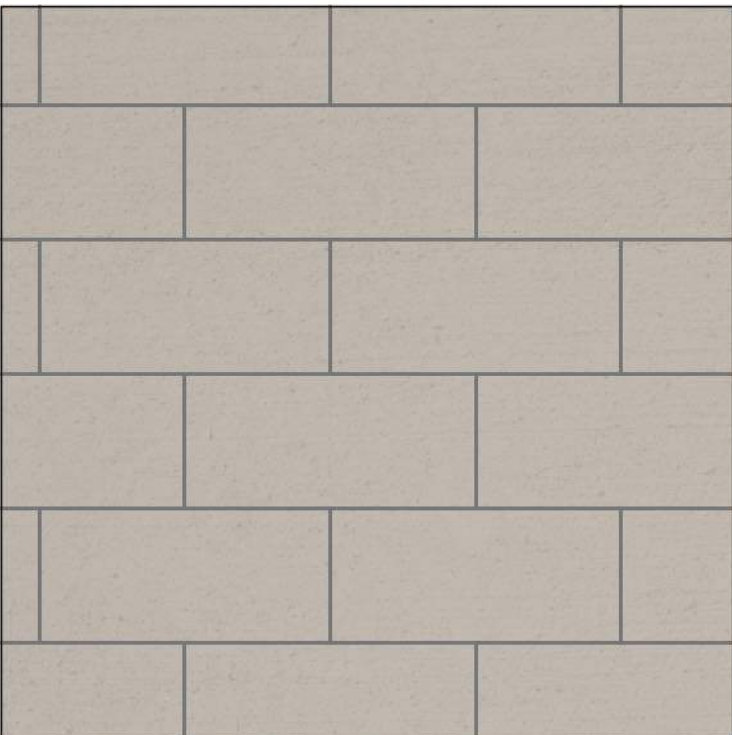


BOLLARD

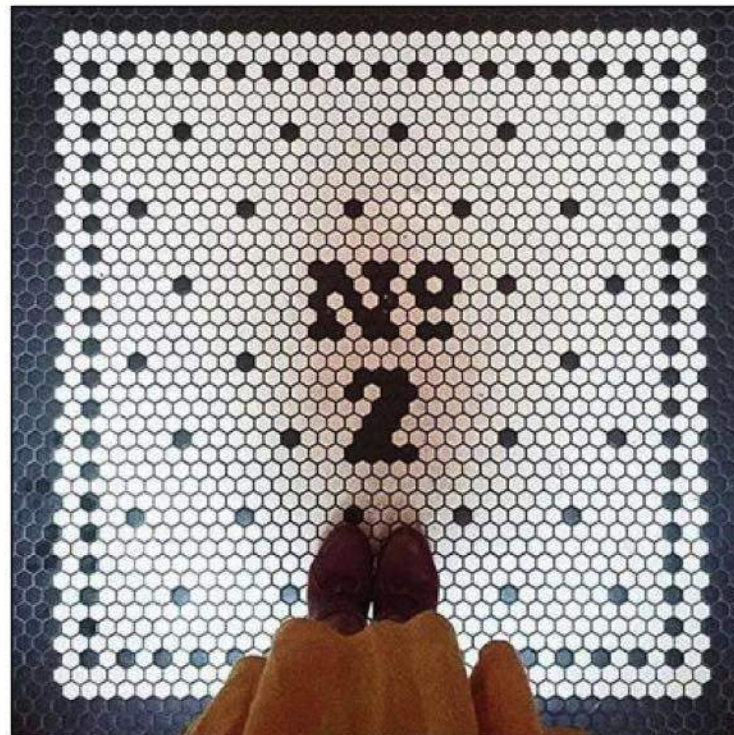
PROPOSED STREETScape ELEMENTS & MATERIALS



CONCRETE SIDEWALK PAVING WITH SCORED PATTERN TO REFERENCE CATHEDRAL



CONCRETE UNIT PAVERS RUNNING BOND PATTERN WARM TONE



PENNY TILE PAVING AT FORT STREET ENTRIES



RAISED PLANTER WITH BOXWOOD BORDER, SCREENING FROM STREET



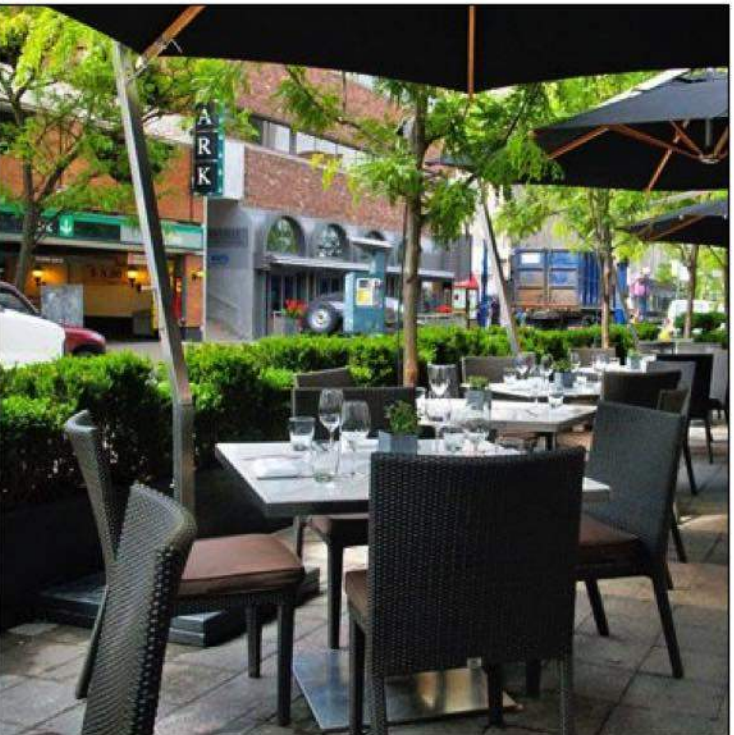
BENCH SEATING



TABLE & CHAIR SEATING



RAISED CIRCULAR PLANTERS



OUTDOOR CAFE SPACE



RADIAL BENCH SEATING

5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET  
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DRAWING TITLE

**IMAGE BOARD**

SEAL

DRAWING NO.	REVISION
<b>L3.01</b>	DATE
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	1:200
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LEVEL 2: THE SOCIAL DINING PATIO

The courtyard landscape at Level 2 is a semi-private, passive space for residents. It is the hospitality and dining level and as such provides opportunities for outdoor dining, seating, and gathering, responding to the interior dining room. The flowering and shade trees along with overhead structures at the outside edges of the courtyard provide a human scale to the landscape spaces and screen the courtyard from overlook from the adjacent residential building. These features provide a comfortable environment and screening for outdoor dining, as well as seasonal interest. Planters are freeform in shape following the lines of the building, forming soft curved edges for circulation. This is complemented by feature paving, which brings warmth and character to the courtyard.

LEVEL 3: SHADE GARDEN TERRACE & GREEN ROOF

Level 3 is intended as a shade garden, providing opportunities for quiet gatherings, short walks, and appreciation of the shade garden plants. The program responds to the courtyard's available sunlight and the adjacent residential units. A putting green provides an additional passive recreation opportunity for residents. The architectural skylight also provides visual interest and warmth to the Level 2 dining area below.

LEVEL 7: PRIVATE PATIOS

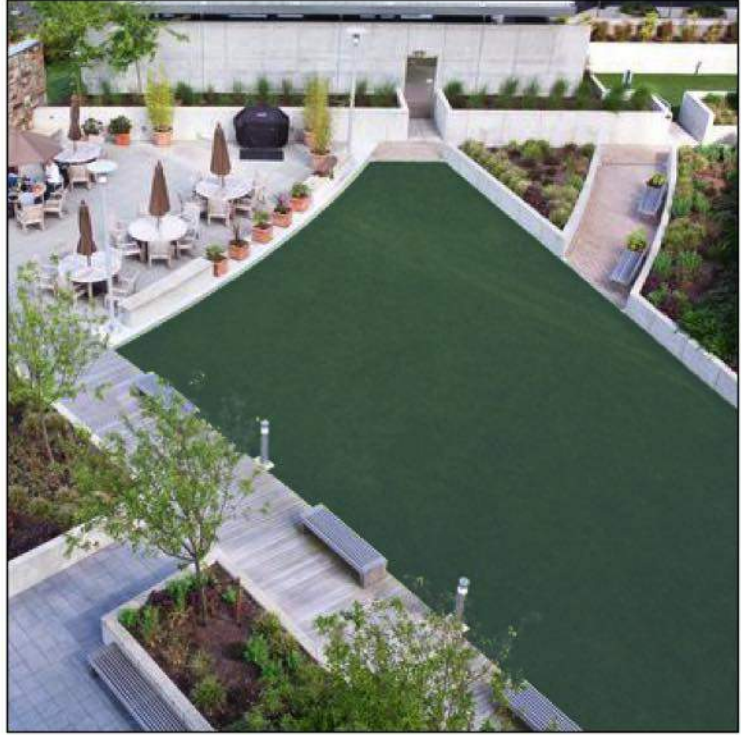
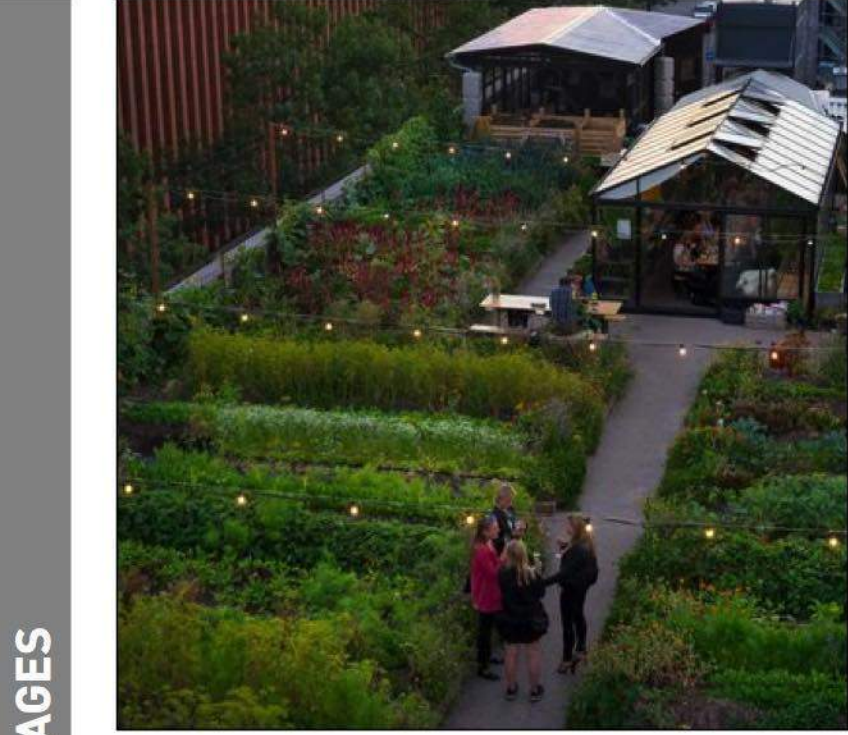
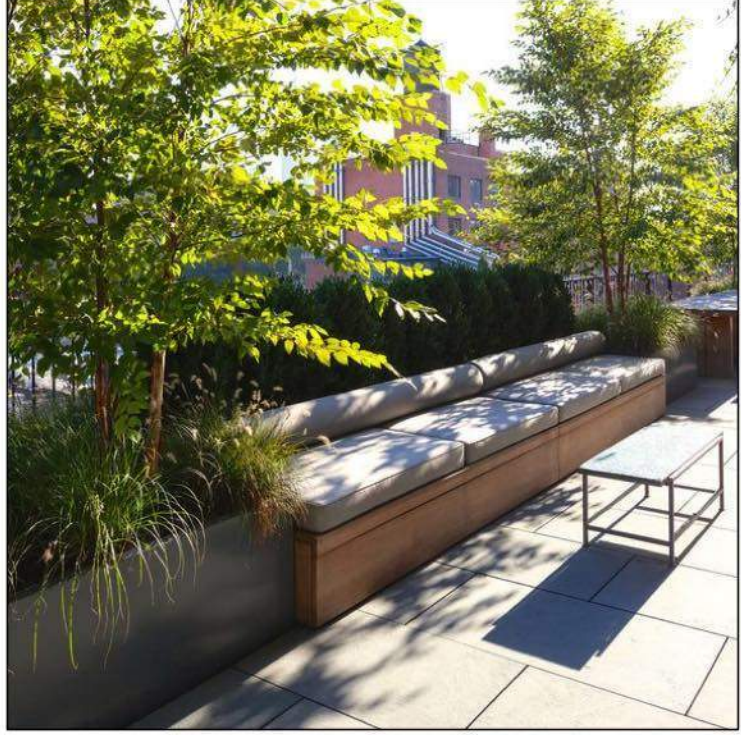
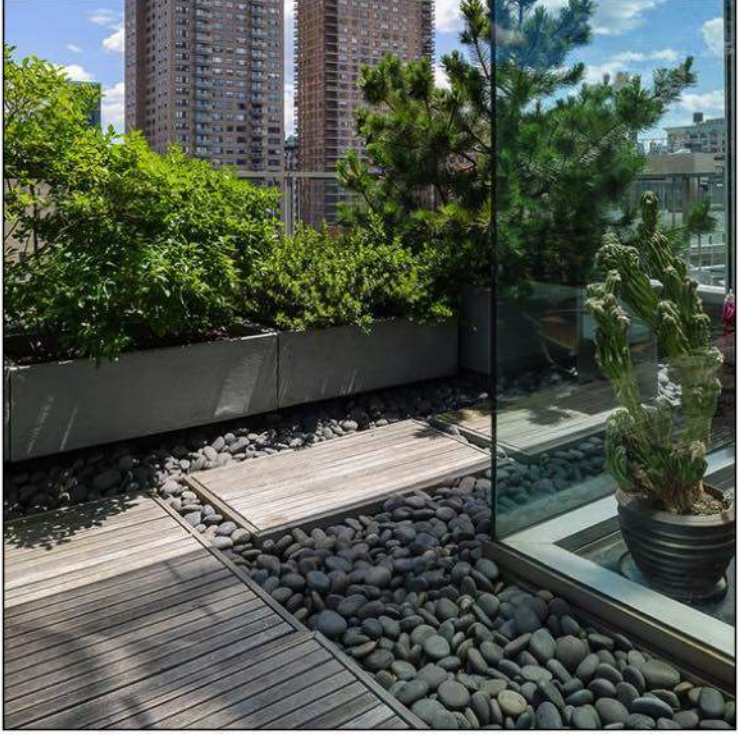
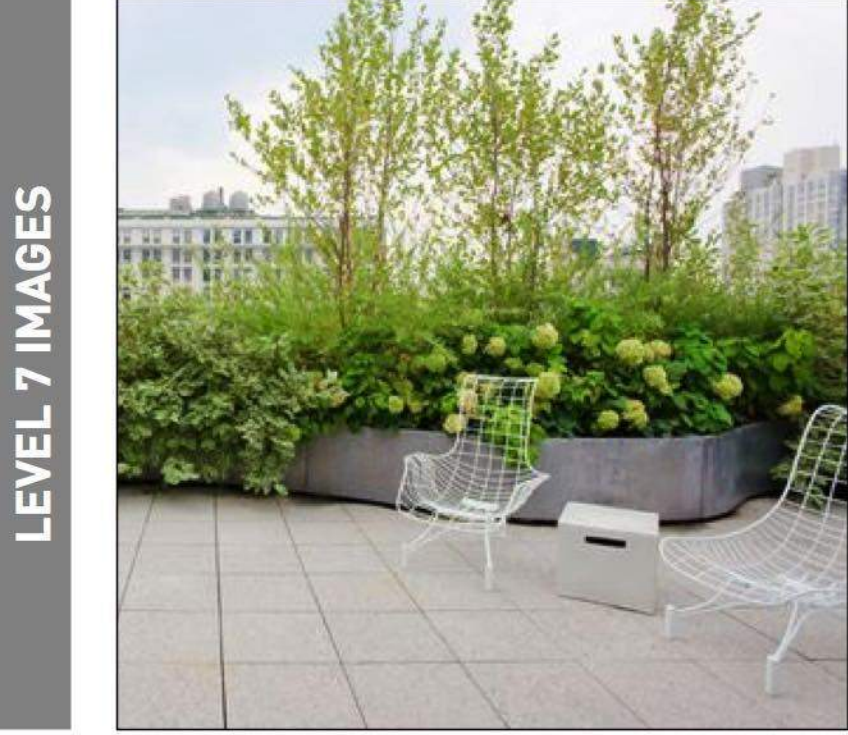
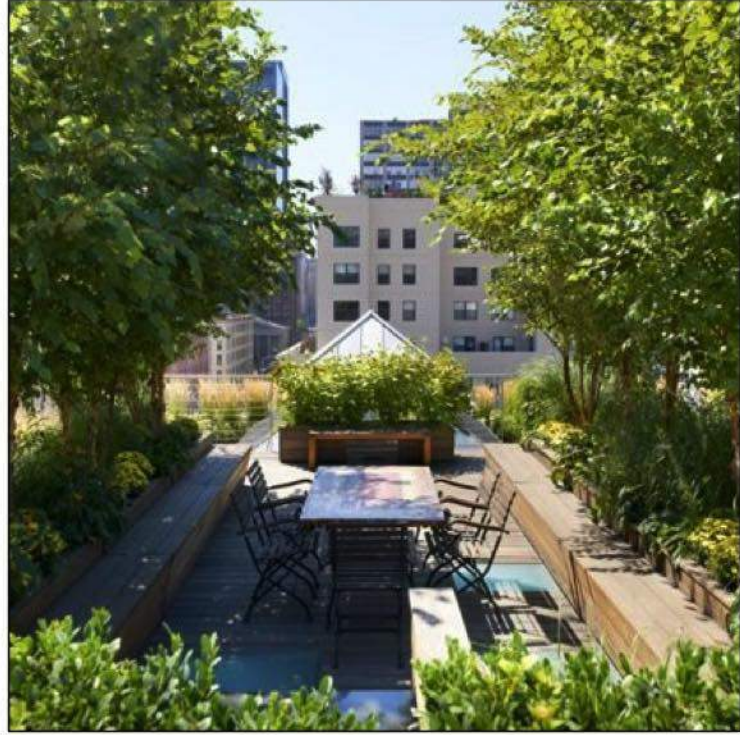
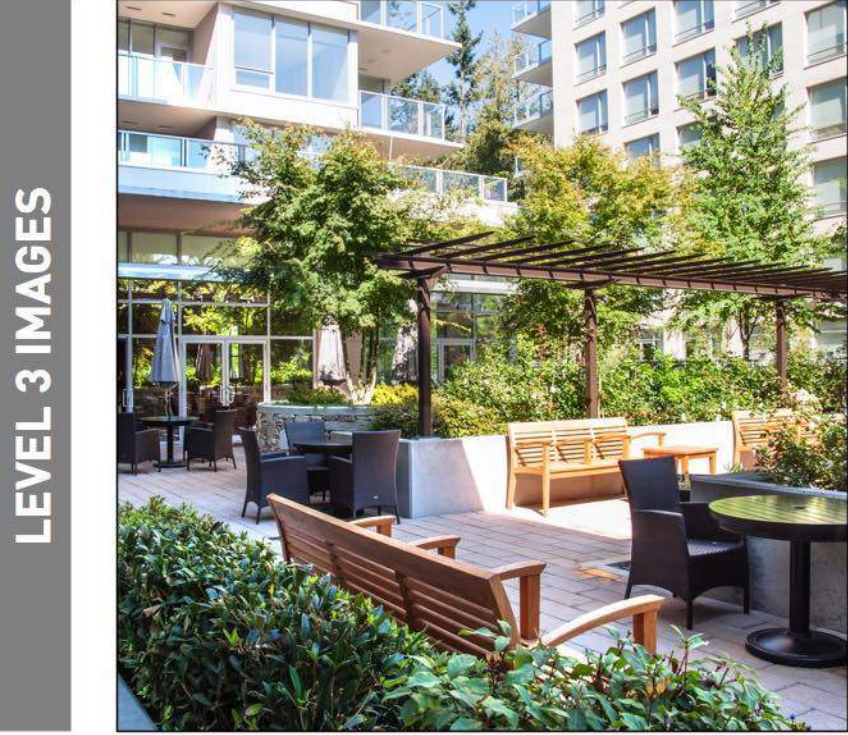
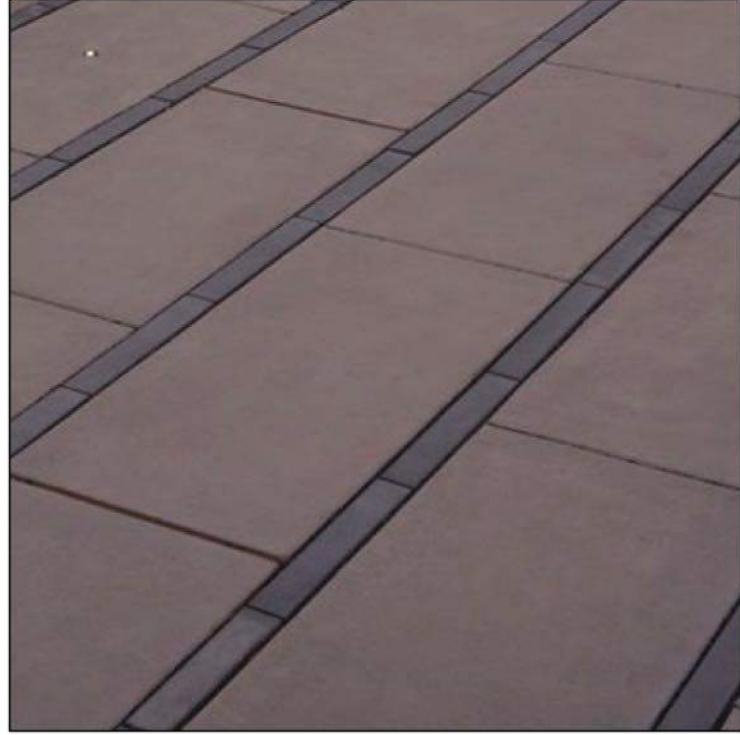
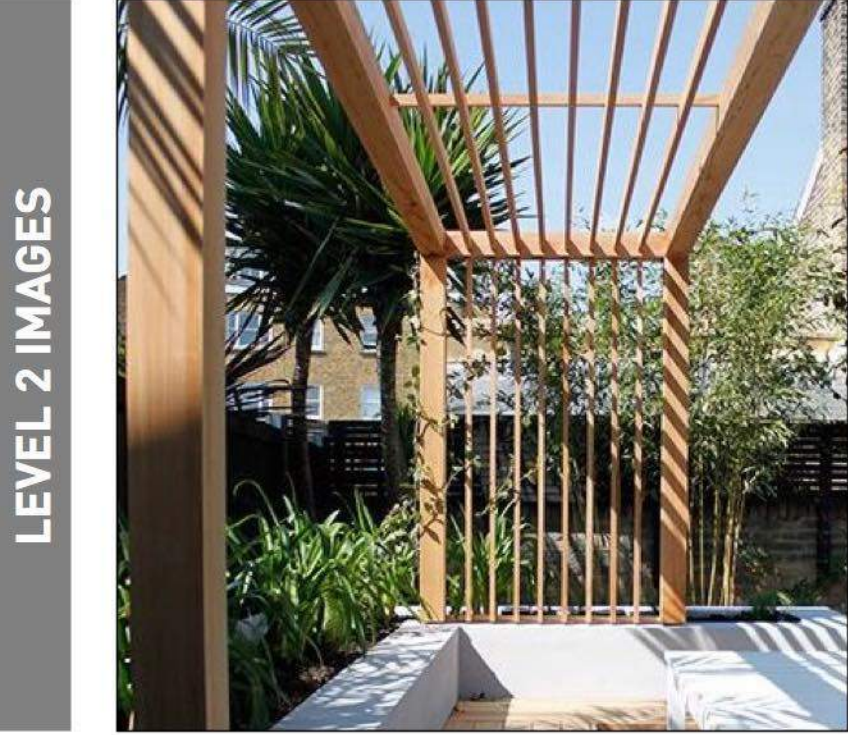
Level 7 hosts patios for individual units. At the Quadra Street facade, raised planters reflect the adjacent Pioneer Square green space. Hydrapressed pavers throughout provide flexible spaces for tenants.


LEVEL 8: SUNNY GARDENING PATIO

Level 8 hosts two amenity areas benefiting from sunny exposure. At the Fort Street patio, the space features residential community gardens. This space includes a greenhouse, potting table, compost, garden beds, and fruiting and flowering shrubs.

LEVEL 8: ACTIVE COMMUNITY PATIO

The Quadra Street amenity space, with its focus on activity, is centred around a durable, resilient surface area allowing for games and recreation. A surrounding looped walkway provides an opportunity for residents to walk and enjoy the garden-style planting. This looped path responds to many seniors' desire to walk outside in a completely safe and controlled environment. The large patio area adjacent to the amenity room provides space for outdoor card and board games as well as informal gathering and seating.





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DRAWING TITLE

**IMAGE BOARD**

SEAL

DRAWING NO.

REVISION

**L3.02**

DATE	DRAWN
11 APRIL 2018	ER
SCALE	CHECKED
1:200	BH



REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
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4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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parc  
retirement  
living

PROJECT NO.

16053

PROJECT

PARC VICTORIA  
Mixed Use Seniors Residential &  
Commercial Development

DRAWING TITLE

DETAILS

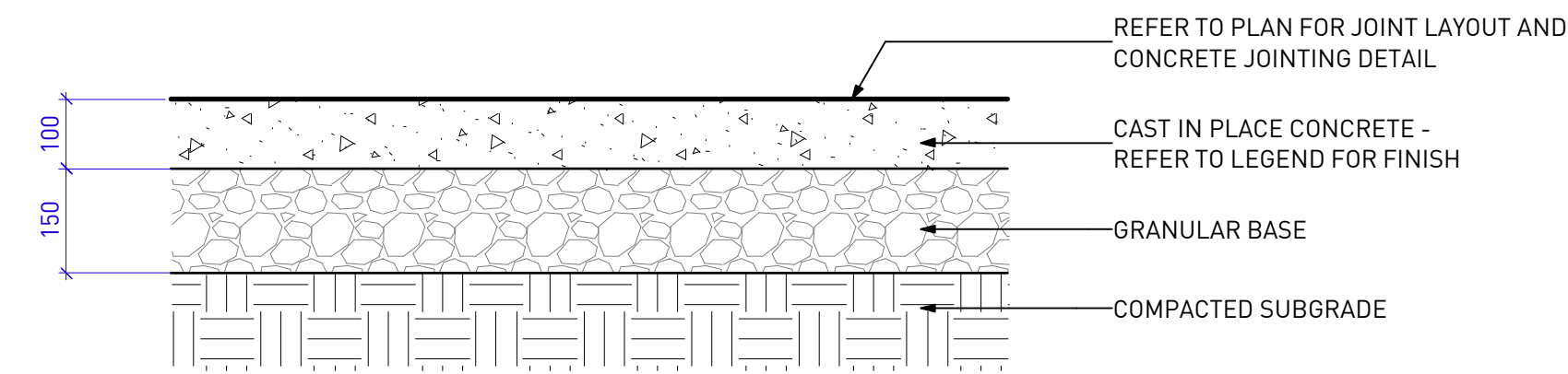
SEAL

DRAWING NO.

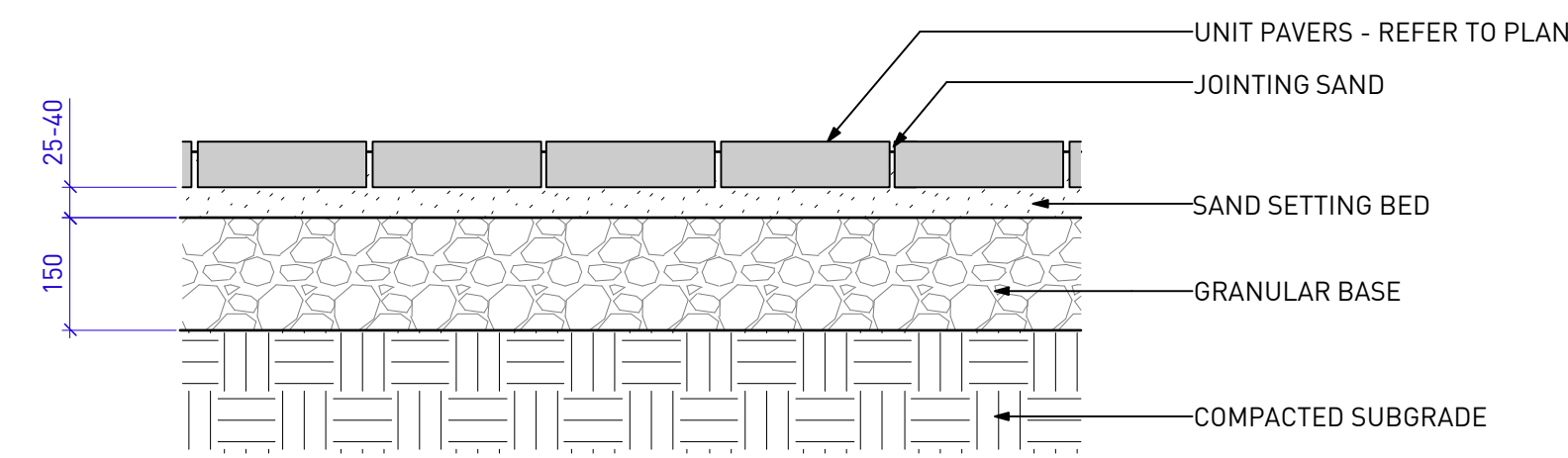
REVISION

L4.01

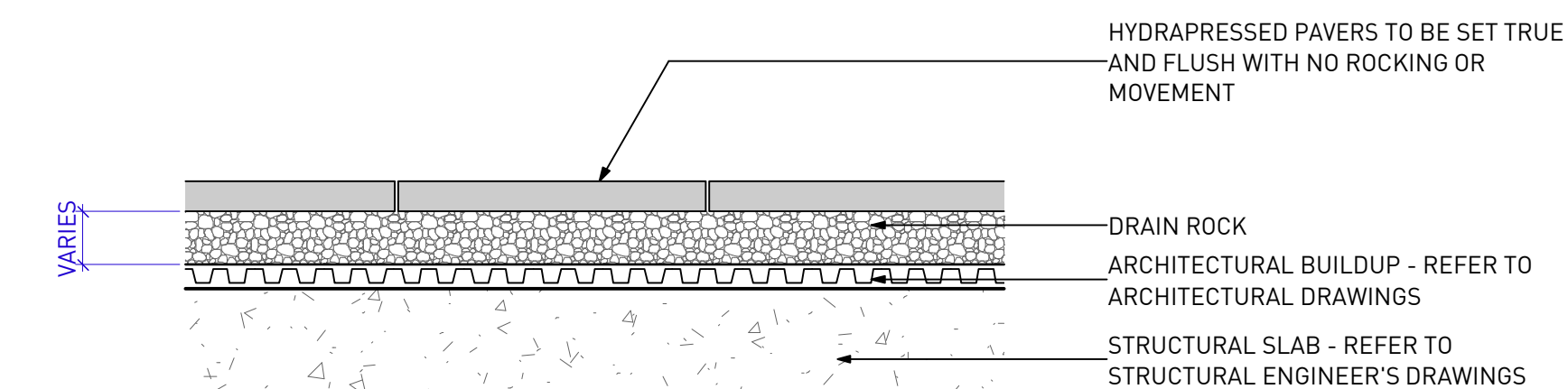
DATE	DRAWN
11 APRIL 2018	ER
SCALE	CHECKED
1:200	BH



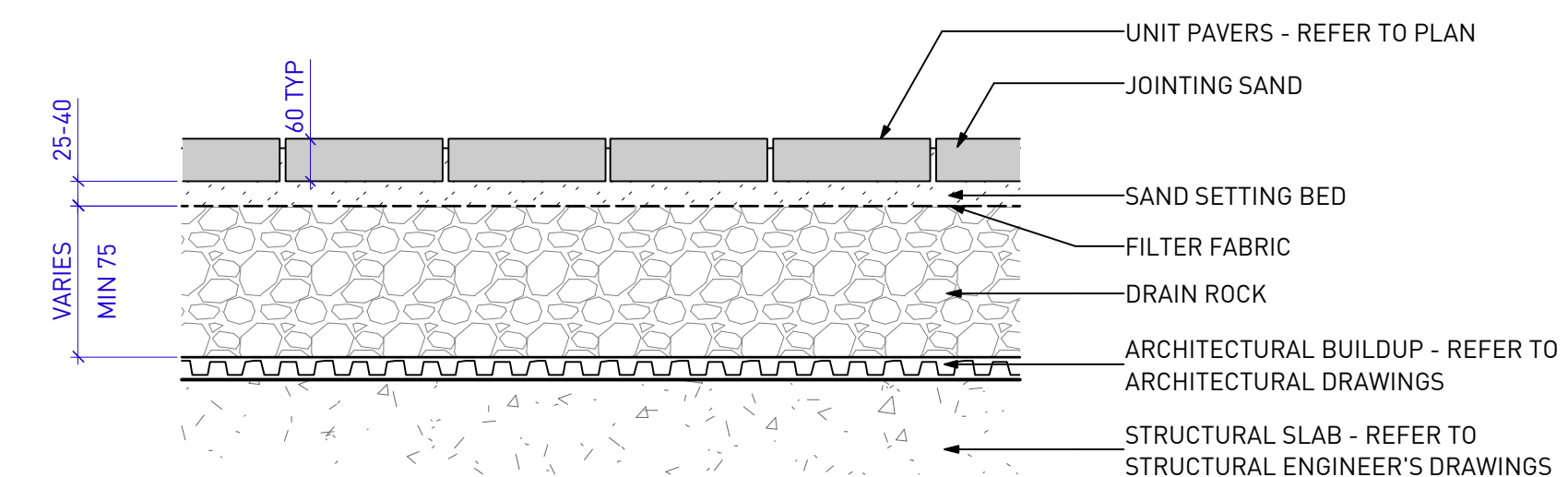
1 CAST IN PLACE CONCRETE ON GRADE: PEDESTRIAN, PER CITY GUIDELINES  
Scale: 1:10



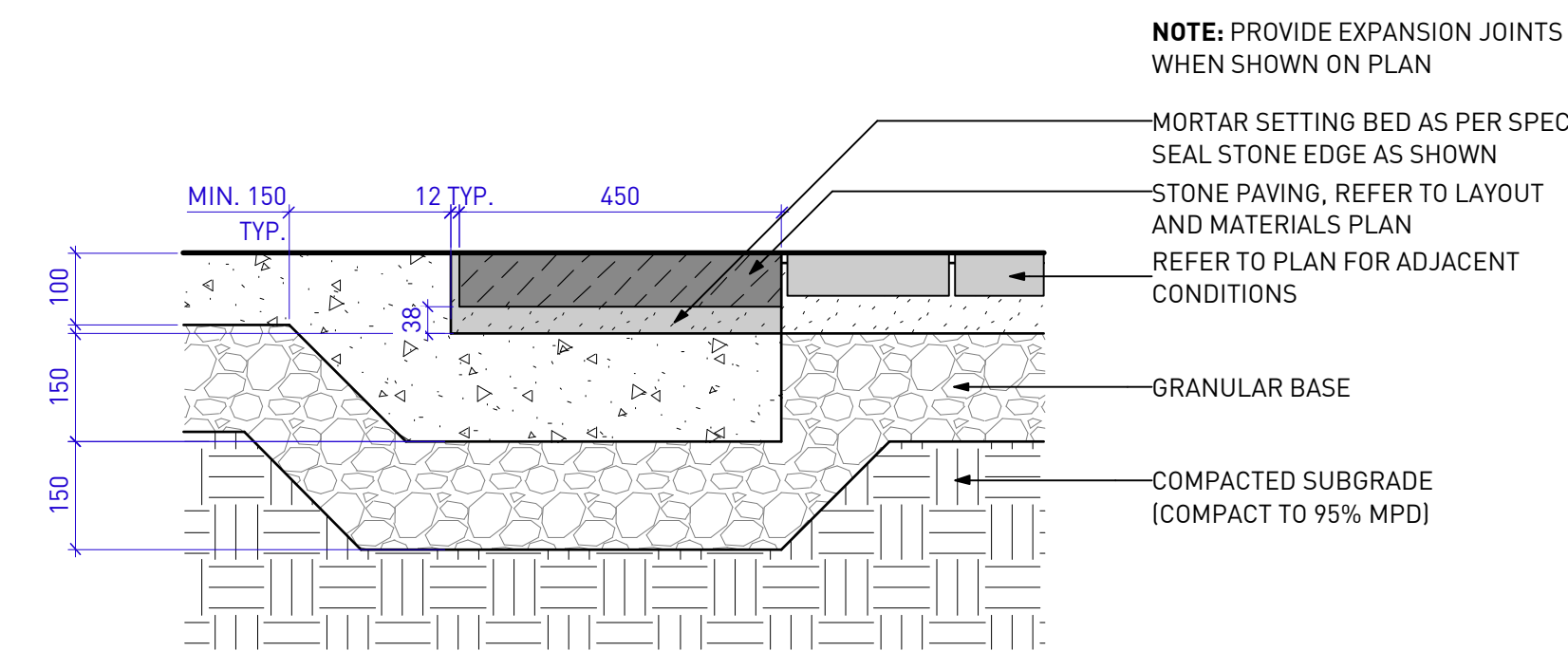
2 UNIT PAVERS ON GRADE: PEDESTRIAN  
Scale: 1:10



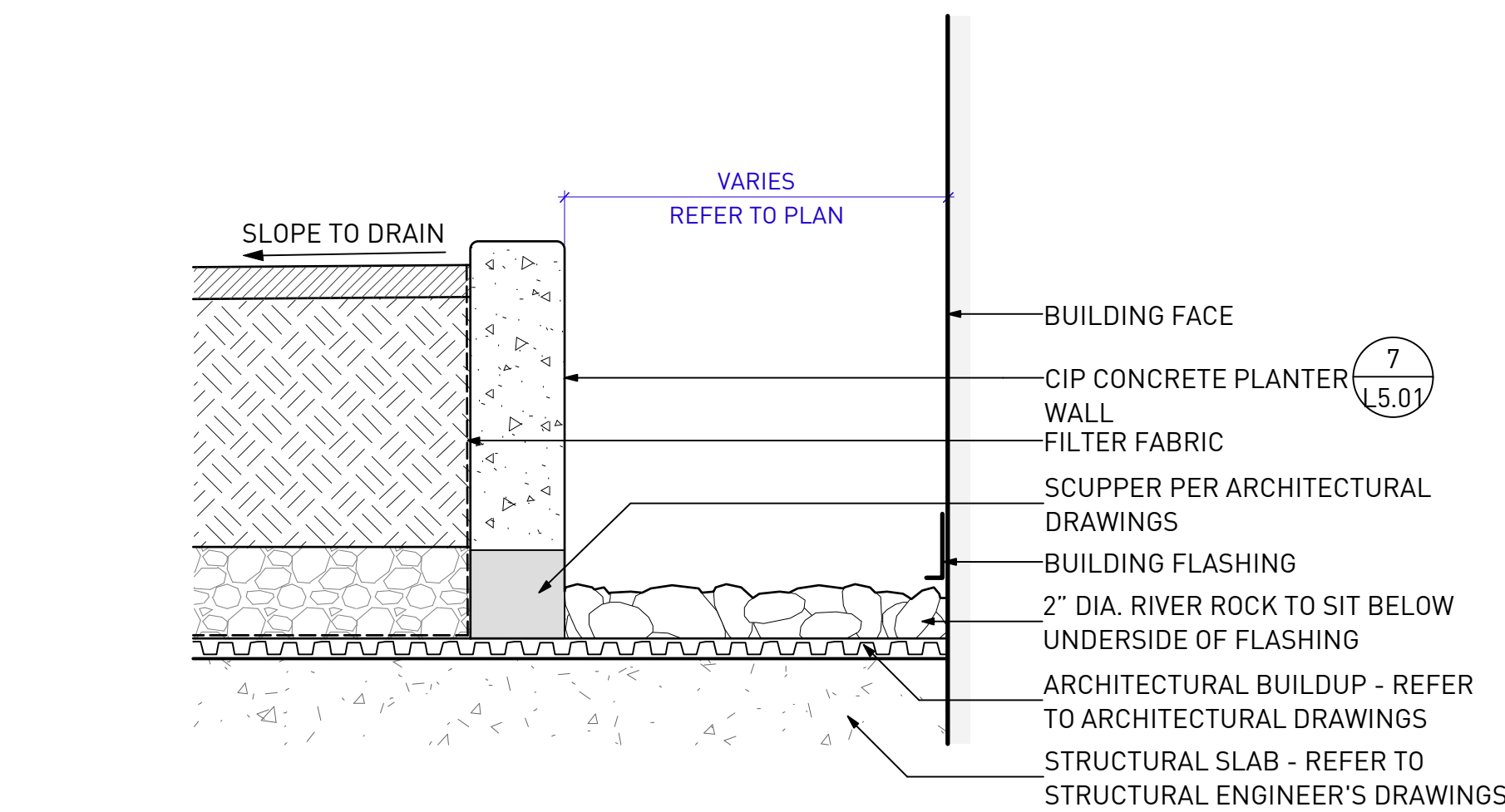
3 HYDRAPRESSED PAVERS ON SLAB  
Scale: 1:10



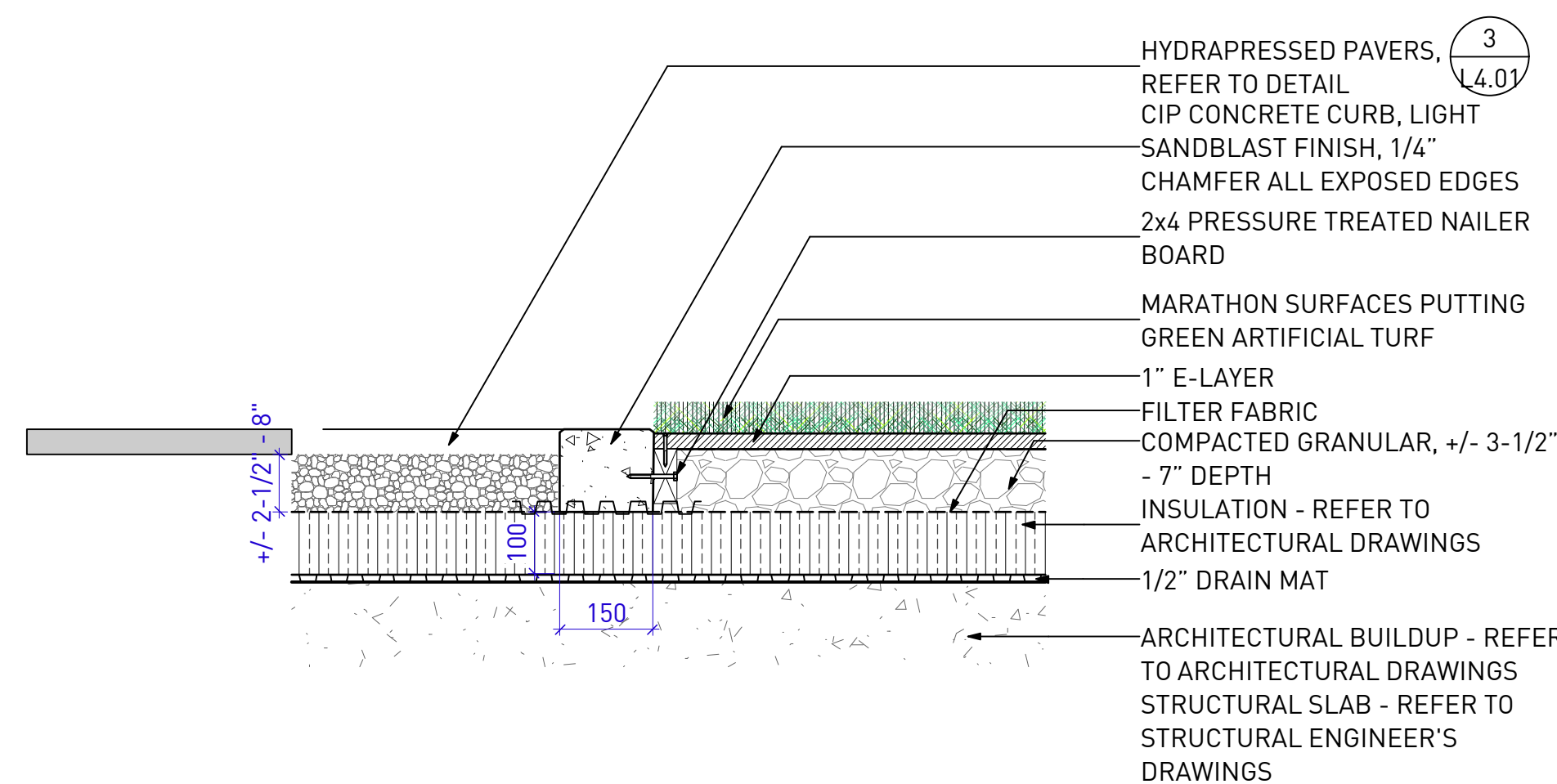
4 UNIT PAVERS ON SLAB  
Scale: 1:10



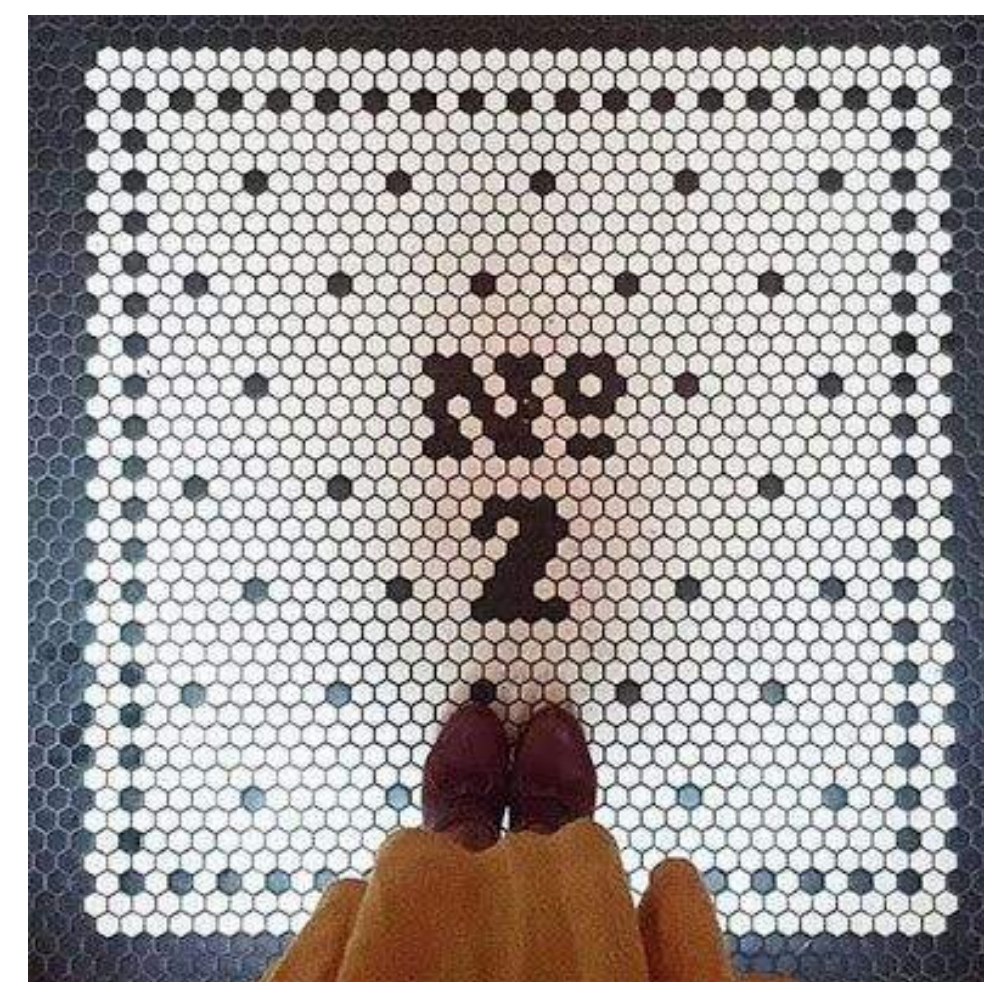
5 BASALT STONE BAND ON GRADE, PER CITY GUIDELINES  
Scale: 1:10



6 MAINTENANCE STRIP  
Scale: 1:10

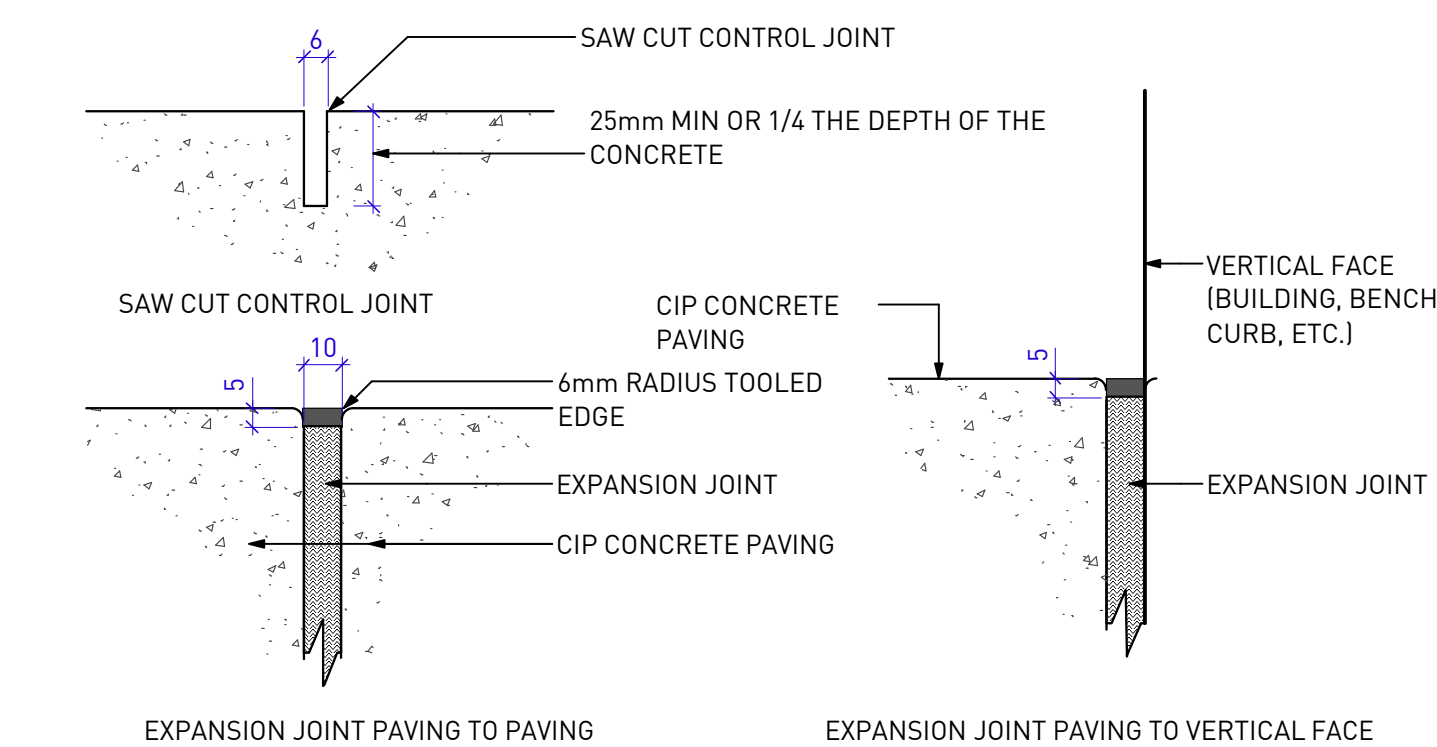


7 ARTIFICIAL TURF WITH CONCRETE CURB  
Scale: 1:10



CHARACTER IMAGE

8 FORT STREET ENTRY TILE PAVING  
Scale: 1:10



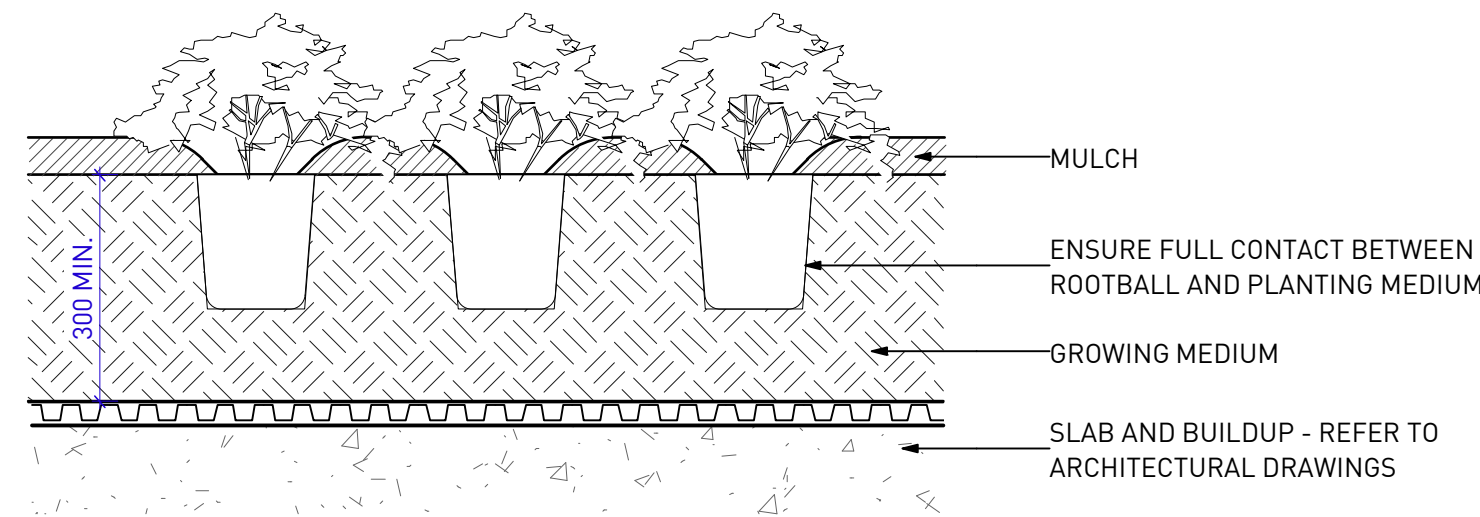
NOTE:  
1. EXPANSION JOINT: REFER TO SPECIFICATIONS.

9 CONCRETE JOINTING  
Scale: Half Actual Size



NOTES:

1. PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE.
2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS.
3. PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES, SEE SPECIFICATIONS.

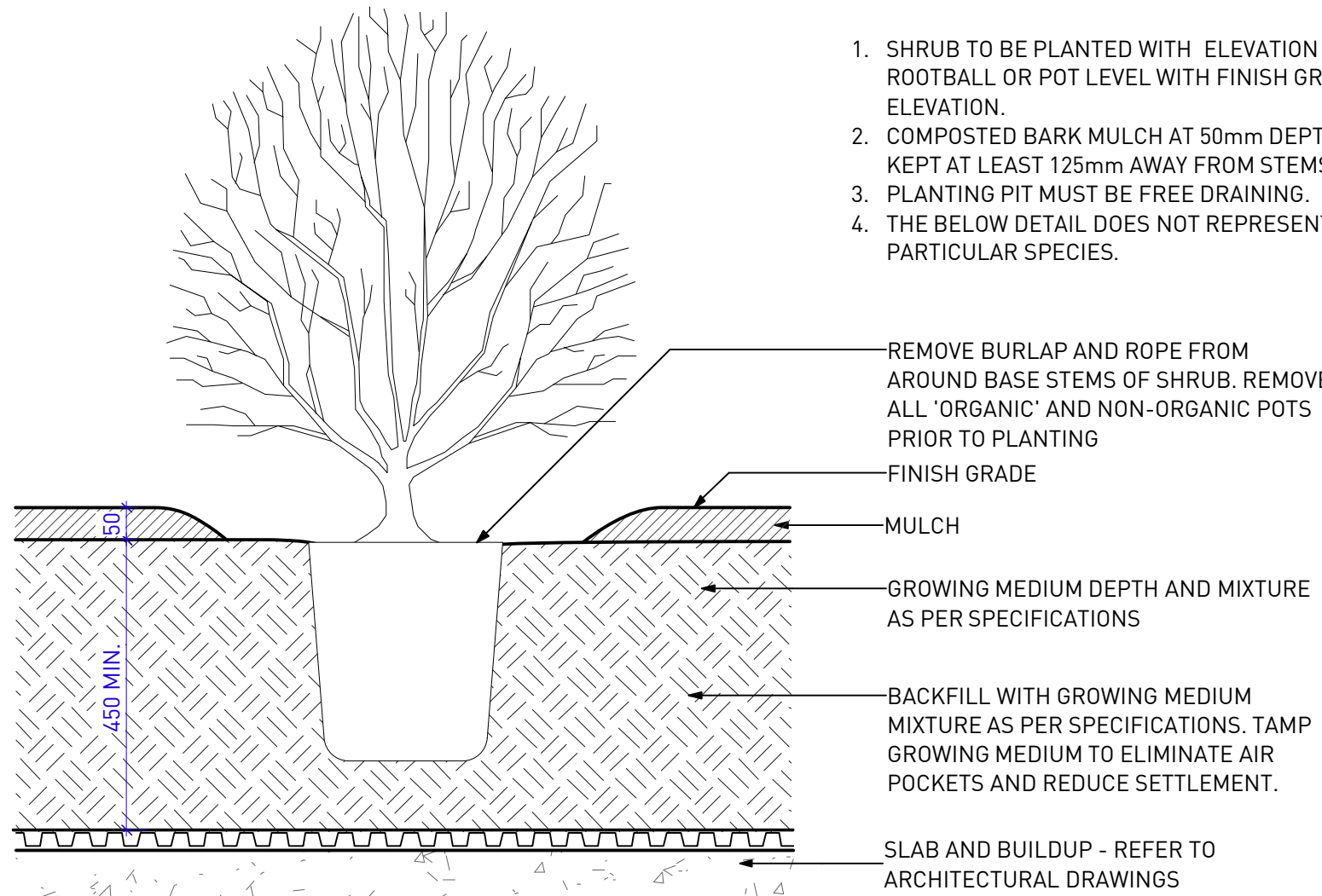


1 GROUNDCOVER PLANTING ON SLAB

Scale: 1:10

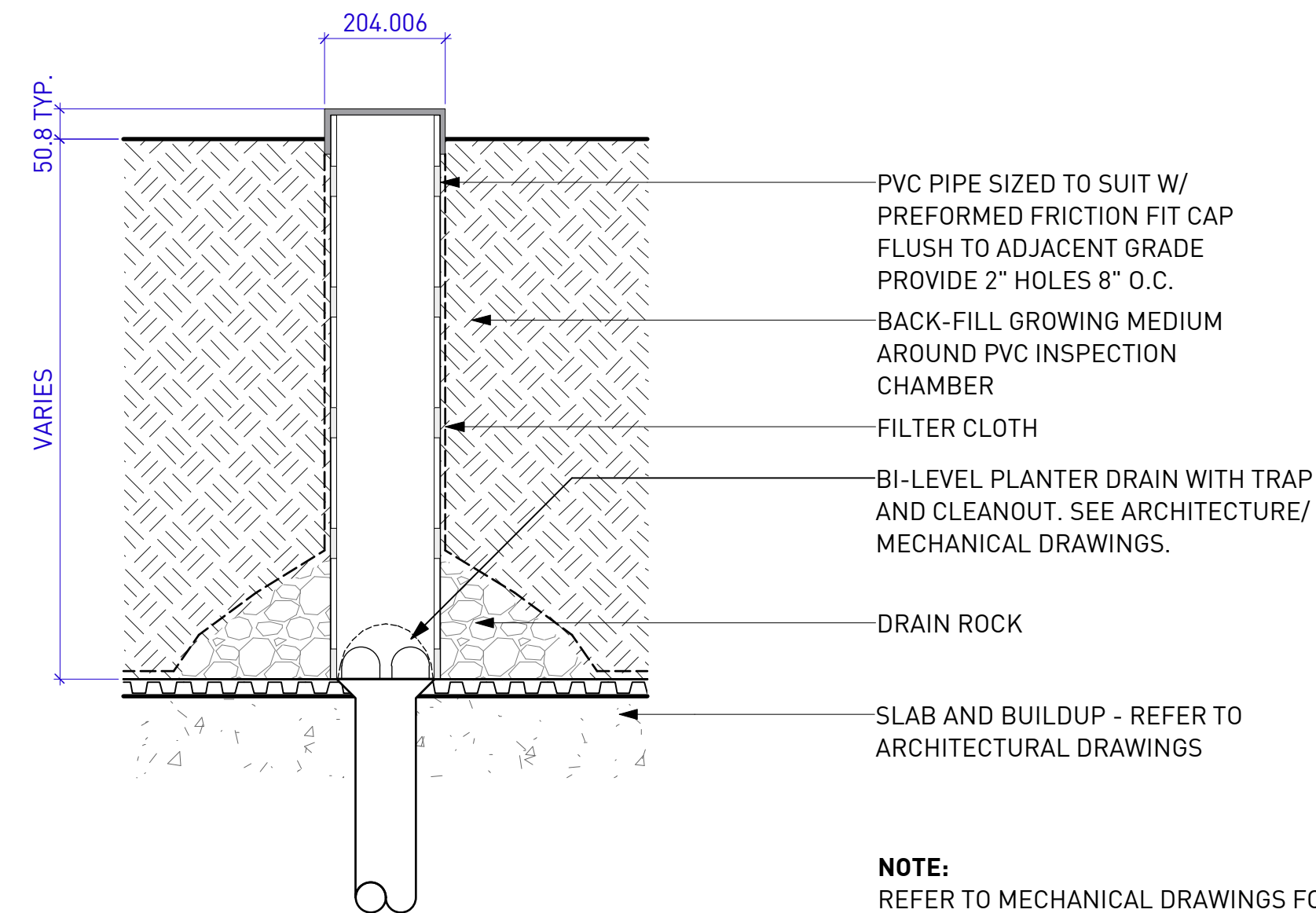
NOTES:

1. SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE ELEVATION.
2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 125mm AWAY FROM STEMS OF SHRUB.
3. PLANTING PIT MUST BE FREE DRAINING.
4. THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.



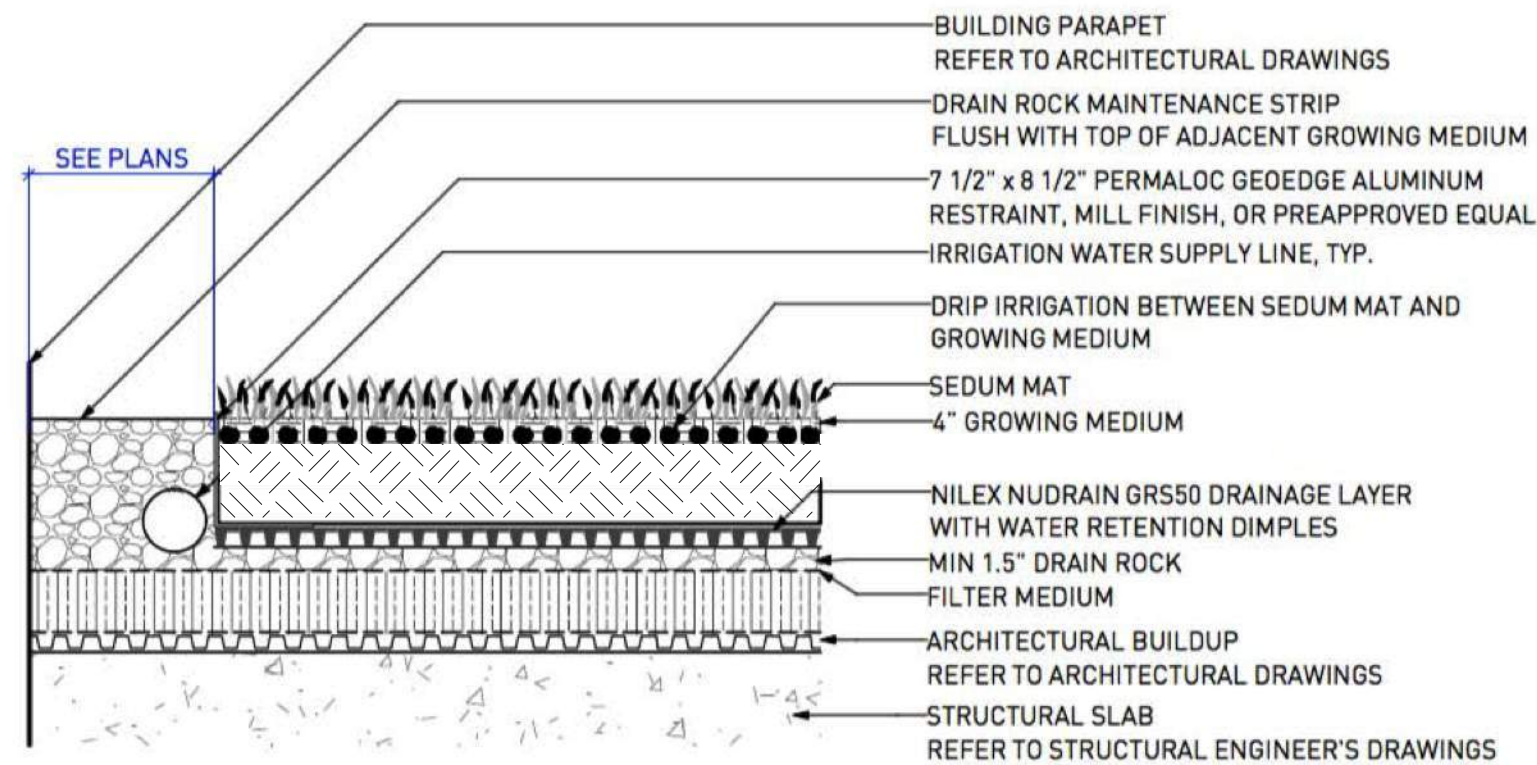
2 SHRUB PLANTING ON SLAB

Scale: 1:10



3 PLANTER DRAIN

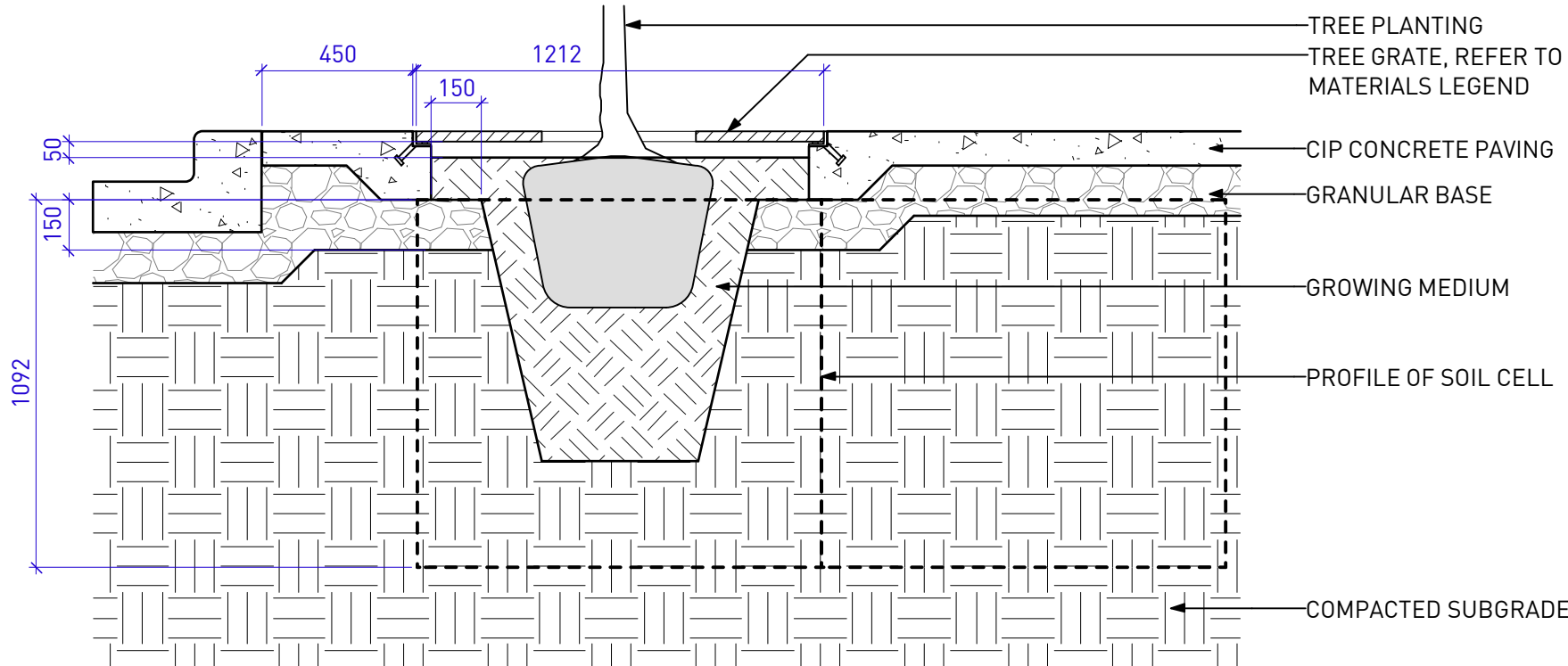
Scale: 1:10



NOTE: GREEN ROOF PROVIDED WITH PERMANENT IRRIGATION SYSTEM

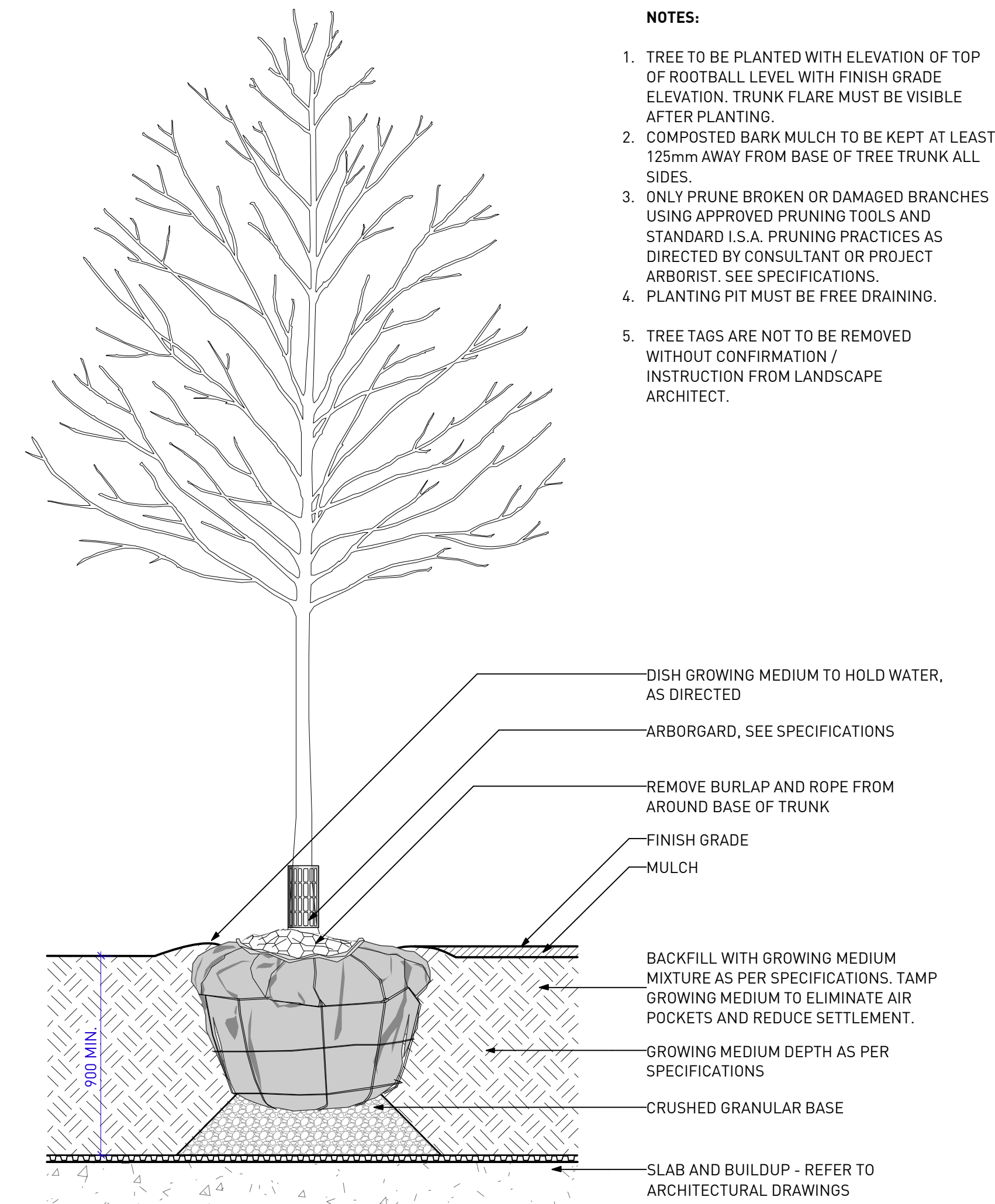
4 GREEN ROOF SEDUM MAT

Scale: 1:10



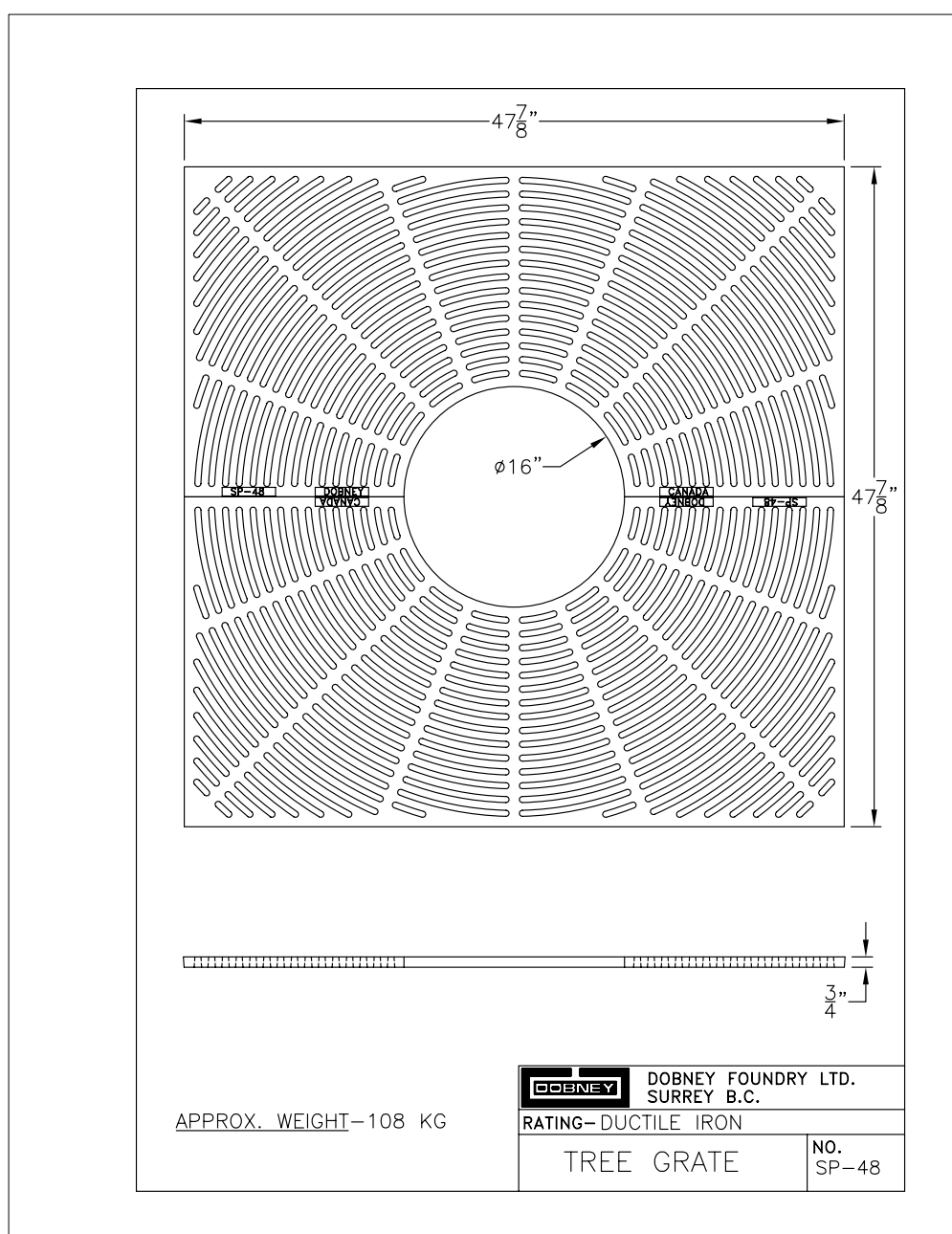
5 CITY OF VICTORIA STREETSCAPE TREE PIT WITH TREE GRATE

Scale: 1:20



NOTES:

1. TREE TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL LEVEL WITH FINISH GRADE ELEVATION. TRUNK FLARE MUST BE VISIBLE AFTER PLANTING.
2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 125mm AWAY FROM BASE OF TREE TRUNK ALL SIDES.
3. ONLY PRUNE BROKEN OR DAMAGED BRANCHES USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES AS DIRECTED BY CONSULTANT OR PROJECT ARBORIST. SEE SPECIFICATIONS.
4. PLANTING PIT MUST BE FREE DRAINING.
5. TREE TAGS ARE NOT TO BE REMOVED WITHOUT CONFIRMATION / INSTRUCTION FROM LANDSCAPE ARCHITECT.



6 TREE GRATE

Scale: 1:10



CHARACTER IMAGE

7 LEGACY ROUND LOW BOWL

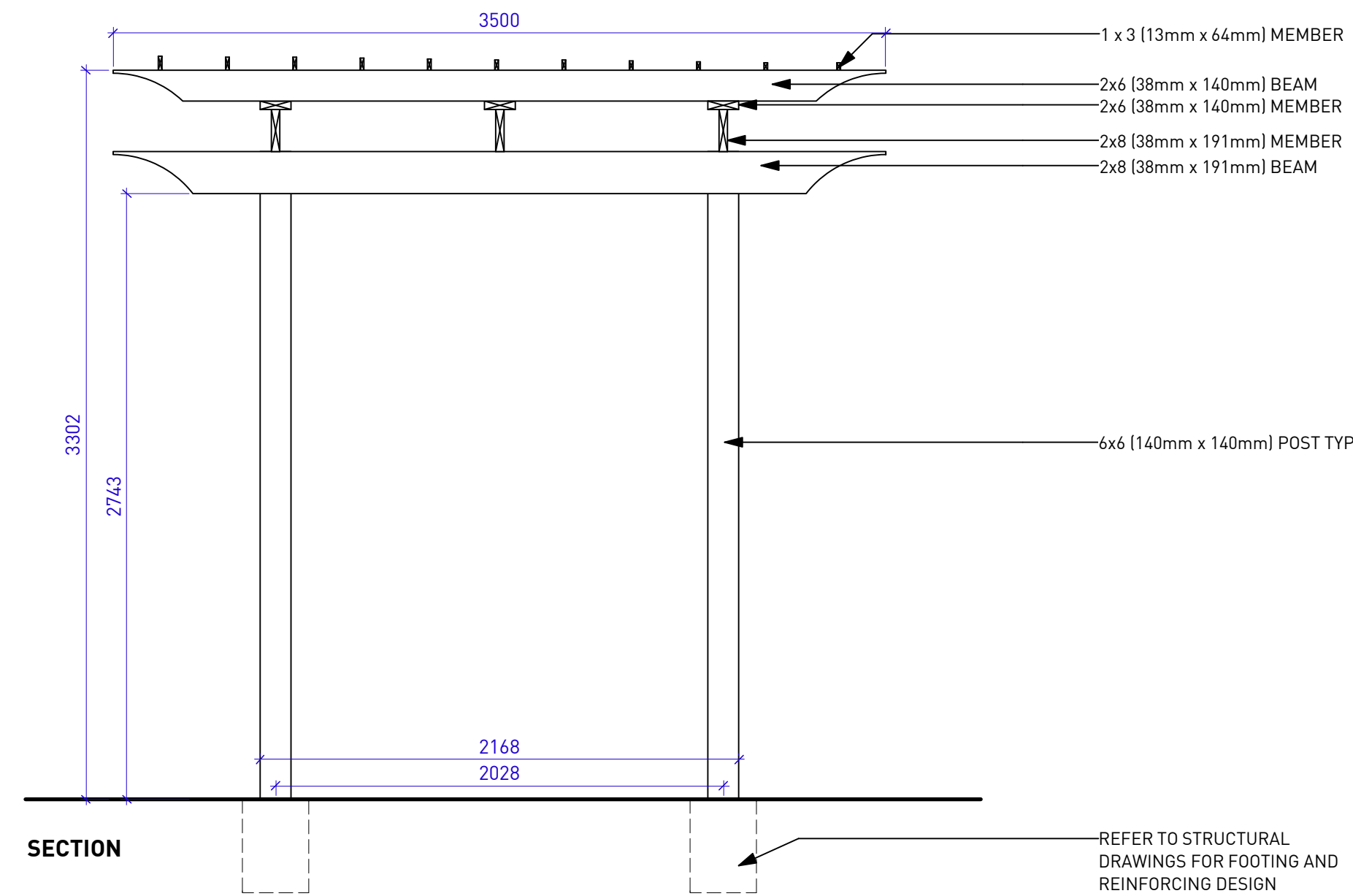
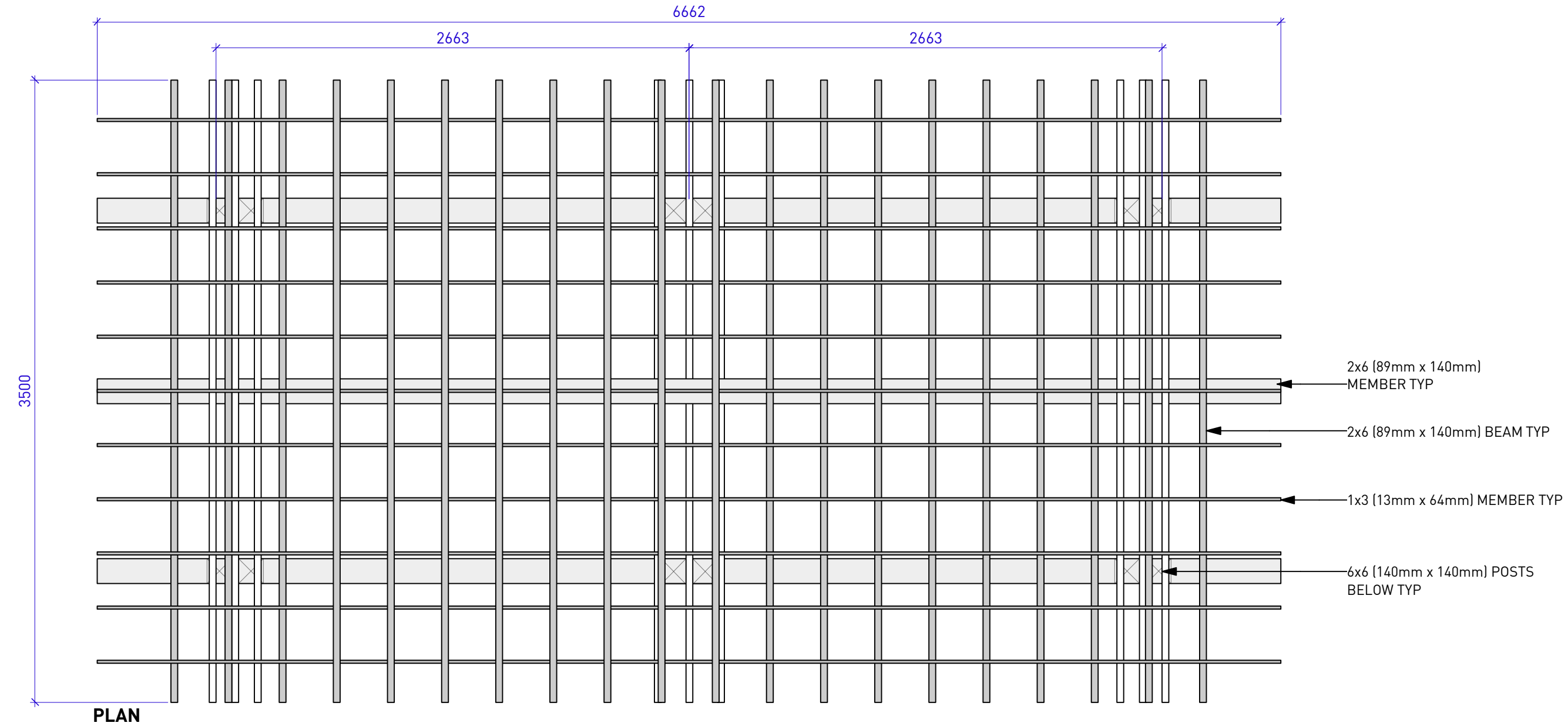
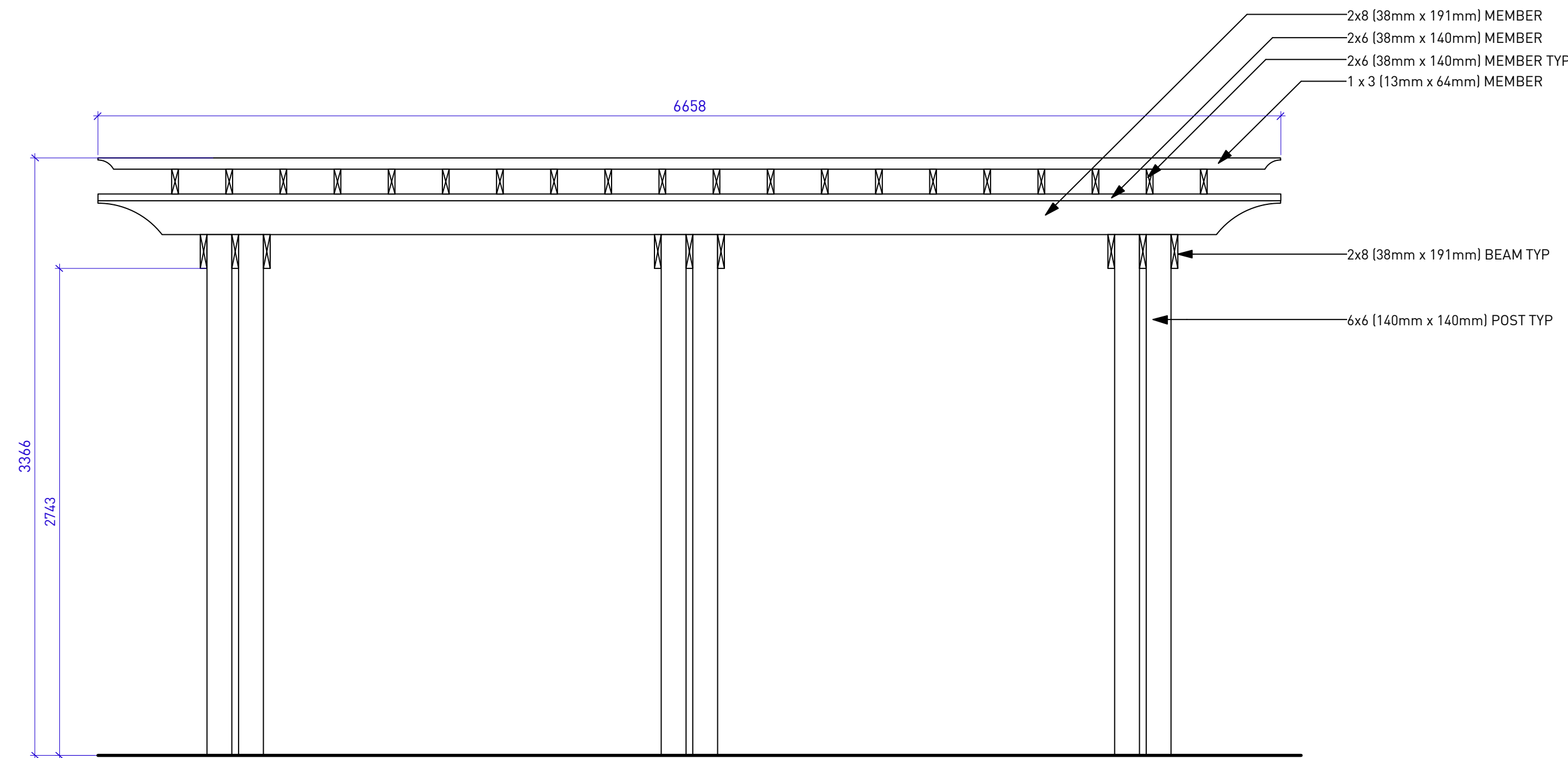
Scale: 1:10

8 TREE PLANTING ON SLAB

Scale: 1:20

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7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29





NOTE: TRELLIS DIMENSIONS VARY DEPENDING ON LOCATION.

TIMBER TRELLIS NOTES:

- ALL TIMBER MEMBERS TO BE S4S CLEAR CEDAR
- ALL TIMBER MEMBERS TO BE PAINTED WHITE
- ALL FASTENERS TO BE GALVANIZED

1 CENTRAL COURTYARD TRELLIS STRUCTURE  
Scale: 1:25



5TH FLOOR, 1201 WEST PENDER STREET  
VANCOUVER, BC V6E 2V2  
604-684-6111

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PROJECT NO. 16053

PROJECT  
PARC VICTORIA  
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE  
DETAILS

SEAL

DRAWING NO.	REVISION

L4.03

DATE	DRAWN
11 APRIL 2018	ER
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8	REISSUED FOR DP	2019/05/29

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PROJECT NO. 16053

PROJECT  
**PARC VICTORIA**  
Mixed Use Seniors Residential &  
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DRAWING TITLE

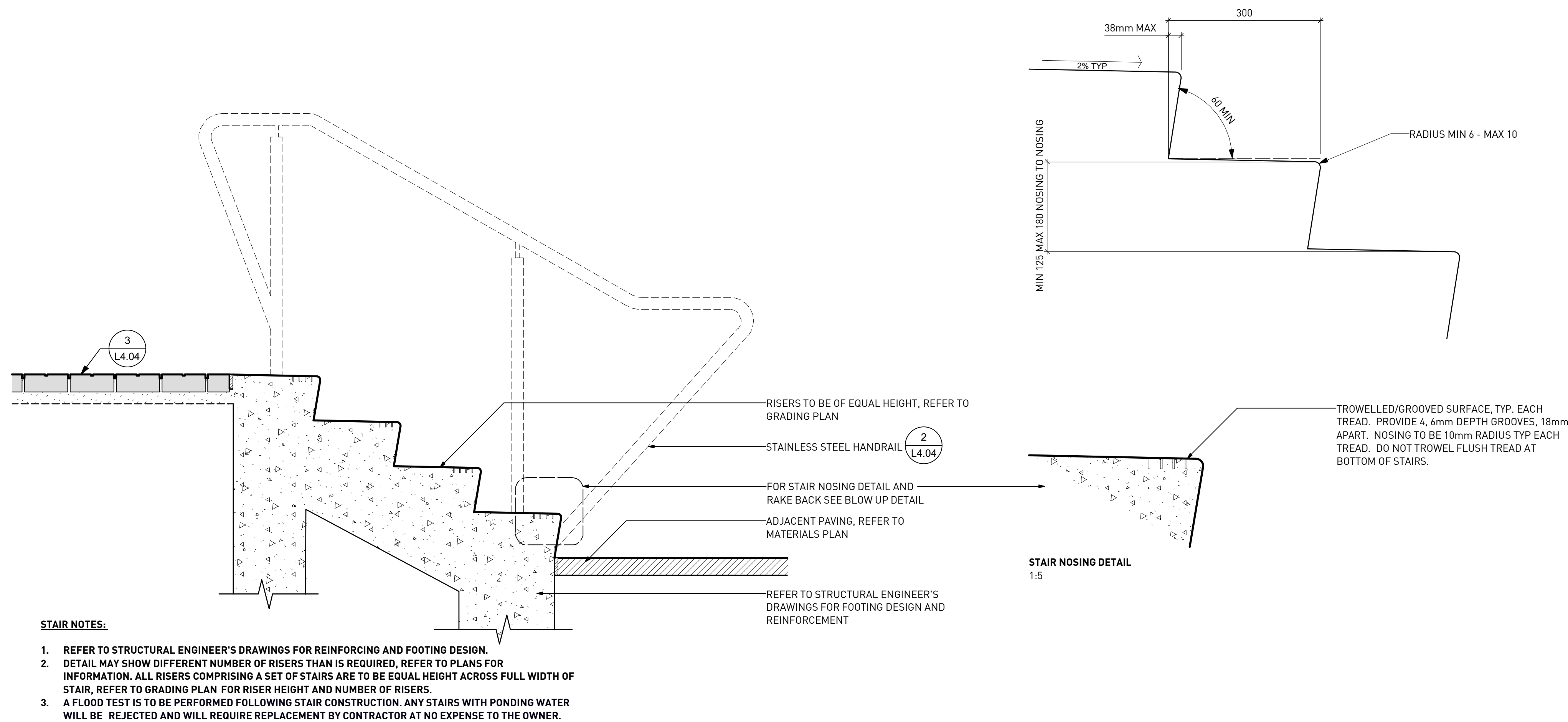
**DETAILS**

SEAL

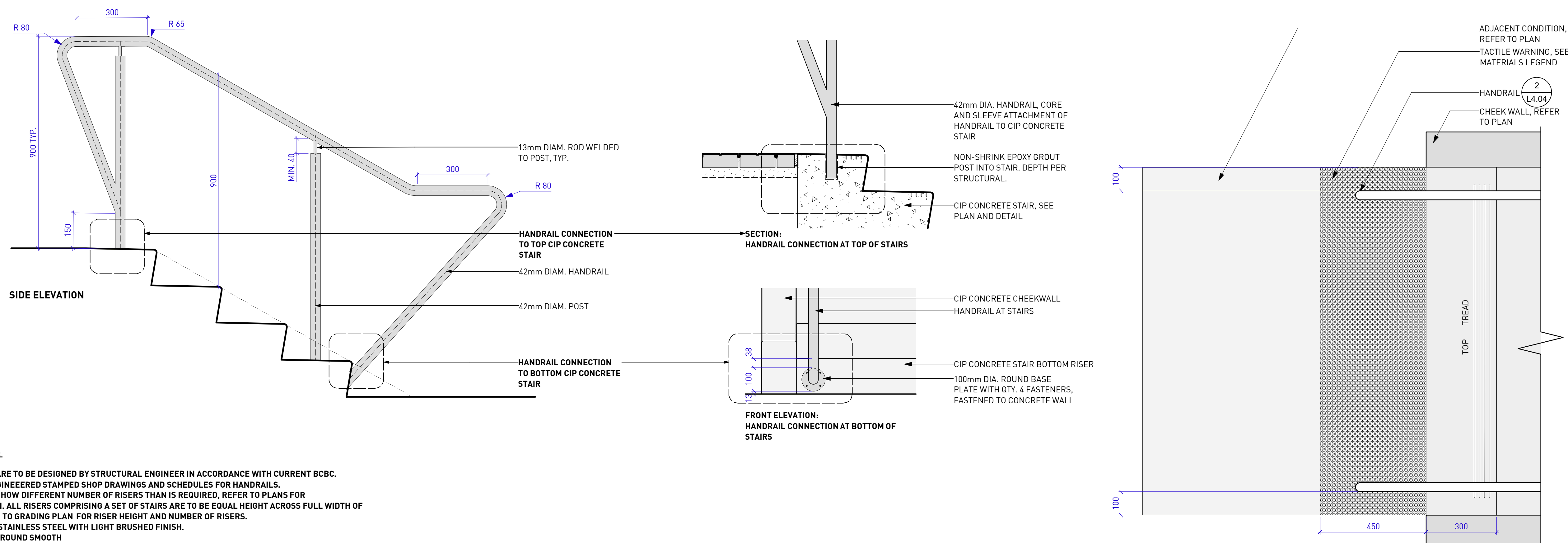
DRAWING NO. REVISION

**L4.04**

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1 CIP CONCRETE STAIR  
Scale: 1:10

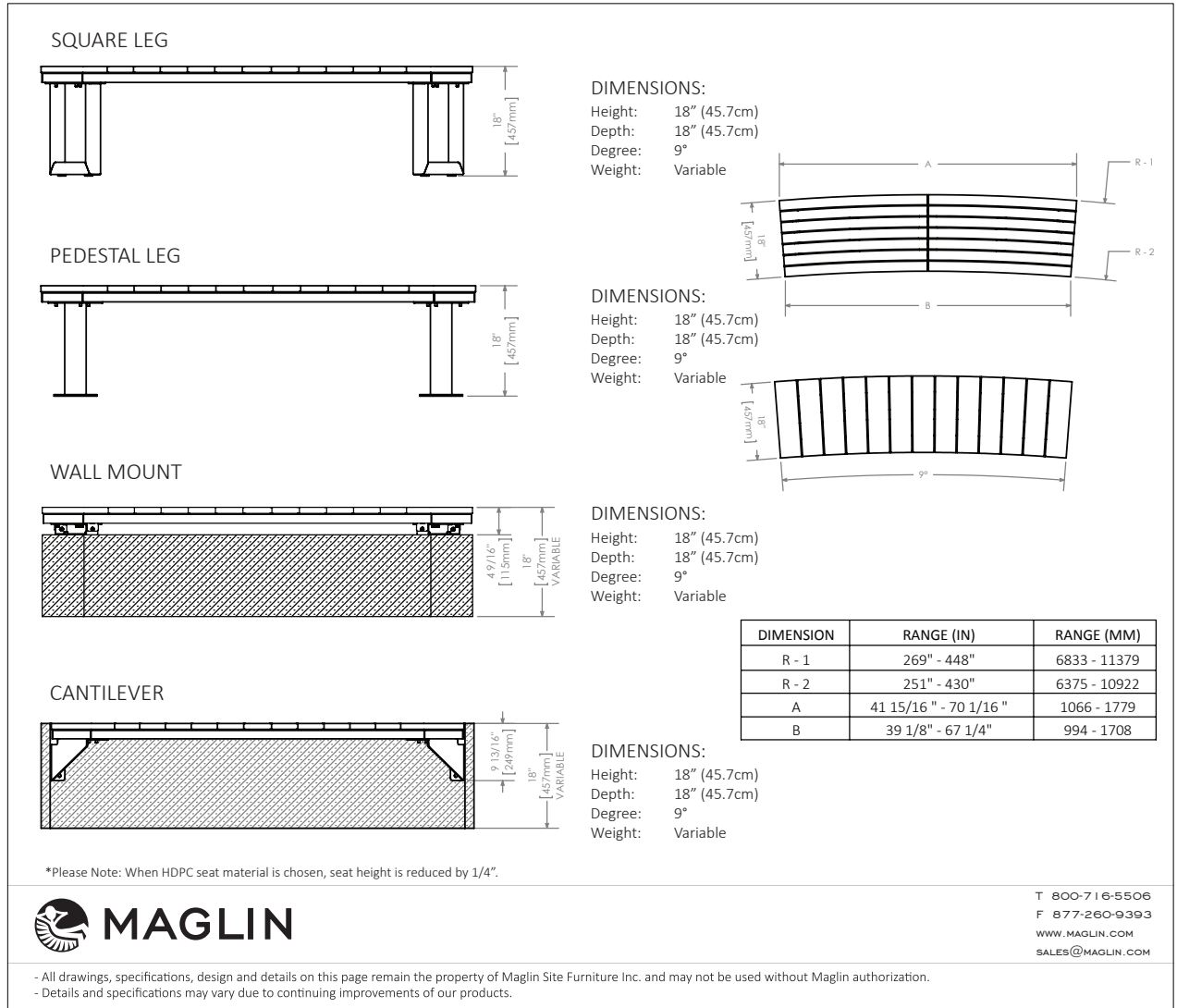
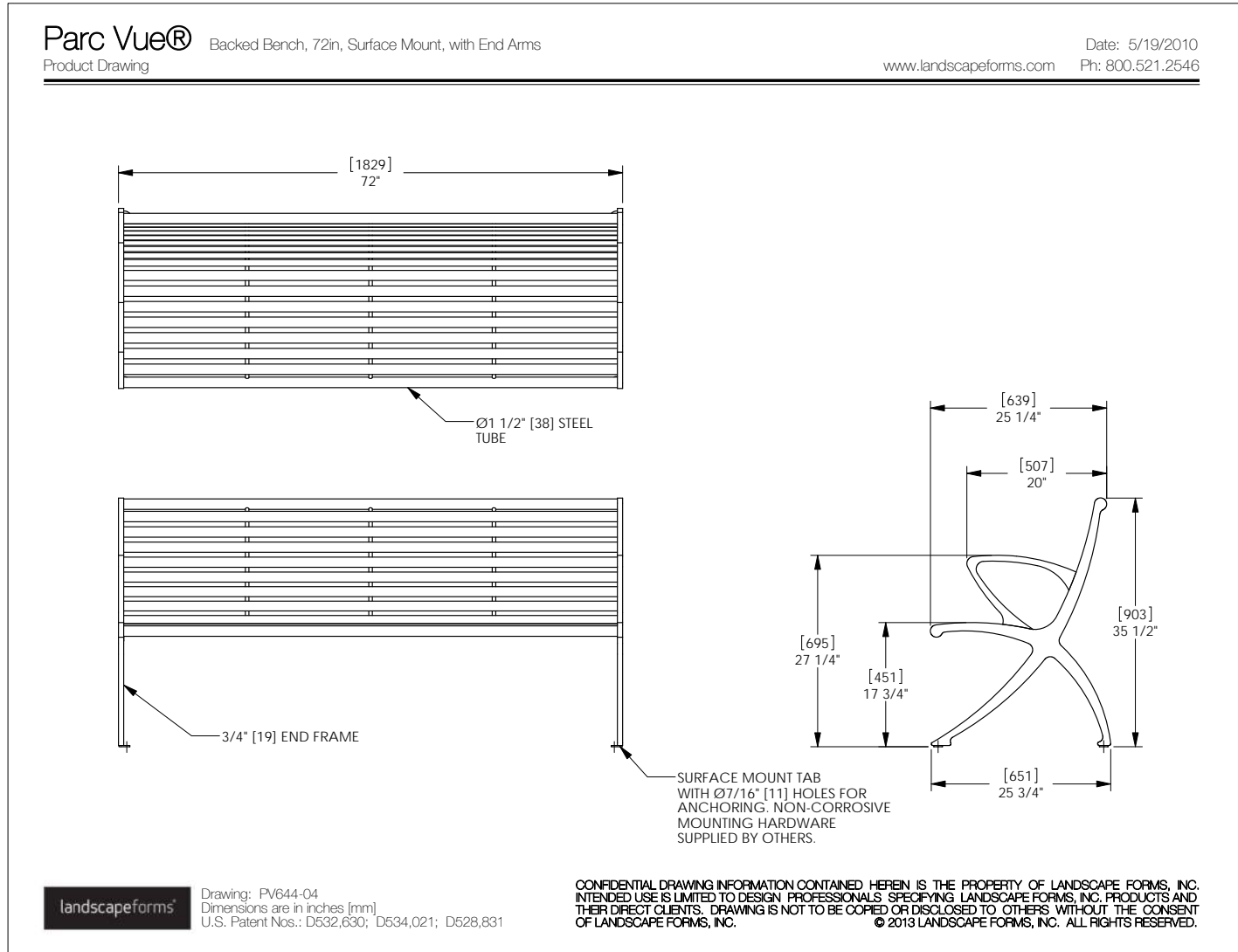


- HANDRAIL NOTES:**
- HANDRAILS ARE TO BE DESIGNED BY STRUCTURAL ENGINEER IN ACCORDANCE WITH CURRENT CBC.
  - PROVIDE ENGINEERED STAMPED SHOP DRAWINGS AND SCHEDULES FOR HANDRAILS.
  - DETAIL MAY SHOW DIFFERENT NUMBER OF RISERS THAN IS REQUIRED, REFER TO PLANS FOR INFORMATION. ALL RISERS COMPRISING A SET OF STAIRS ARE TO BE EQUAL HEIGHT ACROSS FULL WIDTH OF STAIR, REFER TO GRADING PLAN FOR RISER HEIGHT AND NUMBER OF RISERS.
  - ALL METALS STAINLESS STEEL WITH LIGHT BRUSHED FINISH.
  - ALL WELDS GROUND SMOOTH

2 HANDRAIL AT STAIRS  
Scale: 1:10

3 TACTILE WARNING  
Scale: 1:10





## RANGE 8

\*Shown with Ipe wood

MATERIALS: The seat pan is constructed from steel. The seat employs 1" thick Ipe wood, Recycled Plastic (HDPE), or 3/4" thick High Density Paper Composite (HDPC) slats.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The seat sections come preassembled with boards. Chosen mount option come as a separate component. Reference: INSTALL\_OGDEN.pdf for onsite assembly and installation instructions.

TO SPECIFY: Please contact your Maglin Site Furniture Representative.

PWL partnership

5TH FLOOR, 1201 WEST PENDER STREET  
VANCOUVER, BC V6E 2V2  
604-684-6111

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8	REISSUED FOR DP	2019/05/29

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## 1 BACKED BENCH WITH ARMS

NTS



CHARACTER IMAGE

## 3 PREFABRICATED METAL PLANTER

Scale: 1:10



CHARACTER IMAGE

## 6 HARVEST TABLE

Scale: 1:10



CHARACTER IMAGE

## 4 ROUND PLANTER POT

Scale: 1:10



## 7 BIKE RACK PER CITY OF VICTORIA STREETScape GUIDELINES

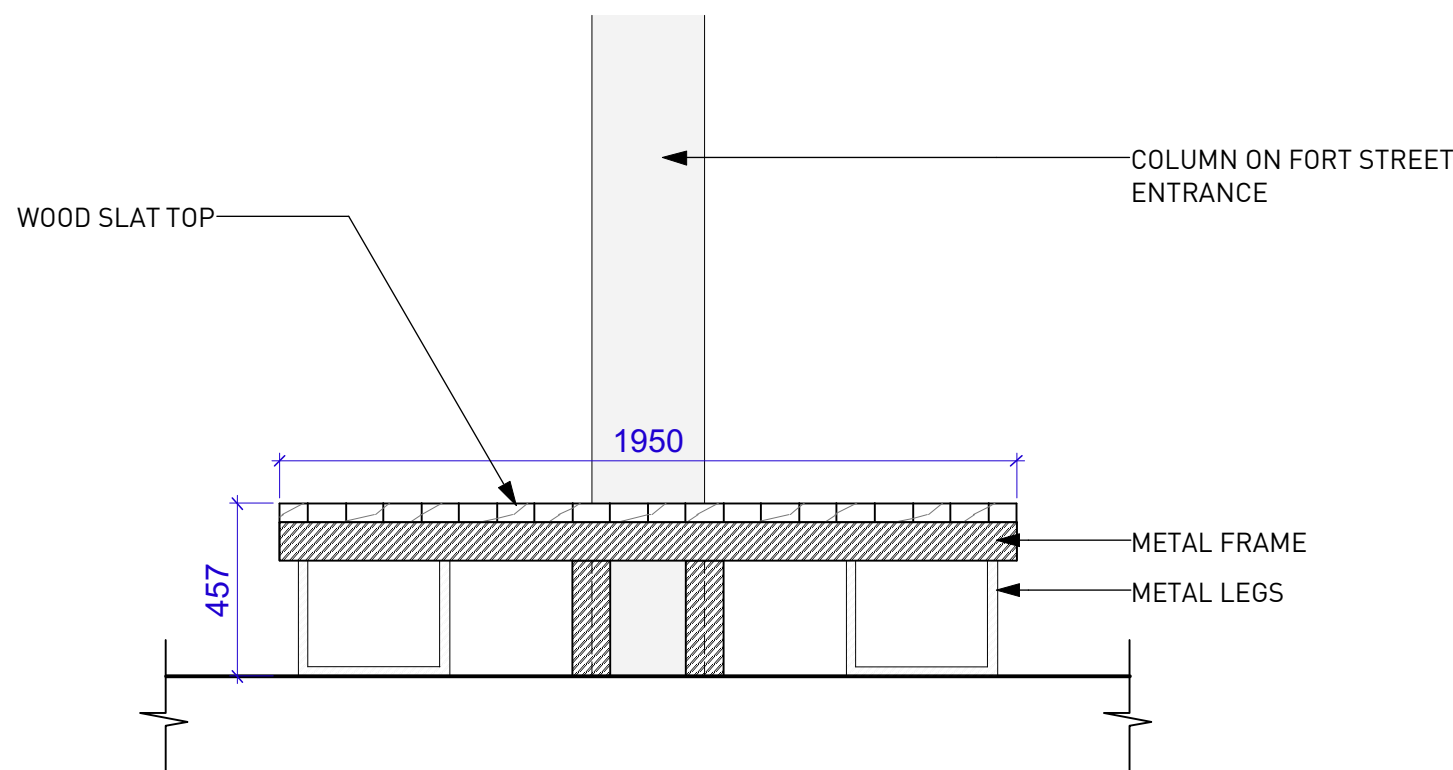
Scale: 1:10



CHARACTER IMAGE

## 5 TABLE & CHAIRS

Scale: 1:10



## 8 ELEVATION OF CUSTOM BENCH ON FORT STREET GROUND LEVEL ENTRANCE

Scale: 1:20

DRAWING NO.

REVISION

L4.05

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1:200	BH