## Mixed Use Seniors Residential & Commercial Development 829-899 Fort Street & 846-856 Broughton Street, Victoria, B.C. parc retirement PACIFIC ARBOUR SIX RESIDENCES LTD living



ABBREVIATIONS LEGENI	)
	-

ABBR	EVIATIONS LEG	END					PROJECT / CONSULTAN	ГТЕАМ					
A.F.F. A.B. ALUM.	ABOVE FINISHED FLOOR AIR BARRIER ALUMINIUM	N/A N.I.C.	METAL NOT APPLICABLE NOT IN CONTRACT	ENCL. EQ. EXT.	ENCLOSURE EQUAL EXTERIOR	SMSQUARE METERSS.S.STAINLESS STEELSTR.STAIR	ARCHITECT	LAND SURVEYOR	LANDSCAPE ARCHITECT	COMMUNITY ENGAGEMENT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER
B/S BD. B.O.S. B.O.W. BLDG. C B	BASEMENT BOARD BOTTOM OF SLAB BOTTOM OF WALL BUILDING CATCH BASIN	N.T.S.           O.C.           OPG.           P-&-S           PLYWD.           PREFIN.	NOT TO SCALE ON CENTRE OPENING PEEL & STICK PLYWOOD PRE-FINISHED	F.D.           FDN           FIN.           FLR.           FTG.           GA	FLOOR DRAIN FOUNDATION FINISH FLOOR FOOTING GAUGE	STD.STANDARDT.O.TOP OFT.O.C.TOP OF CURBT.O.F.TOP OF FLOORT.O.P.TOP OF PARAPETT.O.W.TOP OF WALL	BESHARAT FRIARS ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC	BRAD CUNNIN LAND SURVEYOR #101-2610 DOUGLAS ST. VICTORIA, BC	PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. 500-1201 WEST PENDER ST. VANCOUVER, BC	MARZOLF & ASSOCIATES STRATEGIC COMMUNICATIONS ULC 2697 YORK AVE. VANCOUVER, BC	RJC ENGINEERS 300-1285 WEST BROADWAY VANCOUVER, BC TEL: 604.738.0048	AME GROUP 721 JOHNSON ST. VICTORIA, BC TEL: 604.685.9381	AES ENGINEERING #300 - 1815 BLANSHARD ST. VICTORIA, BC TEL: 250.381.6121
C.I.P. CLKG. CLG.	CAST-IN-PLACE CAULKING CEILING	P.T. P.T. P/L R.	PRESSURE TREATED PROPERTY LINE RADIUS	GL. GR. GWB	GLASS GRADE GYPSUM WALLBOARD	T     TREAD       TYP.     TYPICAL       U/G     UNDERGROUND	TEL: 604.662.8544	TEL: 250.381.2257	TEL: 604.688.6111	TEL: 604.742.3211			
C/L C/W CONC.	CENTRE LINE COMPLETE WITH CONCRETE	R R.W.L. REQ'D	RISER RAIN WATER LEADER REQUIRED	H/C HT. HORIZ.	HANDICAPPED HEIGHT HORIZONTAL	U/S     UNDERSIDE       UNO     UNLESS NOTED OTHERWISE       U/F     UPPER FLOOR	GEOTECHNICAL ENGINEER	CODE CONSULTANT	TRAFFIC CONSULTANT	CIVIL ENGINEER	WIND CONSULTANT	ENVIRONMENTAL ENGINEER	LEED CONSULTANT
CONT. CJ CORR. DIA.	CONTINUOUS CONTROL JOINT CORRIDOR DIAMETER	REV           R & S           RM.           R.D.	REVISION ROD & SHELF ROOM ROOF DRAIN	H.B. HR. HWH LIN.	HOSE BIB HOUR HOT WATER HEATER LINEN	V.B.VAPOUR BARRIERVERT.VERTICALW.C.WATER CLOSET [TOILET]W/DWASHER/ DRYER	RYZUK GEOTECHNICAL 28 CREASE AVE. VICTORIA, BC	LMDG BUILDING CODE CONSULTANTS LTD. 4th FLOOR - 780 BEATTY ST.	BUNT & ASSOCIATES #421 - 645 FORT ST. VICTORIA, BC	J.E ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE VICTORIA, BC	ROWAN WILLIAMS DAVIES & IRWIN 650 WOODLAWN ROAD WEST GUELPH, ON	ACTIVE EARTH ENGINEERING LTD. #160-2250 BOUNDARY ROAD BURNABY, BC	MORRISON HERSHFIELD #310-4321 STILL CREEK DRIVE BURNABY, BC
DN DWGS DW ELECT. ELEV	DOWN DRAWINGS DISHWASHER ELECTRICAL ELEVATION	STL. STRUCT. SPEC SF	ROUGH OPENING STEEL STRUCTURAL SPECIFICATION SQUARE FEET	MAX. MECH. MEZZ. MIN. MISC.	MAXIMUM MECHANICAL MEZZANINE MINIMUM MISCELLANEOUS	WD.WOODW.I.C.WALK-IN CLOSETW/WITHW.P.WATERPROOFWRWASHROOM	TEL: 250.475.3131	VANCOUVER, BC TEL: 604.682.7146	TEL: 604.685.9381	TEL: 250.727.2214	TEL: 519.823.1311	TEL: 778.866.0064	TEL: 604.454.0402

# **OFO** studio architects

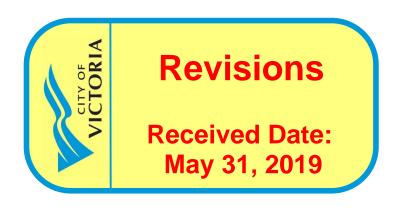
CO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

#### (Formerly **BESHARAT FRIARS** ARCHITECTS)

600 - 355 Burrard Street	Т	604 662 8544
Vancouver, BC V6C 2G8	F	604 662 4060
www.bfastudioarchitects.com		

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**RE-ISSUED FOR RE-ZONING & DF** 29 MAY 2019



FORT (NORTH) STREETSCAPE PARTIAL SECTION QUADRA (EAST) STREETSCAPE PARTIAL SECTION QUADRA (EAST) STREETSCAPE PARTIAL SECTION QUADRA (EAST) STREETSCAPE PARTIAL SECTION BROUGHTON (SOUTH) STREETSCAPE PARTIAL SECTION BROUGHTON (SOUTH) STREETSCAPE PARTIAL SECTION
GUILDING SECTION A GUILDING SECTION B NTERNAL SOUTH ELEVATION GUILDING SECTION C NTERNAL NORTH ELEVATION GUILDING SECTION D GUILDING SECTION E / NTERNAL WEST ELEVATION / VEST ELEVATION GUILDING SECTION F / NTERNAL EAST ELEVATION GUILDING SECTION G GUILDING SECTION H / NTERNAL WEST ELEVATION GUILDING SECTION J GUILDING SECTION J GUILDING SECTION J
VEL 1 AREA OVERLAY ECHANICAL LEVEL AREA OVERLAY VEL 2 AREA OVERLAY VEL 3 AREA OVERLAY VEL 4 AREA OVERLAY VEL 5 AREA OVERLAY VEL 6 AREA OVERLAY VEL 7 AREA OVERLAY VEL 8 AREA OVERLAY VEL 9 AREA OVERLAY VEL 9 AREA OVERLAY OOF AREA OVERLAY
SHADOW ANALYSIS SHADOW ANALYSIS EY DRAWING

	SSIFICATION & CONSTRUCTION TS RELATIVE TO OCCUPANCY <sup>(a)</sup>	OTHER REQUIREMENTS <sup>(a)</sup>							
Major Occupancies:	Group A, Div. 2; Group B, Div. 3; Group C; Group D; Group E; Group F, Div. 3	Travel Distance: Exit Stair Rating:	45 m maximum 2-hour						
Applicable Articles:	<ul><li>3.2.2.23. Group A, Division 2: Any</li><li>Height Any Area, Sprinklered</li><li>3.2.2.42. Group B, Division 3: Any</li><li>Height, Any Area, Sprinklered</li></ul>	Service Room Rating: (electrical/ mechanical)	1.5-hour <sup>(b)</sup> for rooms located in the storage garage, otherwise 1-hour <sup>(b)(c)</sup>						
	3.2.2.47. Group C: Any Height, Any	Fire Alarm:	Single- or two-stage <sup>(d)</sup>						
	Area, Sprinklered 3.2.2.54. Group D: Any Height, Any	Standpipe System:	Required						
	Area, Sprinklered	Emergency	Required in all exits/ access-						
	3.2.2.62. Group E: Any Height Any	Power:	to exits (2-hours)						
	Area, Sprinklered 3.2.2.78. Group F, Division 3: Any	Emergency Lighting:	Required						
	Height Any Area, Sprinklered	Exit Signs:	Required						
No. of Buildings:	2	Panic hardware:	Required						
Building Height: No. of Streets:	10 storeys 3	Access for Disabled:	Required						
Sprinklers:	Required	Major Occupancy	2-hour between Group A-2						
Construction:	Noncombustible required	Separation:	and Group B-3, 1-hour						
Bldg Area:	Approximately 4,650 m <sup>2</sup>		between B-2 and B-3, 1-hour						
Floor Rating:	2-hour fire-resistance rating <sup>(b)</sup>		between Group A-2 and						
Mezzanine Rating:	1-hour fire-resistance rating		Group C, 1 <sup>1</sup> / <sub>2</sub> -hour between storage garage and adjacent						
Roof Rating:	2-hour fire-resistance rating for occupied roof decks	Fire Department	occupancy						
Loadbearing:	Same rating as for supported assembly	Connections:	2 connections required per NFPA 14						
High building requirements:	Applicable								

OTHER REQUIREMENTS <sup>(a)</sup>	OTHER	REQU	<b>JIREN</b>	<b>IEN</b>	TS <sup>(a)</sup>
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#### **Project Information Table**

- Zone (Existing)
- Proposed Zone
- Proposed Uses
- Site Area
- Total Floor Area (m2)
- Retail Floor Area (m2)
- Office Floor Area
- Childcare Area
- Residential Floor Area (m2)
- Residential Floor Area (m2)
- Floor Space Ratio
- Site Coverage (%)
- Open Site Space (%)
- Height of Building (m)
- Number of Storeys
- Parking Stalls (Number on site)
  - o Commercial, Offices, Daycare, Visitors
  - o Residential
- Bicycle Parking Number (Class 1 and Class 2)
- Building Setbacks
  - o Fort Street
  - o Quadra Street
  - o Broughton Street
- Total Number of Rental Units: 266
- Seniors Independent Rental Unit Mix
  - o Studio
  - o 1 Bedroom
  - o 1 Bedroom + Flex
  - o 2 Bedroom
  - o 2 Bedroom + Flex
  - o 3 Bedroom

CA-2, CHP-OB, CHP-CR Site Specific – TBD Street Front Retail, Seniors Residential, Independent rental units and amenities, Medical offices, Music Wellness room and Licensed Childcare. 5,164 m2 27,111 m2 900 m2 304 m2 345 m2 17,223 m2 (Excluding Amenities, circulation, core etc.) 20,706 m2 (Including Amenities, excluding circulation, core etc.) 5.25 88.8% 49% 31.62m to top of roof parapet 33.77m to top of mechanical enclosure 1,6,7 & 10 (Level 11 is rooftop mechanical / service rooms only)

93 (Including Seniors on site shuttle)

60+26=86 stalls including end of trip bicycle facilities for PARC staff, retail and offices. In addition, 24 scooter stalls are provided for seniors.

Varies 0.00 m to 3.79 m Varies 1.73 m (1.73 m SRW requested by Victoria transportation engineering) to 11.03 m 1.65 m to 12.25 m

92

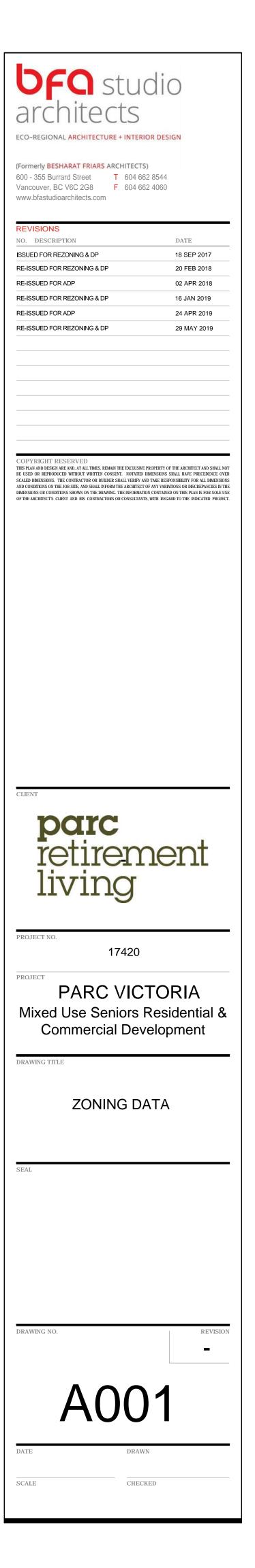
15 units (5.6%) 118 units (44.0%) 48 units (17.9 %) 79 units (29.5%) 6 units (2.2%) 2 units (0.7%)

<b>DFO</b> stuc architects	oio
architects	
ECO-REGIONAL ARCHITECTURE + INTERIO	R DESIGN
(Formerly BESHARAT FRIARS ARCHITECTS)600 - 355 Burrard StreetT604 662Vancouver, BC V6C 2G8F604 662www.bfastudioarchitects.comF	
REVISIONS	DATE
ISSUED FOR REZONING & DP	18 SEP 2017 20 FEB 2018
RE-ISSUED FOR ADP	02 APR 2018
RE-ISSUED FOR REZONING & DP	16 JAN 2019 24 APR 2019
RE-ISSUED FOR REZONING & DP	29 MAY 2019
COPYRIGHT RESERVED THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PRO BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. NOTATED DAM SCALED DAMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND T AND CONTRACTOR OF THE LOCATE AND CALL WE RECOVER THE ADDRESS OF THE ADDRESS AND ADD	ENSIONS SHALL HAVE PRECEDENCE OVER AKE RESPONSIBILITY FOR ALL DIMENSIONS
AND CONDITIONS ON THE JOB SITE, AND SHALL INFORM THE ARCHITECT OF A DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION ( OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS, W	CONTAINED ON THIS PLAN IS FOR SOLE USE
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PROJECT DESCRIPTION / USE	10 STOREY MIXE		IG, INCLUDING	g comme	RCIAL RETAIL POD	IUM, OFFIC	es, childcaf	RE, SENIORS IND	EPENDENT I			
	UNDERGROUND PARKING											
LEGAL DESCRIPTION	9 LOTS - PCL "B"	OF LOT 275 P	ID 009-366-55	5; PCL "A'	' (DD 46838-I) OF	LOT 275 PI	008-426-16	53; LOT 274 PID	008-426-03			
	740; LOT A PLAN	16155 PID 00	4-005-902; TH	IE S'LY 50'	OF LOT 270 PID	000-436-92	5; LOT B PLA	N 45314 PID 00	7-890-711;			
CIVIC ADDRESS PRESENT	829/831,835,841	/847,849,893	/895/899 FOI	RT STREET	& 846 BROUGHT	ON STREET						
CIVIC ADDRESS FUTURE	FORT BUILDING,	FORT BRIDGE	BUILDING, FC	RT-QUAD	RA BUILDING, QU	ADRA BRIDO	GE BUILDING	& BROUGHTON	N BUILDING			
TOTAL LOT AREA	55,588	SF	5,164.3	SM								
LOT SIZE (APPROXIMATE FRONTAGE)			FT	М								
	NORTH / FORT		304.7	92.9								
	EAST / QUADRA		232.0	70.7								
	SOUTH / BROUG	HTON	180.3	54.9								
	WEST		120.3	36.7								
OCP / AREA DESIGN GUIDELINES	2012 OFFICIAL CO	OMMUNITY PL	AN/OCP DESI	GNATION ·	- 2013 DOWNTOV	VN CORE AR	REA PLAN/DC/	AP & CATHEDRA	L HILL PREC			
ZONING - PRESENT	FORT STREET: CA-	2 DEVELOPM	ENT AREA/DPA	7B(HC)								
	BROUGHTON ST				T PLAN ARFA/DP	A 14: CATHE		RECINCT				
PROPOSED NUMBER OF RESIDENTIAL RENTAL UNITS	268											
			<i>v</i>									
ZONING - FUTURE	PROPOSED SITE S	SPECIFIC / TBD										
	REQ	UIRED / ALLO	WED / DCAP			PROF	POSED					
		Ī		CM			C	CM				
	EAD	F 00	SF	SM	EAD	E 05	SF	SM				
DENSITY / FSR / GFA	FAR	5.00	277,940	25821	FAR	5.25	291,823	27111				
SITE COVERAGE						88.8%	49,356	4,585	EXCLUDIN			
OPEN SITE SPACE							<b>E E 40</b>	<b>540</b>				
STREET LEVEL FROM PROPERTY LINE TO BUILDING FACE/LEVEL 1			-				5,548	513				
LEVEL 2							8,413	777				
LEVEL 3							6,343	586				
LEVEL 8					-	1001	6,857	634				
TOTAI			22.0		110.00	49%	27,161	2,510				
HEIGHT BUILDING	98.4	FT	30.0	М	110.83	FT	33.77	M	FROM AVE			
	10				103.75	FT	31.62	M	FROM AVE			
NUMBER OF STOREY	10				11			- N	LEVEL 11 IS			
SETBACKS	FT	M	FT	М	FT	M	FT	M				
FRONT/NORTH - FORT STREET					0	0.00	12.45	3.79	VARIES FRO			
FRONT/EAST - QUADRA STREET				-	5.67	1.73	36.20	11.03	VARIES FRO			
FRONT/SOUTH - BROUGHTON STREET					5.41	1.65	40.20	12.25	VARIES FRO			
STREET WALL & SETBACKS (DCAP GUIDELINES FOR NARROW SITES <25 M)	CETDACK				CETDACK	IFNCTU	O/					
PRIMARY STREET WAL		LENGTH	HEIGHT		SETBACK	LENGTH	%	HEIGHT				
FRONT/NORTH - FORT STREET	TC Rever Sources and	60% min	10 - 15m		0m	233.15	78.3%	8.88m				
FRONT/EAST - QUADRA STREET		60% min	10 - 15m	2	1.95m	67.41	29.8%	8.88m				
FRONT/SOUTH - BROUGHTON STREET		60% min	10 - 15m		1.65m	119.08	68.6%	25.34-28.59m				
SECONDARY STREET WAL		LENGTH	HEIGHT		SETBACK	LENGTH	%	HEIGHT				
FRONT/NORTH - FORT STREET		30% min	18 - 25m		3.79m	64.67	21.7%	3.29-19.55m				
	3 -6m	30% min	18 - 25m	)	4.24m-11.03m	116.83	51.6%	19.75				
FRONT/EAST - QUADRA STREET			10 25					5.02-19.35m				
FRONT/SOUTH - BROUGHTON STREET	3 -6m	30% min	18 - 25m		6.03-12.25m	47	27.1%					
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK	3 -6m		18 - 25m		6.03-12.25m	47	27.190					
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M	3 -6m		18 - 25m		6.03-12.25m	47	27.190					
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS	3 -6m	30% min	18 - 25m				27.1%					
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M	3 -6m	30% min	18 - 25m		NA	NA	27.1%					
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT	3 -6m	30% min	18 - 25m		NA SF	NA <b>SM</b>	27.190		LEVELS 7 A			
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING	3 -6m NA <b>SF</b> 10,010	30% min NA <b>SM</b> 930	18 - 25m		NA SF 5,886	NA <b>SM</b> 546.8			LEVELS 7 A			
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING	3 -6m NA <b>SF</b> 10,010 10,010	30% min NA SM 930 930	18 - 25m		NA SF 5,886 3,098	NA <b>SM</b> 546.8 287.8			LEVELS 7 A			
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT/QUADRA BUILDING	3 -6m NA SF 10,010 10,010 10,010	30% min NA SM 930 930 930	18 - 25m		NA SF 5,886 3,098 8,435	NA <b>SM</b> 546.8 287.8 783.6			LEVELS 7 A			
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT/QUADRA BUILDING	3 -6m NA SF 10,010 10,010 10,010 10,010	30% min NA SM 930 930 930 930 930	18 - 25m		NA SF 5,886 3,098 8,435 4,668	NA <b>SM</b> 546.8 287.8 783.6 433.7						
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT/QUADRA BUILDING	3 -6m NA SF 10,010 10,010 10,010 10,010	30% min NA SM 930 930 930	18 - 25m		NA SF 5,886 3,098 8,435	NA <b>SM</b> 546.8 287.8 783.6						
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - QUADRA BRIDGE BUILDING RESIDENTIAL - BROUGHTON BUILDING	3 -6m NA SF 10,010 10,010 10,010 10,010 10,010	30% min NA SM 930 930 930 930 930 930	18 - 25m		NA SF 5,886 3,098 8,435 4,668 7,415	NA <b>SM</b> 546.8 287.8 783.6 433.7 688.9						
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FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - BROUGHTON BUILDING BUILDING SEPARATION - DCAP GUIDELINES COMMERCIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINE	3 -6m NA SF 10,010 10,010 10,010 10,010 10,010 10,010 M 0	30% min NA SM 930 930 930 930 930 930 930 930 930 930	18 - 25m		NA SF 5,886 3,098 8,435 4,668 7,415 M 0	NA <b>SM</b> 546.8 287.8 783.6 433.7 688.9 <b>FT</b> 0			REFER TO A			
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FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 M PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - QUADRA BRIDGE BUILDING RESIDENTIAL - QUADRA BRIDGE BUILDING BUILDING SEPARATION - DCAP GUIDELINES COMMERCIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LING RESIDENTIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LING RESIDENTIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LING SENIORS & RESIDENTIAL : P1 COMMERCIAL/OFFICE/CHILDCARE: LEVEL 1 & P1 TOTAL PARKING STALLS LOADING SENIORS & RESIDENTIAL COMMERCIAL COMMERCIAL COMMERCIAL BUICYCLE & SCOOTER PARKING SENIORS & RESIDENTIAL COMMERCIAL COMMERCIAL	3 -6m NA SF 10,010 10,010 10,010 10,010 0 10,010 0 3 3 3 5 3.5 M	30% min NA SM 930 930 930 930 930 930 930 930 930 930	STALLS		NA SF 5,886 3,098 8,435 4,668 7,415 0 0 2.94 NA NA	NA <b>SM</b> 546.8 287.8 783.6 433.7 688.9 <b>FT</b> 0 9.64 1 1			REFER TO I			
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS:1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BELOW 20 N PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT BRIDGE BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - BROUGHTON BUILDING RESIDENTIAL - BROUGHTON BUILDING BUILDING SEPARATION - DCAP GUIDELINES COMMERCIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINI RESIDENTIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINI RESIDENTIAL - EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINI BALCONIES OFF-STREET PARKING SENIORS & RESIDENTIAL : P1 COMMERCIAL OFFICE/CHILDCARE: LEVEL 1 & P1 TOTAL PARKING STALLS LOADING SENIORS & RESIDENTIAL COMMERC	3 -6m NA SF 10,010 10,010 10,010 10,010 0 10,010 0 3 3 3 5 3.5 M	30% min NA SM 930 930 930 930 930 930 930 930 930 930	STALLS		NA SF 5,886 3,098 8,435 4,668 7,415 M 0 2.94	NA <b>SM</b> 546.8 287.8 783.6 433.7 688.9 <b>FT</b> 0 9.64 1 1			REFER TO A			
FRONT/SOUTH - BROUGHTON STREET GENERAL BLDG MASS: 1:5 BLDG SETBACK RATIO ABOVE 15M HEIGHT & 6 M SETBACK ABOVE 25M FLOOR PLATE LIMITATIONS PORTIONS OF BUILDING BETWEEN 20 M/65.6 FT & 30 M/98.4 FT RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT BUILDING RESIDENTIAL - FORT/QUADRA BUILDING RESIDENTIAL - QUADRA BRIDGE BUILDING RESIDENTIAL - QUADRA BRIDGE BUILDING RESIDENTIAL - BROUGHTON BUILDING RESIDENTIAL - BROUGHTON BUILDING RESIDENTIAL - BROUGHTON BUILDING BUILDING SEPARATION - DCAP GUIDELINES COMMERCIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINI RESIDENTIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINI RESIDENTIAL-EXTERIOR WALL FROM SIDE OR REAR PROPERTY LINI BALCONIES OFF-STREET PARKING SENIORS & RESIDENTIAL : P1 COMMERCIAL/OFFICE/CHILDCARE: LEVEL 1 & P1 TOTAL PARKING STALLS BICYCLE & SCOOTER PARKING SENIORS & RESIDENTIAL COMMERCIAL	3 -6m NA SF 10,010 10,010 10,010 10,010 0 10,010 0 3 3 3 5 3.5 M	30% min NA SM 930 930 930 930 930 930 930 930 930 930	STALLS		NA SF 5,886 3,098 8,435 4,668 7,415 0 0 2.94 NA NA	NA <b>SM</b> 546.8 287.8 783.6 433.7 688.9 <b>FT</b> 0 9.64 1 1			LEVELS 7 A LEVELS 7 A REFER TO A REFER TO A REFER TO I			

	UNDERGROUND	PARKING							
					•				008-426-031 ; LC
	740; LOT A PLAN 829/831,835,841		3				; LOT B PLA	N 45314 PID 00	7-890-711; W 1/2
		<u> </u>					E BUILDING	& BROUGHTON	BUILDING - TBD
	55,588	SF	5,164.3	SM					
			FT	M					
	NORTH / FORT EAST / QUADRA		304.7 232.0	92.9 70.7			-		
	SOUTH / BROUG	HTON	180.3	54.9					
	WEST		120.3	36.7					
	2012 OFFICIAL CO	OMMUNITY PL	AN/OCP DESI	GNATION -	2013 DOWNTOW	VN CORE AR	EA PLAN/DC/	AP & CATHEDRA	L HILL PRECINCT F
	Tentonen Anton de la presida de la compañía de la compañía	olar es in de labiene commensationer							
	FORT STREET: CA-								
	BROUGHTON STR	REET: CHP-OB 8	& CHP-CR DE\	/ELOPMEN	T PLAN AREA/DP	A 14: CATHE	DRAL HILL PI	RECINCT	
	268 PROPOSED SITE S								
	PROPOSED SITE S								
	REQ	UIRED / ALLOV	VED / DCAP			PROP	OSED		
			SF	SM			SF	SM	
	FAR	5.00	277,940	25821	FAR	5.25	291,823	27111	
						88.8%	49,356	4,585	EXCLUDING BUIL
ACE/LEVEL 1							5,548	513	
LEVEL 2	-						8,413	777	
LEVEL 3							6,343	586	
LEVEL 8							6,857	634	
TOTAL	08.4		20.0	N.4	110.02	49%	27,161	2,510	
	98.4	FT	30.0	М	110.83 103.75	FT FT	33.77 31.62	M	FROM AVERAGE
	10				11	11	51.02		LEVEL 11 IS MEC
	FT	м	FT	М	FT	М	FT	М	
ORT STREET					0	0.00	12.45	3.79	VARIES FROM 0F
ADRA STREET					5.67	1.73	36.20	11.03	VARIES FROM 5.6
TON STREET					5.41	1.65	40.20	12.25	VARIES FROM 5.4
VI) TREET WALL	SETBACK	LENGTH	HEIGHT		SETBACK	LENGTH	%	HEIGHT	
ORT STREET	0 - 3m	60% min	10 - 15m		0m	233.15	78.3%	8.88m	
ADRA STREET	0 - 3m	60% min	10 - 15m		1.95m	67.41	29.8%	8.88m	
TON STREET		60% min	10 - 15m		1.65m	119.08	68.6%	25.34-28.59m	
TREET WALL	SETBACK	LENGTH	HEIGHT		SETBACK	LENGTH	<b>%</b>	HEIGHT	
ORT STREET	3 -6m 3 -6m	30% min 30% min	18 - 25m 18 - 25m		3.79m 4.24m-11.03m	64.67 116.83	21.7% 51.6%	3.29-19.55m 19.75	
TON STREET	3 -6m	30% min	18 - 25m		6.03-12.25m	47	27.1%	5.02-19.35m	
M SETBACK	Polie de Con	<ul> <li>A provide the exception of the second state of the se</li></ul>				-49.624			
VE 25M	-								
BELOW 20 M	NA SF	NA SM			NA SF	NA SM			LEVELS 7 AND UF
RT BUILDING		930			5,886	546.8			LEVELS / AND OF
SE BUILDING		930			3,098	287.8			
RA BUILDING	10,010	930			8,435	783.6			
E BUILDING		930			4,668	433.7			
N BUILDING	10,010	930			7,415	688.9			REFER TO A004 F
	М	FT			м	FT			
OPERTY LINE		0			0	0			WEST SIDE
OPERTY LINE		9.84			2.94	9.64			WEST SIDE LEVEL
							~		
BALCONIES	3.5 M	11.48 FT			NA				
ING STALLS									REFER TO DETAIL
		-	CTALLC			1	CTALLC		
			STALLS STALLS			1	STALLS STALLS		
ING STALLS			JIALLJ			2	STALLS		
TIAL STALLS	<u> </u>								REFER TO DETAIL
					PROVIDED				
					PROVIDED				
D DURING									

IG UNITS & AMENITIES, RESIDENTIAL RENTAL UNITS & TWO LEVEL OF
OT A PLAN 45314 PID 007-890-664; LOT A (EH145952) PLAN 6909 PID 019-023-
2 LOT 268 PID 000-044-059
D
PLAN LOCATED IN FAIRFIELD NEIGHBORHOOD ALONG FORT STREET
NOTES
ILDING PROJECTIONS, CANOPIES & BALCONIES
E GRADE TO TOP OF ROOFTOP SERVICE RMS & ENCLOSURES
E GRAGE TO TOP OF ROOF PARAPET CHANICAL / SERVICE ONLY. TOP LEVELS ARE STEPPED BACK FROM LOWER LEVELS
CHANICAL 7 SERVICE ONET. TOP LEVELS ARE STEPPED BACK PROMILOWER LEVELS
FT TO 12.45 FT
.67 FT TO 36.20 FT
.41 FT TO 40.20 FT
JP
FOR CALCULATIONS
EL 4
ILED CALCULATIONS ON A002, A200,A201 & TRAFFIC REPORT
ILED CALCULATIONS ON A002 & A202A S PROVIDED BY PARC GARBAGE & RECYCLING COLLECTION COMPANY



AREA CALCULATION	IS SUMMAR	Y/SF																								
A	В	С	D=BxC	E	F	G	н	1	J	К	L	M	N	O=L+M+N	P	Q=E+F	R	S	Т	U	V	W	Х	Y=U+V+W+X	Z=S-Y	
																						EXCLUSIO	N			
LEVEL	NUMBER OF FLOORS		UNIT COUNT SUB TOTAL	NET COMMERCIAL (SF)	N/A	CHILD CARE (SF)	MEDICAL OFFICES (SF)	MEDICAL WASHROOMS	PARKING / LOADING / MECHANICAL LEVEL (SF)	COMM. GARBAGE/ RECYCLING & SERVICE RM (SF)	RES. GARBAGE/ RECYCLING & SERVICE RM (SF)	AMENITY (SF)	NET RESIDENTIAL UNITS (SF)	TOTAL RESIDENTIAL INC. RES GARBAGE/RECYCLING AREA / FLOOR (SF)	the second second second second second second second	A Contractive Contraction of the Contraction of the	TOTAL COMM. AREA / FLOOR (SM)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ASSUMED ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)	R TOTAL FSR (SM)
MAIN LEVEL	1	0	0	9,690	0	215	215	0	13,760	386	944	16,215	0	17,159	1,594	9,690	900	49,356	4,585	13,760	456	603	252	15,071	34,285	3,185
PARTIAL MECHANICAL	0	0	0	0	0	0	0	0	4,977	0	0	0	0	0	0	0	0	4,977	462	0	304	0	0	304	4,673	434
LEVEL 2	1	13	13	0	0	3,501	2,612	440	0	0	0	19,060	9,519	28,579	2,655	0	0	41,676	3,872	0	609	603	0	1,212	40,464	3,759
LEVEL 3	1	40	40	0	0	0	0	0	0	0	0	0	27,582	27,582	2,562	0	0	33,587	3,120	0	857	490	0	1,347	32,240	2,995
LEVEL 4	1	39	39	0	0	0	0	0	0	0	0	298	26,657	26,955	2,504	0	0	32,851	3,052	0	848	490	0	1,338	31,513	2,928
LEVEL 5	1	39	39	0	0	0	0	0	0	0	0	0	26,855	26,855	2,495	0	0	32,851	3,052	0	848	490	0	1,338	31,513	2,928
LEVEL 6	1	39	39	0	0	0	0	0	0	0	0	0	26,855	26,855	2,495	0	0	32,851	3,052	0	848	490	0	1,338	31,513	2,928
LEVEL 7	1	32	32	0	0	0	0	0	0	0	0	0	22,877	22,877	2,125	0	0	28,807	2,676	0	852	490	0	1,342	27,465	2,552
LEVEL 8	1	24	24	0	0	0	0	0	0	0	0	979	16,332	17,311	1,608	0	0	21,950	2,039	0	801	490	0	1,291	20,659	1,919
LEVEL 9	1	23	23	0	0	0	0	0	0	0	0	0	16,585	16,585	1,541	0	0	20,938	1,945	0	762	490	0	1,252	19,686	1,829
LEVEL 10	1	19	19	0	0	0	0	0	0	0	0	0	12,125	12,125	1,126	0	0	16,092	1,495	0	620	490	0	1,110	14,982	1,392
ROOFTOP SERVICE ROOMS	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3,669	341	0	351	490	0	841	2,828	263
TOTAL			268	9,690	0	3,716	2,827	440	18,737	386	944	36,552	185,387	222,883	20,706	9,690	900	319,605	29,692	13,760	8,156	5,616	252	27,784	291,821	27,111
SITE AREA:		55,58		5,164			3,2	267																		
TOTAL FSR:		291,82	1 SF	5.25																						
				900	SM	345	263	41	1,741	36	88	3,396	17,223													+
							30	04																		

	RATE/REQUIRE	D/BYLAW	PROVIDED	
RETAIL / PERSONAL SERVICE	1 PER 80 SM (861 SF)	11	11	PROVIDED ON P1 LEVEL
INDEPENDEMNT SENIORS UNITS	0.35 PER UNIT	88	88	
INDEPENDENT SENIORS UNITS-VISITORS	0.1 PER UNIT	25	25	
AFFORDABLE UNITS	0.2 PER UNIT	3	3	
AFFORDABLE UNITS-VISITORS	0.1 PER UNIT	1	1	
CHILD CARE	1 PER 100 SM (1076 SF)	3	3	ASSUMED & PROVIDED ON P1 LEV
MEDICAL OFFICES	1 PER 50 SM (538 SF)	6	6	BASED ON NET 3,272 SF. PROVIDE
ADDITIONAL PARKING STALLS			48	PROVIDED ON P1 LEVEL
TOTAL		137	185	
SCOOTER STALLS		0	24	PROVIDED ON LEVEL 1 FOR SENIO

				CLASS 1	BICYLCE SP	ACES	CLA	S
		4	REA	REQUIRED/BYLA	W SUPPLY	PROVIDED	REQUIRE	D
RETAIL		900	SM	1 PER 200 SM	5	5	1 PER 200 SM	
INDEPENDENT SENIORS UNITS	5	252		1 PER 20 UNITS	13	13	1 PER 50 UNITS	
AFFORDABLE UNITS		16		1.25 PER UNIT	20	20	O.1/UNIT OR 6	
CHILD CARE		345	SM	1 PER 700 SM	1	1	1 PER 200 SM	
MEDICAL OFFICE		304	SM	1 PER 200 SM	2	2	1 PER 300 SM	
ADDITIONAL BICYCLE STALLS					0	19		
TOTAL					41	60		
PARKING STALL SUM	MARY			UNDERGROU	<b>JND PARK</b>	ING AREA	SUMMARY / S	S
L1			2			SF		
P1 - PUBLIC + SENIORS RESID	ENCE		105	P1	53,500			
P2 - SENIORS RESIDENCE			78	P2	53,500			
TOTAL			185	TOTAL		107,000		
NOTES					30			

NOTES:

ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS

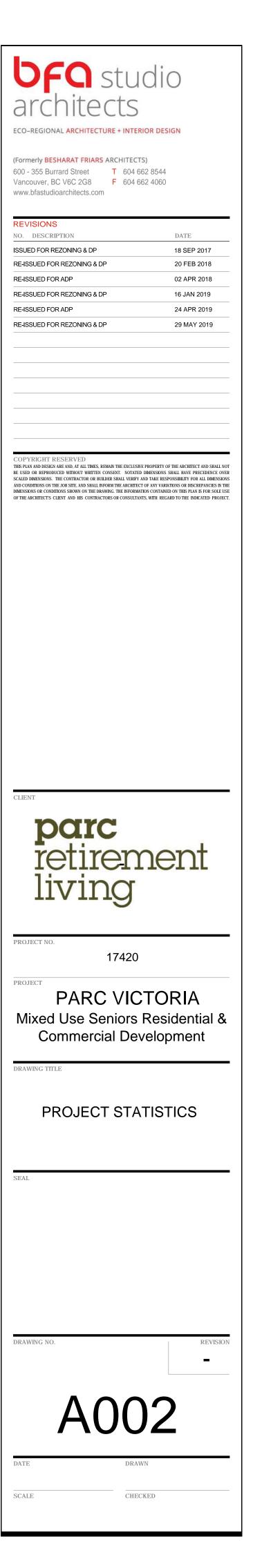
VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC

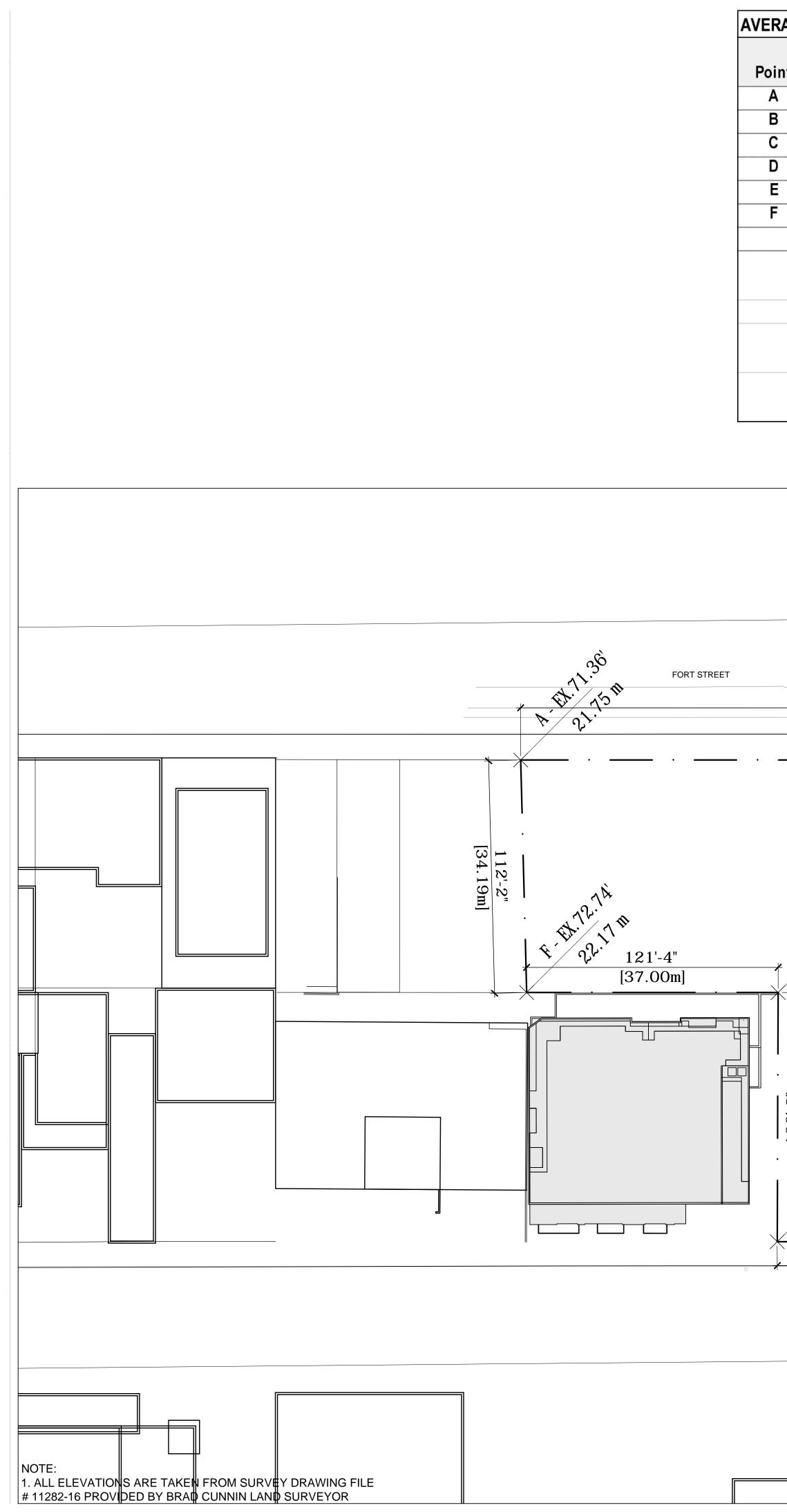
WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS

NOTES		
VEL		
ED ON P1 LEVE	EL	
IORS SAFETY 8		
SS 2 BICYLCE	SPACES	NOTES
	SPACES PROVIDED	NOTES
	-	NOTES
D/BYLAW	PROVIDED	NOTES
<b>D/BYLAW</b> 5	PROVIDED 5	NOTES
<b>D/BYLAW</b> 5 5	PROVIDED           5           5	
D/BYLAW 5 5 0	PROVIDED           5           5           0	
D/BYLAW 5 5 0 2	PROVIDED           5           5           0           2	
D/BYLAW 5 5 0 2 1	PROVIDED           5           0           2           1	
D/BYLAW 5 5 0 2 1 0 1 3	PROVIDED           5           0           2           1           13	
D/BYLAW 5 5 0 2 1 0 1 3	PROVIDED           5           0           2           1           13	
D/BYLAW 5 5 0 2 1 0 1 3	PROVIDED           5           0           2           1           13	
5 0 2 1 0	PROVIDED           5           0           2           1           13	

	D	IN	CITY	OF	<b>VICTORIA BYLAWS</b>
--	---	----	------	----	------------------------

	DING HEIGHT D		1	1	1		1		1
PARC VIC	TORIA, VICTORIA, B.C.								
					-				
October-2									
	Grade: 73.19' (22.31m)								
FORT MIL	DRISE / FORT BRIDGE / FO	ORT QUADE	RA MIDRISE		_				_
		Flovation	(Coodotio)	Clearfloor	hoight	Clob to Clo	h haight	Total Unight (fr	am Aug Crad
LEVEL	Use	1		Clear floor		Slab to Sla		Total Height (fr	om Ave. Grad
1	Commerical	71.00'	21.64m	16'-0"	4.88m	16'-8"	5.08m	NA 14 FOI	4 41.00
2	Daycare / Offices	87.67'	26.72m	12'-0"	3.66m	12'-8"	3.86m	14.50'	4.41m
3	Residential Units	100.33'	30.58m	8'-0"	2.44m	8'-8"	2.64m	27.16'	8.27m
4	Residential Units	109.00'	33.22m	8'-0"	2.44m	8'-8"	2.64m	35.83'	10.91m
5	Residential Units	117.67'	35.86m	8'-0"	2.44m	8'-8"	2.64m	44.50'	13.56m
6	Residential Units	126.33'	38.51m	9'-0"	2.74m	9'-8"	2.95m	53.16'	16.20m
7	Residential Units	136.00'	41.45m	9'-0"	2.74m	9'-8"	2.95m	62.83'	19.14m
8	Residential Units	145.67'	44.40m	9'-0"	2.74m	9'-8"	2.95m	72.50'	22.09m
9	Residential Units	155.33'	47.35m	9'-0"	2.74m	9'-8"	2.95m	82.16'	25.04m
10	Penthouse Units	165.00'	50.29m	8'-3"	2.51m	8'-11"	2.72m	91.83'	27.98m
	T.O. Roof Slab	173.92'	53.01m					100.73'	30.70m
	T.O. Roof Parapet	176.92'	53.93m					103.75'	31.62m
1997			41- A 20040			1		The second se	3 2 3 3 3 3
11	T.O. Mech. Enclosure	184.00'	56.08m					110.83'	33.77m
5799,8444,-			56.08m					110.83'	33.77m
5799,8444,-	T.O. Mech. Enclosure BRIDGE / BROUGHTON		56.08m					110.83'	33.77m
QUADRA	BRIDGE / BROUGHTON	MIDRISE							
<b>QUADRA</b> LEVEL	BRIDGE / BROUGHTON	<b>MIDRISE</b> Elevation (	(Geodetic)	Clear floor		Slab to Sla		Total Height (fr	om Ave. Grad
QUADRA _EVEL 1	BRIDGE / BROUGHTON Use Commerical	MIDRISE Elevation 75.00'	(Geodetic) 22.86m	12'-0"	3.66m	12'-8"	3.86m	Total Height (fr 1.83'	om Ave. Grad 0.55m
QUADRA _EVEL 1 2	BRIDGE / BROUGHTON Use Commerical Amenities	MIDRISE Elevation ( 75.00' 87.67'	(Geodetic) 22.86m 26.72m	12'-0" 12'-0"	3.66m 3.66m	12'-8" 12'-8"	3.86m 3.86m	Total Height (fr 1.83' 14.50'	om Ave. Grad 0.55m 4.41m
QUADRA _EVEL 1 2 2 RES	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67'	(Geodetic) 22.86m 26.72m 27.94m	12'-0" 12'-0" 8'-0"	3.66m 3.66m 2.44m	12'-8" 12'-8" 8'-8"	3.86m 3.86m 2.64m	Total Height (fr 1.83' 14.50' 18.50'	om Ave. Grad 0.55m 4.41m 5.63m
QUADRA _EVEL 1 2	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33'	(Geodetic) 22.86m 26.72m 27.94m 30.58m	12'-0" 12'-0" 8'-0" 8'-0"	3.66m 3.66m 2.44m 2.44m	12'-8" 12'-8" 8'-8" 8'-8"	3.86m 3.86m 2.64m 2.64m	Total Height (fr 1.83' 14.50' 18.50' 27.16'	om Ave. Grad 0.55m 4.41m 5.63m 8.27m
QUADRA _EVEL 1 2 2 RES 3 4	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Residential Units Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0"	3.66m 3.66m 2.44m 2.44m 2.44m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8"	3.86m 3.86m 2.64m 2.64m 2.64m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83'	om Ave. Grad 0.55m 4.41m 5.63m 8.27m 10.91m
QUADRA EVEL 1 2 2 RES 3	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33'	(Geodetic) 22.86m 26.72m 27.94m 30.58m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 8'-0"	3.66m 3.66m 2.44m 2.44m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8"	3.86m 3.86m 2.64m 2.64m	Total Height (fr 1.83' 14.50' 18.50' 27.16'	om Ave. Grad 0.55m 4.41m 5.63m 8.27m
QUADRA EVEL 1 2 RES 3 4 5 6	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Residential Units Residential Units Residential Units Residential Units Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 8'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.44m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16'	om Ave. Grad 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m
QUADRA EVEL 1 2 2 RES 3 4 5	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Residential Units Residential Units Residential Units Residential Units Residential Units Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 8'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.44m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m
QUADRA _EVEL 1 2 RES 3 4 5 6 7 8	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 44.40m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.44m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m
QUADRA EVEL 1 2 2 RES 3 4 5 6 7	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Residential Units Residential Units Residential Units Residential Units Residential Units Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m
QUADRA EVEL 1 2 2 RES 3 4 5 6 7 8	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 44.40m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m
QUADRA _EVEL 1 2 RES 3 4 5 6 7 8 9	BRIDGE / BROUGHTON Use Use Commerical Amenities Residential Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67' 154.33'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 44.40m 47.04m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m 2.95m 2.94m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50' 82.16'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m 25.04m
QUADRA EVEL 1 2 2 RES 3 4 5 6 7 8 9	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units Penthouse Units	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67' 154.33' 164.00'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 41.45m 44.40m 47.04m 49.99m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m 2.95m 2.94m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50' 82.16' 91.83'	om Ave. Grad 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m 25.04m 27.98m
2UADRA EVEL 1 2 RES 3 4 5 6 7 8 9	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units T.O. Roof Slab	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67' 154.33' 164.00' 173.92' 176.92'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 41.45m 44.40m 47.04m 49.99m 53.01m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m 2.95m 2.94m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50' 82.16' 91.83' 100.73'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m 25.04m 27.98m 30.70m
EVEL 1 2 2 RES 3 4 5 6 7 8 9 10 10	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units T.O. Roof Slab T.O. Roof Parapet T.O. Mech. Enclosure	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67' 154.33' 164.00' 173.92' 176.92'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 41.45m 44.40m 47.04m 49.99m 53.01m 53.93m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 9'-0"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m 2.95m 2.94m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50' 82.16' 91.83' 100.73' 103.75'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m 25.04m 25.04m 27.98m 30.70m 31.62m
2UADRA EVEL 1 2 RES 3 4 5 6 7 8 9 10 11 PARKING	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units T.O. Roof Slab T.O. Roof Parapet T.O. Mech. Enclosure	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67' 154.33' 164.00' 173.92' 176.92' 184.00'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 44.40m 47.04m 49.99m 53.01m 53.93m 56.08m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 8'-3"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8" 9'-8" 9'-8"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m 2.95m 2.94m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50' 82.16' 91.83' 100.73' 103.75'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m 25.04m 25.04m 27.98m 30.70m 31.62m
QUADRA EVEL 1 2 2 RES 3 4 5 6 7 8 9 10	BRIDGE / BROUGHTON Use Commerical Amenities Residential Units T.O. Roof Slab T.O. Roof Parapet T.O. Mech. Enclosure	MIDRISE Elevation ( 75.00' 87.67' 91.67' 100.33' 109.00' 117.67' 126.33' 136.00' 145.67' 154.33' 164.00' 173.92' 176.92' 184.00'	(Geodetic) 22.86m 26.72m 27.94m 30.58m 33.22m 35.86m 38.51m 41.45m 41.45m 44.40m 47.04m 53.01m 53.01m 53.93m 56.08m	12'-0" 12'-0" 8'-0" 8'-0" 8'-0" 9'-0" 9'-0" 9'-0" 8'-3"	3.66m 3.66m 2.44m 2.44m 2.44m 2.44m 2.74m 2.74m 2.74m 2.74m 2.74m 2.74m	12'-8" 12'-8" 8'-8" 8'-8" 8'-8" 9'-8" 9'-8" 9'-8" 9'-8" 8'-11"	3.86m 3.86m 2.64m 2.64m 2.64m 2.64m 2.64m 2.95m 2.95m 2.95m 2.95m 2.94m	Total Height (fr 1.83' 14.50' 18.50' 27.16' 35.83' 44.50' 53.16' 62.83' 72.50' 82.16' 91.83' 100.73' 103.75'	om Ave. Grac 0.55m 4.41m 5.63m 8.27m 10.91m 13.56m 16.20m 19.14m 22.09m 25.04m 25.04m 27.98m 30.70m 31.62m

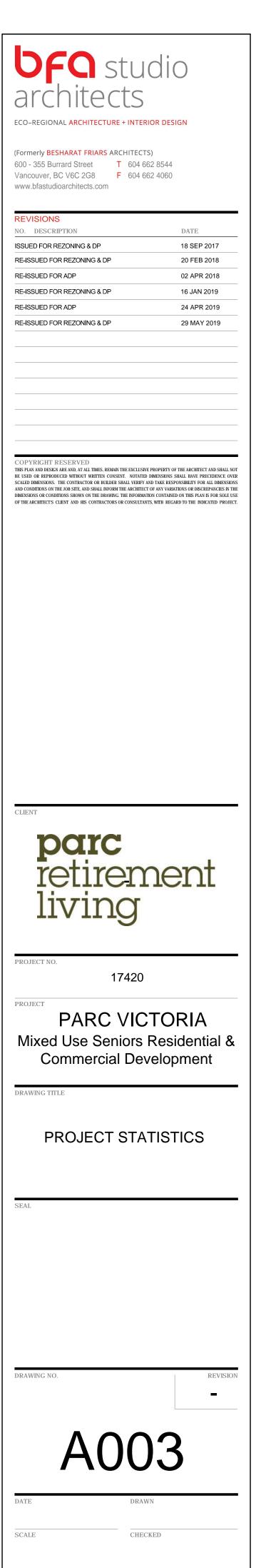


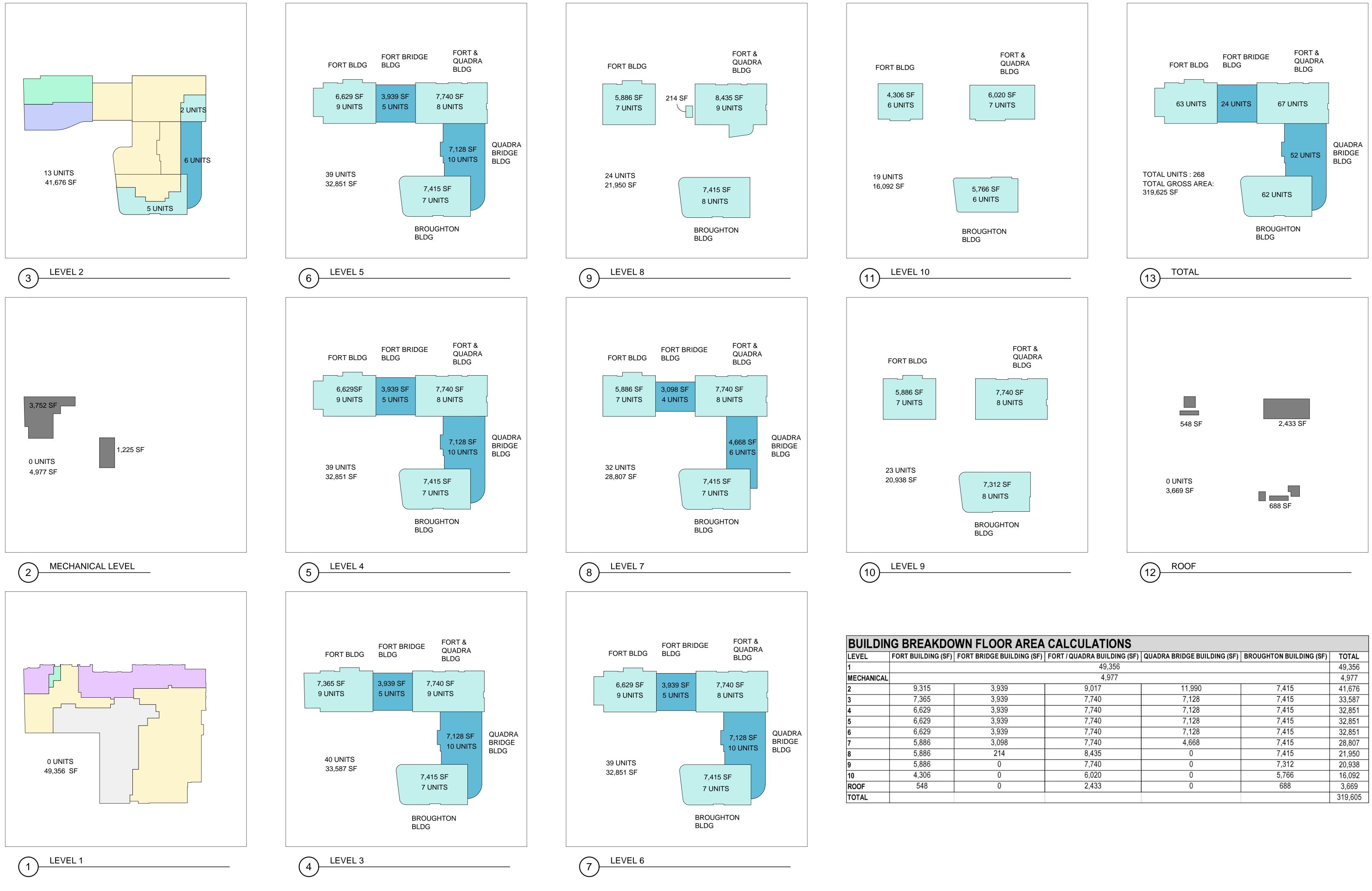


	E NATURAL	EXISTIN	G & FINISH	ED GRAD	E CALCULAT Average	IONS		RESIDE	NTIAL	UNI <sup>.</sup> LEV		M
oint	Elev. (ft)	Point	Elev. (ft)	Segment		Length (ft)	Elevation x Length = Z	UNIT TYPE	AREA (SF)	1	2	3
Α	71.36	В	70.70		71.03	304.71	21643.55	STUDIO			0	
В	70.70	С	76.80		73.75	232.00	17110.00	A1	425		1	1
С	76.80	D	74.31	CD	75.56	180.25	13618.79	A2 A3	392 631			1
D	74.31	E	74.80		74.56	120.25	8965.24	A4	291		1	
Ε	74.80	F	72.74	EF	73.77	121.33	8950.51	A5 SUB-TOT	386 <b>A</b> I	0	2	2
F	72.74	Α	71.36	FA	72.05	112.17	8081.85	1 BEDRO	2022 A.		L	L
								B1 B2	670		1	1
					TOTAL	TOTAL	Total 'Z'	В2 В3	666 528			1
						LENGTH		B4	586			2
					440.7	1070.71	78369.94	B5 B6	608 583			1
					AVERAGE NA	TURAL		B7	568			3
					EXISTING GR	ADE	73.19	B8 B9	538 730			1
						IGHT		B9 B10	630		· · · · ·	1
					A.N.E.G.+ 98.4	n Uran Law Oleven Jacob - Law	171.62	B11	455			1
								B12 B13	434 699			
								B14	601			3
								B15 B16	718 767			
								B10 B17	555			
								B18	425			
								B19 B20	486 509		17. (r 17 17.	
								B21	605			
								B22 B23	568 580		-	1
								B23	636			
								B25	767			
						Ór		B26 B27	699 621			
	oo ( o1,					170.70 17.75 m 21.55 m		SUB-TOT	AL	0	1	17
	$304'-8\frac{1}{2}"$				¥	Et. 55 m		1 BEDRO C1	OM + FI 708	ELX	5	5
	[92.88m]					2)."		C2	690		0	0
						. (		C3 C4	620			0
	·	· ·	·					C4 C5	639			2
					B			C6	701			1
								C7 SUB-TOT	770 Al	0	5	1 9
							27.62	2 BEDRO	·		•	•
								D1	814		1	1
	Ó.				MAY			D2 D3	886 855		1	1
					RIGHT OF			D4	890		1	1
	EX. 74.80 m 22.80 m				STATUTORY A			D5 D6	978 1054		67 - 72 17 - 73	2
Ś	· Ar.				STA			D7	802			
					0			D8 D9	779			
+	x				<u>}2'-</u> 1	[70.69m]		D9 D10	911			
					23	[] []		D11	690			
						[7] STREET		D12 D13	716 718			
						QUADRA		D14	756			
1	[36.63m] 36.63m] 36.63m]					QUA		D15 D16	727 870			
-0	.09				OF WAY			D10	935			
121	<u>,</u> <u>3</u> 0				DRY RIGH	Ó20		D18	889			
•	14.5				รมีมาน	10.		D19 D20	828 589			1
	E. 62 1					Ed. Alt		D21	657			430
						23.41 M		D22 D23	844 896		1	1
								D24	816			
		1	80'-3"					D25	776			1
	· -							D26 D27	755 737			1
	· -		4.94m]									
	, · _		4.94m]			centre line of crown		D28	1081		1	
	· _		4.94m]			centre line of crown		D28 SUB-TOT	AL	0 FX	1 5	11
	·		4.94m]	BROUGHTON	STREET	centre line of crown		D28	AL	-	÷.	<b>11</b>
	·		4.94m]	BROUGHTON	STREET	centre line of crown		D28 SUB-TOT 2 BEDRO E1 E2	AL OM + FI 928 1230	EX	5	11
	·		4.94m]	BROUGHTON	STREET	centre line of crown		D28 SUB-TOT 2 BEDRO E1 E2 SUB-TOT	AL OM + FI 928 1230 AL	-	÷.	11 1 1
	·		4.94m]	BROUGHTON	STREET	centre line of crowh		D28 SUB-TOT 2 BEDRO E1 E2 SUB-TOT 3 BEDRO F1	AL 928 1230 AL OM 1339	EX	5	11 1 1
			4.94m]	BROUGHTON	STREET	centre line of crown		D28 SUB-TOT 2 BEDRO E1 E2 SUB-TOT 3 BEDRO F1 F2	AL 928 1230 AL OM 1339 1439	-EX	5	11
			4.94m]	BROUGHTON	STREET	centre line of crown		D28 SUB-TOT 2 BEDRO E1 E2 SUB-TOT 3 BEDRO F1	AL 928 1230 AL OM 1339 1439	EX	5	111 1 1 0 40

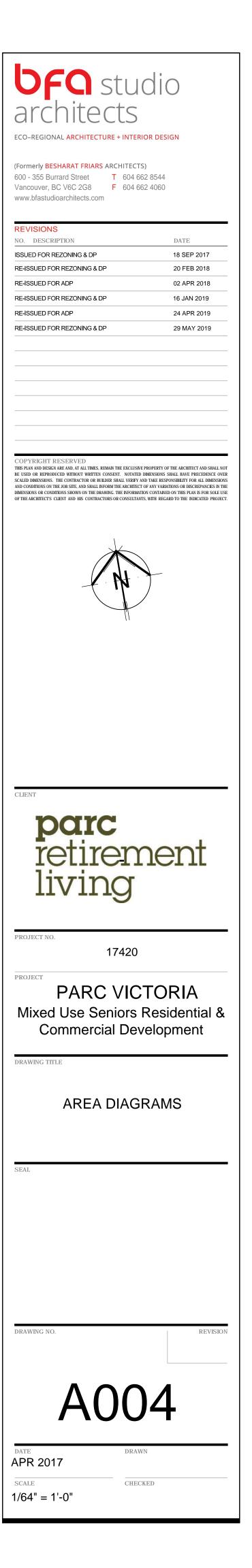
#### TIAL UNIT SUMMARY

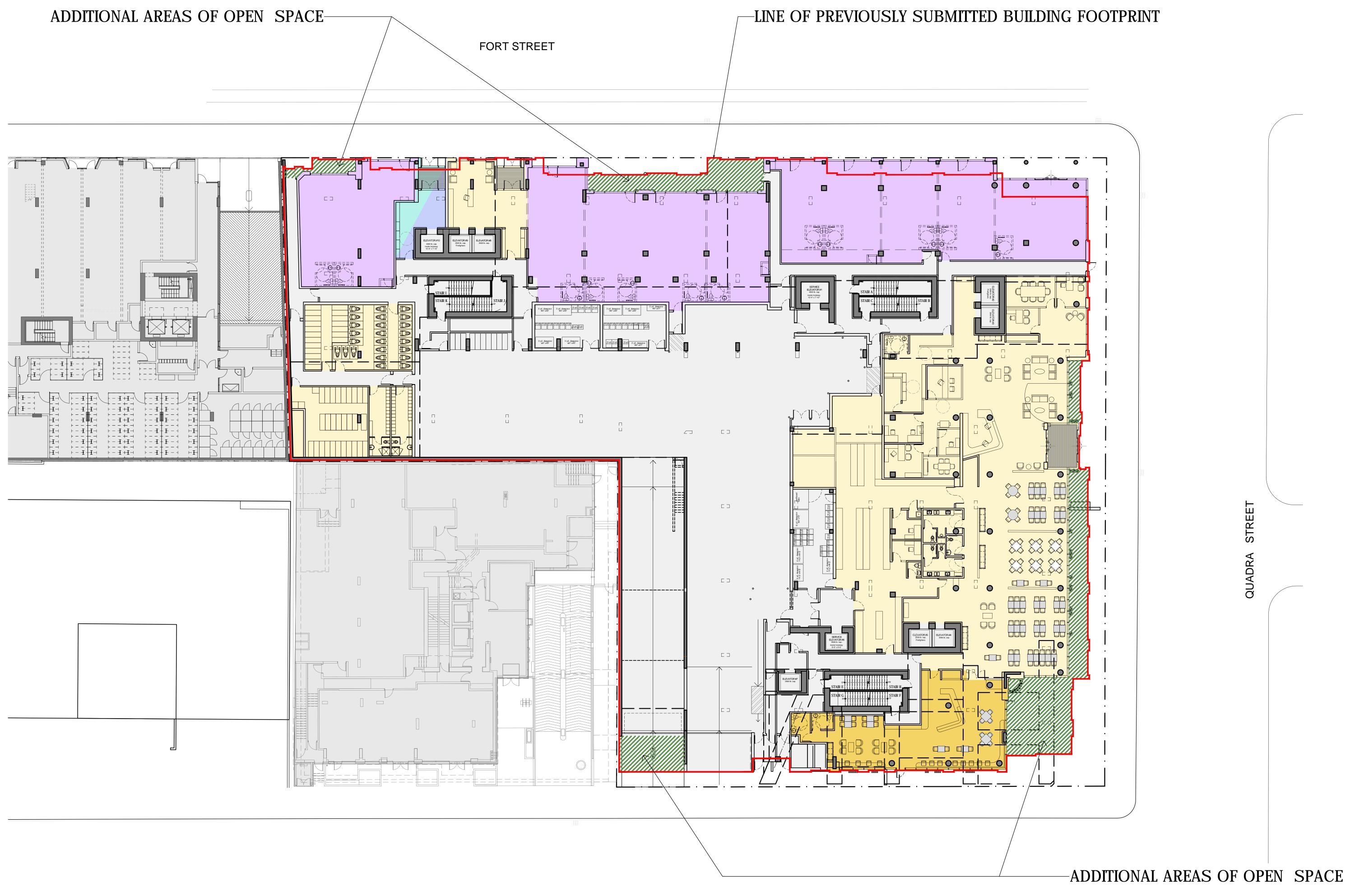
NTIAL	UNI	r su	MM	ARY	N												
	LEVI	EL															
AREA (SF)	1	2	3	4	5	6	7	8	9	10	BLDG SUB- TOTAL	BATH TYPE	KITCHEN TYPE	BALCONY TYPE*	SUB- TOTAL	%	NOTES
405																	
425 392		1	1	1	1	1	1	1	<u> </u>					<u>N</u>	1 6		AFFORDABLE
631			1			1	1							N	1		AFFORDABLE ON LEVEL 3-7
291		1	125%						<u> </u>					N	1		
386				2	2	2					1000			Ν	6		INTERGENERATIONAL & AFFORDABLE
AL OM	0	2	2	3	3	3	1	1	0	0	15				15	5.6%	
670				-						1				Т	1		
666		1	1	1	1	1								В	5		
528			1	1	1	1	1	1	1					J	7		INTERGENERATIONAL
586 608			2	2	2	2	2	2	2					J B	14 6		
583			1		1	1	1							N N	1		
568			3	3	3	3								J	12		
538			1	1	1	1	1	1	1					J	7		
730 630			1	1	1	1	1	1	1					B	7		
455			1	1	1	1	1		<b>I</b> .					B	5		INTERGENERATIONAL AFFORDABLE ON LEVEL 3-6
434										1				Т	1		INTERGENERATIONAL
699										1				T	1		
601 718			3	3	3	3	3	3	3					N B	21		INTERGENERATIONAL IN FORT MID-RISE BUILDING (14 UNITS)
767									1					T	1		
555								1						N	1		
425										1				T	1		INTERGENERATIONAL
486 509		<u>.</u>		-	·			_	8 <u> </u>	3				Т Т	3		INTERGENERATIONAL
605										1				T	1		
568										1				Т	1		
580			1	1	1	1	1	1	1					N	7		INTERGENERATIONAL
636 767		1)		1				1						N B	1		
699				-						1				T	1		
621							2				2/222			Т	2		
AL OM + FE		1	17	16	16	16	14	13	13	12	118				118	44.0%	
708		5	5	5	5	5								В	25		
690							1							T	1		
000			0	0	_				-					P	0		RESERVED
639			2	2	2	2			<u> </u>					В	8 0		RESERVED
701			1	1	1	1	1	1	1					В	7	-	INTERGENERATIONAL
770			1	1	1	1	1	1	1					Ν	7		
AL OM	0	5	9	9	9	9	3	2	2	0	48				48	17.9%	
814		1	1	1	1	1	1	1	1					В	8		
886		1	1	1	1	1	1	1						В	7		
855		1	1	1	1	1	1	1	1					J B	6 8		
890 978		1	2	2	2	2	1	1						B	0 8		
1054				1		_								В	1		
802							1	1						В	2		
779		r		2			2	<u> </u>						т	0		RESERVED
911							2							T	2		
690							1			20				Т	1		
716										1				T	1		
718 756	1									1				T	1		INTERGENERATIONAL
727										1				T	1		INTERGENERATIONAL
870										1				T	1		
935 889										1				T T	1		
828			1	1	1	1	1	1	1					N	7		
589			1	1	1	1	1	1	1					В	7		
657 844							1	1	1					N	2		
844 896		1	1	1	1	1	1		-					N I	1		
816									1					J	1		
776			1											N	1		INTERGENERATIONAL
755 737			1	-					1					<u>N</u>	1		INTERGENERATIONAL
1081		1												J N	1		
AL	0	5	11	10	9	9	13	8	7	7	79				79	29.5%	
OM + FL	EX		1	1	1	1								N	1		
928 1230		2	1		1	1		-						N B	4		
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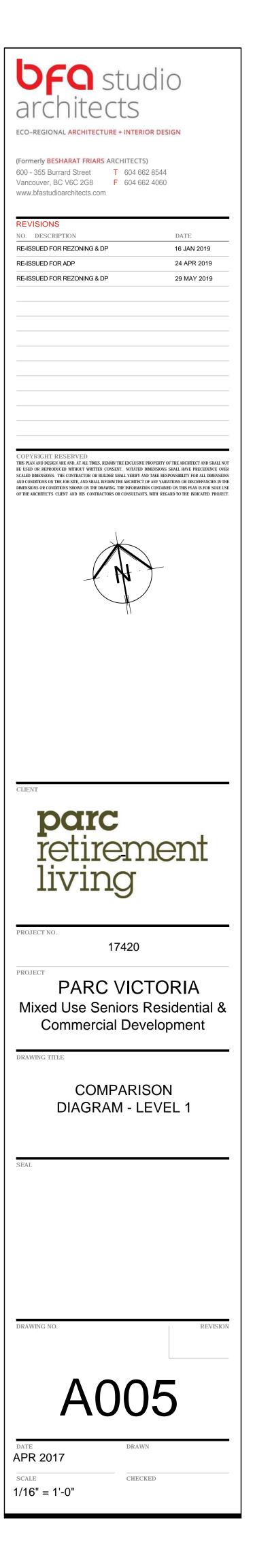




EAKDO	WN FLOOR AREA	CALCULATIONS			
ILDING (SF)	FORT BRIDGE BUILDING (SF)	FORT / QUADRA BUILDING (SF)	QUADRA BRIDGE BUILDING (SF)	BROUGHTON BUILDING (SF)	TOTAL
		49,356			49,356
		4,977			4,977
315	3,939	9,017	11,990	7,415	41,676
365	3,939	7,740	7,128	7,415	33,587
629	3,939	7,740	7,128	7,415	32,851
629	3,939	7,740	7,128	7,415	32,851
629	3,939	7,740	7,128	7,415	32,851
886	3,098	7,740	4,668	7,415	28,807
886	214	8,435	0	7,415	21,950
886	0	7,740	0	7,312	20,938
306	0	6,020	0	5,766	16,092
548	0	2,433	0	688	3,669
					319,605







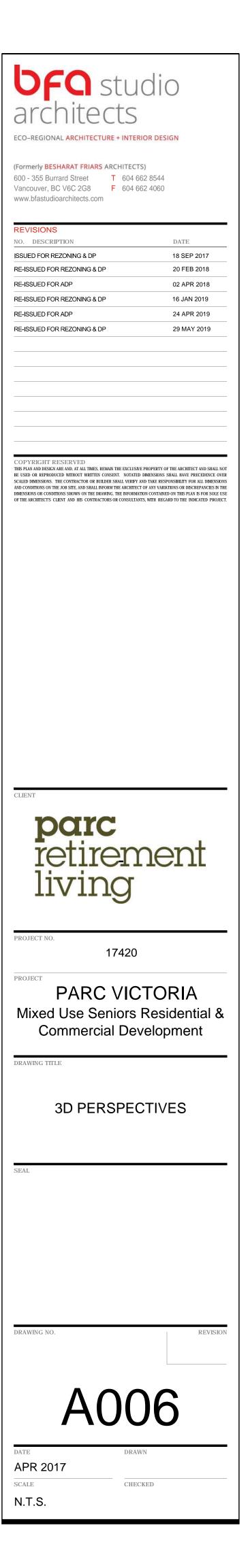








VIEW OF FORT STREET COMMERCIAL & RETAIL UNITS

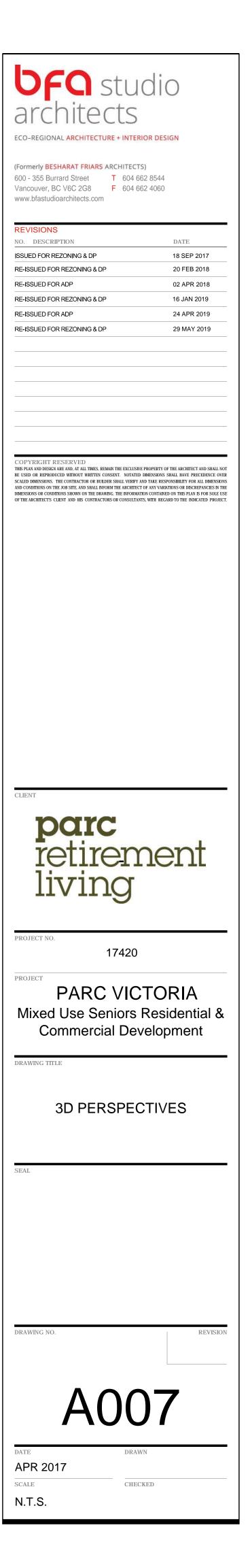








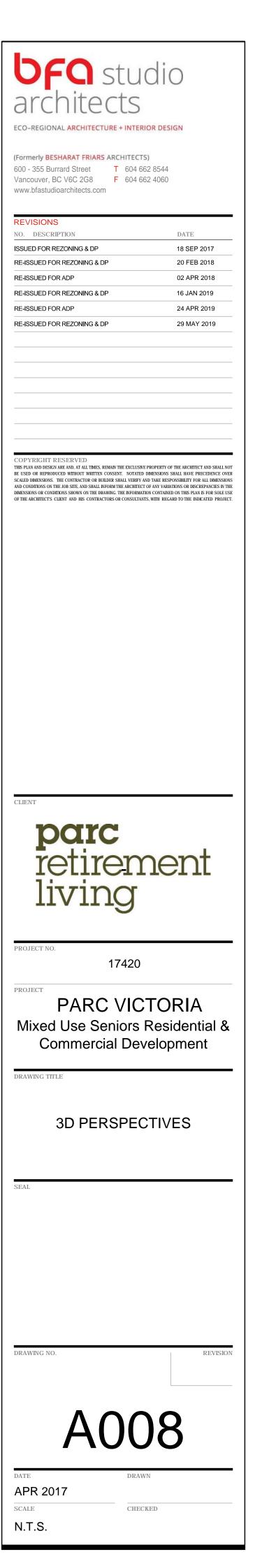
VIEW OF BUILDING SOUTH-EAST FROM PIONEER SQUARE













VIEW OF BROUGHTON AND QUADRA CORNER

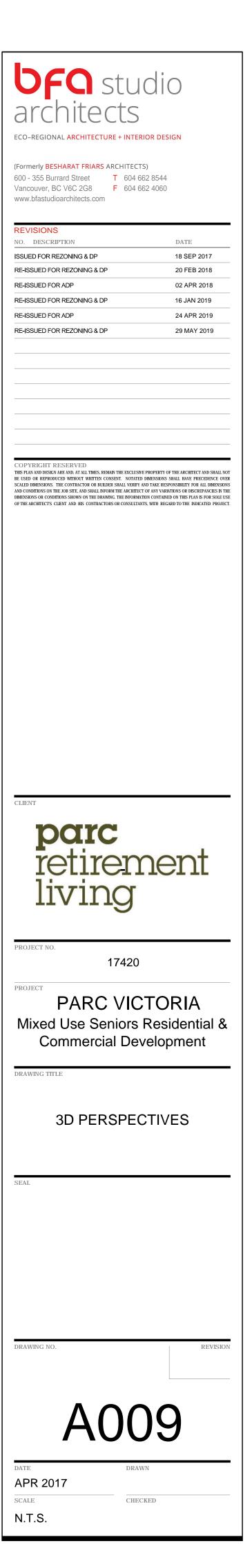


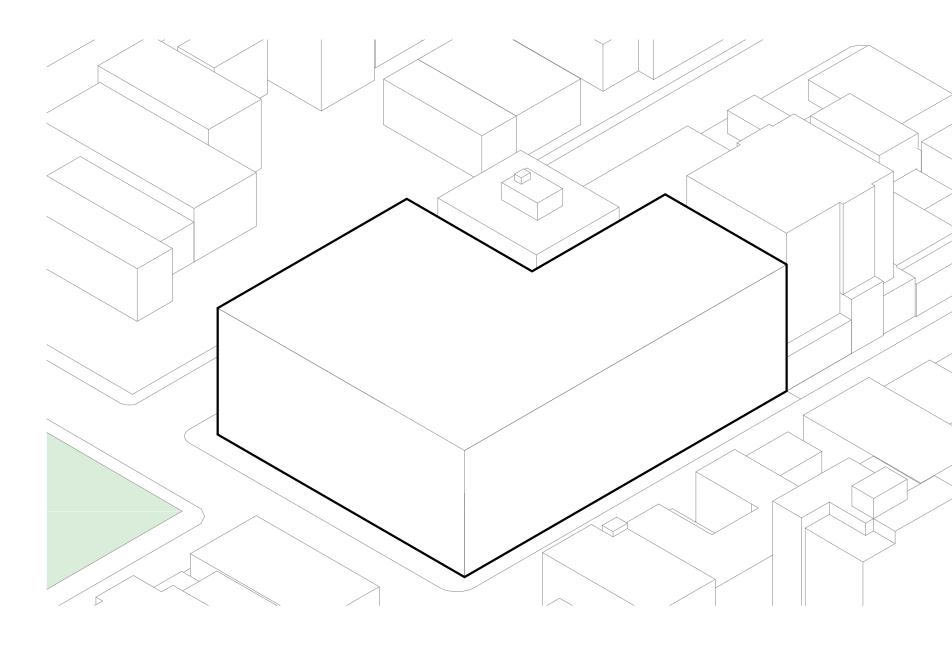




VIEW OF CAFE ENTRANCE AT BROUGHTON

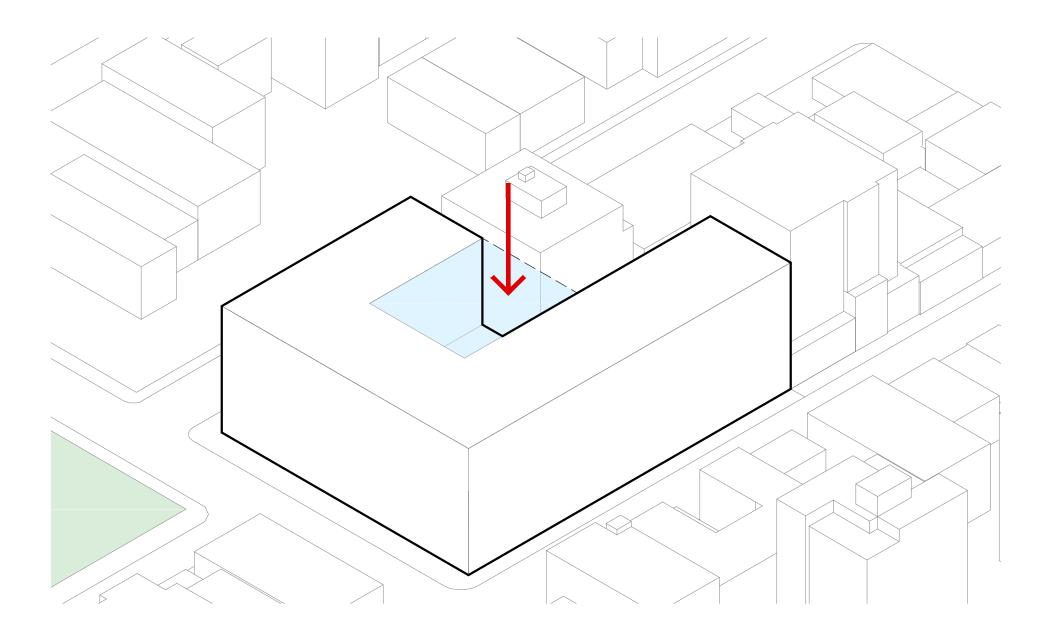






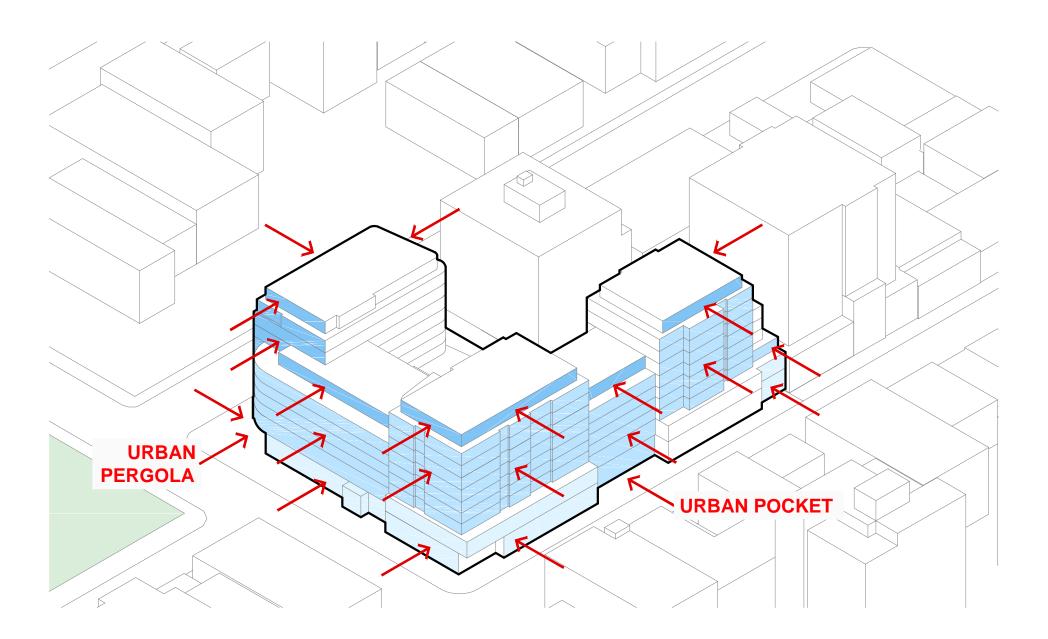


Initial massing is created by taking the site footprint and extruding it up 30 m.



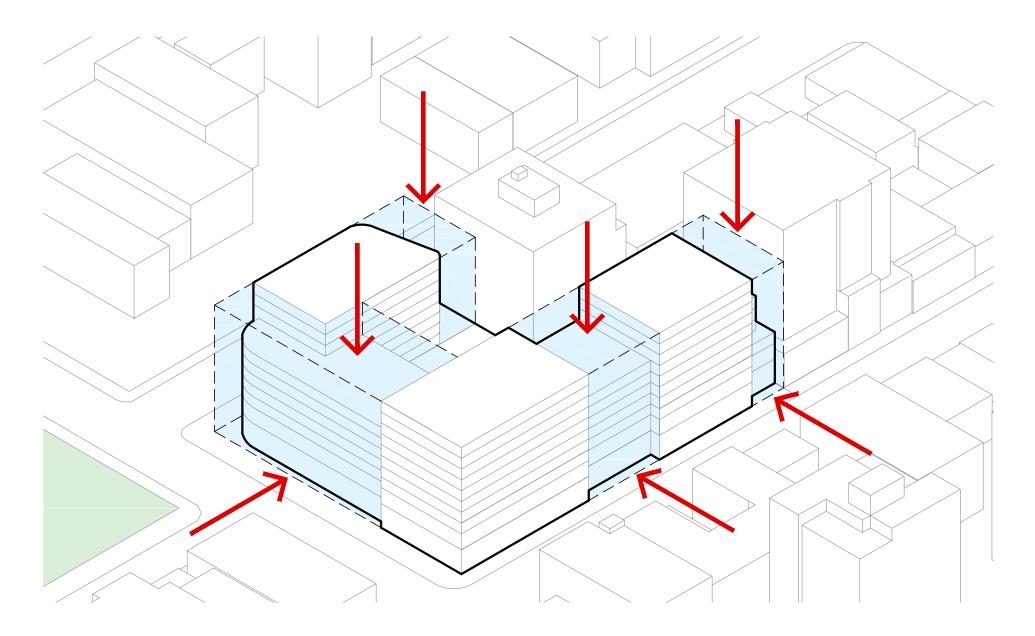
#### INTERNAL COURTYARD

An internal courtyard is created following extraction from the center of the initial massing.



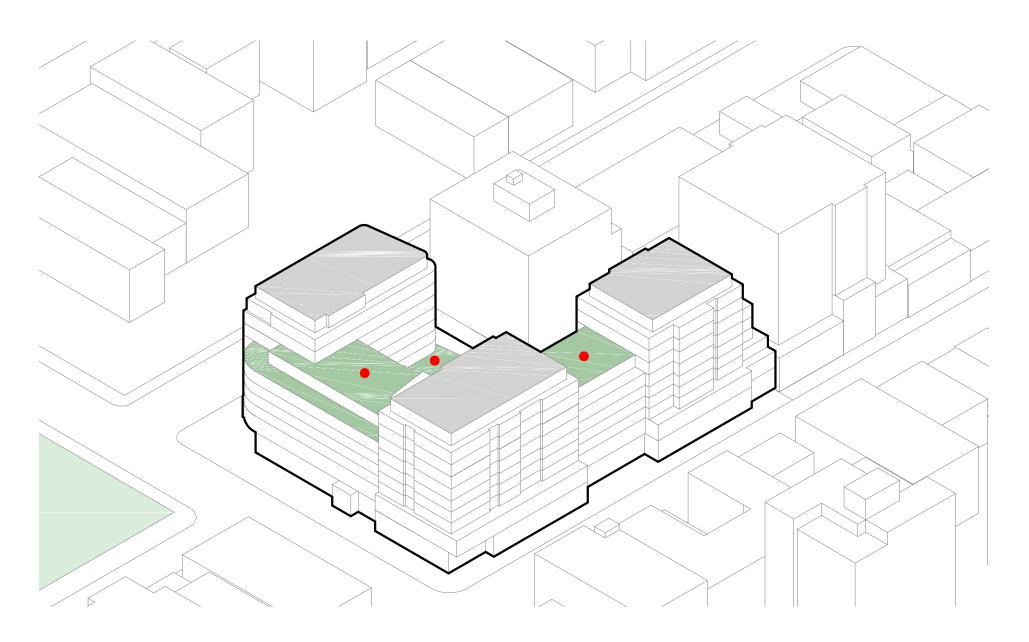
#### STEPPED SETBACKS

The building is stepped back in response to City of Victoria guidelines and policies including the Downtown Core Area Plan as well as site context and existing and future urban fabric, creating a facade that acknowledges the scale of the neighbourhood. The southeast corner is articulated in reference to Pioneer Square and Christ Church Cathedral across the street.



### CARVE

The massing is carved in response to context to create view corridors and a sense of openness through the site.

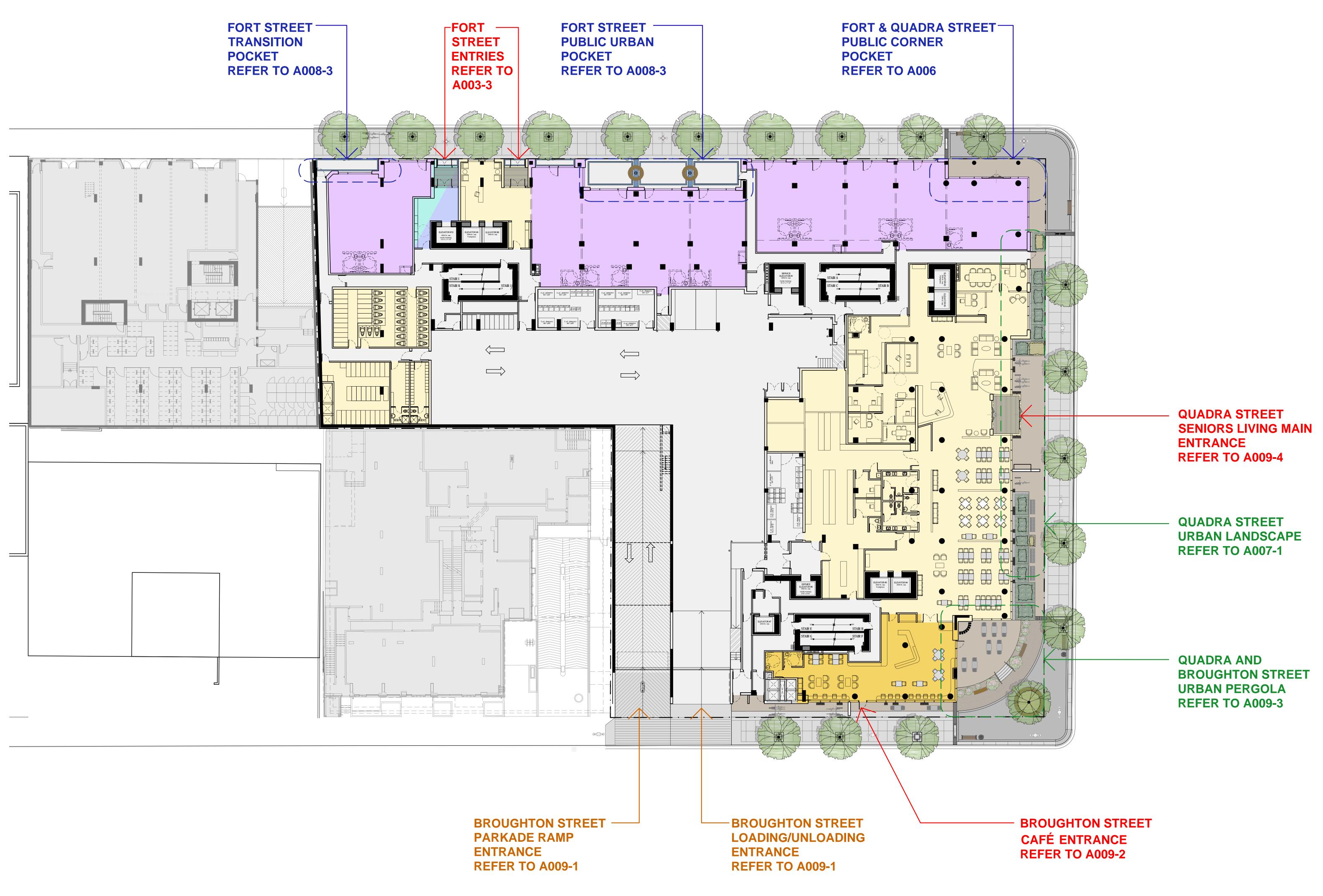


## **GREEN ROOFS**

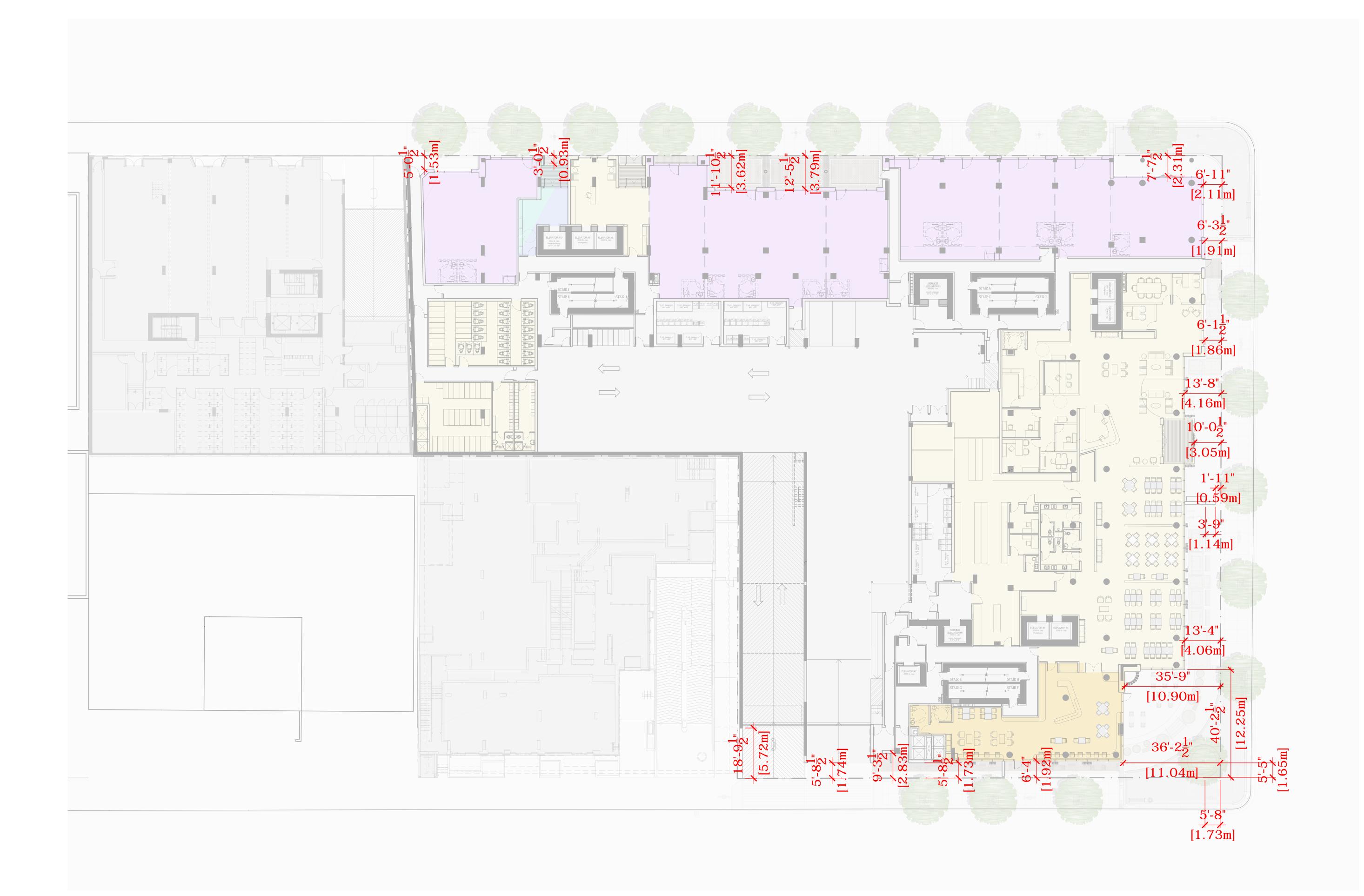
Carving and mass reduction provide the opportunity for terraced green roofs. Rooftop amenity spaces offer residents the ability to enjoy year-round activities. These amenities will be accessible to the public at certain times of the day.

- Potential roof top PV panels / solar hot water collector
- Accessible green roof
- Roof top Amenity

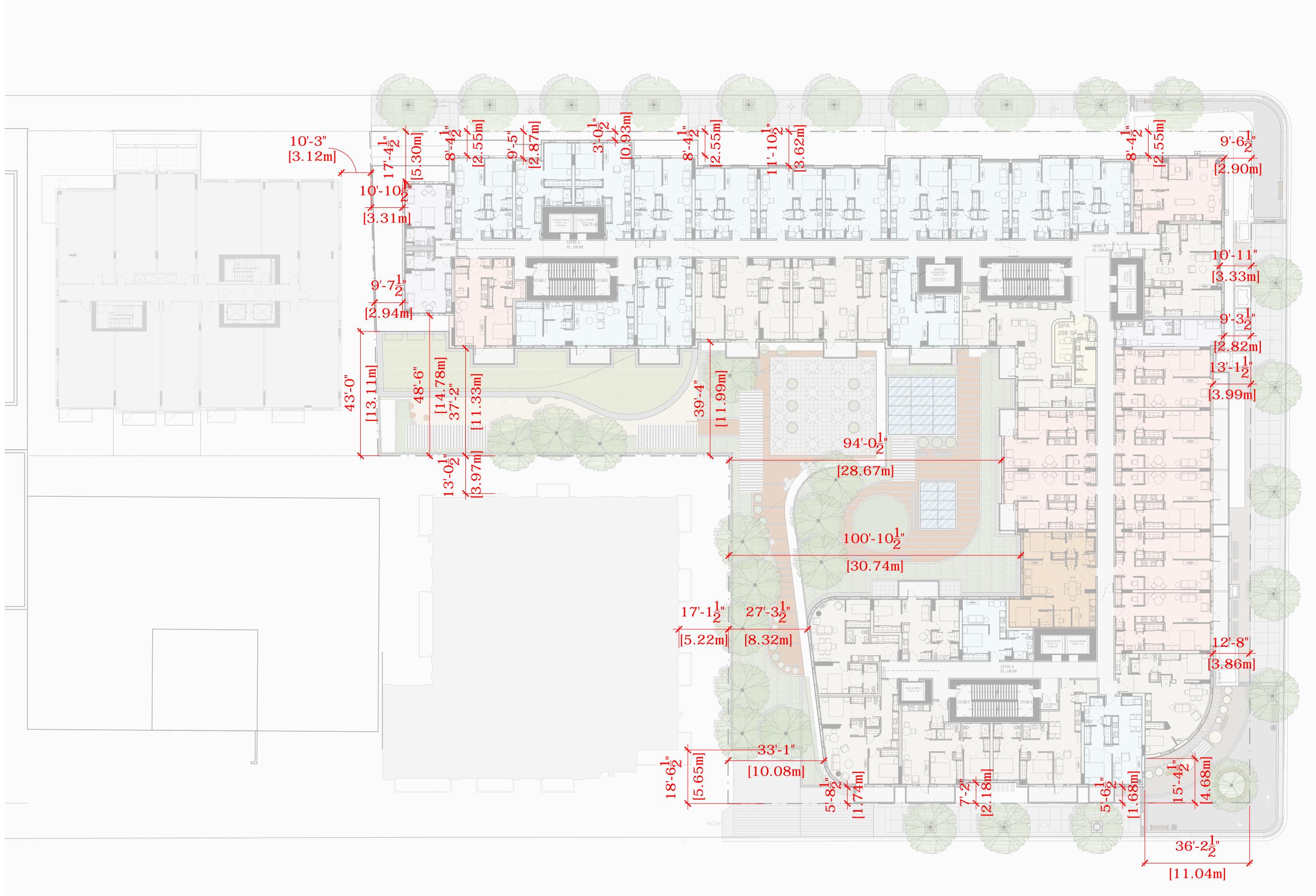
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## RAINSCREEN WALL ASSEMBLY

## FUTURE ROOF PV PANELS -



- FUTURE ROOF PV PANELS

- RATIO OF RESIDENTIAL GLAZING -TO SOLID WALL: LESS THAN 40%



### - QUADRA BUILDING BALCONIES & BRISE SOLEIL ACT AS SHADING DEVICES

- QUADRA & BROUGHTON BUILDINGS MAIN LEVEL VERTICAL STREET LEVEL SHADING

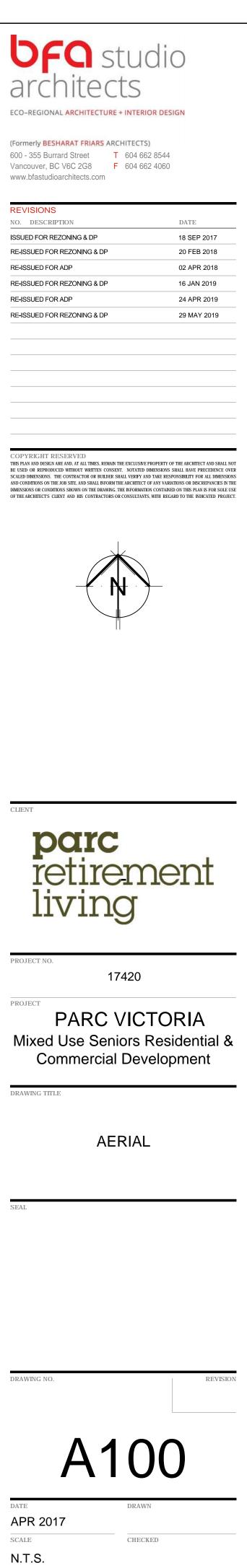


## FUTURE ROOF PV PANELS —

- SOUTH FACING SHADING DEVICES & BALCONIES - GREEN ROOFS TO REDUCE STORM WATER RUNOFF & HEAT ISLAND EFFECT

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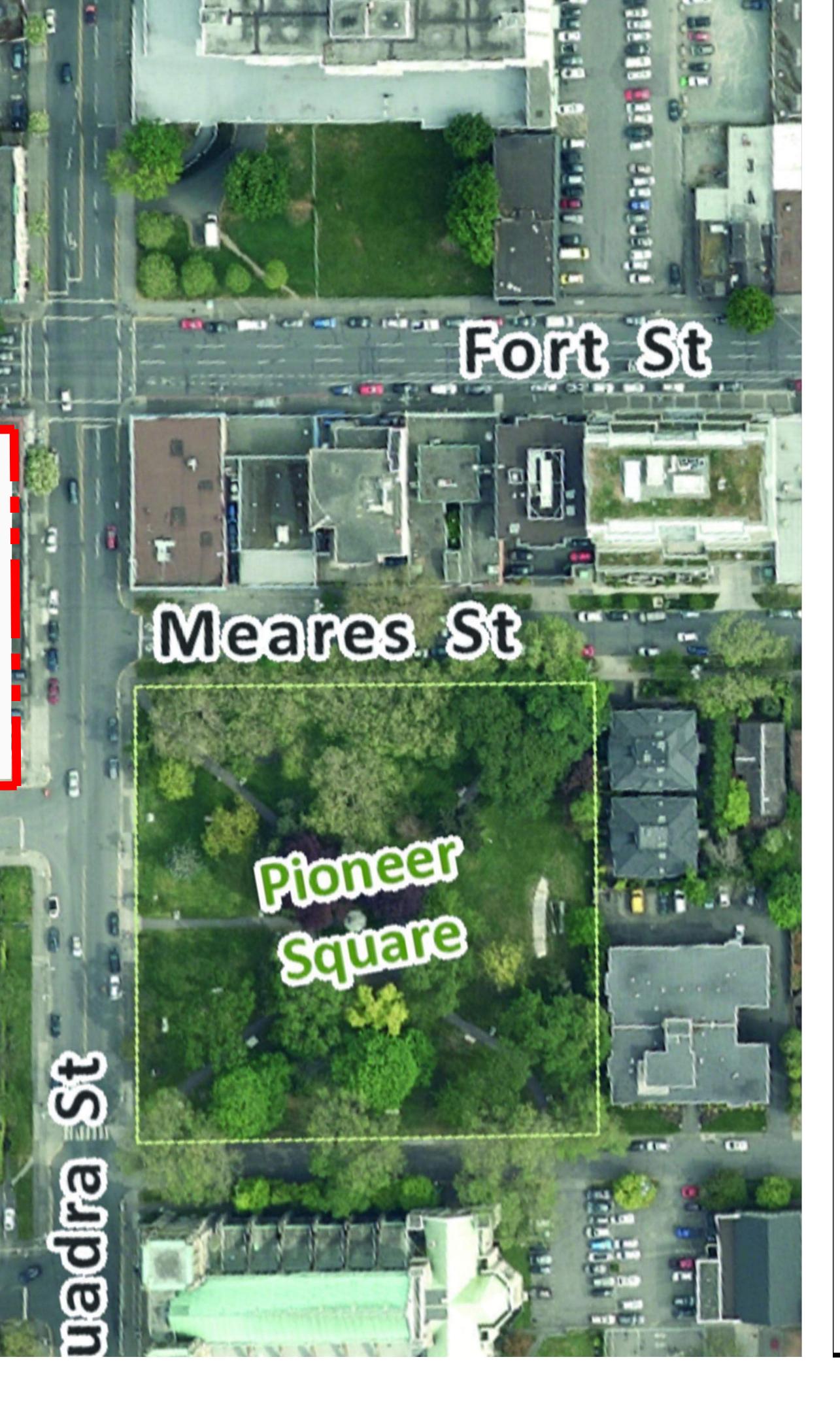


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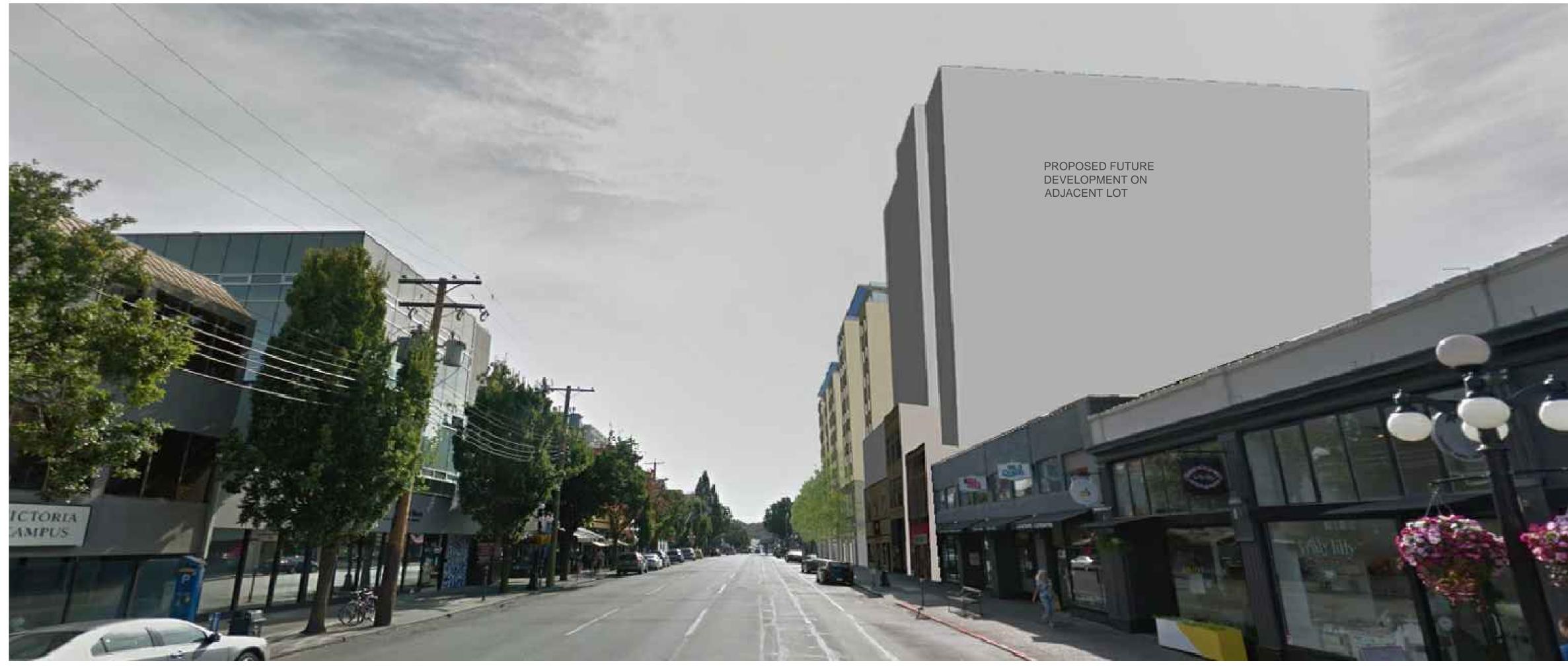


AERIAL VIEW OF THE BUILDING & CONTEXT

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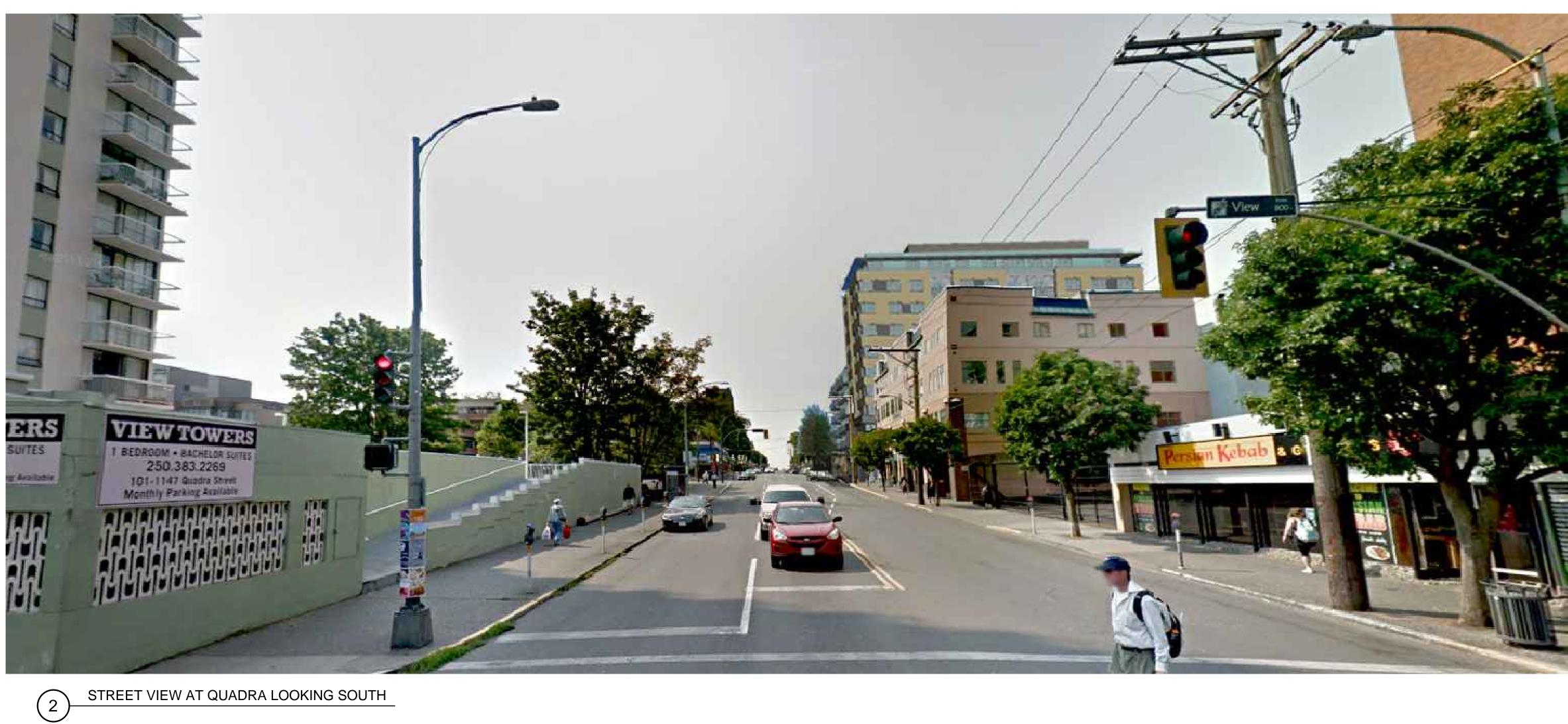


STREET VIEW AT FORT LOOKING EAST

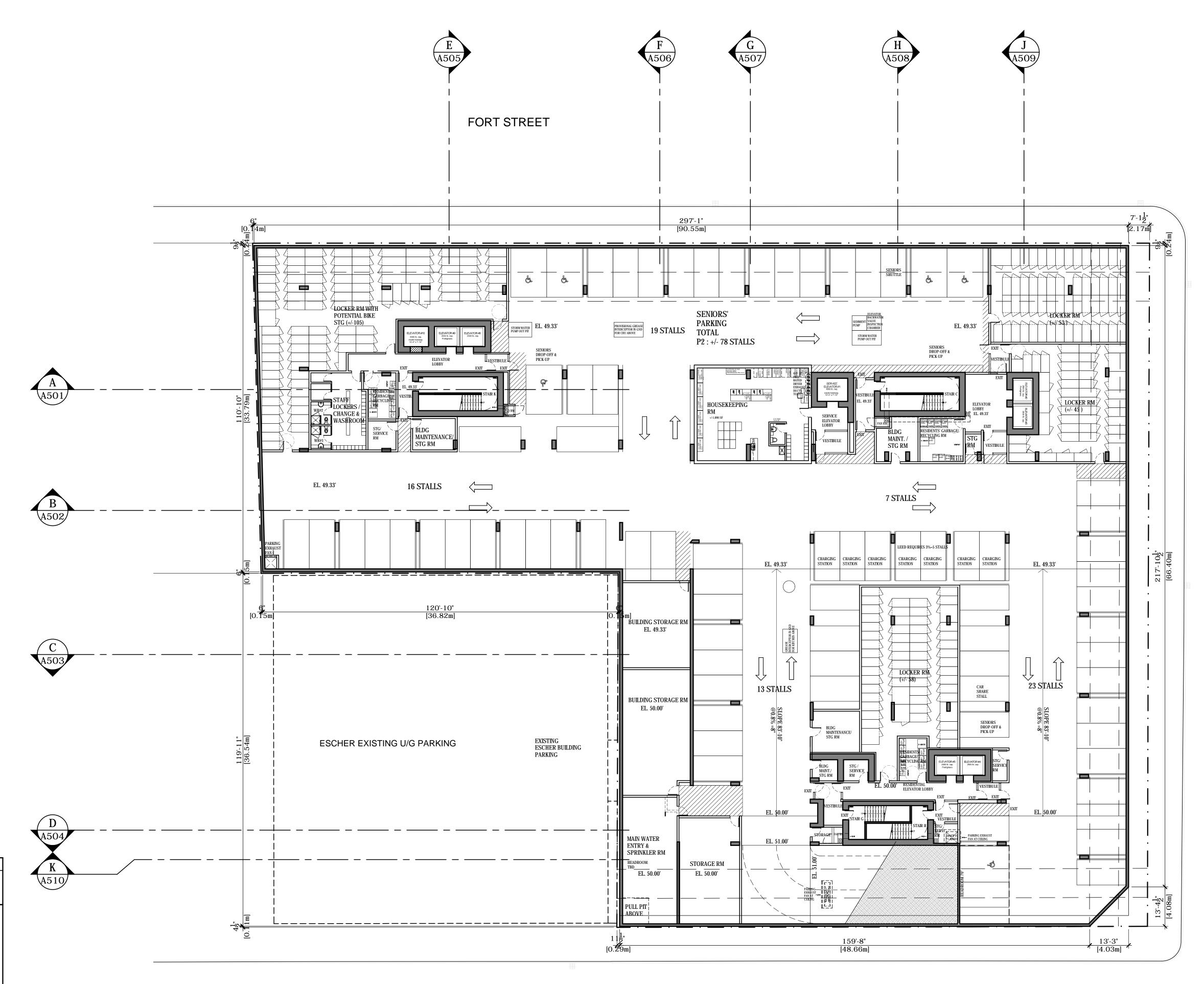
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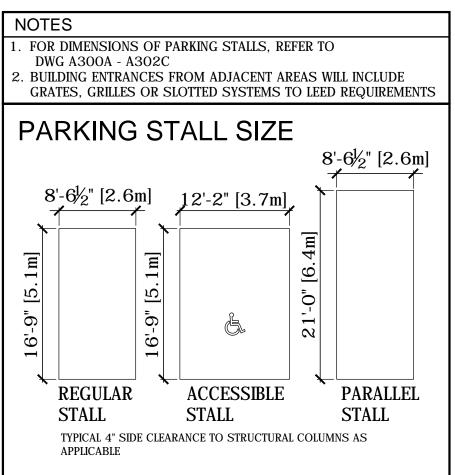


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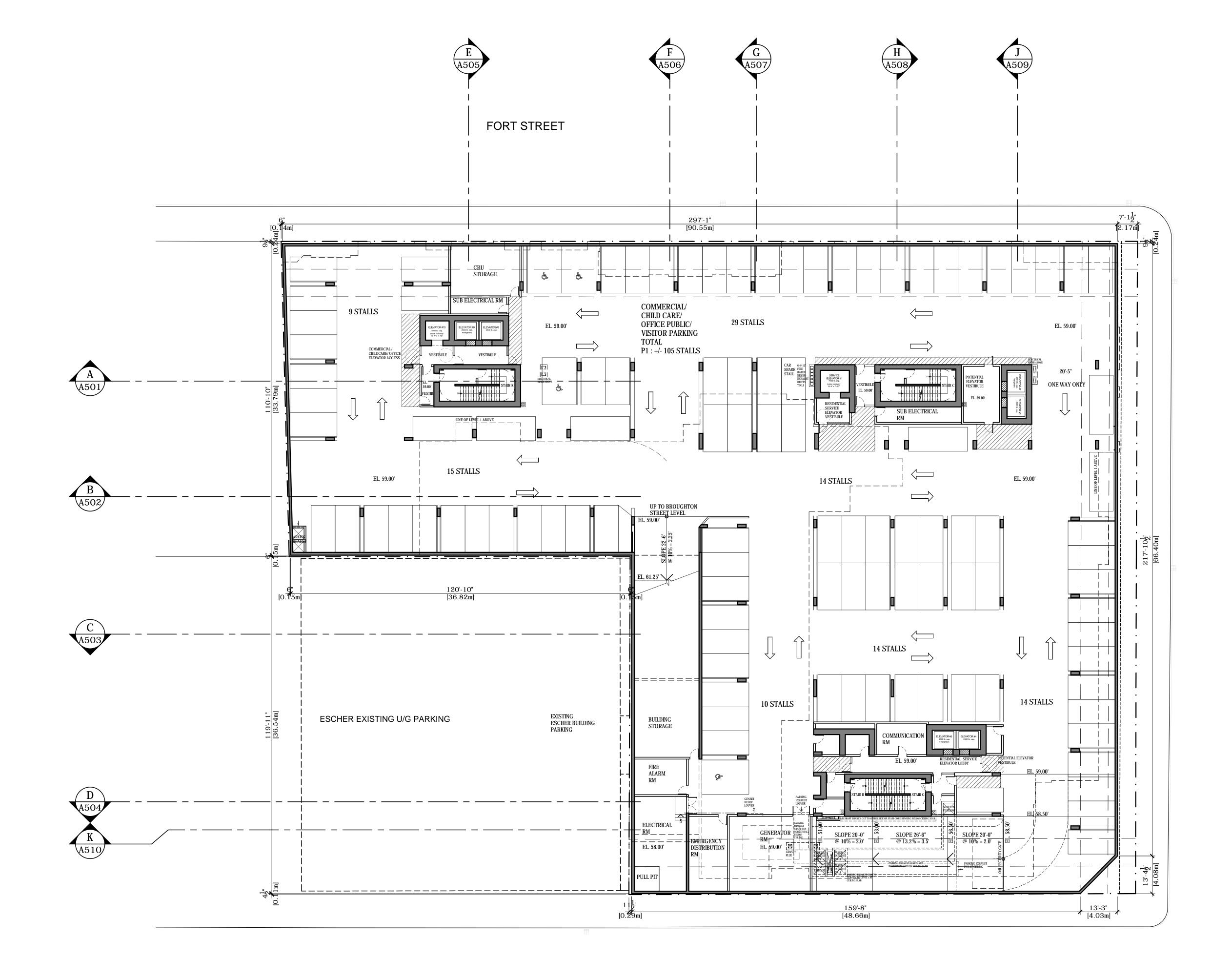
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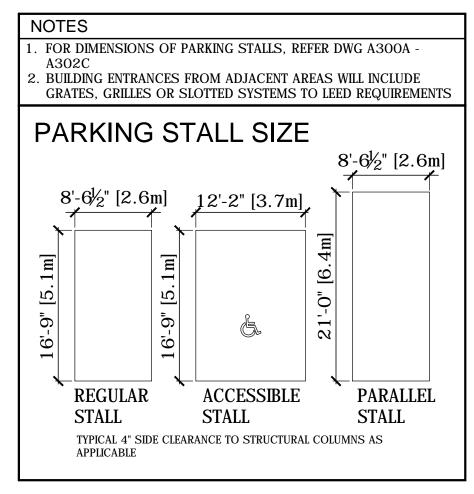


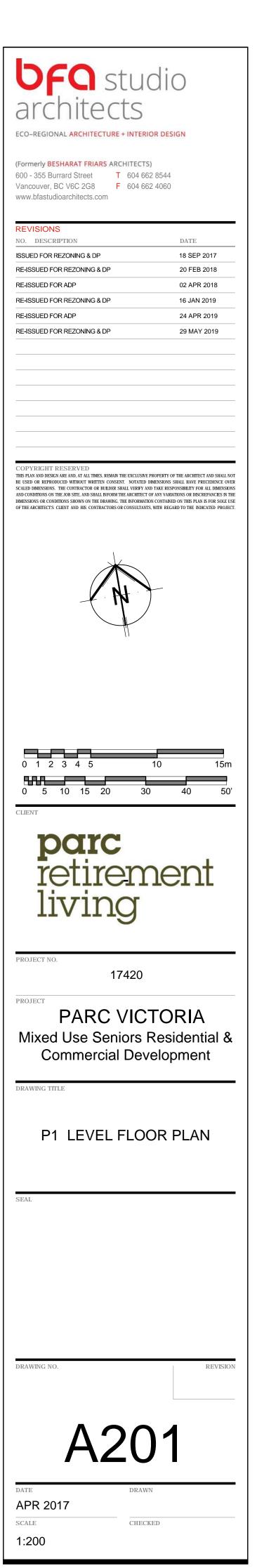


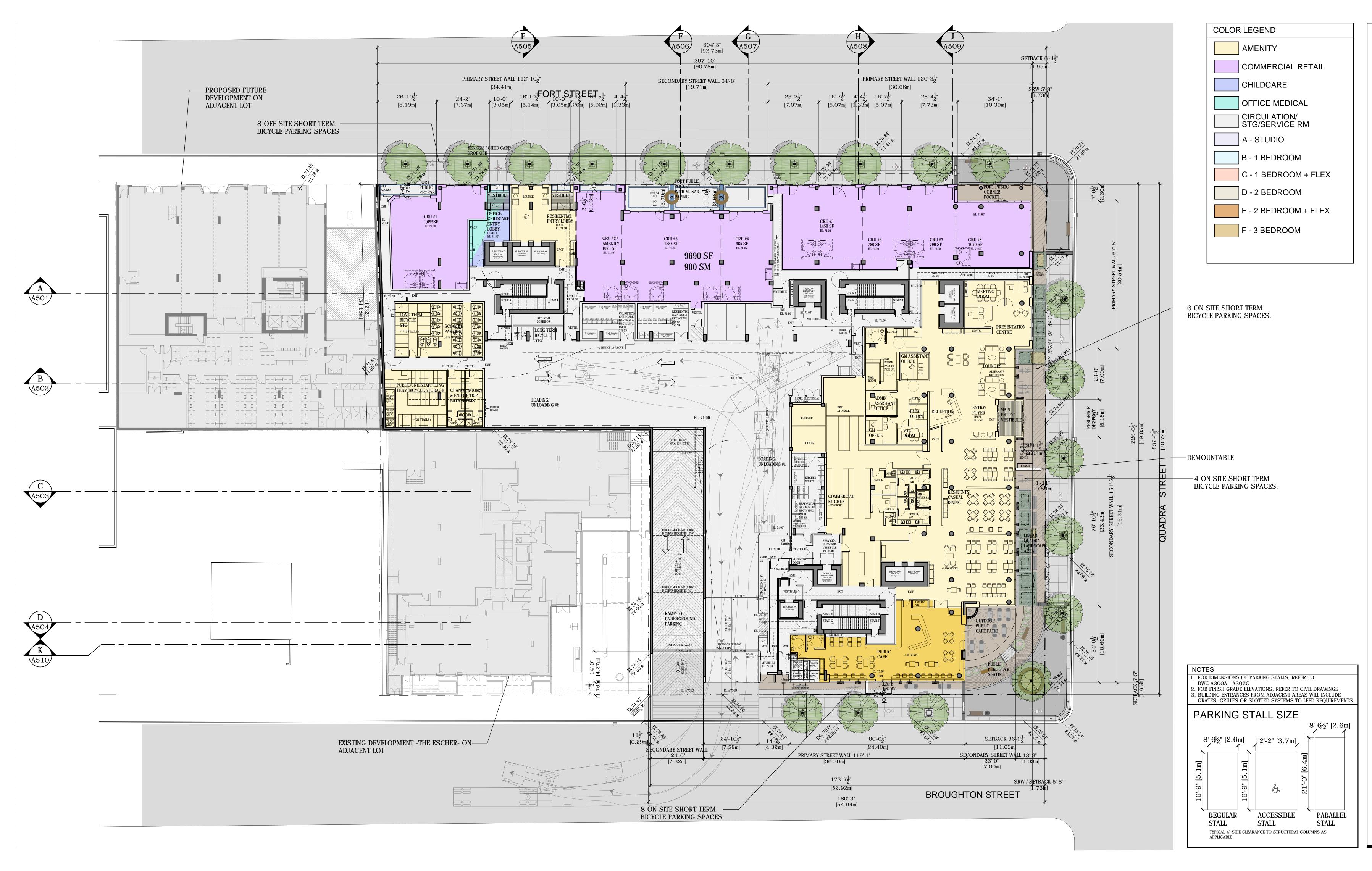
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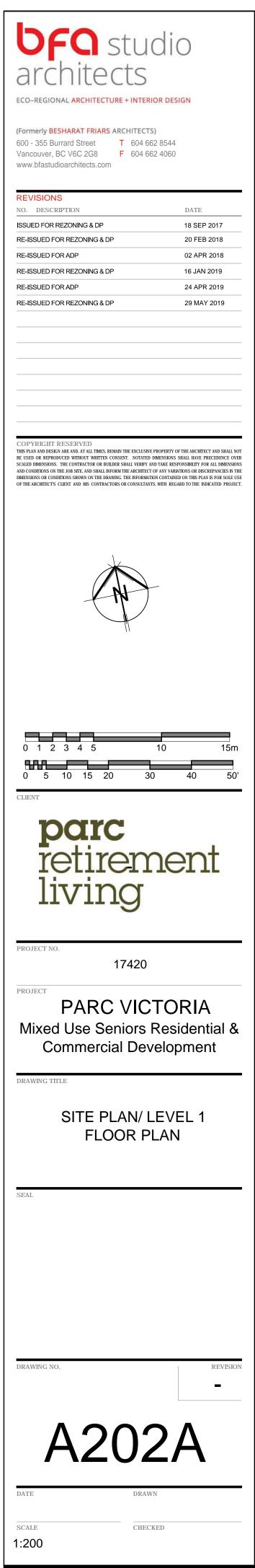
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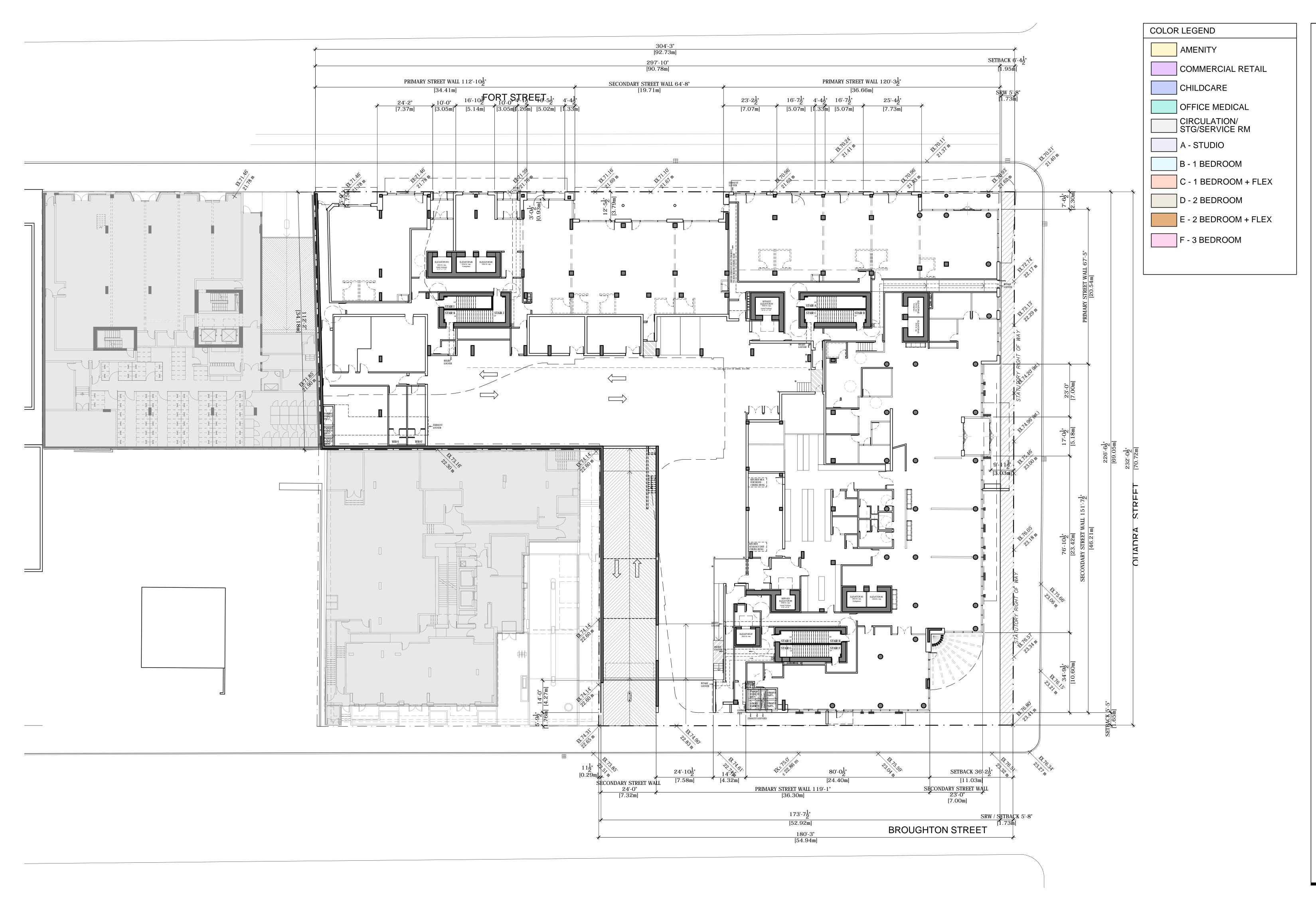


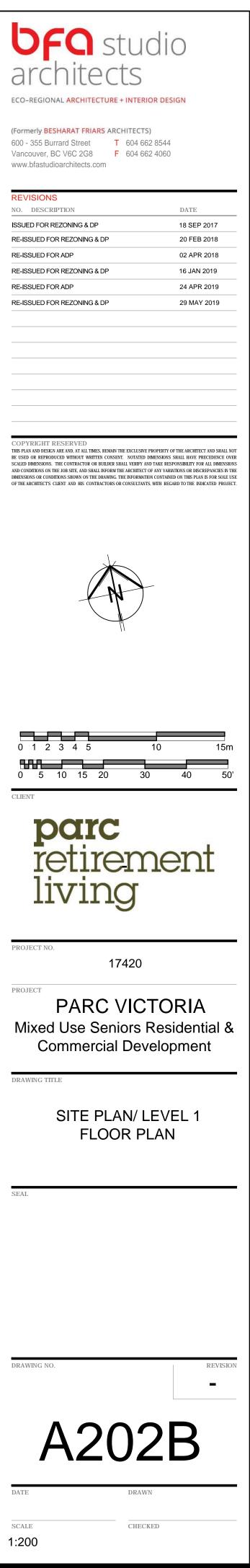


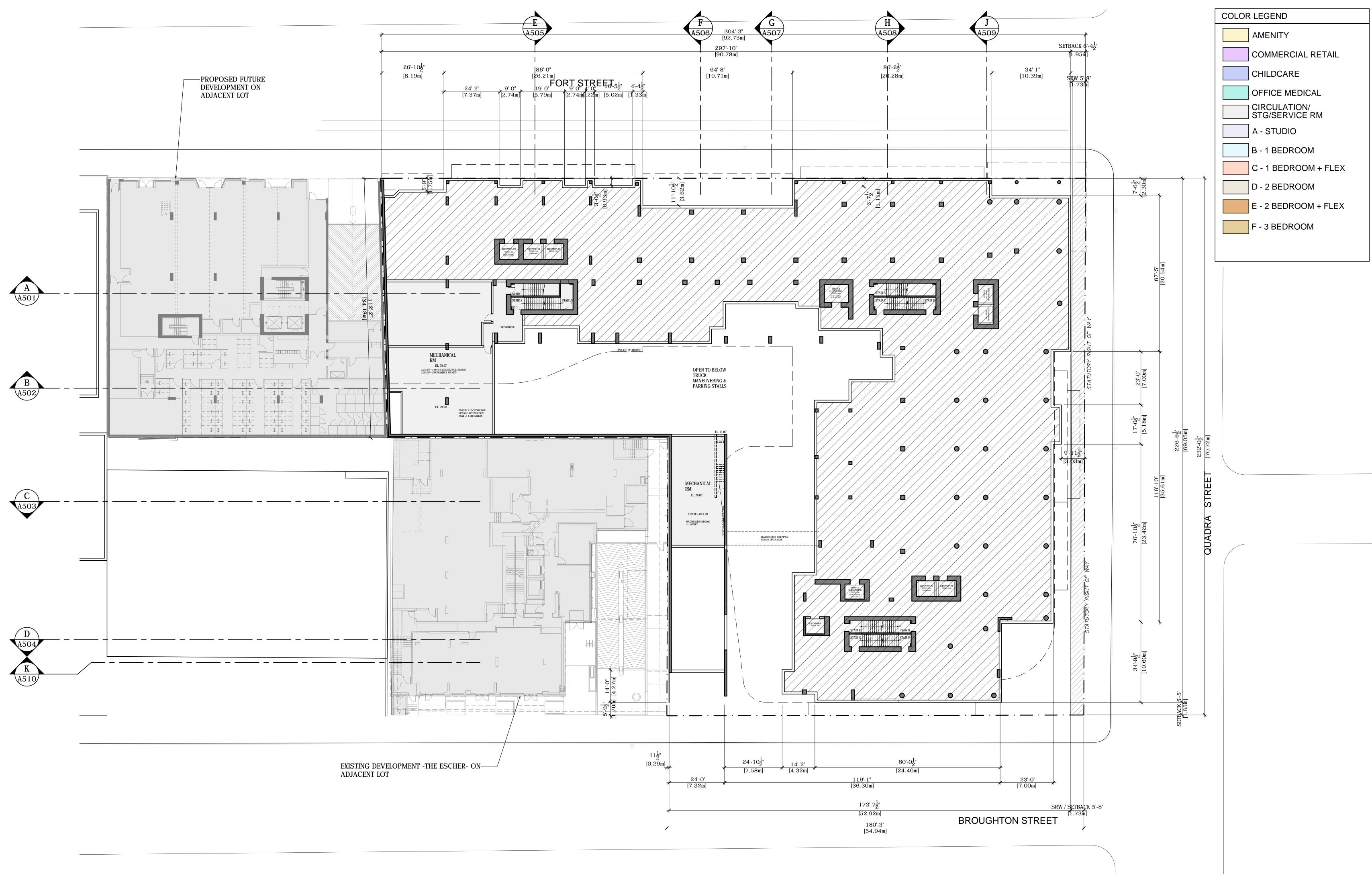




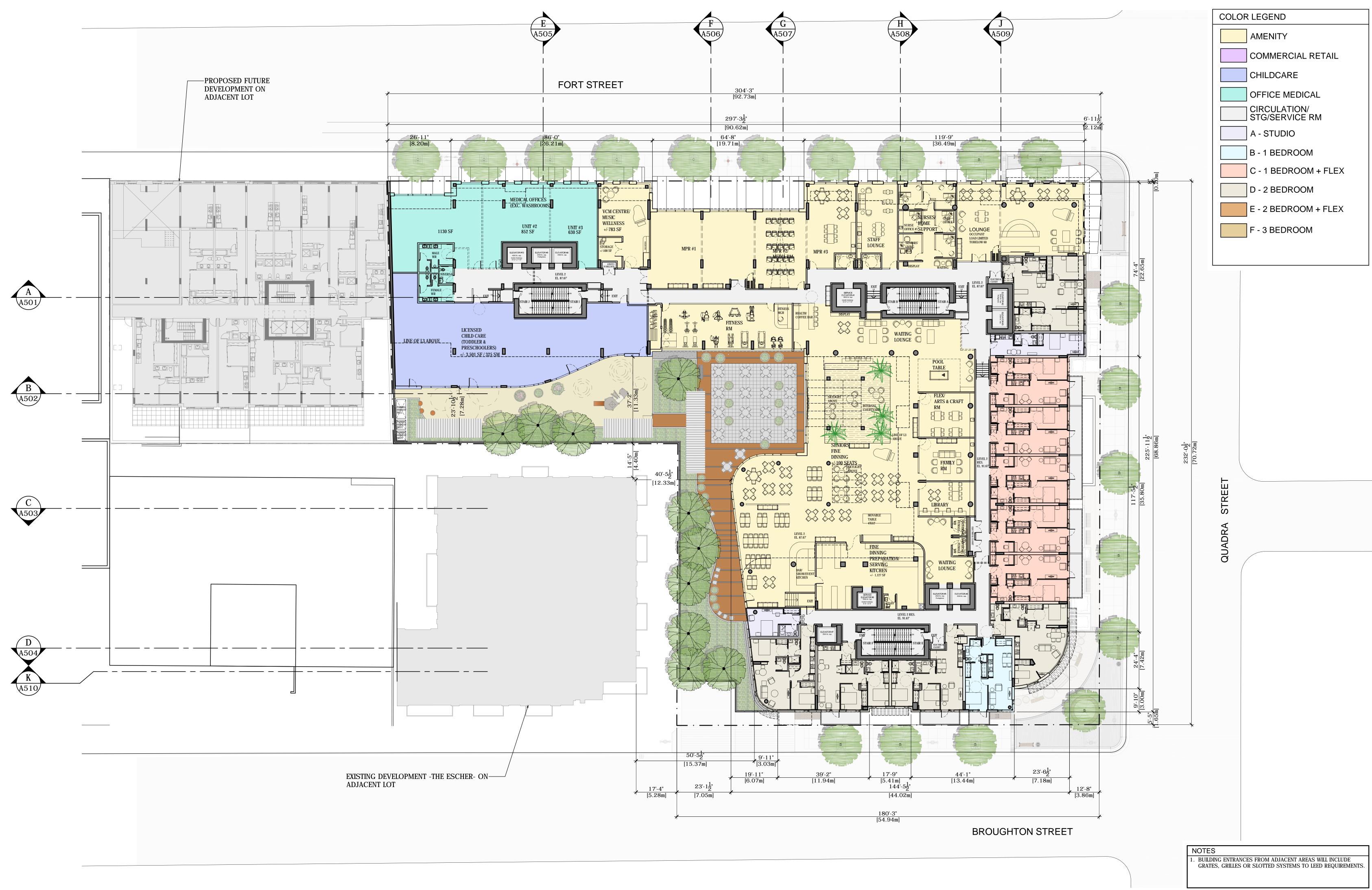


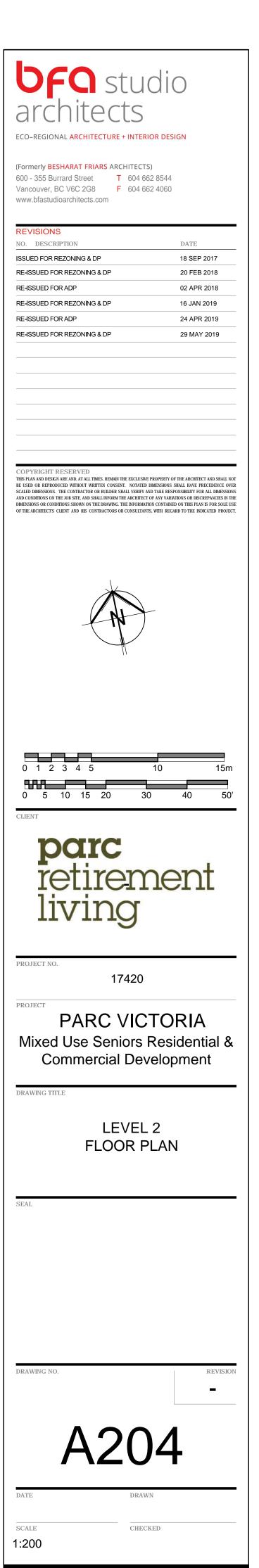




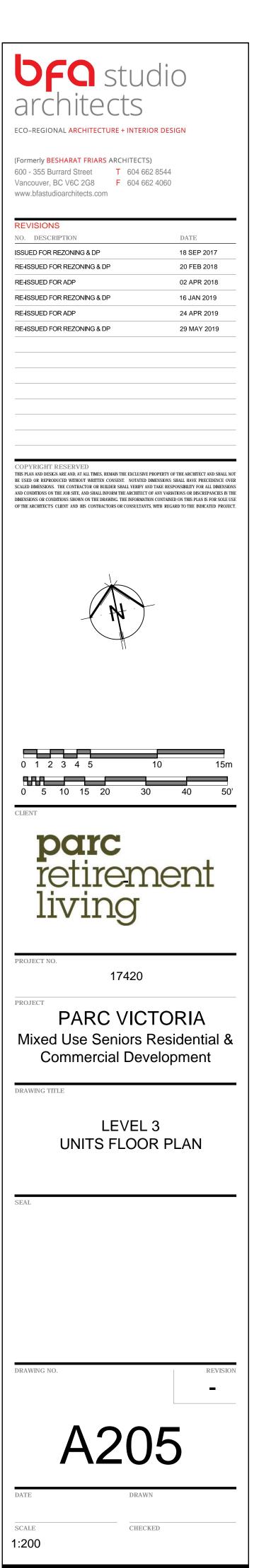


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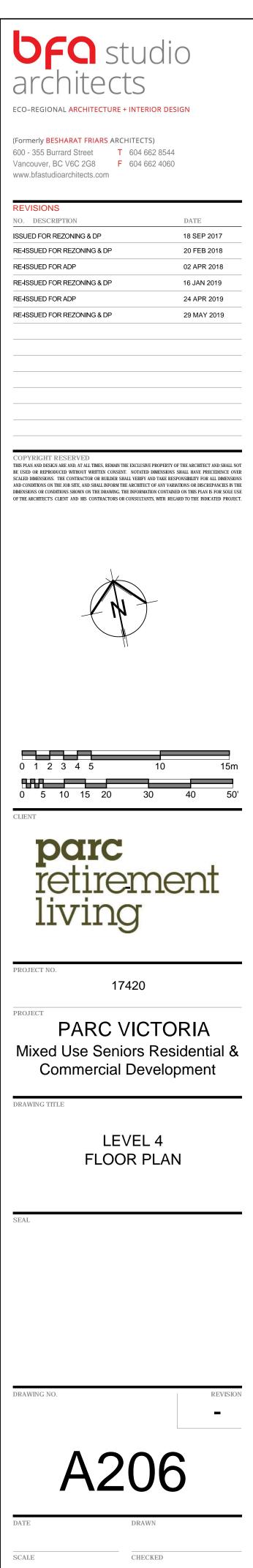






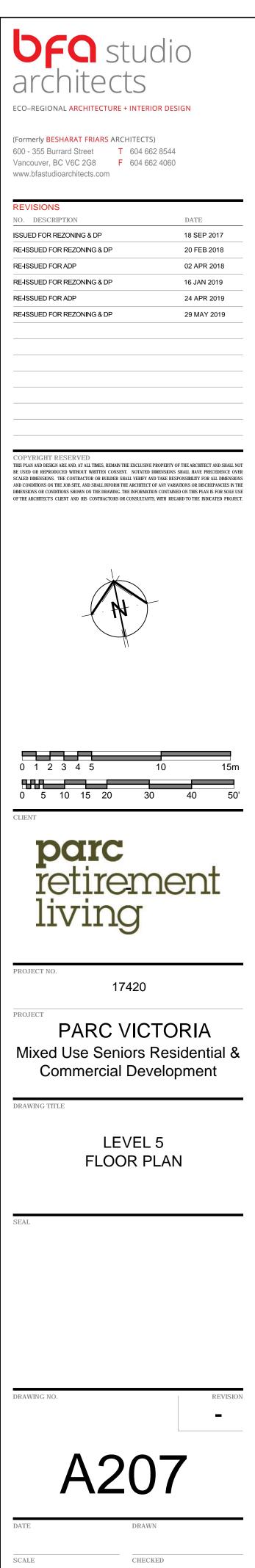






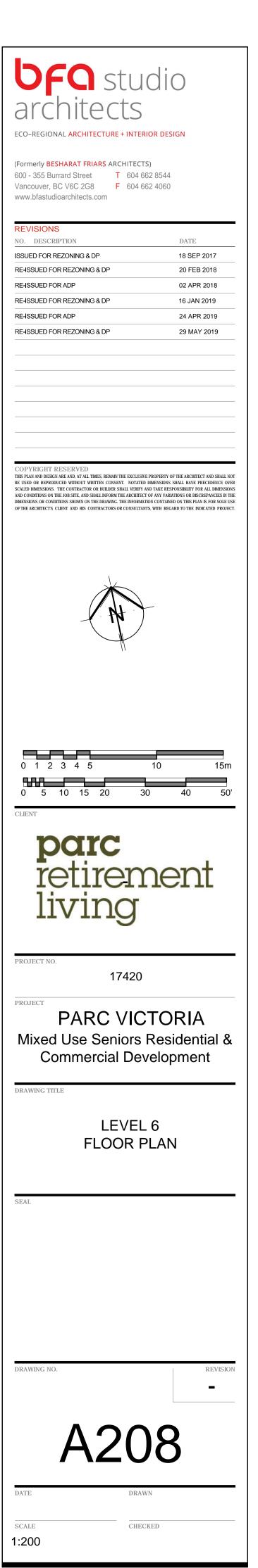
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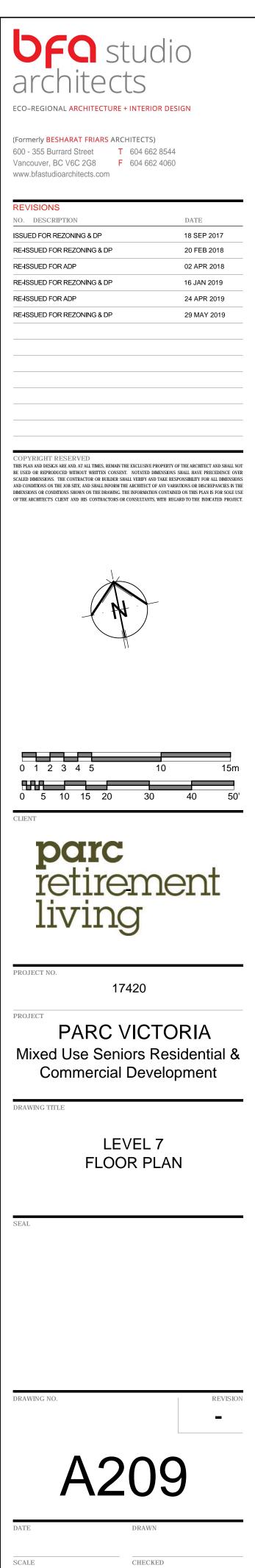


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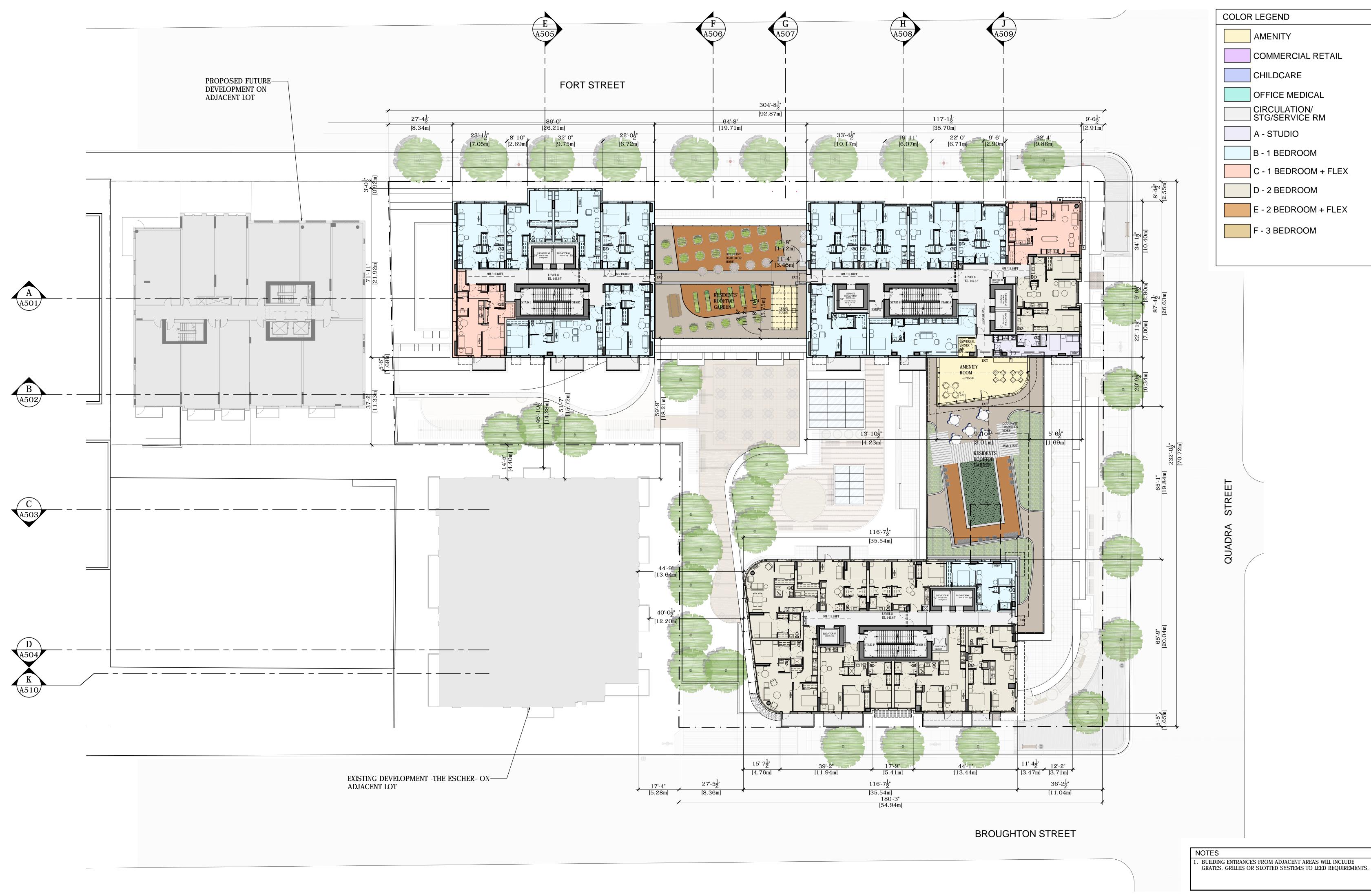


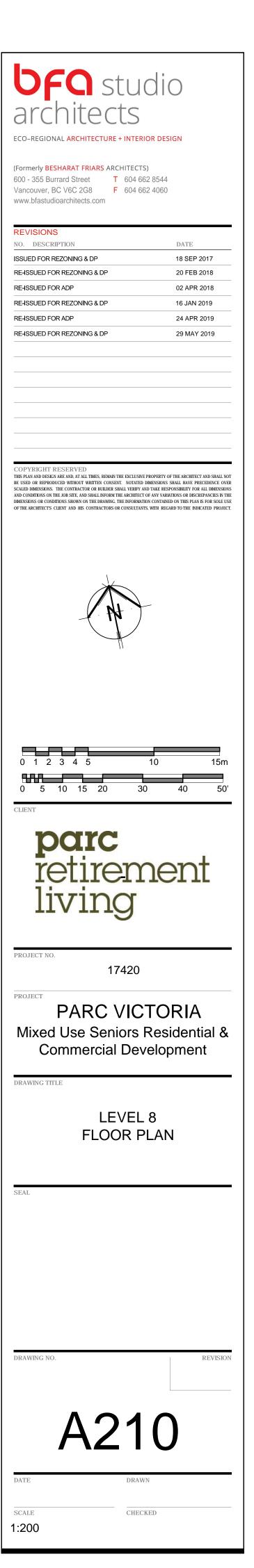




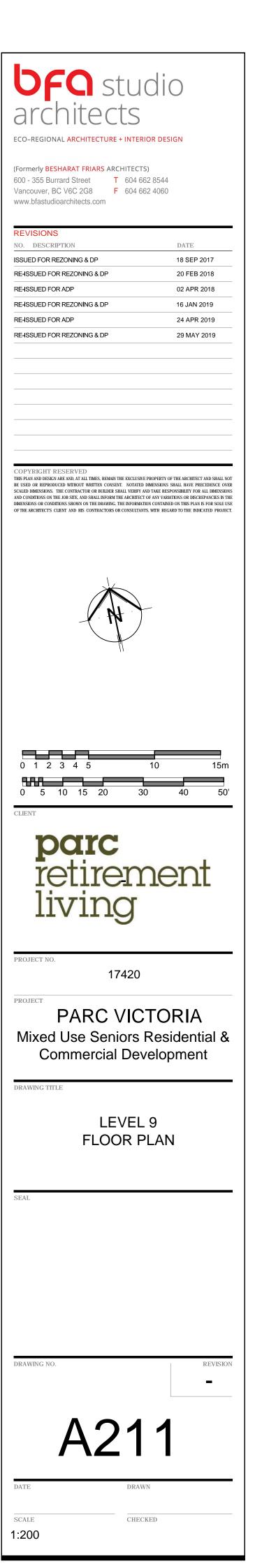


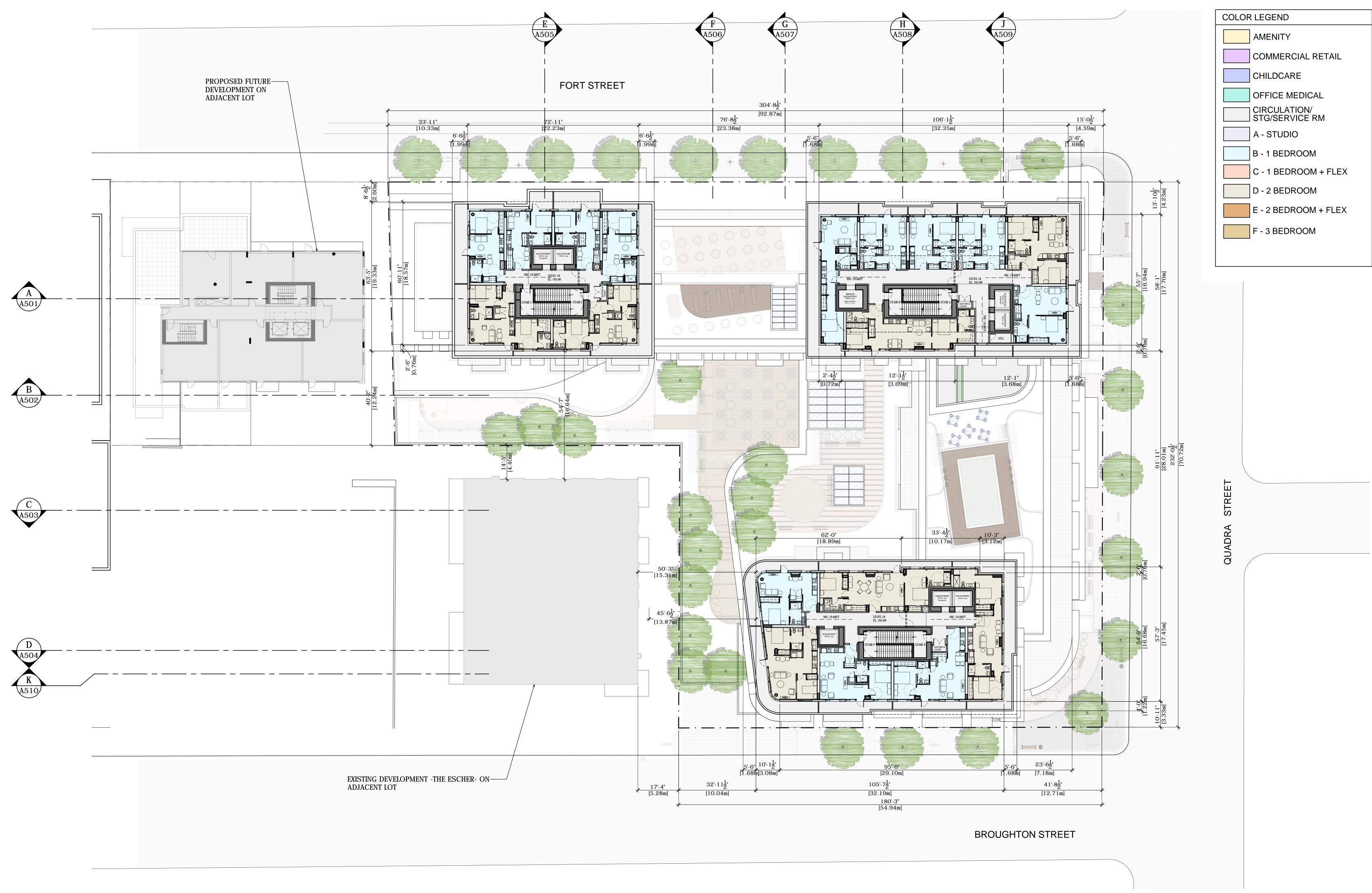
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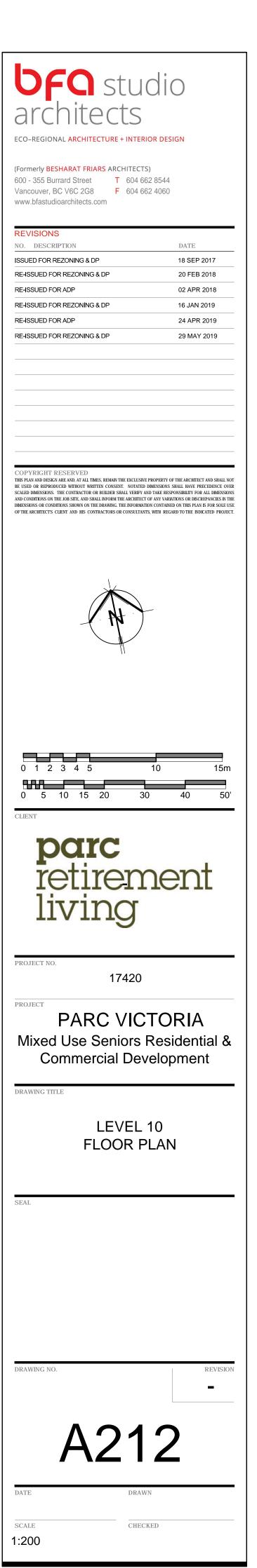


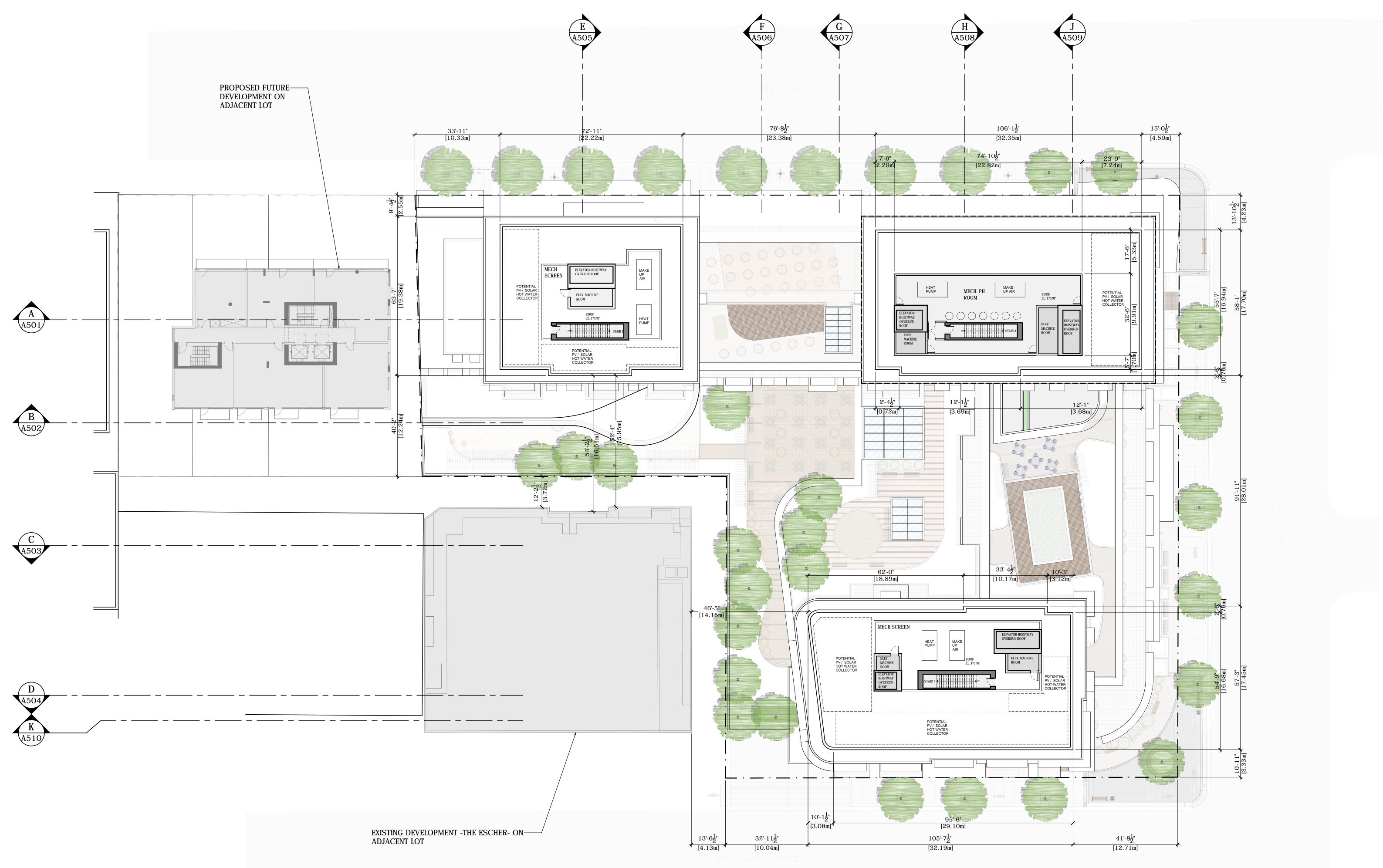






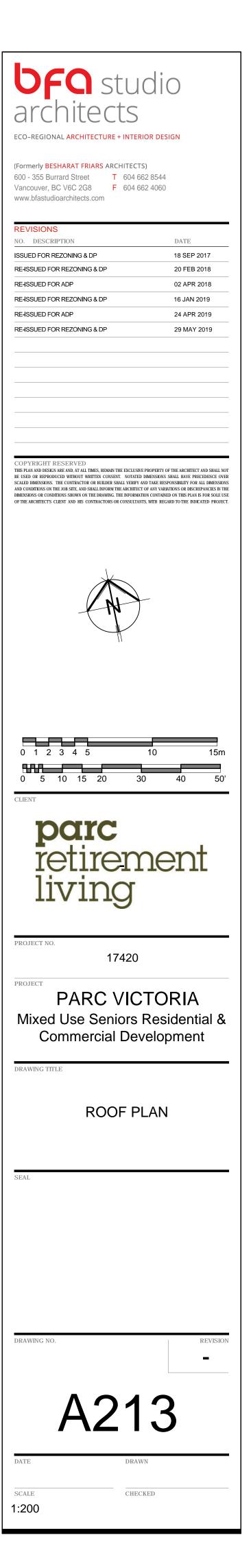


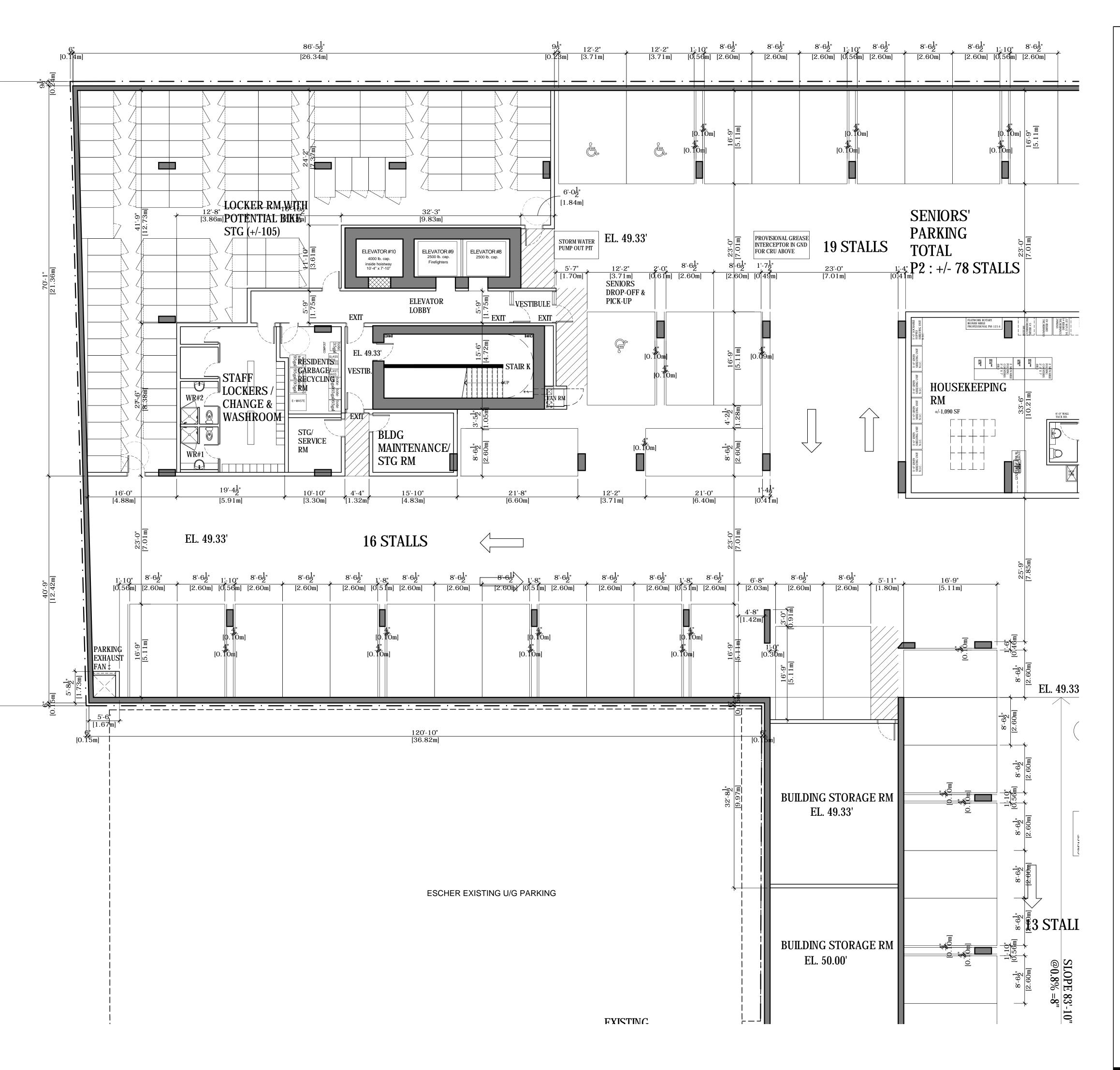


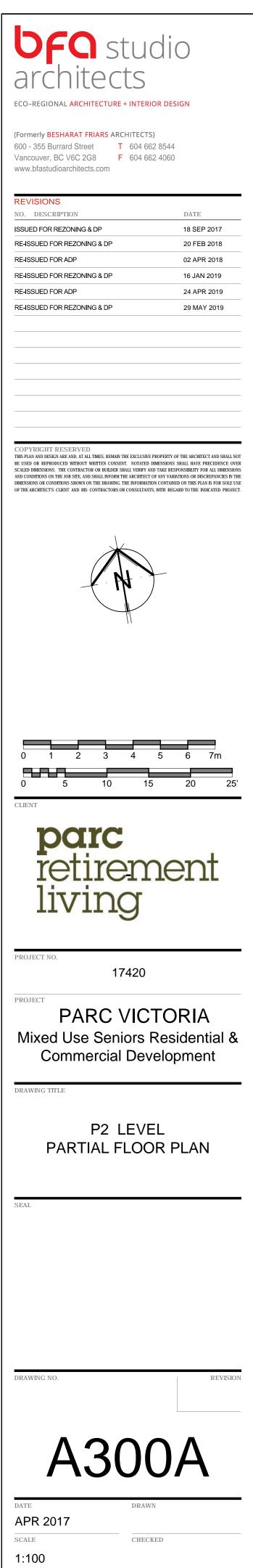


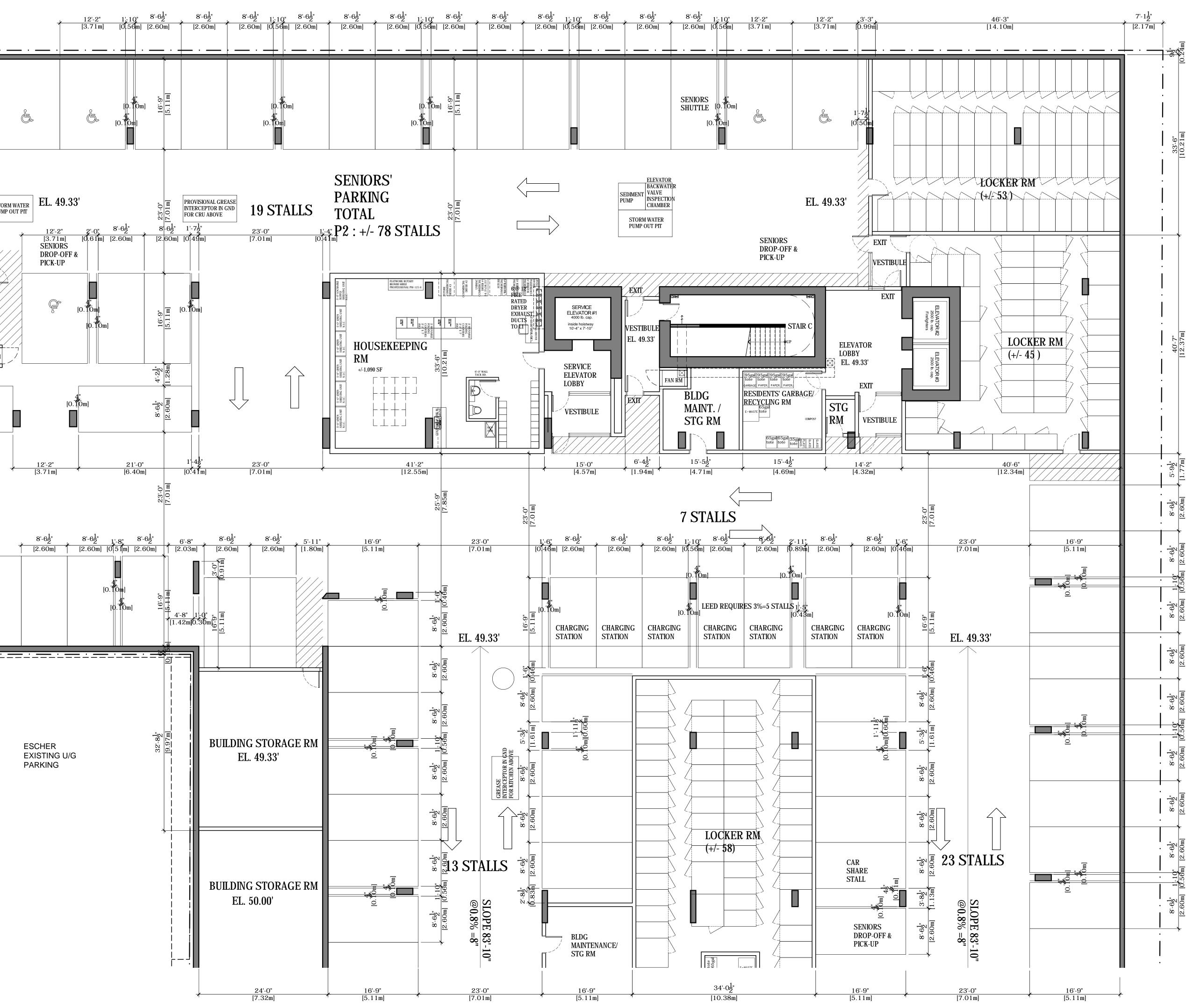
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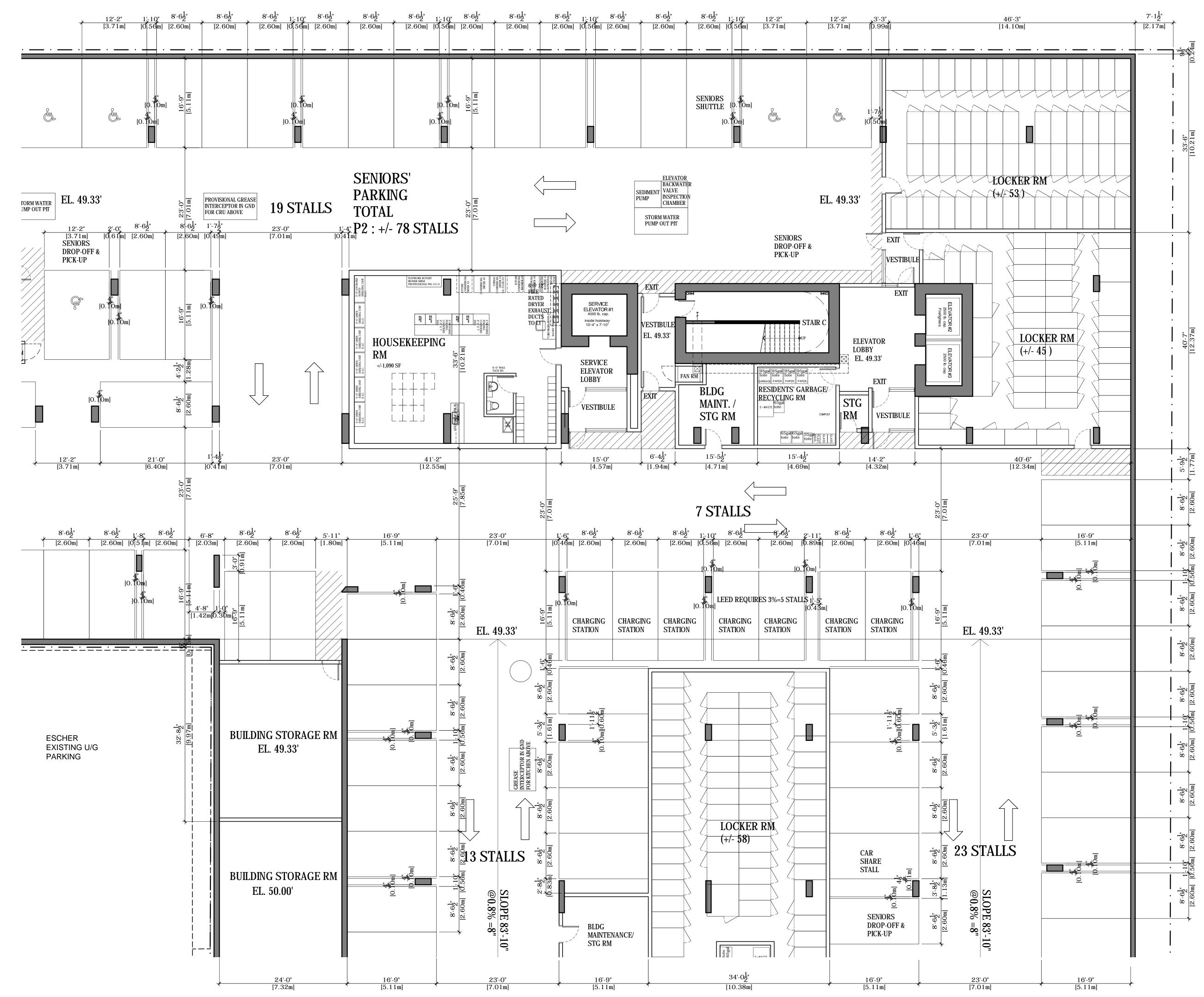
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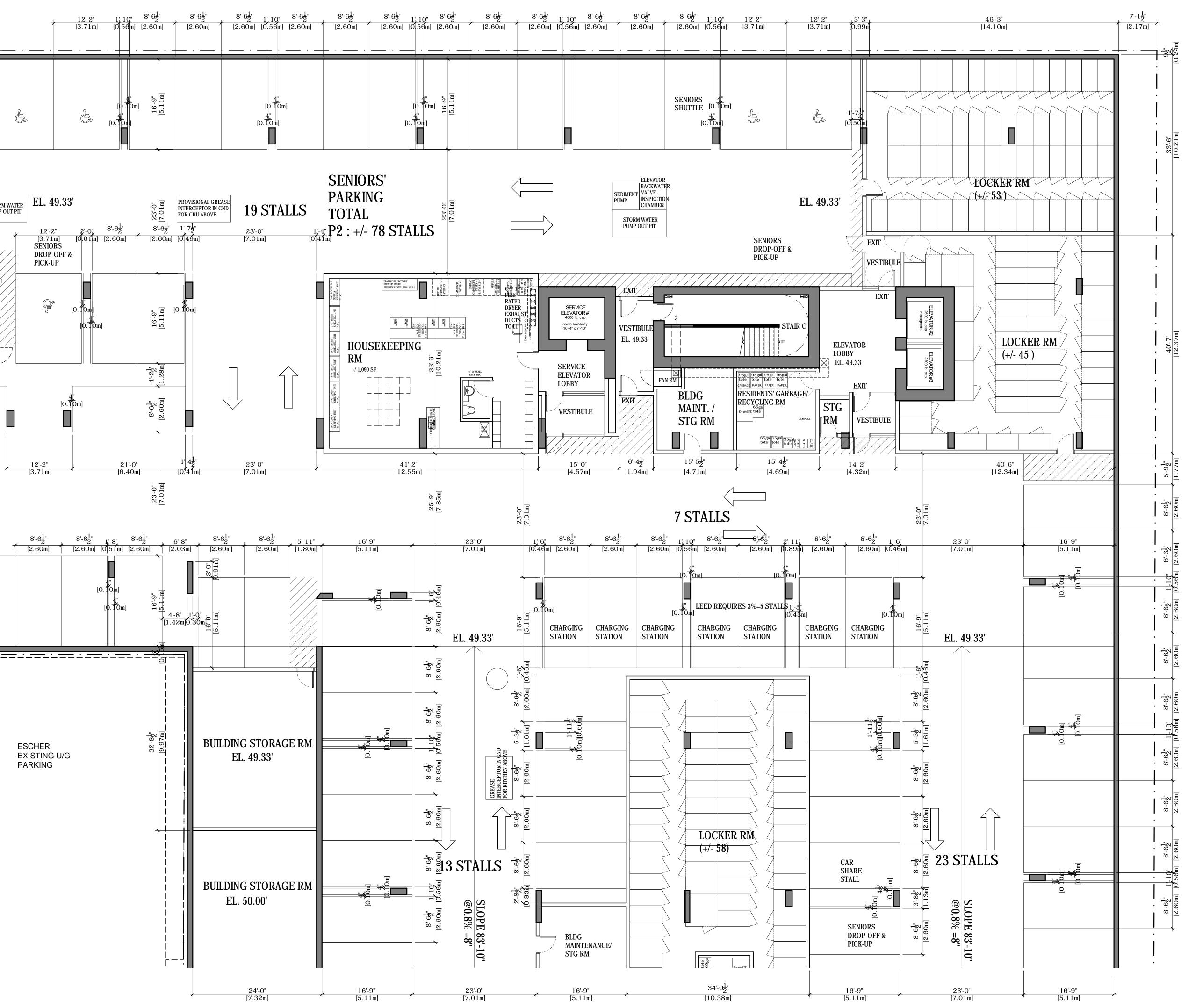


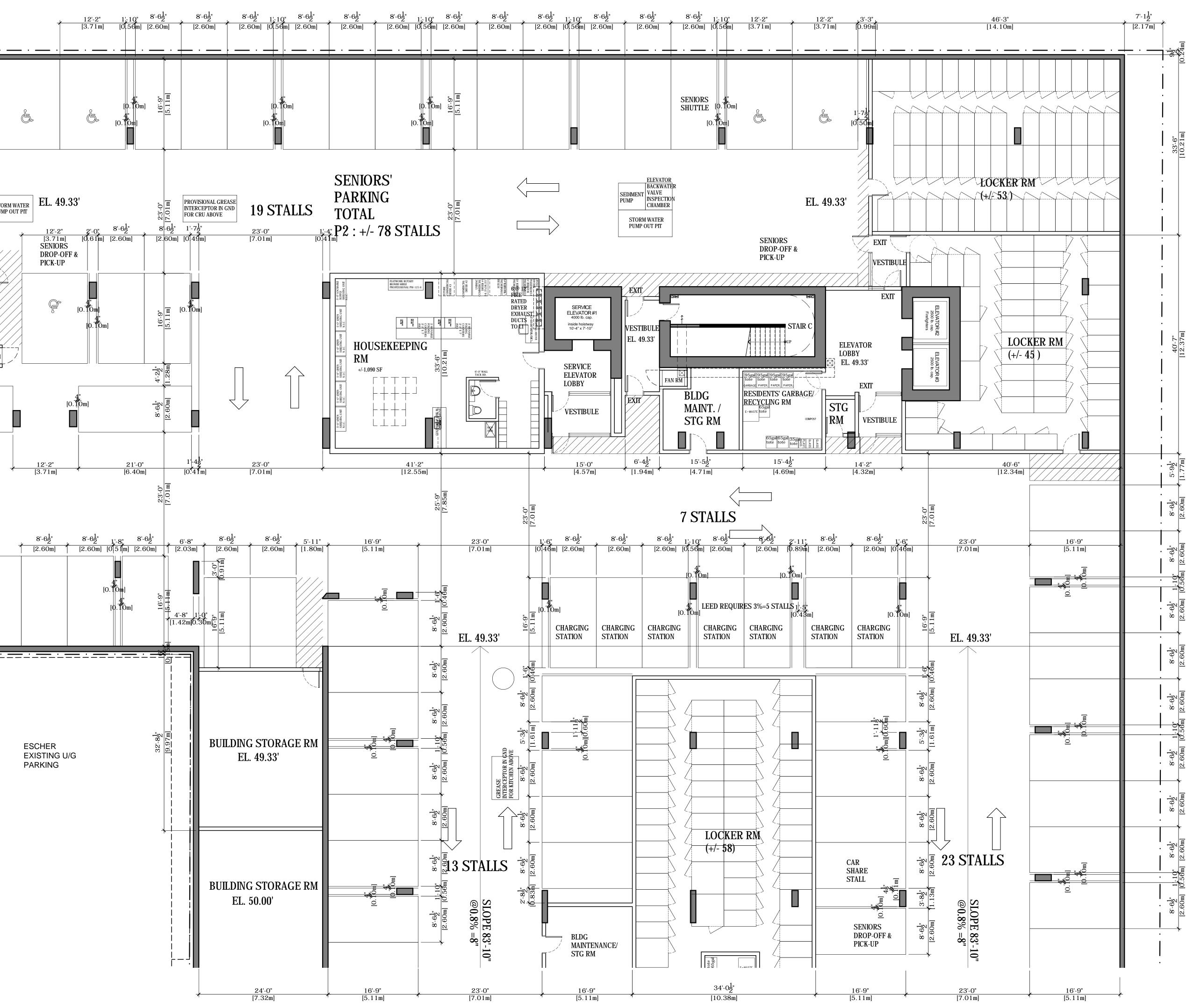


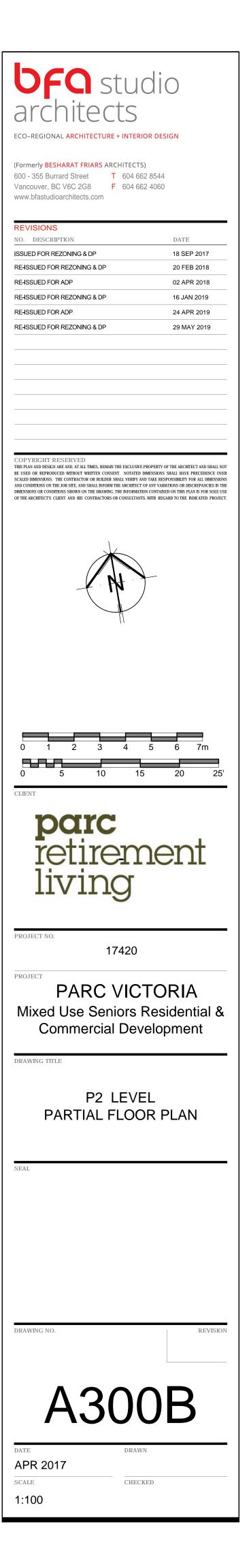


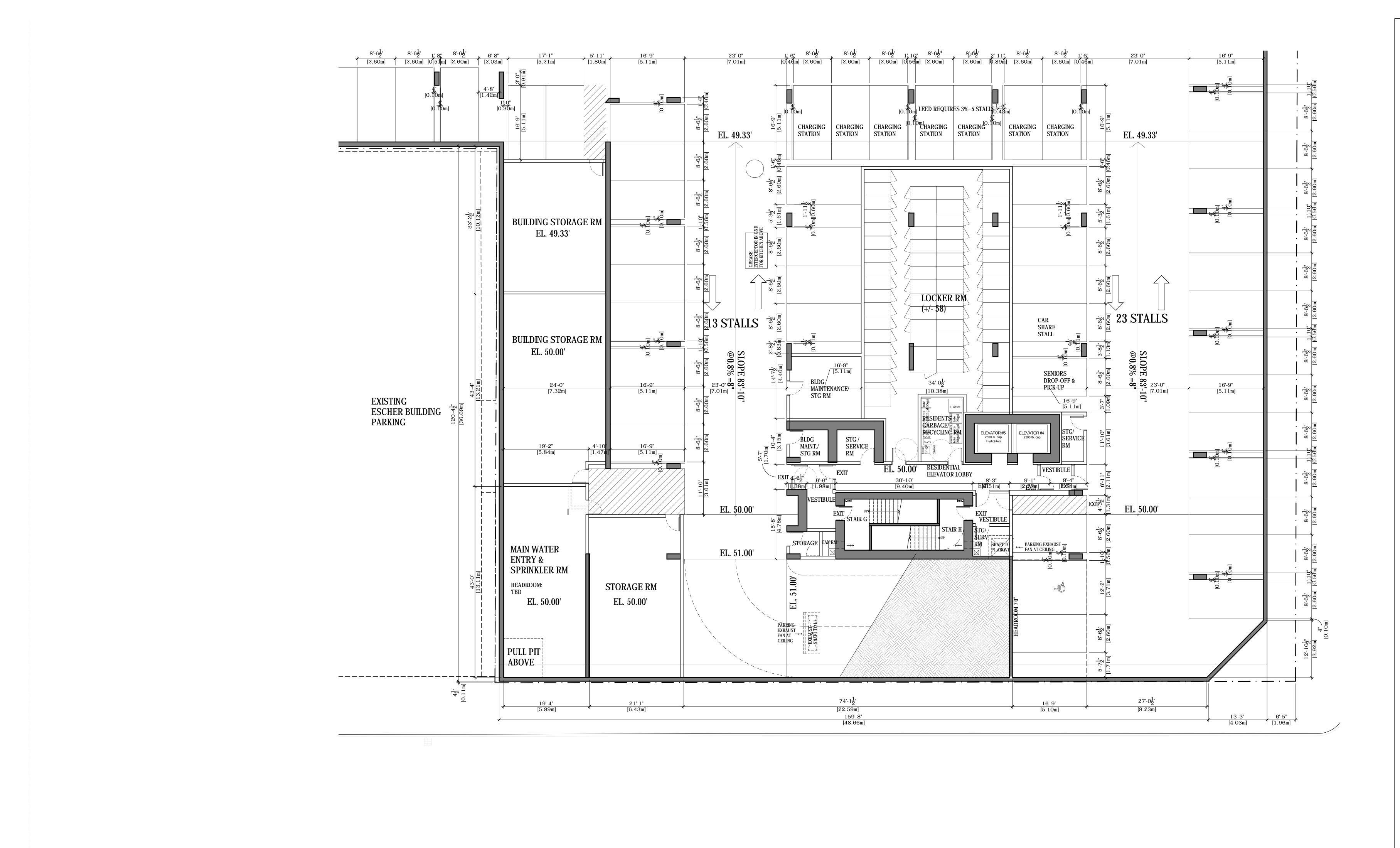


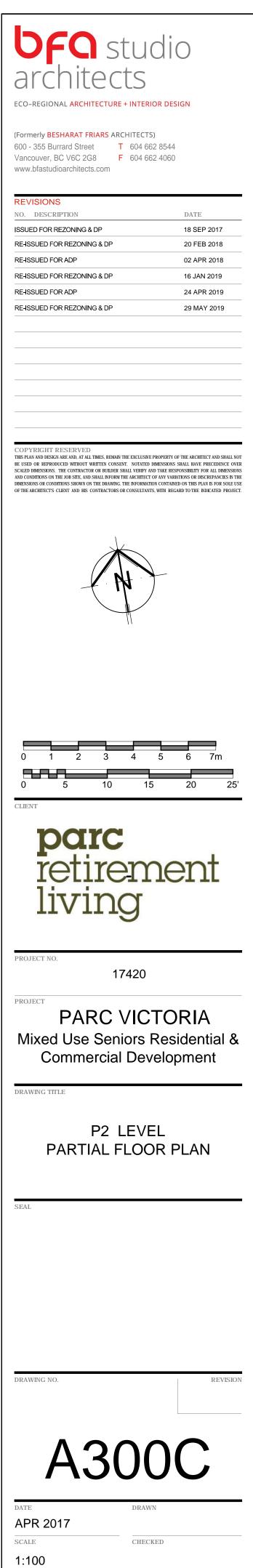


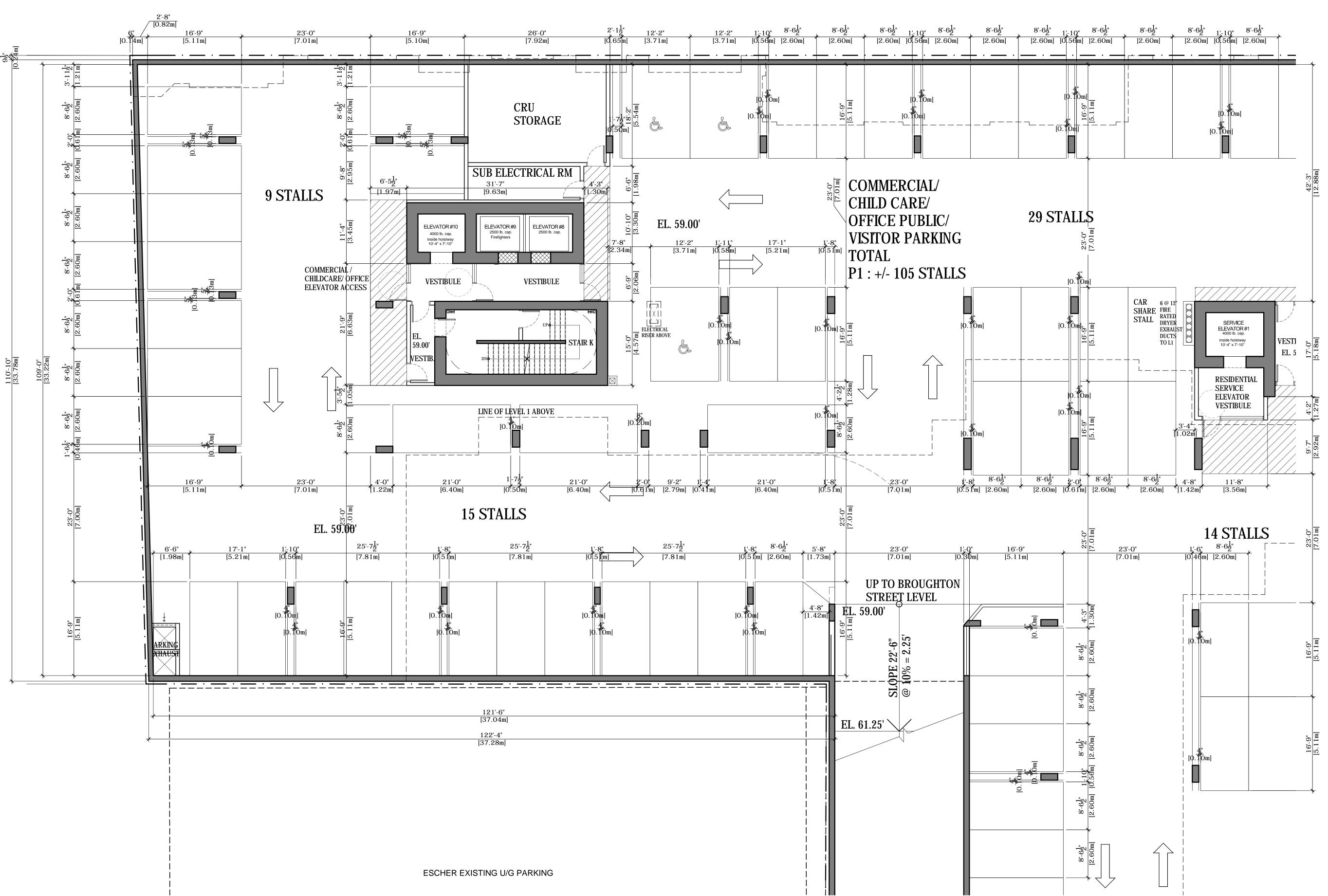


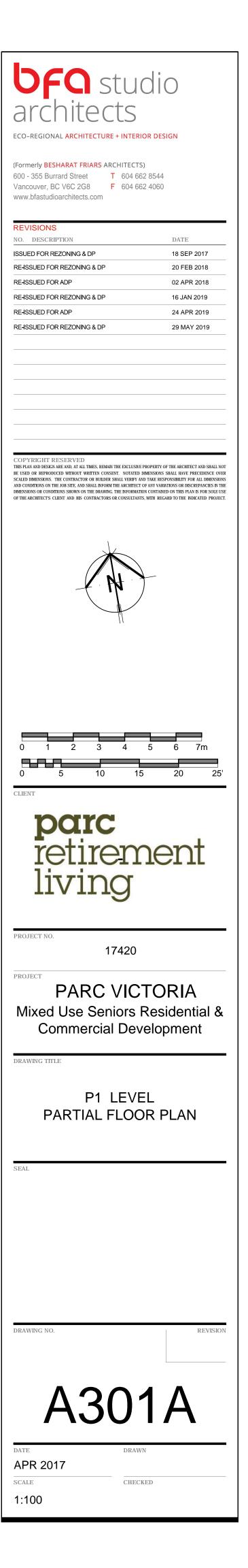


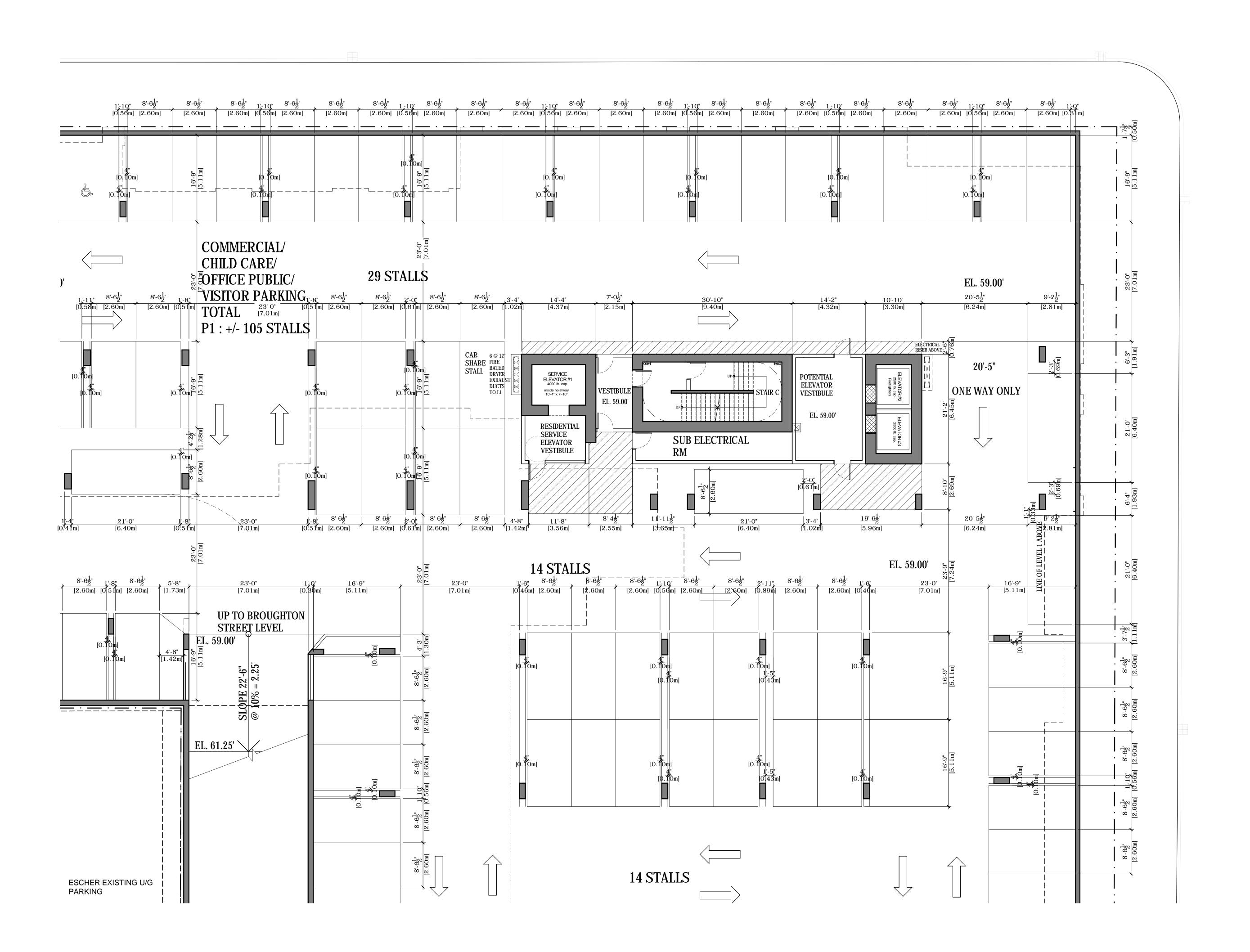


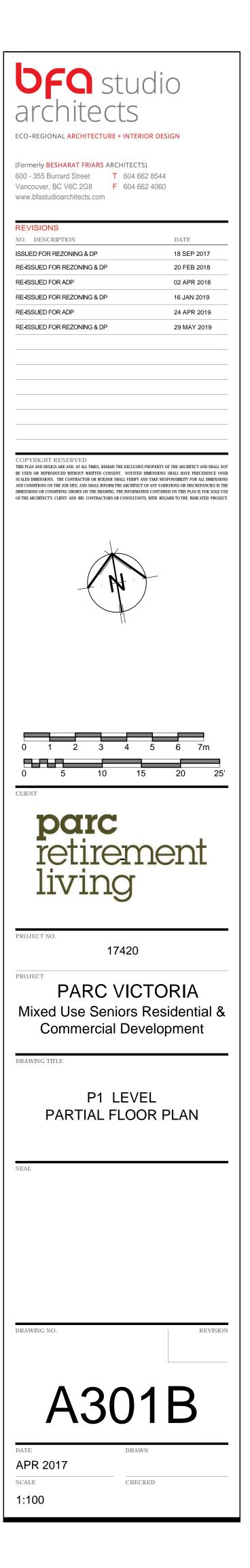


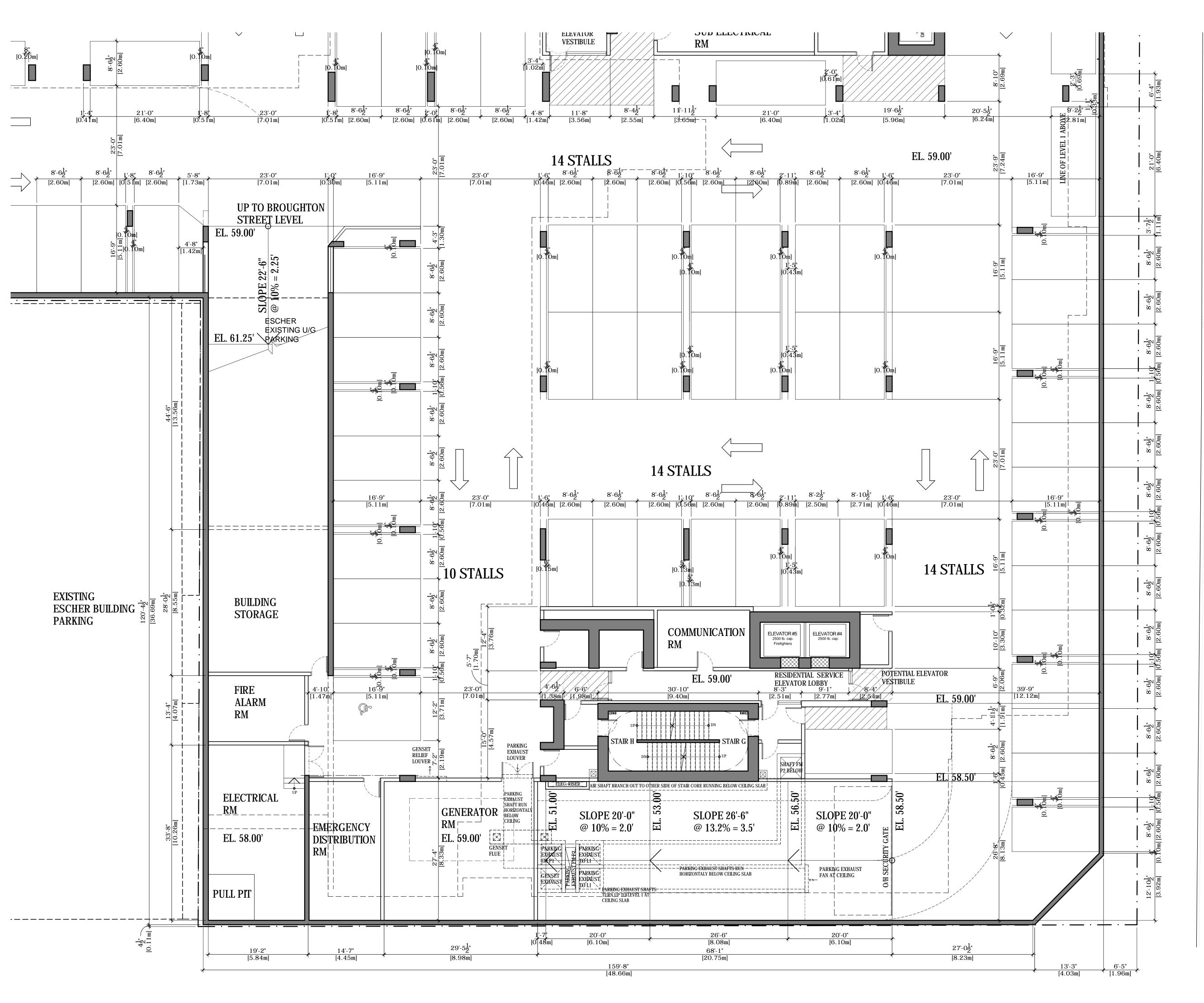






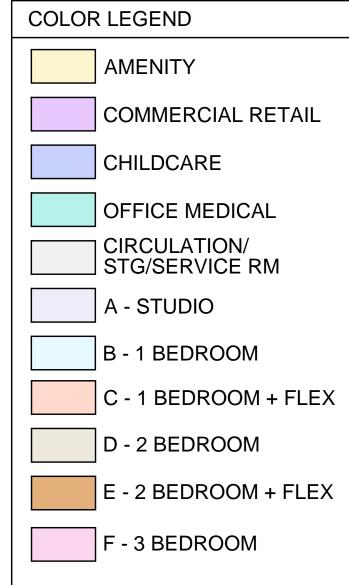


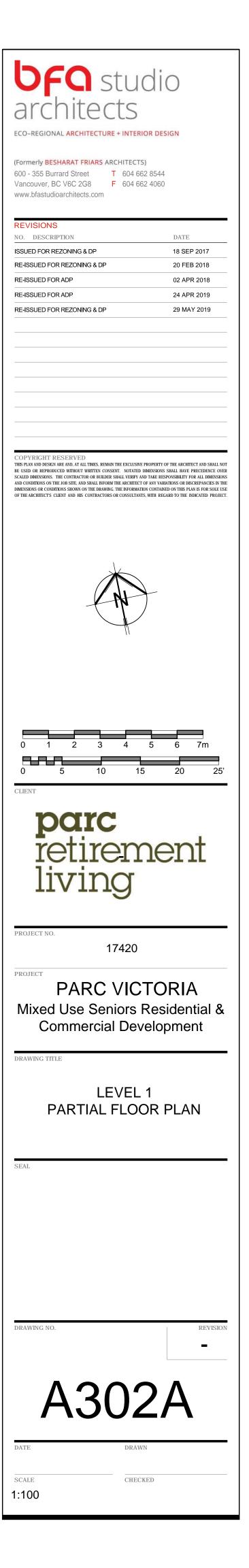


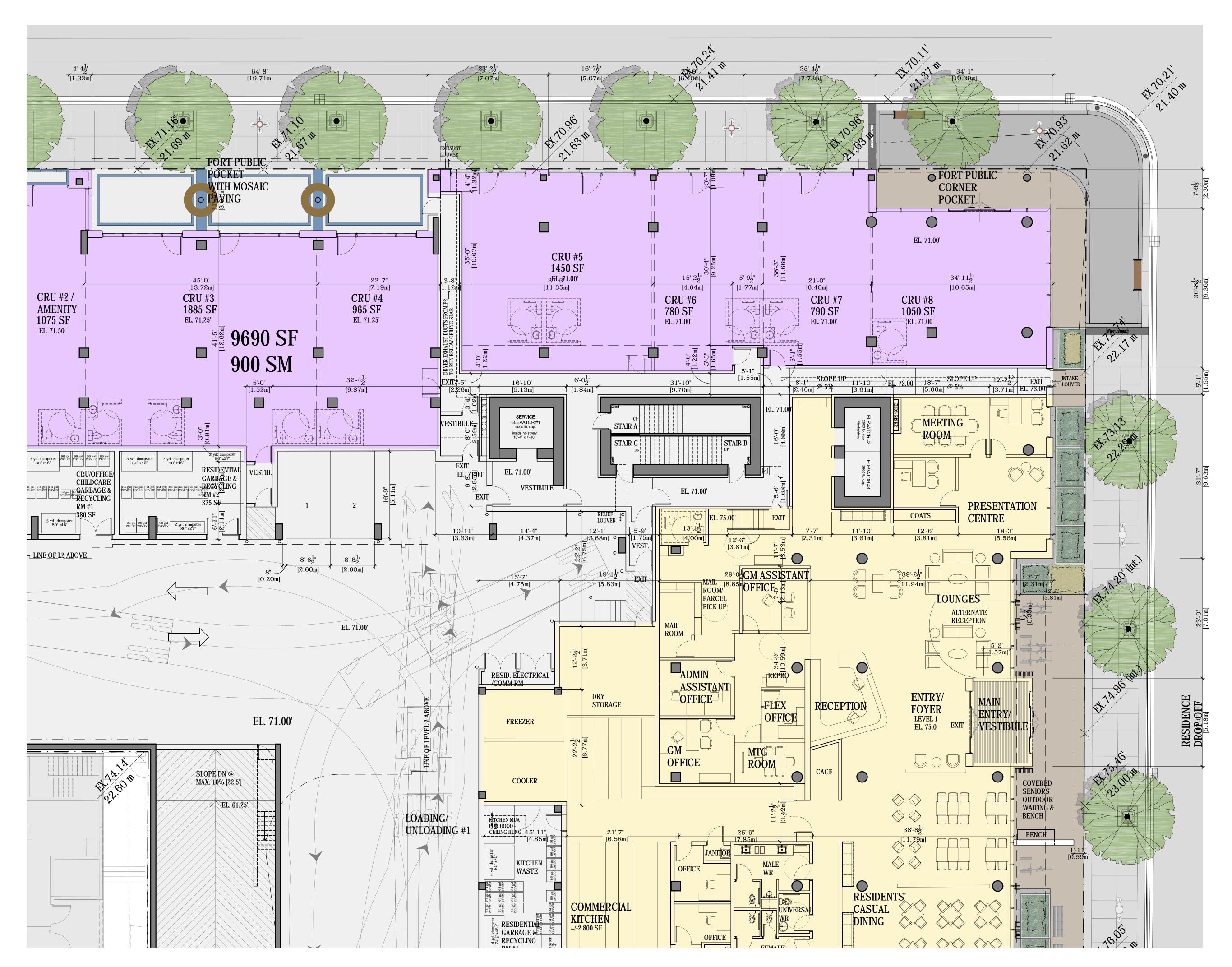


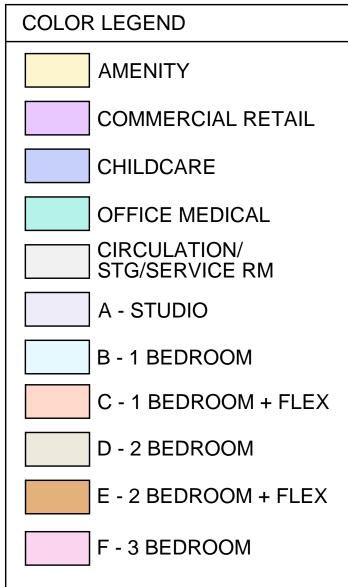
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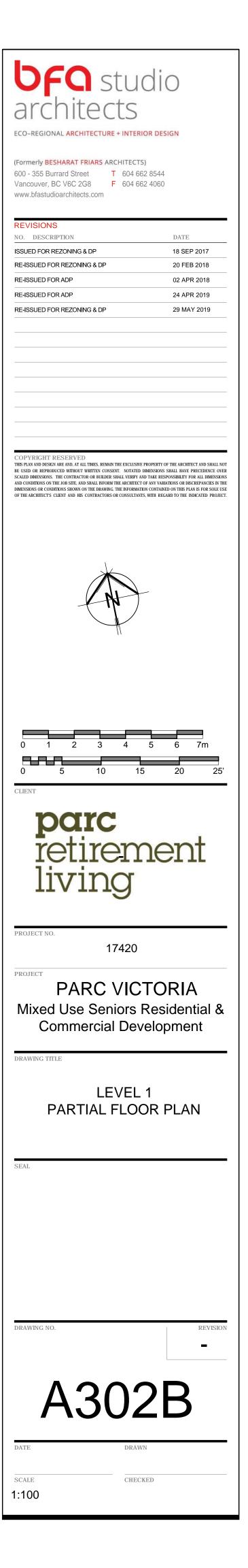


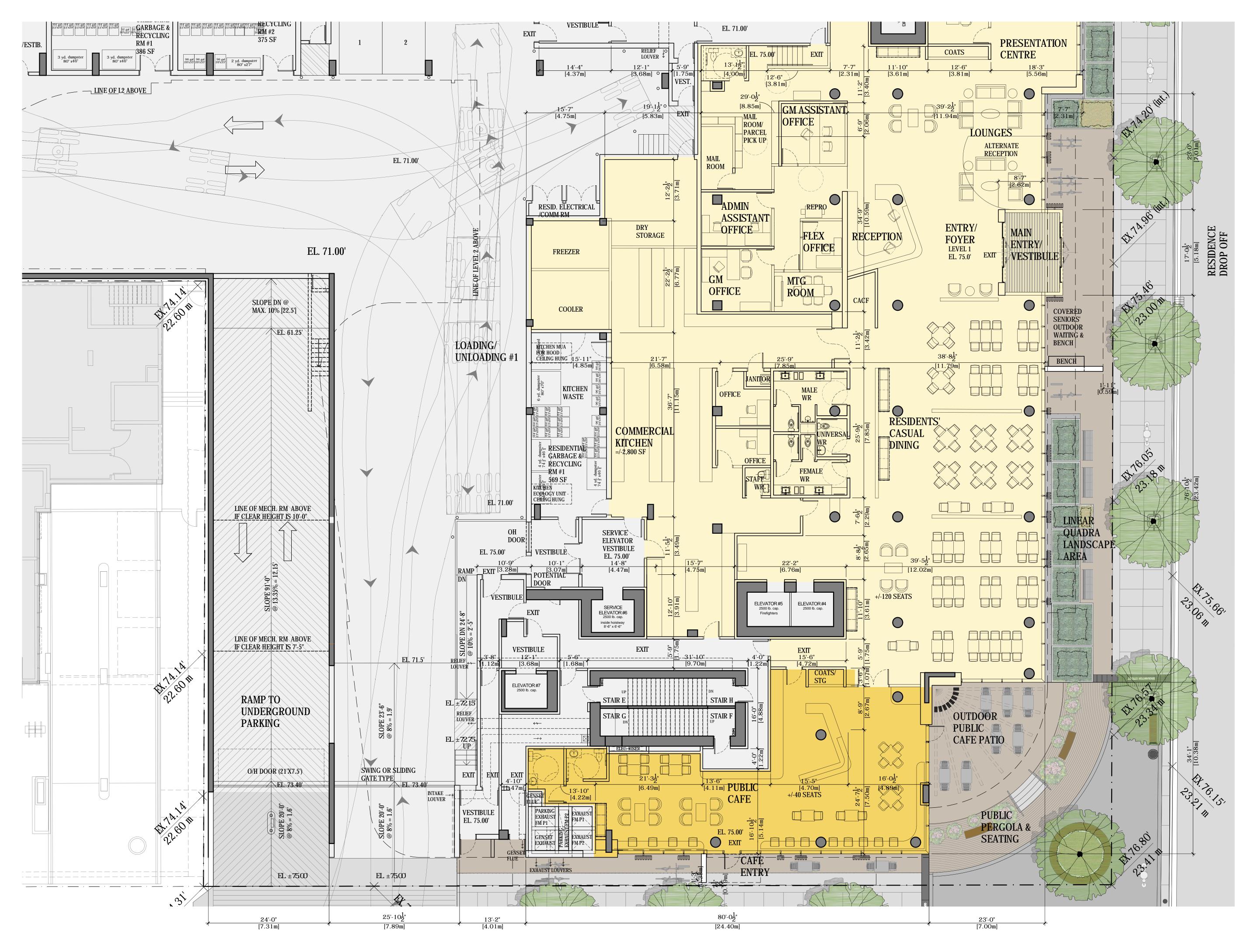


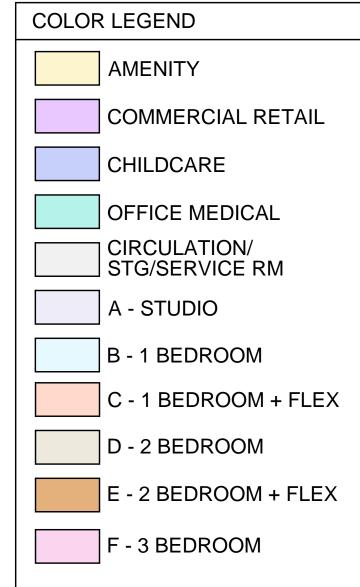


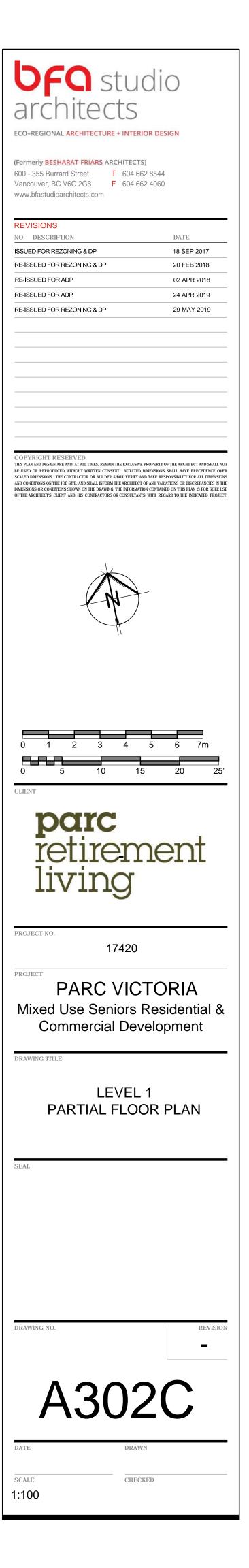






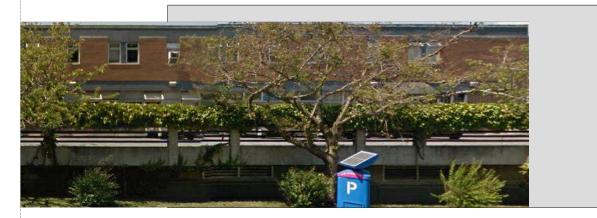








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### ELEVATION KEYNOTE LEGEND ITEM ITEM COLOUR /FINISH ITEM COLOUR /FINISH ALU-2 ALUMINUM CLADDING PANEL SYSTEM STANDARD FACE BRICK-4"X12" TO MATCH ALUCOBOND ALABASTER BRI-1 STANDARD FAC PATTERN: TBD TO MATCH HEBRON/WILD ROSE BRI-2 STANDARD FACE BRICK-4"X12" PATTERN: TBD CON-1 ARCHITECTURAL CONCRETE W/ REVEALS TO MATCH HEBRON/CHAMPAGNE GREY (PARGED FINISH) STO-1 GRANITE STONE CLADDING PATTERN: TBD CON-2 ARCHITECTURAL CONCRETE COLUMNS COLOUR: GREY GREY (PARGED FINISH) FINISH: HONED STO-2 STONE CLADDING PATTERN: TBD WHITE SLAB SIL-1 CONCRETE PRECAST SILL/HEADER GREY VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE<br/>GLAZING. REFER TO WINDOW SCHEDULEFRAME: TO MATCH EUROLINE QUARZGRAU SFTN<br/>GLASS: TBDGPS-1SAFETY GLASS PRIVACY SCREEN TO MATCH "ROSE" OR SIMILAR TER-1 TERRA COTTA - TR2 WIN-1 MATT FINISH ALUMINUM WINDOW FRAME W/ DOUBLE OR FRAME: CLEAR ANODIZED ALUMINUM OR TO MATCH "TITANIUM GREY" OR SIMILAR TER-2 TERRA COTTA - TH2 WIN-2 TRIPLE GLAZING; REFER TO WINDOW SCHEDULE MATCH WIN-1. GLASS: TBD MATT FINISH ALUMINUM WINDOW FRAME W/ DOUBLE OR FRAME: DARK GREY ANODIZED ALUMINUM OR MULTI COLOUR - WHITE, MEDIUM & DARK GREY MOS-1 EXTERIOR TYPE MOSAIC TILE WIN-3 ALUMINUM WINDOW FRAME W/ DOUBLE OR FRAME: DARK GREY ANODIZE. TRIPLE GLAZING; REFER TO WINDOW SCHEDULE MATCH WIN-1. GLASS: TBD ALU-1 ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE

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BLACK OR DARK GREY

TRANSPARENT STAIN

TRANSPARENT STAIN

FRAME: ALUMINUM TO MATCH WINDOW FRAMES

GLASS: TEMPERED TRANSLUCENT GLASS

COLOR: NATURAL STAIN EXTERIOR TYPE

COLOR: NATURAL STAIN EXTERIOR TYPE

ITEM

CAN-1 METAL FRAMED CANOPY W/ GLASS

OHG-1 ALUMINUM OVERHEAD GARAGE DOOR

LOU-2 METAL SCREEN SYSTEM - ROOFTOP

ADR-1 ALUMINUM FRAME DOOR W/ GLAZING UNIT

CAN-2 FRAMED FABRIC CANOPY

LOU-1 ALUMINUM WALL LOUVERS

SIG-1 SIGNAGE

COLOUR /FINISH

FRAME: NA

COLOR: NA

COLOR: RUST

OR CLADDING

COLOUR: LIGHT GREY

BY SIGNAGE CONSULTANT

GLASS: CLEAR LAMINATED

FRAME: TOO MATCH WINDOW FRAMES

FRAME: ALUMINUM POWDER COATED

FRAME: TO MATCH WINDOW FRAMES GLASS: TBD

COLOUR TO MATCH ADJACENT WINDOW FRAMES

METAL PATTERN: ALUMINUM POWDER COATED

GUA-2 METAL BALCONY GUARD

WOD-1 ENGINEERED WOOD

WOD-2 EXTERIOR WOOD PATTERN SOFFIT

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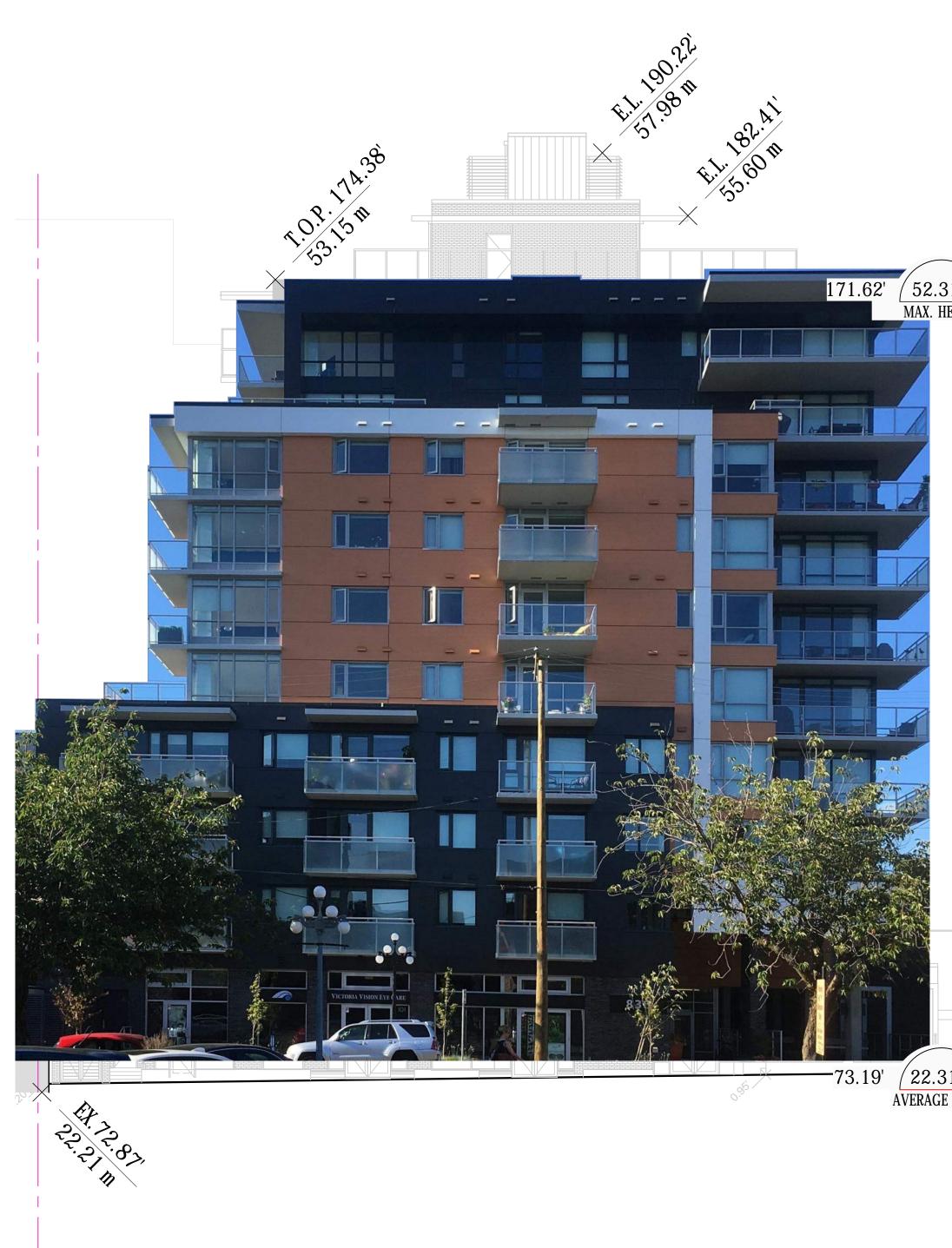
### ELEVATION KEYNOTE LEGEND

ITEM	COLOUR /FINISH	ПЕМ	COLOUR /FINISH	ITEM
BRI-1 STANDARD FACE BRICK-4"X12" PATTERN: TBD	TO MATCH HEBRON/WILD ROSE	ALU-2 ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER	CWL-1 ALUMINUM CURTAIN WALL GLAZING; REFER TO WINDO
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STO-1 GRANITE STONE CLADDING PATTERN: TBD	COLOUR: GREY FINISH: HONED	CON-2 ARCHITECTURAL CONCRETE COLUMNS	GREY (PARGED FINISH)	GUA-1 SAFETY GLASS BALCON
STO-2 STONE CLADDING PATTERN: TBD	WHITE SLAB	SIL-1 CONCRETE PRECAST SILL/HEADER	GREY	GUA-2 METAL BALCONY GUARD
TER-1 TERRA COTTA - TR2	TO MATCH "ROSE" OR SIMILAR MATT FINISH	WIN-1 VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING. REFER TO WINDOW SCHEDULE	FRAME: TO MATCH EUROLINE QUARZGRAU SFTN GLASS: TBD	GPS-1 SAFETY GLASS PRIVACY
TER-2 TERRA COTTA - TH2	TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH	WIN-2 ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: CLEAR ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-1 ENGINEERED WOOD
MOS-1 EXTERIOR TYPE MOSAIC TILE	MULTI COLOUR - WHITE, MEDIUM & DARK GREY	WIN-3 ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-2 EXTERIOR WOOD PATTER
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STO-2 STONE CLADDING PATTERN: TBD

TER-1 TERRA COTTA - TR2

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MOS-1 EXTERIOR TYPE MOSAIC TILE

ALU-1 ALUMINUM CLADDING PANEL SYSTEM

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MATT FINISH

TO MATCH "ROSE" OR SIMILAR MATT FINISH

TO MATCH "TITANIUM GREY" OR SIMILAR

TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE

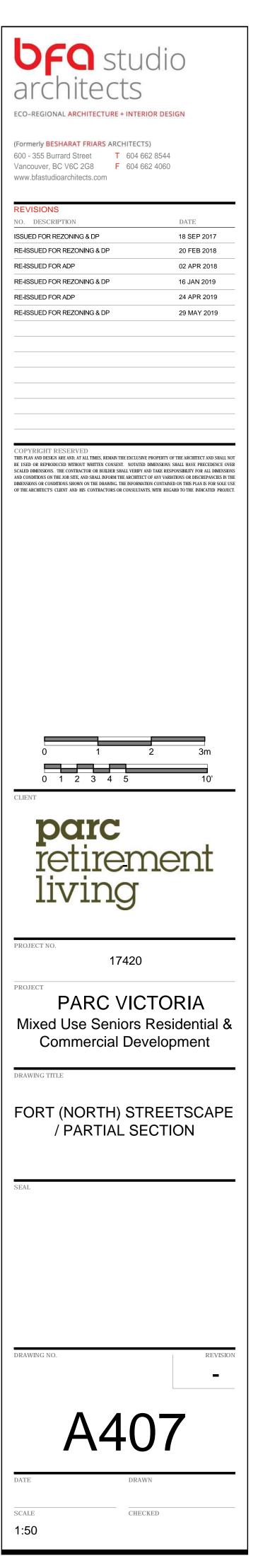
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 MULTI COLOUR - WHITE, MEDIUM & DARK GREY
 WIN-3
 ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE
 FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD

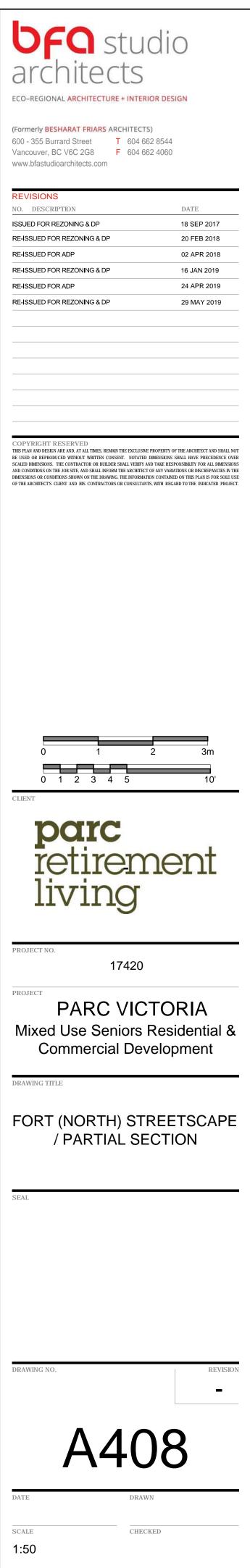
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	ALU-2 ALUMINUM CLADDING PANEL SYSTEM	TO MATCH ALUCOBOND ALABASTER		FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	CAN-1 METAL FRAMED CANOPY W/ GLASS	FRAME: TOO MATCH WINDOW FRAMES GLASS: CLEAR LAMINATED
	CON-1 ARCHITECTURAL CONCRETE W/ REVEALS	GREY (PARGED FINISH)		FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	CAN-2 FRAMED FABRIC CANOPY	FRAME: NA COLOR: NA
	CON-2 ARCHITECTURAL CONCRETE COLUMNS	GREY (PARGED FINISH)	GUA-1 SAFETY GLASS BALCONY GUARD	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD	OHG-1 ALUMINUM OVERHEAD GARAGE DOOR	FRAME: ALUMINUM POWDER COATED COLOR: RUST
	SIL-1 CONCRETE PRECAST SILL/HEADER	GREY		FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY	ADR-1 ALUMINUM FRAME DOOR W/ GLAZING UNIT	FRAME: TO MATCH WINDOW FRAMES GLASS: TBD
	WIN-1         VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE           GLAZING. REFER TO WINDOW SCHEDULE	FRAME: TO MATCH EUROLINE QUARZGRAU SFTN GLASS: TBD		FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS	LOU-1 ALUMINUM WALL LOUVERS	COLOUR TO MATCH ADJACENT WINDOW FRAMES OR CLADDING
	WIN-2 ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDUL	FRAME: CLEAR ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-1 ENGINEERED WOOD	COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	LOU-2 METAL SCREEN SYSTEM - ROOFTOP	METAL PATTERN: ALUMINUM POWDER COATED COLOUR: LIGHT GREY
EY	WIN-3 ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDUL	FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-2 EXTERIOR WOOD PATTERN SOFFIT	COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	SIG-1 SIGNAGE	BY SIGNAGE CONSULTANT

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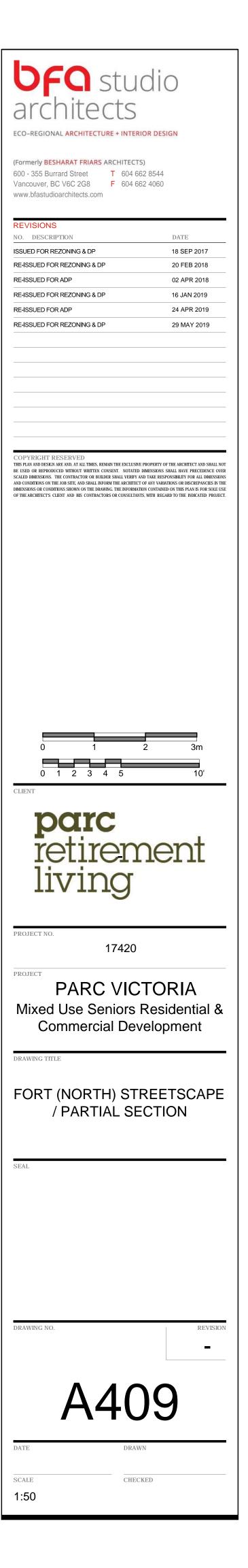




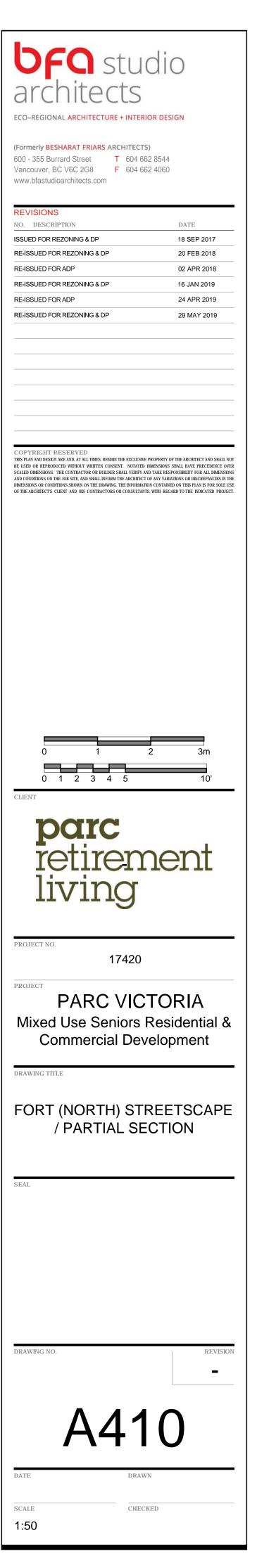




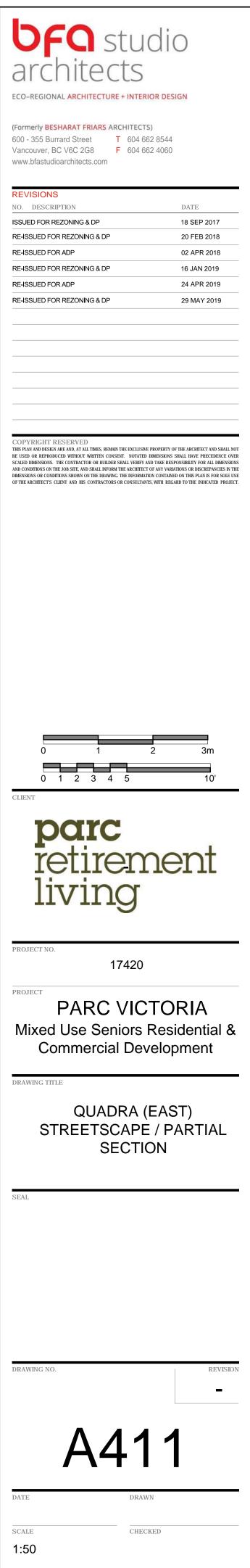
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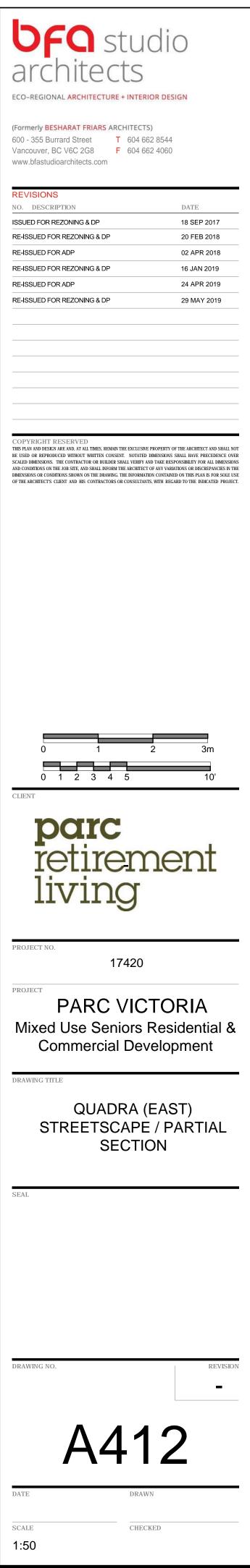










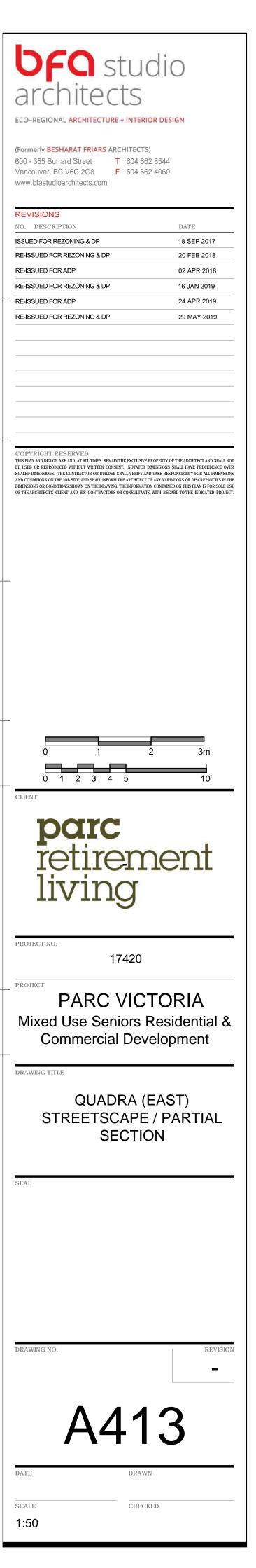




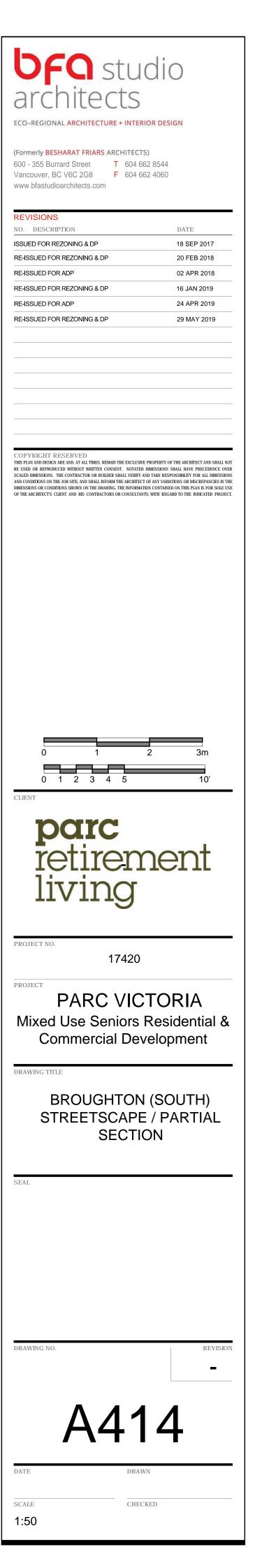
EAST/ QUADRA STREET ELEVATION



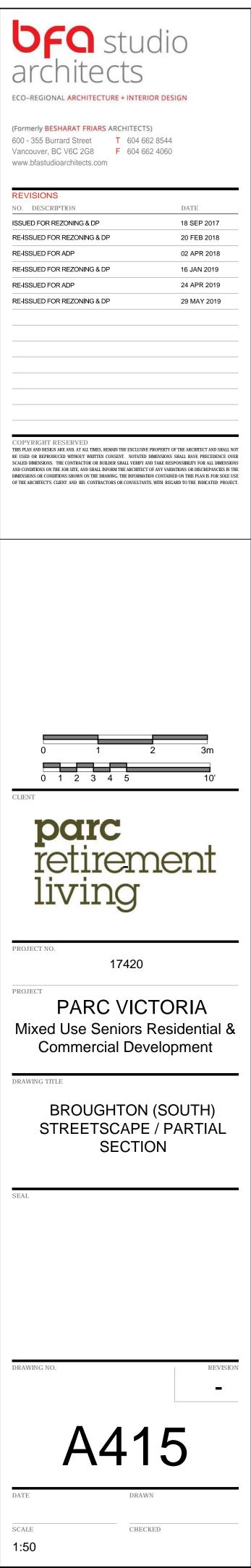
STREETSCAPE SECTION

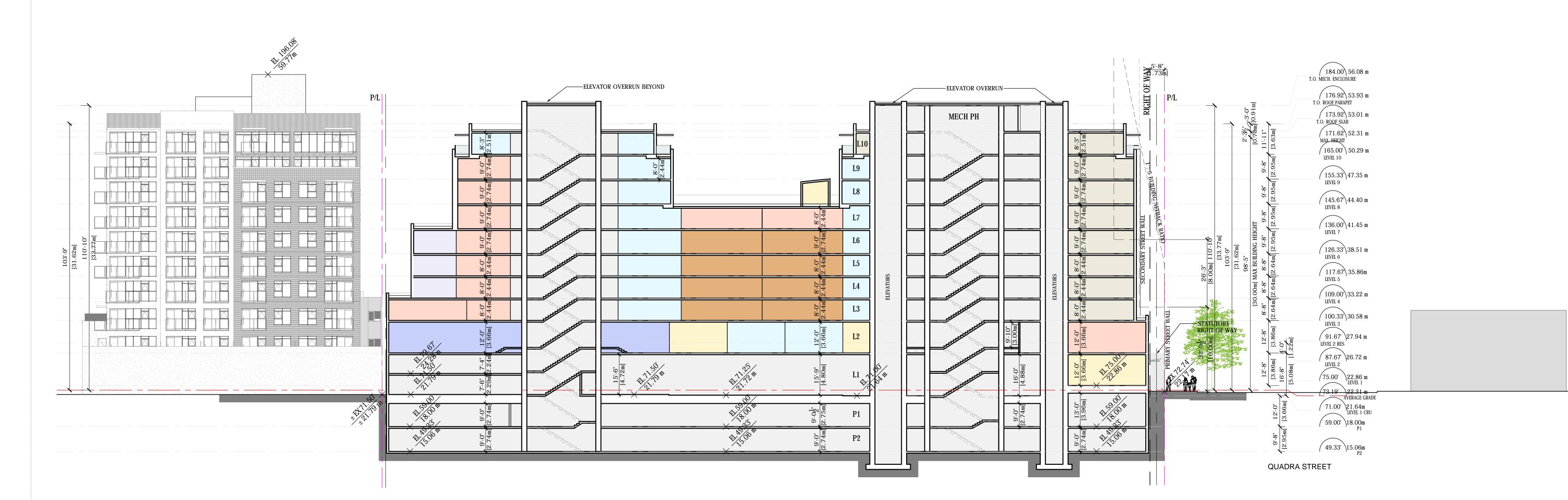




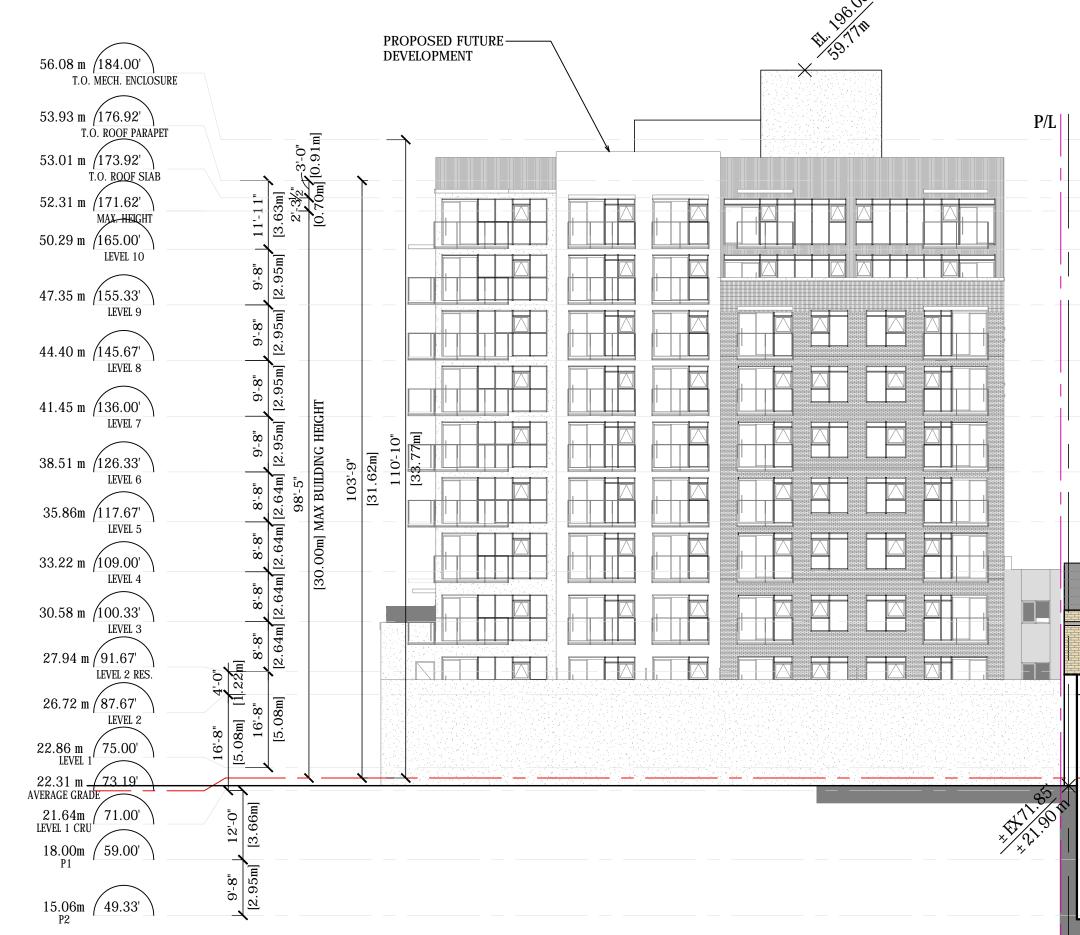






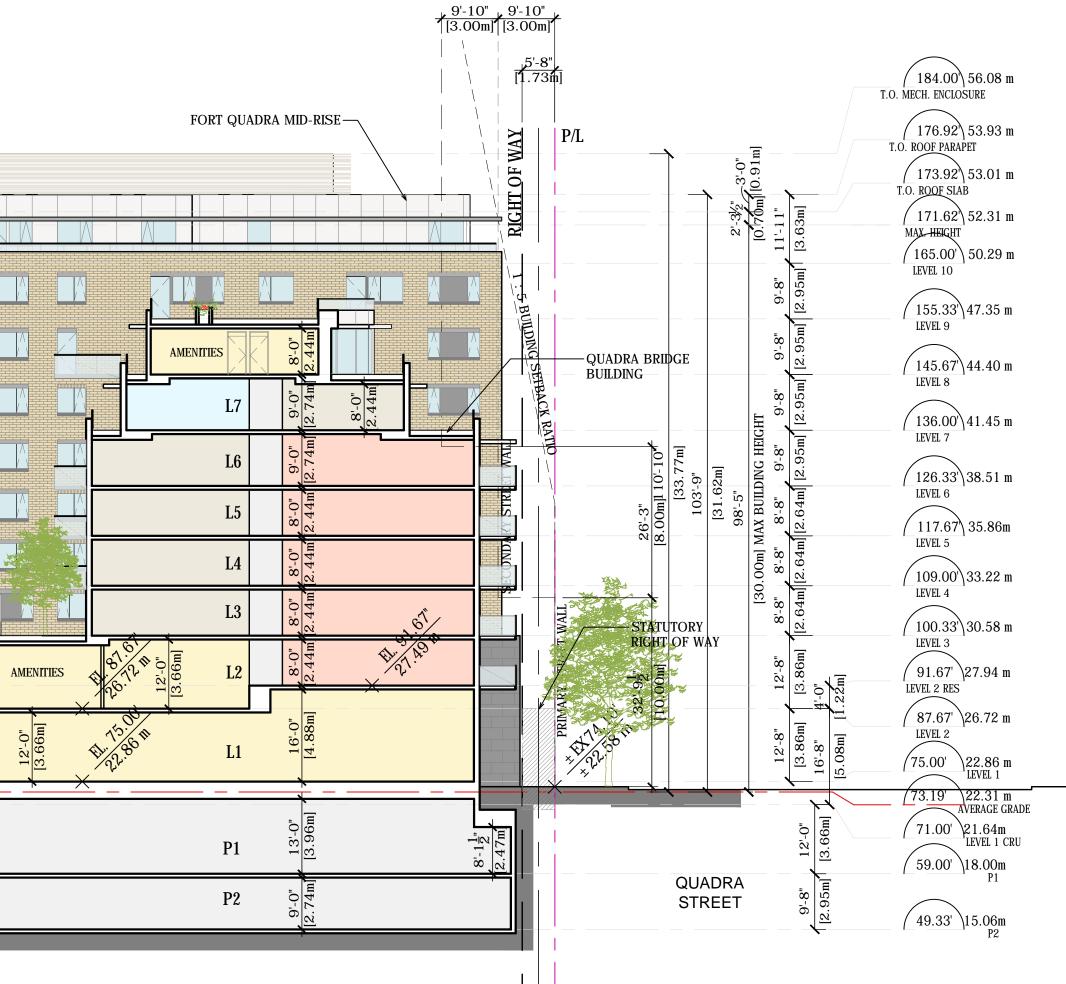


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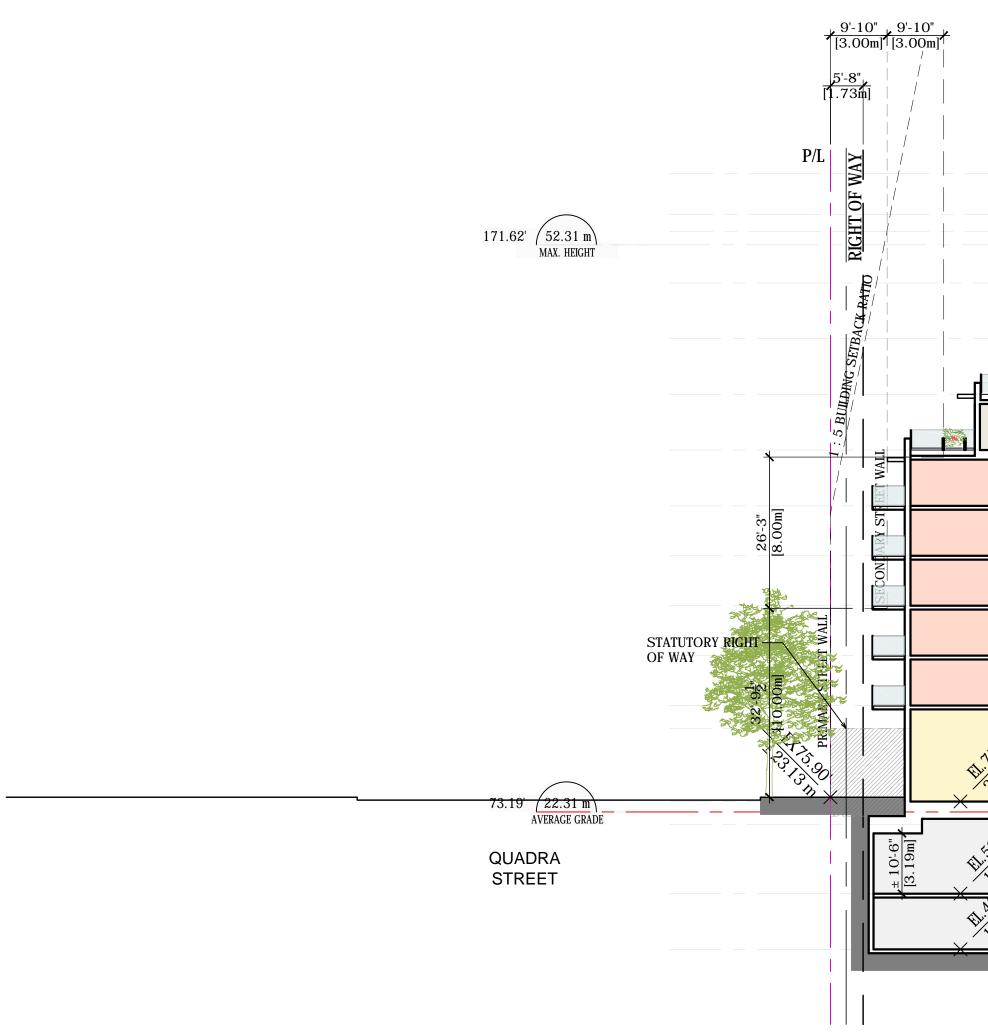


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DOTTED LINE INDICATING REQ. MIN. TRUCK HEADROOM

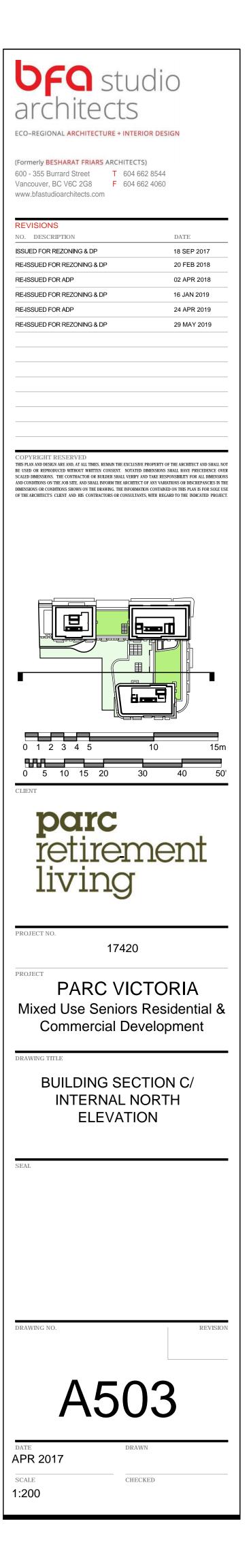


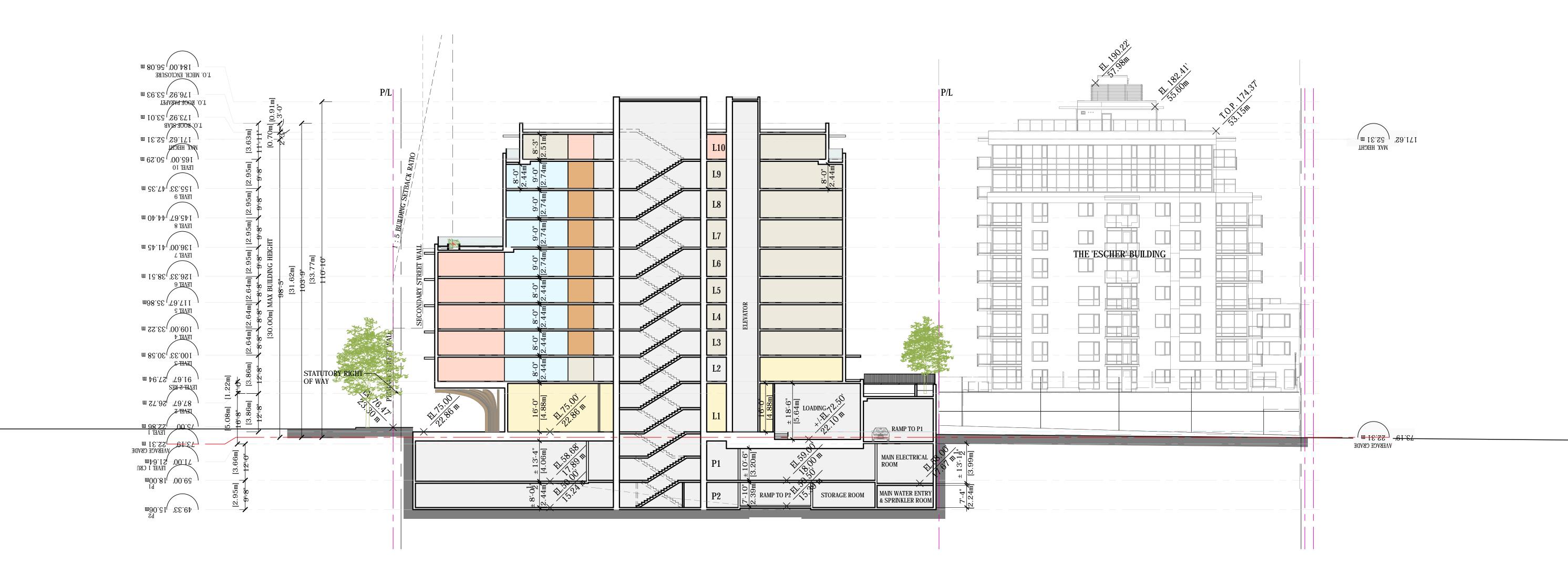
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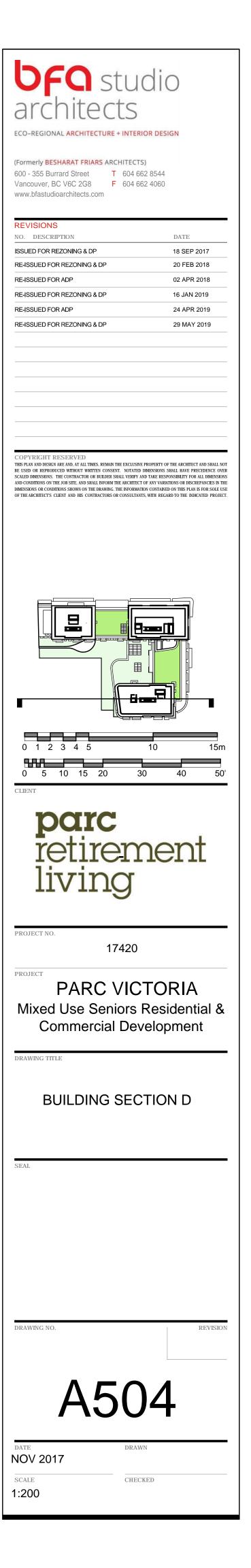


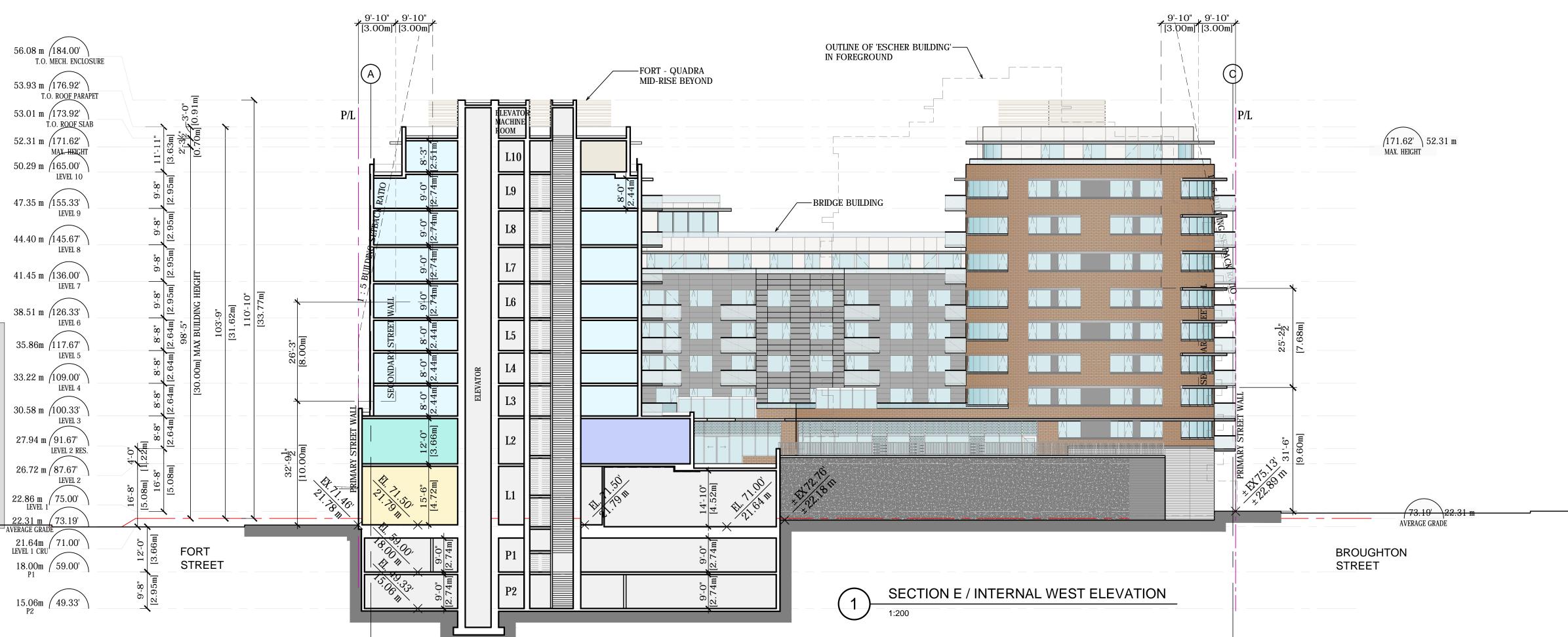
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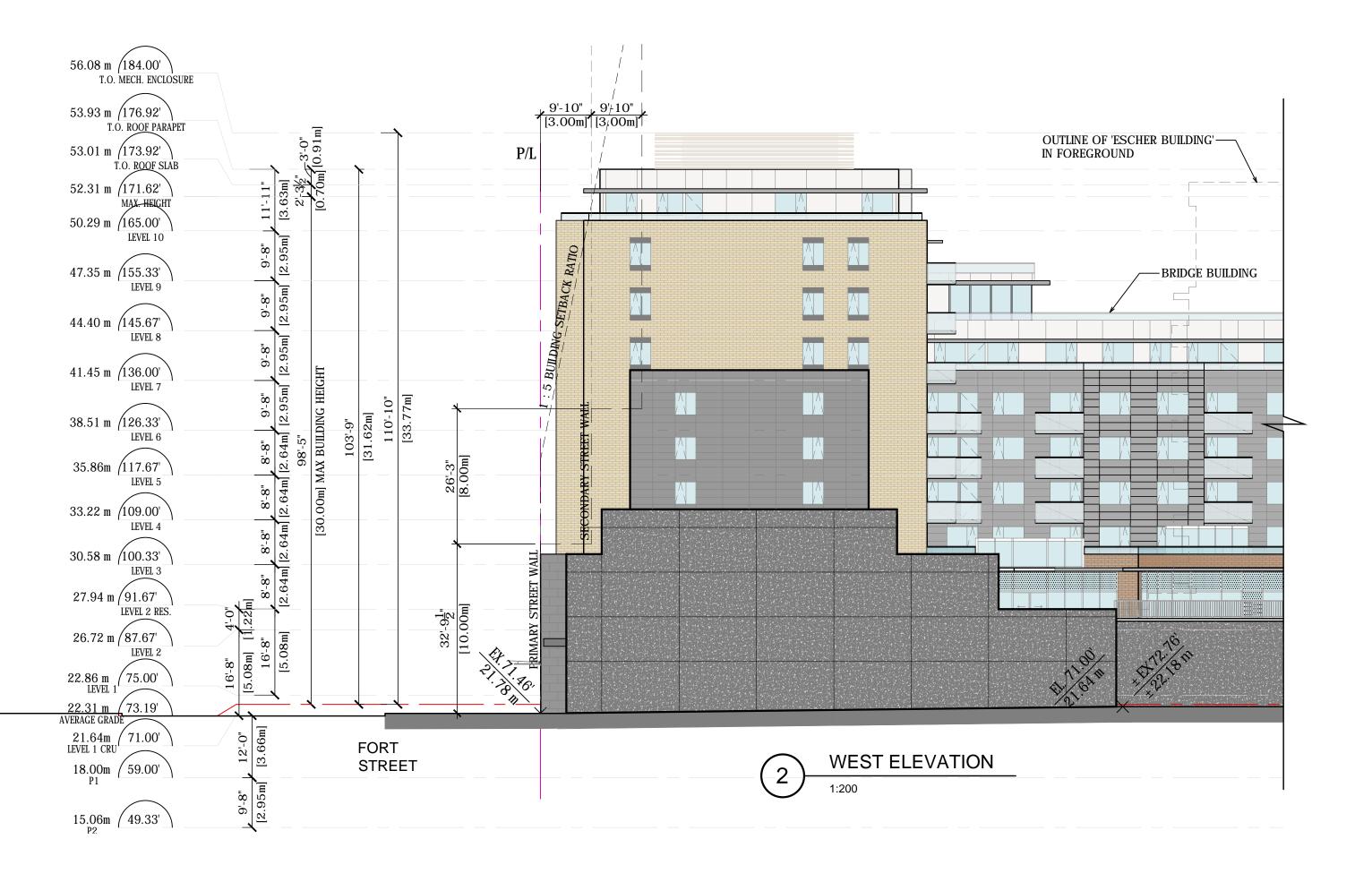


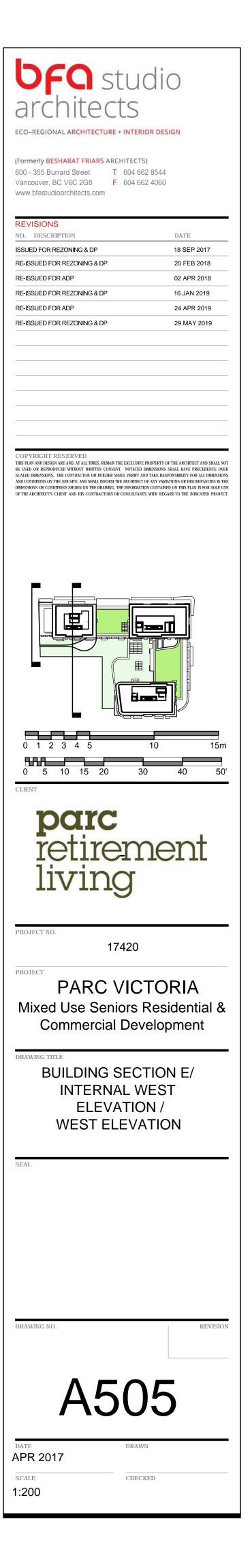


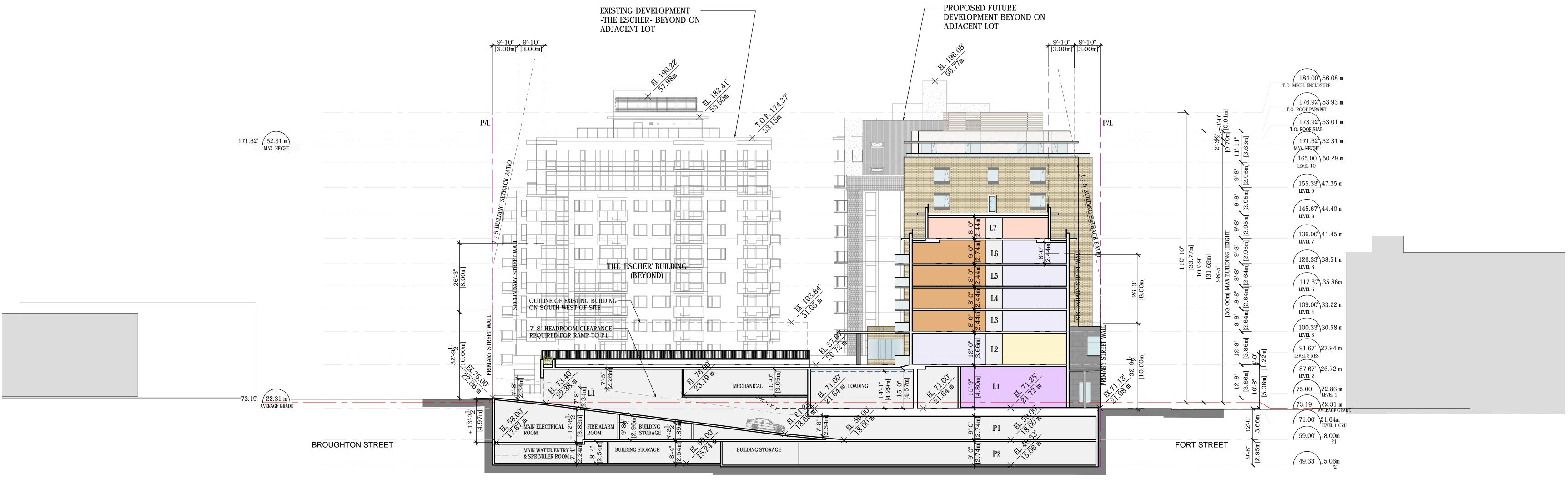




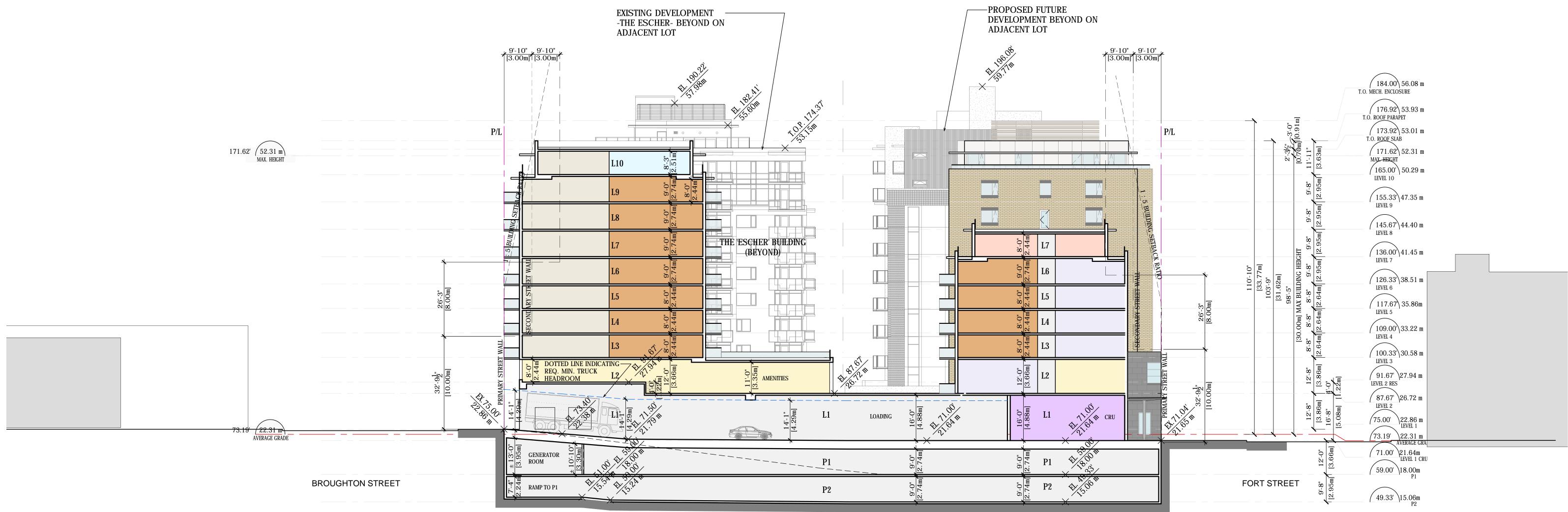








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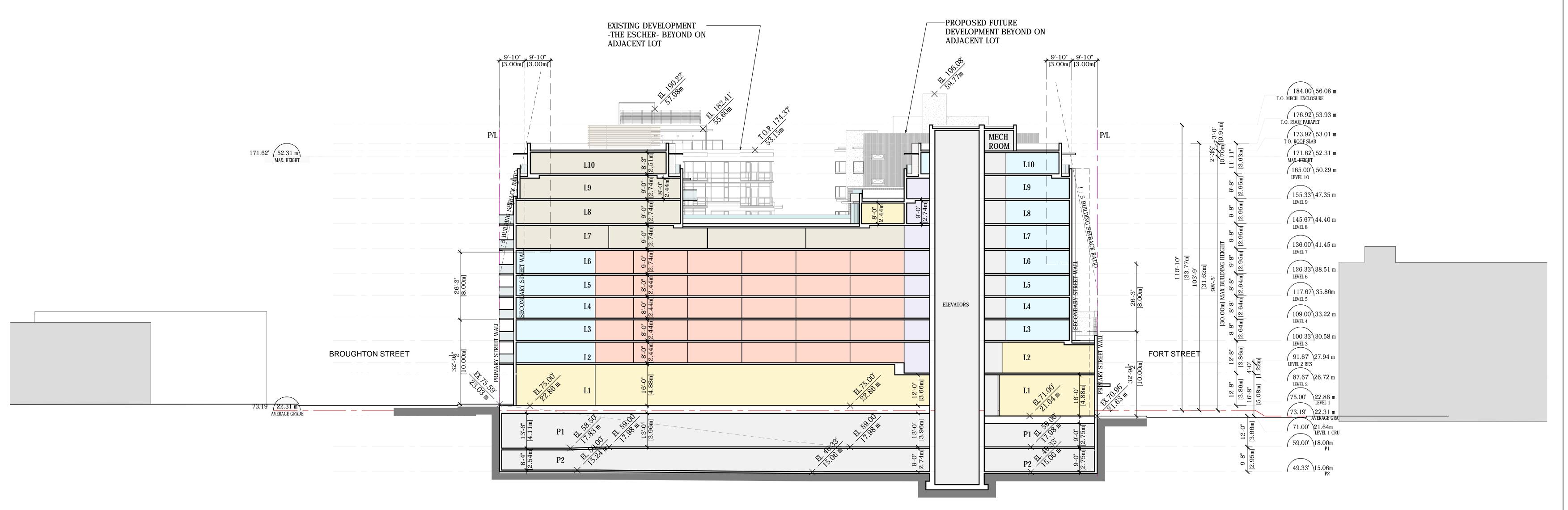


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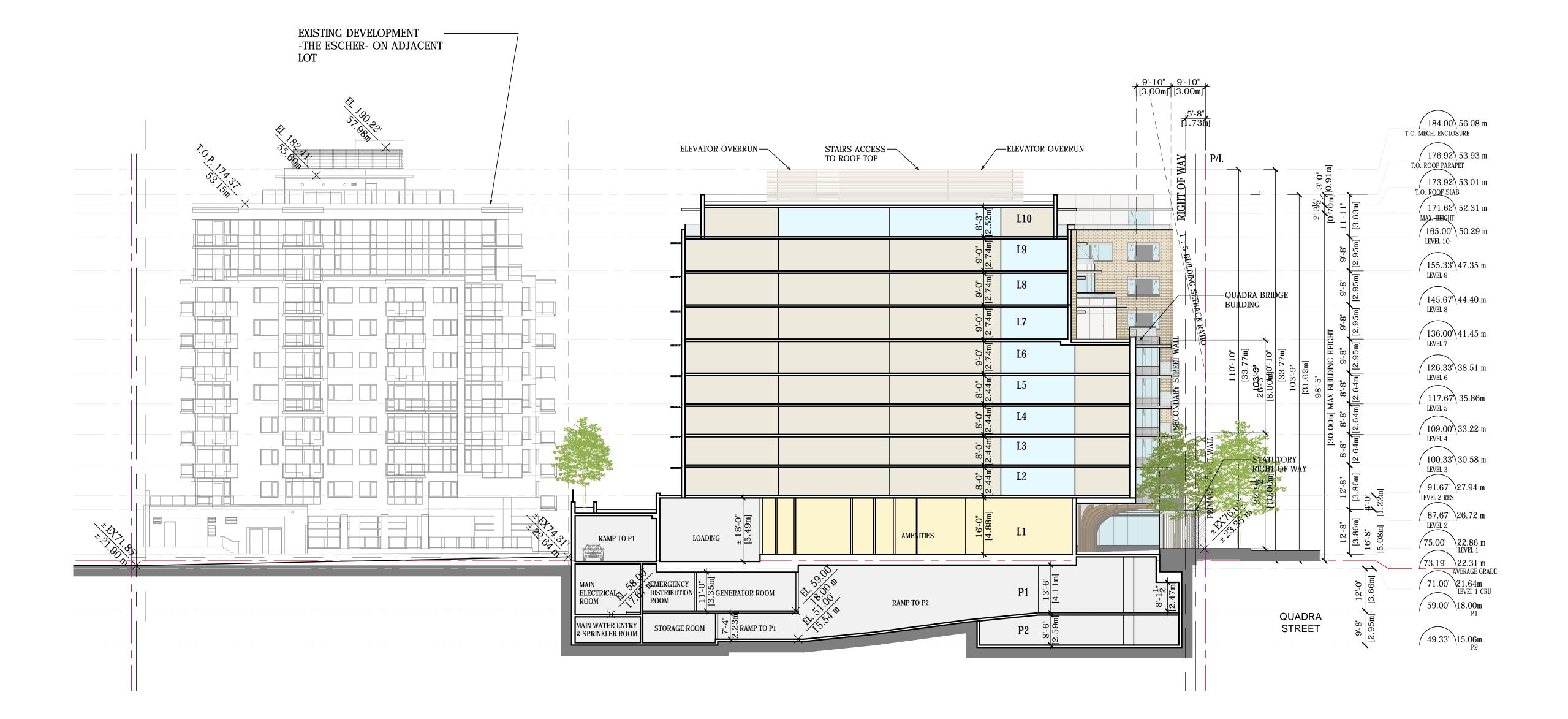


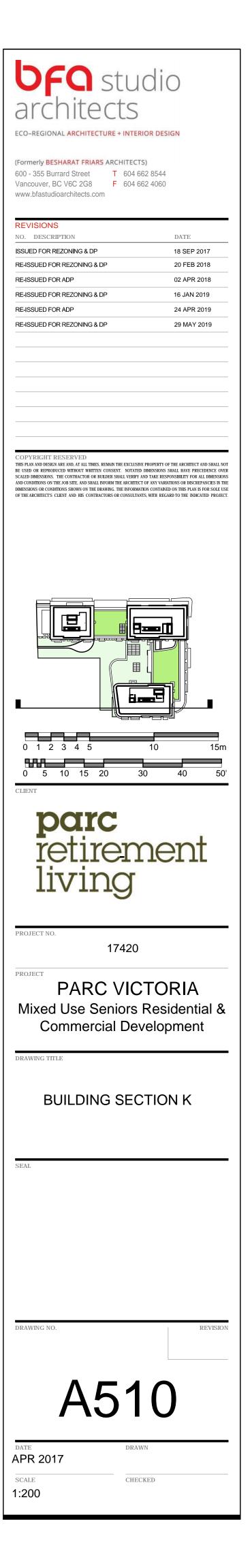
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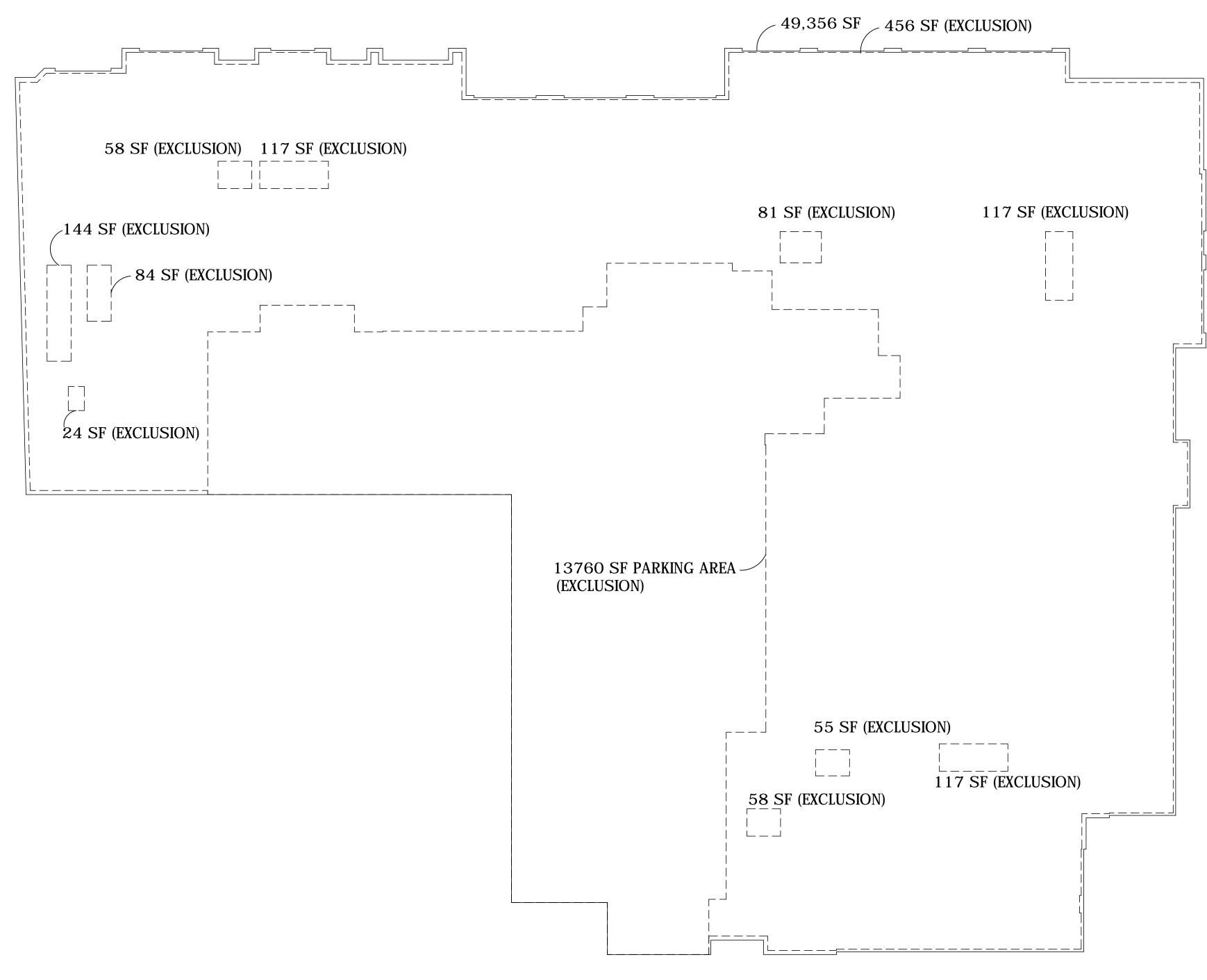


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### LEVEL 1 AREA CALCULATION:

GROSS FLOOR AREA	= 49,356  SF
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FSR	= 34,285 SF

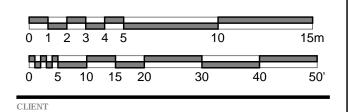


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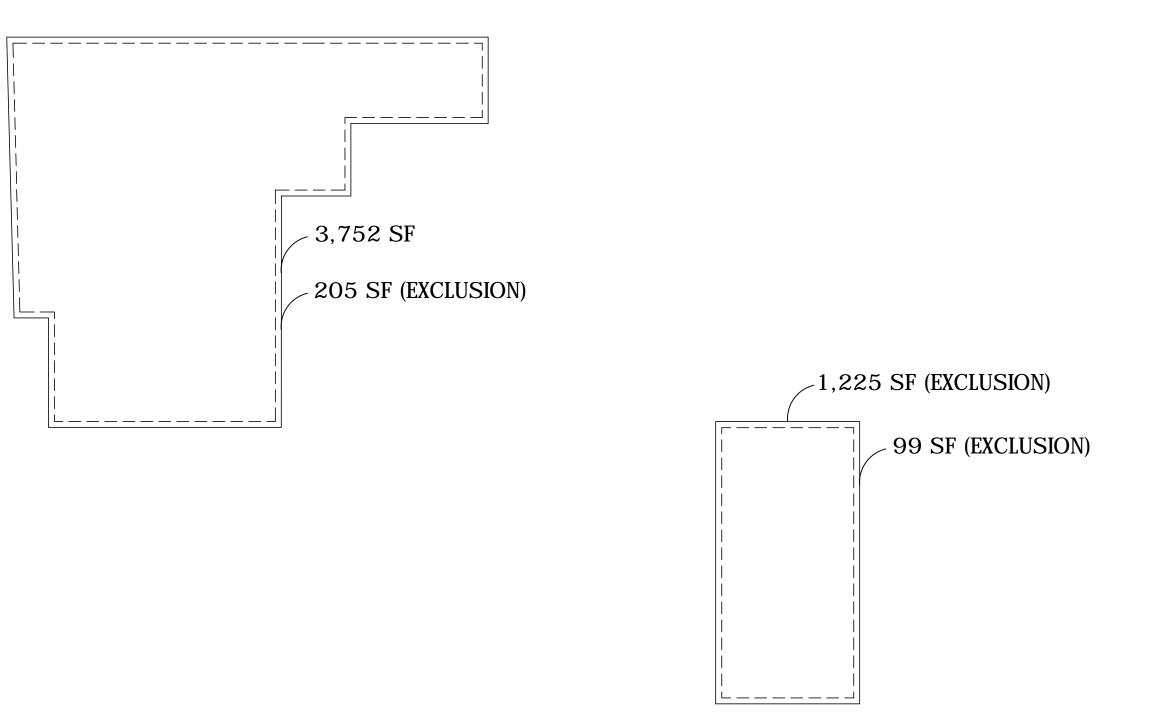
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# LEVEL 1 AREA OVERLAY

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TOTAL GR TOTAL EXO TOTAL FS



## MECHANICAL LEVEL AREA CALCULATION:

GROSS FLOOR AREA	=	4,977 SF
EXCLUDED AREA	=	304 SF
FSR	=	4,673 SF

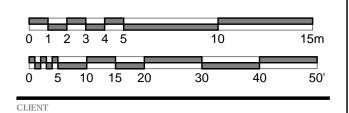


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RE-ISSUED FOR ADP	24 APR 2019
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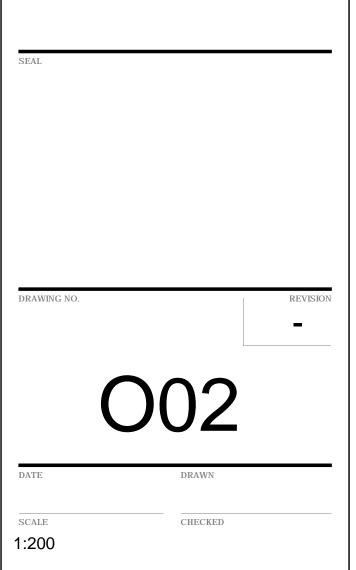
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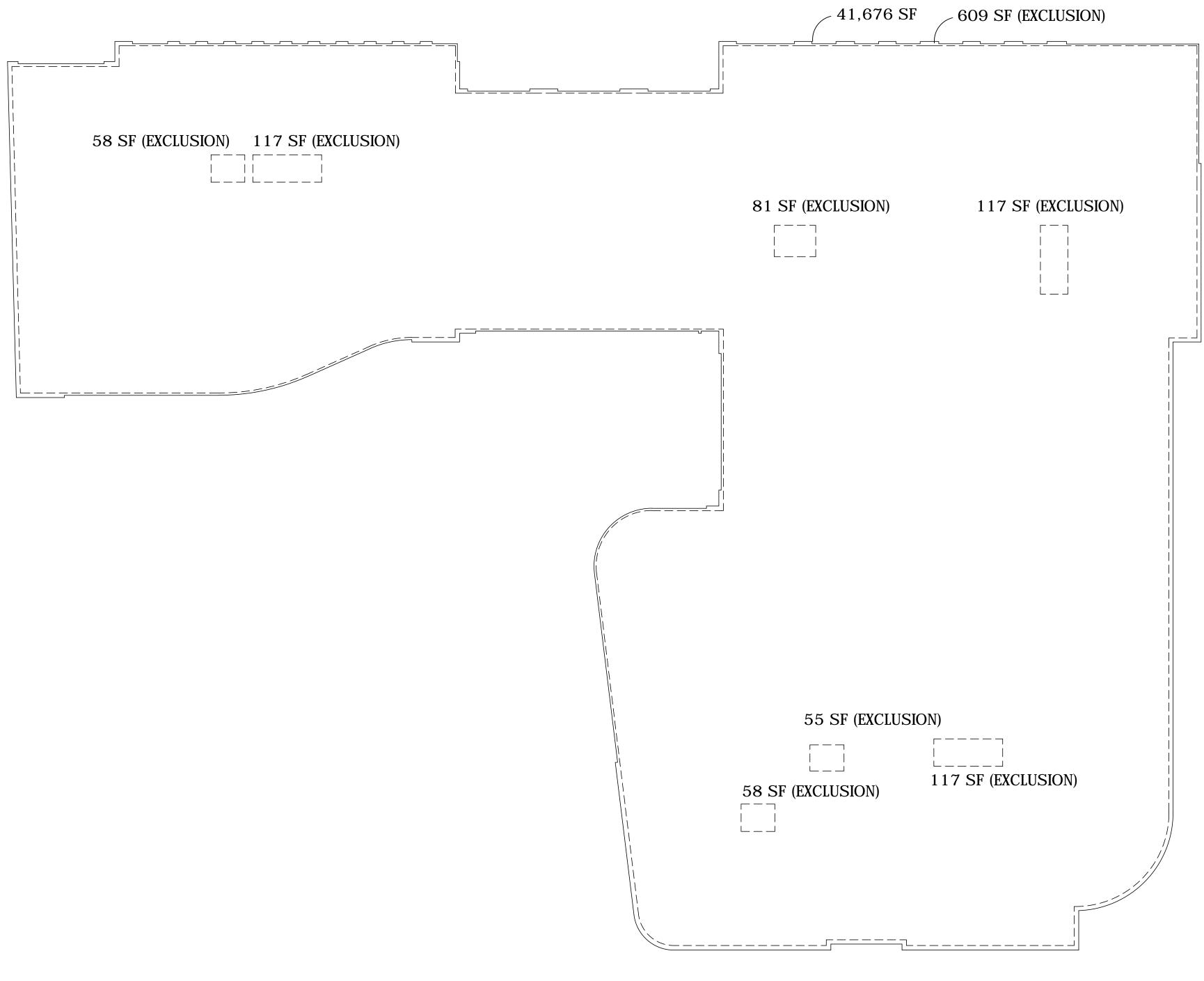
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PROJECT PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# MECHANICAL LEVEL AREA OVERLAY



TOTAL GR TOTAL EX TOTAL FS



## LEVEL 2 AREA CALCULATION:

GROSS FLOOR AREA	= 41,676 SF	
EXCLUDED AREA	= 1,212 SF	
FSR	= 40,464 SF	

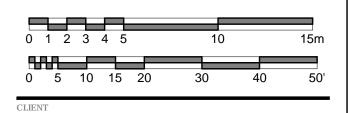


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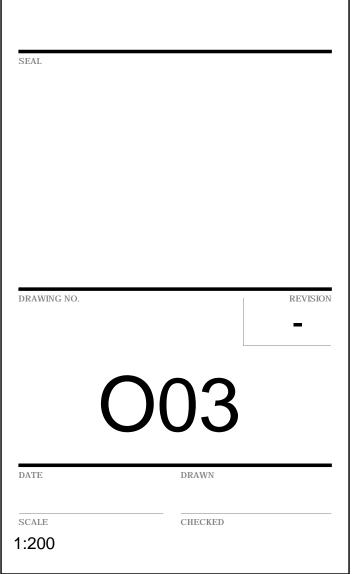
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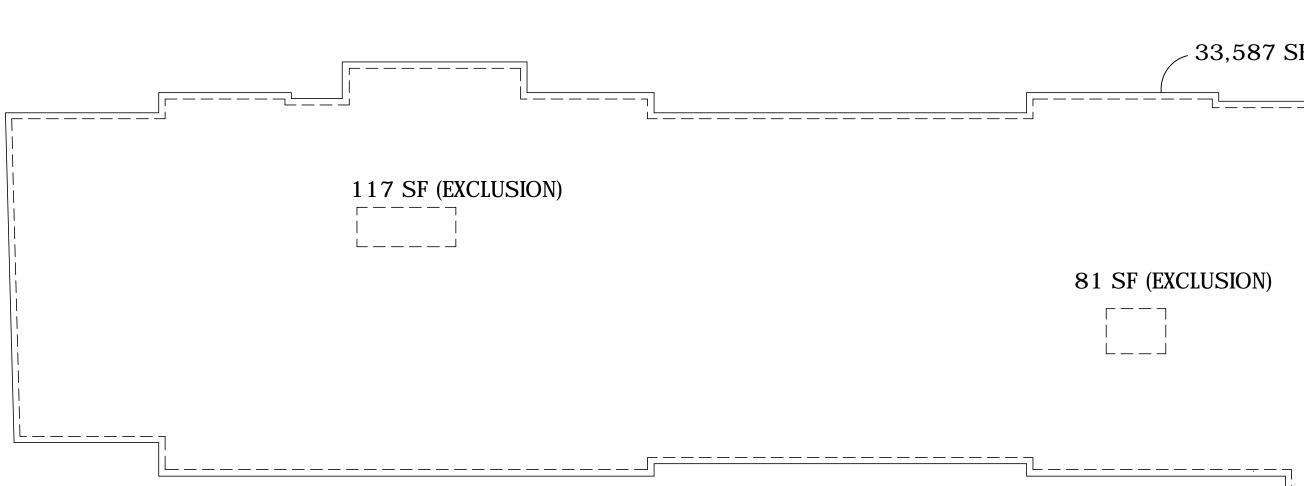
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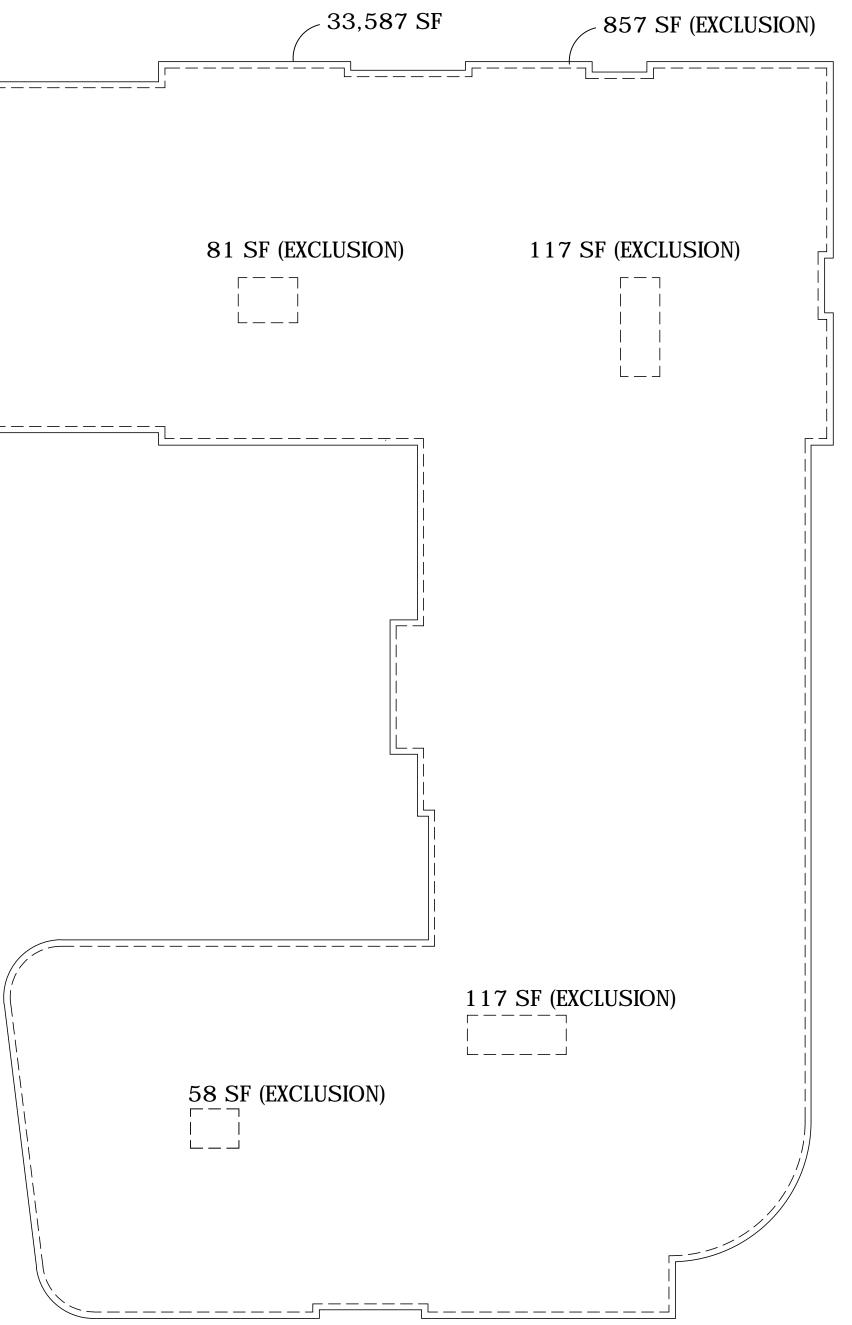
PROJECT PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# LEVEL 2 AREA OVERLAY



TOTAL GROSS FLOOR AREA= 33,587 SFTOTAL EXCLUDED AREA= 1,347 SFTOTAL FSR= 32,240 SF





LEVEL 3 AREA CALCULATION:

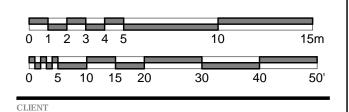


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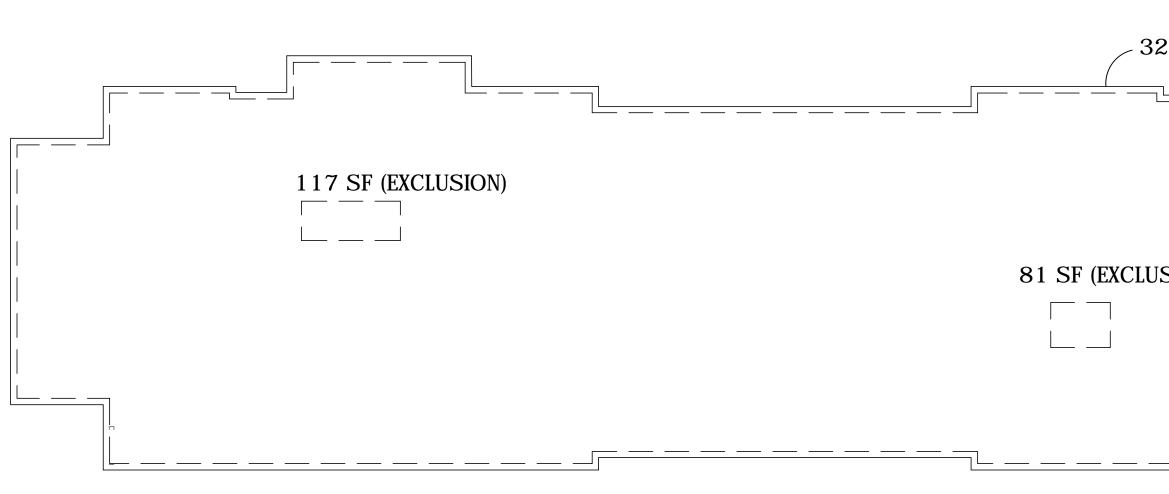
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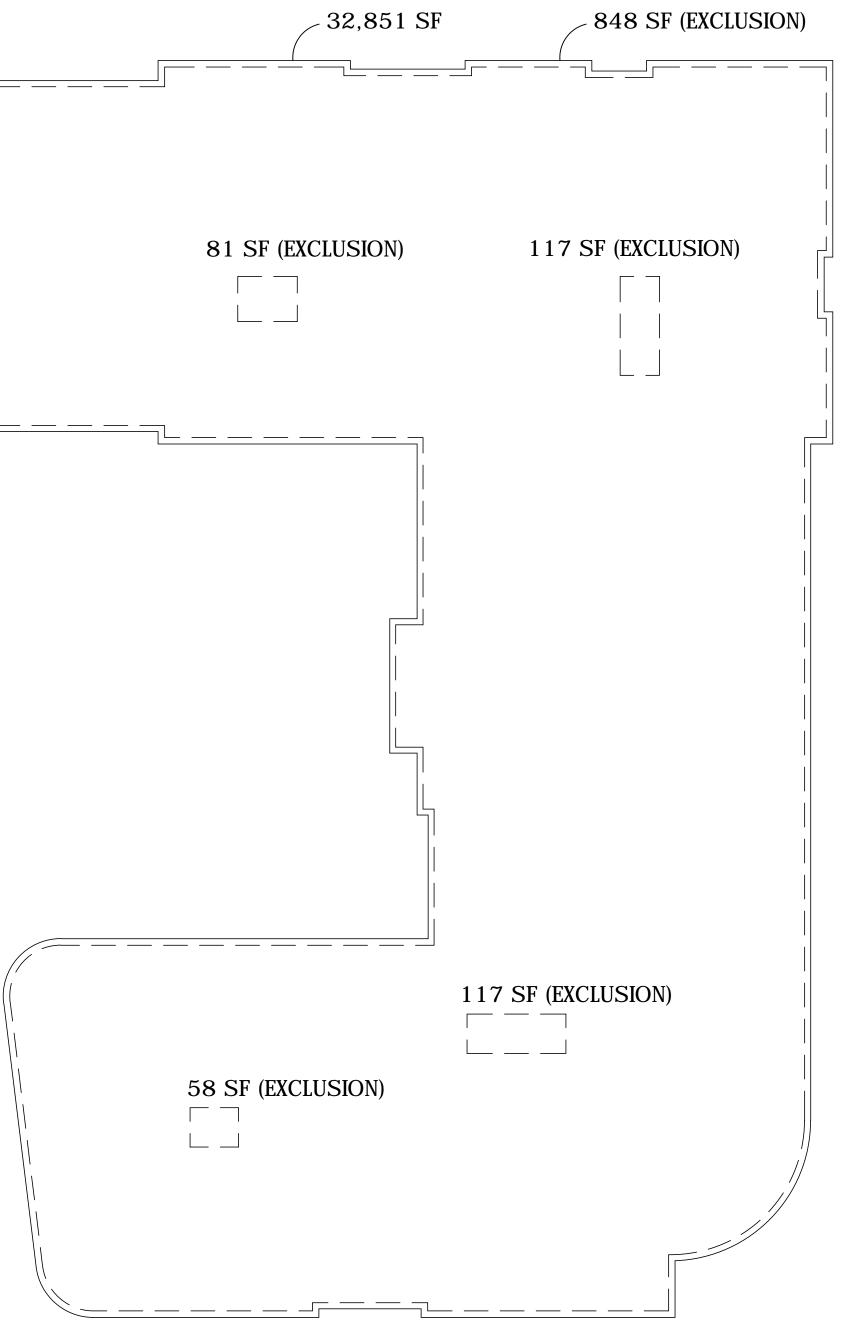
# LEVEL 3 AREA OVERLAY

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LEVEL 4 AREA CALCULATION:

TOTAL GROSS FLOOR AREA=32,851 SFTOTAL EXCLUDED AREA=1,338 SFTOTAL FSR=31,513 SF





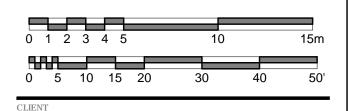


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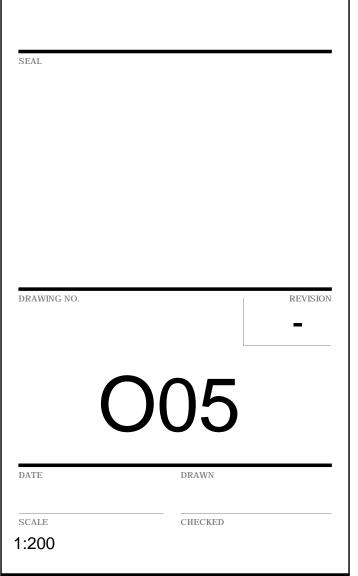
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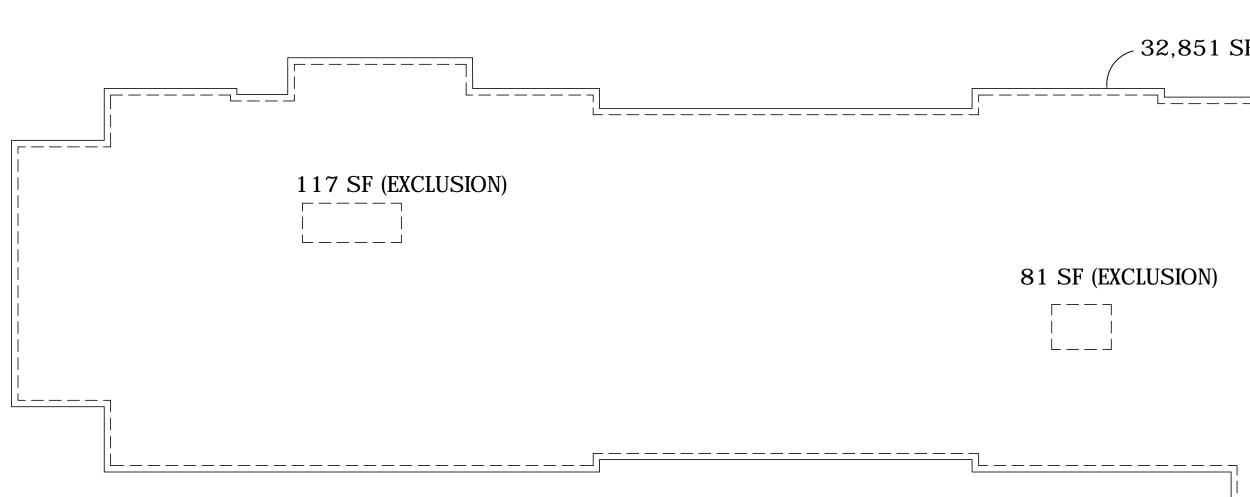
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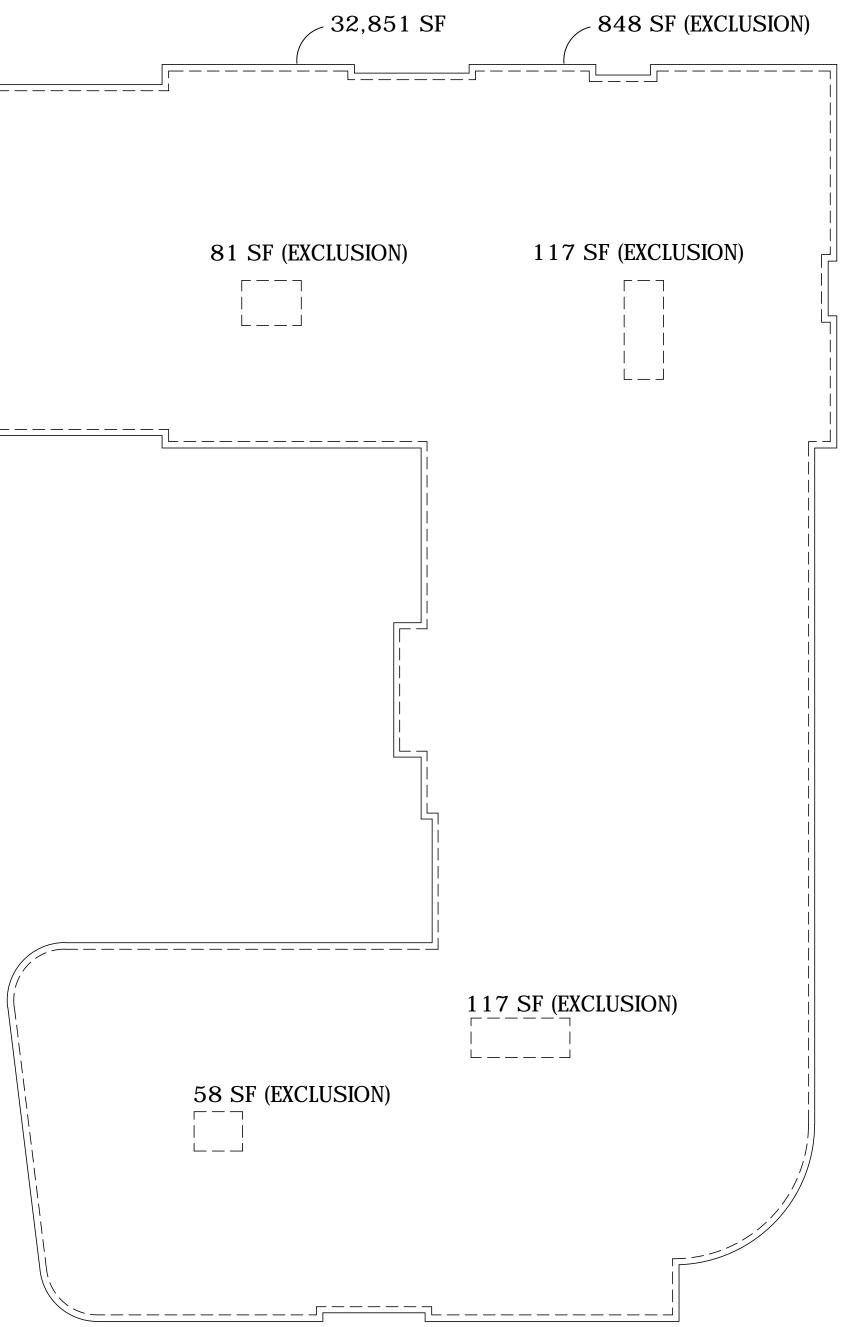
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

## LEVEL 4 AREA OVERLAY







## LEVEL 5 AREA CALCULATION:

TOTAL GROSS FLOOR AREA=32,851 SFTOTAL EXCLUDED AREA=1,338 SFTOTAL FSR=31,513 SF

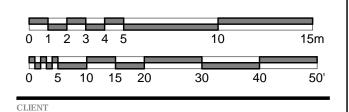


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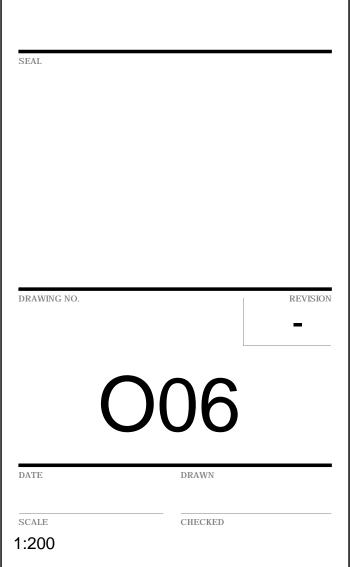
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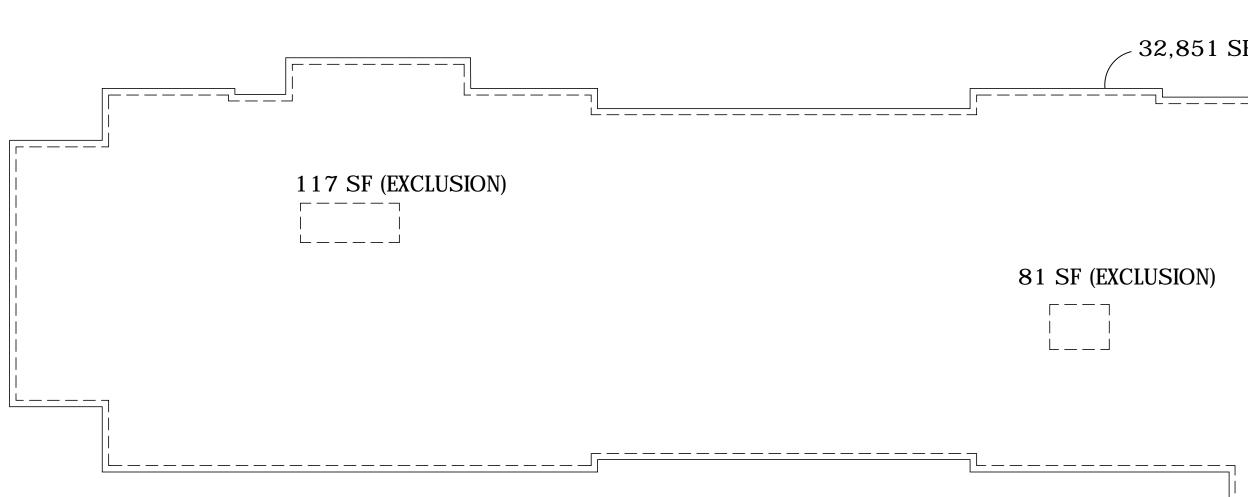
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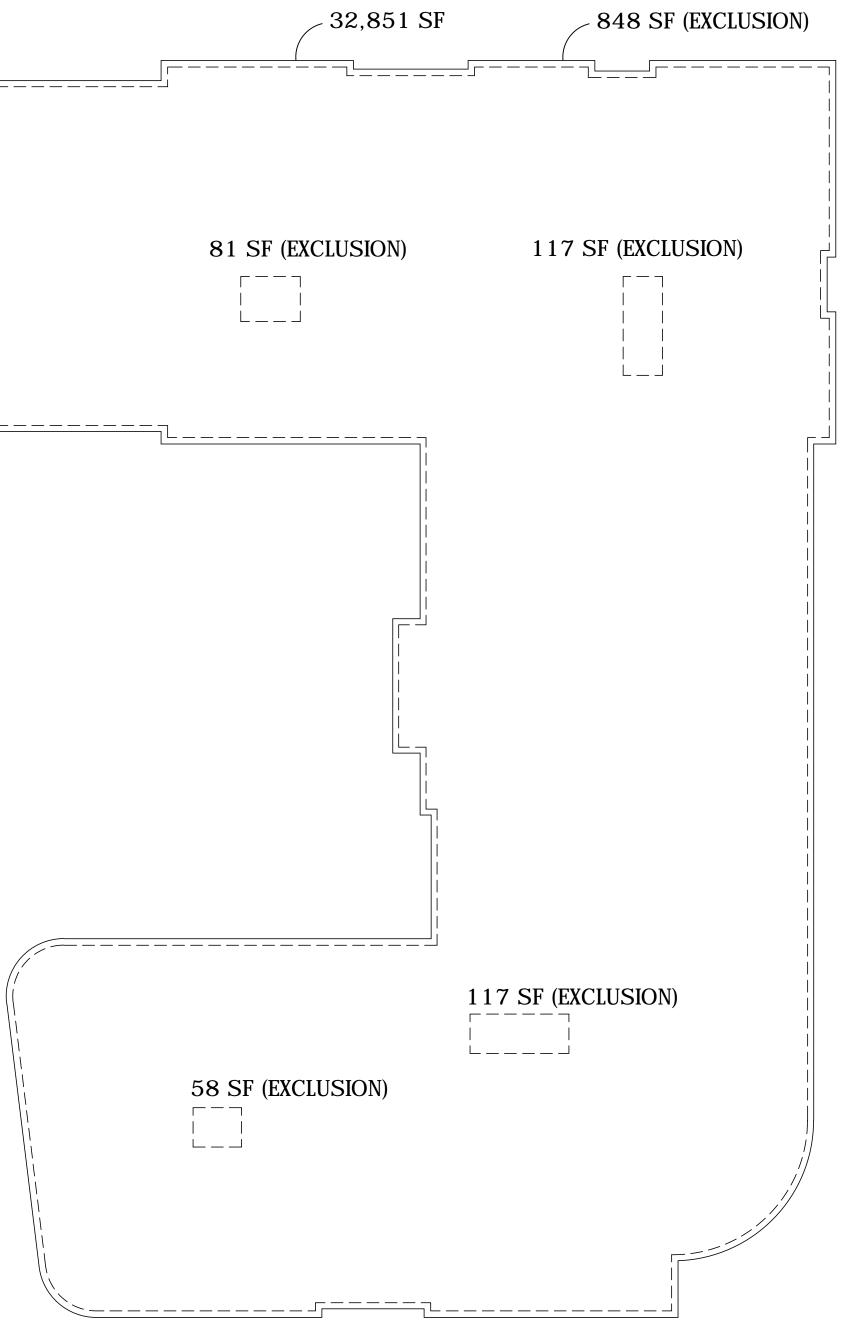
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# LEVEL 5 AREA OVERLAY







## LEVEL 6 AREA CALCULATION:

TOTAL GROSS FLOOR AREA=32,851 SFTOTAL EXCLUDED AREA=1,338 SFTOTAL FSR=31,513 SF

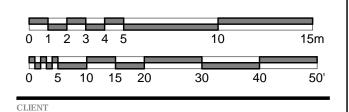


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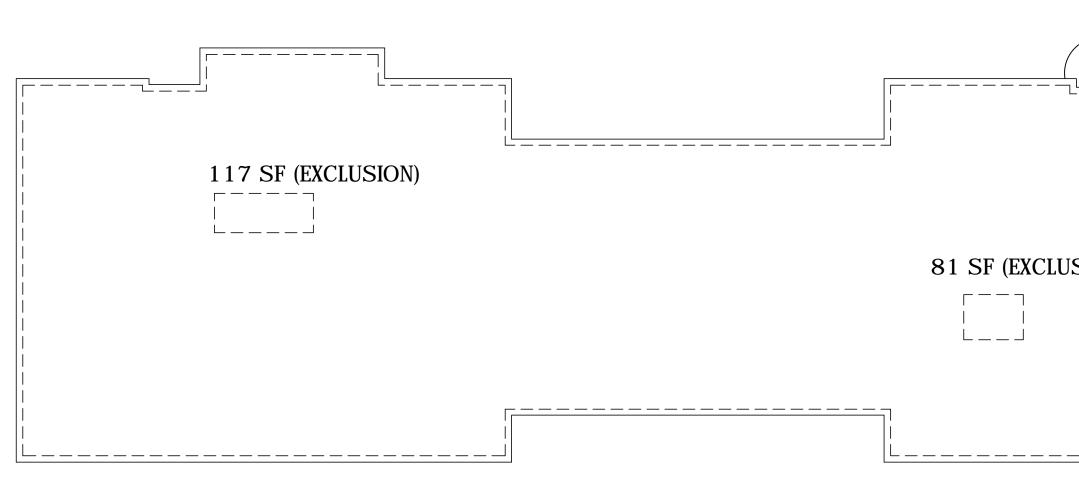
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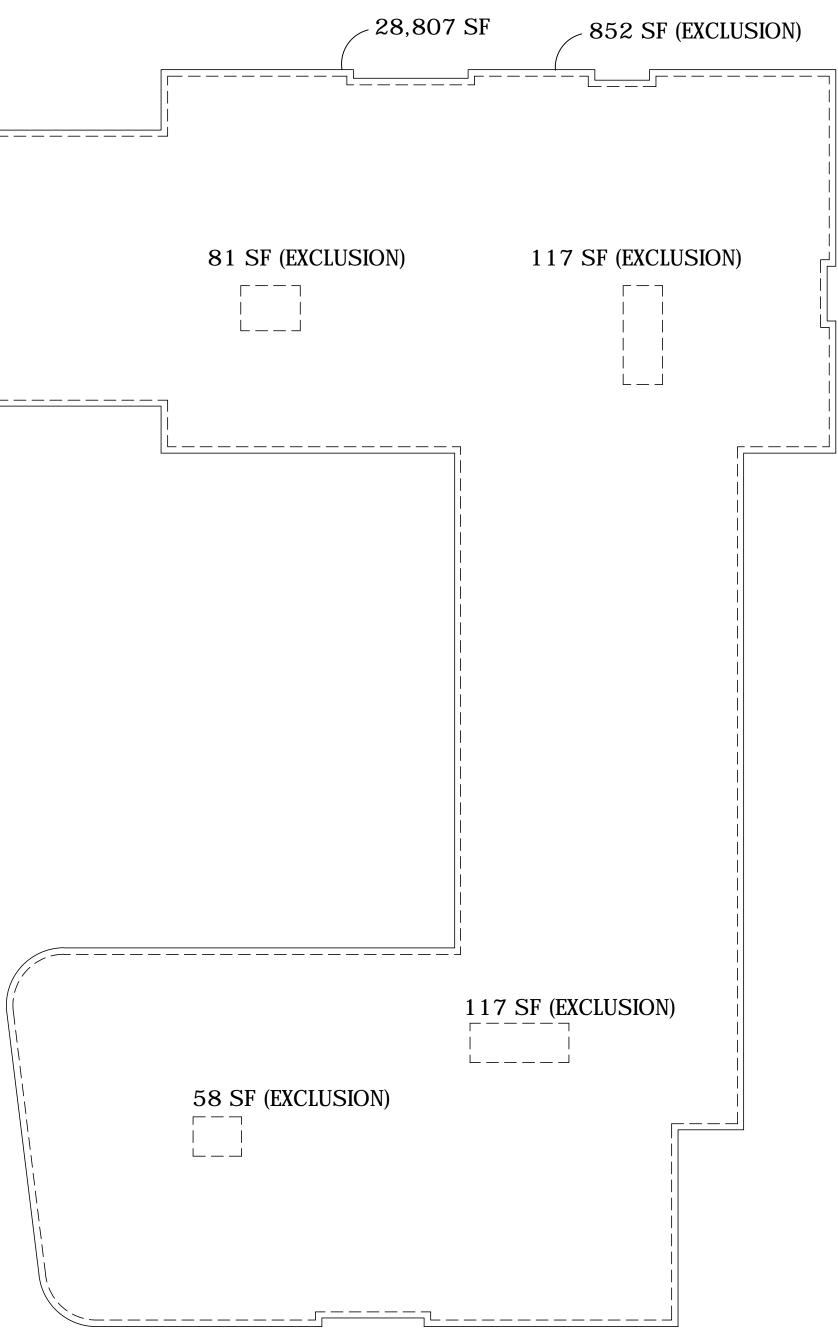
PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# LEVEL 6 AREA OVERLAY

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TOTAL GROSS FLOOR AREA=28,807 SFTOTAL EXCLUDED AREA=1,342 SFTOTAL FSR=27,465 SF





## LEVEL 7 AREA CALCULATION:

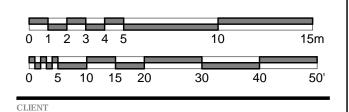


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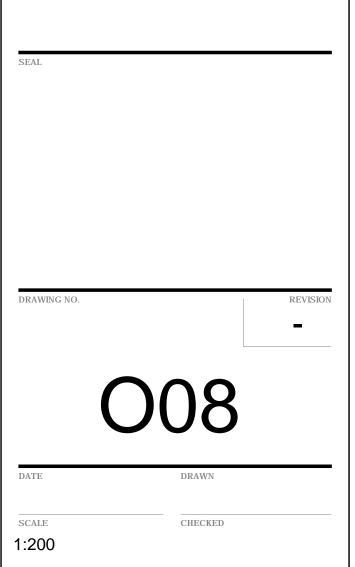
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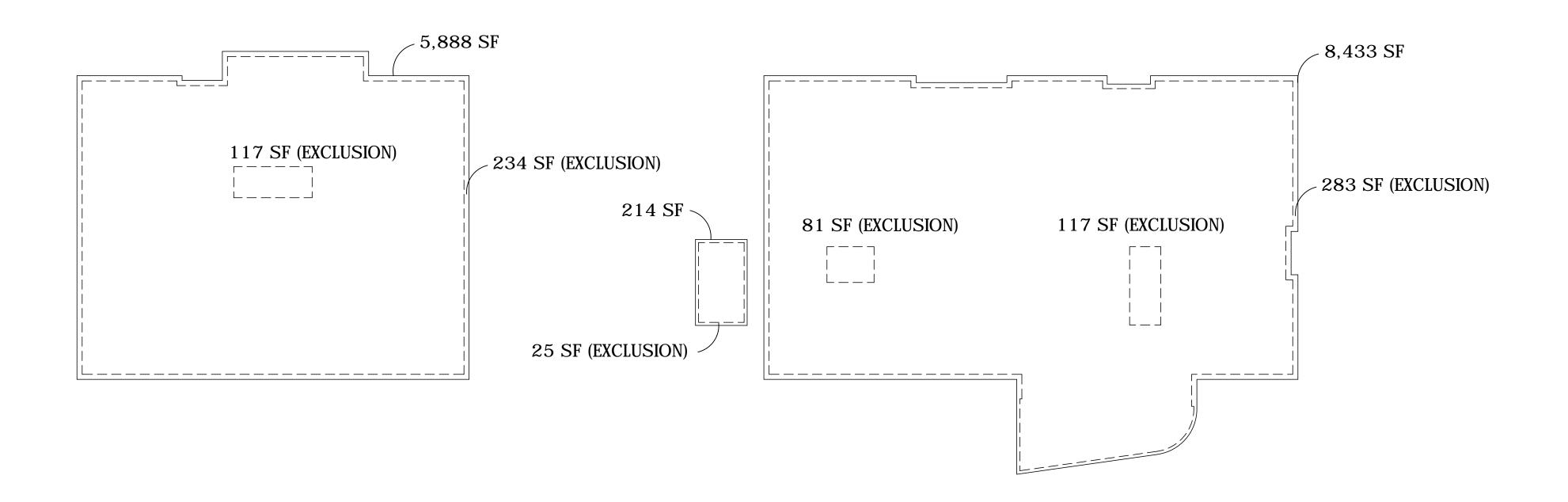
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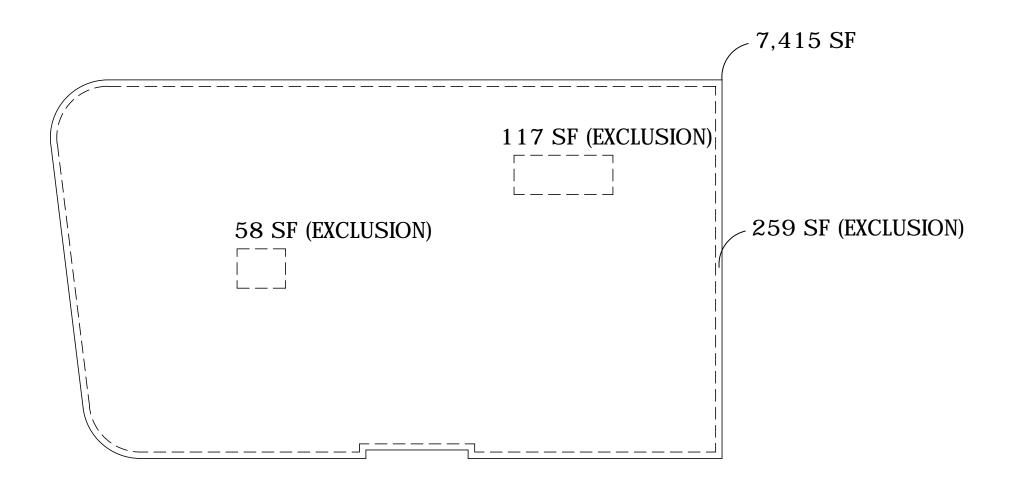
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# LEVEL 7 AREA OVERLAY







## LEVEL 8 AREA CALCULATION:

TOTAL GROSS FLOOR AREA=21,950 SFTOTAL EXCLUDED AREA=1,291 SFTOTAL FSR=20,659 SF

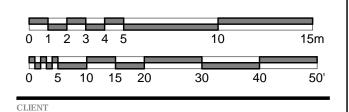


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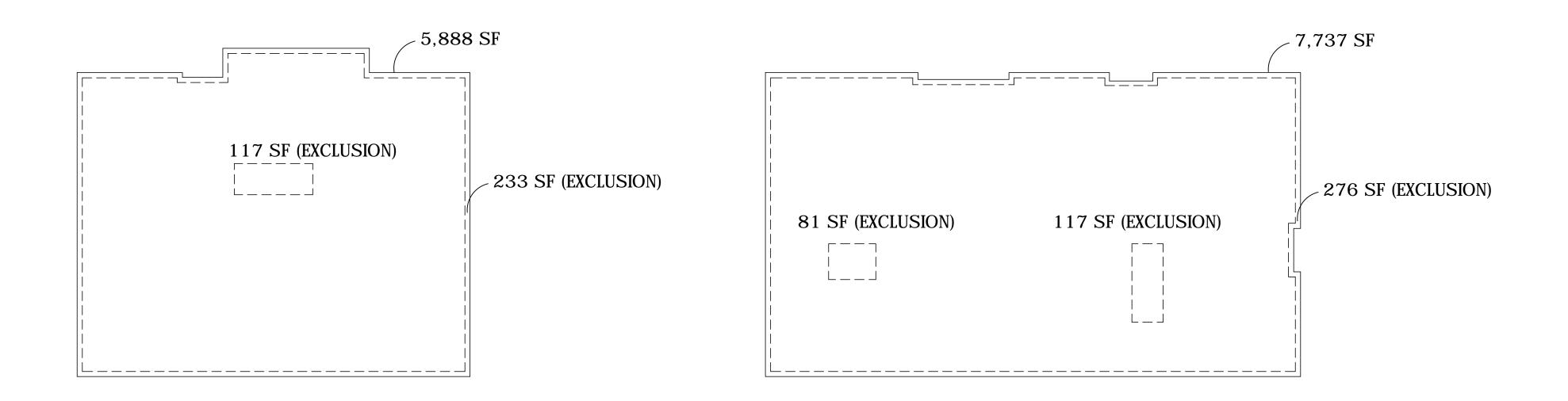
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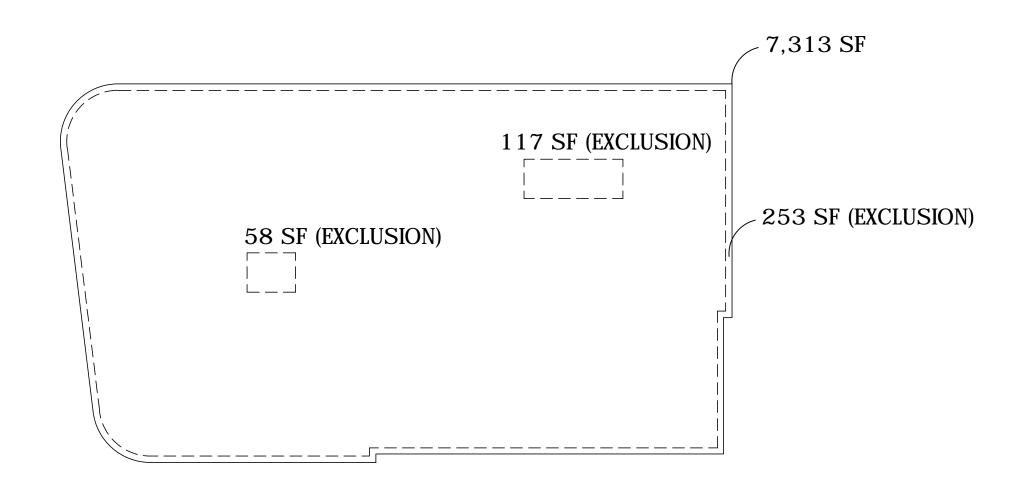
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

## LEVEL 8 AREA OVERLAY

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## LEVEL 9 AREA CALCULATION:

TOTAL GROSS FLOOR AREA=20,938 SFTOTAL EXCLUDED AREA=1,252 SFTOTAL FSR=19,686 SF

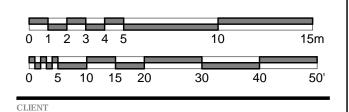


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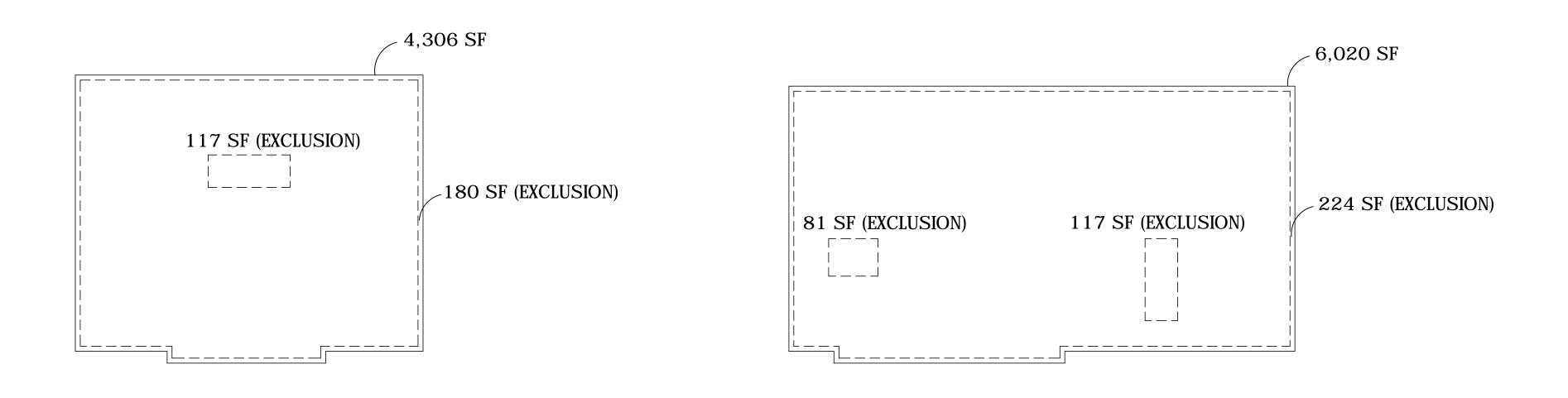
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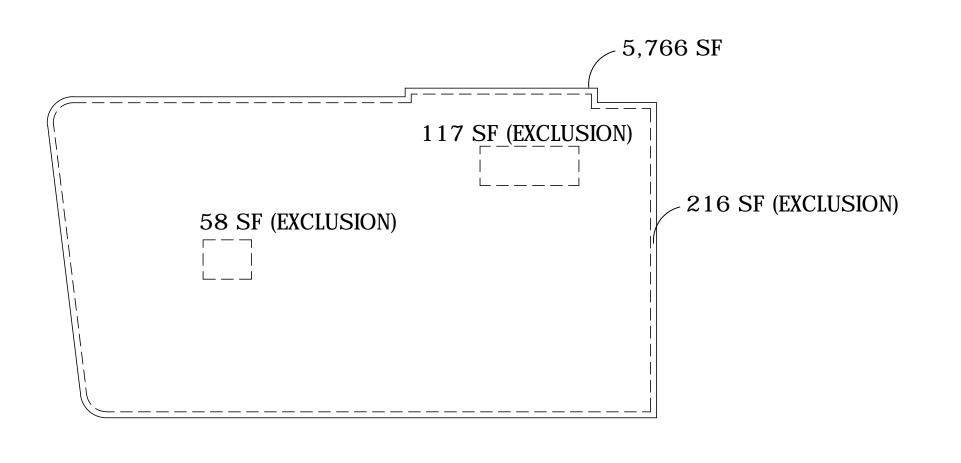
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# LEVEL 9 AREA OVERLAY

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## LEVEL 10 AREA CALCULATION:

TOTAL GROSS FLOOR AREA=16,092 SFTOTAL EXCLUDED AREA=1,110 SFTOTAL FSR=14,982 SF

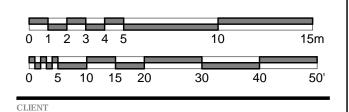


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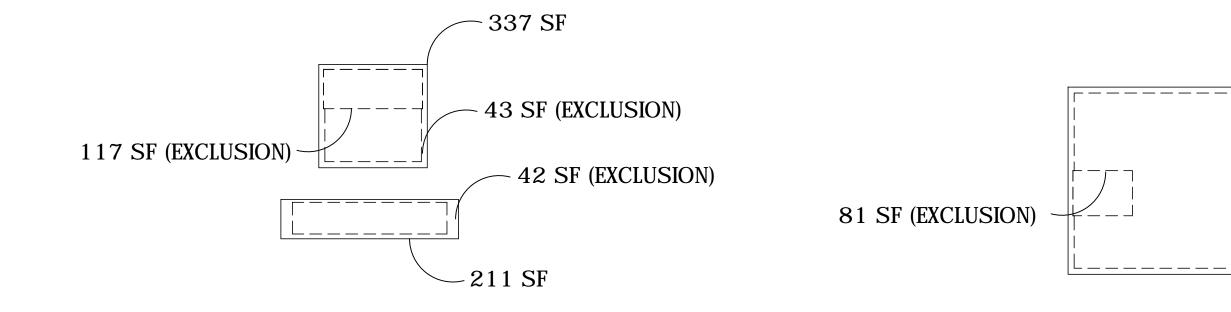
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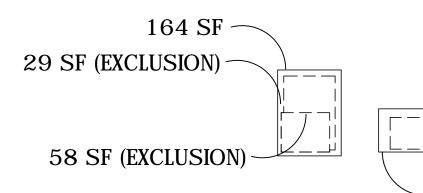
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# LEVEL 10 AREA OVERLAY

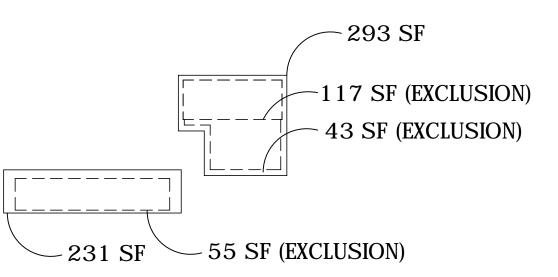
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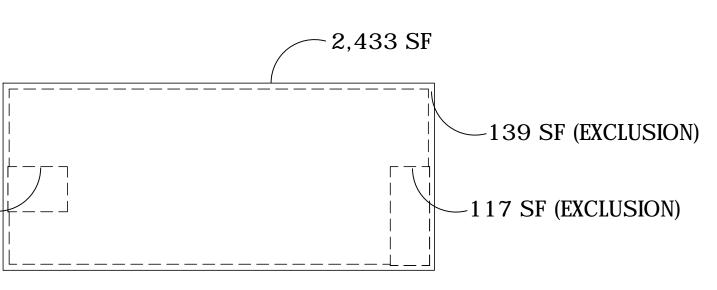




**ROOF AREA CALCULATION:** 

TOTAL GROSS FLOOR AREA = 3,669 SF TOTAL EXCLUDED AREA = 841 SF TOTAL FSR = 2,828 SF





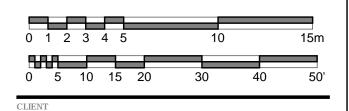


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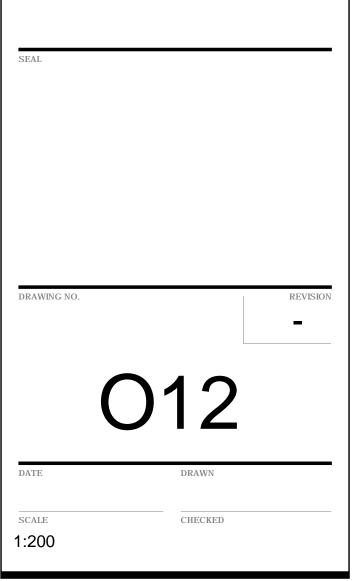
PROJECT NO.

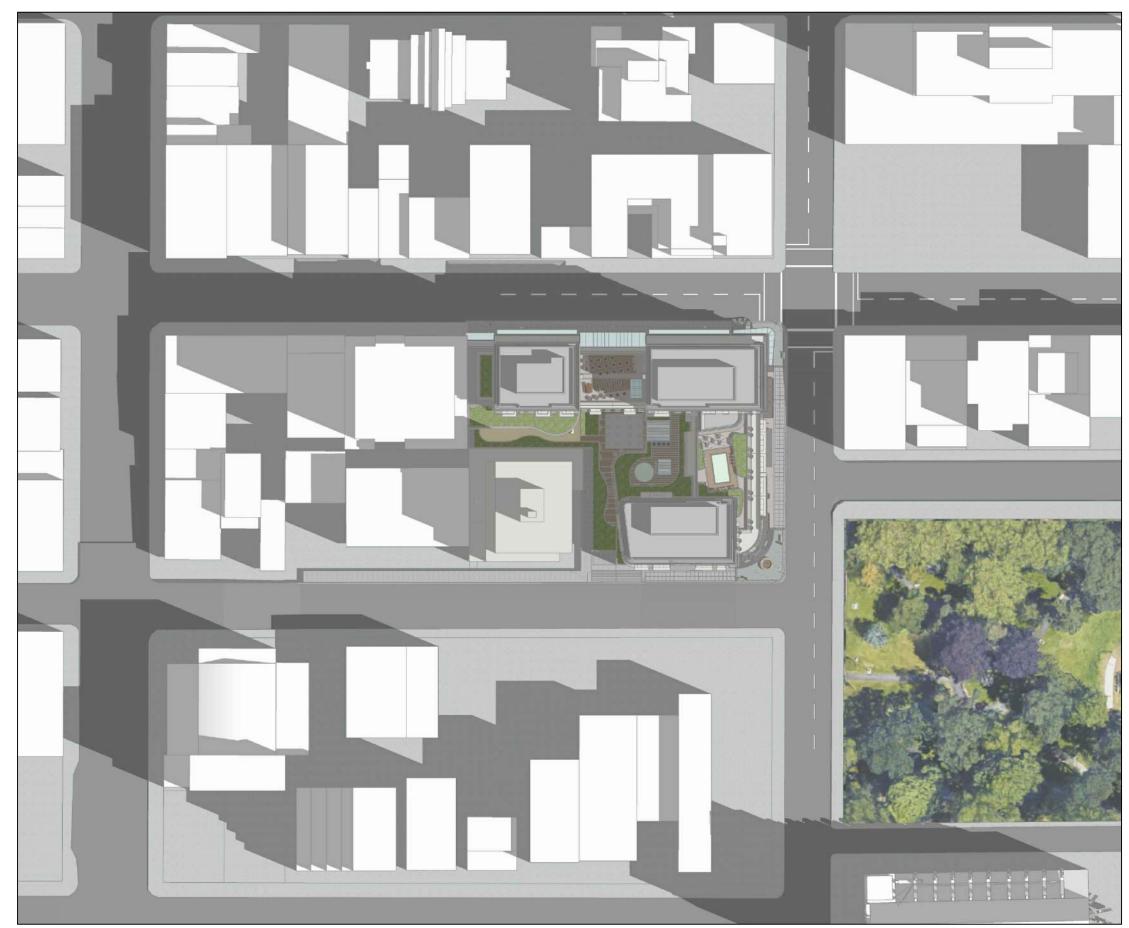
DRAWING TITLE

17420

PROJECT PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

# ROOF AREA OVERLAY



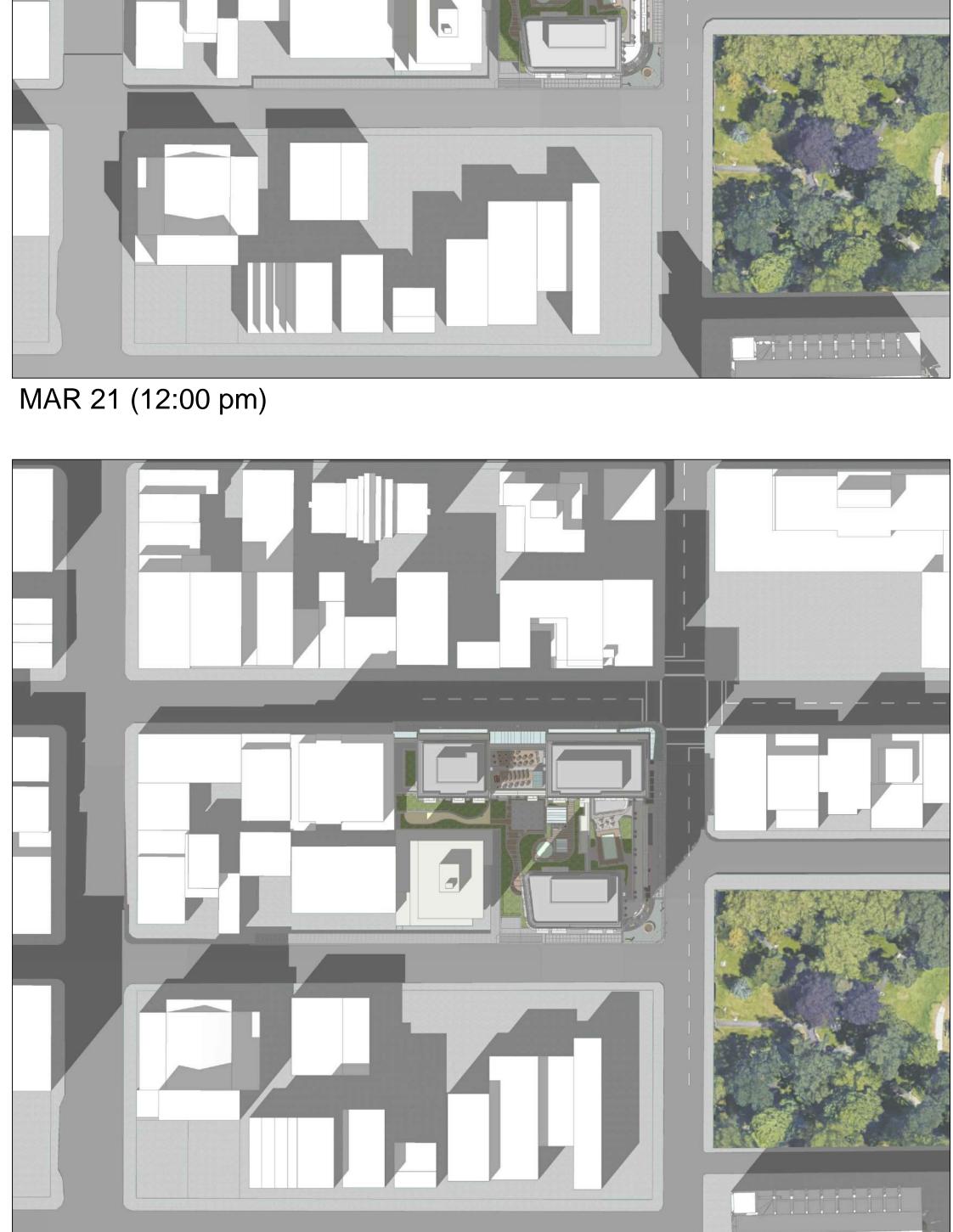


MAR 21 (10:00 am)

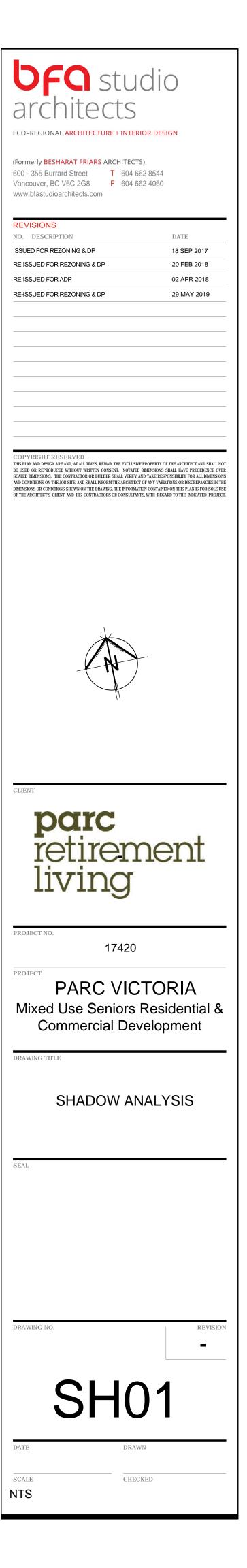


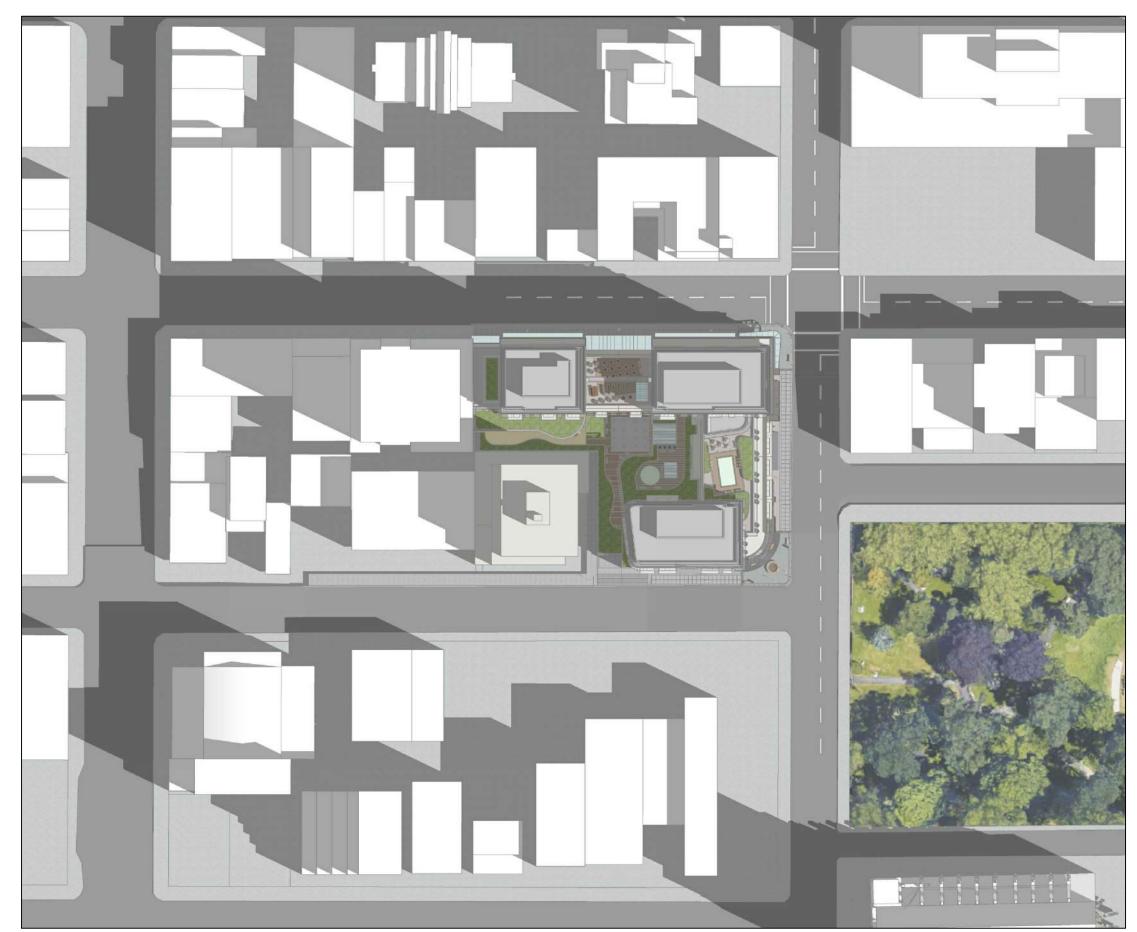
MAR 21 (02:00 pm)

## MAR 21 (04:00 pm)





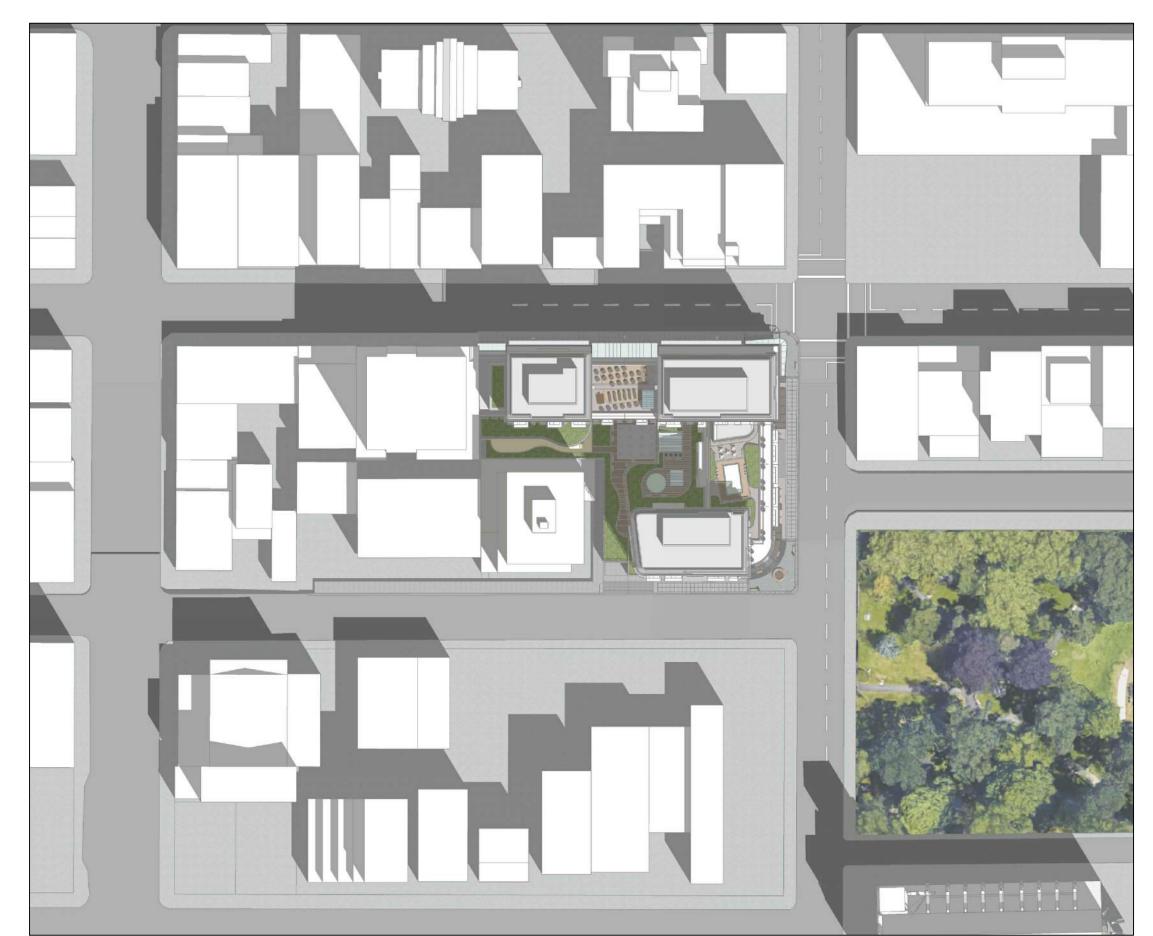




SEP 21 (10:00 am)



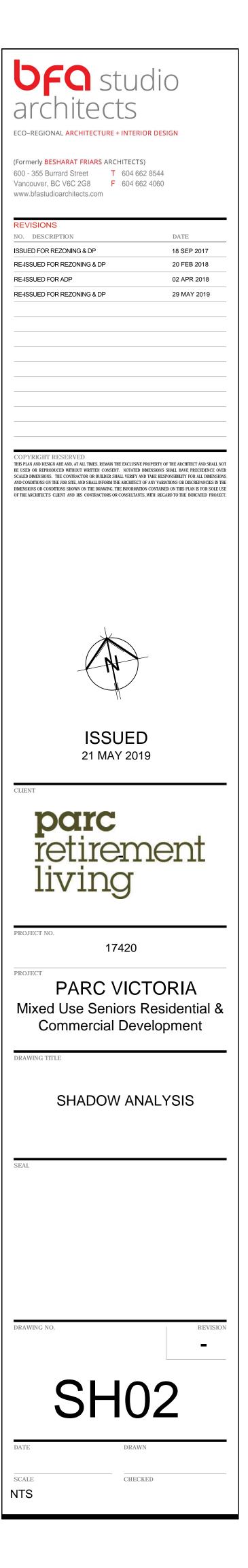
SEP 21 (02:00 pm)

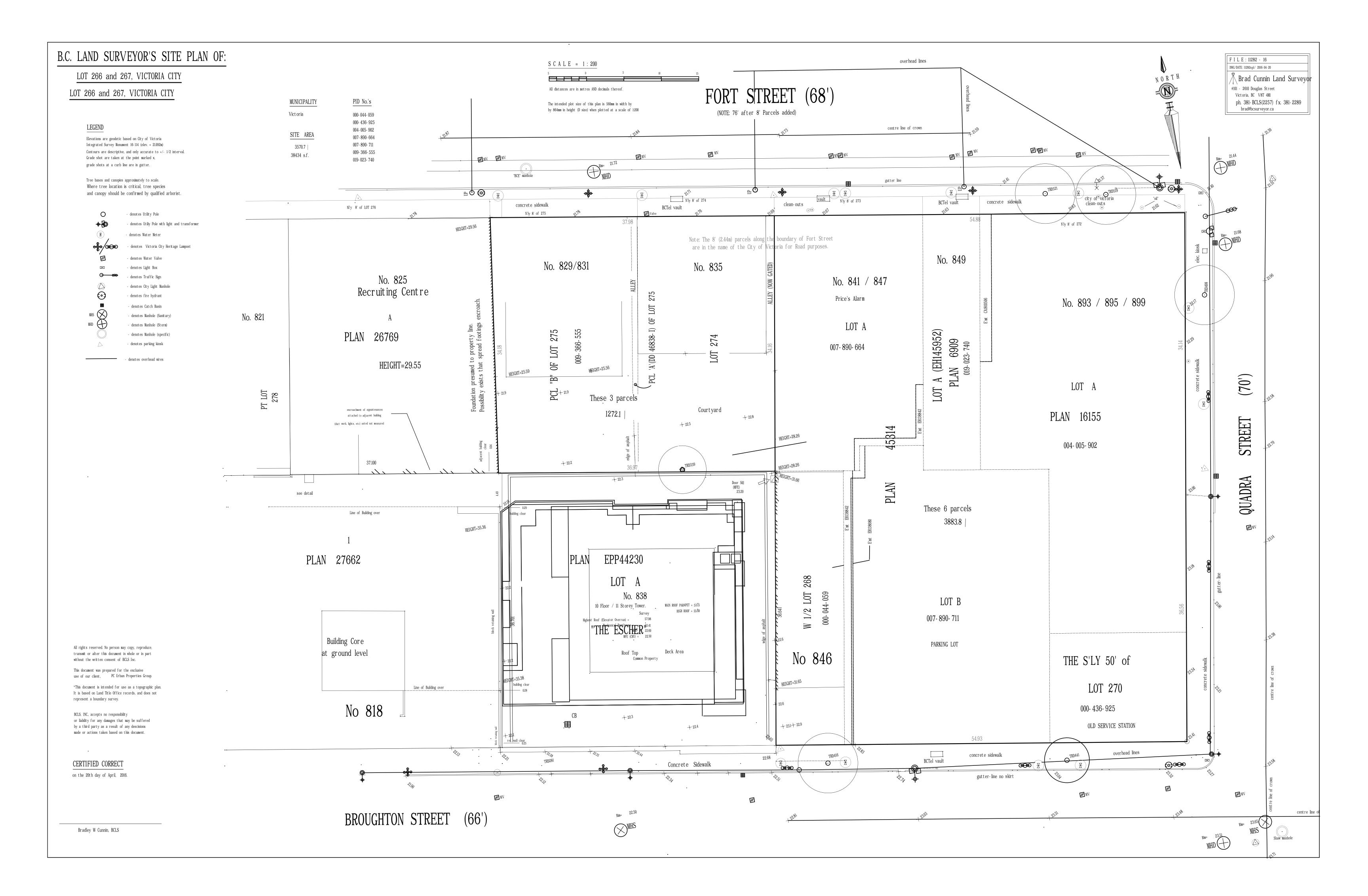


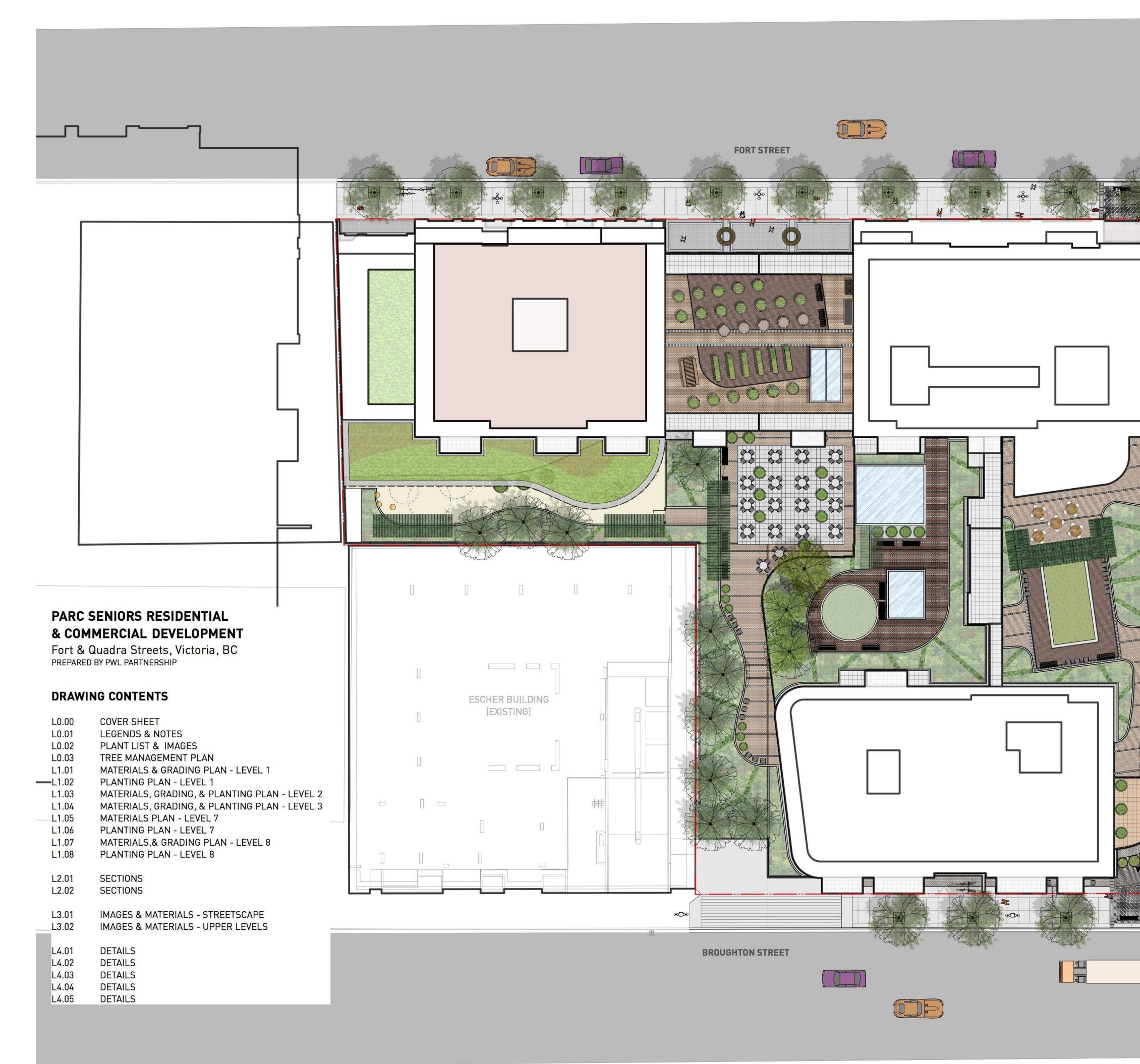
SEP 21 (12:00 pm)



SEP 21 (04:00 pm)







**PWL** partnership

#### 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29



KEY	DETAIL	DESCRIPTION
×H2	6 L4.02	HARDSCAPE TYPE: Tree Grate SUPPLIER: Dobney Foundry DESCRIPTION: SP-48 Square Tree Grate with Frame SIZE: 1219mm x 1219mm FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
(H1)	6 L4.01	HARDSCAPE TYPE: River Rock Maintenance Strip SUPPLIER: DESCRIPTION: Washed Round River Rock SIZE: 40mm Dia. FINISH: COMMENT:
<del>H3</del>	6 L4.01	HARDSCAPE TYPE: Raised Concrete Planter SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT: Typ. 0.45m Soil Depth Shrubs, 0.9m Soil Depth Trees
<b>(H4</b> )	7 L4.01	HARDSCAPE TYPE: Resilient Surface SUPPLIER: DESCRIPTION: With Concrete Band SIZE: FINISH: COMMENT:
<b>(H5</b> )	(1-3) (L4.04)	HARDSCAPE TYPE: Stairs SUPPLIER: DESCRIPTION: With Handrail & Tactile Warning SIZE: Refer to Plans & Details FINISH: COMMENT:
(H6)	4 L4.02	HARDSCAPE TYPE: Green Roof SUPPLIER: DESCRIPTION: SIZE: FINISH:

PAVIN	NG LEGEI	ND
KEY	DETAIL	DESCRIPTION
P1	1 L4.01	PAVING TYPE: Cast in Place Concrete Paving SUPPLIER: DESCRIPTION: Fine Broom Finish with Saw Cut Joints SIZE: Refer to Plans and Details FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
<b>P2</b>	2 L4.01	<ul> <li>PAVING TYPE: Concrete Unit Paver</li> <li>SUPPLIER:</li> <li>DESCRIPTION: Per City Streetscape Guidelines</li> <li>SIZE: 225mm L x 75mm W x 60mm D</li> <li>FINISH: Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey</li> <li>COMMENT: Per City of Victoria Streetscape Guidelines</li> </ul>
<b>P3</b>	2 L4.01	PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Desert Sand Blend SIZE: 225mm L x 112mm W x 60mm D FINISH: Running Bond Pattern COMMENT:
<b>P4</b>	4 L4.01	PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Natural Grey SIZE: 225mm L x 112mm W x 60mm D FINISH: Banding Pattern COMMENT:
<b>P5</b>	4 L4.01	PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Sand-Brown Blend SIZE: 225mm L x 112mm W x 60mm D FINISH: Running Bond Pattern COMMENT:
<b>P6</b>	4 L4.01	PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Desert Sand Blend SIZE: 225mm L x 112mm W x 60mm D FINISH: Running Bond Pattern COMMENT:
<b>P7</b>	5 L4.01	PAVING TYPE: Basalt Stone Banding SUPPLIER: Bedrock Natural Stone DESCRIPTION: Displaying Street Name SIZE: 300mm W x 450mm H x 80mm D FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
<b>P8</b>	3 L4.01	PAVING TYPE: Hydrapressed Slab Paver SUPPLIER: DESCRIPTION: SIZE: 457mm H x 457mm H x 40mm D FINISH: Stacked Bond Pattern; Colour: Natural Grey COMMENT: At Residential Unit Patios
<b>P9</b>	3 L4.01	PAVING TYPE: Hydrapressed Slab Paver SUPPLIER: Abbotsford Concrete DESCRIPTION: 'Aristocrat' Paver SIZE: 457mm H x 457mm H x 40mm D FINISH: COMMENT: To Match L2 Interior Space
P10	8 L4.01	PAVING TYPE: Penny Tile Paving SUPPLIER: DESCRIPTION: At Fort Street Level SIZE: FINISH: COMMENT:

	D	
KEY	DETAIL	DESCRIPTION
~		FURNISHING TYPE: Planter Pot SUPPLIER:
F1	(4) (L4.05)	DESCRIPTION: SIZE:
		FINISH: COMMENT:
	9 2	FURNISHING TYPE: Bike Rack
$\wedge$		SUPPLIER:
<b>F2</b>	L4.05	<b>DESCRIPTION:</b> 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack SIZE: 12" Length, 3' Height
		FINISH: Glossy Black (RAL 9017) Baked-on Powder Coat COMMENT: Per City of Victoria Streetscape Guidelines
		FURNISHING TYPE: Bollard
$\sim$	$\square$	SUPPLIER:
F3		DESCRIPTION: Per City Streetscape Guidelines SIZE:
		FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		FURNISHING TYPE: Backless Bench
$\sim$	$\square$	SUPPLIER:
<b>F4</b>		<b>DESCRIPTION:</b> Per City Streetscape Guidelines SIZE:
		FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		FURNISHING TYPE: Bench with Back & Arms Both Sides
$\sim$		SUPPLIER: Landscape Forms
F5	L4.05	DESCRIPTION: 'Parc Vue' Bench SIZE:
		FINISH: COMMENT:
		FURNISHING TYPE: Chair
$\sim$	5	SUPPLIER:
F6		DESCRIPTION: SIZE:
		FINISH: COMMENT:
~		FURNISHING TYPE: Radial Bench SUPPLIER: Maglin Site Furnishings
<b>F7</b>	2 L4.05	DESCRIPTION: Ogden Radial Bench SIZE: Range 8
872		FINISH:
	-	COMMENT:
~	$\square$	FURNISHING TYPE: Patio Table & Chairs SUPPLIER:
F8		DESCRIPTION: SIZE:
		SIZE: FINISH:
	ļ	COMMENT:
		FURNISHING TYPE: Privacy Screen SUPPLIER:
F9		<b>DESCRIPTION:</b> At Residential Unit Patios
		SIZE: FINISH:
		COMMENT:
		FURNISHING TYPE: Gate SUPPLIER:
F10/	$\left  \right\rangle$	DESCRIPTION:
		SIZE: FINISH:
		COMMENT:
		FURNISHING TYPE: Trellis
F11	1-3	SUPPLIER: DESCRIPTION:
	L4.03	SIZE: FINISH:
		COMMENT:
		FURNISHING TYPE: Urban Agriculture
F12	3	SUPPLIER: DESCRIPTION:
	L4.05	SIZE: FINISH:
		FINISH: COMMENT:
		FURNISHING TYPE: Green Roof
FAR	4	SUPPLIER: DESCRIPTION:
F13	L4.02	SIZE:
		FINISH: COMMENT:
		FURNISHING TYPE: Greenhouse
	$\square$	SUPPLIER:
F14	$\left \left( \right)\right $	DESCRIPTION: SIZE:
		FINISH: COMMENT:
	-	
$\sim$	$\square$	FURNISHING TYPE: Compost & Potting Table SUPPLIER:
F15		DESCRIPTION: SIZE:
		FINISH:
		COMMENT:
		FURNISHING TYPE: Custom Circular Bench SUPPLIER:
F16	8	DESCRIPTION:
	L4.05	SIZE: FINISH:
		COMMENT:
IGH.	TING LEG	SEND
<b>KEY</b>	DETAIL	DESCRIPTION
		LIGHTING TYPE: Street Light Pole
		SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines
L1)		SIZE:
		FINISH: Heritage Cluster Globe Type A (Circular); Colour: Black COMMENT: Info. for Coordination Only- Refer to Electrical Drawings
	1	Mercedigensian Anterio I and the set of
		LIGHTING TYPE: Street Light Pole
	$\square$	LIGHTING TYPE: Street Light Pole SUPPLIER:
L2		

CITE	FIIDNICL	IING LEGEND	
KEY	DETAIL	DESCRIPTION	
(F1)	4 (14.05)	FURNISHING TYPE: Planter Pot SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F2	7 L4.05	FURNISHING TYPE: Bike Rack SUPPLIER: DESCRIPTION: 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack SIZE: 12" Length, 3' Height FINISH: Glossy Black (RAL 9017) Baked-on Powder Coat COMMENT: Per City of Victoria Streetscape Guidelines	
F3	$\bigcirc$	FURNISHING TYPE: Bollard SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: COMMENT: Per City of Victoria Streetscape Guidelines	
<b>F4</b>	$\bigcirc$	FURNISHING TYPE: Backless Bench SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: COMMENT: Per City of Victoria Streetscape Guidelines	
<b>F5</b>	1 L4.05	FURNISHING TYPE: Bench with Back & Arms Both Sides SUPPLIER: Landscape Forms DESCRIPTION: 'Parc Vue' Bench SIZE: FINISH: COMMENT:	
<b>F6</b>	5 L4.05	FURNISHING TYPE: Chair SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
<b>F7</b>	2 L4.05	FURNISHING TYPE: Radial Bench SUPPLIER: Maglin Site Furnishings DESCRIPTION: Ogden Radial Bench SIZE: Range 8 FINISH: COMMENT:	
<b>F8</b>	$\bigcirc$	FURNISHING TYPE: Patio Table & Chairs SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
<b>F9</b>	$\bigcirc$	FURNISHING TYPE: Privacy Screen SUPPLIER: DESCRIPTION: At Residential Unit Patios SIZE: FINISH: COMMENT:	
F10	$\bigcirc$	FURNISHING TYPE: Gate SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F11	1-3 L4.03	FURNISHING TYPE: Trellis SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F12	3 L4.05	FURNISHING TYPE: Urban Agriculture SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F13	4 L4.02	FURNISHING TYPE: Green Roof SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F14	$\bigcirc$	FURNISHING TYPE: Greenhouse SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F15	$\bigcirc$	FURNISHING TYPE: Compost & Potting Table SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
F16	8 L4.05	FURNISHING TYPE: Custom Circular Bench SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:	
I ICH.	TING LEG	3FND	
KEY		DESCRIPTION	
LI	$\bigcirc$	LIGHTING TYPE: Street Light Pole SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: Heritage Cluster Globe Type A (Circular); Colour: Black COMMENT: Info. for Coordination Only- Refer to Electrical Drawings	
(12)	$\bigcirc$	LIGHTING TYPE: Street Light Pole SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: Heritage Cluster Globe Type B (Aligned); Colour: Black COMMENT: Info. for Coordination Only- Refer to Electrical Drawings	

DO NOT SCAL
REPORT ANY I

- SPECIFICATIONS.
- AND RESPONSE.

## LANDSCAPE CONSTRUCTION NOTES

#### COMPLIANCE:

#### **CONSTRUCTION STAGE FIELD REVIEW:**

1. FIELD REVIEW BY PWL SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CONTROLLING THE PROGRESS, PROVIDING SAFE WORKING CONDITIONS, AND CORRECTING ANY DEVIATIONS FROM THE PROJECT REQUIREMENTS.

2. FIELD REVIEW REPORT BY PWL IS THE STATEMENT OF THE FIELD REVIEWER THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, INFORMATION AND BELIEF, THE INSTALLATION IS IN ACCORDANCE WITH THE GENERAL INTENT OF THE DESIGN AND IN GENERAL COMPLIANCE WITH THE PLAN AND SPECIFICATION ON THIS PROJECT. FIELD REVIEW SERVICES DO NOT ASSUME RESPONSIBILITY FOR THE WORK OF CONTRACTORS.

#### PLANTING GENERAL NOTES

- WILL BE REJECTED.
- RESPONSE.

### **GRADING GENERAL NOTES**

- RESPONSE.
- DRAWINGS.
- DRAINAGE STRUCTURES.

- ELEVATIONS.

#### LAYOUT AND MATERIALS GENERAL NOTES

LE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE

3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW

4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.

6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

#### CONTRACT DOCUMENTS:

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE LANDSCAPE CREW ON SITE ALWAYS HAS AND IS WORKING WITH THE LATEST CONTRACT DOCUMENTS (I.E. DRAWINGS, REVISIONS, SITE INSTRUCTIONS, ETC.)

PWL SHALL NOT ACCEPT RESPONSIBILITY OR LIABILITY AS IT RELATES TO THE LANDSCAPE CONSTRUCTION DUE TO DISREGARDS, ALTERATION OR FAILURE TO COMPLY WITH THE DESIGN, DRAWINGS, SPECIFICATIONS OR RECOMMENDATIONS OF THIS PROJECT DURING THE CONSTRUCTION STAGE.

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.

2. SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.

3. PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.

4. PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.

PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.

6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT

7. CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND

8. PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.

9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

1. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

2. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

3. GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND

4. SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE

6. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO

7. UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

8. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

9. TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB

10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

**PWL** partnership

## 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
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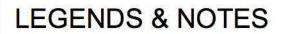
PROJECT NO.

PROJECT

DRAWING TITLE

16053

PARC VICTORIA Mixed Use Seniors Residential & Commercial Development



EAL	
RAWING NO.	REVISION
RAWING NO.	REVISION

11 APRIL 2018 SCALE

DATE

ER CHECKED BH

DRAWN





Acer capillipes



Quercus robur x 'Crimson Spire'



Quercus robur x 'Crimson Spire'





Buxus microphylla 'Winter Gem'









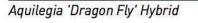
Nandina domestica

Euonymus fortuneii 'Emerald Gaiety'

Taxus x media 'H. M. Eddie'













Dryopteris erythrosora

Helleborus sp.



Carex morrowii 'Ice Dance'





Helichtotrichon sempervirens



lris sibirica



Polystichum munitum



Akebia quinata

NOTE: NOT ALL PLANT IMAGES SHOWN, REFER TO PLANT LIST.

Hosta sp.





Stewartia pseudocamellia





Choisya ternata



Rosa 'Meidiland Pink'



Erica carnea 'Springwood Pink'



Monarda didyma



Veronica spicata 'Sunny Border Blue'





Allium giganteum

Plant List Parc Victoria				
ID	Qty	Botanical Name	Common Name	Scheduled Size
		Trees		
ACC	3	Acer capillipes	Red Snakebark Maple	6 cm cal. (6' Standard)
AGR	3	Acer griseum	Paper Bark Maple	6 cm cal. (2-1/2" cal.)
APL	1	Acer palmatum 'Green'	Green Japanese Maple	4.0 m ht. x 2 m w. (13'ht. x 6.5'w
ARA	10	Acer rubrum 'Armstrong'	Armstrong Red Maple	8cm cal. (3" cal.)
ARN	5	Acer rubrum 'Scarsen'	Scarlet Sentinel Red Maple	8 cm cal. (3" cal.)
СКО	3	Cornus kousa	Kousa Dogwood	6 cm cal. (2-1/2" cal.)
PCH	3	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	7 cm cal. (2 1/2" cal.)
CRC	1	Quercus robur x 'Crimson Spire'	Crimson Spire Oak	8 cm cal. (3" cal.)
SPS	3	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. <mark>(</mark> 2" cal.)
TST	10	Thuja Spiral Topiary	Emerald Green Arborvitae	<u>1995</u> 0
DIAN	07	Shrubs	Winter Com Demond	40 t
BMW	94	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot
CIV	16	Ceanothus impressus 'Victoria'	Brilliant Ceanothus	#3 pot
CTR CSR	32 35	Choisya ternata Cornus sericea	Mexican Orange Blossom	#3 pot
			Red-osier Dogwood Red Heart Rose-of-Sharon	#2 pot
HYR LJT	12 14	Hibiscus syriacus 'Red Heart'		#3 pot
NDM	23	Ligustrum japonicum 'Texanum' Nandina domestica	Japanese Privel	#3 pot
OSD	13		Heavenly Bamboo Sweet olive	#3 pot
PLO	13	Osmanthus delavayii Prunus laurocerasus 'Otto Luyken'	Otto Luyken laurel	#3 pot #3 pot
RBB	59	Rhododendron 'Bow Bells'	Bow Bells Rhododendron	#3 pot
REL	46	Rhododendron 'Elizabeth'	Elizabeth Rhododendron	#3 pot
RHC	15	Rhododendron 'Hino Crimson'	Hino Crimson Rhododendron	#3 pot
RMF	13	Rhododendron 'Mary Fleming'	Mary Fleming Rhododendron	#3 pot
RRP	11	Rhododendron 'Ramapo'	Ramapo Rhododendron	#3 pot
RAL	37	Ribes alpinum	Alpine Currant	#3 pot
RSK	9	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#2 pot
RMP	8	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot
RMR	14	Rosa 'Meidiland Red'	Red Mediland	#2 pot
RWM	9	Rosa 'White Meidiland'	White Meidiland Rose	#2 pot
RRB	40	Rosa rubrifolia	Redleaf Rose	#3 pot
SHH	208	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot
SJP	231	Skimmia japonica	Japanese Skimmia	#3 pot
TXM	13	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m Ht.
VDV	169	Viburnum davidii	David Viburnum	#2 pot
		Ground Cover		
DBW	73	Daphne burkwoodii 'Carol Mackie'	Carol Mackie Daphne	#1 pot
DCN	57	Daphne cneorum	Rose Daphne	#1 pot
ECP	335	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot
EFE	18	Euonymus fortunei 'Emerald Gaiety'	Emeral Gaiety Wintercreeper	#1 pot
LMB	83	Liriope muscari 'Big Blue'	Big Blue Lily-turf	#1 pot
PMY	111	Paxistima mysinites	Oregon Boxwood	#1 pot
Terranet - e ata	6000.00V	Perennials		1934-000 HB
AFR	65	Aquilegia 'Dragon Fly' Hybrid	White/Pink Columbine	#1 pot
EPR	14	Echinecea purpurea	Purple Cone Flower	#1 pot
HOS	176	Helleborus sp.	Lenten Rose	#1 pot
HHN	44	Hosta sp.	Hosta	#1 pot
HOV	30	Hosta undulate variegated	Variegated Hosta	#1 pot
IRS	9	Iris sibirica	Siberian Iris	#1 pot
	97 27	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#1 pot
MON	27	Monarda didyma (Red)	Red Bee Balm	#1 pot
PHL	32	Phlox maculata alpha Phlox cubulata 'Pad Wings'	Pink Meadow Phlox	#1 pot
PSR	43 8	Phlox subulata 'Red Wings'	Red Wings Phlox	#1 pot
RBG TCO	8 101	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 pot #1 pot
VSB	64	Tiarella cordifolia Veronica spicata 'Sunny Border Blue'	Foam Flower Blue Veronica	#1 pot #1 pot
VOD	04		Dide veronica	#1 pot
		Ornamental Grasses		
1		Vines		
		Aquatic Plants		
DDE	40	Ferns	And a second framework	H1
DRE PMU	13 19	Dryopteris erythrosora Polystichum munitum	Autumn Fern Western Sword Fern	#1 pot #1 pot
	17		HESTELL SWOLL FELL	

NOTE: LEVEL 7 GREEN ROOF WILL USE ETERA SUN & SHADE SEDUM TILES WHICH CONSISTS OF THE FOLLOWING PLAN

Sedum acre 'Aurea'

Sedum album 'Green Ice'

Bulbs

Sedum kamtschaticum 'Weihenstephaner Gold' Sedum reflexum 'Blue Spruce'

Sedum reflexum 'Green Spruce'

Sedum sexangulare Sedum spurium 'Album Superbum'

Sedum spurium 'Fuldaglut' Sedum spurium 'Summer Glory' Sedum takesimensis 'Golden Carpet'

B&B. Uniform branching, dense tree, 6'[1.8 m] std.         B&B. Specimen and densely branched, no included bark, 3 stems         B&B. Uniform branching, dense tree, 6'[1.8 m] std.         B&B. Well branched, dense tree         B&B. Well established         B&B. Well established         Well establis	B&B. Uniform branching, dense tree, 6' [1.8m] std.         B&B. Uniform branching, dense tree, 7' [2.1 m] std.         B&B. Well branched, dense tree         B&B. Well branched, dense tree, nursery grown         Image: the stablished         Well established         Well e	cing	Remarks
B&B. Uniform branching, dense tree, 6' [1.8m] std.         B&B. Specimen and densely branched, no included bark, 3 stems         B&B. Uniform branching, dense tree, 7' [1.1 m] std.         B&B. Well branched, dense tree         B&B. Well established         '''       Well established         '''       Well established         ''''       Well established         '''''       Well established	B&B. Uniform branching, dense tree, 6' [1.8m] std.         B&B. Uniform branching, dense tree, 7' [2.1 m] std.         B&B. Well branched, dense tree         B&B. Well branched, dense tree, nursery grown         Image: the stablished         Well established         Well e		
B&B. Specimen and densely branched, no included bark, 3 stems       B&B, Uniform branching, dense tree, 7' [1: m] std.       B&B, Well branched, dense tree       B&B, Well branched, dense tree, nursery grown       3''       Well established       ''       Well established, nursery grown       '''       Well established       '''       Well established       '''       Well established, nursery grown       ''''       Well established, nursery grown       ''''       Well established       ''''       Well establi	B&B, Specimen and densely branched, no included bark, 3 stems         B&B, Uniform branching, dense tree, 6' (1.8 m) std.         B&B, Well branched, dense tree         B&B, Well branched, dense tree, unsery grown         Well established	nwon	
B&B. Uniform branching, dense tree, 7 [2,1 m] std.         B&B. Uniform branching, dense tree, 6 [1,8 m] std.         B&B. Well branched, dense tree, 6 [1,8 m] std.         B&B. Well branched, dense tree, 6 [1,8 m] std.         B&B. Well branched, dense tree, nursery grown         31         Well established         "1       Well established         "2       Well established         "3       Well established         "4       Well established         "5       Well established         "6       Well established         "7       Well established         "8       Well established         "9       Well established         "1       Well established         "1       Well established         "1       Well established         "1       Well established         "2       Well established         "3       Well established         "4       Well established         "5       Well established         "6       Well established         "7       Well established         "8       Well established         "9       Well established         *1       Well established         <	B&B, Uniform branching, dense tree, 6' [1.8 m] std.         B&B, Well branched, dense tree         B&B, Well established         Well established         Well established, nursery grown         'Well established, dense hedging plant         Well established         Well	nown nown	
B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         PI         Well established         '1       Well established         '2       Well established         '2       Well established         '2 </td <td>B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established, dense hedging plant         Well established         Well established</td> <td>nown</td> <td></td>	B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established, dense hedging plant         Well established	nown	
B&B, Well branched, dense tree         B&B, Well branched, dense tree         B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         37         Well established         71       Well established         72       Well established, nursery grown         97       Well established, nursery grown         97       Well established, dense hedging plant         71       Well established         72       Well established         73       Well established         74       Well established         75       Well established         76       Well established         77       Well established         78       Well established         79       Well established         70       Well established         71       Well established         72       Well established, nursery grown         73       Well established         74       Well established         75       Well established, nursery grown         74       Well established         75       Well established, nursery grown         74       Well established         75       Well established <td>B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree, nursery grown         Image: Mell Branched, dense tree, nursery grown         Image: Mell Branched, dense tree, nursery grown         Image: Mell Branched, dense hedging plant         Well established         Well established, dense hedging plant         Well established         Well established, nursery grown         Image: Well established         Well established, nursery grown         Well established         Well establish</td> <td>nown</td> <td></td>	B&B, Well branched, dense tree         B&B, Well branched, dense tree         B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         Image: Mell Branched, dense tree, nursery grown         Image: Mell Branched, dense tree, nursery grown         Image: Mell Branched, dense hedging plant         Well established         Well established, dense hedging plant         Well established         Well established, nursery grown         Image: Well established         Well established, nursery grown         Well established         Well establish	nown	
B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         37]       Well established         7]       Well established         8]       Well established         9]       Well established         16] <td>B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree         B&amp;B, Well branched, dense tree, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established, dense hedging plant         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established         &lt;</td> <td>nown</td> <td></td>	B&B, Well branched, dense tree         B&B, Well branched, dense tree         B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established, dense hedging plant         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established         <	nown	
b       B&B, Well branched, dense tree, nursery grown         37       Well established         71       Well established         71       Well established, nursery grown         97       Well established         71       Well established         72       Well established         73       Well established         74       Well established         75       Well established         76       Well established         77       Well established         78       Well established         79       Well established         71       Well established         72       Well established         73       Well established, nursery grown         74       Well established         75       Well established         76       Well established         77       Well established         78       Well established         79       Well established         71       Well established         72       Well established         73       Well established         74       Well established         75       Well established         76       Well es	B&B, Well branched, dense tree         B&B, Well branched, dense tree, nursery grown         Well established         Well established, nursery grown         Well established, dense hedging plant         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established <td>nown nown</td> <td></td>	nown nown	
B&B, Well branched, dense tree, nursery grown           37         Well established           7         Well established           7         Well established           7         Well established, nursery grown           9         Well established           7         Well established           8         Well established           9         Well established	B&B, Well branched, dense tree, nursery grown         Well established         Well established, nursery grown         Well established	nown	
"I       Well established         "I       Well established, nursery grown         9"]       Well established, dense hedging plant         "I       Well established         2"]       Well established         2"]       Well established         "I       Well established         Well established       Well established         "I       Well established         S'I       Wel	Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established<	nown	
"I       Well established, nursery grown         "I       Well established         "I       Well established, nursery grown         "I       Well established         "I       Scm (6") height	Well established         Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established         Well established<	n (18")	Well established
"] Well established, nursery grown 9'] Well established, dense hedging plant ''] Well established 2''] Well established ''] Well established ''] Well established ''] Well established ''] Well established ''] Well established ''] Well established, nursery grown ''] Well established ''] Scm (6''] height ''] 15cm (6''] height ''] 15cm (6''] height ''] 15cm (6''] height ''] 20cm (8''] height ''] 20cm (8''] height ''] 20cm (8''] height ''] Well established ''] Well established	<ul> <li>Well established, nursery grown</li> <li>Well established dense hedging plant</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established, nursery grown</li> <li>Well established, nursery grown</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established</li> <li>Well established, nursery grown</li> <li>Well established, nursery grown</li> <li>Well established</li> <li>Well established<!--</td--><td>n (36")</td><td></td></li></ul>	n (36")	
9"]       Well established, dense hedging plant         "]       Well established         2"]       Well established         "]       Well established, nursery grown         9"]       Well established         "]       Well established         *]       Well established         *]       Well established         *]       Well established         *]       Scm [6"] height         *]       15cm [6"] height         *]       20cm [8"] height         *]       20cm [8"] height         *]       20cm [8"] height         *]       20cm [8"] height         *]       Well established     <	') Well established, dense hedging plant Well established 'Well established Well established Well established Well established Well established, nursery grown ') Well established, nursery grown Well established, nursery grown Well established Well established, nursery grown Well established Well established Well established, nursery grown Well established Well established Well established, nursery grown Well established Well established Well established Well established Well established, nursery grown Well established Well established, nursery grown	n (36") n (36")	
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27]       Well established         "]       Well established, nursery grown         "]       Well established         *]       Well established         *]       Well established         *]       15cm (6") height         *]       15cm (6") height         *]       25cm (10") spread. Minimum 3 leads         ?]       Well established         *]       20cm (8") height         *]       20cm (8") height         *]       20cm (8") height         *]       Well established         *]       Well established         *]       Well established	') Well established Well established Well established Well established Well established, nursery grown ') Well established, nursery grown Well established Well established Well established Well established Well established Well established, nursery grown Well established Well established, nursery grown Well established Well established Well established, nursery grown	n (24")	
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"] Well established "] Well established "] Well established "] Well established, nursery grown "] Well established nursery grown "] Well established "] Well established "] Well established "] Well established "] Well established "] Well established, nursery grown 3"] Well established "] Well established "] Well established "] Scm (6") height "] 15cm (6") height "] 15cm (6") height "] 25cm (10") spread. Minimum 3 leads 2"] Well established "] 20cm (8") height "] 20cm (8") height "] 20cm (8") height "] 20cm (8") height "] Well established "] Well established nursery grown	Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, dense hedging plant / B & B         Well established         Wel	m (42") n (24")	
"] Well established          "] Well established         "] Well established         "] Well established, nursery grown         "] Well established, nursery grown         "] Well established         "] Well established, nursery grown         "] Well established         [] Well established, nursery grown         [] Well established, nursery grown <td>Well established         Well established, nursery grown         'Well established, nursery grown         'Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown</td> <td>(24) (30")</td> <td></td>	Well established         Well established, nursery grown         'Well established, nursery grown         'Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown	(24) (30")	
"  Well established "  Well established, nursery grown "  Well established, nursery grown "  Well established "  Well established "  Well established "  Well established, nursery grown 3"  Well established, nursery grown 3"  Well established, dense hedging plant / B & B "  Well established "  Used us tablished "  Used us tablished "  15cm (6") height "  15cm (6") height "  15cm (6") height "  15cm (6") height "  25cm (10") spread. Minimum 3 leads 2"  Well established "  Well established "  Well established "  Well established "  Well established 5"  Well established, nursery grown 5"  Well established 5"  Well established 5"  Well established, nursery grown 5"  Well established 5"  Well established 5"  Well established, nursery grown 5"  Well established, nurse	Well established         Well established, nursery grown         '' Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, dense hedging plant / B & B         Well established         Well established         Scm (6") height         15cm (6") height         12cm (8") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established	(30")	Well established
"  Well established "  Well established, nursery grown "  Well established "  Well established "  Well established "  Well established "  Well established "  Well established "  Well established 5'  Well established, dense hedging plant / B & B (-) Well established 5'  Well established "  15cm (6") height "  15cm (6") height "  15cm (6") height "  15cm (6") height "  25cm (10") spread. Minimum 3 leads 2'  Well established "  20cm (8") height "  20cm (8") height "  Well established 5'	Well established         Well established, nursery grown         Well established         Scm (6") height         15cm (6") height         100cm (8") height	(30")	
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9"]       Well established, nursery grown         "]       Well established         "]       15cm (6") height         "]       15cm (6") height         "]       15cm (6") height         "]       15cm (6") height         "]       25cm (10") spread. Minimum 3 leads         2"]       Well established         "]       20cm (8") height         "]       20cm (8") height         "]       Well established         "]       Well established, nursery grown         *]       Well established, nursery grown         *]	"] Well established, nursery grown Well established Well established Well established, nursery grown          Well established, dense hedging plant / B & B         Well established         Well established, dense hedging plant / B & B         Well established         1 Well established         Well established         Well established         1 Scm (6") height         1 Scm (6") height         1 Scm (6") height         2 Scm (10") spread. Minimum 3 leads         Well established         20cm (8") height         20cm (8") height         Well established	n (30") n (36")	
"] Well established          "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Well established         "] Tocm (6") height         "] 15cm (6") height         "] 25cm [10"] spread. Minimum 3 leads         2"] Well established         "] 20cm [8") height         "] Well established         "] Well established         "] Well established         [5"] Well established         [5"] Well established         [5"] Well established, nursery grown         [5"] Well established         [5"] Well established         [5"] Well established         [5"] Well established         [5"] Well established, nursery grown         [5"] Well established, nursery grown         [5"] Well established, nursery grown <td< td=""><td>Well established         Well established         Well established, nursery grown         Well established         Well established, dense hedging plant / B &amp; B         Well established         Well established         Well established         Well established         Well established         15cm (6") height         15cm (6") height         15cm (6") spread. Minimum 3 leads         Well established         20cm (8") height         20cm (8") height         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown</td><td>n (39")</td><td>and the second se</td></td<>	Well established         Well established         Well established, nursery grown         Well established         Well established, dense hedging plant / B & B         Well established         Well established         Well established         Well established         Well established         15cm (6") height         15cm (6") height         15cm (6") spread. Minimum 3 leads         Well established         20cm (8") height         20cm (8") height         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown	n (39")	and the second se
3"       Well established         "       Well established, nursery grown         3"       Well established         4"       Well established, dense hedging plant / B & B         4"       Well established         "       Well established         "       Well established         "       Well established         "       15cm (6") height         "       25cm (10") spread. Minimum 3 leads         2"       Well established         "       20cm (8") height         "       20cm (8") height         "       20cm (8") height         "       Well established         "       Well established         "       Well established         "       Well established         "       Well established, nursery grown         *'       Well established, nursery grown	Well established         Well established, nursery grown         Well established         Well established, dense hedging plant / B & B         Well established         15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         20cm (8") height         Well established         Well established, nursery grown         Well established, nursery grown </td <td>(24")</td> <td>Well established</td>	(24")	Well established
"'       Well established, nursery grown         3")       Well established         4")       Well established, dense hedging plant / B & B         4")       Well established         "')       15cm (6") height         "')       15cm (6") height         "')       25cm (10") spread. Minimum 3 leads         2'')       Well established         "')       20cm (8") height         "'')       20cm (8") height         "'')       Well established         "')       Well established         "')       Well established         \$'')       Well established, nursery grown         \$''')       Well established, nursery grown         \$''') <td< td=""><td>Well established, nursery grown         Well established         Well established, dense hedging plant / B &amp; B         Well established         15cm (6") height         125cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         10         Well established         10         Well established         Well established         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown</td><td>(24")</td><td></td></td<>	Well established, nursery grown         Well established         Well established, dense hedging plant / B & B         Well established         15cm (6") height         125cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         10         Well established         10         Well established         Well established         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown	(24")	
3")       Well established         4")       Well established, dense hedging plant / B & B         4")       Well established         ")       15cm (6") height         ")       15cm (6") height         ")       15cm (6") height         ")       15cm (6") height         5")       25cm (10") spread. Minimum 3 leads         2")       Well established         ")       20cm (8") height         20cm (8") height         21       Well established         ")       20cm (8") height         22")       Well established         ")       Well established         2")       Well established, nursery grown         5")       Well established, nursery grown         5")       Well established, nursery grown	Well established         Well established, dense hedging plant / B & B         Well established         15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established         20cm (8") height         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown	n (18") (30")	
4"] Well established 4"] Well established, dense hedging plant / B & B 4"] Well established 4"] 15cm (6") height 1"] 15cm (6") height 1"] 15cm (6") height 1"] 25cm (10") spread. Minimum 3 leads 2"] Well established 4"] 20cm (8") height 2"] Well established 4"] Well establi	Well established         Well established         15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established         20cm (8") height         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown	(30) 1 (18")	
(*')       Well established         "')       15cm (6") height         ")       15cm (6") height         ")       15cm (6") height         ")       15cm (6") height         ")       25cm (10") spread. Minimum 3 leads         2")       Well established         ")       20cm (8") height         ")       20cm (8") height         ")       20cm (8") height         ")       Well established         ")       20cm (8") height         ")       Well established         ")       Well established, nursery grown         ")       Well established         ")       Well established         2")       Well established         2")       Well established         2")       Well established, nursery grown         ")       Well established, nursery grown         *NOT ALL PLANT IMAGES SHOWN         ")       Well established, nursery grown	Well established         15cm (6") height         15cm (6") height         15cm (6") height         15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established         10         Well established         11         Well established         12         Well established         13         Well established         14         Well established         15         Well established         16         Well established         17         Well established         18         19         Well established, nursery grown         110         Well established, nursery grown         1111         Well established         1111         Well established         1111         Well established, nursery grown	n (24")	Well established
"]       15cm (6") height         "]       15cm (6") height         5"]       25cm (10") spread. Minimum 3 leads         2"]       Well established         "]       20cm (8") height         2"]       Well established         2"]       Well established         4"]       Well established         4"]       Well established         4"]       Well established         5"]       Well established         6"]       Well established         6"]       Well established, nursery grown         2"]       Well established         2"]       Well established         2"]       Well established         2"]       Well established         2"]       Well established, nursery grown         4"]       Well established, nursery grown         5"]       Well established, nursery grown	15cm (6") height         15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established         Well established, nursery grown         Well established, nursery grown	(16") (24")	
"]       15cm (6") height         "]       15cm (6") height         5"]       25cm (10") spread. Minimum 3 leads         2"]       Well established         "]       20cm (8") height         2"]       Well established         2"]       Well established         4"]       Well established         4"]       Well established         4"]       Well established         5"]       Well established         6"]       Well established         6"]       Well established, nursery grown         2"]       Well established         2"]       Well established         2"]       Well established, nursery grown         6"]       Well established, nursery grown         5"]       Well established, nursery grown	15cm (6") height         15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established         Well established, nursery grown         Well established, nursery grown	2 6	
"]       15cm (6") height         5"]       25cm (10") spread. Minimum 3 leads         2"]       Well established         "]       20cm (8") height         2"]       Well established, nursery grown         3"]       Well established         4"]       Well established         5"]       Well established         6"]       Well established         5"]       Well established         6"]       Well established         5"]       Well established         6"]       Well established         6"]       Well established         6"]       Well established, nursery grown         2"]       Well established, nursery grown         6"]       Well established         2"]       Well established         2"]       Well established         2"]       Well established, nursery grown         6"]       Well established, nursery grown         6"]       Well established, nursery grown         6"]       Well established, nursery grown	15cm (6") height         25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, nursery grown	(15")	
5"]       25cm (10") spread. Minimum 3 leads         2"]       Well established         "]       20cm (8") height         2"]       Well established, nursery grown         3"]       Well established         4"]       Well established         5"]       Well established         5"]       Well established         5"]       Well established         6"]       Well established         2"]       Well established, nursery grown         6"]       Well established         2"]       Well established, nursery grown         6"]       Well established, nursery grown         6"]       Well established, nursery grown	25cm (10") spread. Minimum 3 leads         Well established         20cm (8") height             Well established, nursery grown             Well established             Well established, nursery grown             Well established, nursery grown             Well established             Well established, nursery grown             Well established, nursery grown	n (15") n (15")	
")       20cm (8") height         2")       Well established, nursery grown         3")       Well established         4")       Well established         5")       Well established         6")       Well established, nursery grown         2")       Well established, nursery grown         6")       Well established         2")       Well established, nursery grown         6")       Well established, nursery grown         6")       Well established, nursery grown         6")       Well established, nursery grown	20cm [8"] height         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established         Well established         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown	n (15")	The condition from the condition of the
2"] Well established, nursery grown 3"] Well established 4"] Well established 5"] Well established 5"] Well established 5"] Well established 5"] Well established, nursery grown 5"] Well established 2"] Well established 2"] Well established 2"] Well established 5"] Well established, nursery grown 5"] Well established	Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established, nursery grown	n (12")	Well established
3"]       Well established         4"]       Well established         5"]       Well established         6"]       Well established         5"]       Well established         6"]       Well established         2"]       Well established, nursery grown         2"]       Well established, nursery grown         2"]       Well established         2"]       Well established, nursery grown         6"]       Well established, nursery grown         6"]       Well established, nursery grown         6"]       Well established, nursery grown	Well established         Well established, nursery grown         Well established         Well established, nursery grown         Well established	n (15")	20cm (8") height
4"]       Well established         5"]       Well established         2"]       Well established, nursery grown         2"]       Well established, nursery grown         5"]       Well established         2"]       Well established, nursery grown         5"]       Well established, nursery grown         5"]       Well established, nursery grown         5"]       Well established, nursery grown	Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established         Well established, nursery grown         Well established         Well established, nursery grown	n (12")	
5"       Well established         6"       Well established         6"       Well established         6"       Well established, nursery grown         2"       Well established         2"       Well established, nursery grown         6"       Well established, nursery grown         6"       Well established, nursery grown         6"       Well established, nursery grown	Well established         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established         Well established         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established, nursery grown	n (18")	
5")       Well established         6")       Well established         6")       Well established         2")       Well established, nursery grown         6")       Well established         2")       Well established, nursery grown         6")       Well established, nursery grown         6")       Well established, nursery grown         6")       Well established, nursery grown	Well established         Well established         Well established         Well established, nursery grown         Well established         Well established, nursery grown	ו (14") ו (16")	
"       Well established         6")       Well established         2")       Well established, nursery grown         2")       Well established         2")       Well established, nursery grown         6")       Well established, nursery grown         6")       Well established, nursery grown         6")       Well established, nursery grown	Well established         Well established         Well established, nursery grown         Well established, nursery grown         Well established         Well established, nursery grown         Well established         Well established, nursery grown	n (16")	
6"]       Well established         2"]       Well established, nursery grown         6"]       Well established         2"]       Well established, nursery grown         6"]       Well established         6"]       Well established         6"]       Well established, nursery grown         6"]       Well established, nursery grown	Well established         Well established, nursery grown         Well established         Well established         Well established         Well established         Well established, nursery grown	[14"]	Well established
2")       Well established, nursery grown         2")       Well established         2")       Well established         2")       Well established, nursery grown         2")       Well established, nursery grown         6")       Well established         6")       Well established, nursery grown         *NOT ALL PLANT IMAGES SHOWN	Well established, nursery grown         Well established         Well established         Well established         Well established, nursery grown         Well established, nursery grown	n (16")	
2"] Well established 3"] Well established 2"] Well established, nursery grown 3"] Well established defined 3"] Well established defined de	Well established         Well established         Well established         Well established, nursery grown         Well established         Well established	n (16") n (12")	
6") Well established 2") Well established, nursery grown 6") Well established 6") Well established 6") Well established, nursery grown *NOT ALL PLANT IMAGES SHOWN	Well established         Well established, nursery grown         Well established, nursery grown         Well established	n (12) n (12")	
2"] Well established, nursery grown 5"] Well established 5"] Well established, nursery grown <b>*NOT ALL PLANT IMAGES SHOWN</b>	) Well established, nursery grown ) Well established	n (16")	Well established
6") Well established 6") Well established, nursery grown <b>*NOT ALL PLANT IMAGES SHOWN</b>	) Well established	n (12")	
6") Well established, nursery grown <b>*NOT ALL PLANT IMAGES SHOWN</b>		n (12")	Well established, nursery grown
6") Well established, nursery grown <b>*NOT ALL PLANT IMAGES SHOWN</b>			
		n (16") n (16")	THAT ALL BLANT INAADES SHOWA
		1(10)	Well established, hursely grown
		IIX:	

**PWL** partnership

FLOOR, 1201 WEST PENDER STREET ICOUVER, BC V6E 2V2 -688-6111

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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ECT NO.

16053

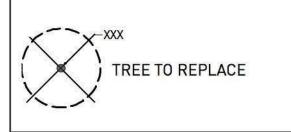
PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

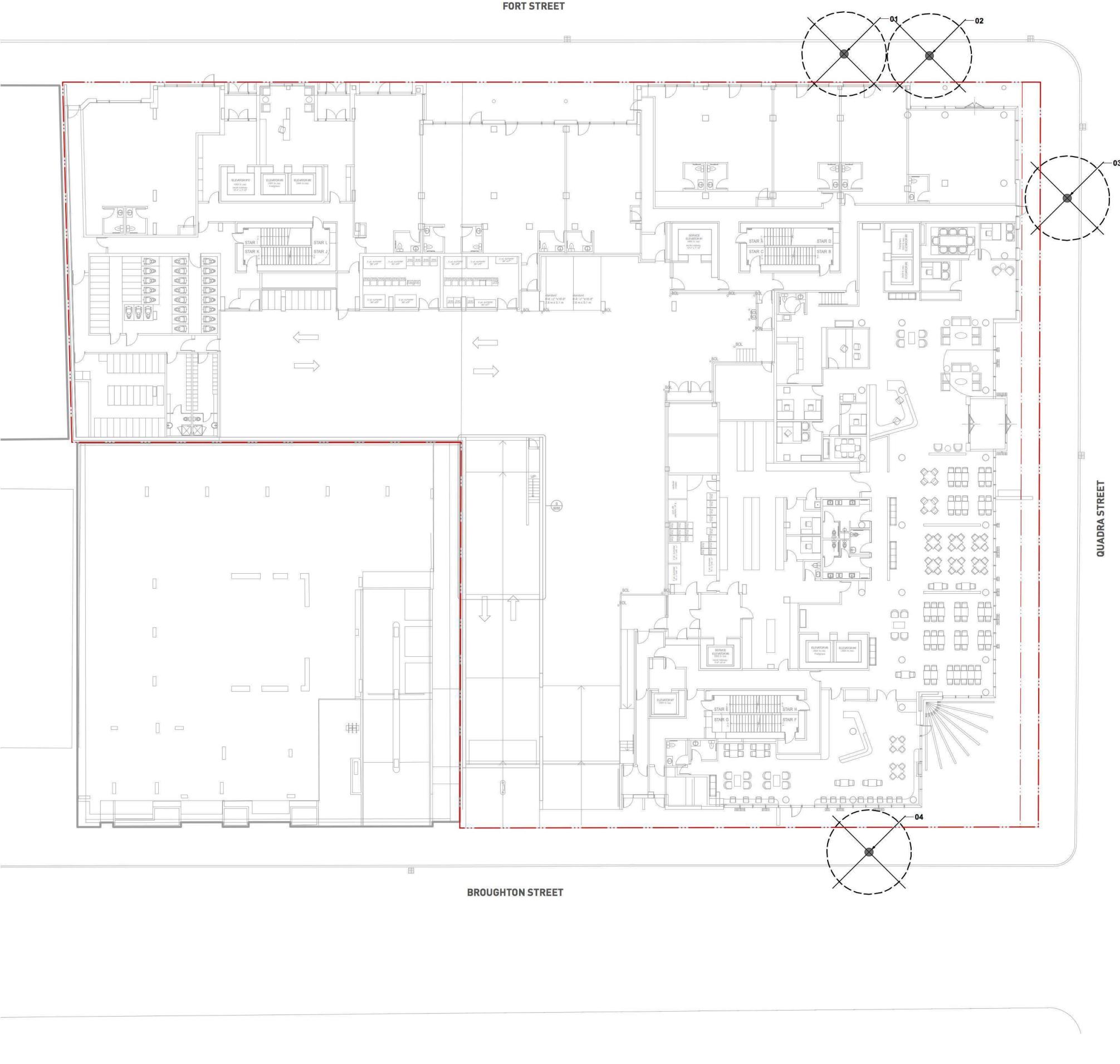
## REPRESENTATIVE PLANT LIST

WING NO. REVISION L0.02 DATE DRAWN 11 APRIL 2018 ER CHECKED SCALE

BH

## TREE MANAGEMENT LEGEND





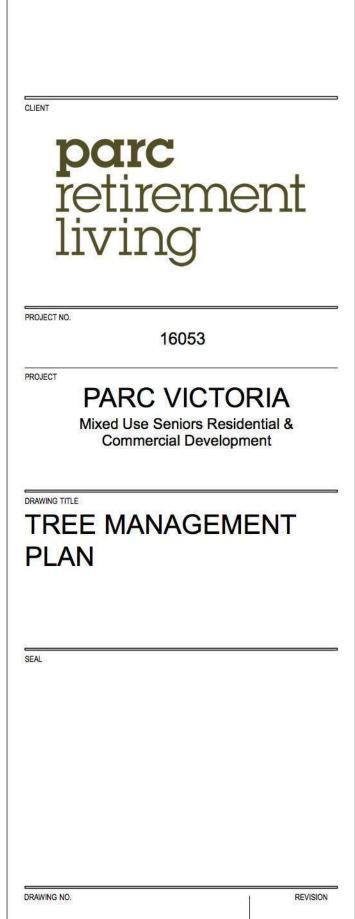
## FORT STREET

**PWL** partnership

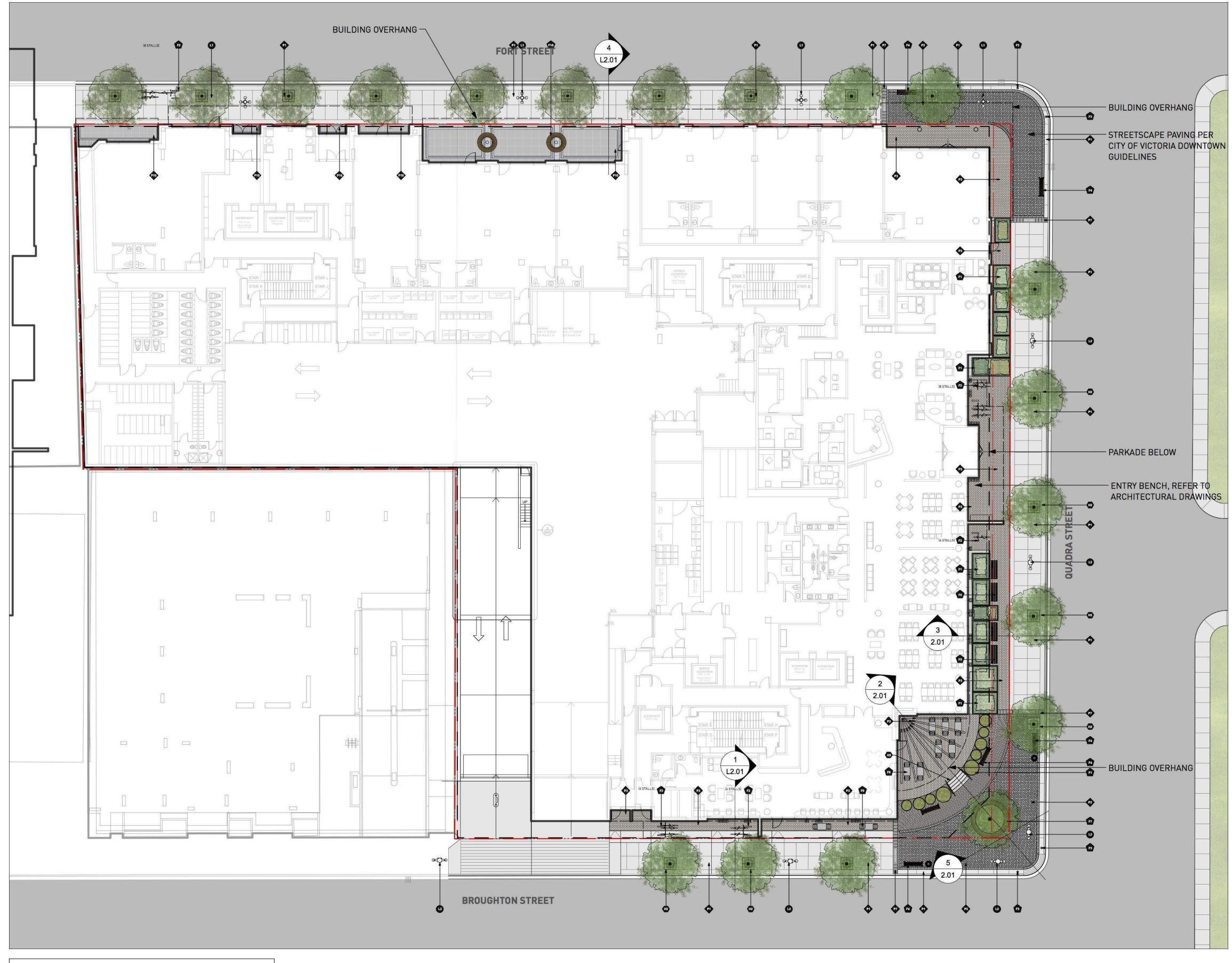
## 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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L0.03  $\bigcirc$ DATE DRAWN 11 APRIL 2018 ER SCALE CHECKED 1:200 BH



NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

KEY	DESCRIPTION
H2	Tree Grate SP-48 Square Tree Grate with Frame
_	River Rock Maintenance Strip
HI	Washed Round River Rock
H3	Raised Concrete Planter
H4	Resilient Surface With Concrete Band
H5	Stairs With Handrail & Tastile Warning
<u> </u>	With Handrail & Tactile Warning Green Roof
H6	
	NG LEGEND
KEY	DESCRIPTION Cast in Place Concrete Paving
•	Fine Broom Finish with Saw Cut Joints Concrete Unit Paver
<b>P</b> 2	Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
₽3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
•	Concrete Unit Paver Colour: Natural Grey
	Banding Pattern Concrete Unit Paver
•	Colour: Sand-Brown Blend Running Bond Pattern Concrete Unit Paver
<b>P6</b>	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
•	Basalt Stone Banding Displaying Street Name
<b>P</b> 3	Hydrapressed Slab Paver
•	Stacked Bond Pattern; Colour: Natural Grey Hydrapressed Slab Paver
<b>V</b>	'Aristocrat' Paver
P10	Penny Tile Paving At Fort Street Level
SITE	FURNISHING LEGEND
KEY	DESCRIPTION Planter Pot
F1	
F2	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
F3	Bollard Per City Streetscape Guidelines
E4	Backless Bench Per City Streetscape Guidelines
-	Bench with Back & Arms Both Sides
F5	'Parc Vue' Bench
F6	Chair
F7	Radial Bench Ogden Radial Bench
F8	Patio Table & Chairs
~	Privacy Screen
F9	At Residential Unit Patios
F10	Gate
F11	Trellis
F12	Urban Agriculture
	Green Roof
F13	Course barrante
F14	Greenhouse
F15	Compost & Potting Table
F16	Custom Circular Bench
-	
KEY	DESCRIPTION
Ľ	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A [Circular]: Colour: Black
Ŀ	Heritage Cluster Globe Type A (Circular); Colour: Black Street Light Pole Per City Streetscape Guidelines
-	Heritage Cluster Globe Type B (Aligned); Colour: Black
	KEY PLAN 1:100

**PWL** partnership

#### 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

	/ISIONS	DATE
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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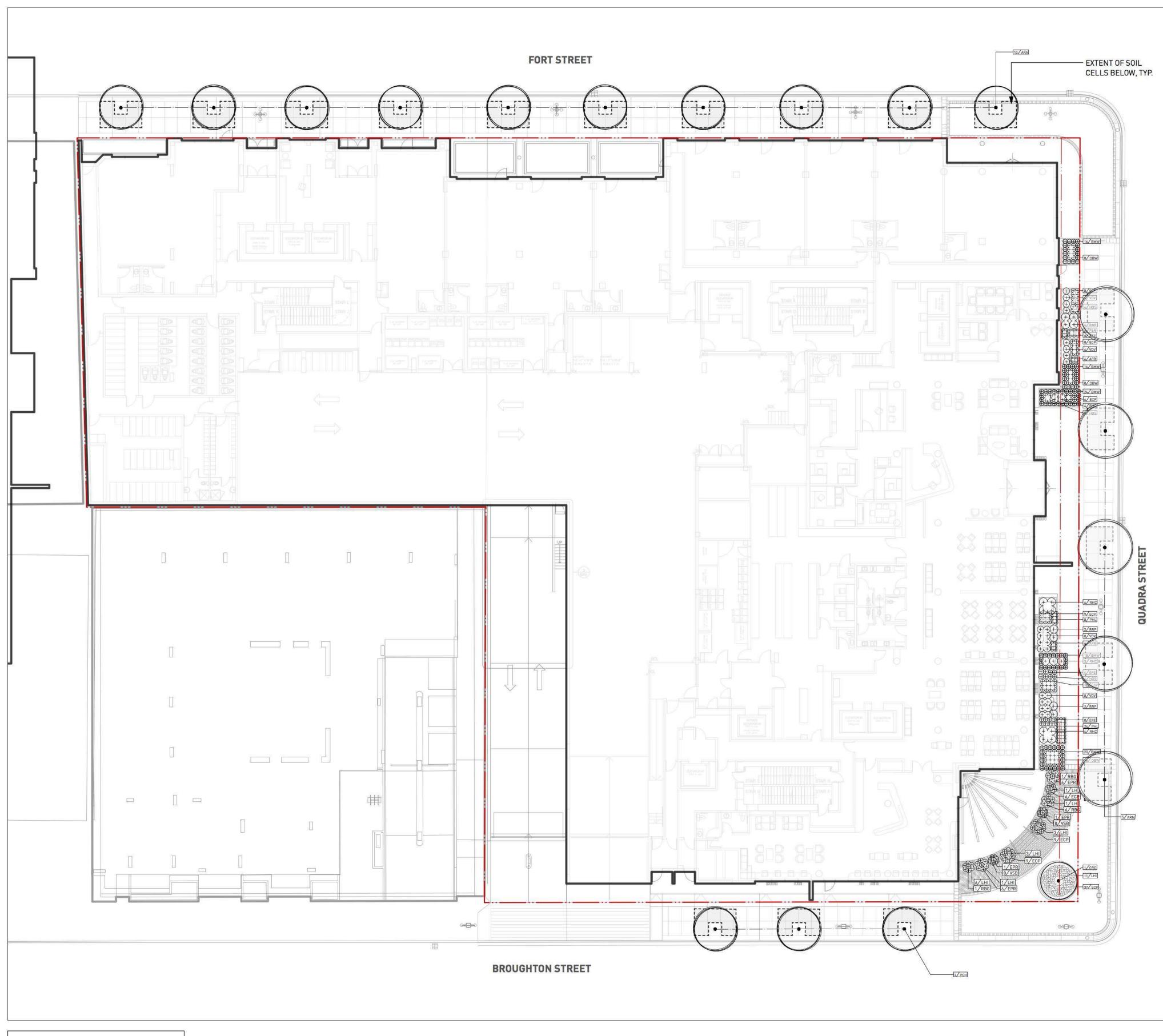
PROJECT

PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

16053

## DRAWING TITLE MATERIALS PLAN LEVEL 1

SEAL		
DRAWING NO.		REVISIO
	8 <del>8</del>	
L1.0	1	
L1.0 <sup>°</sup> DATE 11 APRIL 2018	DRAWN ER	



NOTE: REFER TO PLANT LIST L0.02.

**PWL** partnership

#### 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

RE\	/ISIONS	
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
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6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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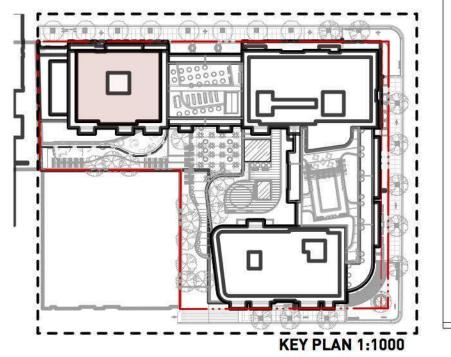
DRAWING TITLE

SEAL

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PLANTING PLAN LEVEL 1

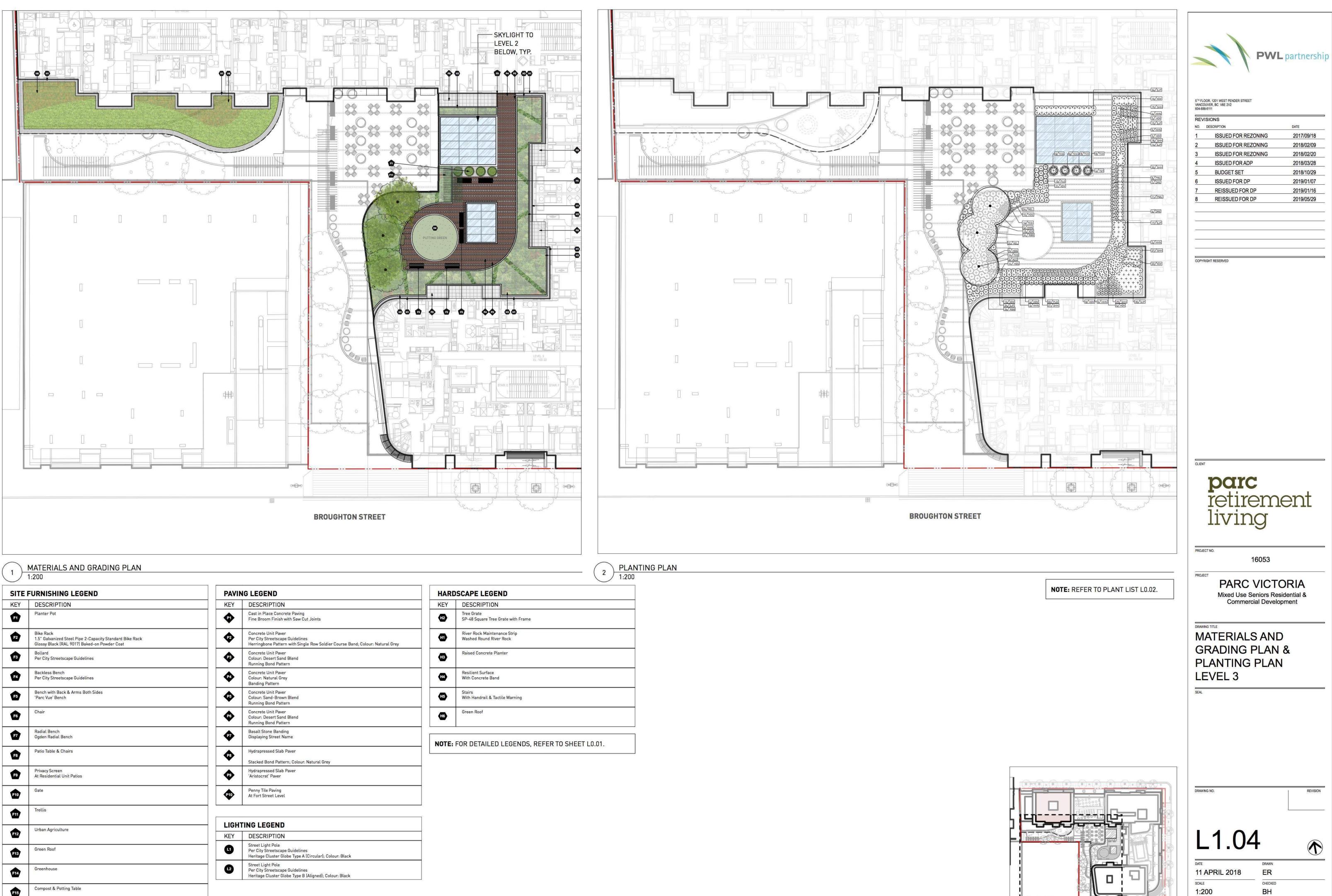


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L1.02 DATE 11 APRIL 2018	DRAWN ER	



SITE FURNISHING LEGEND			IG LEGEND	HAR	DSCAPE LEGEND
Y	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
	Planter Pot	•	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints	H2	Tree Grate SP-48 Square Tree Grate with Frame
	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat	•	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey	(1)	River Rock Maintenance Strip Washed Round River Rock
	Bollard Per City Streetscape Guidelines	<b>P</b> 3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern	H3	Raised Concrete Planter
	Backless Bench Per City Streetscape Guidelines	₽4	Concrete Unit Paver Colour: Natural Grey Banding Pattern	<b>H</b> 4	Resilient Surface With Concrete Band
7	Bench with Back & Arms Both Sides 'Parc Vue' Bench	•	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern	H5	Stairs With Handrail & Tactile Warning
	Chair	¢	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern	H6	Green Roof
	Radial Bench Ogden Radial Bench	<b>P7</b>	Basalt Stone Banding Displaying Street Name	NOTE:	FOR DETAILED LEGENDS, REFER TO SHEET L0.01.
	Patio Table & Chairs	Pð	Hydrapressed Slab Paver Stacked Bond Pattern; Colour: Natural Grey		
>	Privacy Screen At Residential Unit Patios	•	Hydrapressed Slab Paver 'Aristocrat' Paver		
•	Gate	•	Penny Tile Paving At Fort Street Level		
>	Trellis			-	
2	Urban Agriculture	Country and Countr		4	
		KEY	DESCRIPTION	-	
3	Green Roof	0	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black		
	Greenhouse	Ľ	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black		
>	Compost & Potting Table				
5	Custom Circular Bench				

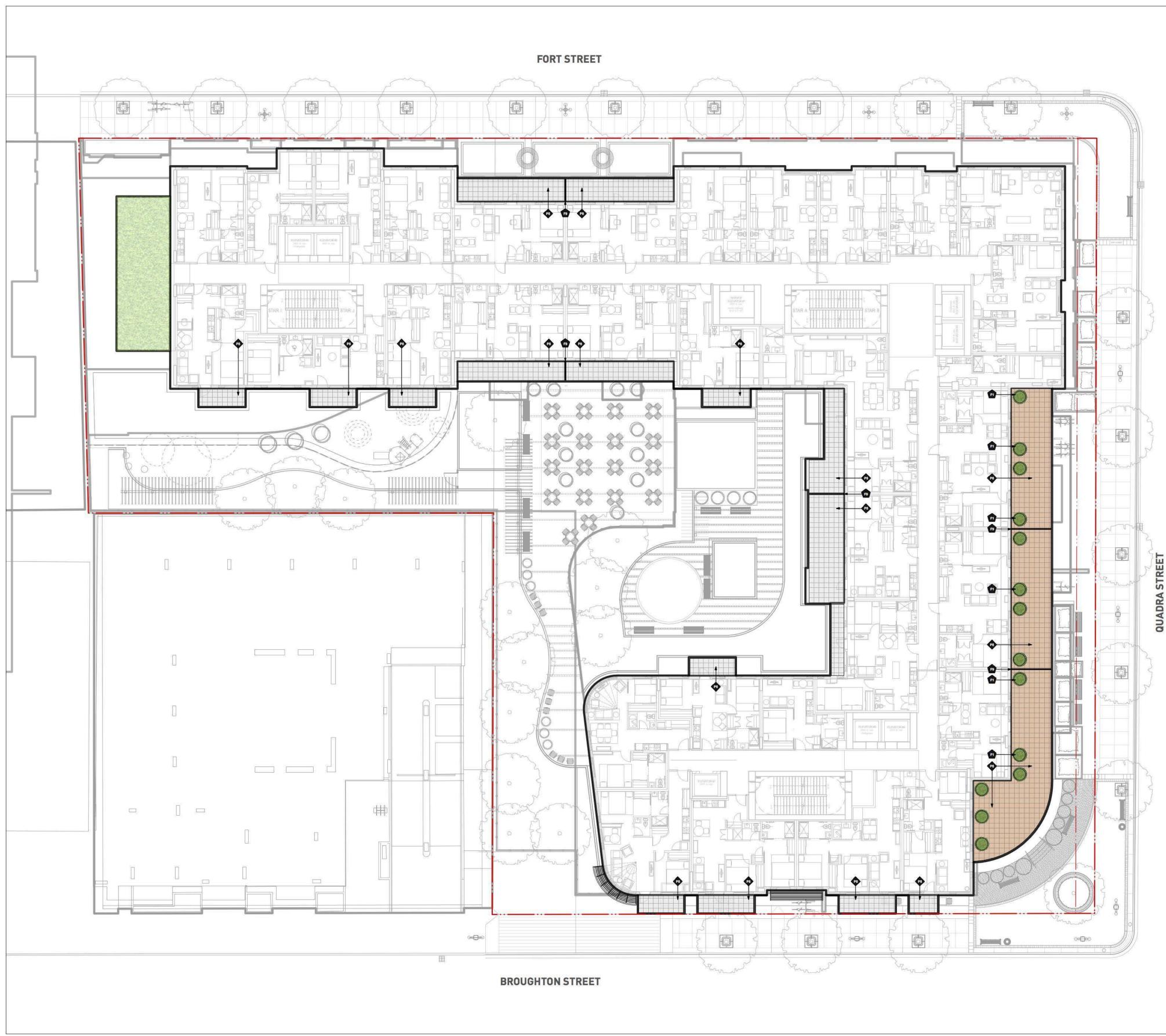
KEY PLAN 1:1000



<u> </u>	1:200		
SITE	FURNISHING LEGEND	PAVI	NG LEGEND
KEY	DESCRIPTION	KEY	DESCRIPTION
F1	Planter Pot	•	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
F2	Bike Rack 1.5″ Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat	•	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
F3	Bollard Per City Streetscape Guidelines	<b>P</b> 3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
F4	Backless Bench Per City Streetscape Guidelines	<b>P</b> <sup>4</sup>	Concrete Unit Paver Colour: Natural Grey Banding Pattern
F5	Bench with Back & Arms Both Sides 'Parc Vue' Bench	₽5	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
F6	Chair	<b>P6</b>	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
F7	Radial Bench Ogden Radial Bench	•	Basalt Stone Banding Displaying Street Name
F8	Patio Table & Chairs	•	Hydrapressed Slab Paver Stacked Bond Pattern; Colour: Natural Grey
F9	Privacy Screen At Residential Unit Patios	•	Hydrapressed Slab Paver 'Aristocrat' Paver
F10	Gate	•	Penny Tile Paving At Fort Street Level
F11	Trellis		•
	Urban Agriculture	LIGH	TING LEGEND
F12		KEY	DESCRIPTION
F13	Green Roof	G	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
F14	Greenhouse	Ø	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black
F15	Compost & Potting Table		
F16	Custom Circular Bench		

KEY	DESCRIPTION	
H2	Tree Grate SP-48 Square Tree Grate with Frame	
H1	River Rock Maintenance Strip Washed Round River Rock	
H3	Raised Concrete Planter	
H4	Resilient Surface With Concrete Band	
H5	Stairs With Handrail & Tactile Warning	
H6	Green Roof	

KEY PLAN 1:1000



NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

	DESCRIPTION
H2	Tree Grate SP-48 Square Tree Grate with Frame
HI	River Rock Maintenance Strip Washed Round River Rock
H3	Raised Concrete Planter
HA	Resilient Surface With Concrete Band
H5	Stairs
_	With Handrail & Tactile Warning Green Roof
H6	
<b>PAVIN</b> KEY	IG LEGEND DESCRIPTION
•	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
•	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
•	Concrete Unit Paver Colour: Desert Sand Blend
•	Running Bond Pattern Concrete Unit Paver Colour: Natural Grey
	Banding Pattern Concrete Unit Paver Colour: Sand-Brown Blend
× •	Colour: Sand-Brown Blend Running Bond Pattern Concrete Unit Paver
•	Colour: Desert Sand Blend Running Bond Pattern Basalt Stone Banding
•	Displaying Street Name
<b>P8</b>	Hydrapressed Slab Paver Stacked Bond Pattern; Colour: Natural Grey
<b>P</b> 9	Hydrapressed Slab Paver 'Aristocrat' Paver
P10	Penny Tile Paving At Fort Street Level
SITE	
KEY	DESCRIPTION Planter Pot
	Bike Rack
F2	1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
F3	Bollard Per City Streetscape Guidelines
F4	Backless Bench Per City Streetscape Guidelines
F5	Bench with Back & Arms Both Sides 'Parc Vue' Bench
F6	Chair
- •	Radial Bench
-	Ogden Radial Bench Patio Table & Chairs
FB	Privacy Screen
F9	At Residential Unit Patios
F10	Gate
FII	Trellis
F12	Urban Agriculture
F13	Green Roof
F14	Greenhouse
F15	Compost & Potting Table
F16	Custom Circular Bench
LIGH	ING LEGEND
KEY	DESCRIPTION
6	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
L2	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black

**PWL** partnership

## 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

NO.	SIONS	DATE
21		
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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PROJECT

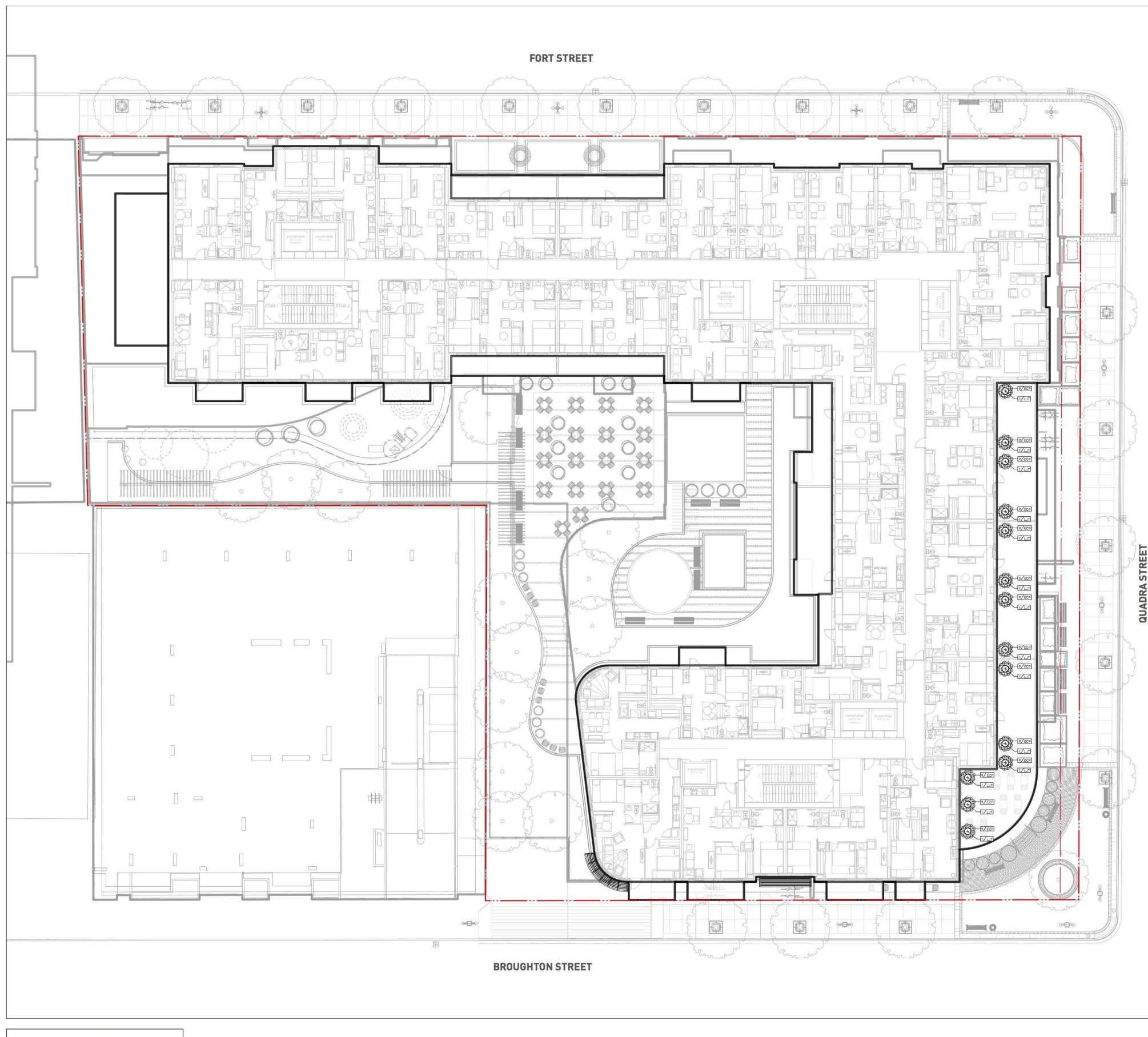
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

## DRAWING TITLE MATERIALS PLAN LEVEL 7

SEAL DRAWING NO. REVISION L1.05 DATE DRAWN 11 APRIL 2018 ER CHECKED SCALE 1:200 BH



NOTE: REFER TO PLANT LIST L0.02.

NOTE: LEVEL 7 GREEN ROOF WILL USE ETERA SUN & SHADE SEDUM TILES WHICH CONSISTS OF THE FOLLOWING PLANT MIX:

Sedum acre 'Aurea' Sedum album 'Green Ice' Sedum kamtschaticum 'Weihenstephaner Gold' Sedum reflexum 'Blue Spruce' Sedum reflexum 'Green Spruce' Sedum sexangulare Sedum spurium 'Album Superbum' Sedum spurium 'Fuldaglut' Sedum spurium 'Summer Glory' Sedum takesimensis 'Golden Carpet'

**PWL** partnership

## 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

REV	/ISIONS	
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
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6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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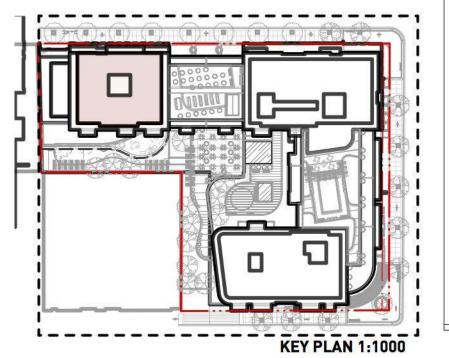
DRAWING TITLE

SEAL

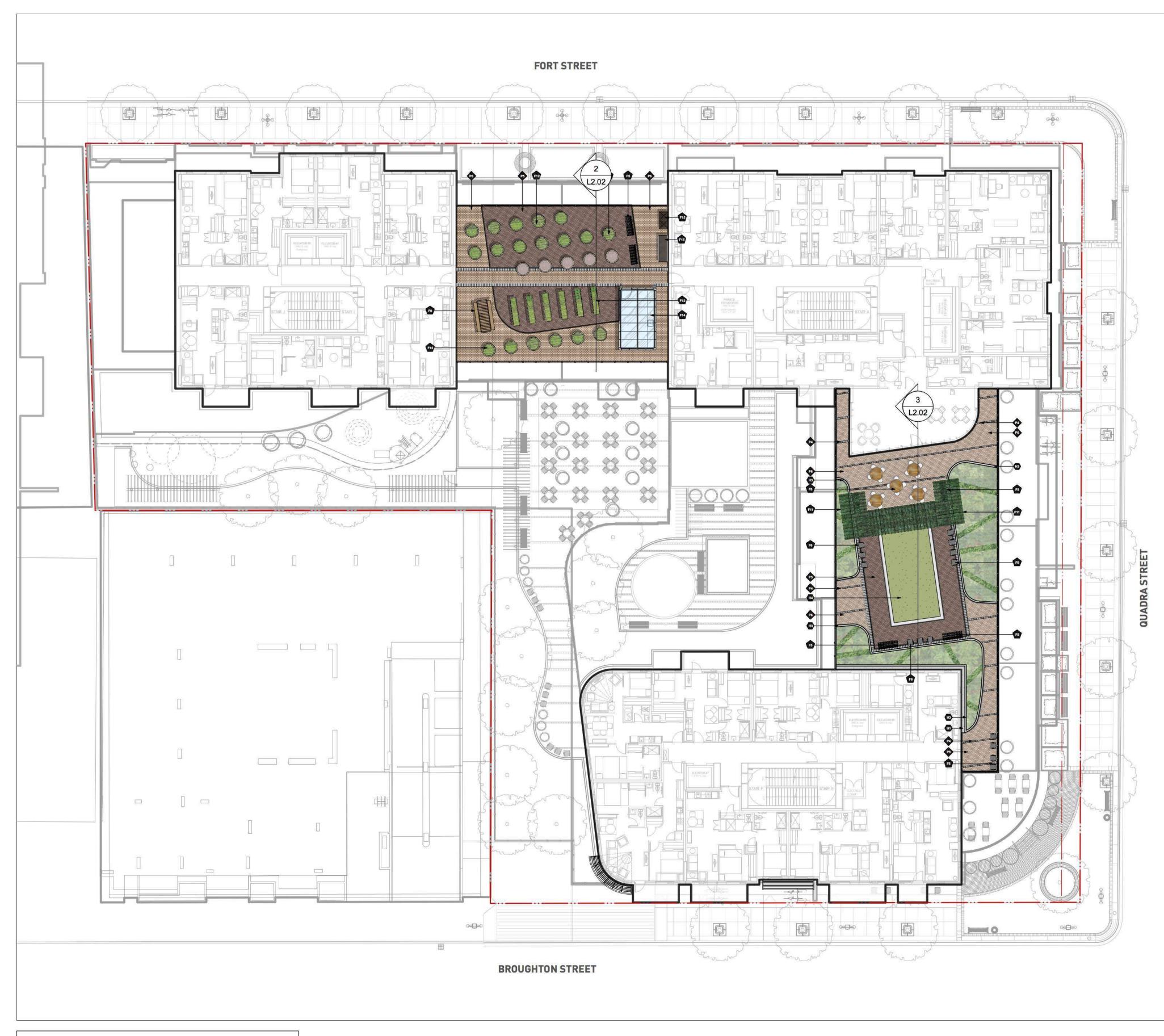
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

PLANTING PLAN LEVEL 7



DRAWING NO.		REVISION
	_	
L1.06	6	
L1.06	DRAWN	
	-	
DATE	DRAWN	



NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

DESCRIPTION Tree Grate SP-48 Square Tree Grate with Frame River Rock Maintenance Strip Washed Round River Rock Raised Concrete Planter Resilient Surface With Concrete Band Stairs With Handrail & Tactile Warning Green Roof  LEGEND DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
River Rock Maintenance Strip Washed Round River Rock Raised Concrete Planter Resilient Surface With Concrete Band Stairs With Handrail & Tactile Warning Green Roof <b>LEGEND</b> DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
Washed Round River Rock Raised Concrete Planter Resilient Surface With Concrete Band Stairs With Handrail & Tactile Warning Green Roof LEGEND DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
Resilient Surface With Concrete Band Stairs With Handrail & Tactile Warning Green Roof <b>LEGEND</b> DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
With Concrete Band Stairs With Handrail & Tactile Warning Green Roof  LEGEND DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
With Handrail & Tactile Warning Green Roof  LEGEND  DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints  Concrete Unit Paver Per City Streetscape Guidelines
LEGEND DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
DESCRIPTION Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
Fine Broom Finish with Saw Cut Joints Concrete Unit Paver Per City Streetscape Guidelines
Per City Streetscape Guidelines
Herringbone Pattern with Single Row Soldier Course Bandy Colours, Natural Grey
Concrete Unit Paver Colour: Desert Sand Blend
Running Bond Pattern Concrete Unit Paver
Colour: Natural Grey Banding Pattern Concrete Unit Paver
Colour: Sand-Brown Blend Running Bond Pattern
Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
Basalt Stone Banding Displaying Street Name
Hydrapressed Slab Paver
Stacked Bond Pattern; Colour: Natural Grey Hydrapressed Slab Paver 'Aristocrat' Paver
Penny Tile Paving
At Fort Street Level
DESCRIPTION
Planter Pot
Bike Rack 1.5″ Galvanized Steel Pipe 2-Capacity Standard Bike Rack
Glossy Black (RAL 9017) Baked-on Powder Coat Bollard Per City Streetscape Guidelines
Backless Bench
Per City Streetscape Guidelines Bench with Back & Arms Both Sides
'Parc Vue' Bench
Chair
Radial Bench Ogden Radial Bench
Patio Table & Chairs
Privacy Screen At Residential Unit Patios
Gate
Trellis
Urban Agriculture
Green Roof
Greenhouse
Compost & Potting Table
Custom Circular Bench
DESCRIPTION
Street Light Pole
Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black

**PWL** partnership

#### 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
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6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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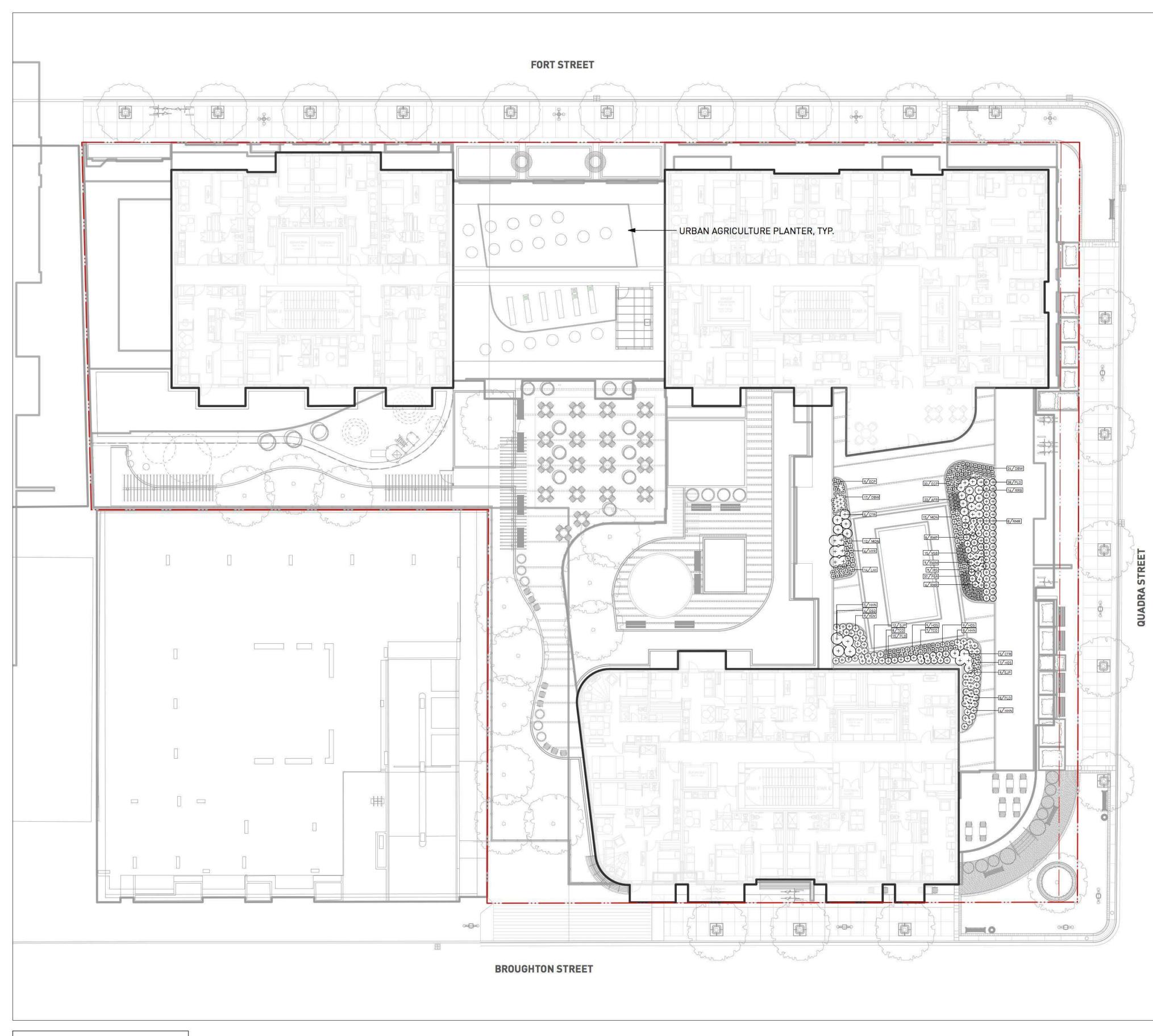
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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

## DRAWING TITLE MATERIALS & GRADING PLAN LEVEL 8

SEAL		
DRAWING NO.		REVISION
DRAWING NO.	<b>7</b>	REVISION
L1.07	DRAWN	REVISION
L1.0		REVISION



NOTE: REFER TO PLANT LIST L0.02.

**PWL** partnership

#### 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2

RE\	/ISIONS	
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
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5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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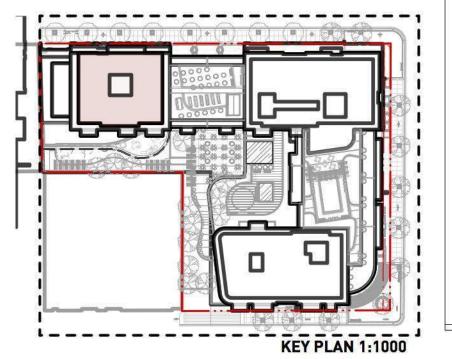
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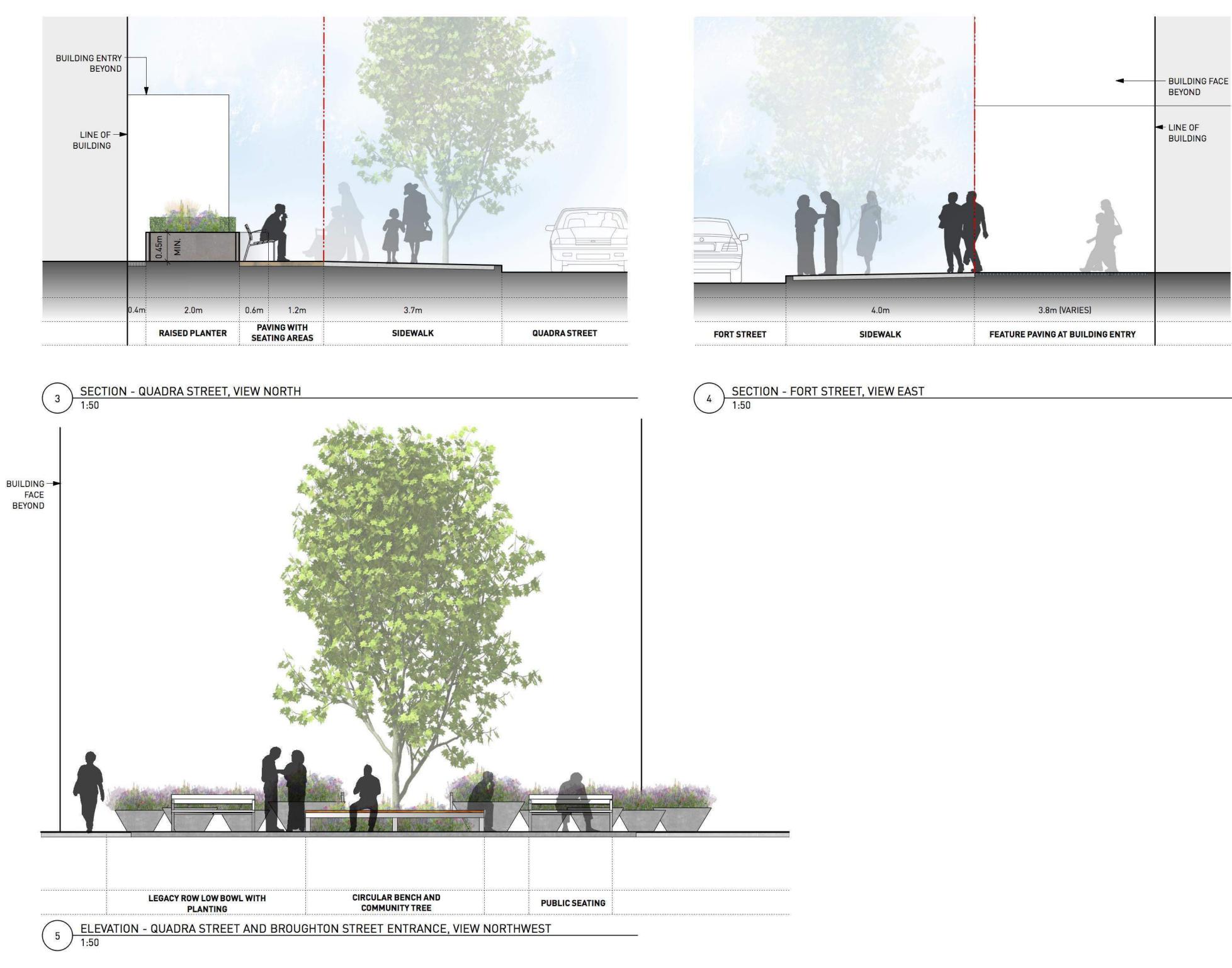
16053

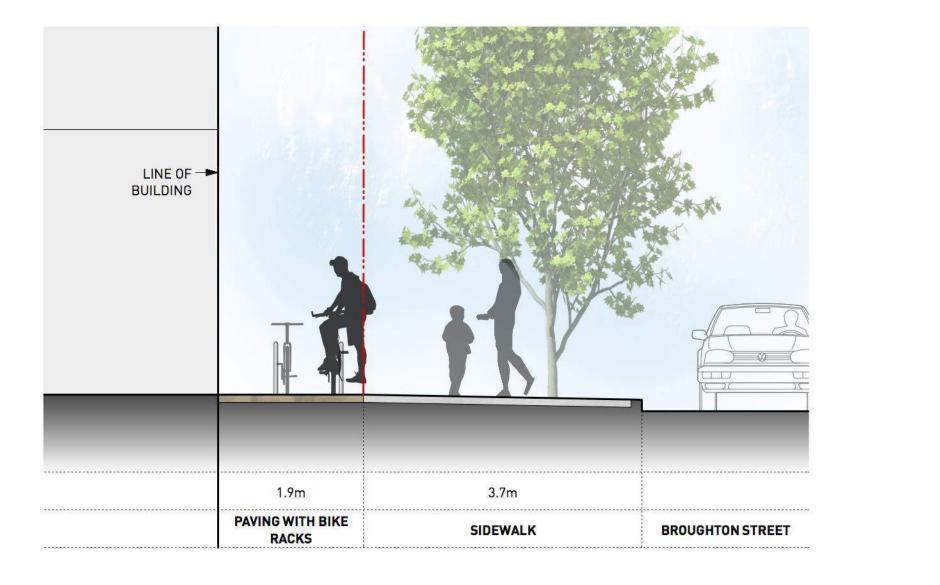
PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

PLANTING PLAN LEVEL 8



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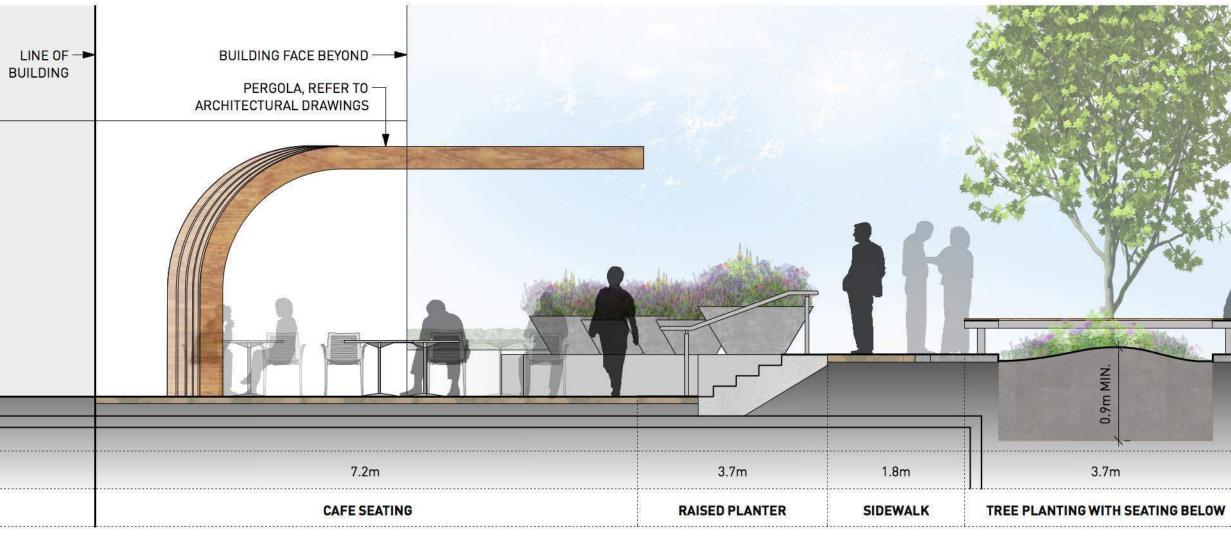




SECTION - BROUGHTON STREET, VIEW EAST

1

1:50



#### SECTION - BROUGHTON STREET CORNER, VIEW NORTHEAST 1:50

~  $\sim$ CITY STANDARD -V FURNISHINGS BEYOND 5.4m SIDEWALK QUADRA STREET

**PWL** partnership

## 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

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5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

CLIENT **parc** retirement living

PROJECT NO.

PROJECT

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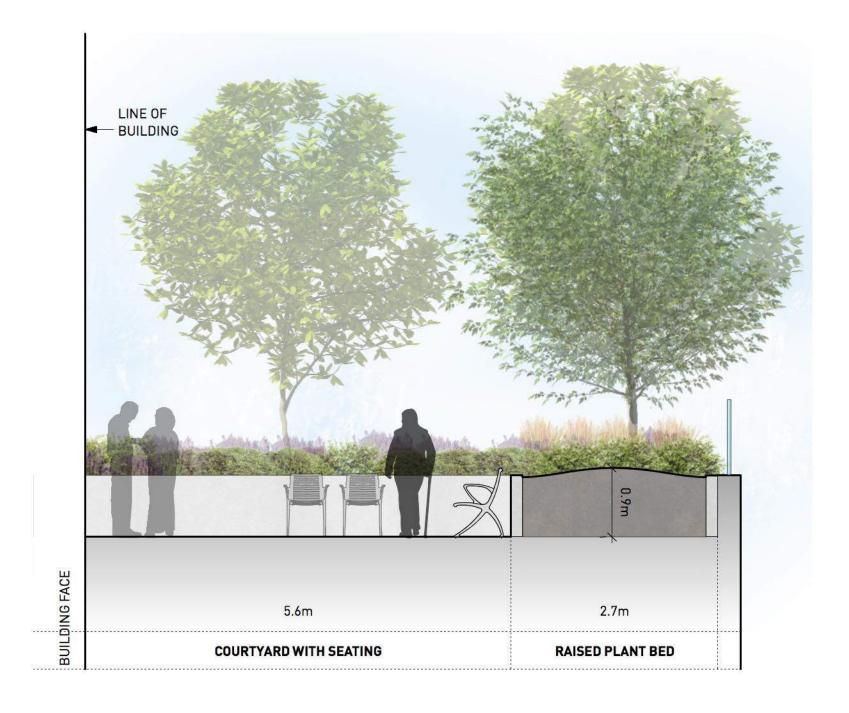
PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

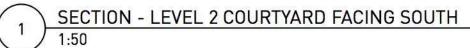
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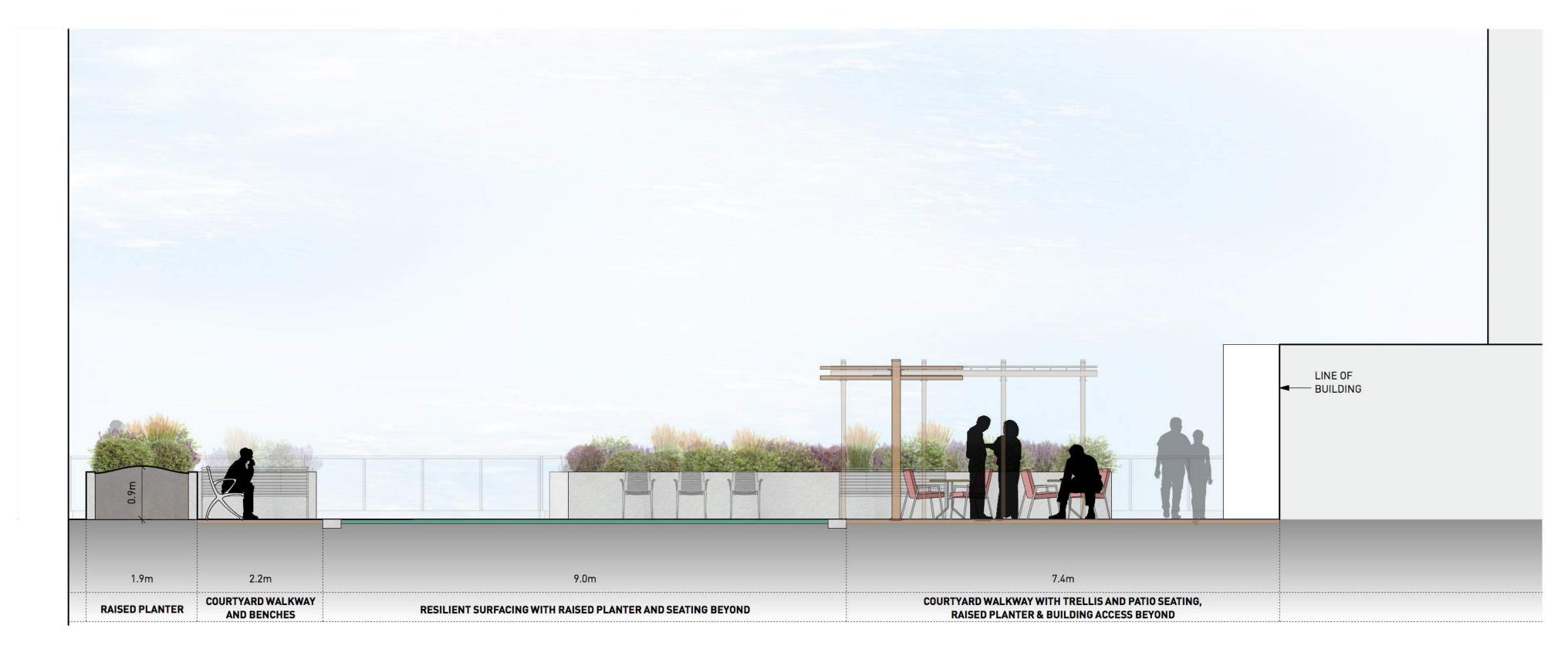
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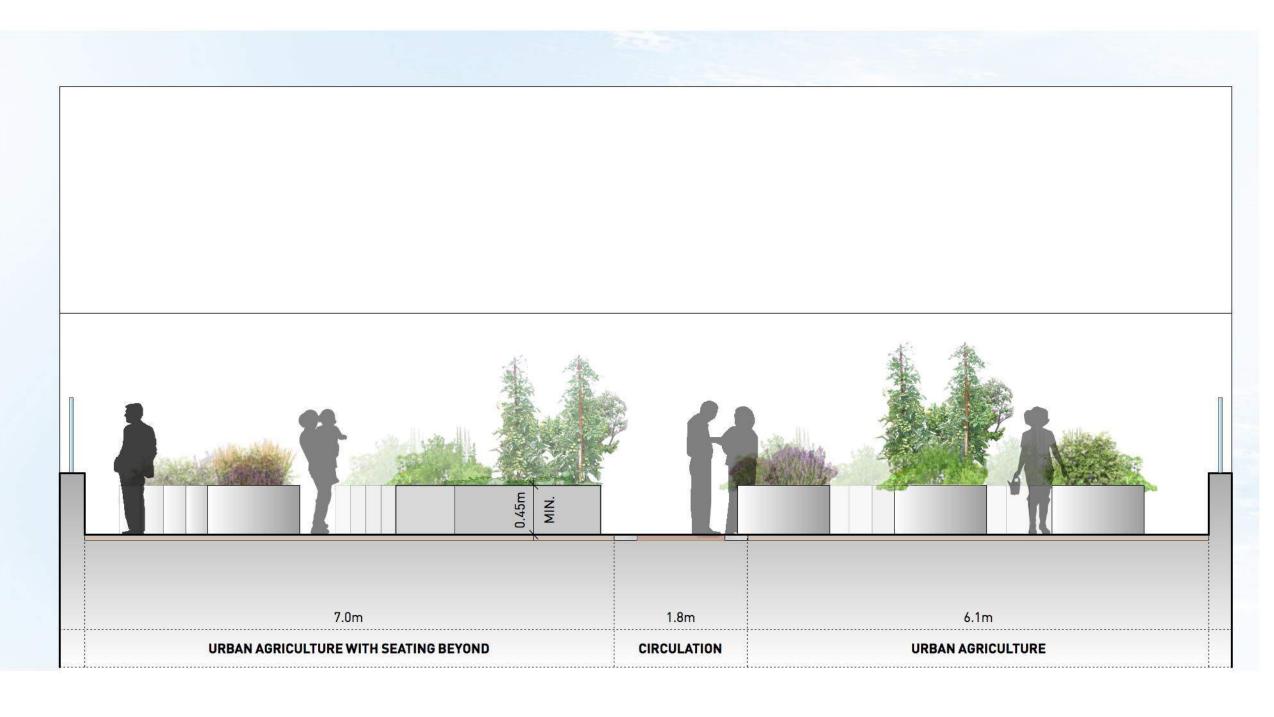






2

3 SECTION - LEVEL 8 COURTYARD FACING WEST 1:50



## SECTION - LEVEL 8 COURTYARD FACING WEST

**PWL** partnership

#### 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

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### DRAWING TITLE SECTIONS

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## LEVEL 1: STREETSCAPE

At the street level, the Fort and Quadra precinct enjoys the open space of Pioneer Square and the grounds of Christ Church Cathedral. The landscape expression responds to the historic character of the area. Fort Street embraces the heritage of tilework typically found at retail entries, varying in pattern or colour. Quadra Street, with its adjacent park-like setting, responds through the use of raised planters featuring seasonal colour as well as abundant seating opportunities. The building's urban pergola is a feature at Broughton Street, where shapes and forms inspired by the cathedral are reflected in the sidewalk paving patterns.



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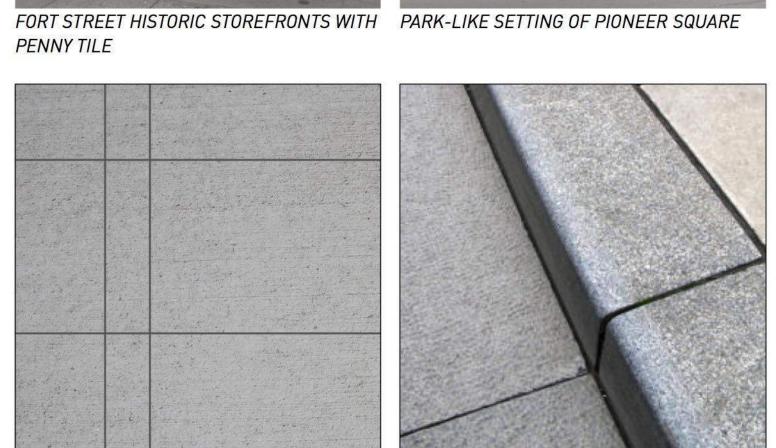
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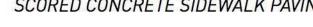
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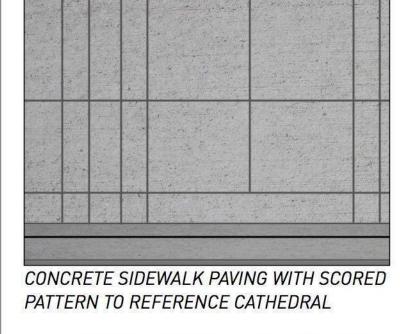




STREET FURNISHINGS PER CITY STANDARD LIGHT FIXTURE

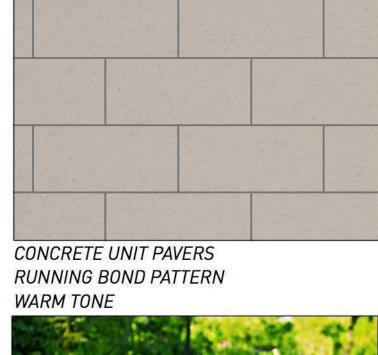








RAISED PLANTER WITH BOXWOOD BORDER, BENCH SEATING SCREENING FROM STREET



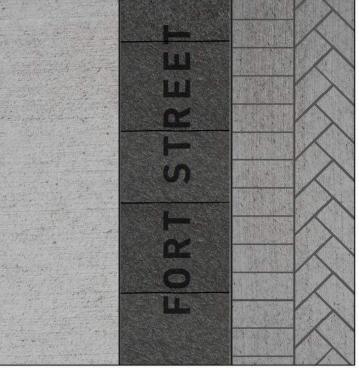


CAST IN PLACE CONCRETE BAND

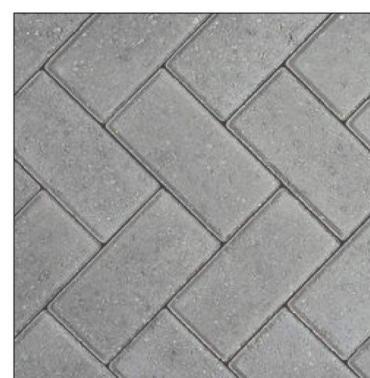




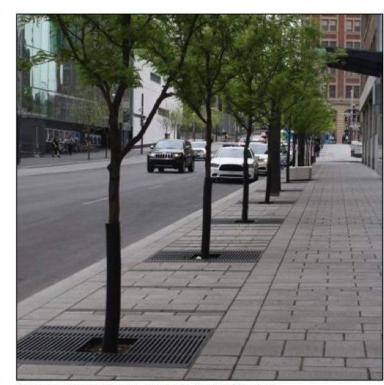
SHAPES & FORMS OF CHRIST CHURCH CATHEDRAL



BASALT STONE PAVING BAND DISPLAYING STREET NAME



CONCRETE UNIT PAVERS HERRINGBONE WITH SOLIDER COURSE NATURAL GREY

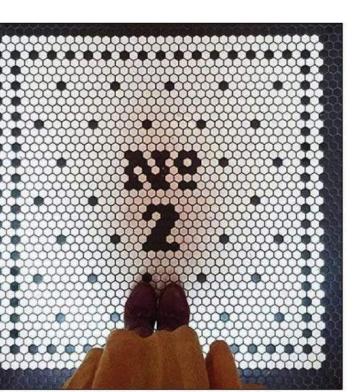


STREET TREES IN TREE GRATES GRATES TO ALIGN WITH SCORING PATTERN



BIKE RACK





PENNY TILE PAVING AT FORT STREET **ENTRIES** 

TABLE & CHAIR SEATING



BOLLARD

RAISED CIRCULAR PLANTERS



OUTDOOR CAFE SPACE

**PWL** partnership

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PARC VICTORIA Mixed Use Seniors Residential & Commercial Development

#### DRAWING TITLE **IMAGE BOARD**

RADIAL BENCH SEATING

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### LEVEL 2: THE SOCIAL DINING PATIO

The courtyard landscape at Level 2 is a semi-private, passive space for residents. It is the hospitality and dining level and as such provides opportunities for outdoor dining, seating, and gathering, responding to the interior dining room. The flowering and shade trees along with overhead structures at the outside edges of the courtyard provide a human scale to the landscape spaces and screen the courtyard from overlook from the adjacent residential building. These features provide a comfortable environment and screening for outdoor dining, as well as seasonal interest. Planters are freeform in shape following the lines of the building, forming soft curved edges for circulation. This is complemented by feature paving, which brings warmth and character to the courtyard.

### **LEVEL 3: SHADE GARDEN TERRACE & GREEN ROOF**

Level 3 is intended as a shade garden, providing opportunities for quiet gatherings, short walks, and appreciation of the shade garden plants. The program responds to the courtyard's available sunlight and the adjacent residential units. A putting green provides an additional passive recreation opportunity for residents. The architectural skylight also provides visual interest and warmth to the Level 2 dining area below.

### LEVEL 7: PRIVATE PATIOS

Level 7 hosts patios for individual units. At the Quadra Street facade, raised planters reflect the adjacent Pioneer Square green space. Hydrapressed pavers throughout provide flexible spaces for tenants.

## LEVEL 8: SUNNY GARDENING PATIO

Level 8 hosts two amenity areas benefiting from sunny exposure. At the Fort Street patio, the space features residential community gardens. This space includes a greenhouse, potting table, compost, garden beds, and fruiting and flowering shrubs.

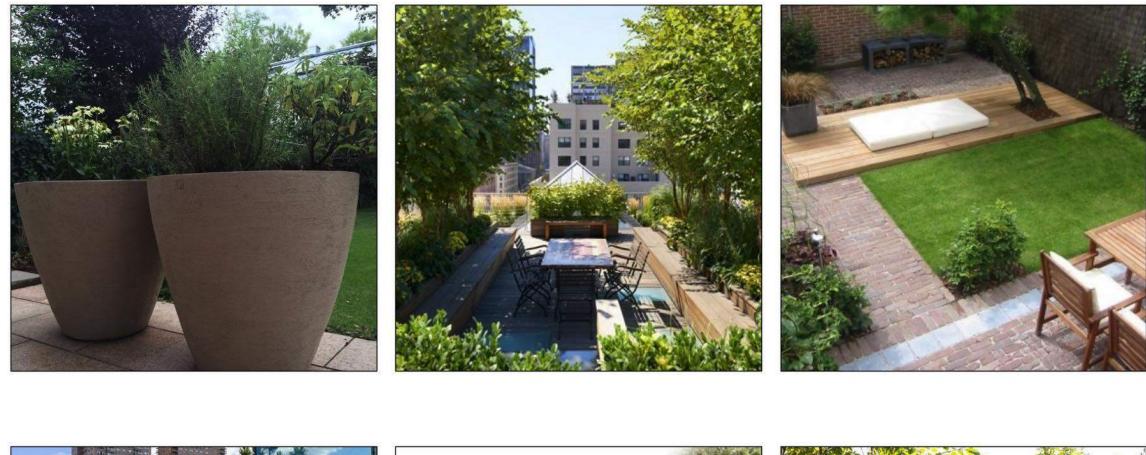
#### LEVEL 8: ACTIVE COMMUNITY PATIO

The Quadra Street amenity space, with its focus on activity, is centred around a durable, resilient surface area allowing for games and recreation. A surrounding looped walkway provides an opportunity for residents to walk and enjoy the garden-style planting. This looped path responds to many seniors' desire to walk outside in a completely safe and controlled environment. The large patio area adjacent to the amenity room provides space for outdoor card and board games as well as informal gathering and seating.

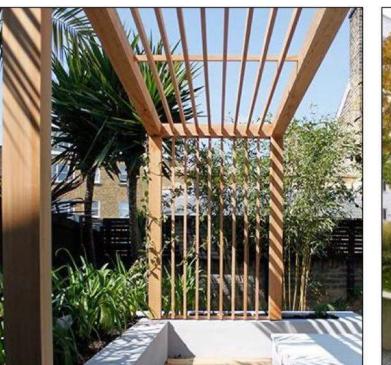




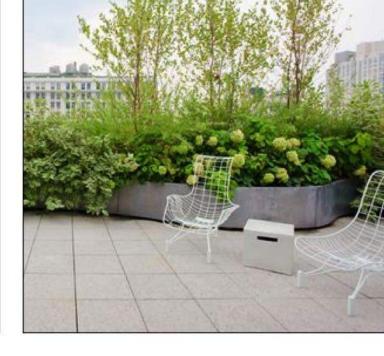








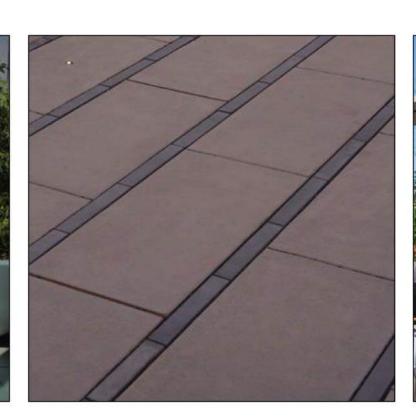








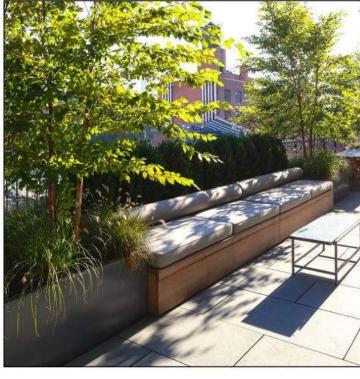








































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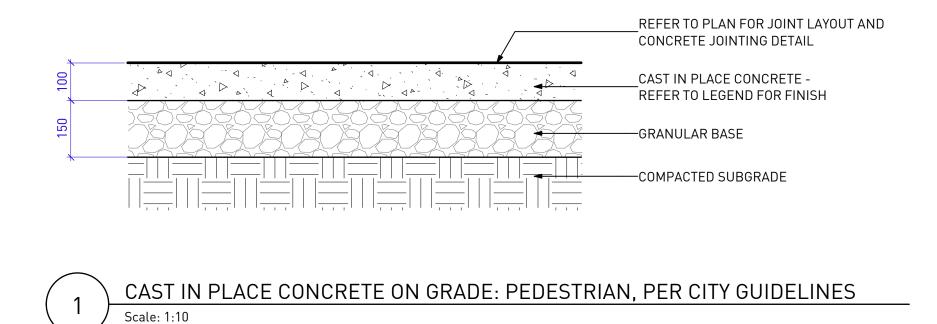
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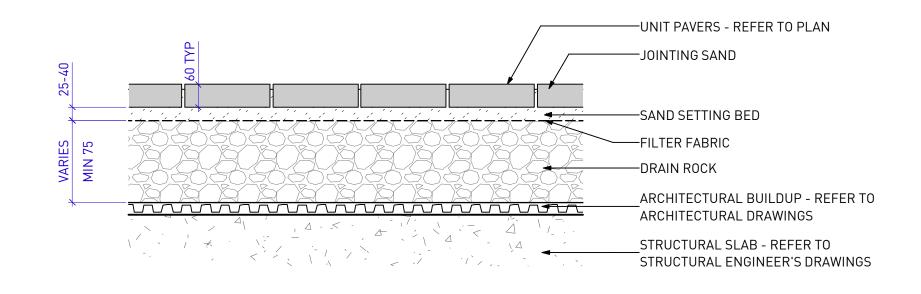
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## IMAGE BOARD

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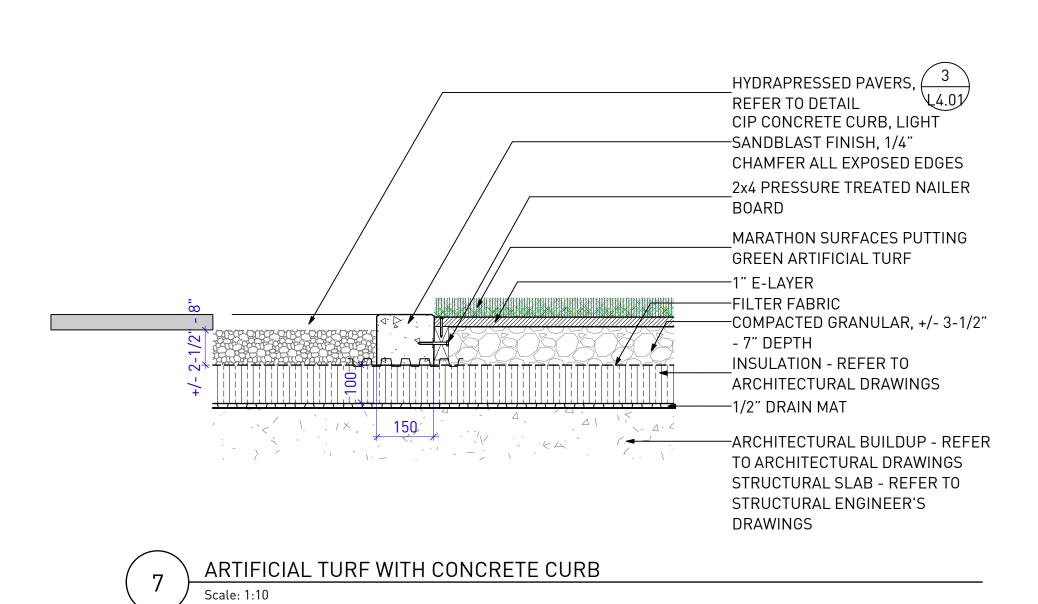
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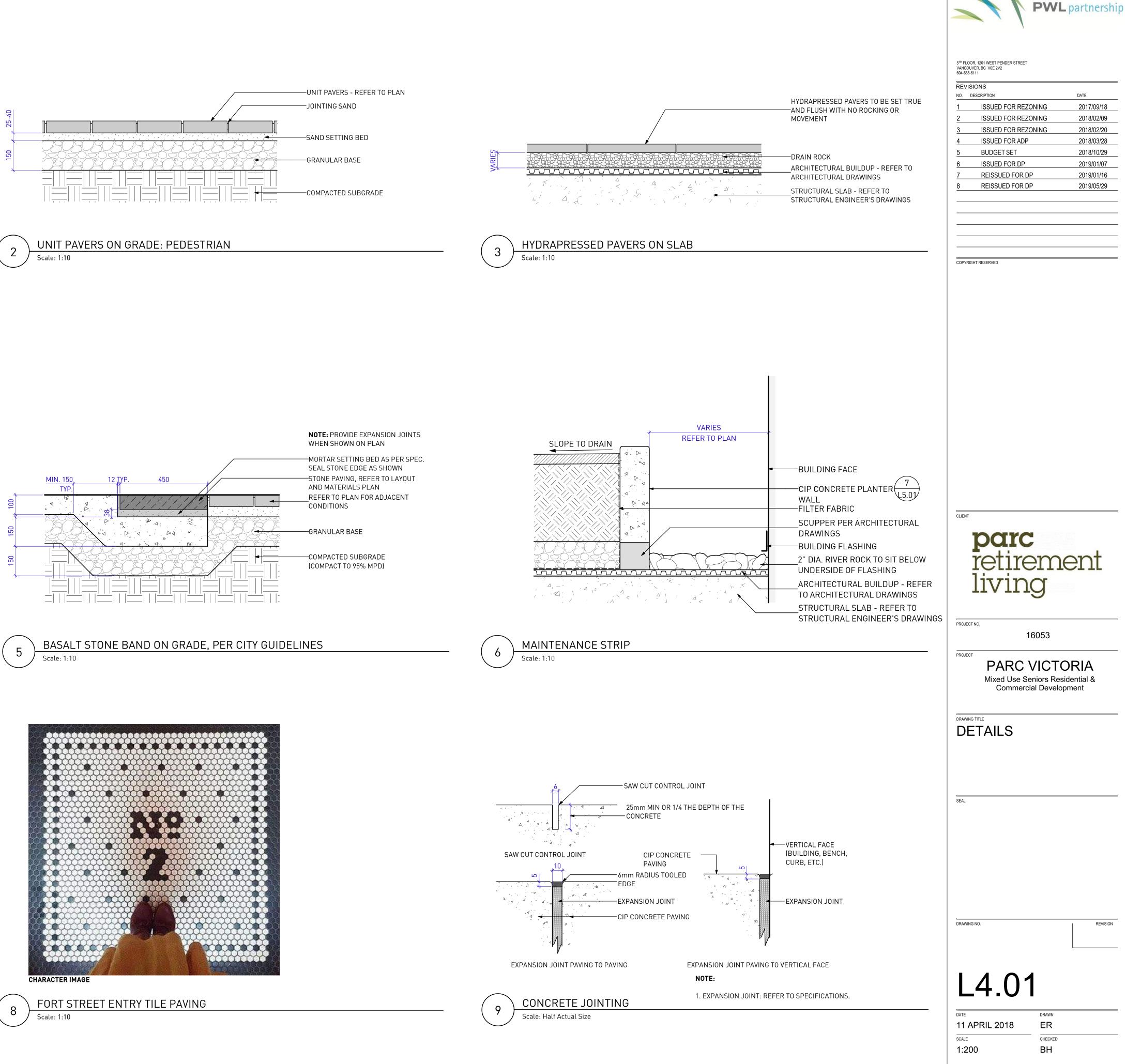


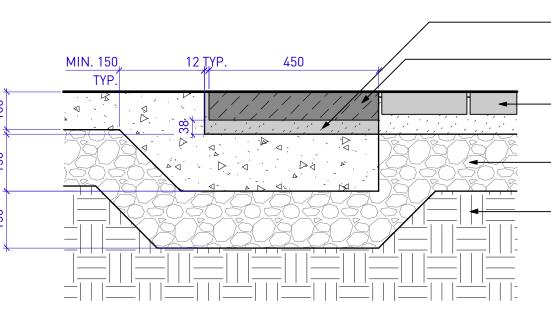


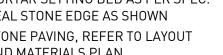
UNIT PAVERS ON SLAB

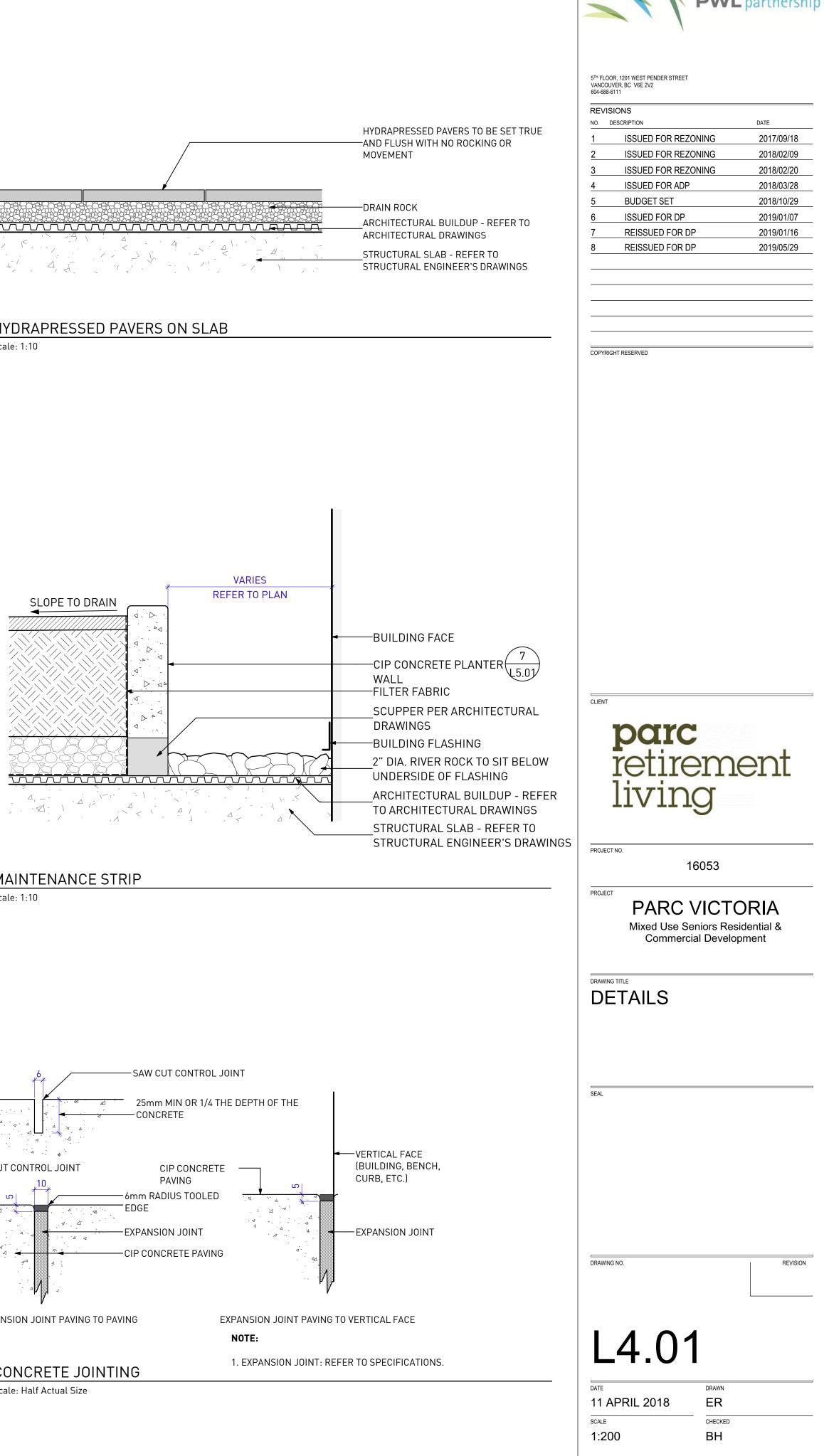
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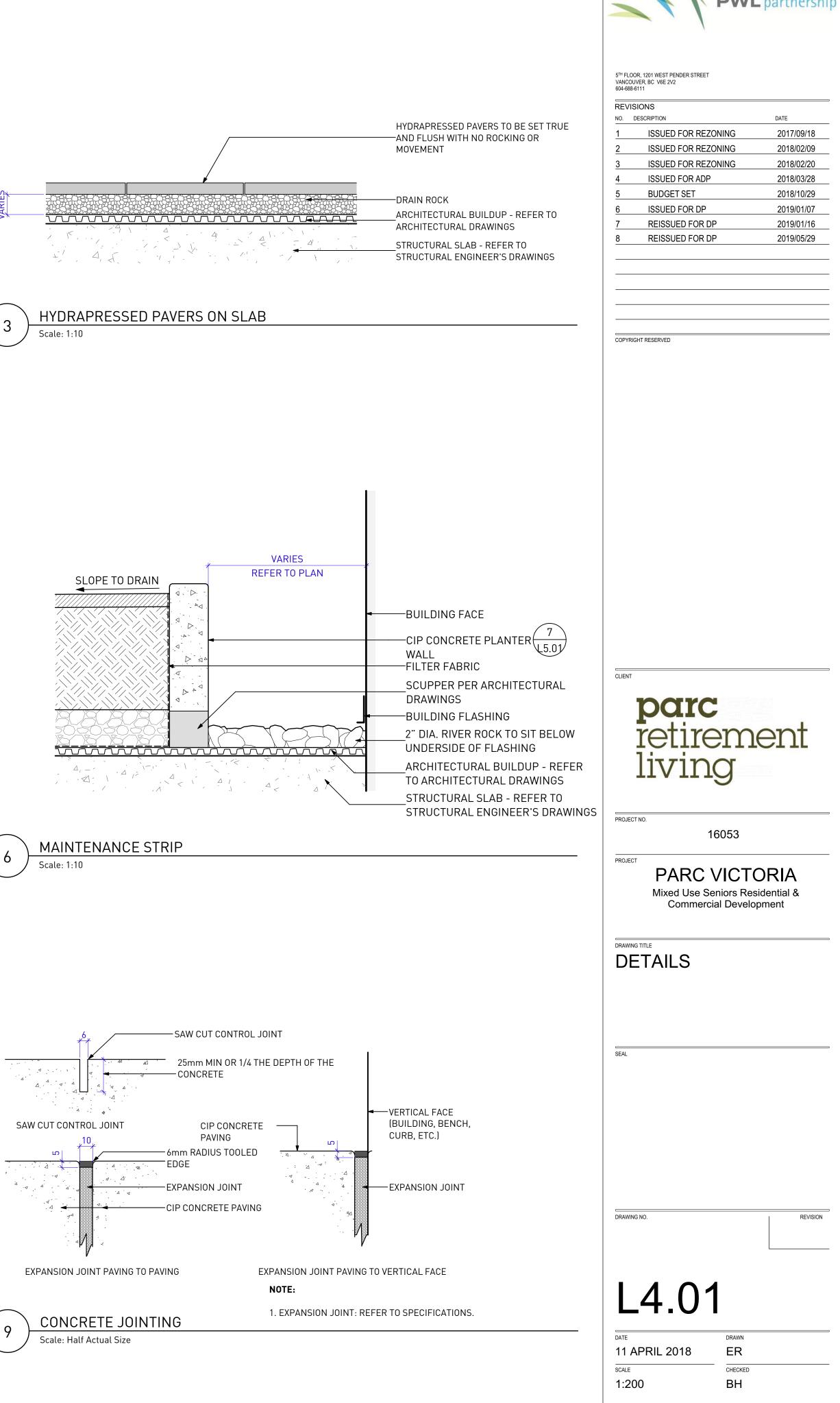








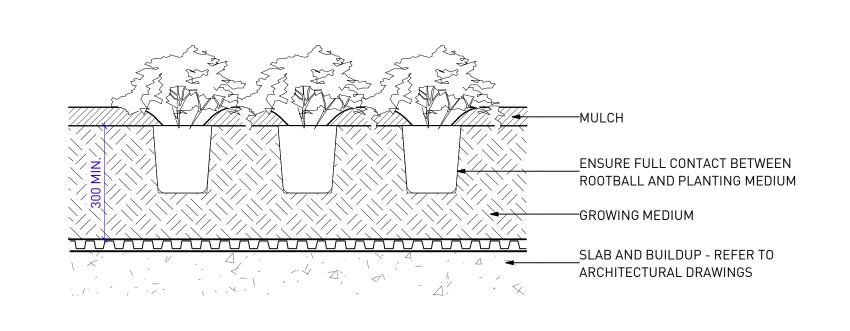






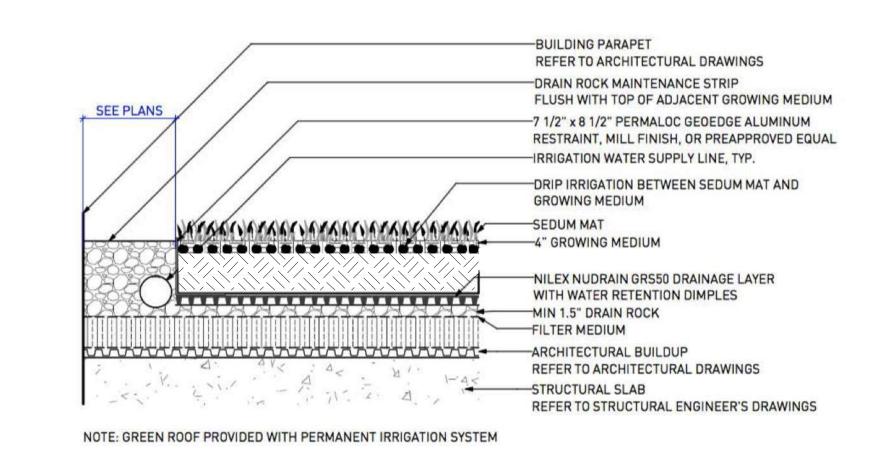
#### NOTES:

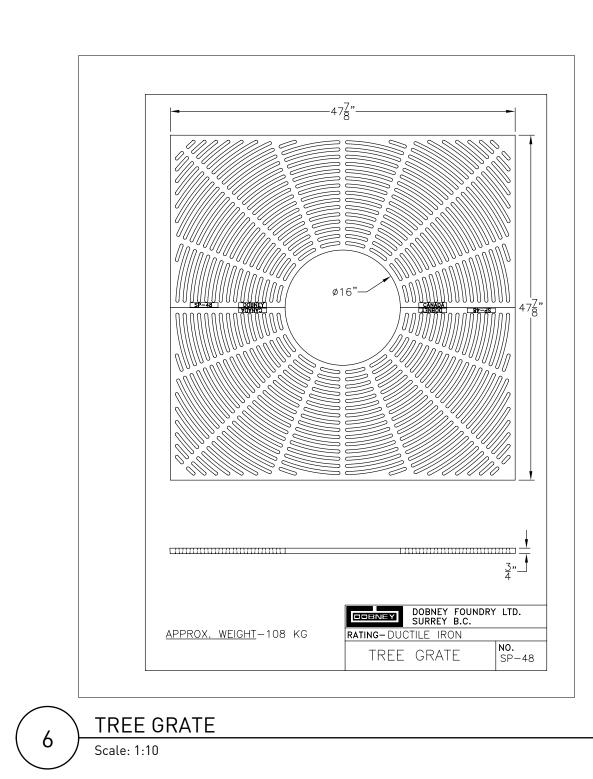
- 1. PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE.
- 2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS.
- 3. PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES, SEE SPECIFICATIONS.





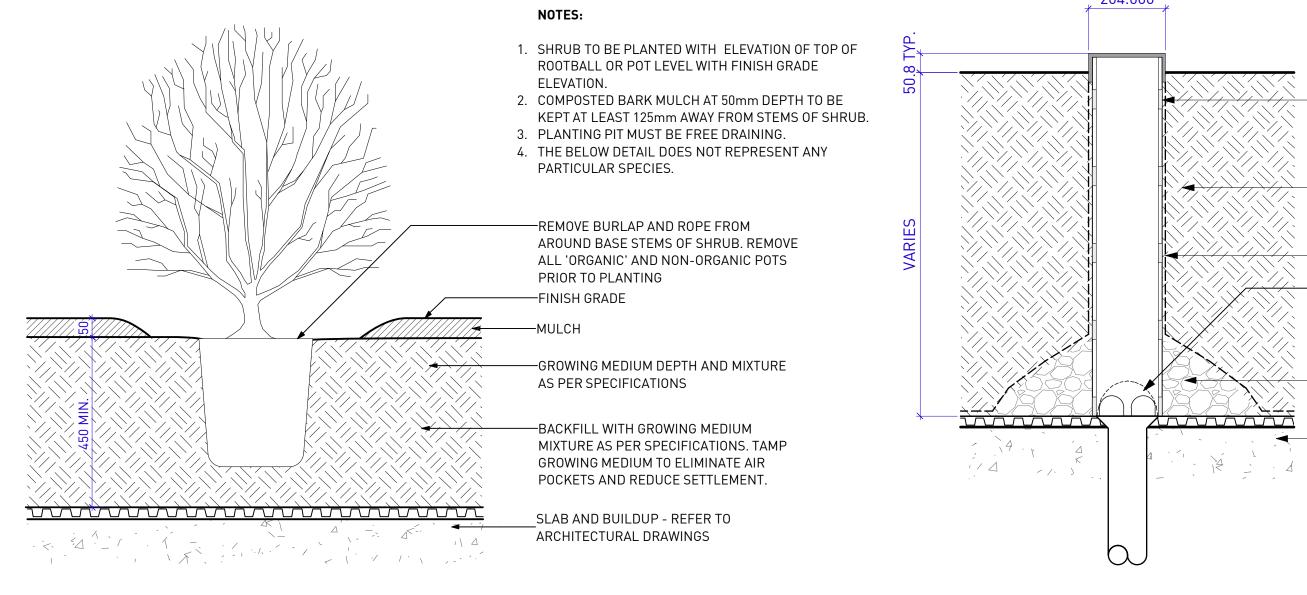
GROUNDCOVER PLANTING ON SLAB





**GREEN ROOF SEDUM MAT** 

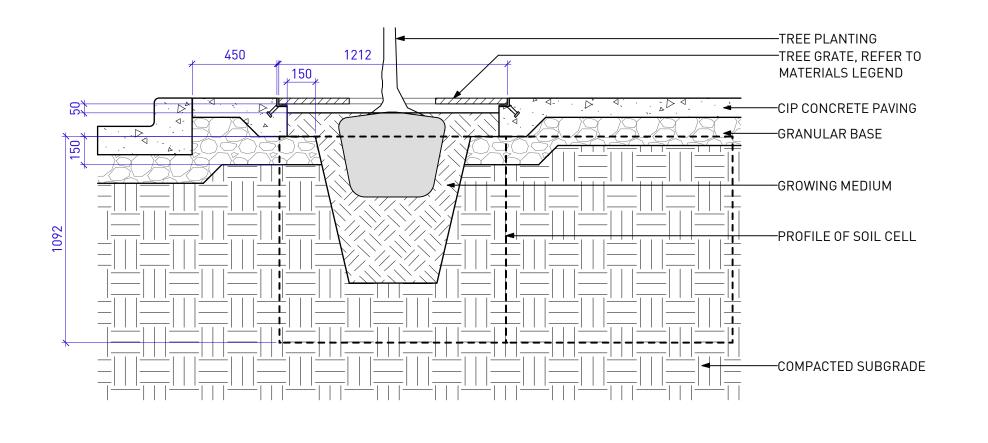
Scale: 1:10



### SHRUB PLANTING ON SLAB Scale: 1:10

2

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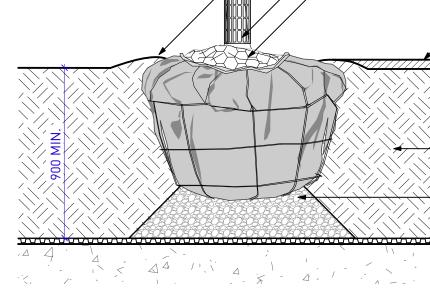


### CITY OF VICTORIA STREETSCAPE TREE PIT WITH TREE GRATE Scale: 1:20



CHARACTER IMAGE





PLANTER DRAIN

Scale: 1:10

3



TREE PLANTING ON SLAB

## 204.006

-PVC PIPE SIZED TO SUIT W/ PREFORMED FRICTION FIT CAP FLUSH TO ADJACENT GRADE PROVIDE 2" HOLES 8" O.C. -BACK-FILL GROWING MEDIUM AROUND PVC INSPECTION CHAMBER

#### -FILTER CLOTH

-BI-LEVEL PLANTER DRAIN WITH TRAP AND CLEANOUT. SEE ARCHITECTURE/ MECHANICAL DRAWINGS.

-DRAIN ROCK

-SLAB AND BUILDUP - REFER TO ARCHITECTURAL DRAWINGS

#### NOTE:

REFER TO MECHANICAL DRAWINGS FOR CONNECTIONS AND DETAILS

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## 5<sup>TH</sup> FLOOR, 1201 WEST PENDER STREET VANCOUVER, BC V6E 2V2 604-688-6111

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7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29

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#### NOTES:

- 1. TREE TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL LEVEL WITH FINISH GRADE ELEVATION. TRUNK FLARE MUST BE VISIBLE AFTER PLANTING.
- 2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 125mm AWAY FROM BASE OF TREE TRUNK ALL SIDES.
- 3. ONLY PRUNE BROKEN OR DAMAGED BRANCHES USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES AS DIRECTED BY CONSULTANT OR PROJECT ARBORIST. SEE SPECIFICATIONS.
- 4. PLANTING PIT MUST BE FREE DRAINING.
- 5. TREE TAGS ARE NOT TO BE REMOVED WITHOUT CONFIRMATION / INSTRUCTION FROM LANDSCAPE ARCHITECT.

-DISH GROWING MEDIUM TO HOLD WATER, AS DIRECTED

-ARBORGARD, SEE SPECIFICATIONS

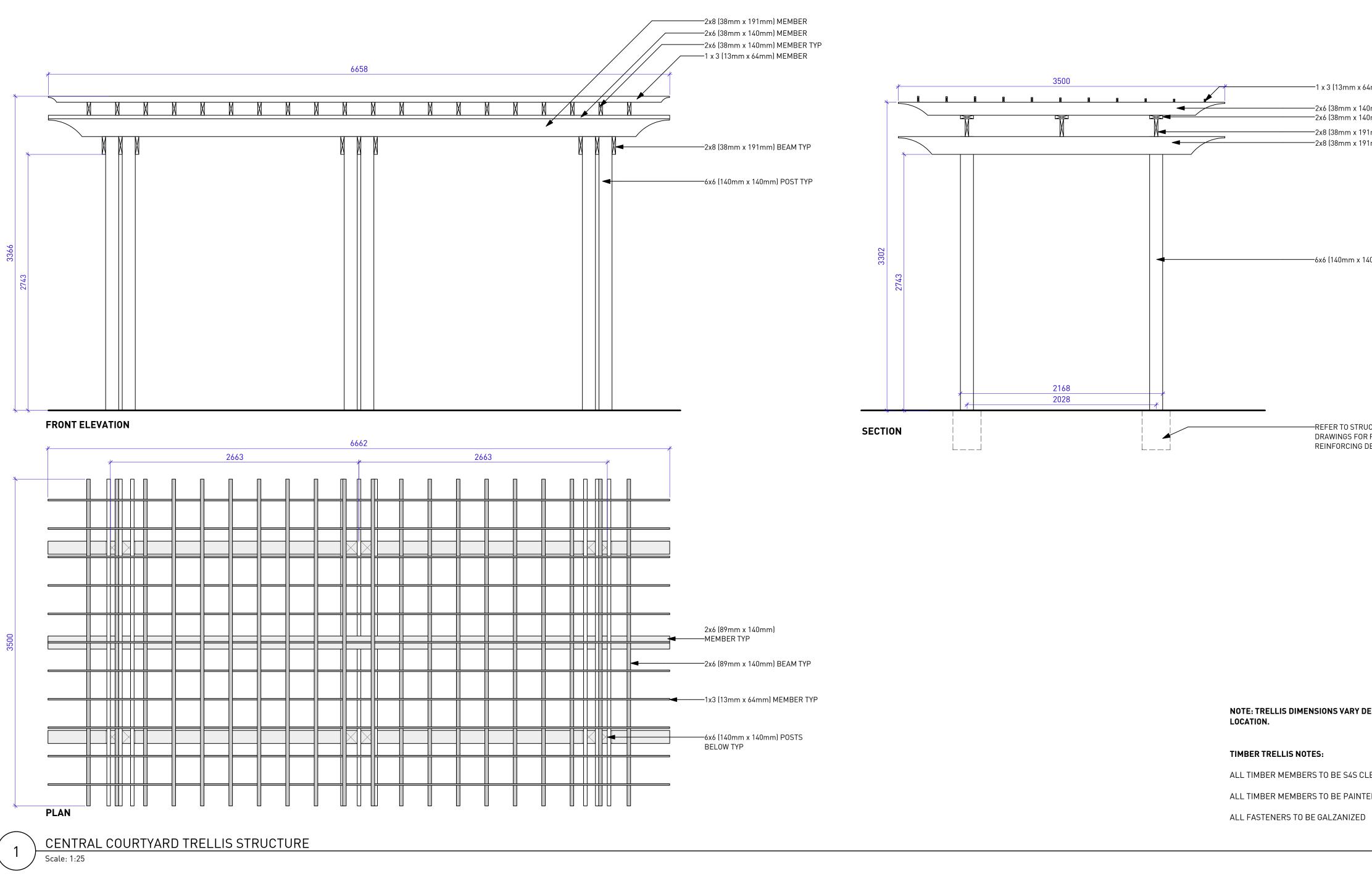
-REMOVE BURLAP AND ROPE FROM AROUND BASE OF TRUNK -FINISH GRADE —MULCH

BACKFILL WITH GROWING MEDIUM MIXTURE AS PER SPECIFICATIONS. TAMP GROWING MEDIUM TO ELIMINATE AIR POCKETS AND REDUCE SETTLEMENT. -GROWING MEDIUM DEPTH AS PER SPECIFICATIONS

-CRUSHED GRANULAR BASE

-SLAB AND BUILDUP - REFER TO ARCHITECTURAL DRAWINGS

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—1 x 3 (13mm x 64mm) MEMBER

—2x6 (38mm x 140mm) BEAM —2x6 (38mm x 140mm) MEMBER —2x8 (38mm x 191mm) MEMBER —2x8 (38mm x 191mm) BEAM

—6x6 (140mm x 140mm) POST TYP

-REFER TO STRUCTURAL DRAWINGS FOR FOOTING AND REINFORCING DESIGN

NOTE: TRELLIS DIMENSIONS VARY DEPENDING ON

ALL TIMBER MEMBERS TO BE S4S CLEAR CEDAR

ALL TIMBER MEMBERS TO BE PAINTED WHITE

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16053

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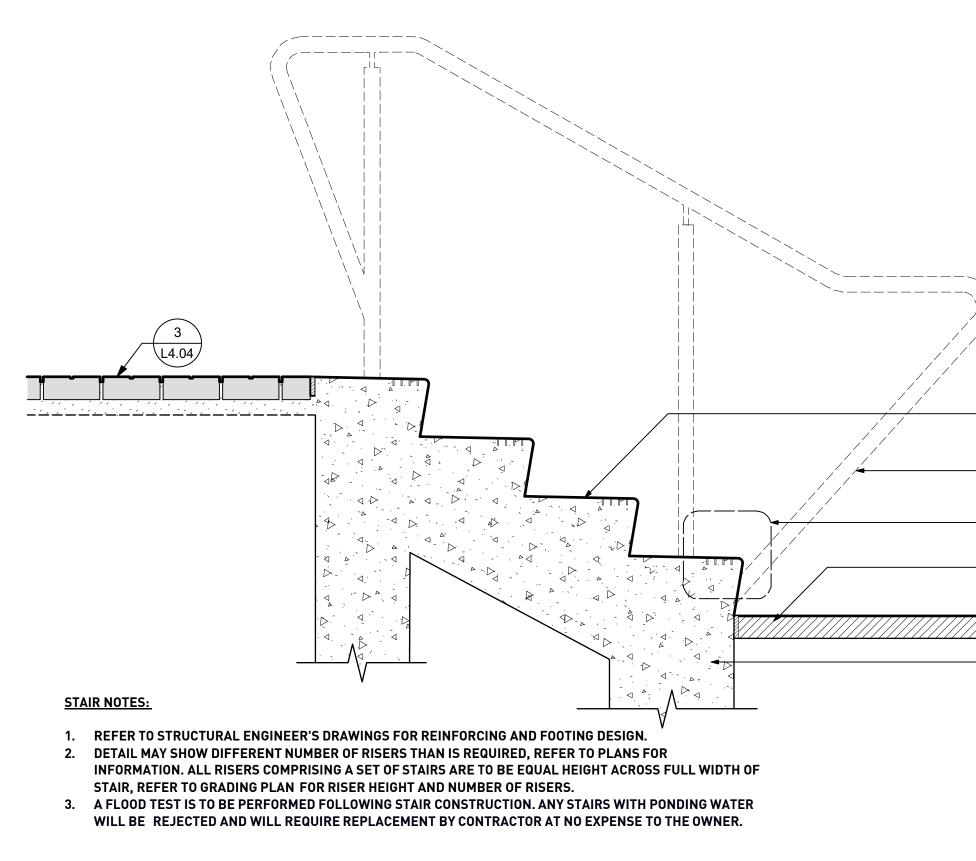
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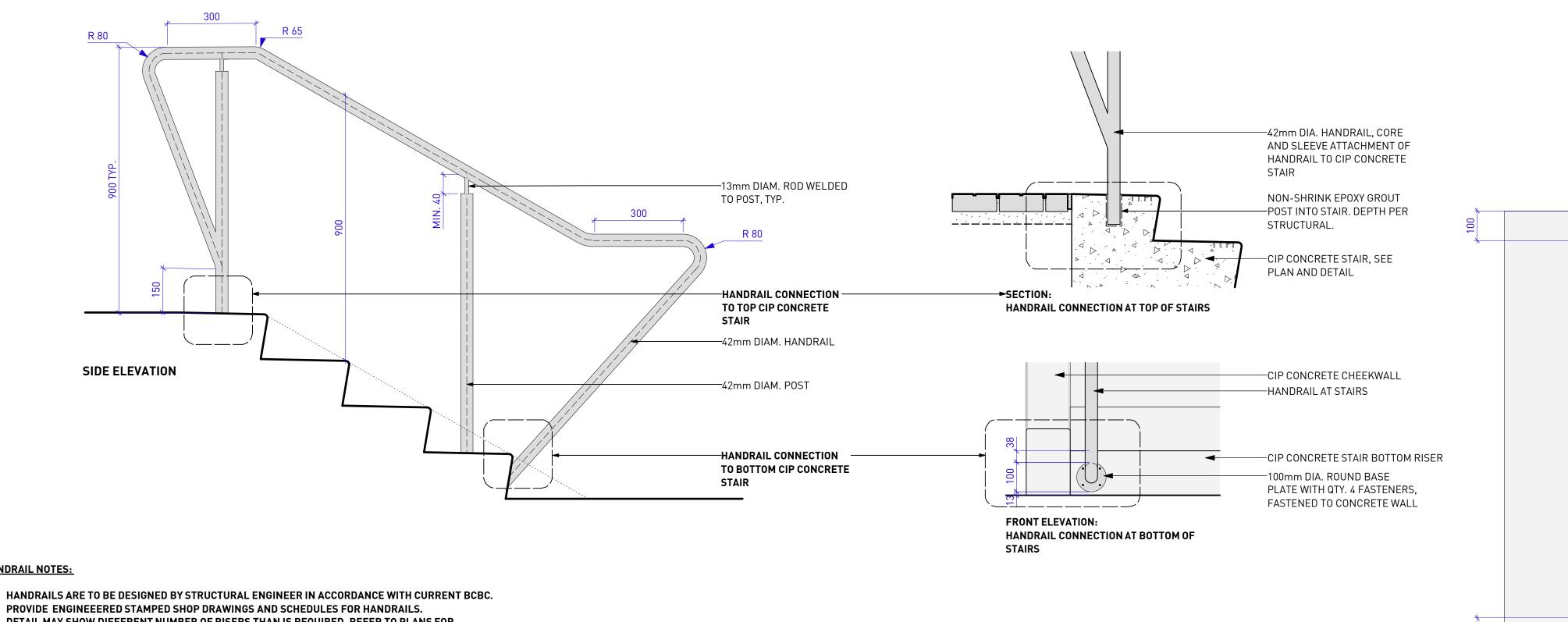
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REVISION



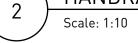
CIP CONCRETE STAIR Scale: 1:10

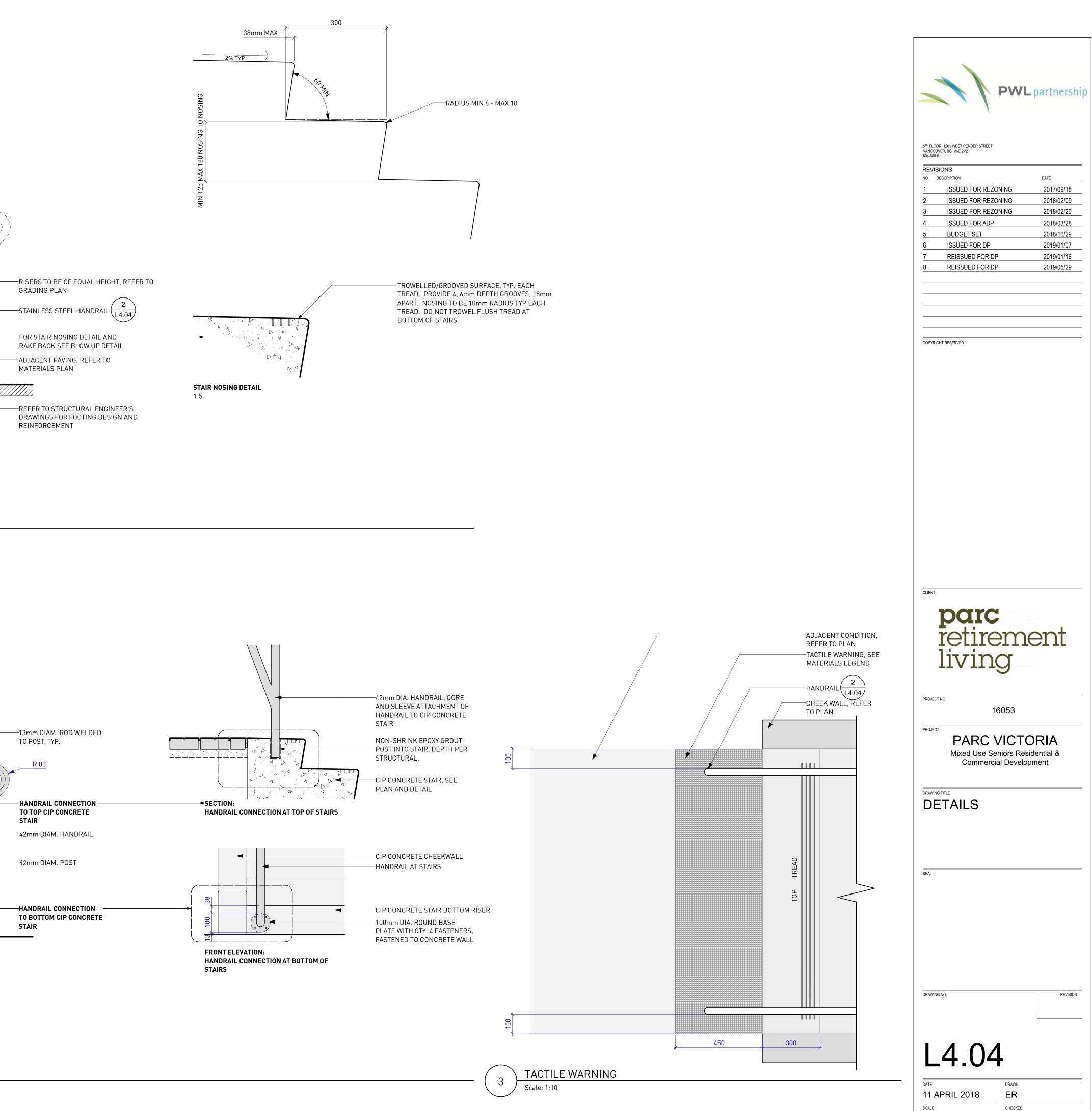


HANDRAIL NOTES:

- 1. HANDRAILS ARE TO BE DESIGNED BY STRUCTURAL ENGINEER IN ACCORDANCE WITH CURRENT BCBC.
- 2. DETAIL MAY SHOW DIFFERENT NUMBER OF RISERS THAN IS REQUIRED, REFER TO PLANS FOR
- INFORMATION. ALL RISERS COMPRISING A SET OF STAIRS ARE TO BE EQUAL HEIGHT ACROSS FULL WIDTH OF STAIR, REFER TO GRADING PLAN FOR RISER HEIGHT AND NUMBER OF RISERS. 3. ALL METALS STAINLESS STEEL WITH LIGHT BRUSHED FINISH.
- 4. ALL WELDS GROUND SMOOTH

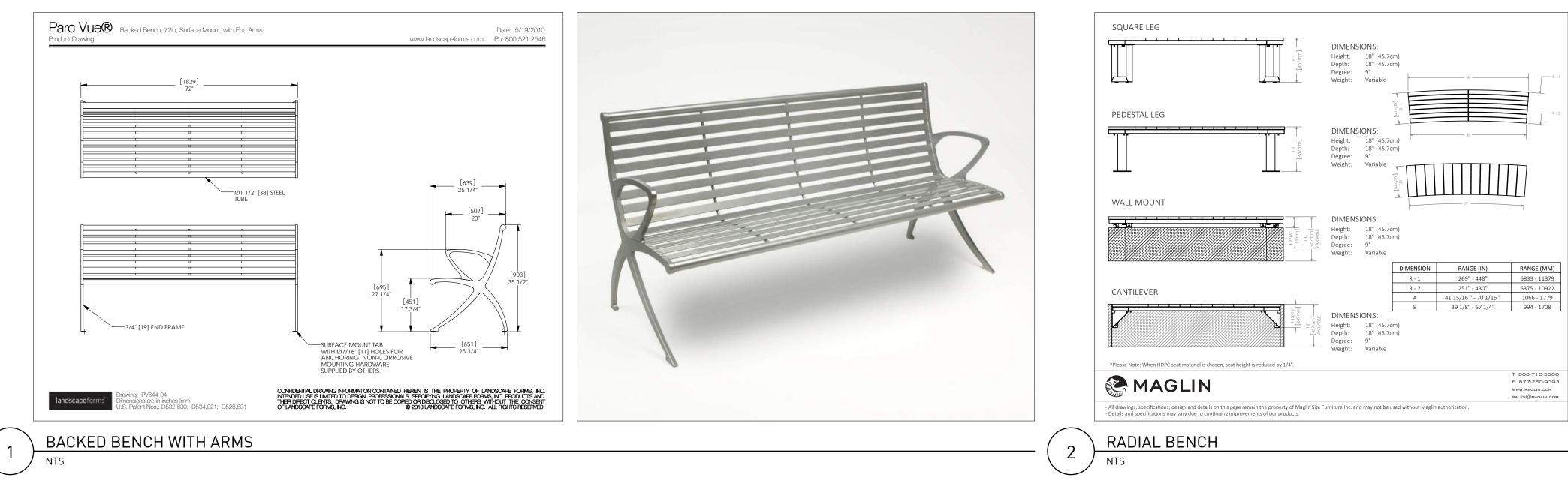






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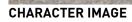






HARVEST TABLE Scale: 1:10







7

ROUND PLANTER POT Scale: 1:10





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## TABLE & CHAIRS Scale: 1:10

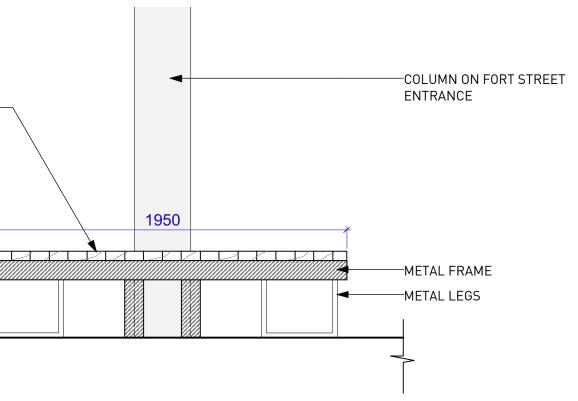
WOOD SLAT TOP-----

8 Scale: 1:20

BIKE RACK PER CITY OF VICTORIA STREETSCAPE GUIDELINES Scale: 1:10

## **RANGE 8**

	*Shown with Ipe wood
MATERIALS:	The seat pan is constructed from steel. The seat employs 1" thick Ipe wood, Recycled Plastic (HDPE), or ¾" thick High Density Paper Composite (HDPC) slats.
FINISH:	All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.
INSTALLATION:	The seat sections come preassembled with boards. Chosen mount option come as a separate component. Reference: INSTALL_OGDEN.pdf for onsite assembly and installation instructions.
TO SPECIFY:	Please contact your Maglin Site Furniture Representative.



## ELEVATION OF CUSTOM BENCH ON FORT STREET GROUND LEVEL ENTRANCE

<b>PWL</b> partnershi
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