
Rezoning and Development
Permit with Variances
Application
for
415 and 435 Michigan Street

Subject Site – 435 Michigan Street



Subject Site



Subject Site



Subject Site – 415 Michigan Street



Subject Site – Existing Swimming Pool



Subject Site – Existing Parking



Subject Site – 415 Michigan Street



Subject Site – 415 and 435 Michigan Street



Subject Site – 435 Michigan Street



Context – 345 Michigan Street



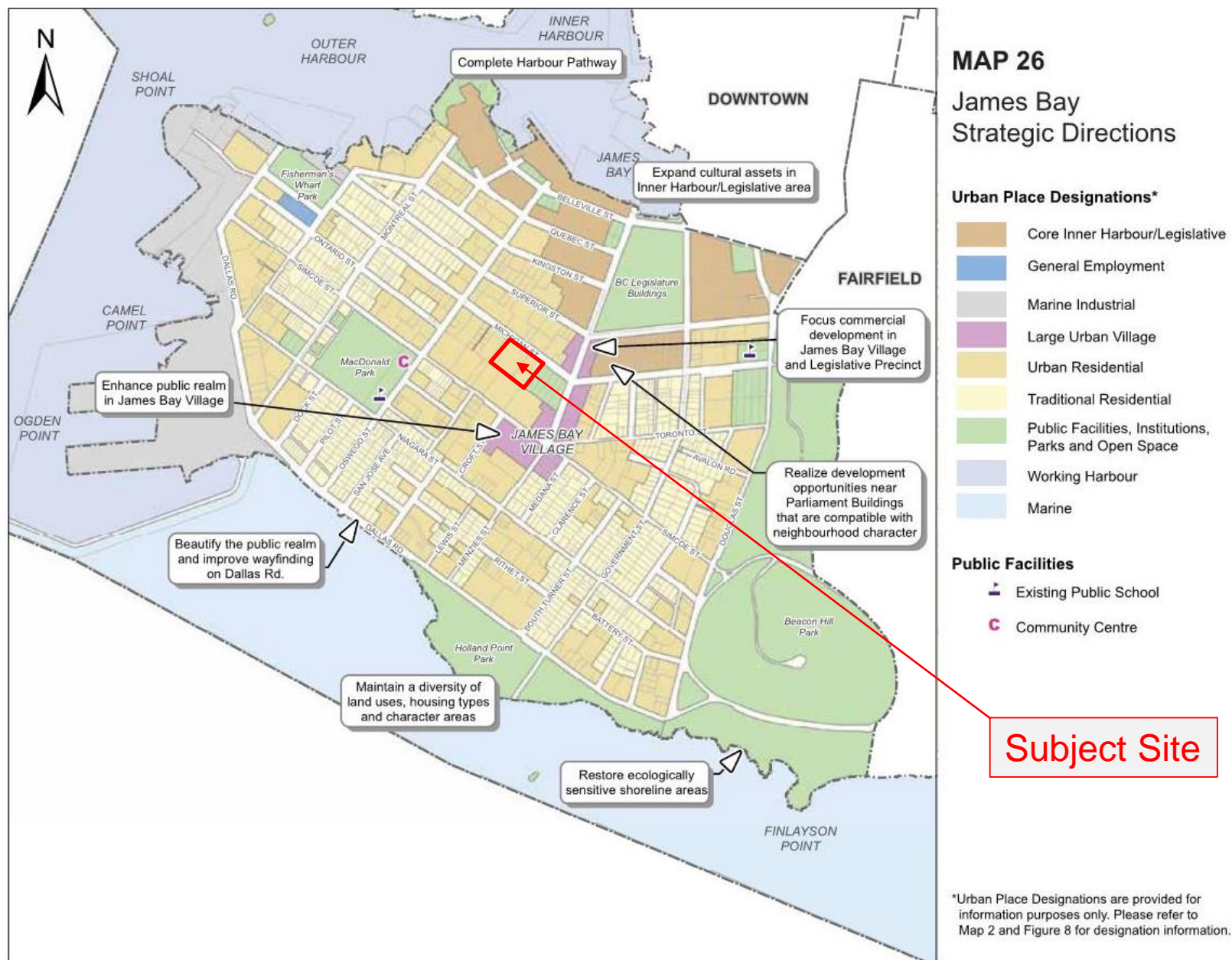
Context – 418 Michigan Street



Context – 404/410 Michigan Street



OCP Urban Place Designation



Context Plan and Street Elevation



1 Michigan Street Plan
Scale 1:400



2 Michigan Street Elevation
Scale 1:400

revisions:		
no.	date	description
1	2018-03-09	ARIS Comments Oct 31/17
2	2018-04-25	CALIC Comments Mar 27/18
3	2018-04-11	ADP Comments
4	2018-02-28	Comments from Planning
5	2018-05-17	Comments from Planning

issues:		
2017-10-02	Issued for Development Permit	
2017-11-21	Issued for CALIC	
2018-03-09	Issued for Reasoning	
2018-04-25	Issued for Design Panel	
2018-04-11	Re-issued for Reasoning	
2019-02-28	Re-issued for Reasoning	
2019-05-17	Re-issued for Reasoning	

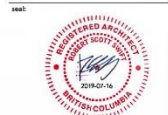
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Suite 206 - 1438 West 1st Avenue, Vancouver B.C.
Telephone: (604) 730-8100 | Web: www.bha.ca

project:
Proposed Residential Infill
415415 Michigan Street
VICTORIA BC
Starlight
interiors

consultant:



drawn:	KB	date:	April 2017
checked:			
scale:	as noted	project no.:	433
sheet title: Elevations			

Michigan Street

REGENT TOWERS

CHARTER HOUSE

Lot A
Plan 15791
Area=5,514 sq. ft.

Lot 1
Plan 16497
Area=3,397 sq. ft.

PARKING

42 GPE

ABD 114-G-C

10/1/2011

Professional Engineer

Seal

LEGAL DESCRIPTION
LOT A OF LOTS 1817, 1818, 1819, 1820,
1821, 1822 AND 1823 VICTORIA CITY
PLAN EPP76927

Issues:	
2017-10-02	Issued for Development Permit
2017-11-21	Issued for CALUC
2018-03-09	Issued for Reasoning
2018-04-25	Issued for Design Panel
2018-06-11	Re-Issued for Reasoning
2019-02-28	Re-Issued for Reasoning
2019-05-17	Re-Issued for Reasoning

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Proposed Residential Infill
415/435 Michigan Street
VICTORIA, BC



2007



scale: as indicated	project no.: P-433
sheet title: Existing Site Plan	

date:	time:

A1.02

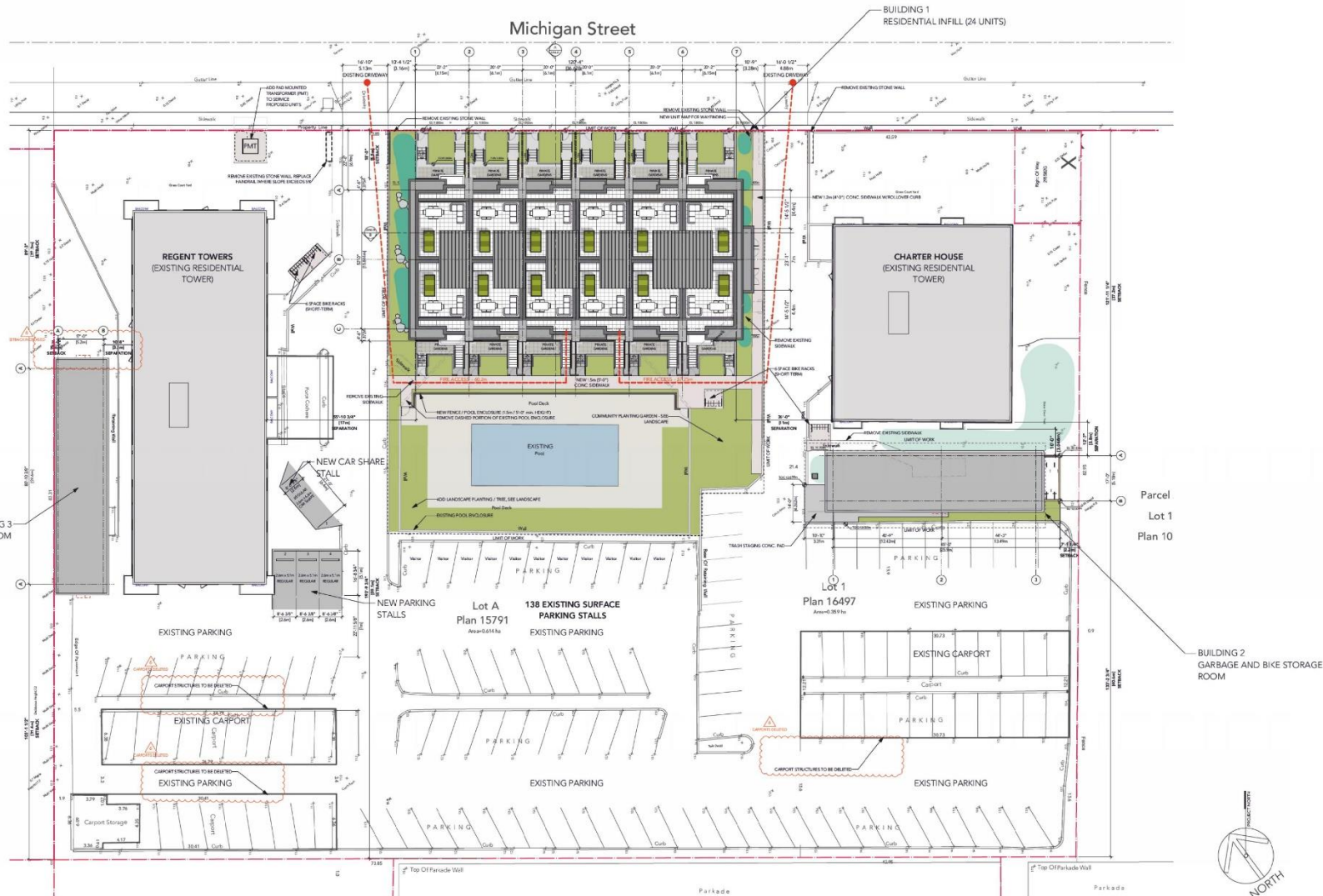


plotted: 19-5-17 11:53:48 AM



1 SITE PLAN - EXISTING
Scale: 1:200

Proposed Site Plan



no.	date	description
1	2018-03-09	ASG Comments Oct 17/17
2	2018-04-25	CALIC Comments Mar 27/18
3	2018-06-11	ASG Comments
4	2018-06-28	Comments from Planning
5	2018-07-17	Comments from Planning
6	2018-07-11	Comments from Planning

no.	date	description
1	2017-10-02	Issued for Development Permit
2	2017-11-21	Issued for CALIC
3	2018-03-09	Issued for Re-zoning
4	2018-04-25	Issued for Design Panel
5	2018-06-11	Re-issued for Re-zoning
6	2018-06-28	Re-issued for Re-zoning
7	2018-07-17	Re-issued for Re-zoning
8	2018-07-11	Re-issued for Re-zoning

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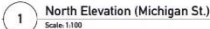
project:
Proposed Residential Infill
415/425 Michigan Street
VICTORIA BC



consultant:



drawn:	KE/MCH	date:	APRIL 2017
checked:			
scale:	as indicated	project no.:	P-433
sheet title:	Proposed Site Plan		



1 North Elevation (Michigan St.)
Scale: 1:100

MAT NO	ELEMENT	FINISH	COLOR OR APPROVED EQUAL
CLADDING			
E01	CEMENTITIOUS PANEL SYSTEM (MARBLE PANELS)	PRE-FINISHED	AFC TIE WHITE
E02	CEMENTITIOUS PANEL SYSTEM (MARBLE PANELS)	PRE-FINISHED	BROWN GRAY
E03	CEMENTITIOUS PANEL SYSTEM (MARBLE PANELS)	PRE-FINISHED	BLACK WHITE
E04	CEMENTITIOUS TILES BOARD (MARBLE)	PRE-FINISHED	AFC TIE WHITE
E05	CEMENTITIOUS TILES BOARD (MARBLE)	PRE-FINISHED	BLACK GRAY
E06	ALUMINUM SHOT-BEAM DOORS (JANITOR ROOMS)	PRE-FINISHED	LONGBOARD WOODGRAIN - DARK FSC
DOORS / WINDOWS			
E07	RESIDENTIAL TINTED WINDOWS	PRE-FINISHED	SLACK
E08	RESIDENTIAL TINTED GLAZED SWING DOOR	PRE-FINISHED	SLACK
E09	SLA-DOOR SWING DOOR (ENTRY)	PRE-FINISHED	WOODGRAIN / DARK GLASS
METALS / GLASS			
E10	ALUMINUM QUADRANTALS WITH TEMPERED GLASS	PRE-FINISHED	BLACK CHARCOAL, CHARCOAL, CLEAR GLASS
E11	METAL FINISHING	PRE-FINISHED	CHARCOAL, (DARK GRAY)
E12	STANDING SEAM METAL ROOFING	PRE-FINISHED	CHARCOAL, (DARK GRAY)
E13	PRIVACY GLASS	PRE-FINISHED	EXPLUDED WHITE
WOODS			
E14	EXTERIOR WOOD STAIRS W/ CONC. TREADS, STAIRS, HELLERS, FINISH: PRIMER STAINING	STAINED W/ CONC. STAIN	SLATE / NATURAL, CONCRETE

GENERAL MATERIAL NOTES:

1. MATERIAL INDICATORS ARE SHOWN FOR CLARITY OF TYPICAL AREAS OF THE ELEVATIONS. AREAS NOT NOTED ARE TO FOLLOW AS PER THE TYPICAL LOCATIONS.
2. CHANGES IN MATERIALS TO ALWAYS OCCUR AT INSIDE CORNERS UNLESS OTHERWISE NOTED OR SHOWN.



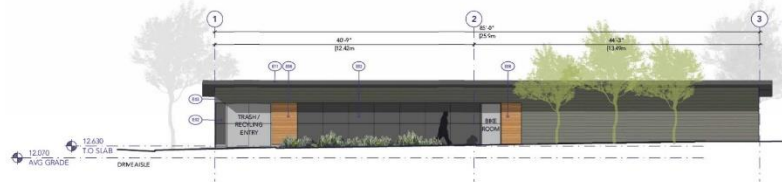
2 East Elevation
Scale: 1:100

plotted: 19-5-17 11:49:50

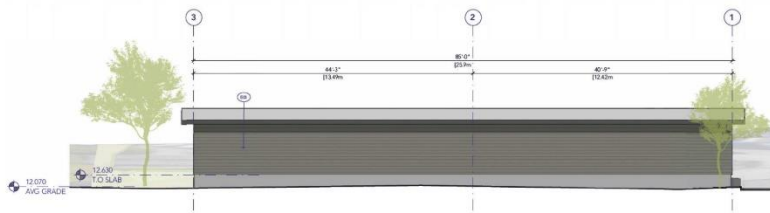
Accessory Buildings Elevations



1 East Bike Storage West Elevation
Scale: 1/100



2 East Bike Storage South Elevation
Scale: 1/100



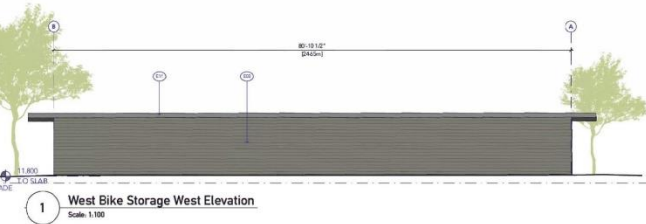
3 East Bike Storage North Elevation
Scale: 1/100



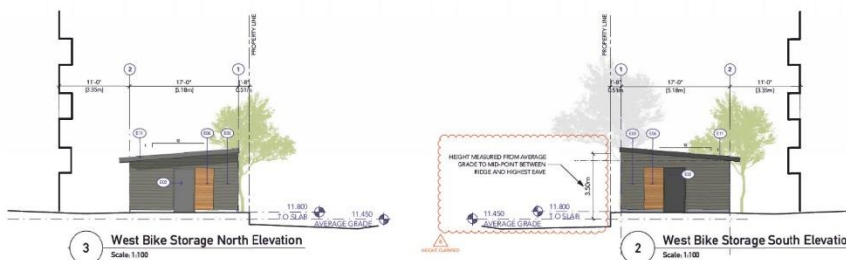
4 East Bike Storage East Elevation
Scale: 1/100



4 West Bike Storage East Elevation
Scale: 1/100



1 West Bike Storage West Elevation
Scale: 1/100



3 West Bike Storage North Elevation
Scale: 1/100



2 West Bike Storage South Elevation
Scale: 1/100

EXTERIOR MATERIAL COLOUR SCHEDULE

MAT NO	ELEMENT	FINISH	COLOUR FOR APPROVED EQUAL
CLADDING			
E01	CEMENTITIOUS PANEL SYSTEM (HARDE PANEL)	PREFINISHED	ARCTIC WHITE
E02	CEMENTITIOUS PANEL SYSTEM (HARDE PANEL)	PREFINISHED	IRON GRAY
E03	CEMENTITIOUS LATH (HARDE PANEL)	PREFINISHED	AGED BRONZE
E04	CEMENTITIOUS TRIM BOARD (HARDE TRIM)	PREFINISHED	ARCTIC WHITE
E05	CEMENTITIOUS SHINGLES (HARDE SHINGLES)	PREFINISHED	IRON GRAY
E06	ALUMINUM SOFFIT / SIDING	PREFINISHED	LONGHORN WOODGRAIN - DARK H R
DOORS / WINDOWS			
E07	RESIDENTIAL VINYL WINDOWS	PREFINISHED	BLACK
E08	RESIDENTIAL VINYL GLAZED SWING DOOR	PREFINISHED	BLACK
E09	GLAZED WOOD SWING DOOR (ENTRY)	PREFINISHED	WOODGRAIN / DIFFUSED GLASS
METALS / GLASS			
E10	ALUMINUM GUARDRAILS WITH TEMPLERED GLASS	PREFINISHED	BLACK CHARCOAL GUARDS, CLEAR GLASS
E11	WETAL P. ALUMINUM	PREFINISHED	BLACK
E12	STANDING SEAM METAL ROOFING	PREFINISHED	CHARCOAL (DARK GRAY)
E13	PRIVACY GLAZING	-	DIFFUSED WHITE
WOODS			
E14	EXTERIOR WOOD STAIRS W/ CONC. TREADS	STAINED WD / CONC.	SLATE / NATURAL CONCRETE
E15	CEGAR TRELLIS / FENCE PRIVACY SCREENS	STAINED	NATURAL

GENERAL MATERIAL NOTES:

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2. CHANGES IN MATERIALS TO ALWAYS OCCUR AT INTERIOR CORNERS UNLESS OTHERWISE NOTED OR SHOWN.

no.	date	description
1	2018-03-09	ARIS Comments Oct 11/17
2	2018-04-25	CALIC Comments Mar 27/18
3	2018-06-11	ADP Comments
4	2018-08-28	Comments from Planning
5	2018-09-17	Comments from Planning
6	2019-02-11	Comments from Planning

no.	date	description
1	2017-10-02	Issued for Development Permit
2	2017-11-21	Issued for CALIC
3	2018-03-09	Issued for Reopening
4	2018-04-25	Issued for Design Panel
5	2018-06-11	Re-issued for Reopening
6	2018-08-28	Re-issued for Reopening
7	2018-09-17	Re-issued for Reopening
8	2019-02-11	Re-issued for Reopening

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project:

Proposed Residential Infill
415415 Michigan Street
VICTORIA, BC



consultant:

seal:



drawn: KB date: April 2017

checked: project no.: 433

scale: as noted

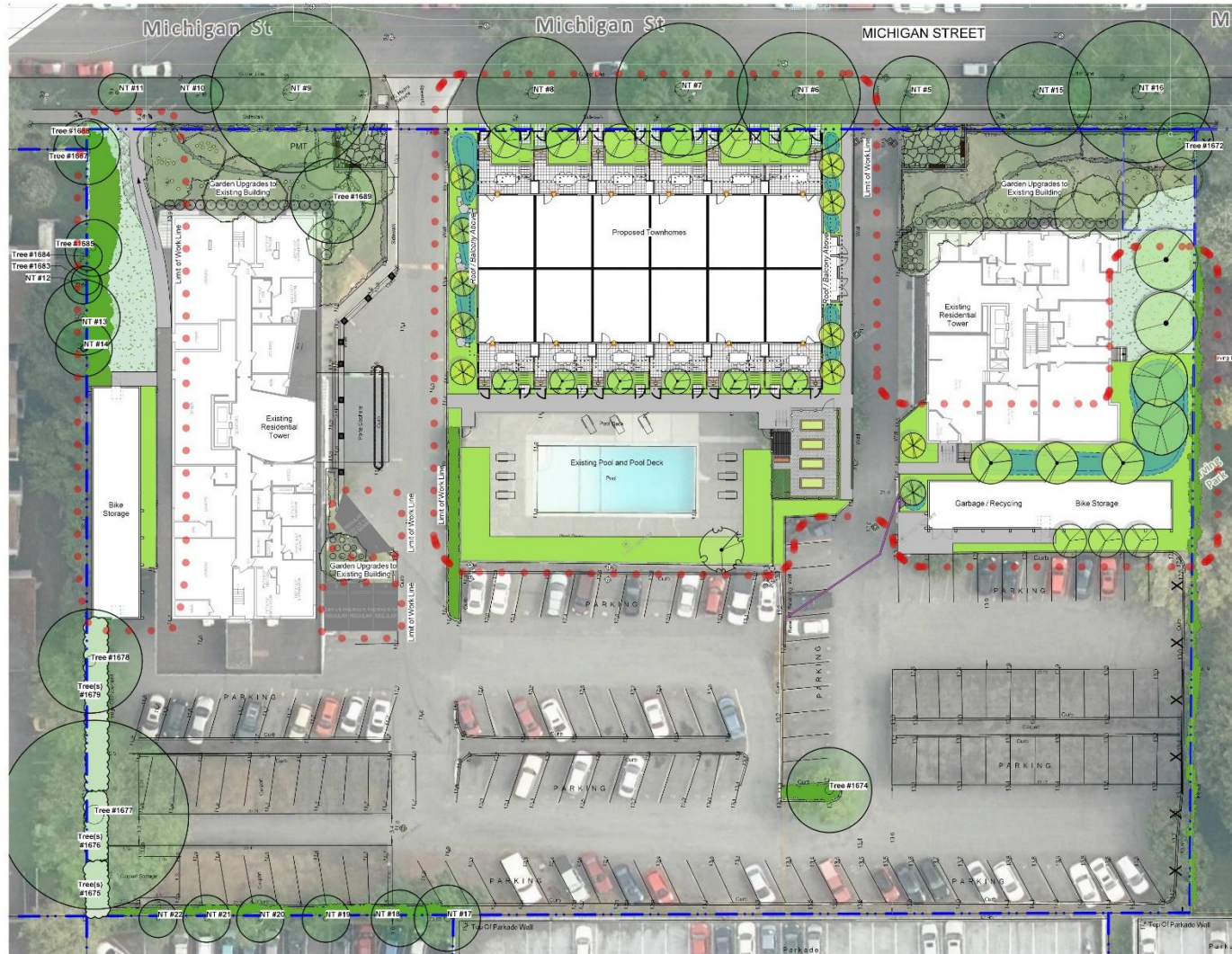
sheet title:
Trash / Bike Storage
Elevations

sheet no.: A5.03



plotted: 19/01/11 11:18:52 AM

Landscaping Plan



LEGEND	
Property line	
UNDERGROUND UTILITIES	
EXISTING	PROPOSED
Storm drain	Sewer
Water	Electrical
Gas	
LANDSCAPE MATERIALS	
Unit Paving	
Cast in place concrete paving	
Existing Lawn Area	
Ornamental Planting Area	
Existing Vegetation	
Rain Garden Area	
EXISTING TREE SUMMARY	
Existing Tree Retained - Tagged	
Refer L1:02 Tree Retention and Removal Plan for additional information.	

TREENOTES
 1. Garden upgrades to existing buildings consists of (20) Benula nigra 'Cully' Heritage, River Birch and (2) Cercidiphyllum japonicum, Katsura Tree.

Revisions
 Received Date: Aug 06/2019
 Deemed Date: June 04/2019

- DRAWING NOTES**
1. DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 2. All plan dimensions in metres and all detail dimensions in millimetres.
 3. Plant quantities on Plans shall take precedence over plant list quantities.
 4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
 7. Landscape installation to carry a 1 year warranty from date of acceptance.
 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape drawings and information including irrigation.
 10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

NOT FOR CONSTRUCTION

rev no	description	date
7	SUPPLEMENTARY LINES	AUG 28 2019
6	REVISIONS FOR REZONING	FEB 28 2019
5	REZONING REV 2	JUN 11 2018
4	DESIGN PANEL	APR 25 2018
3	REZONING	MAR 26 2018
2	CALC	NOV 21 2017
1	DP	OCT 32 2017

Murdoch de Greeff INC
 Landscape Planning & Design
 200-1111 14th Ave
 Victoria, BC V8W 2E2

Scott Murdoch
 341
 Registered Professional Engineer
 Sept. 6, 2019

Client: **STARLIGHT INVESTMENTS**
 3238 BLOOR STREET WEST,
 SUITE 1400
 TORONTO, ON

Project: **PROPOSED RESIDENTIAL INFILL DEVELOPMENT**
 415/435 MICHIGAN STREET,
 VICTORIA, BC

Sheet Title: **Overall Site Plan**

project no:	117.18
scale:	1:200 @ 24"x36"
drawn by:	JD
checked by:	SMPPG
revision no:	sheet no:

L1.00

Perspective View



1 PERSPECTIVE VIEW ALONG MICHIGAN ST.
Scale: NTS

revisions:		
no.	date	description

issues:		
2017-11-21	Issued for CALUC	
2018-03-09	Issued for Reasoning	
2018-04-25	Issued for Design Panel	
2018-06-11	Re-issued for Reasoning	
2019-02-26	Re-issued for Reasoning	
2019-05-17	Re-issued for Reasoning	

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project:

Proposed Residential Infill
415-425 Michigan Street
VICTORIA BC



consultant:

seal:



drawn:	KB	date:	APRIL 2017
checked:			
scale:	NTS	project no.:	P-433
sheet title:	PERSPECTIVE VIEW		

sheet no.:

A-AD.04



plotted: 19-5-17 12:05:00 PM

Perspective View



revisions:		
no.	date	description

issues:		
2017-11-21	Issued for CALUC	
2018-03-09	Issued for Reasoning	
2018-04-25	Issued for Design Panel	
2018-06-11	Re-issued for Reasoning	
2019-02-28	Re-issued for Reasoning	
2019-05-17	Re-issued for Reasoning	

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project:
 Proposed Residential Infill
 415/435 Michigan Street
 VICTORIA BC



consultant:



drawn: KB	date: APRIL 2017
checked:	
scale: NTS	project no.: P-423

sheet title:
 PERSPECTIVE VIEW

sheet no.: PK233.Perspective view

A-AD.05



plotted: 19-5-17 12:10:52 PM

1 MICHIGAN ST FRONTAGE
 Scale: NTS

Perspective View



EXISTING DRIVEWAY
REMOVE / MINIMIZE EXISTING STONE WALLS
ALONG DRIVEWAY FOR VISIBILITY

LIMIT OF PROPOSED NEW 24-UNIT
HOUSING PROJECT

1 VIEW ALONG MICHIGAN ST - LOOKING SOUTHEAST.
Scale: NTS

revisions:		
no.	date	description

issues:
2017-11-21 Issued for CALUC
2018-03-09 Issued for Reasoning
2018-04-25 Issued for Design Panel
2018-06-11 Re-issued for Reasoning
2019-02-28 Re-issued for Reasoning
2019-05-17 Re-issued for Reasoning

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project:
Proposed Residential Infill
415/425 Michigan Street
VICTORIA BC



consultant:

seal:



drawn: KB date: APRIL 2017
checked:

scale: NTS project no.: P-423

sheet title:
PERSPECTIVE VIEW

sheet no.: PK33 Perspectives view

A-AD.06



plotted: 19-5-17 12:10:52 PM

Perspective View



LIMIT OF PROPOSED NEW 24-UNIT INFILL HOUSING PROJECT

REMOVE / MINIMIZE EXISTING STONE WALLS ALONG DRIVEWAY FOR VISIBILITY EXISTING DRIVEWAY

1 VIEW ALONG MICHIGAN ST - LOOKING NORTHWEST
Scale: NTS

revisions:		
no.	date	description

issues:
 2017-11-21 Issued for CALUC
 2018-03-09 Issued for Reasoning
 2018-04-25 Issued for Design Panel
 2018-06-11 Re-issued for Reasoning
 2019-02-28 Re-issued for Reasoning
 2019-05-17 Re-issued for Reasoning

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project:

Proposed Residential Infill
 415/425 Michigan Street
 VICTORIA BC



consultant:

seal:



drawn: KB	date: APRIL 2017
checked:	
scale: NTS	project no.: P-433

sheet title:
PERSPECTIVE VIEW

sheet no.: PK33 Perspectives.mxd

A-AD-07



plotted: 19-5-17 12:10:53 PM

Perspective View



revisions:		
no.	date	description

issues:	
2017-11-21	Issued for CALUC
2018-03-09	Issued for Reasoning
2018-04-25	Issued for Design Panel
2018-06-11	Re-issued for Reasoning
2019-02-28	Re-issued for Reasoning
2019-05-17	Re-issued for Reasoning

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project:
Proposed Residential Infill
415/425 Michigan Street
VICTORIA BC



consultant:



drawn:	KB	date:	APRIL 2017
checked:			
scale:	NTS	project no.:	P-423

sheet title:
PERSPECTIVE VIEW

sheet no.: PK33 Perspectives.mxd

A-AD.08



plotted: 19-5-17 12:10:53 PM

Perspective View



revisions:		
no.	date	description

issues:		
2017-11-21	Issued for CALUC	
2018-03-09	Issued for Reasoning	
2018-04-25	Issued for Design Panel	
2018-06-11	Re-issued for Reasoning	
2019-02-28	Re-issued for Reasoning	
2019-05-17	Re-issued for Reasoning	

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project:
Proposed Residential Infill
415/425 Michigan Street
VICTORIA BC



consultant:



drawn: KB	date: APRIL 2017
checked:	
scale: NTS	project no.: P-423
sheet title: PERSPECTIVE VIEW	

sheet no.: P-423_Perspective view

A-AD.09



plotted: 19-5-17 12:10:51 PM

Perspective View



1 BIRDEYE VIEW FROM POOL SIDE
Scale: NTS

revisions:		
no.	date	description

issues:		
2017-11-21	Issued for CALUC	
2018-03-09	Issued for Reasoning	
2018-04-25	Issued for Design Panel	
2018-06-11	Re-issued for Reasoning	
2019-02-28	Re-issued for Reasoning	
2019-05-17	Re-issued for Reasoning	

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project:
Proposed Residential Infill
415/435 Michigan Street
VICTORIA BC



consultant:



drawn:	KB	date:	APRIL 2017
checked:			
scale:	NTS	project no.:	P-423

sheet title:
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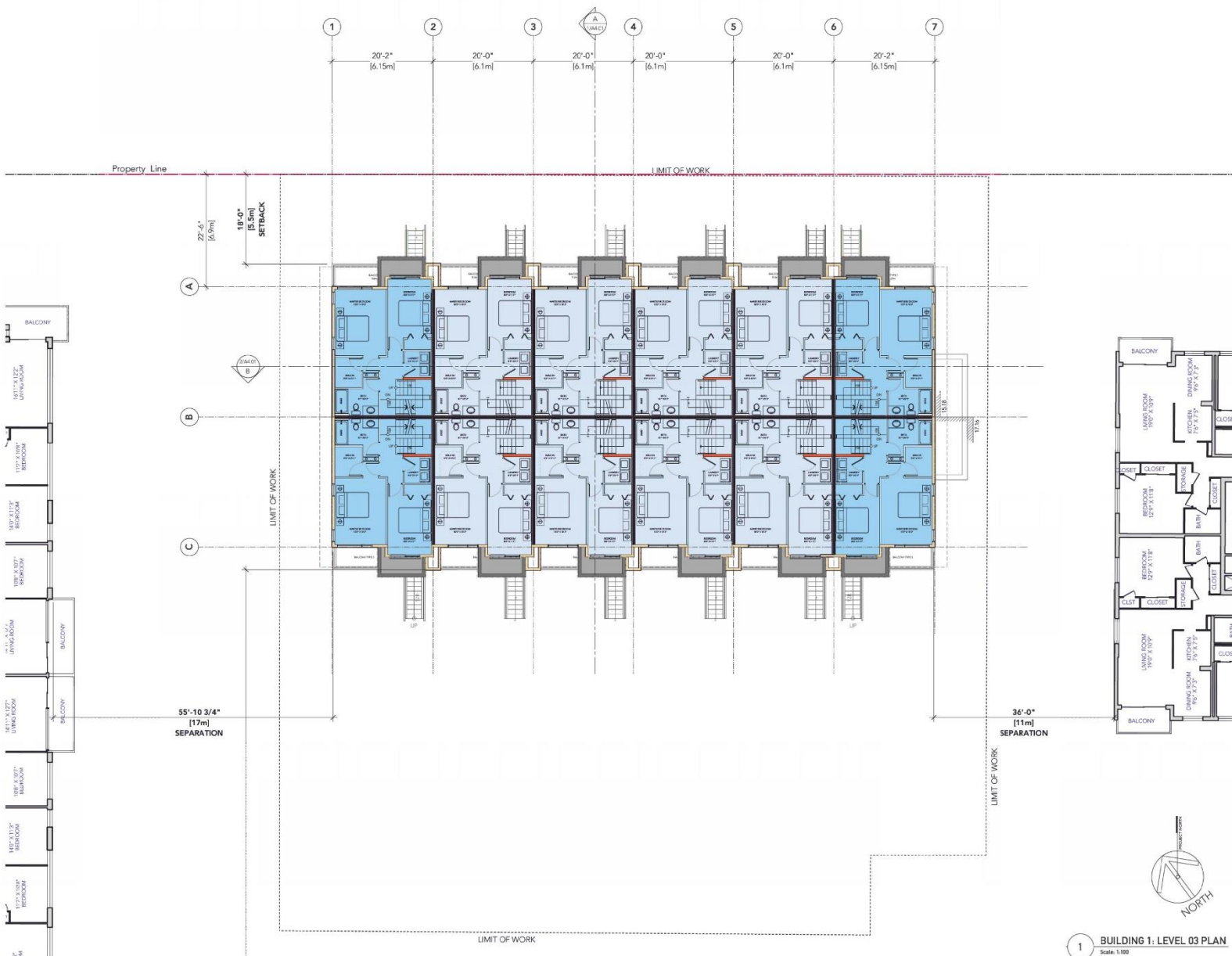
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A-AD-10



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no.	date	description
1	2018-03-09	2018 Comments Oct/17
2	2018-04-25	CALICUS Comments Mar 27/18
3	2018-06-11	ADP Comments
4	2018-02-28	Comments from Planning

issues:	
2017-10-02	Issued for Development Permit
2017-11-21	Issued for CALIC
2018-03-09	Issued for Reasoning
2018-04-25	Issued for Design Panel
2018-06-11	Re-issued for Reasoning
2018-02-28	Re-issued for Reasoning
2018-05-17	Re-issued for Reasoning

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project:
 Proposed Residential Infill
 415/435 Michigan Street
 VICTORIA BC



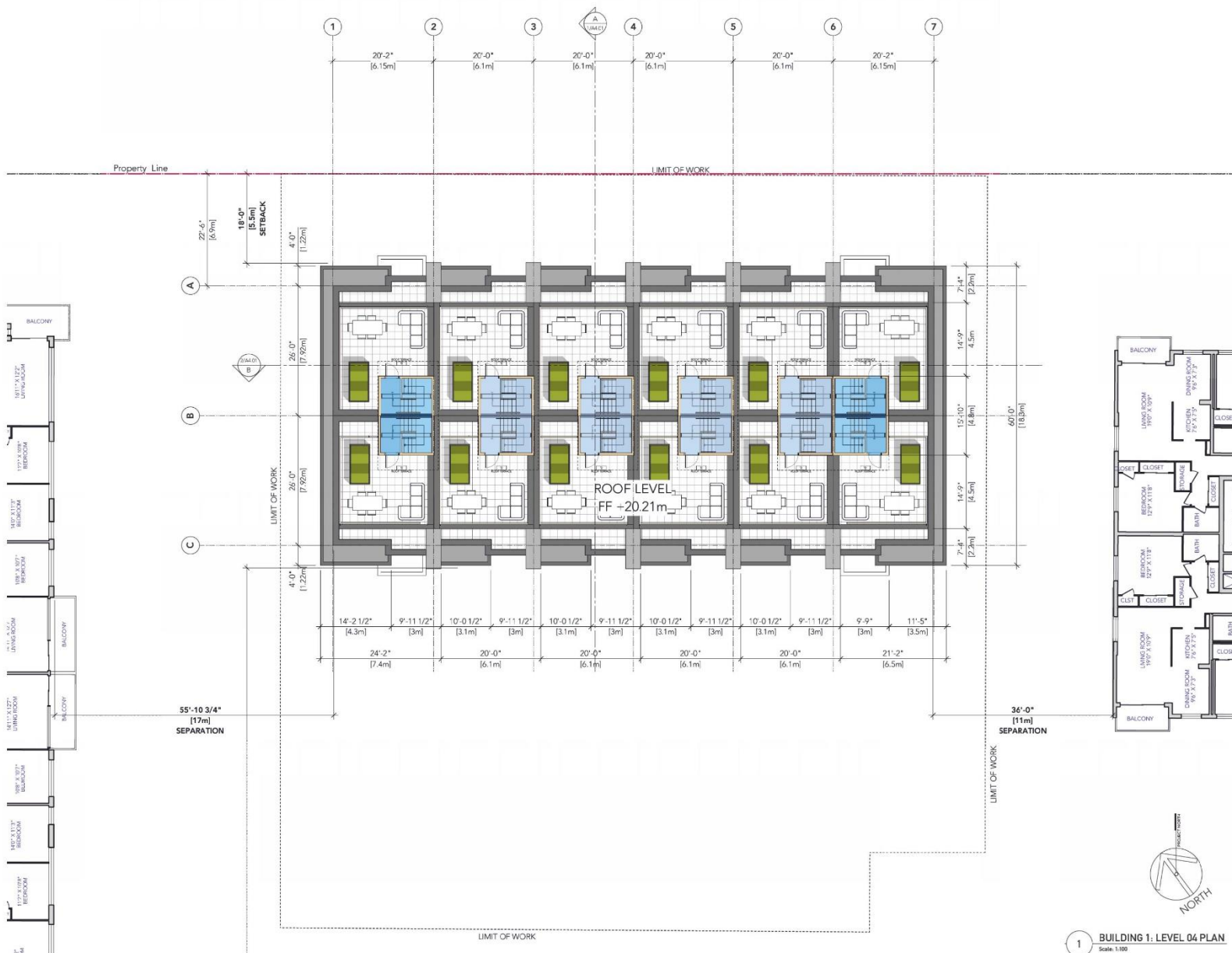
consultant:



drawn:	KB/MCH	date:	APRIL 2017
checked:			
scale:	as indicated	project no.:	P-433
sheet title:	Level 03 Floor Plan		

sheet no.:	A3.03	plotted:	19-5-17 11:53 AM
rev:	4		





no.	date	description
1	2018-03-09	2018 Comments Oct/17
2	2018-04-25	CALUCARIS Comments Mar 27/18
3	2018-06-11	ADP Comments
4	2018-02-28	Comments from Planning

issues:	
2017-10-02	Issued for Development Permit
2017-11-21	Issued for CALUC
2018-03-09	Issued for Reasoning
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2018-06-11	Re-issued for Reasoning
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2019-05-17	Re-issued for Reasoning

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project:

Proposed Residential Infill
 415/435 Michigan Street
 VICTORIA BC



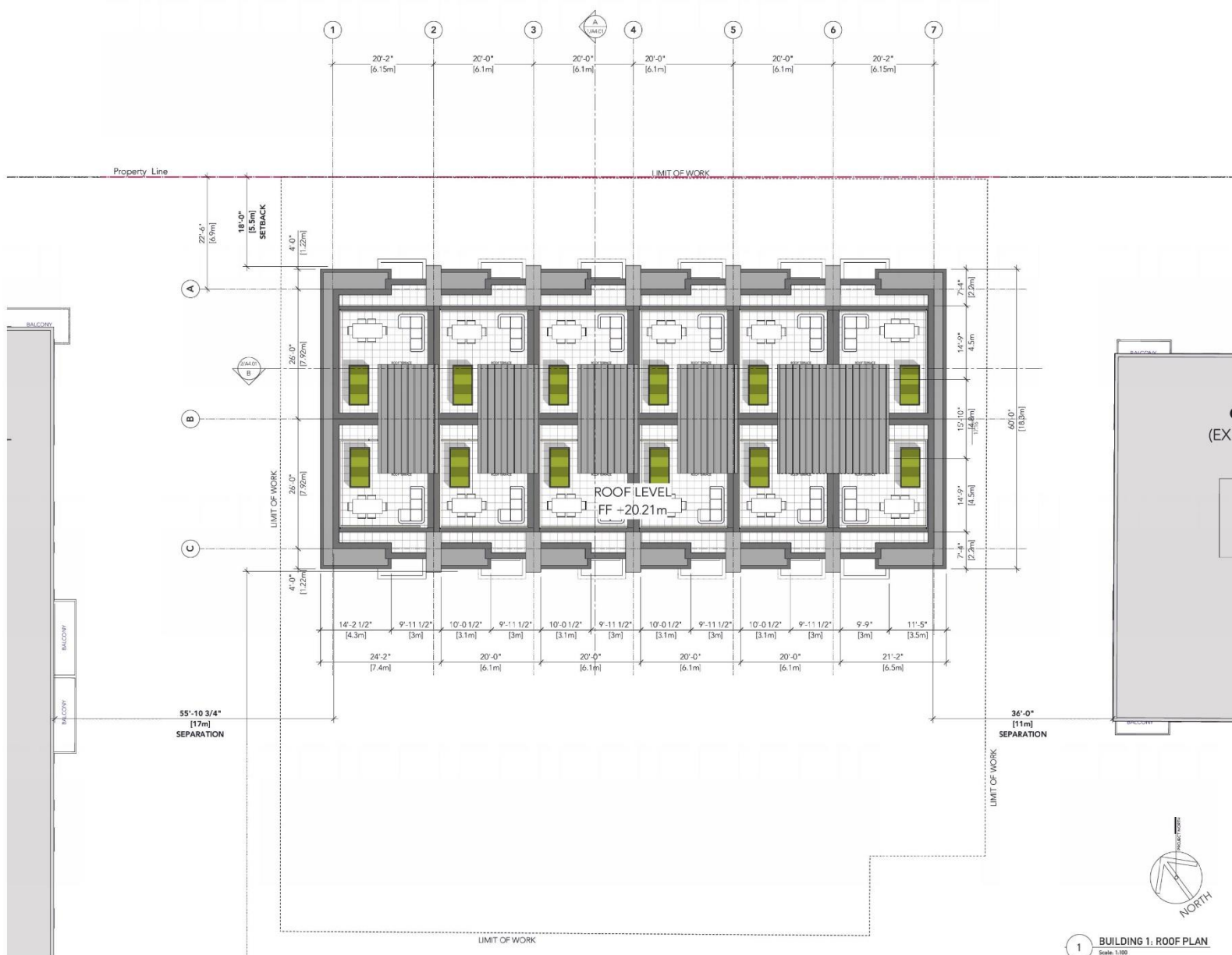
consultant:



drawn:	K.B./MCH	date:	APRIL 2017
checked:			
scale:	as indicated	project no.:	P-433
sheet title:	Level 04 Floor Plan		

sheet no.:	A3.04	plotted:	19-5-17 11:53 AM
scale:	1:100		





no.	date	description
1	2018-03-09	RFI Comments Oct/17
2	2018-04-25	CALUCARIS Comments Mar 27/18
3	2018-06-11	ADP Comments
4	2018-02-28	Comments from Planning

issues:	
2017-10-02	Issued for Development Permit
2017-11-21	Issued for CALUC
2018-03-09	Issued for Reasoning
2018-04-25	Issued for Design Panel
2018-06-11	Re-issued for Reasoning
2018-02-28	Re-issued for Reasoning
2019-05-17	Re-issued for Reasoning

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 Suite 210 - 1181 West 1st Avenue, Vancouver, B.C.
 Telephone: (604) 730-8120 | Web: www.bha.ca

project:

Proposed Residential Infill
 410/435 Michigan Street
 VICTORIA BC



consultant:



drawn: KB/MCH date: APRIL 2017

checked:

scale: as indicated project no.: P-433

sheet title: Roof Plan

sheet no.: A3.05
 scale: 1:100
 plotted: 19-5-17 11:53 AM



1 BUILDING 1: ROOF PLAN
 Scale: 1:100

no.	date	description
1	2018-03-09	ARS Comments Oct31/17
2	2018-04-25	CALUCARS Comments Mar 27/18
3	2018-06-11	ADP Comments
4	2019-02-28	Comments from Planning
6	2019-07-11	Comments from Planning

issues:

2017-10-02	Issued for Development Permit
2017-11-21	Issued for CALUC
2018-03-09	Issued for Rezoning
2018-04-25	Issued for Design Panel
2018-06-11	Re-Issued for Rezoning
2019-02-28	Re-Issued for Rezoning
2019-05-17	Re-Issued for Rezoning
2019-07-11	Re-Issued for Rezoning

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Project:

Proposed Residential Infill
415/435 Michigan Street

VICTORIA BC

Starlight

Investments

Consultant:



2019-07-16

1982

name:	date:
KB/MCH	APRIL 2017

checked	
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as indicated	project no.: P-433
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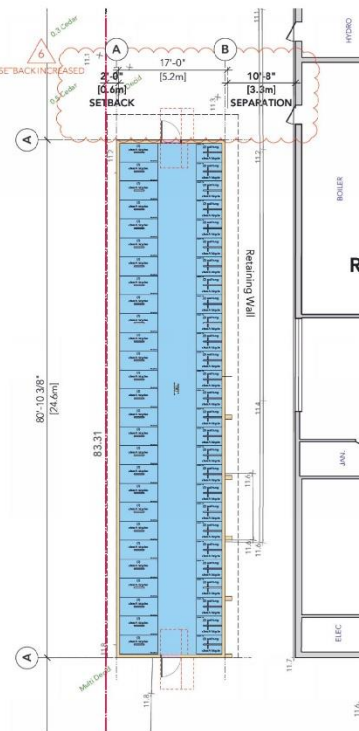
Sheet title:

Garbage/ Recycling / Bike Locker Plan

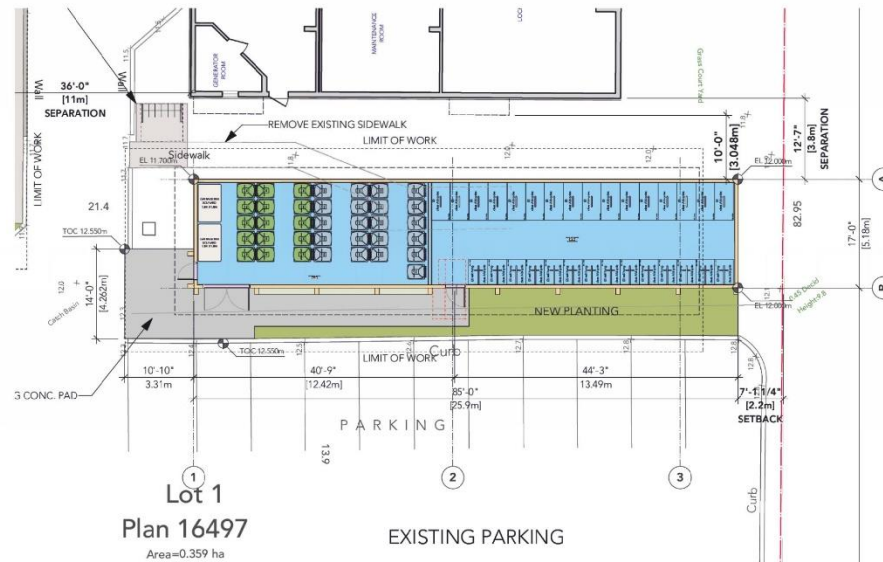
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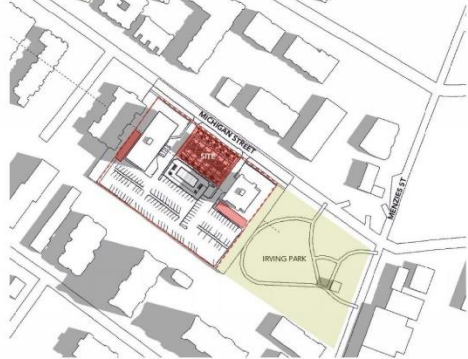


1 BUILDING 3: GARBAGE - BIKE ROOM PLAN
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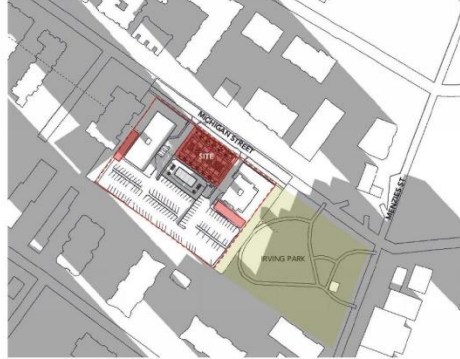


2 BUILDING 2: GARBAGE - RECYCLING / BIKE ROOM PLAN
Scale: 1/100

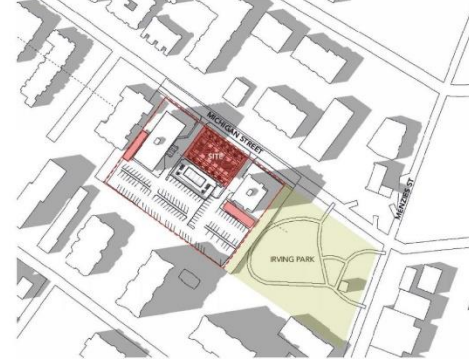
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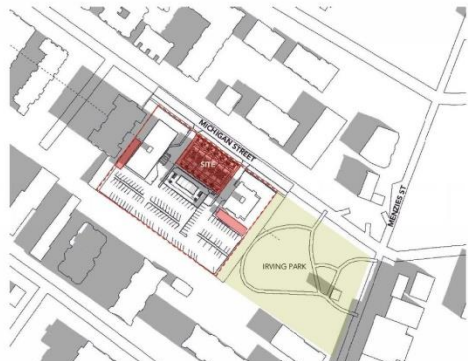
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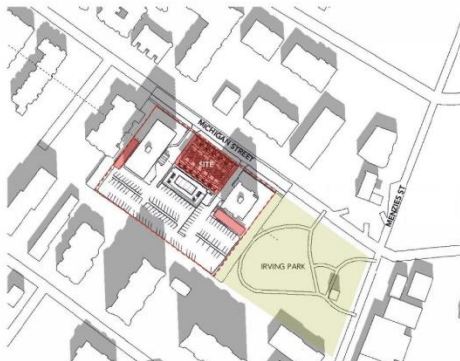
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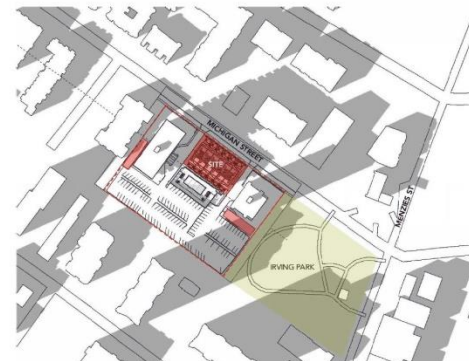
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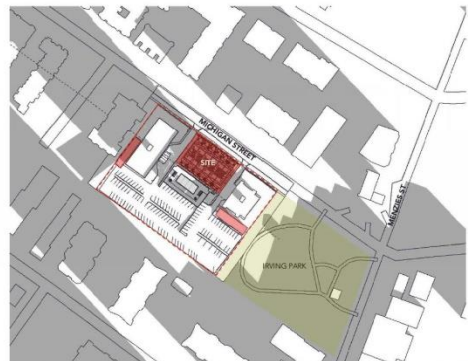
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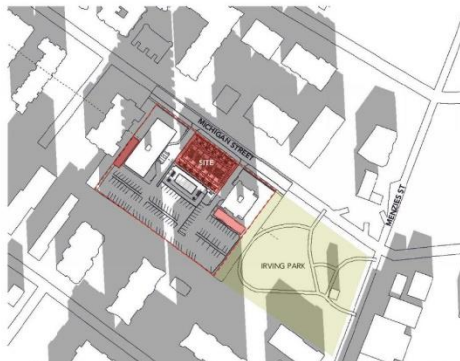
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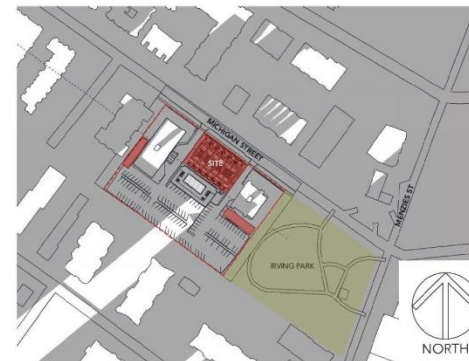
SEPT 21 - 4PM



WINTER SOLSTICE DEC 21 - 9AM



DEC 21 - NOON



DEC 21 - 4PM

no.	date	description
1	2018-03-09	ISS Comments Oct2017
2	2018-04-25	CALCAMS Comments Mar 2018
3	2018-06-11	ZDP Comments
4	2019-05-17	Comments from Planning

ISSUES:	
2018-03-09	Issued for Receiving
2018-04-25	Issued for Design Panel
2018-06-11	Re-issued for Receiving
2019-02-28	Re-issued for Receiving
2019-05-17	Re-issued for Receiving

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project:

Proposed Residential Infill
415/435 Michigan Street
VICTORIA BC



consultant:

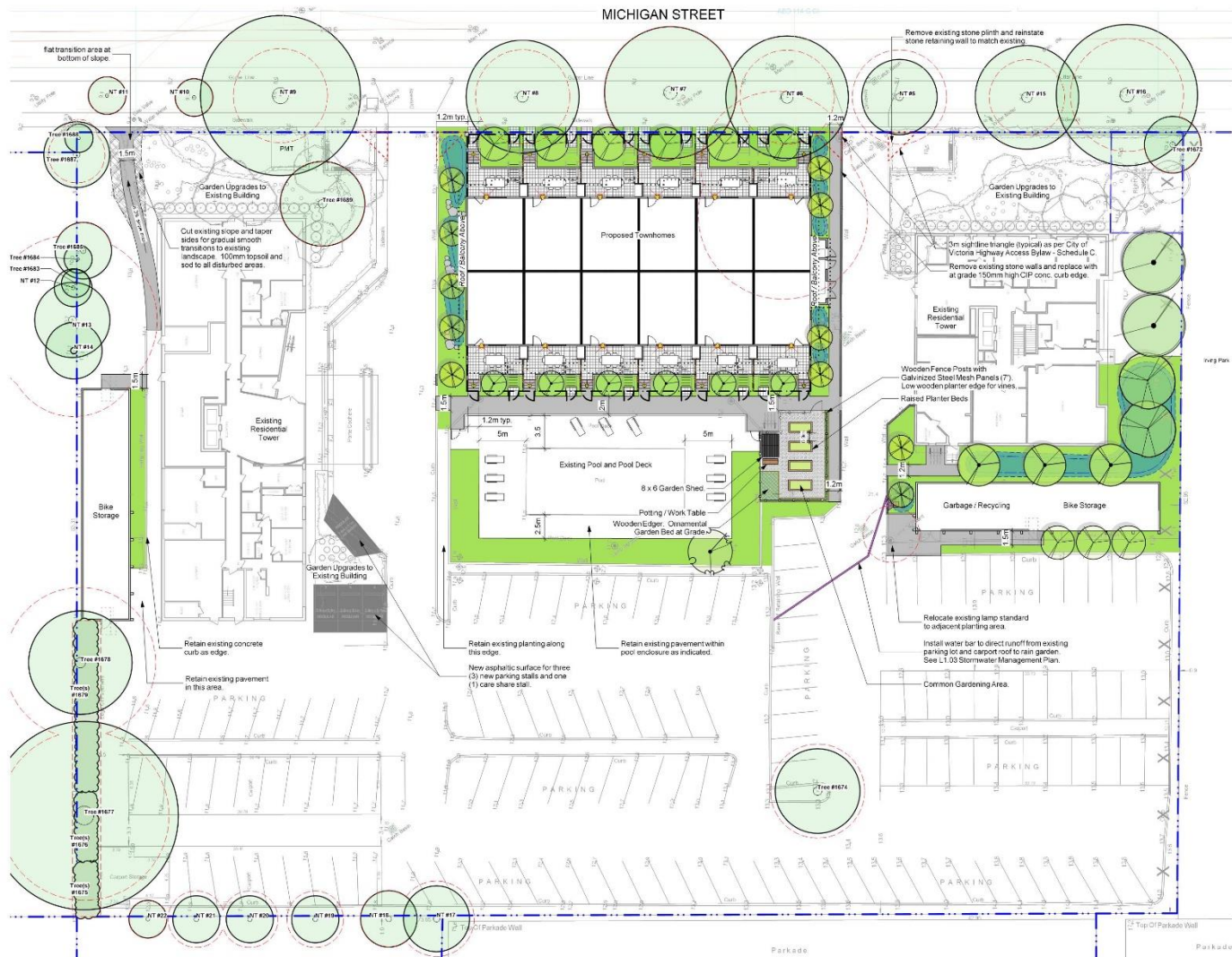


drawn:	KB	date:	Nov 2017
checked:			
scale:	HTS	project no.:	433
sheet title:	Shadow Study		



1433 Shadow Study.mxd
sheet no.: A-AD.03
rev.: 4
plotted: 19-5-17 12:57:40 PM





LEGEND

---	Property line
---	Edge of roof or balcony above
---	protection
---	Rain garden - TOP OF POOL
---	Rain garden - BOTTOM OF POOL

UNDERGROUND UTILITIES

EXISTING	PROPOSED
---	Storm drain
---	Sewer
---	Water
---	Electrical
---	Gas

LANDSCAPE MATERIALS

---	Wood Privacy Screen: 1.8m height. See Arch dwgs.
---	Metall Picket Fence c/w gate. 0.9m height
---	Cast in Place Concrete Wall, height varies
---	Cast in Place Concrete Curb, 150mm height
---	Unit Paving
---	HydraPressed Slab Paving
---	Cast in place concrete paving
---	Gravel Surfacing
---	Ornamental Planting Area
---	Rain Garden Area

LANDSCAPE FURNISHINGS

---	Bike Rack (6 bicycle capacity)
---	Wayfinding Light
---	Entry Light

EXISTING TREE SUMMARY

ref no	description	date
1	Existing Tree Retained	
2	Refer L1 02 Tree Retention and Removal Plan for additional information.	

TREE NOTES

- Garden upgrades to existing buildings consists of (20) Red Juniper 'Culiv' Heritage, River Birch and (2) Cercidiphyllum japonicum, Katsura Tree.

Relocate existing lamp standard to adjacent planting area.

Install water bar to direct runoff from existing parking lot onto support roof to rain garden. See L1 03 Stormwater Management Plan.

Common Gardening Area.

Retain existing concrete curb as edge.

Retain existing pavement within this area.

Retain existing planting along this edge.

New asphaltic surface for three (3) new parking stalls and one (1) care share stall.

Retain existing concrete curb as edge.

Retain existing pavement within this area.

Retain existing planting along this edge.

New asphaltic surface for three (3) new parking stalls and one (1) care share stall.

Retain existing concrete curb as edge.

Retain existing pavement within this area.

Retain existing planting along this edge.

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Retain existing concrete curb as edge.

Retain existing pavement within this area.

Retain existing planting along this edge.

DRAWING NOTES

- DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

IRRIGATION AND LIGHTING NOTES

- Contractor to test & irrigate system around existing trees, to limit disturbance to root systems.
- Shrubs shall be installed at the necessary depths, prior to commencing construction. Shrubs shall extend 300 mm from edge of planting into planting area and shall have ends marked above grade unless otherwise shown.
- Contractor to address viewing of irrigation lines in protected root zone (PRZ) of existing trees.
- Placement of electrical conduit through site to be coordinated with arborist.
- Arborist to be on-site and supervise all excavation/trenching within PRZ of retained trees.

NOT FOR CONSTRUCTION

ref no	description	date
1	Existing Tree Retained	
2	Refer L1 02 Tree Retention and Removal Plan for additional information.	



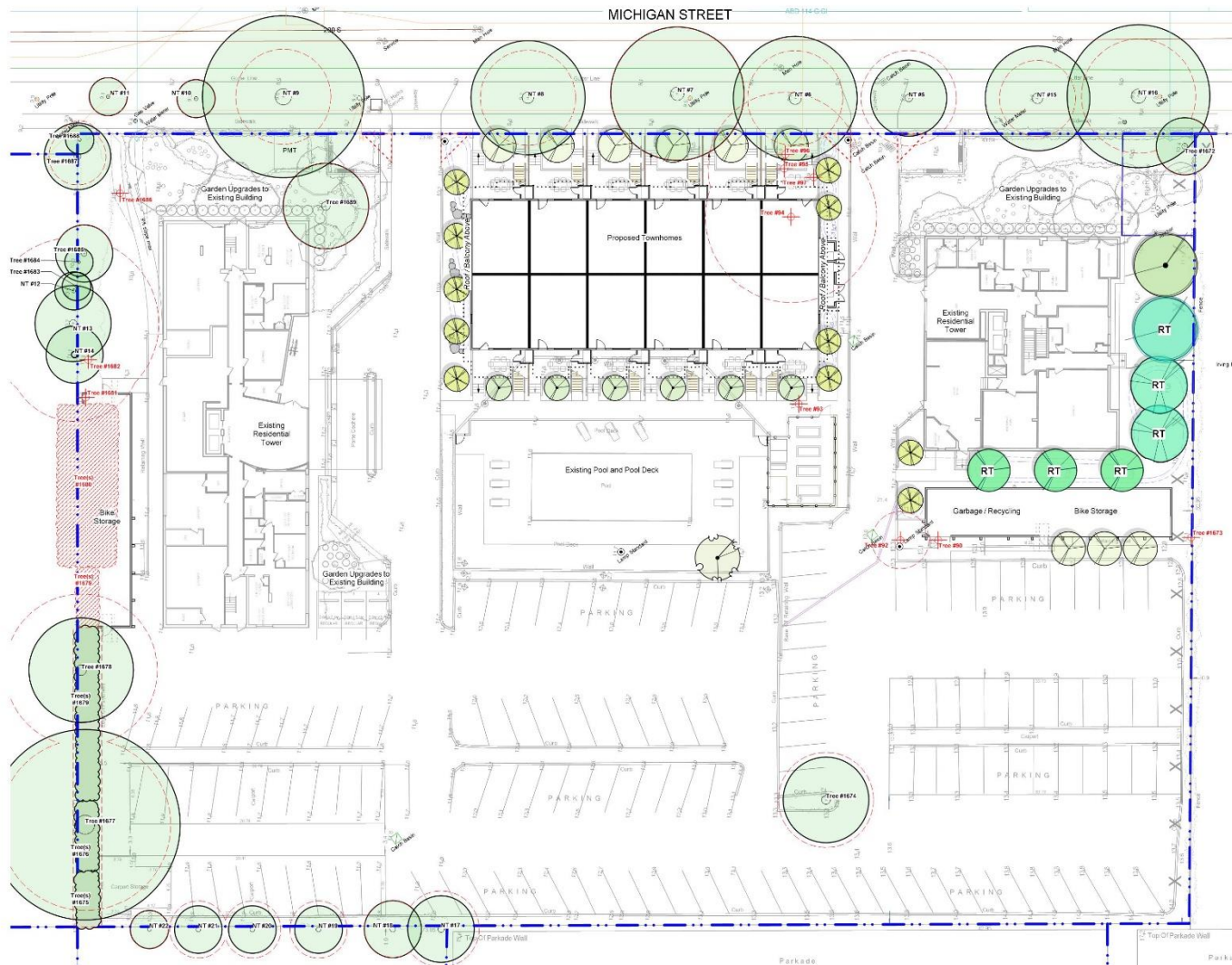
client
STARLIGHT INVESTMENTS
3238 BL OOR STREET WEST,
SUITE 1400
TORONTO, ON

project
PROPOSED RESIDENTIAL INFILL DEVELOPMENT
415/435 MICHIGAN STREET,
VICTORIA, BC

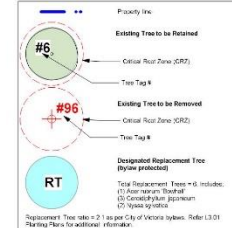
sheet title
Landscape Materials

project no	117 18
scale	1:200 @ 24"x36"
drawn by	J.D.
checked by	SMFG
revision no	sheet no

L1.01



LEGEND



TREE SUMMARY

Bylaw Protected Trees Retained	5
New Trees Proposed/Retained	24
Replacement Tree ratio = 2:1 as per City of Victoria bylaws. Refer L3.01 Planning Plans for additional information.	
Trees will use all of the appropriate species, species and location to meet the City of Victoria requirements. Final species to be determined in consultation with City of Victoria Parks staff.	
Refer to Attachments (Tables: Michigan & Associates) documents for full details. To be completed in consultation with the landscape architect.	

TREETYPES

- Garden upgrades to existing buildings consists of (20) Betula nigra 'Cully' Heritage, River Birch and (2) Cercidiphyllum japonicum, Katsura Tree.

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	02/22/2017
2	CALC	10/21/2017
3	REVISION	MAR 25 2018
4	DESIGN PANEL	APR 25 2018
5	REVISION	JUN 11 2018
6	REVISION FOR COMMENTS	FEB 20 2019
7	SUPPLEMENTARY CHANGES	AUG 20 2019



Sept. 6, 2019

client
STARLIGHT INVESTMENTS
 3238 BLOOR STREET WEST,
 SUITE 1400
 TORONTO, ON

project
PROPOSED RESIDENTIAL INFILL DEVELOPMENT
 415/435 MICHIGAN STREET,
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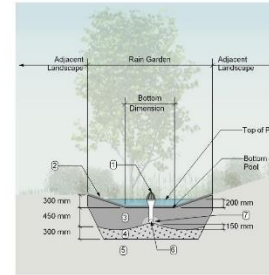
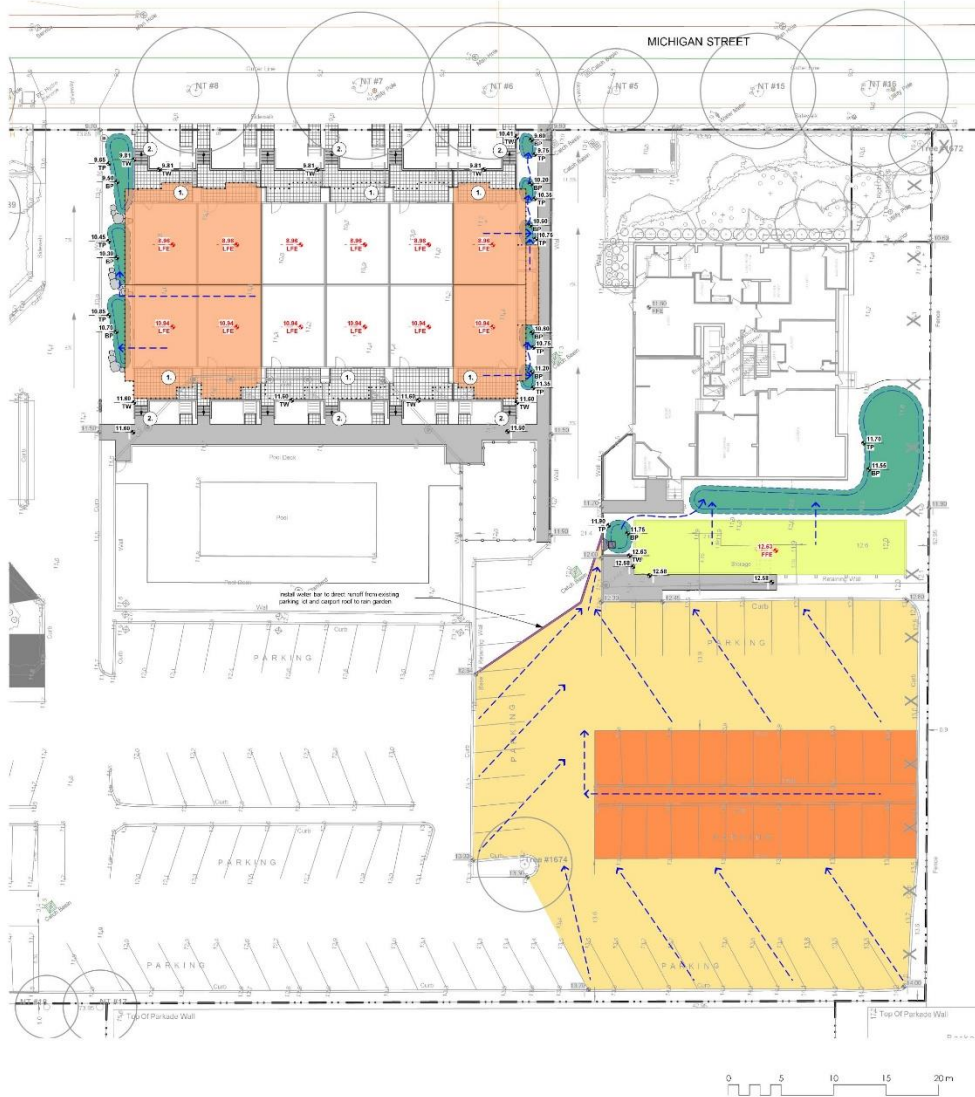
sheet title
Tree Retention & Removal Plan

DRAWING NOTES

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project no	117 18
scale	1:200 @ 24"x36"
drawn by	J.D.
checked by	SMF/G
revision no	sheet no

L1.02



- RAIN GARDEN MATERIALS**
1. Overflow drain (200 mm diameter grate + adapter)
 2. Composted mulch (50-70 mm depth)
 3. Bio-retention growing medium (450 mm depth)
 4. Saturated filter subgrade (300 mm depth)
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock (100 mm depth)

1 Typical Rain Garden Detail
Scale: 1:50

- LEGEND**
- PROPERTY LINE
 - EXTENT OF ROOF / BALCONY LINE (INDICATIVE)
 - RAIN GARDEN - TOP OF POOL
 - RAIN GARDEN - BOTTOM OF POOL
 - ARCHITECTURAL GRADE (INDICATIVE) LIFE LOWER FLOOR ELEVATION
 - EXISTING GRADE (APPROXIMATE)
 - PROPOSED LANDSCAPE GRADE
 - TP TOP OF POOL
 - BP BOTTOM OF POOL
 - TW TOP OF WALL
 - DIRECTION OF FLOW
 - VEGETATED SWALE (WITH DIRECTION OF OVERLAND FLOW)
 - RAIN GARDEN ON GRADE
 - IMPERVIOUS AREAS
 - ROOF DRAINS TO RAIN GARDEN
 - ROAD / HARDSCAPE DRAINS TO RAIN GARDEN

RAIN WATER MANAGEMENT NOTES

Water collected from building roofs, as well as runoff from indicated hardscape (existing parking lot) areas flow to the rain gardens located throughout the site.

The rain gardens are sized such that the bottom of the rain garden is a minimum of 5% of the impervious area (as per City of Victoria Stormwater Guidelines).

Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

All paths and where possible, residential patios will be drained towards absorbent landscape areas or rain gardens.

GRADING NOTES

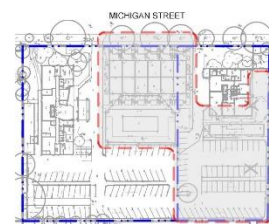
1. Elevation notes of ground floor windows and residential patios shall be 25 to 30mm below AFE.
2. All residential patios shall have 3 to 5 mm (max) for stair transitions. Final number of ramps dependent upon final grades.

GRADING NOTES

1. All elevations are in meters.
2. Refer to Architect's plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public pavements and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft landscape areas to ensure positive drainage away from buildings, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.

DRAWING NOTES

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6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



Key Plan
Scale: 1:1000

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	OCT 22 2017
2	CALC	NOV 21 2017
3	REZONING	MAR 25 2018
4	DESIGN PANEL	APR 25 2018
5	REZONING REV 2	JUN 11 2018
6	RESUBMIT FOR PERMITS	FEB 20 2019
7	SUBMITTAL CHECKED	AUG 26 2019

Murdoch de Greeff INC
Landscape Planning & Design
200-1000 West 10th Avenue, Suite 100, Victoria, BC V8V 2P6
Tel: 250-363-0881 Fax: 250-363-0882

REGISTERED MEMBER
Scott Murdoch
341
Professional Engineer
Professional Engineer
Professional Engineer

Sept. 6, 2019

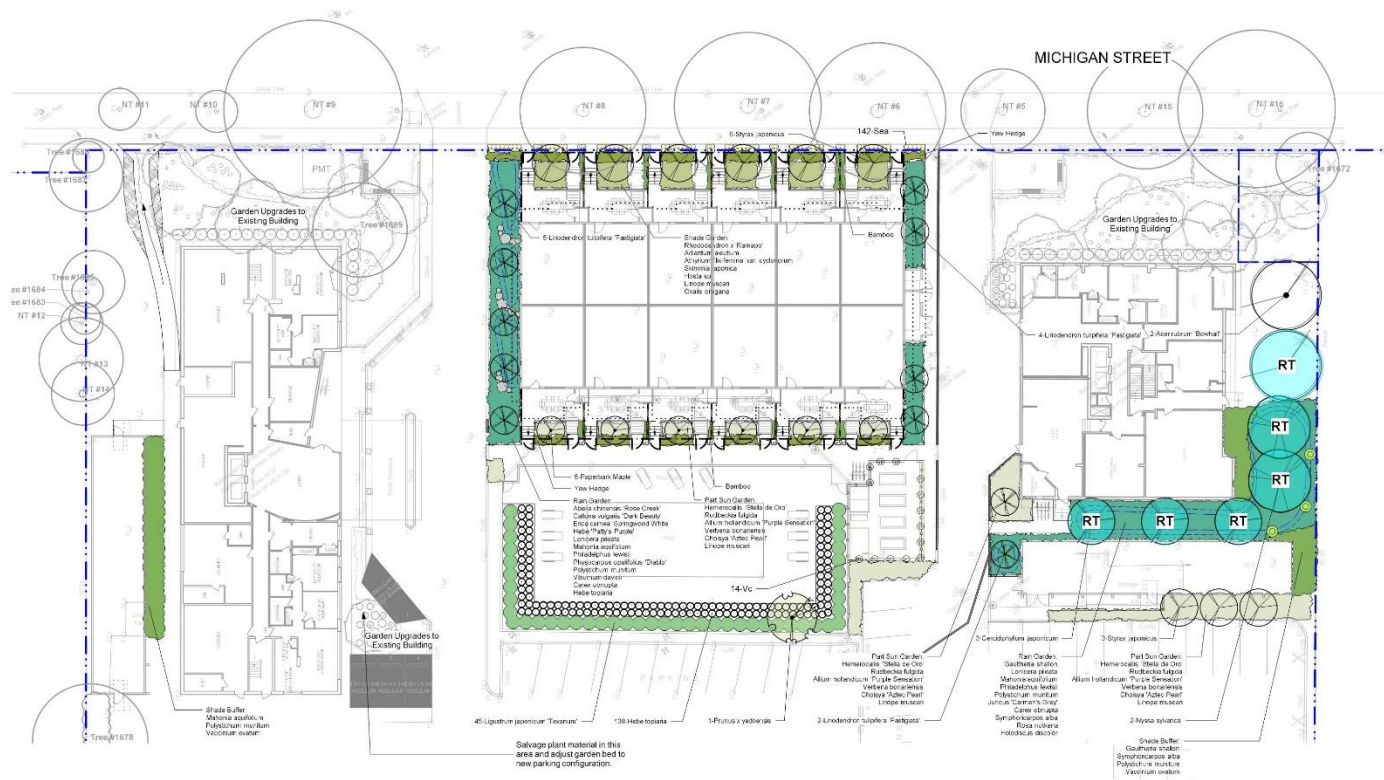
client
STARLIGHT INVESTMENTS
3238 BL OOR STREET WEST,
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TORONTO, ON

project
PROPOSED RESIDENTIAL INFILL DEVELOPMENT
415/435 MICHIGAN STREET,
VICTORIA, BC

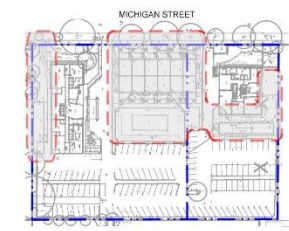
sheet title
Stormwater Management Plan

project no	117 18
scale	1:200 @ 24"x36"
drawn by	JD
checked by	SMFG
revision no	sheet no

L1.03



MICHIGAN STREET



PLANT LIST				
Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing	
6	TREES: <i>Acer glabrum</i>	Paperbark Maple	4.0cm cal. b&b	
2	<i>Acer rubrum 'Barokki'</i>	Autumn Flame Tree Scarlet Maple	5.0cm cal. b&b	
3	<i>Cercodaphylum japonicum</i>	Katsura Tree	5.0cm cal. b&b	
11	<i>Lindendendron tulipifera 'Fastigiat'</i>	Columnar Tulip Tree	5.0cm cal. b&b	
2	<i>Nyssa sylvatica</i>	Tupelo	5.0cm cal. b&b	
1	<i>Prunus x yedoensis</i>	Yoshino Cherry	4cm cal. with 8' standard	
9	<i>Styrax japonicus</i>	Japanese Snowbell	5.0cm cal. b&b	
Aut	33	SHRUBS: <i>Adiantum villosum</i>	Western Maidenhair Fern	#1 pot
Aut	167	<i>Allium hollandicum 'Purple Sensation'</i>	Purple Flowering Onion	S&S
Cap	38	<i>Athyrium filix-femina var. cyclosorum</i>	Northwestern Lady Fern	#1 pot
Cap	22	<i>Chamaecyparis 'Aurea'</i>	Golden Cypress	#1 pot
Cap	22	<i>Guadalupe 'Aurea'</i>	Golden Cypress	#1 pot
Hmg	12	<i>Hakonechloa macra 'All Gold'</i>	Al Gold Japanese Forest Grass	#1 pot
Hmg	138	<i>Hebe topata</i>	Tokaido's Hebe	#1 pot
Hmg	167	<i>Hemerocallis 'Stella de Oro'</i>	Daylily	#1 pot
Hmg	4	<i>Hosta sieboldiana elegans</i>	Blue Hosta	#3 pot
Hmg	12	<i>Hosta sp.</i>	Hosta	#1 pot
Li	45	<i>Lupinus 'japonicum' 'Teasman'</i>	Teasman's Lupine	#1 pot
Li	163	<i>Lonicera muscari</i>	Lily of the Valley	#1 pot
Ma	10	<i>Mahonia aquifolium</i>	Oregon Grape	#2 pot
Ma	54	<i>Quercus agrifolia</i>	Black Oak	S&S
Phl	36	<i>Phlox paniculata</i>	Black Phlox	#5 pot
Phl	43	<i>Polystichum nudum</i>	Giant Fern	#1 pot
Rex	16	<i>Rhododendron x 'Rampoli'</i>	Rampoli Rhododendron	#2 pot
Rf	27	<i>Rubus 'Lutes'</i>	Black-Eyed Susan	#1 pot
Rex	142	<i>Sedum 'Autumnal'</i>	Autumn Moor grass	#1 pot, 45cm c.c.
Saj	34	<i>Skimmia japonica</i>	Japanese Skimmia	#1 pot
Sa	9	<i>Syringa 'Mikura'</i>	Syringa	#1 pot
TM	40	<i>Taxus 'baccata' 'Fastigiat'</i>	Upright Yew	#10 pot
Vo	43	<i>Vaccinium corymbosum</i>	Evergreen Huckleberry	#3 pot
Vib	112	<i>Viburnum acerifolium</i>	Tall Viburnum	#1 pot
Vib	7	<i>Viburnum dentat</i>	David Viburnum	#2 pot
Vc	14	<i>Vitis californica</i>	Glory vine	#2 pot

RAIN GARDEN:				
Acr	9	<i>Abelia chinensis 'Rose Creek'</i>	Rose Creek Abelia	#2 pot
Cub	38	<i>Carum vulgare 'Dark Beauty'</i>	Dark Beauty Shrub	#1 pot
Co	172	<i>Carex obovata</i>	Slough Sedge	#1 pot
Eco	39	<i>Erica carnea 'Springwood White'</i>	White Winter Heath	#1 pot
Gsh	40	<i>Guadalupe 'Aurea'</i>	Tidal	#1 pot
Hg	21	<i>Hebe 'Purple Heart'</i>	Purple Heart Hebe	#1 pot
Hto	75	<i>Hebe topata</i>	Togaris's Hebe	#1 pot
Hd	7	<i>Holodiscus discolor</i>	Oreocarya	#2 pot
Jng	45	<i>Juncus 'Carmine-Grey'</i>	Soft Common Rush	S&S
Lp	49	<i>Lonicera pileata</i>	Pink Honeysuckle	#2 pot
Ma	27	<i>Mahonia aquifolium</i>	Oregon Grape	#2 pot
Mc	3	<i>Malva californica</i>	Pacific Water Mallow	#1 pot
Phl	11	<i>Philadelphus lewisii</i>	Musk Orange	#5 pot
Po	2	<i>Physocarpus opulifolius 'Diablo'</i>	Diablo Ninebark	#1 pot
Phn	66	<i>Phytolacca muricata</i>	Blackberry	#1 pot
Rn	20	<i>Rosa multiflora</i>	Heavenly Rose	#1 pot
Sa	30	<i>Symphoricarpos alba</i>	Snowberry	#1 pot
Vib	4	<i>Viburnum davidii</i>	David Viburnum	#2 pot

- TREES NOTES**
- Garden upgrades to existing buildings consists of (20) Betula nigra 'Cully' Heritage, River Birch and (2) Cercodaphylum japonicum, Katsura Tree.
- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and construction due to plant availability and design changes.
 - Off-site trees to be coordinated with City of Victoria Parks staff for species, size, and final planting locations, prior to planting.
 - Replacement trees will be of the appropriate scale, species and location to meet the City of Victoria requirements.

- DRAWING NOTES**
- DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
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NOT FOR CONSTRUCTION

rev no	description	date
1	DP	05/12/2017
2	CALC	10/21/2017
3	REVISION	MAR 25 2018
4	DESIGN PANEL	APR 25 2018
5	REVISION	JUN 11 2018
6	REVISION FOR PERMITS	FEB 20 2019
7	SUPPLEMENTAL CHANGES	AUG 26 2019

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project
PROPOSED RESIDENTIAL INFILL DEVELOPMENT
415/435 MICHIGAN STREET,
VICTORIA, BC

sheet title
Planting Plan

project no	117 18
scale	1:200 @ 24"x36"
drawn by	J.D
checked by	SMF/G
revision no	sheet no

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