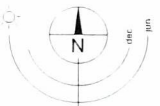


1 Context Aerial
A001 SCALE N T S

2 Context Survey Plan
A001 SCALE N T S



PROJECT DESCRIPTION

CIVIC ADDRESS
1312-1324 BROAD STREET, VICTORIA, BC

LEGAL DESCRIPTION
LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5509 AND REM. LOT 160A AND REM. LOT 160A VICTORIA DISTRICT

REGISTERED OWNER

University of Victoria
3500 Fernery Rd
P.O. Box 2040 STN. SCC
Victoria, BC
V8W 3N7

DEVELOPER

CHARD DEVELOPMENT LTD
5505 539 Richards Street
Victoria, BC
V8B 2Z6

ARCHITECT

de Hong & Kieruff architects
877 Fort Street
Victoria, BC
V8V 3K3

STRUCTURAL CONSULTANT

RJC
220 - 845 Tyee Road
Victoria, BC
V9A 6X5

MECHANICAL CONSULTANT

AME Consulting Group
721 Johnson St
Victoria, BC
V8X 1M8

ELECTRICAL CONSULTANT

Applied Engineering Solutions, Ltd
3rd Floor - 1815 Blanshard Street
Victoria, BC
V8T 5A4

LANDSCAPE ARCHITECT

Murdoph de Greeff Inc
206-524 Columbia Rd
Victoria, BC
V8Z 1G1

CIVIL CONSULTANT

JE Anderson
4212 Glenford Ave
Victoria, BC
V8Z 4B7

GEOTECHNICAL

Ryzuk Geotechnical
28 Grease Avenue
Victoria, BC
V8Z 1S3

SURVEYOR

Explorer Land Survey Inc
101 - 2810 Douglas St
Victoria, BC
V8T 4M1

ENVELOPE

RJC
220 - 845 Tyee Road
Victoria, BC
V9A 6X5

Chris Mack
tel: 604 558 7849
chms@charddevelopment.com

Charles Kieruff AIBC
tel: 250 658 3367
fax: 250 658 3397
ck@dhk.ca

Cliff Platt
tel: 250 386 7794
fax: 250 381 7900
cplatt@rjc.ca

Jay Singh
tel: 250 381 6121
fax: 250 381 6811
jsingh@appliedengineering.ca

Scott Murdoch
tel: 250 412 2819
fax: 250 412 2892
scott@mddesign.ca

Isabelle Maltais
tel: 250 475 3131
fax: 250 475 3611
isabelle@ryzuk.com

Kenneth Ng
tel: 250
fax: 250

Kevin Pickwick
tel: 250 381 7794
fax: 250 381 7900
kpickwick@rjc.ca

VICTORIA ZONING

BUILDING DESCRIPTION
6 STOREY HOTEL BUILDING

USES: RESIDENTIAL OCCUPANCY (HOTEL)

EXISTING ZONE: OTD-1 (2018)

PROPOSED ZONE: SITE SPECIFIC

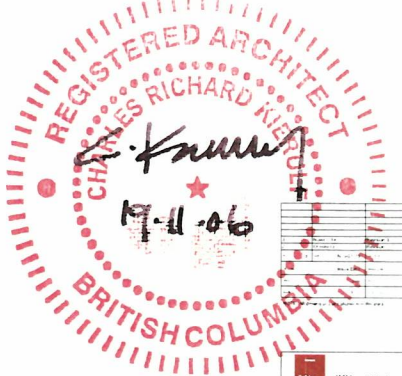
DEVELOPMENT PERMIT AREA: DPFA1 (HC) HISTORIC CORE

Broad Street Redevelopment

| | |
|---|--------------------------------------|
| Civic Address | 1312-1324 Broad Street, Victoria, BC |
| Legal Address | 1312-1324 Broad Street, Victoria, BC |
| Final Site Area (m ²) | 4,400 |
| Final Gross Floor Area (m ²) | 17,500 |
| Final FAR | 3.98 |
| Duck's Building Current Floor Area | 2,300 |
| Duck's Building Potential Floor Area | 2,300 |
| Total Floor Area (m ²) (gross) | 17,500 |
| Commercial Floor Area | 14,500 |
| Working Area (Over 100 Projects) | 17,500 |
| Site Coverage | 100% |
| Open Site Space | 100% |
| Average Grade | 100% |
| Height of Building | 100% |
| Number of Stories | 100% |
| Parking Ratio on Site (Per 1000 sq ft) | 100% |
| Bicycle Parking Long Term (Per 1000 sq ft) | 100% |
| Bicycle Parking Short Term (Per 1000 sq ft) | 100% |
| Building Setback | 100% |
| Front Yard | 100% |
| Side Yard | 100% |
| Back Yard | 100% |
| Corner Setback | 100% |
| Corner Setback (Side Yard) | 100% |
| Maximum Site Density | 100% |
| Total Number of Units | 100% |
| Unit Type | 100% |
| Special Development Units | 100% |
| Maximum Floor Area | 100% |
| Total Residential Floor Area | 100% |

LIST OF DRAWINGS

| | | | |
|------|-----------------|-------|-----------------------|
| A001 | Project Data | A401 | Building Sections E-W |
| A100 | Site Survey | A501 | Site Context |
| A101 | Site Plan | A502 | Site Context |
| A202 | P1 Parking Plan | A503 | Shadow Studies |
| A203 | Level 1 | A503A | Context Massing |
| A204 | Level 2 | A504 | Urban Context |
| A205 | Level 2A | A505 | Urban Context |
| A206 | Level 3 | A506 | Perspective Studies |
| A207 | Level 4 | A507 | Perspective Studies |
| A208 | Level 5 | A508 | Perspective Studies |
| A209 | Level 6 | A509 | Perspective Studies |
| A210 | Roof Plan | A510 | Stone Wall |
| A301 | North Elevation | | |
| A302 | South Elevation | | |
| A303 | East Elevation | | |
| A304 | West Elevations | | |



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dhk architects
1312-1324 Broad Street
Victoria, BC V8W 3N7
Tel: 250 658 3367
Fax: 250 658 3397
www.dhk.ca

The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 3N7

Project Data

| | |
|-------------|------|
| Project No. | A001 |
| Sheet No. | 3 |

NOV 06 2006

**B.C. LAND SURVEYOR'S
TOPOGRAPHIC SURVEY OF
LOT A OF PLAN 3564, LOT 1
AND LOT 2 OF PLAN 5500,
REM LOT 159A AND REM LOT
160A, VICTORIA DISTRICT**

SCALE
0 1,250 10

All dimensions are in metres.
The horizontal pair size of the plan is 2.250m or 7.5ft (to the
right of 2.250m or 7.5ft when printed in a scale of 1:1,000)

Partial Identification Number (PID)
004-599-748, 004-599-772, 000-748-480 001-668-277,
004-115-791

MUNICIPALITY
VICTORIA

CIVIC ADDRESS
BROAD STREET
VICTORIA, BC
ZONING
CA-3C



LEGEND

Elevations are geospatial based on Integrated survey monument 17-33 in the City of Victoria at elevation 17.88m

Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species. Grade shots are taken at the point marked X

- denotes storm manhole
- denotes Water valve
- denotes fire hydrant
- denotes catch basin
- denotes Lamp Standard
- denotes Cable box
- denotes Light box
- denotes Hydro
- denotes Sign
- denotes Unmarked manhole
- MFE denotes Main Floor Elevation (Door Set)
- P.XXX.XX denotes Parapet Height
- W denotes Water manhole

Measurements are taken from the exterior finishing of the buildings

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This document was prepared for the exclusive use of our client. CHARD DEVELOPMENT LTD.

This document is prepared for use as a topographic plan only and is not a final plan. It is based on Land Title Office records and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a precise cadastral survey.

Explorers Land Surveyors, Inc. accepts no responsibility or liability for any damage or injury, or claims by a third party, as a result of any decisions made or actions taken based on this document.

FILE: 17-33
MAPSHEET: 11270490-1010-13-14
Explorers
Land Surveyors, Inc.
4100 - 15th Street West
Victoria, BC V8Y 1M1
Tel: 250.363.1231
www.explorersurveyors.com

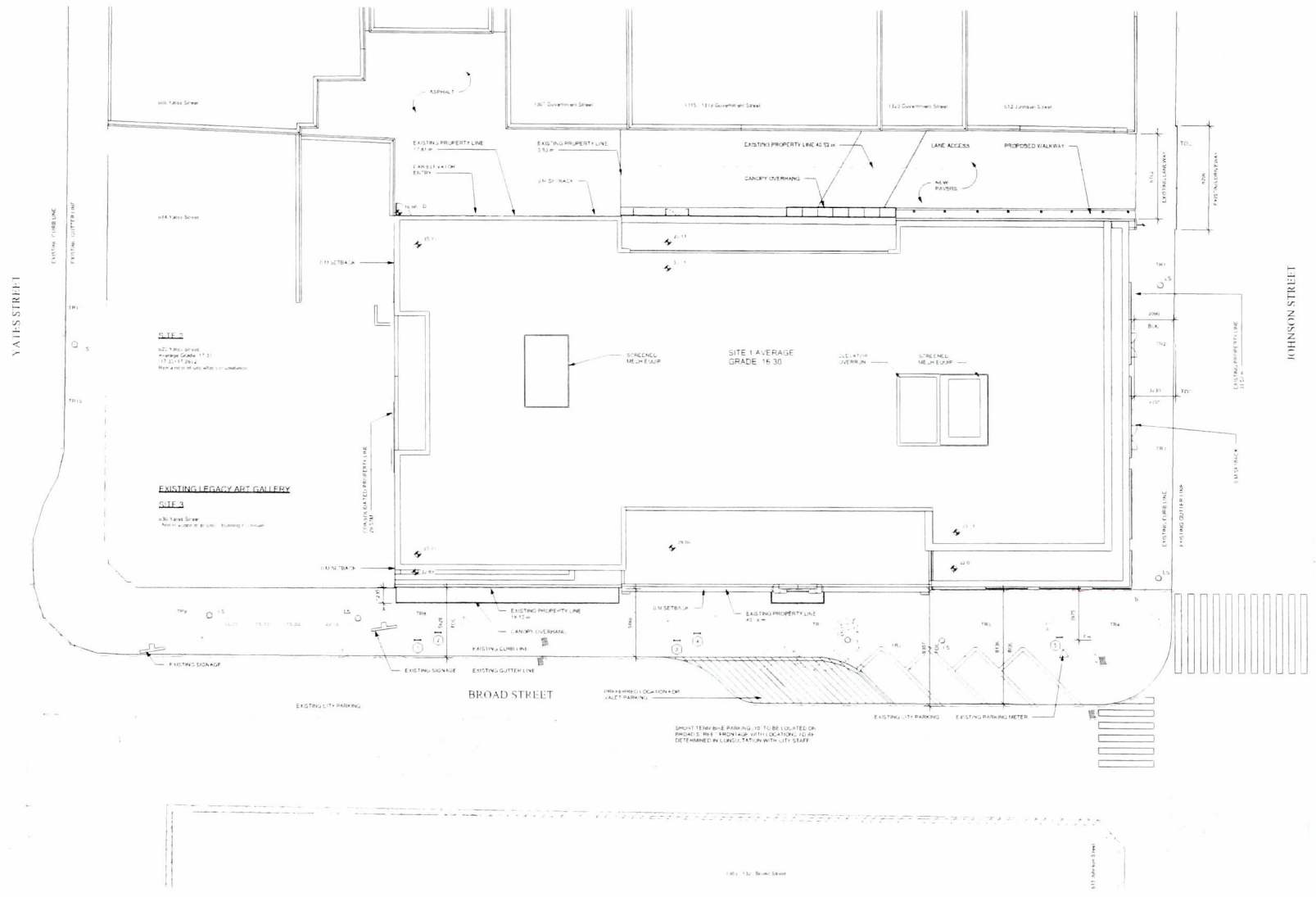
CERTIFIED CORRECT
Lot dimensions are correct according to Land Title Office records.

Kenneth MC NG BCLS ©
Field Survey - 15 December, 2016
Cities this - 16th of December, 2016

This document is not valid unless originally signed and sealed or digitally signed with Jurisdictional signature info: 21161, 12/16/2016

| REVISIONS | |
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| NO. | DESCRIPTION |
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dhkArchitects
1110-124 Broad Street
Victoria, BC V8P 1G9
Tel: 250.363.1231
The Duck's Building
1110-124 Broad Street
Victoria, BC V8P 1G9
Site Survey
A100



SHOULDER BIKE PARKING IS TO BE LOCATED ON
 BROAD STREET. ALIGNMENT WITH LOCATION TO BE
 DETERMINED IN CONSULTATION WITH CITY STREET

| NO. | REVISION | DATE | BY | CHKD. |
|-----|-------------------|------------|----|-------|
| 1 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |
| 2 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |
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| 4 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |
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| 7 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |
| 8 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |
| 9 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |
| 10 | ISSUED FOR PERMIT | 11/11/2024 | AK | AK |

Site Notes
 Existing Base Point

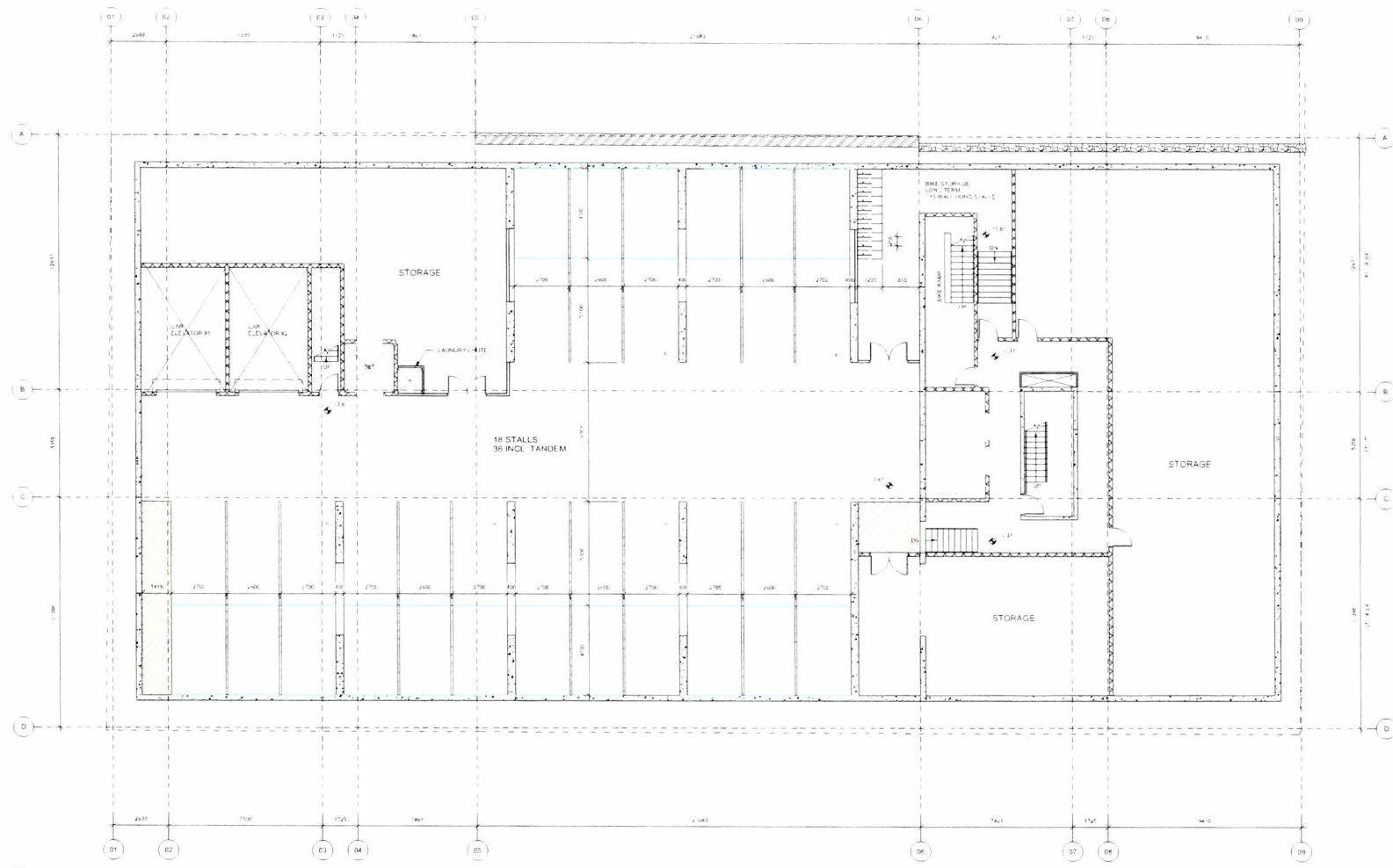
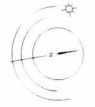
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|---------------|-------------|---------------|------------------|----------|-------|--------|
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| A | 17.81 | 478 | 28.00 | 10.00 | 10.00 | 10.00 |
| B | 17.86 | 870 | 18.00 | 25.00 | 10.00 | 10.00 |
| C | 18.12 | 100 | 20.00 | 30.00 | 10.00 | 10.00 |
| D | 18.80 | 104 | 11.00 | 25.00 | 10.00 | 10.00 |
| Average Grade | 18.15 | | | 10.00 | 10.00 | 10.00 |

| Average Grade | | | | | | |
|---------------|-------------|---------------|------------------|----------|-------|--------|
| Point | Point Value | Corner Points | Number of Points | Location | Area | Weight |
| A | 17.86 | 478 | 28.00 | 10.00 | 10.00 | 10.00 |
| B | 17.86 | 870 | 18.00 | 25.00 | 10.00 | 10.00 |
| C | 18.12 | 100 | 20.00 | 30.00 | 10.00 | 10.00 |
| D | 18.80 | 104 | 11.00 | 25.00 | 10.00 | 10.00 |
| Average Grade | 18.15 | | | 10.00 | 10.00 | 10.00 |

dhK Architects
 1111 12th Street, Suite 100
 Philadelphia, PA 19107
 Tel: 215.593.1111
 Fax: 215.593.1112
 Email: info@dhkarchitects.com

The Duck's Building
 1312-1324 Broad Street
 Wilson, SC 29403

Site Plan
 A101 3



1 Parkade Lv 1 - Overall
A202 SCALE 1 100

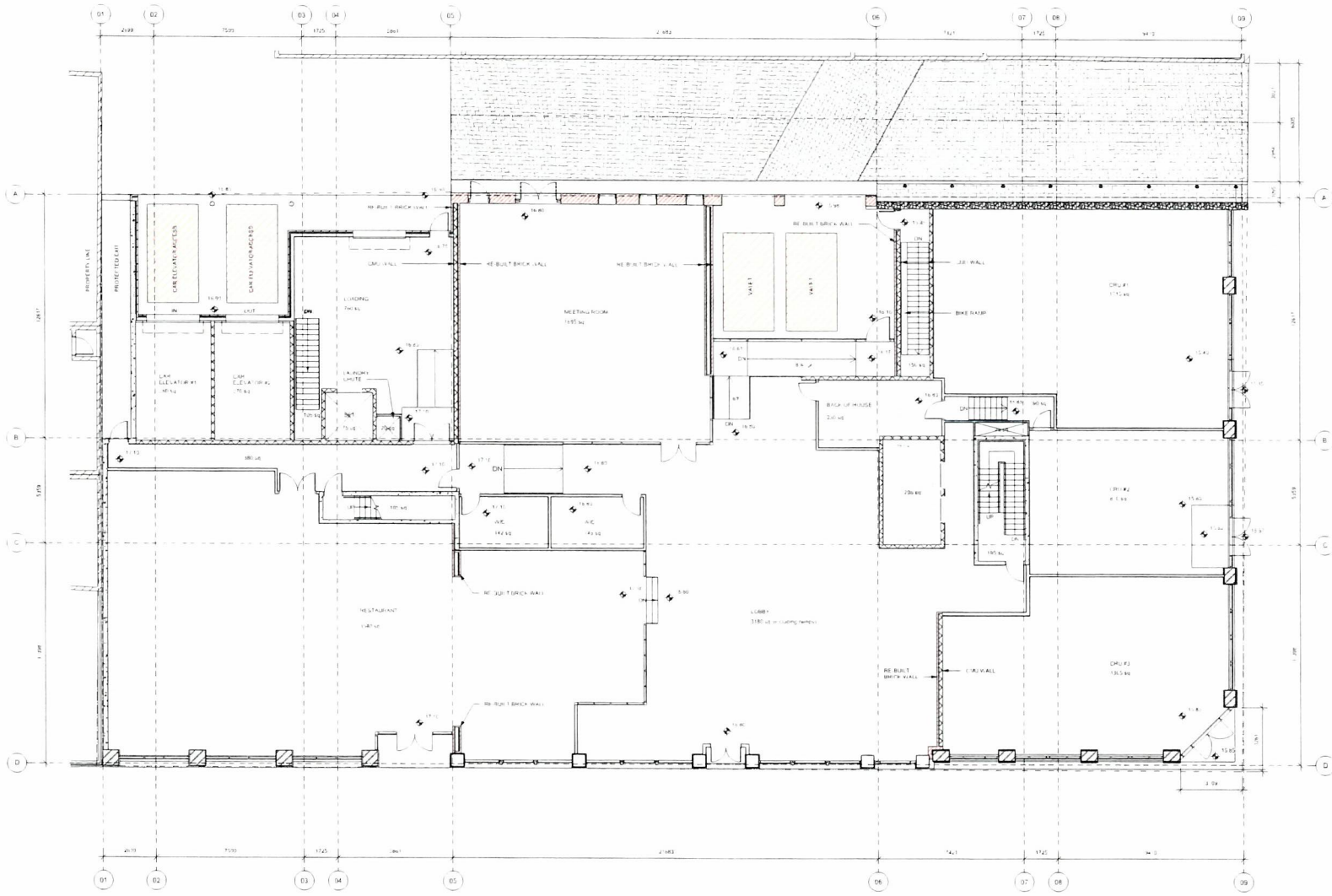
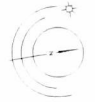
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dhkarchitects
 1312-1324 Broad Street
 Victoria, BC V8M 1G5
 Tel: 250.363.1111
 Fax: 250.363.1112
 Email: info@dhkarchitects.com

The Duck's Building
 1312-1324 Broad Street
 Victoria, BC V8M 1G5

P1 Parking Plan

| | |
|-------------|------|
| Project No. | A202 |
| Sheet No. | 3 |



2 Level 1 - Overall
 A203 SCALE 1/100

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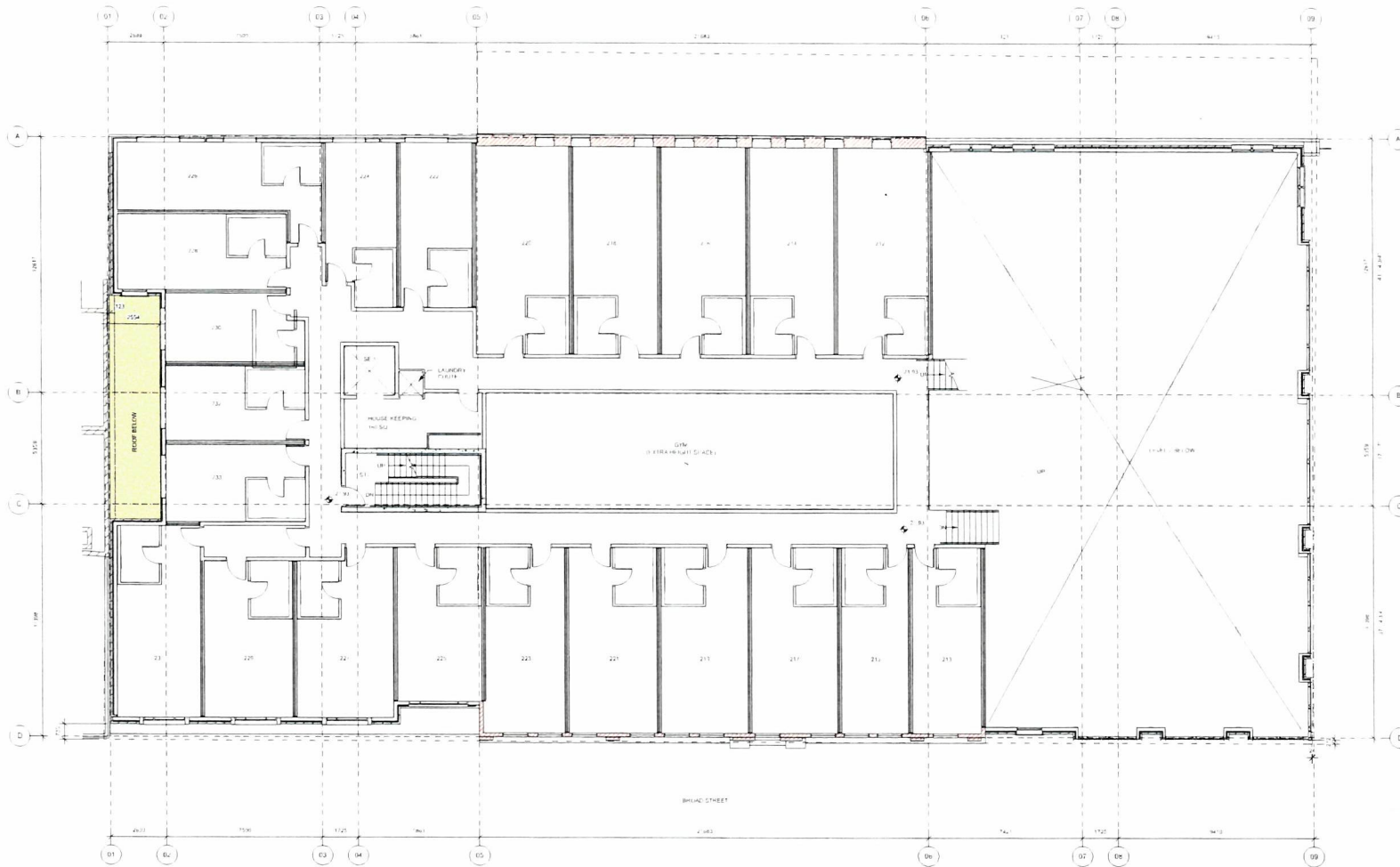
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| The Duck's Building 1112-1124 Bypass Street Victoria, BC V8M 3Y4 | |
| Level 1 | |
| A203 | 3 |



1 Level 2 - Overall
A204 SCALE 1:100

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| The Duck's Building 1312-1324 Broad Street Victoria, BC V8P 1P1 |
| Level 2 |
| A204 2 |



1 Level 2A - Overall
 A205 SCALE 1:100

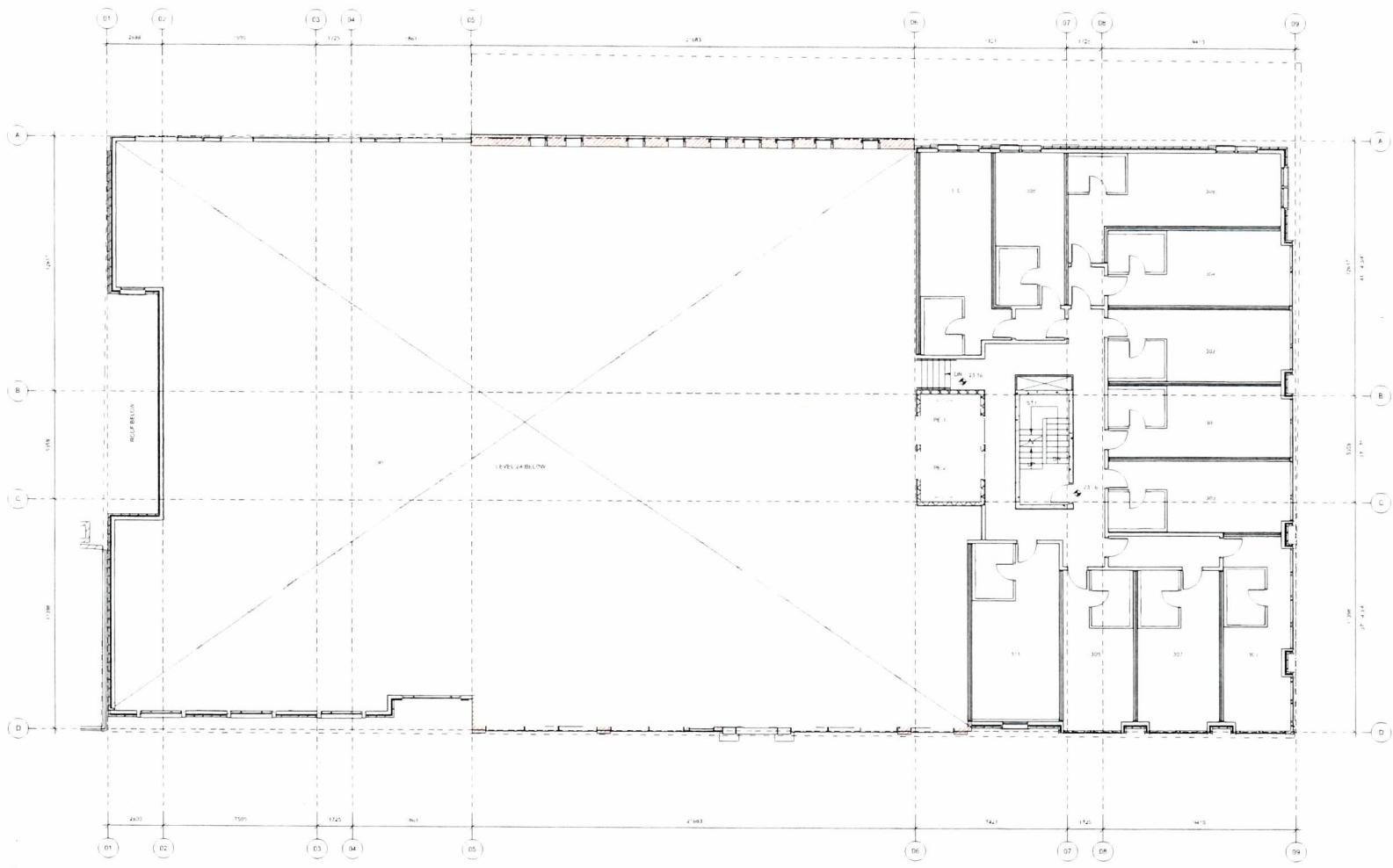
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| 2 | REVISED PER COMMENTS | 2014.09.10 |
| 3 | REVISED PER COMMENTS | 2014.09.25 |
| 4 | REVISED PER COMMENTS | 2014.10.15 |
| 5 | REVISED PER COMMENTS | 2014.11.10 |
| 6 | REVISED PER COMMENTS | 2014.12.15 |
| 7 | REVISED PER COMMENTS | 2015.01.15 |
| 8 | REVISED PER COMMENTS | 2015.02.15 |
| 9 | REVISED PER COMMENTS | 2015.03.15 |
| 10 | REVISED PER COMMENTS | 2015.04.15 |

dHk architects
 111-1124 Bihad Street
 Wixom, Michigan 48394
 Phone: 248.851.4444
 Fax: 248.851.4445
 Email: info@dhkarchitects.com

The Duck's Building
 111-1124 Bihad Street
 Wixom, Michigan 48394

Level 2A

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| A205 | 2 |
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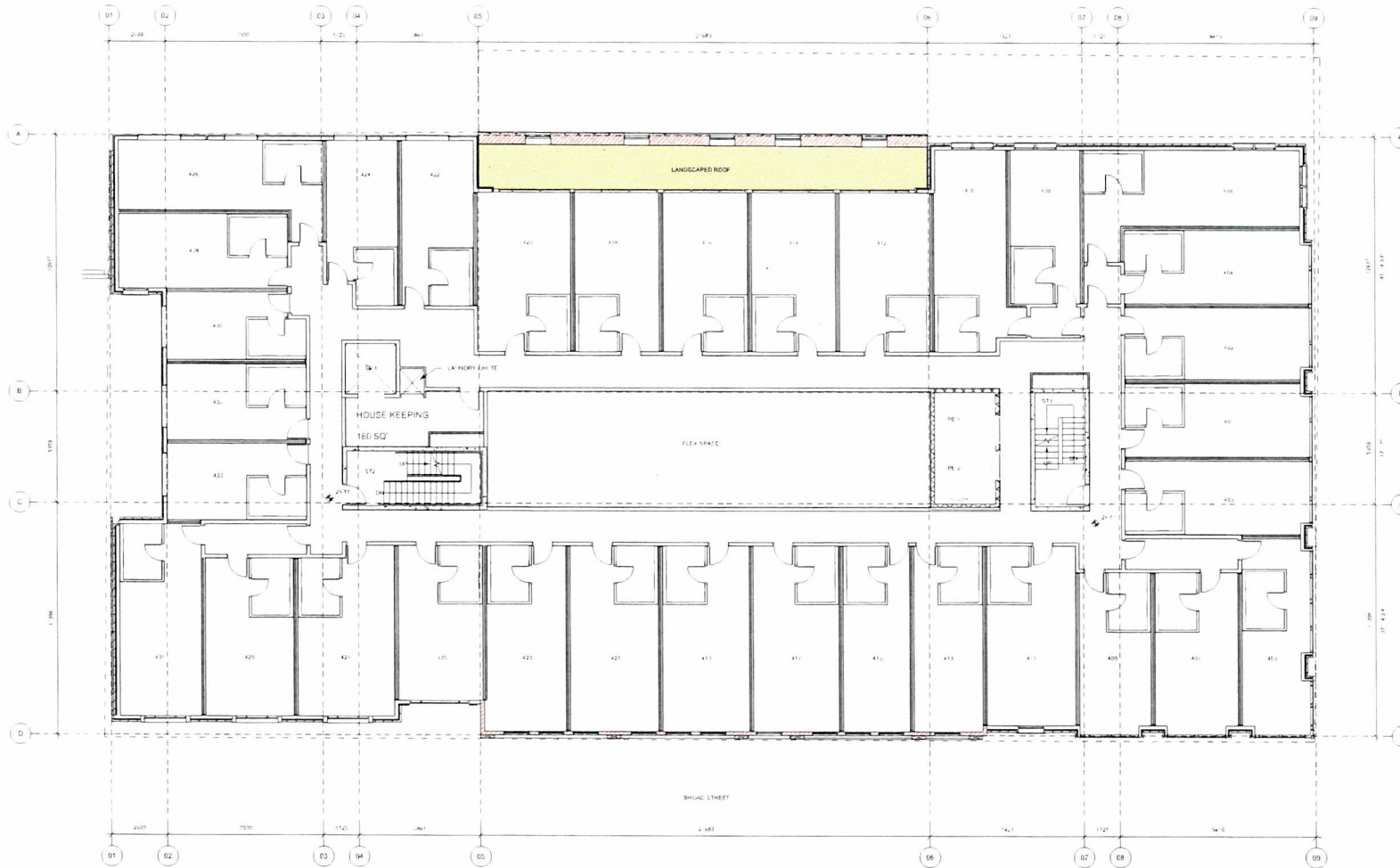
1 Level 3 - Overall
A206 SCALE 1:100

dhk architects
 257 TORBARRIE BLVD
 1ST FLOOR, TORBARRIE VIC 3247
 TEL: 08 9437 2222 FAX: 08 9437 2223
 WWW.DHKA.COM.AU

The Duck's Building
 1312-1324 Broad Street
 VIC 3204

Level 3

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| A206 | 2 |
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1 Level 4 - Overall
A207 SCALE 1/100

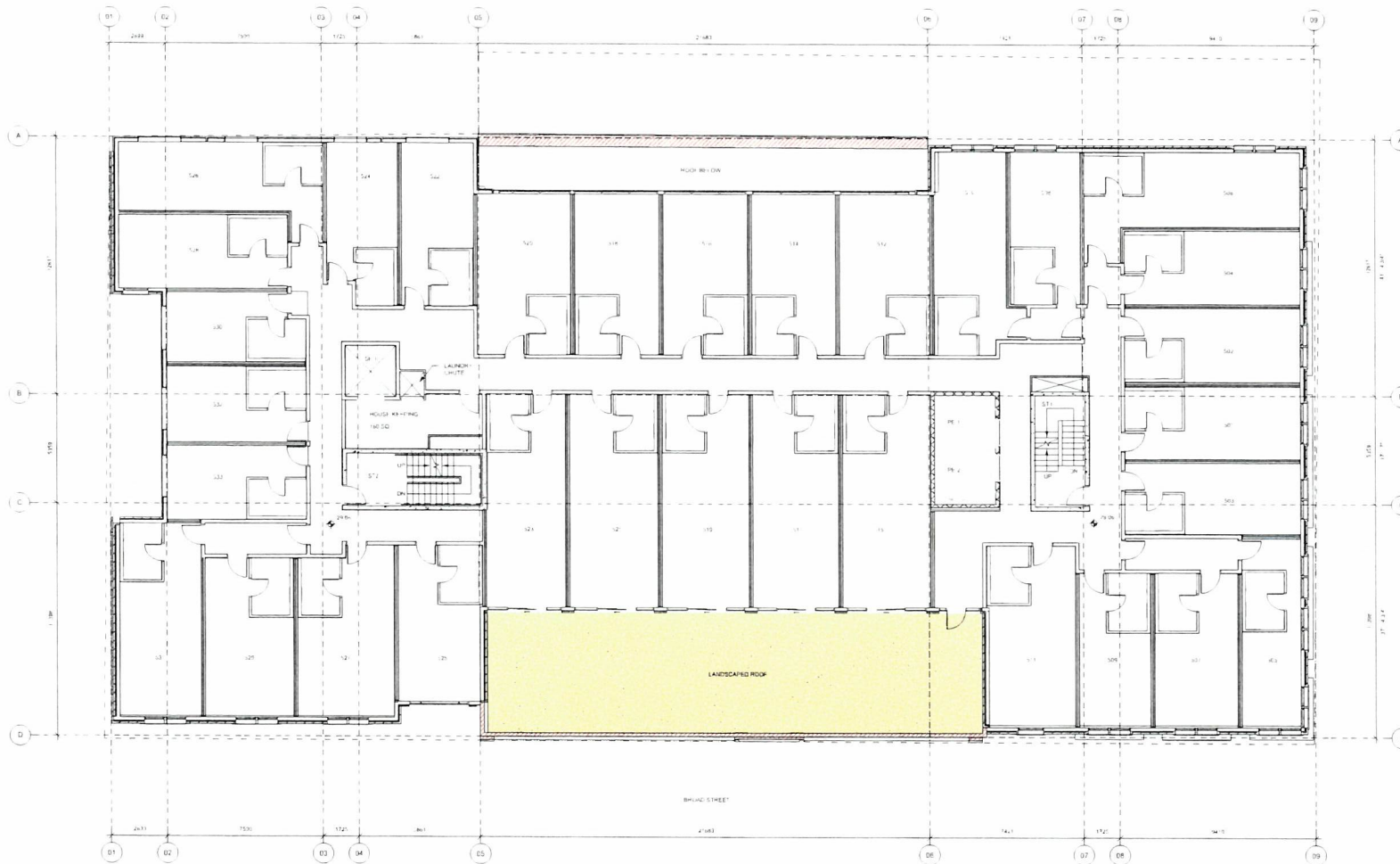
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dhk architects
 1312 124th Street
 Victoria, BC V8P 1R1
 TEL: 250.363.1111 FAX: 250.363.1112
 WWW.DHKARCHITECTS.COM

The Duck's Building
 1312 124th Street
 Victoria, BC V8P 1R1

Level 4

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| A207 | 2 |
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1 Level 5 - Overall
A208 SCALE 1/100

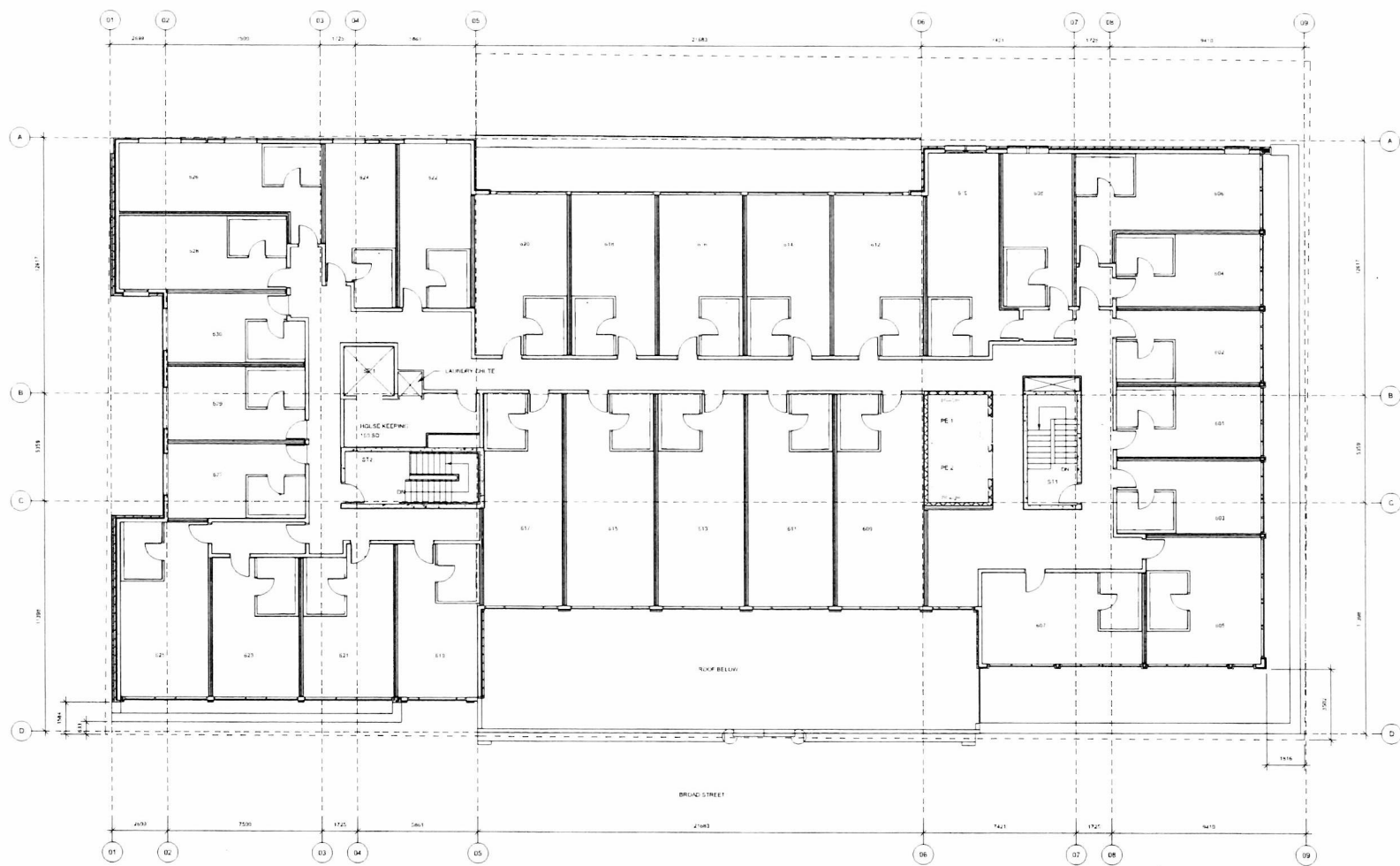
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dhk architects
 1111-1122 Street
 Victoria, BC V8W 2E1
 TEL: 250.383.1111 FAX: 250.383.1112
 WWW.DHKARCHITECTS.COM

The Duck's Building
 1312-1328 Bruce Street
 Victoria, BC V8W 2E1

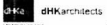
Level 5

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| DATE: 2023.08.15 | SCALE: 1/100 | A208 | 2 |
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| NO. | DESCRIPTION | DATE |
| 1 | ISSUED FOR CONSTRUCTION | 13/07/18 |
| 2 | ISSUED FOR CONSTRUCTION | 13/07/18 |
| 3 | ISSUED FOR CONSTRUCTION | 13/07/18 |
| 4 | ISSUED FOR CONSTRUCTION | 13/07/18 |
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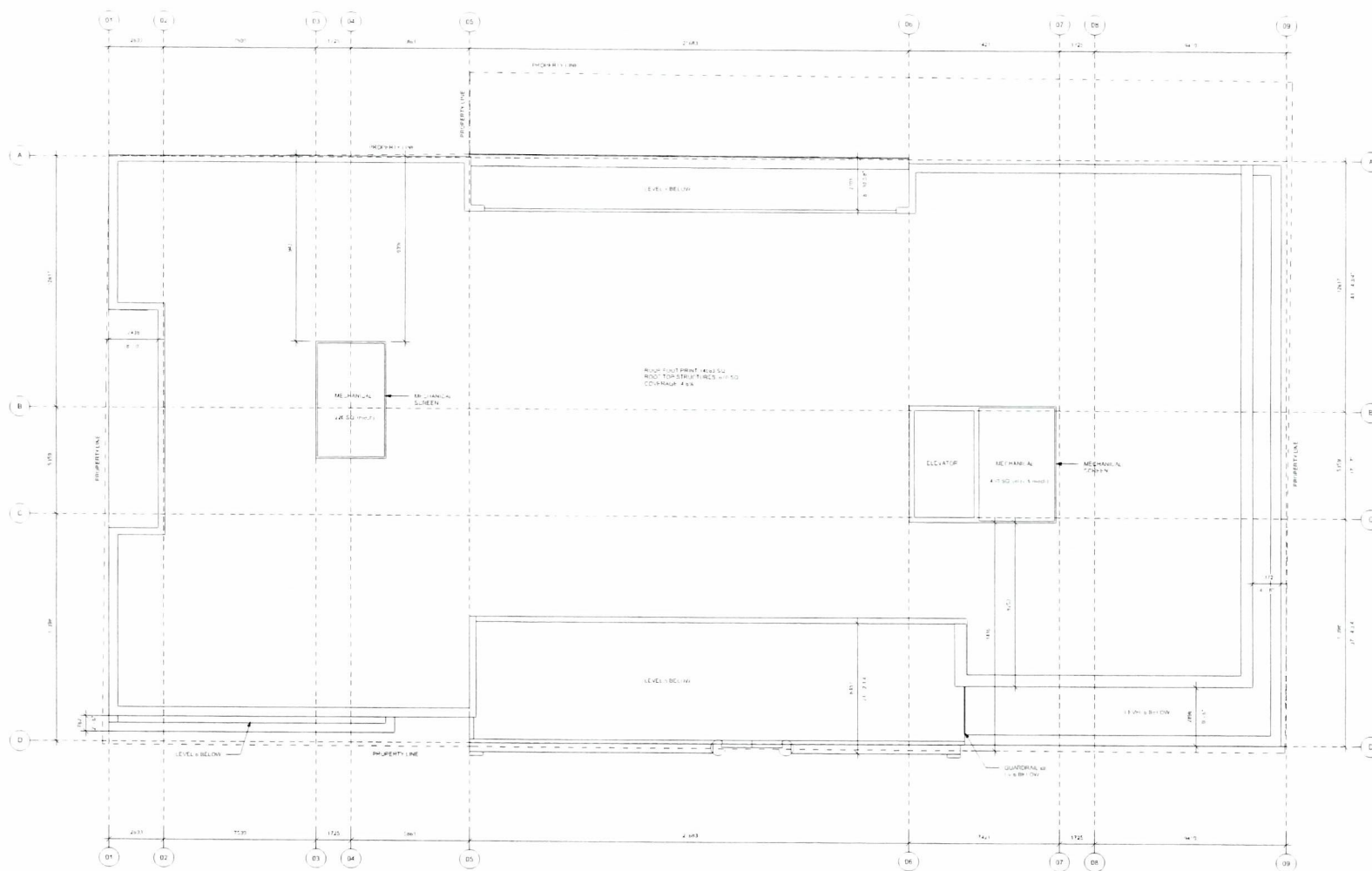
1 Level 6 - Overall
A209 / SCALE 1 : 100


dHK architects
 13/12-124 BRUCE STREET
 MELBOURNE VIC 3000
 PH: +61 (0)3 9414 1000
 WWW.DHKLARCHITECTS.COM

The Duck's Building
 13/12-124 Bruce Street
 Victoria 3000
 PROJECT NO. 13/12-124
 DRAWING NO. A209

Level 6

| | |
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| A209 | 2 |
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1 To Roof - Overall
A210 SCALE 1/100

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dhk architects
 1315-1322 Blvd Street
 VICTORIA, BC V8W 2E1
 TEL: 250.383.8888
 FAX: 250.383.8889
 WWW.DHKARCHITECTS.COM

The Duck's Building
 1315-1322 Blvd Street
 VICTORIA, BC V8W 2E1

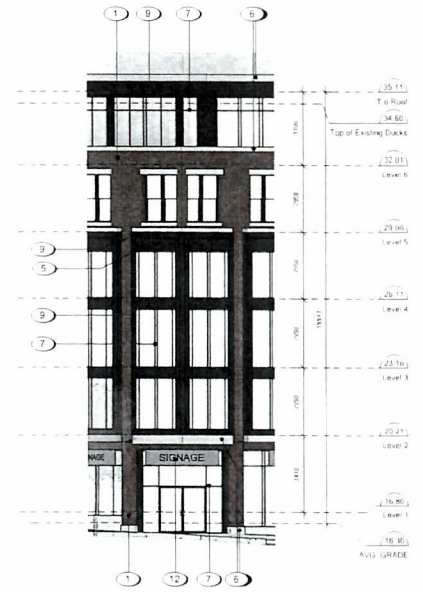
Roof Plan

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A210 3



1 North Elevation
A301 SCALE 1/100



2 North East Corner @ 45°
A301 SCALE 1/100



Material Schedule North

- 1 Brick Masonry Veneer Glazing - Medium Lot
- 2 Brick Masonry Veneer Glazing - Street
- 3 Metal Panel - Grey
- 4 Metal Panel - Dark Grey
- 5 Metal Panel - Black
- 6 Brick Masonry Veneer
- 7 Large Window System - Clear Insulated Single
- 8 Proprietary Window System - Clear Insulated Double
- 9 Wood - 75 level
- 10 Steel - 80 level
- 11 Metal Insulated Fire Rated Composite Glass
- 12 Glass
- 13 Security Louvered Door
- 14 Historic Metal Door

BRICK AND TILE COLOUR

BRICK MASONRY VENEER GLAZING - STREET



BRICK MASONRY VENEER GLAZING - BALCONY



2 METAL PANEL - LIGHT GREY



4 METAL PANEL - DARK GREY

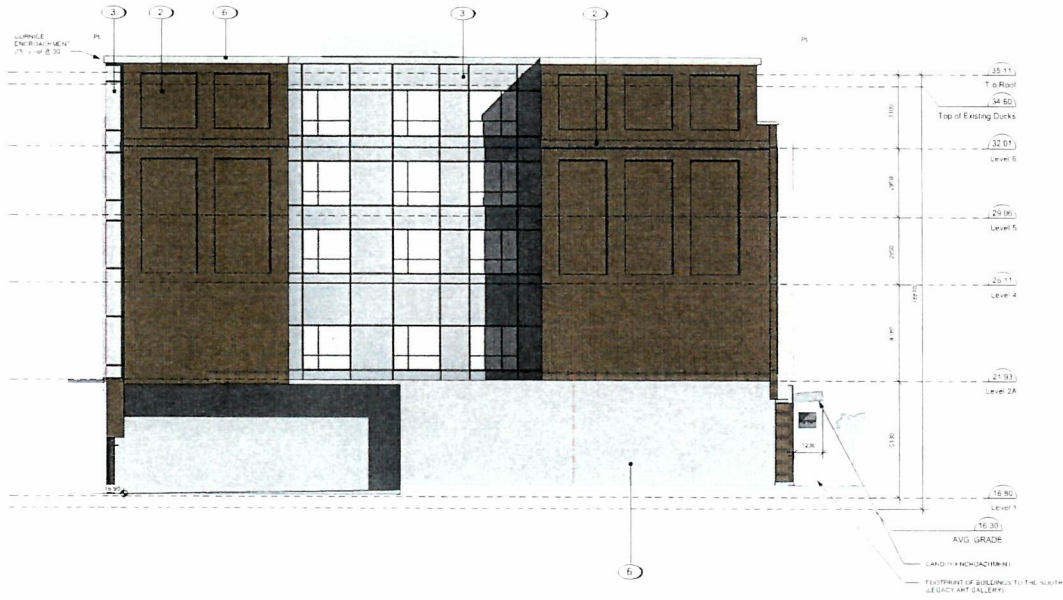


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dHK architects
 123-1234 Street
 Victoria BC V8W 1B1
 Tel: 250-123-4567
 Fax: 250-123-4568
 Email: info@dhkarchitects.com

The Duck's Building
 123-1234 Street
 Victoria BC V8W 1B1

North Elevation
 A301 2



1 South Elevation
A302 SCALE 1:100

Material Schedule South

- 1 Brick Masonry (veneer cladding) - Marika Lila
- 2 Brick Masonry (veneer cladding) - Kiriwai
- 3 Metal Panel - Grey
- 4 Metal Panel - Dark Grey
- 5 Metal Panel - Black
- 6 Phenolic Laminates
- 7 Composite Window System - Clear Anodised Aluminium
- 8 Polycarbonate Metal Window
- 9 Glass - Clear
- 10 Window - Solid & Slatted
- 11 Repositionable Heavy Duty Composite Window
- 12 Skylight
- 13 Triple Insulated Glass
- 14 Window Metal Frame



BRICK AND TILE COLOUR

1 BRICK MASONRY (VENEER CLADDING) - MARIKA LILA



2 BRICK MASONRY (VENEER CLADDING) - KIRIWAIA



3 METAL PANEL - GREY



4 METAL PANEL - DARK GREY



| NO. | DESCRIPTION | QUANTITY | UNIT | DATE |
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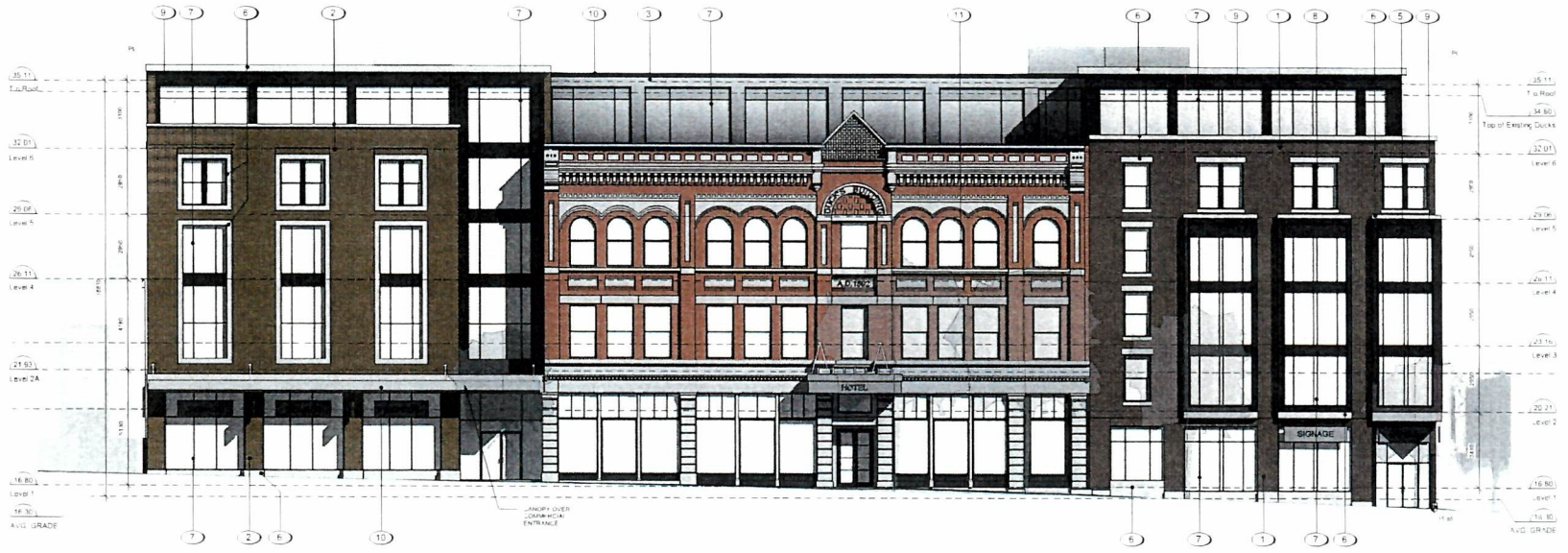
dhk dhkArchitects

1111 BROADWAY, SUITE 1000
 1111 BROADWAY, SUITE 1000
 1111 BROADWAY, SUITE 1000

The Duck's Building
 1312-1324 Broad Street
 Victoria, BC V8W 2G1

South Elevation

A302 3



1 East Elevation
A303 SCALE 1:100

CONSERVATION STRATEGY

- REWORK AN MASONRY DETAILS TO BE PRESERVED (yp)
- EXISTING BRICK WALLS TO BE PRESERVED (yp)
- EXISTING DOUBLE HUNG WINDOW SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED BY HISTORICALLY COMPATIBLE DOUBLE HUNG WINDOW SASHES WHERE NEEDED (yp)
- WORKLOADS TO BE RETAINED (yp)
- ORIGINAL LABELLED CORNICE DETAILS IN DETAILS AND TRIANGULAR FRONTS TO BE PRESERVED (yp)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (yp)
- MISMATCH MASONRY TO BE PRESERVED (yp)
- NEW ENTRWAYS TO BE CONSIDERED IN THE SPIRIT OF THE ORIGINAL HISTORY APPEARANCE (yp)
- STONE LINTEL TO BE PRESERVED (yp)

Material Schedule East

- 1 Brick Masonry (6000 Cobblestone) - Modern Use
- 2 Brick Masonry (6000 Cobblestone) - Historical
- 3 Metal Panel (Grey)
- 4 Metal Panel (Dark Grey)
- 5 Window Frame (Black)
- 6 Window Frame (Black)
- 7 Custom Metal Window Sashes - Modern Use
- 8 Polished Metal Window
- 9 Stone Cladding
- 10 Window (Color & Sash)
- 11 Window (Historically Compatible Sashes)
- 12 Window
- 13 Stone (Dark Grey) - Modern Use
- 14 Stone (Natural Stone)



BRICK AND TILE COLOUR

1 BRICK MASONRY VENEER CLADDING (MODERN USE)

2 BRICK MASONRY VENEER CLADDING (HISTORICAL)

3 METAL PANEL (GREY)

4 METAL PANEL (DARK GREY)

| NO. | DESCRIPTION | UNIT PRICE | QUANTITY | TOTAL |
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The Duck's Building
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Victoria BC V8R 2K2

East Elevation

A303 3



1 West Elevation
A304 SCALE 1/100

CONSERVATION STRATEGY

BRICK WINDOW AND MASONRY FINISHES TO BE PRESERVED (S&S)

EXISTING BRICK WALLS TO BE REFINISHED (S&S)

EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE AND REPLACED WITH HISTORICALLY APPROPRIATE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (S&S)

IRON COLLARS TO BE RETAINED (S&S)

ORIGINAL CORBELLED CORNICE DETAILING WITH BRACKETS AND TRIANGULAR PATTERN TO BE PRESERVED (S&S)

PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPROPRIATE (S&S)

RELOCATED MASONRY FINISHES TO BE PRESERVED (S&S)

NEW ENTRANCES TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (S&S)

STONE UNITS TO BE PRESERVED (S&S)

Material Schedule West

- 1 Brick Masonry (center Cladding) - Main & 1st
- 2 Brick Masonry (center Cladding) - 1st floor
- 3 Metal Panel - Grey
- 4 Metal Panel - Dark Grey
- 5 Stone Panel - Stone
- 6 Window Casings
- 7 Window Sills & Muntins - Timber or metal
- 8 Metal Panel - Metal
- 9 Steel Cladding
- 10 Concrete Slab & Deck
- 11 Metal Panel - Metal / Tripartite Windows
- 12 Windows
- 13 Windows
- 14 Windows
- 15 Metal Panel - Metal
- 16 Metal Panel - Metal



BRICK AND TILE COLOUR

1 BRICK MASONRY (CENTER CLADDING) - WHEAT



3 METAL PANEL - GREY



1 BRICK MASONRY (CENTER CLADDING) - MAINTA-DA



4 METAL PANEL - DARK



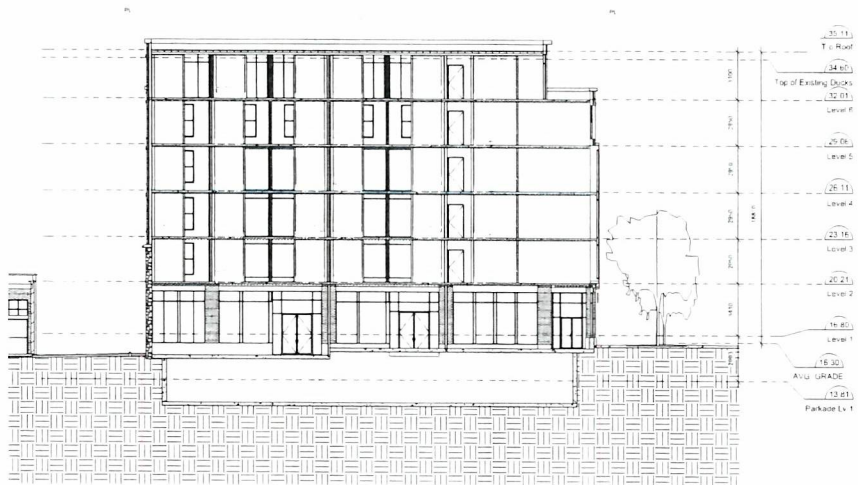
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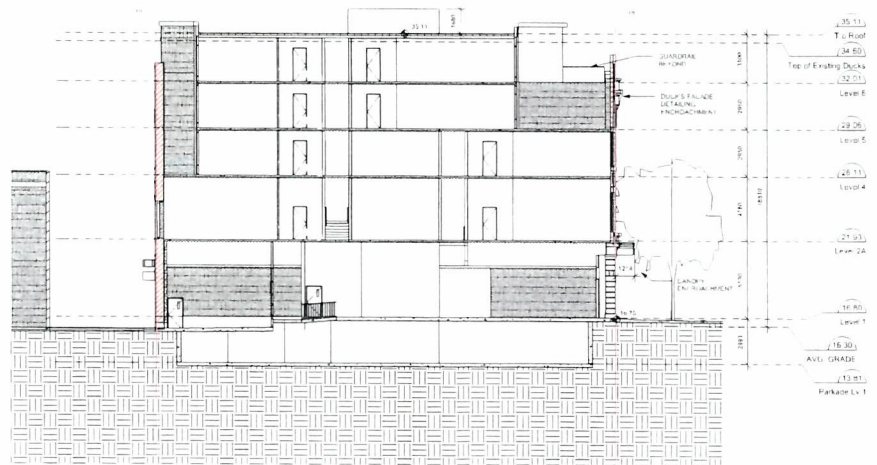
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West Elevations

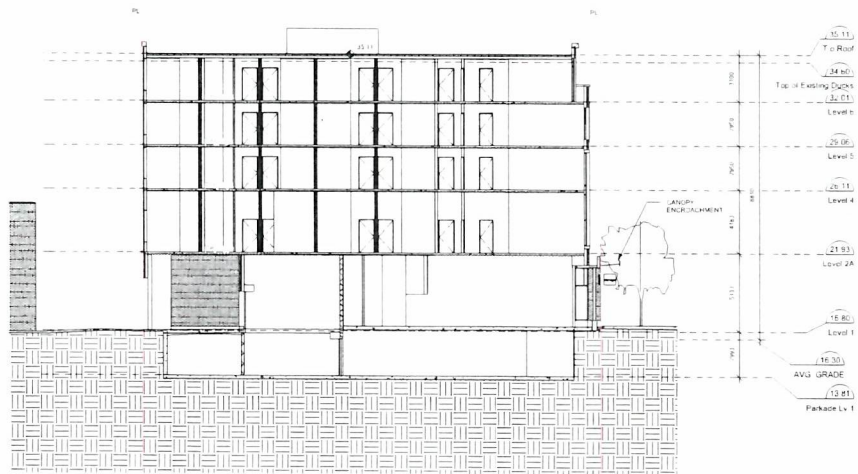
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| A304 | 3 |
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1 Section E-W North
A401 SCALE 1/150



2 Section E-W Ducks
A401 SCALE 1/150



3 Section E-W South
A401 SCALE 1/150

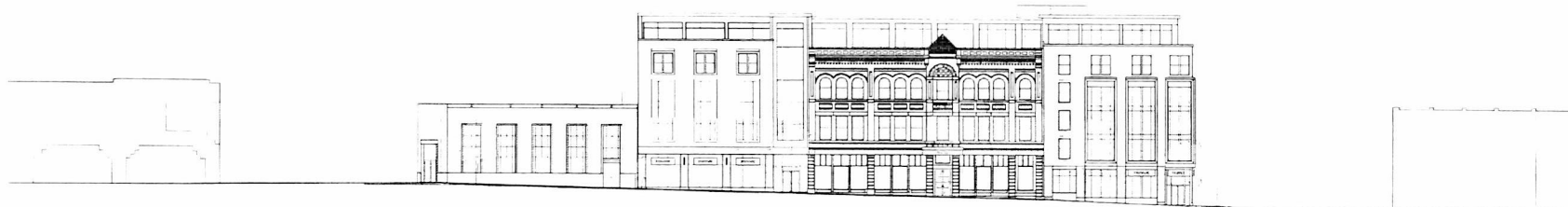
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Building Sections E-W

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| | A401 | |
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1298 BROAD STREET SQUARE

YATES STREET

LEGACY ART GALLERY
639 YATES STREET
- NOT IN SCOPE OF PROJECT

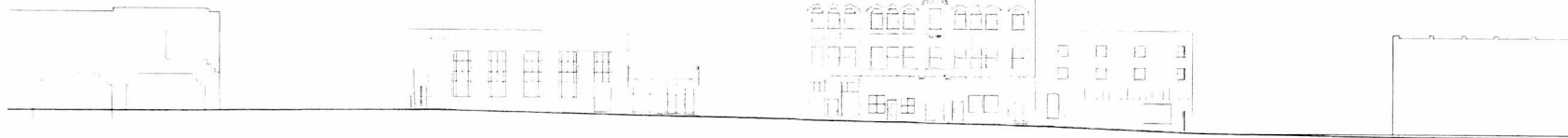
THE DUCK'S BUILDING REDEVELOPMENT
1312 - 1324 BROAD STREET

JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

1 East Elevation Context Proposed

A501



1298 BROAD STREET SQUARE

YATES STREET

LEGACY ART GALLERY
639 YATES STREET
- NOT IN SCOPE OF PROJECT

1306 BROAD STREET
- TO BE REMOVED

EXISTING DUCK'S BUILDING
- EXTERIOR TO BE RETAINED

625 JOHNSON STREET
- TO BE REMOVED

JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

2 East Elevation Context Existing

A501



631 - 635 JOHNSON STREET

BROAD STREET

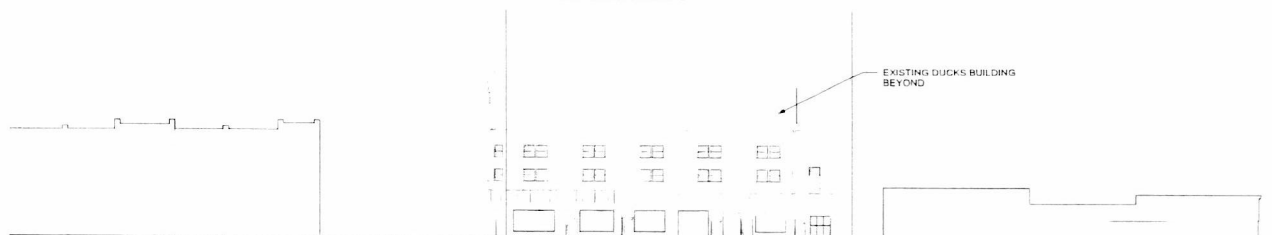
THE DUCK'S BUILDING REDEVELOPMENT
1323 - 1314 BROAD STREET

LANEWAY

605 - 613 JOHNSON STREET

3 North Elevation Context Proposed

A501



631 - 635 JOHNSON STREET

BROAD STREET

EXISTING 615 - 625 JOHNSON
TO BE REMOVED

LANEWAY

605 - 613 JOHNSON STREET

4 North Elevation Context Existing

A501

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 Volume B/C/D/E/F/H/I

Site Context
 A501



JOHNSON STREET

LONDON FLATS
1213 BROAD STREET

ROBINSON'S OUTDOOR STORE
1307 STREET

METTA YOGA
1305 BROAD STREET

YATES STREET

1 Broad Street Context Facing East

A502



605 - 614 JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

BROAD STREET



BEST WESTERN
636 JOHNSON STREET

2 Johnson Street Context Facing North

A502



1298 BROAD STREET SQUARE



AUDIO VIDEO REPLAY
620 JOHNSON STREET



631 - 635 JOHNSON STREET



605 - 613 JOHNSON STREET

3 Broad Street Context Facing West

A502

4 Johnson Street Context Facing South

A502

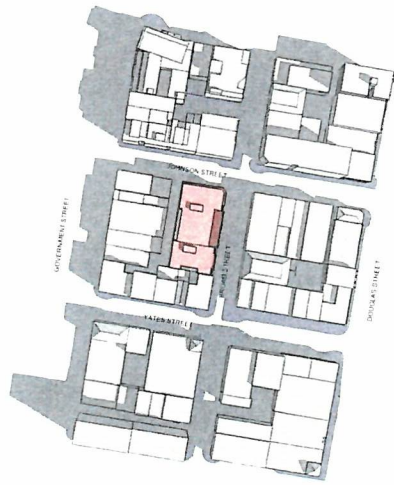
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Site Context

A502



Equinox 9am



Equinox Noon

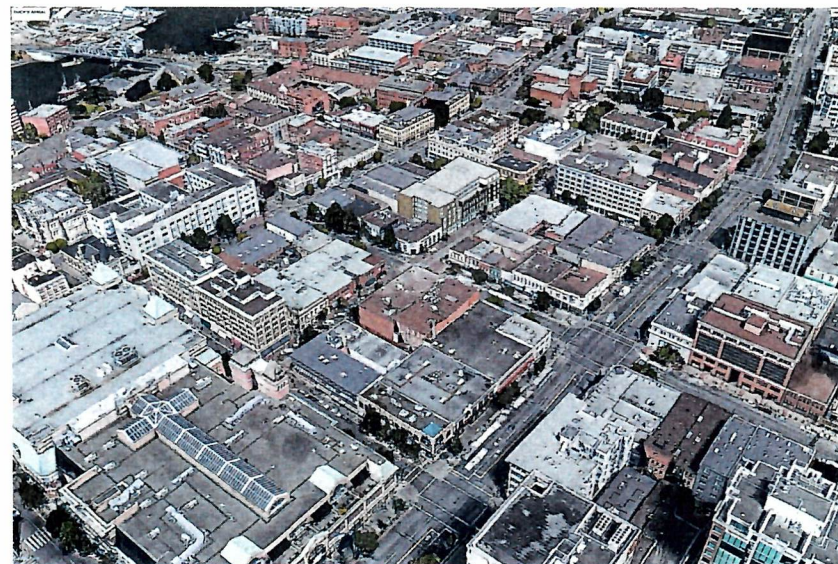


Equinox 3pm

1 Shadow Studies
A503



2 Harbour View from Laurel Point
A503



3 Aerial View
A503

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Shadow Studies

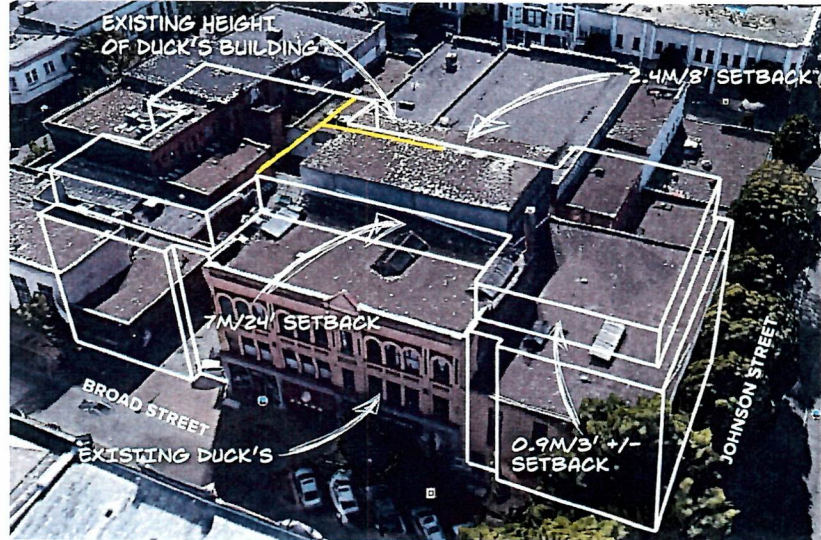
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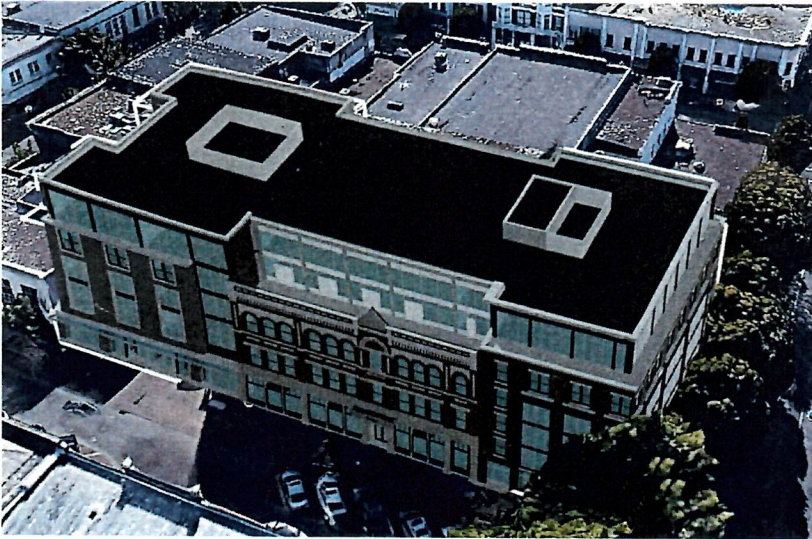
CURRENT CONTEXT



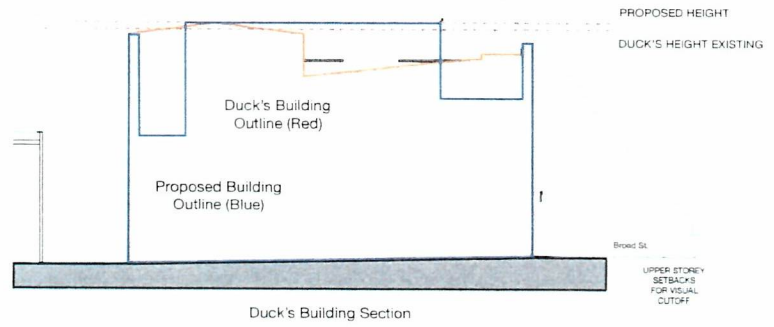
PROPOSED MASSING



ARCHITECTURAL DESIGN



Building Section Comparison - Existing and Proposed

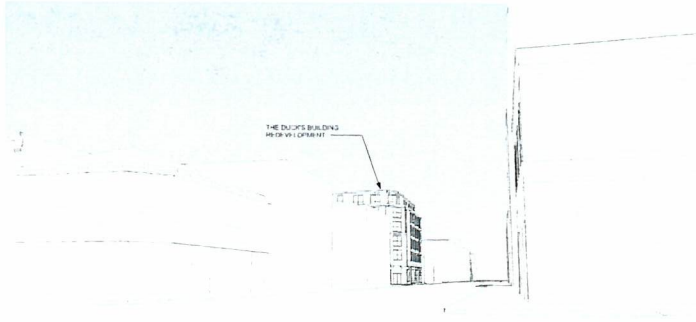


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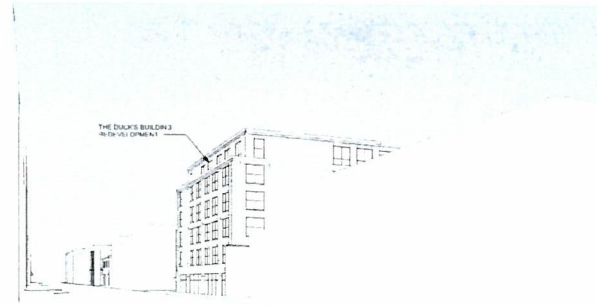
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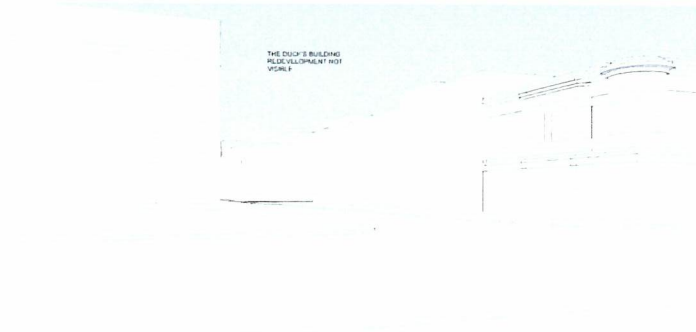
Context Massing
 A503A



Douglas & Johnson



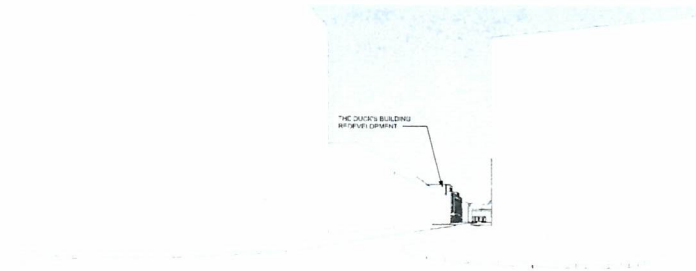
Government & Johnson



Douglas & Yates



Government & Yates



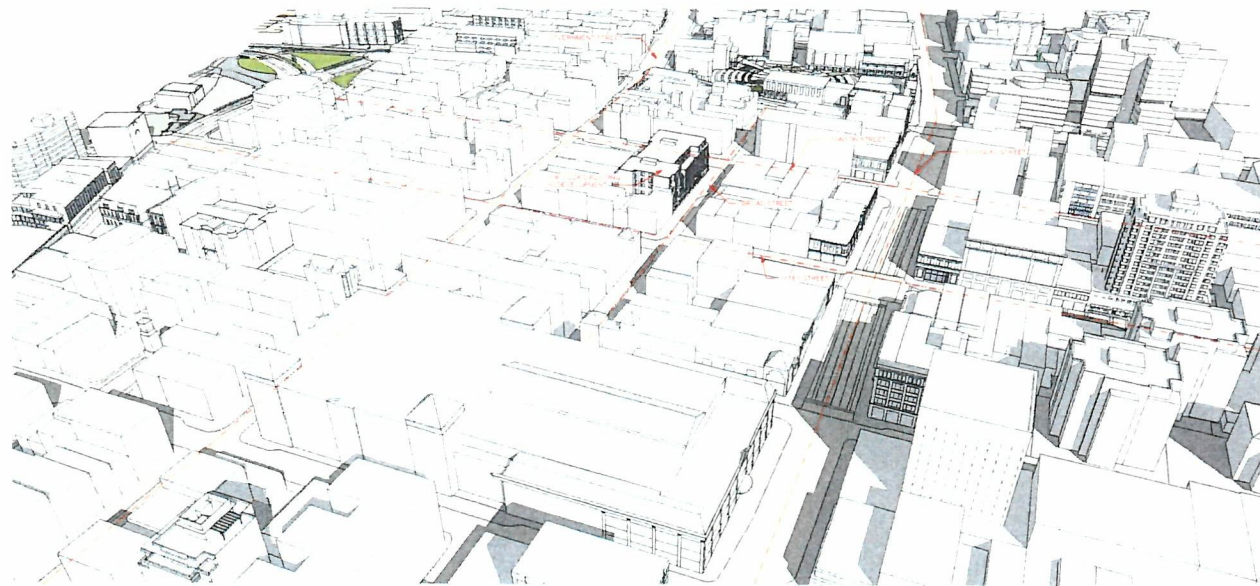
Broad & View



Broad & Yates

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NOT TO SCALE UNLESS OTHERWISE NOTED



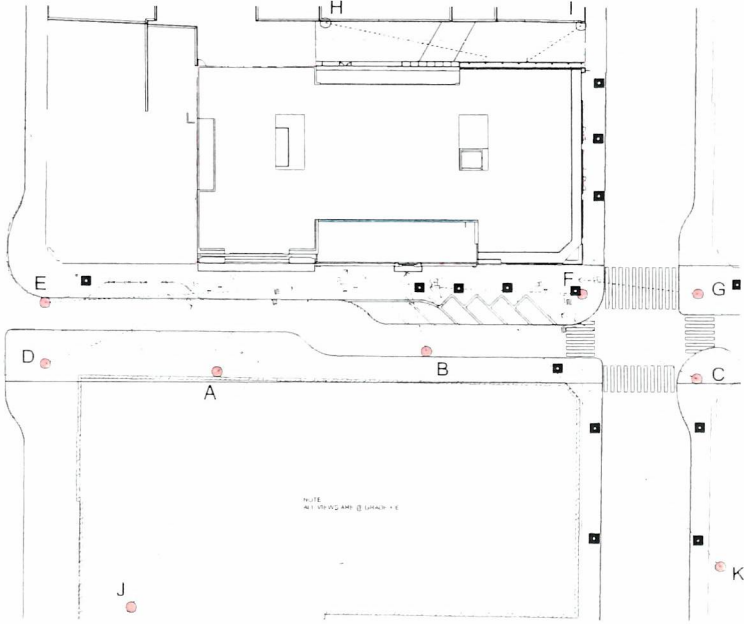
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Melbourne, VIC 3000

Urban Context

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| | A505 |
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1 Key Plan Sheet View Images
A506 SCALE 1/350



2 Yates to Johnson East
A506 A



3 Broad Street - South Building & Ducks
A506 B



4 Broad & Johnson
A506 C

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 Helena, MT 59601

Perspective Studies

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| A506 | 1 |
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1 Yates & Broad A

A507

D



2 Yates & Broad B

A507

E



3 Broad & Johnson A

A507

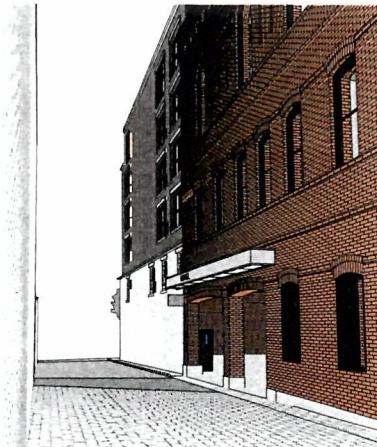
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4 Broad & Johnson B

A507

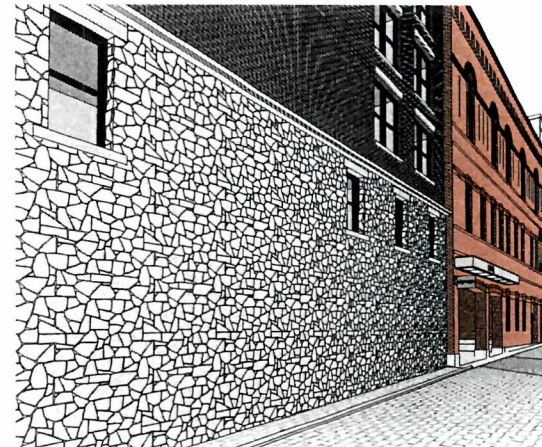
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5 Laneway to Johnson

A507

H



6 Laneway Stonewall

A507

I

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Broad Street - Full
A508 J


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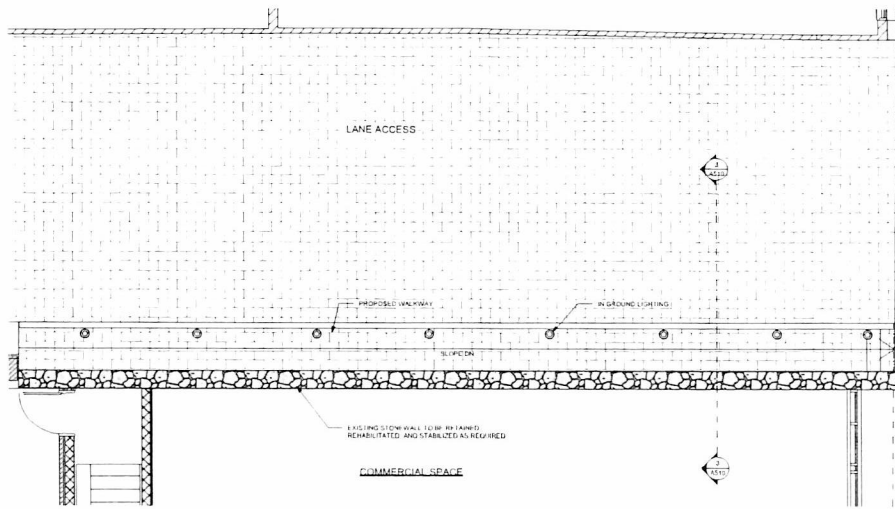
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| The Duck's Building 111 - 1214 Broad Street Vintage Rejuvenation | |
| Perspective Studies | |
| | A508 |



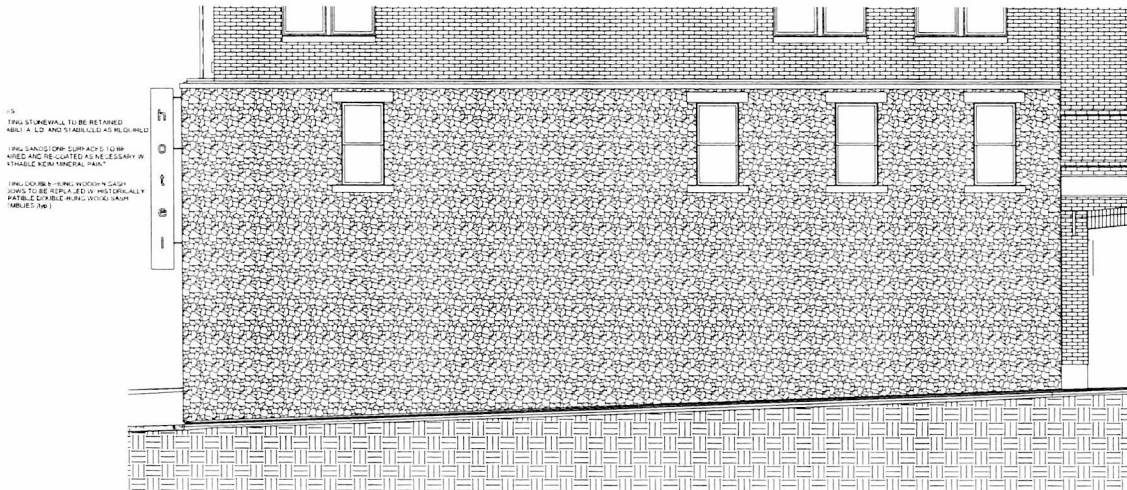
1 Broad & Johnson - Full
A509
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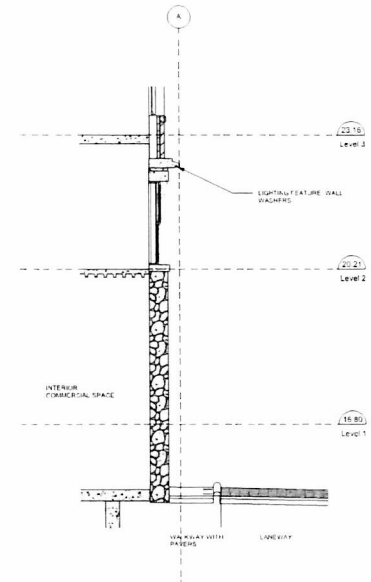
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| | The Duck's Building 1212 22nd Street Victoria, BC V8M 4G1 |
| Perspective Studies | |
| | A509 |



1 Stone Wall
A510 SCALE 1/50



2 Stone Wall - Elevation
A510 SCALE 1/50



3 Stone Wall - Section
A510 SCALE 1/50

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Stone Wall

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