

I. REPORTS OF COMMITTEES

I.1 Committee of the Whole

I.1.a Report from the June 6, 2019 COTW Meeting

I.1.a.m Food Bearing, Pollinator and Native Plant Species Landscape Design Guidelines

Moved By Councillor Alto

Seconded By Councillor Isitt

That Council:

1. Direct staff to amend the Design Guidelines For: Multi-Unit Residential, Commercial and Industrial and the Design Guidelines for Attached Residential Development to include the following landscape design guideline:
 - a. *A minimum of 30% of the plants provided in the landscape design for common areas should be native vegetation, adapted (non-invasive) species, food bearing plants or plants that provide pollinator habitats.*
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend:
 - a. Development Permit Areas 4, 5, 6A, 7A, 10A, 10B, 13 and 16 with an updated reference to the revised *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial*.
 - b. Development Permit Area 15F: Intensive Residential - Attached Residential Development with an updated reference to the revised *Design Guidelines for Attached Residential Development*.
3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including Community Association Land Use Committees and the development industry on the proposed amendments to the *Official Community Plan* through online consultation and direct email correspondence.
5. Refer the proposed *Official Community Plan* amendments to the Accessibility Working Group and the Urban Food Table for comments.

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of June 6, 2019

To: Committee of the Whole **Date:** May 23, 2019
From: Andrea Hudson, Acting Director, Sustainable Planning and Community Development
Subject: Food Bearing, Pollinator and Native Plant Landscape Design Guidelines

RECOMMENDATION

That Council:

1. Direct staff to amend the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* and the *Design Guidelines for Attached Residential Development* to include the following landscape design guideline:
 - A minimum of 30% of the plants provided in the landscape design for common areas should be native vegetation, adapted (non-invasive) species, food bearing plants or plants that provide pollinator habitats.
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend:
 - a. Development Permit Areas 4, 5, 6A, 7A, 10A, 10B, 13 and 16 with an updated reference to the revised *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial*.
 - b. Development Permit Area 15F: Intensive Residential - Attached Residential Development with an updated reference to the revised *Design Guidelines for Attached Residential Development*.
3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including Community Association Land Use Committees and the development industry on the proposed amendments to the *Official Community Plan* through online consultation and direct email correspondence.
5. Refer the proposed *Official Community Plan* amendments to the Accessibility Working Group and the Urban Food Table for comments.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with a proposed landscape design guideline that advances an ongoing action from the *2019-2022 Strategic Plan* that seeks to encourage and move towards mandating food bearing plants, pollinator habitats and native species in landscape plans for private development. This action is captured under Strategic Objective #6: Climate Leadership and Environmental Stewardship. The proposed guideline would be incorporated within the existing *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* (Attachment A) and the *Design Guidelines for Attached Residential Development* (Attachment B). Once this additional guideline is incorporated into the two design guideline documents, staff and Council will be able to require that a minimum of 30% of the plants provided through the landscape design for common areas on multi-residential, attached residential, commercial and industrial development should be native vegetation, adapted (non-invasive) plants, food bearing plants or plants that provide pollinator habitats. This landscape requirement will be reviewed and evaluated by the City through a development permit and associated landscape plans. The 30% target allows flexibility with plant types and species to ensure year-round visual interest.

To implement the new landscape design guideline, staff are also seeking direction to prepare an Official Community Plan (OCP) Amendment Bylaw to reference the updated *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* and the *Design Guidelines for Attached Residential Development* within the OCP. The OCP Amendment Bylaw and proposed landscape design guideline will be subject to focused consultation using the City website and direct correspondence with community associations and the development industry prior to a public hearing and Council's final decision. The proposed OCP Amendment Bylaw will also be referred to the City of Victoria Accessibility Working Group and the Urban Food Table for comments.

PURPOSE

The purpose of this report is to present Council with a proposed landscape design guideline that advances an action from the *2019-2022 Strategic Plan* to encourage and move towards mandating food bearing plants, pollinator habitats and native species in landscape plans for private development.

BACKGROUND

In March 2019 the City published the guide *Growing Food and Gardening on Mixed-Use, Multi-Use, Multi-Unit Residential Developments* which is a guide that seeks to encourage and raise awareness of urban gardening and food production in multi-residential development by providing tips, resources and examples of best practices and appropriate approaches for gardening. The guide was developed as part of the Growing in the City project charter and helps to increase awareness and opportunities to better support food production through innovative building design. Since this guide helps to 'encourage' food production, staff have developed an additional landscape design guideline that can be used to 'mandate' or 'require' food bearing plants, pollinator habitats and native species within common landscaped areas on private property for new multi-residential, attached residential, commercial and industrial development.

The new landscape design guideline is proposed for inclusion within the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* which generally apply City-wide as well as within the *Design Guidelines for Attached Residential Development*, which apply within portions of the Victoria West neighbourhood that are contained in Development Permit Area 15F: Intensive Residential - Attached Residential Development.

ISSUES AND ANALYSIS

1. Application within Development Permit Areas and Heritage Conservation Areas

Appendix A of the *Official Community Plan* (OCP, 2012) identifies areas of the City that are designated as Development Permit Areas (DPA) and Heritage Conservation Areas (HCA). Each DPA and HCA contains a list of guidelines with which development applications must be consistent. The *Design Guidelines for Attached Residential Development* are referenced within DPA 15F: Intensive Residential – Attached Residential Development, while the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* are referenced within the following Development Permit Areas:

- DPA 4: Town Centres
- DPA 5: Large Urban Villages
- DPA 6A: Small Urban Villages
- DPA 7A: Corridors
- DPA 10A: Rock Bay
- DPA 10B (HC): Rock Bay Heritage
- DPA 13: Core Songhees
- DPA 16: General Form and Character (City-wide).

This means that all new multi-unit residential, attached residential, commercial and industrial buildings (where applicable) within these areas will be reviewed against the updated guidelines, including the new landscaping requirements. Since these design guideline documents are identified in the OCP, the proposed updates will also require an amendment to the *Official Community Plan* to reference and enact the updated guidelines.

In addition, each DPA or HCA is generally established to achieve a specific purpose as outlined in the Local Government Act (LGA). The LGA also identifies the level of detail that can be provided through design guidelines for each DPA or HCA. For example, the LGA does not permit a detailed level of prescriptiveness through design guidelines for DPA 16; rather the design guidelines are limited to general guidance on form and character. This means that the design guidelines for DPA 16 cannot mandate specific plant species. However, the other development permit areas identified above do allow for greater levels of detail through design guidelines. The proposed landscape design guideline has been developed to provide general guidance for landscape design while still providing a certain level of flexibility with plant choices that are suitable for the location and that provide year-round visual interest.

2. Application Review

Staff from Sustainable Planning and Community Development and Parks, Recreation and Facilities will continue to collaborate at the Technical Review Group meetings to review and evaluate landscape plans for alignment with the guidelines, as well as confirming during occupancy inspections that the required plant species are provided.

3. Proposed Approach

Most landscape designs for common areas are generally composed of 60%-70% evergreens (broadleaf and conifer) and 30%-40% deciduous plants. Therefore, the proposed landscape design guideline provides a target (30%) that should be achievable and implementable across the City and allows for diversity of vegetation types and species to provide year-round visual interest. In consideration of climate change and best practices for sustainable landscaping, staff have also included the ability to provide adapted (non-invasive) species in addition to native species. Adapted plants are species of plants originally native to other regions of the world that have become acclimated and established in a

new area. These plants tend to thrive in the new location without being harmful to existing native plants or wildlife and can grow and reproduce without human intervention.

4. Consultation on OCP Amendment Bylaw

In accordance with the *Local Government Act*, when an amendment is proposed to the OCP, the local government (Council) must, in addition to the public hearing, provide one or more opportunities it considers appropriate for consultation with persons, organizations and authorities it considers will be affected. Specifically, Council must:

- (a) consider whether the opportunities for consultation with one or more of the persons, organizations and authorities should be early and ongoing; and
- (b) specifically consider whether consultation is required with the following:
 - (i) the board of the regional district in which the area covered by the plan is located, in the case of a municipal official community plan;
 - (ii) the board of any regional district that is adjacent to the area covered by the plan;
 - (iii) the council of any municipality that is adjacent to the area covered by the plan;
 - (iv) first nations;
 - (v) boards of education, greater boards and improvement district boards; and
 - (vi) the provincial and federal governments and their agencies.

Given that staff are proposing to amend existing design guideline documents with a single additional guideline, staff recommend that Council consider “persons affected” by the proposed OCP amendments to encompass property owners, community associations and the development industry.

Staff also recommend that the consultation opportunity consist of the proposed design guidelines and OCP Amendment Bylaw being made available on the City of Victoria website for a period of two weeks; and in addition, sending electronic copies of the proposed guidelines and the bylaw to each Community Association Land Use Committee, the Urban Food Table, Accessibility Working Group and the Urban Development Institute.

A report on the results of this consultation, including any resulting changes to the proposed landscape design guidelines, will be provided to Council at the time the OCP Amendment Bylaw is presented for first reading.

Given the limited scope of the proposed landscape design guideline, and in consideration of section 475(2)(b) of the *Local Government Act*, staff do not recommend additional consultation with the Capital Regional District, First Nations, Island Health, adjacent municipalities, school boards or other levels of government.

OPTIONS AND IMPACTS

Option 1 (Recommended)

Direct staff to amend the OCP to include guidelines that require a minimum of 30% of plants provided in landscape designs be native vegetation, adapted (non-invasive) species, food bearing plants or plants that provide pollinator habitats, and seek feedback through the City website and electronic correspondence prior to advancing the OCP Amendment Bylaw to Council for first and second reading and a Public Hearing.

This option will allow an opportunity for comments and consideration at a Public Hearing in a timely manner, so that the guidelines can take effect.

Option 2

Council could direct additional consultation opportunities beyond what is recommended in Option 1. This could include focus group meetings with key stakeholder groups, such as the Urban Development Institute, Community Association Land Use Committees, Urban Food Table and other interested members of the public.

Accessibility Impact Statement

The proposed landscape design guidelines provide additional direction on the type and general variety of plants that are provided within the portions of private property that are required to be landscaped as per the *Zoning Regulation Bylaw*. These guidelines do not alter site access or the provision of hardscaped surfaces. Staff acknowledge that the presence of some common landscaping plants can have adverse impacts on individuals with asthma and plant-related allergies. Lower-allergenic species can be planted without detracting from desired objectives; however, the ability to require or mandate specific low-allergen plant species varies between each development permit area and the rationale for their establishment as outlined in the *Local Government Act*.

2019-2022 Strategic Plan

This project supports ongoing Action 23 from the *2019-2022 Strategic Plan* that seeks to encourage and move towards mandating food bearing plants, pollinator habitats and native species in landscape plans for private development. This action is captured under Strategic Objective #6: Climate Leadership and Environmental Stewardship.

Impacts to Financial Plan

The proposed landscape design guideline will not have any impacts to the *Financial Plan*.

Official Community Plan Consistency Statement

This project is consistent with the *Official Community Plan*, which supports enhancing the adaptive capacity of ecosystems and the urban forest by increasing the use and diversity of native and climate change adapted species on both public and private lands (policy 10.5). The OCP also includes several policies that support food production on private land (policies 17.10 - 17.14).

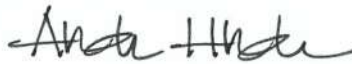
CONCLUSIONS

The proposed landscape design guideline has been developed to advance an ongoing action from the *2019-2022 Strategic Plan* that seeks to encourage and move towards mandating food bearing plants, pollinator habitats and native species in landscape plans for private development. Reporting back to Council with the related Official Community Plan Amendment Bylaw, following a focused consultation process, allows Council to consider additional feedback prior to first and second reading of the bylaw and a subsequent Public Hearing.

Respectfully submitted,



Robert Batallas
Senior Planner
Community Planning Division



Andrea Hudson
Acting Director, Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date:

May 29, 2019

List of Attachments

- Attachment A: *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* (2012)
- Attachment B: *Design Guidelines for Attached Residential Development* (2018).



DESIGN GUIDELINES FOR: Multi-Unit Residential, Commercial and Industrial

JULY 2012



PREAMBLE

The purpose of these guidelines is to assist in achievement of placemaking related to multi-unit residential development (three or more units), commercial and industrial uses. Collectively, the guidelines are intended to guide applicants in achieving new development and additions to existing buildings that result in design excellence, livability, contribution to sense of place and urbanism that is responsive to Victoria's context, while enabling flexibility and fostering creativity.

All visuals in this document are provided for illustrative purposes only to support description of the guidelines.





1.0 Area-wide context and transition between areas

General guidelines

- 1.1 New development should be compatible with and improve the character of established areas through design that is unifying, sensitive and innovative:
 - 1.1.1 The architectural approach should provide unity and coherence in relation to existing place character and patterns of development through the use of appropriate forms, massing, building articulation, features, and materials.
 - 1.1.2 Buildings should be designed with sensitivity to context, and build upon, without replication or mimicry, the character that is Victoria, creating a benchmark for future development.
 - 1.1.3 Building design that is sensitive and innovative in response to context is encouraged.
- 1.2 Where new development is directly abutting lands in a different OCP Urban Place Designation, or it directly abuts a different Development Permit Area, the design should provide a transition between areas in ways that respond to established form and character, and that anticipate any future development.
- 1.3 New buildings should respect the skyline prominence of heritage and other landmarks as identified in the official community plan and local area plans.
- 1.4 Trees and natural vegetation that line streets should be protected when possible.

Additional guidelines

*The following guidelines are specific to **multi-unit residential** and **residential mixed-use development** and building additions:*

- 1.5 New residential and residential mixed-use development should respect the character of established areas and building variety through the form and massing of housing.
- 1.6 Multi-unit residential development that directly abuts any residential building that is lower and smaller in scale, including, but not limited to, single-family dwellings, should:
 - 1.6.1 Provide a transition in its form and massing to lower-density building forms.
 - 1.6.2 Be designed to address privacy, particularly for portions of the development abutting the side yards of adjacent single-family dwellings.

2.0 Streetscape, relationship to the street and orientation

General guidelines

- 2.1 New development should contribute to cohesion, visual identity and the quality of streetscapes, particularly when adjacent and nearby buildings are similar in scale, proportion, rhythm, and pattern:
 - 2.1.1 New development should incorporate building elements that are complementary, such as street walls, façade rhythm, and horizontal cornice lines.
 - 2.1.2 New development is encouraged to add interest to the streetscape through variations in building height, rooflines and massing.
 - 2.1.3 New development that is located on a corner site should be designed to contribute to both streetscapes.
- 2.2 New development should avoid long unvaried stretches of frontages in ways that include, but are not limited to:
 - 2.2.1 Massing that gives the impression of small blocks.
 - 2.2.2 Little or no repetition in the proportion of frontages, where feasible.
- 2.3 New development is encouraged to have a strong relationship to the street, particularly when public uses are allowed along street level.
 - 2.3.1 Buildings should be oriented towards public streets, walkways and amenities (parks, harbour and coastline, etc).
 - 2.3.2 Buildings should be located to provide an effective street edge while respecting the established, desired streetscape rhythm.
 - 2.3.3 Where possible, buildings should frame public streets and open spaces to create a sense of enclosure, street vitality, and safety.
 - 2.3.4 Building facades should be modulated at grade level to enable street activity such as browsing, outdoor cafes and street entertainment, as well as to enable placement of seating, where appropriate.
 - 2.3.5 Visual and physical connections between the public street and buildings should be developed (e.g. patios and spill-out activity, views to and from interior spaces, awnings and canopies).





Additional guidelines

*The following guidelines are specific to **multi-unit residential** and residential mixed-use development and building additions:*

- 2.4 Residential use at street level should have strong entry features and building designs that encourage interaction with the street.
 - 2.5.1 Individual entrances with direct connections to the public sidewalk are encouraged.
- 2.5 Multi-unit residential developments are encouraged to be oriented to allow exposure to natural light.
- 2.6 Buildings should be located to address privacy impacts of adjacent residential uses and private open spaces.

*The following guidelines are specific to **commercial** and commercial mixed-use development and building additions:*

- 2.7 Primary entrances on commercial buildings should have direct access from a public sidewalk or from pedestrian routes within sites.
 - 2.8.1 In mixed-use buildings, residential and commercial entries should be differentiated.
- 2.8 Commercial and mixed-use buildings should be located to the edge of the sidewalk and sited continuously and without breaks.
- 2.9 Ground floor retail and other commercial uses should maximize the amount of glazing and windows to increase the interactions between pedestrians and interior spaces.

*The following guidelines are specific to **industrial** and industrial mixed use development and building additions:*

- 2.10 Industrial or industrial mixed-use buildings with frontages visual to the street are encouraged to include offices or showrooms at street level, and decorative design elements.

3.0 Human scale, massing, height and architectural features

General guidelines

- 3.1 Larger and longer buildings should be visually broken into human-scaled proportions. This could be achieved in a number of ways, including breaks in form, projections, balconies, bay windows, surface treatments, and building articulation.
 - 3.1.1 Building bases should be well-designed and articulated, especially along facades that are adjacent to a street.
 - 3.1.2 Large, blank windowless and featureless walls that are visible from the public realm are strongly discouraged.
 - 3.1.3 Building facades should be designed so that entrances for pedestrians are legible and prominent, and that vehicular entrances and doors are subordinate features.
- 3.2 Building facades along streets should include architectural features that provide pedestrian interest. The location and design of service ('back-of-house') functions should therefore be carefully considered, including, but are not limited to:
 - 1.1.1 Parking, vehicular entrances and garage doors.
 - 1.1.2 Fire exits.
 - 1.1.3 Refuse and recycling receptacles.
 - 1.1.4 Utility (electricity, gas etc) cabinets.
- 3.3 Perceived building mass should be mitigated through the use of architectural elements, visually interesting rooflines, stepping back of upper floors, detailing that creates rhythm and visual interest, or other design solutions.
 - 3.3.1 Massing should avoid shadowing of open spaces that are publicly accessible.
 - 3.3.2 Roof forms should complement the character of buildings in the immediate context.
 - 3.3.3 The visual impact and perceived massing of any enclosed elevator shafts and other mechanical equipment should be reduced with architectural treatments.
- 3.4 Distinctive massing, building articulation and architectural treatments should be incorporated for corner sites, highly visible building sites or buildings, or portions of buildings, when these terminate street corridors.
- 3.5 For areas where mid-rise and high-rise buildings are permitted, upper levels should be stepped back to enable sunlight penetration to the street and public open space, mitigate the perception of building mass and minimize the impact of winds.





Additional guidelines

*The following guidelines are specific to **multi-unit residential** and **residential mixed-use development** and **building additions**:*

- 3.6 Porches, steps, alcoves or other design features are encouraged to make transitions from the public realm of the street and sidewalk, to the private realm of residences.
- 3.7 The use of building elements such as raised terraces, forecourts or landscaping should be considered to enhance residential entrances.
- 3.8 Mid-rise and high-rise multi-unit residential buildings are encouraged to be stepped in order to provide opportunities for balconies and rooftop terraces that take advantage of sunlight and views.

*The following guidelines are specific to **commercial** and **commercial mixed-use development** and **building additions**:*

- 3.9 Where residential and commercial entrances occur on the same building, proper separation of the entry and clarity of their identities is encouraged.
- 3.10 Overhangs and canopies are encouraged, especially on commercial buildings, and should be designed to integrate with architectural features of buildings.



4.0 Exterior finishes

General guidelines

- 4.1 Exterior building materials should be high quality, durable and capable of weathering gracefully.
 - 4.1.1 Higher quality materials used on the principal façade should be continued around any building corner or edge which is visible from the public realm.
- 4.2 Rich and varied architectural materials are encouraged to enhance and articulate street frontages.
- 4.3 Exposed party walls and blank side elevations, where necessary, should incorporate features such as texture, reveals, colours, plantings or other treatments to provide visual interest.

Additional guidelines

*The following guidelines are specific to **multi-unit residential** and residential mixed-use development and building additions:*

- 4.4 The exposed undersides of balconies and porches that are visible from a street or public walkway should be clad with exterior materials that result in a finished appearance and which complement the palette of exterior materials used on the rest of the building.

*The following guidelines are specific to **commercial** and commercial mixed-use development and building additions:*

- 4.5 For buildings with commercial use at ground level, mirrored, coloured or dark tinted glass are strongly discouraged as glazing materials at street level to maintain transparency.





5.0 Open spaces and landscaping

General guidelines

- 5.1 Open space should be usable, attractive and well-integrated with the design of the building.
- 5.2 Public and semi-public spaces should be distinguished from private spaces through design elements, including, but not limited to:
 - 5.2.1 Building and site design.
 - 5.2.2 Changes in paving or grading.
 - 5.2.3 Architectural features.
 - 5.2.4 Changes in landscape, raised planters or other landscaping features.
- 5.3 Consideration should be given to landscaped open space, accessible from the adjacent right-of-way, to soften the impact of larger and longer buildings. Possible locations include the corners of lots, at building entrances and walkway entrances.
- 5.4 The scale and location of planting material should complement and be consistent with the scale and massing of buildings.
- 5.5 Landscape design should preserve existing native vegetation where possible, or use plant species suited to the local climate and site-specific conditions.
- 5.6 Species selection should provide interest year-round. The inclusion of deciduous tree species in landscape plantings should be considered to permit light penetration in winter.
- 5.7 Landscape should be designed to allow clear, unobstructed views of surrounding areas through the placement of living features and other elements.

Additional guidelines

*The following guidelines are specific to **multi-unit residential** and **residential mixed-use development** and building additions:*

- 5.8 Consideration should be given to the inclusion of private open space in residential developments in the form of courtyards, recessed balconies, terraced balconies or rooftop gardens.

*The following guidelines are specific to **commercial, industrial** and **associated mixed-use development** and building additions:*

- 5.9 Commercial and industrial buildings may include atria as open space.

6.0 Lighting

General guidelines

- 6.1 Consideration should be given to lighting as a key element of design for the effect on building façades, adjacent or nearby buildings, and any open spaces.
 - 6.1.1 Light fixtures should avoid overspill.
 - 6.1.2 Colour shift is strongly discouraged.
 - 6.1.3 Low energy options that emit soft light are strongly encouraged.
- 6.2 Human-scaled lighting is encouraged (e.g. light standards of appropriate height for pedestrians) for night time visibility, comfort and security.
- 6.3 Light fixtures should be high quality, and are encouraged to be affordable to maintain.

7.0 Universal accessible design and safety

General guidelines

- 7.1 A high standard of accessibility in site, building and landscape design is encouraged to address the needs of all users, including people who have disabilities.
 - 7.1.1 Disabled access should be appropriately designed and clearly visible from the main entrance, not relegated to a secondary building frontage for the sake of architectural convenience.
 - 7.1.2 When provided, access ramps and related elements should be visually integrated with the overall building design and site plan so as to not appear disjointed from the building façade.
 - 7.1.3 Smooth routes should be provided. Vertical disruptions along pedestrian routes should be avoided for ease of use by people with wheeled mobility devices, strollers, and bicycles.
 - 7.1.4 Landscaping should be accessible for people with varying levels of ability and mobility.
- 7.2 The following factors should be taken into account to design environments that people feel safe to use:
 - 7.2.1 Visibility by others (design for seeing and being seen).
 - 7.2.2 Entrapment spots (avoid small areas shielded on three sides).
 - 7.2.3 Lighting (others' faces should be visible and blinding glare avoided).





7.2.4 Sightlines (ability to see the route ahead and open spaces from buildings).

7.2.5 Activity generators (design places for uses that attract people and that provide opportunities for casual surveillance).

7.3 New development should be designed to maximize opportunities for casual surveillance and "eyes on the street" through placement of windows, balconies and street-level uses.

7.3.1 Blank, windowless walls should be avoided, which do not permit occupants to observe the street in the course of everyday activities.

7.3.2 Window features with transparent glazing should be placed to overlook streets, pathways, open spaces and parking areas to increase neighbourhood security.

7.4 Crime Prevention through Environmental Design practices should be incorporated as they relate to architecture, site and landscape design.

Additional guidelines

*The following guidelines are specific to **multi-unit residential** and residential mixed-use development and building additions:*

7.5 Multi-unit residential and mixed use buildings should be sited and oriented to overlook public streets, parks and walkways.

8.0 Parking

General guidelines

- 8.1 Where possible, parking should be located underground or to the rear of buildings to minimize the impact on streetscape appearance and pedestrian amenity path and continuity, and to maximize ground level space for landscaping.
 - 8.1.1 Underground parking entrances and garage doors should be designed and situated to provide an appealing entrance from the public street.
 - 8.1.2 Where it is unavoidable to locate driveways and garage doors in building frontages, consideration should be given to the incorporation of these elements into building and landscaping design, by, for example, recessing behind the main building line, and breaking up of massing proportions.
 - 8.1.3 When surface parking is unavoidable, it should be located at the rear of buildings. Landscape elements should be provided, such as planting or fencing, to visually break up and screen parking from public streets and adjacent properties, to improve natural drainage and to enhance pedestrian amenity.
- 8.2 Short-term parking areas and drop-off pull-ins should be designed so that pedestrian areas are distinctly delineated from vehicular traffic areas. Paving materials that mark pedestrian areas, set aside parking areas, and make walkways distinct from traffic lanes are desirable.
- 8.3 Use of high quality, permeable and durable paving materials in parking and pedestrian areas is encouraged. Paved surfaces with visual interest (e.g. eliminate curbs and/or use bollards, stamped concrete, unit pavers, etc.) should be provided. Generally, asphalt should be minimized by integrating a variety of paving materials, or by use of alternate surface treatments. Asphalt may be acceptable for industrial development.
- 8.4 The use of alternative modes of transportation should be promoted in site design (e.g. prominent bicycle racks for convenience and security; transit-supportive design features; building entrances oriented to pedestrian areas).
- 8.5 Visible and secure parking or storage should be provided for bicycles. Short-term bicycle parking should be sheltered, in well-lit locations, and clearly visible from a main building entrance and/or public roads. Bicycle storage facilities should be well-lit, and placed in a location with high volumes of pedestrian traffic.





9.0 Access and circulation

General guidelines

- 9.1 Site access and internal circulation should be designed to emphasize public safety at the intersections of public and private domains, internal security and efficient flows. Safe movement of pedestrians should be prioritized above all other modes of transportation.
- 9.2 Vehicle and pedestrian conflicts should be minimized in site design.
 - 9.2.1 Vehicle access should be designed to minimize the impact on streetscape appearance and disruption to pedestrian movement.
 - 9.2.2 Surface treatment, trees, plantings and street furnishings should identify the limits of the pedestrian domain, and create separation from vehicular movement.
- 9.3 Safe and easily identified access for pedestrians, bicycles and vehicles should be provided.
 - 9.3.1 Pedestrian access to main and secondary entrances should be well marked, free of vehicles and emphasized in building and site design.
 - 9.3.2 Vehicular access and egress routes should be defined well. On-site roadways should provide safe and convenient access for emergency vehicles, moving vans and service vehicles.
- 9.4 The use of gathering places for pedestrians is encouraged. Buildings should be connected and integrated with pedestrian-oriented open spaces, such as courtyards, gardens, patios and other landscaped areas.



10.0 Loading and service areas, ancillary mechanisms and unenclosed storage

General guidelines

- 10.1 Access to on-site loading and service areas for all uses should be as unobtrusive from the public realm as possible, appropriately shielded and protected from public streets.
- 10.2 Loading and service areas should be separate from sidewalks and other pedestrian areas to enhance safety.
 - 10.2.1 Clear lines of sight to loading and servicing areas should be provided to enable casual surveillance.
- 10.3 Vents, mechanical rooms and equipment (including any equipment associated with window cleaning) and elevator penthouses should be integrated with architectural treatment of the building, and screened with high quality, durable finishes compatible with building design.
 - 10.3.1 Placement of rooftop mechanical units and associated architectural treatments should take into account proximity to windows of adjacent residential buildings.
- 10.4 Location and installation of gas and electrical meters and their utility cabinets should be carefully integrated into building and site design.
 - 10.4.1 Gas and electrical metres and utility cabinets on building frontages should be screened.
 - 10.4.2 Location of utility cabinets or pedestals at intersections, on streets in areas of significant character, or on open space at side of streets, should be avoided.

Additional guidelines

*The following guidelines are specific to **industrial** and industrial mixed-use development and building additions:*

- 10.5 Areas on site that are permitted to be used for seasonal unenclosed storage should be identified and not interfere with sight lines for pedestrians, cyclists, or vehicular traffic.
- 10.6 Unenclosed storage should be screened from adjacent roads and residential properties through fencing or landscaping.
- 10.7 The location of unenclosed storage is discouraged within any landscape area, unless integrated with landscaping in a visually discrete manner that does not damage or destroy living elements, and does not interfere with sight lines.





Design Guidelines for Attached Residential Development

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Design Guidelines for Attached Residential Development

Introduction

The purpose of these guidelines is to encourage high quality design that enhances neighbourliness and social vitality and creates a good fit with the existing neighbourhood.

These guidelines apply to residential developments of three or more self-contained units on a site, each having direct access to the outside at grade level, and at least three of which share common walls. Attached Residential Developments can be designed in different forms (e.g. townhouses, rowhouses, etc.). They can also be designed in different configurations, and may involve more than one building complex on a site, which may be organized in more than one row where supported in plan policies and permitted by zoning.

1) Site Planning

Objectives: To site buildings in a manner that considers and maintains the pattern of landscaped front and back yards, that makes a positive contribution to the streetscape and that achieves a more compact residential building form, while maintaining livability.

a. Building Placement

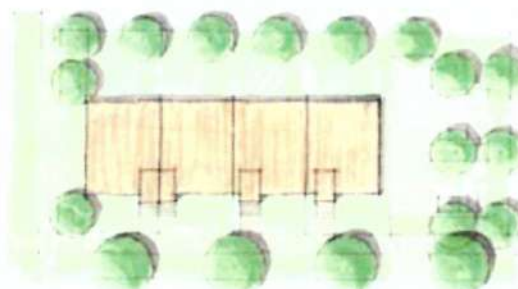
- i. Attached residential buildings should be designed parallel to the street with unit entrances oriented to, and directly accessed from, the fronting street. Both front and rear yards should be provided.
- ii. For properties that include buildings of heritage value (Heritage Designated or listed on the City's Heritage Register) alternative siting of new buildings or additions may be considered to facilitate heritage conservation.



Townhouses can contribute positively to streetscapes and the overall neighbourhood, supporting walking and creating greater housing diversity within existing neighbourhoods.

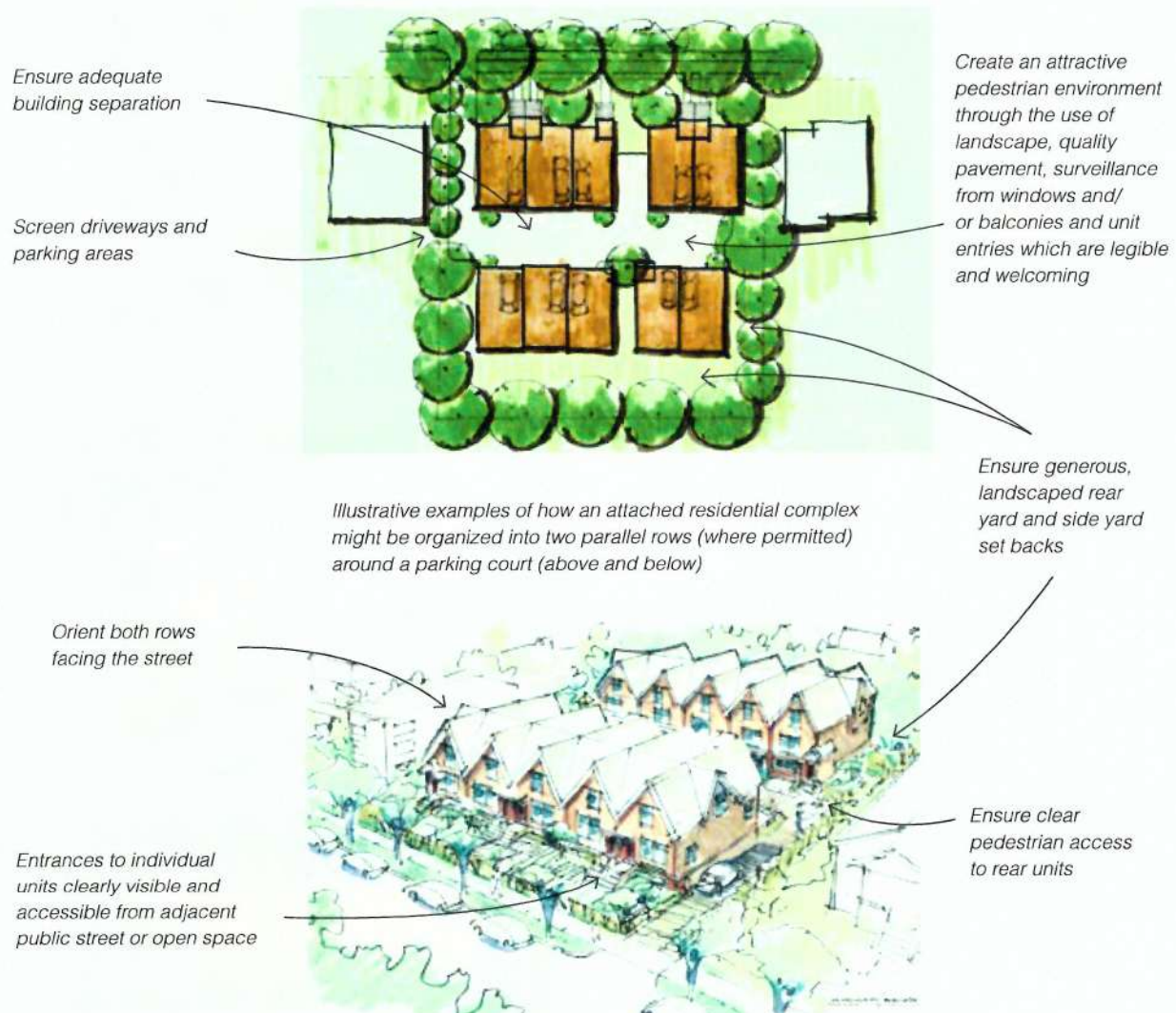


Illustrative examples of how townhouses along a street might be arranged with well-articulated street frontages (above and below).

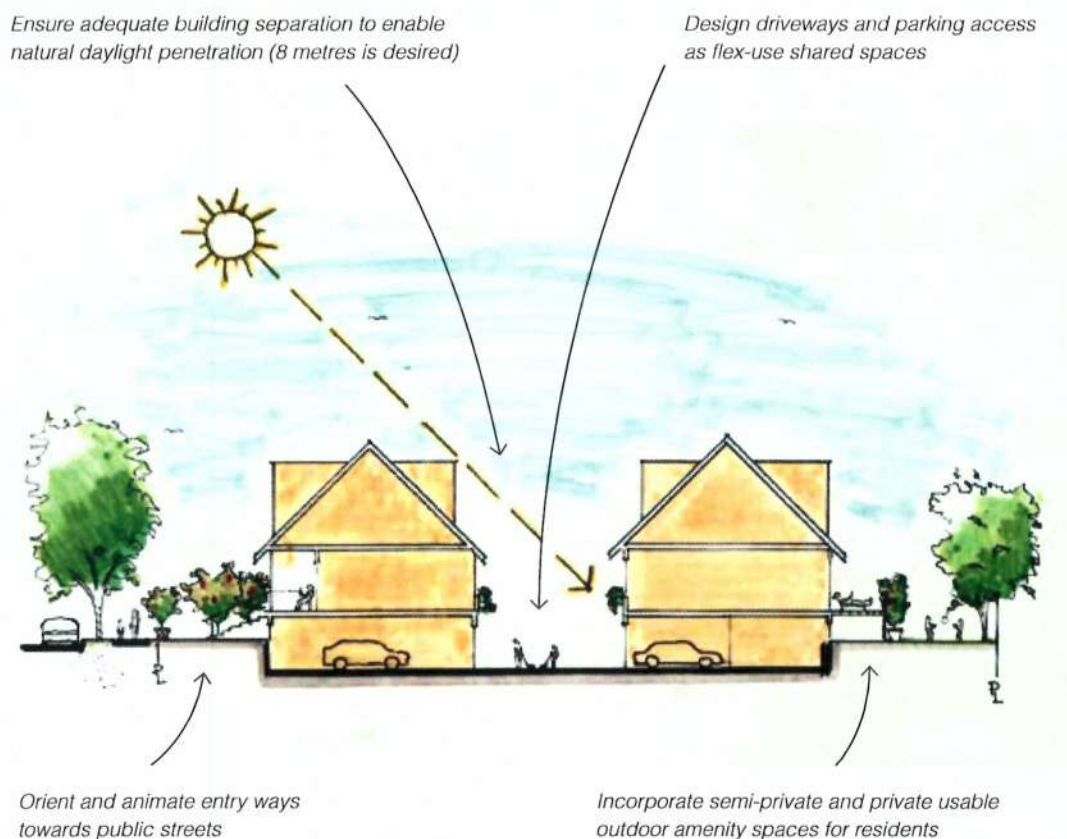


Illustrative example of how townhouses might be organized on a corner lot to minimize curb cuts and provide for on-site open space.

- iii. For properties that include significant natural features (e.g. significant trees, topography, rocky outcrops), buildings and landscape should be sited and designed to respond to natural topography and protect significant natural features wherever possible. Strategies to achieve this include but are not limited to alternative siting or clustering of buildings to avoid disturbance of natural features, and clustering of parking to reduce pavement on the site. (See also Section 4)
- iv. Some locations and lot sizes, as noted in local area or neighbourhood plan policies, may permit developments sited in more than one building complex on a site (i.e. more than one row). For these developments, the following should be achieved:
 1. Site planning should ensure that dwelling units face the street;
 2. Units located in the interior of lots should be designed with adequate separation from other buildings and have access to open space;

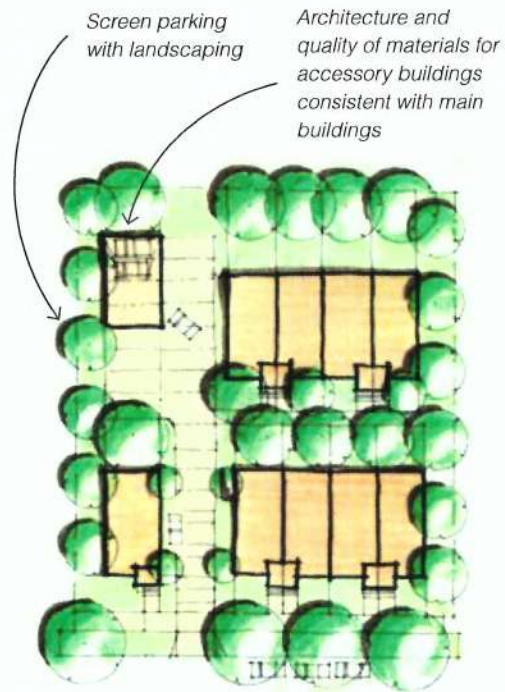


3. Vehicle access, parking and circulation should be integrated sensitively so it is not the dominant aspect of the development. See Section 1. vi. for further guidance.
 4. Dwelling units located in the interior of a site should have rear yard and side yard setbacks sufficient to support landscape and sensitive transitions to adjacent existing development and open spaces.
 5. Sufficient building separation should be provided between buildings to maximize daylight and minimize shadowing and overlook.
 6. Buildings which do not front onto the public street should be sited to provide sufficient separation from shared property lines and adjacent development in order to reduce overlook and shading, protect privacy for residents and neighbours, and provide space for landscaping.
- v. "Galley-style" developments, where building complexes are sited perpendicular to streets with residential unit entries oriented internally, are strongly discouraged. This layout is discouraged because it does not orient as many residential units towards the street, and typically provides less landscaped open space.



vi. Vehicular access, circulation, garage doors and parking should not be the dominant aspect of developments and should be integrated to minimize impacts on fronting streets and adjacent public and private open spaces. Design strategies should be employed to minimize the impact of accommodating vehicles on site, including but not limited to the following:

1. Integrate parking in a manner that provides substantial landscaped areas in rear yards;
2. Locate and consolidate off-street parking areas to minimize extent of driveways and eliminate need for driveway access to individual units (refer to site plan showing shared/clustered parking);
3. Consider grouping driveway access points to minimize the number of driveway cuts and maximize space for landscaping and on-street parking;
4. Location of driveway access should strive to preserve existing canopy trees or provide opportunities for new canopy trees within the boulevard by providing enough planting space. See Section 4 Open Space Design for further guidance;
5. Front-accessed parking may be appropriate in some areas in order to avoid excessive pavement in rear yard areas. In these cases, attention to design is required to emphasize front yard landscape, provide tree planting space, and ensure a pedestrian-friendly building façade.
6. Minimize the impact of garage doors and vehicular entries by recessing them from the facade to emphasize residential unit entries.
7. Use high quality and, where appropriate, permeable paving materials for driveways;
8. Use attractive, high quality materials and consider incorporating glazing in garage doors;
9. See Section 4, Open Space Design for additional design guidelines related to landscaping and screening.



Example of a site layout which clusters parking in order to minimize the area of the site dedicated to vehicle circulation, and enhances the relationship of individual units to open spaces.

2) Orientation and Interface - A Friendly Face

Objectives: To ensure new development is oriented and designed to enhance public streets and open spaces and encourage street vitality and safety through increased "eyes on the street."

- a. Residential buildings should be sited and oriented to overlook public streets, parks, walkways and open spaces balanced with privacy considerations.
- b. Developments should maintain a street-fronting orientation, parallel to the street.
- c. All residential units facing streets should have entries oriented towards, and be clearly accessible and visible, from the street.
- d. Where some units do not front onto a public street, a clear, legible and welcoming pedestrian pathway from the public street should be established.
- e. For developments that have interior-facing units, ensure unit entries are legible and emphasized through design features.
- f. Consider design strategies to delineate private front yard spaces, porches or patios from the public realm, while maintaining visibility of unit entrances. Design strategies may include but are not limited to:
 - i. elevating the front entryway or patio slightly above the fronting sidewalk level; or
 - ii. where a change in grade is not desired to provide accessibility, delineate the space through other means such as landscaping features, low fencing or planters.
- g. The design and placement of buildings and landscape should establish a sensitive transition to adjacent parks, trails, open spaces, and natural areas, considering a landscaped edge; respect the root zones of adjacent trees; and minimize impacts on ecologically sensitive areas and natural features.
- h. For new development adjacent to parks and larger public outdoor open spaces, design should clearly delineating private from public spaces, to avoid "privatizing" of public space.
- i. The location of blank walls or extensive parking areas adjacent to parks, trails and natural areas is strongly discouraged.

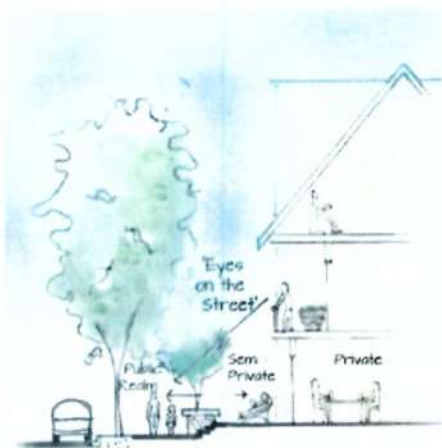


Illustration of interface with street.



Example of delineation of private front yard and visible entrance.

3) Building Form, Features and Context

1) Building Form and Design

Objectives: To achieve buildings of high architectural quality and interest with human-scale building proportions that are oriented towards and are compatible with the established streetscape character and pattern. Human scale refers to the use of architectural features, details and site design elements that are human proportioned and clearly oriented towards pedestrian activity. Building articulation refers to the many street frontage design elements, both horizontal and vertical, that help create an interesting and welcoming streetscape.

- a. Building design elements, details, and materials should create a well-proportioned and cohesive building design and exhibit an overall architectural concept.
- b. Incorporate a range of architectural features and design details into building facades that are rich and varied in detail to create visual interest when approached by pedestrians. Examples of architectural features include:
 - i. building height, massing, articulation and modulation
 - ii. bay windows and balconies
 - iii. fenestration pattern (proportions and placement of windows and entry ways)
- c. Modulation in facades and roof forms are encouraged to break up building mass, differentiate individual units within attached residential developments, and to provide architectural interest and variation along the street.



Development which exhibits a cohesive architectural expression, with variation in units, clear front entries, and architectural interest for pedestrians.



Historic traditional townhouses (left) demonstrate human scale architecture, relationship to the public street, and cohesiveness of architectural expression. These same principles should guide the design of more modern developments which may be expressed in varied architectural styles (example at right).

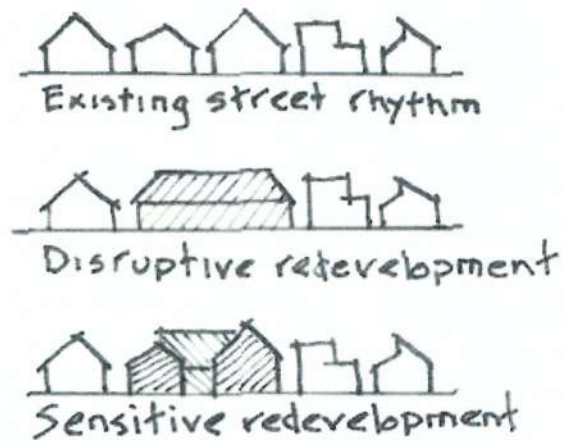
- d. Entrances should be located and designed to create building identity, to distinguish between individual units, and generally create visual interest for pedestrians. Well-considered use of architectural detail and, where appropriate, landscape treatment, should be used to emphasize primary entrances, and to provide "punctuation" in the overall street-scape treatment.
- e. Upper floor areas should be integrated into roof forms to help further mitigate the scale of new developments.
- f. Balconies should be designed as integral to the building. Overly enclosed balconies should be avoided, as these limit views and sunlight access.
- g. Building sidewalls should be designed to be attractive and interesting when viewed from adjacent buildings, street, and sidewalks through the use of materials, colours, textures, articulation, fenestration, and/or plant material.
- h. Creative use of landscaping or other screening should be used to reduce the perceived scale of adjacent development without compromising surveillance of public areas.
- i. Accessory structures should be compatible in architectural expression and quality of materials to main structures.



2) Neighbourliness/Compatibility

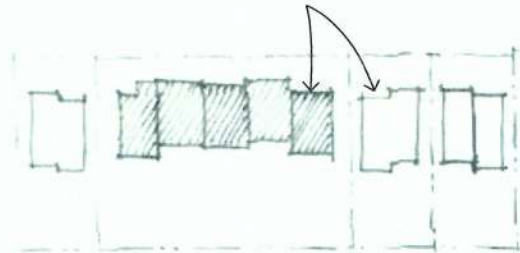
Objectives: To respond to the established form and architectural characteristics of surrounding buildings in order to achieve new buildings which are compatible with their context and minimize impacts on neighbours..

- a. New development should ensure a good fit with existing development by incorporating architectural features, details and building proportions that complement and respond to the existing architectural context, and by referring to distinctive and desirable architectural qualities of existing adjacent buildings in new development. Consideration should be given to the following aspect of development:
 - i. building articulation, scale and proportions
 - ii. similar or complementary roof forms
 - iii. building details and fenestration patterns
 - iv. materials and colour



- b. In some cases where a contextual architectural form and pattern does not exist, architectural character may be created rather than reflecting contextual precedent. In such cases, a well designed, new project can become a contribution to the context that may inform future development considerations.
- c. New townhouse development should transition in scale to existing residential buildings. Strategies to achieve this include but are not limited to the following:
 - i. A maximum one storey height difference between the end units of new street fronting developments and adjacent existing development should be achieved.
 - ii. The end units of new street fronting townhouse developments should be sited to match or transition to the front yard set back of adjacent existing residential buildings.
- d. The views from upper stories of new buildings should minimize overlook into adjacent private yards, especially in less intensive areas. Strategies to achieve this include but are not limited to the following:
 - i. Increased setback.
 - ii. Stagger windows to not align with adjacent, facing windows.
 - iii. Primary windows into habitable spaces, and also decks and balconies, should not face or be oriented to interior side-yards
 - iv. Locate and screen upper level windows, decks, and balconies to minimize overlook.
 - v. Use of skylights, translucent windows and clerestory windows are encouraged to minimize overlook of side yards.
 - vi. Landscape screening.
- e. Site, orient and design buildings to minimize shadowing impacts on adjacent properties.

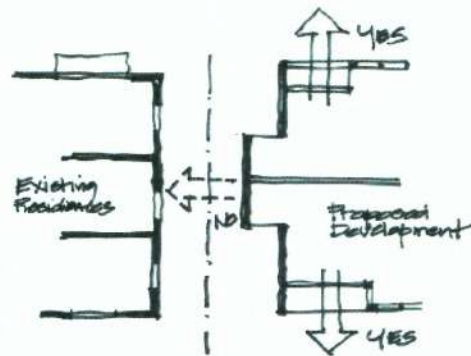
End units should be set back to match or transition to existing neighbouring houses



3) Mechanical equipment and service areas

Objective: To site and screen mechanical equipment and service areas to minimize impacts on neighbours and the public realm.

- a. Mechanical equipment, vents and service areas (e.g. for the collection of garbage or recycling) should be integrated with architectural treatment of the building, and screened with high quality, durable finishes compatible with building design.
- b. Mechanical equipment, vents and service areas should be located to minimize impacts on adjacent development by avoiding proximity to windows, doors and usable outdoor spaces.
- c. Location and installation of gas and electrical meters and their utility cabinets, as well as other mechanical or service apparatus should be carefully integrated into building and site design. Gas and electrical metres and utility cabinets on building frontages should be screened.



Orientation and placement of windows, balconies and porches to respect privacy of adjacent development

New developments should transition in height to existing adjacent residential buildings





High quality materials in buildings and landscape elements

4) Materials

Objective: To use materials which are high quality, weather gracefully, and contribute to the overall neighbourhood image.

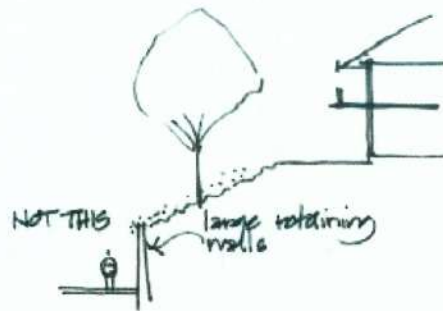
- a. An integrated, consistent range of materials and colours should be used, and variety between buildings and building frontages should be provided that is consistent with the overall streetscape.
- b. In general, new buildings should incorporate substantial, durable and natural materials into their facade to avoid a 'thin veneer' look and encourage graceful weathering of materials over time. Materials such as masonry, stone, natural wood, etc. are encouraged. Vinyl siding and large areas of stucco are discouraged and should generally be avoided.

4) Open Space Design

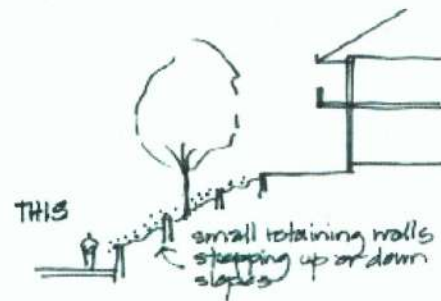
Objective: To enhance the quality of open space, support the urban forest, provide privacy where needed, emphasize unit entrances and pedestrian accesses, reduce storm water runoff, and to ensure that front and rear yards are not dominated by parking.

- a. Landscape treatments including use of front patios, accented paving treatments, fence and gate details, and other approaches are encouraged to help call out a residential entry and add interest along the street and sidewalk
- b. Areas within setbacks should incorporate plantings to create a green interface between buildings and streets
- c. Topographic conditions should be treated to minimize impacts on neighbouring development, for example by using terraced retaining walls of natural materials or by stepping a project to match the slope.
- d. Development should avoid significant reworking of existing natural grade.
- e. Where a building's ground floor is elevated above a pedestrian's eye level when on the sidewalk, landscaping should be used to help make the transition between grades. Some techniques for achieving this guideline include:

- i. rockeries with floral displays, live ground cover or shrubs.
- ii. terraces with floral displays, live ground cover or shrubs.
- iii. low retaining walls with raised planting strips
- iv. stone or brick masonry walls with vines or shrubs.
- f. Accessibility should be provided, where possible, in open space design.
- g. Landscape areas are encouraged to include a mixture of tree sizes and types
- h. Landscape on sites with significant natural features (e.g. significant trees, topography, rocky outcrops) should be located and designed to be sympathetic to the natural landscape.
- i. Consider planting tree species and other landscape plants that will tolerate a degree of drought and will survive the summer water restrictions and dry conditions of southern Vancouver Island.
- j. In considering tree placement along boulevards or in the front yard setback adjacent to street rights-of-way, consider tree sizes and spacing indicated by the City's specifications and policies for street trees.
- k. Landscaped screening along circulation and parking areas which abut lot lines is strongly encouraged, while maintaining site lines and enabling casual surveillance. Other surface parking areas should be screened with landscaping.
- l. Integration of landscaping to soften hardscape areas associated with vehicle circulation and parking is encouraged.
- m. Site design should integrate features to mitigate surface runoff of stormwater. This may include a variety of treatments (e.g. permeable paving for driveways and parking areas, landscape features designed for rainwater management, cisterns or green roofs, and/or other approaches) which are consistent with approved engineering practices and other city policies.
- n. Non-glare lighting should be provided at residential unit entrances, along pedestrian paths and common areas to contribute to safety. Lighting strategies that mitigate undue spill-over for adjacent residential units are strongly encouraged.



Avoid large retaining walls and significant reworking of natural grade.



Transition sensitively between grades.

Food Bearing, Pollinator and Native Plant Landscape Design Guidelines



Purpose

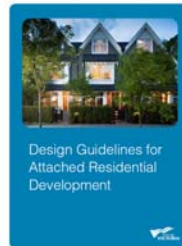
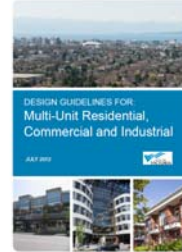
- Introduce new landscape design guideline to require new commercial, industrial and multi residential developments to provide native, adapted, food bearing or pollinator plants as part of their landscape plans for common areas.
- Advances key action from 2019 – 2022 Strategic Plan



Implementation Approaches: Residential Rental Tenure Zoning

Proposed Approach

- Seek direction to amend the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* and the *Design Guidelines for Attached Residential Development* to include the following landscape design:
 - A minimum of 30% of the plants provided in the landscape design for common areas should be native vegetation, adapted (non-invasive) species, food bearing plants or plants that provide pollinator habitats.
- 30% target provides flexibility with plant types and species to ensure year-round visual interest.



Residential Rental Tenure

Proposed Approach

Design guideline documents are identified in OCP and apply in the following areas:

- DPA 4: Town Centres
- DPA 5: Large Urban Villages
- DPA 6A: Small Urban Villages
- DPA 7A: Corridors
- DPA 10A: Rock Bay
- DPA 10B (HC): Rock Bay Heritage
- DPA 13: Core Songhees
- DPA 15F: Intensive Residential – Attached Residential Development
- DPA 16: General Form and Character (City-wide)



Residential Rental Tenure

OCP Amendment

- Update to existing design guideline documents requires an OCP Amendment Bylaw
- Proposed consultation with community associations, development industry, Urban Food Table, and the Accessibility Working Group.
- Staff will report back to Council with summary of feedback and proposed OCP amendment bylaw prior to first reading.
- Additional feedback through public hearing



Residential Rental Tenure

Recommendation

That Council:

1. Direct staff to amend the *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial* and the *Design Guidelines for Attached Residential Development* to include the following landscape design guideline:
 - *A minimum of 30% of the plants provided in the landscape design for common areas should be native vegetation, adapted (non-invasive) species, food bearing plants or plants that provide pollinator habitats.*
2. Direct staff to bring forward an Official Community Plan Amendment Bylaw to amend:
 - a. Development Permit Areas 4, 5, 6A, 7A, 10A, 10B, 13 and 16 with an updated reference to the revised *Design Guidelines For: Multi-Unit Residential, Commercial and Industrial*.
 - b. Development Permit Area 15F: Intensive Residential - Attached Residential Development with an updated reference to the revised *Design Guidelines for Attached Residential Development*.



Residential Rental Tenure

Recommendation

3. Consider consultation under Section 475(2)(b) of the *Local Government Act* and direct staff that no referrals of the Official Community Plan Amendment Bylaw are necessary to the Capital Regional District Board, Island Health, Songhees Nation, Esquimalt Nation, provincial or federal governments, Township of Esquimalt, District of Saanich and the District of Oak Bay.
4. Consider consultation under Sections 475(1) and 475(2) of the *Local Government Act* and direct staff to undertake consultation with the community including Community Association Land Use Committees and the development industry on the proposed amendments to the *Official Community Plan* through online consultation and direct email correspondence.
5. Refer the proposed *Official Community Plan* amendments to the Accessibility Working Group and the Urban Food Table for comments.

