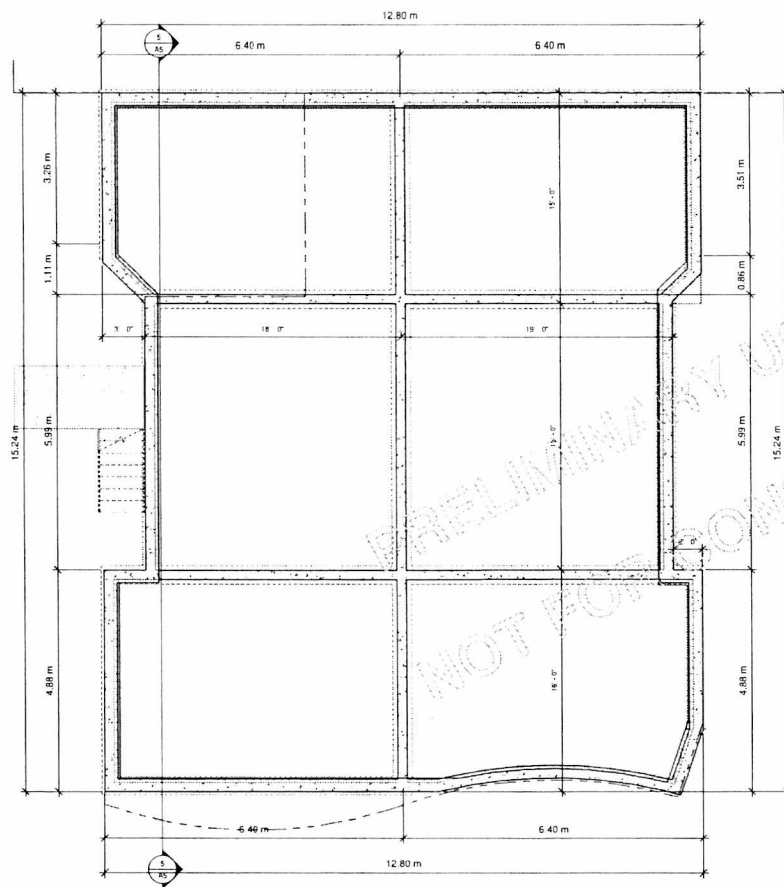
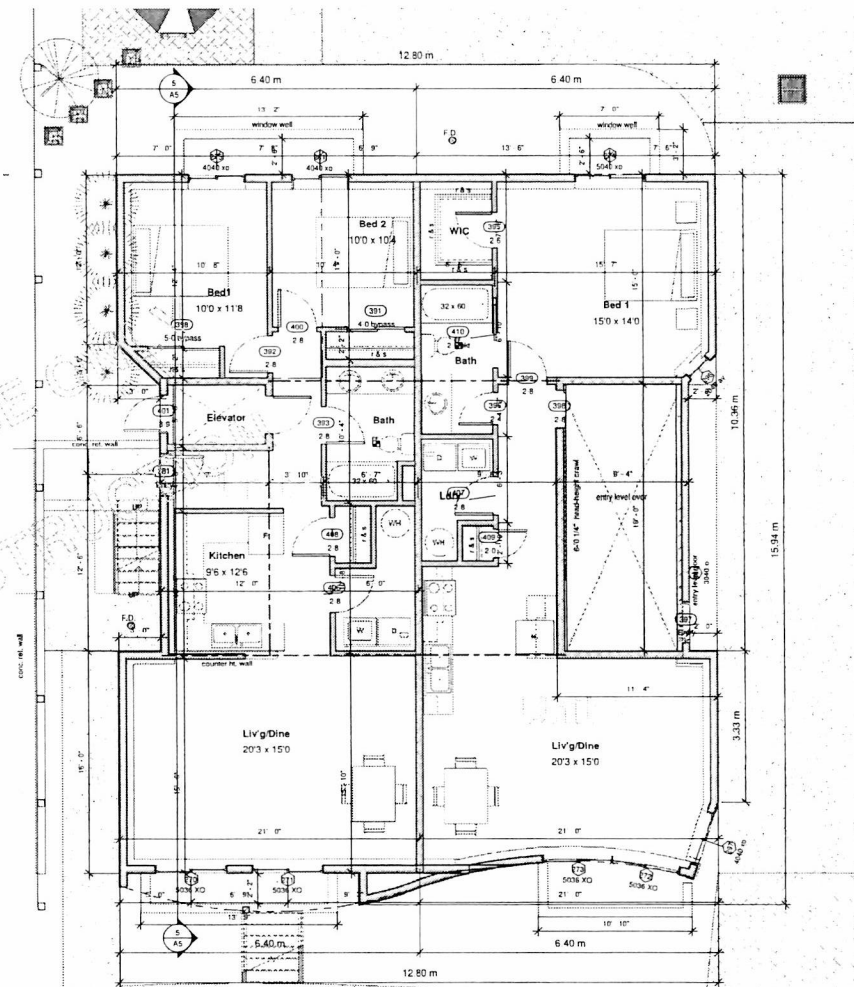


Revision Number	Revision Description	Revision Date
2	Zoning Plan Check clarifications/corrections, note clarifying garage basement AT grade not above, serves as patio and driveway.	26 AUG 2019



① Foundation
1/4" = 1'-0"



② Basement Floor
1/4" = 1'-0"
1649 sq ft
8'0" ceiling ht
6'8" head ht
see section/elevs. bsmt cell g 1.21m above avg grade

Proposed Houseplex for:

Raj & Sunny Sihota
334 Dallas Road, Victoria, BC

McNEIL BUILDING DESIGNS LIMITED

Raj & Sunny Sihota
1848 University Ave.
Victoria, BC V8M 1Y4
Phone: (250) 381-7100
www.mcnildesigns.com

SEAL MUST
APPEAR HERE TO
BE VALID

DATE: DEC 2018
BY: RAM
REV: RVT

A2

SHEET A2 OF A2

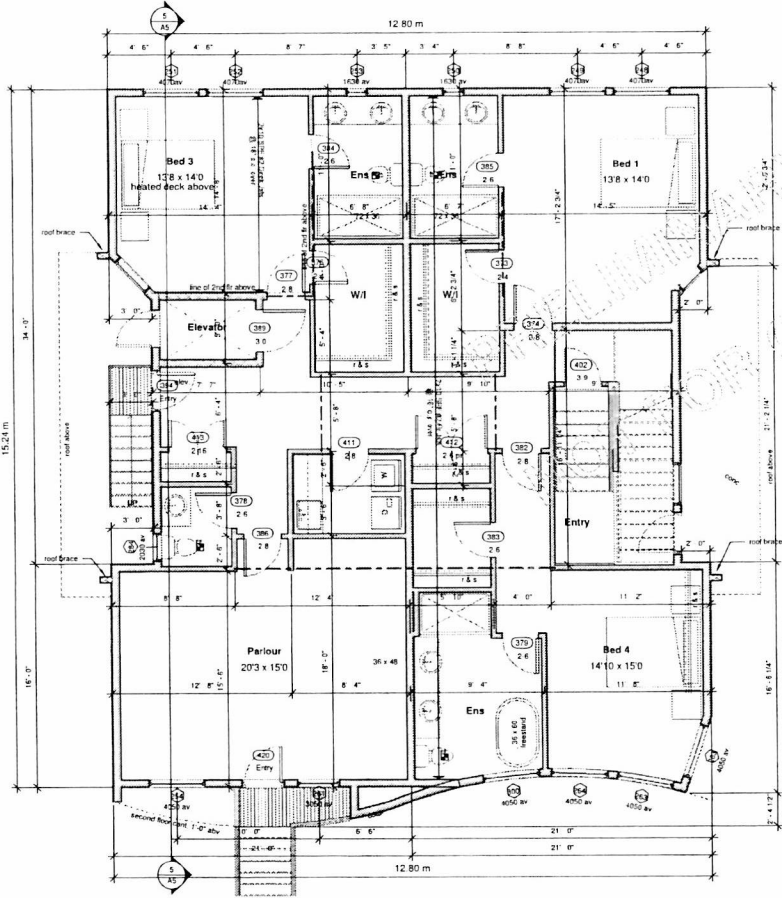
Received
City of Victoria

AUG 26 2019

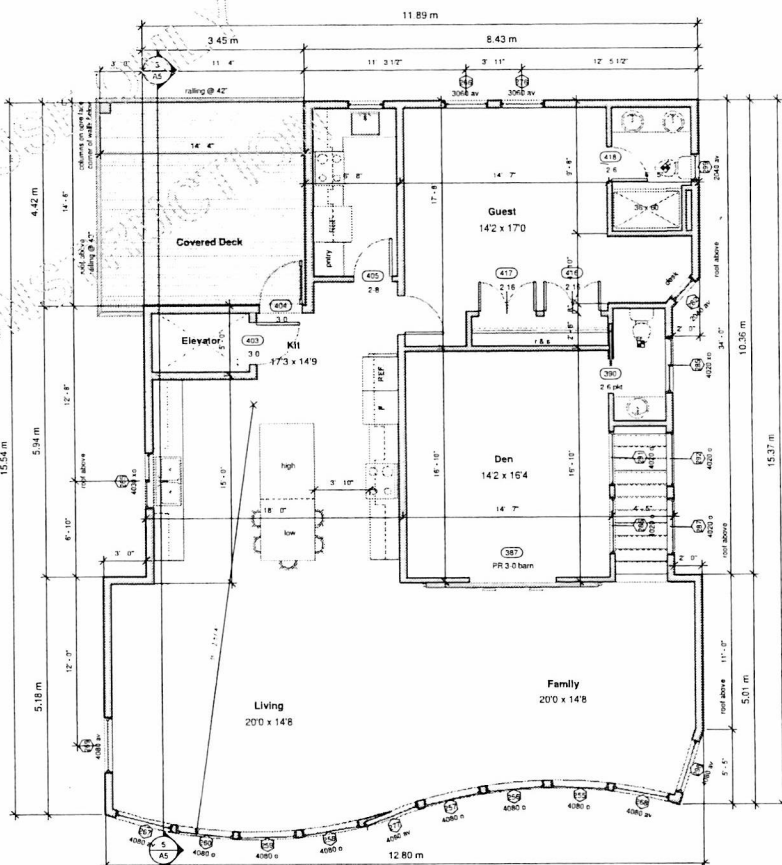
Planning & Development Department

D:\PROJECTS\334 Dallas Road\334 Dallas Road\334 Dallas Road.dwg
26 AUG 2019 10:08:12 AM

Revision Number	Revision Description	Revision Date
2	Zoning Plan Check clarifications/corrections, note clarifying garage basement AT grade not above, serves as patio and driveway.	26 AUG 2019



1 Main Floor
1/4" = 1'-0"
1893 sf
8'0 ceiling ht
6'8 head ht



2 Second Floor
1/4" = 1'-0"
1751 sf
10'0 ceiling ht
8'8 head ht

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City of Victoria

AUG 26 2019

Plan is to be used for the City of Victoria
Recreation and Services Division

Proposed Houseplex for
Raj & Sunny Sihota
334 Dallas Road, Victoria, BC



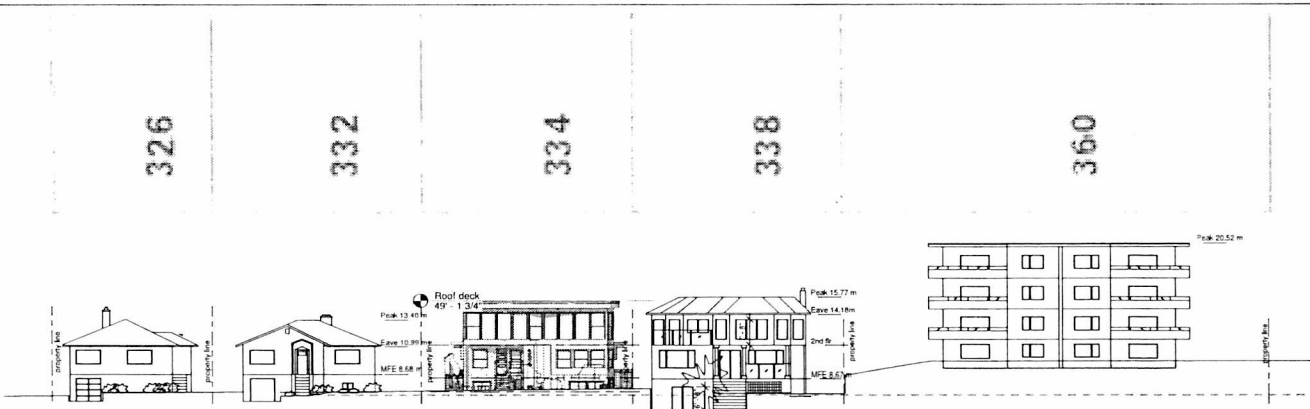
1344 Lorain Lane
Victoria, B.C. V8L 1A1
Phone: 250-361-1807
Fax: 250-361-1807

SEAL MUST
APPEAR HERE TO
BE VALID

DATE: DEC 2018
BY: RAM/MS
REV: RVT

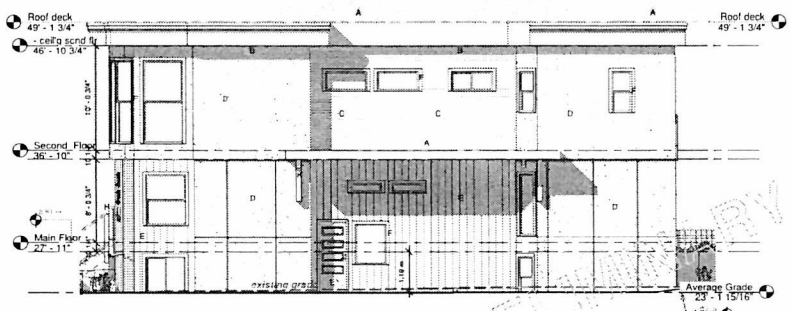
A3

SHEET A3 OF A3

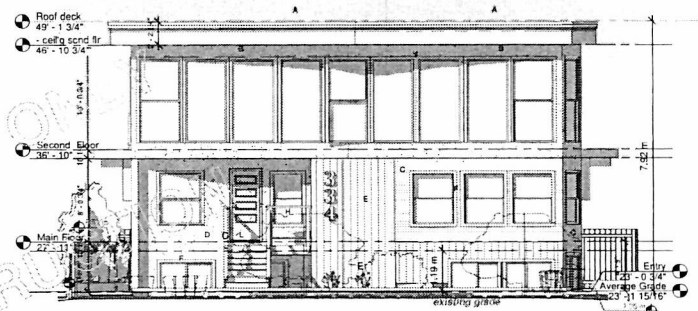


Revision Schedule		
Revision Number	Revision Description	Revision Date
1	Amenity space added, ext finishes revised (rock removed)	12 MAY 2019
2	Zoning Plan Check clarifications/corrections, note clarifying garage basement AT grade not above, serves as patio and driveway.	26 AUG 2019

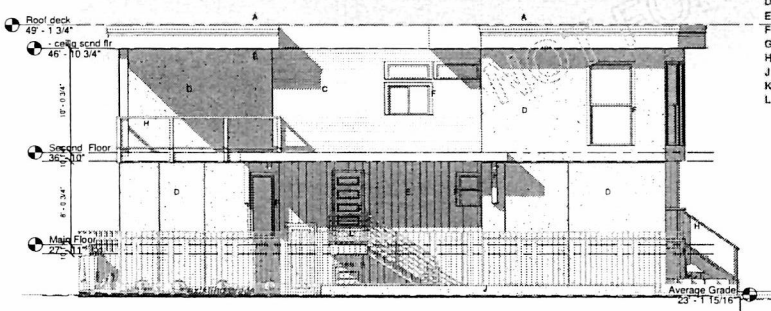
5 Street Scap
1/16" = 1'-0"



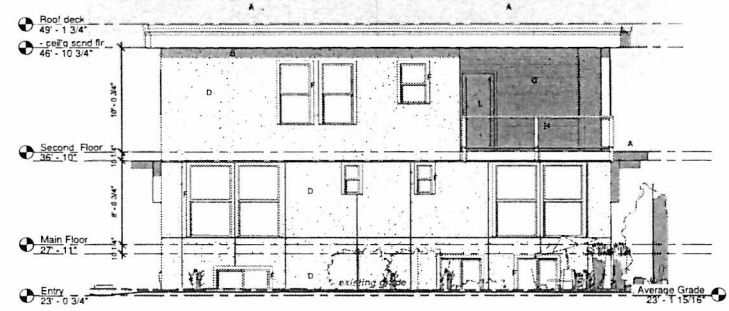
2 Right (east) Elevation
3/16" = 1'-0"



1 Front (south) Elevation
3/16" = 1'-0"



3 Left (west) Elevation
3/16" = 1'-0"



4 Rear (north) Elevation
3/16" = 1'-0"

- A To(d) - On Roofing Membrane
- B Vented Aluminum SOFFIT
- C 1x3 Clear CEDAR Siding
- D Acrylic STUCCO
- E Corrugated Metal Siding - vertical
- F 1x4 Door & Window TRIM
- G 2x10 BELLY BAND w/ Drip Cap
- H Metal or Tempered Glass RAILING
- J Parged CONCRETE
- K 4x4 GABLE BRACE
- L Natural Stained Wood DOOR

Proposed Houseplex, for:
Raj & Sunny Sihota
 334 Dallas Road, Victoria, BC

McNEIL BUILDING DESIGNS LIMITED
 800 McNeil Avenue, Suite 100
 Victoria, BC V8V 1L5
 Phone: 250-360-7807
 Fax: 250-360-7808

SEAL MUST
 APPEAR HERE TO
 BE VALID

DATE: DEC 2018
 BY: RAM
 FOR: RVT

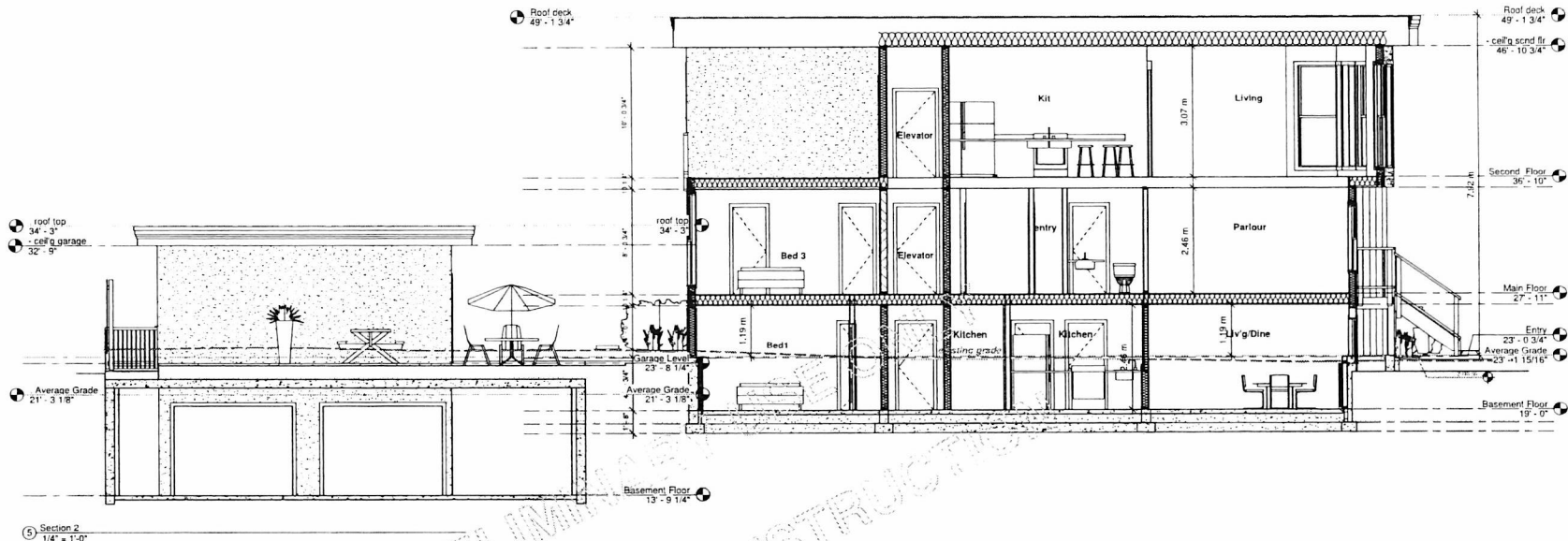
A4

SHEET A4 OF A4

AUG 26 2019

Stamp: [illegible]

Revision Number	Revision Description	Revision Date
2	Zoning Plan Check clarifications, corrections, note clarifying garage basement AT grade not above, serves as patio and driveway.	26 AUG 2019



LIST OF DETAILS & SECTION NOTES

- 1 FOUNDATION WALL AT SLAB
- 2 BASE OF WALL/FOUNDATION
- 4 RIM JOIST
- 5 WATER SHEDDING ROOF/WALL
- 6 WATERPROOF MEMBRANE ROOF/WALL
- 7 CANTILEVERED FLOOR
- 8 EXTERIOR CORNER
- 9 INTERIOR CORNER
- 10 CLADDING TRANSITION
- 11 WINDOW HEAD
- 12 WINDOW JAMB
- 13 WINDOW SILL
- 14 DOOR SILL - PROTECTED MEMBRANE PEDESTRIAN SURFACE
- 15 DOOR SILL - EXPOSED MEMBRANE PEDESTRIAN SURFACE
- 16 ACCESSIBLE DOOR SILL - PROTECTED MEMBRANE PEDESTRIAN SURFACE
- 17 ACCESSIBLE DOOR SILL - EXPOSED MEMBRANE PEDESTRIAN SURFACE
- 23 EXTERIOR ELEMENT - COLUMN
- 27 WALL EXHAUST VENT
- 28 ELECTRICAL FIXTURES
- 29 PIPES

- 30 R40 BATT INSULATION
6 mil poly V.B.
5/8" GWB
- 31 All interior walls to be 1/2" GWB
with core of 2x4 STUDS @ 16" o.c.
EXCEPT WHERE SHOWN ON PLAN
- 32 TYPICAL EXTERIOR WALL
HARDIPANEL w/ battens
HANDPLANED SIDING or STONE Finish
2 layers 35mm BUILDING PAPER
1/2" ISOLATING (Water Paper)
1/8" RESAWN (Satisfactory)
2x4 STUDS @ 16" o.c.
R20 batt INSULATION
6 mil poly V.B.
1/2" GWB
- 33 TYPICAL FLOOR
CARPET & UNDERLAY, LINO
HARDWOOD or CERAMIC TILE finish
5/8" TAG PLYWOOD (OSB)
2x10 SPP42 floor joists
(See Framing on Plans)
R20 batt INSULATION
5/8" GWB type "X"
1/2" GWB on rafter
(R20, only new GARAGE use 5/8" GWB)
- 34 CRAWL SPACE
2" concrete seal coat
6 mil poly M.B. & V.B.
4" min compacted granular FILL
note: 2" min to underside of joists
for service access
- 35 4" concrete SLAB
6 mil poly M.B. & V.B.
4" min compacted granular FILL
(for poly required for Garage Slab)
- 36 DEMISING WALL (1/2" CBCG W24)
2 layers 1/2" GWB type "X" one side
R12 batt INSULATION
2x4 STUDS staggered studs @ 16" o.c. on
2x4 top & bottom plates
5/8" GWB type "X" other side
- 37 DEMISING FLOOR (1/2" CBCG W24)
CARPET & UNDERLAY, LINO
HARDWOOD or CERAMIC TILE finish
5/8" TAG PLYWOOD (OSB)
2x10 SPP42 floor joists
(See Framing on Plans)
R20 batt INSULATION
5/8" GWB type "X"
1/2" GWB on rafter
note: 1/2" max to u.s. joist
for search ref. "crawl space"
2" min for service access

CRAWL SPACE
2" concrete seal coat
6 mil poly M.B. & V.B.
4" min compact granular fill
Note: 1/2" max to u.s. joist
for search ref. "crawl space"
2" min for service access

DECK OVER HEATED SPACE
60 mil DOWNSIDEKING
5/8" TAG PLYWOOD
2x4 PILING @ 24" o.c.
2x10 SPP42 floor joists @ 16" o.c.
(See Framing on Plans)
R20 batt INSULATION
6 mil poly V.B.
1/2" GWB on rafter

DEMISING WALL (1/2" CBCG W24)
5/8" GWB type "X"
R12 batt INSULATION
2x4 STUDS @ 16" o.c.
1/2" min thickness sheathing
2x4 STUDS @ 16" o.c.
R12 batt INSULATION
5/8" GWB type "X"

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City of Victoria

AUG 26 2019

City of Victoria Development Department
Planning and Services Division

Proposed Houseplex for
Raj & Sunny Sihota
334 Dallas Road, Victoria, BC

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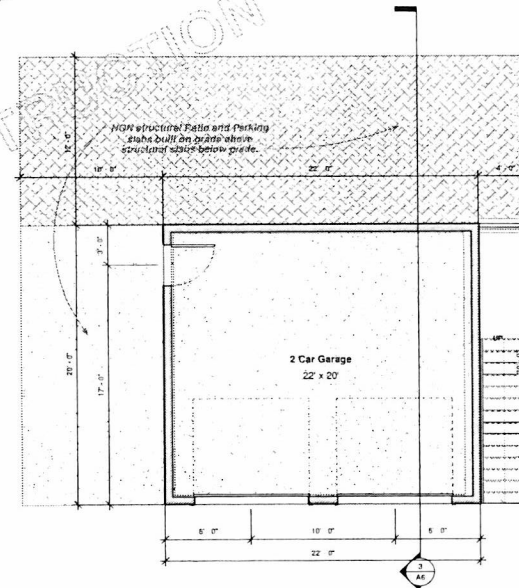
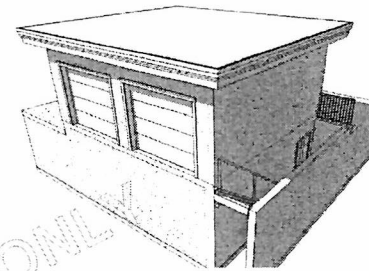
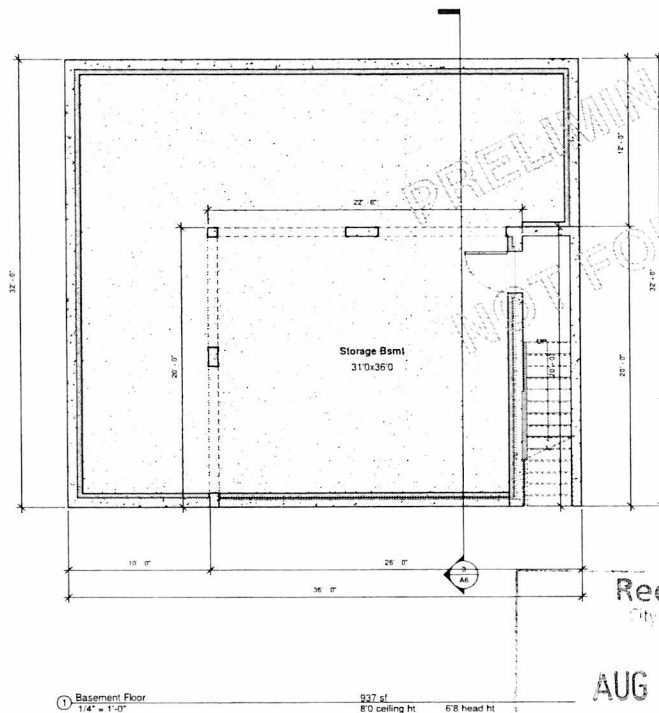
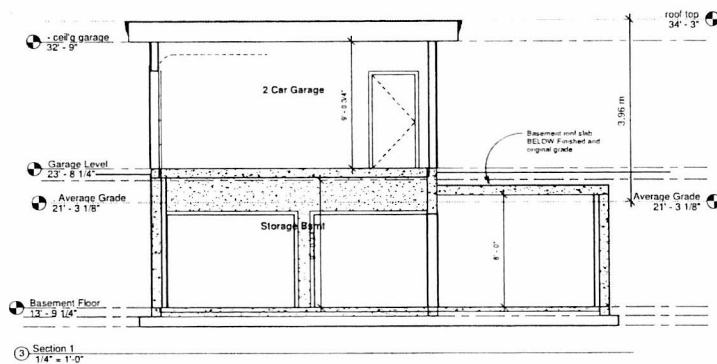
184 Lantz Lane
Victoria, BC V8L 1S8
Phone: 250-367-1547
info@mcneilbuilding.com

SEAL MUST
APPEAR HERE TO
BE VALID

PH: DEC 2018
BY: RAM
REV: 001

A5

SHEET A5 OF A5



Revision Schedule		
Revision Number	Revision Description	Revision Date
1	Note to confirm roof slab of basement is AT grade and not ABOVE grade, and is amenity patio and parking surfaces.	11 JUL 2019
2	Grades recalculated, variance for ht due to skewed avg grade.	26 JUL 2019

Proposed Garage for
Mr. Raj & Sunny SIHOTA
 at: 334 Dallas Road, Victoria, BC



McNEIL BUILDING DESIGNS LIMITED
 800-461-1111
 1000 Lakeshore Dr. Unit 100
 Victoria, BC V8V 1A6
 Phone: 250-360-7007
 Fax: 250-360-7007

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10/11 OCT 2018

10/14 RAM

10/15 RVT

A6

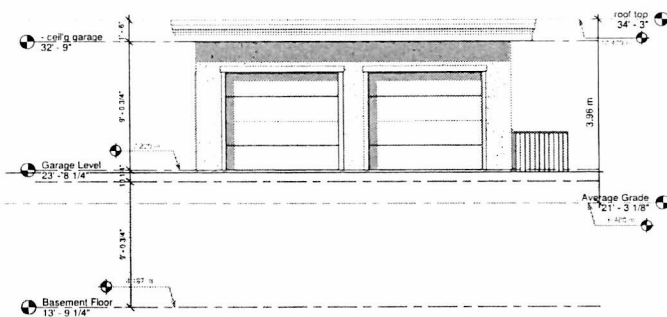
SHEET A6 OF A6

Received
 City of Victoria

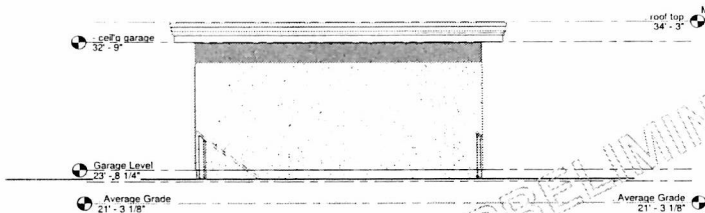
AUG 26 2019

Planning & Development Department
 Development Services Division

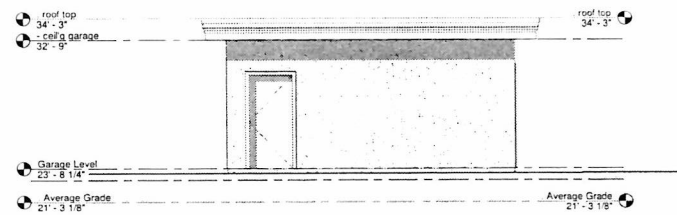
Revision Schedule		
Revision Number	Revision Description	Revision Date
1	Note to confirm roof slab of basement is AT grade and not ABOVE grade, and is amenity patio and parking surfaces.	11 JUL 2019
2	Grades recalculated, variance for ht due to skewed avg grade.	26 AUG 2019



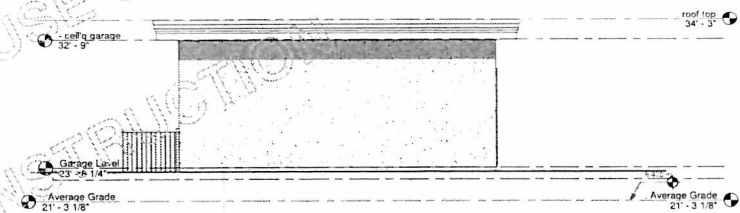
③ Front (East) Elevation
1/4" = 1'-0"



④ Right (North) Elevation
1/4" = 1'-0"



⑤ Left (South) Elevation
1/4" = 1'-0"



⑥ Rear (West) Elevation
1/4" = 1'-0"

- A Fiberglass Laminated SHINGLES
- B 2x12 Fascia Board for HIDDEN GUTTER
- 4x4 CANT STRIP w/ Flashing
- C 2x10 Combed face, pre-primed kiln dried SPF BARGE BOARD w/ 1x4 Shadow Line
- D STUCCO Finish w/ Reveal
- E HARDIEPANEL SIDING w/ Easy Trim
- F 1x3 Clear CEDAR SIDING
- G 2x10 Combed face, pre-primed kiln dried
- H SPF BELLY BAND w/ Drip Cap
- J 1x4 CORNER BOARD
- K 1x4 Door & Window TRIM
- L Metal RAILING w/ Tempered & Laminated Glass (prefer powder black)
- M Parged CONCRETE

PRELIMINARY USE ONLY
NOT FOR CONSTRUCTION

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City of Victoria

AUG 26 2019

Planning & Development Department
Development Services Division

Proposed Garage for:
Mr. Raj & Sunny SIHOTA
at: 334 Dallas Road, Victoria, BC

McNEIL BUILDING DESIGNS LIMITED
104 McNEIL ASTRICH ROAD EAST
104 LAMBERT, B.C. V9L 1Y1
Phone: 250-361-1011
info@mcneilbuildingdesigns.com

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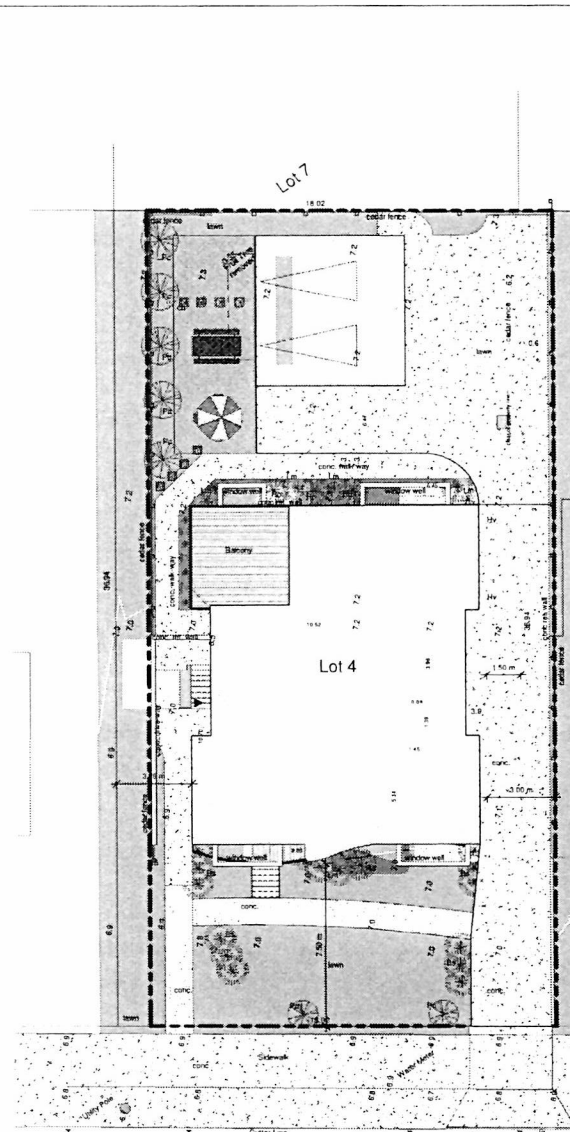
DATE: OCT 2018
BY: RAM
REV: RVT/KW
SCALE: A7
SHEET: A7 OF A7

PLANT LIST				
SYMBOL	QTY.	BOTANICAL NAMES	COMMON NAMES	SIZE
TREES				
Pc	2	Prunus Cerasifera	Cherry Plum	2.0 cm cal.
SHRUBS & PERENNIALS				
Bs	12	Buxus Sempervirens	Common Boxwood	#2 Pot
Lm	6	Lavandula Munstead	English Lavender	#1 Pot
Rv	5	Rhodo Variety	Rhododendron	#5 Pot
VINES & GROUND COVER				
Hv	4	Hebe Variety	Hebe	#1 Pot

NOTES

- Plant material, insulation and maintenance to conform to BCSLA/BCLNA standard (current edition).
- All growing medium to comply to BCLSA/BCLNA standard designation "1P - Level-1 Well Groomed Areas."
- All Planting areas to be covered with well aged bark mulch application of 75mm (minimum).
- Underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved. Install heads to reduce sprinkler coverage on sidewalks, parking and adjacent properties and roads. Adjust irrigation seasonally. Limit watering times between 11:00pm and 6:00am. Irrigation to be designed to water different areas of the landscape based on watering needs. Irrigation design to be sensitive to slope factors of site.
- Fencing to be built as shown on plan; Replacement of fencing where existing is in poor condition. Max height not to exceed allowable by the municipality. All fencing to be treated with two coats of semi-transparent stain on cedar fencing.

LEGEND	
SOFTSCAPE	
	Planting Area
HARDSCAPE	
	Concrete
	Concrete unit paving, charcoal/shadow, all sizes



① Landscape Plan
1:100

Dallas Road

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City of Victoria

AUG 26 2019

Planning & Development Department
Development Services Division

Revision Schedule		
Revision Number	Revision Description	Revision Date
1	Amenity space added ext finishes revised (rock removed)	12 MAY 2019

Proposed Houseplex for:

Raj & Sunny Sihota
334 Dallas Road, Victoria, BC

McNEIL BUILDING DESIGNS LIMITED
1000 Lonsdale Ave.
Victoria, BC V8W 2E7
Phone: 250-383-1111
www.mcneilbuildingdesigns.com

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DATE: DEC 2018
BY: Author
FOR: RVT
SCALE: L1
SHEET: L1 OF L1