



## Council Report

For the Meeting of February 13, 2020

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**To:** Council **Date:** January 30, 2020

**From:** Karen Hoese, Director, Sustainable Planning and Community Development

**Subject:** **Update Council Report for Rezoning Application No. 00681 and Development Permit with Variances Application No. 00104 for 1309 & 1315 Cook Street, 1100-1120 Yates Street and 1109-1115 Johnson Street**

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### RECOMMENDATION

1. That Council give first and second reading of the Zoning Regulation Bylaw Amendment No. 20-015 (Amendment No. 1214) and Official Community Plan Amendment Bylaw No. 20-016, and give first, second, and third readings to Housing Agreement (1109 and 1115 Johnson Street, 1100, 1102, 1108 and 1120 Yates Street, 1309 and 1315 Cook Street) Bylaw No. 20-017.
2. That Council, after giving notice and allowing an Opportunity for Public Comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00681, if it is approved, consider the following revised motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 00104 for 1309 & 1315 Cook Street, 1100-1120 Yates Street and 1109-1115 Johnson Street, in accordance with:

1. Plans date stamped January 24, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
  - i. increase the height of the building on Parcel A from 40m to 42.76m for a rooftop structural wall projection
  - ii. **reduce the required number of residential parking spaces for the twelve-storey, mixed-use building on Parcel A from 87 to 70**
  - iii. **reduce the required number of visitor parking spaces for the twelve-storey, mixed-use building on Parcel A from 11 to 6**
  - iv. **reduce the required number of commercial parking spaces for the twelve-storey, mixed-use building on Parcel A from 21 to 0**
  - v. **reduce the required number of residential parking spaces for the six-storey, multi-unit residential building on Parcel B from 102 to 59**
  - vi. **reduce the required number of visitor parking spaces for the six-storey, multi-unit residential building on Parcel B from 10 to 0**
  - vii. **reduce the required number of commercial parking spaces for the**

- existing Victoria Professional Building on Parcel C from 120 to 0
- viii. reduce the short-term commercial bicycle parking spaces on Parcel A from 11 to 10.
3. The Development Permit lapsing two years from the date of this resolution."

## EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update regarding the Rezoning and Development Permit with Variances Applications for the properties located at 1309 & 1315 Cook Street, 1100-1120 Yates Street and 1109-1115 Johnson Street, considered by Council at the Committee of the Whole meeting on October 3, 2019. The proposal is to rezone from the C-1 Zone, Limited Commercial District, and the R3-1 Zone, Multiple Dwelling District, to a new zone in order to increase the overall density to 3.01:1 floor space ratio (FSR) and construct a twelve-storey, mixed-use building, which would consist of commercial uses on the ground level, a day care and residential dwelling units on the second storey and residential uses above. A six-storey, multi-unit residential building is being proposed on Johnson Street and the existing five-storey Victoria Professional Building fronting Yates Street would be retained. An amendment to the *Official Community Plan* (OCP, 2012) is required to facilitate this development.

In accordance with Council's motion of October 10, 2019, included below, the necessary conditions to advance Rezoning Application No. 00681 to a Public Hearing have been fulfilled. The motion from the September 19, 2019 Council meeting is as follows:

### Rezoning Application No. 00681

*That Council instruct staff to prepare the necessary Official Community Plan Amendment Bylaw in accordance with Section 475 of the Local Government Act and the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00681 for 1309 & 1315 Cook Street, 1100-1120 Yates Street and 1109-1115 Johnson Street, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:*

- a. *Preparation and execution of the appropriate legal agreements in order to secure the following:*
  - i. *that future strata corporations could not pass bylaws that would prohibit or restrict the rental of units to non-owners, in the 13 storey building, to the satisfaction of the Director of Sustainable Planning and Community Development;*
  - ii. *104 dwelling units sold at 10% below-market value under BC Housing's Affordable Home Ownership Program and ensure the unit types include 12 studios, 55 one bedroom, 35 two-bedroom and 2 three-bedroom dwelling units of to the satisfaction of the Director of Sustainable Planning and Community Development;*
  - iii. *a daycare with a minimum floor area of 362m<sup>2</sup> is provided in the thirteen-storey building for a minimum of ten years to the satisfaction of the Director of Sustainable Planning and Community Development;*
  - iv. *a Statutory Right-of-Way of 2.45m on Johnson Street to the satisfaction of the Director of Engineering and Public Works;*
  - v. *construction of a bus shelter on Johnson Street to the satisfaction of BC Transit and the Director of Engineering and Public Works;*
  - vi. *construction of a traffic bulb on the northeast corner of Cook and Yates Street to the satisfaction of the Director of Engineering and Public Works;*
  - vii. *undergrounding the BC Hydro lines and associated infrastructure along the Yates Street frontage and that the applicant cover the City's portion of the cost under BC*

- Hydro's Beautification Program to the satisfaction of the Director of Engineering and Public Work;*
- viii. purchase of two car share vehicles with assigned parking spaces on-site, 217 car share memberships (one per dwelling unit), an on-site bike share program consisting of ten electric bicycles, 48 electric charging stations in the long-term bicycle storage rooms, and 15 commercial parking spaces assigned to residential visitors after business hours and on weekends to the satisfaction of the Director of Engineering and Public Work; and*
  - ix. that the applicant enter a reciprocal access agreement to allow pedestrians and vehicles to cross Parcel C in order to access the underground parkade on Parcel A and B.*
  - b. That the applicant explore opportunities to retain the Horse Chestnut tree on the Cook Street boulevard as part of the overall project to the satisfaction of the Director of Parks, Recreation and Facilities.*
  - c. That the City enter into an agreement with BC Housing and the applicant to ensure that 10% of the current fair market value of each unit sold under BC Housing's Affordable Home Ownership Program (secured as a second mortgage and registered on title) is allocated to the City at the time of resale of a dwelling unit and that the amenity contributions are secured in the City's Affordable Housing Reserve Fund to the satisfaction of the Director of Sustainable Planning and Community Development.*
  - d. That Council determine, pursuant to Section 475(1) of the Local Government Act that the affected persons, organizations and authorities are those property owners and occupiers within a 200m radius of the subject properties; that the appropriate consultation measures would include a mailed notice of the proposed OCP Amendment to the affected persons; posting of a notice on the City's website inviting affected persons, organizations and authorities to ask questions of staff and provide written or verbal comments to Council for their consideration.*
  - e. That Council, having provided the opportunity for consultation pursuant to Section 475(1) of the Local Government Act with persons, organizations and authorities it considers will be affected, specifically, the property owners and occupiers within a 200m radius of the subject properties, have been consulted at a Community Association Land Use Committee (CALUC) Community Meeting, consider whether the opportunity for consultation should be early and ongoing, and determine that no further consultation is required.*
  - f. That Council, specifically consider whether consultation is required under Section 475(2)(b) of the Local Government Act, and determine that no referrals are necessary with the Capital Regional District Board, Councils of Oak Bay, Esquimalt and Saanich, the Songhees and Esquimalt First Nations, the School District Board and the provincial and federal governments and their agencies due to the nature of the proposed amendment.*
  - g. That Council give first reading to the Official Community Plan Amendment Bylaw.*
  - h. That Council consider the Official Community Plan Amendment Bylaw in conjunction with the City of Victoria 2017-2021 Financial Plan, the Capital Regional District Liquid Waste Management Plan and the Capital Regional District Solid Waste Management Plan pursuant to Section 477(3)(a) of the Local Government Act, and deem those Plans to be consistent with the proposed Official Community Plan Amendment Bylaw.*
  - i. That Council give second reading to the Official Community Plan Amendment Bylaw.*
  - j. That Council refer the Official Community Plan Amendment Bylaw for consideration at a Public Hearing.*

## Development Permit with Variances Application No. 00104

*That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00681, if it is approved, consider the following motion:*

*That Council authorize the issuance of Development Permit with Variances Application No. 00104 for 1309 & 1315 Cook Street, 1100-1120 Yates Street and 1109-1115 Johnson Street, in accordance with:*

- 1. Plans date stamped September 12, 2019.*
- 2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:*
  - a. increase the height of the building on Parcel A from 40m to 42.76m for a rooftop structural wall projection; and*
  - b. reduce the long-term commercial bicycle parking spaces from 5 to 0.*
- 3. The Development Permit lapsing two years from the date of this resolution.*

## **COMMENTS**

### Community Input on OCP Amendment

On October 3, 2019, Council directed staff to consult with property owners and occupants within 200m of the properties at 1109 and 1115 Johnson Street, 1100, 1102, 1108 and 1120 Yates Street, 1309 and 1315 Cook Street through a mail-out and public notices on the City's website. To date, the City has received correspondence from 18 members of the public (attached). Additional comments received prior to the Public Hearing will be included in the Council Agenda package at that time.

### Reduction in the Number of Storeys

The proposed mixed-use building on Parcel A was originally considered a thirteen-storey building as a result of a mezzanine level (considered a storey in the *Zoning Regulation Bylaw*) associated with the dwelling units on the second floor. The applicant removed the mezzanine level to allow for a daycare to occupy the entire second floor, and as a result the mixed-use building is now considered a twelve-storey building. The proposed amendment to the *Official Community Plan* is therefore to allow for a building up to twelve storeys on Parcel A instead of thirteen storeys as originally proposed.

### Parking Variances

In the Committee of the Whole report, staff recommended that given the unique underground parking layout resulting from the proposed development areas, the vehicle parking requirements should be embedded in the new zone. Further evaluation was given to this approach and it was determined by staff that it would be best to handle the parking shortfall through a variance process. The reason for this is to ensure that if the proposal is approved by Council, but for unforeseen circumstances it does not get built then a different proposal for the site would still have to comply with Schedule C: Off-street Parking.



### On-site Landscaping and Underground Parkade

The applicant made some changes to the underground parkade, which resulted in the following improvements to the plaza area:

- increased size of the children's play area from 120.77m<sup>2</sup> to 198.81m<sup>2</sup>
- improved exit into the plaza from the parkade
- enhanced sightlines and accessibility around the play area and from the parkade access
- revised planting list to ensure 30% of all soft landscaping are native and edible plant species
- increased amount of soft landscaping between the ground-floor patios on the south side of the six-storey, multi-unit residential building and the children's play area.

### Construction Phasing Plan

The applicant has prepared a construction phasing plan showing which buildings and associated on-site landscaping would be constructed in Phase 1 and Phase 2, should Council approve the rezoning and development permit with variances applications. The phasing plan is attached to the report for Council's consideration as well.

### Public Hearing Conditions

With regard to the pre-conditions that Council set in relation to these applications, staff can report that the applicant has executed the following legal agreements:

- a housing agreement to ensure that future strata corporations could not pass bylaws that would prohibit or restrict the rental of units to non-owners, in the twelve-storey building
- Section 219 Covenants and Statutory Rights-of-Way securing the following items:
  - 104 dwelling units sold at 10% below-market value under BC Housing's Affordable Home Ownership Program and ensuring the unit types include 12 studios, 55 one bedroom, 35 two-bedroom and 2 three-bedroom
  - a daycare with a minimum floor area of 362m<sup>2</sup> is provided in the twelve-storey building for a minimum of ten years
  - a Statutory Right-of-Way of 2.45m on Johnson Street
  - construction of a bus shelter on Johnson Street to the satisfaction of BC Transit
  - construction of a traffic bulb on the northeast corner of Cook and Yates Street
  - undergrounding the BC Hydro lines and associated infrastructure along the Yates Street frontage and that the applicant cover the City's portion of the cost under BC Hydro's Beautification Program
  - purchase of two car share vehicles with assigned parking spaces on-site, 217 car share memberships (one per dwelling unit), an on-site bike share program consisting of ten electric bicycles, 48 electric charging stations in the long-term bicycle storage rooms, and 15 commercial parking spaces assigned to residential visitors after business hours and on weekends
  - reciprocal access to allow pedestrians and vehicles to cross Parcel C in order to access the underground parkade on Parcel A and B.

The recommendation provided for Council's consideration contains the appropriate language to advance these applications to a Public Hearing and an Opportunity for Public Comment.

Respectfully submitted,



Leanne Taylor  
Senior Planner  
Development Services Division



Karen Hoes, Director  
Sustainable Planning and Community  
Development Department

Report accepted and recommended by the City Manager.

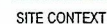
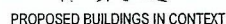


Date:

Feb 10, 2020

**List of Attachments**

- Attachment A: Plans date stamped January 24, 2020
- Attachment B: Correspondence from OCP notice mail out.

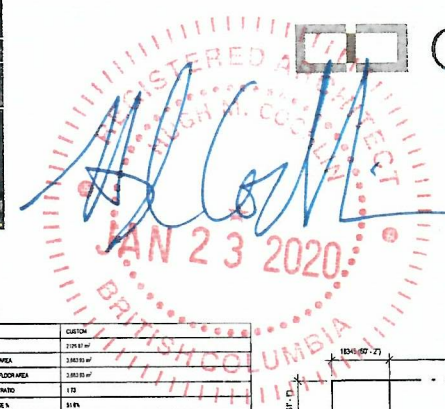


## ARCHITECTURE + INTERIORS INC

1 WEST 7TH AVENUE  
VANCOUVER BC V5Y 1L4 CANADA

P604.879 0118  
F604.879 1485  
www.proscenium.ca

CHARD



| REZONING & DEVELOPMENT PERMIT SHEET LIST |  |
|--|--|
| Sheet Number                             | Sheet Name                                 |
| A000                                     | COVER PAGE                                 |
| A050                                     | EXISTING SITE PLAN                         |
| A060                                     | 3D VIEWS                                   |
| A061                                     | 3D VIEWS                                   |
| A062                                     | CITY CONTEXT VIEWS                         |
| A100                                     | SITE PLAN                                  |
| A101                                     | SITE CONTEXT                               |
| A102                                     | SHADOW STUDIES                             |
| A103                                     | BUILDING GRADE CALCULATIONS                |
| A104                                     | OPEN SITE SPACE AND SITE COVERAGE DIAGRAMS |
| A121                                     | OVERALL LEVEL 2 PLAN                       |
| A122                                     | OVERALL LEVEL 3 PLAN                       |
| A123                                     | OVERALL LEVEL 4-5 PLAN                     |
| A124                                     | OVERALL LEVEL 6 PLAN                       |
| A125                                     | OVERALL LEVEL 7-8 PLAN                     |
| A126                                     | OVERALL LEVEL 9 PLAN                       |
| A127                                     | OVERALL LEVEL 10 TO ROOF                   |
| A200                                     | LEVEL P3                                   |
| A201                                     | LEVEL P2                                   |
| A202                                     | LEVEL P1                                   |
| A203                                     | LEVEL P1 UPPER PARKING                     |
| A204                                     | TOWER - LEVEL 1                            |
| A205                                     | TOWER - LEVEL 2                            |
| A206                                     | TOWER - LEVEL 3 & 4-5                      |
| A207                                     | TOWER - LEVEL 7-11 & LEVEL 12              |
| A208                                     | ROOF DECK & MECH PENTHOUSE                 |
| A209                                     | 6 STOREY - LEVEL 1                         |
| A210                                     | 6 STOREY - LEVELS 2 TO 3                   |

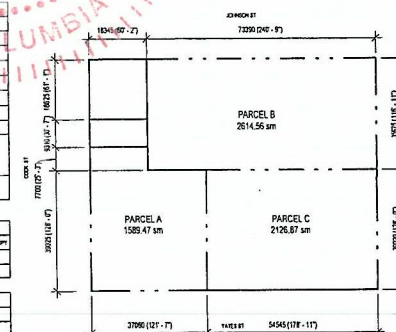
| REZONING & DEVELOPMENT PERMIT SHEET LIST |                                  |
|--|----------------------------------|
| Sheet Number                             | Sheet Name                       |
| A211                                     | 6 STOREY - LEVELS 4 TO 6         |
| A212                                     | 5 STOREY - ROOF                  |
| A220                                     | MEDICAL OFFICE BASEMENT          |
| A221                                     | MEDICAL OFFICE GROUND LEVEL      |
| A222                                     | MEDICAL OFFICE TYPICAL LEVEL     |
| A300                                     | STREET ELEVATIONS                |
| A305                                     | BUILDING ELEVATION               |
| A307                                     | BUILDING ELEVATION               |
| A308                                     | BUILDING ELEVATION               |
| A309                                     | BUILDING ELEVATION               |
| A316                                     | BUILDING ELEVATION               |
| A317                                     | BUILDING ELEVATION               |
| A318                                     | BUILDING ELEVATION               |
| A410                                     | OVERALL SITE SECTIONS            |
| A411                                     | OVERALL SITE SECTIONS            |
| A412                                     | OVERALL SITE SECTIONS            |
| A413                                     | OVERALL SITE SECTIONS            |
| A414                                     | OVERALL SITE SECTIONS            |
| A415                                     | OVERALL SITE SECTIONS            |
| A416                                     | OVERALL SITE SECTIONS            |
| A501                                     | 3D VIEWS                         |
| A502                                     | 3D CONTEXT VIEWS                 |
| A503                                     | STREET VIEW ALONG JOHNSON STREET |
| A504                                     | BRKING ENTRANCE                  |

### PROJECT INFORMATION TABLE

[illegible]

| PARCEL B                             |  |
|--------------------------------------|--|
| DATE                                 | 4/20/2018  |
| SITE AREA                            | 1.2932 ac +/-  |
| NET TOTAL AREA                       | 4,688.26 sq ft   |
| COMMERICAL, ZONING AREA              | AREA   |
| FLOOR SPACE RATIO                    | 2.00   |
| LOT COVERAGE %                       | 66.7%  |
| OPEN SPACE %                         | 33.3%  |
| HEIGHT OF BUILDING (ft)              | 25.00  |
| NUMBER OF FLOORS                     | 4 FLOORS (TWO RESIDENTIAL)   |
| PARKING SPACES (LOT)                 | REQUIRED: NO RESIDENTIAL, IN W/DRIVE, 1 TO 10 TOTAL. REQUIRED: RESIDENTIAL, NO COMMERCIAL, 3 SPACES PROVIDED FOR EACH UNIT. PARKING TO BE PROVIDED FOR ALL COMMERCIAL USES. NO USE OF VEHICLE SPACE. |
| REMARKS                              | SEE ADDITIONAL COMMENTS AND CALCULATIONS   |
| LOT/LOT/LOT NUMBER                   | 110.00 TOTAL RESIDENTIAL, 60.00 TOTAL RESIDENTIAL  |
| BUILDING DETAILS                     |  |
| FRONT YARD                           | 1.0000 (21' to 64m) TO PLANTER, 1.5m TO BUILDING FACE  |
| REAR YARD                            | 1.0m TO DRIVE, 4.0m TO BUILDING FACE   |
| SIDE YARD - EAST                     | 0.5m TO PLANTER, 1.5m TO BUILDING FACE   |
| SIDE YARD - WEST                     | 0.5m TO BUILDING FACE  |
| RESIDENTIAL UNIT DETAILS             |  |
| TOTAL NUMBER OF UNITS                | 30   |
| UNIT TYPE                            | 1 TO 2 BDRM, 10 ONE BEDROOM, 10 TWO BEDROOM, 1 THREE BEDROOM   |
| UNIT/UNIT/UNIT TYPE                  | 10   |
| UNIT/UNIT/UNIT TYPE                  | 10   |
| UNIT/UNIT/UNIT TYPE                  | 10   |
| TOTAL RESIDENTIAL FLOOR AREA (sq ft) | 6,000.00 sq ft   |

|   |  |
|---|--|
| <b>PARCEL C</b>                             |  |
| <b>ZONE</b>                                 | G1/STC   |
| <b>NET AREA</b>                             | 2,058.61 sq'.  |
| <b>PERMITTED FLOOR AREA</b>                 | 3,088.00 sq'.  |
| <b>COMMERCIAL FLOOR AREA</b>                | 3,088.00 sq'.  |
| <b>FLOOR SPACE IN/TO</b>                    | 1 TO   |
| <b>STRE COVERAGE %</b>                      | 51.5%  |
| <b>OPEN SITE SPACE %</b>                    | 54.7%  |
| <b>HEIGHT OF BUILDING (ft)</b>              | 23 MAX   |
| <b>NUMBER OF STORIES</b>                    | 4 (EXCEPT MEDICAL BUILDING)  |
| <b>STORIES ALLOWED ON SITE</b>              | 4 (EXCEPT MEDICAL BUILDING)<br>PROPOSED 5 (EXCEPT MEDICAL BUILDING)<br>PROPOSED 6 (EXCEPT MEDICAL BUILDING)<br>USE PARK AREA FOR DETAILED CALCULATIONS |
| <b>EXISTING PARKING SPACES</b>              | 24 (LONG TERM COMMERCIAL, 16 SHORT TERM COMMERCIAL)  |
| <b>BUILDING METHODS</b>                     |  |
| <b>THIRD FLOOR</b>                          | (STAYS 8" x 12" TO LAISSE VUE 1 OVERHANG, 8 MAX TO BUILDING FACE)  |
| <b>SECOND FLOOR</b>                         | 11 MAX TO BUILDING FACE (EXCEPT TRIM WALL, 8 MAX TO PROPOSED CARPORT)  |
| <b>ROOF VINE, EAST</b>                      | 0.0' x 1'  |
| <b>ROOF VINE, WEST</b>                      | 0.0' x 0'  |
| <b>INDUSTRIAL USE DETAILS</b>               |  |
| <b>TOTAL NUMBER OF UNITS</b>                | N/A  |
| <b>UNIT TYPE</b>                            | N/A  |
| <b>BEARING ORIENTED UNITS</b>               | N/A  |
| <b>HABITABLE UNIT FLOOR AREA (sq ft)</b>    | N/A  |
| <b>TOTAL RESIDENTIAL FLOOR AREA (sq ft)</b> | N/A  |



2 PARCEL PLAN  
1-750

Received  
City of Victoria

JAN 24 2020

Planning & Development Department  
Development Services Division

18-13

## COOK STREET PLAZA

1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

| LANDSCAPE ARCHITECT                          | STRUCTURAL ENGINEER                                | MECHANICAL ENGINEER                         | ELECTRICAL ENGINEER                                | GEOTECHNICAL ENGINEER                     | TRAFFIC ENGINEER                             | SURVEYOR                     | CIVIL ENGINEER               |
|--|--|---|--|---|--|------------------------------|------------------------------|
| BEV WINDJACK                                 | CLINT PLETT  | CASSIDY TAYLOR                              | BAL KLEAR  | ANDREW JACKSON                            | TYLER THOMPSON                               | J.E. ANDERSON & ASSOCIATES   | J.E. ANDERSON & ASSOCIATES   |
| LADR LANDSCAPE ARCHITECTS                    | READ JONES CHRISTOFFERSEN                          | AME GROUP                                   | AES ENGINEERING                                    | RZYUK GEOTECHNICAL                        | BUNT ENGINEERING                             | 4212 GLANFORD AVE, VICTORIA, | 4212 GLANFORD AVE, VICTORIA, |
| 3-864 QUEENS AVENUE,<br>VICTORIA, BC V8T 1M5 | LTD.<br>220-645 TYEE ROAD, VICTORIA,<br>BC V9A 6X5 | 721 JOHNSON STREET,<br>VICTORIA, BC V8W 1M8 | 300-1815 BLANSHARD STREET,<br>VICTORIA, BC V8T 5A4 | 28 CREASE AVENUE, VICTORIA,<br>BC V8Z 1S3 | 530-645 FORT STREET,<br>VICTORIA, BC V8W 1G2 | BC V8Z 4B7                   | BC V8Z 4B7                   |

ISSUED FOR DEVELOPMENT PERMIT/REZONING REVISED SUBMISSION  
JANUARY 23, 2020

ATTACHMENT A

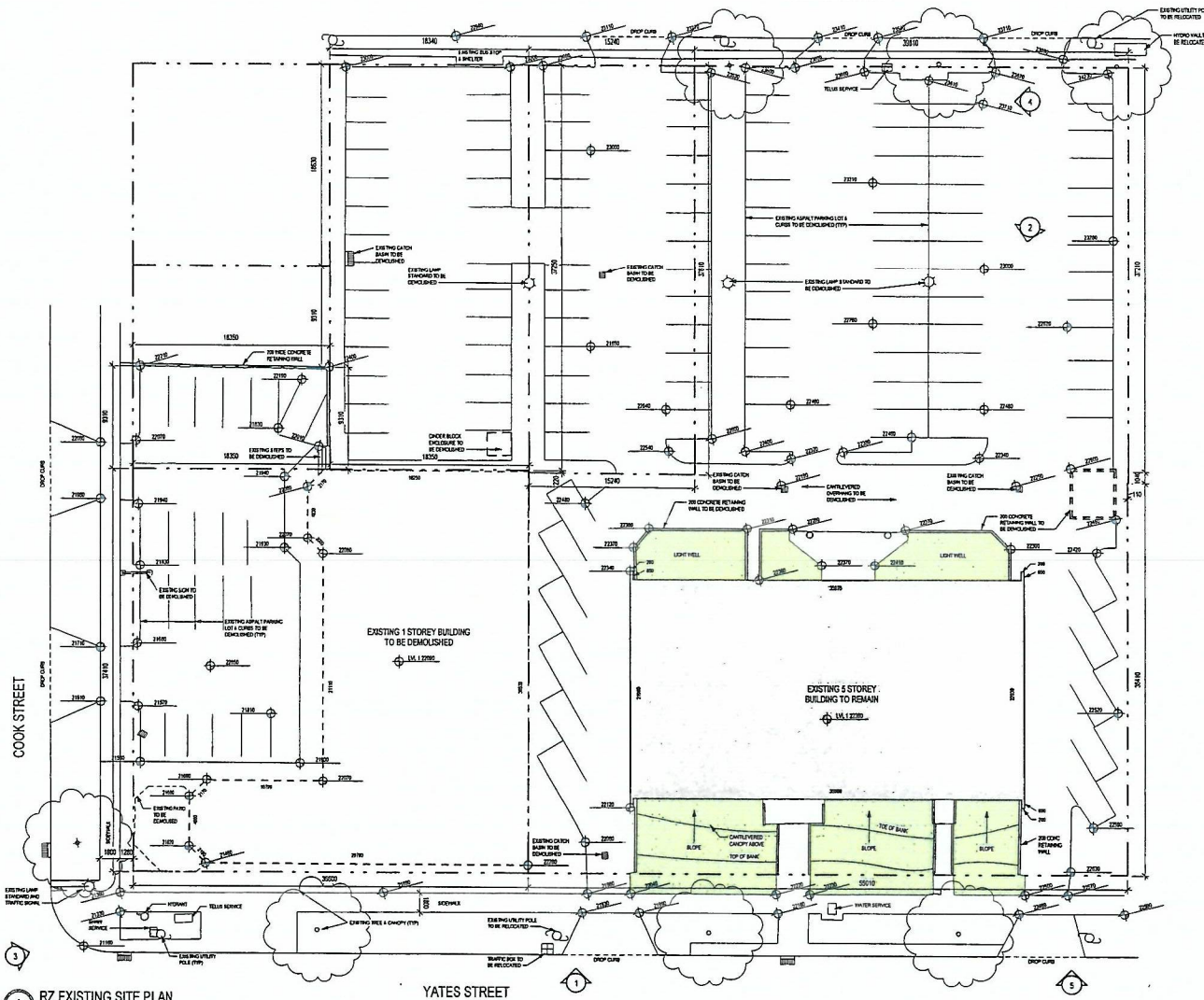


Received  
City of Victoria

JAN 24 2020

Planning & Development Department  
Development Services Division

JOHNSON STREET



1 RZ EXISTING SITE PLAN  
1:200



PROSCENIUM  
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AME GROUP  
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AES ENGINEERING  
GEOTECHNICAL ENGINEER  
RYZUK GEOTECHNICAL  
TRAFFIC ENGINEER  
BUNT ENGINEERING  
SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------|----|------|
| 1   | REVISION    |    |      |
| 2   | REVISION    |    |      |
| 3   | REVISION    |    |      |
| 4   | REVISION    |    |      |
| 5   | REVISION    |    |      |
| 6   | REVISION    |    |      |
| 7   | REVISION    |    |      |
| 8   | REVISION    |    |      |
| 9   | REVISION    |    |      |
| 10  | REVISION    |    |      |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
EXISTING SITE PLAN

PROJECT NUMBER  
18-13

DWG. NO.  
A050

| DATE     | SCALE | DRAWN  | CHECKED |
|----------|-------|--------|---------|
| 18.11.20 | 1:200 | Author | Checker |





AERIAL VIEW LOOKING SOUTH WEST



STREET VIEW AT COOK & YATES



VIEW LOOKING WEST ALONG YATES



VIEW AT MEWS ENTRANCE & COMMERCIAL BASE

# PROSCENIUM

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- MECHANICAL ENGINEER  
AME GROUP
- ELECTRICAL ENGINEER  
AES ENGINEERING
- GEOTECHNICAL ENGINEER  
RYZUK GEOTECHNICAL
- TRAFFIC ENGINEER  
BUNT ENGINEERING
- SURVEYOR  
J.E. ANDERSON & ASSOCIATES
- CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

| NO. | DESCRIPTION                            | BY | DATE       |
|-----|--|----|------------|
| 1   | ISSUED FOR NO. 1 OF REVISED SUBMISSION |    | 2019.01.23 |
| 2   | ISSUED FOR NO. 2 OF REVISED SUBMISSION |    | 2019.02.28 |
| 3   | ISSUED FOR NO. 3 OF REVISED SUBMISSION |    | 2019.03.15 |
| 4   | ISSUED FOR NO. 4 OF REVISED SUBMISSION |    | 2019.04.07 |
| 5   | ISSUED FOR NO. 5 OF APPLICATION        |    | 2019.04.12 |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

|                              |       |                         |
|------------------------------|-------|-------------------------|
| PROJECT<br>COOK STREET PLAZA |       | PROJECT NUMBER<br>18-13 |
| DRAWING TITLE<br>3D VIEWS    |       | DWG. NO.<br>A060        |
| DATE<br>18.11.20             | SCALE | DRAWN<br>Author         |
|                              |       | CHECKED<br>Checker      |

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VIEW LOOKING SOUTH EAST AT COOK & JOHNSON



STREET VIEW AT JOHNSON ST



STREET VIEW LOOKING NORTH EAST AT COOK & YATES CORNER



VIEW LOOKING EAST ALONG JOHNSON ST

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1100 YATES STREET, VICTORIA, BC  
1100 YATES STREET, VICTORIA, BC  
1100 YATES STREET, VICTORIA, BC

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| 3   | ISSUED FOR R.C.L. OF REVISED SUBMISSION |    | 2018.08.10 |
| 4   | ISSUED FOR R.C.L. OF REVISED SUBMISSION |    | 2018.08.10 |
| 5   | ISSUED FOR R.C.L. OF REVISED SUBMISSION |    | 2018.08.10 |
| 6   | ISSUED FOR R.C.L. OF REVISED SUBMISSION |    | 2018.08.10 |

| NO. | DESCRIPTION      | BY | DATE       |
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| 1   | CURRENT REVISION |    | 2018.12.13 |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

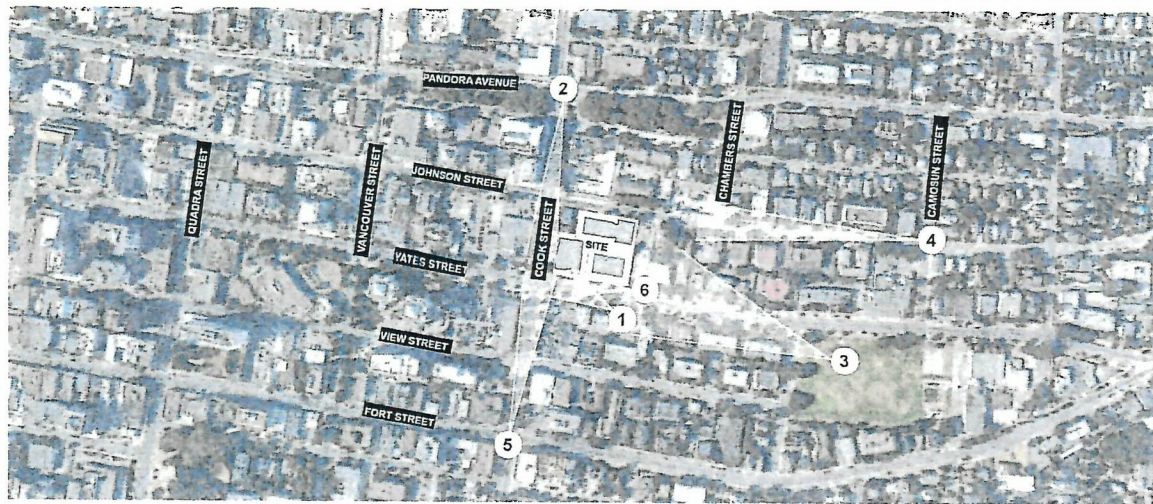
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| DRAWING TITLE<br>3D VIEWS    | DWG. NO.<br>A061 |                         |
| DATE<br>18.11.20             | SCALE            | DRAWN<br>Author         |
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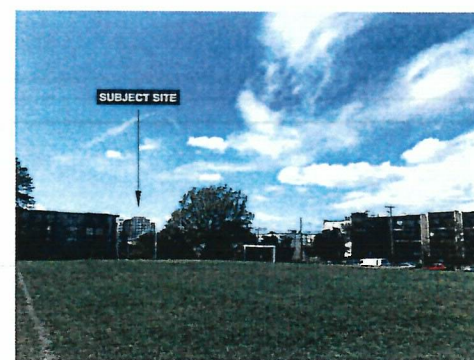
SITE CONTEXT



1 - VIEW ALONG YATES STREET PAST EXISTING MEDICAL BUILDING



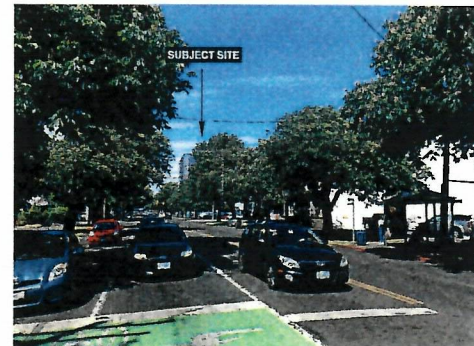
2 - VIEW SOUTH TOWARDS SITE (COOK STREET AT PANDORA AVENUE)



3 - VIEW FROM CENTRAL MIDDLE SCHOOL FIELD



4 - VIEW WEST FROM JOHNSON STREET AT CAMOSUN STREET



5 - VIEW NORTH TOWARDS SITE (COOK STREET AT FORT STREET)



6 - VIEW ALONG YATES STREET

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PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
CITY CONTEXT VIEWS

PROJECT NUMBER  
18-13

DWG. NO.  
A062

DATE  
18.11.20

SCALE  
1:1

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Author

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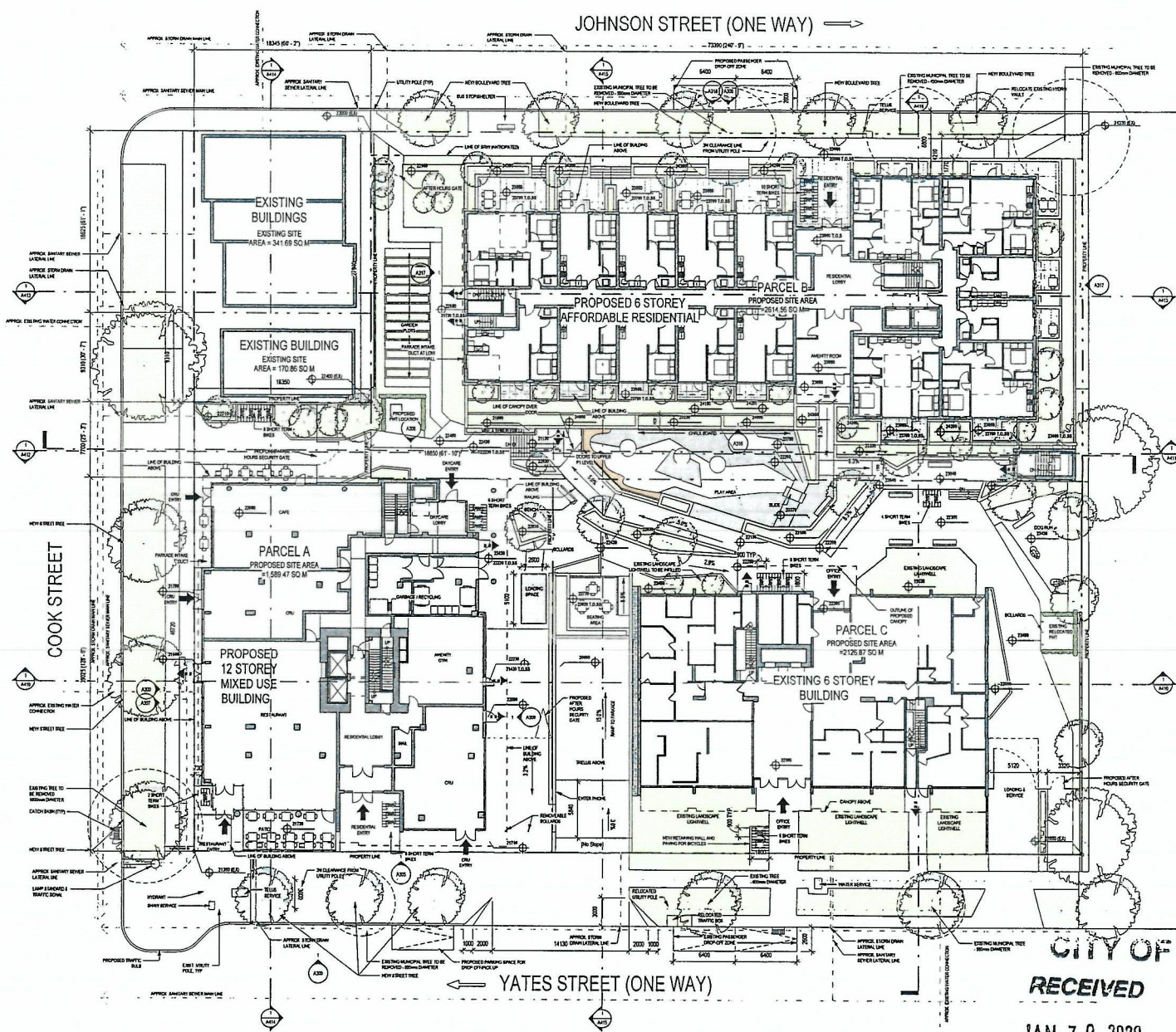
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JOHNSON ST.

PROJECT  
COOK STREET PLAZA

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|---------------|-------|-------|----------------|--|
| DRAWING TITLE |       |       | PROJECT NUMBER |  |
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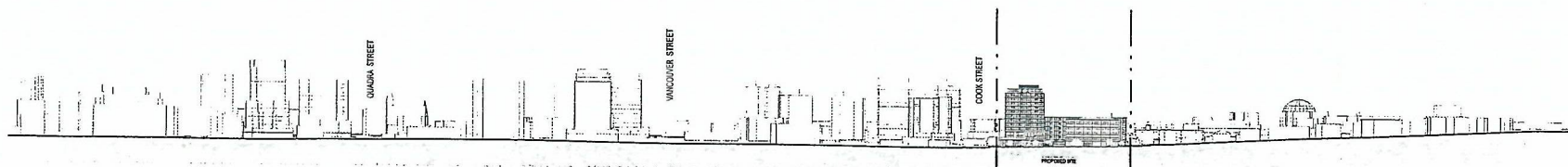
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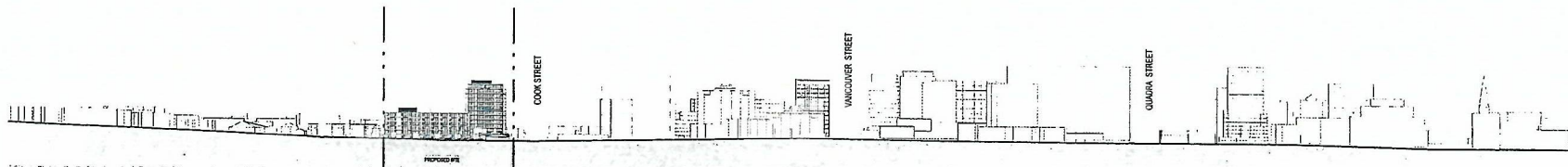
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2 CITY SECTION LOOKING SOUTH  
1:1500



3 COOK STREET PANORAMA  
1:20



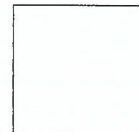
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1:20



5 JOHNSON STREET PANORAMA  
1:20

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PROJECT ADDRESS  
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PROJECT  
COOK STREET PLAZA

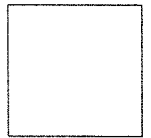
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PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

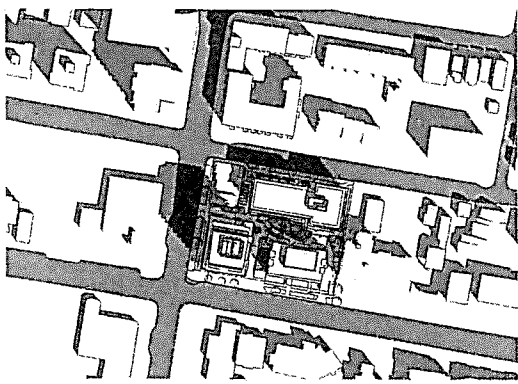
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DRAWING TITLE  
SHADOW STUDIES

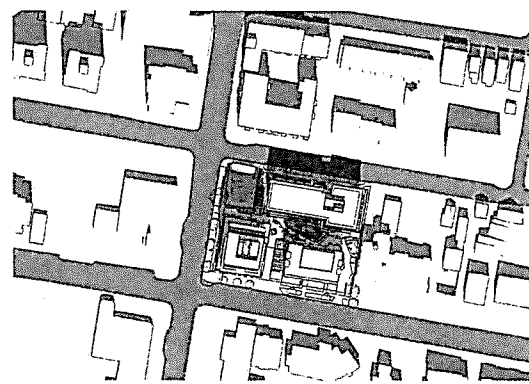
PROJECT NUMBER  
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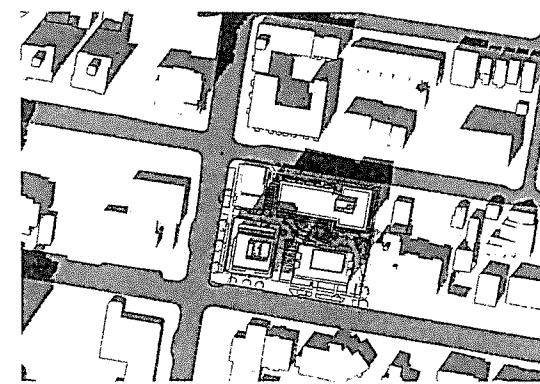
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| 18.11.20 |       | Author | Checker |



SEPT/MARCH 21 - 10am



SEPT/MARCH 21 - NOON



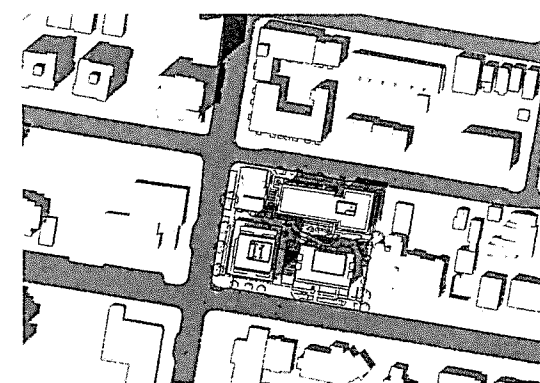
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JUNE 21 - 10am



JUNE 21 - NOON



JUNE 21 - 2pm

Received  
City of Victoria  
  
JAN 24 2020  
  
Planning & Development Department  
Development Services Division



INT. = Existing grade from interpolated points  
FG = Proposed Future Grade

| PRICE \$   | 13 Shy | Lowest Bid | High   | Average Of | Between | Percent | Percent      |
|------------|--------|------------|--------|------------|---------|---------|--------------|
|            |        |            |        |            |         |         |              |
| Grades A-1 | 22,980 | HC         | 21,180 |            | 17,280  |         | \$6,912,000  |
| Grades B-1 | 22,980 | HC         | 21,180 |            |         |         | 5,807,100    |
| Grades C-1 | 22,980 | HC         | 21,180 |            |         |         | 180,292,500  |
| Grades D-1 | 22,980 | HC         | 21,180 |            |         |         | 46,445,900   |
| Grades E-1 | 22,980 | HC         | 21,180 |            |         |         | 67,241,900   |
| Grades F-1 | 22,980 | HC         | 21,180 |            |         |         | 78,232,400   |
| Grades G-1 | 22,980 | HC         | 21,180 |            |         |         | 27,364,000   |
| Grades H-1 | 22,980 | HC         | 21,180 |            |         |         | 180,575,000  |
| Grades I-1 | 22,980 | HC         | 21,180 |            |         |         | 16,942,000   |
| Grades J-1 | 22,980 | HC         | 21,180 |            |         |         | \$50,263,900 |
| Grades K-1 | 22,980 | HC         | 21,180 |            |         |         | 19,344,000   |
| Grades L-1 | 22,980 | HC         | 21,180 |            |         |         | 12,843,200   |
| Grades M-1 | 22,980 | HC         | 21,180 |            |         |         | 130,000,000  |
| Grades N-1 | 22,980 | HC         | 21,180 |            |         |         | 57,800,000   |
| Grades O-1 | 22,980 | HC         | 21,180 |            |         |         | 91,875,000   |
| Grades P-1 | 22,980 | HC         | 21,180 |            |         |         | 57,610,000   |
| Grades Q-1 | 22,980 | HC         | 21,180 |            |         |         | 50,700,000   |
| Grades R-1 | 22,980 | HC         | 21,180 |            |         |         | 24,492,000   |
| Grades S-1 | 22,980 | HC         | 21,180 |            |         |         | 99,136,000   |
| Grades T-1 | 22,980 | HC         | 21,180 |            |         |         | 25,844,000   |
| Grades U-1 | 22,980 | HC         | 21,180 |            |         |         | 97,879,500   |
| Grades V-1 | 22,980 | HC         | 21,180 |            |         |         |              |

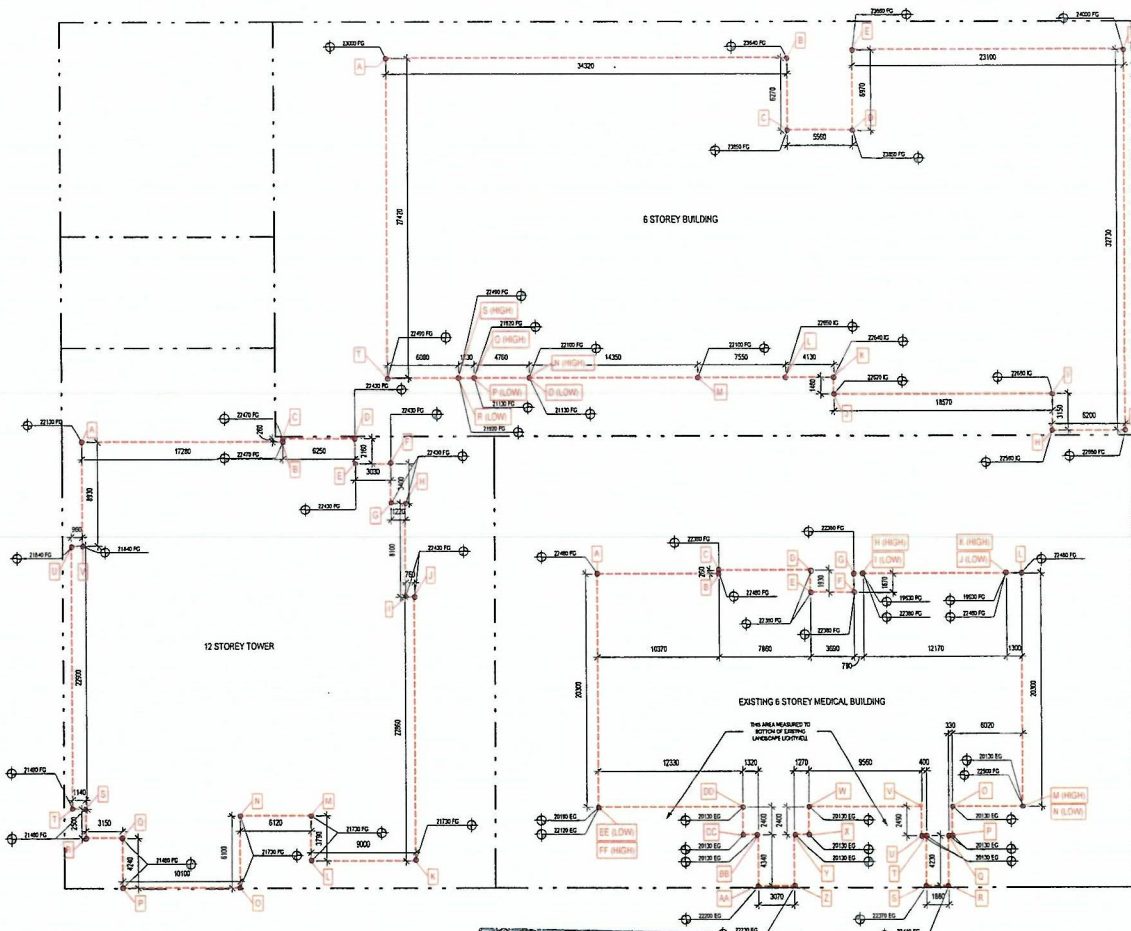
|  |        |
|--|--------|
| Partial A Grade Calculation              |        |
| (Total Average x Distance) / Perimeter = | 21.99% |

| ANCHOR & Splayer | Length (ft.) | Average Of Points | Distance      |
|------------------|--------------|-------------------|---------------|
| Grade Point A    | 12,940 ft.   | 77,210            | 34,320        |
| Grade Point B    | 13,350 ft.   | 78,385            | 14,623,950    |
| Grade Point C    | 13,800 ft.   | 79,320            | 1,587,870     |
| Grade Point D    | 14,300 ft.   | 80,510            | 16,874,700    |
| Grade Point E    | 14,840 ft.   | 81,820            | 23,100,120    |
| Grade Point F    | 15,420 ft.   | 83,380            | 70,590,900    |
| Grade Point G    | 16,040 ft.   | 85,265            | 100,247,000   |
| Grade Point H    | 16,700 ft.   | 87,450            | 13,747,500    |
| Grade Point I    | 17,400 ft.   | 89,960            | 4,225,330     |
| Grade Point J    | 18,140 ft.   | 92,645            | 3,061,700     |
| Grade Point K    | 18,920 ft.   | 95,570            | 1,498,750     |
| Grade Point L    | 19,740 ft.   | 98,740            | 530,350       |
| Grade Point M    | 20,600 ft.   | 102,165           | 316,175,000   |
| Grade Point N    | 21,500 ft.   | 105,940           | 1,100,570,000 |
| Grade Point O    | 22,440 ft.   | 110,190           | 3,020,800     |
| Grade Point P    | 23,420 ft.   | 114,920           | 9,020,800     |
| Grade Point Q    | 24,440 ft.   | 120,135           | 13,940,000    |
| Grade Point R    | 25,500 ft.   | 125,835           | 19,444,000    |
| Grade Point S    | 26,600 ft.   | 132,015           | 25,647,000    |
| Grade Point T    | 27,740 ft.   | 138,670           | 32,647,000    |

|  |        |
|--|--------|
| Parcel B Grade Calculation               |        |
| (Total Average x Distance) / Perimeter = | 22.99' |

| Agency / Claiming B<br>General Building Offices |               | Average OF |            | Distance |                    |
|---|---------------|------------|------------|----------|--------------------|
|   | Lowest RT, PG | Rank       | Average OF | Rank     | Average + Distance |
| Grande Pointe A                                 | 22,210 RT     | PG         | 22,210     | 16,370   | 23,240, 340        |
| Grande Pointe B                                 | 22,210 RT     | PG         | 22,210     | 16,370   | 18,810, 360        |
| Grande Pointe C                                 | 22,210 RT     | PG         | 22,210     | 16,370   | 17,850, 370        |
| Grande Pointe D                                 | 22,210 RT     | PG         | 22,210     | 16,370   | 22,210, 380        |
| Grande Pointe E                                 | 22,260 RT     | PG         | 22,260     | 16,400   | 22,260, 390        |
| Grande Pointe F                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 21,740, 200        |
| Grande Pointe G                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 21,740, 210        |
| Grande Pointe H                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 220        |
| Grande Pointe I                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 230        |
| Grande Pointe J                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 240        |
| Grande Pointe K                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 250        |
| Grande Pointe L                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 260        |
| Grande Pointe M                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 270        |
| Grande Pointe N                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 280        |
| Grande Pointe O                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 290        |
| Grande Pointe P                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 300        |
| Grande Pointe Q                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 310        |
| Grande Pointe R                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 320        |
| Grande Pointe S                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 330        |
| Grande Pointe T                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 340        |
| Grande Pointe U                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 350        |
| Grande Pointe V                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 360        |
| Grande Pointe W                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 370        |
| Grande Pointe X                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 380        |
| Grande Pointe Y                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 390        |
| Grande Pointe Z                                 | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 400        |
| Grande Pointe AA                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 410        |
| Grande Pointe BB                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 420        |
| Grande Pointe CC                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 430        |
| Grande Pointe DD                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 440        |
| Grande Pointe EE                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 450        |
| Grande Pointe FF                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 460        |
| Grande Pointe GG                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 470        |
| Grande Pointe HH                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 480        |
| Grande Pointe II                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 490        |
| Grande Pointe JJ                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 500        |
| Grande Pointe KK                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 510        |
| Grande Pointe LL                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 520        |
| Grande Pointe MM                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 530        |
| Grande Pointe NN                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 540        |
| Grande Pointe OO                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 550        |
| Grande Pointe PP                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 560        |
| Grande Pointe QQ                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 570        |
| Grande Pointe RR                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 580        |
| Grande Pointe SS                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 590        |
| Grande Pointe TT                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 600        |
| Grande Pointe UU                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 610        |
| Grande Pointe VV                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 620        |
| Grande Pointe WW                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 630        |
| Grande Pointe XX                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 640        |
| Grande Pointe YY                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 650        |
| Grande Pointe ZZ                                | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 660        |
| Grande Pointe AAA                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 670        |
| Grande Pointe BBB                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 680        |
| Grande Pointe CCC                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 690        |
| Grande Pointe DDD                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 700        |
| Grande Pointe EEE                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 710        |
| Grande Pointe FFF                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 720        |
| Grande Pointe GGG                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 730        |
| Grande Pointe HHH                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 740        |
| Grande Pointe III                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 750        |
| Grande Pointe JJJ                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 760        |
| Grande Pointe KKK                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 770        |
| Grande Pointe LLL                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 780        |
| Grande Pointe MMM                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 790        |
| Grande Pointe NNN                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 800        |
| Grande Pointe OOO                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 810        |
| Grande Pointe PPP                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 820        |
| Grande Pointe QQQ                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 830        |
| Grande Pointe RRR                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 840        |
| Grande Pointe SSS                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 850        |
| Grande Pointe TTT                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 860        |
| Grande Pointe UUU                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 870        |
| Grande Pointe VVV                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 880        |
| Grande Pointe WWW                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 890        |
| Grande Pointe XXX                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 900        |
| Grande Pointe YYY                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 910        |
| Grande Pointe ZZZ                               | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 920        |
| Grande Pointe AAAA                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 930        |
| Grande Pointe BBBB                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 940        |
| Grande Pointe CCCC                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 950        |
| Grande Pointe DDDD                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 960        |
| Grande Pointe EEEE                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 970        |
| Grande Pointe FFFF                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 980        |
| Grande Pointe GGGG                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 990        |
| Grande Pointe HHHH                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1000       |
| Grande Pointe IIII                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1010       |
| Grande Pointe JJJJ                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1020       |
| Grande Pointe KKKK                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1030       |
| Grande Pointe LLLL                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1040       |
| Grande Pointe MMMM                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1050       |
| Grande Pointe NNNN                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1060       |
| Grande Pointe OOOO                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1070       |
| Grande Pointe PPPP                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1080       |
| Grande Pointe QQQQ                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1090       |
| Grande Pointe RRRR                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1100       |
| Grande Pointe SSSS                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1110       |
| Grande Pointe TTTT                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1120       |
| Grande Pointe UUUU                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1130       |
| Grande Pointe VVVV                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1140       |
| Grande Pointe WWWW                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1150       |
| Grande Pointe XXXX                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1160       |
| Grande Pointe YYYY                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1170       |
| Grande Pointe ZZZZ                              | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1180       |
| Grande Pointe AAAAA                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1190       |
| Grande Pointe BBBBB                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1200       |
| Grande Pointe CCCCC                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1210       |
| Grande Pointe DDDDD                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1220       |
| Grande Pointe EEEEE                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1230       |
| Grande Pointe FFFFF                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1240       |
| Grande Pointe GGGGG                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1250       |
| Grande Pointe HHHHH                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1260       |
| Grande Pointe IIIII                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1270       |
| Grande Pointe JJJJJ                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1280       |
| Grande Pointe KKKKK                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1290       |
| Grande Pointe LLLLL                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1300       |
| Grande Pointe MMMMM                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1310       |
| Grande Pointe NNNNN                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1320       |
| Grande Pointe OOOOO                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1330       |
| Grande Pointe PPPPP                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1340       |
| Grande Pointe QQQQQ                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1350       |
| Grande Pointe RRRRR                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1360       |
| Grande Pointe SSSSS                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1370       |
| Grande Pointe TTTTT                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1380       |
| Grande Pointe UUUUU                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1390       |
| Grande Pointe VVVVV                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1400       |
| Grande Pointe WWWWV                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1410       |
| Grande Pointe XXXXX                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1420       |
| Grande Pointe YYYYY                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1430       |
| Grande Pointe ZZZZZ                             | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1440       |
| Grande Pointe AAAAAA                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1450       |
| Grande Pointe BBBBBB                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1460       |
| Grande Pointe CCCCCC                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1470       |
| Grande Pointe DDDDDD                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1480       |
| Grande Pointe EEEEEE                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1490       |
| Grande Pointe FFFFFFF                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1500       |
| Grande Pointe GGGGGG                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1510       |
| Grande Pointe HHHHHH                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1520       |
| Grande Pointe IIIIIII                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1530       |
| Grande Pointe JJJJJJJ                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1540       |
| Grande Pointe KKKKKKK                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1550       |
| Grande Pointe LLLLLLL                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1560       |
| Grande Pointe MMMMMMM                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1570       |
| Grande Pointe NNNNNNN                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1580       |
| Grande Pointe OOOOOOO                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1590       |
| Grande Pointe PPPPPPP                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1600       |
| Grande Pointe QQQQQQQ                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1610       |
| Grande Pointe RRRRRRR                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1620       |
| Grande Pointe SSSSSSS                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1630       |
| Grande Pointe TTTTTTT                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1640       |
| Grande Pointe UUUUUUU                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1650       |
| Grande Pointe VVVVVVV                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1660       |
| Grande Pointe WWWWVVV                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1670       |
| Grande Pointe XXXXXX                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1680       |
| Grande Pointe YYYYYY                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1690       |
| Grande Pointe ZZZZZZ                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1700       |
| Grande Pointe AAAAAAA                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1710       |
| Grande Pointe BBBBBBB                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1720       |
| Grande Pointe CCCCCC                            | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1730       |
| Grande Pointe DDDDDDD                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1740       |
| Grande Pointe EEEEEEE                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1750       |
| Grande Pointe FFFFFFFF                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1760       |
| Grande Pointe GGGGGGG                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1770       |
| Grande Pointe HHHHHHH                           | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1780       |
| Grande Pointe IIIIIIII                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1790       |
| Grande Pointe JJJJJJJJ                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1800       |
| Grande Pointe KKKKKKKK                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1810       |
| Grande Pointe LLLLLLLL                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1820       |
| Grande Pointe MMMMMMMM                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1830       |
| Grande Pointe NNNNNNNN                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1840       |
| Grande Pointe OOOOOOOO                          | 22,360 RT     | PG         | 22,360     | 16,470   | 22,360, 1850       |
| Grande Pointe PPPPPPPP                          | 22,360 RT     | PG         | 22         |          |                    |

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| Partial C Medical Office Building Grade Calculation<br>(Total Area x Distance) / Perimeter = | 21.36 |
|--|-------|



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## ARCHITECTURE + INTERIORS INC.

1 WEST 27TH AVENUE  
SALEM, VERMONT 05475 U.S.A. CANADA

604 2  
604 27 148

POINT OF CONTACT WITH SURFACE LOT

BUILDING OUTLINE

PROPOSED FUTURE GRADE

EXISTING GRADE (UNCHANGED IN PROPORTION)

EXISTING GRADE FROM INTERPOLATED SURVEY POINTS

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SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

[illegible]

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
BUILDING GRADE  
CALCULATIONS

PROJECT NUMBER  
10-10

A103

|                  |                       |                 |                    |
|------------------|-----------------------|-----------------|--------------------|
| DATE<br>18.11.20 | SCALE<br>As indicated | DRAWN<br>Author | CHECKED<br>Checker |
|------------------|-----------------------|-----------------|--------------------|

# PROSCENIUM

ARCHITECTURE + INTERIORS INC.  
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| 1   | ISSUED FOR RZ 1 OF REVISED SUBMISSION |    | 2018.07.13 |
| 2   | ISSUED FOR RZ 2 OF REVISED SUBMISSION |    | 2018.08.13 |
| 3   | ISSUED FOR RZ 3 OF REVISED SUBMISSION |    | 2018.07.13 |
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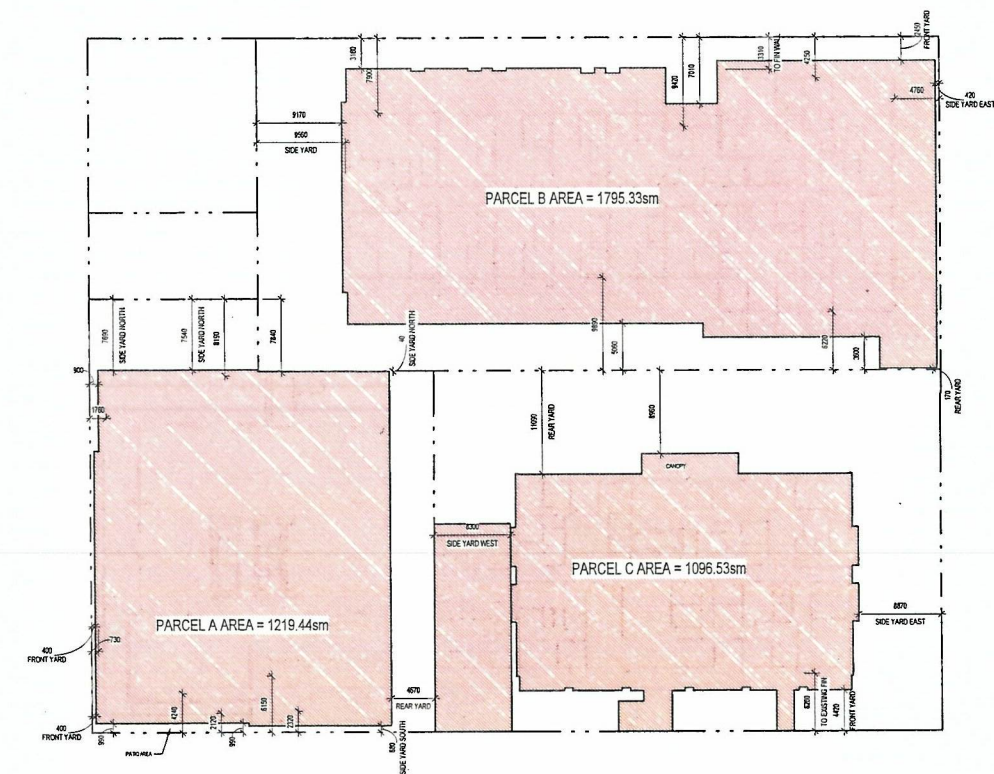
| NO. | DESCRIPTION      | BY | DATE |
|-----|------------------|----|------|
| 1   | CURRENT REVISION |    |      |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

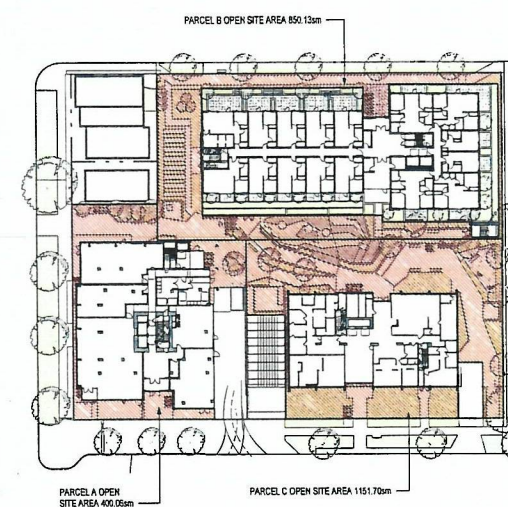
PROJECT  
COOK STREET PLAZA

| DRAWING TITLE                              | PROJECT NUMBER |
|--|----------------|
| OPEN SITE SPACE AND SITE COVERAGE DIAGRAMS | 18-13          |
|  | DWG NO.        |
|  | A104           |

| DATE     | SCALE        | DRAWN  | CHECKED |
|----------|--------------|--------|---------|
| 18.11.20 | As Indicated | Author | Checker |



1 SITE COVERAGE PLAN AND BUILDING SETBACKS  
1:250



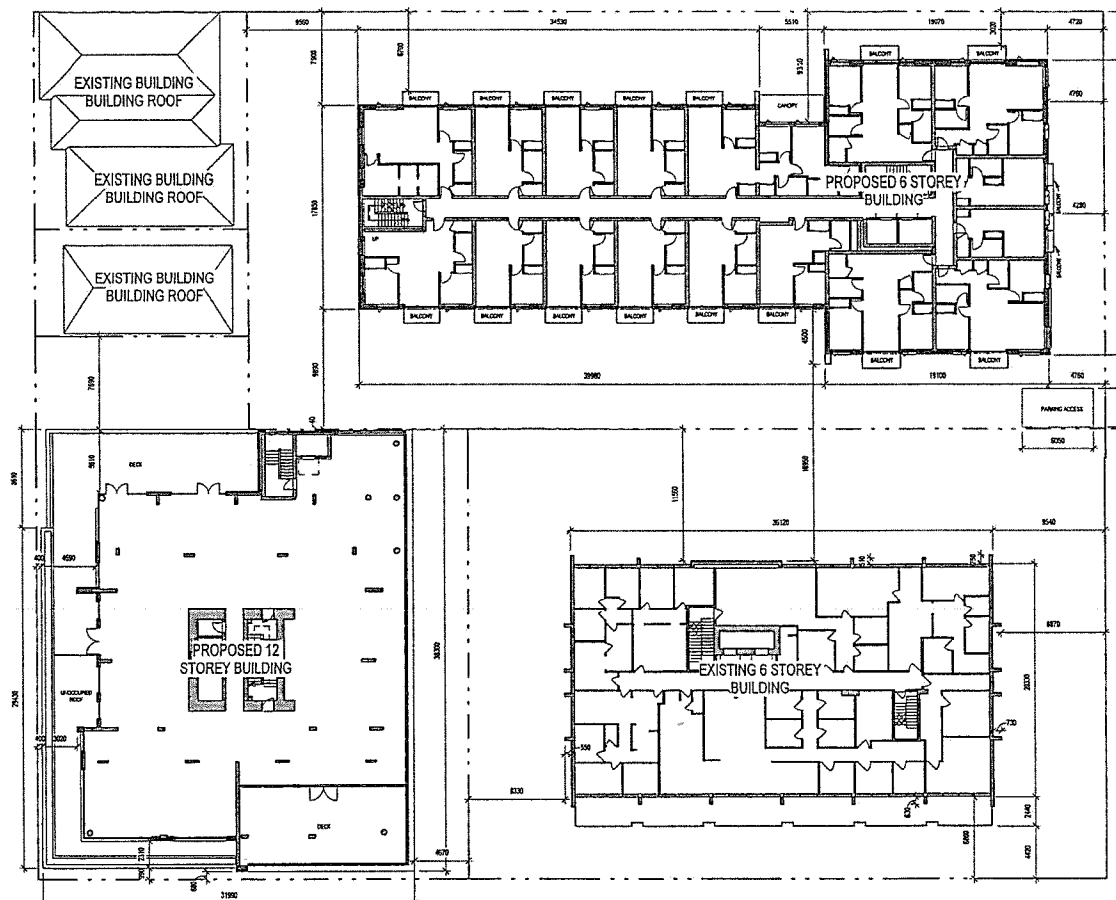
2 RZ SITE PLAN - OPEN SITE AREA  
1:500

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| 2   | ISSUED FOR AL 1 OF REVISED SUBMISSION |    | 2018.02.28 |
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| 6   | ISSUED FOR AL 1 OF APPLICATION        |    | 2018.12.13 |

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PROJECT ADDRESS  
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JOHNSON ST.

PROJECT  
COOK STREET PLAZA

| DRAWING TITLE           | PROJECT NUMBER    |
|-------------------------|-------------------|
| OVERALL LEVEL 2<br>PLAN | 18-13<br>DWG. NO. |
|                         | <b>A121</b>       |

| DATE     | SCALE | DRAWN  | CHECKED |
|----------|-------|--------|---------|
| 18.11.20 | 1:200 | Author | Checker |

1 OVERALL LEVEL 2  
1:200

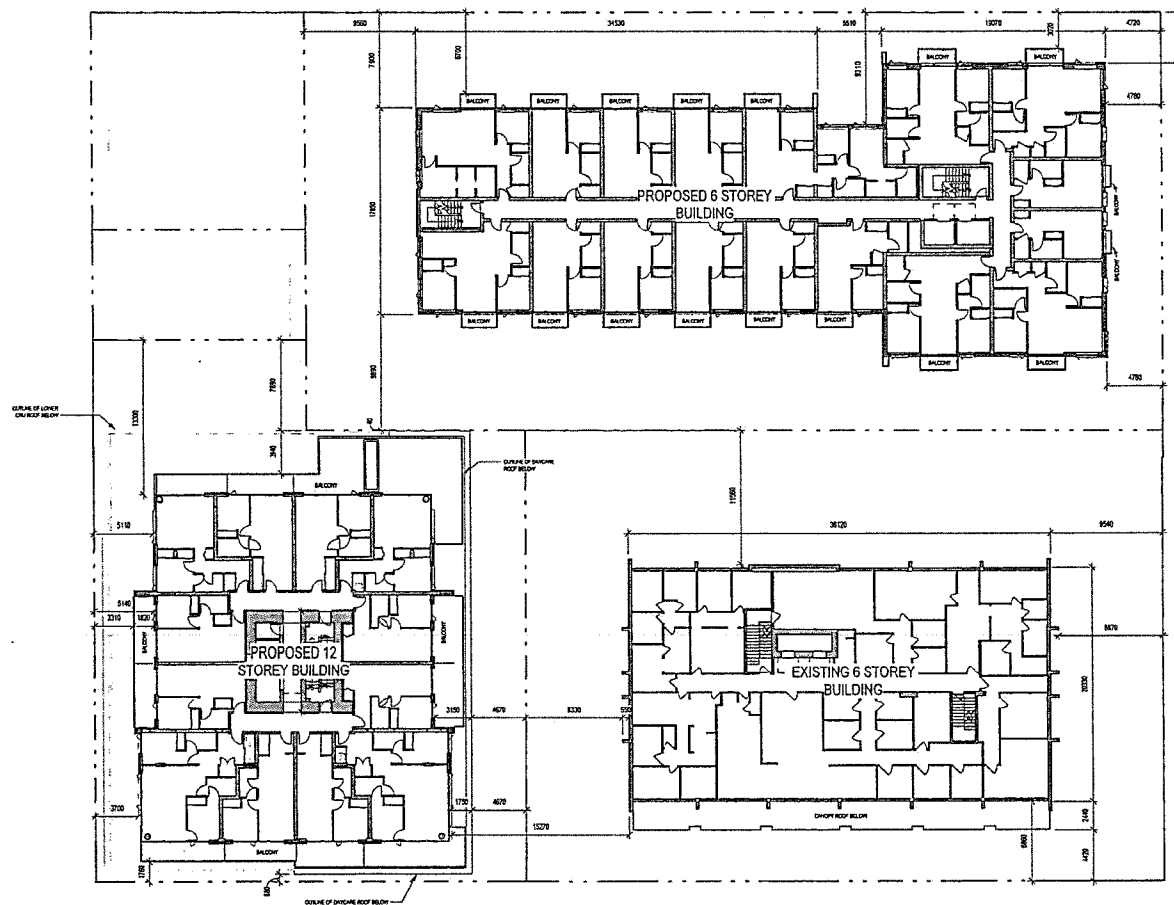
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① OVERALL LEVEL 3  
1:200

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SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

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| 1   | ISSUED FOR R.L. & OF REVISED SUBMISSION | 18 | 2019.07.23 |
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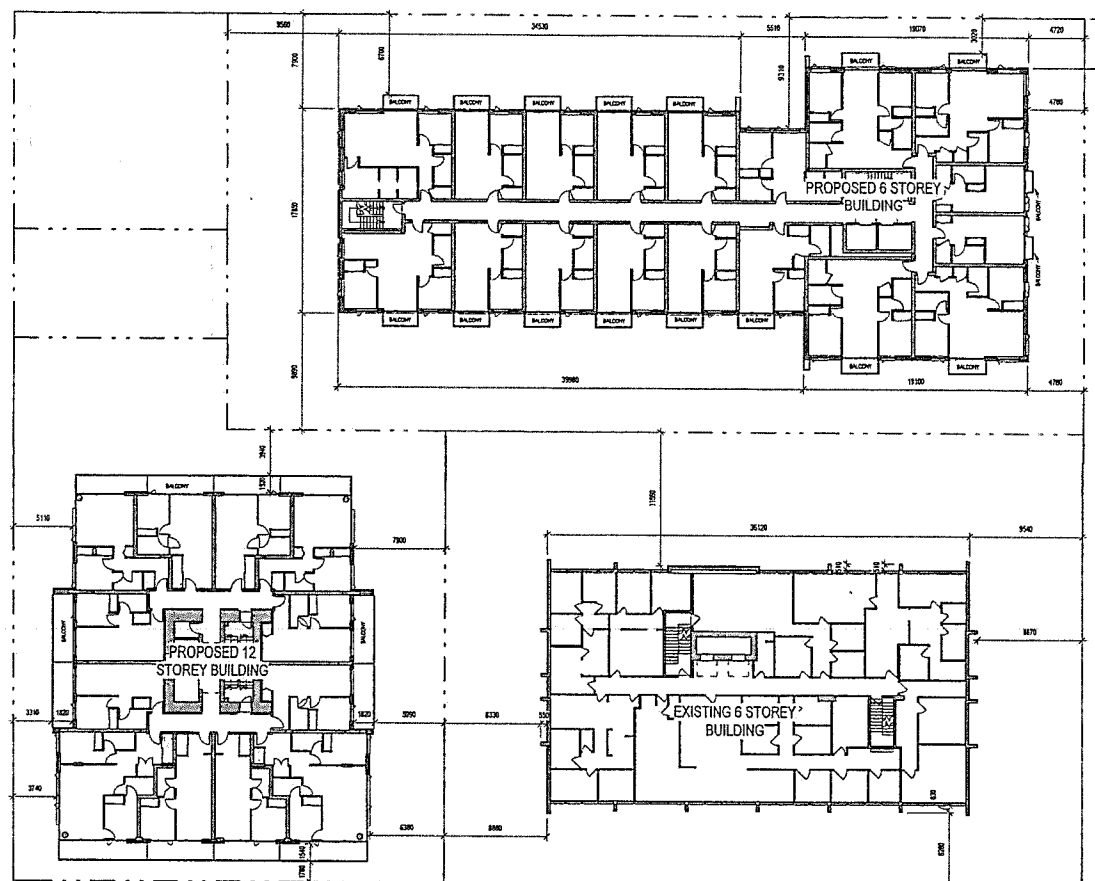
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JOHNSON ST.

PROJECT  
COOK STREET PLAZA

|                         |       |                |         |
|-------------------------|-------|----------------|---------|
| DRAWING TITLE           |       | PROJECT NUMBER |         |
| OVERALL LEVEL 3<br>PLAN |       | 18-13          |         |
|                         |       | DWG. NO.       |         |
|                         |       | A122           |         |
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| 18.11.20                | 1:200 | Author         | Checker |

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CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

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| NO | DESCRIPTION         | BY | DATE |
|----|---------------------|----|------|
| 1  | FLIGHT INSTRUCTIONS |    |      |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

|         |                   |
|---------|-------------------|
| PROJECT | COOK STREET PLAZA |
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DRAWING TITLE  
OVERALL LEVEL 4-5  
PLAN

PROJECT NUMBER

DNV. HQ

A123

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1 OVERALL LEVEL 4 TYPICAL OF LEVELS 4-5  
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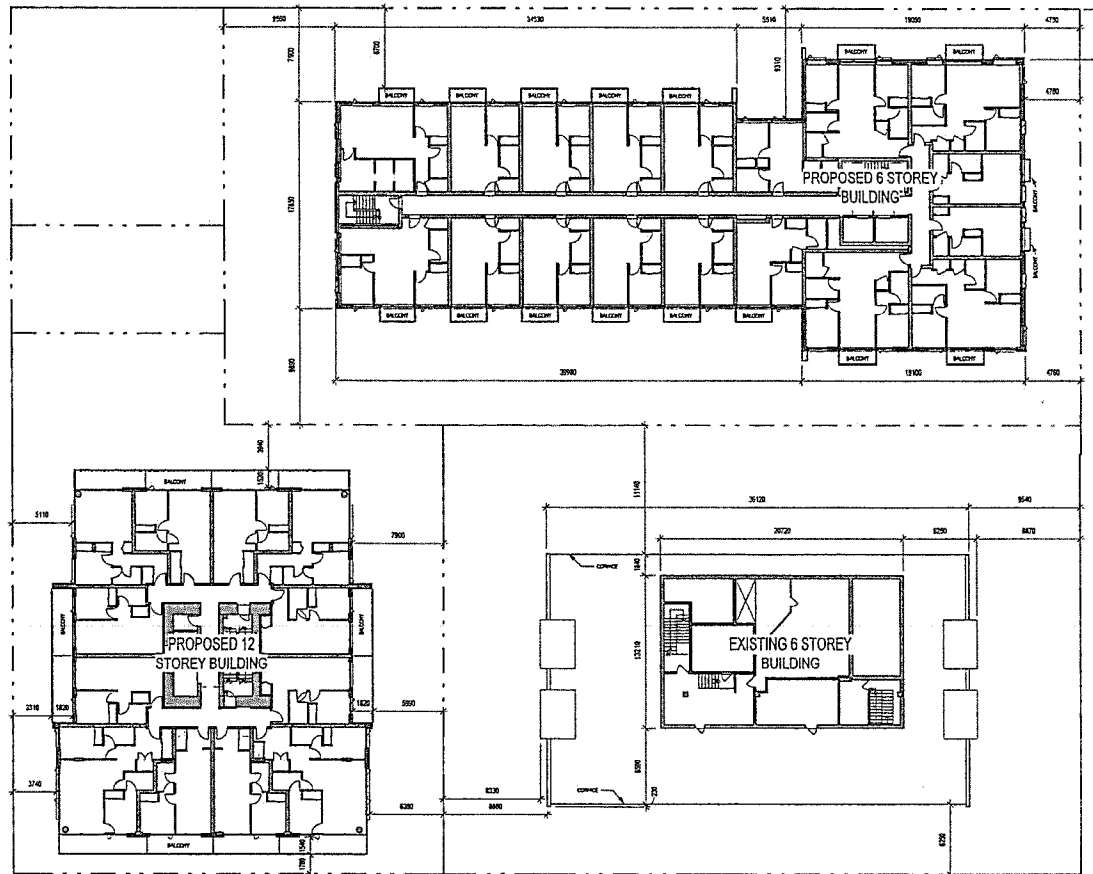
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1 OVERALL LEVEL 6  
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| NO  | DESCRIPTION                            | DATE       |
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PROJECT ADDRESS  
1100, 1120 YATES ST., 1109, 1115  
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PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
OVERALL LEVEL 6  
PLAN

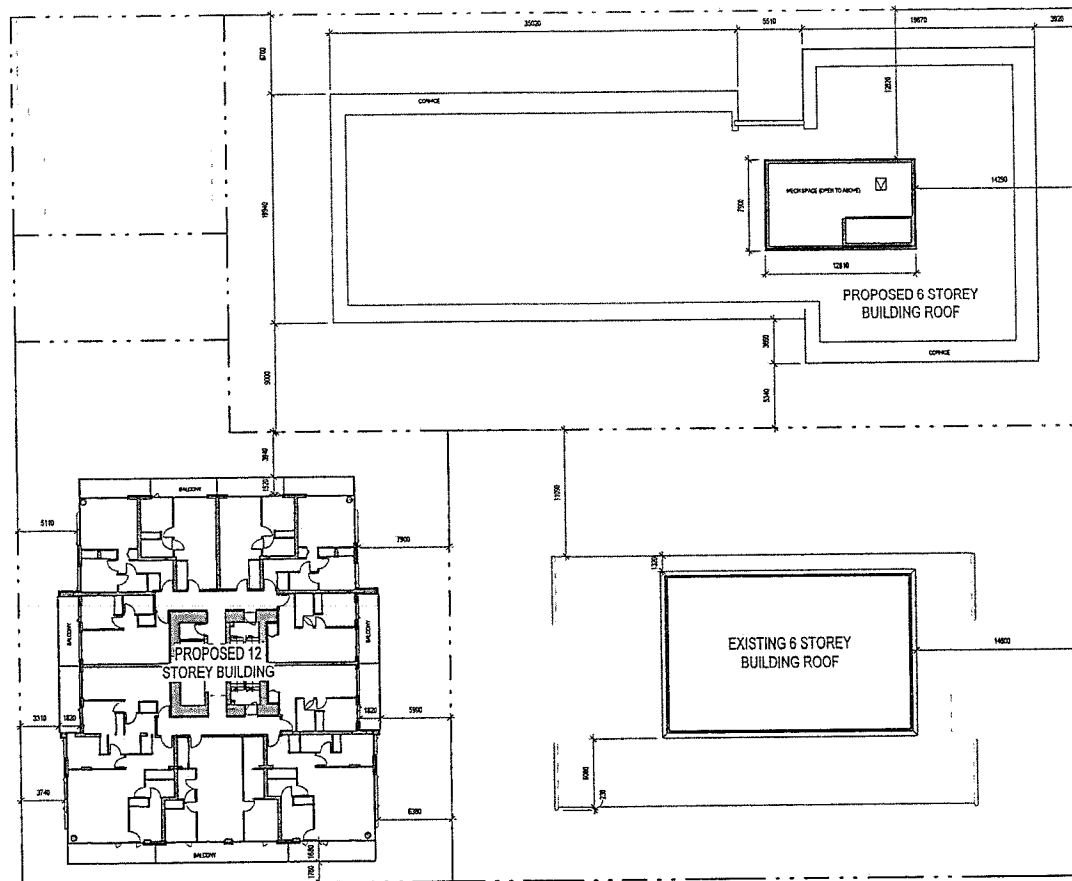
PROJECT NUMBER  
18-13  
DWG. NO.  
A124

DATE 18.11.20 SCALE 1:200 DRAWN BY J. ANDERSON CHECKED BY J. ANDERSON



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| 1   | ISSUED FOR PRELIMINARY SUBMISSION |    | 2019 07 25 |
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JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
OVERALL LEVEL 7-8  
PLAN

PROJECT NUMBER  
18-13

DWG. NO.  
A125

DATE  
18.11.20

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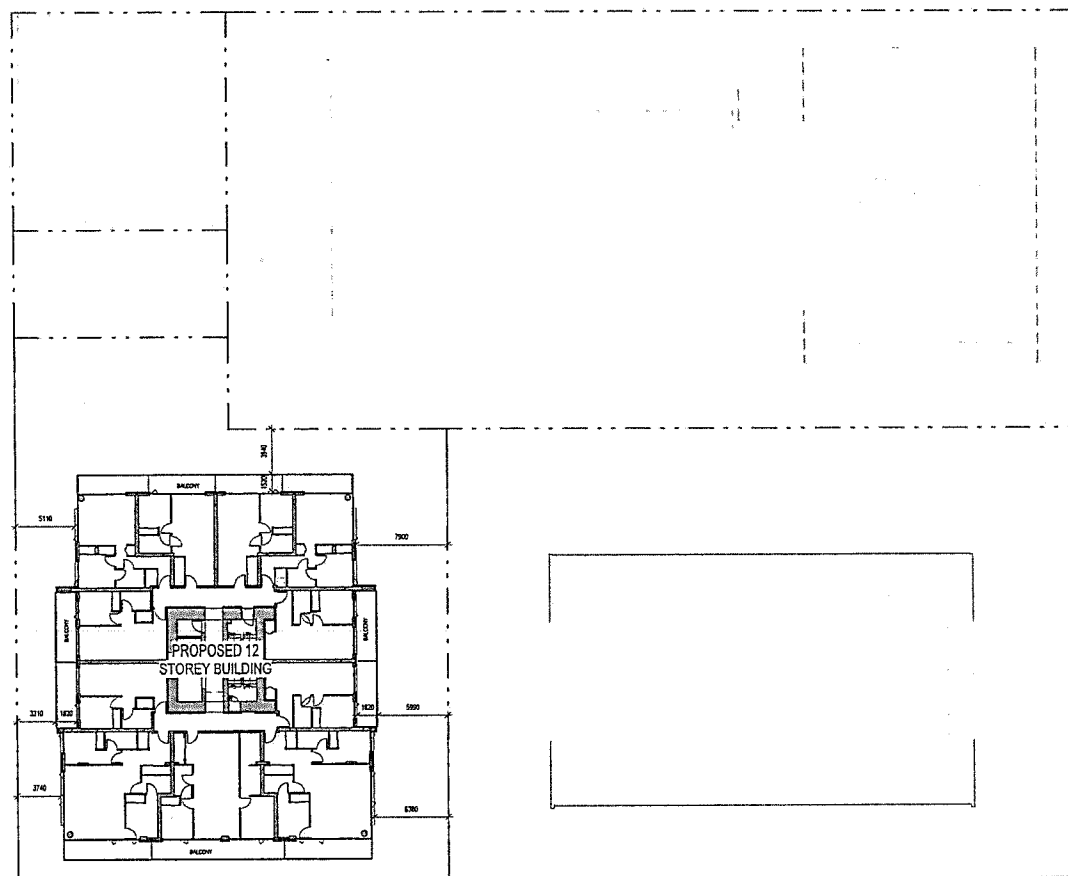
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1 OVERALL LEVEL 9  
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| F  | ISSUED FOR PL & OP REVISION SUBMISSION |    | 2019.6 |
| E  | ISSUED FOR PL & OP REVISION            |    | 2019.8 |
| D  | ISSUED FOR PL & OP REVISION SUBMISSION |    | 2019.9 |
| C  | ISSUED FOR PL & OP REVISION SUBMISSION |    | 2019.3 |
| B  | ISSUED FOR PL & OP APPLICATION         |    | 2018.6 |

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1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

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| PROJECT | COOK STREET PLAZA |
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PROJECT ADDRESS  
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JOHNSON ST.

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| PROJECT | COOK STREET PLAZA |
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| DRAWING TITLE |
| LEVEL P3      |

PROJECT NUMBER  
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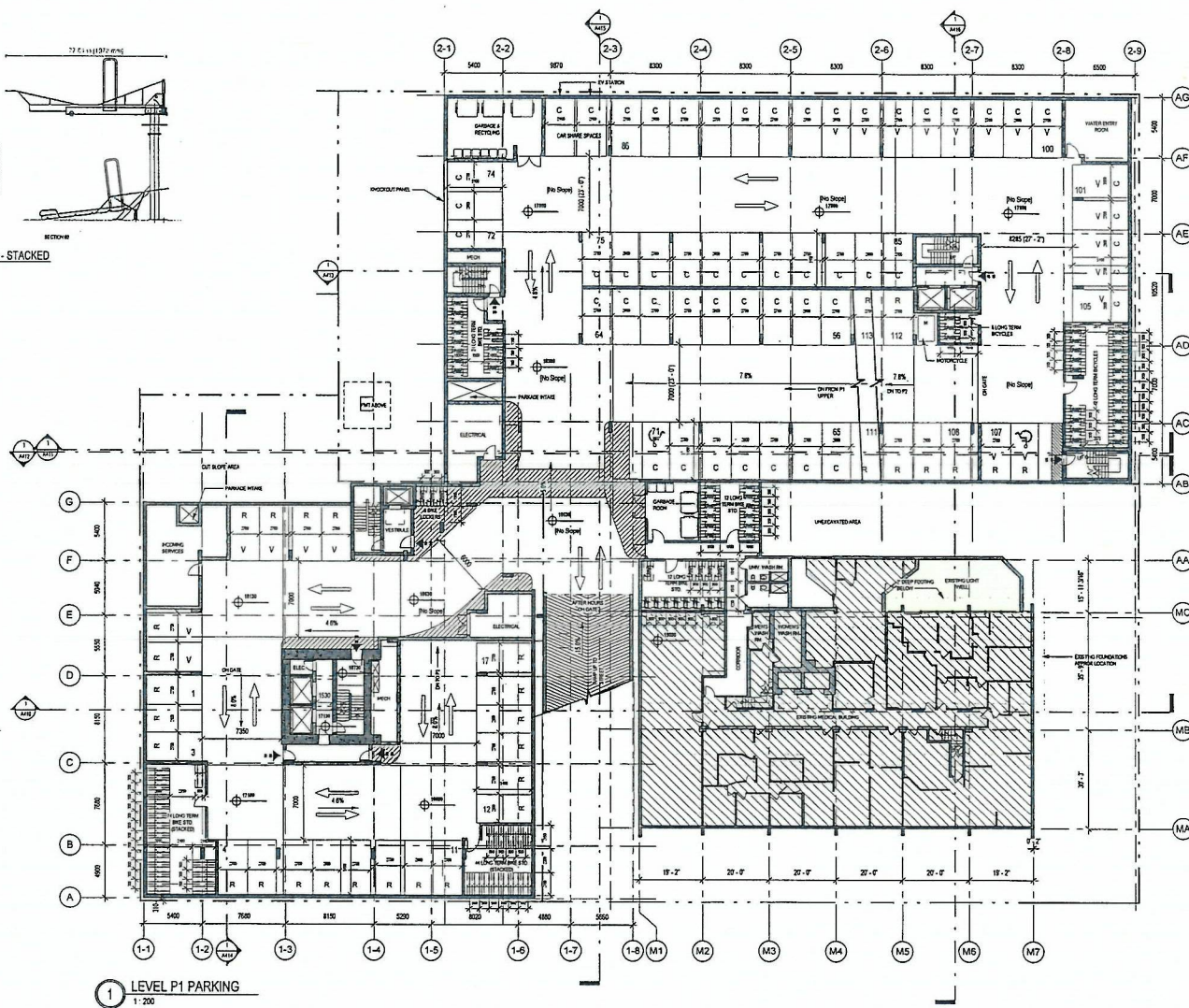
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## Residential Units By Areas (Inside face of walls)

Parking requirements according to Zoning Bylaw No 88-159 Schedule C: Off Street Parking Regulations "Core Area Condominiums"

### COMMERCIAL CAR PARKING CALCULATIONS

### 12 Storey Mixed Use Tower

Parking requirements according to Zoning Bylaw No. 80-159 Schedule C: Off Street Parking Regulations "Core Area Commercial"

PARCEL B

Parking requirements according to Zoning Bylaw No. 60-159 Schedule C Off Street Parking Regulations "Condominium Other Area"

PARCEL C

Parting requirements according to Zoning Bylaw No. 80-158 Schedule C: Off Street Parking Regulations "Other Area"

1 LEVEL P1 UPPER PARKING

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## ARCHITECTURE • INTERIORS • THE

1. 研究目的: 探討不同年齡組之兒童對「笑」之理解與表現。  
2. 研究對象: 選取 3 歲、4 歲、5 歲、6 歲之兒童各 20 名。

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PROJECT ADDRESS  
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| PROJECT | COOK STREET PLAZA |
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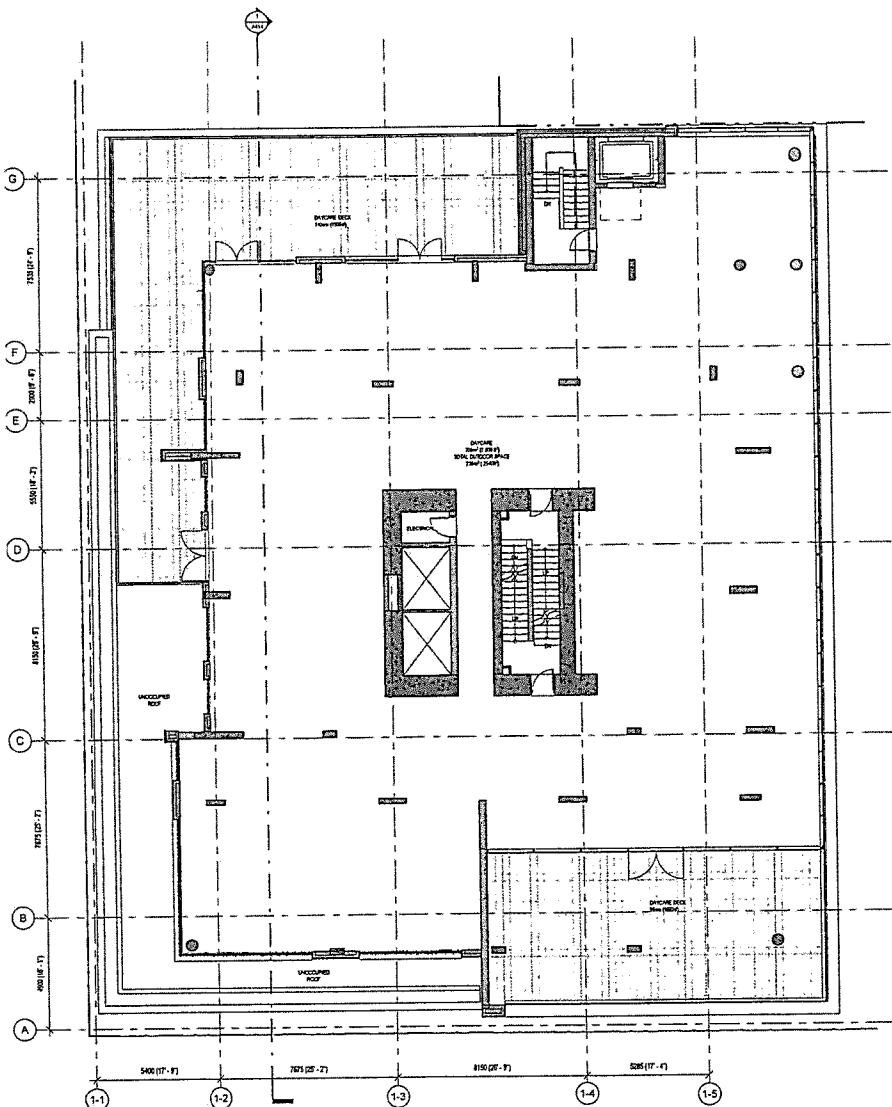
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ARCHITECTURE • INTERIORS INC.  
1 WEST 5TH AVENUE  
VANCOUVER BC V6Y 1T4 CANADA  
604 674 1446  
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1 TOWER LEVEL 2  
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|                                  |                         |
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| PROJECT<br>COOK STREET-PLAZA     | PROJECT NUMBER<br>18-13 |
| DRAWING TITLE<br>TOWER - LEVEL 2 | DWG. NO.<br>A205        |
| DATE<br>18.11.20                 | SCALE<br>1:100          |
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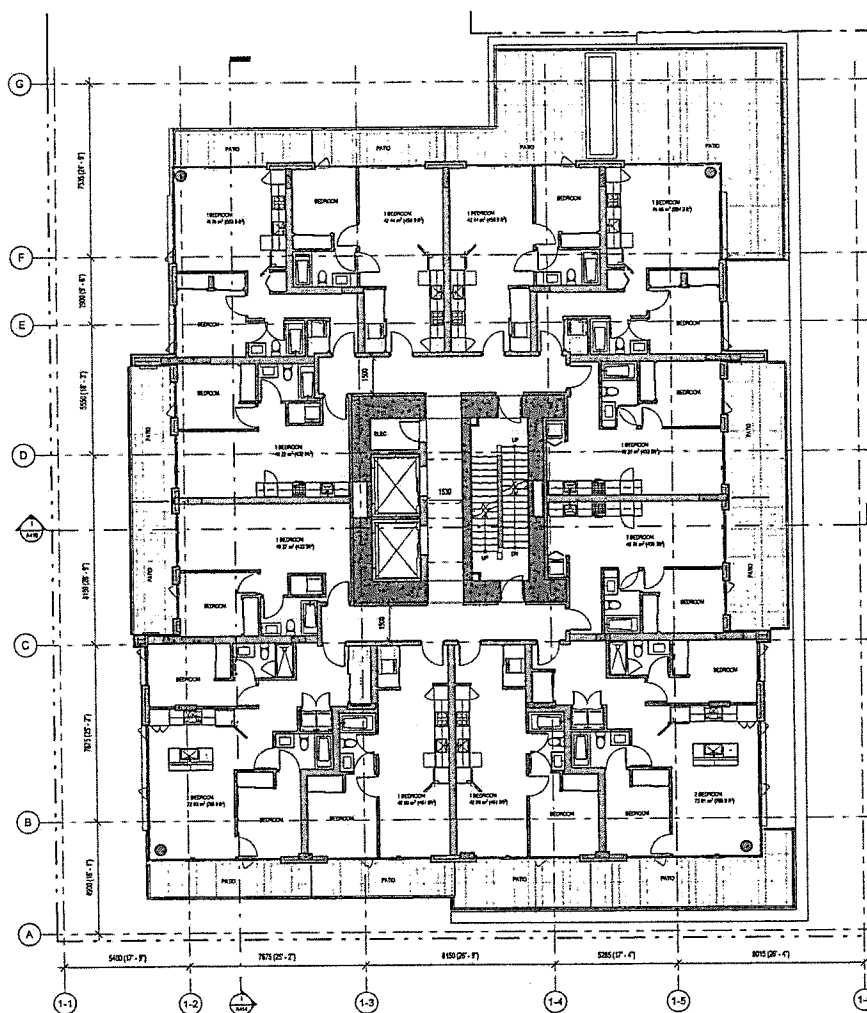
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DRAWING TITLE  
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4-6

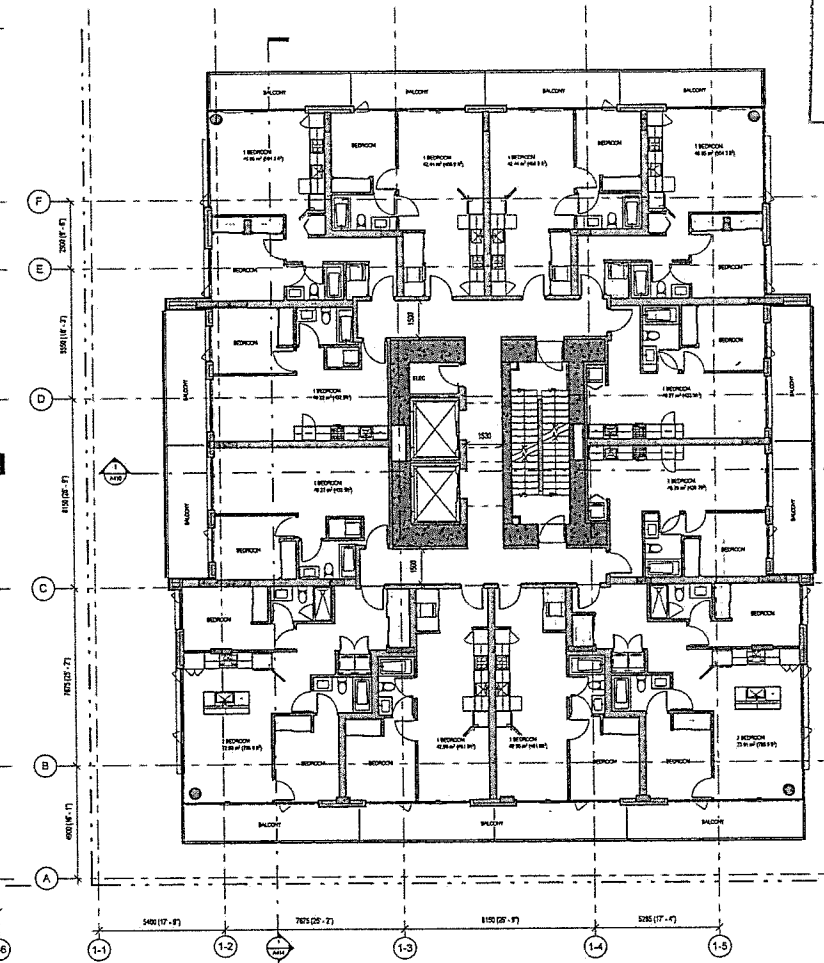
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DWG. NO.  
A206

DATE: 18.11.20 SCALE: 1:100 DRAWN: J.A. CHECKED: J.A.



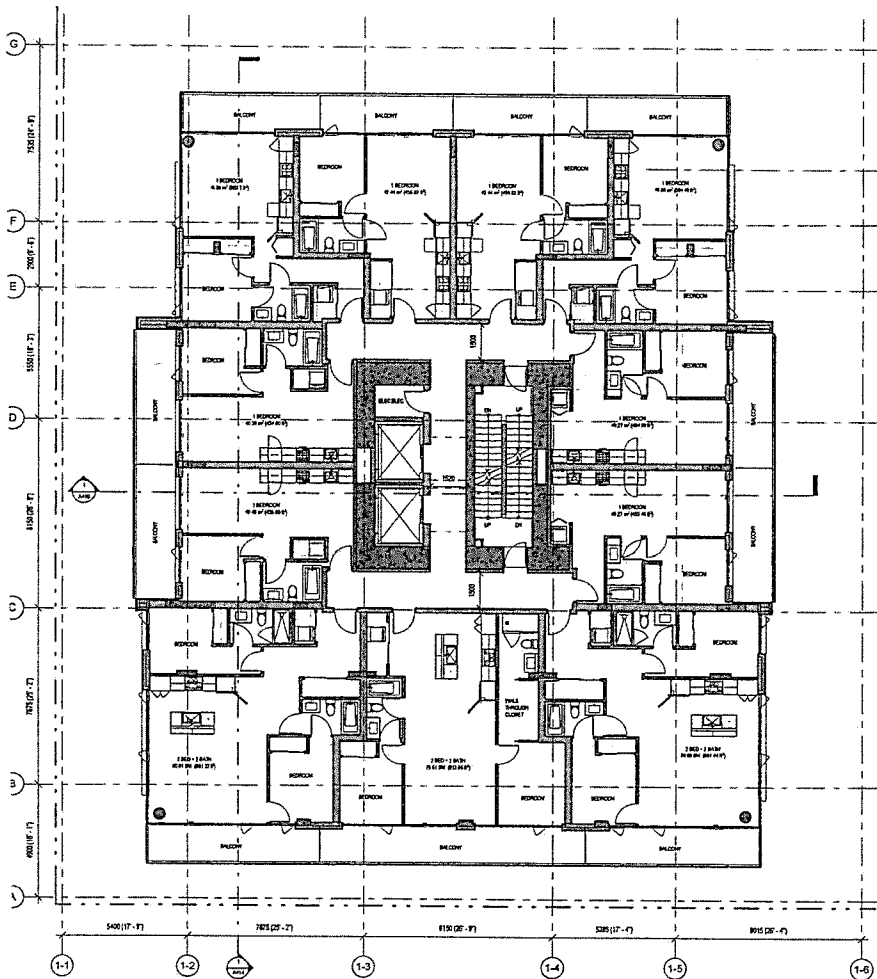
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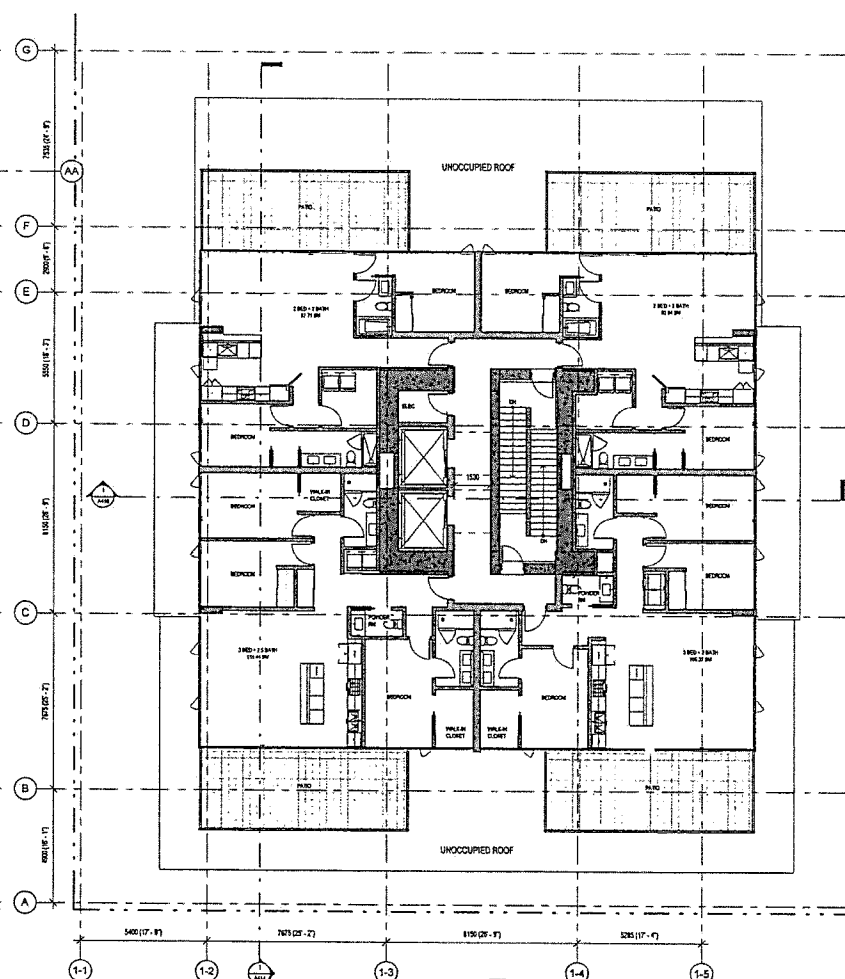
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1 TOWER LEVEL 7-11  
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2 TOWER LEVEL 12  
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PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

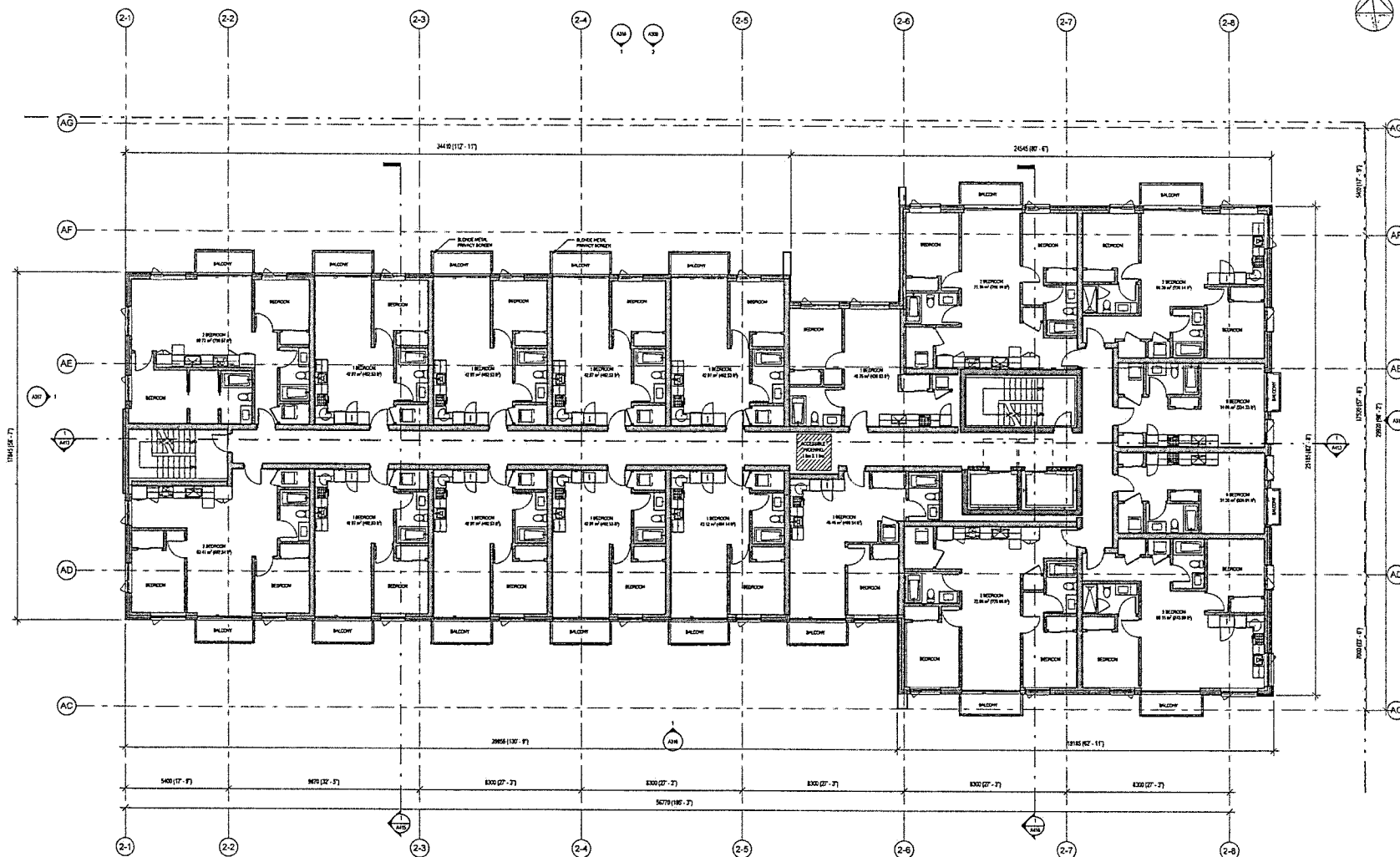
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DRAWING TITLE  
8 STOREY - LEVELS 4 TO 5

PROJECT NUMBER  
18-13

DWG. NO.  
A211

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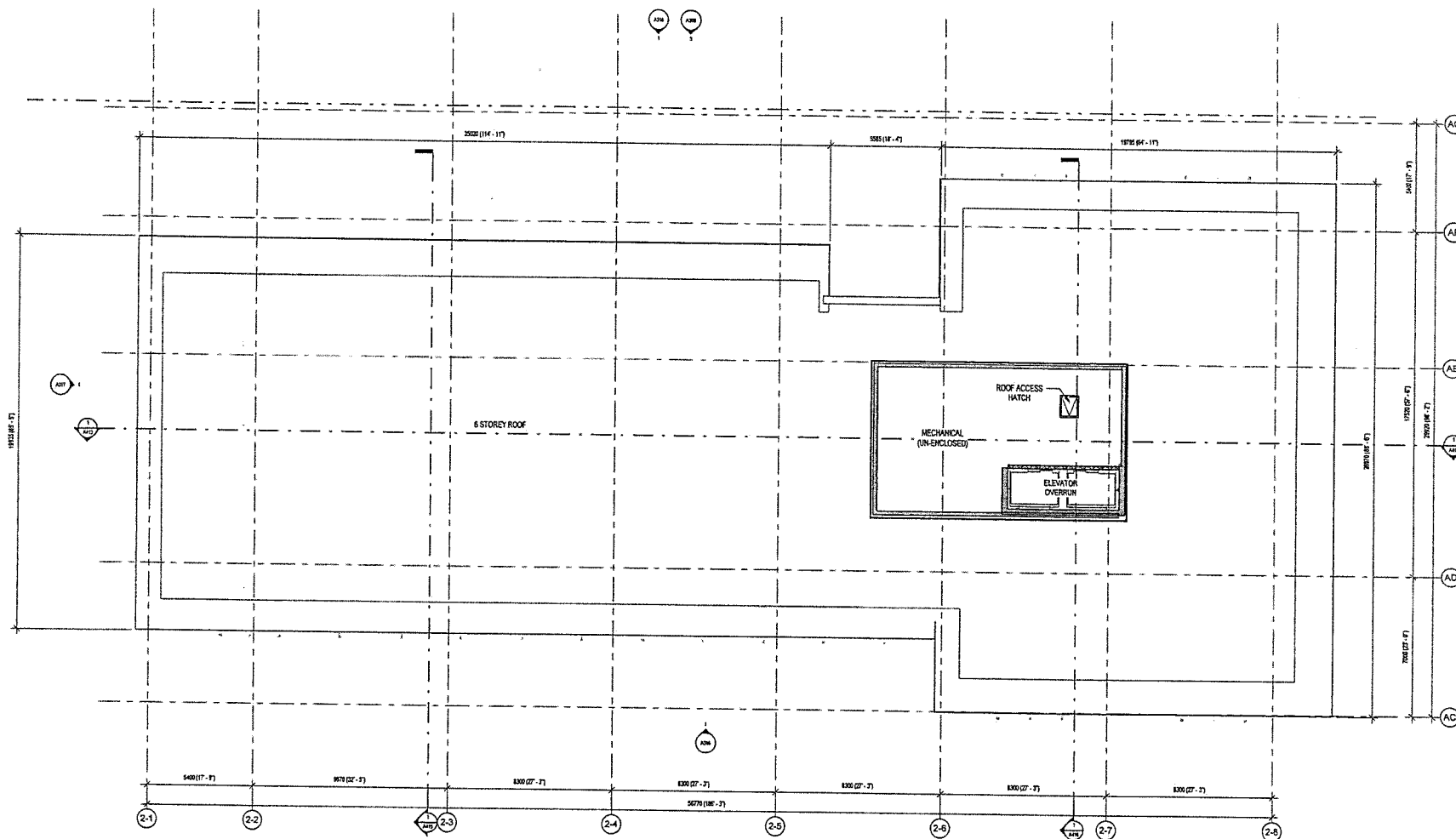
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PROJECT  
COOK STREET PLAZA

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1 6 STOREY ROOF  
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| PROJECT | COOK STREET PLAZA |
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GROUND LEVEL

PROJECT NUMBER  
18-13

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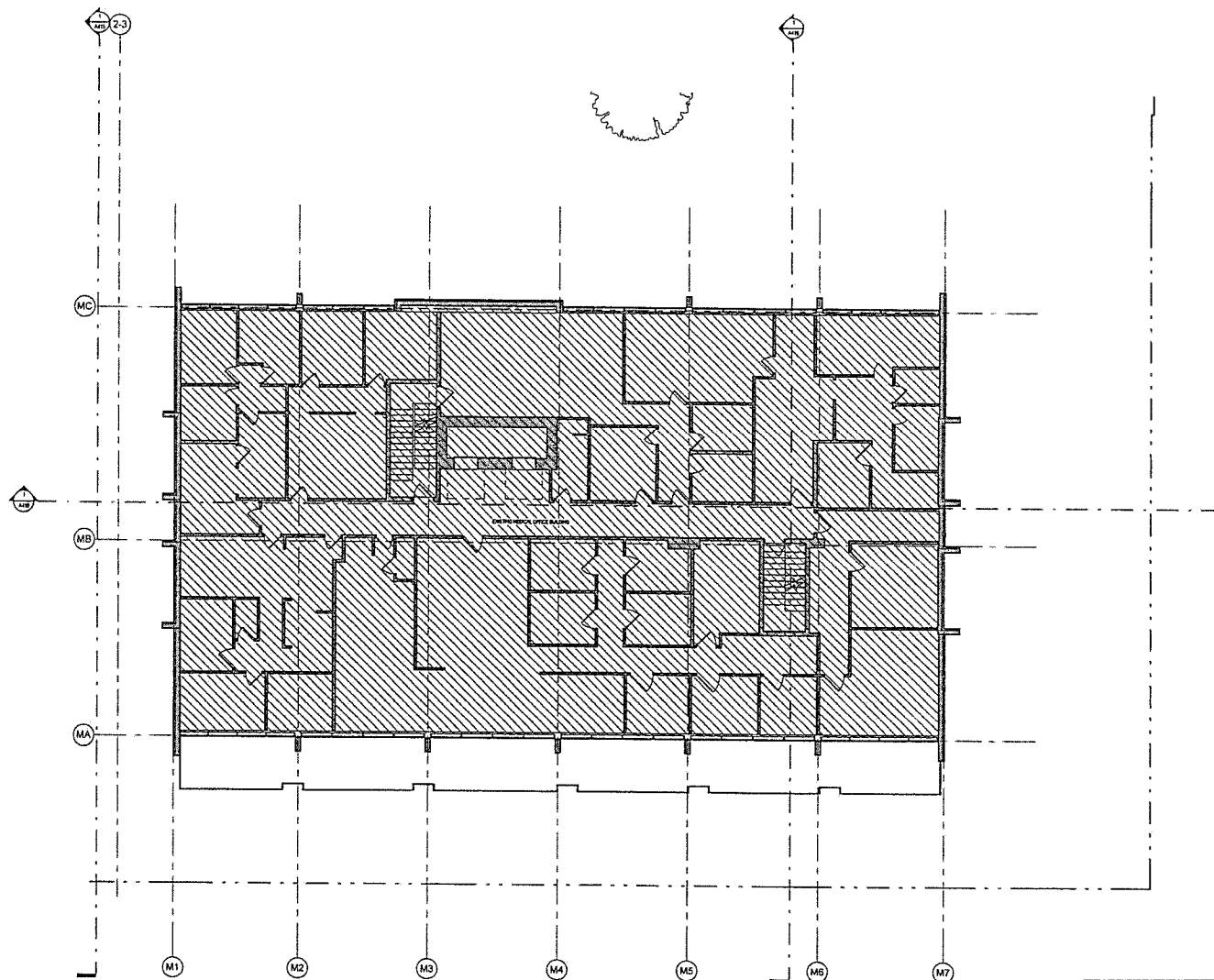
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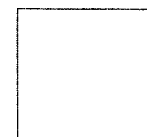
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| 6   | ISSUED FOR RZ 6 OF REVISION SUBMISSION  |    | 2019.11.20 |
| 7   | ISSUED FOR RZ 7 OF REVISION SUBMISSION  |    | 2019.11.20 |
| 8   | ISSUED FOR RZ 8 OF REVISION SUBMISSION  |    | 2019.11.20 |
| 9   | ISSUED FOR RZ 9 OF REVISION SUBMISSION  |    | 2019.11.20 |
| 10  | ISSUED FOR RZ 10 OF REVISION SUBMISSION |    | 2019.11.20 |

| NO. | DESCRIPTION      | BY | DATE |
|-----|------------------|----|------|
| 1   | CURRENT REVISION |    |      |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

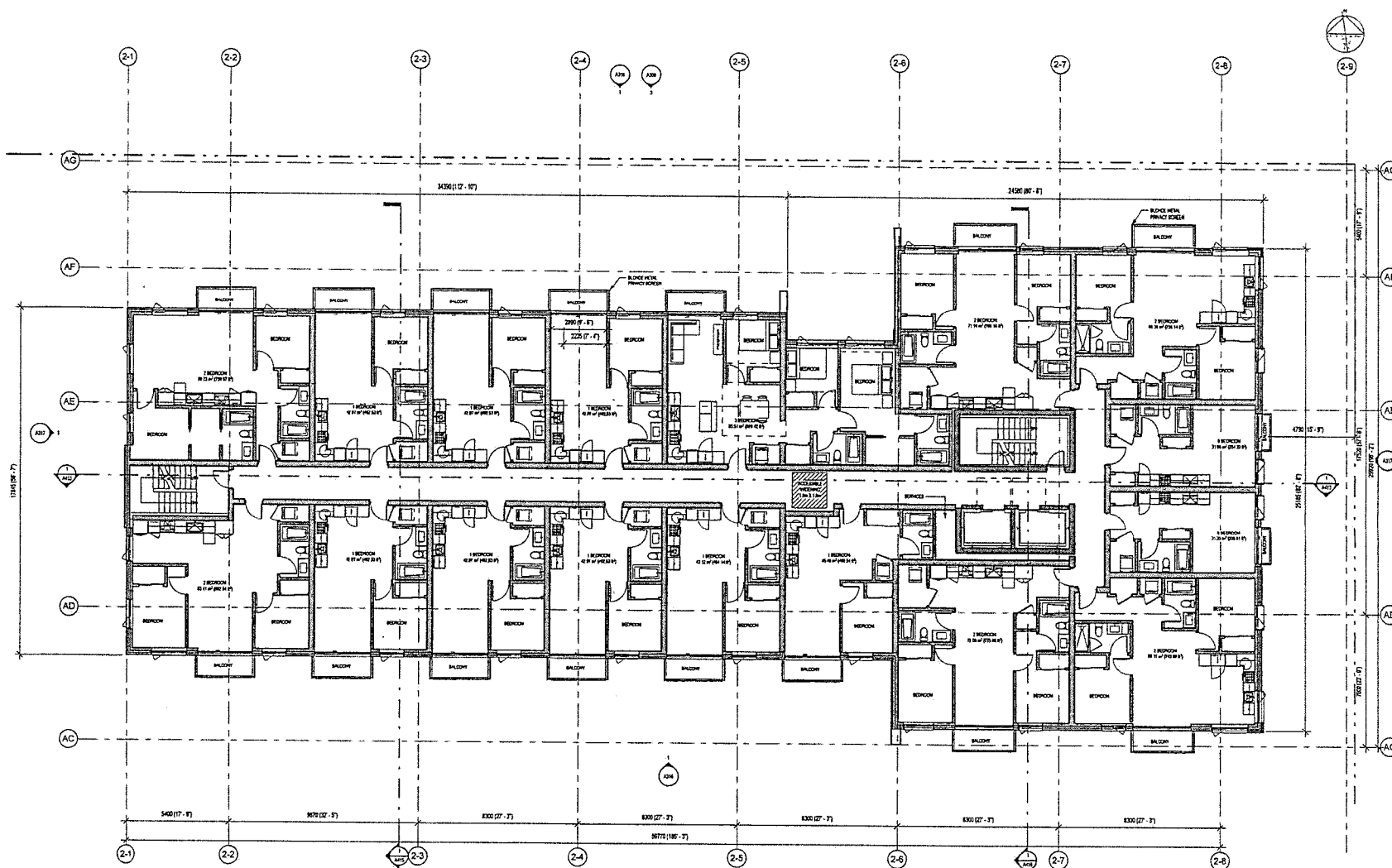
PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
MEDICAL OFFICE  
TYPICAL LEVEL

PROJECT NUMBER  
18-13

DWG NO.  
A222

| DATE     | SCALE | DRAWN  | CHECKED |
|----------|-------|--------|---------|
| 18.11.20 | 1:100 | Author | Checker |



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| NO. | DESCRIPTION                           | BY | DATE       |
|-----|---------------------------------------|----|------------|
| 1   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 2   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 3   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 4   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 5   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 6   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 7   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 8   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 9   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |
| 10  | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |

| NO. | DESCRIPTION                           | BY | DATE       |
|-----|---------------------------------------|----|------------|
| 1   | ISSUED FOR R2 & OF REVISED SUBMISSION |    | 2018.01.23 |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

| DRAWING TITLE               | PROJECT NUMBER |
|-----------------------------|----------------|
| 6 STOREY - LEVELS<br>2 TO 3 | 18-13          |
|                             | DWG NO.        |
|                             | A210           |

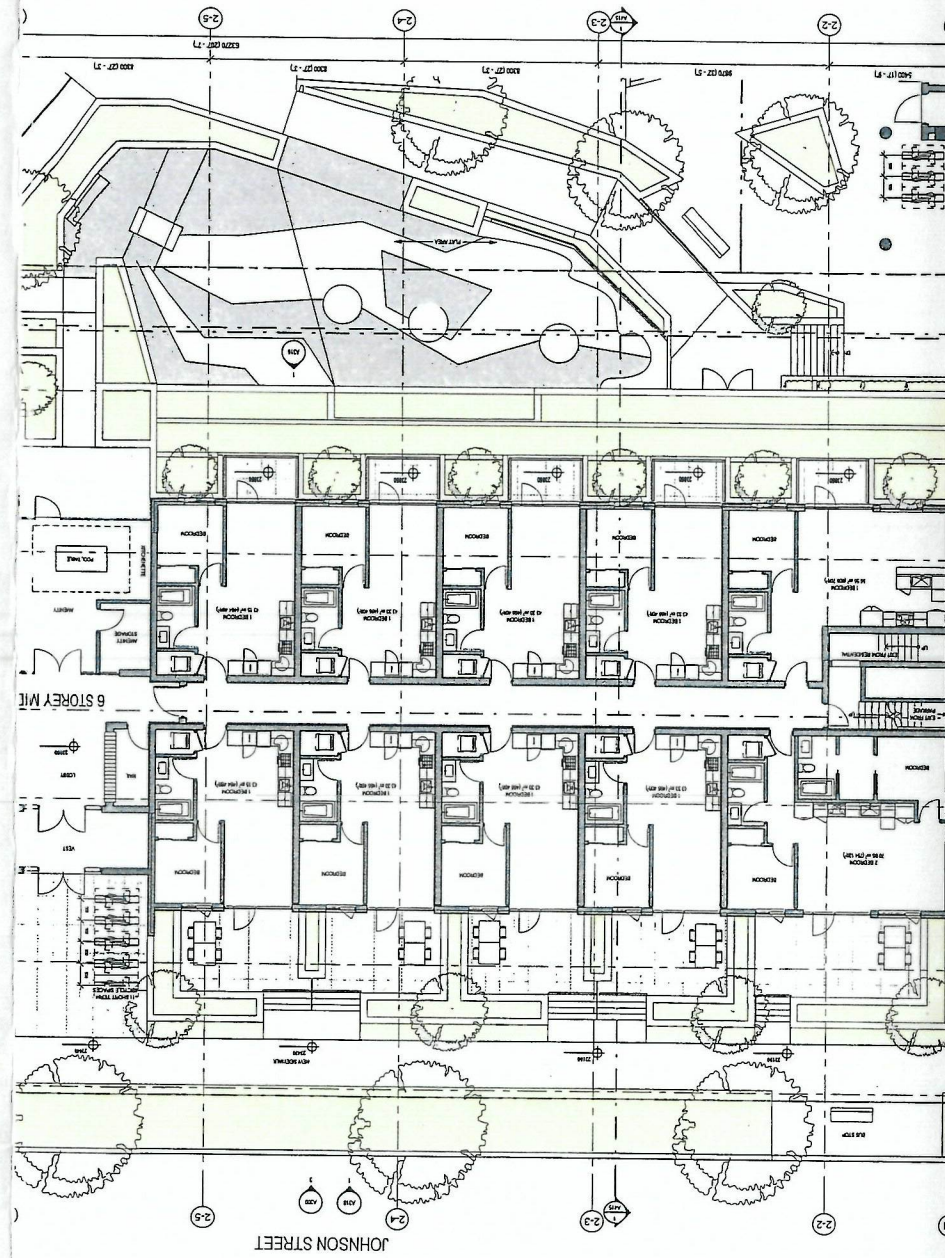
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| 18.01.20 | 1:100 | Author | Checker |

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City of Victoria

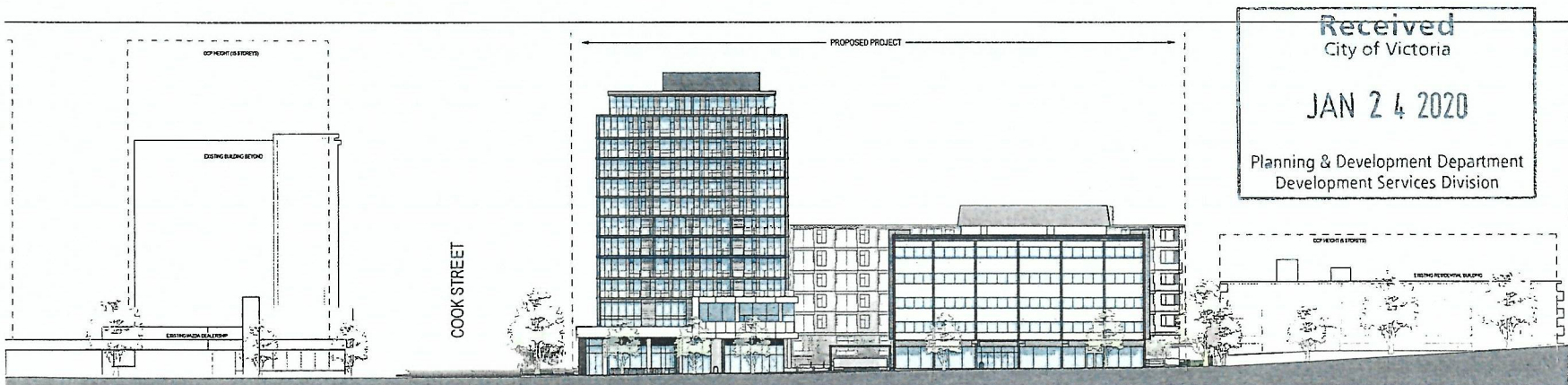
JAN 24 2020

Planning & Development Department  
Development Services Division

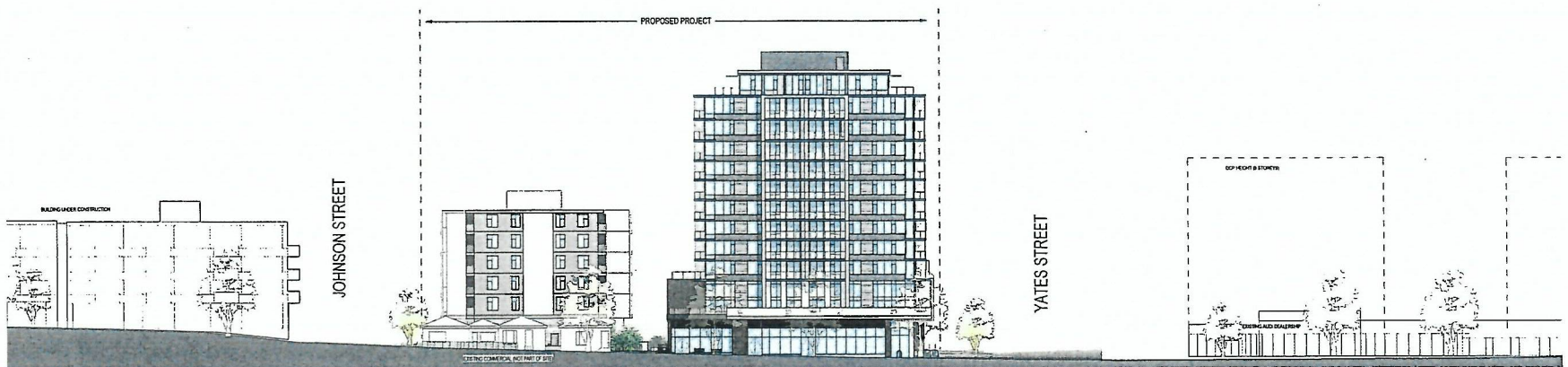
6 STOREY LEVEL 2 TO 3  
1:100







1 YATES STREET ELEVATION  
1:300



2 COOK STREET ELEVATION  
1:300



3 JOHNSON STREET ELEVATION  
1:300

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JAN 24 2020

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SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
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J.E. ANDERSON & ASSOCIATES

| NO. | DESCRIPTION                           | BY         | DATE |
|-----|---------------------------------------|------------|------|
| 1   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 2   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 3   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 4   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 5   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
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| 8   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 9   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 10  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 11  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 12  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 13  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 14  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 15  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 16  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 17  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 18  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 19  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |
| 20  | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |

| NO. | DESCRIPTION                           | BY         | DATE |
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| 1   | ISSUED FOR RZ & OF REVISED SUBMISSION | 2019.07.23 |      |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

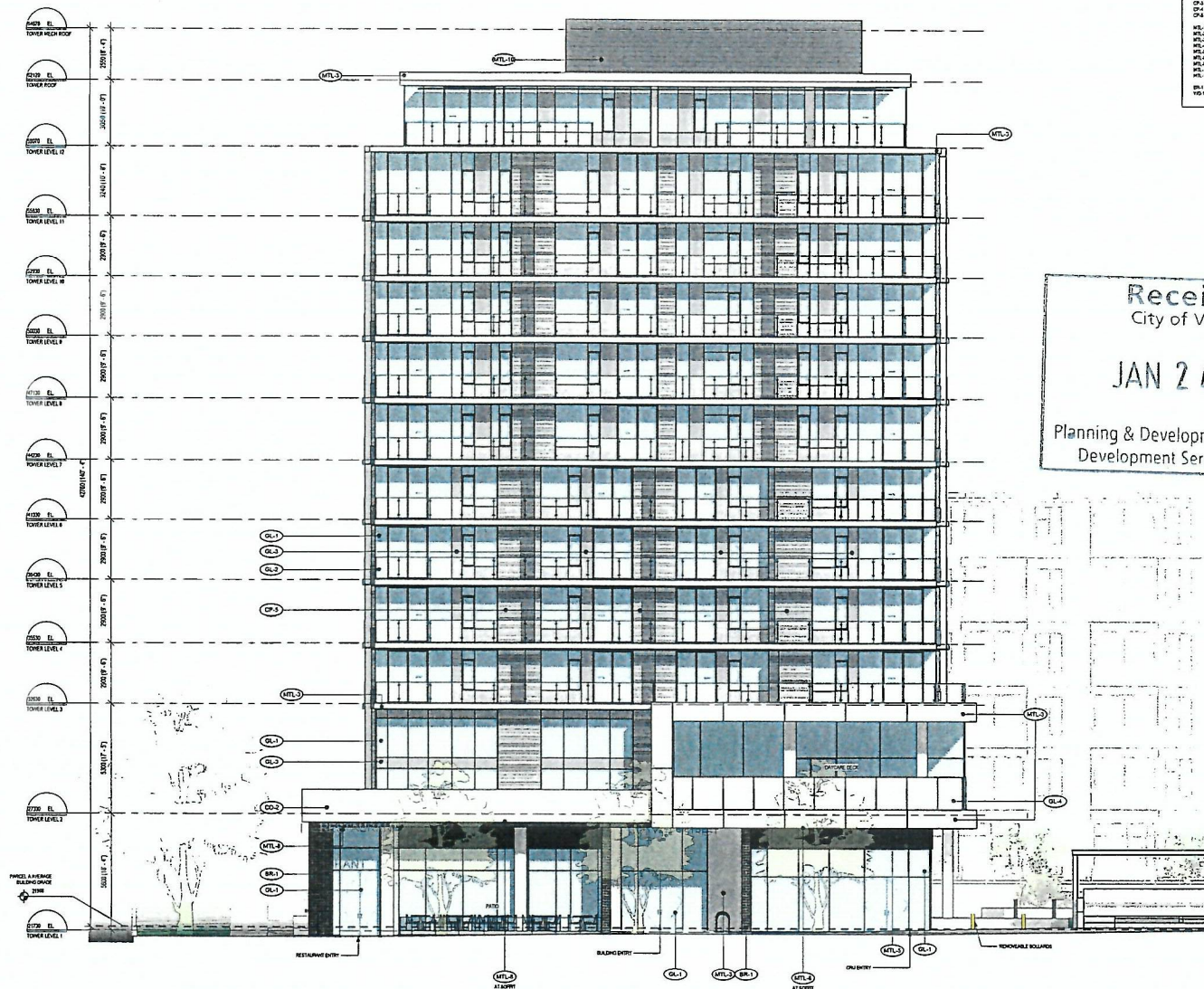
DRAWING TITLE  
STREET  
ELEVATIONS

PROJECT NUMBER  
18-13

DWG NO  
A300

| DATE     | SCALE | DRAWN  | CHECKED |
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JAN 24 2020

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| NO. | DESCRIPTION                             | DATE       |
|-----|---|------------|
| 1   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 2   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 3   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 4   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 5   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 6   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
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| 8   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 9   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |
| 10  | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |

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| 1   | ISSUED FOR R.E. & OF REVISED SUBMISSION | 2019.07.23 |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
BUILDING ELEVATION

PROJECT NUMBER  
18-13

DWG NO.  
A305

| DATE     | SCALE | DRAWN  | CHECKED |
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| 18.11.20 | 1:100 | Author | Checker |

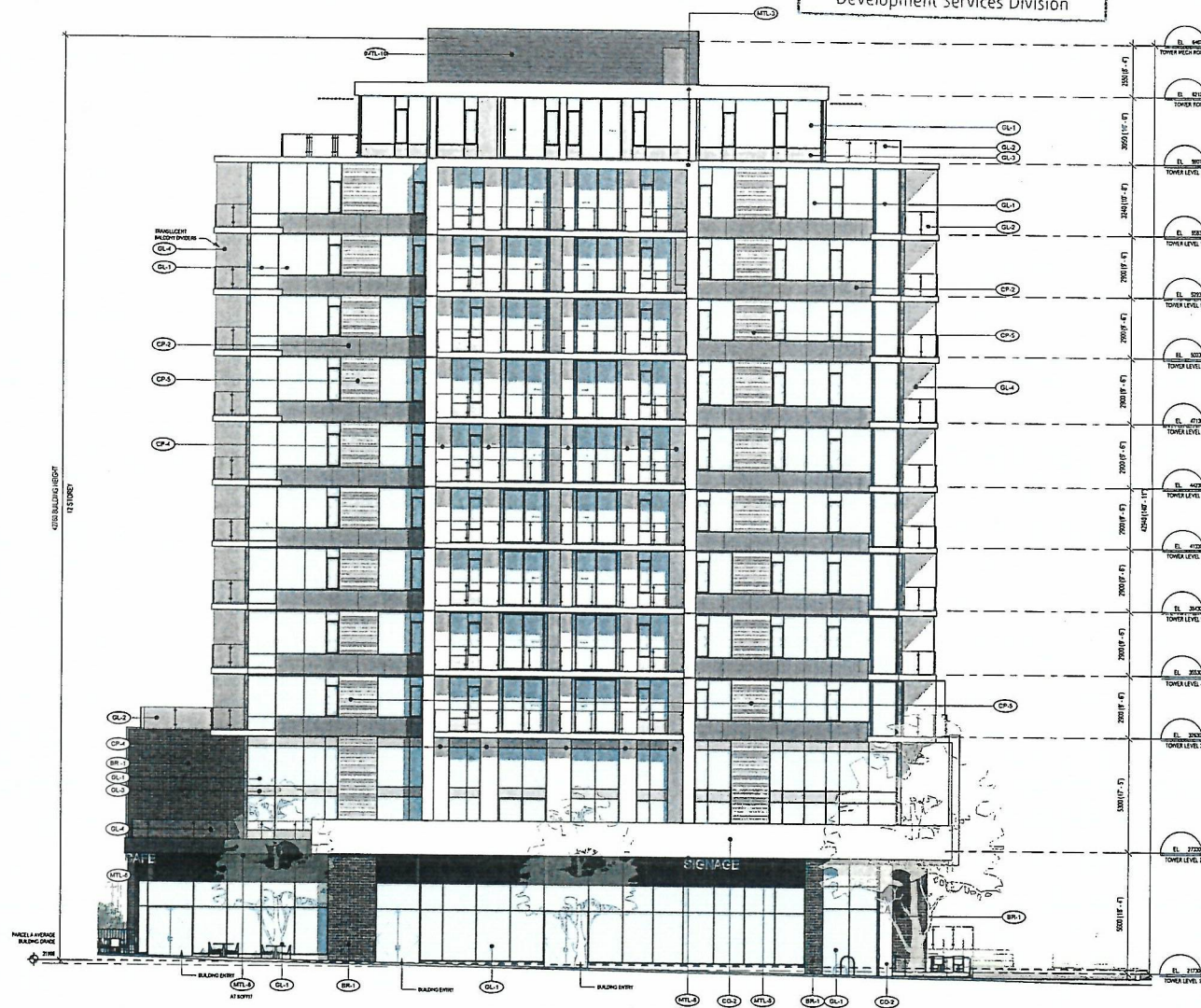
1 12 STOREY SOUTH  
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Planning & Development Department  
Development Services Division

1 WEST 37TH AVENUE  
VANCOUVER BC V5S 1L4 CANADA

- |      |  |
|------|--|
| CL-1 | • POLIATED GLASS (PSCH GLASS)          |
| CL-2 | • GLASS SURFACIAL (REFLECTED LUMINA)   |
| CL-3 | • GLASS SPACER GLASS                   |
| CL-4 | • FROSTED GLASS                        |
| CO-1 | • ARCHITECTURAL CONCRETE               |
| CO-2 | • PAINTED CONCRETE (SPRIT)             |
| CO-3 | • PAINTED CONCRETE (MILCHTONE PAINT)   |
| CP-1 | • CEMENTITIOUS PANEL (GLASS)           |
| CP-2 | • CEMENTITIOUS PANEL (WET GROUT)       |
| CP-3 | • CLEAR CEMENTITIOUS PANEL (GLASS)     |
| CP-4 | • LINEAR CEMENTITIOUS PANEL (GLASS)    |
| MR-1 | • METAL PANEL (WOOD ORIENTED)          |
| MR-2 | • METAL CLADDING (WOODGRAIN WET GROUT) |
| MR-3 | • METAL PANEL (GLASS)                  |
| MR-4 | • 1/4" METAL PANEL (WOODGRAIN)         |
| MR-5 | • METAL PLATING & THIN (GLASS OR)      |
| MR-6 | • METAL, SORTED (WOOD, GLASS OR)       |
| MR-7 | • METAL FRAMING & THIN (GLASS OR)      |
| MR-8 | • CORRUGATED METAL, SCREENED (FRAMING) |
| MR-9 | • BLOCK METAL FRAMING SCREEN           |
| BP-1 | • BRICK (WETTER BRICK)                 |
| BP-2 | • WOOD (WETTER BRICK)                  |



1 12 STOREY WEST  
1:100

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| H  | ISSUED FOR R2 L OF REVISED SUBMISSION |    |      |  | 2020-01-31 |
| F  | ISSUED FOR R2 L OF REVISED SUBMISSION |    |      |  | 2018-07-27 |
| E  | ISSUED FOR R2 L OF REVISION           |    |      |  | 2018-06-14 |
| D  | ISSUED FOR R2 L OF REVISED SUBMISSION |    |      |  | 2018-05-15 |
| C  | ISSUED FOR R2 L OF REVISED SUBMISSION |    |      |  | 2018-02-07 |
| B  | ISSUED FOR R2 L OF APPLICATION        |    |      |  | 2018-12-15 |
| A  | ISSUED FOR CALCUL.                    |    |      |  | 2018-11-27 |
| NO | DESCRIPTION                           | BY | DATE |  |            |
|    | CURRENT REVISION                      |    | H    |  |            |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

|         |                   |
|---------|-------------------|
| PROJECT | COOK STREET PLAZA |
|---------|-------------------|

DRAWING TITLE  
BUILDING  
ELEVATION

|                |       |
|----------------|-------|
| PROJECT NUMBER | 18-13 |
|----------------|-------|

DWG. NO.  
**A307**

|                  |                |                 |                    |
|------------------|----------------|-----------------|--------------------|
| DATE<br>18.11.20 | SCALE<br>1:100 | DRAWN<br>Author | CHECKED<br>Checker |
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Development Services Division



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| H | ISSUED FOR RZ & DP REVISED SUBMISSION |  |  |  |  | 709681  |
| F | ISSUED FOR RZ & DP REVISED SUBMISSION |  |  |  |  | 2019-07 |
| E | ISSUED FOR RZ & DP REVISION           |  |  |  |  | 2019-06 |
| D | ISSUED FOR RZ & DP REVISED SUBMISSION |  |  |  |  | 2019-05 |
| C | ISSUED FOR RZ & DP REVISED SUBMISSION |  |  |  |  | 2019-02 |
| B | ISSUED FOR RZ & DP APPLICATION        |  |  |  |  | 2018-12 |

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| NO.              | DESCRIPTION | BY | DATE |
| CURRENT REVISION |             |    | H    |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
BUILDING  
ELEVATION

PROJECT NUMBER

18-13

DWC NO.

A308

|                  |                  |                 |                    |
|------------------|------------------|-----------------|--------------------|
| DATE<br>18.11.20 | SCALE<br>1 : 100 | DRAWN<br>Author | CHECKED<br>Checker |
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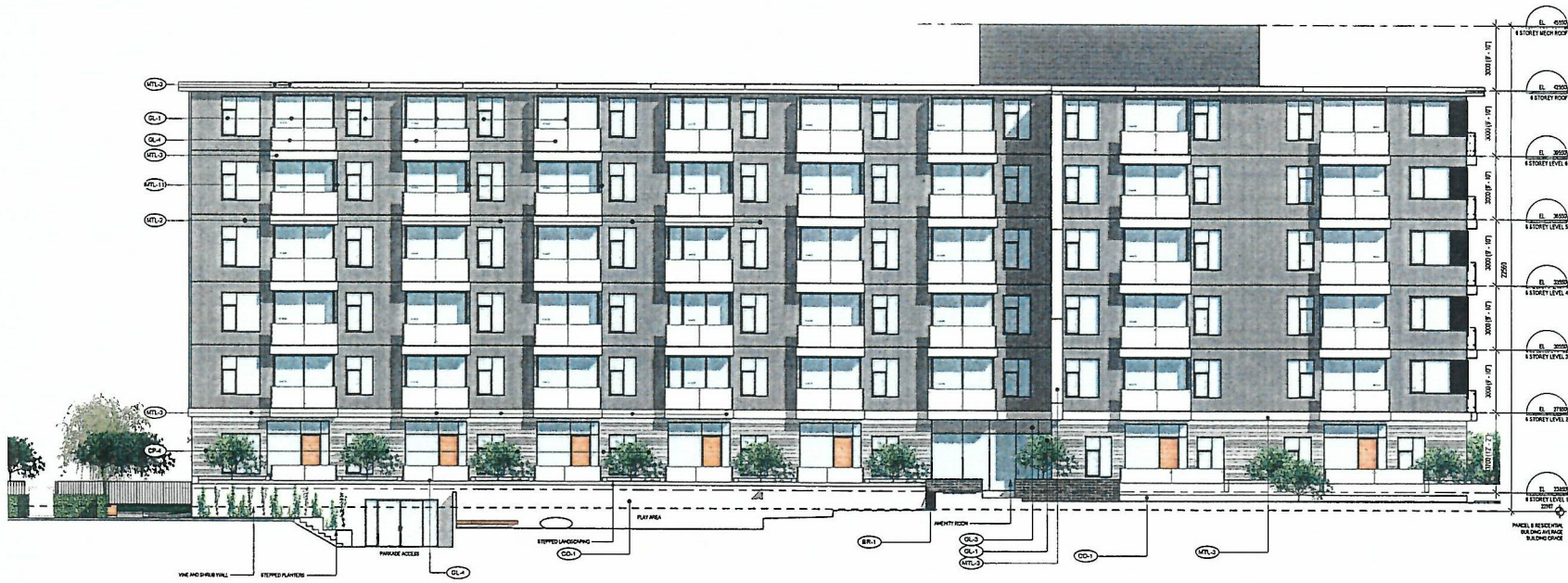




# PROSCENIUM

ARCHITECTURE • INTERIORS INC.  
1 WEST 11th AVENUE  
VANCOUVER BC V6Y 1Y4 CANADA

- GL-1 ISOLATED GLASS (TWO GLASS)
- GL-2 GLASS BALCONY (TWO GLASS)
- GL-3 GLASS BALCONY (TWO GLASS)
- GL-4 FINISHED GLASS
- CC-1 ARCHITECTURAL CONCRETE
- CC-2 FINISHED CONCRETE (PAINTED)
- CC-3 FINISHED CONCRETE (PAINTED)
- CC-4 FINISHED CONCRETE (PAINTED)
- CC-5 FINISHED CONCRETE (PAINTED)
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PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

| DRAWING TITLE      | PROJECT NUMBER |
|--------------------|----------------|
| BUILDING ELEVATION | 18-13          |
|                    | DWG. NO.       |
|                    | A316           |

| DATE     | SCALE | DRAWN  | CHECKED |
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J.E. ANDERSON & ASSOCIATES  
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|-----|------------|--|------------|---------|
| 1   | 2018.11.20 | ISSUED FOR RZ & QP REVISION SUBMISSION | 2018.11.20 |         |
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PROJECT ADDRESS  
1100, 1120 YATES ST., 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
BUILDING  
ELEVATION

PROJECT NUMBER  
18-13

DWG. NO.  
A317

| DATE     | SCALE | DRAWN  | CHECKED |
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| 18.11.20 | 1:100 | Author | Checker |

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438 472 1476

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| 1   | ISSUED FOR RL & DP REVISION SUBMISSION | BT | 2018.01.23 |
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| 3   | ISSUED FOR RL & DP REVISION SUBMISSION | BT | 2018.08.14 |
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| 5   | ISSUED FOR RL & DP REVISION SUBMISSION | BT | 2018.08.27 |
| 6   | ISSUED FOR RL & DP APPLICATION         | BT | 2018.12.13 |
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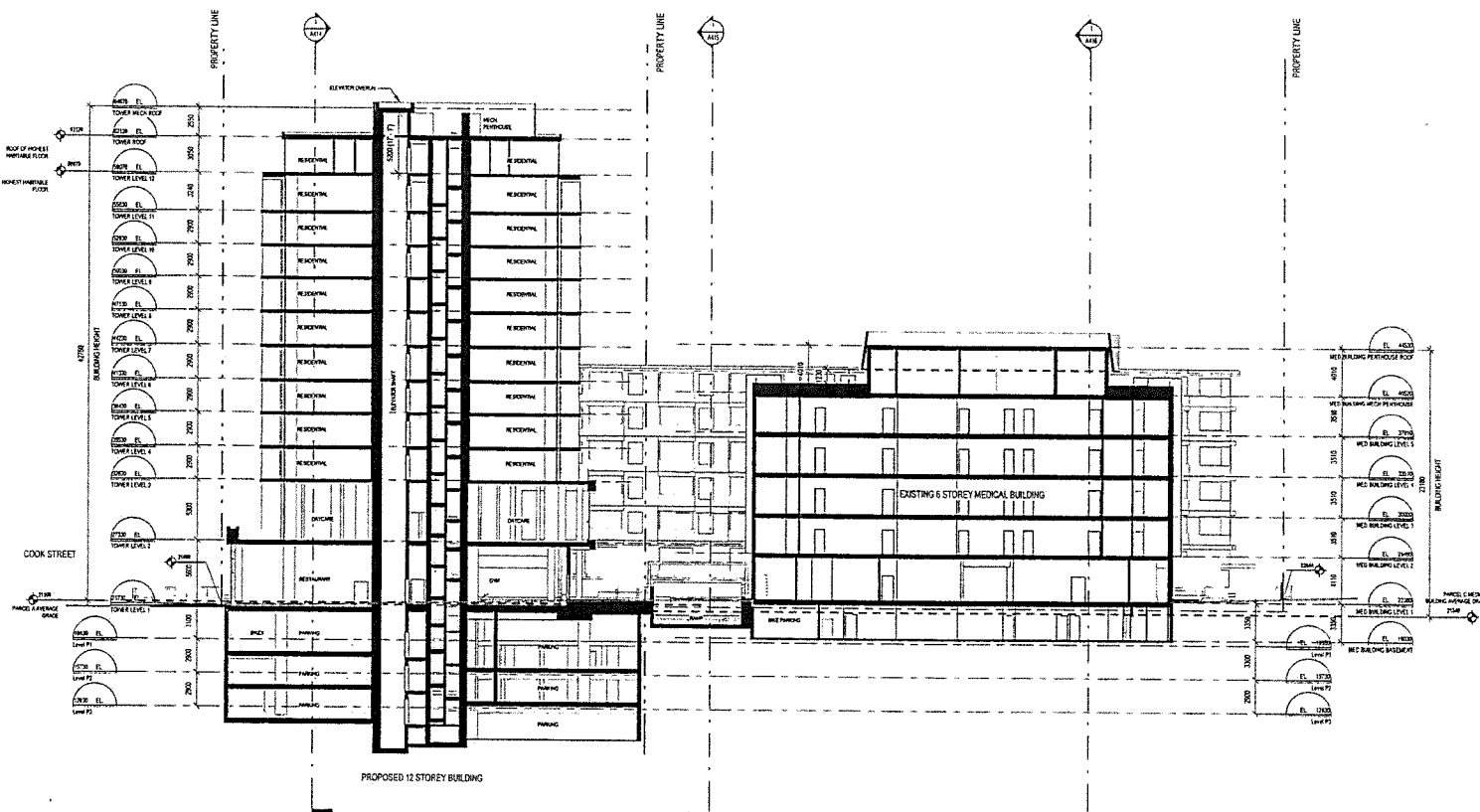
PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

| DRAWING TITLE      | PROJECT NUMBER |
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| BUILDING ELEVATION | 18-13          |
| DWG. NO.           | A318           |
| DATE               | 18.11.20       |
| SCALE              | 1:100          |
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PROJECT ADDRESS  
1100, 1120 YATES ST., 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

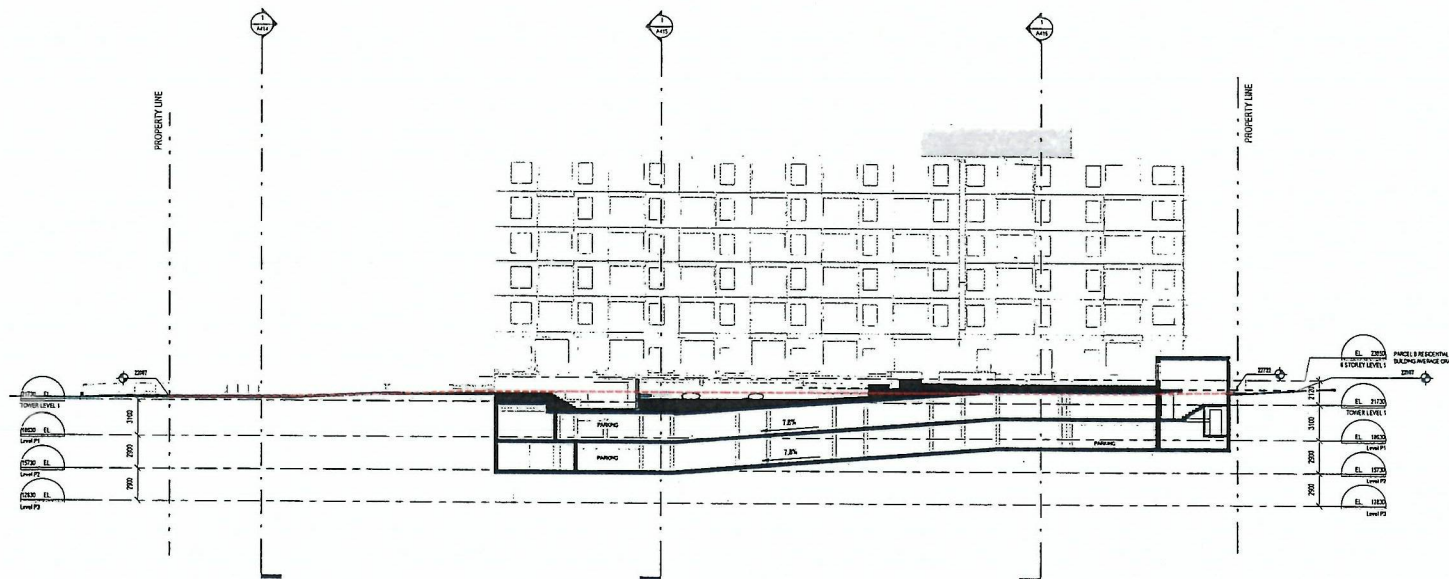
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| SCALE                 | CHECKED        |
| AS SHOWN              | PC             |
| DRAWN                 |                |
| BO                    |                |

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1 SITE SECTION 1 LOOKING EAST  
1:200

# PROSCENIUM

ARCHITECTURE • INTERIORS, INC.  
1 WEST 7TH AVENUE  
VANCOUVER BC V6Y 1Y4 CANADA  
604 684 4744 FAX  
P



1 SITE SECTION 2 LOOKING NORTH  
1:200

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LADR LANDSCAPE ARCHITECTS  
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MECHANICAL ENGINEER  
AME GROUP  
ELECTRICAL ENGINEER  
AES ENGINEERING  
GEOTECHNICAL ENGINEER  
RYZUK GEOTECHNICAL  
TRAFFIC ENGINEER  
BUNT ENGINEERING  
SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

| NO. | REVISION                                | DATE       |
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PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
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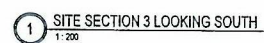
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SECTIONS  
PROJECT NUMBER  
18-13  
DWG NO.  
A411

DATE  
18.11.20  
SCALE  
As Indicated  
DRAWN  
SD  
CHECKED  
PC



## ARCHITECTURAL INTERIORS INC.

1 WEST 2TH AVENUE  
SANDUSKIE, NY 14888



Planning & Development Department  
Development Services Division

LANDSCAPE ARCHITECT  
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RYZUK GEOTECHNICAL  
TRAFFIC ENGINEER  
BUNT ENGINEERING  
SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

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PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
OVERALL SITE  
SECTIONS

PROJECT NUMBER

18-13

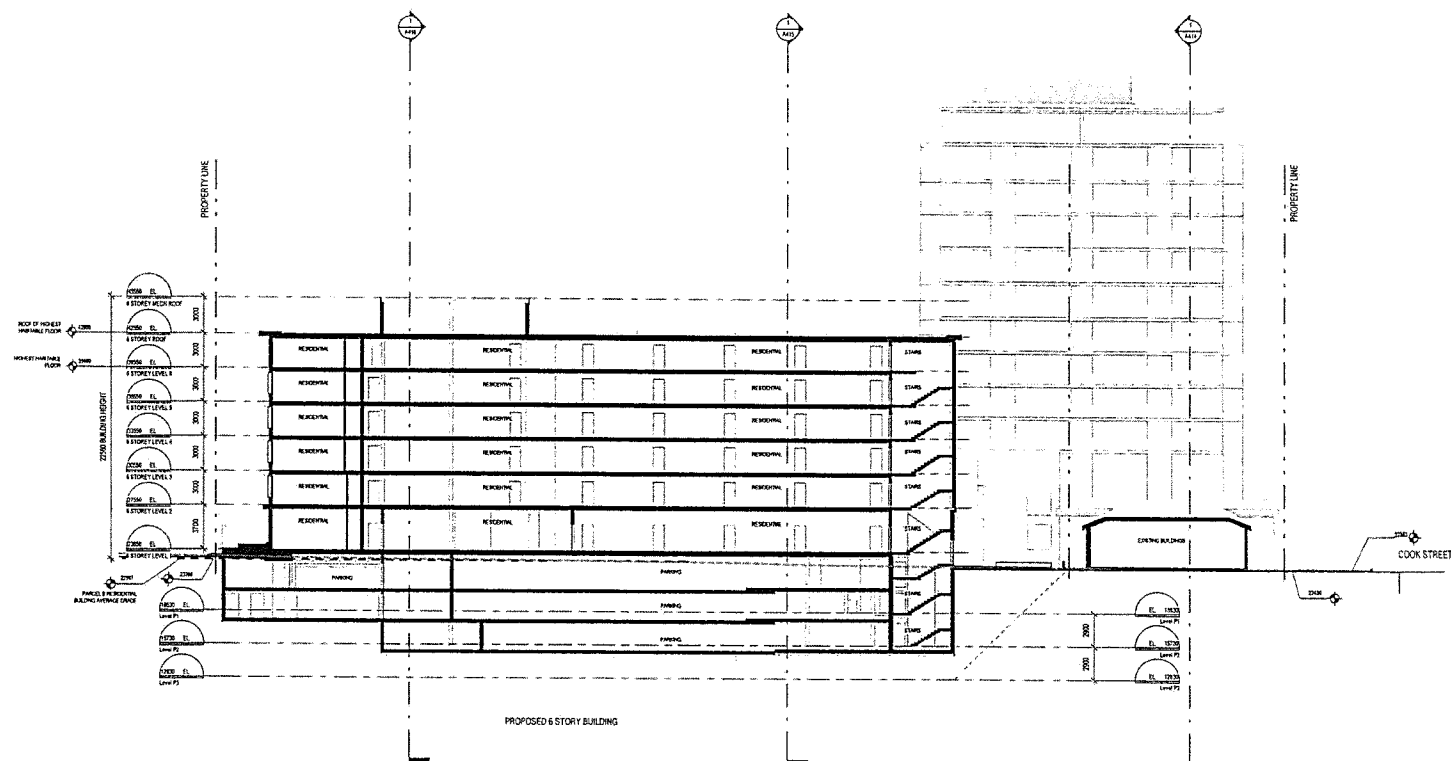
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## CONSTRUCTIVE INTERPRETERS AND

○ 謝麗潔、王月明、李國雄、陳國治  
 香港社會服務處社區服務部、香港社會服務處、香港社會服務處、香港社會服務處

|                  | EXISTING NATURAL GRADE |
|------------------|------------------------|
| STATION          |                        |
| ELEVATION        |                        |
| CALCULATED GRADE |                        |



1 SITE SECTION 4 LOOKING SOUTH

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BUNT ENGINEERING  
SURVEYOR  
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CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

[illegible]

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
OVERALL SITE  
SECTIONS

PROJECT NUMBER  
18-13

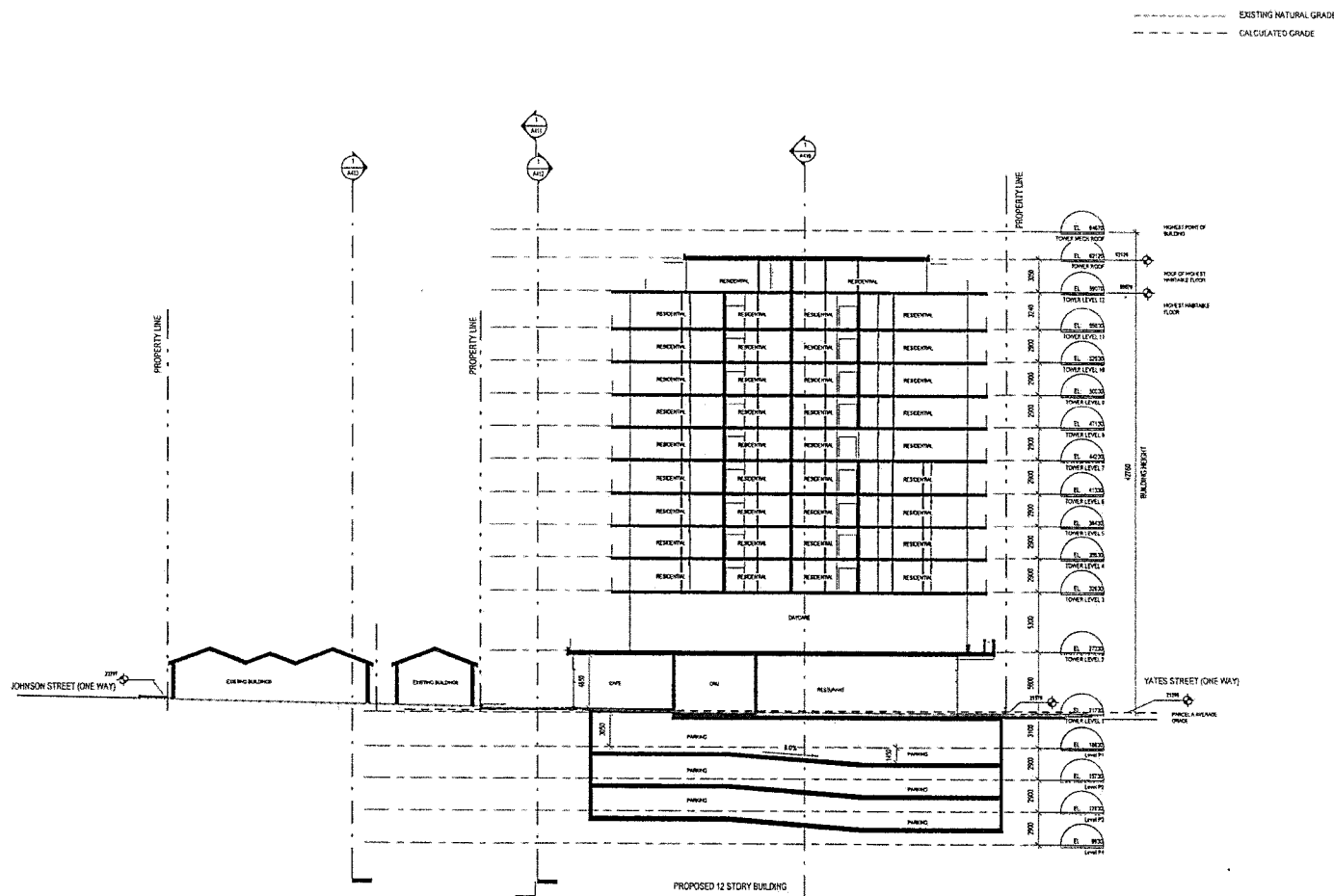
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# PROSCENIUM

ARCHITECTURE + INTERIORS INC.  
4 EAST 7TH AVENUE  
VANCOUVER BC V6T 1A1 CANADA 604 684 4300 FAX



1 SITE SECTION 5 LOOKING EAST  
1:200

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| NO. | DESCRIPTION                             | BY | DATE       |
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| 2   | ISSUED FOR R.C. 2 OF REVISED SUBMISSION |    | 2019.02.27 |
| 3   | ISSUED FOR R.C. 3 OF REVISED SUBMISSION |    | 2019.06.14 |
| 4   | ISSUED FOR R.C. 4 OF REVISED SUBMISSION |    | 2019.08.19 |
| 5   | ISSUED FOR R.C. 5 OF REVISED SUBMISSION |    | 2019.08.27 |
| 6   | ISSUED FOR R.C. 6 OF REVISED SUBMISSION |    | 2019.10.15 |

PROJECT ADDRESS  
1100, 1120 YATES ST., 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
OVERALL SITE  
SECTIONS

PROJECT NUMBER

18-13

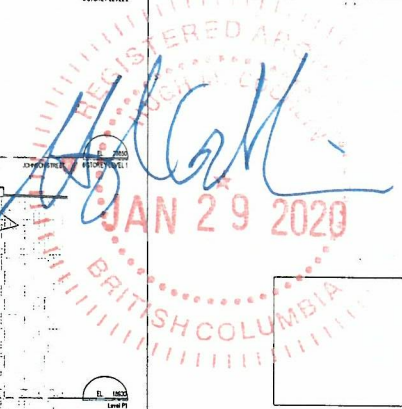
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DATE 18.11.20 SCALE As Indicated DRAWN BY MC CHECKED BY MC

# PROSCENIUM

ARCHITECTURE + INTERIORS INC.  
1 WEST 37th AVENUE  
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- TRAFFIC ENGINEER  
BUNT ENGINEERING
- SURVEYOR  
J.E. ANDERSON & ASSOCIATES
- CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

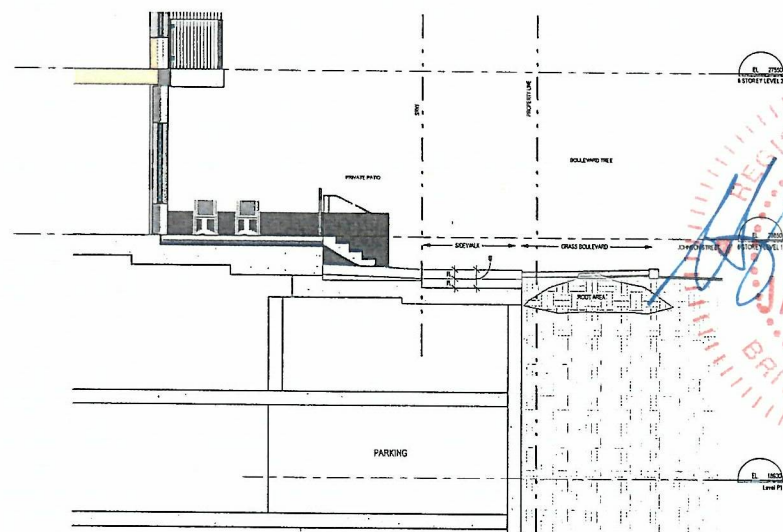
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| C   | ISSUED FOR R2 & OF REVISED SUBMISSION | 2019-06-14 |
| D   | ISSUED FOR R2 & OF REVISED SUBMISSION | 2019-08-15 |
| E   | ISSUED FOR R2 & OF REVISED SUBMISSION | 2019-08-27 |
| F   | ISSUED FOR R2 & OF REVISED SUBMISSION | 2019-12-13 |

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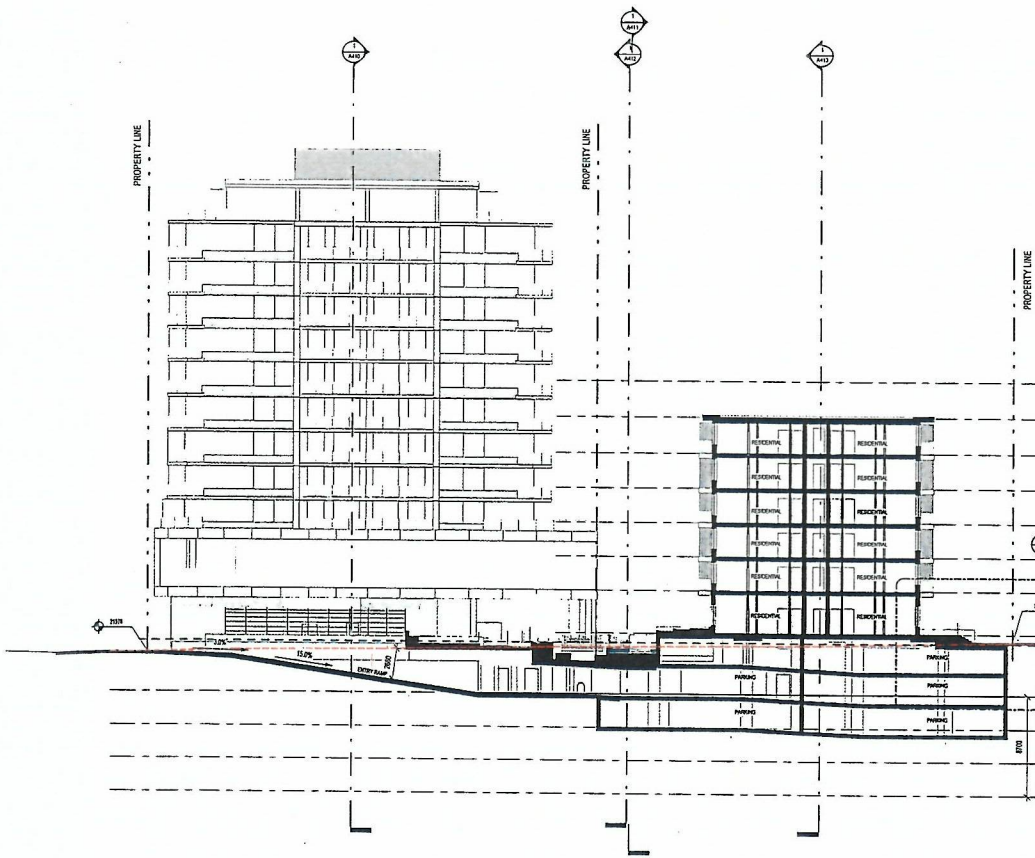
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1100, 1120 YATES ST., 1109, 1115 JOHNSON ST.

PROJECT  
COOK STREET PLAZA

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| DATE<br>18.11.20                       | SCALE<br>As Indicated                              |
| DRAWN<br>SD                            | CHECKED<br>PC                                      |



2 SECTION THROUGH JOHNSON ST BLVD  
1:50



1 NW SITE SECTION THROUGH TOWER RAMP  
1:200

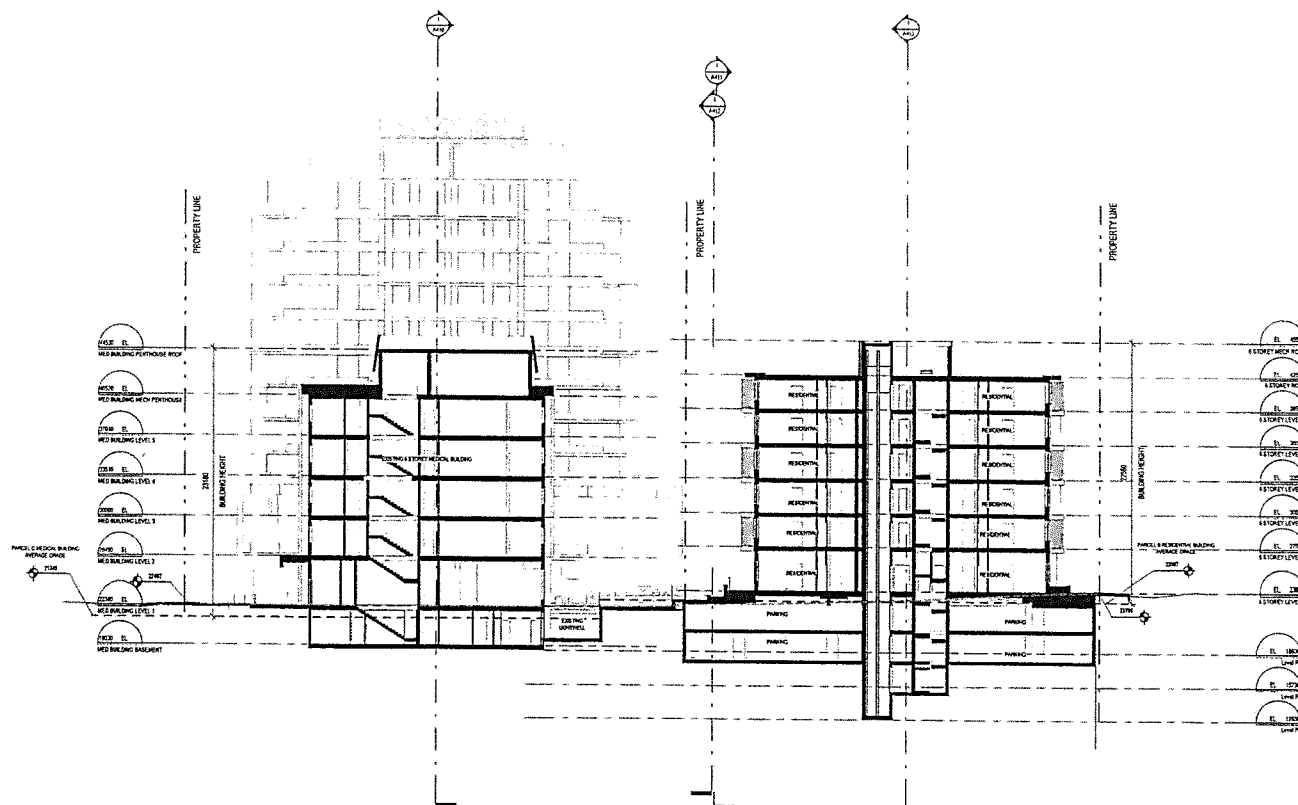
CITY OF VICTORIA

RECEIVED DEEMED  
JAN 30 2020 JAN 24 2019

# PROSCENIUM

ARCHITECTURE + INTERIOR + LANDSCAPE  
7 WEST 10TH AVENUE  
VANCOUVER, BC V6P 1K1 CANADA  
TEL: 604-278-1000  
WWW.PROSCENIUM.VA

----- EXISTING NATURAL GRADE  
----- CALCULATED GRADE



1 N/S MIDRISE RAMP SECTION  
1:200

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JAN 24 2020

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LADR LANDSCAPE ARCHITECTS  
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AME GROUP  
ELECTRICAL ENGINEER  
AES ENGINEERING  
GEOTECHNICAL ENGINEER  
RYZUK GEOTECHNICAL  
TRAFFIC ENGINEER  
BUNT ENGINEERING  
SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

| NO. | DESCRIPTION                             | DATE       |
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| 6   | ISSUED FOR NO. 6 OF REVISED SUBMISSION  | 2019.01.23 |
| 7   | ISSUED FOR NO. 7 OF REVISED SUBMISSION  | 2019.01.23 |
| 8   | ISSUED FOR NO. 8 OF REVISED SUBMISSION  | 2019.01.23 |
| 9   | ISSUED FOR NO. 9 OF REVISED SUBMISSION  | 2019.01.23 |
| 10  | ISSUED FOR NO. 10 OF REVISED SUBMISSION | 2019.01.23 |

| NO. | DESCRIPTION      | BY | DATE |
|-----|------------------|----|------|
| 1   | CURRENT REVISION | IN |      |

PROJECT ADDRESS  
1100, 1120 YATES ST., 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

DRAWING TITLE  
OVERALL SITE  
SECTIONS

PROJECT NUMBER  
18-13

DWG NO.  
A416

| DATE     | SCALE        | DRAWN | CHECKED |
|----------|--------------|-------|---------|
| 18.11.20 | As Indicated | SD    | PC      |





VIEW LOOKING NORTH WEST IN MEWS



VIEW LOOKING WEST IN MEWS



AERIAL VIEW LOOKING WEST IN MEWS



AERIAL VIEW LOOKING EAST IN MEWS



VIEW LOOKING NORTH EAST IN MEWS



VIEW LOOKING NORTH WEST FROM MEDICAL BUILDING BACK ENTRANCE

**PROSCENIUM**  
ARCHITECTURE + INTERIORS INC.  
1000 WEST 10TH AVENUE  
VICTORIA BC V8M 1Y4 CANADA

Received  
City of Victoria

JAN 24 2020

Planning & Development Department  
Development Services Division

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BUNT ENGINEERING  
SURVEYOR  
J.E. ANDERSON & ASSOCIATES  
CIVIL ENGINEER  
J.E. ANDERSON & ASSOCIATES

| NO. | DESCRIPTION                       | BY | DATE       |
|-----|-----------------------------------|----|------------|
| 1   | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 01 23 |
| 2   | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 02 28 |
| 3   | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 03 15 |
| 4   | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 03 15 |
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| 17  | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 03 15 |
| 18  | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 03 15 |
| 19  | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 03 15 |
| 20  | ISSUED FOR PRELIMINARY SUBMISSION | PM | 2019 03 15 |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

PROJECT  
COOK STREET PLAZA

|               |       |                |         |
|---------------|-------|----------------|---------|
| DRAWING TITLE |       | PROJECT NUMBER |         |
| 3D VIEWS      |       | 18-13          |         |
|               |       | DWG. NO.       |         |
|               |       | A501           |         |
| DATE          | SCALE | DRAWN          | CHECKED |
| 18.11.20      |       | Author         | Checker |









OVERALL VIEW FROM CORNER AT JOHNSON AND COOK STREETS



VIEW PAST 6 STOREY BUILDING ALONG JOHNSON STREET



VIEW ALONG JOHNSON STREET



VIEW AT 6 STOREY LOBBY ENTRY

# PROSCENIUM

ARCHITECTURE • INTERIOR DESIGN  
1000 10th Avenue Suite 100  
Vancouver BC V6J 1K4 Canada  
604.681.1111  
www.proscenium.ca

Received  
City of Victoria

JAN 24 2020

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| 19  | ISSUED FOR PRELIMINARY SUBMISSION | H  | 2018-01-23 |
| 20  | ISSUED FOR PRELIMINARY SUBMISSION | H  | 2018-01-23 |

PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

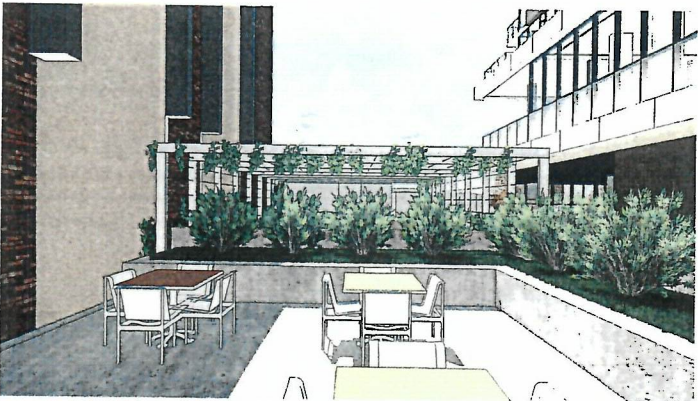
PROJECT  
COOK STREET PLAZA

|  |       |                      |                    |
|--|-------|----------------------|--------------------|
| DRAWING TITLE                          |       | PROJECT NUMBER       |                    |
| STREET VIEW<br>ALONG JOHNSON<br>STREET |       | 18-13                |                    |
|  |       | DWG. NO.<br><br>A503 |                    |
| DATE<br>18.11.20                       | SCALE | DRAWN<br>Author      | CHECKED<br>Checker |





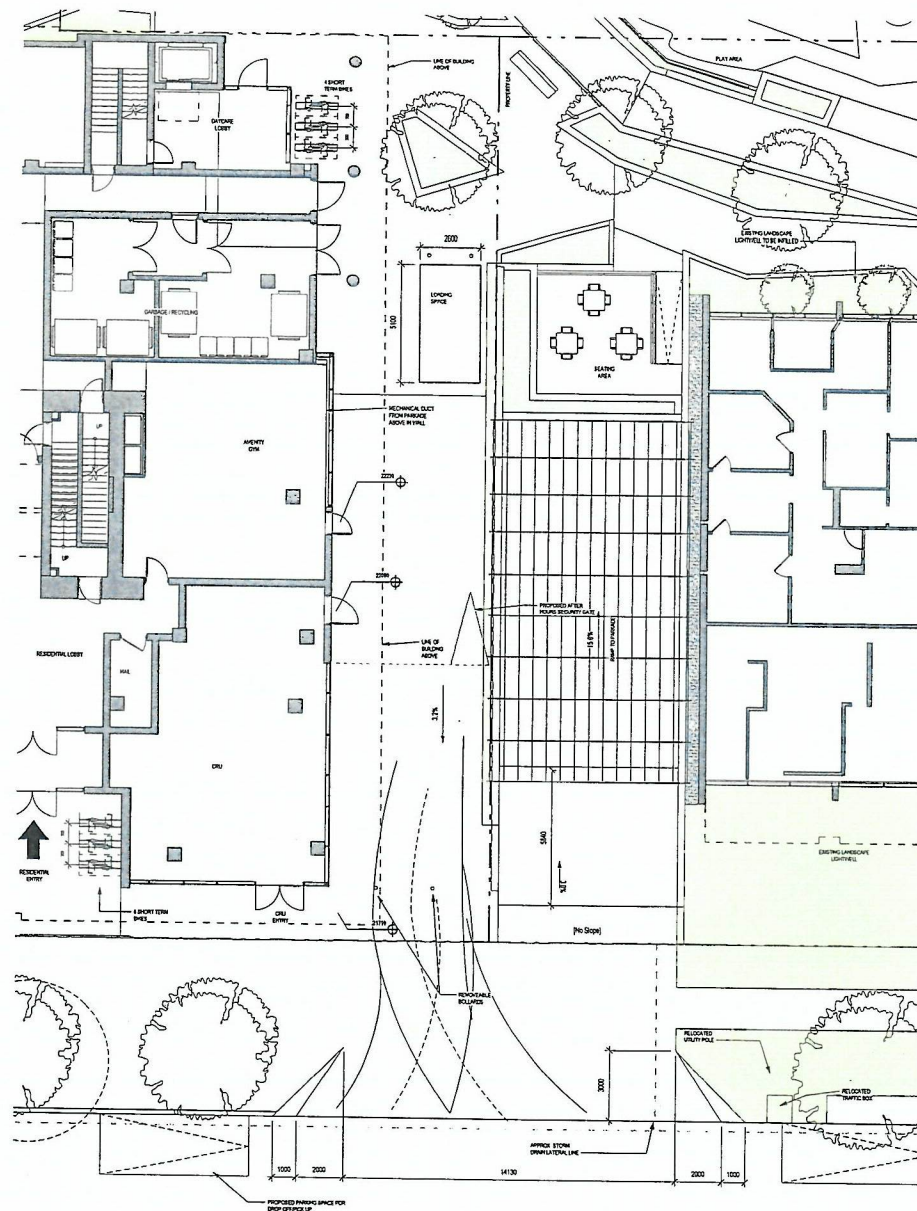
PARKING ENTRANCE - LOOKING NORTH



PARKING ENTRANCE - LOOKING SOUTH FROM SEATING AREA



PARKING ENTRANCE - LOOKING SOUTH



① RZ SITE PLAN - PARKING ENTRANCE  
1:100

YATES STREET (ONE WAY)

Received  
City of Victoria

JAN 24 2020

Planning & Development Department  
Development Services Division

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ARCHITECTURE + INTERIOR INC.  
1 WEST 7TH AVENUE  
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604-681-1234

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| 19  | ISSUED FOR RZ & DP REVISION            |    | 2020.01.23 |
| 20  | ISSUED FOR RZ & DP REVISION            |    | 2020.01.23 |

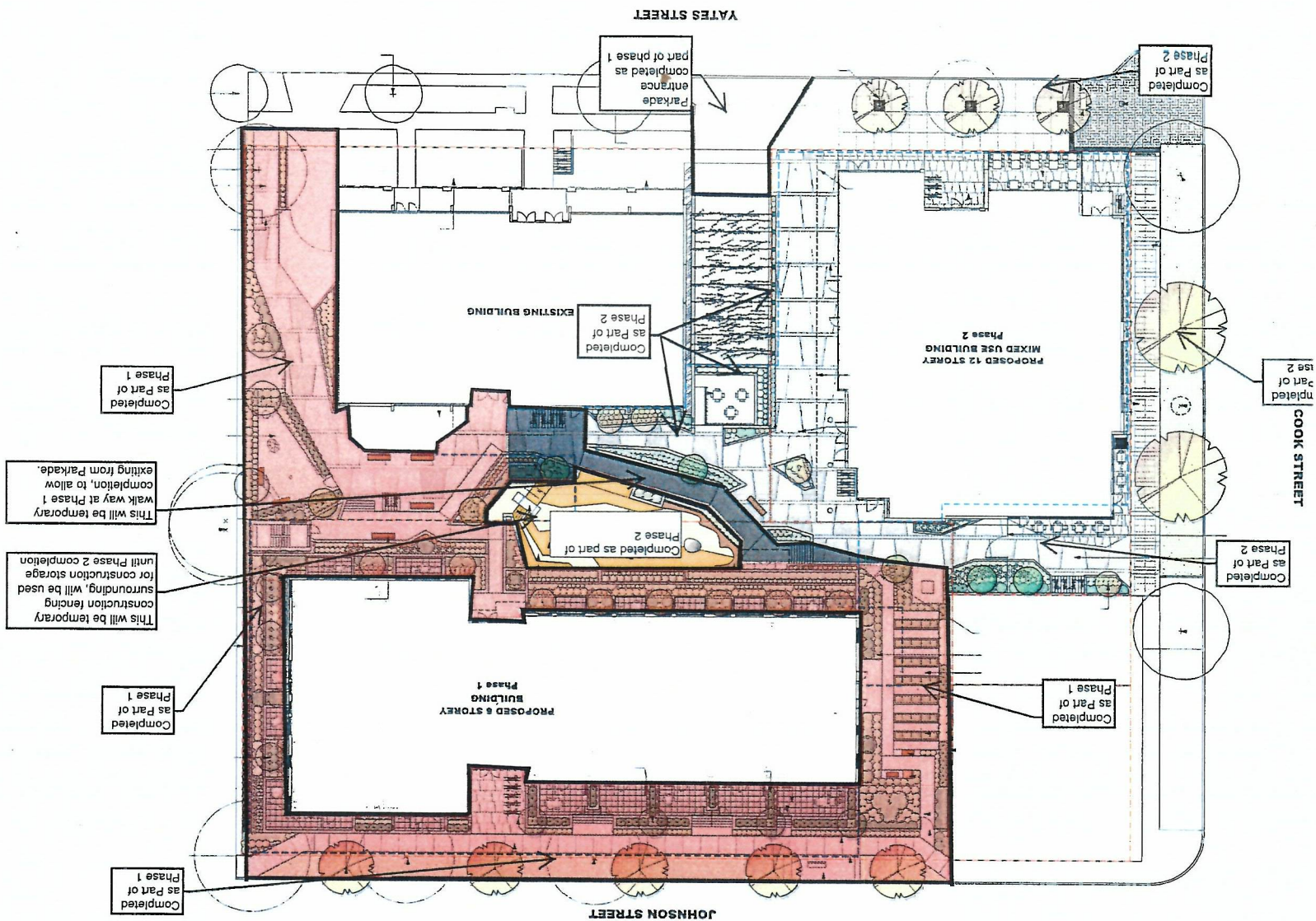
PROJECT ADDRESS  
1100, 1120 YATES ST.; 1109, 1115  
JOHNSON ST.

|                                   |                         |
|-----------------------------------|-------------------------|
| PROJECT<br>COOK STREET PLAZA      | PROJECT NUMBER<br>18-13 |
| DRAWING TITLE<br>PARKING ENTRANCE | DATE<br>18.11.20        |
| SCALE<br>1:100                    | DRAWN<br>Author         |
| CHECKED<br>Checker                | DATE<br>18.11.20        |
| PROJECT<br>COOK STREET PLAZA      | PROJECT NUMBER<br>18-13 |
| DRAWING TITLE<br>PARKING ENTRANCE | DATE<br>18.11.20        |
| SCALE<br>1:100                    | DRAWN<br>Author         |
| CHECKED<br>Checker                | DATE<br>18.11.20        |
| PROJECT<br>COOK STREET PLAZA      | PROJECT NUMBER<br>18-13 |
| DRAWING TITLE<br>PARKING ENTRANCE | DATE<br>18.11.20        |
| SCALE<br>1:100                    | DRAWN<br>Author         |
| CHECKED<br>Checker                | DATE<br>18.11.20        |

A504




# Cook Street Plaza Construction Phasing





Revision E - Issued for DP / Revised Reasoning Submission Jan 22/20  
 Revision D - Issued for DP / Revised Reasoning Submission Jul 25/19  
 Revision C - Jun 17/19  
 Revision B - May 13/19  
 Revision A - Feb 05/19


**LADR LANDSCAPE ARCHITECTURE**  
 Project No: 1840      12-12-2018      #3-664 Queens Ave., Victoria B.C. V8M 1M1  
 Phone: (250) 590-0105

Planning & Development Department  
 Development Services Division



FORT  
PROPERTIES  
1953

September 27, 2019

Mayor Helps & Council  
City of Victoria  
City Hall  
1 Centennial Square  
Victoria, BC V8W 1P6

Dear Mayor & Council,

**Re: Redevelopment of 1100 and 1120 Yates Street and 1109, 1115 Johnson Street by Chard Development Ltd.**

Fort Properties Ltd. is the owner of the lands immediately to the east of the above noted properties. I am writing to express our support of the proposed redevelopment.

Having reviewed the drawings submitted, we can say with confidence that we believe this project will bring significant benefit to the City of Victoria and the Fernwood community. The addition of new homes across two levels of the housing continuum – including a significant number of affordable home ownership units – speaks to the need for a diversity of housing across the city. Further, the retention of the Victoria Professional Building recognizes and respects the importance of this building within the community, both in terms of employment and essential services.

Finally, we wish to express our gratitude for the ongoing, respectful communication we have had with Chard Development. They have and continue to demonstrate a commitment to being good neighbours and positive contributors to the community.

We encourage mayor and council to support this redevelopment as submitted. Should you have any questions on this matter, please do not hesitate to contact me directly.

Sincerely,

Jayne Bradbury  
Owner / Director  
Fort Properties Ltd.



FORT PROPERTIES LTD.

814 BROUGHTON STREET, VICTORIA, BC V8W 1E4



**Heather McIntyre**

---

**From:** Cuban Cigar [REDACTED]  
**Sent:** October 8, 2019 2:23 PM  
**To:** Victoria Mayor and Council

To whom it may concern,

Dear Sir/Madam,

My name is Aemon Bayat, owner of Cuban Cigar Shop at 938 Fort street. We have reviewed the application for Johnson/Cook/Yates project and we fully support it and hope that it gets approved. Thank you and have a good day.

Aemon Bayat

Cuban Cigar Shop



## Heather McIntyre

---

**From:** David Adams [REDACTED]  
**Sent:** October 8, 2019 3:07 PM  
**To:** Victoria Mayor and Council  
**Subject:** Re: Johnson/Cook/Yates Project

Mayor and Council

I am writing in support of this Project.

Having reviewed the material it is hard not to agree with the Applicant when they say that this will bring "new life and energy" to Harris Green.

Aside from the mix of market and affordable housing, one also has to take into account the considerable value added as a result of the construction of the public safety facility and public spaces.

As a person who works downtown, I ask you to approve this Project.

David Adams

**Heather McIntyre**

---

**From:** Ken Henderson [REDACTED]  
**Sent:** October 8, 2019 12:00 PM  
**To:** Victoria Mayor and Council  
**Subject:** Johnson/Cook/Yates proposal

Dear Mayor and Council. My name is Ken Henderson and I am President of Carolyn Developments Ltd. Our office is located at 2736 Quadra St in the city. I have reviewed the proposed development and find it a tasteful and intelligent use of the lands and fully support the entire concept. Please give it your enthusiastic endorsement. Sincerely  
Kenneth J Henderson.  
Sent from my iPhone

## McLEAN FINANCIAL MANAGEMENT INC

Victoria Professional Building, #300-1120 Yates St., Victoria, BC V8V 3M9 Tel: 250-472-3446 Fax 250-472-3447  
E-mail: [mcleanfinancial@shaw.ca](mailto:mcleanfinancial@shaw.ca)

October 29, 2019

Mayor Helps & Council  
City of Victoria  
City Hall  
1 Centennial Square  
Victoria, BC V8W 1P6

Email only: [mayorandcouncil@victoria.ca](mailto:mayorandcouncil@victoria.ca)

Dear Mayor and Council,

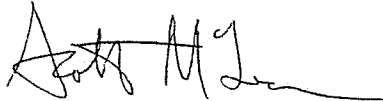
**RE: Development around 1120 Yates Street**

I am writing as a tenant of the Victoria Professional Building at 1120 Yates Street to express my support for the application to develop this building and the lands that surround it.

Through communication with the property manager and landlord, it is my understanding that the proposal before council will add both market and affordable housing to this community. This is a much-needed addition to our community. Further, I understand that this development will include renovations that will extend the useful life of the Victoria Professional Building and will provide tenants and patients with weather-protected, below-grade parking that is accessible via an interior connection – all at no additional expense to existing tenants.

The Victoria Professional Building is a well-used and important part of this community. I sincerely hope you will support this application.

Sincerely,





## Katie Lauriston

---

**From:** Leanne Taylor  
**Sent:** November 4, 2019 12:31 PM  
**To:** Katie Lauriston  
**Subject:** FW: 1309 & 1315 Cook St, 1100-1120 Yates St, 1109-1115 Johnson St feedback

-----Original Message-----

**From:** Andrew Sund [REDACTED]  
**Sent:** November 1, 2019 7:23 PM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** 1309 & 1315 Cook St, 1100-1120 Yates St, 1109-1115 Johnson St feedback

Hi Leanne,

I live at 102-1146 View St. and received a notice of a proposed change to the official community plan in the mail tonight. I've looked through the proposal and see no reason why the city shouldn't proceed with changing the plan.

I would also like to share with council my very humble layman's position that the use of maximum FSR requirements and density bonuses seems completely backwards to me. The city should invert this and promote the efficient use of space (and housing dollars) by uncapping FSR and implementing sparseness penalties if a proposed development falls under some set FSR instead.

Thank you,

Andrew Sund

## Katie Lauriston

---

**From:** Leanne Taylor  
**Sent:** November 4, 2019 12:35 PM  
**To:** Katie Lauriston  
**Subject:** FW: Chard Development

**From:** joeseph el murr [REDACTED]  
**Sent:** November 1, 2019 2:27 PM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** Chard Development

We are writing to let you know we fully support Chard Developments Proposal.

They have been in constant consultation with us about their project and have been nothing but out most professional and considerate.

Again! As we commented on the Jawl Development this project is a little small for our liking and in the future I think the City will be kicking itself for not maxing out capacity on these lots.

This is the perfect area for some real density.

Once the blasting is done, they should be allowed to go higher, therefore saving other areas in town from one day having to build huge buildings.

One day we could be building 17 floor buildings in the Cook street village. Instead of now on empty parking and car lots.

Thank you

Fadi Murr, Michel Murr, Yvette Murr, Allan Murr & Paula Murr  
Gemi Hair Ltd EST 1968  
1329 Cook St, Victoria, BC V8V 4A3

[REDACTED]  
[REDACTED]

## Heather McIntyre

---

**From:** Todd Litman [REDACTED]  
**Sent:** November 1, 2019 3:37 PM  
**To:** Victoria Mayor and Council  
**Cc:** [REDACTED]  
**Subject:** Chard Development at Cook, Yates and Johnson streets

### [Chard Development at Cook, Yates and Johnson streets](#)



Victoria has a severe shortage of moderate-priced housing in walkable urban neighborhoods. This proposed mixed-use development can provide 217 homes, of which 104 will be sold at 10% below-market prices, plus commercial spaces and a childcare center, located in a very accessible area adjacent to downtown. Although taller than currently allowed on that site, its height would be allowed on the other side of Cook Street.

According to a recent *Times Colonist* article, "[At Cook and Yates, Tall Building Heading for Public Hearing](#)" some city councilors are concerned that this project would not benefit poorer renters ("the people who are struggling the most"). This concern is understandable but incomplete. It overlooks the ways that moderate-priced condominiums benefit lower-income households, including those that rent apartments:

- *A significant portion of condominiums are rented.* A [recent study](#) by Andy Yan, director of Simon Fraser University's city program found that 46% of Vancouver condos are "not-owner occupied," with particularly [high rates](#) in large downtown buildings.
- According to data in the [City of Victoria's Housing Strategy](#), many moderate-income households spend more on housing than is affordable. *Increasing moderate-priced housing supply increases affordability for those households.*
- *Increasing moderate-priced housing also increases the availability of lower-priced housing units*, as some occupants move into the new housing freeing up units, a process called [filtering](#), and over the long-term as they depreciate in value. For example, a recent academic study by economist [Evan Mast](#) tracked the previous



residences of the occupants of 802 new multifamily developments in 12 North American cities, and the previous residences of the households that replaced them. It found that building market-price apartments causes a kind of housing musical chairs, as households move into new units. It found that for every 100 new market-rate units built, approximately 65 units are freed up in existing buildings, accommodating up to 48 moderate- and low-income families.

- *Because this is a very accessible location, households can minimize their transportation costs.* It is therefore [more affordable](#) to moderate-income households than the same priced housing located in an automobile-dependent location. By locating in a walkable urban neighborhood a typical household can save \$5,000-10,000 annually in vehicle expenses; these savings can finance an additional \$100,000-150,000 in affordable home price. For example, if a household can afford a \$500,000 home at the urban fringe, it can afford a \$600,000-650,000 condominium in one of Victoria's walkable urban neighborhoods, with the same income.

Moderate priced infill development provides many benefits to residents and communities. Compared with living in suburban areas, residents of compact, walkable urban neighborhoods:

- Spend 10-30% [less money on transportation](#).
- Spend less time [driving and delayed by congestion](#).
- Are [healthier](#) and [live longer](#).
- Have greater [economic mobility](#) (chance that children born in lower-income households become economically successful as adults).
- Consume less energy and produce [20-50% lower pollution emissions](#).
- Have substantially lower [traffic casualty rates](#).
- Require [less land](#) for roads and parking, which reduces stormwater management costs and heat island effects, and preserves open space (farmland and habitat).
- [Reduce costs](#) of providing roads, parking facilities and other public services.

For these reasons, adding 217 moderate-priced homes at the edge of downtown certainly does increase our community's overall affordability, livability and economic opportunity. We therefore encourage Victoria to approve the Chard Development at Cook, Yates and Johnson streets, and other projects that add moderate-priced housing in our walkable urban neighborhoods.

Sincerely,

Todd Litman ( [REDACTED] )

Cities for Everyone ( [REDACTED] )

Mobile: [REDACTED]

**From:** Amy Rutherford [REDACTED]  
**Sent:** November 2, 2019 12:43 PM  
**To:** Leanne Taylor <[ltaylor@victoria.ca](mailto:ltaylor@victoria.ca)>  
**Subject:** DPV00104 REZ00681

I'm fully in support of densification.

Victoria needs to densify to act and function as a proper city.

Thanks,  
Amy

## Katie Lauriston

---

**From:** Leanne Taylor  
**Sent:** November 4, 2019 12:29 PM  
**To:** Katie Lauriston  
**Subject:** FW: It's your neighbourhood

-----Original Message-----

**From:** Ed O'Brien [REDACTED]  
**Sent:** November 2, 2019 7:52 AM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** It's your neighbourhood

As owners on the edge of the urban core area, (5 1119 View St.), we are against allowing developers to alter the OCP. If they want to build a tower, perhaps they should purchase land within the core area.

Cheers, Ed and Kendall O'Brien

Sent from my iPad



**From:** Shiri Gershuni [REDACTED]  
**Sent:** November 3, 2019 12:46 PM  
**To:** Leanne Taylor <[ltaylor@victoria.ca](mailto:ltaylor@victoria.ca)>  
**Subject:** 1309 & 1315 Cook Street

Hi Leanne,

I own a unit at 1090 Johnson St and think this proposed development would be a great addition to the neighbourhood.

Thanks,

Shiri Gershuni

## Katie Lauriston

---

**From:** Leanne Taylor  
**Sent:** November 6, 2019 8:15 AM  
**To:** Katie Lauriston  
**Subject:** FW: Proposed development on 1120 Yates, 1109 Johnson, and 1309 Cook St

**From:** Karen Fishwick [REDACTED]  
**Sent:** November 6, 2019 8:12 AM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** Proposed development on 1120 Yates, 1109 Johnson, and 1309 Cook St

I believe 13 stories is too high for this neighbourhood. Everything else sounds ok to me. My property is at 1015 Johnson St.

Karen Fishwick  
Highway Three Solutions (2013) Ltd.  
Voice: [REDACTED]

## Katie Lauriston

---

**From:** Leanne Taylor  
**Sent:** November 7, 2019 11:52 AM  
**To:** Katie Lauriston  
**Subject:** FW: Development Planning in area of Cook St, Yates, Johnson, Fort ,View St.

**From:** Marlene Brouwer [REDACTED]  
**Sent:** November 7, 2019 11:49 AM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** Development Planning in area of Cook St, Yates, Johnson, Fort ,View St.

To Leanne Taylor, Senior Planner

I am very concerned about the **lack of green space, and park areas** related to all the many development projects in the area—for multi-storied commercial and especially residential high buildings. Where can all these residents greet and meet others, congregate with their coffees, and their dogs in their daily outings?

**Where can residents meet and greet one another, when there are few or no green spaces with seating to encourage neighbourly contact, and encourage a sense of community?**

I have lived at 1020 View Street the past ten years and can look down into the courtyard circle where there is a long curved bench by a water fountain and semi-tropical trees and lovely flowering bushes tended by Regent's Place. Over the years, I have noticed more and more people who use this bench to have a coffee, meet a friend, or just take a time out from traffic and consumerism. What a lovely place to be neighbourly! (These people are certainly not all from Regent Place.)

I live across from the new condo complex called Jukebox which offers NO green space, nor communal gathering place in which people could be neighbourly. Yes, perhaps they have a rooftop "garden", but that doesn't really serve to help neighbours to connect and contributes nothing to the community around the Jukebox. Once the space for greens and trees is taken, it's gone—unrecoverable!

Please consider the marvellous effect of green spaces (with trees!) and meeting places for the enhancement of the neighbourhood and community mindedness.

Yours truly,  
Marlene Brouwer  
802, 1020 View St.  
Victoria V8V4Y4



## Katie Lauriston

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**From:** Leanne Taylor  
**Sent:** November 7, 2019 8:36 AM  
**To:** Katie Lauriston  
**Subject:** FW: 1309 Cook St - 1100 1100 Yates Street 'your neighbourhood'

**From:** Susan Smith [REDACTED]  
**Sent:** November 7, 2019 6:57 AM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** 1309 Cook St - 1100 1100 Yates Street 'your neighbourhood'

Ms. Taylor,

Growth in Victoria is imminent.

I believe 13 storeys on the corner of Cook Street and Yates is overpowering, considering it won't be long before

the old Audi dealership , 1101/05 Yates, directly south of this proposal will be asking for the same.

However, I believe council will accept the 13 storey project at 1309 Cook Street for growth and tax purposes.

What I would like to see in this proposal is more green landscape unlike the small garden area offered by Jukebox at

1029 View Street, for residents only.

Victoria in the Downtown/Harris Green/Fernwood corridor between Johnson and Fort d

oes not have much in the way of green space.

City Council spend a great deal of time, energy and tax payers money on making bike paths.

The Mayor recently talked about the "2030 " goal to have less cars, more bikes and walking.

The Council and the Mayor should also make the city **green in the visual sense**.

Regards

Sean Smith

1163 View Street

## Katie Lauriston

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**From:** Leanne Taylor  
**Sent:** November 20, 2019 11:18 AM  
**To:** Katie Lauriston  
**Subject:** FW: Rezoning at Cook and Yates

Hi Katie,

Correspondence for 1120 Yates.

Thanks,  
Leanne

**From:** Allison Lundy [REDACTED]  
**Sent:** November 13, 2019 6:02 PM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** Rezoning at Cook and Yates

Hi Leanne,

Thank-you for all you do for this city! I recieved the rezoning information in the mail for Cook (1309 and 1315) and Yates (1100-1120). Im concerned about Ithaka Restaurant. Are they being pushed out? It's our favourite restaurant, family owned and just a block away from our apartment. The staff are amazing and the food is delicious! Whats the fate of Ithaka? Are they forced out? Will they be compensated?

Also, the letter doesn't mention anything about inexpensive housing. I don't mean affordable housing because that can mean something like 30% lower than market value in the area (Cook St village example). I'm talking inexpensive housing for someone working minimum wage. I am constantly seeing hiring signs at minimum wage jobs (retail, fast food, cashiers) and I'm sure you have too. This needs to be fixed. Minimum wage workers need a place to live. All of the units should be affordable for someone on a minimum wage and occupants should be screened in the application phase. All of the rentals going up downtown lately are \$1,400 or \$1,500 a month. A single person or a single parent have no way of affording that rent. It's discrimination in an unjust housing market. The housing crisis is disturbing. Every so often I see someone with luggage and a blanket who looks freshly homeless. I think developers need NEED to rearrange their wealth to give a home to the people who work hard and deserve a place to live. It's a human right and Victoria needs help.

Please ensure this project is a part of the solution to the housing crisis, not another flashy example of wealth and a source of corporate income. People are not products and their housing should not be exploited for financial gain.

Thanks Leanne,

Allison Lundy  
Concerned Opinionated DT Resident

**Katie Lauriston**

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**From:** Leanne Taylor  
**Sent:** November 14, 2019 8:39 AM  
**To:** Katie Lauriston  
**Subject:** FW: Proposed amendment 1120 Yates St.

**From:** Kathleen Maher [REDACTED]  
**Sent:** November 13, 2019 7:45 PM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** Proposed amendment 1120 Yates St.

Hello Ms. Taylor

Thank you for your letter with regards to the proposed amendment.

On behalf of myself and my husband we are not in favour of a tower on the east side of Cook St. higher than 8 storeys ever. We think it is setting a precedent that will change the character of the neighbourhood. We are not in support of any high towers east of Cook.

Thanks again,

Kathleen Maher and Derek Sheplawy  
202-1235 Johnson St.



**From:** margmbb [REDACTED]  
**Sent:** November 22, 2019 8:21 PM  
**To:** Leanne Taylor <[ltaylor@victoria.ca](mailto:ltaylor@victoria.ca)>  
**Subject:** Community plan 1100-1120 Yates St

I am confused as to what will happen to the parking lot that is used by the Victoria Professional Building staff and clients. This parking lot is at least 80% full all day. Will the spots be retained?

I live at 1217 Pandora (at Chambers ) and neighbourhood parking is at a premium. Unless there are two parking spots for each new condo/apartment built it will become a absolute parking nightmare.

People have not evolved enough to do without cars. I challenge everyone who works at City Hall to dispense with their cars for a month, especially if Council is going to suggest that we leave our cars at home.

Please let me know the number of parking spots that will be lost and the number to be built. Also, the final number of units this development will build.

Thank you,

Margaret Bourke  
Sent from my Galaxy Tab A (2016)

## Katie Lauriston

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**From:** Leanne Taylor  
**Sent:** December 2, 2019 9:29 AM  
**To:** Katie Lauriston  
**Subject:** FW: Proposed OCP Amendment for 1309 & 1315 Cook, 1100-1120 Yates and 1109-1115 Johnson

**From:** Clayton Cowan [REDACTED]  
**Sent:** December 1, 2019 8:14 PM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** Re: Proposed OCP Amendment for 1309 & 1315 Cook, 1100-1120 Yates and 1109-1115 Johnson

Leanne,

Thank you for reaching out to the neighborhood and giving us the opportunity to provide comments on the proposed development at 1309 & 1315 Cook Street, 1100-1120 Yates Street and 1109-1115 Johnson Street.

We have lived at 1146 View Street for almost 12 years now and we are happy to see the neighborhood grow and evolve. While higher density is not our concern, we are concerned about the proposed height (13 stories) of the buildings at 1309 & 1315 Cook Street and 1100-1120 Yates Street in particular. Tall buildings create long shadows and can make for an uncomfortably dark and cold street-level experience. Buildings with a broader footprint could possibly achieve a similar density while enriching the surrounding community with more approachable architecture. Tall slender towers only benefit the new residents seeking good views. We would prefer to see a development that benefits all of the new residents and the surrounding neighborhood as much as possible.

We are not supportive of the currently proposed amendment to the OCP for the above addresses. We could however support a similar development if the building heights of the proposed 13 stories towers were reduced to 9 stories or less.

Kind regards,

Clay and Nicolette Cowan,  
1146 View St.

## Katie Lauriston

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**From:** Leanne Taylor  
**Sent:** December 3, 2019 4:47 PM  
**To:** Katie Lauriston  
**Subject:** FW: OCP Cook / Johnson / Yates Streets

### Correspondence for 1120 Yates

**From:** Michelle Edington [REDACTED]  
**Sent:** December 3, 2019 4:29 PM  
**To:** Leanne Taylor <ltaylor@victoria.ca>  
**Subject:** OCP Cook / Johnson / Yates Streets

Hello Leanne:

Thank you for your letter outlining the proposed Official Community Plan amendment for 1309 & 1315 Cook Street, 1100 - 1120 Yates Street and 1109 - 1115 Johnson Street.

My feedback is that there is just too much development happening in the downtown area especially near my residence. Therefore I don't believe this project should even be approved. However if the construction project is to move forward my vote for a height of eight storeys rather than for the 13 storeys amendment.

There is just too much development happening all at once and I believe any future projects should be delayed or actually stopped.

The following are construction of residential & commercial buildings completed or in development within the last 3 years:

- Fort & Cook - Black & White Building
- Vancouver & View - Jigsaw
- Johnson & Cook / Pandora & Cook - Extension to Medical building
- Johnson & Chambers Street
- Pandora & Vancouver - Save-On-Foods & Residential
- Yates & Vancouver / Johnson & Vancouver - Two high rise residential buildings
- Yates on Yates development - Yates between Quadra & Blanshard
- Fort Street & Pentrelew Pl
- Development proposed for View St & Vancouver
- Development proposed for Cook & Pandora currently Wellburns & Residential
- Fisgard & Blanshard - Highest residential construction in Victoria

The list above speaks for itself. Therefore I hope you will seriously re-consider approving any future projects happening in our city.

All the best,  
Michelle

Michelle Edington  
302 - 1185 Yates St  
Victoria, BC V8V 3N1