

Date: 15-10-19
Time: 16:10:37

A1 - SITE PLAN

Lot 26, Section 75, Victoria
District, Plan 951

Parcel Identifier number 006-005-268
Civic address: 1913/1915 Fernwood Road
Victoria, B.C.

Approximate site area
447.2 square metres

PROJECT INFORMATION TABLE

SITE DATA	CD
ITEMS	PROPOSED
LOT AREA	447.2 SQ.M.*
LOT COVERAGE	27.4%
OPEN SITE SPACE	31.17%
FRONT YARD OPEN SITE %	75.00%
LOT WIDTH	14.97 M
BLD'G HEIGHT	9.38 M**
No. STOREY	2.5**
SETBACKS	
- FRONT (WEST) / STEPS	4.29 M**/2.43M
- REAR (EAST)	10.19 M
- SIDE (NORTH)	1.50 M
- SIDE (SOUTH)	3.20 M
- SUM OF BOTH	4.70 M
FLOOR AREA	
- UPPER	83.22 SQ.M.
- MAIN	103.09 SQ.M.
- LOWER	118.91 SQ.M.
TOTAL F.A.	305.22 SQ.M.**
REAR YARD SIDE COVERAGE	5.34M(6.50 SQ.M.)

* - EXIST. NON-CONFORMING
** - REQUIRES VARIANCE

Prop. Grade Calculation (See Elevations)

Pts A+B ((30.29+30.29)/2) x 6.71 = 203.24
Pts C+D ((31.28+31.28)/2) x 1.62 = 50.85
Pts D+D1 ((31.28+31.28)/2) x 1.44 = 45.04
Pts D1+D2 ((31.28+31.28)/2) x 1.44 = 45.04
Pts D2+D3 ((31.28+31.10)/2) x 7.32 = 228.31
Pts D3+D4 ((31.10+31.10)/2) x 1.22 = 37.94
Pts D4+E ((31.10+31.07)/2) x 0.92 = 28.60
Pts E+F ((31.07+30.29)/2) x 0.76 = 23.32
Pts F+G ((30.29+30.29)/2) x 2.62 = 79.36
Pts H+I ((31.00+30.79)/2) x 3.02 = 93.30
Pts I+J ((30.79+30.66)/2) x 8.53 = 262.08
Pts K+L ((30.29+30.29)/2) x 3.38 = 102.38
Pts M+N ((30.74+30.90)/2) x 5.76 = 177.52
Pts O+A ((30.29+30.29)/2) x 4.27 = 129.25

Total: 1503.23

1503.23 / 49.01 (Perimeter) = 30.67 (Average Grade)

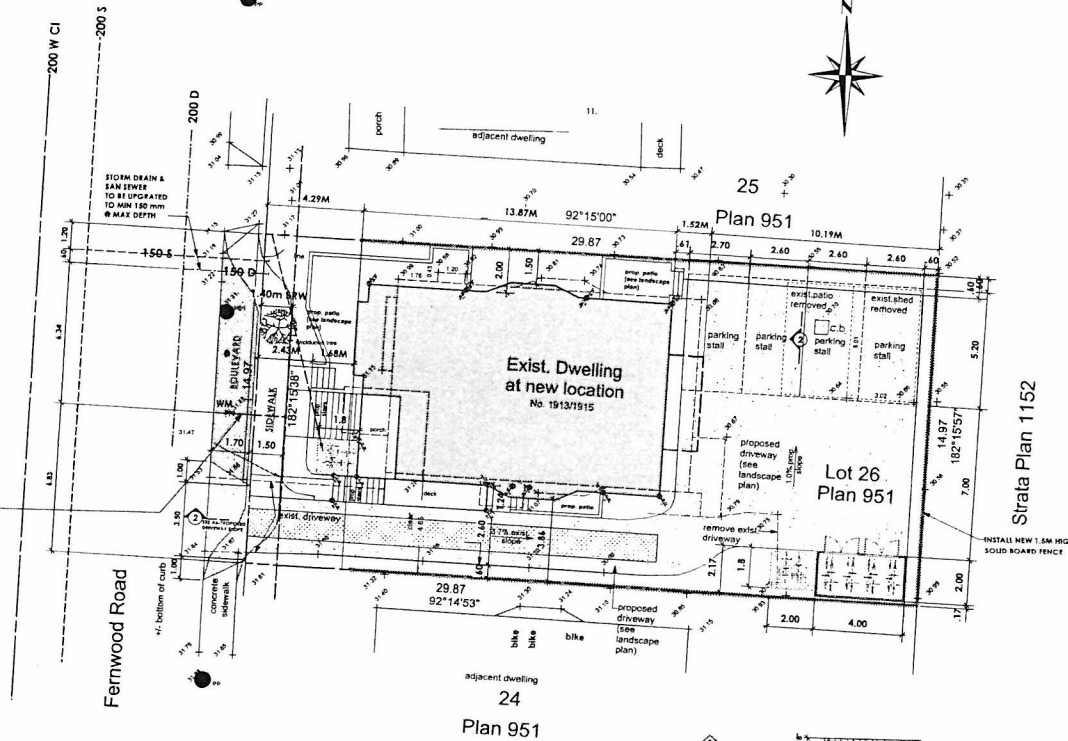
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City of Victoria
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Planning & Development Department
Business Division

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1913/1915
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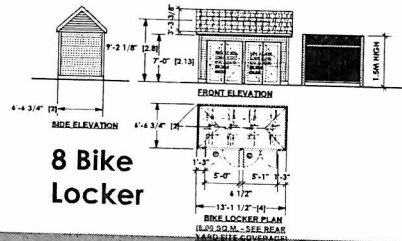
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Date: 15-10-19



1 Proposed Site Plan
A1 Scale: 1:100



8 Bike Locker

#103 891
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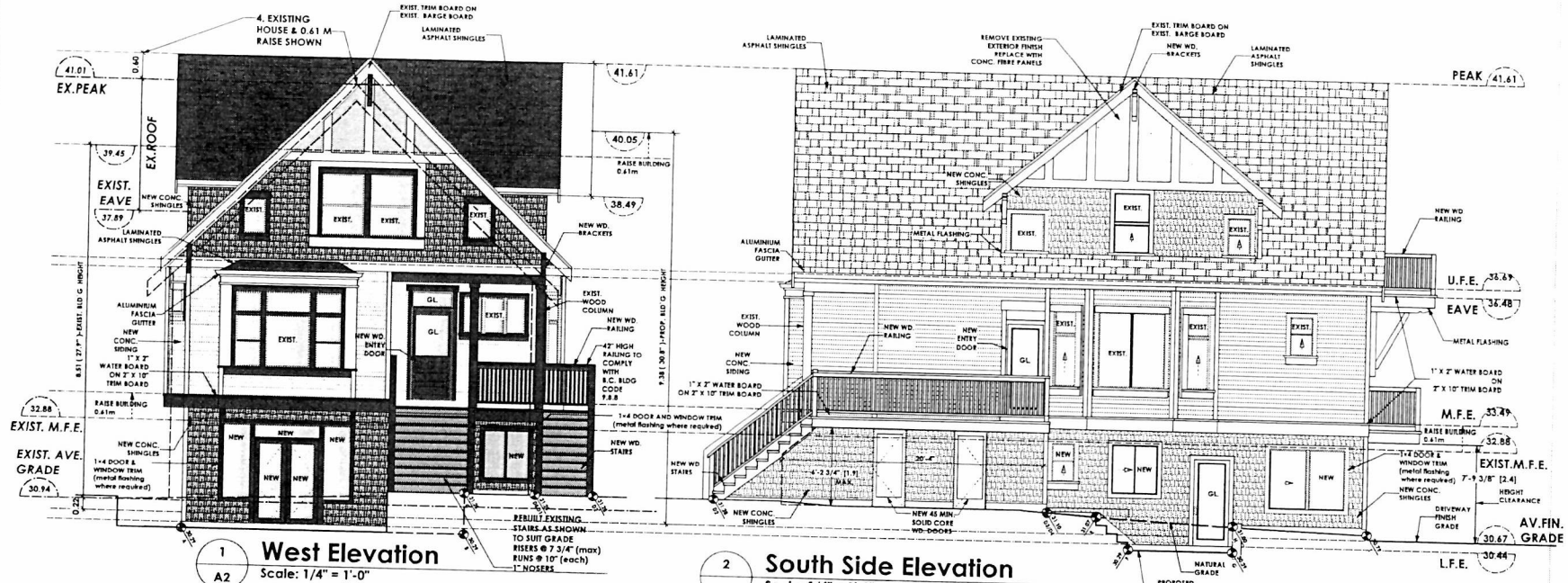
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A2 - ELEVATIONS



Materials Board/Colour Legend

- HardieShingle Siding Straight Edge Panel Benjamin Moore: Upper West Side (BM CSP-70)
- HardiePanel Smooth, Columns, and Garage Door Benjamin Moore: Skipping Stone (BM CSP-155)
- TRIM, DOOR Benjamin Moore: Deep Taupe (BM 2111-10)
- Laminated Asphalt Roofing Shingle Oxford Grey
- EASYTRIM Aluminum Reveals Unpainted Aluminum
- Windows White Vinyl Windows
- HardiePanel Siding MB AC-40 Glacier White

Materials Board/Colour Legend (see front)

- HardieShingle Siding Straight Edge Panel Benjamin Moore: Upper West Side (BM CSP-70)
- HardiePanel Smooth, Columns, and Garage Door Benjamin Moore: Skipping Stone (BM CSP-155)
- TRIM, DOOR Benjamin Moore: Deep Taupe (BM 2111-10)
- Laminated Asphalt Roofing Shingle Oxford Grey
- EASYTRIM Aluminum Reveals Unpainted Aluminum
- Windows White Vinyl Windows
- HardiePanel Siding MB AC-40 Glacier White

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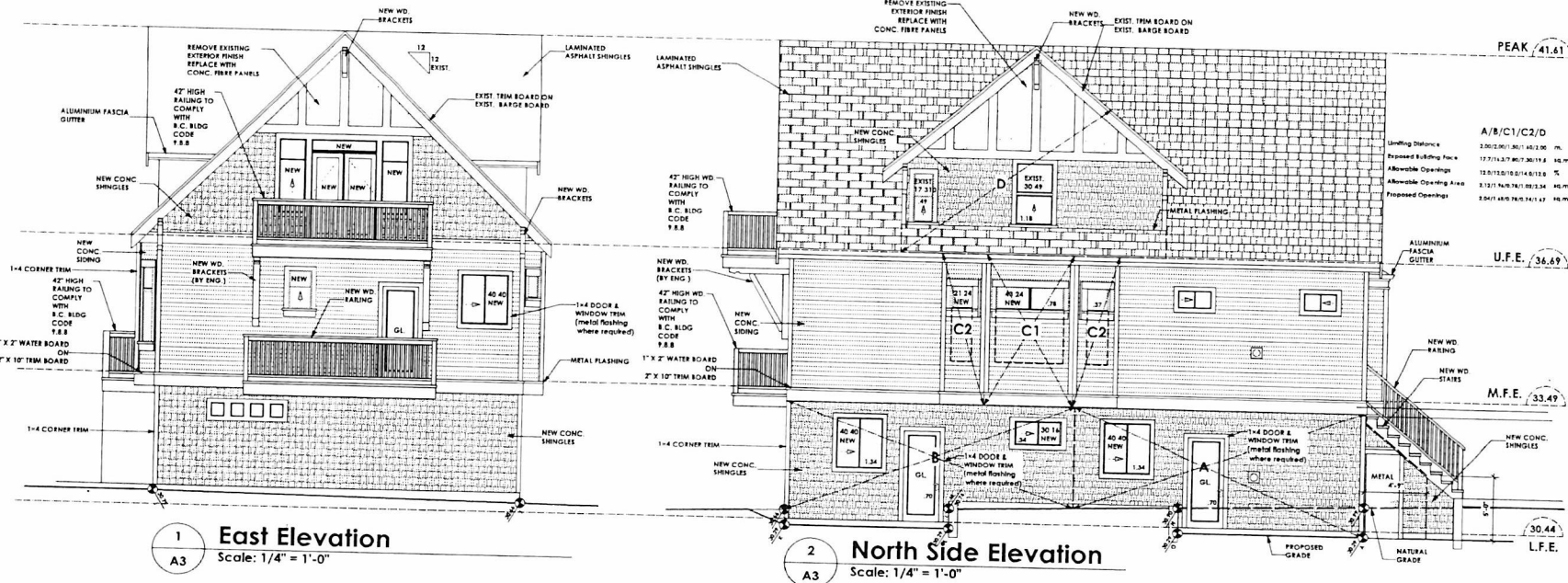
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A3 - ELEVATIONS



Materials Board/Colour Legend (see front)

- HardieShingle Siding Straight Edge Panel
- Benjamin Moore: Upper West Side (BM CSP-70)
- HardiePanel Smooth, Columns, and Garage Door
- Benjamin Moore: Skipping Stone (BM CSP-155)
- TRIM, DOOR
- Benjamin Moore: Deep Taupe (BM 2111-10)
- Laminated Asphalt Roofing Shingle
- Oxford Grey
- EASYTRIM Aluminum Reveals
- Unpainted Aluminum
- Windows
- White Vinyl Windows
- HardiePanel Siding
- M8 AC-40 Glasier White

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Wall Legend

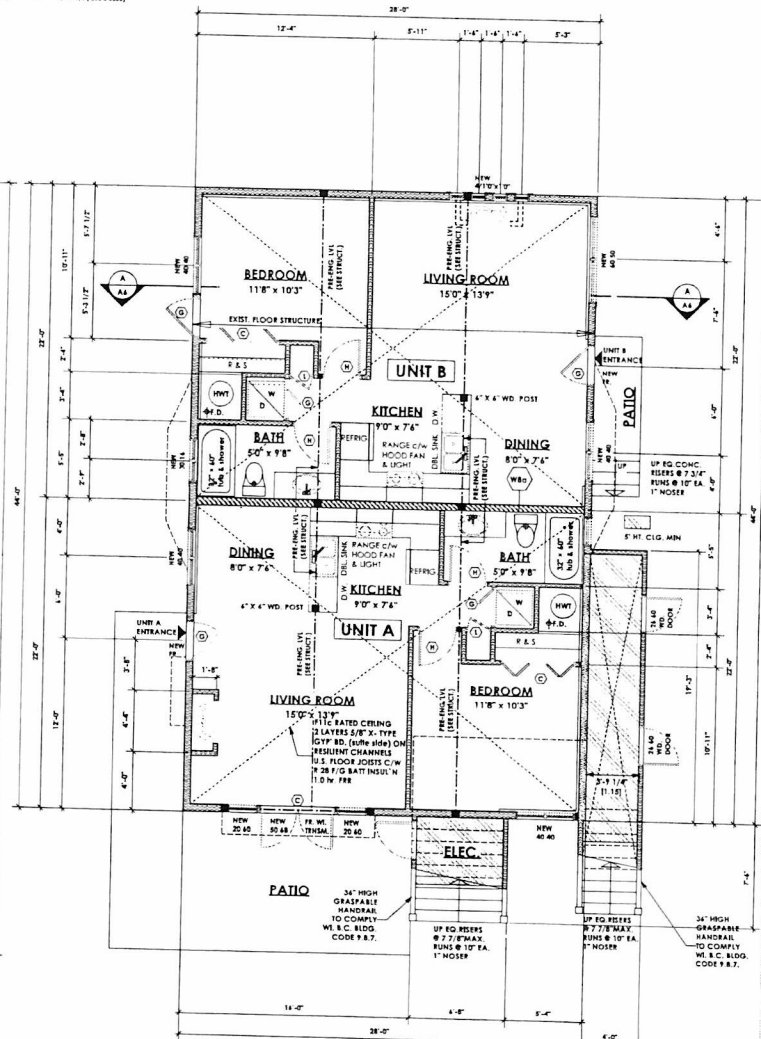
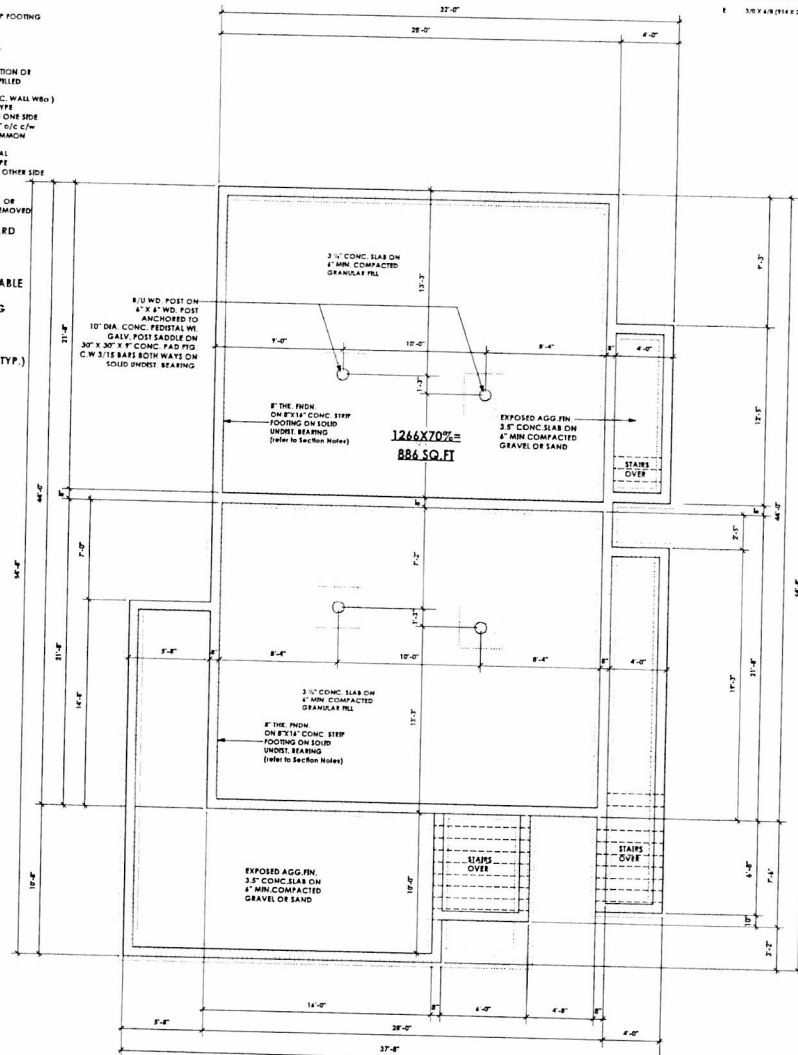
- EXISTING WALL TO REMAIN
- 8" THK. FND. WALL
- 14" X 8" CONC. STEEP FOOTING
- NEW EXTERIOR WALL
- NEW INTERIOR PARTITION OR EXISTING OPENING FILL
- PARTY WALL (8" C.C. WALL W/BO) 2 LAYERS OF 5/8" TYPE GYPSUM BOARD ON ONE SIDE 2 ROWS 2" X 4" @ 16" O.C. STAGGERED ON COMMON 2" X 4" PLATE ABSORPTIVE MATERIAL 1 LAYER OF 5/8" TYPE GYPSUM BOARD ON OTHER SIDE 1.0 HR. FR. R.R.
- EXISTING STRUCTURE OR PORTION OF WALL REMOVED
- PROVIDE ELECTRIC BASEBOARD FOR HEAT
- INSURE ALL NEW & EXISTING PLUMBING IS NONCOMBUSTIBLE
- NO COMBUSTIBLE PLUMBING TO BE INSTALLED IN RATED WALL ASSEMBLIES ALL PENETRATIONS MUST BE SEALED AND FIRE CAULKED (TYP.)
- NO MECH. DUCTWORK TO PENETRATE RATED WALL ASSEMBLIES VENT DIRECTLY TO EXTERIOR
- PROVIDE CONT. SOLID BLOCKING IN JOIST CAVITY DIRECTLY OVER RATED WALL ASSEMBLY
- ALL SUPPORT STRUCTURE, LOAD BEARING WALLS, EXTERIOR WALLS TO BE CLADDED W/ 1 LAYER 5/8" TYPE GYP. BOARD 1.0 HR. F.R.R.
- STRUCTURAL ENGINEER TO VERIFY ALL NEW AND EXISTING STRUCTURE

Interconnected Smoke detectors to comply with B.C. F.10.19, Interconnected Carbon Monoxide detectors to comply with B.C. F.32.4.2.

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED

DOOR SCHEDULE

A	8'0" X 4'0" (1024 X 503)	F	2'10" X 4'0" (610 X 1015)
B	4'0" X 4'0" (1024 X 503)	G	2'0" X 4'0" (508 X 1015)
C	5'0" X 4'0" (1274 X 503)	H	2'4" X 4'0" (610 X 1015)
D	4'0" X 4'0" (1024 X 503)	I	3'4" X 4'0" (864 X 1015)
E	3'0" X 4'0" (762 X 503)	J	3'0" X 4'0" (762 X 1015)
		K	1'4" X 4'0" (356 X 1015)



A4 - FND., LOWER FLOOR PLAN

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1
A4
Foundation Plan
Scale: 1/4" = 1'-0"

2
A4
Lower Floor Plan
Scale: 1/4" = 1'-0"

1913/1915 fernwood road
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UNIT A: 580.5 sq.ft. (53.93 sq.m.)
UNIT B: 580.5 sq.ft. (53.93 sq.m.)
ELEC. RM & BIKE STORAGE
118.9 sq.ft. (11.05 sq.m.)

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Wall Legend

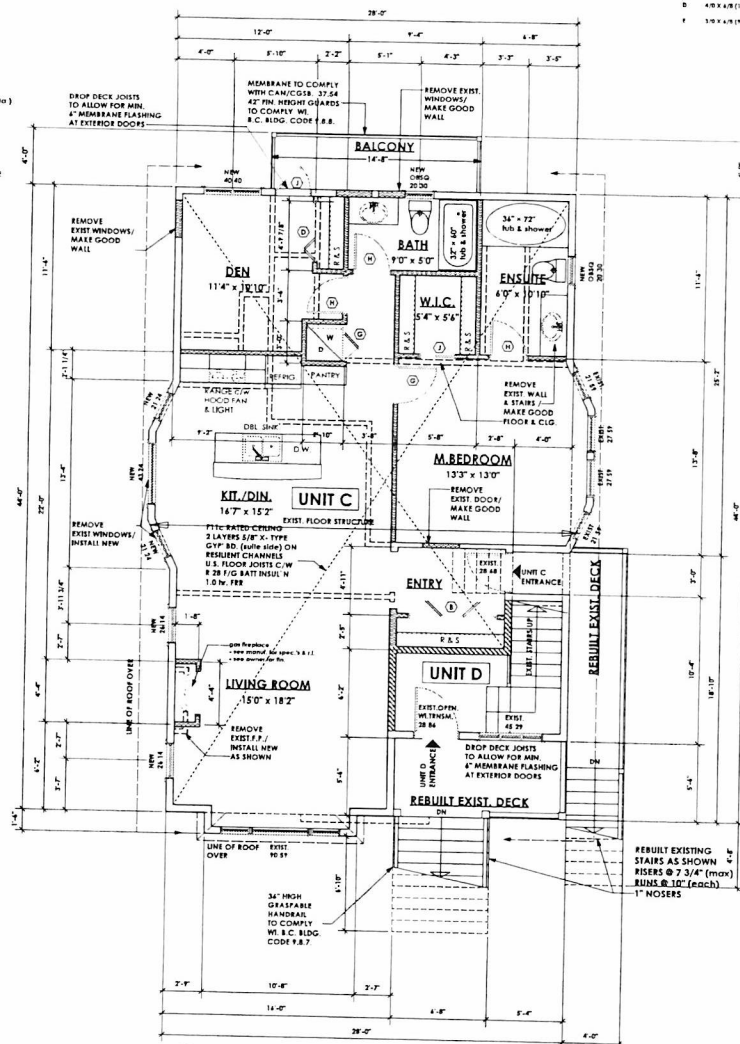
- EXISTING WALL TO REMAIN
- 8" FINE FND. WALL
- 14" X 8" CONC. STRIP FOOTING
- NEW EXTERIOR WALL
- NEW INTERIOR PARTITION OR EXISTING OPENING FILLED
- PARTY WALL (8" C.C. WALL W/BO) 2 LAYERS OF 5/8" TYPE GYPSUM BOARD ON ONE SIDE 2 ROWS 2" X 4" @ 16" O.C. C/W STAGGERED ON COMMON 5/8" X 4" PLATE ABSORPTIVE MATERIAL 1 LAYER OF 5/8" TYPE GYPSUM BOARD ON OTHER SIDE 1.0 HR. F.R.R. 22 STC
- EXISTING STRUCTURE OR PORTION OF WALL REMOVED
- PROVIDE ELECTRIC BASEBOARD FOR HEAT
- INSURE ALL NEW & EXISTING PLUMBING IS NONCOMBUSTIBLE
- NO COMBUSTIBLE PLUMBING TO BE INSTALLED IN RATED WALL ASSEMBLIES ALL PENETRATIONS MUST BE SEALED AND FIRE CAULKED (TYP.)
- NO MECH. DUCTWORK TO PENETRATE RATED WALL ASSEMBLIES VENT DIRECTLY TO EXTERIOR
- PROVIDE CONT. SOLID BLOCKING IN JOIST CAVITY DIRECTLY OVER RATED WALL ASSEMBLY
- ALL SUPPORT STRUCTURE, LOAD BEARING WALLS, EXTERIOR WALLS TO BE CLADDED W/ 1 LAYER 5/8" TYPE GYP. BOARD 1.0 HR. F.R.R.
- STRUCTURAL ENGINEER TO VERIFY ALL NEW AND EXISTING STRUCTURE

Interconnected Smoke detectors to comply with B.C.C. 9.10.19 Interconnected Carbon Monoxide detectors to comply with B.C.C. 9.32.4.2.

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER, STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED

DOOR SCHEDULE

A	6'10" X 8'6" (2436 X 2622)	F	3'10" X 8'6" (964 X 2622)
B	4'10" X 8'6" (1207 X 2622)	G	3'8" X 8'6" (963 X 2622)
C	4'10" X 8'6" (1207 X 2622)	H	3'8" X 8'6" (963 X 2622)
D	4'10" X 8'6" (1207 X 2622)	I	3'8" X 8'6" (963 X 2622)
E	4'10" X 8'6" (1207 X 2622)	J	3'8" X 8'6" (963 X 2622)
F	3'10" X 8'6" (964 X 2622)	K	3'8" X 8'6" (963 X 2622)
G	3'8" X 8'6" (963 X 2622)	L	3'8" X 8'6" (963 X 2622)



1 Main Floor Plan

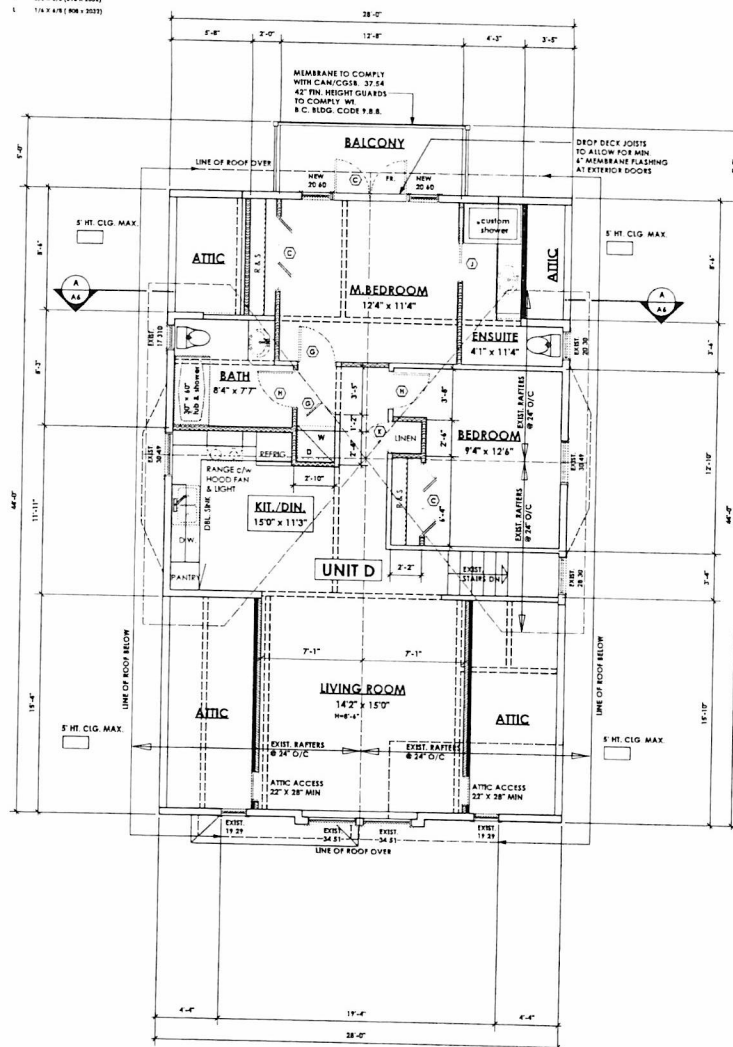
Scale: 1/4" = 1'-0"
UNIT C: 1043.9 sq.ft. (96.98 sq.m.)
UNIT D: 80.3 sq.ft. (7.46 sq.m.)

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2 Upper Floor Plan

Scale: 1/4" = 1'-0"
UNIT D: 895.8 sq.ft. (83.22 sq.m.)

1913/1915 Fernwood road
rezoning

A5 - MAIN & UPPER FLOOR PLAN

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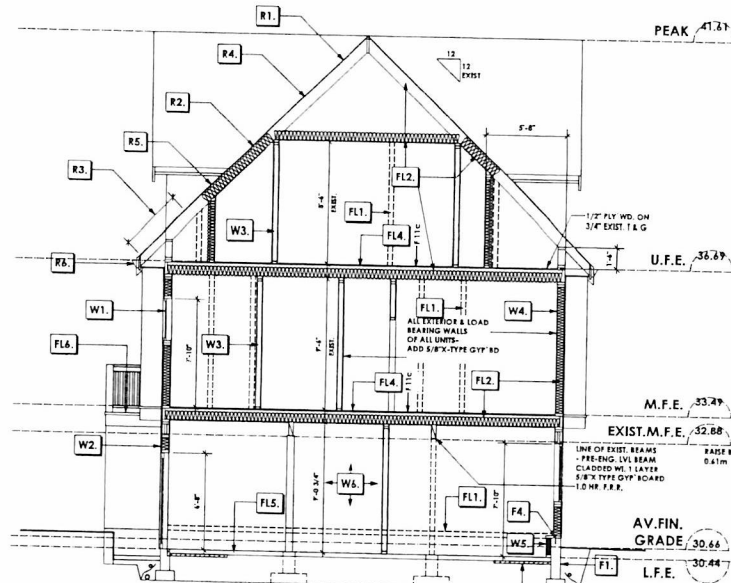
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Date: 15-10-19
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1 Section A-A
Scale: 1/4" = 1'-0"



2 Front Elevation
Scale: 1/4" = 1'-0"

- Colour Legend**
- HardiePanel Siding Straight Edge Panel
 - Benjamin Moore: Upper West Side (BM CSP-70)
 - HardiePanel Smooth, Columns, and Garage Door
 - Benjamin Moore: Skipping Stone (BM CSP-165)
 - TRIM, DOOR
 - Benjamin Moore: Deep Taupe (BM 2111-10)
 - Laminated Asphalt Roofing Shingle
 - Oxford Grey
 - EASTRUM Aluminum Reveals
 - Unpainted Aluminum
 - Windows
 - White Vinyl Windows
 - HardiePanel Siding
 - MB AC-40 Glasier White

Section Notes

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED

Roofs

- R1. LAMINATED ASPHALT SHINGLES
(on owners selection) ON
EXISTING ROOF DRAINAGE/STRUCTURE
CONTRACTOR TO VERIFY WITH OWNER
BEFORE STARTING WORK
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN
R-40 INSULATION AND SHEATHING
(min. R-20 @ roof-wall connection)
- R3. EAVE PROTECTION
CONT. UP ROOF SLOPE FOR 12"
PAST EXTERIOR WALL
- R4. PROVIDE 1 SQ. FT. ATIC VENT PER
300 SQ. FT. OF INSULATED AREA MIN.
25% OF REQUIRED TO BE @ TOP AND BOTTOM
(No comply w/ B.C. Bldg. code 9.19.1)
- R5. PROVIDE 1 SQ. FT. ATIC VENT PER
180 SQ. FT. OF INSULATED AREA MIN.
25% OF REQUIRED TO BE @ TOP AND BOTTOM
(No comply w/ B.C. Bldg. code 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER
2-8" FASCIA RD.
2-4" SUB FASCIA RD.
VENTED SCOFF
(see connector)

Floors

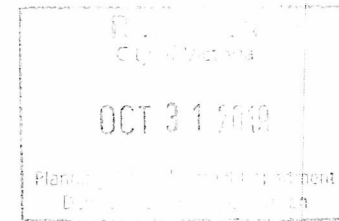
- FL1. EXISTING STRUCTURE TO BE REMOVED
- FL2. EXISTING STRUCTURE TO REMAIN
- FL3. EXIST. HARDWOOD FINISHED FLOORING
(on B.C. not in section)
ON EXIST. 3/4" T&G PLYWOOD SUBFLOOR
EXIST. FLOOR JOISTS (c/g. Rm. removed)
6" X 8" GYPSUM BOARD TO UNDERSIDE OF
EXIST. FLOOR JOISTS
- FL4. B.C. BUILDING CODE 2012 (TABLE A-1.10.3.1.8)
RATED FLOOR ASSEMBLY (F1)
ON EXIST. 3/4" T&G PLYWOOD SUBFLOOR
EXIST. FLOOR JOISTS (c/g. Rm. removed)
R-28 INSULATION
REGULATED METAL CHANNELS @ 24" O/C
2 LAYERS 5/8" X-TYPE GYPSUM BOARD
1 HOUR F.R. 50 S.T.C.
- FL5. 3 1/2" CONCRETE SLAB
4 MR. POLY N. 8
4" COMPACTED GRAVEL OR SAND
- FL6. DECKING MEMBRANE
(No comply with CAN/CSA 37.04) ON
5/8" GREENED STRAND BOARD C/W 1" CUPS
(2-18" DECK JOISTS @ 16" O/C C/W
(provide adequate membrane
"upstand" @ ext. wall)
(leave joints to provide min. 1:80 slope)

Walls

- W1. DOUBLE GLAZING IN THERMAL BREAK FRAMES
THERMAL BREAK FRAMES
2 1/2" X 1 1/2" UNITE OVER (TYPICAL)
FLASHING OVER @ EXTERIOR
(glazing in all exterior doors & within 3 ft.
of exterior doors to be shatterproof (SP))
WINDOW MANUFACTURER TO ENSURE ALL WINDOWS & DOORS
TO COMPLY WITH B.C. BLDG. CODE 2012 9.2.3.2
& AAMA 1013.1 (10/11.5.2.444-08, NAFS & C.S.A. A4403-07
& AAMA 1013.1 (10/11.5.2.444-08, NAFS & C.S.A. A4403-07
REFER TO PAGE A1 FOR NAFS WINDOW RATINGS & USE MINIMUMS
RATINGS MUST BE CLEARLY LABELED ON ALL
WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIRE BOARD OR CONC. SHINGLES ON
1.5mm (1/16") AIR SPACE (TYPICAL)
3/8" X 2" SOBRATE TREATED PLYWOOD STRAPPING
HOUSE WRAP (A.B.) (TYVEK OR EQ.)
5/8" ORIENTED STRAND BOARD
2-4 STUDS @ 16" O/C
R-20 INSULATION
4 MR. POLYETHYLENE VAPOUR BARRIER
5/8" X-TYPE GYPSUM BOARD
- W3. INTERIOR PARTITION
1/2" GYPSUM BOARD ON EACH SIDE
OF 2-4 STUDS @ 16" O/C OR
2-4 STUDS @ 16" O/C (R. noted)
- W4. REMOVE EXIST. INTERIOR WALL FINISHES
(EXTERIOR WALL)
REINSTATE STUD CAVITY W/ 1/2" G BATT INSULATION
AS REQUIRED (see owner) ADD
4 MR. POLY N. 8
5/8" X-TYPE GYPSUM BOARD
- W5. 1/2" GYPSUM BOARD ON
4 MR. POLY N. 8
2-4 STUDS @ 24" O/C C/W
R-13 BATT INSULATION
2 PLY 30 MINUTE BUILDING PAPER OR
12.2mm (1/2") AIR SPACE
(provide required fasteners in wall
assemblies to comply with
B.C. Bldg. Code 9.10.1.1)
(not shown in section)
- W6. B.C. BUILDING CODE 2012 (A-1.10.3.1.1)
RATED WALL ASSEMBLY W60
2 LAYERS 5/8" X-TYPE GYPSUM BOARD
2 ROWS 2-4 STUDS @ 16" O/C
BRAGGED ON COMMON 2-4 PLATES
3 1/2" FIBREGLASS INSULATION (ROTH SIDES)
FIBREGLASS TIES AND SOLID FILLED
5/8" X-TYPE GYPSUM BOARD
1 HR. F.R. 1.5 HR. F.R. 52 S.T.C.

Foundation Walls

- F1. DAMPROOFING (where required) ON
8" T&G CONC. FOUNDATION WALL
C/W 1/4" BARS @ 24" O/C N.W.
- F2. 1/4" X 8" CONC. FOOTINGS
2 1/2" (63) 2-1/2" EXTRUDED POLYSTYRENE
RIGID INSULATION 4-0" (1.0m)
CONC. AROUND PERIMETER UNDER
SLAB INSTALLED HO RECENTLY OR
VERTICALLY FOR SLABS ABOVE FROST LINE
(verify with municipality depth of frost line)
- F3. 4" PERIMETER DRAIN
3" RIGID PIPE FOR F.W.
DRAIN ROCK
- F4. ANCHOR BOLTS @ 4-0 FT. O/C MAX
C/W 3/8" SLL GASKETS
- F5. UNDER SLAB INSULATION
2 1/2" (63) 2-1/2" EXTRUDED POLYSTYRENE
RIGID INSULATION 4-0" (1.0m)
CONC. AROUND PERIMETER UNDER
SLAB INSTALLED HO RECENTLY OR
VERTICALLY FOR SLABS ABOVE FROST LINE
(verify with municipality depth of frost line)



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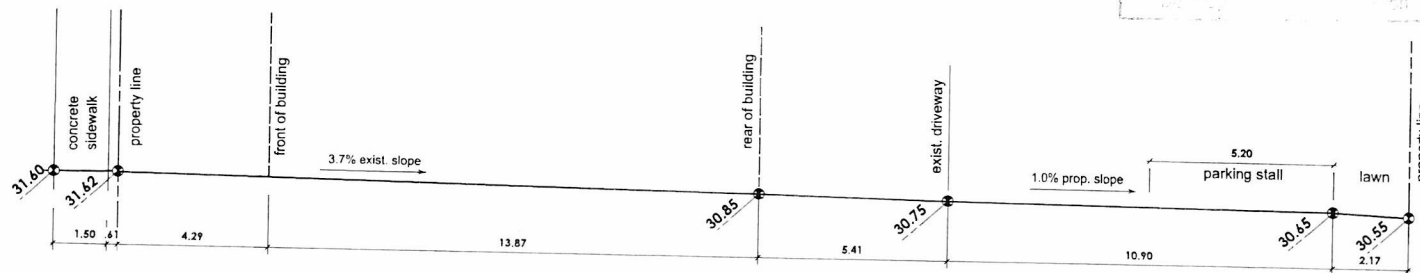
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Date: 15-10-19
Time: 14:10:37

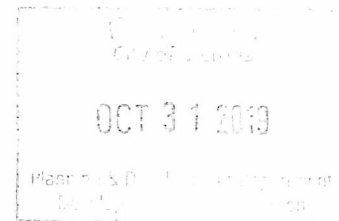
A7 - STREET ELEVATION
& DRIVEWAY SLOPE



1 **Fernwood Street Elevation**
Scale: 3/16" = 1'-0"



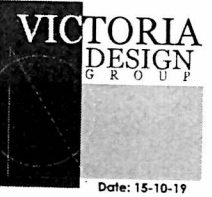
2 **Proposed Driveway Slope**
Scale: 3/16" = 1'-0"



No. 1 DATE 18.05.2017 ISSUED/REVISED DP, SUBMISSION
rezoning
1913/1915
FERNWOOD
ROAD
VICTORIA B.C.
drawing
7817
drawn by
CB

#102 891
ATREE AVENUE
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PH: 250.382.7374
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KARL J. VELD KAMP
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EXT. 223

1913/1915 fernwood road
rezoning



Date: 15-10-19

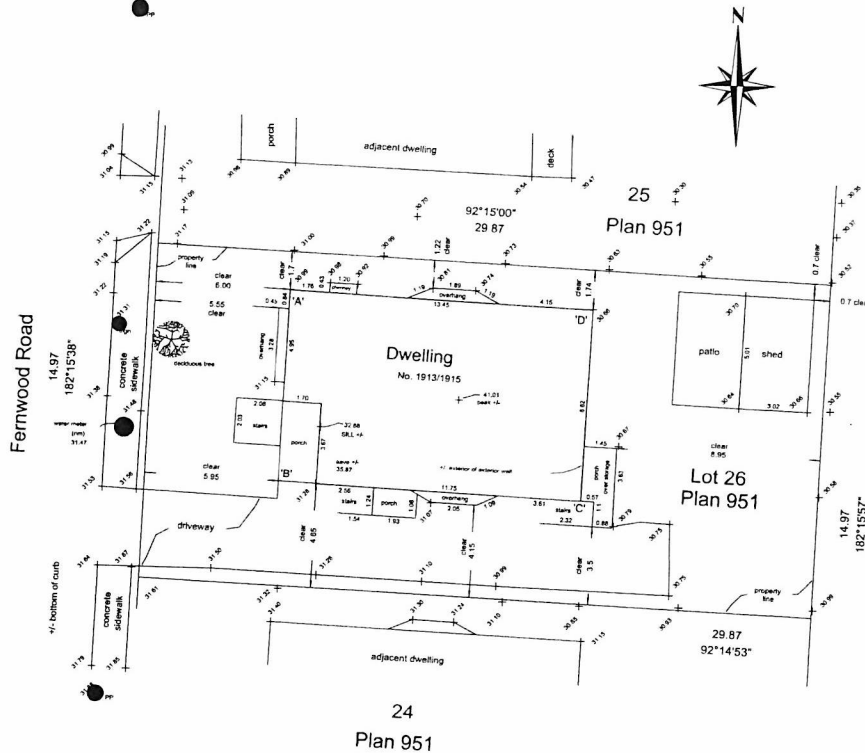
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7817--REZONING--1913/1915 FERNWOOD ROAD VICTORIA B.C. WWW.VICTORIADESIGNGROUP.CA

Date: 15-10-19
Time: 16:10:39

A8 - EXISTING SITE PLAN

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Site plan of:

Lot 26, Section 75, Victoria
District, Plan 951

Parcel Identifier number 006-005-268

Civic address: 1913/1915 Fernwood Road
Victoria, B.C.



All distances are in metres
Scale 1:100 (metric)

LEGEND

denotes elevation
PP denotes utility pole

denotes tree
(not to scale)
(not all trees are indicated)

Elevations are derived from
geodetic benchmark

Approximate site area
447.2 square metres

SITE DATA	R-1B
ITEMS	EXISTING
LOT AREA	447.2 SQ.M.
LOT COVERAGE	
LOT WIDTH	14.97 M
BLD'G HEIGHT	8.51 M
SETBACKS	
- FRONT (WEST)	5.55 M
- REAR (EAST)	8.95 M
- SIDE (NORTH)	1.22 M
- SIDE (SOUTH)	3.41 M
- SUM OF BOTH	
FLOOR AREA	
- UPPER	99.14 SQ.M.
- MAIN	103.09 SQ.M.
- LOWER	107.86 SQ.M.

1
A8
Existing Site Plan
Scale: 1:100

Exist. Grade Calculation

Pts 'A'+'B' $((30.99+31.28)/2) \times 8.53 = 265.58$
 Pts 'B'+'C' $((31.28+30.79)/2) \times 13.41 = 416.18$
 Pts 'C'+'D' $((30.79+30.65)/2) \times 8.53 = 262.51$
 Pts 'D'+'A' $((30.66+30.99)/2) \times 13.41 = 413.36$

Total: 1357.63

1357.63 / 43.88 (Perimeter) = 30.94 (Average Grade)

No. 1 DATE ISSUED/REVISED
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Date: 15-10-19

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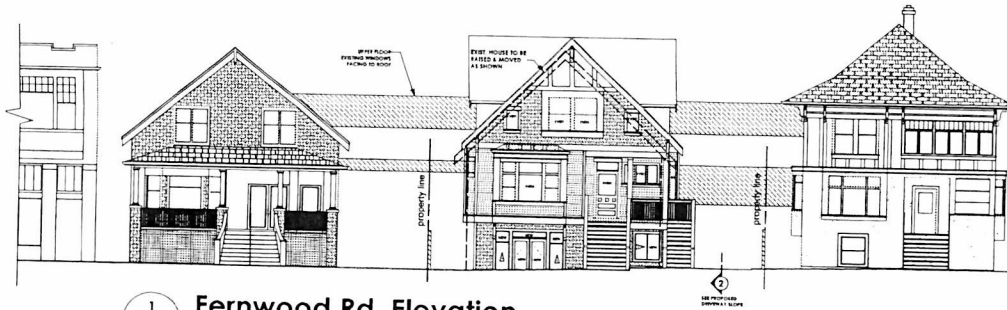
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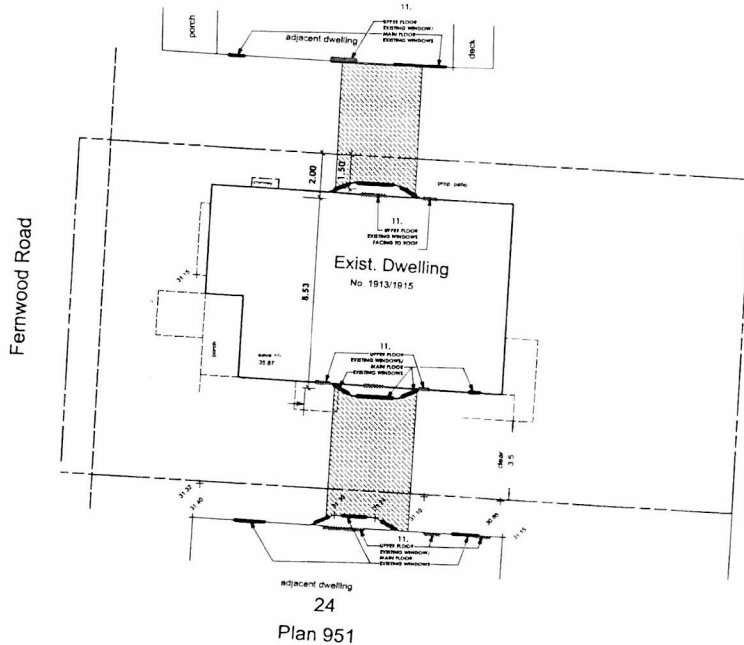
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Time: 16:10:40

OCT 31 2019

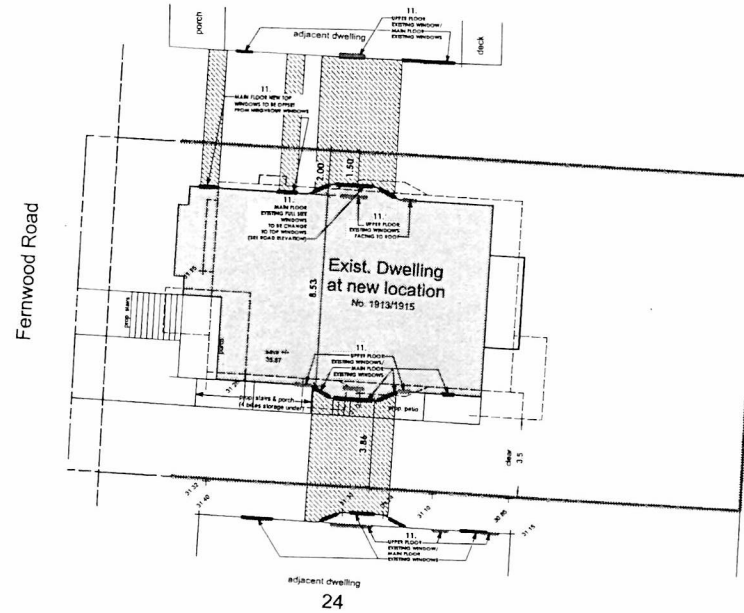
A9 - WINDOW OVERLAY



1 Fernwood Rd. Elevation
Scale: 1:100



2 Existing Window Overlay
Scale: 1:100



3 Proposed Window Overlay
Scale: 1:100

No. DATE ISSUED/REVISED
1 12.05.2017 BP. SUBMISSION
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FERNWOOD
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7817: REZONING: 1913/1915 FERNWOOD ROAD VICTORIA B.C.



Revisiões	
28/ Sept/18	
08/ Feb/19	
01/ Mar/19	
22/ May/19	
10/ July/19	
30/ Jan/20	
31/ Jan/20	
03/ Feb/20	

* Any deviation from these specifications must be done so only with the consent of a certified assembler.

OCT 31 2019

Property Owners:
Karl Veldkamp

Civic Address:
1913/1915 Fernwood Rd., Victoria

**Landscape
Master Plan**

Date: **11/Sept/18** Scale: **1:50**

Designed By: **N. Bomford**

NATHAN BOMFORD
DESIGN • CONSULTING
P.O. Box 424 Thompson's Landing, C.A. Canada J0B 1M0
204-960-6226
nathan@nathanbomford.ca



(d+c)^{nb}
NATHAN BOMFORD
design + consulting

Landscaping Plan

Rezoning

1913/1915 Fernwood Rd., Victoria

NOTE THIRTY PERCENT (30%) OF THE SOFT LANDSCAPING IN THE COMMON AREAS ARE NATIVE, EDIBLE, OR POLLINATING SPECIES

ID Code	Quantity	Common Name	Botanical Name	Size
Trees				
SM	1	Red Maple	Acer rubrum	6 cm caliper
SG	1	Swamp Gum	Allocasuarina verticillata	6 cm caliper
Shrubs & Groundcovers				
SP	22	Grey Fern	Polystichum spicatum	#1
SHB	13	Small-leaved Bamboo	Nandina domestica Compacta	#5
LA	7	Hydrangea Blue English Lavender	Lavandula angustifolia 'Munstead Blue'	#2
NE	1	Hardy New Zealand Flax	Phormium tenax	#2
NZ	5	New Zealand Flax	Phormium tenax	#2
PL	1	Portulaca	Portulaca oleraceae	#1
PP	28	Periwinkle	Cathartus aurea	#1
SD "SB"	3	Blue Box	Blue Box (2-3)	#5
Grasses				
SG	1	Blue Cat Grass	Helictotrichon sempervirens	#1
SD	29	Sea Hare Japanese Sedum	Sedum moutanense 'Sea Hare'	#1
SG	13	Sea Hare Japanese Sedum	Sedum moutanense 'Sea Hare'	#1
SG	8	Sea Hare Japanese Sedum	Sedum moutanense 'Sea Hare'	#1
JPS	22	Japanese Forest Grass	Hakonechloa macrospora	#1

CITY OF VICTORIA
RECEIVED
JAN 31 2020
DEEMED
OCT 31 2019

Revisions:
28/Sept/18
28/Sept/18
01/May/19
22/May/19
10/Jun/19
20/Jun/19
21/Jun/19
03/Jul/19

Property Owners:
Karl Veldkamp
Civic Address:
1913/1915 Fernwood Rd., Victoria

Planting Plan
L2

Date: 11/Sept/18 Scale: 1:50
Designed By: M. Bomford
NATHAN BOMFORD
411-111-1111
P.O. Box 111111, Victoria, BC V8M 1T1
nathan@nathanbomford.com