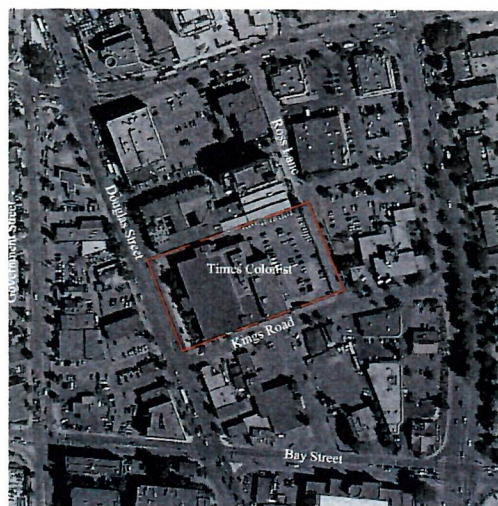
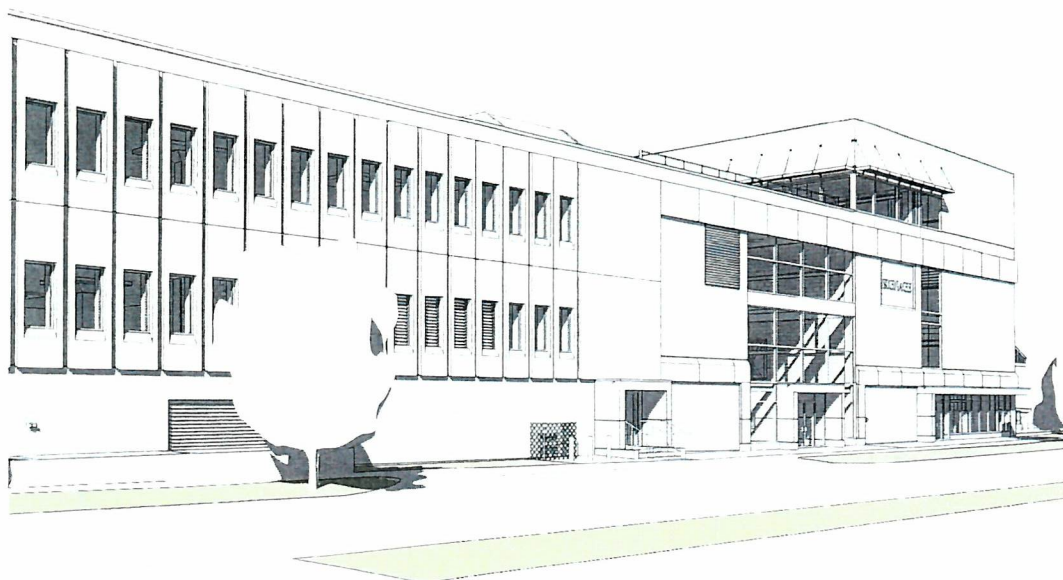




LOCATION PLAN

■ VICTORIA ZONING BYLAW SUMMARY

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

[illegible]

Item Name	Quantity
Item 1: Manufacturing	1,174
Item 2: Manufacturing	230
Item 3: Other	143
Item 4: Manufacturing	1,085
Item 5: Other	706
Total	3,318
Percentage Total	100%
Percentage Breakdown by Manufacturing	100%
Item Name	Quantity

[illegible]

PROJECT DESCRIPTION

CTVHC ADDRESS
2615 DOUGLAS ST
VICTORIA BC

LEGAL DESCRIPTION
LOTS 101 & 2, SECTION 4, VICTORIA PLAN 2174.

REGISTERED OWNER
To: Evolution / Merchant House Capital David Jullien@evc
(9922010)
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Vancouver BC V 6S 8S8
V6T 4V82 david@evolutioncapital.com

ADRI HILL
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Victoria B.C.
V8N 2C1
Tel: 250-381-7946
Fax: 250-381-7900

MECHANICAL CONSULTANT

Asst. Mech. Engr.	Kenneth Jackson
1000 - 121st Esplanade Road	1-254-940-2470
Victoria BC	1-254-983-5138
V9A 3P2	K.Jackson@asstmech.com.au

ELECTRICAL CONSULTANT
Applied Engineering Ltd Mr. Donald
Traf House 1915 Blanshard St t. 250 381 6121
Victoria BC f. 250 561 6611
V8T 5K4 Ltd Mr. Donald@amengr.com

LANE & ASSOCIATES ARCHITECT
 Murdoch Building
 2000 - 524 Cumberland Rd
 Victoria 3181
 Tel: 03 9412 1111

CIVIL CONSULTANT SURVEYOR
H. Anderson R. G. Tuck
4212 Oakland Ave. 1 260 727 2214
Nashua NH 1 260 727 5995
Fax 467 products.com tuck

■ BUILDING CODE SUMMARY

MAJOR OCCUPANCY CLASSIFICATION
GROUP 1 OFFICE
GROUP 12 WAREHOUSE, MANUFACTURING

BUILDING AREA 4728 SQM

BUILDING HEIGHT (STOREYS)

ACCESSIBLE FACILITIES
ACCESSIBLE ENTRANCE
ACCESSIBLE PARKING SPACES

CONSTRUCTION REQUIREMENTS

NONCOMBUSTIBLE CONSTRUCTION
SPRINKLERED BUILDING

■ LIST OF DRAWINGS

DP000	Project Data
DP001	Site Plan Proposed
DP002	Plans Proposed - First Floor
DP003	Plans Proposed - Second Floor
DP004	Plans Proposed - Third Floor
DP005	Plans Proposed - Roof
DP006	Elevations - North
DP007	Elevations - South
DP008	Elevations - East
DP009	Elevations - West
DP010	Site Analysis
DP011	Site Analysis
DP012	Analysis

Received
City of Victoria

FEB 13 2020

Planning & Development Department
Development Services Division

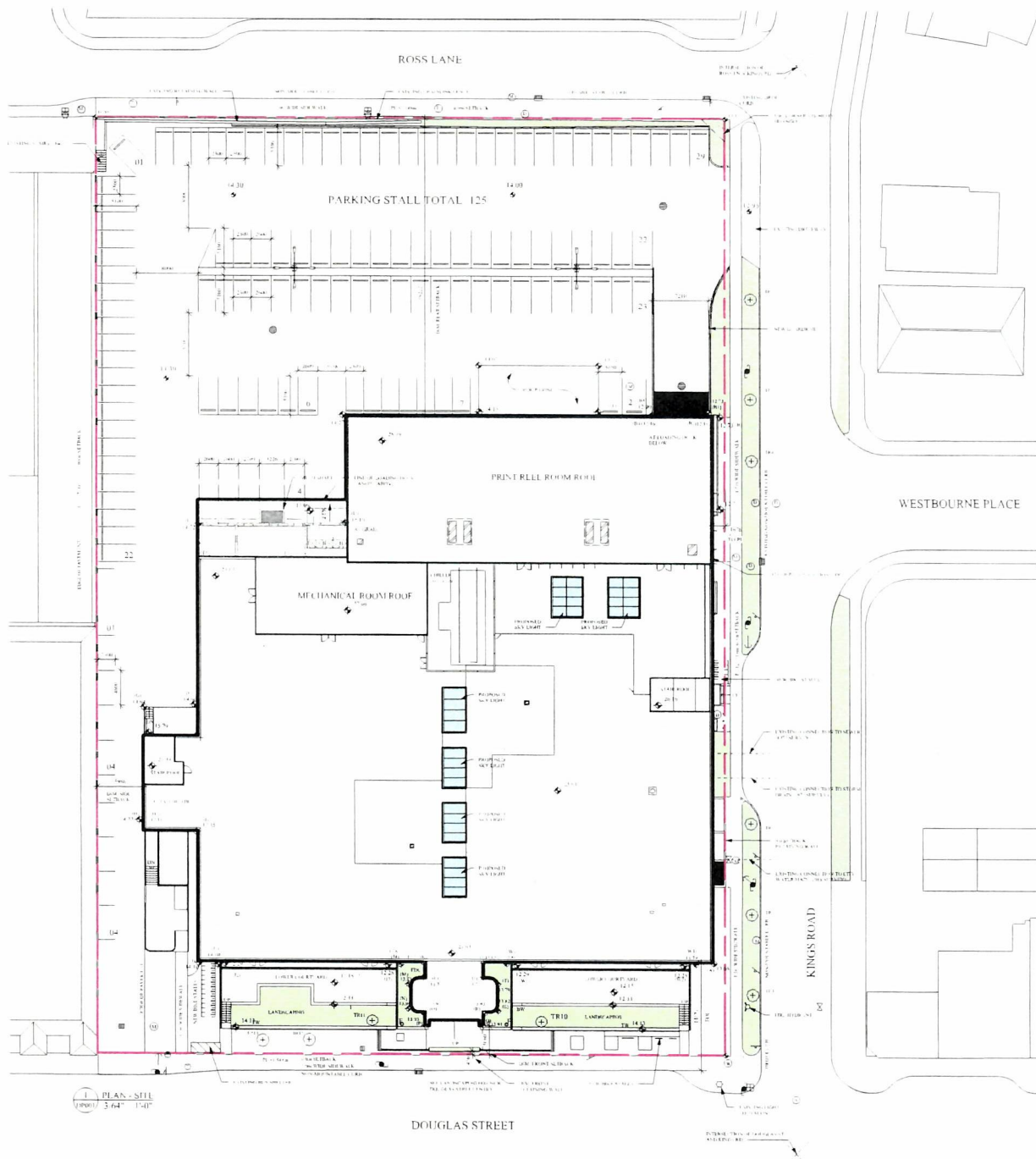
Victoria Press LTD

2621 Douglas St. Victoria
BC

Project Data

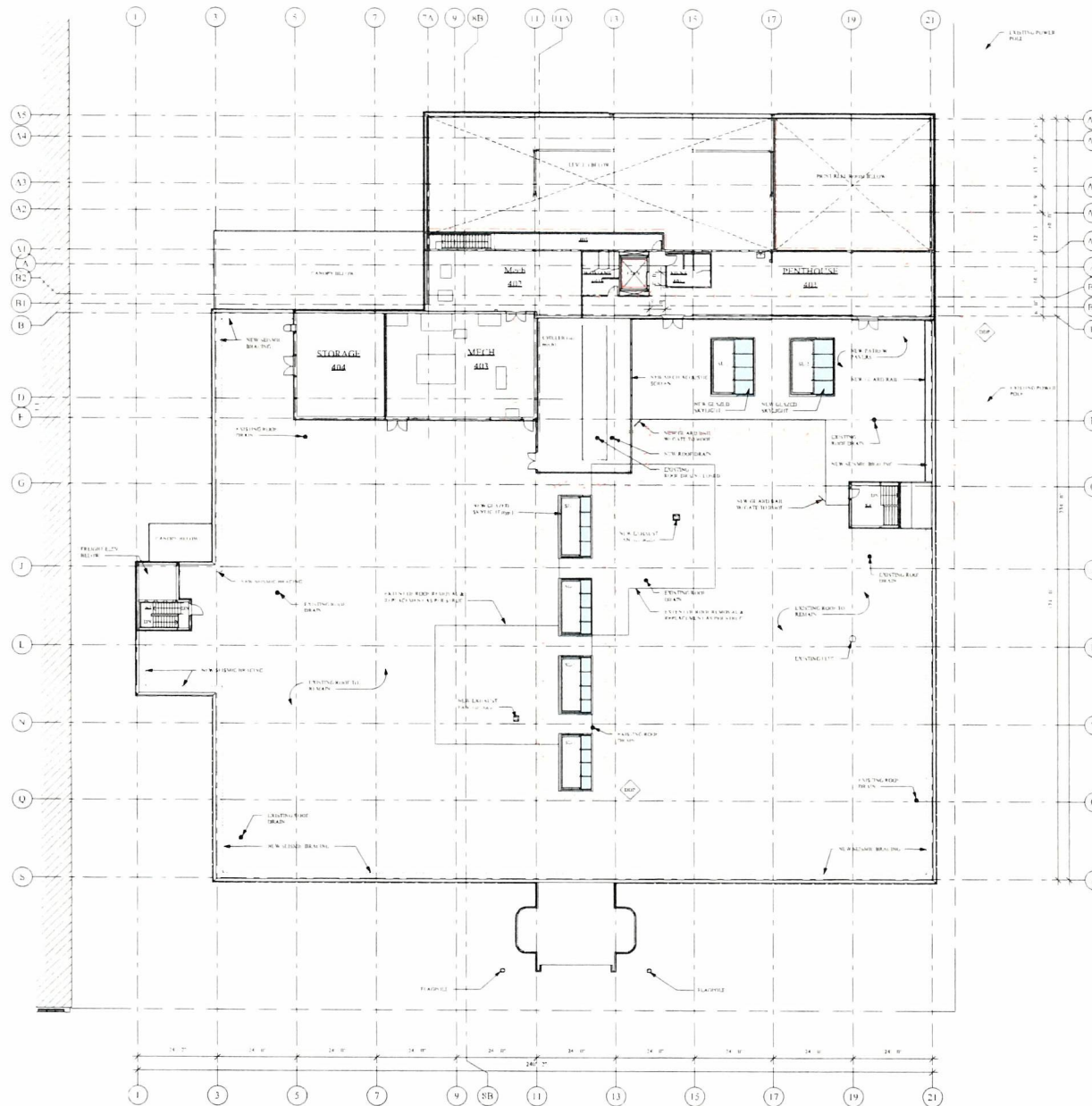
dHKA DP000

dHKArchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-685-3367
Nanaimo
102-5190 Dublin Way V9T 2K8 T 1-250-565-5610



Assege Grade

Point	Station	Grade	Height	Width
1	100	10.0	10.0	10.0
2	101	10.1	10.1	10.1
3	102	10.2	10.2	10.2
4	103	10.3	10.3	10.3
5	104	10.4	10.4	10.4
6	105	10.5	10.5	10.5
7	106	10.6	10.6	10.6
8	107	10.7	10.7	10.7
9	108	10.8	10.8	10.8
10	109	10.9	10.9	10.9
11	110	11.0	11.0	11.0
12	111	11.1	11.1	11.1
13	112	11.2	11.2	11.2
14	113	11.3	11.3	11.3
15	114	11.4	11.4	11.4
16	115	11.5	11.5	11.5
17	116	11.6	11.6	11.6
18	117	11.7	11.7	11.7
19	118	11.8	11.8	11.8
20	119	11.9	11.9	11.9
21	120	12.0	12.0	12.0
22	121	12.1	12.1	12.1
23	122	12.2	12.2	12.2
24	123	12.3	12.3	12.3
25	124	12.4	12.4	12.4
26	125	12.5	12.5	12.5
27	126	12.6	12.6	12.6
28	127	12.7	12.7	12.7
29	128	12.8	12.8	12.8
30	129	12.9	12.9	12.9
31	130	13.0	13.0	13.0
32	131	13.1	13.1	13.1
33	132	13.2	13.2	13.2
34	133	13.3	13.3	13.3
35	134	13.4	13.4	13.4
36	135	13.5	13.5	13.5
37	136	13.6	13.6	13.6
38	137	13.7	13.7	13.7
39	138	13.8	13.8	13.8
40	139	13.9	13.9	13.9
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49	148	14.8	14.8	14.8
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69	168	16.8	16.8	16.8
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73	172	17.2	17.2	17.2
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79	178	17.8	17.8	17.8
80	179	17.9	17.9	17.9
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83	182	18.2	18.2	18.2
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87	186	18.6	18.6	18.6
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89	188	18.8	18.8	18.8
90	189	18.9	18.9	18.9
91	190	19.0	19.0	19.0
92	191	19.1	19.1	19.1
93	192	19.2	19.2	19.2
94	193	19.3	19.3	19.3
95	194	19.4	19.4	19.4
96	195	19.5	19.5	19.5
97	196	19.6	19.6	19.6
98	197	19.7	19.7	19.7
99	198	19.8	19.8	19.8
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123	222	22.2	22.2	22.2
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255	354	35.4	35.4	35.4
256	355	35.5	35.5	35.5
257				



NOTES

1. EXISTING POWER POLE
2. EXISTING POWER POLE
3. EXISTING POWER POLE

Received
City of Victoria

FEB 13 2020

Planning & Development Department
Development Services Division

1 PLAN - ROOF
DP005 1/16" = 1'-0"

Drawn By	09.11.19	Revision 10
Drawn By	09.09.19	Revision 2
Drawn By	09.09.19	Revision 1

Victoria Press LTD

2621 Douglas St. Victoria
BC

Plans Proposed -
Roof



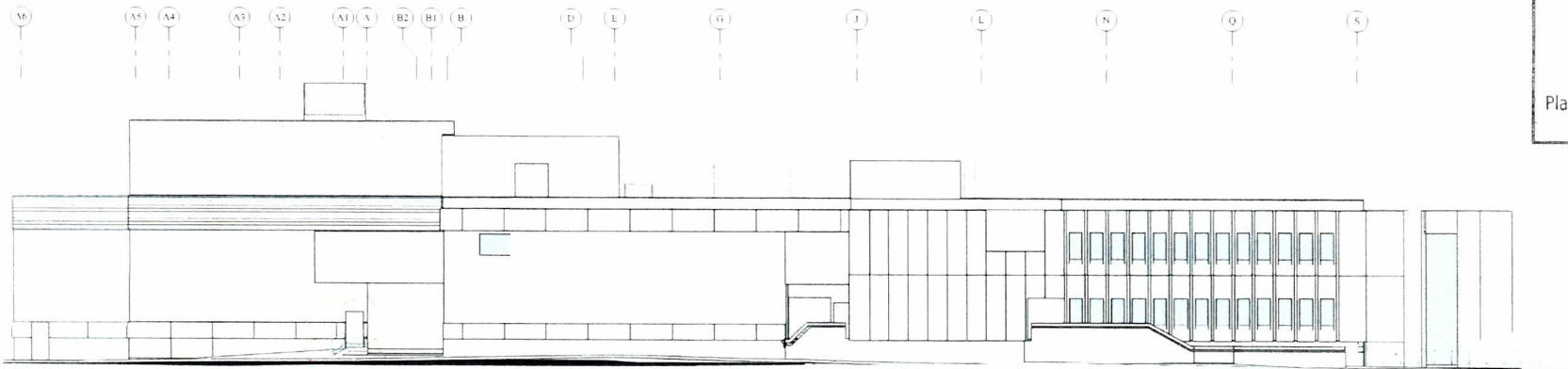
DP005

dhk Architects
Victoria
977 Fort Street
Nanaimo
102 SBC Dublin Way V8T 2K8
T 1-250-685-3367
T 1-250-685-5810
F 1-250-685-5810
E info@dhkarchitects.com
W www.dhkarchitects.com

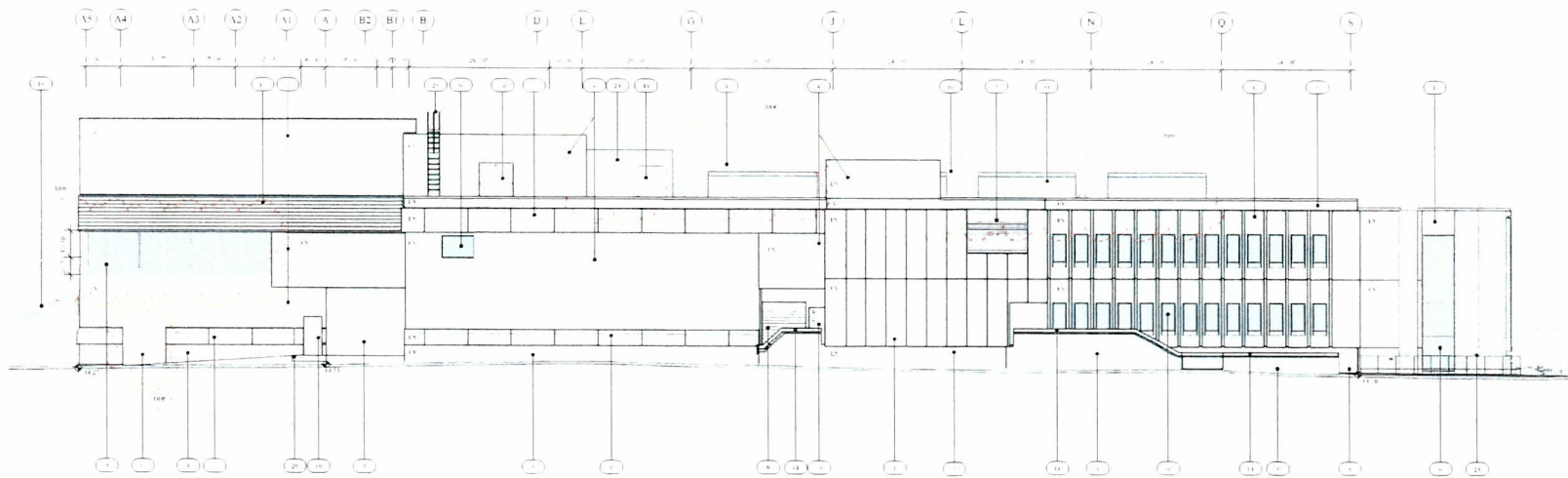
Received
City of Victoria

FEB 13 2020

Planning & Development Department
Development Services Division



1 North Elevation - Existing
1:32" = 1'-0"



PRINT REEL ROOM ROOF
28.35
ROOF SLAB
23.47
THIRD FLOOR
15.67
SECOND FLOOR
15.61
AVERAGE GRADE
13.61
FIRST FLOOR
12.36

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Elevations - North

dhKa DP006

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100-5788 Gordon Way, V8T 2B8 T: 250-565-5610
100-5788 Gordon Way, V8T 2B8 T: 250-565-5610

2 ELEVATIONS PROPOSED - NORTH DP
1:32" = 1'-0"

Elevation Schedule



- | | | |
|----|--|------------------------------------|
| 1 | Existing Painted Panels - White | To Remain & Be Cleaned |
| 2 | Existing Concrete Wall - Grey | To Remain - Painted White as Noted |
| 3 | Existing Concrete Masonry Unit | To Remain |
| 4 | Existing Metal Cladding Panel | To Remain - Painted White as Noted |
| 5 | Existing Upward Aggregate Masonry Unit | To Remain |
| 6 | Existing Fixed Window | To Remain |
| 7 | Existing Lower | To Remain |
| 8 | Existing Sloped Roof | To Remain |
| 9 | Existing Overhead Door | To Remain |
| 10 | Existing Metal Deck | To Remain |
| 11 | Existing Day Gate | To Be Relocated |
| 12 | Existing Bollard | To Remain |

Elevation Schedule

- | | | |
|----|---------------------------------------|---------------------------|
| 13 | Existing Low Metal - Chain Link Fence | To Remain |
| 14 | Existing Steel Guard Railing | To Remain |
| 15 | Existing Loading Dock Curb | To Remain - Painted White |
| 16 | Existing Flag | To Remain |
| 17 | Existing Metal Cladding Panel | To Remain |
| 18 | New Concrete Wall - Grey | To Remain |
| 19 | New Exterior Lintel | To Remain |
| 20 | New Aluminum Cladding - Parapet | To Remain |
| 21 | New Concrete Lintel | To Remain |
| 22 | New Railing | To Remain |
| 23 | New Gate Ladder | To Remain |
| 24 | New Concrete Wall - Grey | To Remain |
| 25 | New Concrete Wall - Grey | To Remain |
| 26 | New Concrete Wall - Grey | To Remain |
| 27 | New Concrete Wall - Grey | To Remain |

Elevation Schedule

- | | | |
|----|--|-----------|
| 28 | New Portal Entry | To Remain |
| 29 | New Horizontal Standing Seam Metal Roofing | To Remain |
| 30 | New Horizontal Standing Seam Metal Roofing | To Remain |
| 31 | New Metal Overhead Door | To Remain |
| 32 | New Aluminum Sashable Lintel | To Remain |
| 33 | New Steel Window | To Remain |
| 34 | New Skylight | To Remain |

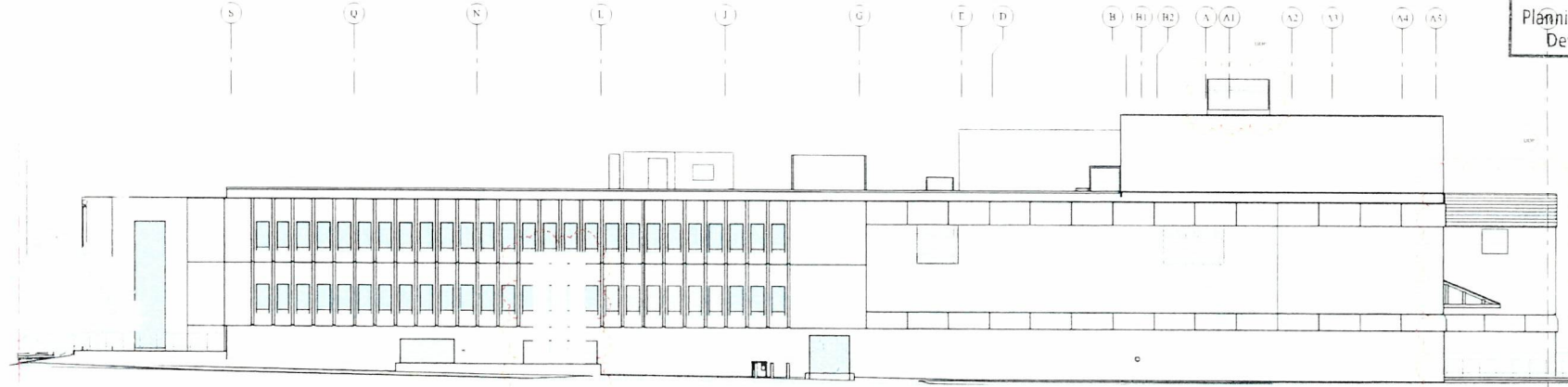
Elevation Schedule

- | | | |
|-----|------------------|-----------|
| 35 | New Steel Window | To Remain |
| 36 | New Steel Window | To Remain |
| 37 | New Steel Window | To Remain |
| 38 | New Steel Window | To Remain |
| 39 | New Steel Window | To Remain |
| 40 | New Steel Window | To Remain |
| 41 | New Steel Window | To Remain |
| 42 | New Steel Window | To Remain |
| 43 | New Steel Window | To Remain |
| 44 | New Steel Window | To Remain |
| 45 | New Steel Window | To Remain |
| 46 | New Steel Window | To Remain |
| 47 | New Steel Window | To Remain |
| 48 | New Steel Window | To Remain |
| 49 | New Steel Window | To Remain |
| 50 | New Steel Window | To Remain |
| 51 | New Steel Window | To Remain |
| 52 | New Steel Window | To Remain |
| 53 | New Steel Window | To Remain |
| 54 | New Steel Window | To Remain |
| 55 | New Steel Window | To Remain |
| 56 | New Steel Window | To Remain |
| 57 | New Steel Window | To Remain |
| 58 | New Steel Window | To Remain |
| 59 | New Steel Window | To Remain |
| 60 | New Steel Window | To Remain |
| 61 | New Steel Window | To Remain |
| 62 | New Steel Window | To Remain |
| 63 | New Steel Window | To Remain |
| 64 | New Steel Window | To Remain |
| 65 | New Steel Window | To Remain |
| 66 | New Steel Window | To Remain |
| 67 | New Steel Window | To Remain |
| 68 | New Steel Window | To Remain |
| 69 | New Steel Window | To Remain |
| 70 | New Steel Window | To Remain |
| 71 | New Steel Window | To Remain |
| 72 | New Steel Window | To Remain |
| 73 | New Steel Window | To Remain |
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| 94 | New Steel Window | To Remain |
| 95 | New Steel Window | To Remain |
| 96 | New Steel Window | To Remain |
| 97 | New Steel Window | To Remain |
| 98 | New Steel Window | To Remain |
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| 100 | New Steel Window | To Remain |

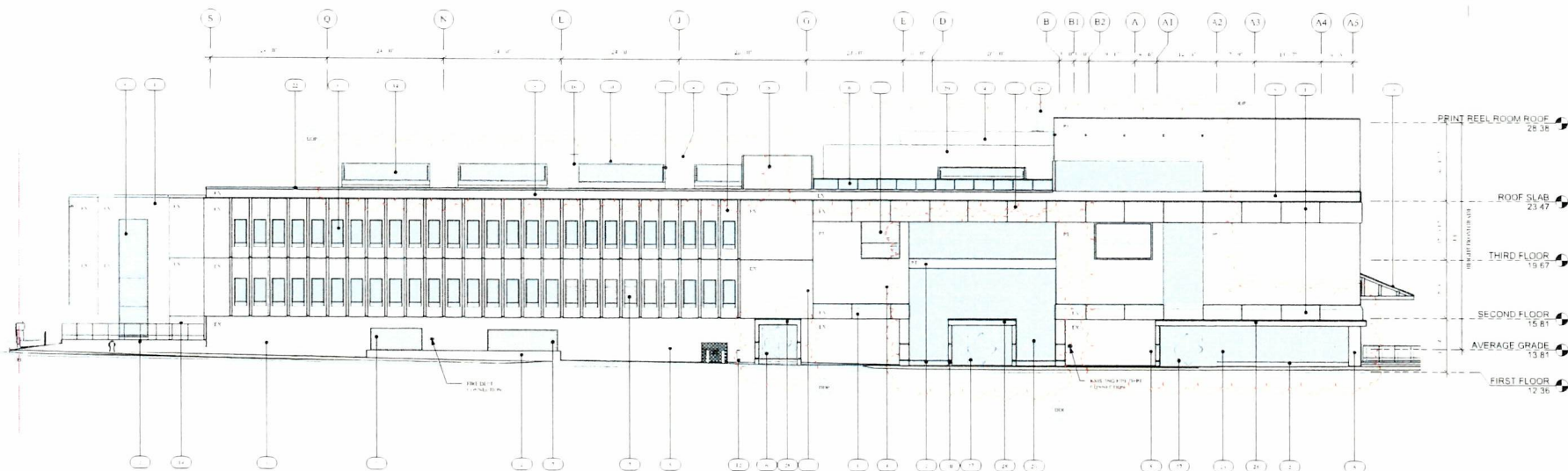
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1 South Elevation - Existing
1/32" = 1' 0"



2 ELEVATIONS PROPOSED - SOUTH DP
1/32" = 1' 0"

Color Code



Elevation Schedule

- | | | |
|----|--|------------------------------------|
| 1 | Existing Porcelain Panels - White | To Remain & Be Cleaned |
| 2 | Existing Concrete Wall - Carb. Retaining Wall Beam | To Remain - Painted White as Noted |
| 3 | Existing Concrete Masonry Unit | To Remain |
| 4 | Existing Metal Cladding Panel | To Remain - Painted White as Noted |
| 5 | Existing Exposed Aggregate Stucco Dash | To Remain |
| 6 | Existing Fixed Window | To Remain |
| 7 | Existing Louver | To Remain |
| 8 | Existing Sloped Roof | To Remain |
| 9 | Existing Overhead Door | To Remain |
| 10 | Existing Metal Door | To Remain |
| 11 | Existing Flag Pole | To Be Relocated |
| 12 | Existing Buffer | To Remain |

Elevation Schedule

- | | | |
|----|---------------------------------------|---|
| 13 | Existing Gas Meter - Chain Link Fence | To Remain |
| 14 | Existing Steel Guard Railing | To Remain - Painted White |
| 15 | Existing Loading Dock Cams | To Remain |
| 16 | Existing Flue | To Remain |
| 17 | Existing Metal Cladding Panel | To Remain |
| 18 | New Concrete Wall - 10' x 10' | Exposed |
| 19 | New Exterior Louver | To Match Wall Color |
| 20 | New Aluminum Fencing or Perimeter | Painted White |
| 21 | New Concrete Land | Painted Charcoal |
| 22 | New Railing | Color: Slate Grey |
| 23 | New Gate Ladder | Color: Slate Grey |
| 24 | New Curtain Wall Cladding | Frames: Charcoal / Glazing: Clear Glass w/ Low-E Coating - Sealed Units |
| 25 | New Curtain Wall Cladding | Frames: Charcoal / Glazing: Clear Glass w/ Low-E Coating - Sealed Units |
| 26 | New Curtain Wall Cladding | Frames: Charcoal / Glazing: Clear Glass w/ Low-E Coating - Sealed Units |

Elevation Schedule

- | | | |
|----|--------------------------------------|---|
| 27 | New Exterior Entry | Frames: Paint / Color: Match Charcoal Sign |
| 28 | New Horizontal Slatted Metal Roofing | Color: Slate Grey |
| 29 | New Hollow Metal Door | Painted: Slate Grey |
| 30 | New Metal Overhead Door | Painted: Slate Grey |
| 31 | New Aluminum Slatted Louver | Charcoal Finish |
| 32 | New Exterior Window | Frames: Charcoal / Glazing: Clear Glass w/ Low-E Coating - Sealed Units |
| 33 | New Skylight | Frames: Charcoal / Glazing: Clear Glass w/ Low-E Coating - Sealed Units |

Date	10	Drawn	10
Project	101-211	Drawn	101
Client	Victoria Press Ltd	Drawn	101
Scale	As Indicated	Drawn	1/31

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Elevations - South



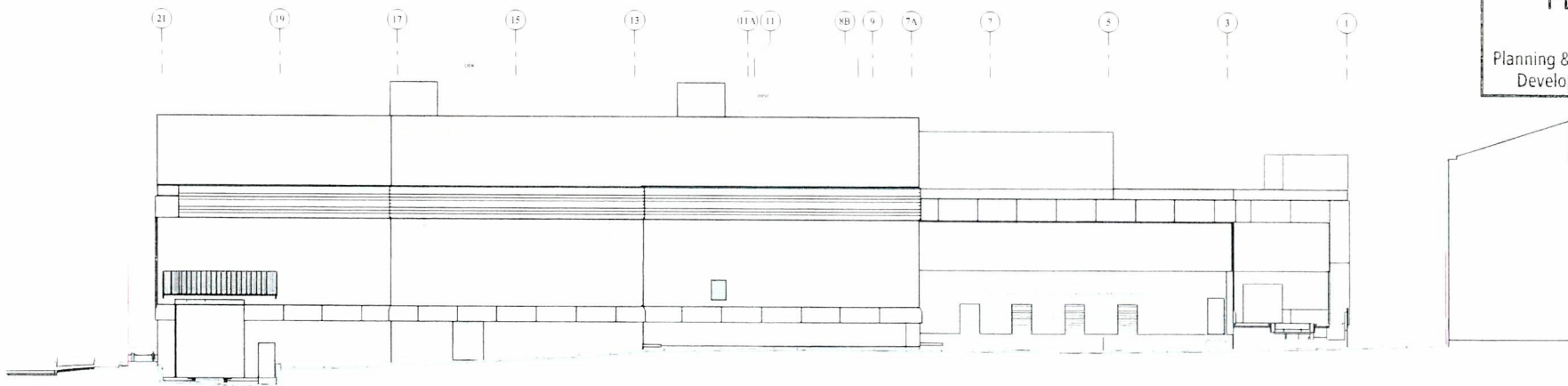
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Nanaimo
101-211-2111
101-211-2111
101-211-2111

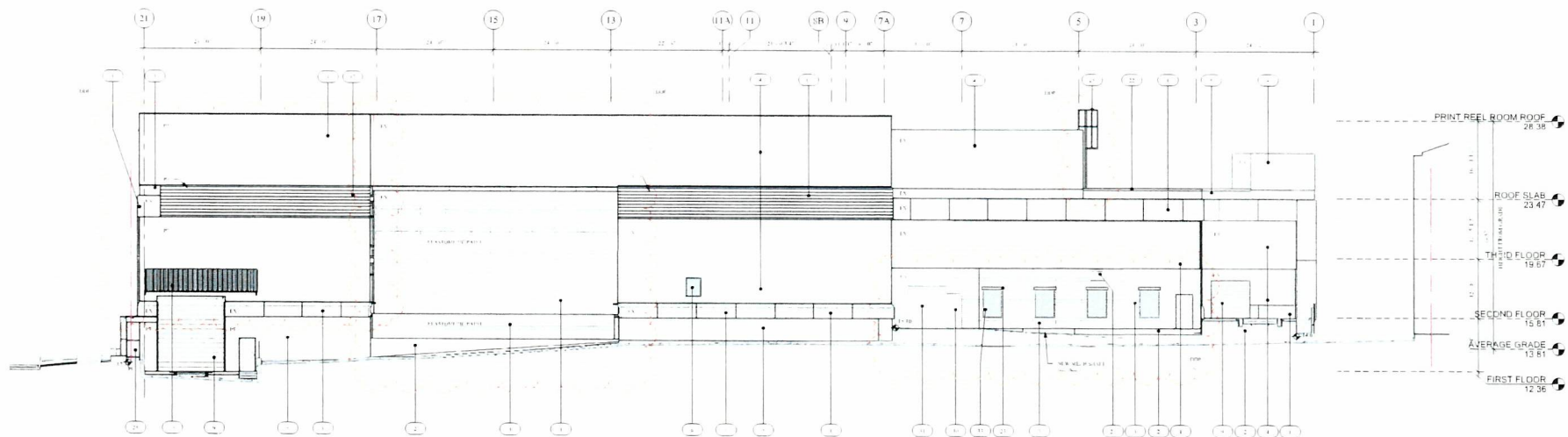
VBV 303 1-250-685-1367
1-250-545-5410
1-250-545-5410

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1	Fast Elevations - Existing
2000	3' 32" - 1' 11"



2 ELEVATIONS PROPOSED - EAST DP
3 32" - 1' 0"

Colour Code

$\mathcal{H} = \mathcal{H}_1 \oplus \mathcal{H}_2$, all the $\mathcal{H}_i$ are closed in $\mathcal{H}$ and $\mathcal{H}_1 \cap \mathcal{H}_2 = \{0\}$.
 (ii) $\mathcal{H} = \mathcal{H}_1 \oplus \mathcal{H}_2$ and $\mathcal{H}_1 \cap \mathcal{H}_2 = \{0\}$.

Preliminary to report: Case March 1957 - 1958



Examination Schedule

1	Finishing Plaster Parapet - White	To Remove & Be Replaced
2	Finishing Concrete Wall - Dark - Beginning Wall	To Remove - Painted White as Needed
3	Finishing Concrete Masonry Unit	To Remove
4	Finishing Metal Cladding Panel	To Remove - Painted White as Needed
5	Finishing Exposed Aggregate Surface - Dark	To Remove
6	Finishing Fixed Window	To Remove
7	Finishing Louver	To Remove
8	Finishing Slanted Roof	To Remove
9	Finishing Orchard Door	To Remove
10	Finishing Metal Door	To Remove
11	Finishing Flag Pole	To Be Relocated
12	Finishing Bulb	To Remove

Elevation Schedule

14	Painting Gas Motor Churn Link Pins	To Rustum
15	Painting Steel Gasoline Pump	To Rustum
16	Painting Loading Dock Canopy	To Rustum - Painted White
17	Painting Flap	To Rustum
18	Painting Metal Loading Rack	
19	New Concrete Wall - curb	Expended
20	New Exterior Louvers	To Match Wall Colour
21	New Aluminium Hanging in Porches	Painted Charcoal
22	New Concrete Lintels	Painted White
23	New Railing	Painted Charcoal
24	New Gate Ladder	Colour: Slate Grey
25	New Castings Wall Cladding	Colour: Charcoal, Glazing Unit (Glass), Lintel Colour - Neutral Grey
26	New Castings Wall Base	Colour: Charcoal, Glazing Unit (Glass), Lintel Colour - Neutral Grey
27	New Castings Wall Base	Colour: Charcoal, Glazing Unit (Glass), Lintel Colour - Neutral Grey

Elevation Schedule

28	New Front Entry	Stainless Steel, Custom Metal, Use 10 Steel
29	New Horizontal Standing Seam Metal Roofing	Custom, Slate Grey
30	New Metal Metal Door	Painted, Slate Grey
31	New Metal Vertical Door	Painted, Slate Grey
32	New Aluminum Sashless Louvers	Charcoal Finish
33	New Focal Windows	Frames Charcoal, Glazing Clear Glass w Low E Coating - Sealed Units
34	New Skylight	Frames Charcoal, Glazing Clear Glass w Low E Coating - Sealed Unit

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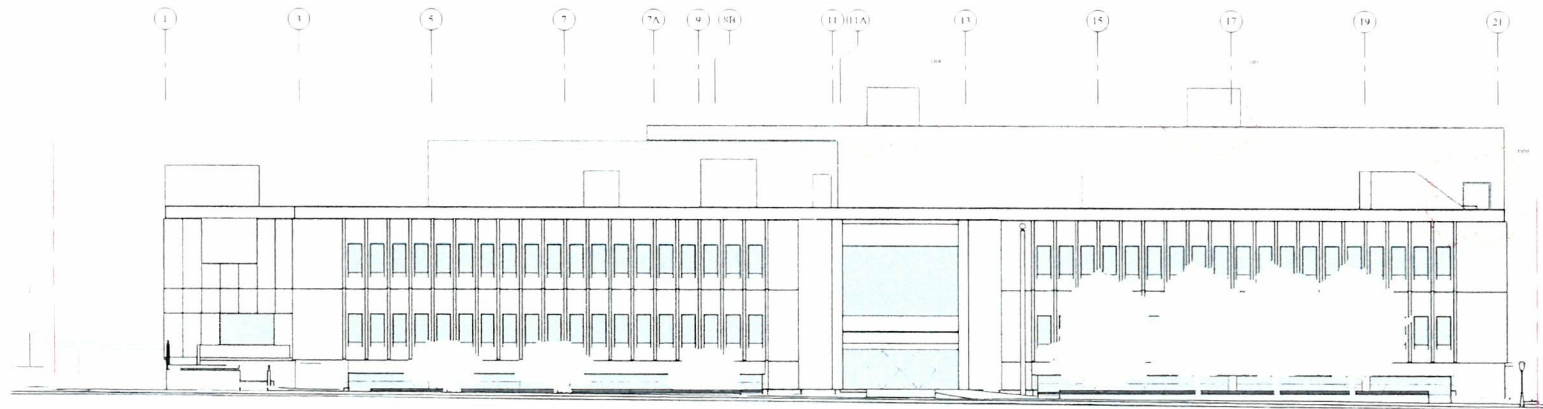
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Elevations - East

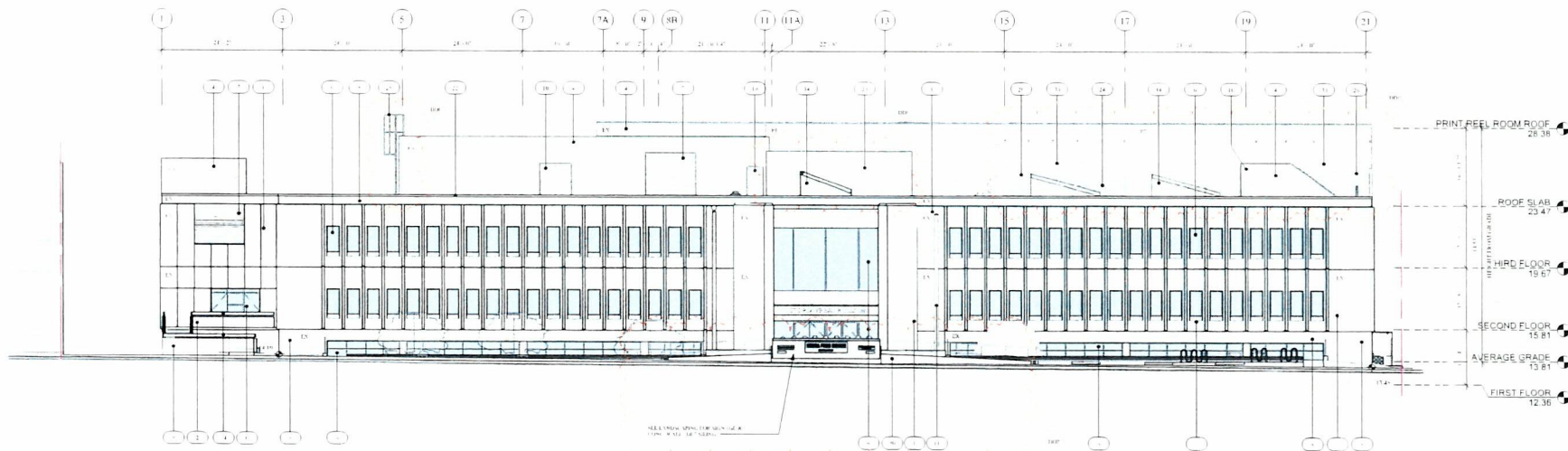
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1 West Elevation - Existing
City of Victoria 3.32' - 1.40'



2 ELEVATIONS PROPOSED - WEST DP
City of Victoria 3.32' - 1.40'

Elevation Code



Elevation Schedule

1	Existing Paintwork - White	To Remain & Be Cleaned
2	Existing Concrete Wall - Existing Retaining Wall (Beam)	To Remain - Painted White as Noted
3	Existing Concrete Masonry Unit	To Remain
4	Existing Metal Cladding Panel	To Remain - Painted White as Noted
5	Existing Exposed Aggregate Stucco Clad	To Remain
6	Existing Fixed Window	To Remain
7	Existing Louver	To Remain
8	Existing Sloped Roof	To Remain
9	Existing Overhead Door	To Remain
10	Existing Metal Door	To Remain
11	Existing Day Pole	To Be Retained
12	Existing Balcony	To Remain

Elevation Schedule

13	Existing Gate Motor - Chain Link Fence	To Remain
14	Existing Steel Frame Railing	To Remain
15	Existing Loading Dock Canopy	To Remain - Painted White
16	Existing Floor	To Remain
17	Existing Metal Cladding Board	To Remain
18	New Concrete Wall - Corb	Exposed
19	Speed Vehicle Lane	To Match Wall Color
20	New Concrete Cladding - Parapet	Painted Charcoal
21	New Concrete Cladding - Parapet	Painted White
22	New Concrete Cladding - Parapet	Painted Charcoal
23	New Concrete Cladding - Parapet	Painted White
24	New Concrete Cladding - Parapet	Painted Charcoal
25	New Concrete Cladding - Parapet	Painted White
26	New Concrete Cladding - Parapet	Painted Charcoal
27	New Concrete Cladding - Parapet	Painted White

Elevation Schedule

28	New Paint Entry	White Paint - Existing Metal - Char. 10' Steel
29	New Horizontal Standing Seam Metal Roofing	Color: Steel Grey
30	New Horizontal Standing Seam Metal Roofing	Color: Steel Grey
31	New Metal Overhead Door	Painted Steel Grey
32	New Aluminum Sashable Louver	Charcoal Finish
33	New Fixed Window	Frame: Charcoal - Glazing: Clear Glass - Low E Coating - Sealed Units
34	New Slight	Frame: Charcoal - Glazing: Clear Glass - Low E Coating - Sealed Units

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Elevations - West



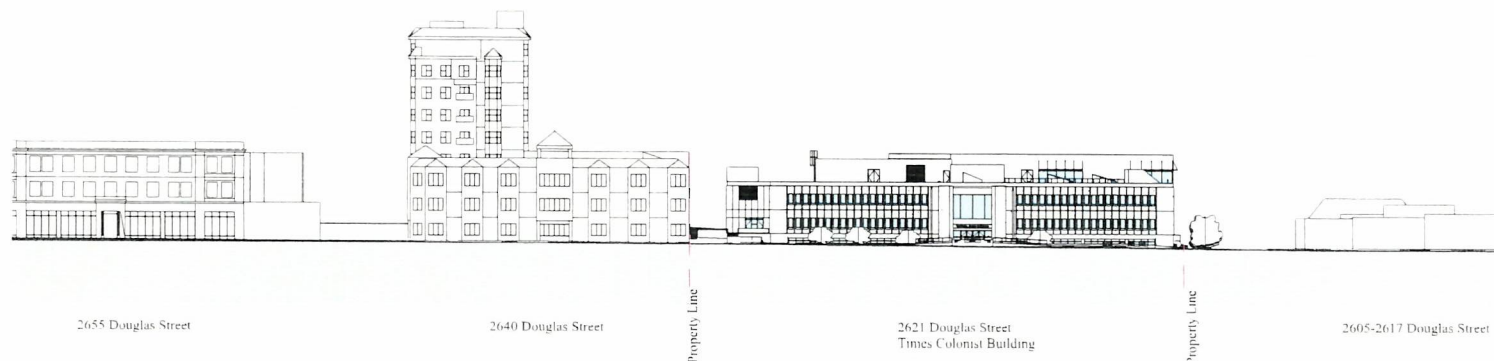
DP009

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102-5188 Eadsen Way, Unit 208, Nanaimo, BC V9T 2N8
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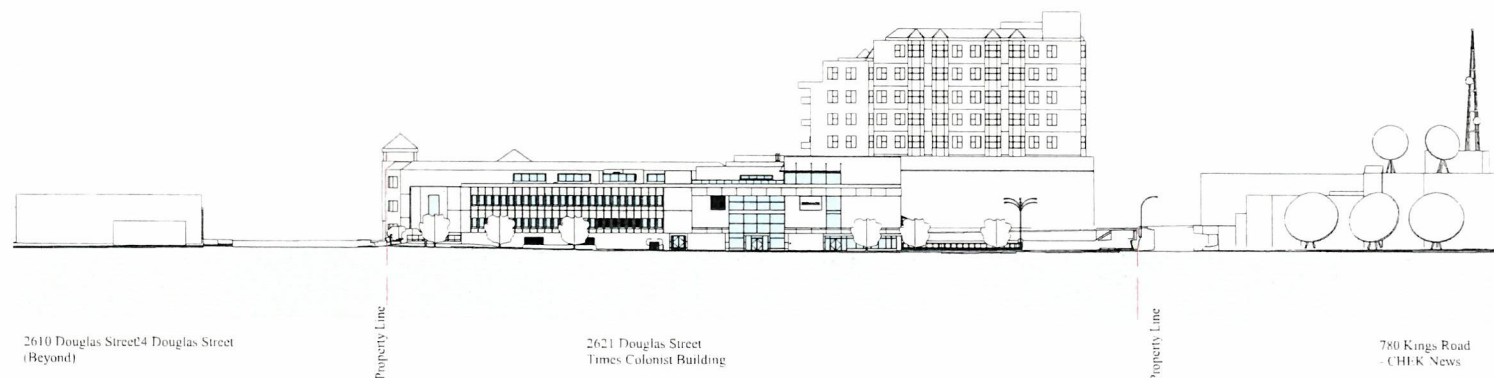
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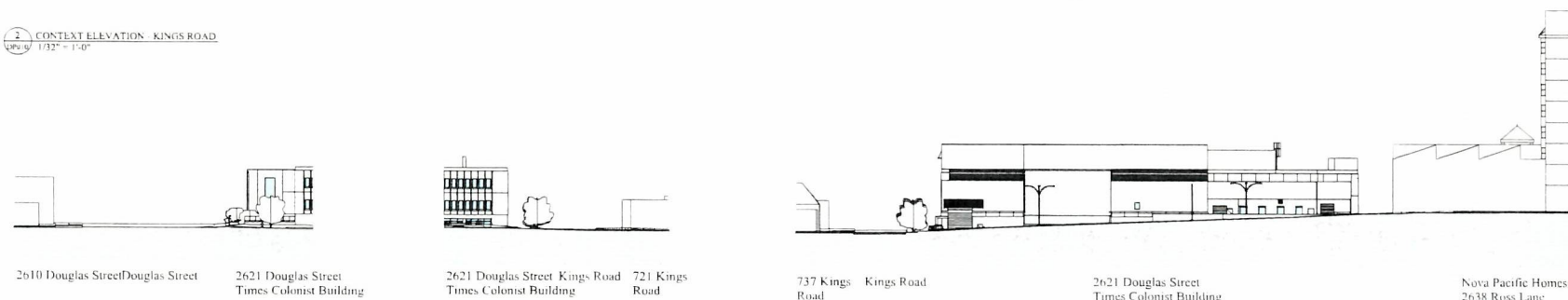
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1 CONTEXT ELEVATION - DOUGLAS STREET
1/32" = 1'-0"



2 CONTEXT ELEVATION - KINGS ROAD
1/32" = 1'-0"



9 CONTEXT SECTION - DOUGLAS STREET
1/32" = 1'-0"

10 CONTEXT SECTION - KINGS ROAD EAST
1/32" = 1'-0"

11 CONTEXT SECTION - KINGS ROAD WEST
1/32" = 1'-0"

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Site Analysis

dKa DP010

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1 Douglas Street South - Proposed
DP011 SCALE



2 Douglas Street x Kings Road North - Proposed
DP011 SCALE



3 Douglas Street - South - Existing
DP011 SCALE 3" = 1'-0"



4 Douglas Street x Kings Road - Existing
DP011 SCALE 3" = 1'-0"



5 Kings Road East - Proposed
DP011 SCALE



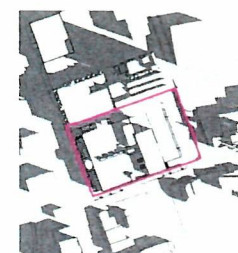
6 Kings Road x Ross Lane - Proposed
DP011 SCALE



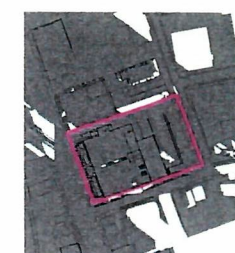
7 Kings Road - East - Existing
DP011 SCALE 3" = 1'-0"



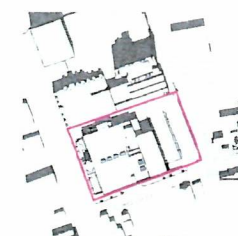
8 Kings Road x Ross Lane - Existing
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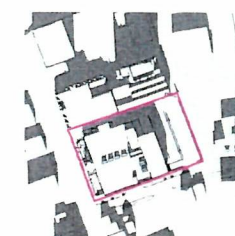
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DP011 SCALE NTS



10 SITE PLAN WINTER SOLSTICE 8AM
DP011 SCALE NTS



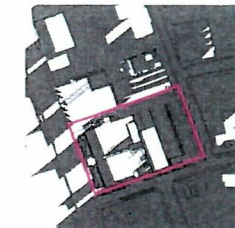
11 SITE PLAN SPRING EQUINOX NOON
DP011 SCALE NTS



12 SITE PLAN WINTER SOLSTICE NOON
DP011 SCALE NTS



13 SITE PLAN SPRING EQUINOX 4PM
DP011 SCALE NTS



14 SITE PLAN WINTER SOLSTICE 4PM
DP011 SCALE NTS



15 SITE PLAN WINTER SOLSTICE 2PM
DP011 SCALE NTS



16 SITE PLAN SPRING EQUINOX 2PM
DP011 SCALE NTS

Author	DP011	Drawn by	DP011
Checked by	DP011	Reviewed by	DP011
Date	As indicated	Scale	1/32"

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Site Analysis



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Scale		Project Number	173

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