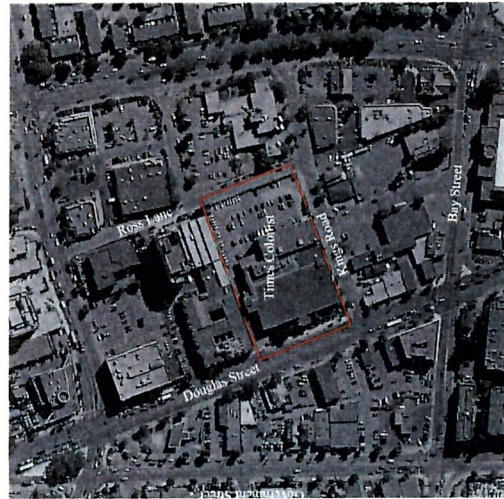




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City of Victoria

FEB 13 2020

Planning & Development Department
Development Services Division

VICTORIA ZONING BYLAW SUMMARY

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PROJECT DESCRIPTION

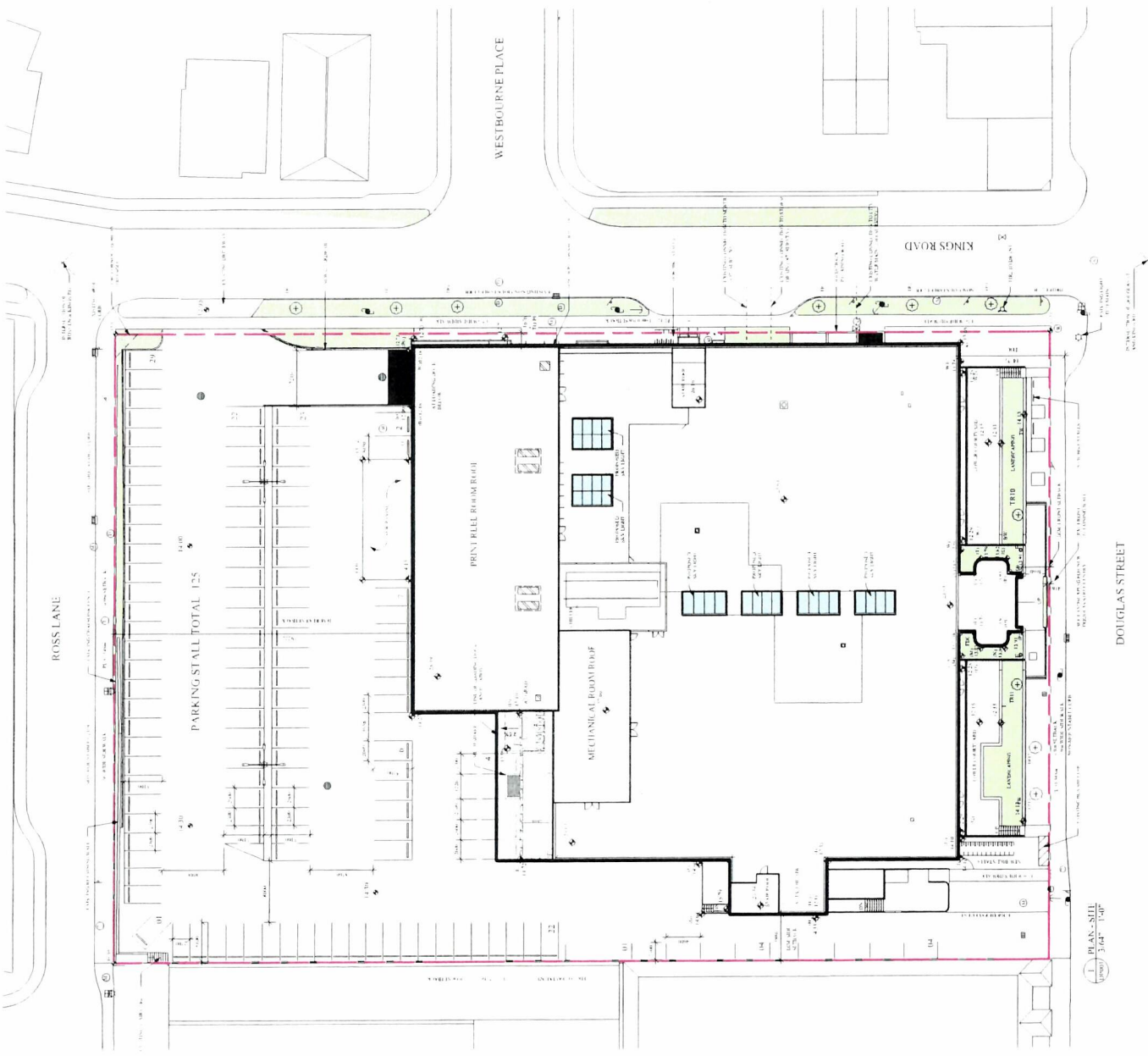
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BUILDING CODE SUMMARY

1. **RESEARCH AND DEVELOPMENT**
 2. **MANUFACTURING**
 3. **SALES AND MARKETING**
 4. **FINANCIAL**
 5. **GENERAL ADMINISTRATION**
 6. **PERSONNEL**
 7. **COMPUTER SYSTEMS**
 8. **LEGAL**
 9. **PLANT AND EQUIPMENT**
 10. **RESEARCH AND DEVELOPMENT**
 11. **MANUFACTURING**
 12. **SALES AND MARKETING**
 13. **FINANCIAL**
 14. **GENERAL ADMINISTRATION**
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 16. **COMPUTER SYSTEMS**
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 223. **COMPUTER SYSTEMS**
 224. **LEGAL**
 225. **PLANT AND EQUIPMENT**
 226. **RESEARCH AND DEVELOPMENT**
 227.

LIST OF DRAWINGS

DP000	Project Data
DP001	Site Plan Proposed
DP002	Plans Proposed First Floor
DP003	Plans Proposed Second Floor
DP004	Plans Proposed Third Floor
DP005	Plans Proposed Road
DP006	Locations North
DP007	Locations South
DP008	Locations East
DP009	Locations West
DP010	Site Analysis
DP011	Soil Analysis
DP012	Agency



Planning & Development Department
Development Services Division

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dhKarchitects
Victoria
977 Fort Street
Nanaimo
V8V 3K3 T 1-250-685-3367

102-5190 Dublin Way V9T 2K8 T 1-250-585-5810
CORPORATE HEADQUARTERS
THE PROJECT OF **PARAMOUNT** IS A PART OF THE **PARAMOUNT** GROUP
A DIVISION OF **PARAMOUNT** PICTURES INC. (A DIVISION OF **PARAMOUNT** PICTURES INC.)
A DIVISION OF **PARAMOUNT** PICTURES INC. (A DIVISION OF **PARAMOUNT** PICTURES INC.)



NOTES

1	EXISTING TO BE DEMOLISHED
2	EXISTING TO BE RECONSTRUCTED
3	NEW CONSTRUCTION
4	NEW CONSTRUCTION - EXISTING FOUNDATION

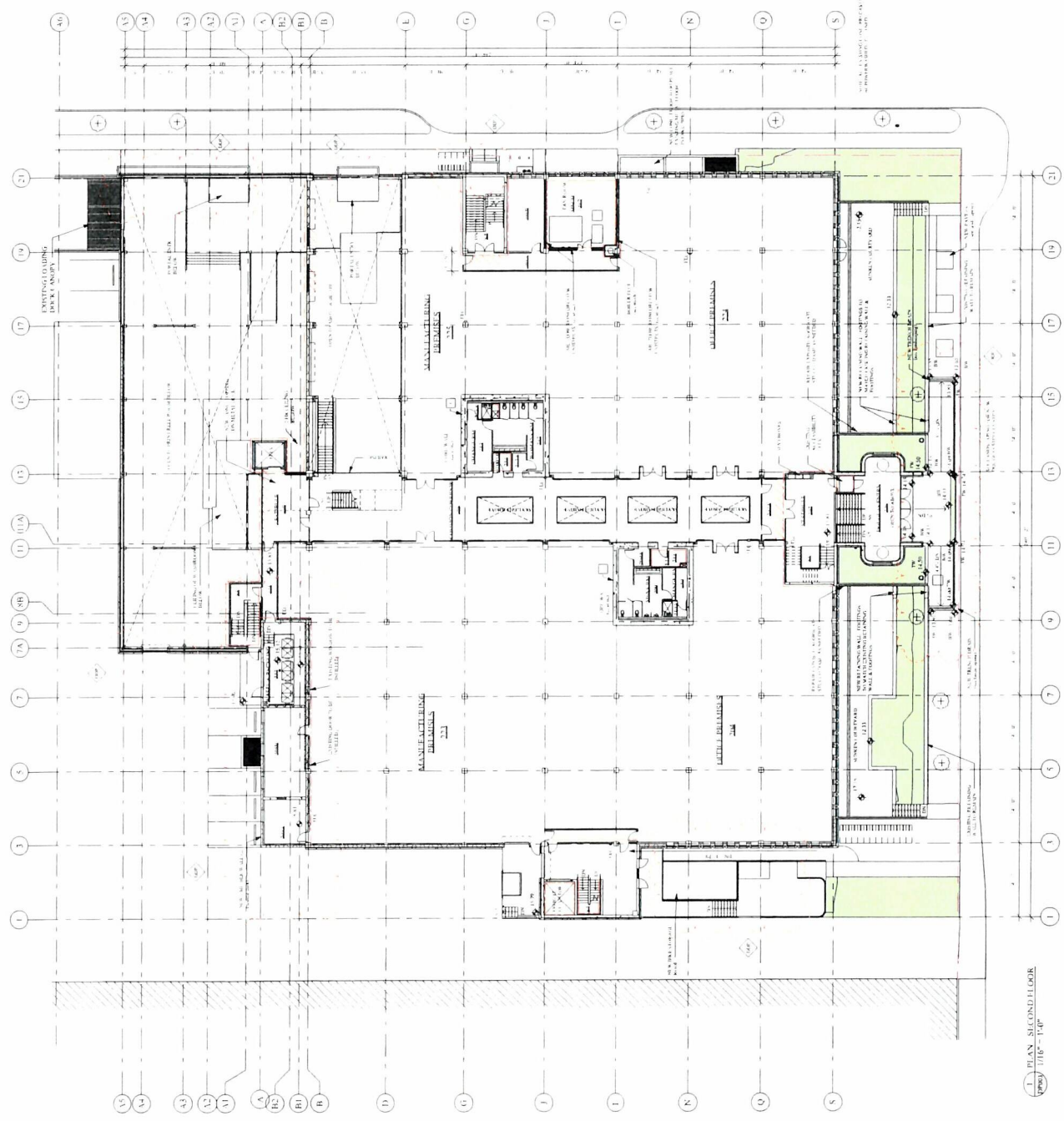
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Development Services Division

Drawn by	12/10/17	Project No.	2018-001
Checked by	12/10/17	Drawn by	12/10/17
Reviewed by	12/10/17	Project No.	2018-001
Approved by	12/10/17	Drawn by	12/10/17

Victoria Press LTD
2621 Douglas St. Victoria
BC
Plans Proposed -
Second Floor

diKa DP003

diKa PROJECTS
877 Fort Street
Victoria, BC V8V 2E6
Tel: 250-585-5410
Fax: 250-585-5411
www.dika.ca



1. PLAN SECOND FLOOR
1/16" = 1'-0"

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED.

3. ALL FLOORS ARE 4" THICK CONCRETE UNLESS OTHERWISE NOTED.

4. ALL ROOFS ARE 6" THICK CONCRETE UNLESS OTHERWISE NOTED.

5. ALL CEILING ARE 8" THICK CONCRETE UNLESS OTHERWISE NOTED.

6. ALL STAIRS ARE 6" THICK CONCRETE UNLESS OTHERWISE NOTED.

7. ALL ELEVATIONS ARE TO FACE UNLESS OTHERWISE NOTED.

8. ALL SECTIONS ARE TO FACE UNLESS OTHERWISE NOTED.

9. ALL DETAILS ARE TO FACE UNLESS OTHERWISE NOTED.

10. ALL FINISHES ARE TO FACE UNLESS OTHERWISE NOTED.

11. ALL MATERIALS ARE TO FACE UNLESS OTHERWISE NOTED.

12. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF VICTORIA BUILDING CODE.

13. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE.

14. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

15. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CANADIAN BUILDING CODE.

16. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODE.

17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE.

18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SOUTH AFRICAN BUILDING CODE.

19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SINGAPORE BUILDING CODE.

20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE HONG KONG BUILDING CODE.

21. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE TAIWAN BUILDING CODE.

22. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE HONG KONG BUILDING CODE.

23. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE TAIWAN BUILDING CODE.

24. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE HONG KONG BUILDING CODE.

25. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE TAIWAN BUILDING CODE.

26. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE HONG KONG BUILDING CODE.

27. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE TAIWAN BUILDING CODE.

28. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE HONG KONG BUILDING CODE.

29. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE TAIWAN BUILDING CODE.

30. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE HONG KONG BUILDING CODE.

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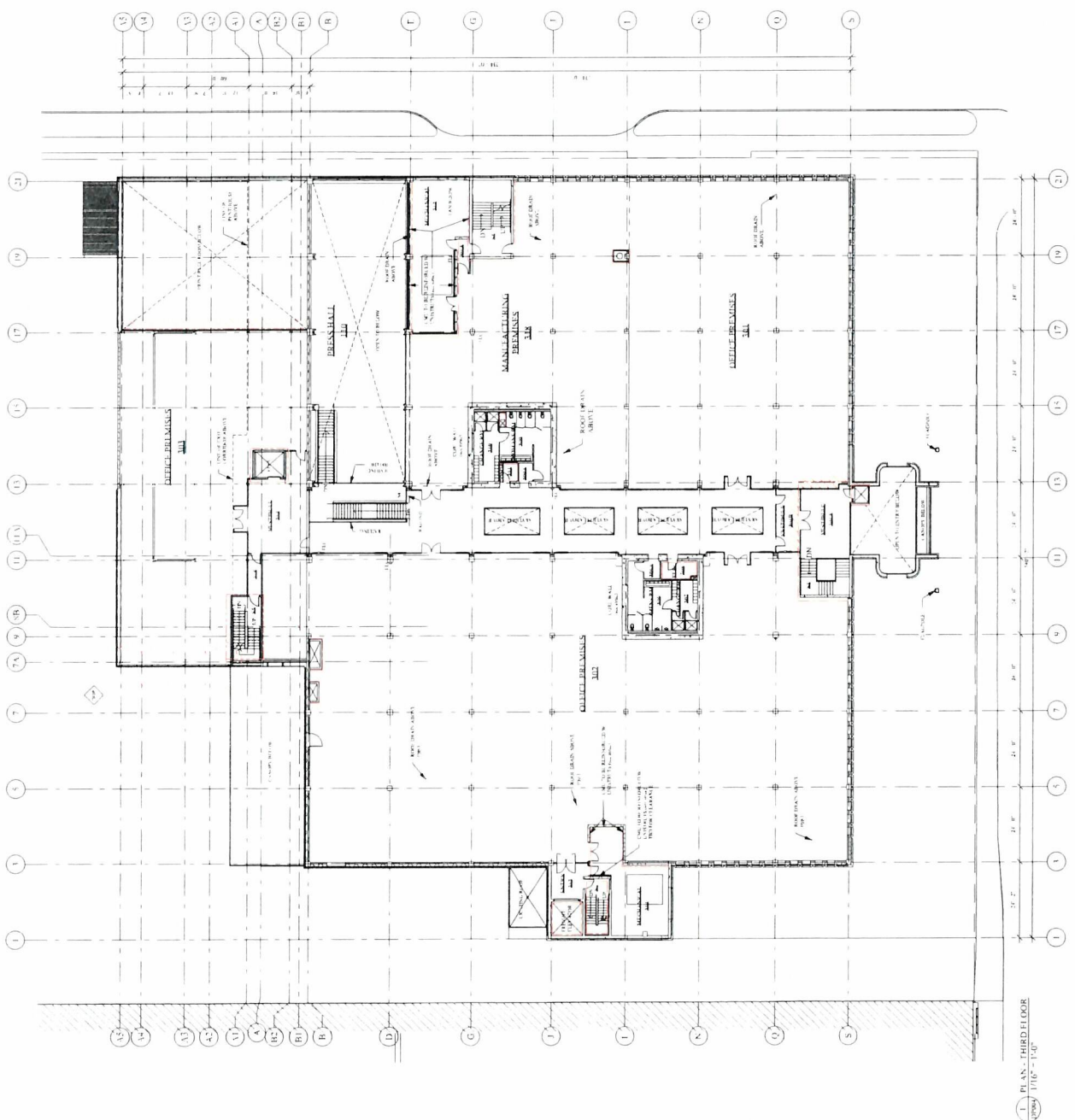
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Client No.	0001	Client Name	2621 Douglas St. Victoria BC
Drawn By	As per plan	Scale	1/16" = 1'-0"
Check By		Drawn Date	1/13/20
Issue No.	1	Issue Date	1/13/20

Plans Proposed -
Third Floor



DP004
dHKA

2621 Douglas St. Victoria BC
Plans Proposed -
Third Floor

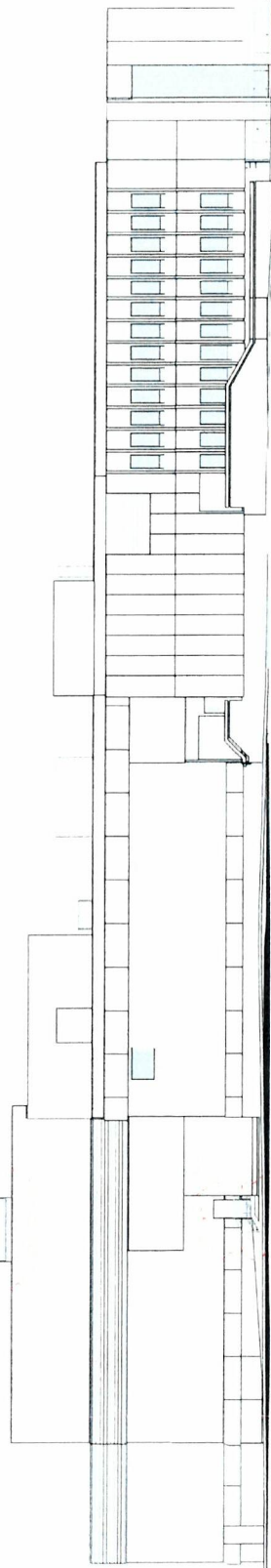


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City of Victoria

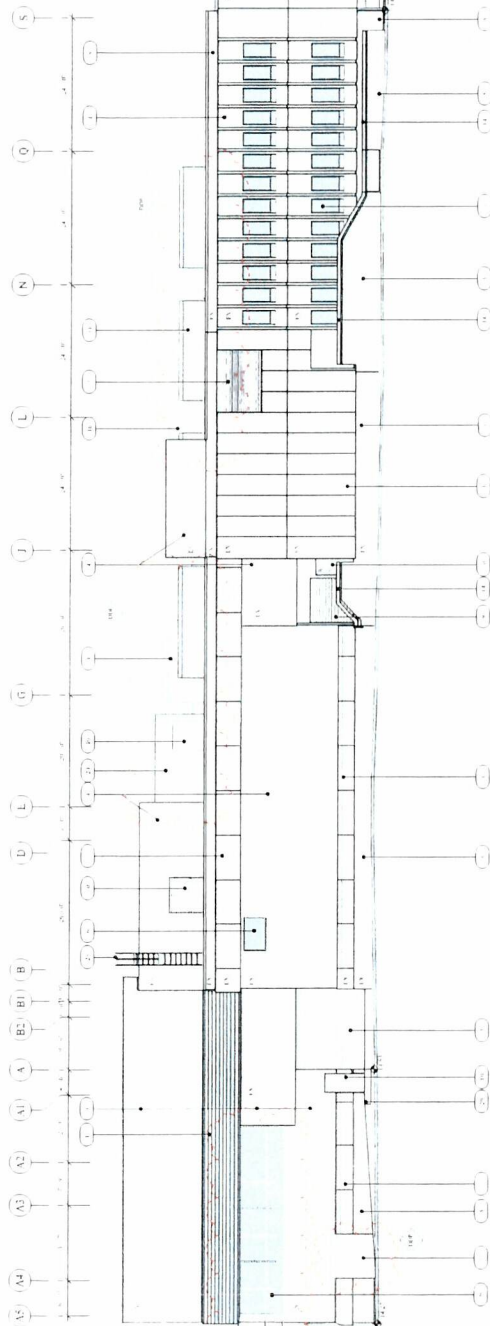
FEB 13 2020

Planning & Development Department
Development Services Division

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North Elevation - Existing
Scale: 1/8" = 1'-0"



North Elevation - Proposed
Scale: 1/8" = 1'-0"

Material Legend



Elevation Schedule

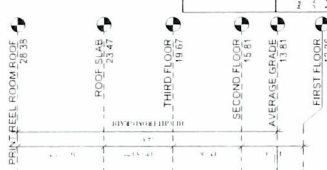
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2	Existing Overhead Door	To Remain
3	Existing Overhead Door	To Remain
4	Existing Overhead Door	To Remain
5	Existing Overhead Door	To Remain
6	Existing Overhead Door	To Remain
7	Existing Overhead Door	To Remain
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9	Existing Overhead Door	To Remain
10	Existing Overhead Door	To Remain
11	Existing Overhead Door	To Remain
12	Existing Overhead Door	To Remain

Elevation Schedule

Item	Description	Material
13	Existing Overhead Door	To Remain
14	Existing Overhead Door	To Remain
15	Existing Overhead Door	To Remain
16	Existing Overhead Door	To Remain
17	Existing Overhead Door	To Remain
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19	Existing Overhead Door	To Remain
20	Existing Overhead Door	To Remain
21	Existing Overhead Door	To Remain
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23	Existing Overhead Door	To Remain
24	Existing Overhead Door	To Remain
25	Existing Overhead Door	To Remain
26	Existing Overhead Door	To Remain
27	Existing Overhead Door	To Remain

Elevation Schedule

Item	Description	Material
28	Existing Overhead Door	To Remain
29	Existing Overhead Door	To Remain
30	Existing Overhead Door	To Remain
31	Existing Overhead Door	To Remain
32	Existing Overhead Door	To Remain
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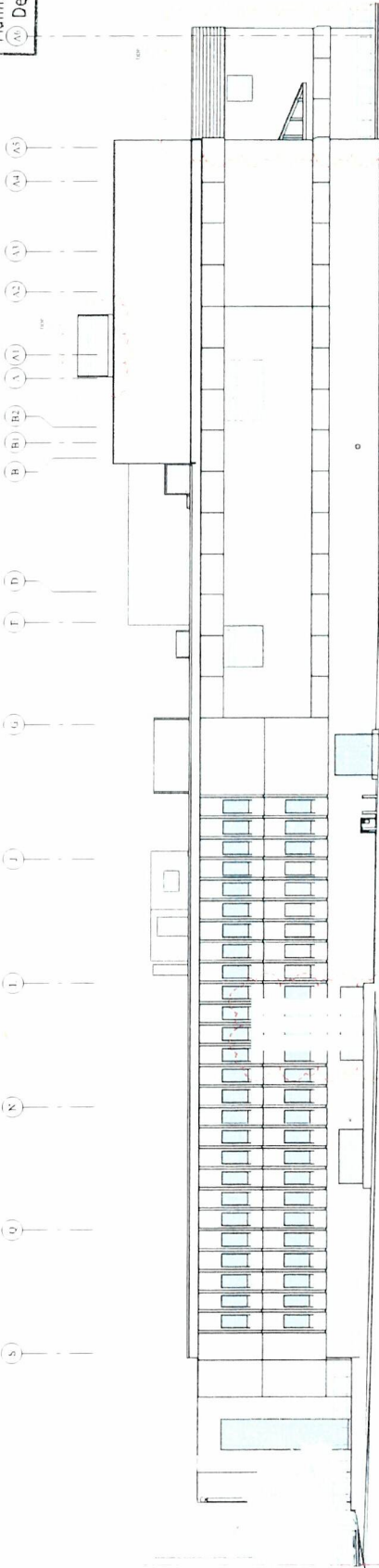


Victoria Press LTD
2621 Douglas St. Victoria
BC
Elevations - North

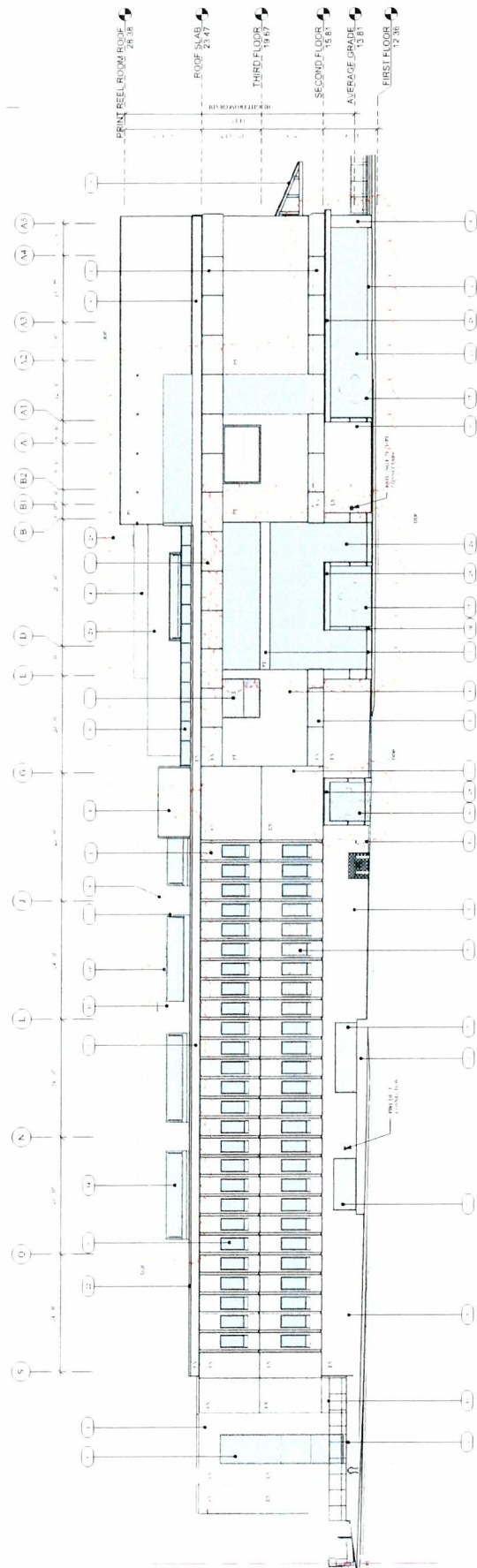
dp006
dKa architects
377 Fort Street
VICTORIA BC V8T 2G8
TEL: 250-685-1387
FAX: 250-685-5847
www.dkaarchitects.com

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Planning & Development Department
(A) Development Services Division



1 South Elevation - Existing
Scale: 1/32" = 1'-0"



2 ELEVATIONS PROPOSED - NORTH UP
Scale: 1/32" = 1'-0"

Material Schedule

1	Existing Concrete Block	To Remain
2	Existing Concrete Block	To Remain
3	Existing Concrete Block	To Remain
4	Existing Concrete Block	To Remain
5	Existing Concrete Block	To Remain
6	Existing Concrete Block	To Remain
7	Existing Concrete Block	To Remain
8	Existing Concrete Block	To Remain
9	Existing Concrete Block	To Remain
10	Existing Concrete Block	To Remain
11	Existing Concrete Block	To Remain
12	Existing Concrete Block	To Remain

Material Schedule

1	Existing Concrete Block	To Remain
2	Existing Concrete Block	To Remain
3	Existing Concrete Block	To Remain
4	Existing Concrete Block	To Remain
5	Existing Concrete Block	To Remain
6	Existing Concrete Block	To Remain
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8	Existing Concrete Block	To Remain
9	Existing Concrete Block	To Remain
10	Existing Concrete Block	To Remain
11	Existing Concrete Block	To Remain
12	Existing Concrete Block	To Remain

Material Schedule

1	Existing Concrete Block	To Remain
2	Existing Concrete Block	To Remain
3	Existing Concrete Block	To Remain
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5	Existing Concrete Block	To Remain
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8	Existing Concrete Block	To Remain
9	Existing Concrete Block	To Remain
10	Existing Concrete Block	To Remain
11	Existing Concrete Block	To Remain
12	Existing Concrete Block	To Remain

Material Schedule

1	Existing Concrete Block	To Remain
2	Existing Concrete Block	To Remain
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9	Existing Concrete Block	To Remain
10	Existing Concrete Block	To Remain
11	Existing Concrete Block	To Remain
12	Existing Concrete Block	To Remain

Victoria Press LTD
2621 Douglas St. Victoria
BC
Elevations - South

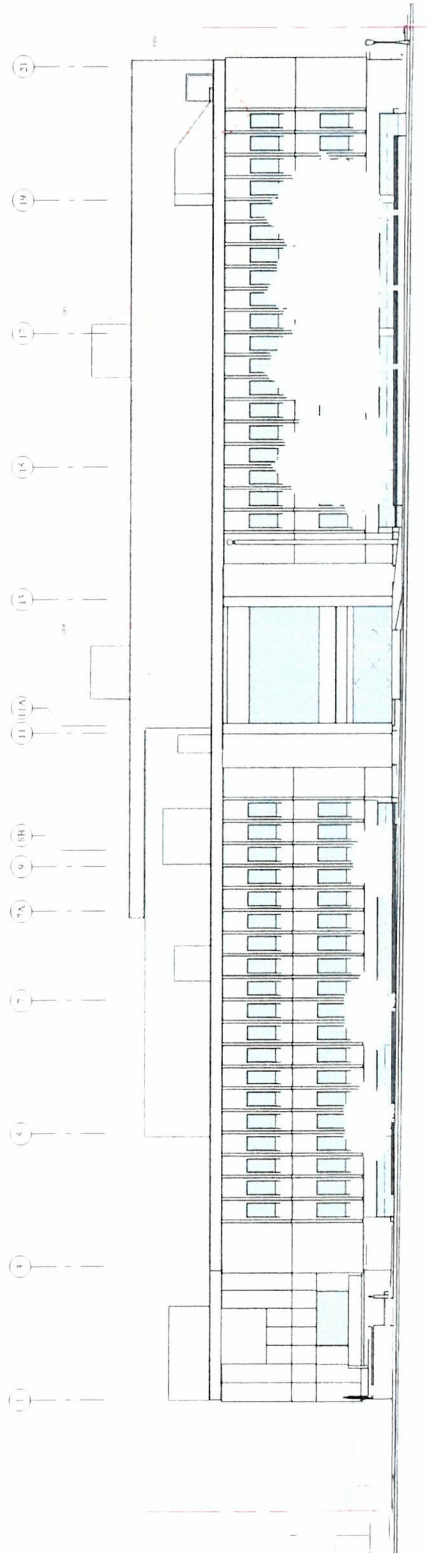
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Checked By: [Name]
Date: 10/11/17
Scale: As indicated
Sheet: 1 of 1
Project: 1707

dpKa DP007
dpKa
1707 Douglas St. Victoria
BC
Elevations - South

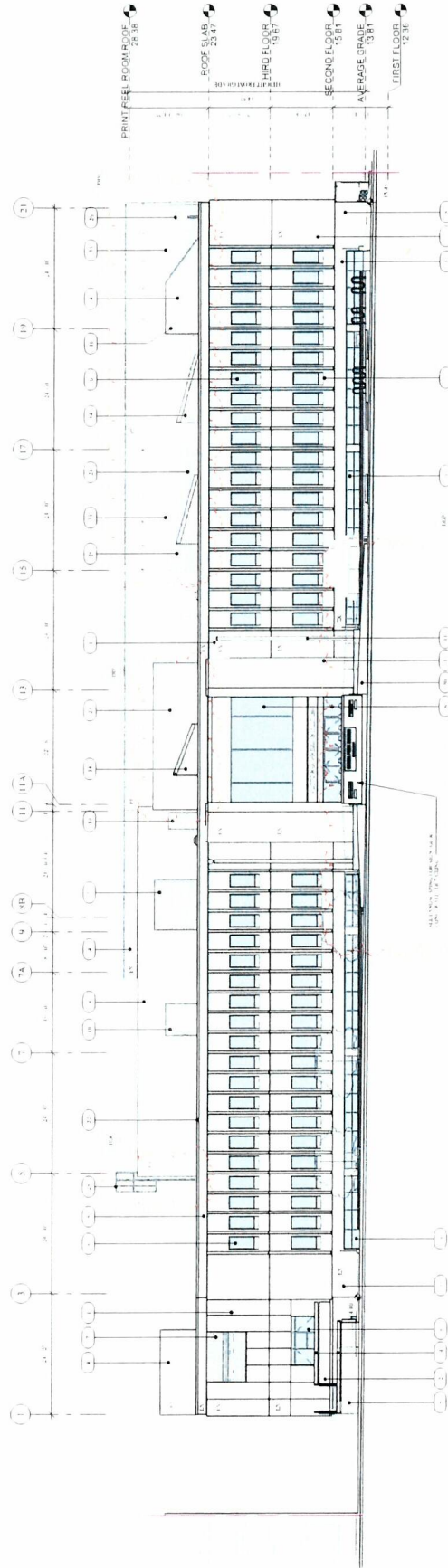
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City of Victoria

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Development Services Division



1 West Elevation - Existing
Scale: 1/8" = 1'-0"



2 Elevations Proposed - West DP
Scale: 1/8" = 1'-0"

3 Material Legend



4 Material Legend



5 Material Legend



6 Material Legend



7 Material Legend



8 Material Legend



9 Material Legend



10 Material Legend



11 Material Legend



12 Material Legend



13 Material Legend



14 Material Legend



15 Material Legend



16 Material Legend



17 Material Legend



18 Material Legend



19 Material Legend



20 Material Legend



21 Material Legend



22 Material Legend



23 Material Legend



24 Material Legend



25 Material Legend



26 Material Legend



27 Material Legend



28 Material Legend



29 Material Legend



30 Material Legend



31 Material Legend



32 Material Legend



33 Material Legend



34 Material Legend



35 Material Legend



36 Material Legend



37 Material Legend



38 Material Legend



39 Material Legend



40 Material Legend



41 Material Legend



42 Material Legend



43 Material Legend



44 Material Legend



45 Material Legend



46 Material Legend



47 Material Legend



48 Material Legend



49 Material Legend



50 Material Legend



51 Material Legend



52 Material Legend



53 Material Legend



54 Material Legend



55 Material Legend



56 Material Legend



57 Material Legend



58 Material Legend



59 Material Legend



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61 Material Legend



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70 Material Legend



71 Material Legend



72 Material Legend



73 Material Legend



74 Material Legend



75 Material Legend



76 Material Legend



77 Material Legend



78 Material Legend



79 Material Legend



80 Material Legend



81 Material Legend



82 Material Legend



83 Material Legend



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85 Material Legend



86 Material Legend



87 Material Legend



88 Material Legend



89 Material Legend



90 Material Legend



91 Material Legend



92 Material Legend



93 Material Legend



94 Material Legend



95 Material Legend



96 Material Legend



97 Material Legend



98 Material Legend



99 Material Legend



100 Material Legend



101 Material Legend



102 Material Legend



103 Material Legend



104 Material Legend



105 Material Legend



106 Material Legend



107 Material Legend



108 Material Legend



109 Material Legend



110 Material Legend



111 Material Legend



112 Material Legend



113 Material Legend



114 Material Legend



115 Material Legend



116 Material Legend



117 Material Legend



118 Material Legend



119 Material Legend



120 Material Legend



121 Material Legend



122 Material Legend



123 Material Legend



124 Material Legend



125 Material Legend



126 Material Legend



127 Material Legend



128 Material Legend



129 Material Legend



130 Material Legend



131 Material Legend



132 Material Legend



133 Material Legend



134 Material Legend



135 Material Legend



136 Material Legend



137 Material Legend



138 Material Legend



139 Material Legend



140 Material Legend



141 Material Legend



142 Material Legend



143 Material Legend



144 Material Legend



145 Material Legend



146 Material Legend



147 Material Legend



148 Material Legend



149 Material Legend

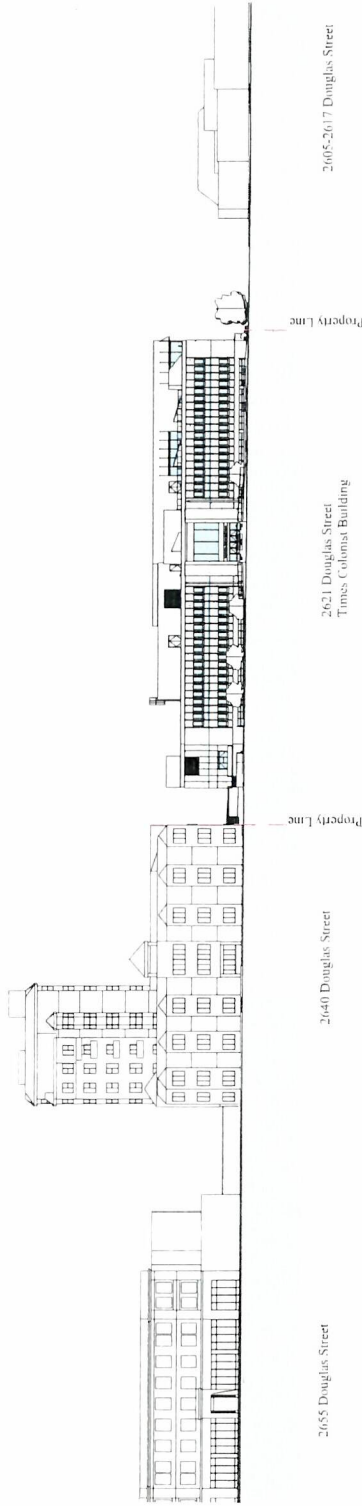


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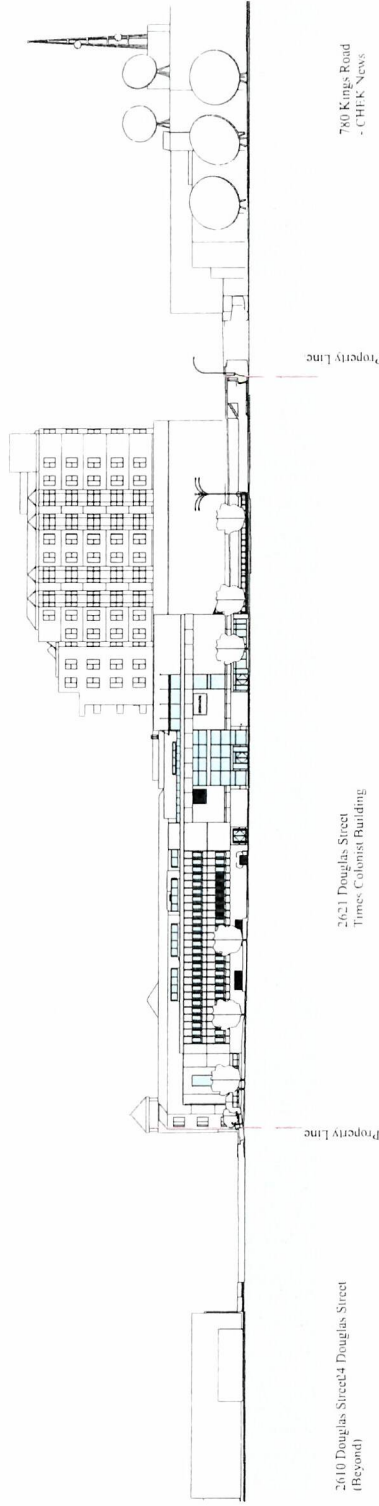
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1. CONTEXT ELEVATION - DOUGLAS STREET
Scale: 1/32" = 1'-0"



2. CONTEXT ELEVATION - KINGS ROAD
Scale: 1/32" = 1'-0"



3. CONTEXT ELEVATION - DOUGLAS STREET
Scale: 1/32" = 1'-0"

4. CONTEXT SECTION - KINGS ROAD EAST
Scale: 1/32" = 1'-0"

5. CONTEXT SECTION - KINGS ROAD WEST
Scale: 1/32" = 1'-0"

Nova Pacific Homes
2638 Ross Lane

2621 Douglas Street
Times Colonist Building

737 Kings Road

2621 Douglas Street Kings Road
Times Colonist Building
721 Kings Road

2610 Douglas Street
Times Colonist Building

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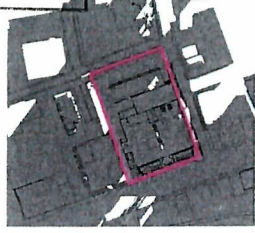
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dhka architects
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Victoria BC V8V 2K3
Tel: 250-483-1367
Fax: 250-483-1368
Email: info@dhka.ca
Website: www.dhka.ca

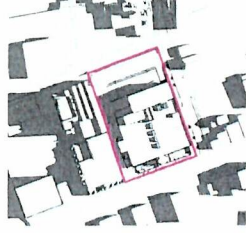
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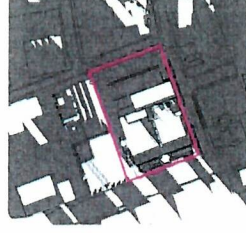
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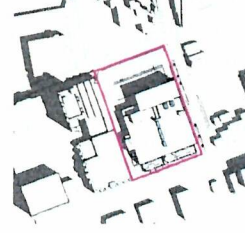
10. SITE PLAN WINTER SOLSTICE 8AM
DP011 SCALE NTS



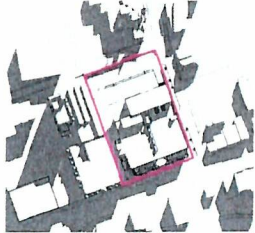
12. SITE PLAN WINTER SOLSTICE NOON
DP011 SCALE NTS



14. SITE PLAN WINTER SOLSTICE 4PM
DP011 SCALE NTS



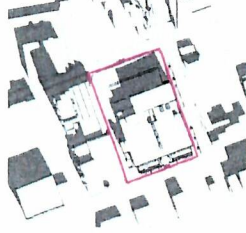
16. SITE PLAN SPRING EQUINOX 2PM
DP011 SCALE NTS



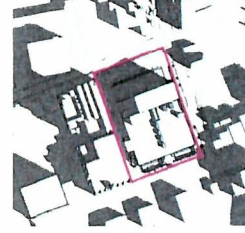
9. SITE PLAN SPRING EQUINOX 8AM
DP011 SCALE NTS



11. SITE PLAN SPRING EQUINOX NOON
DP011 SCALE NTS



13. SITE PLAN SPRING EQUINOX 4PM
DP011 SCALE NTS



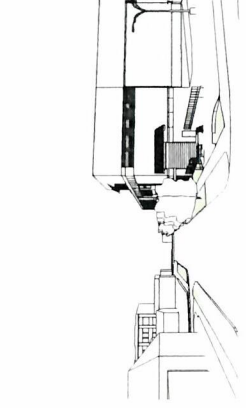
15. SITE PLAN WINTER SOLSTICE 2PM
DP011 SCALE NTS



3. Douglas Street x Kings Road North - Proposed
DP011 SCALE



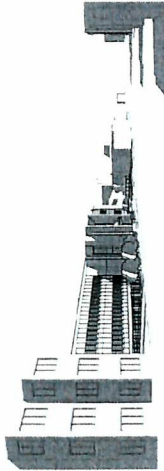
4. Douglas Street x Kings Road - Existing
DP011 SCALE 3" = 1'0"



6. Kings Road x Ross Lane - Proposed
DP011 SCALE



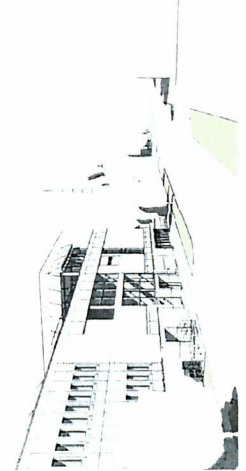
8. Kings Road x Ross Lane - Existing
DP011 SCALE 3" = 1'0"



1. Douglas Street South - Proposed
DP011 SCALE



3. Douglas Street - South - Existing
DP011 SCALE 3" = 1'0"



5. Kings Road East - Proposed
DP011 SCALE



7. Kings Road - East - Existing
DP011 SCALE 3" = 1'0"

Author: J. Smith, J. Lee, K. M.
Date: 11/11/19
Scale: 1:1000
Sheet: 1 of 1

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Year class	L_{∞} of L_{95}	Range of L_{∞}	L_{∞} of L_{95}	Year class
1960-61	1.00	0.95-1.05	1.00	1971-72
1961-62	1.00	0.95-1.05	1.00	1972-73
1962-63	1.00	0.95-1.05	1.00	1973-74
1963-64	1.00	0.95-1.05	1.00	1974-75
1964-65	1.00	0.95-1.05	1.00	1975-76
1965-66	1.00	0.95-1.05	1.00	1976-77
1966-67	1.00	0.95-1.05	1.00	1977-78
1967-68	1.00	0.95-1.05	1.00	1978-79
1968-69	1.00	0.95-1.05	1.00	1979-80
1969-70	1.00	0.95-1.05	1.00	1980-81
1970-71	1.00	0.95-1.05	1.00	1981-82
1971-72	1.00	0.95-1.05	1.00	1982-83
1972-73	1.00	0.95-1.05	1.00	1983-84
1973-74	1.00	0.95-1.05	1.00	1984-85
1974-75	1.00	0.95-1.05	1.00	1985-86
1975-76	1.00	0.95-1.05	1.00	1986-87
1976-77	1.00	0.95-1.05	1.00	1987-88
1977-78	1.00	0.95-1.05	1.00	1988-89
1978-79	1.00	0.95-1.05	1.00	1989-90
1979-80	1.00	0.95-1.05	1.00	1990-91
1980-81	1.00	0.95-1.05	1.00	1991-92
1981-82	1.00	0.95-1.05	1.00	1992-93
1982-83	1.00	0.95-1.05	1.00	1993-94
1983-84	1.00	0.95-1.05	1.00	1994-95
1984-85	1.00	0.95-1.05	1.00	1995-96
1985-86	1.00	0.95-1.05	1.00	1996-97
1986-87	1.00	0.95-1.05	1.00	1997-98
1987-88	1.00	0.95-1.05	1.00	1998-99
1988-89	1.00	0.95-1.05	1.00	1999-00
1989-90	1.00	0.95-1.05	1.00	2000-01
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1991-92	1.00	0.95-1.05	1.00	2002-03
1992-93	1.00	0.95-1.05	1.00	2003-04
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2005-06	1.00	0.95-1.05	1.00	2016-17
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2007-08	1.00	0.95-1.05	1.00	2018-19
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2010-11	1.00	0.95-1.05	1.00	2021-22
2011-12	1.00	0.95-1.05	1.00	2022-23
2012-13	1.00	0.95-1.05	1.00	2023-24
2013-14	1.00	0.95-1.05	1.00	2024-25
2014-15	1.00	0.95-1.05	1.00	2025-26
2015-16	1.00	0.95-1.05	1.00	2026-27
2016-17	1.00	0.95-1.05	1.00	2027-28
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2118-19	1.00	0.95-1.05	1.00	2129-30
2119-20	1.00	0.95-1.05	1.00	2130-31
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