

# Clarity Cannabis BC Ltd. Victoria, BC, 1400 Quadra Street



Proposed Location

**Drawing Index**

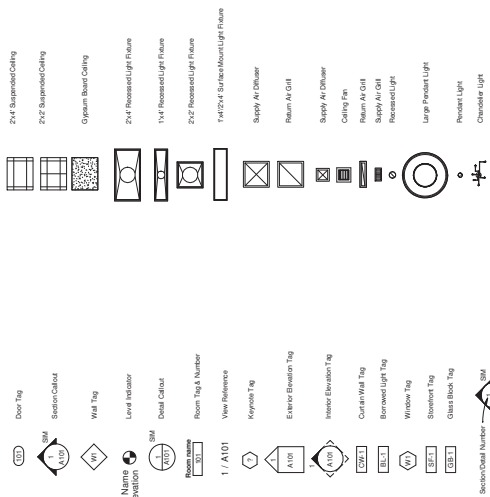
- A000 Title Sheet
- A001 Legends & Schedules
- A002 Site Plan
- A101 Main Floor Plan

Revision Issued  
June 2, 2020

**Revisions**  
Received Date:  
June 2, 2020

<p>PROJECT: Clarity Cannabis BC Ltd. Victoria, BC (1400 Quadra Street)</p>		<p>CLIENT: Clarity Cannabis BC Ltd.</p>	
<p>DATE: 11/08/2018</p>		<p>SCALE:</p>	
<p>FILE: 0210 0020</p>		<p>DRAWN: ESR</p>	
<p>CHECKED: JPA</p>		<p>DRAWING</p>	
<p><b>A000</b></p>			
<p>TITLE SHEET</p>			
<p>ENGINEER: UCG</p>			

### Symbol Legend



### Ceiling Legend

ELECTRICAL LEGEND	
	2x4 SUSPENDED CEILING
	2x2 SUSPENDED CEILING
	OPENWORK BEAD CEILING
	2x4 RECESSED LIGHT FIXTURE
	1x4 RECESSED LIGHT FIXTURE
	2x2 RECESSED LIGHT FIXTURE
	1x4/2x4 GRID RECESSED LIGHT FIXTURE
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	SUPPLY AIR DIFFUSER
	CEILING FAN
	RETURN AIR GRILLE
	SUPPLY AIR DIFFUSER
	RECESSED LIGHT
	LARGE RECESSED LIGHT
	RECESSED LIGHT
	CHANDELIER LIGHT
	CHANDELIER LIGHT

### Washroom Accessories

- 1. CONFIRM ALL DIMENSIONS ON SITE. NOTIFY LOG OF ANY DISCREPANCIES.
- 2. THE FOLLOWING DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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- 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

### Notes:

1. CONFIRM ALL DIMENSIONS ON SITE. NOTIFY LOG OF ANY DISCREPANCIES.
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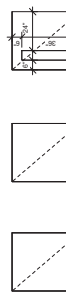
### Door Schedule

Mark	From Room Name	To Room Name	Door Type	Door Finish	Dimensions (H x W)	Hardware	Frame Type	Frame Jamb Width	Frame Thickness	Frame Finish	Fire Rating	Comments
102	IT Closet	Retail Area	Interior	White	3'-0" x 7'-0"	Standard	Standard	3'-0"	1-1/2"	White	0'-4'-7/8"	
103	Retail Area	Storage Rm	Interior	White	3'-0" x 7'-0"	Standard	Standard	3'-0"	1-1/2"	White	0'-4'-7/8"	
104	Retail Area	Entrance	Exterior	White	3'-0" x 7'-0"	Standard	Standard	3'-0"	1-1/2"	White	0'-4'-7/8"	
107	Retail Area	Entrance	Exterior	White	18'-0" x 16'-0"	Standard	Standard	18'-0"	16'-0"	White	0'-4'-7/8"	
108	Retail Area	Entrance	Exterior	White	3'-0" x 7'-0"	Standard	Standard	3'-0"	1-1/2"	White	0'-4'-7/8"	
110	Retail Area	Entrance	Exterior	White	3'-0" x 7'-0"	Standard	Standard	3'-0"	1-1/2"	White	0'-4'-7/8"	

### Door Hardware Schedule

1. CONFIRM ALL DIMENSIONS ON SITE. NOTIFY LOG OF ANY DISCREPANCIES.
2. THE FOLLOWING DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

### Door Type Schedule



**BUILDING CODE ANALYSIS**

**SCOPE OF WORK:** BUILDING CODE ANALYSIS FOR 1400 QUADRA STREET, VICTORIA, BC.

**BUILDING CLASSIFICATION:** COMMERCIAL BUILDING - RETAIL STORE.

**ANALYSIS:** ANALYSIS OF BUILDING CODE REQUIREMENTS FOR THE PROPOSED BUILDING. THE ANALYSIS IS BASED ON THE BUILDING CODE REQUIREMENTS FOR COMMERCIAL BUILDINGS IN VICTORIA, BC.

**COMMENTS:** THE BUILDING IS COMPLIANT WITH THE BUILDING CODE REQUIREMENTS FOR COMMERCIAL BUILDINGS IN VICTORIA, BC. THE ANALYSIS IS BASED ON THE BUILDING CODE REQUIREMENTS FOR COMMERCIAL BUILDINGS IN VICTORIA, BC.

**DATE:** 11/03/2020

**SCALE:** AS SHOWN

**FILE:** 2020-0220

**DRAWN:** EBI

**CHECKED:** PFA

**TITLE:** DWG

### Wall Schedule

Mark	Description
1	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper
2	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation
3	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment
4	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating
5	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating, and 1/2" Thick Soundproofing
6	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing
7	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing
8	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing
9	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing
10	INTERIOR WALL - Gypsum Board, 1/2" Thick, with Joint Compound and Paper, and 1/2" Thick Insulation, and 1/2" Thick Acoustic Treatment, and 1/2" Thick Fire Rating, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing, and 1/2" Thick Soundproofing

### Legend & Schedules

**PROJECT:** Victoria, BC  
**CLIENT:** Clarity Cannabis BC Ltd.  
 (1400 Quadra Street)

**DATE:** 11/03/2020  
**FILE:** 2020-0220  
**DRAWN:** EBI  
**CHECKED:** PFA  
**TITLE:** DWG

**SCALE:** AS SHOWN

**A001**



**ENGINEERS**

Reason	Revision	Revision
00	00	00
01	01	01
02	02	02
03	03	03
04	04	04
05	05	05
06	06	06
07	07	07
08	08	08
09	09	09
10	10	10



ENGINEER	PROJECT	DATE
Richard Stoddart	1400 Quadra Street	11/03/2019
REVISION	REVISION	DATE

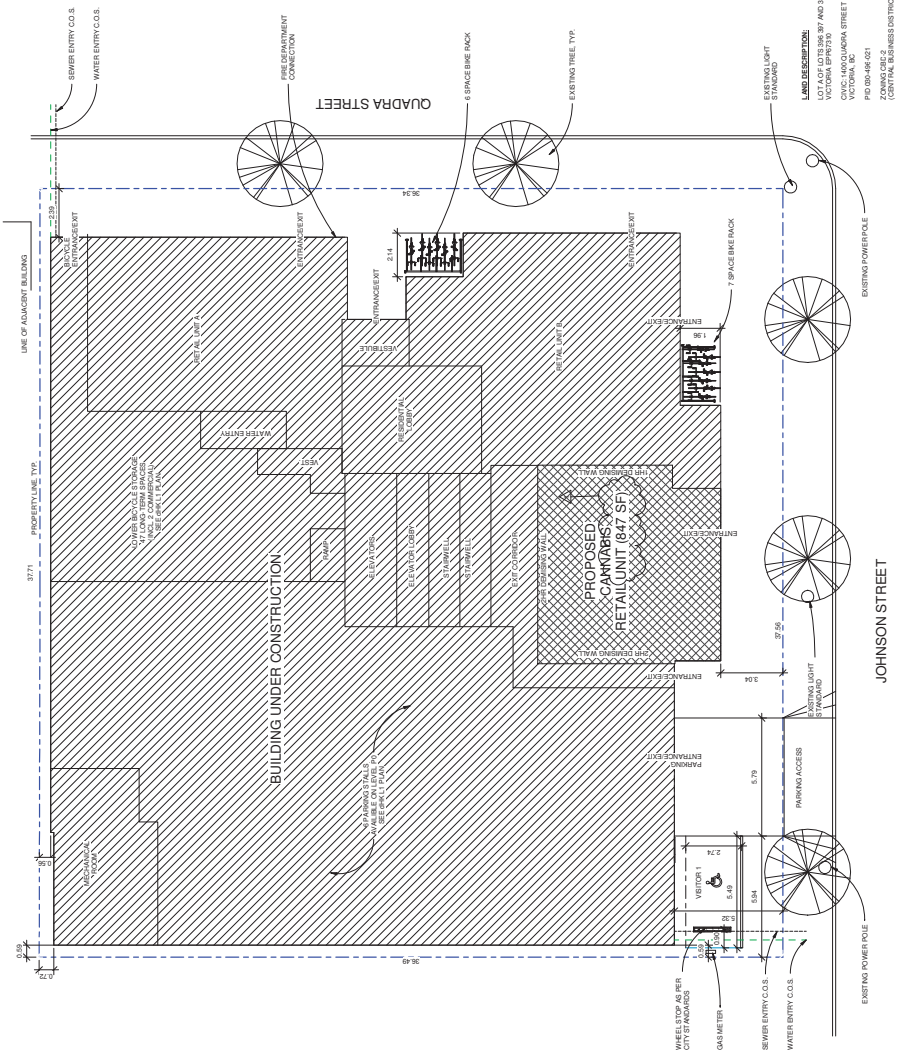
PROJECT: **Clarity Cannabis (1400 Quadra Street)**

CLIENT: **Clarity Cannabis BC Ltd. (1400 Quadra Street)**

FRAMING: **Site Plan**

DATE:	SCALE:
11/03/2019	As Issued
FILE:	DRAWN:
CD19-028	EBR
CHECKED:	DATE:
FR	11/03/2019

**A002**



**PROPOSED POWER POLE**

DATE: 11/03/2019  
 FILE: CD19-028  
 DRAWN: EBR  
 CHECKED: FR



Site Plan  
 1/100



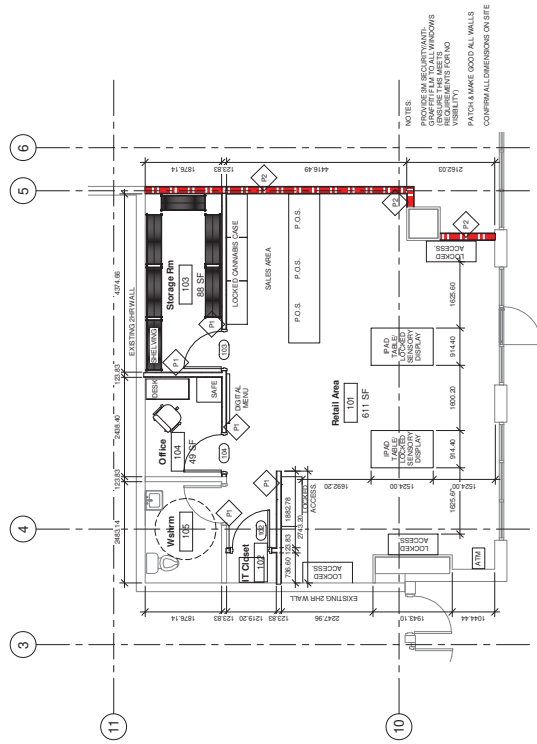
Revision Schedule	
Revision Number	Revision Description

ENGINEERS  
 Registration Number: [blank]  
 License Number: [blank]  
 Registration Expiry Date: [blank]

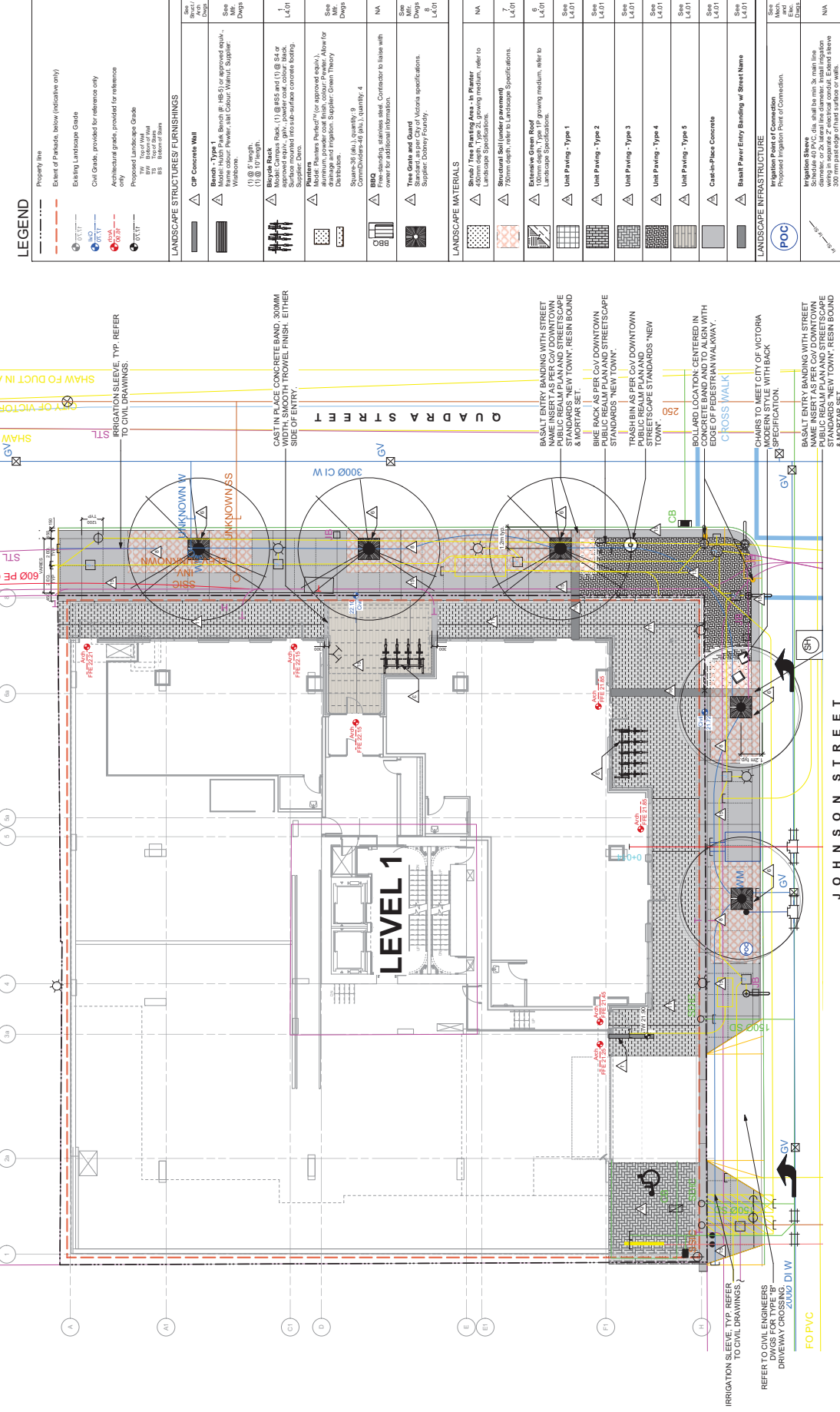
PROJECT  
 Victoria, BC  
 Clarity Cannabis  
 BC Ltd.  
 (1400 Quadra Street)  
 DRAWING  
 Main Floor Plan

CLIENT  
 Clarity Cannabis  
 BC Ltd.  
 DATE: 11/03/2018  
 FILE: 15216.0229  
 SCALE: 1:50  
 DRAWN: EBI  
 CHECKED: PFA  
 DWG NO.

**A101**



**2 Main Floor Plan**  
 1:50



### LEGEND

Property line  
 Extent of finished, below (indicative only)  
 Existing Landscaping Grate  
 Civil Grate, provided for reference only  
 Architectural grate, provided for reference only  
 Proposed Landscape Grate  
 WW Inlet of wall  
 IS Inlet of drain  
 IS Inlet of drain

### LANDSCAPE STRUCTURES/FURNISHINGS

△ CIP Concrete Wall  
 △ Bench - Type 1  
 Model: Huber Peak Bench (if HB-5) or approved equivalent. Material: Weather-Resistant Fiberglass Reinforced Concrete.  
 (1) @ P length  
 (1) @ 10' length.  
 △ Bicycle Rack  
 Model: Huber Perfect (for approved design) or approved equivalent. Material: Galvanized Steel. Finish: Powder coat. Colour: Black.  
 Surface mounted into sub-surface concrete footing.  
 △ Planter  
 Model: Huber Perfect (for approved design) or approved equivalent. Material: Galvanized Steel. Finish: Powder coat. Colour: Black.  
 Surface mounted into sub-surface concrete footing.  
 △ BRG  
 Model: Huber Perfect (for approved design) or approved equivalent. Material: Galvanized Steel. Finish: Powder coat. Colour: Black.  
 Surface mounted into sub-surface concrete footing.  
 △ TPO Grate and Guard  
 Model: Huber Perfect (for approved design) or approved equivalent. Material: Galvanized Steel. Finish: Powder coat. Colour: Black.  
 Surface mounted into sub-surface concrete footing.  
 △ Free-standing stainless steel. Contractor to liaise with owner for additional information.

### LANDSCAPE MATERIALS

△ Shank Tree Planting Area - in Planter  
 450mm depth, 100mm spacing medium, refer to Landscape Specifications.  
 △ Structural Soil (under paving)  
 100mm depth, refer to Landscape Specifications.  
 △ Extensive Green Roof  
 100mm depth, Type 1P growing medium, refer to Landscape Specifications.  
 △ Unit Paving - Type 1  
 △ Unit Paving - Type 2  
 △ Unit Paving - Type 3  
 △ Unit Paving - Type 4  
 △ Unit Paving - Type 5  
 △ Cast-in-Place Concrete  
 △ Basalt Power Entry Banding w/ Street Name  
 Proposed Irrigation Point of Connection

### LANDSCAPE INFRASTRUCTURE

POC Irrigation Point of Connection  
 Proposed Irrigation Point of Connection  
 Irrigation Pipe  
 Irrigation Valve  
 Irrigation Riser  
 Irrigation Manhole  
 Irrigation Inlet

### IRIGATION NOTES

- All installation work to meet the project specifications, and all standards or specifications established in Schedule C (Current Edition) and referenced therein.
- Provide access to the installation work area for the installation of the irrigation system and any other necessary infrastructure.
- In writing if such data adversely affects the operation of the system, provide a detailed description of the proposed installation, including all necessary details, to the City of Victoria and the relevant authority.
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### GRADING NOTES

- All elevations are in meters.
- Refer to architectural plans, sections and elevations for top of slab.
- Refer to the City of Victoria and the relevant authority for the proposed installation of the irrigation system and any other necessary infrastructure.
- In writing if such data adversely affects the operation of the system, provide a detailed description of the proposed installation, including all necessary details, to the City of Victoria and the relevant authority.
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### DRAINING NOTES

- DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- Verify all drainage details, including all necessary details, to the City of Victoria and the relevant authority.
- Provide a detailed description of the proposed installation, including all necessary details, to the City of Victoria and the relevant authority.
- In writing if such data adversely affects the operation of the system, provide a detailed description of the proposed installation, including all necessary details, to the City of Victoria and the relevant authority.
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- Provide a detailed description of the proposed installation, including all necessary details, to the City of Victoria and the relevant authority.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

Project No.	117.11
Scale	1:100 @ 24X36"
Drawn by	MAJ/DT/B
Checked by	SM/PGG
Sheet No.	L1.01

Client: ALPHA PROJECT DEVELOPMENTS LTD. 210737 AILES STREET VICTORIA, BC

# 1400 QUADRA STREET VICTORIA, BC

Landscape Materials & Layout Plan - Level 1



Client: ALPHA PROJECT DEVELOPMENTS LTD.  
210737 ATES STREET VICTORIA, BC

Project # 1400 QUADRA STREET, VICTORIA, BC

Sheet title: Landscape Materials & Layout Plan - Level 2

Project information table with fields: project no., scale, drawn by, checked by, revision no., and sheet no. (L1.02)

# LEGEND

- Property line
- Extent of Particles, below (indicative only)
- Existing Landscape Grade
- Civil Grade, provided for reference only
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- SW Bottom of wall
- BS Bottom of floor

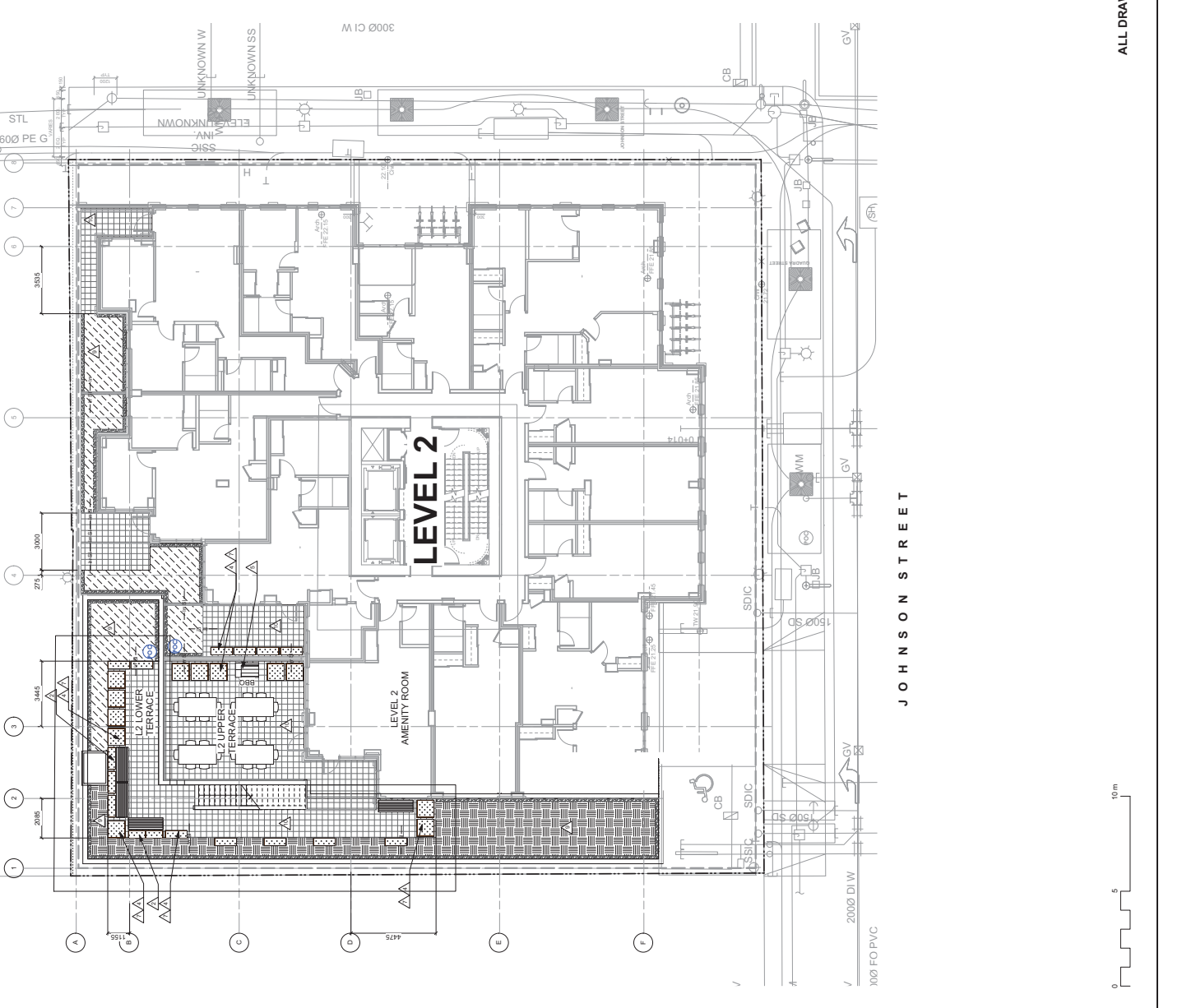
- ### LANDSCAPE STRUCTURES/ FURNISHINGS
- CIP Concrete Wall
  - Brick - Type 1
  - Planters (See Product specifications)
  - Plants (See Product specifications)
  - Tree Gate and Guard
  - NA

- ### LANDSCAPE MATERIALS
- Shrub / Tree Planting Area - In Planter
  - Structural Soil (under pavement)
  - Extensive Grass Bed
  - Unit Paving - Type 1
  - Unit Paving - Type 2
  - Unit Paving - Type 3
  - Unit Paving - Type 4
  - Cast-In-Place Concrete
  - Basalt Paver Entry Banding w/ Steel Name

- ### LANDSCAPE INFRASTRUCTURE
- Irregular Spacing
  - Rectangular Spacing
  - Proposed Irrigation Point of Connection
  - Irrigation System
  - 450mm dia. shall be min. 3x main line diameter or 2x lateral line diameter.
  - 3000 mm past edge of hard surface or walls.

## REMARKS/NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Structural steel reinforcement shall be provided to the maximum depth. Structural engineer to confirm maximum depth (assumed 450mm).
- Planters to be installed on pedestals to a max. 50mm protrusion of adjacent finished grade of pavers.
- Each planter to receive independent irrigation system for plants. Allow for hose bib and/or micro sprays. Conceal irrigation equipment below pavers within void space. Provide conduit sleeving through base of aluminum planters for irrigation lines.



ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.





Property line	Extent of Particles, below (indicative only)	Site	See
---	Existing Landscape Grade	1/750	M/F
---	Civil Grade, provided for reference only	1/1000	M/F
---	Architectural grade, provided for reference only	1/7.70	M/F
---	Proposed Landscape Grade		M/F

LANDSCAPE STRUCTURES/ FURNISHINGS		See
△	CIP Concrete Wall	Dryps
△	Bench - Type 1 Metal: High Back Bench (H-B-5) or approved equiv., frame colour: Pewter, seat Colour: Walnut. Supplier: Venetec.	M/F
△	Plants (1) @ 0.7 length, 1.7 @ 0.7 length, approved equiv., galm., powder coat, colour: black, Supplier: Dero.	L4/01
△	Planters Metal: Powder Coated (P.C.), aluminum, powder coat finish, colour: Pewter. Allow for drainage and irrigation. Supplier: Green Theory Decorators.	M/F
△	Square: 36 (sq.), quantity: 9 Commercial: 24 (sq.), quantity: 4 owner for additional information.	NA
△	Tree Gate and Guard 1.5m x 1.5m (sq.), quantity: 1 Supplier: Dobny Foundry.	M/F Dryps

LANDSCAPE MATERIALS		See
△	Shrub / Tree Planting Area - In Planter 450mm depth, Type 2, growing medium, refer to Landscape Specifications.	NA
△	Structural Soil (under pavement) 750mm depth, refer to Landscape Specifications.	L4/01
△	Esthetic Great Bed 100mm depth, Type 1P growing medium, refer to Landscape Specifications.	L4/01
△	Unit Paving - Type 1	See L4/01
△	Unit Paving - Type 2	See L4/01
△	Unit Paving - Type 3	See L4/01
△	Unit Paving - Type 4	See L4/01
△	c/w Battery Controller and residential grade backflow prevention device, refer to Landscape Specifications.	See L4/01
△	Cast-In-Place Concrete	See L4/01
△	Basalt Paver Entry Banding w/ Street Name	See L4/01

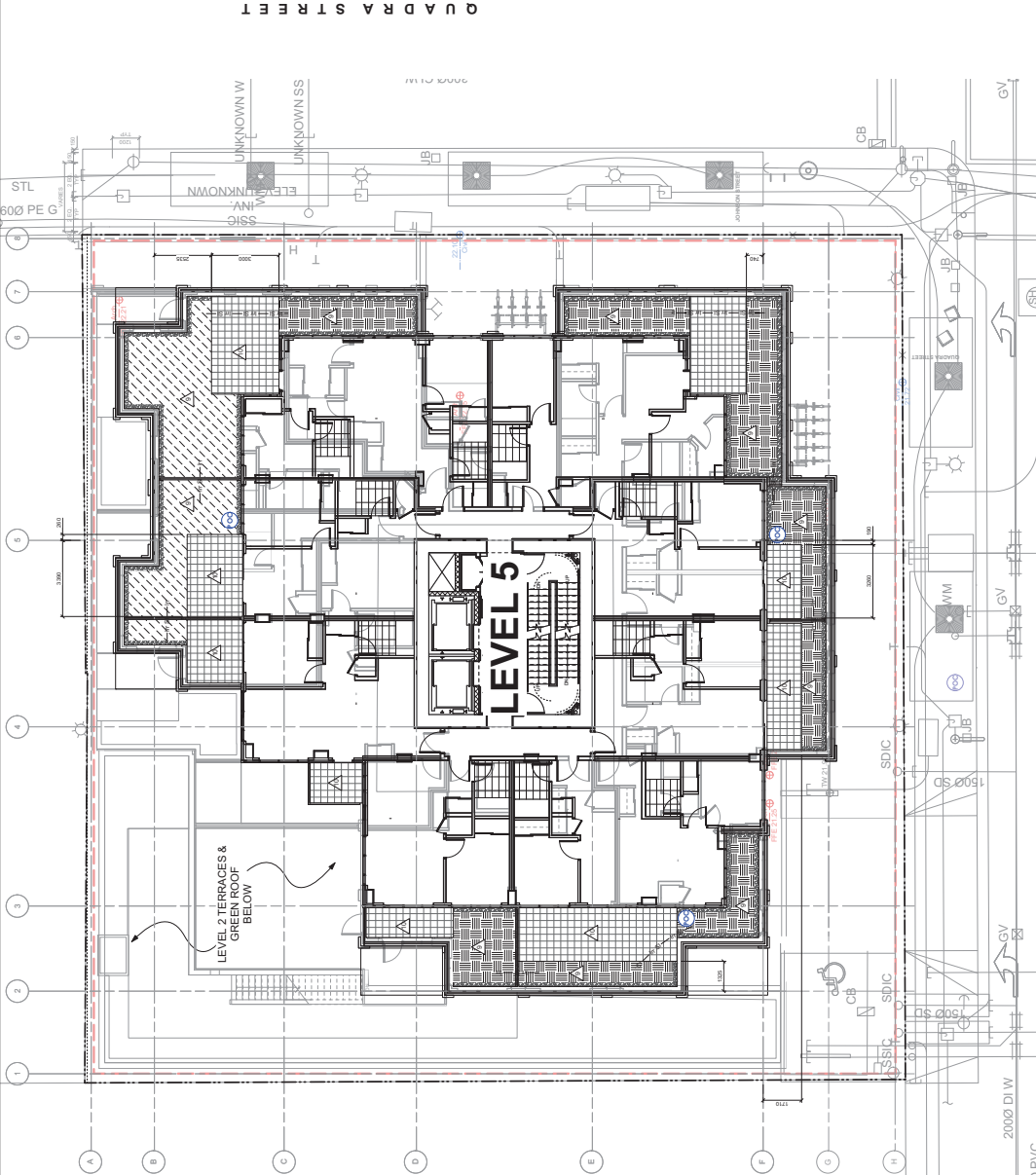
  

LANDSCAPE INFRASTRUCTURE		See
△	Lighting Supplier: POC Proposed Irrigation Point of Connection.	Mech. No. Ene. Dryps
△	Irrigation System Schedule: 0 P.M.C. dia. shall be min. 3x main line diameter, or 2x lateral line diameter. Install irrigation lines, valves, and emitters at 300mm spacing and 100mm 300mm past edge of hard surface or walls.	NA

**PLANTING NOTES:**  
 1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.  
 2. Confirm soil depth. Structural engineer to confirm maximum soil depth (assumed maximum soil depth: 750mm).  
 3. 450mm, to be installed on pedestals to sit max. 50mm proud of adjacent finished grade of pavers.  
 4. Each patio to receive independent irrigation system for plants. Allow for 450mm grade of pavers. Conceal irrigation equipment below pavers within void space, and/or micro sprays. Conceal irrigation equipment below pavers within void space. Provide conduit steering through base of aluminum planters for irrigation lines.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

client: ALPHA PROJECT DEVELOPMENTS LTD.  
 210/227 YATES STREET VICTORIA, BC  
 project: 1400 QUADRA STREET, VICTORIA, BC  
 landscape Materials & Layout Plan - Level 5  
 project no.: 11721  
 scale: 1:100 @ 2X/3X  
 drawn by: MJ/DTE  
 checked by: SAMPSON  
 revision no.:  
 sheet no.:



Green Roof Plant List Levels	Plant Species for Shade Areas:	Common Name	Scale / Size / Plant Spacing
SHADE AREAS:	07	Banana Palm	Spl. 30m o.c.
	08	Burchnery	Spl. 30m o.c.
	09	Western Bleeding Heart	Spl. 30m o.c.
SHADE AREAS:	10	Salif	Spl. 30m o.c.
	11	Redwood Sorel	Spl. 30m o.c.
	12	London Elm	Spl. 30m o.c.
	13	Populadum pyramidalis	Spl. 30m o.c.

**NOTES FOR PRE-VEGETATED MAT:**  
 - PLANT SPECIES TO BE PRE-GROWN ON MATS OR TILES WITH SPECIES PROPORTIONS AS SHOWN. MATS TO BE PRE-GROWN OR COMPOSITION SHALL REQUIRE APPROVAL BY LANDSCAPE ARCHITECT AND CLIENT.  
 - PRE-VEGETATED MATS SHALL ACHIEVE 80% PLANT COVERAGE AT TIME OF SUPPLY AND 90% COVERAGE AT 12 MONTHS POST ACCEPTANCE.  
 - 1 YEAR MAINTENANCE, AS PER THE SUPPLIERS SPECIFICATION.

PRE-VEGETATED MAT:
% Sedum sp. 'Aureum'
20% Sedum sp. 'Coral Carpet'
20% Sedum sp. 'Autumn Joy'
20% Sedum sp. 'Rubra'
20% Sedum sp. 'Aurantiacum'



PLANT LIST - LEVEL 1		Common Name	Sched. Size / Plant Spacing
City	Bonnie's Name	European Hollyhock	6.0m cal. b.b.b
1	2	Flowering Ash	6.0m cal. b.b.b
2	3	Staghorn Sumac	#5 pot
3	4	Kornelkruik	#1 pot
4	5	Heater Reed Grass	#1 pot
5	6	Blackberry	#1 pot
6	7	Rock Rose	#1 pot
7	8	Lily turf	#1 pot

PLANT LIST - LEVEL 2		Common Name	Sched. Size / Plant Spacing
1	2	Red Columbine	Spd. 30cm o.c.
2	3	Burdock	Spd. 30cm o.c.
3	4	Western Bleeding He	Spd. 30cm o.c.
4	5	Reinwood Sorrel	Spd. 30cm o.c.
5	6	Looseleaf Fern	Spd. 30cm o.c.

PRE-VEGETATED MAT:		Common Name	Sched. Size / Plant Spacing
20%	20%	Red Columbine	Spd. 30cm o.c.
20%	20%	Burdock	Spd. 30cm o.c.
20%	20%	Western Bleeding He	Spd. 30cm o.c.
20%	20%	Reinwood Sorrel	Spd. 30cm o.c.
20%	20%	Looseleaf Fern	Spd. 30cm o.c.

PLANT SPECIES FOR SHADE AREAS:		Common Name	Sched. Size / Plant Spacing
91	91	Red Columbine	Spd. 30cm o.c.
91	91	Burdock	Spd. 30cm o.c.
91	91	Western Bleeding He	Spd. 30cm o.c.
91	91	Reinwood Sorrel	Spd. 30cm o.c.
91	91	Looseleaf Fern	Spd. 30cm o.c.

**GREEN ROOF PLANT LIST - LEVEL 2**  
 PRE-VEGETATED MAT:  
 SEEDING SPECIES FOR SUN AREAS: 50.8172 sqm  
 20% Sedum obovatum  
 20% Sedum album 'Coral Carpet'  
 20% Sedum kamtschaticum  
 20% Sedum spectabile  
 20% Sedum album  
 PLANT SPECIES FOR SHADE AREAS:  
 91 Anemone hepatica  
 91 Anemone nemorosa  
 91 Dianthus barbatus  
 91 Oxalis sphegodes  
 91 Polygodium sibiricum

**NOTES FOR PRE-VEGETATED MAT:**  
 - PLANT SPECIES TO BE PRE-GROWN ON MATS OR TILES WITH SPECIES PROPORTIONS AS INDICATED. CHANGES TO SPECIES AND/OR COMPOSITION SHALL REQUIRE APPROVAL BY LANDSCAPE ARCHITECT AND CLIENT.  
 - PRE-VEGETATED MATS SHALL ACHIEVE 80% PLANT COVERAGE AT TIME OF SUPPLY AND 90% COVERAGE AT 12 MONTHS POST ACCEPTANCE.  
 - 1 YEAR MAINTENANCE AS PER THE SUPPLIERS SPECIFICATION.

**PLANTING NOTES**  
 1. Plant quantities and species may change between issuance of DP and final contract documents.  
 2. Green roof to be pre-vegetated with species as indicated on drawings and planted with shade tolerant species for shade areas. Refer to plant list.  
 3. All raised aluminum planters to be irrigated through  
 4. All raised aluminum planters to be irrigated.

rev no	description	date
1	RZ DP Re-Submission	17 SEPT 2018
2	Issued for BP	20 FEB 2019
3	Issued for BP	24 DEC 2018
4	Issued for Tender	7 APRIL 2019
5	Issued for BP Rev 2	17 JULY 2019
6	Issued for BP Rev 3	28 AUG 2019
7	Issued for Review	10 SEPT 2019
8	Issued for BP Rev 4	13 SEPT 2019
9	Issued for Review	15 SEPT 2019
10	Issued for Contract	17 OCT 2019

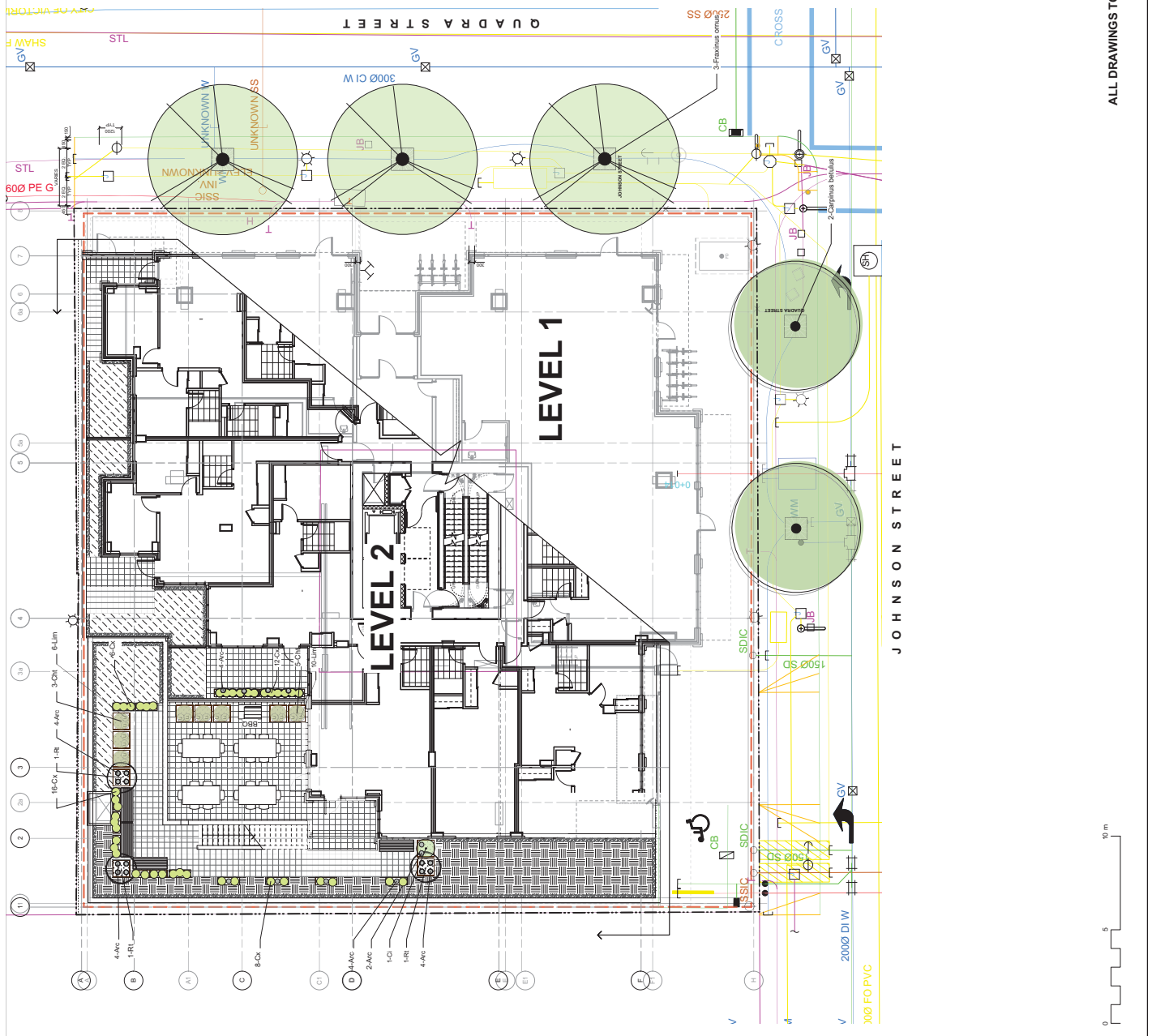
client  
**ALPHA PROJECT DEVELOPMENTS LTD.**  
 210-727 YATES STREET  
 VICTORIA, BC

project  
 #  
 1400 QUADRA STREET,  
 VICTORIA, BC

sheet title  
**Planting Plan -**

project no.	11721
scale	1:100 @ 24X36"
drawn by	MJ/DTE
checked by	SMP/SG
revision no.	sheet no.

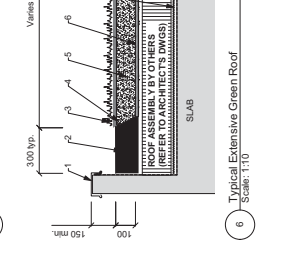
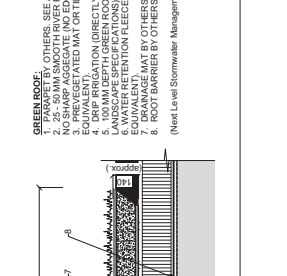
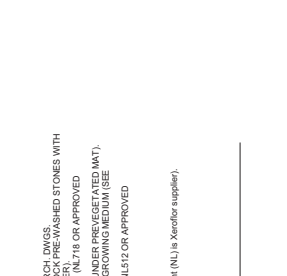
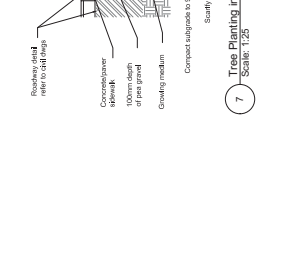
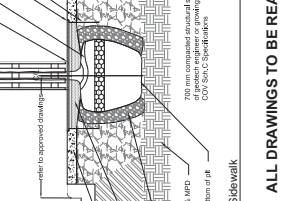
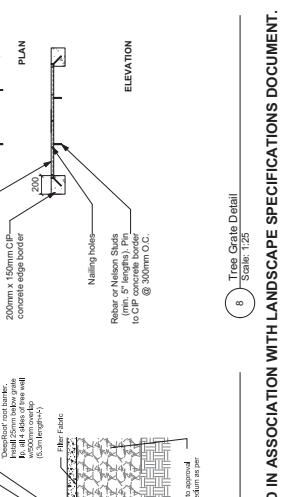
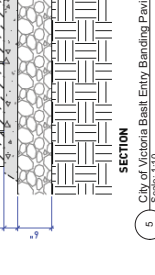
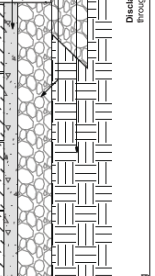
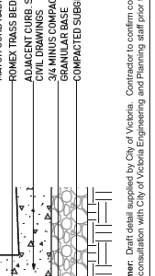
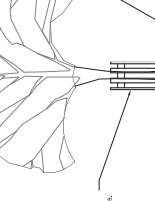
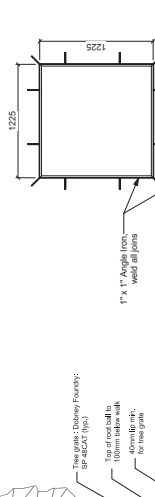
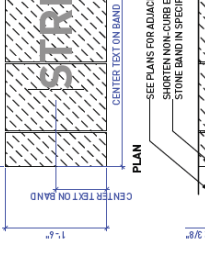
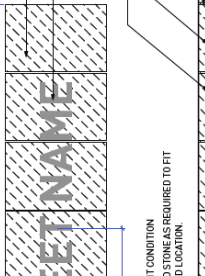
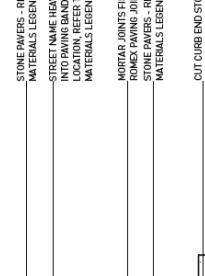
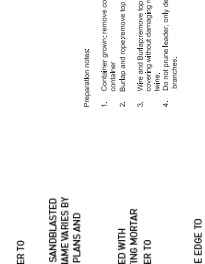
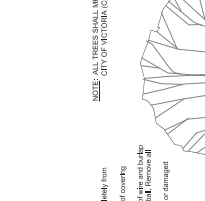
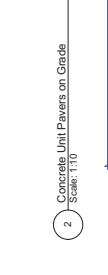
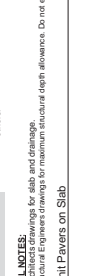
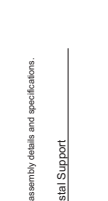
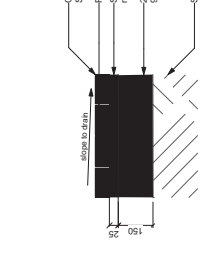
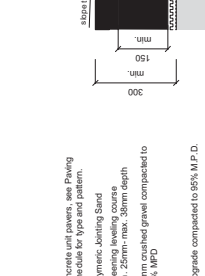
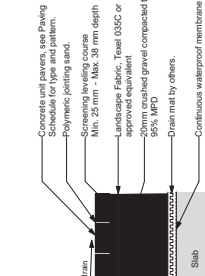
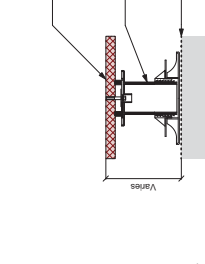
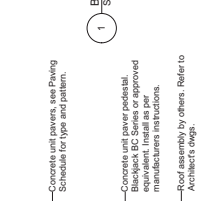
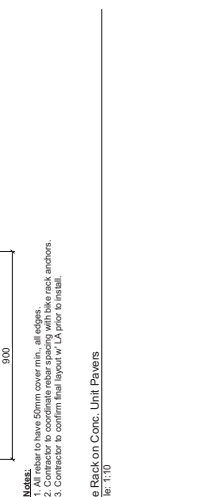
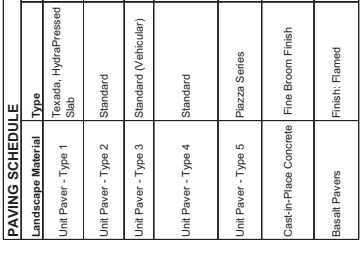
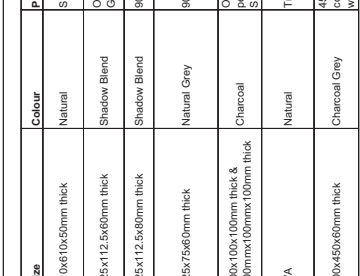
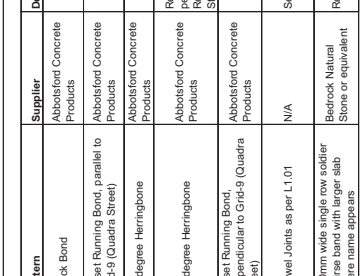
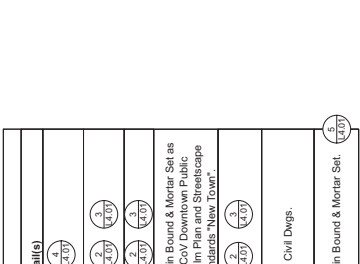
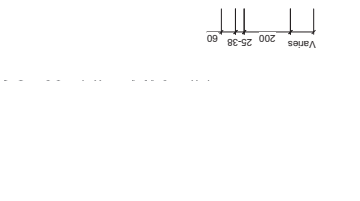
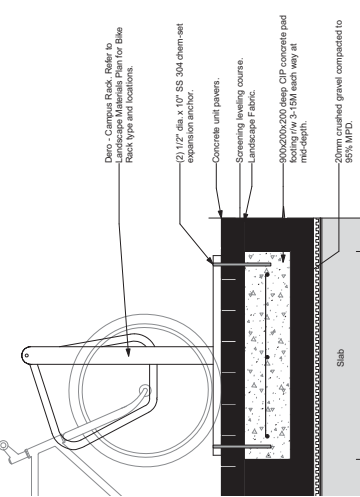
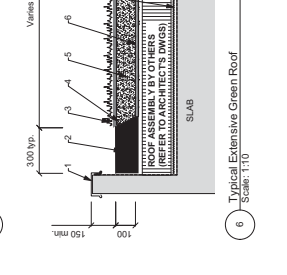
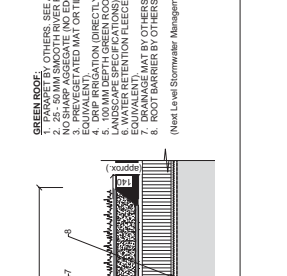
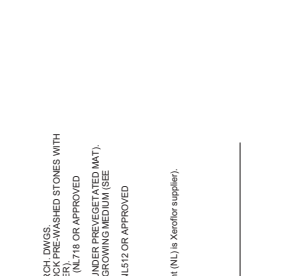
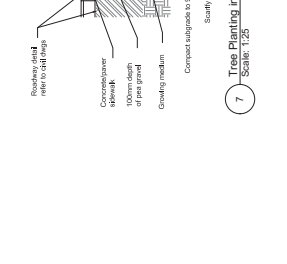
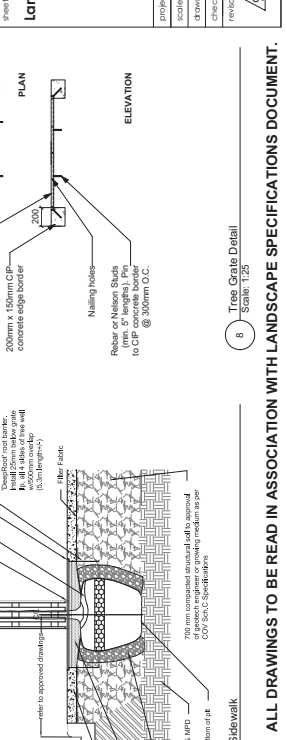
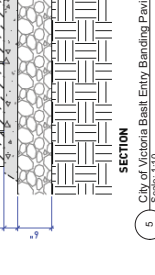
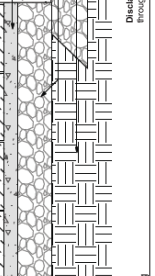
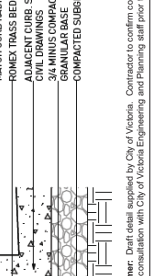
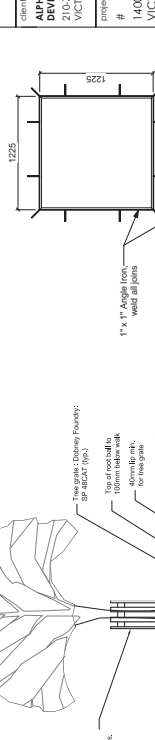
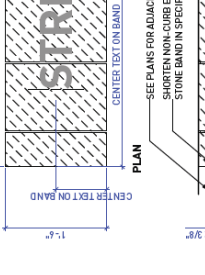
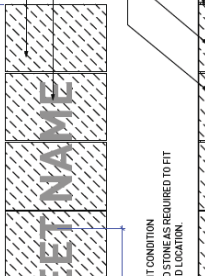
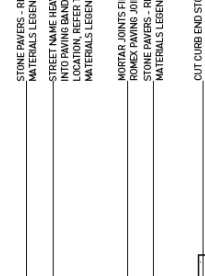
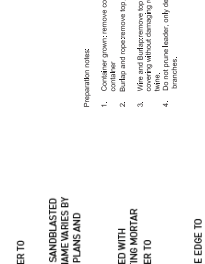
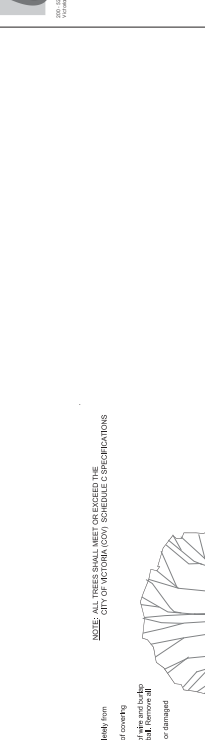
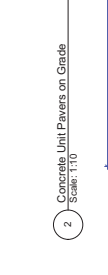
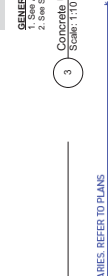
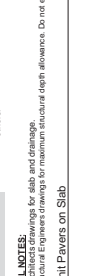
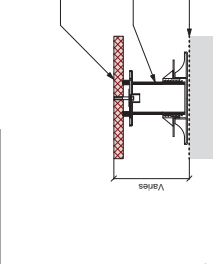
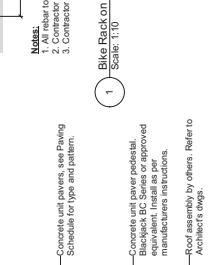
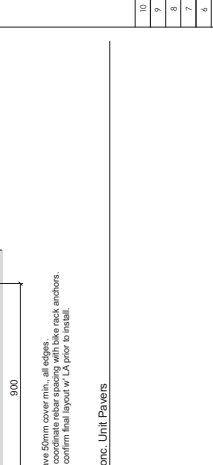
**L3.01**



ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.



PAVING SCHEDULE			
Landscaping Material	Type	Colour	Pattern
Unit Paver - Type 1	Texada, Hydrapressed Slab	Natural	Stack Bond
Unit Paver - Type 2	Standard	Shadow Blend	Offset Running Bond, parallel to Grid-9 (Quadra Street)
Unit Paver - Type 3	Standard (Vehicular)	Shadow Blend	90 degree Herringbone
Unit Paver - Type 4	Standard	Natural Grey	90 degree Herringbone
Unit Paver - Type 5	Piazza Series	Charcoal	Offset Running Bond, perpendicular to Grid-9 (Quadra Street)
Cast-In-Place Concrete	Fine Broom Finish	Natural	Trowel Joints as per L1.01
Basalt Pavers	Finish: Flamed	Charcoal Grey	400mm wide single row soldier course hand with larger slab where name appears



**Client:** ALPHA PROJECT DEVELOPMENTS LTD.  
2107/37 AYES STREET  
VICTORIA, BC

**Project #:** 1400 QUADRA STREET  
VICTORIA, BC

**Project File:** Landscape Details

**Project No.:** 117.11

**Scale:** AS SHOWN @ 2X/3X/5X

**Drawn by:** M.J./D.T.B.

**Checked by:** S.M.P.R.G.

**Sheet No.:** L4.01

**GENERAL NOTES:**

- To be read in conjunction with Architect's roof assembly details and specifications.

**Concrete Unit Pavers on Slab - Pedestal Support**  
Scale: 1:10

**Concrete Unit Pavers on Slab - Concrete Support**  
Scale: 1:10

**Concrete Unit Pavers on Grade**  
Scale: 1:10

**City of Victoria Basalt Entry Banding Paving**  
Scale: 1:10

**Typical Extensive Green Roof**  
Scale: 1:10

**Tree Grate Detail**  
Scale: 1:25

**Tree Planting in Sidewalk**  
Scale: 1:25

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**Drawn by:** M.J./D.T.B.

**Checked by:** S.M.P.R.G.

**Sheet No.:** L4.01

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.