

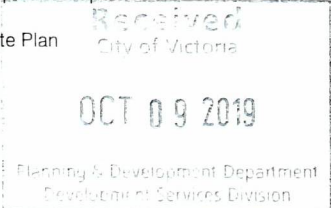
PROJECT INFORMATION TABLE	
Zone (existing)	CR-3M, R-K
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m²)	2875 m² (DPA 5 = 1099 m², DPA 16 = 1776 m²)
Total floor area (m²)	6299 m² (DPA 5 = 2747 m², DPA 16 = 3552 m²)
Commercial floor area (m²)	535 m²
Floor space ratio	2.19:1 (DPA 5 = 2.5:1, DPA 16 = 2:1)
Site coverage (%)	65.7%
Open site space (%)	34.1%
Height of building (m)	16.15 m
Number of storeys	4
Parking stalls (number) on site	80
Bicycle parking number (Class 1 and Class 2)	63 CLASS 1, 12 CLASS 2
Building Setbacks (m) *	* MEASURED TO BUILDING FACE
Front yard	3.18 m (PENDERGAST STREET)
Rear yard	4.18 m
Side yard (indicate which side)	3.54 m (WEST P.L.)
Side yard (indicate which side)	0.46 m (COOK STREET)
Combined side yards	4.00 m
Residential Use Details	
Total number of units	48
Unit type, e.g., 1 bedroom	11 1BR, 28 2BR, 9 3BR
Ground-orientated units	7
Minimum unit floor area (m²)	66 m²
Total residential floor area (m²)	5160 m²



COOK & PENDERGAST CORNER PERSPECTIVE

A0.00	Cover Sheet	A2.01	Ground Floor
A1.00	Survey, Existing Site Plan & Average Grade	A2.02	Level 2
A1.01	Code Analysis	A2.03	Level 3
A1.02	Limiting Distance	A2.04	Level 4
A1.03	Overall Site Plan	A2.05	Roof Level
A1.04	Shadow Studies - Equinox	A3.00	Elevations
A1.05	Shadow Studies - Summer	A3.01	Context Elevations
A1.06	Shadow Studies - Winter	A4.00	Building Sections
A2.00	Parking Level	A4.01	Context Sections
		A9.00	Perspectives

A9.01	Materials
L1.01	Landscape Materials Plan
L1.02	Tree Retention and Removal Plan
L1.03	Stormwater Management Plan
L1.04	Planting Plan & Plant List
L1.05	Roof & Rooftop Landscape & Planting Plan
C1.00	Preliminary Site Plan



SITE CONTEXT PLAN

APPLICANT

ARAGON PROPERTIES LTD.
201-1628 WEST 1st AVENUE
VANCOUVER BC V6J 1G1
604 732 6170

CONTACT:
LENNY MOY
lmoy@aragon.ca
LUKE RAMSEY
lramsey@aragon.ca

PROJECT TEAM

ARCHITECT

CASCADIA ARCHITECTS
101-804 BROUGHTON STREET
VICTORIA BC V8V 3J6
250.590.3223

CONTACT:
PETER JOHANNKNECHT
peter@cascadiaarchitects.ca
GREGORY DAMANT
greg@cascadiaarchitects.ca

STRUCTURAL ENGINEER

FAST + EPP
201-1672 WEST 1st AVENUE
VANCOUVER BC V6J 1G1
604.731.7412

CONTACT:
ROBERT JACKSON
rjackson@fastepp.com

MECHANICAL ENGINEER

WILLIAMS ENGINEERING
SUITE 202, 31 BASTION SQUARE
VICTORIA BC V8W 1J1
778.406.0023

CONTACT:
COLLIN CRONKHITE
ccronkhite@williamsengineering.com

ELECTRICAL ENGINEER

SMITH + ANDERSEN
338-6450 ROBERTS STREET
BURNABY BC V5G 4E1
604.294.8414

CONTACT:
RON SHARMA
Ron.Sharma@smithandandersen.com

CIVIL ENGINEER

J.E. ANDERSON & ASSOCIATES
4212 GLANFORD AVENUE
VICTORIA BC V8Z 4B7
250.727.2214

CONTACT:
ROSS TUCK
rtuck@jeanderson.com

TRAFFIC CONSULTANT

WATT CONSULTING GROUP
501-740 HILLSIDE AVENUE
VICTORIA BC V8T 1Z4
250.388.9877

CONTACT:
DANIEL CASEY
dcasey@wattconsultinggroup.com

LANDSCAPE ARCHITECT

MURDOCH de GREEFF INC.
200-524 CULDUTH ROAD
VICTORIA BC V8Z 1G1
250.412.2891

CONTACT:
SCOTT MURDOCH
scott@mdidesign.com

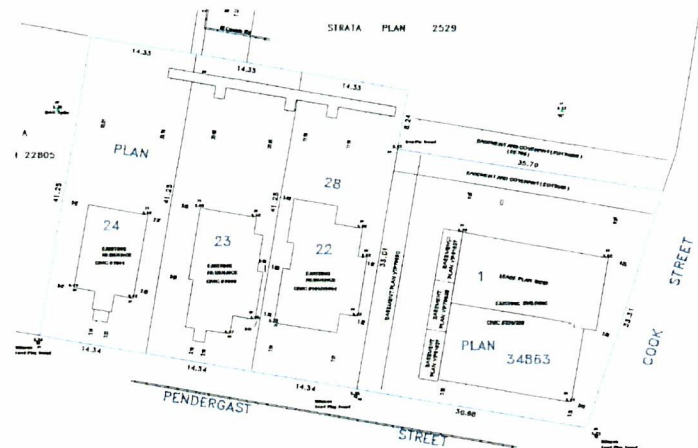
ARBORIST

TALBOT MACKENZIE & ASSOCIATES
BOX 48153 RPO UPTOWN
VICTORIA BC V8Z 7H6
250.479.8733

CONTACT:
GRAHAM MACKENZIE
tmlreehelp@gmail.com

OCT 09 2019

Planning & Development Department
Development Services Branch



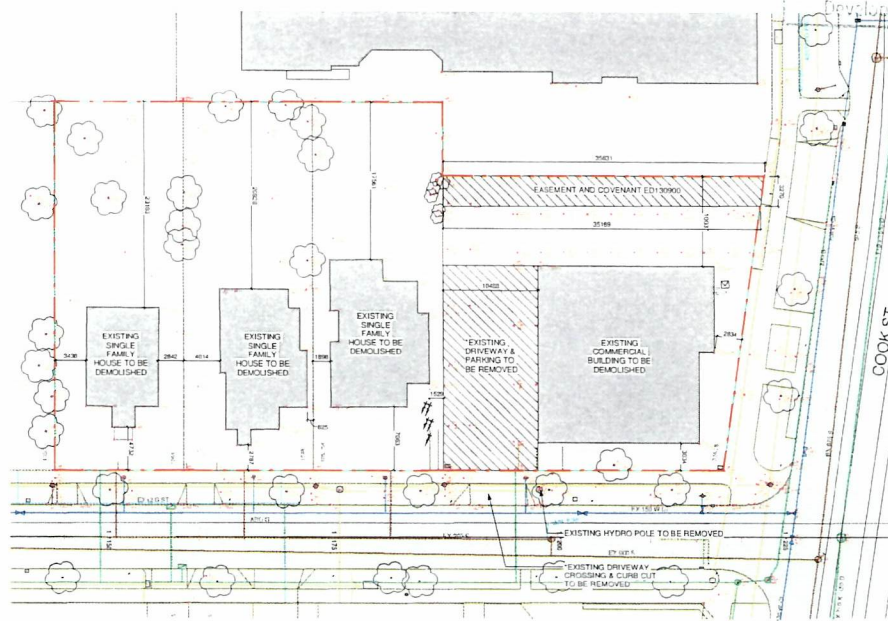
J.E. Anderson and Associates

SURVEYORS ENGINEERS
VICTORIA BRITISH COLUMBIA

SITE PLAN

RE: LOT 1, PLAN 34863 AND LOT 22, 23 AND 24, PLAN 28, ALL OF FAIRFIELD FARM ESTATE, VICTORIA CITY
OWNER: DUCKLE DEVELOPMENTS INC.
DATE: 10/06/2019
SCALE: 1" = 100'

1 Survey Plan
1 300



2 Existing Site Plan
1 250

NOTE:
REFER TO LANDSCAPE PLAN FOR TREE
INFORMATION INCLUDING LOCATION OF
TREES TO BE REMOVED

AVERAGE GRADE CALCULATIONS

GRADE POINTS:

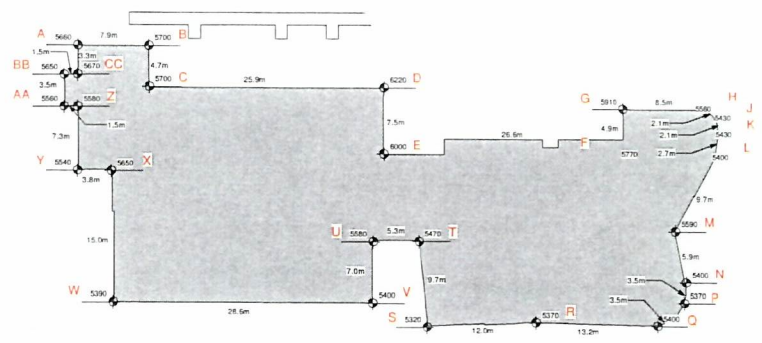
A:	5.66	R:	5.37
B:	5.70	S:	5.32
C:	5.70	T:	5.47
D:	6.22	U:	5.58
E:	6.00	V:	5.40
F:	5.77	W:	5.39
G:	5.91	X:	5.65
H:	5.56	Y:	5.54
J:	5.43	Z:	5.58
K:	5.43	AA:	5.56
L:	5.40	BB:	5.65
M:	5.59	CC:	5.67
N:	5.40		
P:	5.37		
Q:	5.40		

GRADE POINTS:

A-B:	((5.66+5.70)+2)	x	07.9	=44.87
B-C:	((5.70+5.70)+2)	x	04.7	=26.79
C-D:	((5.70+6.22)+2)	x	25.9	=154.36
D-E:	((6.22+6.00)+2)	x	07.5	=45.83
E-F:	((6.00+5.77)+2)	x	26.6	=156.54
F-G:	((5.77+5.91)+2)	x	04.9	=28.62
G-H:	((5.91+5.56)+2)	x	08.5	=48.75
H-J:	((5.56+5.43)+2)	x	02.1	=11.54
J-K:	((5.43+5.43)+2)	x	02.1	=11.40
K-L:	((5.43+5.40)+2)	x	02.7	=14.62
L-M:	((5.40+5.59)+2)	x	09.7	=53.30
M-N:	((5.59+5.40)+2)	x	05.9	=32.40
N-P:	((5.40+5.37)+2)	x	03.5	=18.85
P-Q:	((5.37+5.40)+2)	x	03.5	=18.85
Q-R:	((5.40+5.37)+2)	x	13.2	=71.80
R-S:	((5.37+5.32)+2)	x	12.0	=64.14
S-T:	((5.32+5.47)+2)	x	09.7	=52.33
T-U:	((5.47+5.58)+2)	x	05.3	=29.28
U-V:	((5.58+5.40)+2)	x	07.0	=38.43
V-W:	((5.40+5.39)+2)	x	28.6	=154.30
W-X:	((5.39+5.65)+2)	x	15.0	=82.80
X-Y:	((5.65+5.54)+2)	x	03.8	=21.26
Y-Z:	((5.54+5.58)+2)	x	07.3	=40.59
Z-AA:	((5.58+5.56)+2)	x	01.5	=08.36
AA-BB:	((5.56+5.65)+2)	x	03.5	=19.62
BB-CC:	((5.65+5.67)+2)	x	01.5	=08.49
CC-A:	((5.67+5.66)+2)	x	03.3	=18.70

227.2 1276.82

AVERAGE GRADE = 1276.82+227.2 = 5.62



3 Average Grade Plan
1 250

NO.	DESCRIPTION	DATE
1	REVISION	10/06/2019
2	REVISION	10/06/2019



CASCADIA ARCHITECTS INC.

10/06/2019

10/06/2019

10/06/2019

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10/06/2019



MIN. SEPARATION BETWEEN EXITS 9m
OCCUPANCY GROUP C. RESIDENTIAL
OCCUPANT LOAD- 28 SLEEPING ROOMS X 2 PERSONS PER ROOM
= 56 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS: 61mm/PERSON X 56 = 342mm
STAIRS: 80mm/PERSON X 56 = 448mm

RESIDENTIAL AREA

MIN. SEPARATION BETWEEN EXITS: 3m

OCCUPANCY: GROUP C

OCCUPANT LOAD: 11 SLEEPING ROOMS X 2 PERSONS PER ROOM = 22 PERSONS

MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS: $5.1mm/PERSON \times 22 = 1175mm$

STAIRS: $88mm/PERSON \times 22 = 2246mm$

COMMERCIAL AREA

OCCUPANCY: GROUP E

OCCUPANT LOAD: $544 \text{ sq ft} \div 3.7 \text{ sq ft per PERSON} = 147 \text{ PERSONS}$

MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS: $5.1mm/PERSON \times 147 = 887mm$

STAIRS: $88mm/PERSON \times 147 = 1176mm$

MIN. SEPARATION BETWEEN EXITS: 9m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 27 SLEEPING ROOMS X 2 PERSONS PER ROOM
= 54 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS: 61mm/PERSON X 54 = 329mm
STAIRS: 80mm/PERSON X 54 = 432mm

MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C RESIDENTIAL
OCCUPANT LOAD: 26 SLEEPING ROOMS X 2 PERSONS PER ROOM
= 56 PERSONS
MIN. EXIT WIDTH:
RAMPS, CORRIDORS & PASSAGEWAYS: 61mm/PERSON X 56 = 342mm
STAIRS: 80mm/PERSON X 56 = 448mm

OCCUPIABLE AREA IS MEZZANINE TO LEVEL BELOW
AND INCLUDED IN LEVEL 4 CALCULATIONS

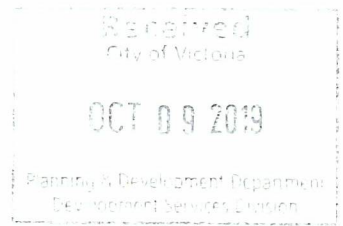
6 Roof - Code Plan
1 300

	Processing & Development Period	February - 27 2008
NO	DESCRIPTION	DATE



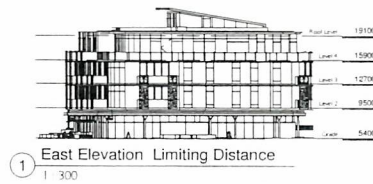
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Project #		Cook & Pendergas	
		Aragon Properties LLC 328 Cook Street	
Super Name		Code Analysis	
Date		October 7, 2011	
Sum	1 300	Project #	1715
		Reason	
		Class #	A1.01



GROUP E OCCUPANCY
LIMITING DISTANCE 18.2 m
EXPOSING BUILDING FACE 200+ m²
MAXIMUM AREA OF UNPROTECTED OPENINGS 100%

GROUP C OCCUPANCY
LIMITING DISTANCE 18.2 m
EXPOSING BUILDING FACE 150+ m²
MAXIMUM AREA OF UNPROTECTED OPENINGS 100%



GROUP E OCCUPANCY
LIMITING DISTANCE 4.7 m
EXPOSING BUILDING FACE 73 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS 25%
PROPOSED AREA OF UNPROTECTED OPENINGS 15 m²
PROPOSED PERCENTAGE OF UNPROTECTED OPENINGS 20.5%

GROUP C OCCUPANCY
SEE TABLE



NORTH ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING	PROPOSED AREA OF OPENING	PROPOSED % OPENING
1	4.1 m	45 m ²	80%	22 m ²	51%
2	4.1 m	35 m ²	71%	18 m ²	51%
3	4.1 m	35 m ²	71%	21 m ²	60%
4	12.2 m	41 m ²	100%	41 m ²	100%
5	5.8 m	28 m ²	100%	11 m ²	39%
6	4.1 m	27 m ²	78%	13 m ²	48%
7	4.1 m	30 m ²	100%	14 m ²	70%
8	4.1 m	20 m ²	78%	14 m ²	70%
9	4.1 m	29 m ²	78%	18 m ²	62%
10	10.5 m	84 m ²	100%	51 m ²	61%
11	5.8 m	28 m ²	100%	11 m ²	39%
12	4.1 m	27 m ²	78%	13 m ²	48%
13	4.1 m	30 m ²	100%	14 m ²	70%
14	4.1 m	20 m ²	100%	14 m ²	70%
15	4.1 m	29 m ²	78%	18 m ²	62%
16	10.5 m	84 m ²	100%	51 m ²	61%
17	5.8 m	28 m ²	100%	11 m ²	39%
18	8.4 m	38 m ²	100%	8 m ²	21%
19	10.5 m	84 m ²	100%	42 m ²	50%
20	5.8 m	31 m ²	100%	8 m ²	26%

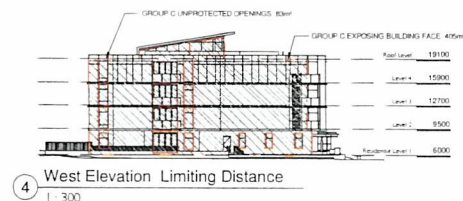
GROUP E OCCUPANCY
LIMITING DISTANCE 10.9 m
EXPOSING BUILDING FACE 79 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS 100%

GROUP C OCCUPANCY
LIMITING DISTANCE 10.9 m
EXPOSING BUILDING FACE 150+ m²
MAXIMUM AREA OF UNPROTECTED OPENINGS 100%



GROUP E OCCUPANCY
NA

GROUP C OCCUPANCY
LIMITING DISTANCE 5 m
EXPOSING BUILDING FACE 405 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS 40%
PROPOSED AREA OF UNPROTECTED OPENINGS 83 m²
PROPOSED PERCENTAGE OF UNPROTECTED OPENINGS 20.5%



NO	DESCRIPTION	DATE
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Project: Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

Sheet Name: Limiting Distance

Date: October 7, 2019

Scale: 1:300

Revision: 1719

Sheet # A1.02

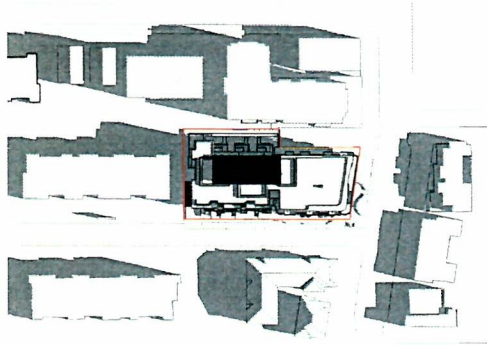
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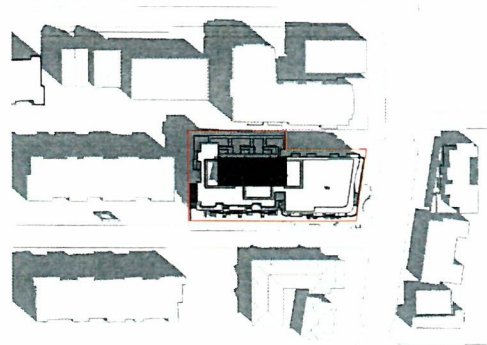
1 Overall Site Plan
1 - 150

OCT 09 2019

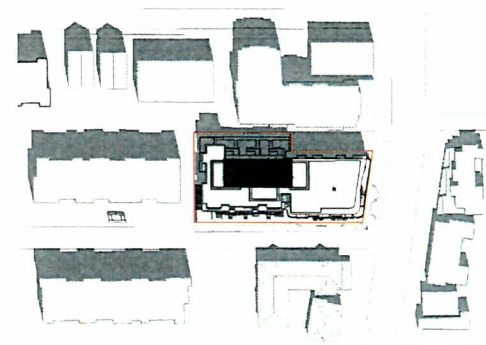
Planning & Development Department
Development Services Division



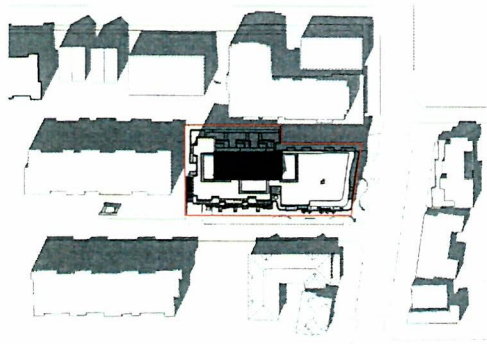
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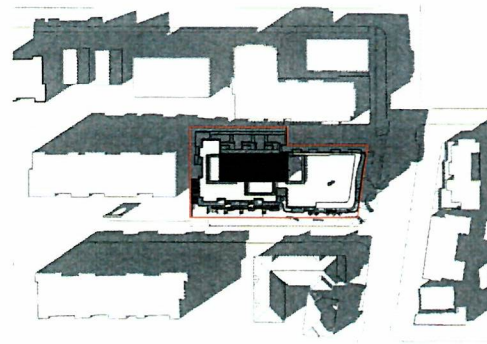
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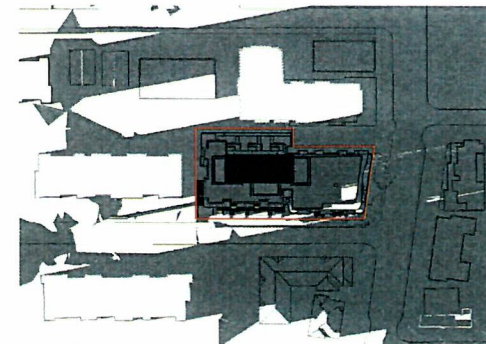
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② Shadow - Equinox - 2 PM
1 : 1000



③ Shadow - Equinox - 4 PM
1 : 1000



⑥ Shadow - Equinox - 6 PM
1 : 1000

Revising & Development Form		Revision 1
NO.	DESCRIPTION	DATE



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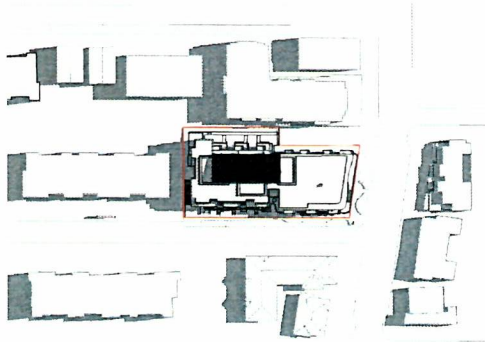
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Project	
Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Client Name	
Shadow Studies - Equinox	
Date	
October 7, 2019	
Scale	Project #
1 : 1000	1719
Revision	Drawn By
Checked By	
A1.04	

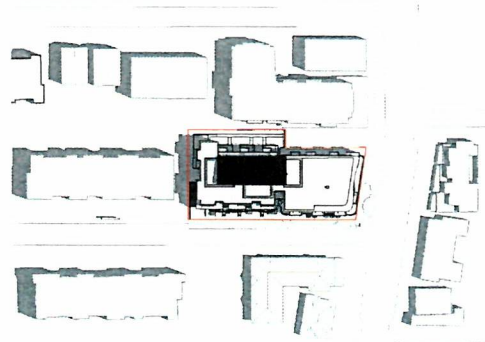
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OCT 09 2019

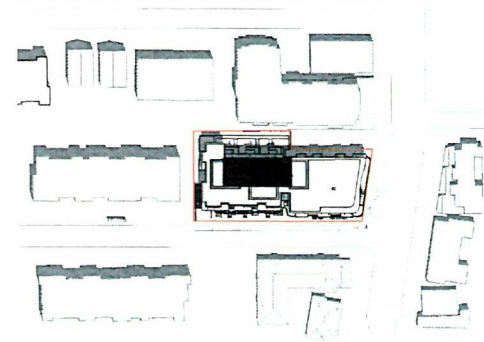
Planning & Development Department
Development Services Section



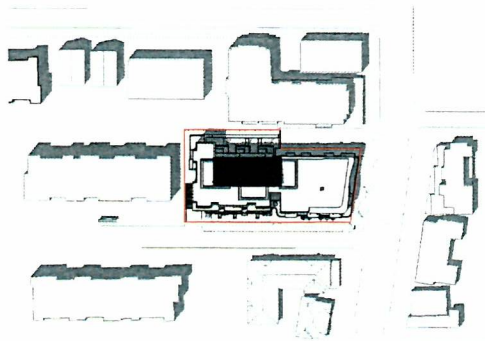
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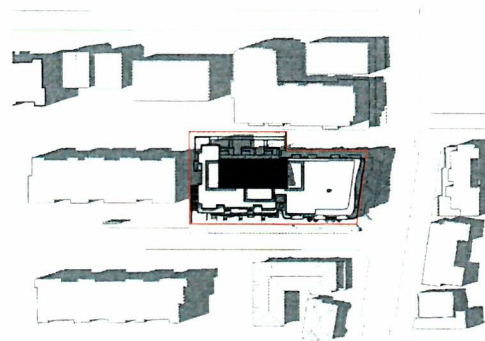
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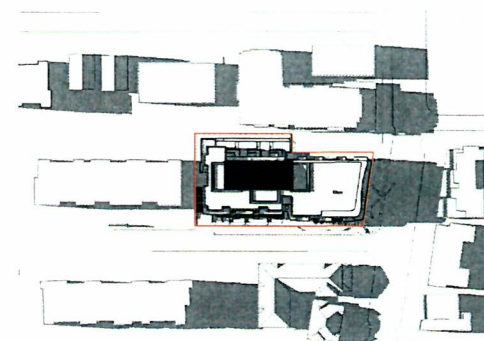
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④ Shadow - Summer - 2 PM
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⑤ Shadow - Summer - 4 PM
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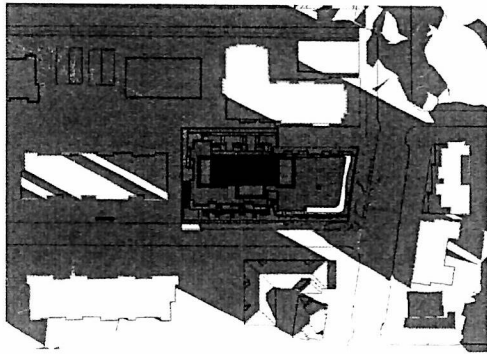
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NO.	DESCRIPTION	DATE

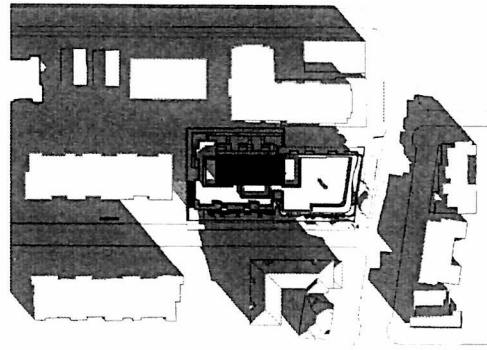


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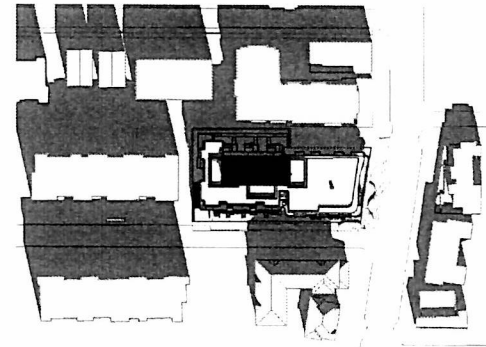
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Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Project Number	
Shadow Studies - Summer	
Date	
October 7, 2019	
Scale	Project #
1:1000	1719
Revision	
Sheet #	
A1.05	



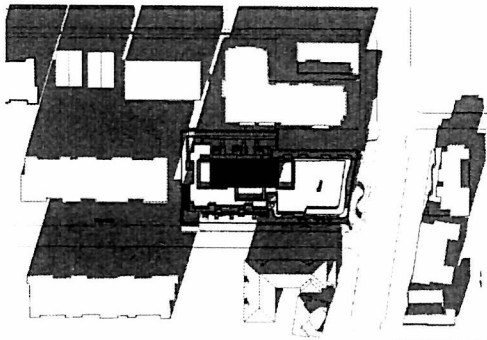
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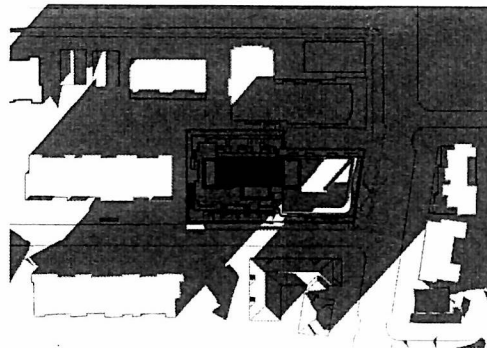
② Shadow - Winter - 10 AM
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③ Shadow - Winter - 12 PM
1 : 1000



④ Shadow - Winter - 2 PM
1 : 1000



⑤ Shadow - Winter - 4 PM
1 : 1000

NO.	DESCRIPTION	DATE
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CASCADIA ARCHITECTS INC.

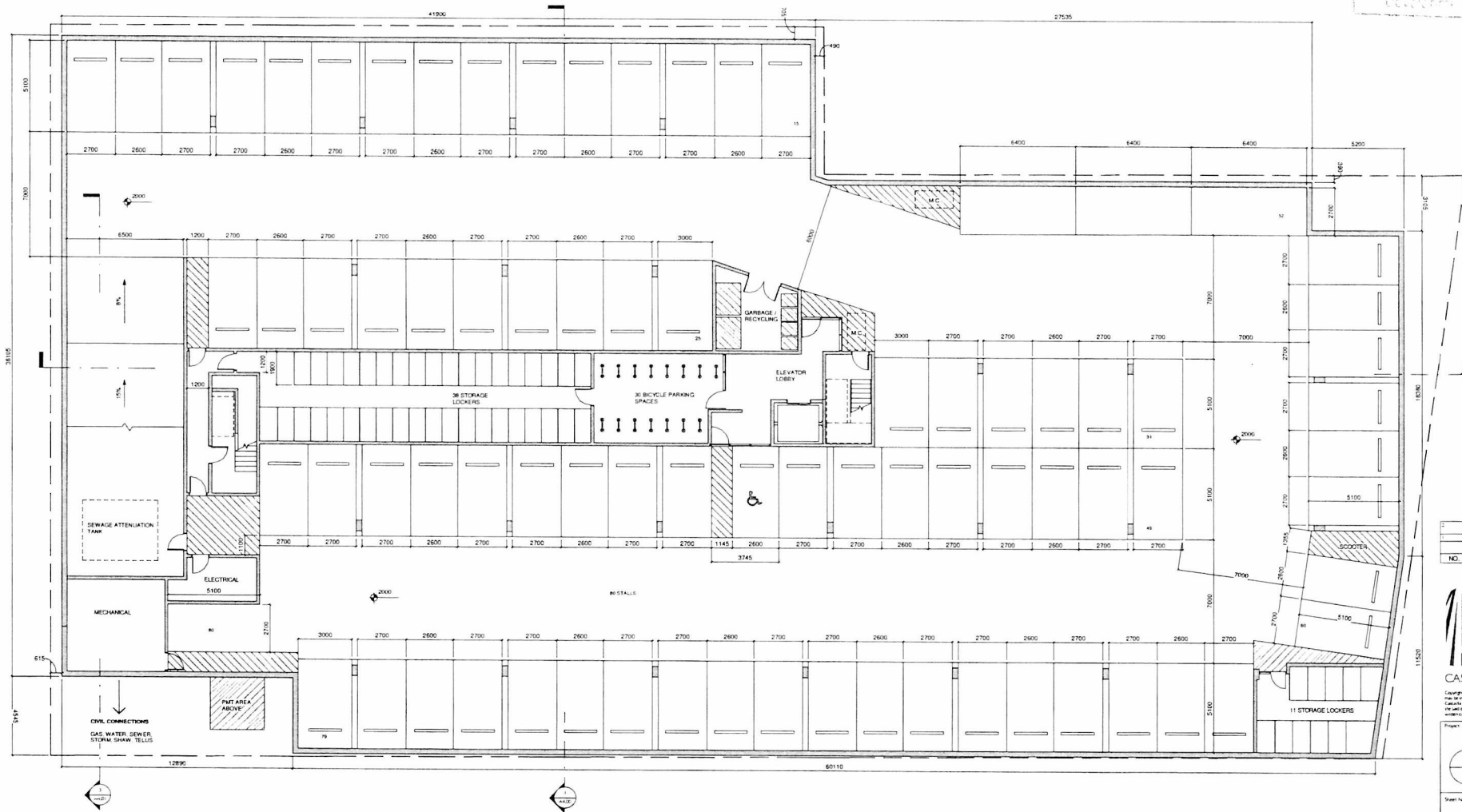
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Project	
Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Sheet Name Shadow Studies - Winter	
Date October 7, 2019	
Scale 1 : 1000	Project # 1719
Revision	Sheet # A1.06

Received
City of Victoria

OCT 09 2019

Planning & Development Department
Development Services Division



1	Revision 1	September 18, 2018
2	Revision 2	October 7, 2019
3	Revision 3	October 21, 2019
4	Revision 4	October 21, 2019
NO.	DESCRIPTION	DATE



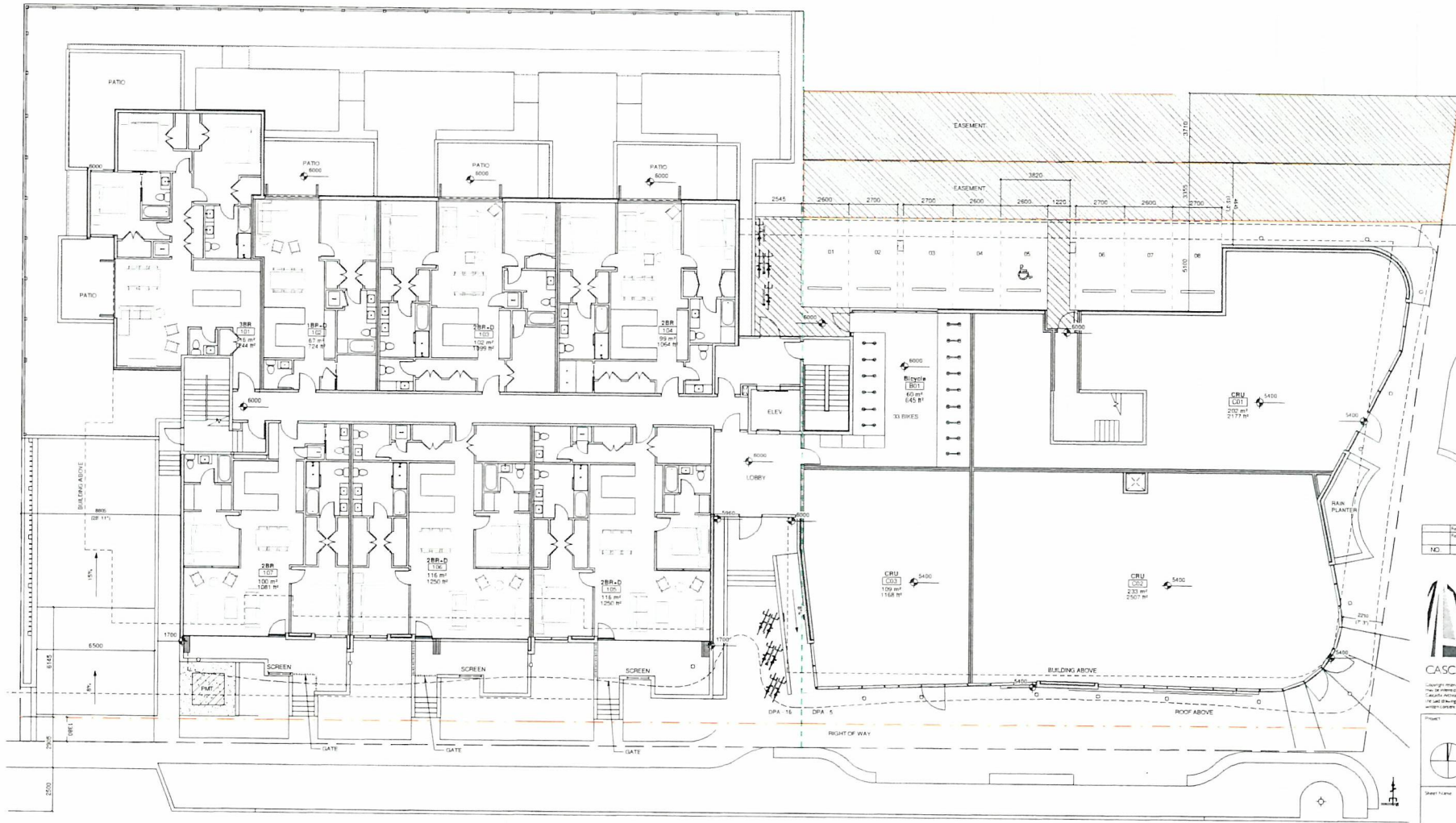
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Project: Cook & Pendergast	
Client: Aragon Properties Ltd. 328 Cook Street	
Sheet Name: Parking Level	
Date: October 7, 2019	Project # 1719
Scale: 1:100	Revision: 2
September 18, 2018	
A2.00	

2019-10-04 10:48:40 AM

OCT 09 2018

Planning & Development Department
 Planning & Development



DPA - 5 AREA = 587 m²
 DPA - 16 AREA = 840 m²

NO.	DESCRIPTION	DATE
1	Prepared	10/07/2018
2	Revised	10/07/2018

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Project: **Cook & Pendergast**
 Aragon Properties Ltd
 328 Cook Street
 Ground Floor

Client: **October 7, 2019**

Scale: 1:100 Project # 1719

Revision: May 4, 2018 1

Drawn by: **A2.01**

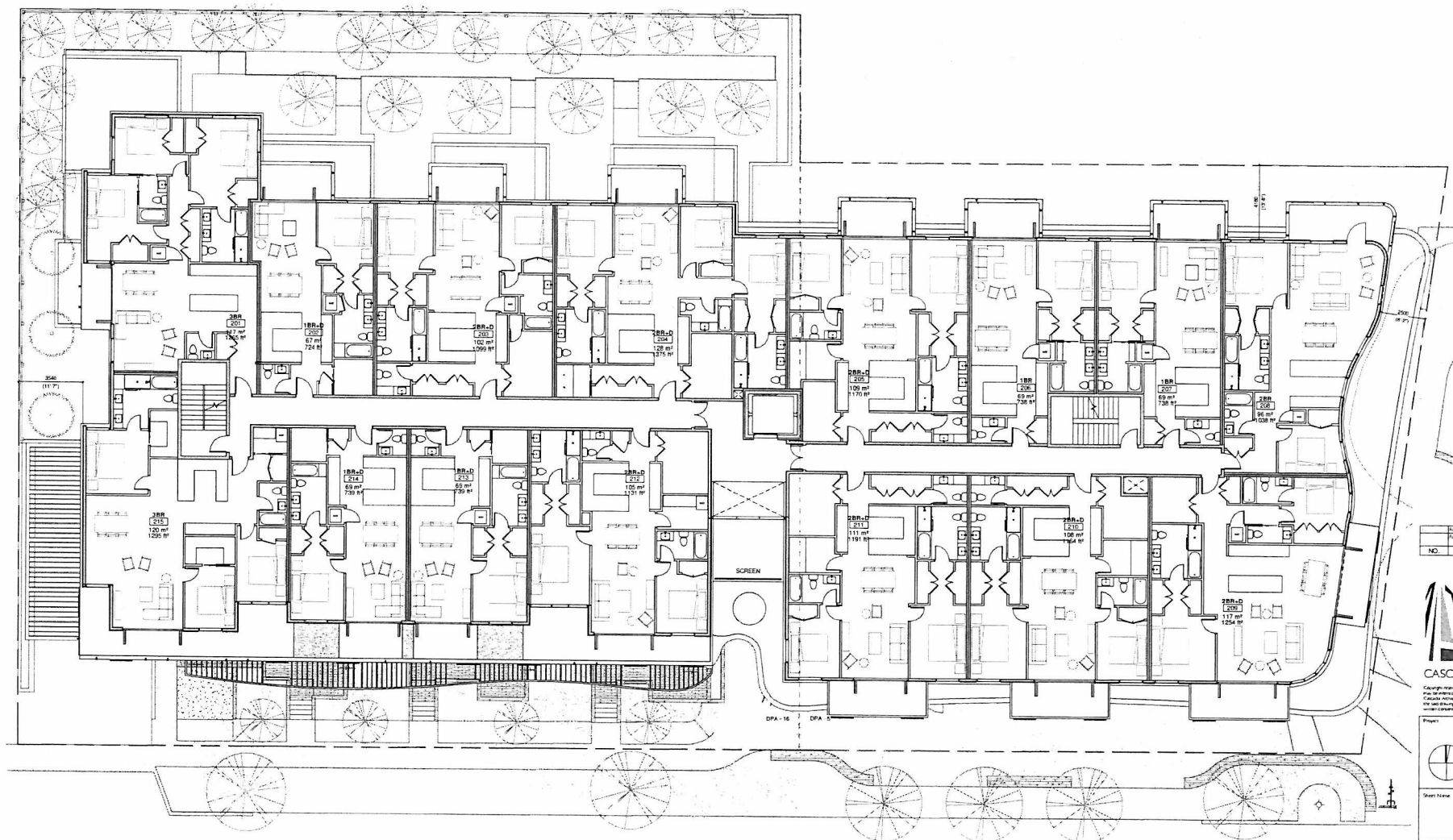
2018-10-04 10:45:47 AM

Received
City of Victoria

OCT 09 2019

Project: 1719 - 328 Cook Street

Drawn by: [Signature]



DPA - 5 AREA = 741.5 m²

DPA - 16 AREA = 892 m²

NO.	DESCRIPTION	DATE
1	Revised: 1	Oct 4, 2018
2	Revised: 2	October 11, 2018



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Project: Cook & Pendergast
Aragon Properties Ltd.
328 Cook Street

Sheet Name: Level 2

Date: October 7, 2019

Scale: 1 : 100 Project #: 1719

Revised: May 4, 2018

Sheet #: 1

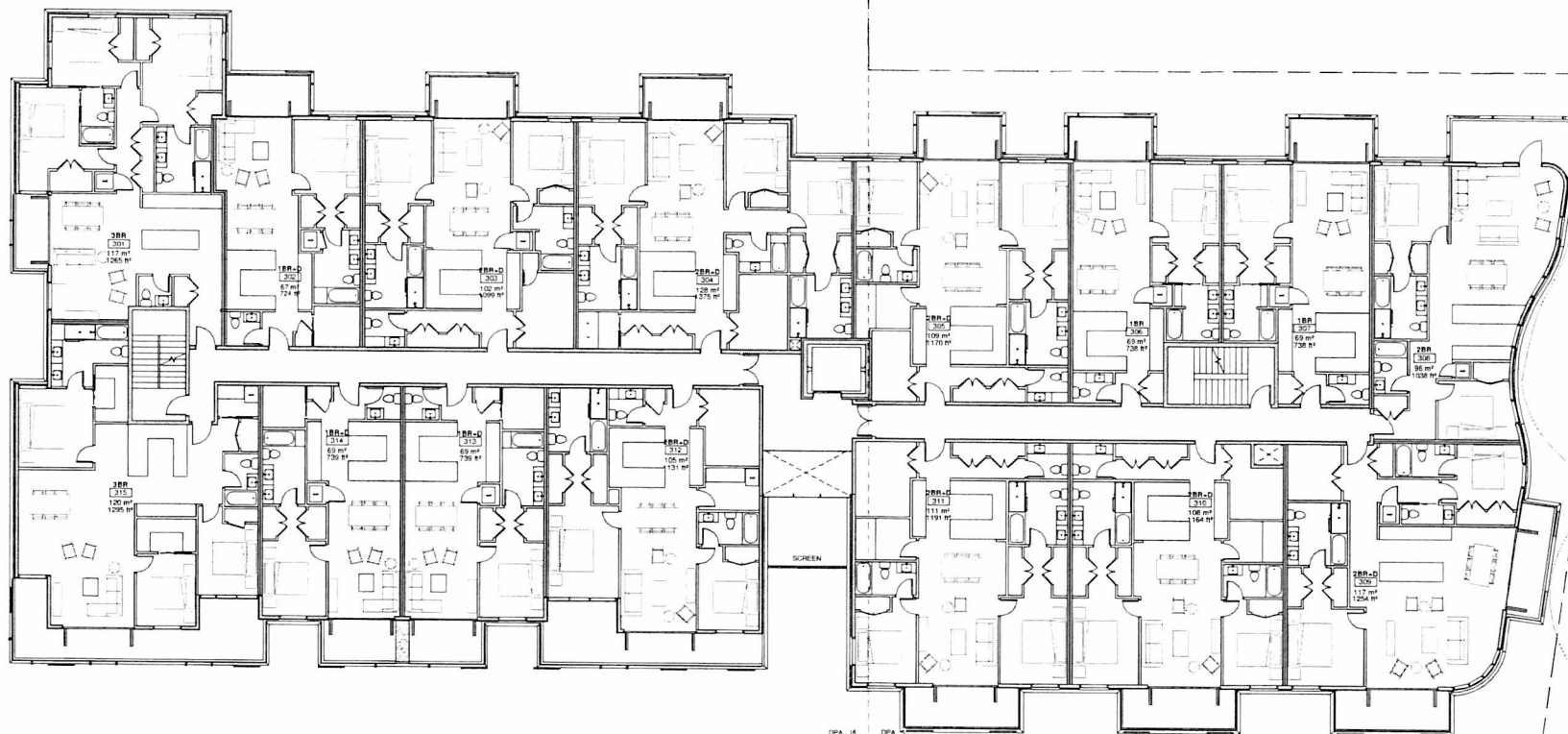
A2.02

2019-10-04 10:45:36 AM

Received
City of Victoria

OCT 09 2019

Planning & Development Department
Development Services Division



DPA - 16 DPA - 5

DPA - 5 AREA = 741.5 m²

DPA - 16 AREA = 892 m²

NO.	DESCRIPTION	DATE
1	Revision 1: Planning & Development Form	February 27, 2018



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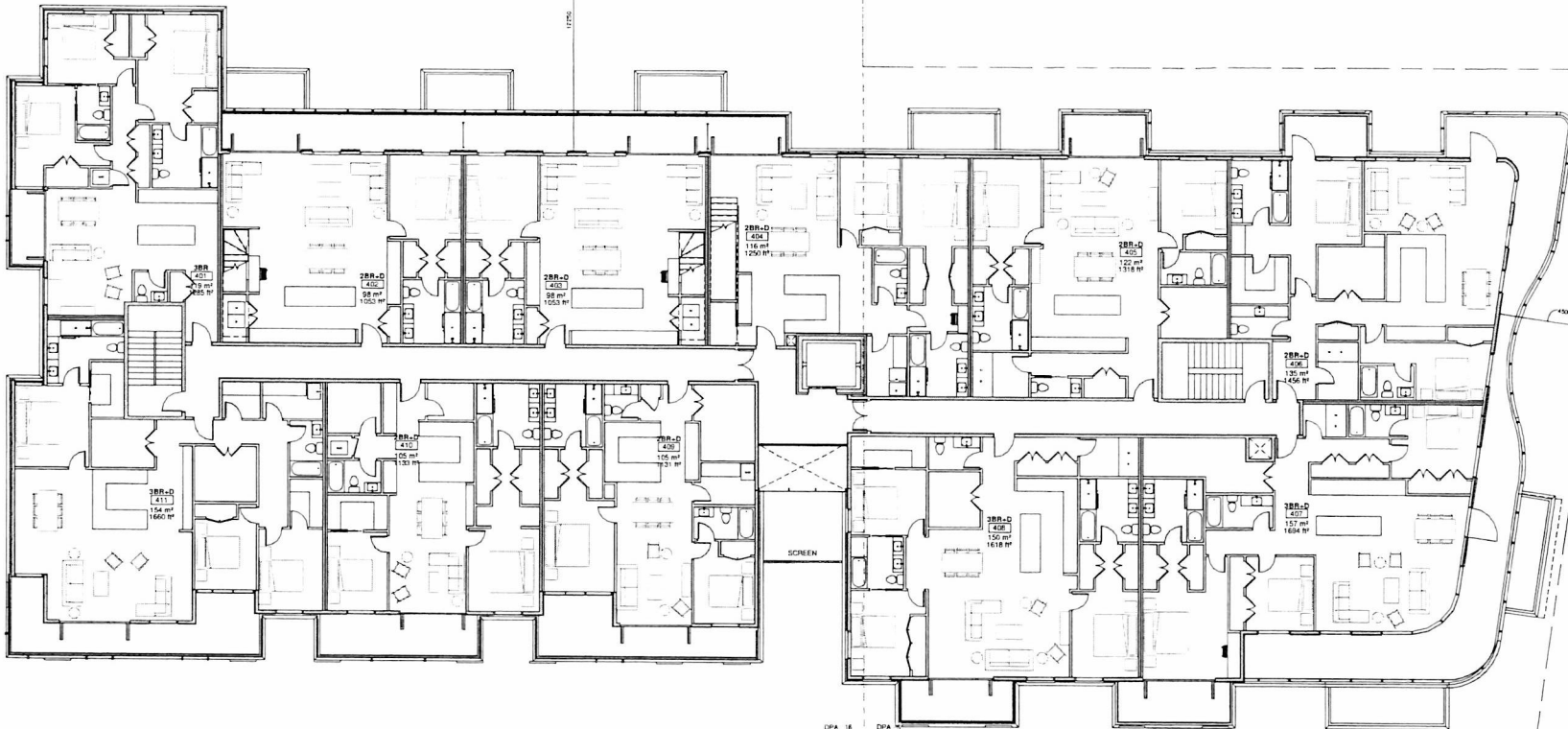
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Project	
Cook & Pendergast	
Aragon Properties Ltd. 328 Cook Street	
Sheet Name	Level 3
Date	October 7, 2019
Scale	1:100
Project #	1719
Revision	May 4, 2018
Sheet #	1
A2.03	

2018 10-04 10:48:02 AM

OCT 09 2019

Planning & Development Department
Development Services Division



NO.	DESCRIPTION	DATE
1	Revised	May 4, 2018
2	Revised	May 4, 2018
3	Revised	May 4, 2018
4	Revised	May 4, 2018
5	Revised	May 4, 2018
6	Revised	May 4, 2018
7	Revised	May 4, 2018
8	Revised	May 4, 2018
9	Revised	May 4, 2018
10	Revised	May 4, 2018
11	Revised	May 4, 2018
12	Revised	May 4, 2018
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16	Revised	May 4, 2018
17	Revised	May 4, 2018
18	Revised	May 4, 2018
19	Revised	May 4, 2018
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25	Revised	May 4, 2018
26	Revised	May 4, 2018
27	Revised	May 4, 2018
28	Revised	May 4, 2018
29	Revised	May 4, 2018
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31	Revised	May 4, 2018
32	Revised	May 4, 2018
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35	Revised	May 4, 2018
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41	Revised	May 4, 2018
42	Revised	May 4, 2018
43	Revised	May 4, 2018
44	Revised	May 4, 2018
45	Revised	May 4, 2018
46	Revised	May 4, 2018
47	Revised	May 4, 2018
48	Revised	May 4, 2018
49	Revised	May 4, 2018
50	Revised	May 4, 2018



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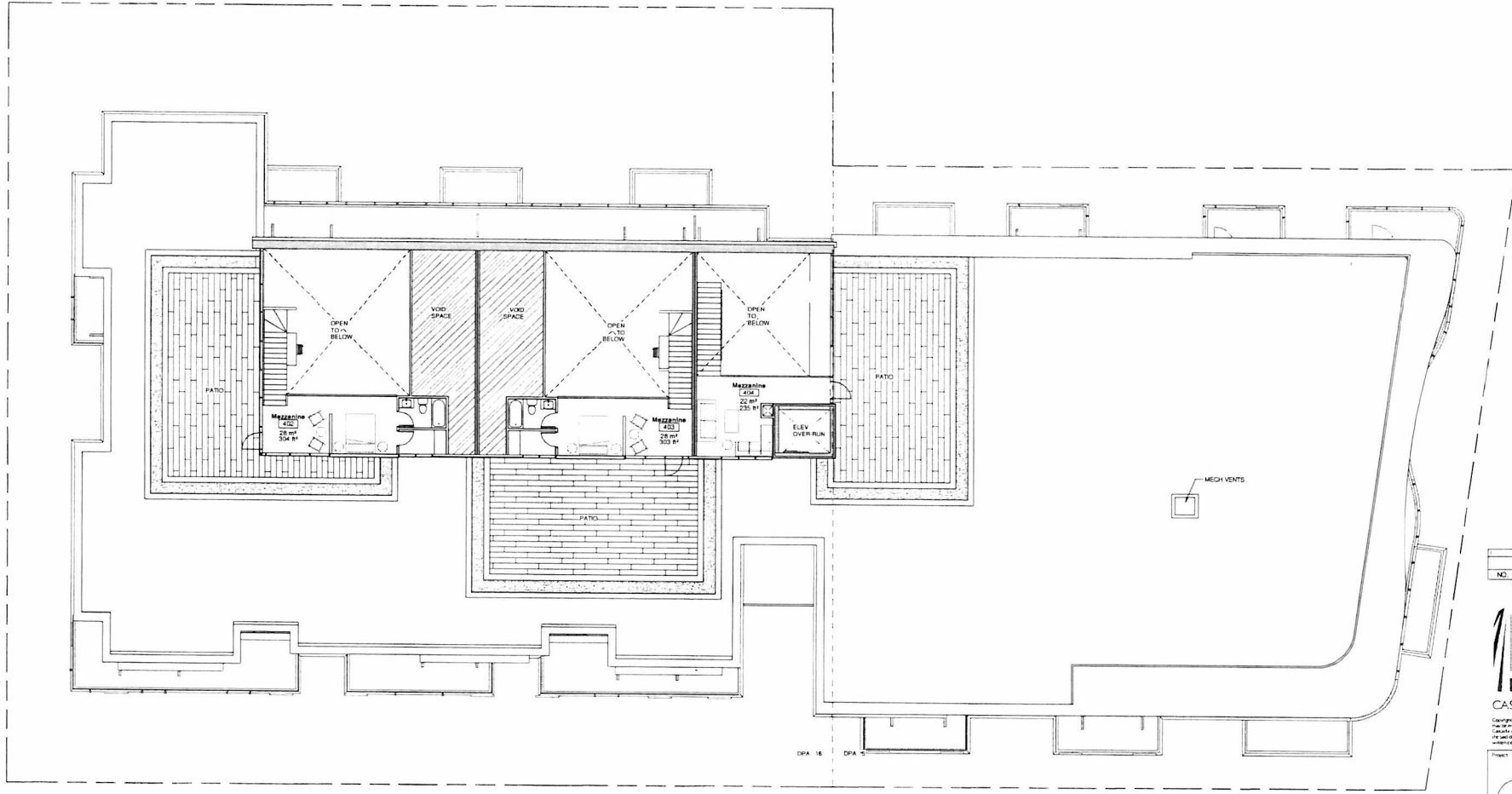
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Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Sheet Name Level 4	
Date October 7, 2019	
Scale 1:100	Project # 1719
Revision May 4, 2018	Sheet # 1
A2.04	

DPA - 5 AREA = 677 m²

DPA - 16 AREA = 847 m²

OCT 09 2019

Planning & Development Department
Development Services Branch



DPA - 16 AREA = 81 m²

NO.	DESCRIPTION	DATE
1	Revision 1	May 4, 2018
2	Revision 2	October 7, 2019



Cook & Pendergast

Aragon Properties Ltd
328 Cook Street

Sheet Name: **Roof Level**

Date: October 7, 2019

Scale: 1:100

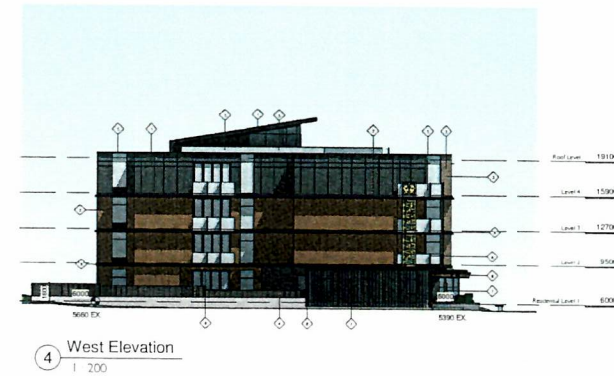
Project #: 1719

Revision: 1

May 4, 2018

A2.05

2019 10 04 10:45:10 AM



NO.	DESCRIPTION	DATE
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MATERIALS LEGEND	
1 CEMENTITIOUS PANEL CLADDING	7 CLEAR SEALED WOOD
2 WOOD FINISH BOARD CLADDING	8 PRE FINISHED METAL (CHARCOAL)
3 BRICK CLADDING	9 PERFORATED PRE FINISHED ALUMINUM
4 STONE CLADDING	10 SOLID PRE FINISHED ALUMINUM
5 GLASS	11 CONCRETE BLOCK
6 TAG CEDAR SOFFIT	12 PRE FINISHED STANDING SEAM METAL

Project Name	
Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Date	
October 7, 2019	
Scale	Project #
1/200	1719
Revision	Sheet #
	A3.00
2019-10-04 10:49 AM	

PROJECT NO. 17-0018
 OCT 29 2019
 Planning & Development Department
 1000 10th Avenue, Suite 1000



VIEW ALONG COOK STREET



VIEW ALONG PENDERGAST STREET



CORNER OF COOK STREET & PENDERGAST STREET



① Pendergast Street Elevation
1 : 300



② Cook Street Elevation
1 : 300

NO.	DESCRIPTION	DATE



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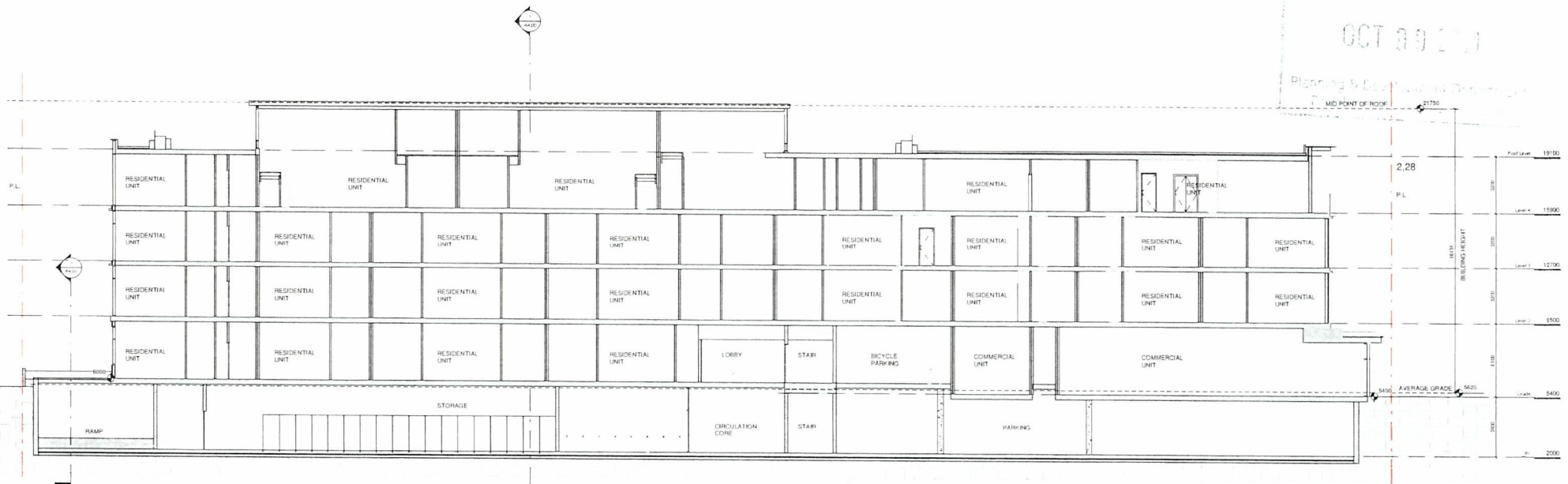
Licensed Professional Architect
 License No. 17-0018
 License Expires 12/31/2021
 License Issued 12/31/2019
 License Renewed 12/31/2020
 License Renewed 12/31/2021

Project	
Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Sheet Name	
Context Elevations	
Date	
October 7, 2019	
Scale	Project #
1 : 300	1719
Revision	Drawn By
	A3.01

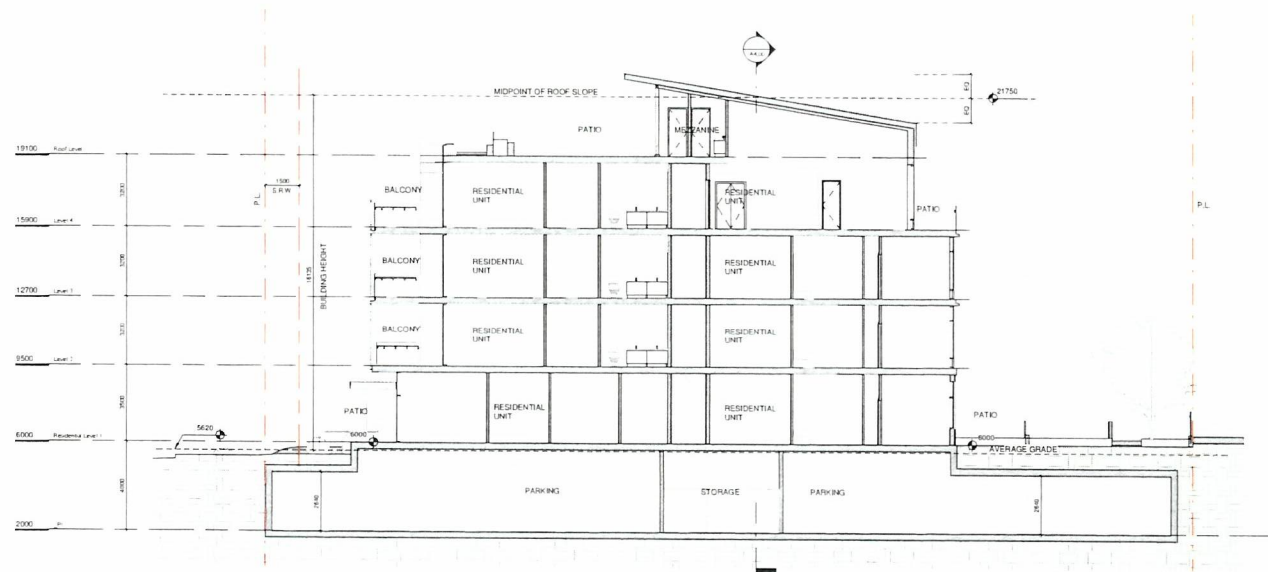
2019 10:04 10:00 11 AM

OCT 09 2019

Planning & Development Department



② Longitudinal Section
1-100



① Cross Section
1-100

Revision	Description	Date
1	Revised 2 & 3	10/09/2019
2	Revised 2 & 3	10/09/2019
3	Revised 2 & 3	10/09/2019



CASCADIA ARCHITECTS INC.

10/09/2019 10:00 AM 10/09/2019 10:00 AM

Project: 328 Cook Street

Client: Aragon Properties Ltd

328 Cook Street

Building Sections

Date: October 7, 2019

Scale: 1/100

Project #: 1719

Revision: 1

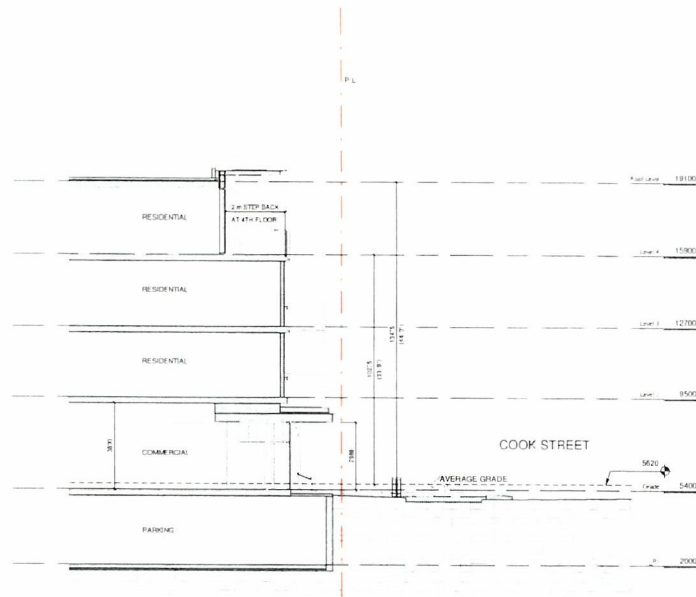
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A4.00

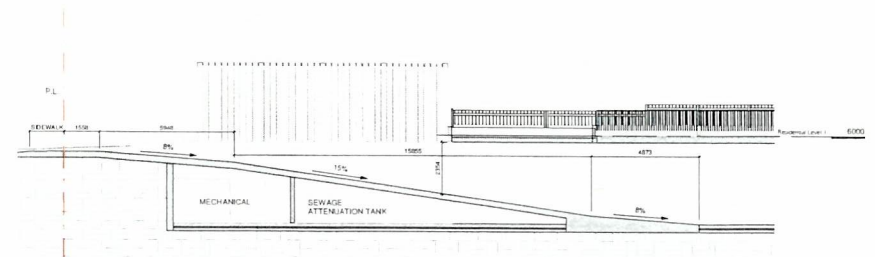
2019 10/09/2019 10:00 AM

OCT 09 2019

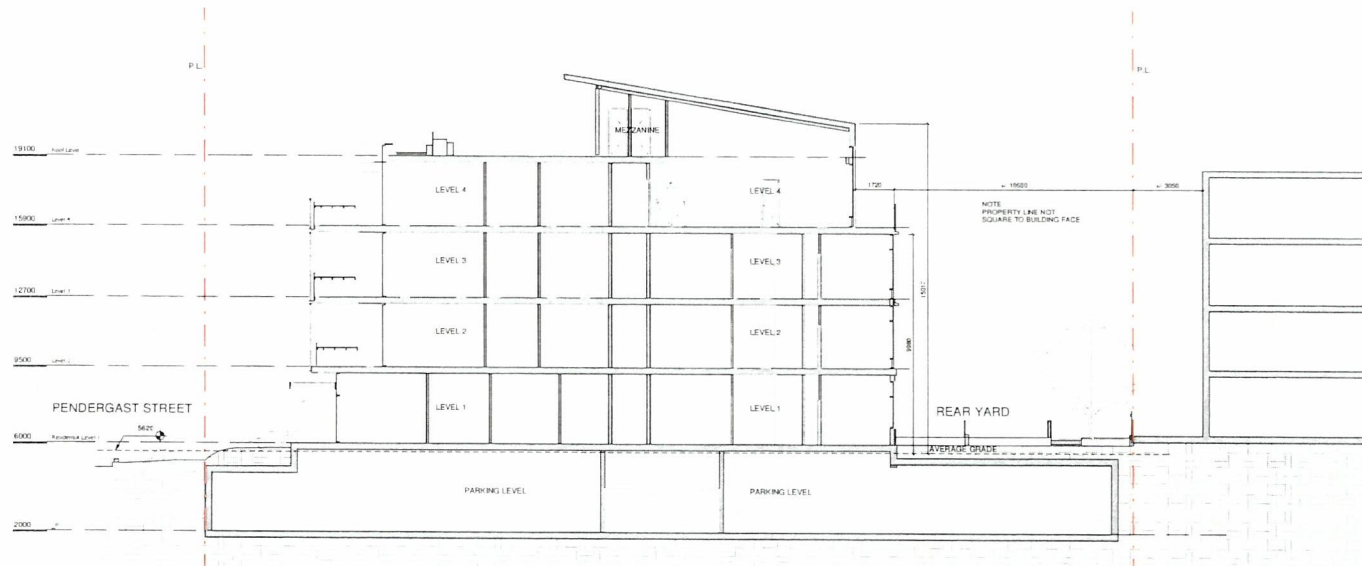
City of Victoria
Public Works Department
Engineering Services Unit



1 Cook Street Section
1:100



3 Parking Ramp
1:100



2 Site Cross Section
1:100

NO.	DESCRIPTION	DATE
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Project #		Cook & Pendergast	
Client		Aragon Properties Ltd 328 Cook Street	
Sheet Name		Context Sections	
Date		October 7, 2019	
Scale		1:100	
Revision		1719	
Author		A4.01	



VIEW FROM COOK & PENDERGAST



RESIDENTIAL ENTRANCE



BIRDSEYE VIEW LOOKING SOUTHEAST

Project #	1719
Planning & Development Form	Rev. 4-2018
NO.	DESCRIPTION
	DATE



Project #		Cook & Pendergast	
Client		Aragon Properties Ltd	
Date		October 7, 2019	
Scale		Project # 1719	
Revision		Rev. 4-2018	
Sheet #		A9.00	



PROJECT MATERIALS



STONE



BRICK

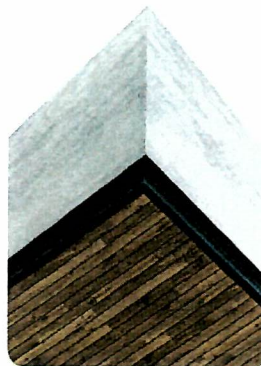


WOOD

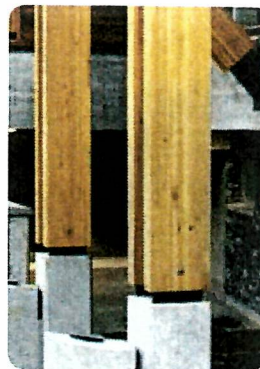


CEMENTITIOUS

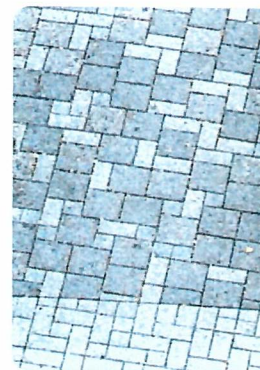
CLADDING



SOFFIT



TIMBER



PAVING



METAL

ACCENT

Revision & Description Form		Revision #
NO.	DESCRIPTION	DATE

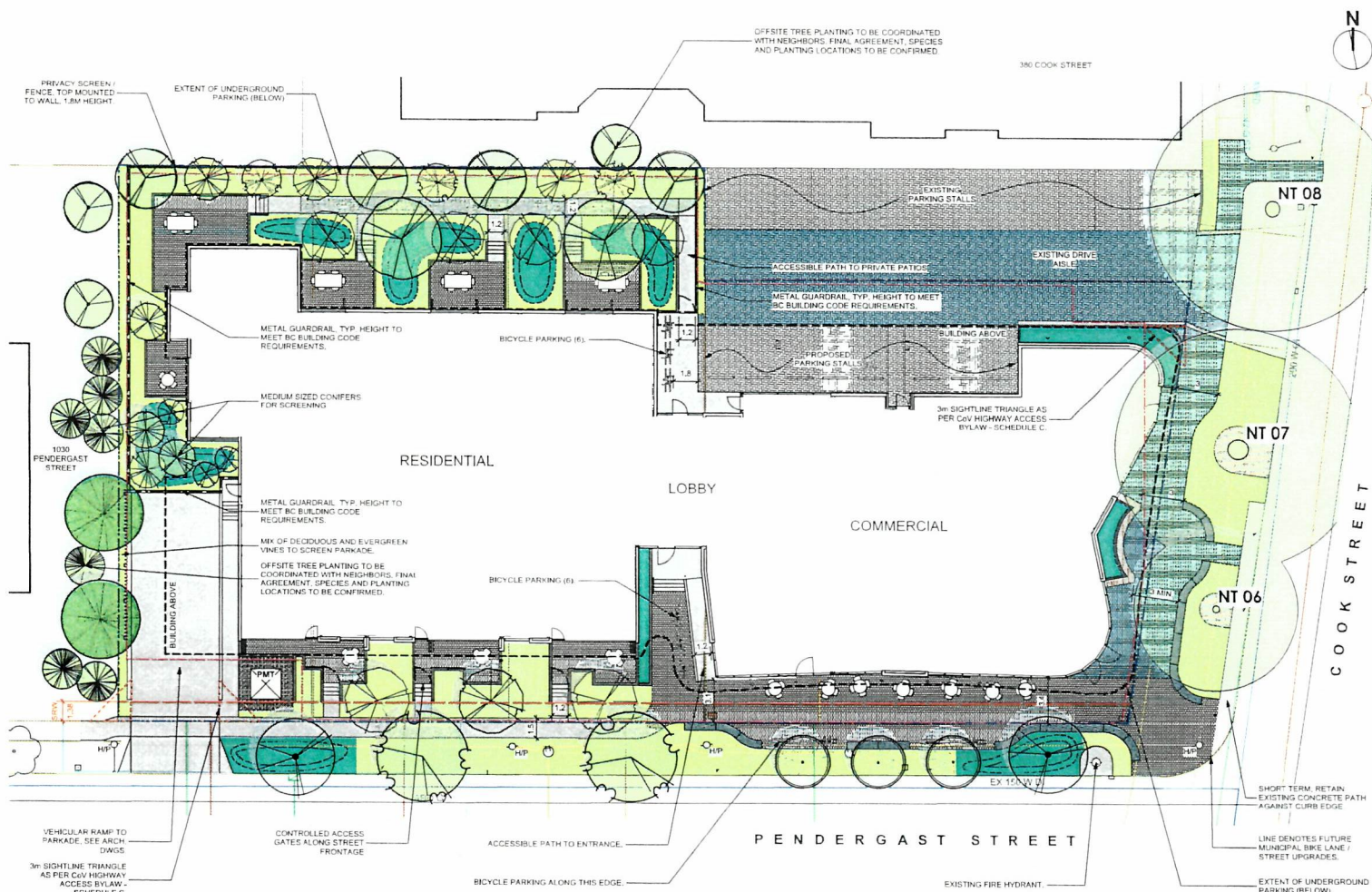


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Project:	
Cook & Pendergast	
Aragon Properties Ltd 328 Cook Street	
Sheet Name: Materials	
Date: October 7, 2019	
Alt:	Project #: 1719
	Revision:
	Sheet #: A9.01

2019 10 04 10:50:17 AM



LEGEND

Property line	Property line
Statutory Right of Way (SRW)	Statutory Right of Way (SRW)
Extent of Parkade (below) (reference only)	Extent of Parkade (below) (reference only)
Building Outline (above) (reference only)	Building Outline (above) (reference only)
Rain garden - TOP OF POOL	Rain garden - TOP OF POOL
Rain garden - BOTTOM OF POOL	Rain garden - BOTTOM OF POOL

EXISTING	PROPOSED
Storm drain	Storm drain
Sewer	Sewer
Water	Water
Electrical	Electrical
Gas	Gas

LANDSCAPE MATERIALS

Solid Fence, 1.8m height max., wood construction, top mounted to wall	Solid Fence, 1.8m height max., wood construction, top mounted to wall
Metal, vertical picket fence (height varies) or guardrail to BC Building Code requirements (for controlled access gate where indicated)	Metal, vertical picket fence (height varies) or guardrail to BC Building Code requirements (for controlled access gate where indicated)
Cast in Place Concrete Wall, height varies	Cast in Place Concrete Wall, height varies
Pedestrian Uni Paving	Pedestrian Uni Paving
Old-Country style pavers by Abbotsford Concrete, Running bond pattern, Colour Desert Sand	Old-Country style pavers by Abbotsford Concrete, Running bond pattern, Colour Desert Sand
Regular Pavers	Regular Pavers
Vehicle Uni Paving	Vehicle Uni Paving
Variant Cable style pavers by Abbotsford Concrete, Repeating random pattern as per mfr. Colour Granite Blend	Variant Cable style pavers by Abbotsford Concrete, Repeating random pattern as per mfr. Colour Granite Blend
Cast in place concrete paving	Cast in place concrete paving
Granular Path	Granular Path
Ornamental Planting Area	Ornamental Planting Area
Rain Garden Area	Rain Garden Area

3	RZOP Rev. 2	07 OCT 2018
2	RZOP Rev. 1	04 MAY 2018
1	RZOP	27 FEB 2018
rev no	description	date

LANDSCAPE FURNISHINGS

Custom Seating Bench	Custom Seating Bench
Modular Street Furniture Elements	Modular Street Furniture Elements
Bike Rack (2 bike capacity)	Bike Rack (2 bike capacity)

EXISTING TREE SUMMARY

Existing Trees Retained	Existing Trees Retained
Existing Bylaw Protected Trees Retained (3)	Existing Bylaw Protected Trees Retained (3)
Refer L1.02 Tree Retention and Removal Plan for additional information	Refer L1.02 Tree Retention and Removal Plan for additional information

IRRIGATION AND LIGHTING NOTES

- Contractor to install irrigation system around existing trees, to limit disturbance to root systems.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area and shall have ends marked above grade unless otherwise shown.
- Amount to address sleeving of irrigation lines in protected root zone (PRZ) of existing trees.
- Placement of electrical conduit through site to be coordinated with architect.
- Amount to be onsite and supervise all excavation/ trenching within PRZ of retained trees.

DRAWING NOTES

- DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall have precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters and green roofs to current SABC Standards and Control Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultants of all landscape as-built information including irrigation.
- Tree protection fencing for existing trees, to be installed prior to commencement of all site work.



EXEMPLARY MODULAR STREET FURNITURE ELEMENTS



EXEMPLARY CUSTOM STREET FURNITURE ELEMENT



ON STREET RAIN GARDEN



STREET TREES IN TREE GRATES



VEHICULAR PERMEABLE PAVING EXAMPLE

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NOT FOR CONSTRUCTION



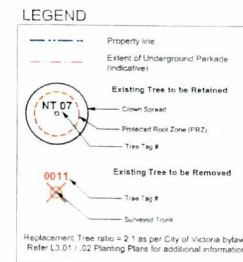
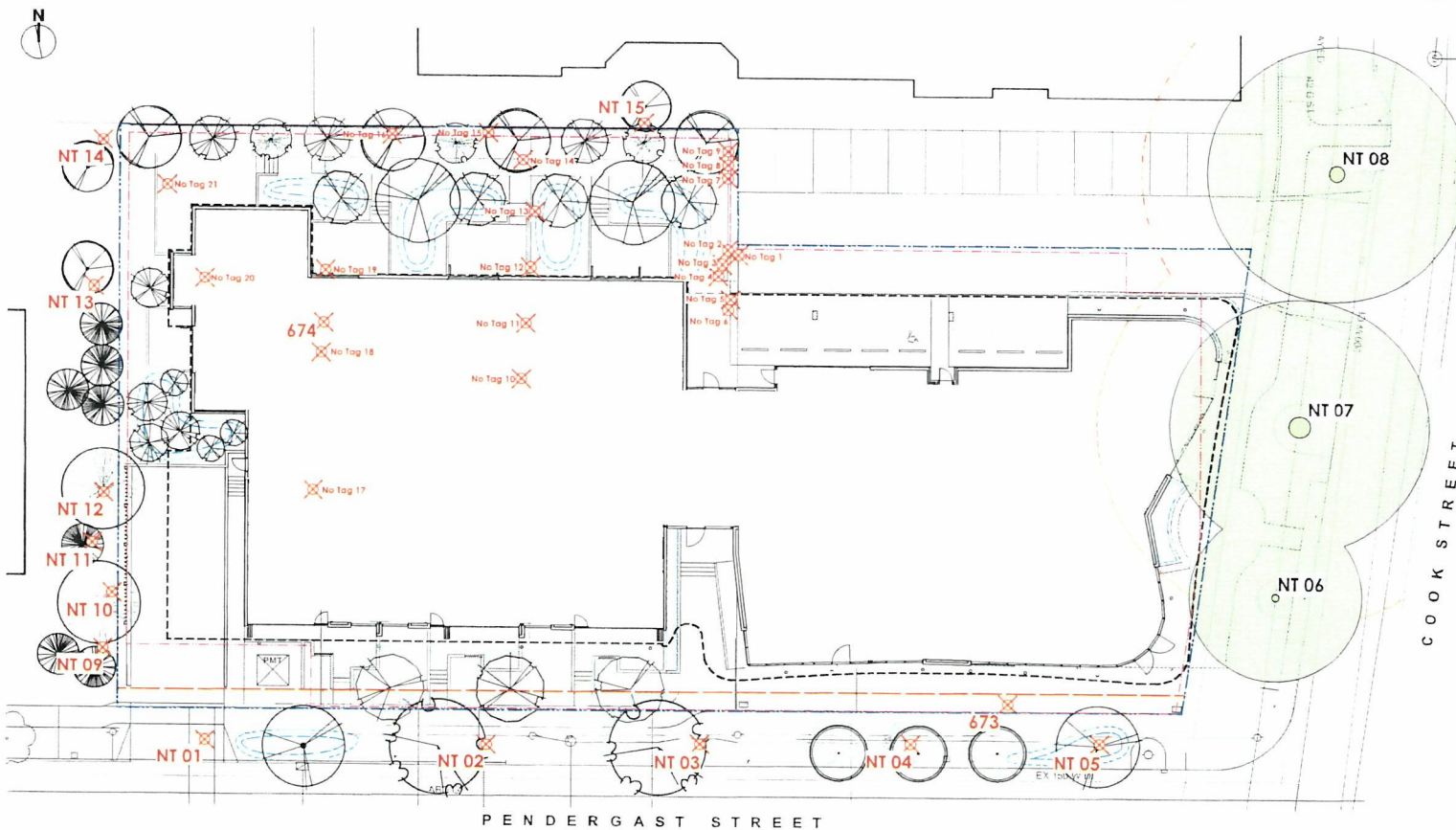
client
ARAGON PROPERTIES LTD.
201-1628 WEST 1ST AVENUE
VANCOUVER BC

project
328 COOK STREET
324/238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

sheet title
Landscape Materials
Plan

project no.	11728
scale	1:150 @ 24" x 36"
drawn by	MDI
checked by	SMPSG
revision no.	sheet no.
3	L1.01

Revised
City of Victoria
OCT 09 2018
Planning & Development
Development Services Division



EXISTING TREE SUMMARY

- Existing Condition: 38 trees on development lands bordering neighboring properties and interfacing municipal road R.O.W's.
- Retention of 3 Horse Chestnut Trees on Cook Street and removal 35 other trees. Removed trees include: 23 trees within development lands, 2 of which are Bylaw Protected. 7 neighbouring trees in close proximity to property lines and 5 municipal Cherry trees on Pendergast Street.
- Total trees post development is 47. This includes retention of the 3 Horse Chestnut trees and planting of 44 new trees (12 of which are proposed on neighboring properties).

TREE STATEMENT

Many of the subject existing trees relating to this development that are proposed to be removed are a mixture of self-seeded trees, remnants of an over mature Leyland Cypress hedge and/or other limited landscape amenity.

Proposed new tree plantings will aim to re-establish a healthier urban biodiversity, increase species diversity and offer better habitat value. Part of our tree planting strategy is to aim for generous soil volume allocation for each tree with a goal of increasing the urban forestry canopy over time. The design team's intentions will be guided by the City of Victoria's (COV) Urban Forestry Strategy. Trees in the streetscape will be selected in consultation with COV Plans staff.

Protection measures are being proposed to assist with the retention of the 3 Horse Chestnut Trees on Cook Street. This includes the installation of permeable paving installed on top of existing subgrade within the critical root zone (CRZ) areas. In addition, the new sidewalk alignment is setback from its current location allowing for more soil volume and less root flare encroachment. Pockets of low plantings are proposed within the understorey which will also limit foot traffic disturbance (soil compaction) within the CRZ areas.

NOT FOR CONSTRUCTION

Rev No	Description	Date
3	RZDP Rev. 2	07 OCT 2019
2	RZDP Rev. 1	04 MAY 2018
1	RZDP	27 FEB 2018



client
ARAGON PROPERTIES LTD.
324/238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

project
328 COOK STREET
324/238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

sheet title
Tree Retention and
Removal Plan

project no.	117.28
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM/PG
revision no.	sheet no.
	L1.02

EXISTING TREE INVENTORY

Based on Construction Impact & Tree Preservation Plan Report from Talbot Mackenzie & Associates, dated November 10, 2017. Refer to Arborist Report for details on tree conditions and Arborist recommendations. No Tag trees based on Murdoch de Greeff field inventory work.

RETAINED TREES

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
NT 06*	51	6.0	Aspidosiphonaceae, Horsechest Nut	12.0
NT 07*	118	14.0	Aspidosiphonaceae, Horsechest Nut	18.0
NT 08*	112	13.8	Aspidosiphonaceae, Horsechest Nut	18.0

TOTAL TREES TO BE RETAINED: 3

BYLAW PROTECTED TREES REMOVED

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
674	61	5.0	Thalictrum Western Red Cedar	12.0
673	56, 52, 52, 52	10.0	Prunus pennsylvanica, Purple Leaf Plum	12.0

BYLAW PROTECTED TREES TO BE REMOVED: 2

OTHER TREES REMOVED

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
NT 01*	29	3.5	Prunus spp., Cherry	6.0
NT 02*	17	2.0	Prunus spp., Cherry	4.0
NT 03*	35	4.0	Prunus spp., Cherry	10.0
NT 04*	19	2.0	Prunus spp., Cherry	4.0
NT 05*	15	2.0	Prunus spp., Cherry	4.0
NT 09*	20	15	Nex aquilum, Holly	5.0
NT 10*	55	8.5	Thalictrum Western Red Cedar	10.0
NT 11*	57	7.0	Chamaecyparis lawsoniana, Lawson Cypress	8.0
NT 12*	58	7.0	Cupressus x leylandii, Leyland Cypress	12.0
NT 13*	20	2.0	Prunus spp., Cherry	8.0
NT 14*	35	4.0	Malus spp., Apple	8.0
NT 15*	40	5.0	Prunus spp., Cherry	10.0

TREE TAG #	DBH (cm)	PRZ (radius in m)	SPECIES	CROWN SPREAD (m)
No Tag 1	-	-	Prunus spp., Cherry	-
No Tag 2	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 3	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 4	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 5	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 6	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 7	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 8	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 9	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 10	-	-	Fraxinus spp., Ash spp.	-
No Tag 11	-	-	Laburnum spp., Golden Chain Tree	-
No Tag 12	-	-	Fraxinus spp., Ash spp.	-
No Tag 13	-	-	Fraxinus spp., Ash spp.	-
No Tag 14	-	-	Fraxinus spp., Ash spp.	-
No Tag 15	-	-	Fraxinus spp., Ash spp.	-
No Tag 16	-	-	Prunus spp., Cherry	-
No Tag 17	-	-	Cedrus spp., Cedar cultivar	-
No Tag 18	-	-	Crataegus spp., Hawthorne spp.	-
No Tag 19	-	-	Prunus spp., Cherry	-
No Tag 20	-	-	Cupressus x leylandii, Leyland Cypress	-
No Tag 21	-	-	Fraxinus spp., Ash spp.	-

OTHER TREES TO BE REMOVED: 33

TOTAL TREES TO BE REMOVED: 35

Bylaw protected trees are shown underlined

* Offsite trees with PRZ extending into the project site.

NEW TREES ONSITE: 32

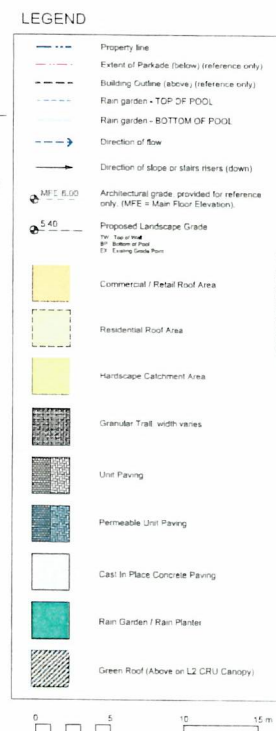
NEW TREES ON NEIGHBORING PROPERTIES: 12

TOTAL NEW TREES: 44

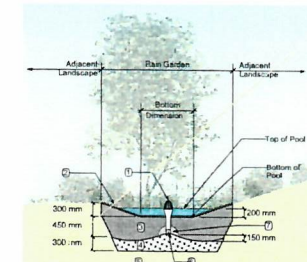
RECEIVED
City of Victoria

OCT 09 2019

Planning & Development Department
Development Services Division



PERMEABLE PAVING IN AREAS
— WITHIN PROTECTED ROOT ZONES
OF EXISTING TREES.



RAIN GARDEN MATERIALS

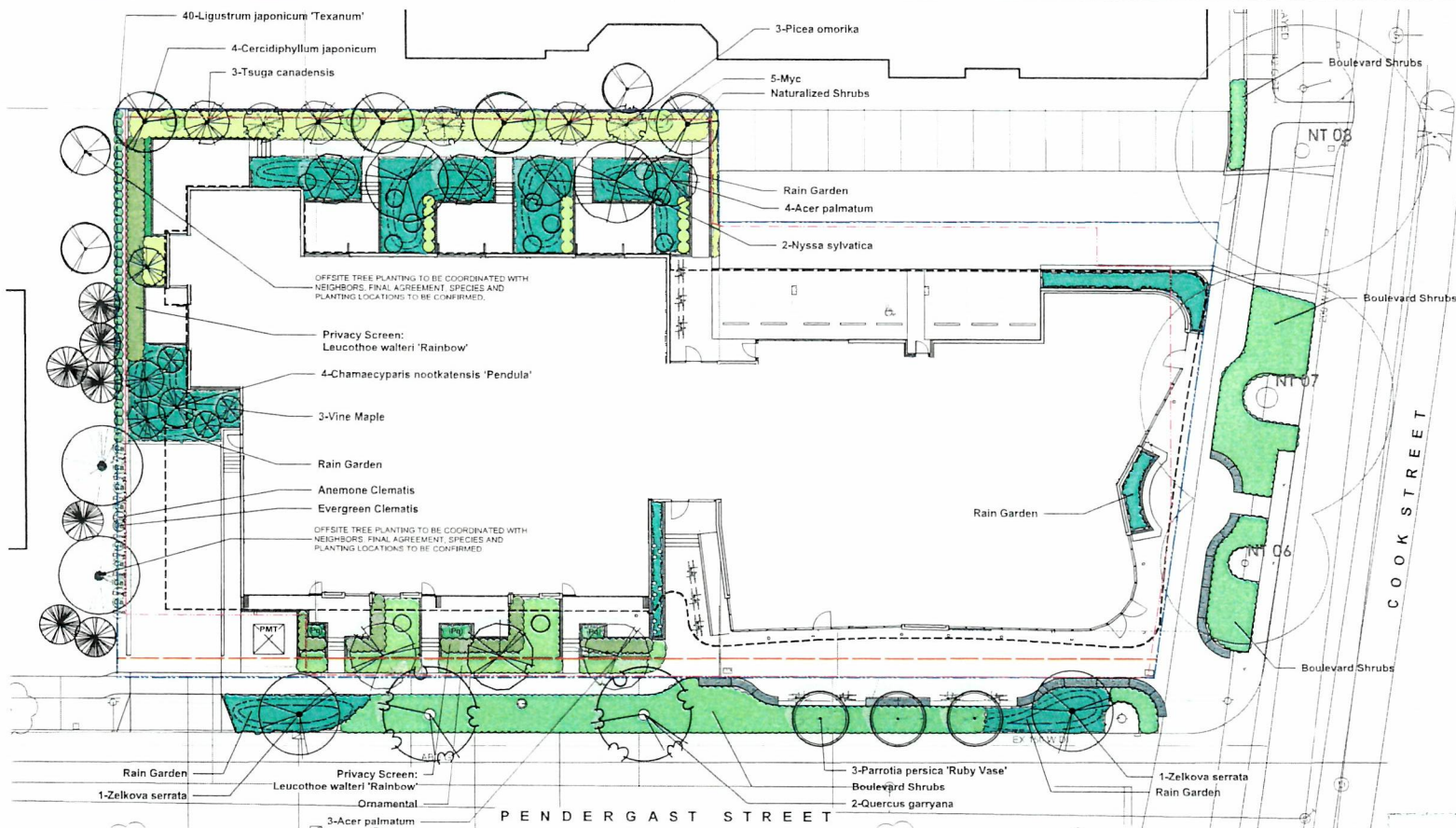
1. Overflow drain: 200 mm domed grate + adapter
2. Composted mulch: 50–70 mm depth
3. Bio-retention growing medium: 450 mm depth
4. Scarified/shredded subgrade: 300 mm depth
5. Existing subgrade/retention material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock: 100 mm depth

1 Typical Rain Garden Detail
Scale: 1:50

A Green Roof is proposed for the L2 CRU canopy roof area. Total green roof area is 120sq. m, which is approximately 5% of the total site area.

1. ALL ELEVATIONS ARE IN METRES.
2. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON THE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3. REFER TO PLUMBING AND MECHANICAL SCHEDULES AND LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL ROAD AND AIRPORT DRAINAGE. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. CONSULT ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD SURFACES TO DRAINAGE. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.

- DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Contractor to obtain all necessary permits and follow all applicable local, provincial or federal safety procedures over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of work.
- Provide Informed Consent for approval by Landscape Architect prior to commencing work.
- Contractor to provide irrigation system for all plants and green roofs to current IBRC Standards and Contract Specifications.
- Contractor installation to carry a 1 year warranty from date of acceptance.
- Plant material installation and maintenance to conform to the current standards of the Canadian Horticultural Council.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape construction information including drawings and photographs.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



Sym	Qty	Botanical Name	Common Name	Spd. Size / Plant Spacing
TREES				
3	1	Acer palmatum	Vine Maple	3.0m H, 3.0m cal. (3 trunk)
7	1	Acer palmatum	Japanese Maple	3.0m H, 3.0m cal.
4	1	Cercidiphyllum japonicum	Katsura Tree	5.0m cal. b&b
4	1	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	5.0m H
2	1	Nyssa sylvatica	Tupelo	5.0m cal. b&b
3	1	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Ironwood	5.0m cal. b&b
3	1	Picea omorika	Siberian Spruce	4.0m H
2	1	Quercus garryana	Garry Oak	5.0m cal. b&b
3	1	Tsuga canadensis	Canadian Hemlock	5.0m H
2	1	Zelkova serrata	Japanese Zelkova	5.0m cal. b&b
ORNAMENTAL				
Br	17	Brachyglottis 'sunshine'	Brachyglottis 'sunshine'	#3 pot
Ch	15	Choysa lemanii	Mexican Orange	#2 pot
Cl	28	Catalpa baccata	River Tree	#2 pot
Hb	38	Helleborus	Tiger's Paw	#1 pot
Lf	99	Leucothoe walteri 'Rainbow'	Rainbow Leucothoe	#3 pot
Lj	40	Ligustrum japonicum 'Texanum'	Waxleaf Privet	#3 pot
My	5	Myrica californica	Pacific Wax Myrtle	#3 pot
Pc	34	Prostanthera cuneata	Mini Bush	#1 pot
Rh	12	Rhododendron spp.	Large Rhododendron	Min 5' H, b&b
PERENNIALS & VINES				
Ca	9	Clematis armandi	Evergreen Clematis	#2 pot
Cm	9	Clematis montana 'Elizabeth'	Anemone Clematis	#2 pot
Hd	8	Hemerocallis 'Stella de Oro'	Dwarf Yellow Daylily	#1 pot
Lp	9	Lonicera spicata	Solent Gay/leather	#1 pot
Ln	8	Lonicera muscari	Lily Leaf	#1 pot
Pc	3	Parthenocissus quinquefolia	Virginia Creeper	#2 pot
Rt	9	Rubus idaeus	Black-Eyed Susan	#1 pot

NATURALIZED				
Csc	14	Cornus sericea	Red-twig Dogwood	#1 pot
Lp	7	Lonicera spicata	Privet Honey-suckle	#2 pot
Ma	20	Malva aquilum	Orange Grape	#2 pot
Pc	2	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	#1 pot
Pm	21	Polystichum munitum	Sweet Fern	#1 pot
Rh	5	Ribes sanguineum	Red Flowering Currant	#3 pot
Sa	18	Symphoricarpos alba	Snowberry	#1 pot
RAIN GARDEN				
Al	44	Athyrium filix-femina var. cyclocladum	Northwestern Lady Fern	#1 pot
Cm	30	Carex muscicola 'Ice Dance'	Japanese Sedge Grass	Sp3
Cc	241	Carex obovata	Slosh Sedge	#1 pot
Ctp	49	Carex testacea 'Prince of Wales'	Prince of Wales Sedge	Sp3
Ga	74	Gaultheria shallon	Salal	#1 pot
H	83	Hebe spicata	Soft Common Rush	Sp3
Lj	49	Lonicera 'Garden's Grey'	Soft Common Rush	#1 pot
Ln	49	Lonicera muscari	Lily Leaf	#1 pot
Ma	9	Malva aquilum	Orange Grape	#2 pot
Pm	27	Polystichum munitum	Sweet Fern	#1 pot
Soc	21	Schizanthus coccinea 'Oregon Sunset'	Common Flag	#1 pot
Uo	10	Urtica dioica 'Thunderbolt'	Evergreen Huckleberry	#3 pot
Vo	9	Veronica bonariensis	Tall Veronica	#1 pot
BOULEVARD				
Br	43	Brachyglottis 'sunshine'	Brachyglottis 'sunshine'	#3 pot
Cs	45	Cistus salvifolius	Sageleaf Rock Rose	#1 pot
Lp	65	Lonicera spicata	Privet Honey-suckle	#2 pot
BOULEVARD RAIN GARDEN				
Jag	155	Juncus 'Garden's Grey'	Soft Common Rush	Sp3
Lp	10	Lonicera spicata	Privet Honey-suckle	#2 pot

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Offsite trees in municipal lands to be coordinated with City of Victoria Parks staff for species, size, and final planting locations, prior to planting.
- (4) proposed trees will be designated as bylaw-protected trees. This will be shown on the Building Permit drawings.

DRAWING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters and green roofs to current IBC Standards and Contract Specifications.
- Landscaping installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing for existing trees to be installed prior to commencement of all site work.



NOT FOR CONSTRUCTION

Rev No	Description	Date
3	RZOP Rev. 2	07 OCT 2019
2	RZOP Rev. 1	04 MAY 2018
1	RZOP	27 FEB 2018

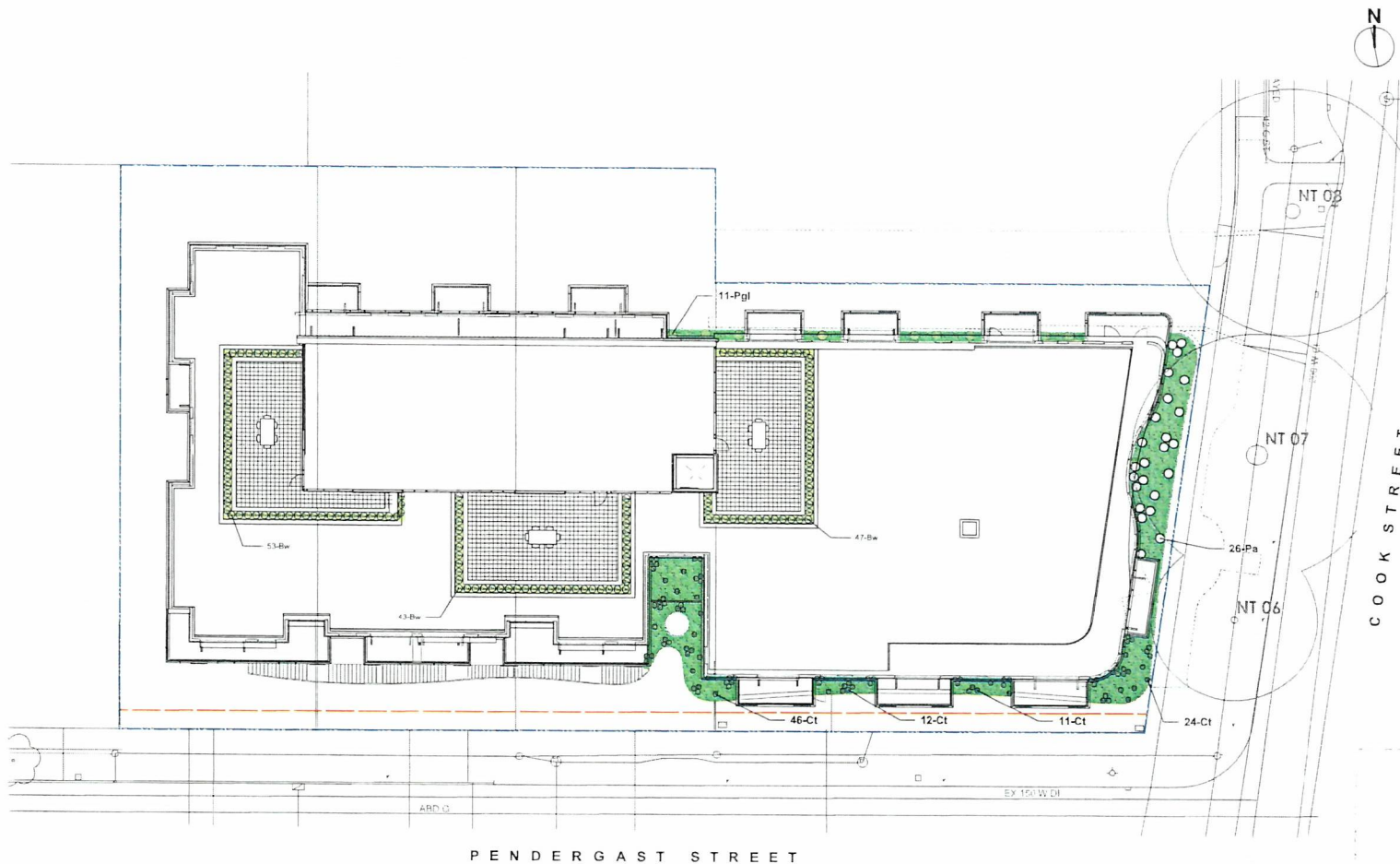


client
ARAGON PROPERTIES LTD.
201-1028 WEST 1ST AVENUE
VANCOUVER, BC

project
328 COOK STREET
324/238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

sheet title
Planting Plan and
Plant List

project no.	11728
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SMFG
revision no.	3
sheet no.	L3.01



LEGEND	
---	Property line
LANDSCAPE MATERIALS	
	Unit Paving, HydroPressed slab on pedestals, Texas style pavers by Abbotsford Concrete, Colour: Charcoal
	Ornamental Planting Area
	Green Roof (L2 CRU Canopy)
	Extensive Green Roof Area - Prevegetated mat system over 100 mm depth growing medium, irrigated with drip OR spray head irrigation. Temporary establishment irrigation may be required.

NOT FOR CONSTRUCTION

rev no	description	date
3	RZDP Rev. 2	07 OCT 2019
2	RZDP Rev. 1	04 MAY 2018
1	RZDP	27 FEB 2018



client
ARAGON PROPERTIES LTD.
201-1628 WEST 1ST AVENUE
VANCOUVER, BC

project
328 COOK STREET
324/238 COOK STREET &
1044-1054 PENDERGAST
STREET
VICTORIA, BC

sheet title
Roof and Rooftop
Landscape and
Planting Plan

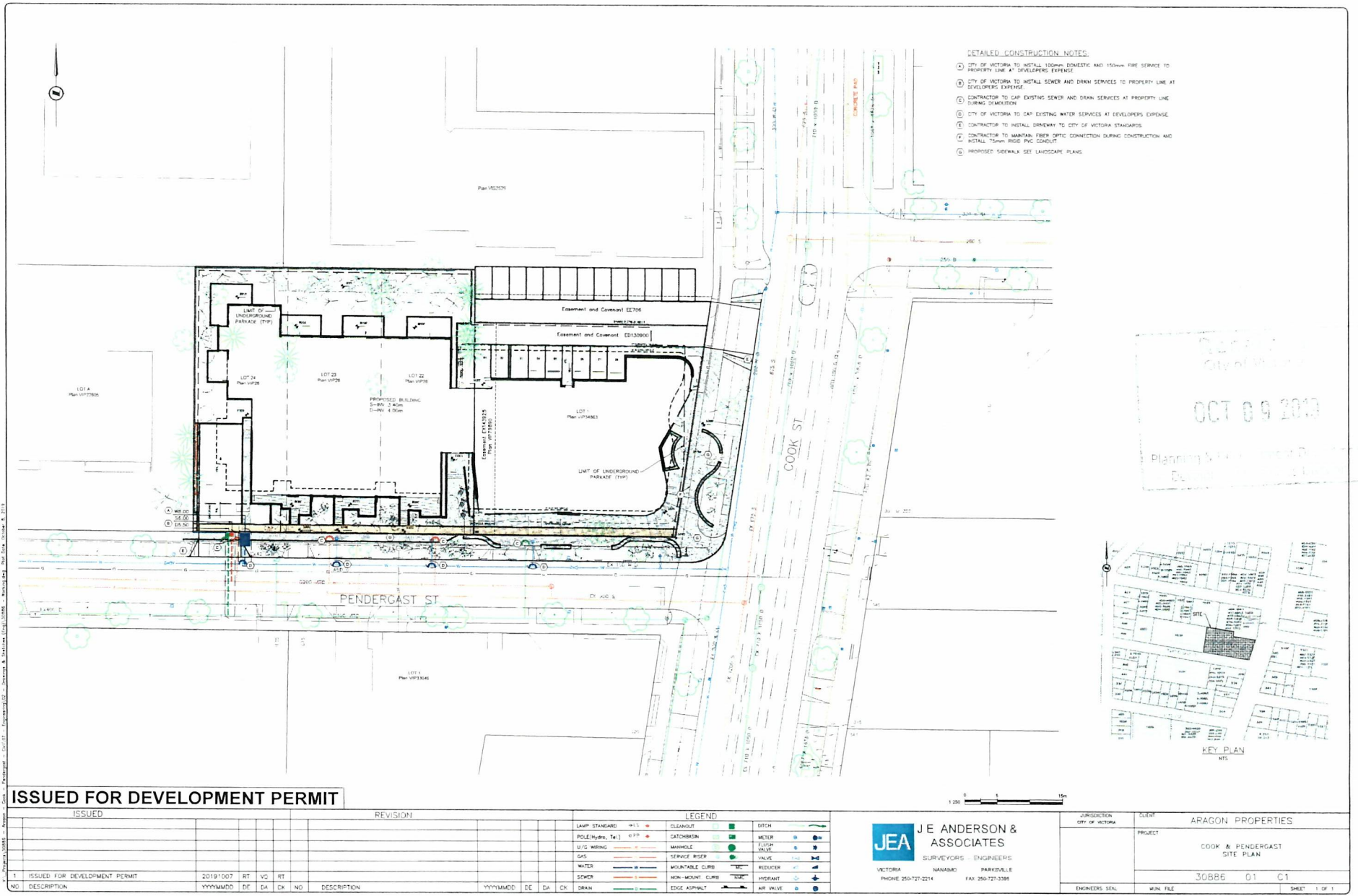
project no.	117.28
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SAMPAG

revision no. sheet no.
3 L3.02

PLANT LIST - GREEN ROOF AND ROOF TERRACES			
Sym	Qty	Botanical Name	Common Name
Bw	143	<i>Buxus microphylla</i> Winter Gem	Littleleaf Boxwood
Ct	81	<i>Carex testacea</i>	Orange Sedge
Pa	26	<i>Penstemon alpestris</i> Harebell	Mountain Grass
Pgl	11	<i>Polystichum glycymeris</i>	Licorice Fern
			Sch. Size / Plant Spacing
			#1 pot
			#1 pot
			#1 pot
			Sp3

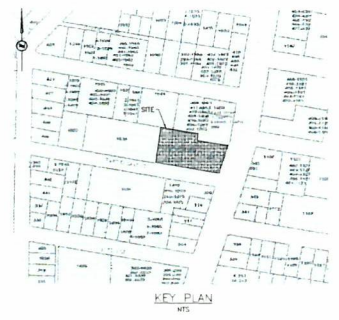
PLANTING NOTES
1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
2. Green roof to be proprietary sedum mat system interspersed with grass species, ferns and bulbs.

DRAWING NOTES
1. DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities for Plants shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters and green roofs to current BABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



- DETAILED CONSTRUCTION NOTES:**
- 1. CITY OF VICTORIA TO INSTALL 150mm DOMESTIC AND 150mm FIRE SERVICE TO PROPERTY LINE AT DEVELOPER'S EXPENSE.
 - 2. CITY OF VICTORIA TO INSTALL SEWER AND DRAIN SERVICES TO PROPERTY LINE AT DEVELOPER'S EXPENSE.
 - 3. CONTRACTOR TO CAP EXISTING SEWER AND DRAIN SERVICES AT PROPERTY LINE DURING DEMOLITION.
 - 4. CITY OF VICTORIA TO CAP EXISTING WATER SERVICES AT DEVELOPER'S EXPENSE.
 - 5. CONTRACTOR TO INSTALL DRIVEWAY TO CITY OF VICTORIA STANDARDS.
 - 6. CONTRACTOR TO MAINTAIN FIBER OPTIC CONNECTION DURING CONSTRUCTION AND INSTALL 75mm RISE PVC CONDUIT.
 - 7. PROPOSED SIDEWALK SEE LANDSCAPE PLANS.

City of Victoria
OCT 09 2013
Planning & Development Department
Development Services Unit



ISSUED FOR DEVELOPMENT PERMIT

ISSUED					REVISION				
NO	DESCRIPTION	DATE	BY	CHK	NO	DESCRIPTION	DATE	BY	CHK
1	ISSUED FOR DEVELOPMENT PERMIT	2019/10/07	RT	VC	RT				

LEGEND	
LAMP STANDARD	4x4
POLY(Hydr, Te)	4x4
UTG WIRING	4x4
GAS	4x4
WATER	4x4
SEWER	4x4
DRAIN	4x4
CLEARCUT	4x4
CATCHBASIN	4x4
MANHOLE	4x4
SERVICE RISER	4x4
VALVE	4x4
REDUCER	4x4
HYDRANT	4x4
AIR VALVE	4x4

JEA J.E. ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA MANANICO PARKVILLE
PHONE 250-727-2214 FAX 250-721-3385

JURISDICTION	CITY OF VICTORIA
CLIENT	ARAGON PROPERTIES
PROJECT	COOK & PENDERCAST SITE PLAN
	30886 01 C1
ENGINEER'S SEAL	WON FILE
	SHEET 1 OF 1