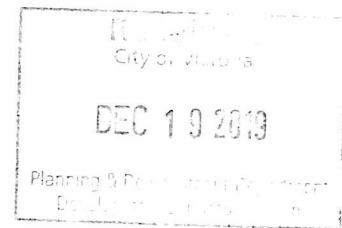


429 Parry St.

Magellan Holdings Ltd



Project Directory

Developer
Magellan Holdings Ltd.
Conrad Nyren
conradnyren01@gmail.com

Design
Arcata
524 McClure St. Victoria, BC V8V 3E7
T: 778.432.3550

Landscape Design
LADR
3 - 864 Queens Ave. Victoria V8T 1M5
T: 255.595.0105

Surveyor
Island Land Surveying Ltd.
117-693 Hoffman Ave. Victoria V9B 4X1
T: 250.475.1515

Project Data

Civic Address
429 Parry St.

Legal Description
Lot C, Lots 17758, 1776 Victoria City, Plan EPP28096

Zoning (existing)
R2-Two Family Dwelling District

Zoning (proposed)
R1B (permitted zone within R2)

Site Area
273.2 m²

Gross Floor Area

Basement:	56.6 m ²
Main Level:	63.0 m ²
Split Level:	24.7 m ²
Level 2:	63.5 m ²
Garage:	21.7 m ²
Total:	231.5 m²

Total Floor Area

Main Level:	63.0 m ²
Split Level:	24.7 m ²
Level 2:	63.5 m ²
Garage: 21.7-16.6 stall =	3.1 m ²
Total:	154.3 m²

FSR

Proposed res.	154.3 m ² /
Lot Area	273.2 m ²
	0.57:1

Site Coverage

Allowed:	(109.26 m ²)	40.0%
Proposed:	(104.8 m ²)	38.3%

Open Site Space

Proposed res.	104.8 m ² +
Driveway	24.1 m ²
Total	124.9 m²
Lot Area	273.2 m ²
	45.7%
Open site space:	148.30 m ²
	54.28%

Average Grade
7.59m

Building Height

Allowed:	7.5m
Proposed:	2 storey, 7.59m from average grade to top of flat roof

Number of Storeys

Allowed:	2
Proposed:	2

Parking

Required:	1 space per dwelling unit
Proposed:	1

Setbacks

	Front	Rear	Side north	Side south	Side combined
Allowed	7.5m	6.28m	1.5m	3.0m	4.5m
Proposed	3.79m	5.61m to building	4.71m to stair	1.20m	2.00m
				3.20m	



1 Context Plan



2 Street Views of Site



**SITE PLAN OF LOTS A, B & C, LOTS 1775 & 1776
VICTORIA CITY, PLAN EPP28098.**



NOTE
Lot dimensions & areas shown are based upon Plan EPP28098.
Lot dimensions, offsets, and area shown may vary upon completion
of a comprehensive legal survey. Elevation elevations shown are
based upon observations to geospatial control monuments
B-110 (Elevation: 10.267m) and B-111 (Elevation: 7.357m).
This plan is for building design & permit purposes only and is for the exclusive use of our client.
This plan shall not be used to define property lines or property corners.
Unregistered interests have not been included or considered.

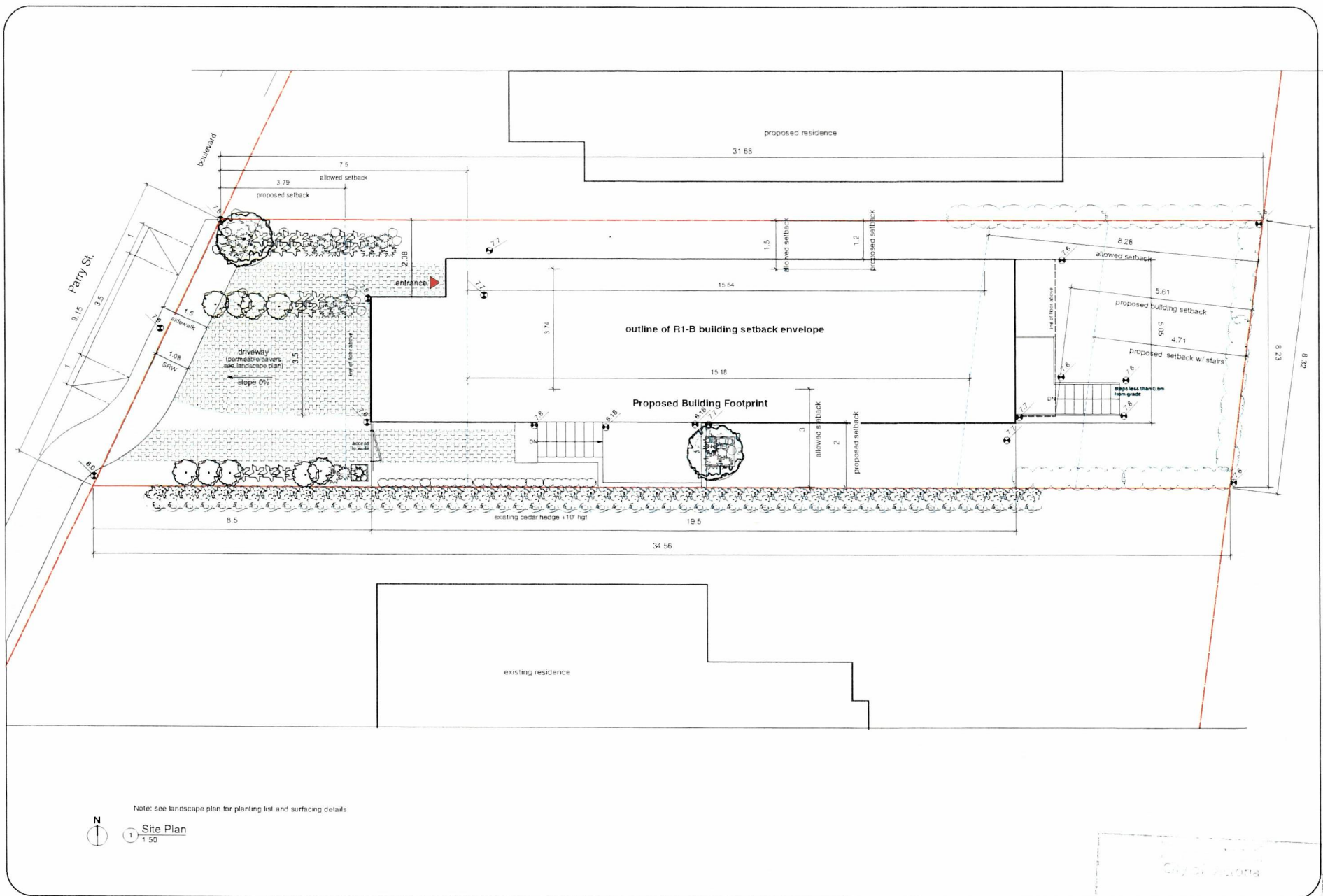
- LEGEND**
- Denotes catch basin
 - Denotes water meter
 - Denotes approximate true location
 - Denotes ground elevation
 - Denotes utility pole
 - Denotes sign

Field survey dated May 13th, 2019.
The parcels are subject to Covenant CA3363451.

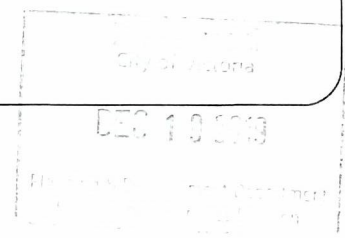


File: P-Magellan-SP
Date: May 15, 2019
Island Land Surveying Ltd.
117-551 Kildonan Avenue
Victoria B.C. V8W 4X1
Tel: 250 475 1515 Fax: 250 475 1516
www.islandlandsurveying.ca

DEC 19 2019
Planning & Development Services



Note: see landscape plan for planting list and surfacing details



Note:
Combined site plan of proposed residences
for 431 and 429 Parry St. showing the proposed
SRW and boulevard improvements.

James Bay Community Centre

fenced children's play area

existing fence

Parry St.

Boulevard

Sidewalk

Garage

Entry

2 piece wash rm

Kitchen/Dining

Living

see landscape plan for details

SRW

elect. pole

neighbours curb cut

Access to building

Garage

Entry

Laundry/2 piece wash rm

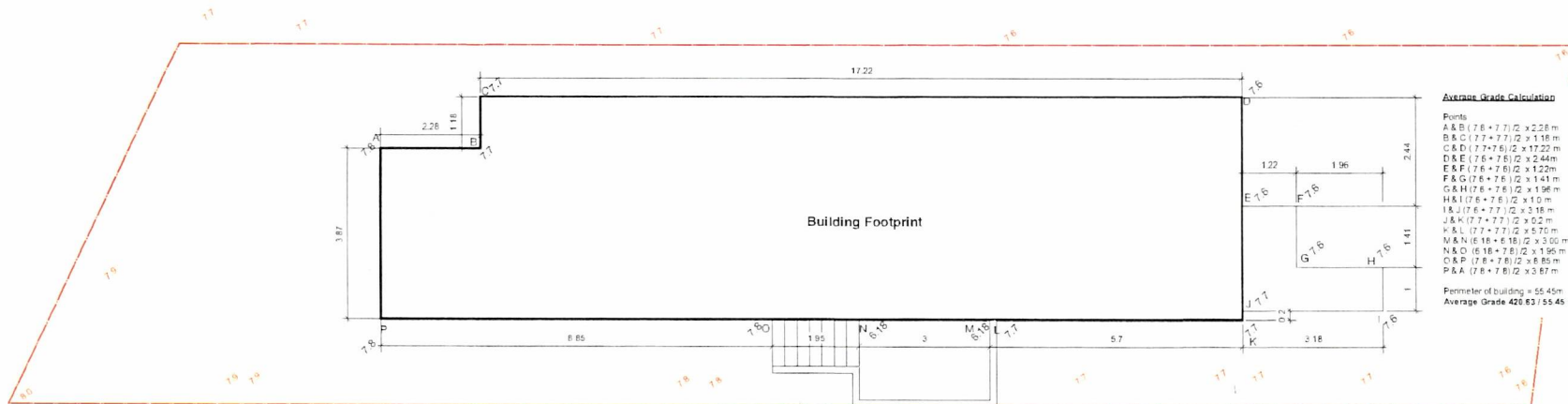
Kitchen

Dining

Living

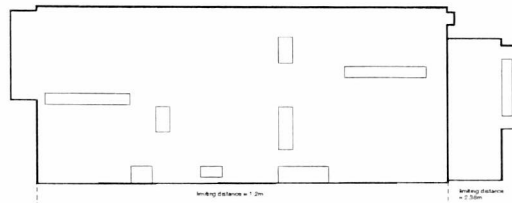
Access to building

1 Combined Site Plan 431 & 429 Parry
Scale: 1:48



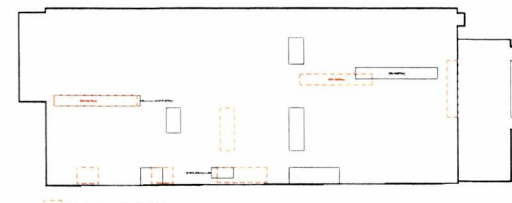
1 Average Grade Plan
Scale: 1:48

Limiting Distance
1.2m
Exposing Building Face
137 m²
Glazed Openings
Allowed: 8.55m² 3%
Proposed: 8.42 m² 6.14%
Fire Resistance Rating
1h
Type of Construction Required
Noncombustible
Type of Cladding Required
Noncombustible

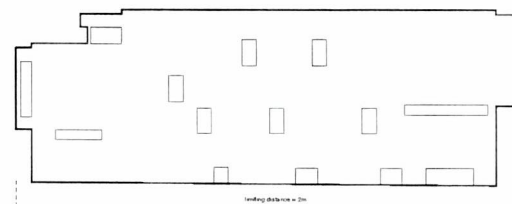


2 North Exposing Building Face
Scale: 1:96

Limiting Distance
2.35m
Exposing Building Face
12.12 m²
Glazed Openings
Allowed: 2.22m² 12.2%
Proposed: 1.1 m² 9.07%
Fire Resistance Rating
1h
Type of Construction Required
Combustible or Noncombustible
Type of Cladding Required
Noncombustible

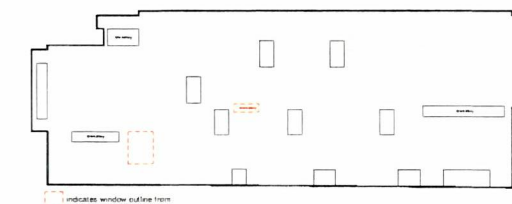


4 North Elevation Neighbouring Building Window Overlay
Scale: 1:96



3 South Exposing Building Face
Scale: 1:96

Limiting Distance
2m
Exposing Building Face
152.5 m²
Glazed Openings
Allowed: 12.2 m² 8%
Proposed: 12 m² 7.87%
Fire Resistance Rating
1h
Type of Construction Required
Noncombustible
Type of Cladding Required
Noncombustible



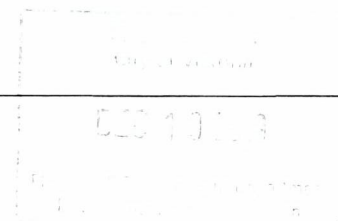
5 South Elevation Neighbouring Building Window Overlay
Scale: 1:96

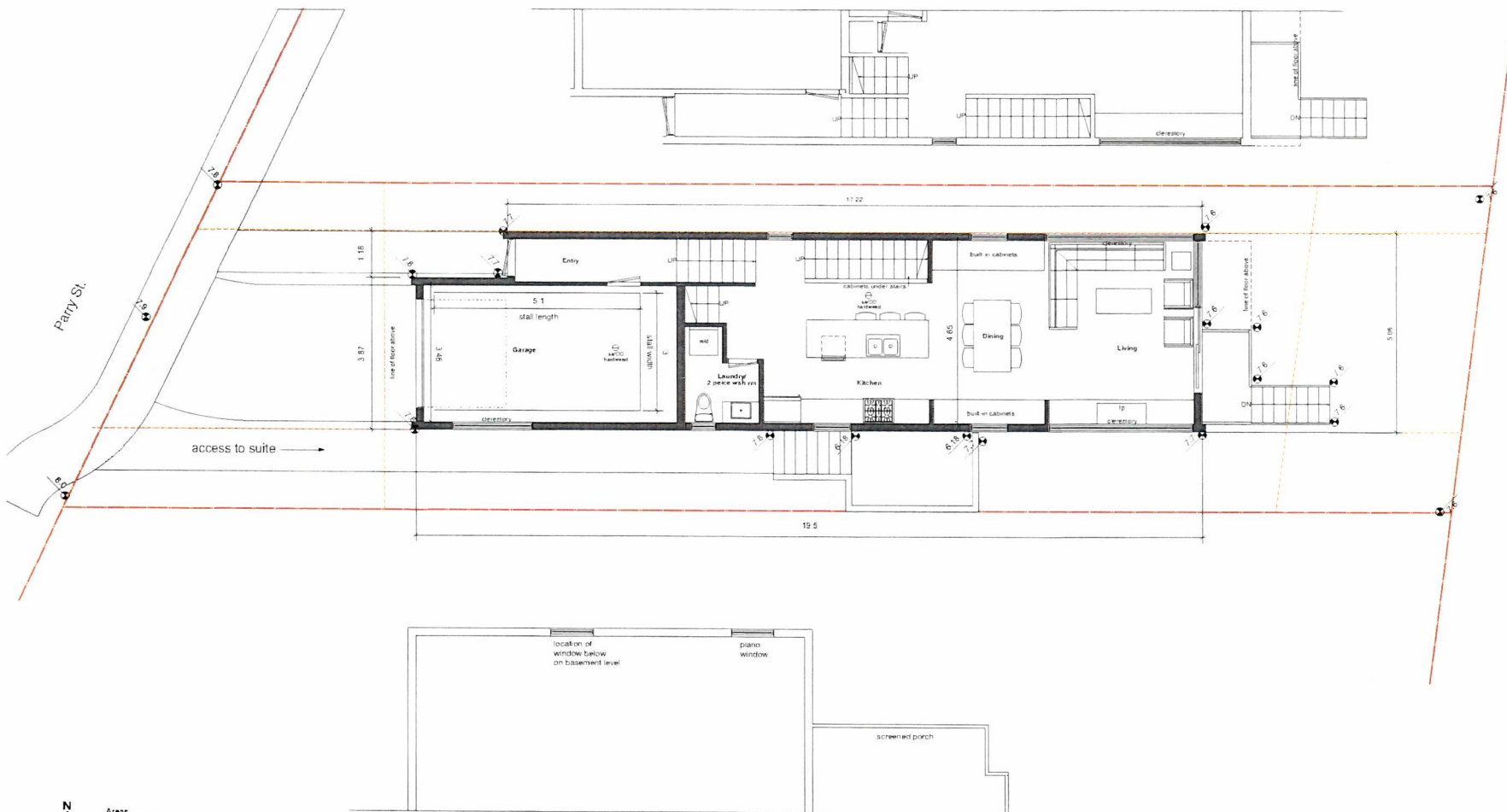


Areas
Suite 58.6 sq.m.



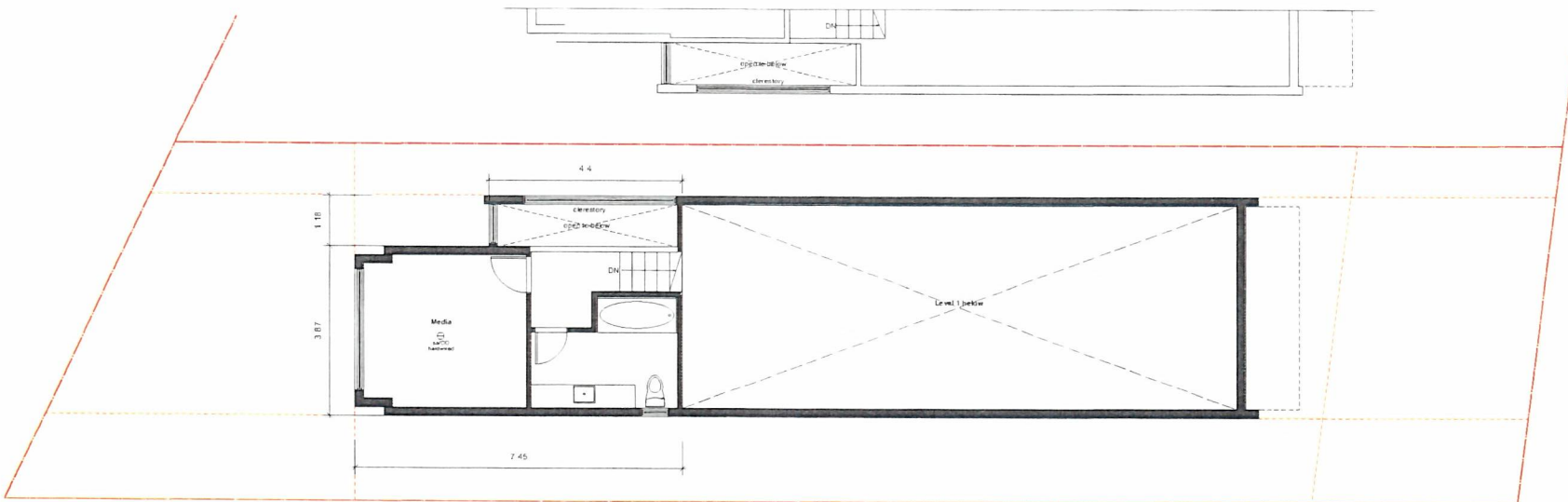
Basement
Scale 1/4" = 1'-0"





Area
Level 1 63 sq.m.
Garage 21.7 sq.m.

1 Level 1
Scale 1:48



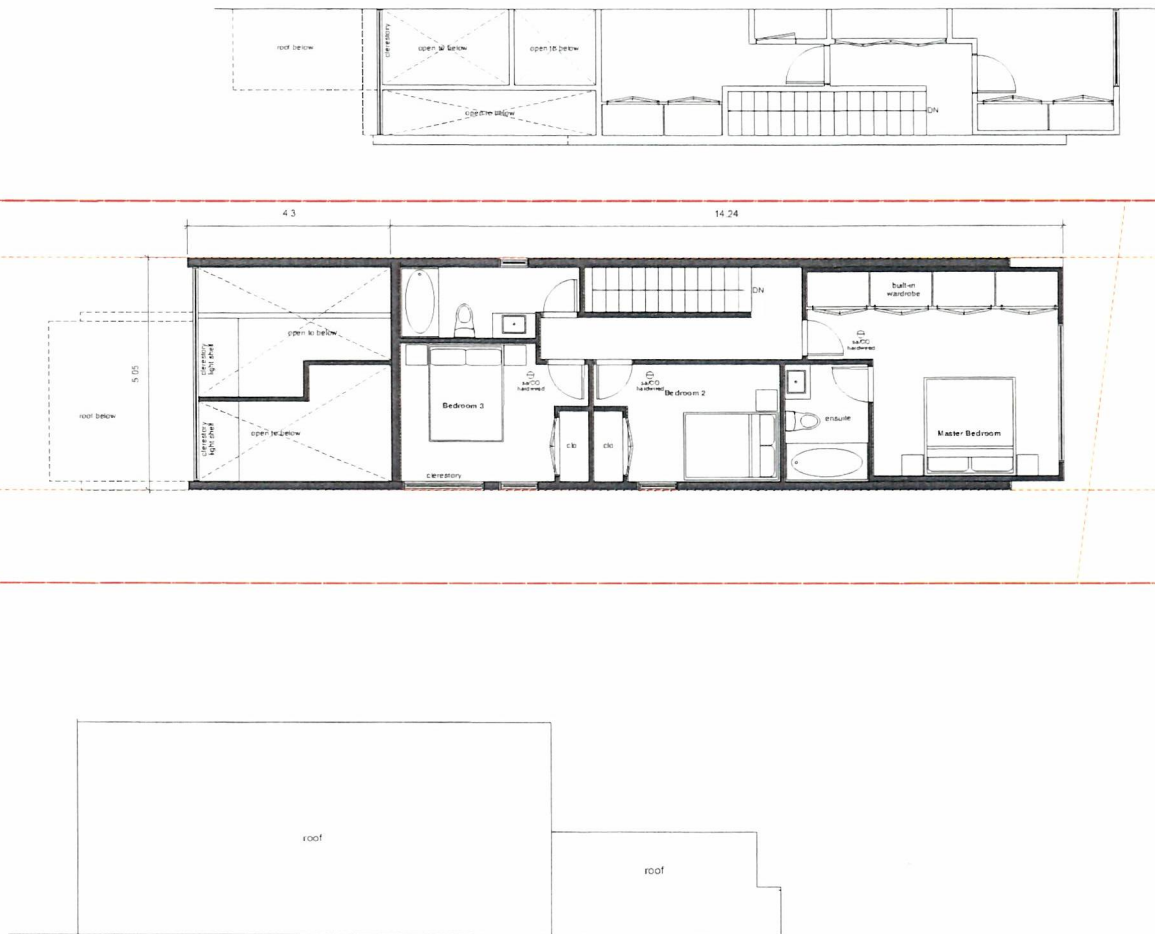
Areas
Split Level 24.7 sq.m.

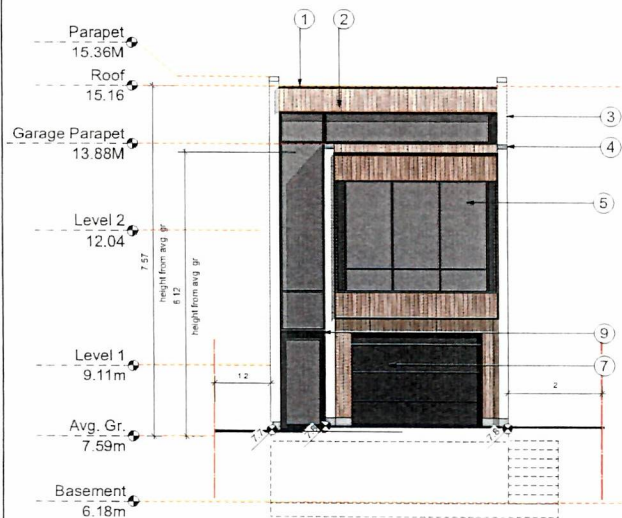
1 Split Level Above Garage
Scale 1/4" = 1'-0"



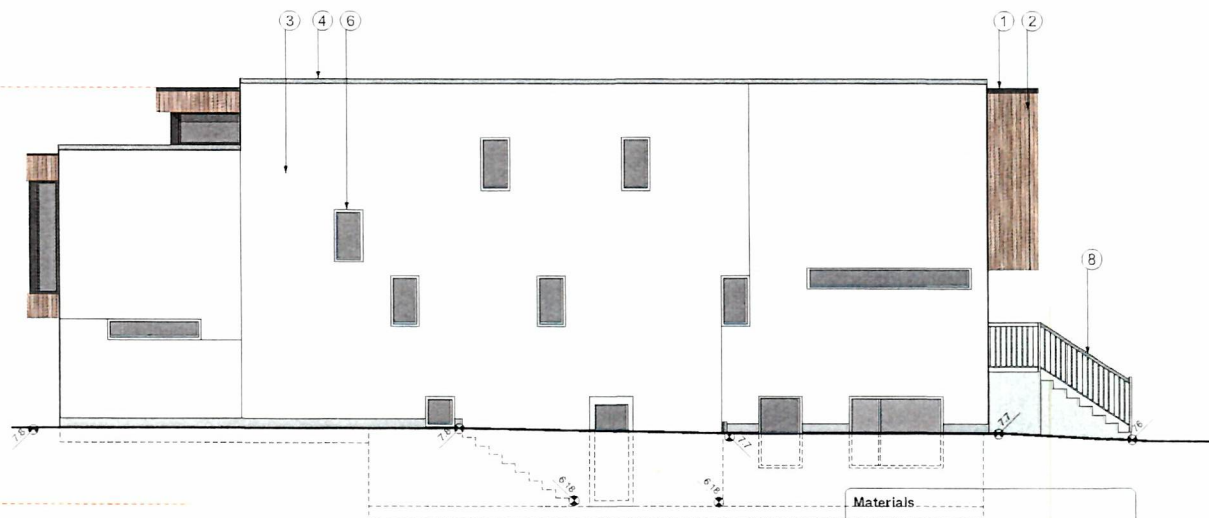
Areas
Level 2: 60.5 sq. m

1 Level 2
Scale: 1/4" = 1'-0"





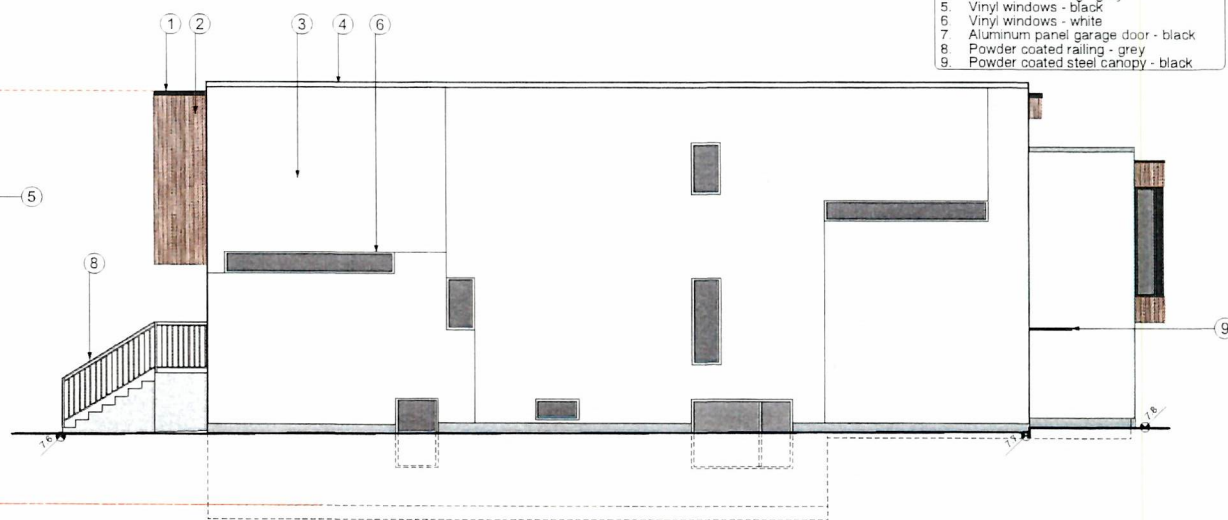
1 West Elevation
Scale 1/4" = 1'-0"



2 South Elevation
Scale 1/4" = 1'-0"

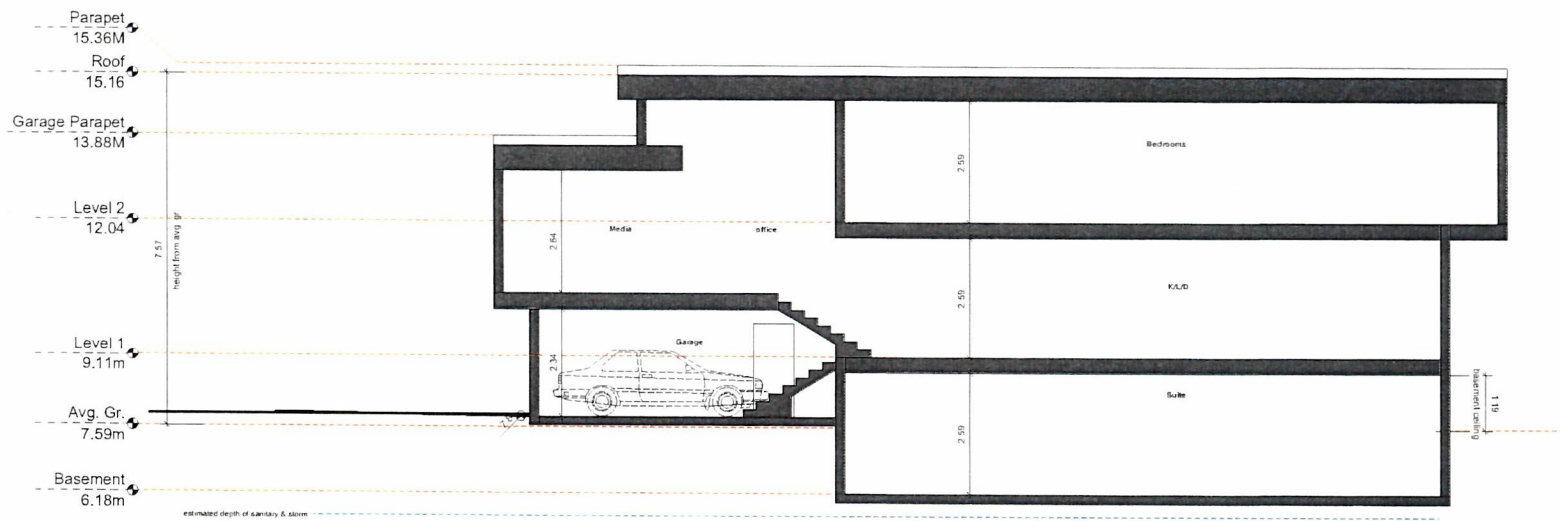


3 East Elevation
Scale 1/4" = 1'-0"



4 North Elevation
Scale 1/4" = 1'-0"

- Materials**
1. Aluminum flashing - black
 2. T&G western red cedar siding - stained w General Finishes 450 'Chestnut'
 3. Acrylic stucco - white
 4. Aluminum flashing - grey
 5. Vinyl windows - black
 6. Vinyl windows - white
 7. Aluminum panel garage door - black
 8. Powder coated railing - grey
 9. Powder coated steel canopy - black



DEC 13 2018

PROJECT



James Bay Community Project



Existing Parking Lot
431 Parry St.



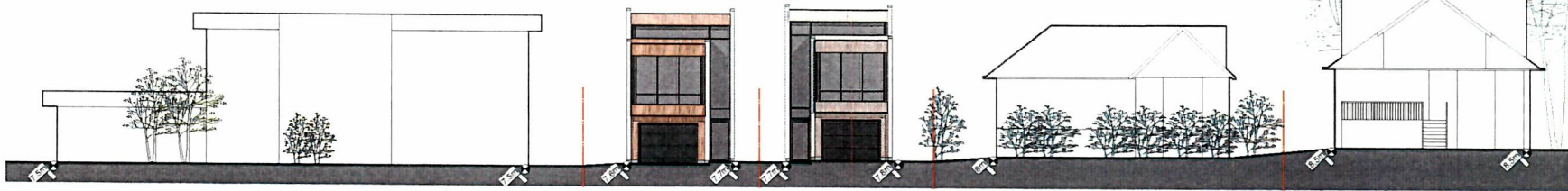
Existing Parking Lot
429 Parry St.



427 Parry St.



425 Parry St.



James Bay Community Project

Proposed Residence
431 Parry St.

Proposed Residence
429 Parry St.

427 Parry St.

425 Parry St.

1 Parry St. Context
Scale: 1/8" = 1'-0"



420 Parry St.

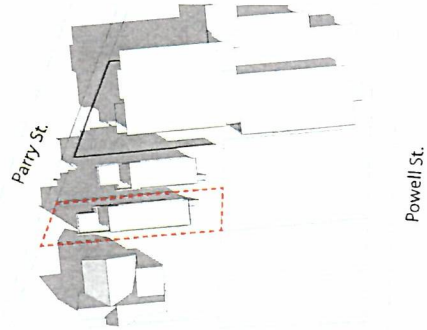
Elevation drawing by D'ACY JONES ARCHITECTURE INC.

430 Parry St.

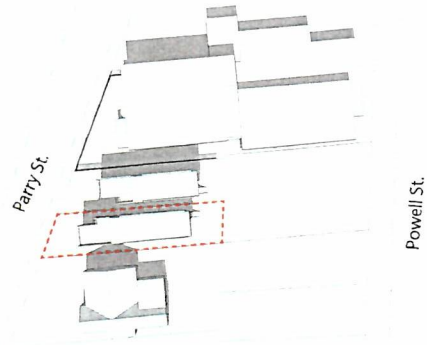
440 Parry St.

Spring/Fall Equinox

9AM



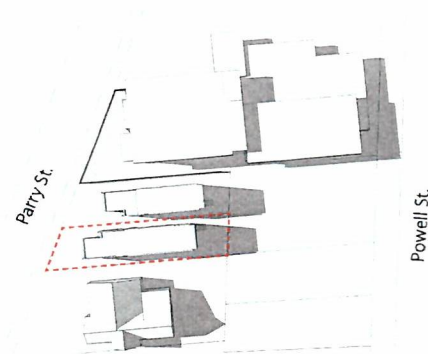
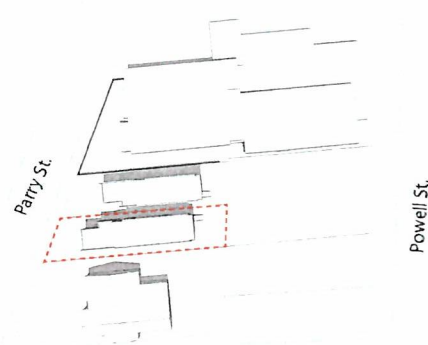
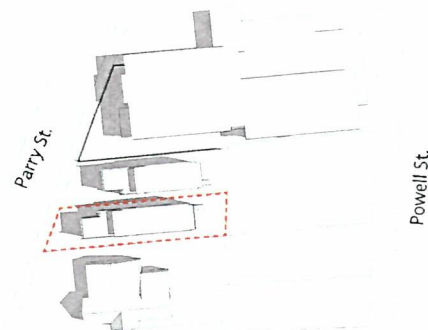
12PM



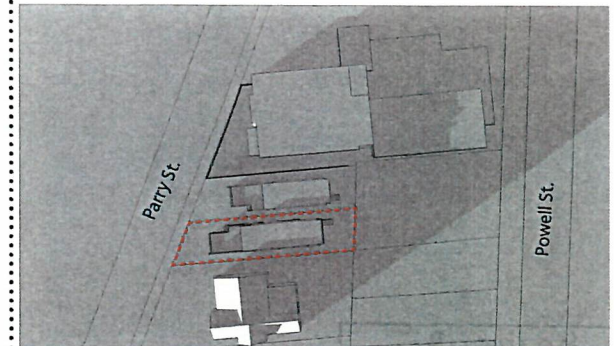
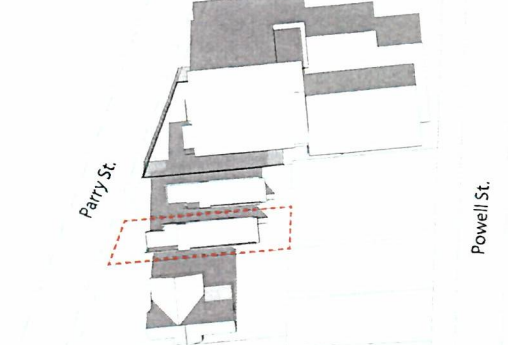
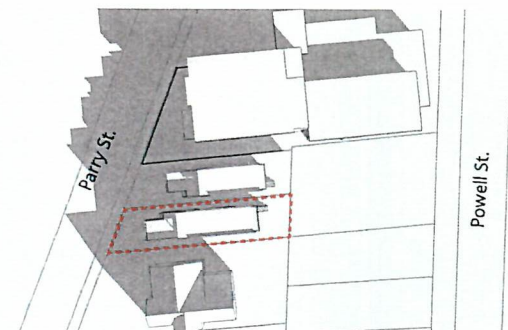
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Summer Solstice

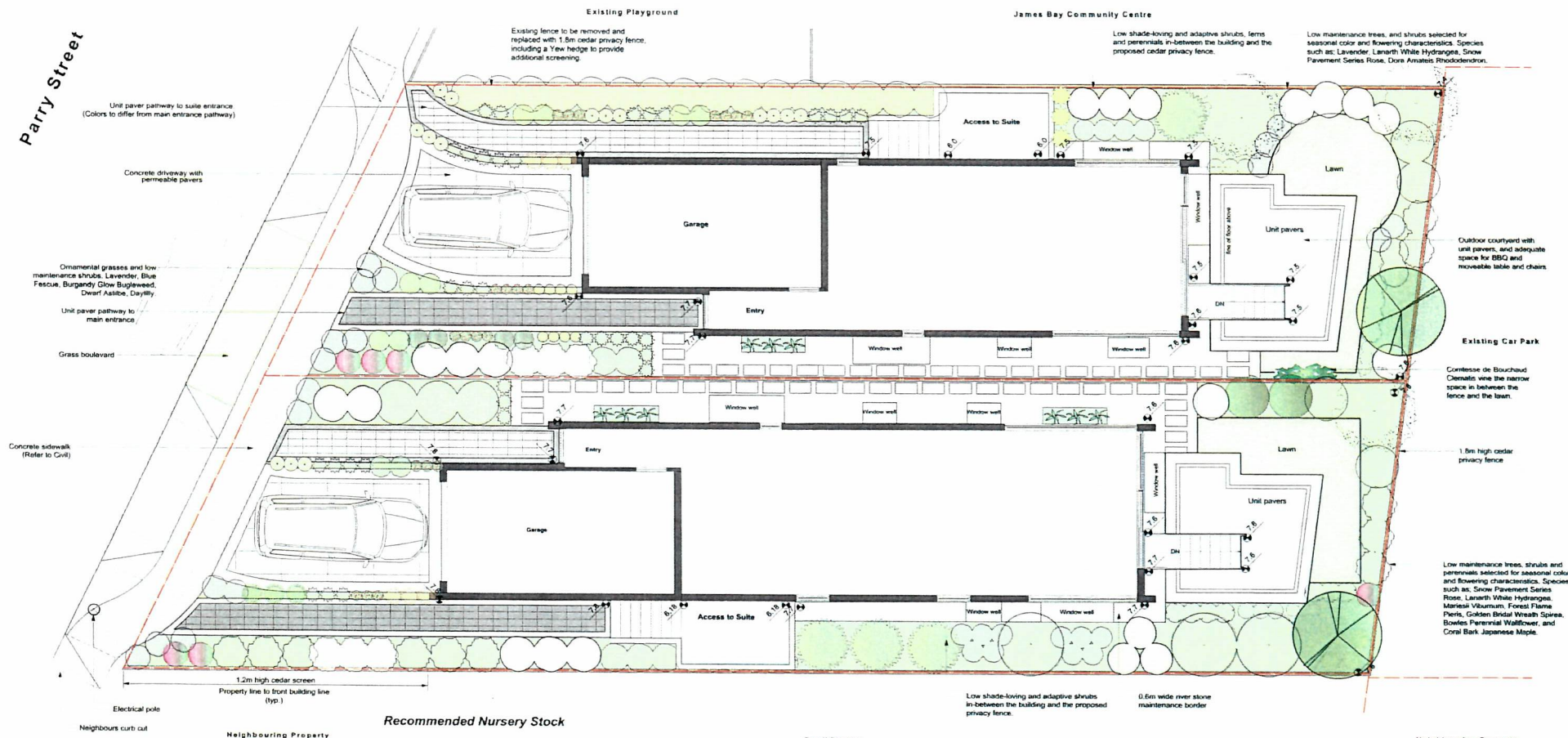


Winter Solstice



DEC 10 2019

Parry Street



Recommended Nursery Stock

Trees

Botanical Name	Common Name	Size
<i>Acacia salicina</i> 'Sango Kaku'	Coral Bark Japanese Maple	2.5m ht

Large Shrubs

Botanical Name	Common Name	Size
<i>Physocarpus opulifolius</i> 'Center Glow'	Pacific Ninebark 'Center Glow'	#3 pot
<i>Fire 'Forest Flame'</i>	Forest Flame Fern	#5 pot
<i>Spiraea thunbergii</i> 'Ogon'	Golden Bird-of-Paradise - Spirea	#3 pot
<i>Taxus canadensis</i> 'Fastigiate'	Irish Yew	#5 pot 1.5m ht
<i>Viburnum plicatum</i> f. <i>tomentosum</i> 'Mariesii'	Manitoba Viburnum	#7 pot

Medium Shrubs

Botanical Name	Common Name	Size
<i>Cornus sericea</i> 'Arctic Fire'	Red Twig Dogwood	#3 pot
<i>Hydrangea macrophylla</i> 'Lanarth White'	Lanarth White Hydrangea	#5 pot
<i>Hieracium domesticum</i> 'Tuff Stream'	Gulf Stream Heavenly Bamboo	#5 pot
<i>Rhododendron</i> 'Dora Amata'	Dora Amata Rhododendron	#5 pot
<i>Rhododendron</i> 'Fantasia'	Fantasia Rhododendron	#5 pot

Groundcovers

Botanical Name	Common Name	Size
<i>Thymus vulgaris</i>	Thyme	#1 pot

Notes:
1. All work to be completed to current CSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system

Small Shrubs

Botanical Name	Common Name	Size
<i>Cornus sericea</i> 'Nativity'	Red Twig Dogwood	#2 pot
<i>Lavandula stoechas</i> 'Crisp Queen'	Spanish Lavender	#1 pot
<i>Malva repens</i>	Creeping Malva	#1 pot
<i>Rosa rugosa</i> 'Snow Pavement'	Snow Pavement Series Rose	#1 pot

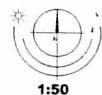
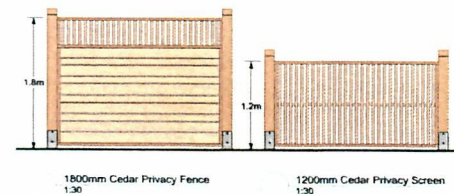
Perennials, Annuals and Ferns

Botanical Name	Common Name	Size
<i>Alcea rosea</i> 'Burgundy Glow'	Burgundy Glow Bugleweed	#1 pot
<i>Aspidistra elatior</i> 'Pumila'	Dwarf Aspidistra	#1 pot
<i>Blechnum spicatum</i>	Deer Fern	#1 pot
<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Foerster's Feather Reed Grass	#1 pot
<i>Carex</i> 'Ice Dance'	Ice Dance	#1 pot
<i>Conocarpus verticillata</i> 'Moonbeam'	Moonbeam Threadleaf Tickseed	#1 pot
<i>Deschampsia cespitosa</i>	Tufted Hair Grass	#1 pot
<i>Erythronium</i> 'Bicolor Mosaic'	Bicolor Perennial Yellowflower	#1 pot
<i>Festuca glauca</i>	Common Blue Fescue	#1 pot
<i>Hemerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	#1 pot
<i>Ornithoglossum vulgatum</i>	Pot Marigold	#1 pot
<i>Polystichum acrostichum</i>	Soft Shield Fern	#1 pot

Vines

Botanical Name	Common Name	Size
<i>Clematis</i> 'Comtesse de Boucharde'	Comtesse de Boucharde Clematis	#5 pot

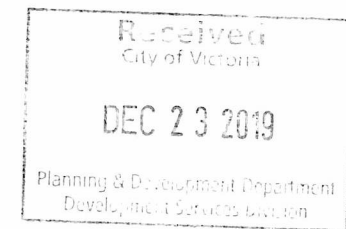
Neighbouring Property



429 + 431 Parry Street - Landscape Concept Plan

431 Parry St.

Magellan Holdings Ltd



Project Directory

Developer
Magellan Holdings Ltd
Conrad Nyren
conradnyren01@gmail.com

Design
Arcata
924 McDure St. Victoria, BC V8V 3E7
T. 778.432.3550
Landscape Design
LADR
3 - 854 Queens Ave. Victoria V8T 1M5
T. 205.596.0105

Surveyor
Island Land Surveying Ltd.
117-663 Hoffman Ave. Victoria V9B 4X1
T. 250.475.1515

Project Data

Civic Address
431 Parry St.

Legal Description
Lot B, Lots 17758-1776 Victoria City, Plan EPP28096

Zoning (existing)
R2-Two Family Dwelling District

Zoning (proposed)
R1B (permitted zone within R2)

Site Area
249.4 m²

Gross Floor Area
Basement: 45.2 m²
Main Level: 50.6 m²
Split Level: 25.7 m²
Level 2: 49.6 m²
Garage: 22.2 m²
193.3 m²

Total Floor Area
Main Level: 50.6 m²
Split Level: 25.7 m²
Level 2: 49.6 m²
Garage: 22.2-16.6 stall = 3.6 m²
127.5 m²

FSR
Proposed res. 127.5 m² /
Lot Area 249.40 m²
0.51:1

Site Coverage
Allowed: (99.7 m²) 40.00%
Proposed: (91.3 m²) 36.66%

Open Site Space
Proposed res. 91.4 m² +
Driveway 16.8 m²
Total 110.3 m²
Lot Area 249.4 m² -
110.3 m²
Open site space 139.1 m²
55.77%

Average Grade
7.45m

Building Height Proposed
Allowed: 7.5m
Proposed: 2 storey, 7.55m from average grade to top of flat roof

Number of Storeys
Allowed: 2
Proposed: 2

Parking
Required: 1 space per dwelling unit
Proposed: 1

Setbacks

Allowed	Front	7.5m
	Rear	8.26m
	Side north	3.0m
	Side south	1.5m
	Side combined	4.5m
Proposed	Front	4.14m
	Rear	4.95m to building
		4.42m to stake
	Side north	2.00m
	Side south	1.20m
	Side combined	3.20m



1 Context Plan



2 Street Views of Site

R. ...
City of Victoria

DEC 23 2018

Planning & Development Department
Development Planning Division

**SITE PLAN OF LOTS A, B & C, LOTS 1775 & 1776
VICTORIA CITY, PLAN EPP28098**

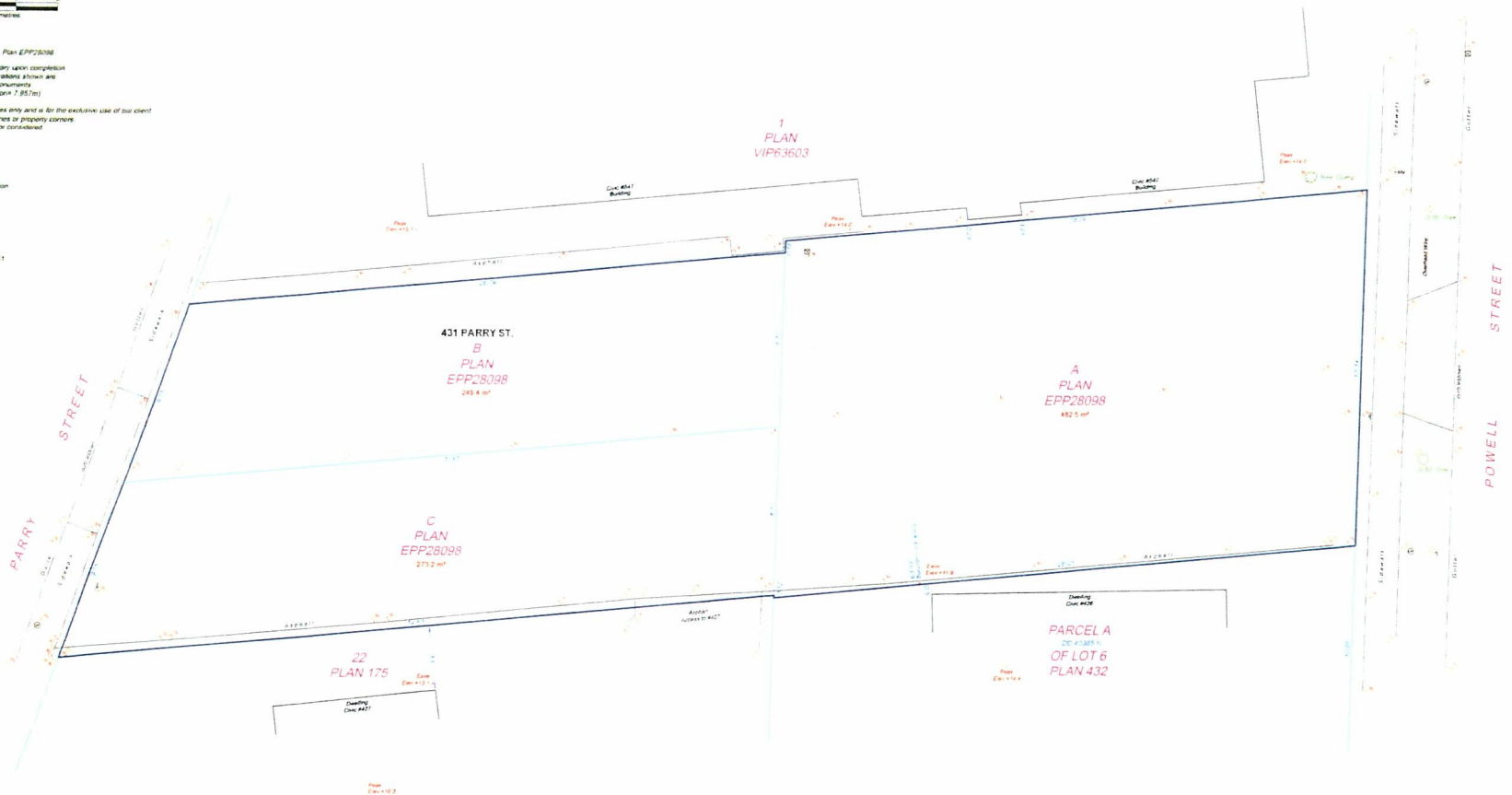


NOTE
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Lot dimensions, offsets, and area shown may vary upon completion
of a comprehensive legal survey. Geometric elevations shown are
based upon observations to geodetic control monuments
8-110 (Elevation: 10.260m) and 8-111 (Elevation: 7.957m).

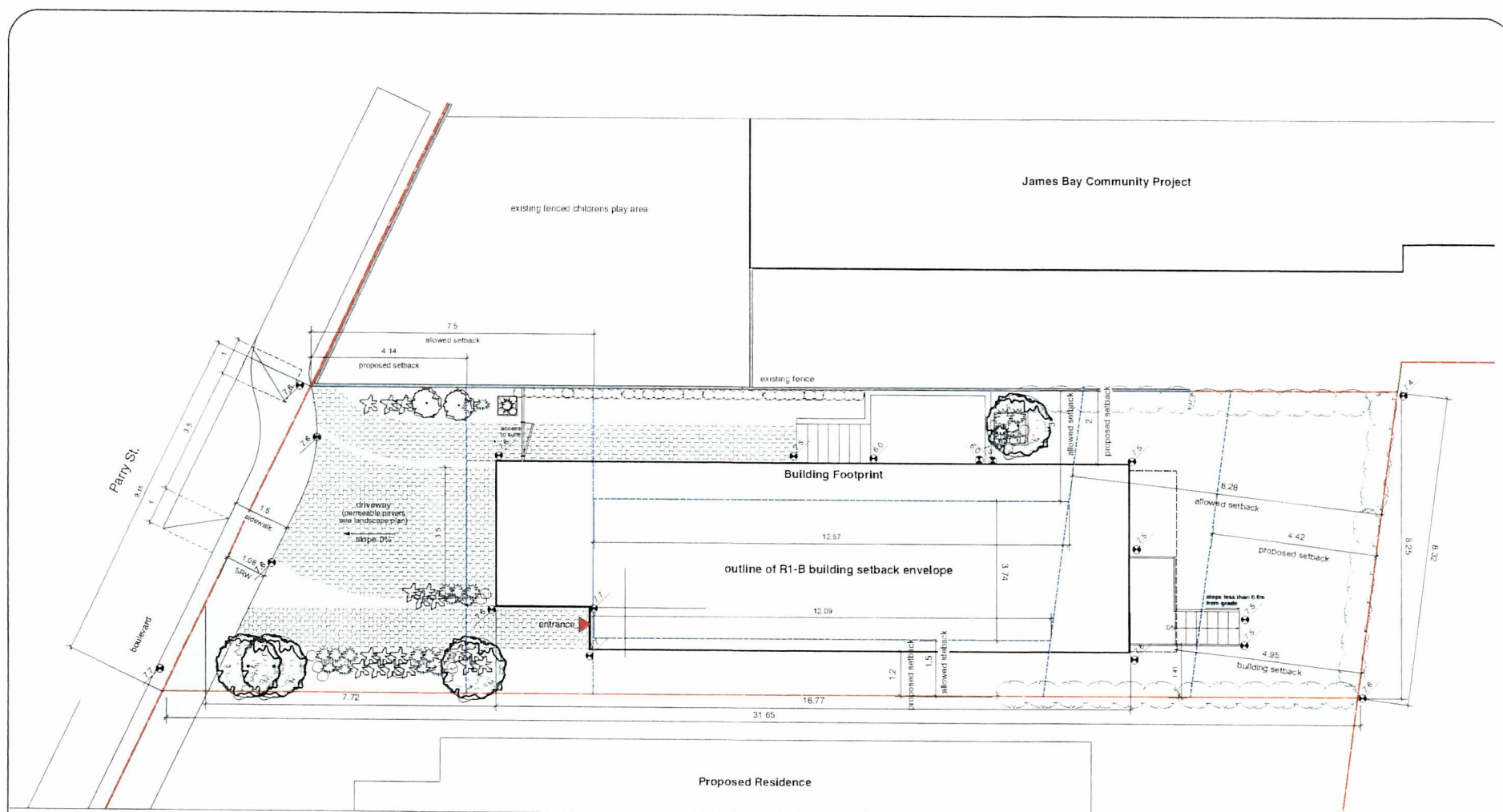
This plan is for building design & permit purposes only and is for the exclusive use of our client.
This plan shall not be used to define property lines or property corners.
Unregistered interests have not been included or considered.

LEGEND
 Denotes water main
 Denotes sewer main
 Denotes approximate tree location
 Denotes corner and easement
 Denotes ground elevation
 Denotes utility pole
 Denotes sign

Field survey dated May 13th, 2019.
The parcels are subject to Covenant C4336451.



File: B-Magellan-SP
 Date: May 15, 2019
 Island Land Surveying Ltd.
 117-681 Hollman Avenue
 Victoria B.C. V8B 4K1
 TEL: 250-475-1515 Fax: 250-475-1516
 www.islandsurveying.ca



*Note: see landscape plan for planting list and surfacing details



1 Site Plan
Scale: 1/4" = 1'-0"

City of Lexington
DEC 23 1997
Planning & Development Department
City of Lexington, Massachusetts

Parry St.

Boulevard

James Bay Community Centre

existing fence

see landscape plan for details

elec. pole

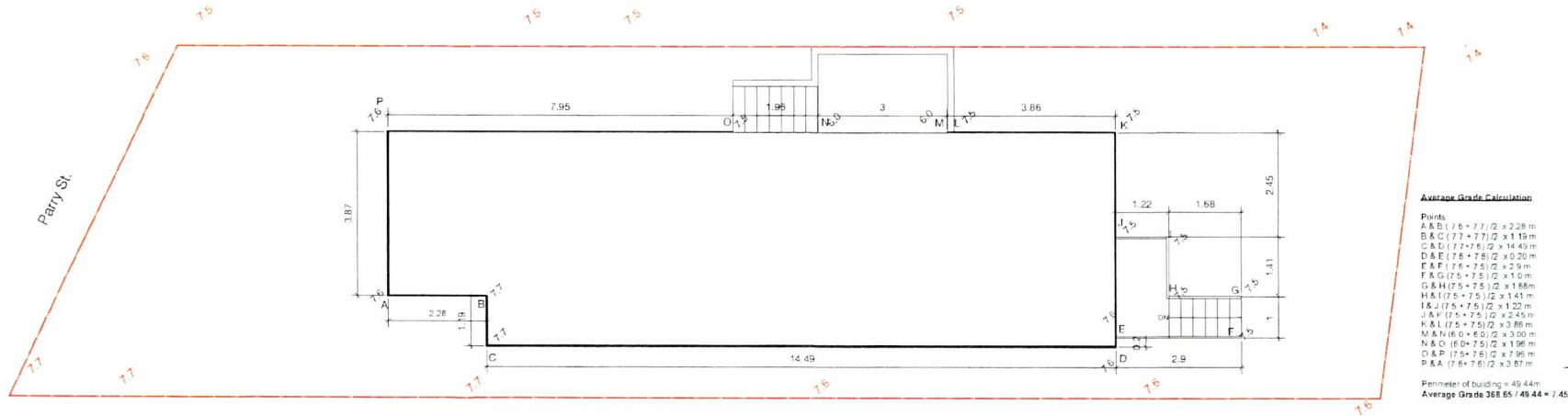
1 Combined Site Plan 431 & 429 Parry
Scale: 1"=48'

Arcata
778.432.3550 | 924 McClure St

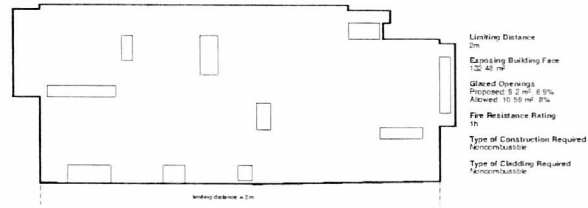
ISSUE
Oct. 21, 2019
Dec. 18 2019, Revised Submission

PROJECT
431 Parry St.

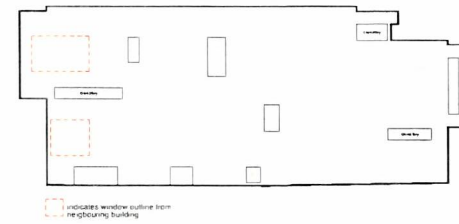
A 0.4
Combined
Site Plan



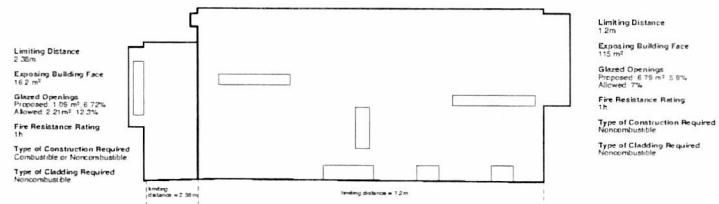
1 Average Grade Plan
Scale: 1:48



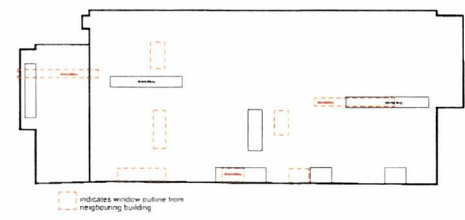
2 North Exposing Building Face
Scale: 1:96



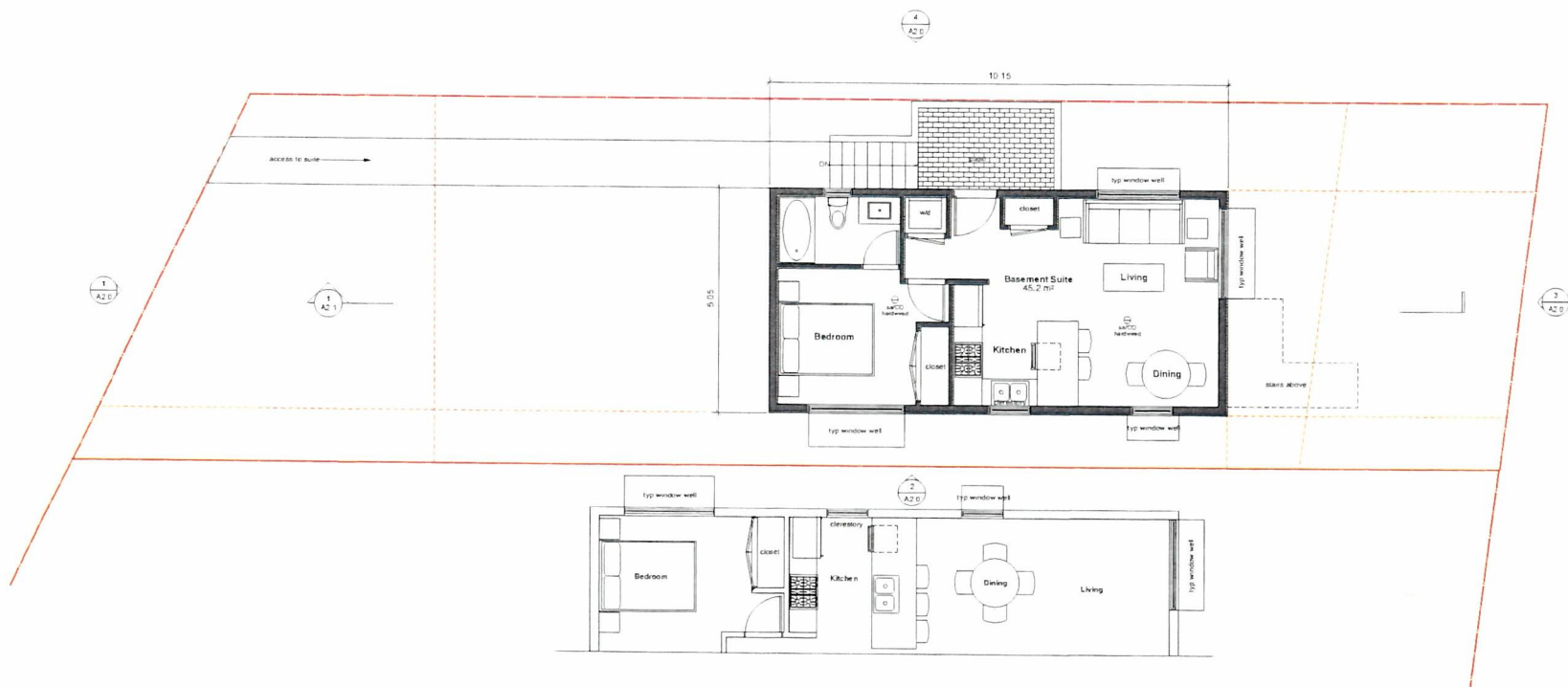
4 North Elevation Neighbouring Building Window Overlay
Scale: 1:96



3 South Exposing Building Face
Scale: 1:96

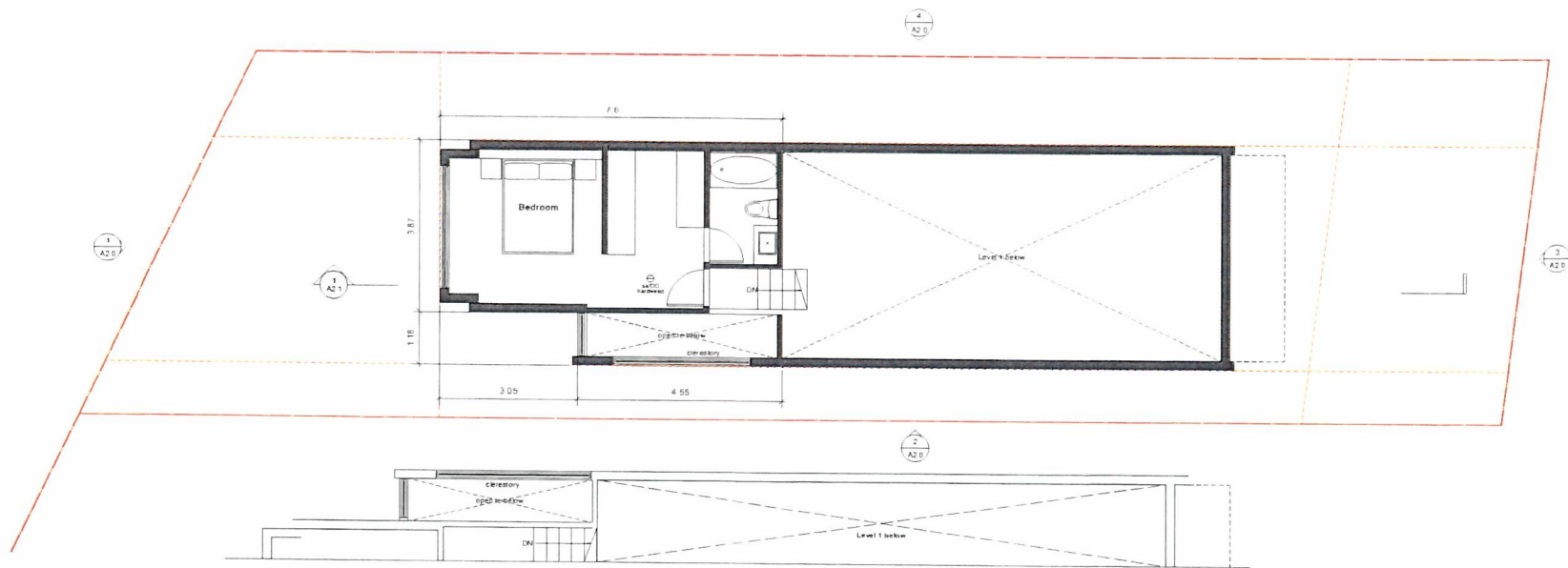


5 South Elevation Neighbouring Building Window Overlay
Scale: 1:96



Areas
 Basement Suite 45.2m²
 1 Basement
 Scale: 1/4" = 1'-0"

010 201809
 010 201809
 010 201809



Axis
Split Level 25.7'±

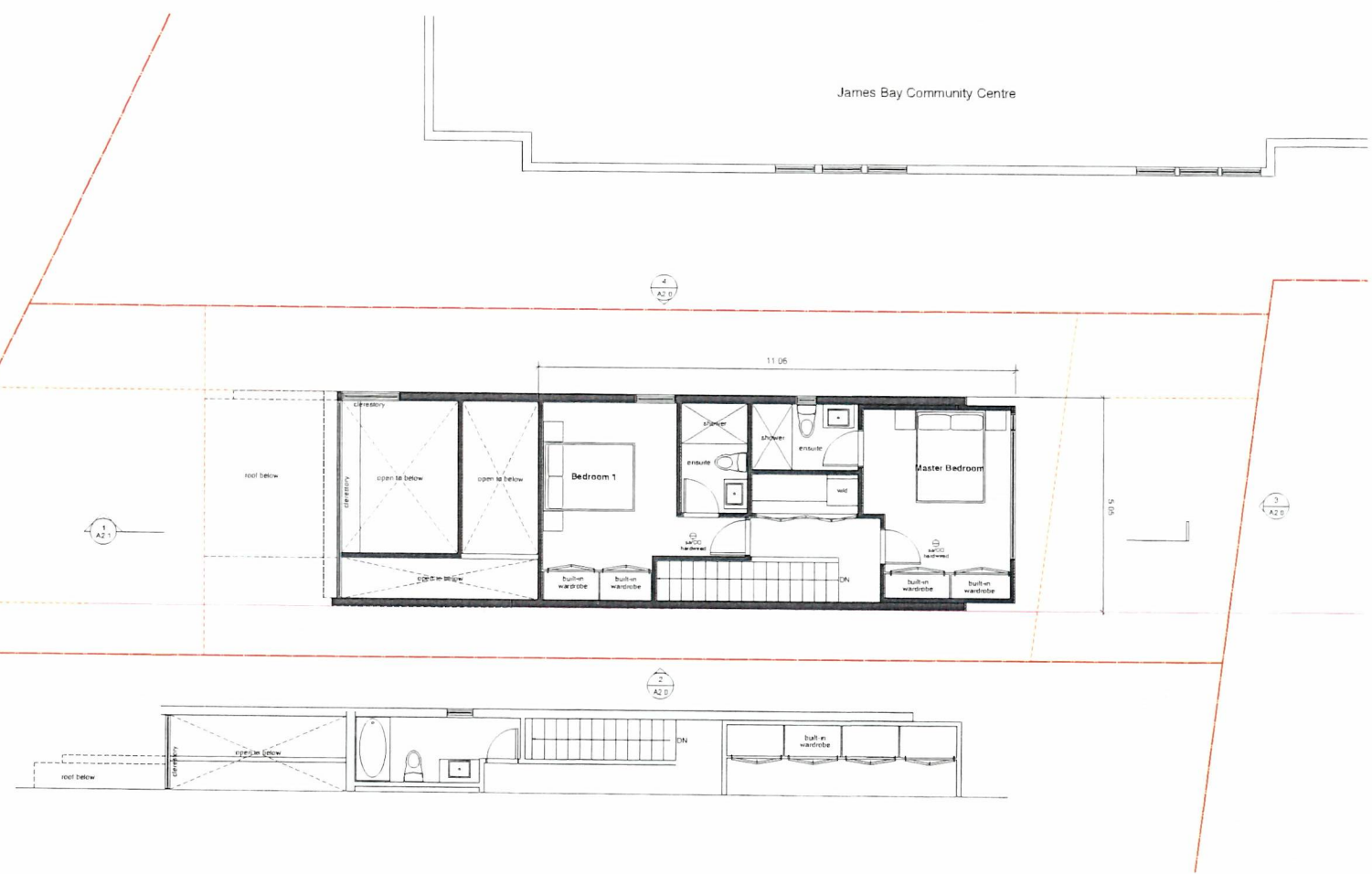


Split Level
Scale: 1/4" = 1'-0"

ISSUE	
Oct. 21, 2018	
Dec. 14, 2018	Revised Submission

PROJECT	
431 Perry St.	

James Bay Community Centre

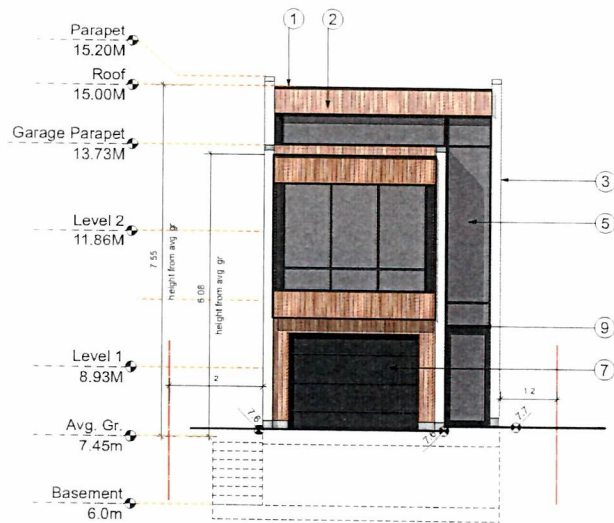


Areas
Level 2 49.5m²

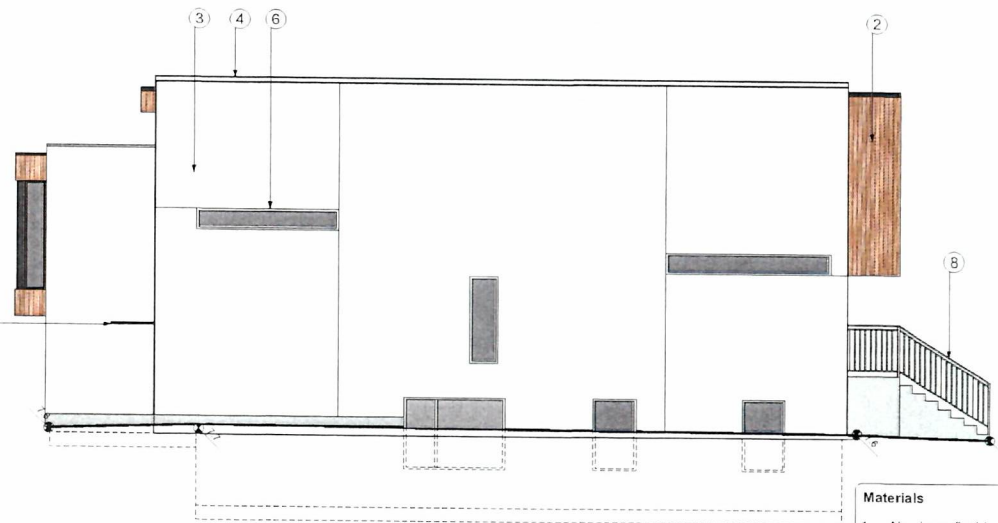


Level 2
Scale: 1/4" = 1'-0"

02023111



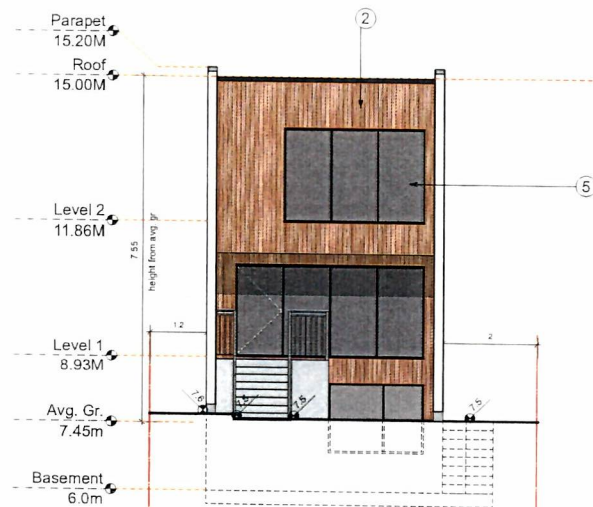
1 West Elevation
Scale 1/48



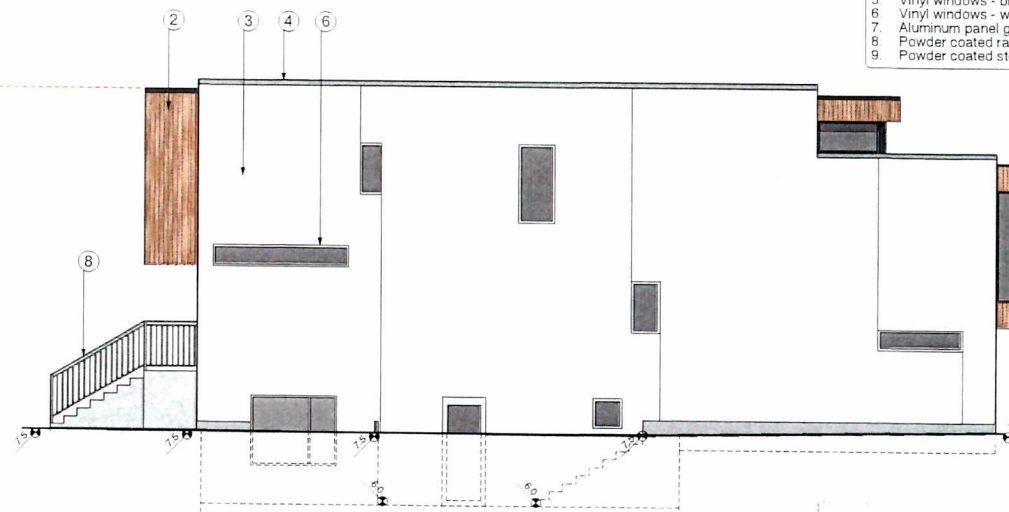
2 South Elevation
Scale 1/48

Materials

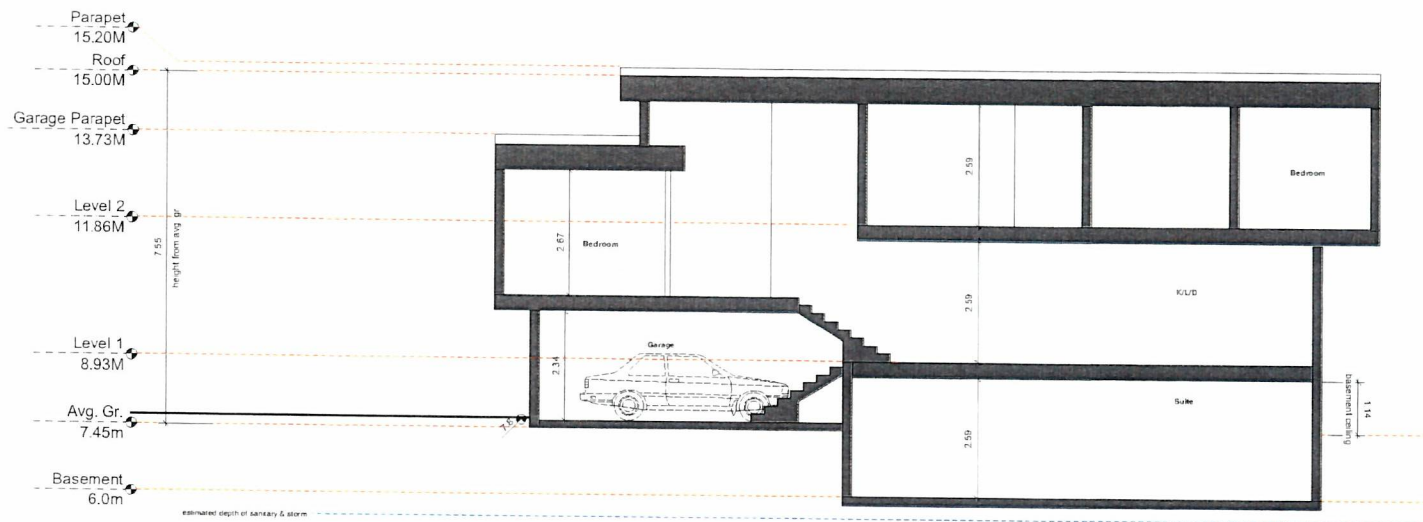
1. Aluminum flashing - black
2. T&G western red cedar siding - stained w. General Finishes 450 'Sugar Maple'
3. Acrylic stucco - white
4. Aluminum flashing - grey
5. Vinyl windows - black
6. Vinyl windows - white
7. Aluminum panel garage door - black
8. Powder coated railing - grey
9. Powder coated steel canopy - black



3 East Elevation
Scale 1/48



4 North Elevation
Scale 1/48



1 South Section
Scale: 1/4" = 1'-0"



James Bay Community Project



Existing Parking Lot
431 Parry St.



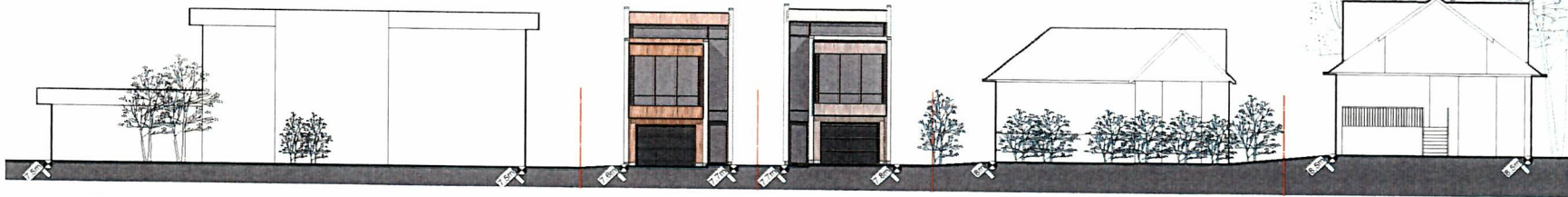
Existing Parking Lot
429 Parry St.



427 Parry St.



425 Parry St.



James Bay Community Project

Proposed Residence
431 Parry St.

Proposed Residence
429 Parry St.

427 Parry St.

425 Parry St.

1 Parry St. Context
Scale 1/8" = 1'-0"



420 Parry St.

Elevation drawing by DRACY JONES ARCHITECTURE INC.

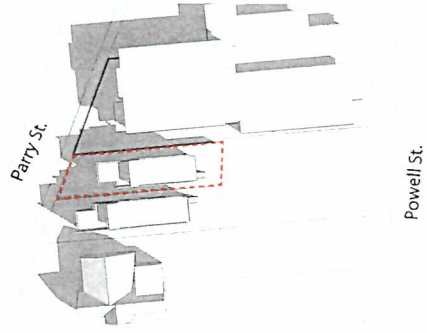
430 Parry St.

440 Parry St.

2 Parry St. Context: West Side of Street
Scale 1/96"

Spring/Fall Equinox

9AM



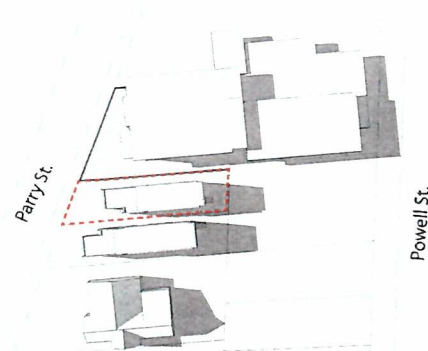
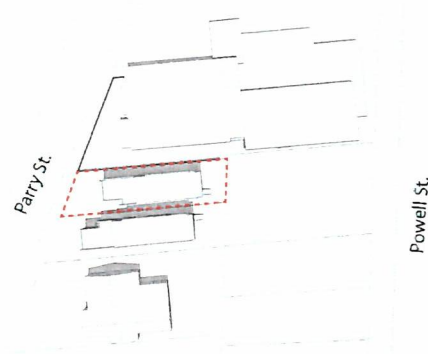
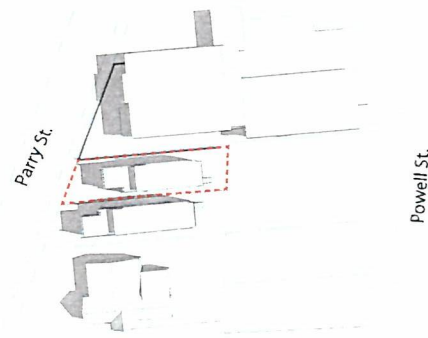
12PM



4:30PM



Summer Solstice



Winter Solstice

