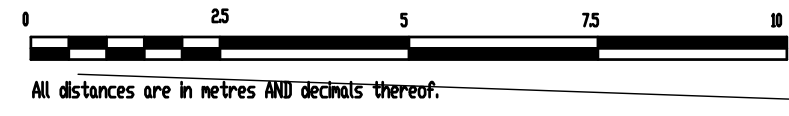


SITE PLAN
TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION WITH VARIANCES
PROPOSED LOT 2, SECTION 57,
VICTORIA DISTRICT, PLAN EPP

NEW LYDIA STREET HOUSE
Proposed LOT 2

SCALE = 1 : 100



All distances are in metres AND decimals thereof.

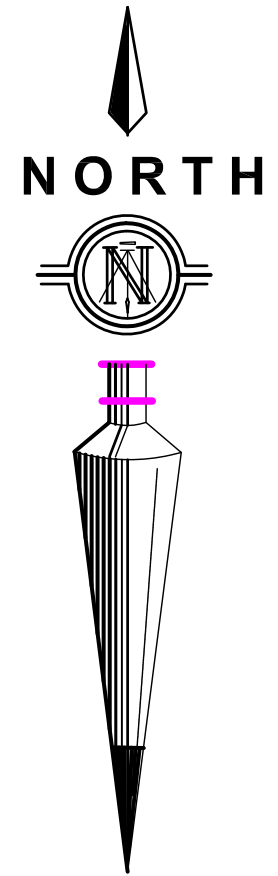
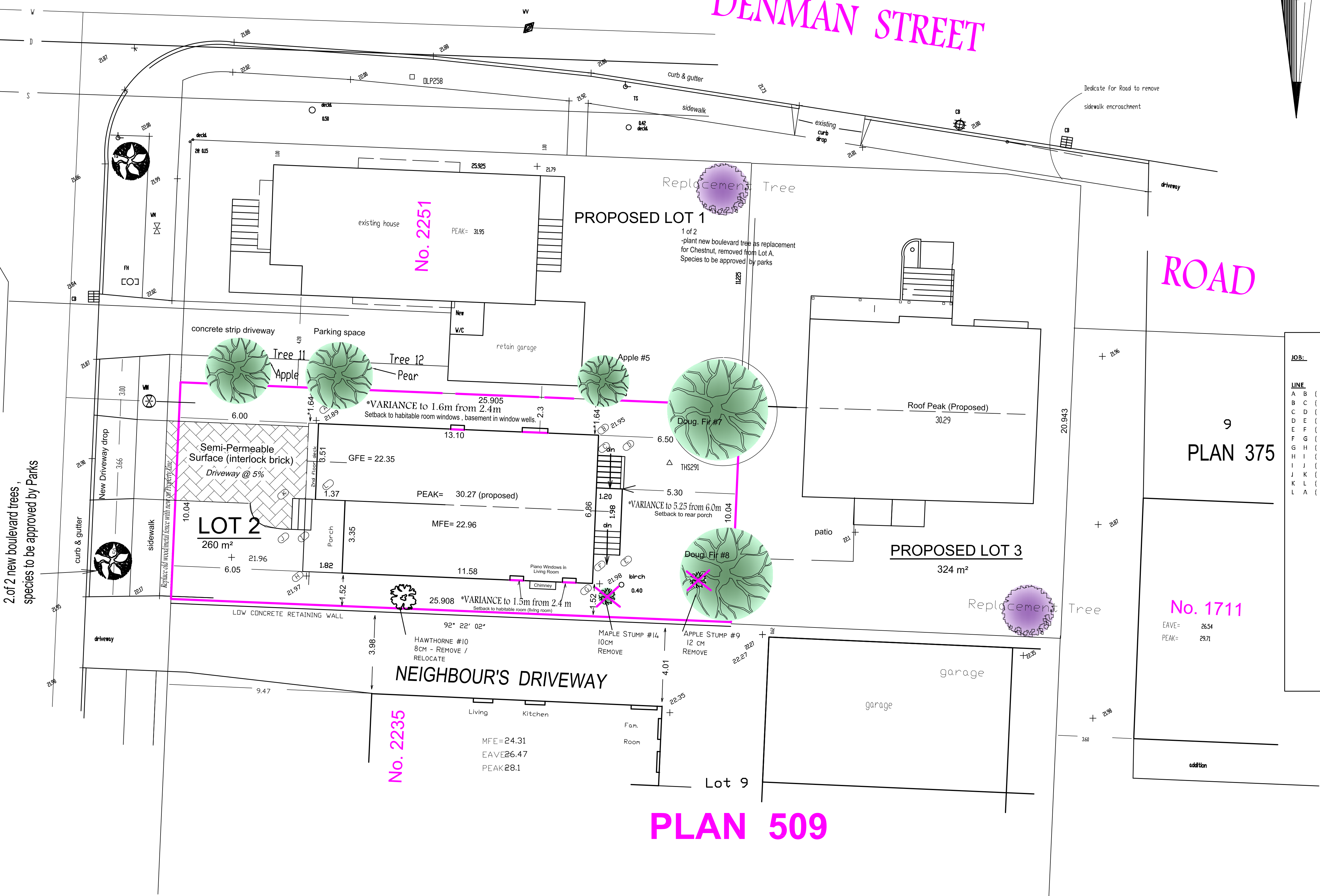
LEGEND

Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m)
Tree bases approximately to scale.

- UL L - denotes Utility Pole with light
- g - denotes guy wire
- CB - denotes Catch Basin
- WM - denotes Water Meter
- TS - denotes Traffic Sign
- FH - denotes fire hydrant
- RWL - denotes Rain Water leader
- 2227 + - denotes existing grade
- denotes Boulevard tree for development
- denotes replacement tree
- denotes existing tree

LYDIA STREET

2 of 2 new boulevard trees,
species to be approved by Parks



PROJECT INFORMATION TABLE

Zoning Item	By-Law Value	Provided
Zoning	R1-S2	
Site Area	260 m²	260 m²
Floor Area		
Basement Area >1.8m ceiling AG		55.3 m² (596 sq.ft.) not incl.
Main Floor		59.3 m² (639 sq.ft.)
Upper Floor		76.4 m² (822 sq.ft.)
Attic > 2.10m ceiling		0
Excess Parking	>18.6 m²	0 m²
Total Floor Area	190 m²	135.7 m² (1461 sq.ft.)
Floor Space Ratio	0.6	0.46
Site Coverage %	40%	35.5 %
Open Site Space	N/A	50 %
Grade		21.96
Height of Building	7.50	7.24
Number of Storeys	2	2
Parking Stalls	1	1
Bicycle Parking	0	1
Building Setbacks		
Front Yard	6.0	6.01
Rear Yard	6.0	6.50 to house 5.30 *variance to 5.25
Flanking Yard	2.4	N/A
Side Yard (North)	1.5/2.4	1.64 *variance to 1.60 to Hab. Room
Side Yard (South)	1.5/2.4	1.52 *variance to 1.50 to Hab. Room

Average Grade Calc.

Date	26 March, 2019	File #	9419			
JOB:	2245 Lydia -Proposed Lot 2	CLIENT:	Cunnin			
SECOND CORNER		WALL				
LINE	FIRST CORNER ELEV.	ELEV.	AVG	LENGTH	Avg El x L	
A B (	21.89 + 21.95		1/2 = 21.92 *	12.95 =	283.86
B C (	21.95 + 21.95		1/2 = 21.95 *	2.50 =	54.88
C D (	21.95 + 21.96		1/2 = 21.96 *	1.20 =	26.35
D E (	21.96 + 21.96		1/2 = 21.96 *	3.00 =	65.88
E F (	21.96 + 21.97		1/2 = 21.97 *	1.20 =	26.36
F G (	21.97 + 21.98		1/2 = 21.98 *	1.36 =	29.89
G H (	21.98 + 21.97		1/2 = 21.98 *	13.10 =	287.87
H I (	21.97 + 21.95		1/2 = 21.96 *	2.00 =	43.92
I J (	21.95 + 21.95		1/2 = 21.95 *	1.00 =	21.95
J K (	21.95 + 21.95		1/2 = 21.95 *	1.35 =	29.63
K L (	21.95 + 21.89		1/2 = 21.92 *	1.20 =	26.30
L A (	21.89 + 21.89		1/2 = 21.89 *	3.51 =	76.83
TOTALS				*	44.37	973.7
AVG. GRADE				Total Area/Total Wall Length		21.96
<u>HEIGHT CALCULATION</u>						
PEAK		30.27				
FAVE		28.13		Slanted Dormer		
MEAN		29.20				
HEIGHT		(Mean-Avg. Grade)		7.24		
<u>BASEMENT CALCULATION</u>						
Basement Ceiling		22.71				
AVER. GRADE		21.96				
Height above grade		0.75		= 0.75		

Revisions

Received Date:
June 2, 2020

PROPOSED SINGLE FAMILY RESIDENCE
R1-S2

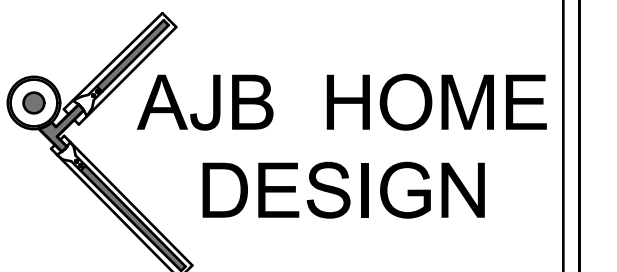
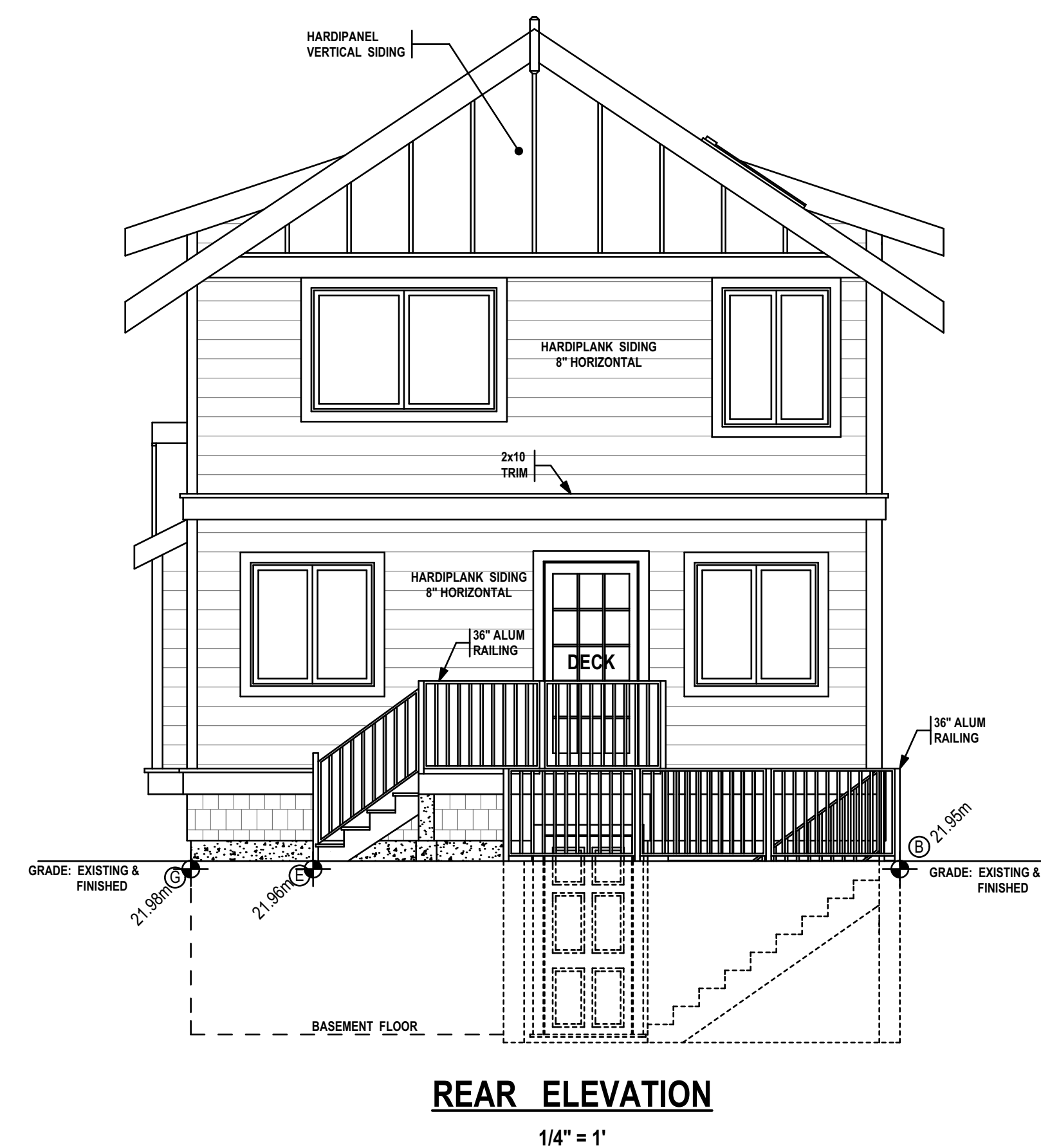
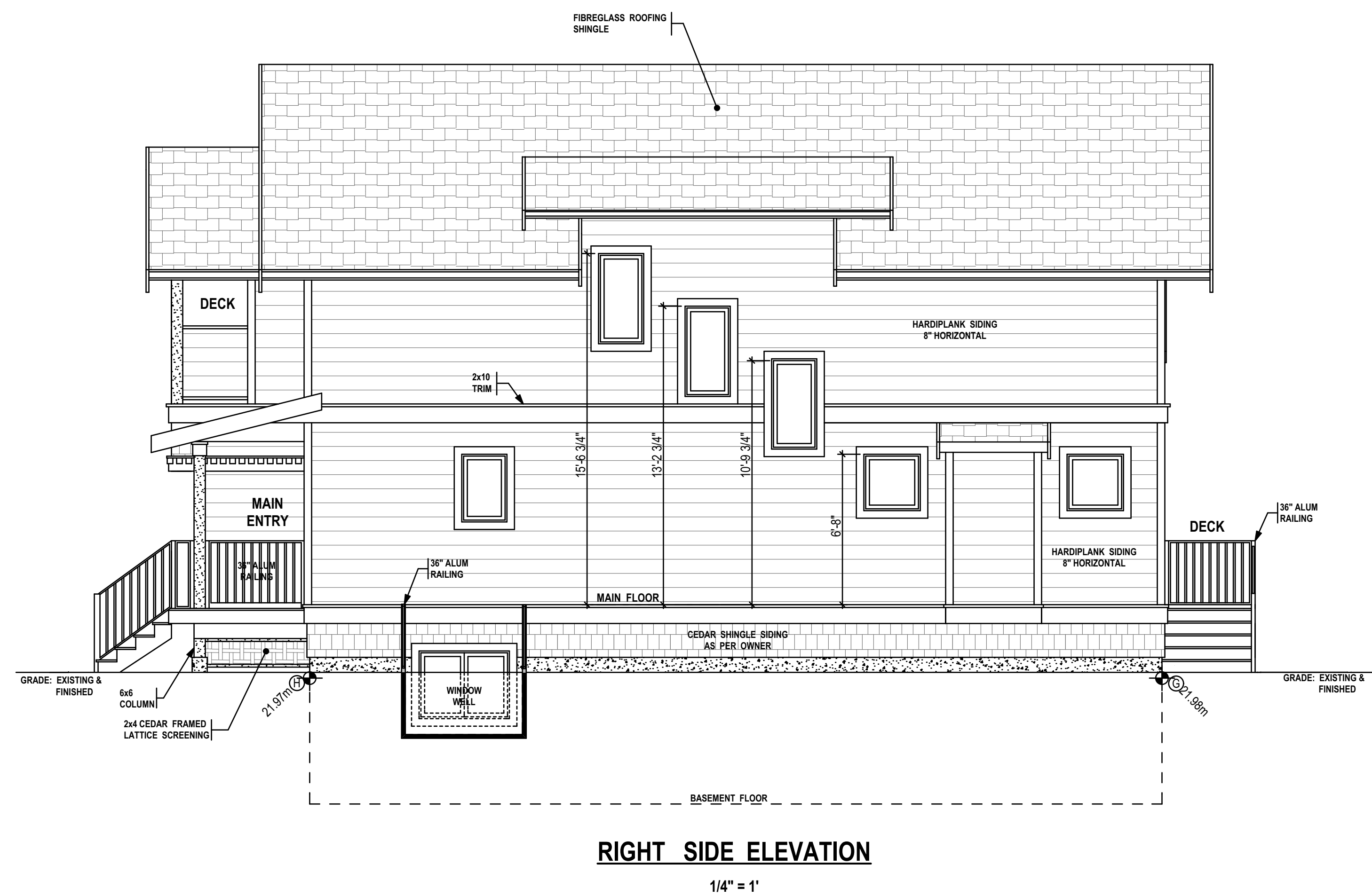
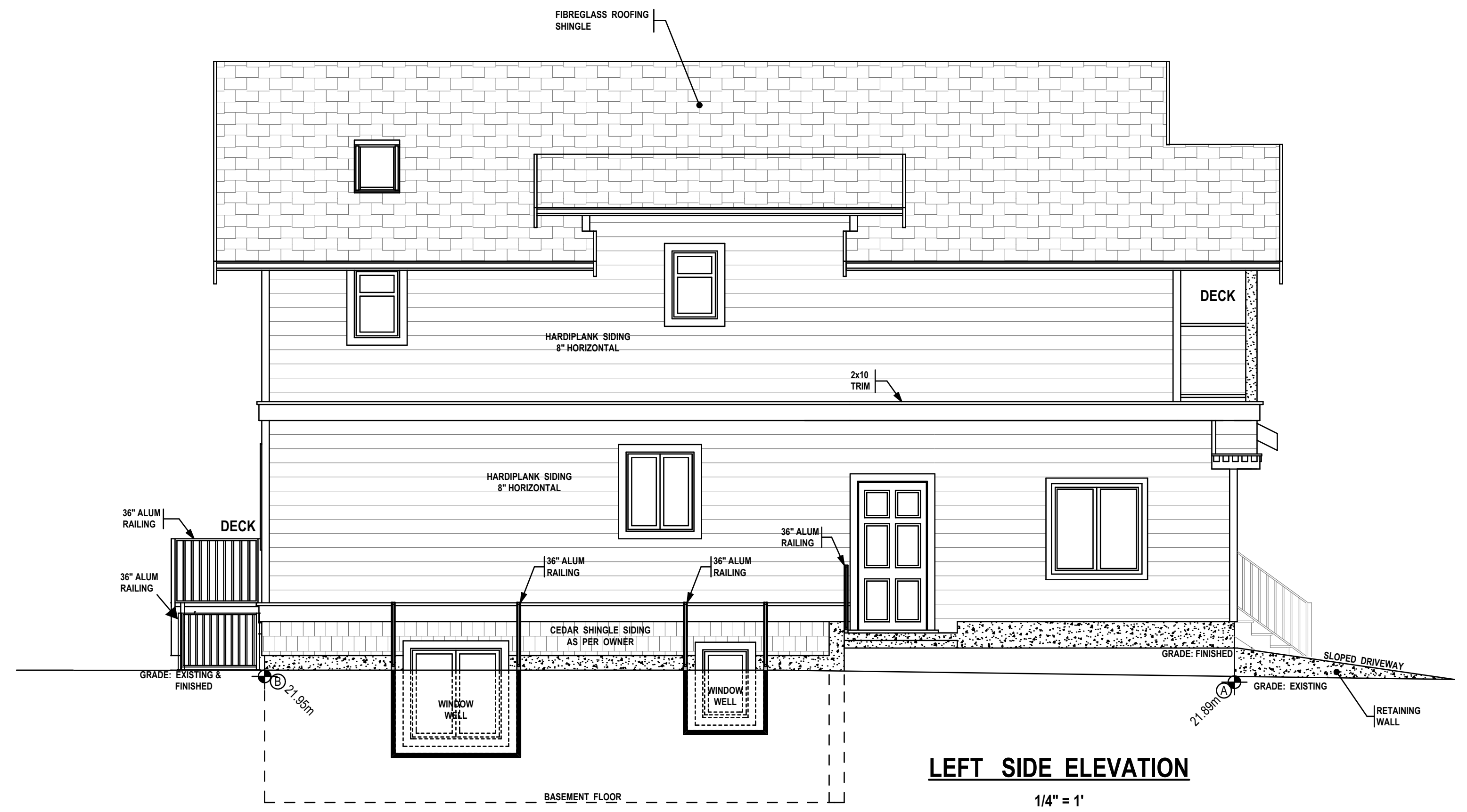
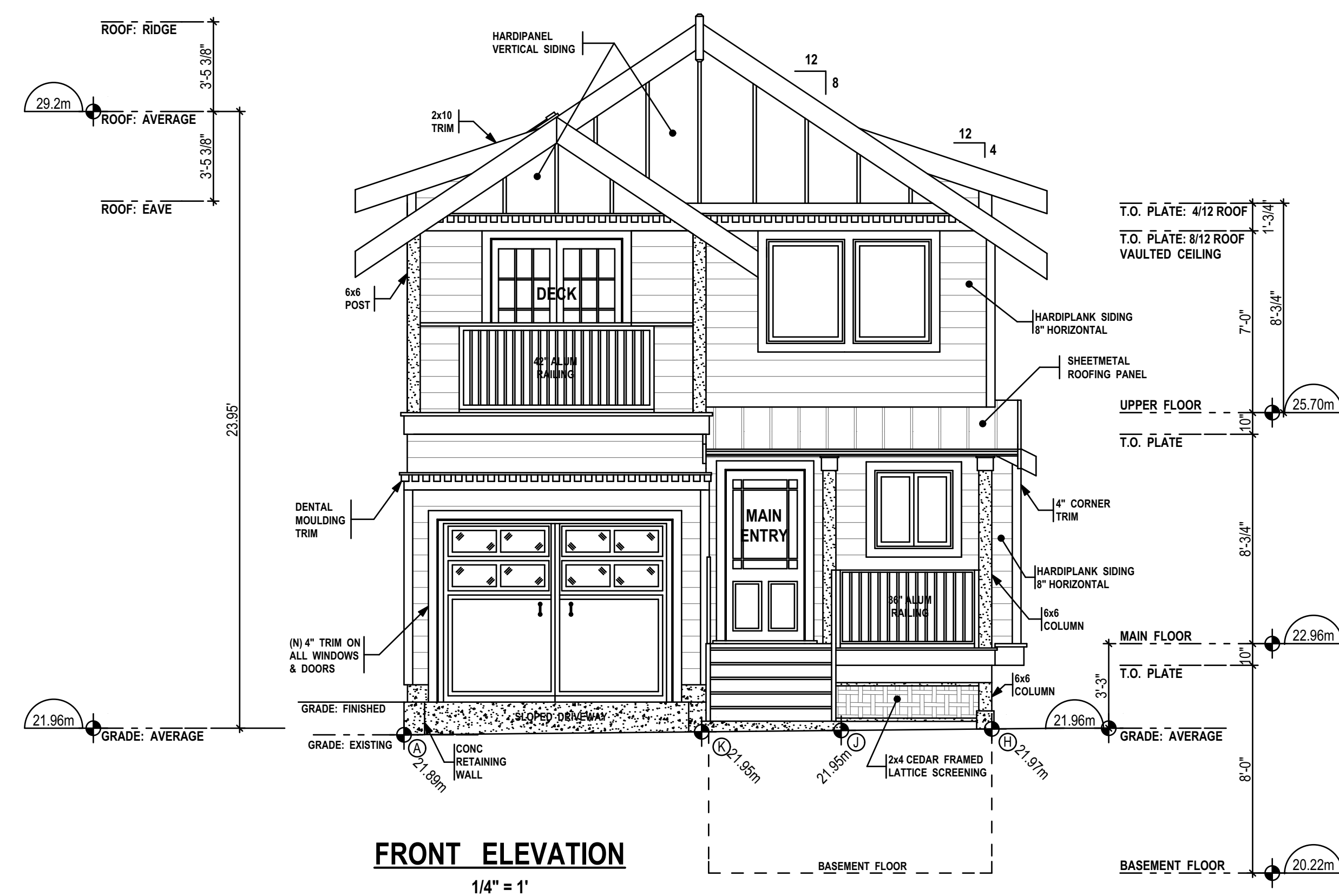
For: Brad Cunnin
2245 Lydia Street
Victoria, BC

11 May, 2020 - amend for rear basement stairs
14 Nov, 2019 - amend for CoV comments
5 March, 2019 - additional variance, building height and floor areas
15 August, 2018.

FILE: 9419 - 17

PROJECT: 9419/2 / 2018-08-15

Brad Cunnin Land Services
2245 Lydia Street
Victoria, BC V8W 1S2
ph: 250-480-7653



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
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6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

Lot 3 SITE @
DENMAN ST.

DRAWN BY: Alan Bisson

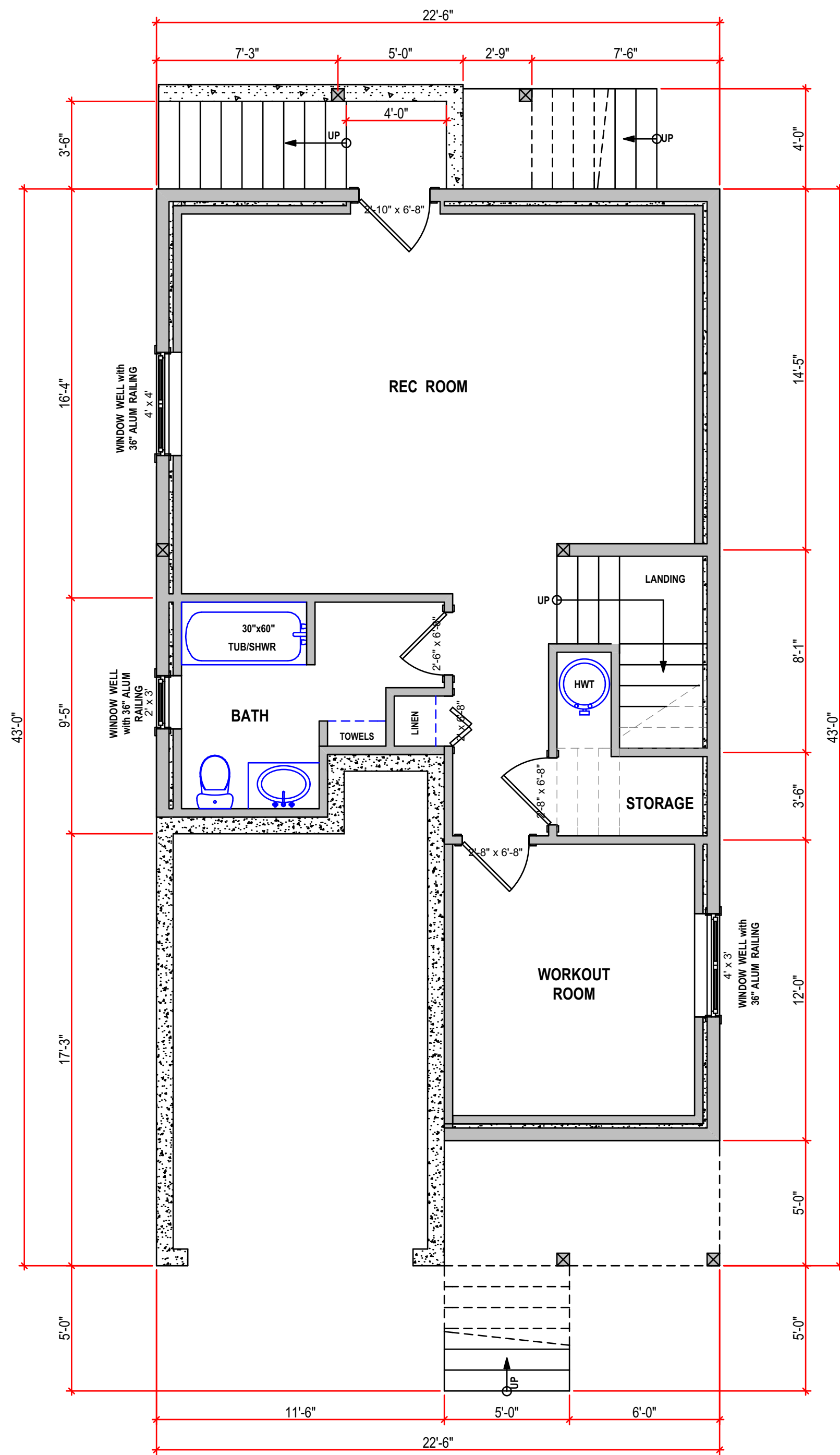
DRAWING NO.

A-2 of 4

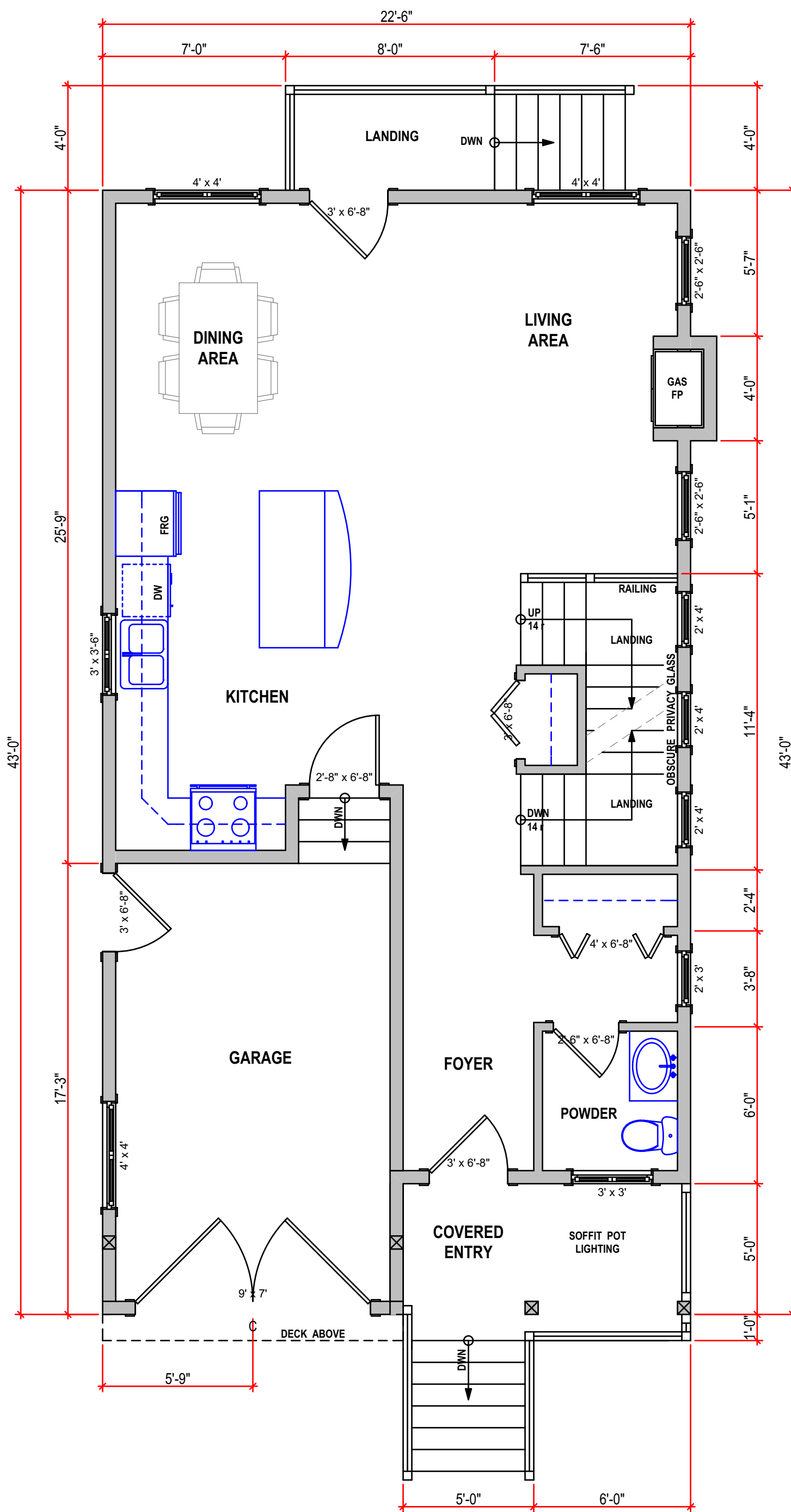
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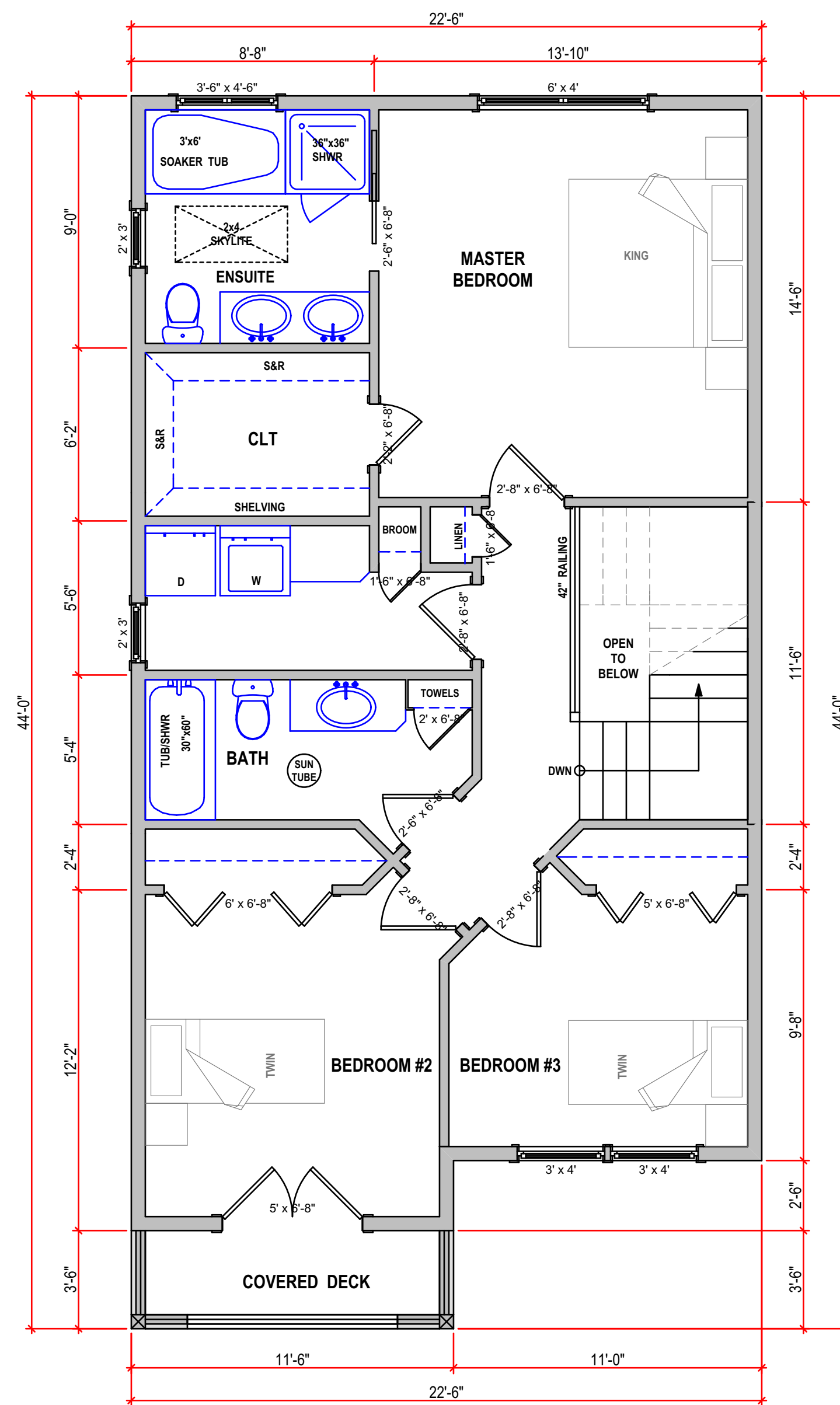
PRINT IN GREYSCALE



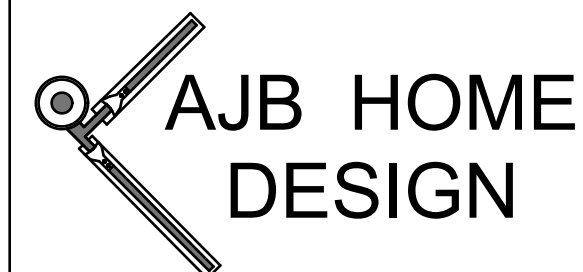
PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'



PROPOSED MAIN FLOOR PLAN
1/4" = 1'
PROPOSED LIVING SPACE @ 638.7 SQ/FT
NOTE: LIVING SPACE CALCULATED FROM EXTERIOR FACE OF EXTERIOR WALL



PROPOSED UPPER FLOOR PLAN
1/4" = 1'
PROPOSED LIVING SPACE @ 821.7 SQ/FT
NOTE: LIVING SPACE CALCULATED FROM EXTERIOR FACE OF EXTERIOR WALL.



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

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9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings
16	May 12/20	16th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.

FOR: CUNNIN

DRAWN BY: Alan Bisson

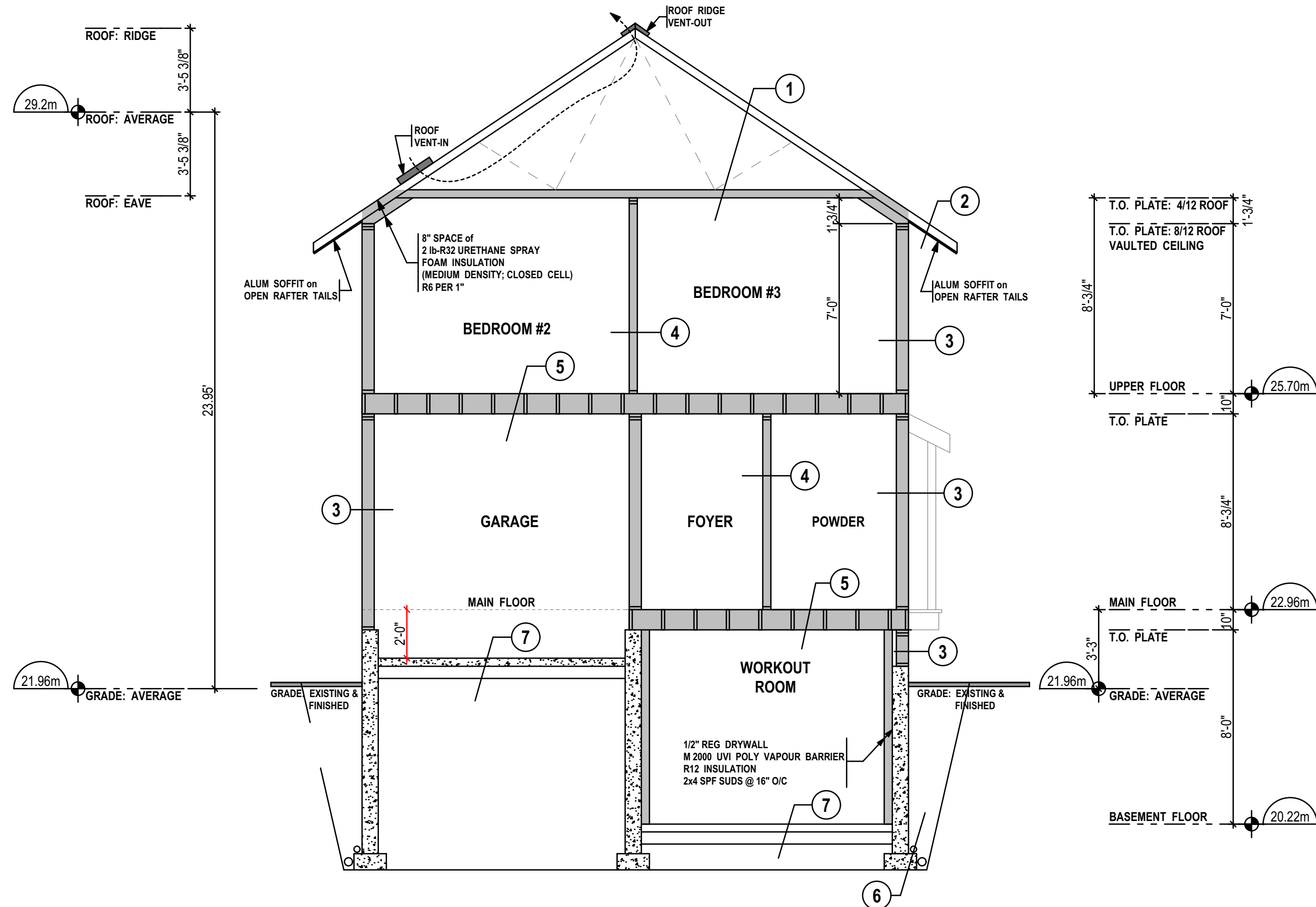
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A-4 of 6

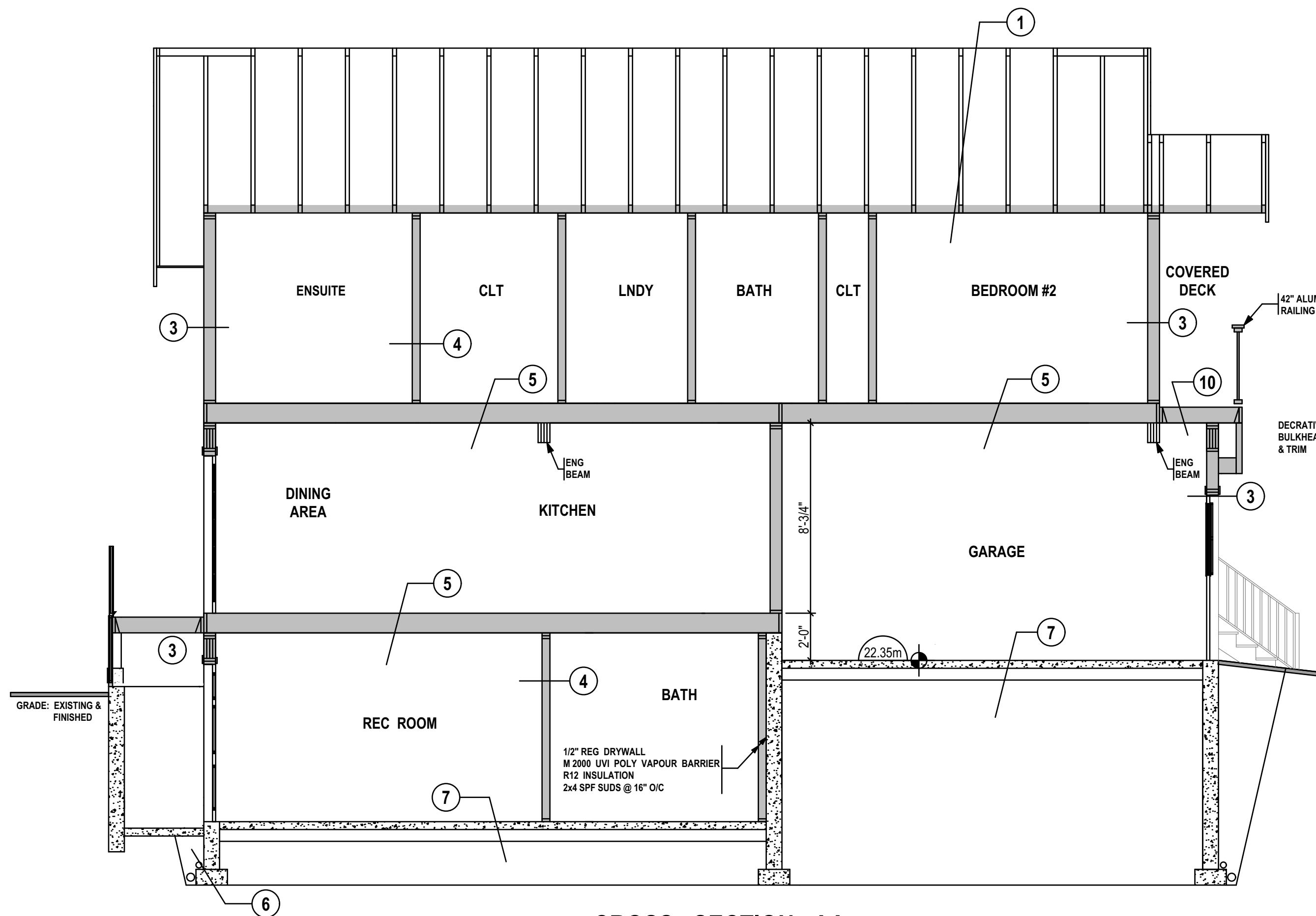
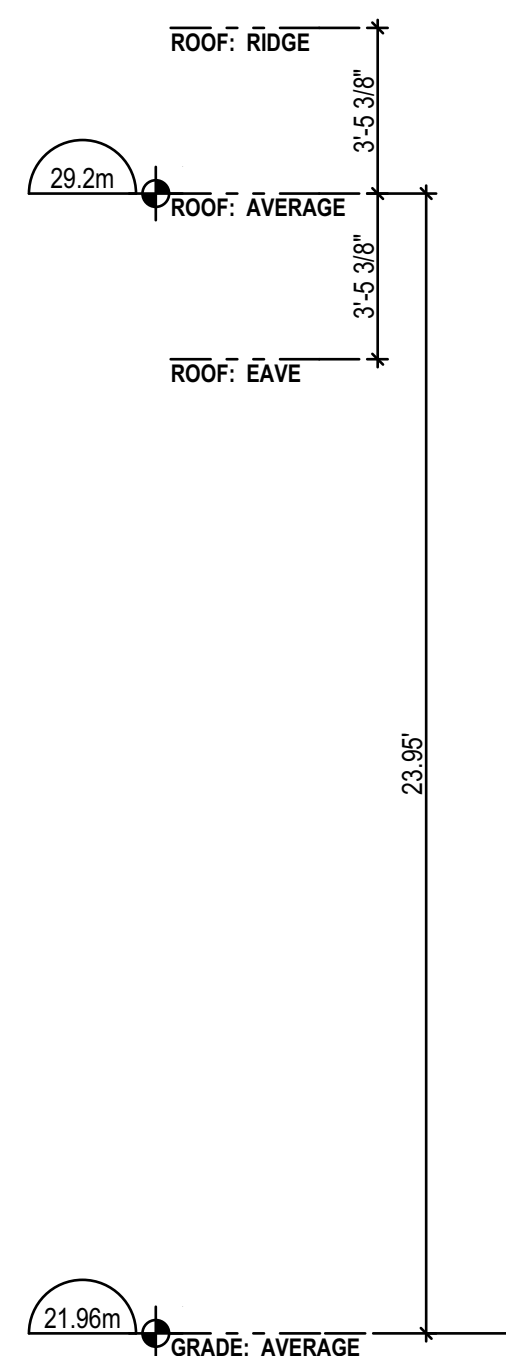
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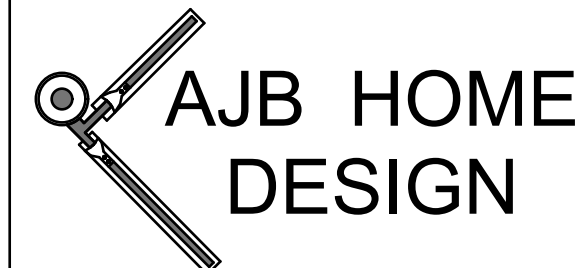
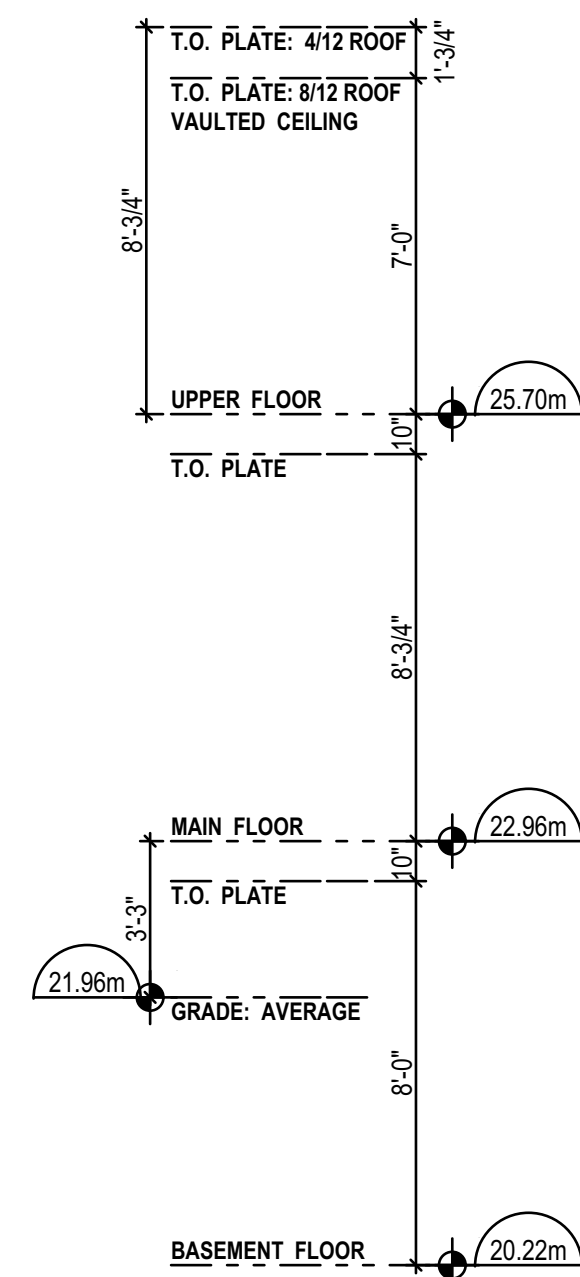
PRINT IN GREYSCALE



CROSS SECTION BB
1/4" = 1"



CROSS SECTION AA
1/4" = 1"



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PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.
FOR: CUNNIN

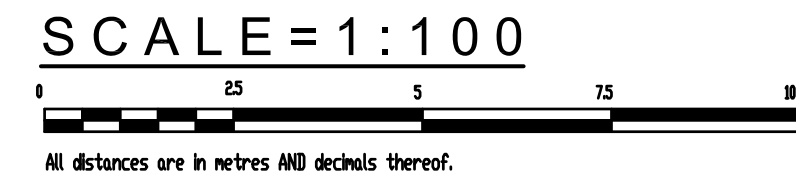
DRAWN BY: Alan Bisson

DRAWING NO.

A-4of 4

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B.C. LAND SURVEYOR'S SITE PLAN
TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION WITH VARIANCES
PROPOSED LOT 3, SECTION 57,
VICTORIA DISTRICT, PLAN EPP

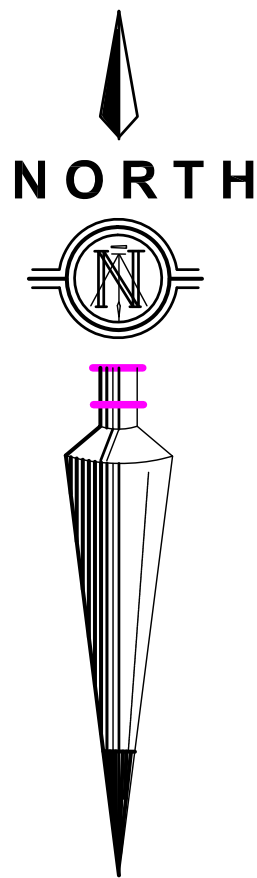
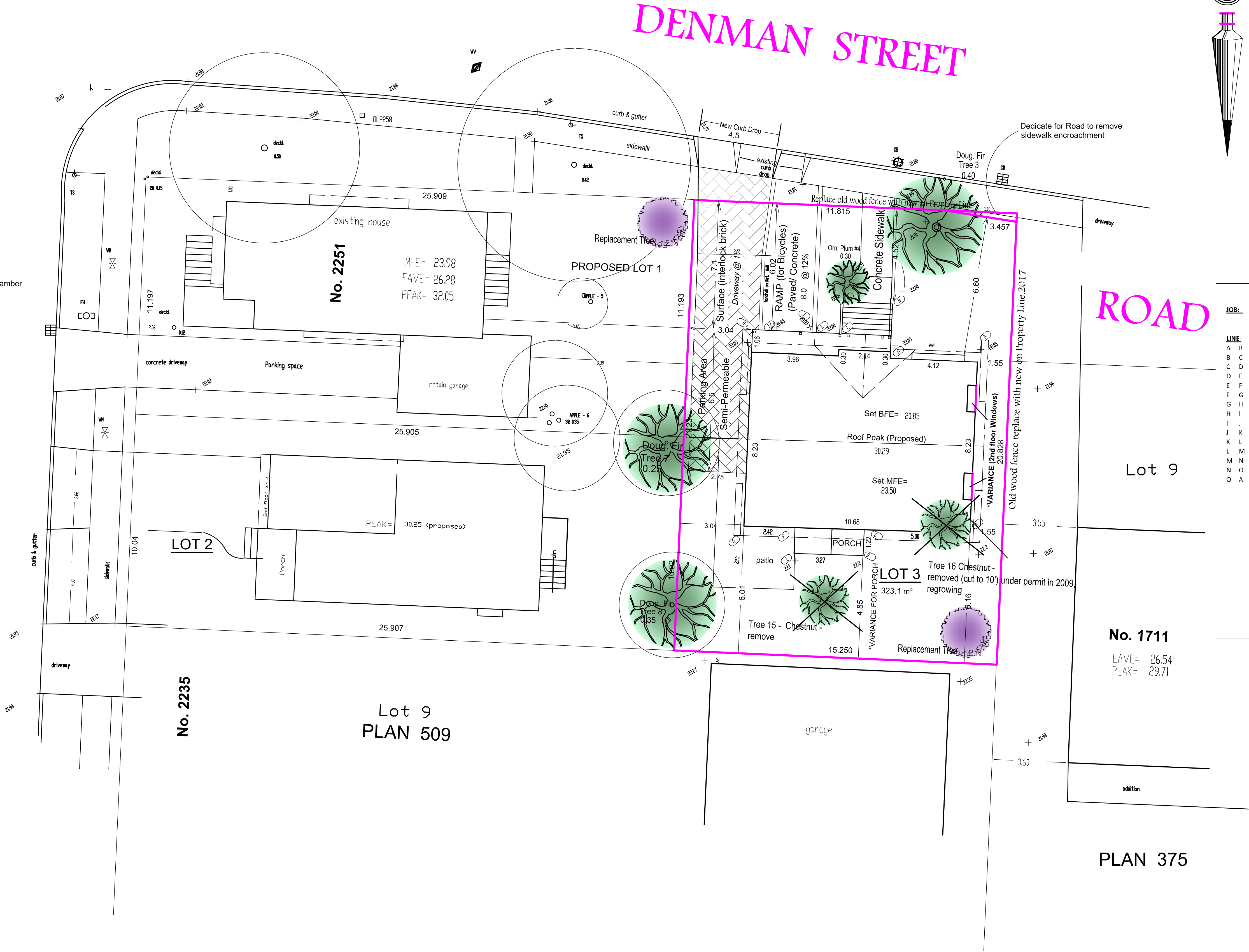


LEGEND

- Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m)
Tree bases approximately to scale.
- UPL - denotes Utility Pole with light
 - g - denotes guy wire
 - CB - denotes Catch Basin
 - WM - denotes Water Meter
 - WV - denotes Water Meter
 - TS - denotes Traffic Sign
 - FH - denotes fire hydrant
 - SC - denotes Service Connection Clean-out/Inspection Chamber
 - RWL - denotes Rain Water leader
 - 2227 + - denotes existing grade

NEW DENMAN STREET HOUSE
Proposed LOT 3

LYDIA STREET



PROJECT INFORMATION TABLE

Zoning Item	By-Law Value	Provided
Zoning	R1-S2	
Site Area	260 m²	323 m²
Floor Area		
Basement Area >1.8m ceiling AG		55.3 m² (596 sq.ft.) not incl.
Main Floor		83.7 m² (901 sq.ft.)
Upper Floor		78.4 m² (844 sq.ft.)
Attic > 2.10m ceiling		0
Excess Parking	>18.6 m²	0 m²
Total Floor Area Incl Stairs	190 m²	162.10m² (1745 sq.ft.)
Floor Space Ratio	0.6	0.51
Site Coverage %	40%	35.5 %
Open Site Space	N/A	50 %
Grade		22.05
Height of Building	7.50	7.36
Number of Storeys	2	2
Parking Stalls	1	1
Bicycle Parking	0	multiple
Building Setbacks		
Front Yard	6.0	6.01
Rear Yard	6.0	6.01 to building 4.85 *Variance to 4.80
Flanking Yard	2.4	N/A
Side Yard (West)	1.5/2.4	3.04
Side Yard (East)	1.5/2.4	1.55 *Variance to 1.50

ROAD

Date	26 March, 2019	File #	9419	
JOB:	New Denman House - Lot 3	CLIENT:	Cunnin	
LINE	FIRST CORNER ELEV.	SECOND CORNER ELEV.	AVG LENGTH	AVG EL x L
A B {	22.05 + 22.20	1/2 = 22.13 *	8.08 =	178.8
B C {	22.20 + 22.20	1/2 = 22.2 *	5.08 =	112.8
C D {	22.20 + 22.20	1/2 = 22.2 *	1.22 =	27.1
D E {	22.20 + 22.10	1/2 = 22.15 *	3.27 =	72.4
E F {	22.10 + 22.10	1/2 = 22.1 *	1.22 =	27.0
F G {	22.10 + 22.00	1/2 = 20.8 *	2.42 =	53.4
G H {	22.00 + 22.05	1/2 = 22.03 *	9.30 =	204.8
H I {	22.05 + 20.85	1/2 = 21.45 *	0.15 =	3.2
I J {	20.85 + 20.85	1/2 = 20.85 *	3.81 =	79.4
J K {	20.85 + 22.00	1/2 = 21.43 *	0.15 =	3.2
K L {	22.00 + 22.00	1/2 = 22 *	1.75 =	38.5
L M {	22.00 + 22.00	1/2 = 22 *	2.44 =	53.7
M N {	22.00 + 22.00	1/2 = 22 *	2.56 =	56.3
N O {	22.00 + 22.05	1/2 = 22.03 *	=	=
O A {	22.05 + 22.05	1/2 = 22.05 *	4.12 =	90.8
TOTALS			*	45.57
TOTALS			*	1004.8
AVG. GRADE		Total Area/Total Wall Length		22.05
AVG. GRADE		Total Area/Total Wall Length		22.05
HEIGHT CALCULATION				
PEAK	30.29			
EAVE	28.57			
MEAN	29.41			
HEIGHT	(Mean Avg. Grade)			7.36
BASEMENT CALCULATION				
Basement Ceiling	23.25			
AVER. GRADE	22.05			
Height above grade	1.20		=	1.20

No. 1711

EAVE= 26.54
PEAK= 29.71

PLAN 375

PROPOSED SINGLE FAMILY RESIDENCE

R1-S2

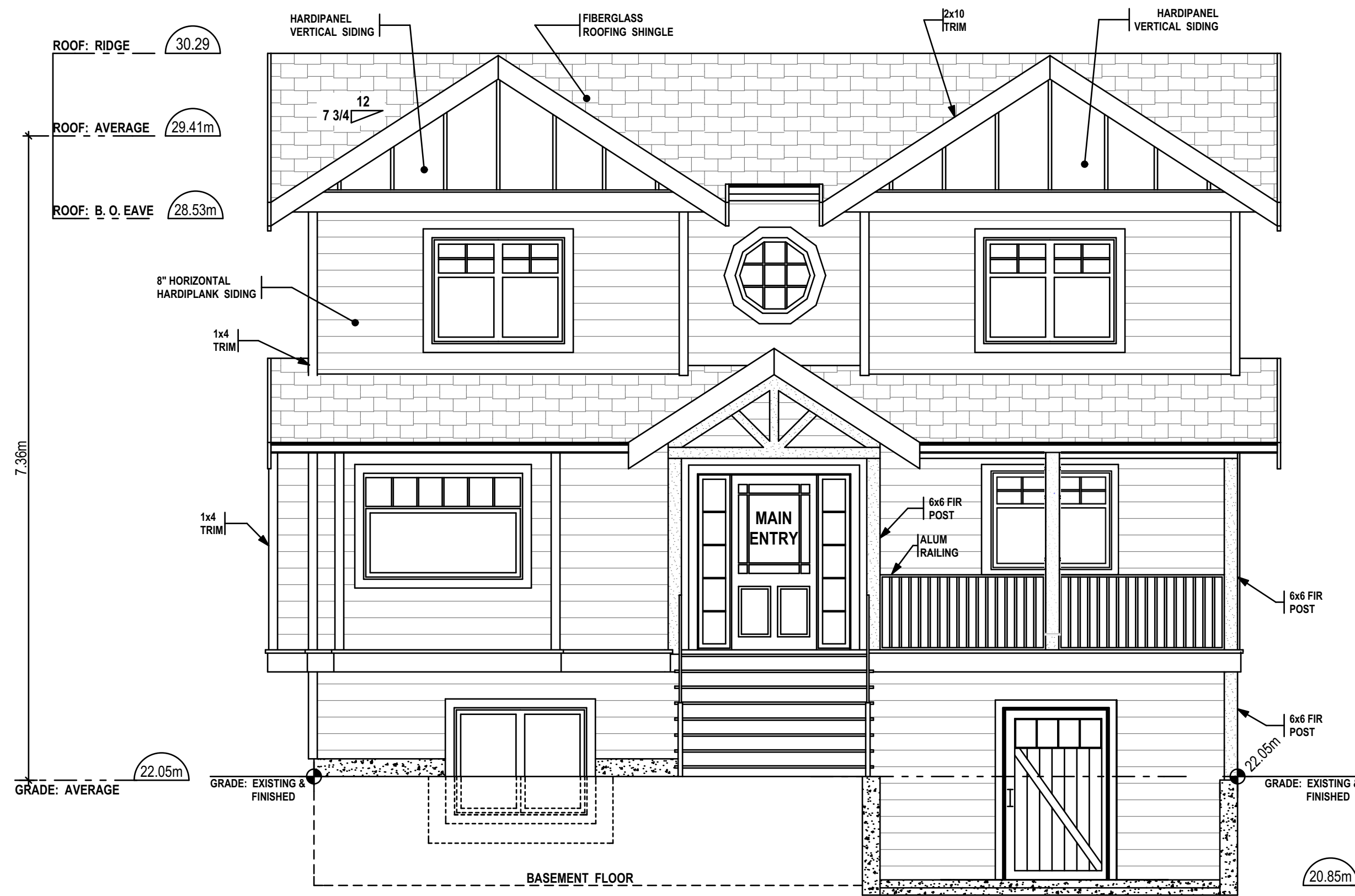
FOR: BRAD CUNNIN
NEW DENMAN STREET
HOUSE

26 March, 2019- edits for DP

15 August, 2018.

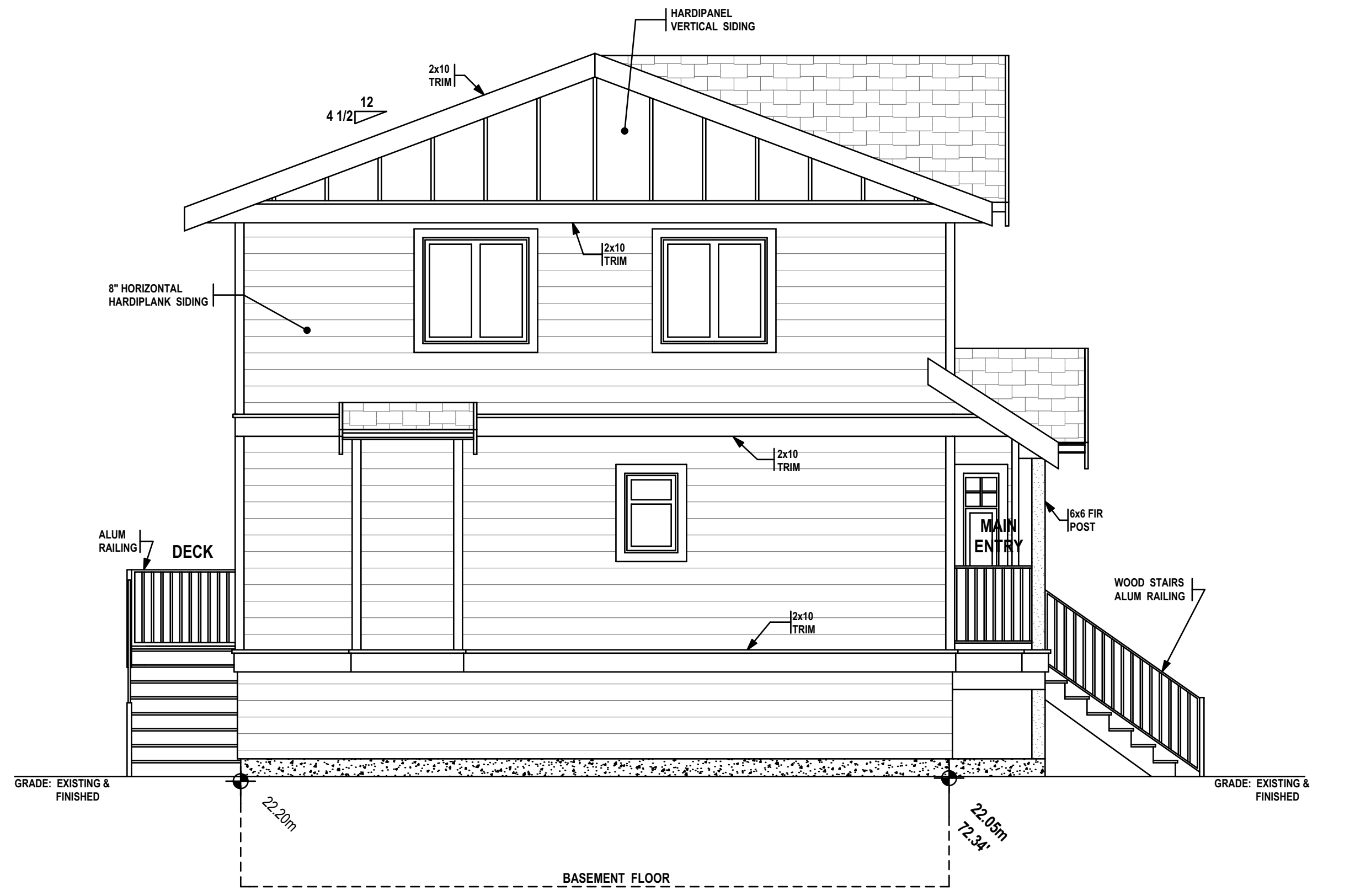
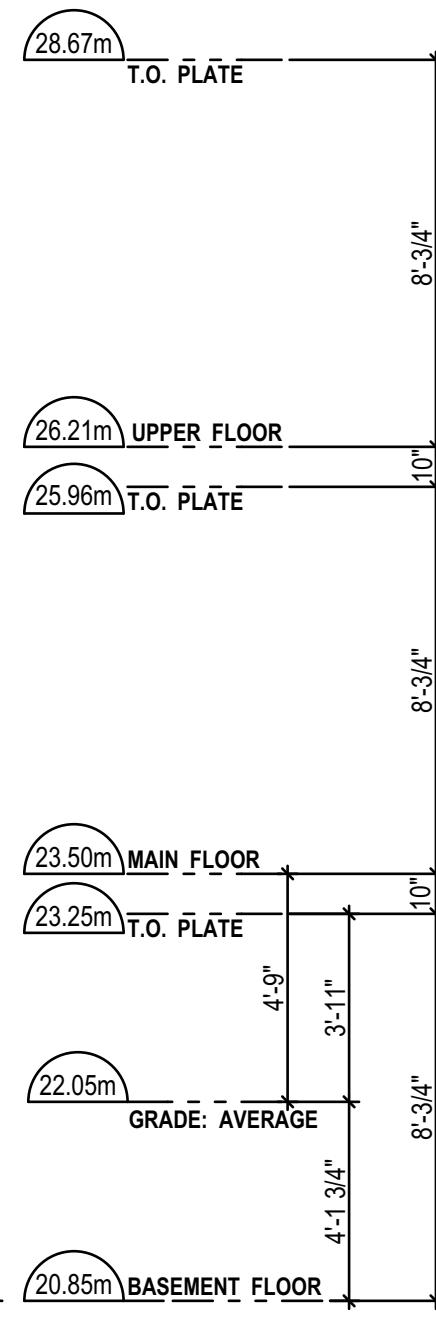
FILE: 9419 - 17
DATE: 15/08/2018 / 2018-08-15
Brad Cunnin Land Services
2225 Lydia Street
Victoria, BC V8W 1S2
ph. 250-480-9693

brad@cunnin.ca



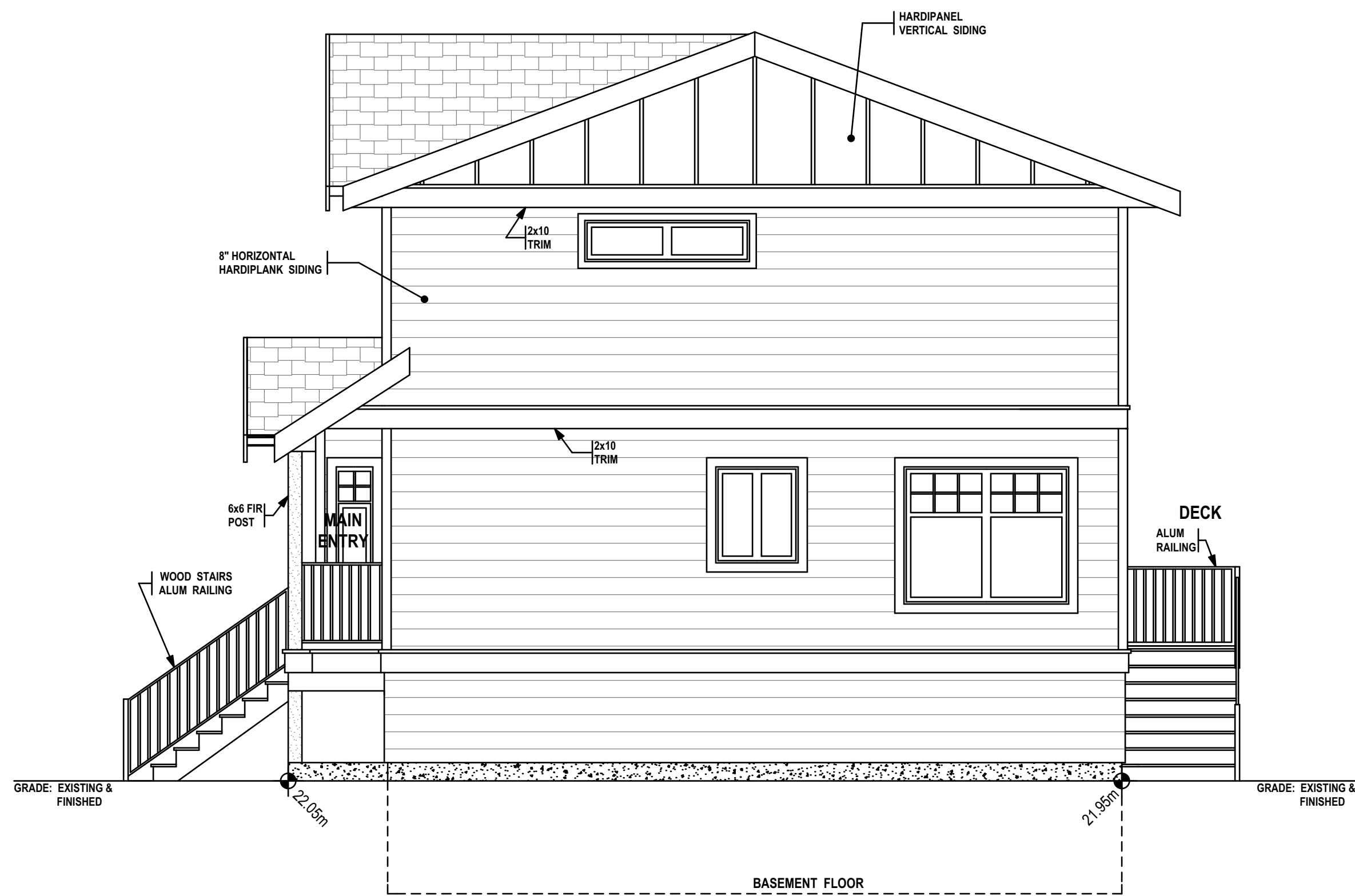
FRONT ELEVATION

1/4" = 1'



LEFT SIDE ELEVATION

1/4" = 1'



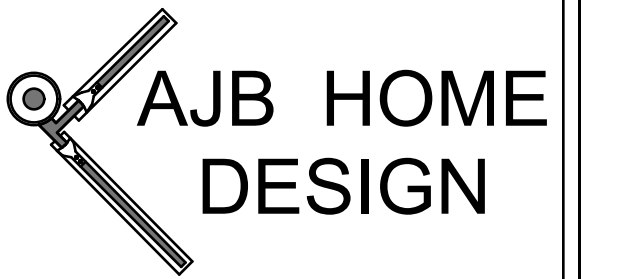
RIGHT SIDE ELEVATION

1/4" = 1'



REAR ELEVATION

1/4" = 1'



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
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14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.

FOR: CUNNIN

DRAWN BY: Alan Bisson

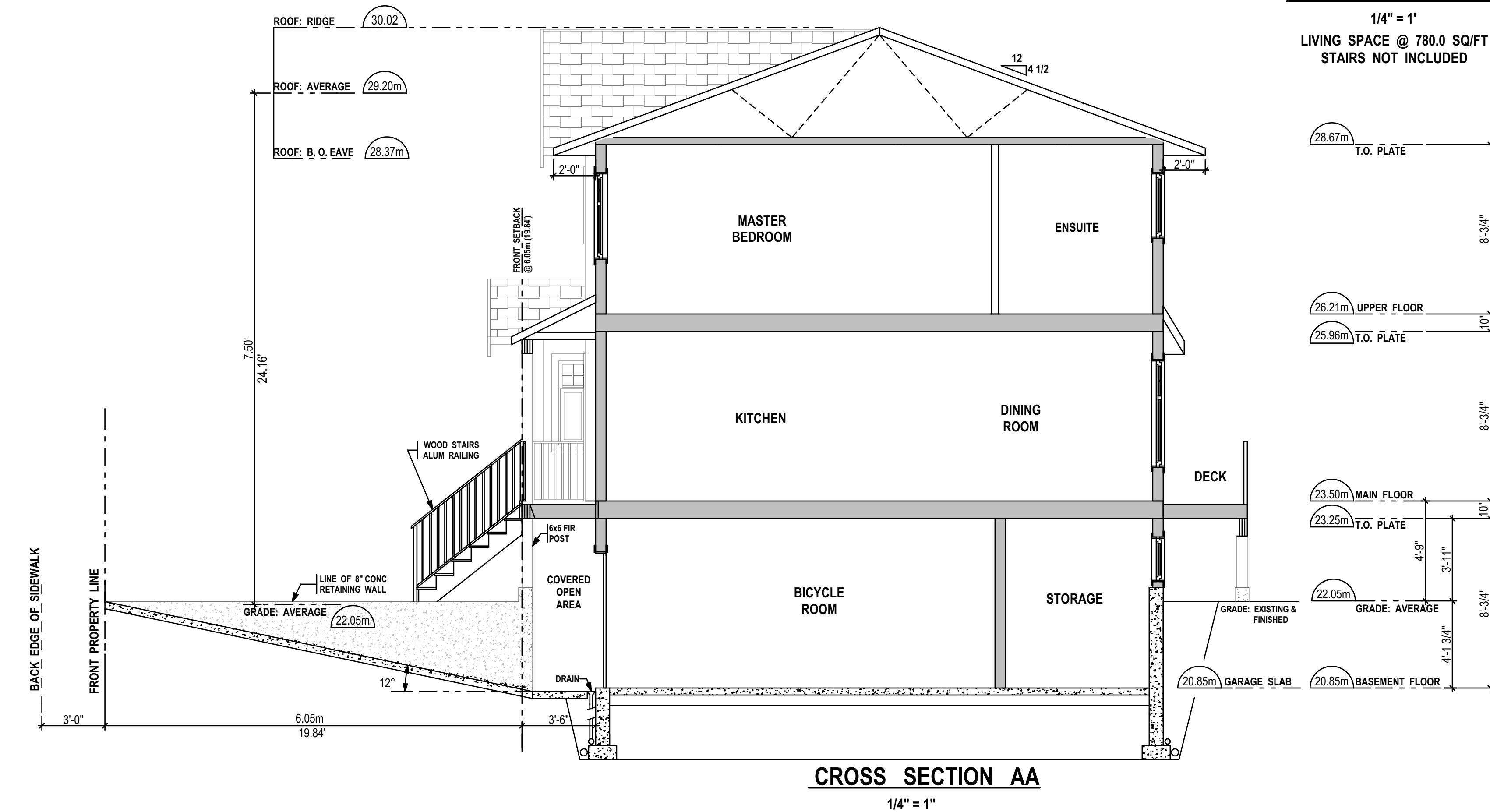
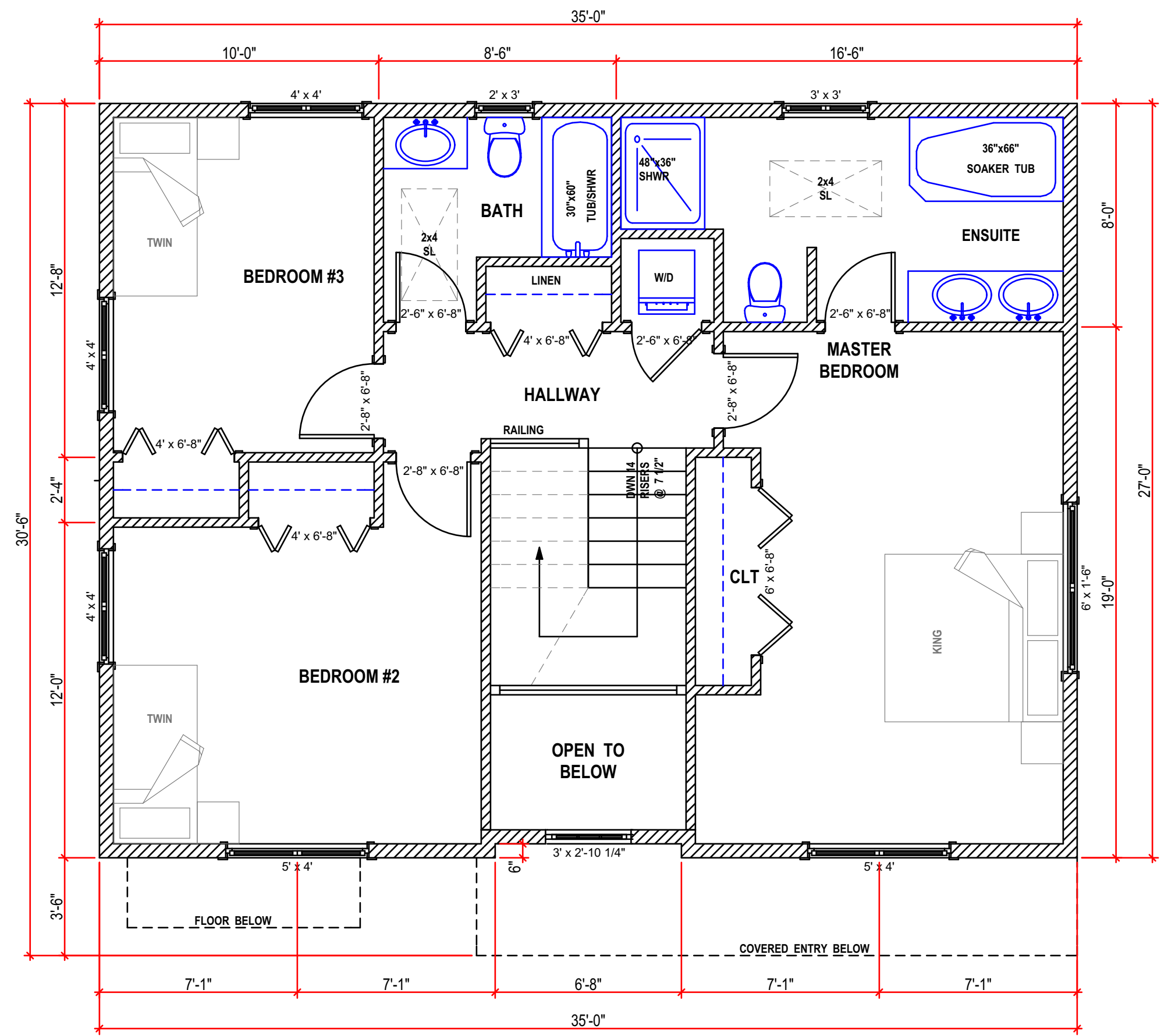
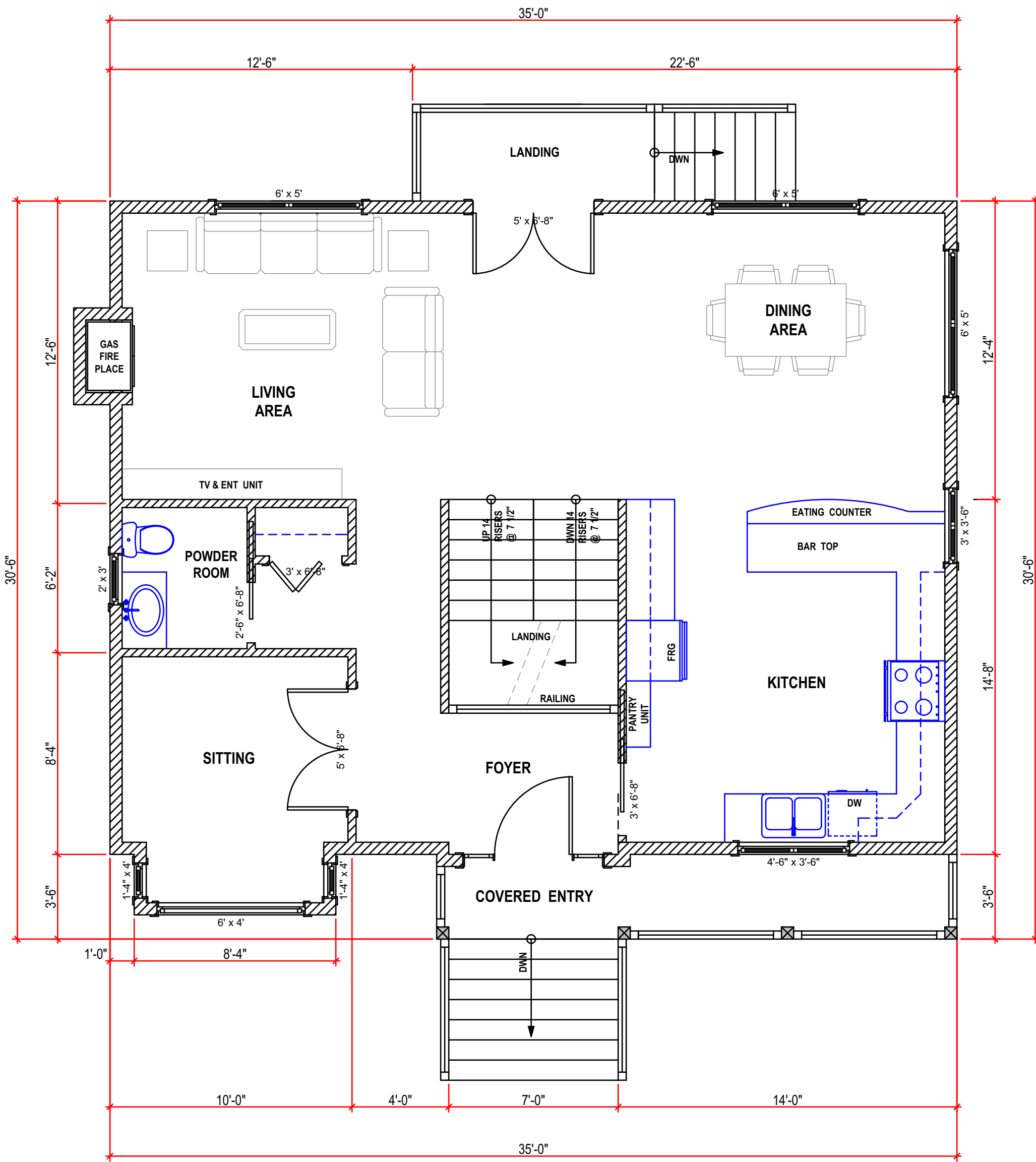
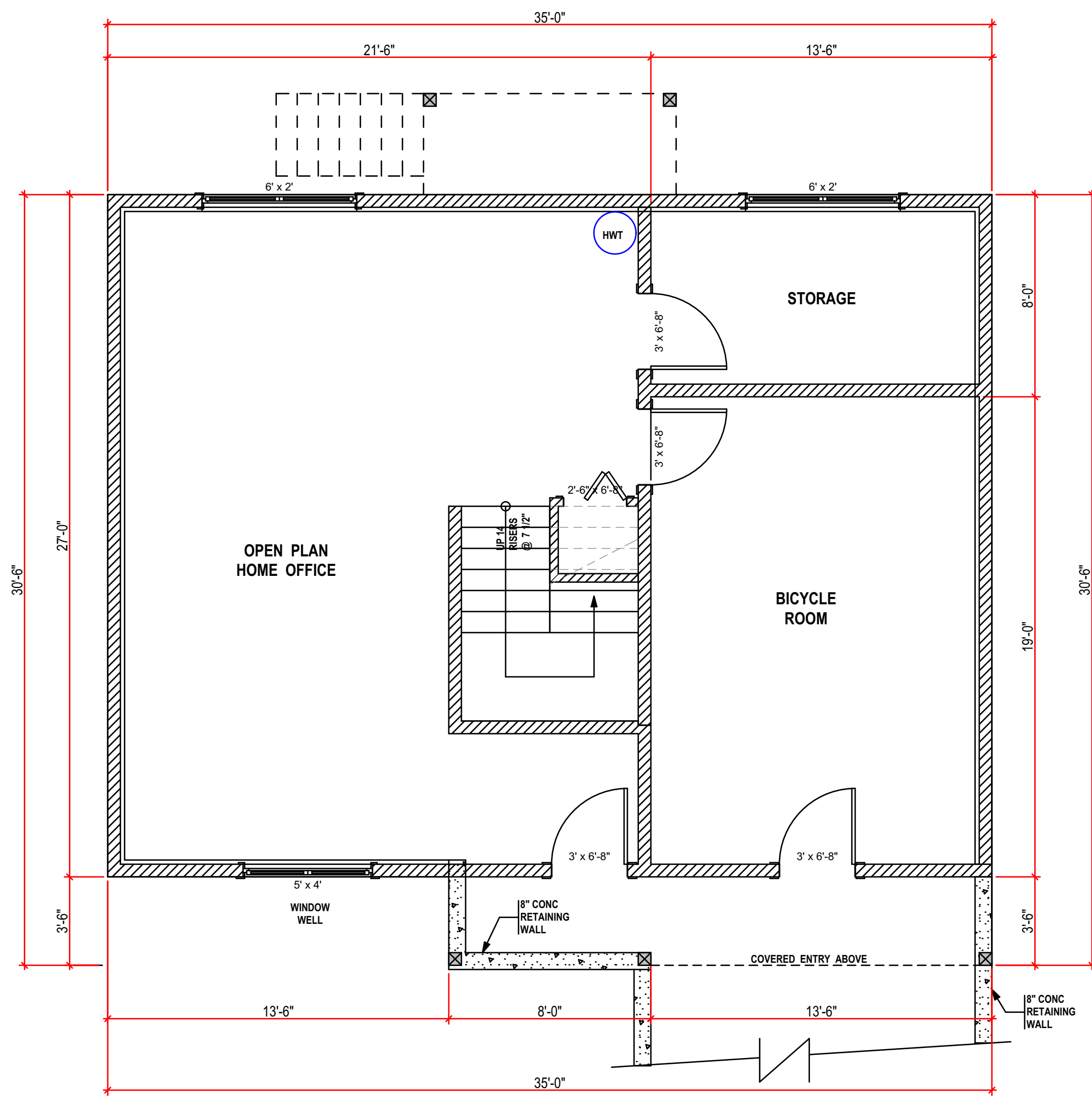
DRAWING NO.

A-1 of 6

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PRINT IN GREYSKALE



LEGEND

POST (6x6 or 3-2X6 BLT-UP)

BEARING POINT

LINE OF FLOOR ABOVE

LINE OF FLOOR BELOW

BEAM FACE
BEAM CENTRE
BEAM FACE

ENG ROOF GIRDER TRUSS

2x4 WALL

2x6 WALL

8" CONCRETE FOUNDATION WITH 8x16" CONT. FOOTINGS

8" CONCRETE CORBELLED FOUNDATION WITH 8x16" CONT. FOOTINGS

2x4 PONY WALL ON 8" CONCRETE FOUNDATION WITH 8x16" CONT. FOOTINGS

12" CONCRETE FOUNDATION WITH 4'x8" LIP FOR FULL HEIGHT REBAR AS REQUIRED

ENGINEERED 8" CONCRETE FND WALL 8'x16" CONC FOOTING REBAR AS REQUIRED

2x4 SPF STUDS @ 16" O/C

R20 INSULATION

12" DRYWALL

28.6m 93.8' METERS FEET

GEODETIC DATUM FROM LEGAL SITE SURVEY BY A BOLS

NOTE TO PRINTERS

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AJB HOME DESIGN

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Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

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PROJECT TYPE
NEW RESIDENCE-SFD

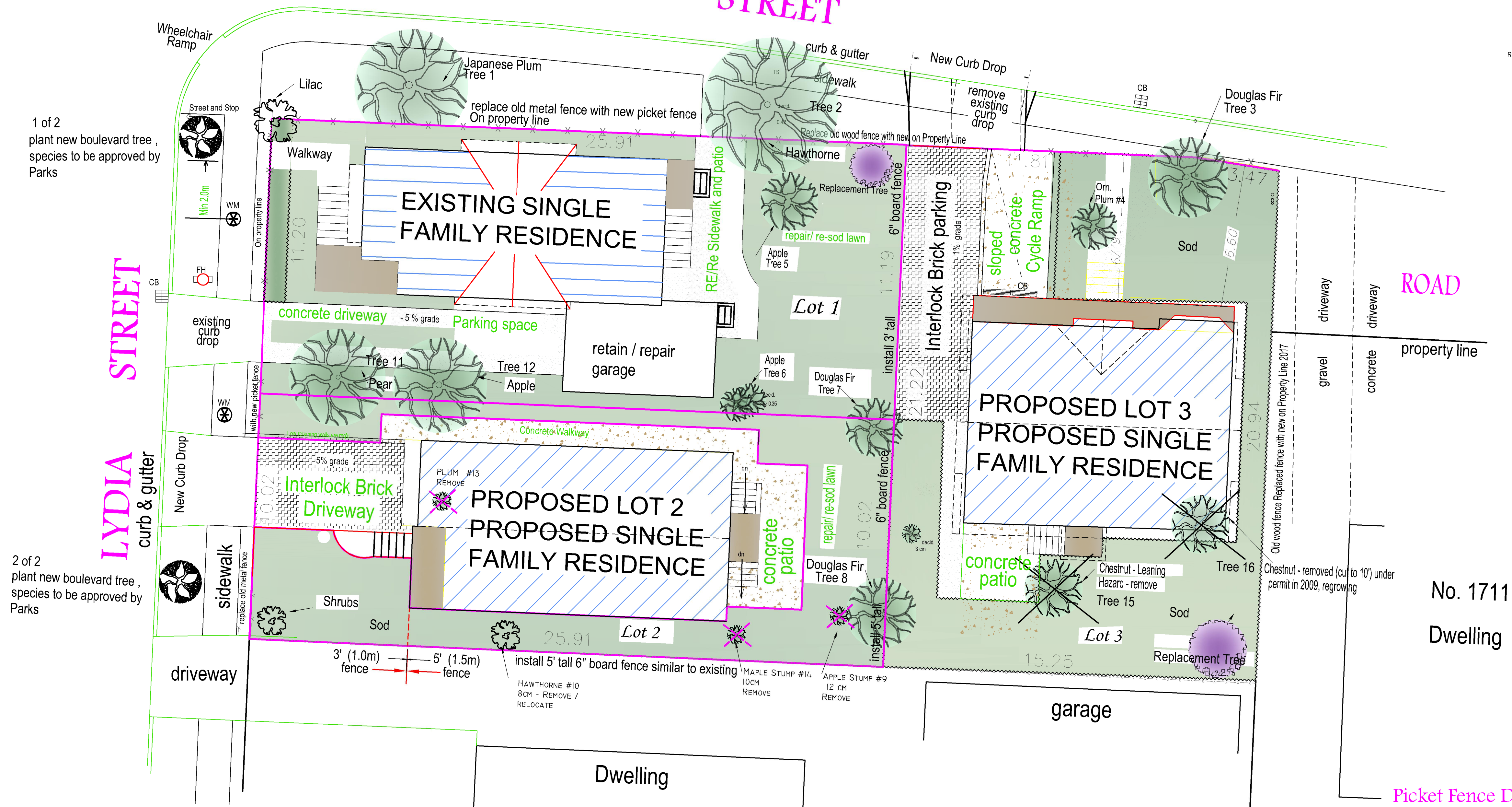
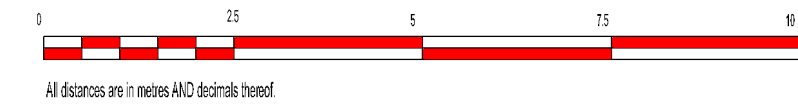
SITE @
Lot 3 DENMAN ST.













FOR: CUNNIN

DRAWN BY: Alan Bisson

DRAWING NO.
A-2 of 6

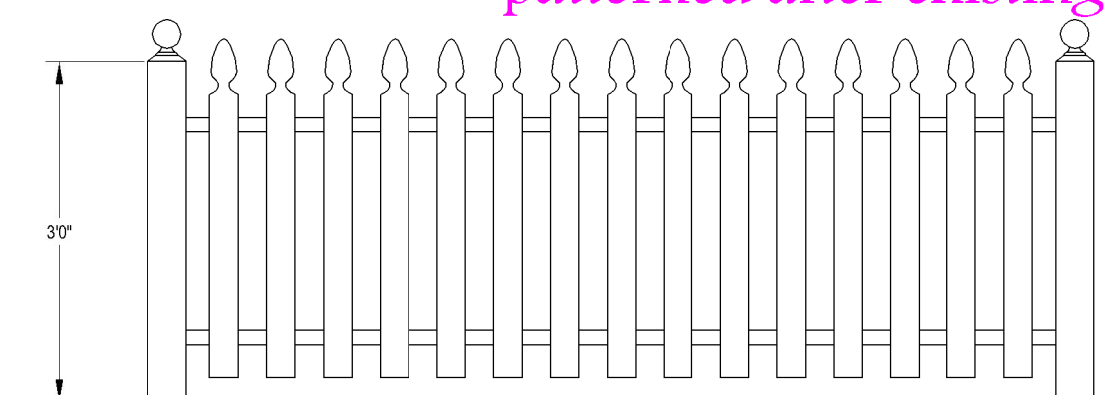
DENMAN AND LYDIA



- UPL  - denotes Utility Pole with light
- CB  - denotes Catch Basin
- WM  - denotes Water Meter
- WW  - denotes Water Meter
- TS  - denotes Traffic Sign
- FH  - denotes fire hydrant
-  - denotes guy wire
-  - denotes Existing Trees
-  - denotes tree to be removed
-  - denotes New Boulevard Trees required by Development
-  - denotes Trees replacing removed protected tree
-  - denotes Existing shrub

No. 1711
Dwelling

- Picket Fence Design – along street boundaries– patterned after existing



FILE : 9149 - 28
DWG/DATE: 9149/LAND / 2018-08-16
Brad Cunnin Land Services
2235 Lydia Street
Victoria, BC V8W 1S2
ph. (250)480-9693 / 250-727-2723



1711 DENMAN STREET
EXISTING RESIDENCE



FRONT ELEVATION
1/4" = 1'

1708 DENMAN STREET
PROPOSED RESIDENCE



2251 LYDIA STREET
PROPOSED RESIDENCE
(SIDE VIEW)

LYDIA STREET

STREETSCAPE OF DENMAN STREET

1/8" = 1'

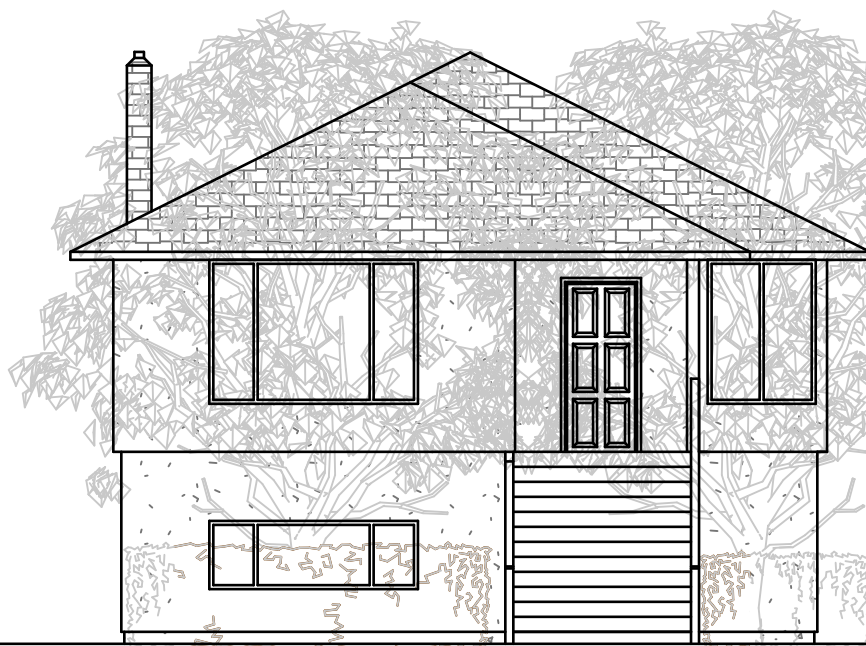


DENMAN STREET

2251 LYDIA STREET
PROPOSED RESIDENCE
(FRONT VIEW)



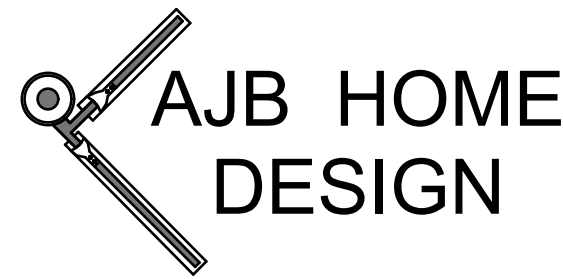
2243 LYDIA STREET
PROPOSED RESIDENCE



2235 LYDIA STREET
EXISTING RESIDENCE

STREETSCAPE OF LYDIA STREET

1/8" = 1'



2740 Belmont Ave. Office 250-595-0858
Victoria BC V8R 4A8
email: ajbhomedesign@shaw.ca

NO.	DATE	DESCRIPTION
1	Apr 6/10	1st Preliminary Drawings
2	Apr 16/10	2nd Preliminary Drawings
3	July 15/10	3rd Preliminary Drawings
4	Sept 21/10	4th Preliminary Drawings
5	Oct 4/10	5th Preliminary Drawings
6	Dec 21/10	6th Preliminary Drawings
7	May 2/12	7th Preliminary Drawings
8	Mar 19/14	8th Preliminary Drawings
9	Apr 22/14	9th Preliminary Drawings
10	May 11/16	10th Preliminary Drawings
11	Mar 31/17	11th Preliminary Drawings
12	May 01/17	12th Preliminary Drawings
13	May 18/18	13th Preliminary Drawings
14	Oct 4/19	14th Preliminary Drawings
15	Nov 14/19	15th Preliminary Drawings

PROJECT TYPE
NEW RESIDENCE--SFD

SITE @
Lot 3 DENMAN ST.

FOR: CUNNIN

DRAWN BY: Alan Bisson

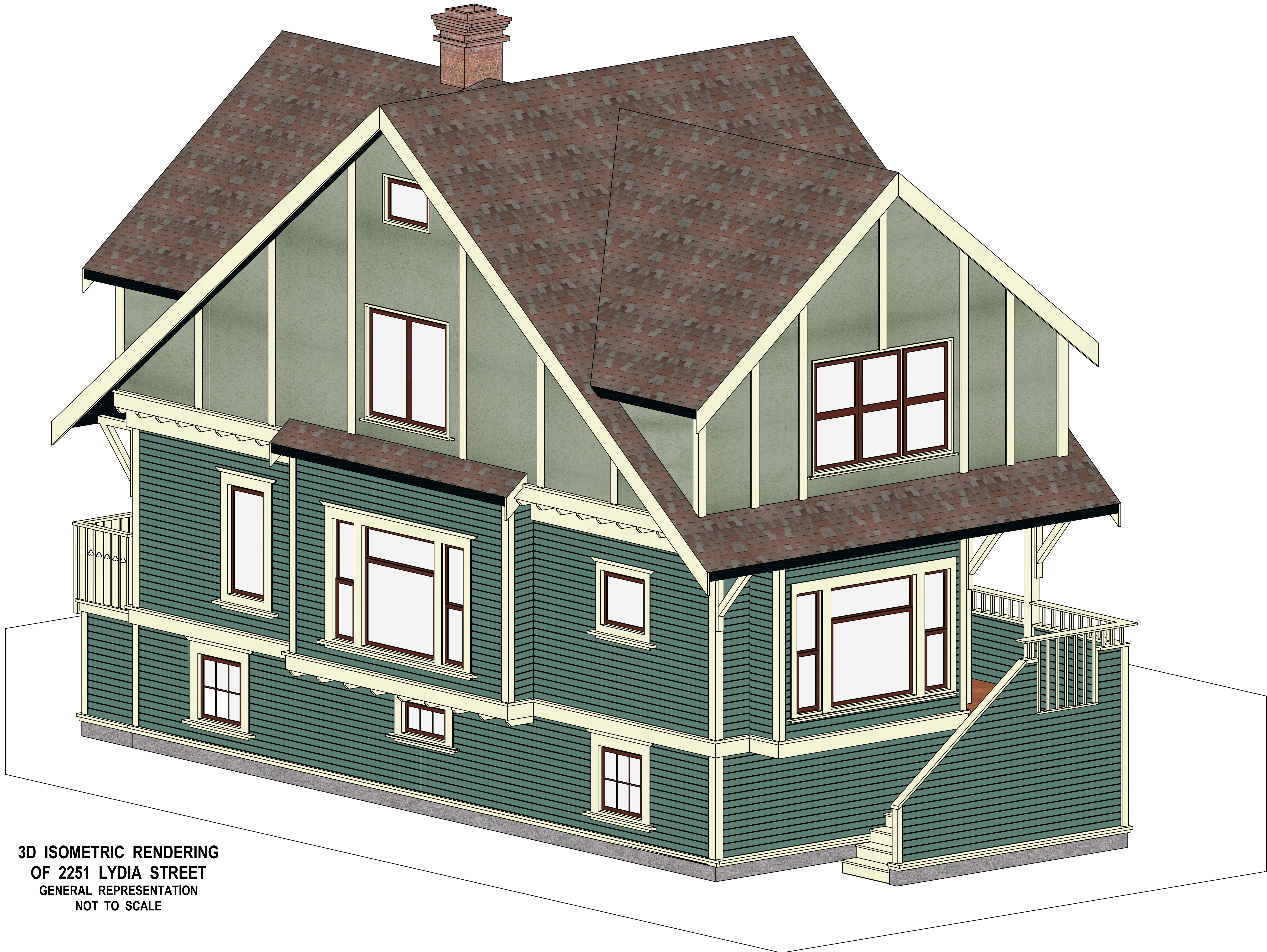
DRAWING NO.

A-6 of 6

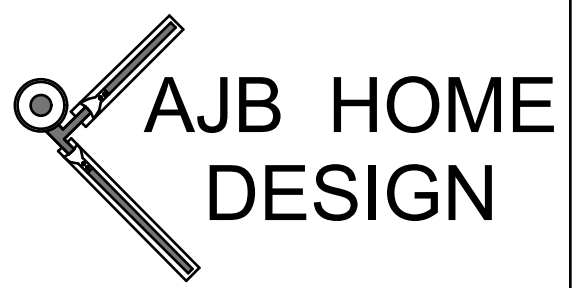
NOTE TO PRINTERS

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PRINT IN GREYSCALE



3D ISOMETRIC RENDERING
OF 2251 LYDIA STREET
GENERAL REPRESENTATION
NOT TO SCALE



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Victoria BC, V9B 2W3
Office 250-595-0858
email: ajbhomedesign@shaw.ca
www.ajbhomedesign.com

#	DATE	DESCRIPTION
1	March 28/19	Streetscape & Renderings
2	April 12/19	Streetscape & Renderings Revised

PROJECT TYPE
STREETSCAPE & RENDERING
OF LYDIA & DENMAN
DEVELOPMENT

SITE: LYDIA & DENMAN
DEVELOPMENT

CLIENT: CUNNIN

DRAWN BY: Taylor SB

DRAWING NO.

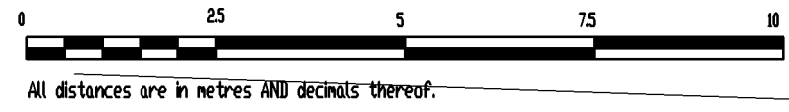
A-1 of 2

SITE PLAN

TO ACCOMPANY HERITAGE ALTERATION PERMIT APPLICATION WITH VARIANCE

PROPOSED LOT 1, SECTION 57,
VICTORIA DISTRICT, PLAN EPP

SCALE = 1 : 100



LEGEND

Elevations are geodetic based on City of Victoria Integrated Survey Monument 15-7 (elev. = 22.123m)
Tree bases approximately to scale.

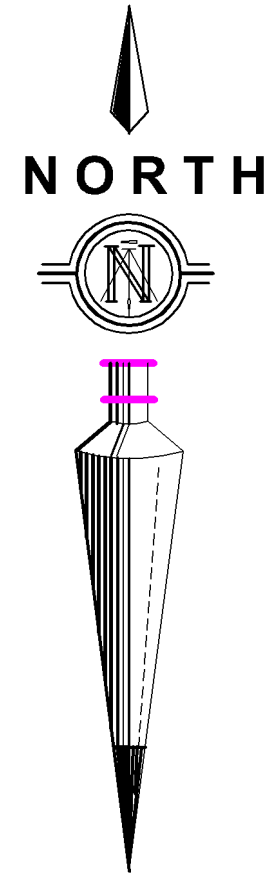
- UPL - denotes Utility Pole with light
- g - denotes guy wire
- CB - denotes Catch Basin
- WM - denotes Water Meter
- TS - denotes Traffic Sign
- FH - denotes fire hydrant
- RWL - denotes Rain Water leader
- 2227 + - denotes existing grade
- denotes New Boulevard Trees required by Development
- denotes Trees replacing removed protected tree
- denotes Existing shrub
- denotes Existing tree

EXISTING LYDIA STREET HOUSE

On Proposed LOT 1

DENMAN STREET

LYDIA STREET



PROJECT INFORMATION TABLE

Zoning Item	By-Law Value	Provided
Zoning	R1-S2	
Site Area	260 m²	291 m²
Floor Area		
Basement Area >1.8m ceiling AG		64.1 m² (696 sq.ft.) not incl.
Main Floor Area		73.2 m² (787.6 sq.ft.)
Upper Floor Area		76.1 m² (819.4 sq.ft.)
Attic > 2.10m ceiling		0
Excess Parking	>18.6 m²	1.2 m²
Total Floor Area	190 m²	150.7 m² (1622 sq.ft.)
Floor Space Ratio	0.6	0.52
Site Coverage %	40%	34.4 %
Open Site Space	N/A	36 %
Grade		21.93
Height of Building	7.50	N/C 8.22 (From High Ridge to High eave)
Number of Storeys	2	N/C 3 (Existing)
Parking Stalls	1	2
Bicycle Parking	0	
Building Setbacks		
Front Yard	6.0	N/C 3.27 (Existing)
Rear Yard	6.0	9.69 to building - 7.39 to garage
Flanking Yard	2.4	N/C 0.50 (Existing)
Side Yard (South)	1.5/2.4	0.61 *Variance to 0.60

N/C denotes non-conforming but pre-existing

Average Grade Calc.
After foundation replacement

JOB: 2251 Lydia		CLIENT: Cunin	
LINE	FIRST CORNER ELEV.	SECOND CORNER ELEV.	AVG. WALL LENGTH
A B	21.93	21.89	14.02
B C	21.89	21.90	1.98
C D	21.90	21.90	1.83
D E	21.90	21.90	3.61
E F	21.90	21.90	2.29
F G	21.90	21.60	0.20
G H	21.60	21.60	1.20
H I	21.60	22.00	0.20
I J	22.00	22.00	2.21
J K	22.00	22.00	6.20
K L	22.00	21.60	0.20
L M	21.60	21.60	3.25
M N	21.60	22.10	4.47
N O	22.10	22.00	0.30
O P	22.00	22.05	5.64
P Q	22.05	22.05	4.75
Q R	22.05	22.00	5.75
R A	22.00	21.93	6.75
TOTALS			64.85
AVG. GRADE			21.93
HEIGHT CALCULATION			
PEAK	31.95		
EAVE	28.35		
MEAN	30.15		
HEIGHT	(Mean Avg. Grade)		8.22
BASEMENT CALCULATION			
Basement Ceiling	23.62		
AVR. GRADE	21.93		
Height above grade	1.69		1.69

Building Note:

Existing house has had foundation reconstructed, house is now 10cm lower than before. It is in the same location. Concrete in the location of garage rebuild has been poured, but no construction or building permit has been commenced, pending the outcome of a DP application.

NOTES

- All connections to municipal services to be 100mm PVC installed at 2% unless otherwise indicated.
- All works to be performed to applicable by-laws and codes. No work to be performed from these drawings unless these drawings are approved by Municipality. All works subject to municipal inspection and approval.
- Location of existing services are as per Municipal records, and must be field verified. Care to be exercised in trenching for actual locations.
- Final service connection elevations are dependent on depth of existing service mains. Where critical, final service connection elevations to be verified before commencing any residential construction.

5 March, 2019



brad@cunin.ca

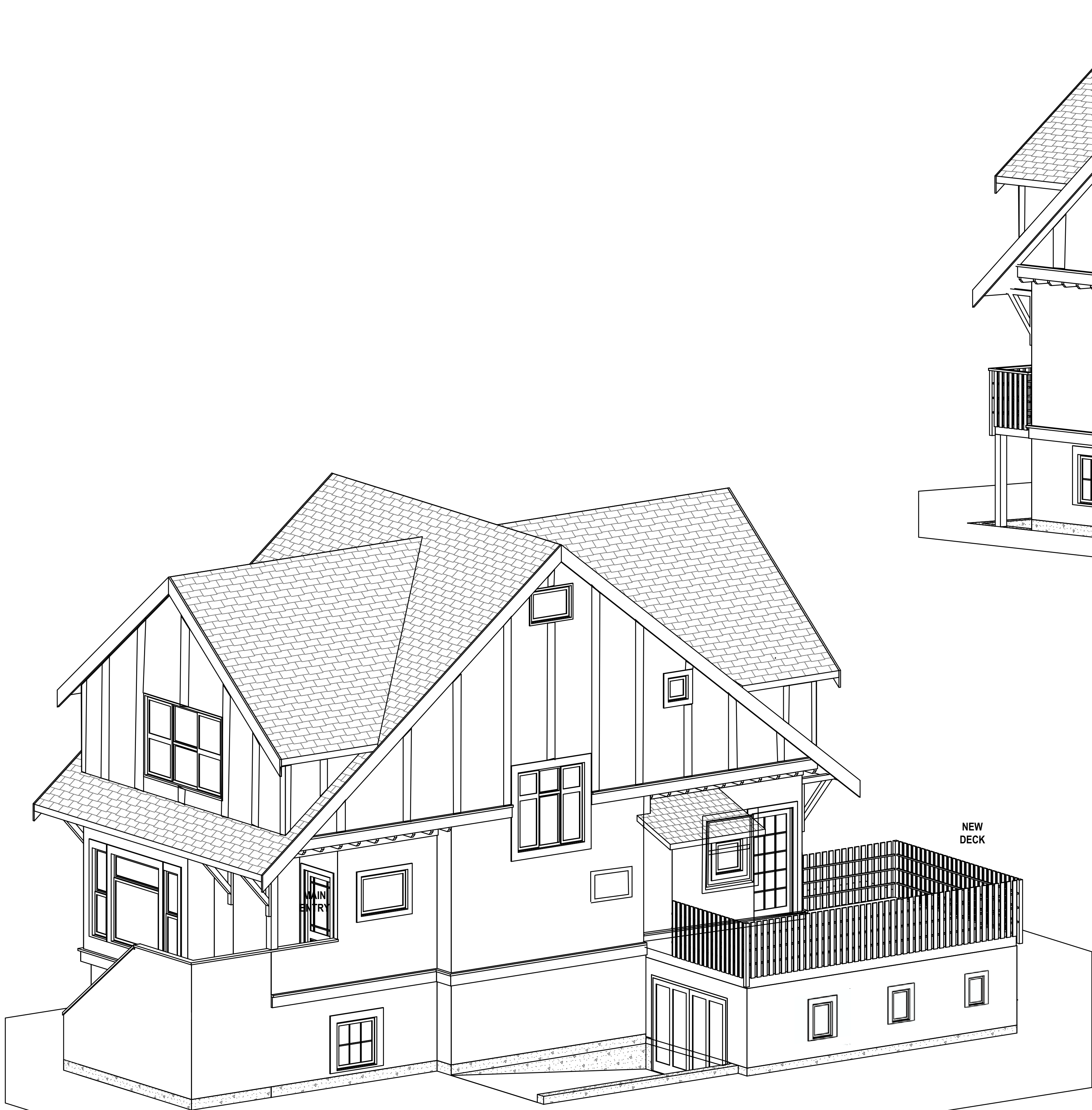
2251 Lydia Street

Subdivision of Am Lot 10, Blk 2, Sec 57, Plan 509

BENCHMARK: 15 - 29	ELEVATION = 24.39m
DRAWING: 9149-Lot 1	DRAWN: BWC
SCALE: Hor. 1:200 Vert. nts	CHECKED: BWC
	DATE: 18 March, 2018

Brad Cunin Land Services

2235 Lydia Street
Victoria, BC V8T 1Y9
(250) 480-9693
brad@cunin.ca



3D VIEW - FRONT PROPOSED

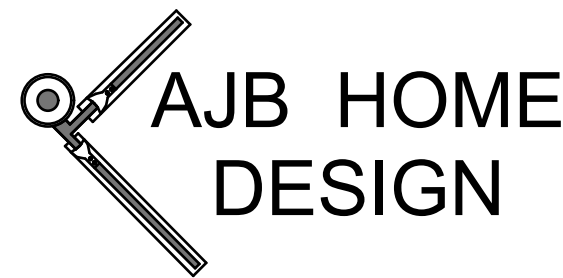
NTS

NOTE: THIS 3D VIEW IS A GENERAL REPRESENTATION OF THE PROJECT AND IS ONLY MENT TO HELP WITH COMMUNICATIONS BETWEEN ALL PARTIES. REFER TO DRAWINGS FOR ACCURATE DETAILS.

3D VIEW - FRONT PROPOSED

NTS

NOTE: THIS 3D VIEW IS A GENERAL REPRESENTATION OF THE PROJECT AND IS ONLY MENT TO HELP WITH COMMUNICATIONS BETWEEN ALL PARTIES. REFER TO DRAWINGS FOR ACCURATE DETAILS.



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NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

PROJECT TYPE
NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

DRAWING NO.

A-1 of 6

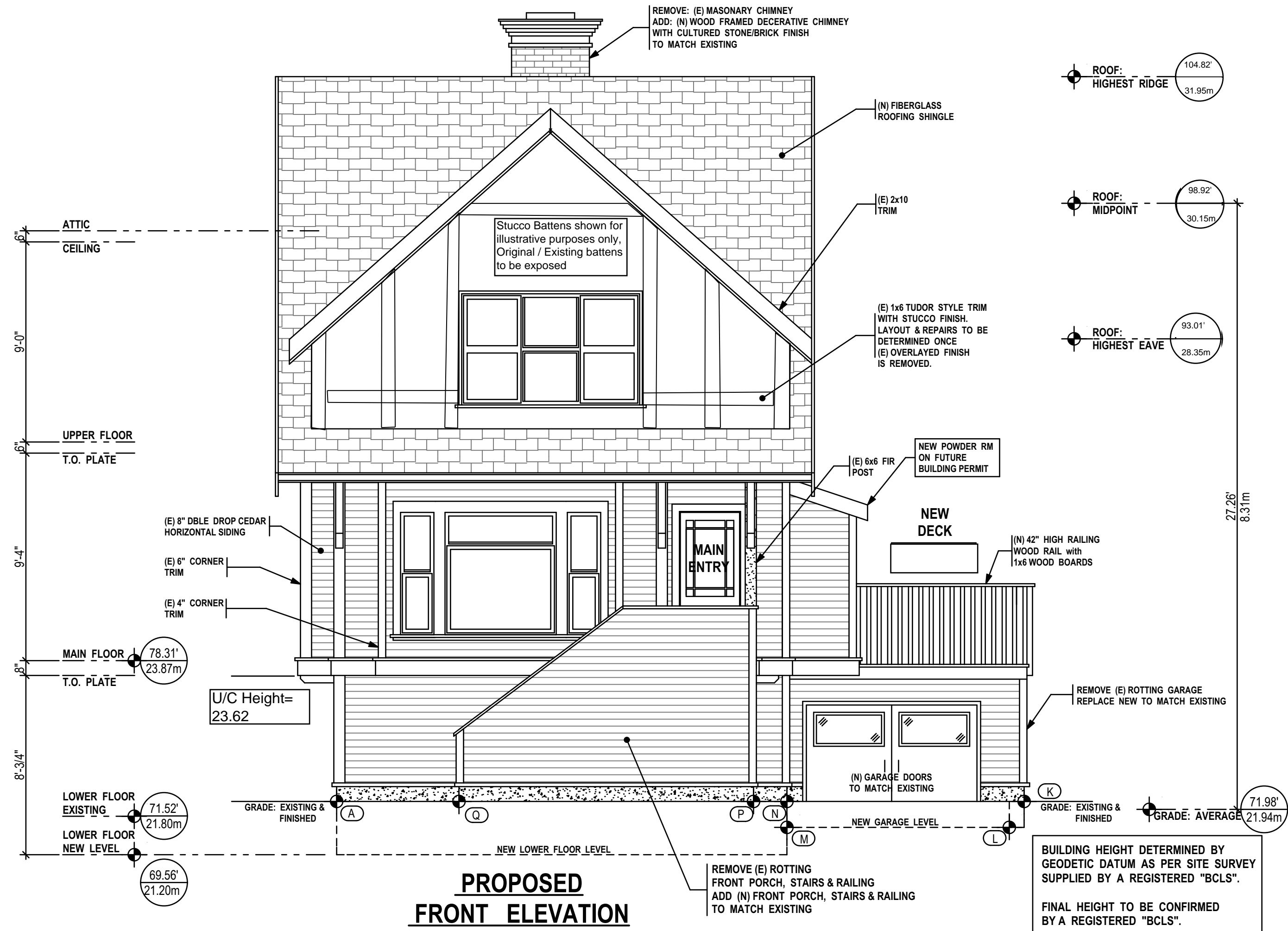
- VERSION OF THE N.B.C. THE B.C.B.C. THE B.C.B.C. MUNICIPAL BYLAWS AND ZONING REGULATIONS.
- SPANS FOR BEAMS, FLOOR JOISTS, ROOF RAFTER AND CEILING JOISTS ARE AS PER "THE SPAN BOOK" BY THE CANADIAN WOOD COUNCIL.
 - DO NOT SCALE FROM PLANS. WORK ONLY TO DIMENSIONS INDICATED.
 - ALL CONSTRUCTION WORK IS TO BE DONE WITH A BUILDING PERMIT.
 - ALL ELECTRICAL WORK IS TO BE DONE WITH AN ELECTRICAL PERMIT, TO THE ELECTRICAL CODE AND BY A REGISTERED ELECTRICAL CONTRACTOR.
 - ALL PLUMBING WORK IS TO BE DONE WITH A PLUMBING PERMIT, TO THE PLUMBING CODE AND BY A REGISTERED PLUMBING CONTRACTOR.
 - ALL SMOKE DETECTORS TO BE INTERCONNECTED & WIRED TO 110 VOLT.
 - FLASHING REQUIRED OVER ALL EXPOSED OPENINGS. ALL END DAMS @ 2.5mm (1")
 - RAIN SCREENER IS TO BE AS PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE BC BUILDING CODE
 - ALL MATERIALS USED ON THIS JOB ARE TO MEET APPLICABLE BC BUILDING CODE STANDARDS AND HAVE APPROPRIATE DOCUMENT NUMBERS AS PER SECTIONS 5.10 & 5.11
 - THESE DRAWINGS SHOW SPECIFIC CONSTRUCTION METHODS AND MATERIALS USED ON THIS PROJECT. IT IS UNDERSTOOD THAT CHANGES OR SUBSTITUTIONS TO THOSE METHODS AND MATERIALS MAY OCCUR. ANY CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT OF THE APPLICABLE MUNICIPALITY. ANY REQUIRED ADDITIONAL DOCUMENTATION IS TO BE SUPPLIED BY OTHER.
 - THE FOLLOWING LIST CONTAINS MAIN ITEMS THAT ARE NOT PART OF THESE PLANS AND MAY BE REQUESTED BY THE MUNICIPALITY.
THEY ARE TO BE SUPPLIED BY OTHER AND ARE THE RESPONSIBILITY OF THE OWNER/BUILDER TO OBTAIN.
 - LEGAL SITE SURVEY.
 - THE CORRECT SITING OF THE HOUSE ON THE PROPERTY.
 - ALL SITE SERVICES.
 - STRUCTURAL ENGINEER'S REPORTS, (SCHEDULE B).
 - ALL OTHER ENGINEERING.
 - LAYOUTS AND FOR ENGINEERING FOR TRUSS, BEAM AND FLOOR SYSTEMS.
 - HEATING SYSTEM(S).
 - VENTILATION CALCULATIONS & CHECK LIST.
 - GEOTECHNICAL REPORTS.
 - ARBORIST REPORTS.

DISCLAIMER:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR and/or THE OWNER TO CHECK AND VERIFY ALL ASPECTS OF THE PLANS PRIOR TO START OF ANY CONSTRUCTION OR DEMOLITION.
- AJB HOME DESIGN IS NOT RESPONSIBLE FOR ERRORS and/or OMISSIONS
- THESE PLANS REMAIN THE PROPERTY OF AJB HOME DESIGN AND CAN BE RECLAIMED AT ANY TIME UPON WRITTEN REQUEST.
- ALL DIMENSIONS OF EXISTING STRUCTURE ARE +/- AND ARE TO BE CONFIRMED ON SITE. CHANGES TO BLUEPRINTS MAY BE REQUIRED.

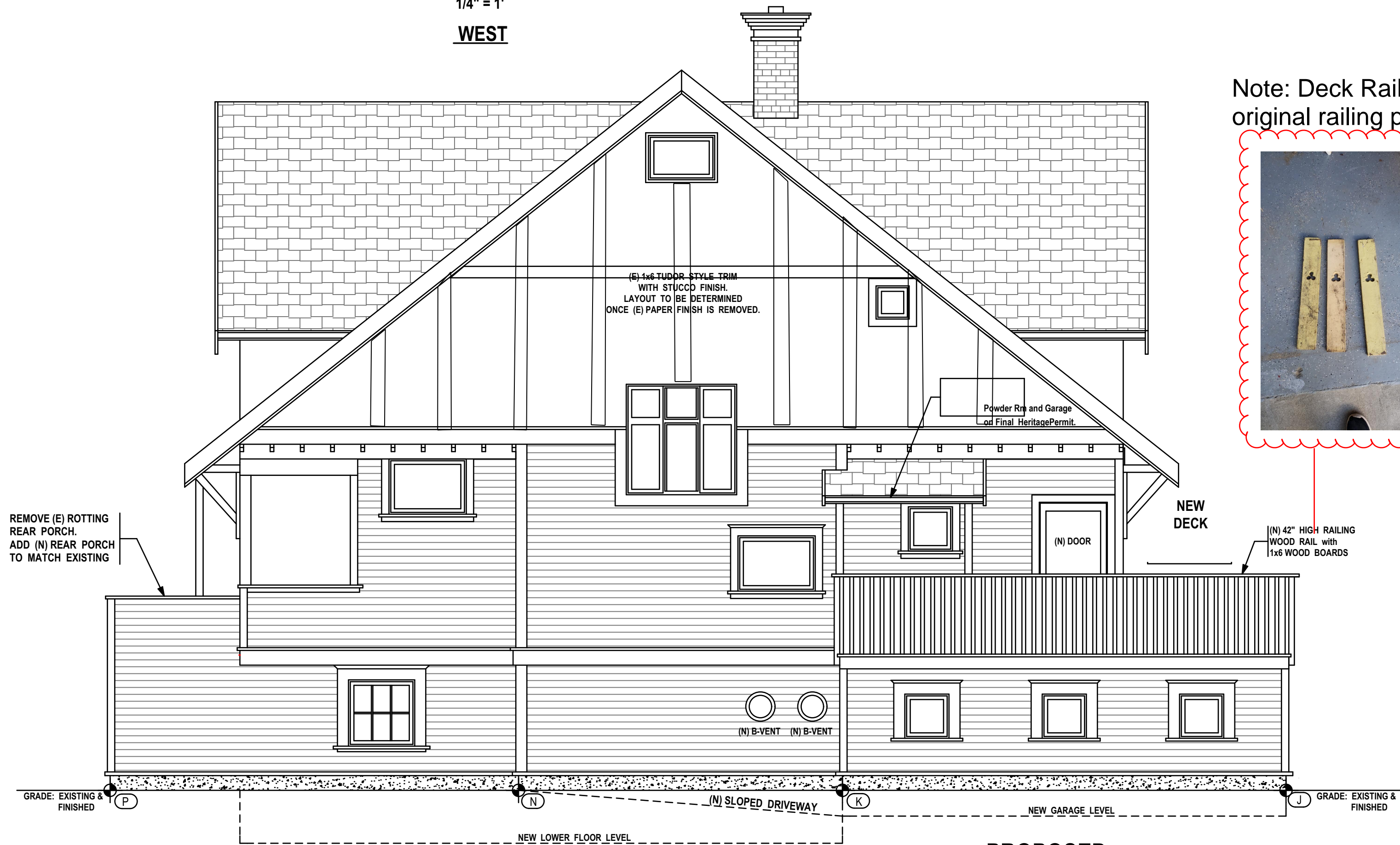
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**PROPOSED
FRONT ELEVATION**

1/4" = 1'
WEST



**PROPOSED
RIGHT SIDE ELEVATION**

1/4" = 1'
SOUTH

Note: Deck Rails will match original railing pickets



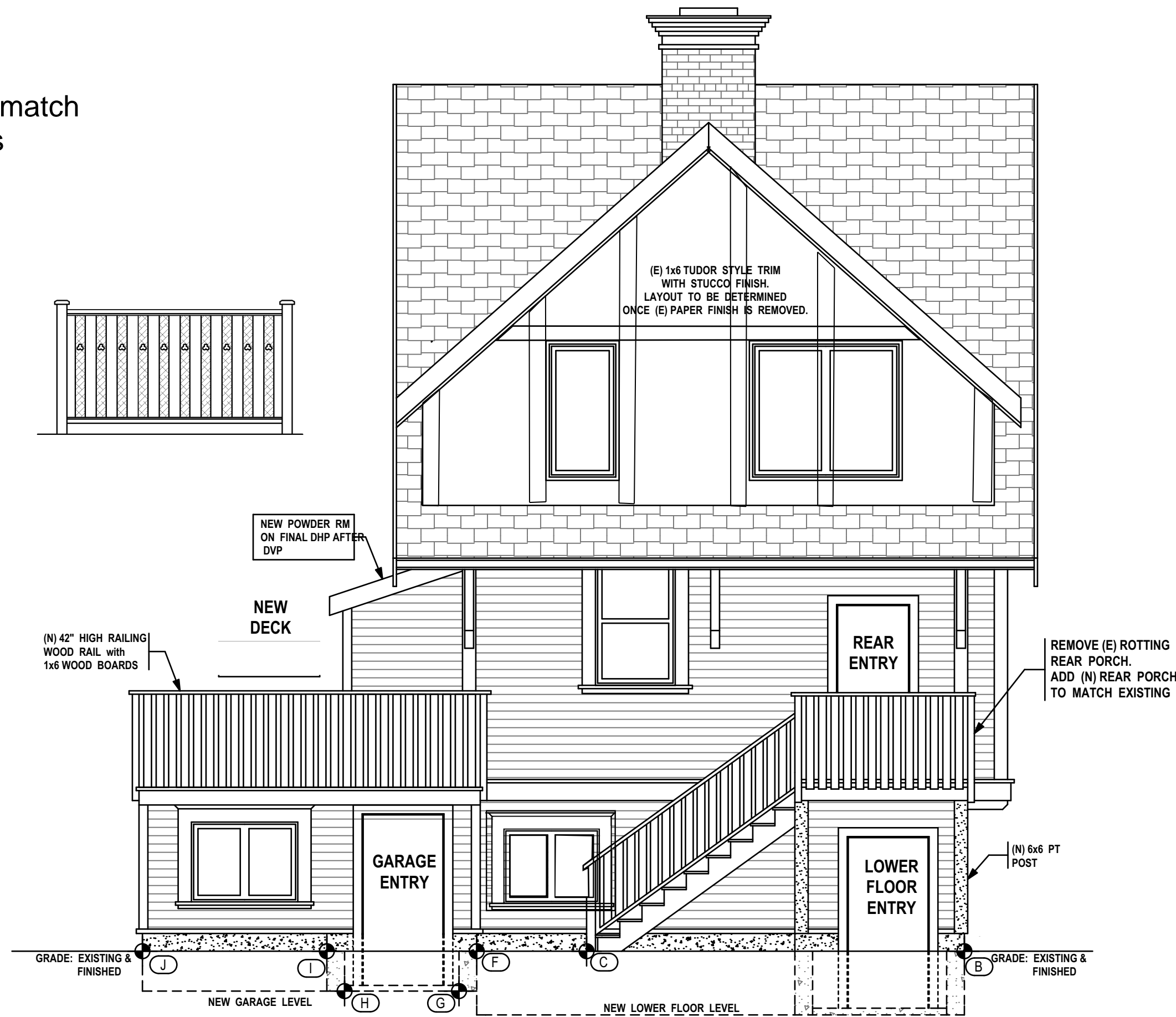
TYPICAL:
ALL WINDOWS TO BE
UPGRADED WITH (N) DOUBLE
GLAZING FIT INTO (E) WOOD
WINDOW SASH.
PG 40 WIND & RAIN RATED.
AS PER BCBC 9.23.13

TYPICAL:
FLASHING REQUIRED OVER
ALL EXPOSED OPENINGS.
ALL END DAMS @ 2.5mm (1").
AS PER DETAILS.



**PROPOSED
LEFT SIDE ELEVATION**

1/4" = 1'
NORTH

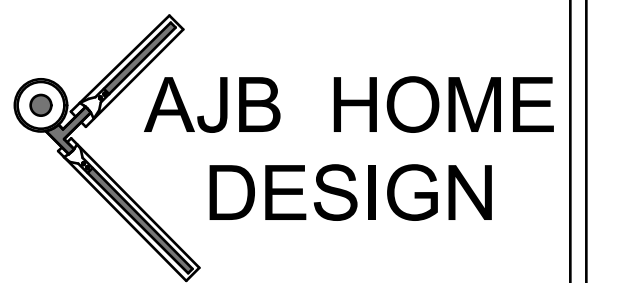


**PROPOSED
REAR ELEVATION**

1/4" = 1'
EAST

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& RENOVATIONS
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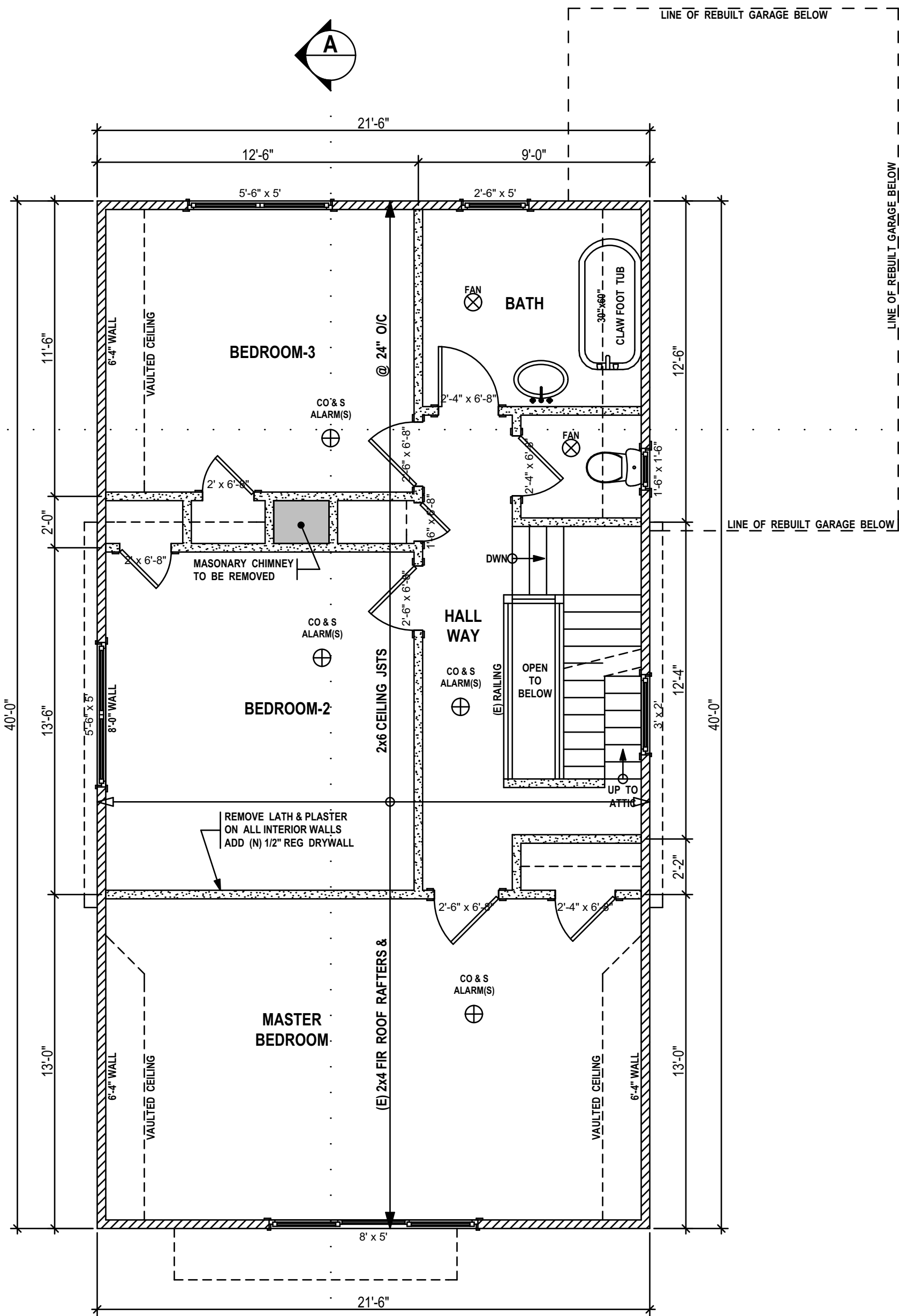
SITE: 2251
LYDIA ST

FOR: BC HOMES

DRAWN BY: Alan Bisson

DRAWING NO.

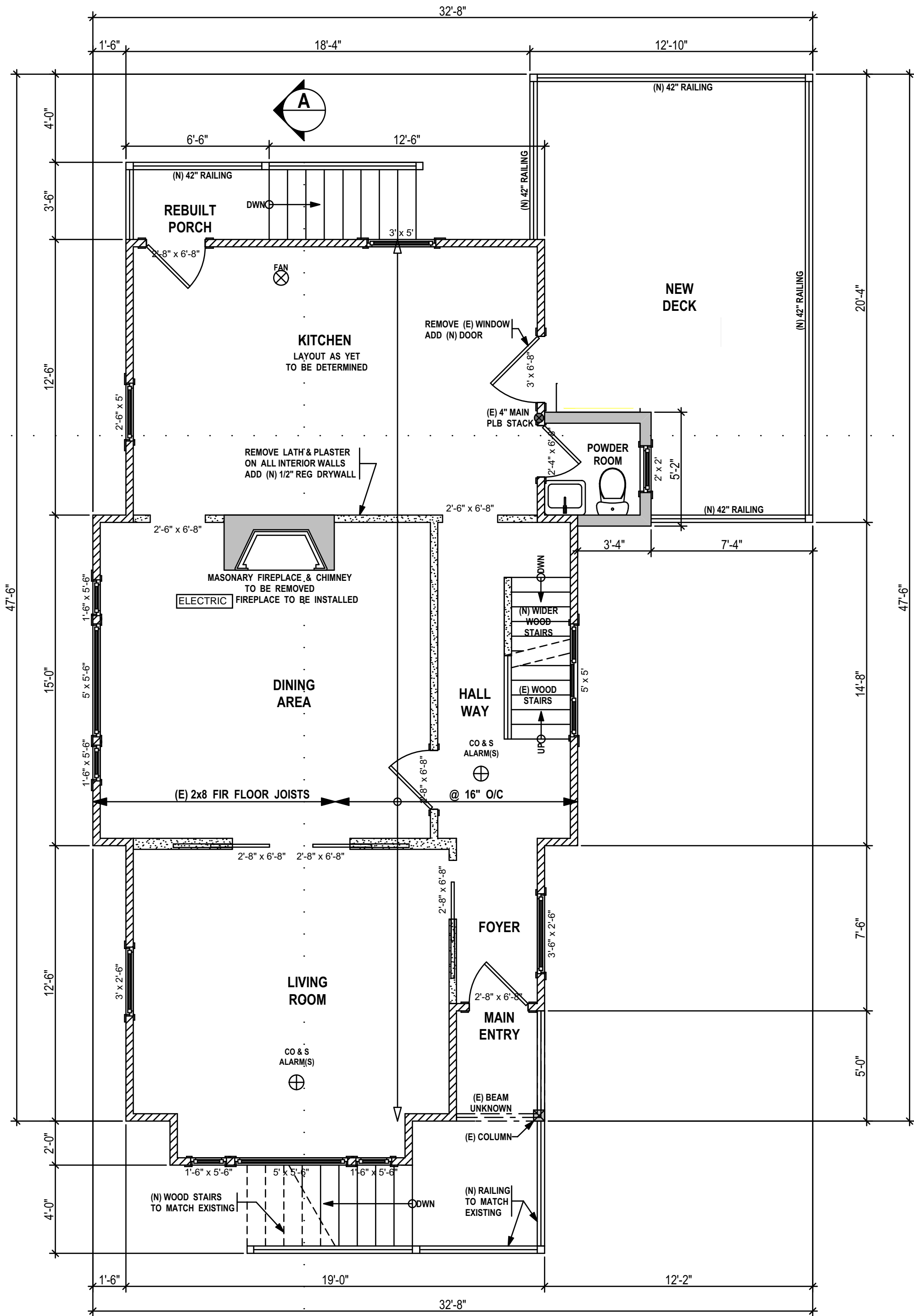
A-2 of 6



EXISTING UPPER FLOOR PLAN

1/4" = 1'

LIVING SPACE: TOTAL PROPOSED @ 819.4 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL



EXISTING MAIN FLOOR PLAN

1/4" = 1'

LIVING SPACE: TOTAL PROPOSED @ 787.6 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL

LEGEND

(N) = NEW ITEM (E) = EXISTING ITEM	FAN CEILING EXHAUST FAN CO & S ALARM CARBON MONOXIDE & SMOKE ALARMS) ALL INTERCONNECTED
☒ POST (6x6 or 3-2X8 BLT-UP)	⊕ FRAME ON SITE
☒ BEARING POINT OF LOAD FROM ABOVE	

BEAMS & GIRDERS BEAM FACE BEAM CENTRE BEAM FACE HEADER: OVER WINDOW OR DOOR ENG ROOF GIRDER TRUSS	FLOOR JOISTS & ROOF TRUSS NOTATION DIRECTION OF SPAN
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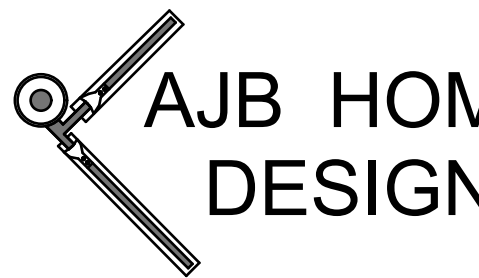
DIMENSION PLACEMENT O/S O INSIDE FACE OF EXTERIOR WALLS O CENTER OF INTERIOR WALLS & WINDOWS	GEODETIC DATUM FROM LEGAL SITE SURVEY BY A.B.C.S. 28.6m 100.0 METERS FEET METERS
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ROOM SIZES NOTATION ☐ ROOM SIZES ARE FROM INSIDE FACE OF WALL, TO INSIDE FACE OF WALL. ☐ ROOM SIZES ARE SHOW AS 10'-6"x12'-8". O THE FIRST NUMBER (10'-6") BEING THE WIDTH (FROM LEFT TO RIGHT) O THE SECOND NUMBER (12'-8") BEING THE DEPTH (UP AND DOWN)	
--	--

WALLS TYPES 4" EXISTING WALL 6" EXISTING WALL 4" NEW WALL 6" NEW WALL EXISTING INTERIOR 4" STUD WALL REMOVE: EXISTING LATH & PLASTER ADD: NEW 1/2" REG DRYWALL EXISTING-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS NEW-1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS	EXISTING EXTERIOR WALL: REMOVE: (E) EXTERIOR FINISH & ADD: (N) 1/2" DRYWALL WALL TO BE REMOVED EXISTING CONCRETE FOUNDATION FOOTINGS UNKNOWN NEW CONCRETE FND WITH CONT. CONCRETE FOOTINGS NEW CORBELLED CONCRETE FND WITH CONT. CONCRETE FOOTINGS
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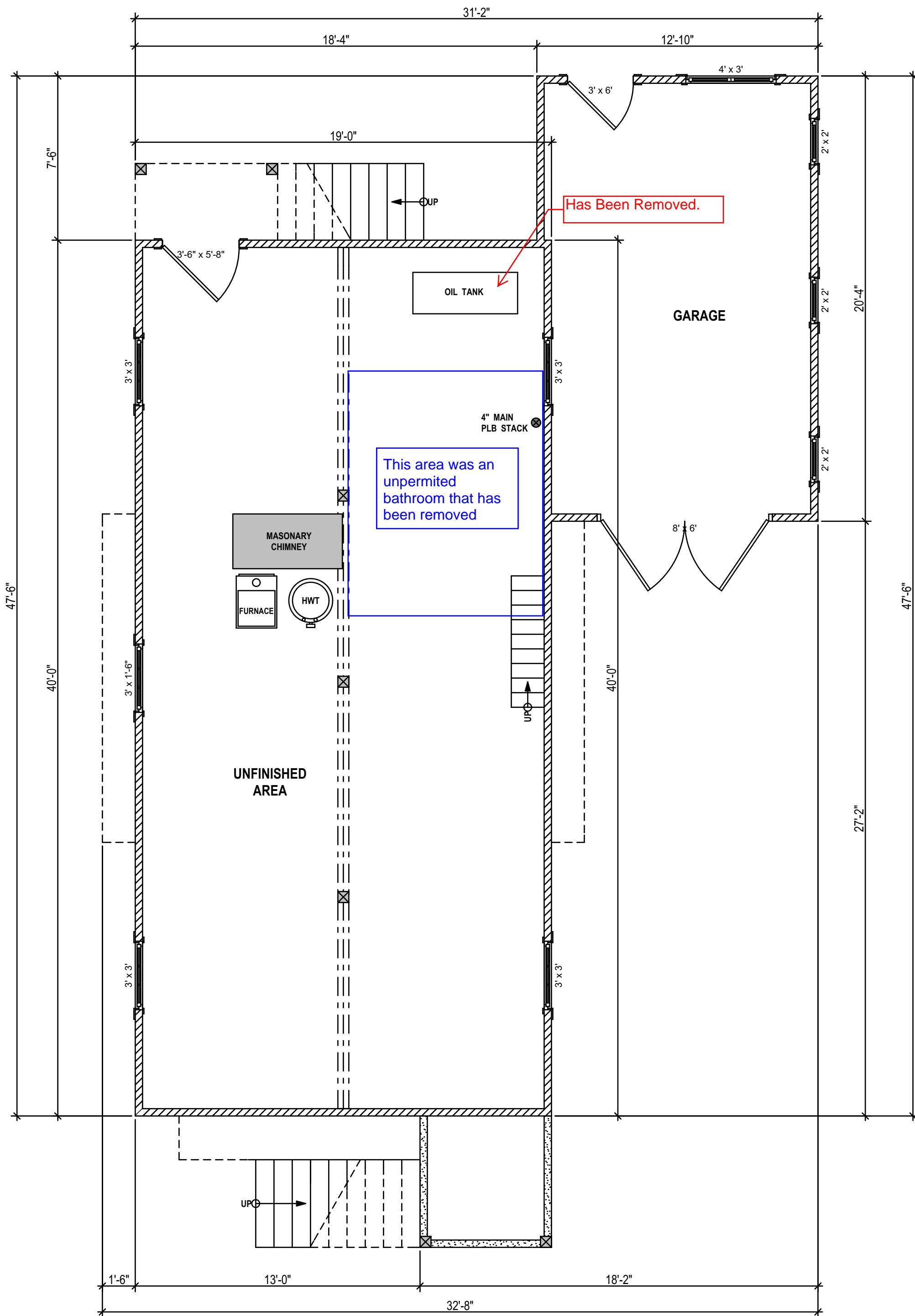
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DRAWN BY: Alan Bisson

DRAWING NO.

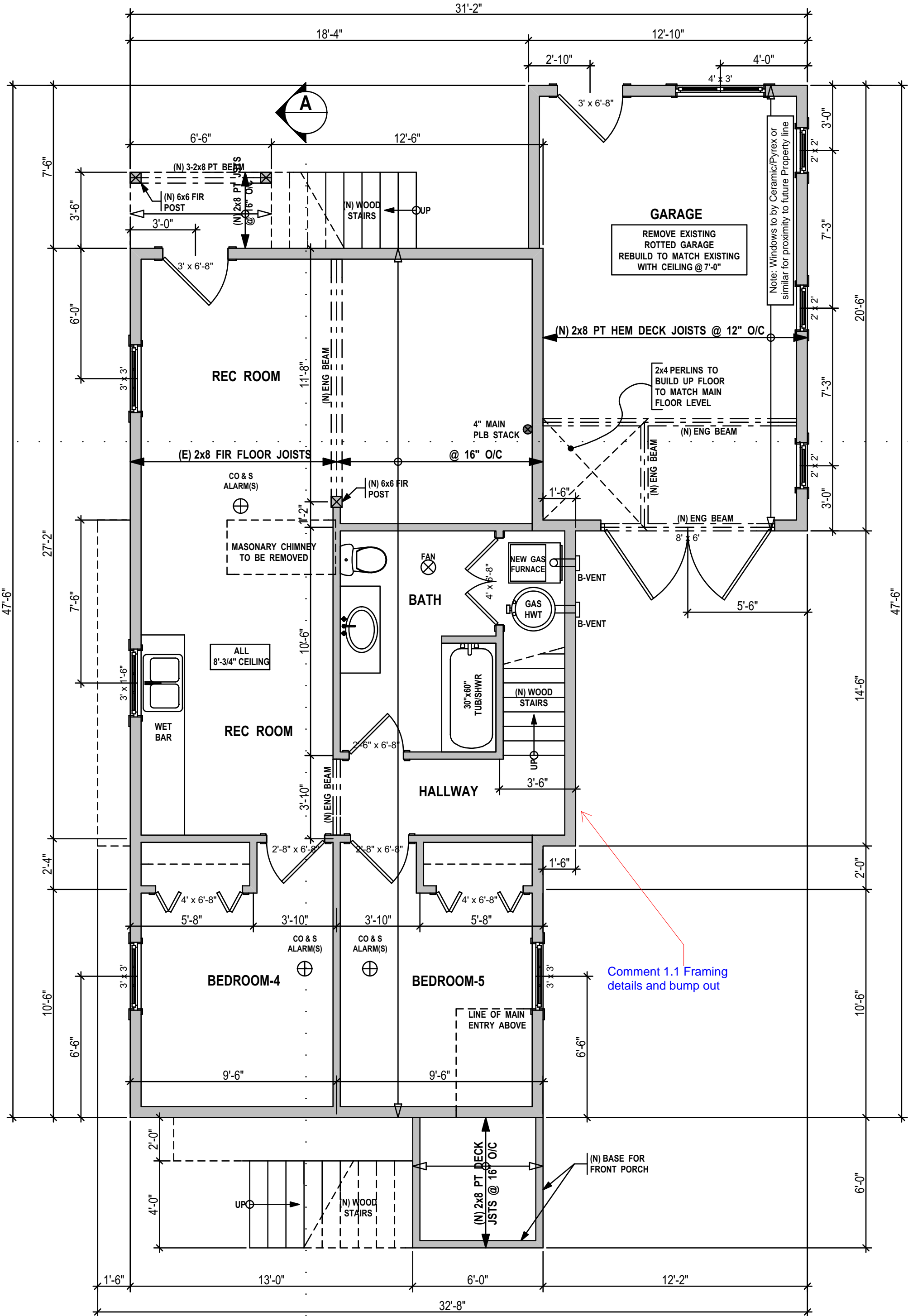
A-3 of 6



EXISTING LOWER FLOOR PLAN

1/4" = 1'

LIVING SPACE: TOTAL PROPOSED @ 721.1 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL



PROPOSED ALL NEW LOWER FLOOR PLAN

1/4" = 1'

LIVING SPACE: TOTAL PROPOSED @ 723.5 sq/ft
TAKEN FROM I/S FACE OF EXTERIOR WALL TO I/S FACE OF EXTERIOR WALL

Comment 1.3 label all rooms

LEGEND

(N) = NEW ITEM (E) = EXISTING ITEM	FAN CEILING EXHAUST FAN
POST (6x6 or 3-2X8 BLT-UP)	CO & S ALARM CARBON MONOXIDE & SMOKE ALARMS ALL INTERCONNECTED
BEARING POINT OF LOAD FROM ABOVE	FRAME ON SITE

BEAMS & GIRDERS BEAM FACE BEAM CENTRE HEADER: OVER WINDOW OR DOOR ENG ROOF GIRDER TRUSS	FLOOR JOISTS & ROOF TRUSS NOTATION DIRECTION OF SPAN
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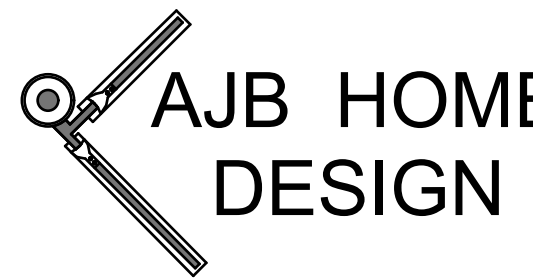
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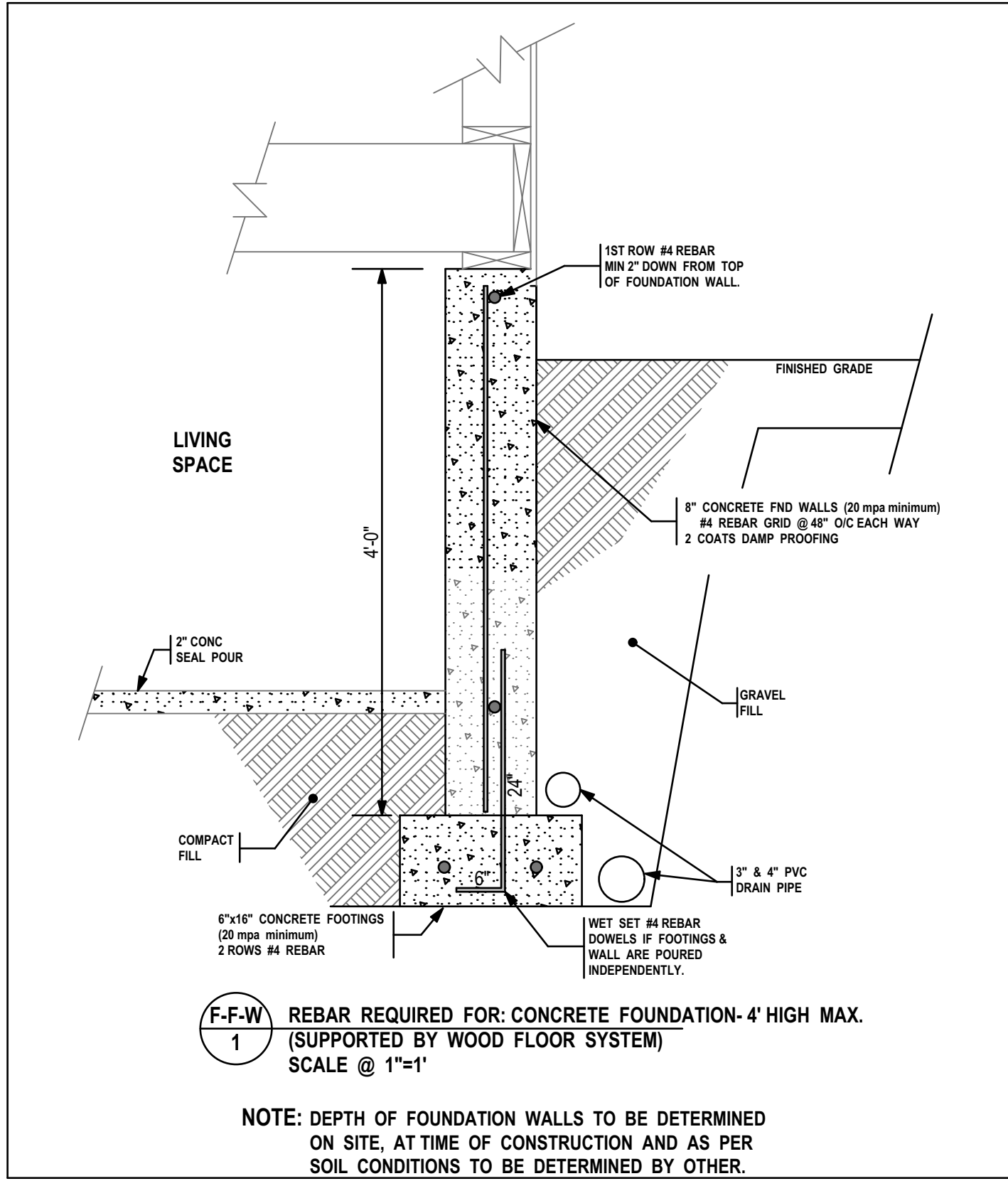
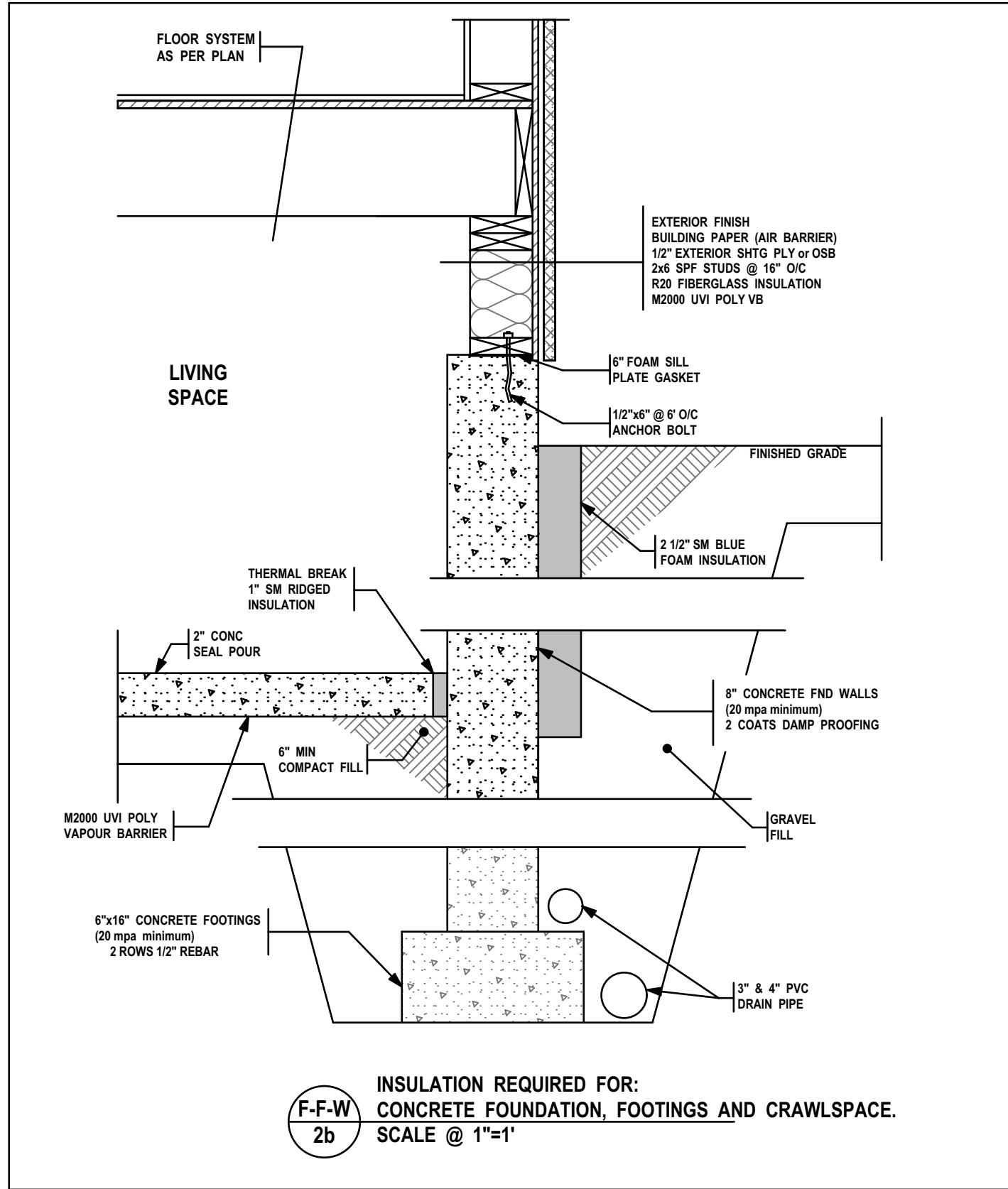
SITE: 2251
LYDIA ST

FOR: BC HOMES

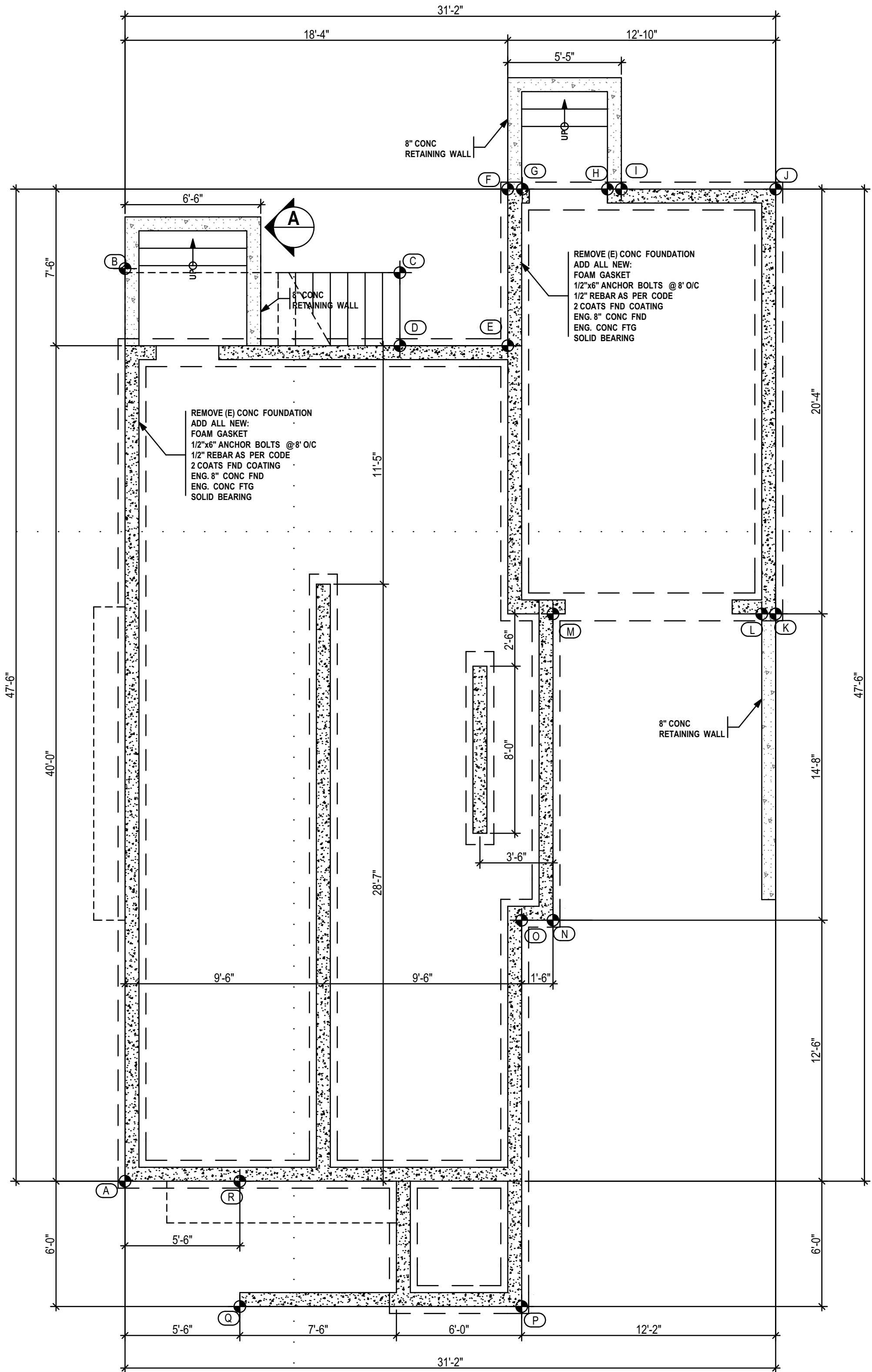
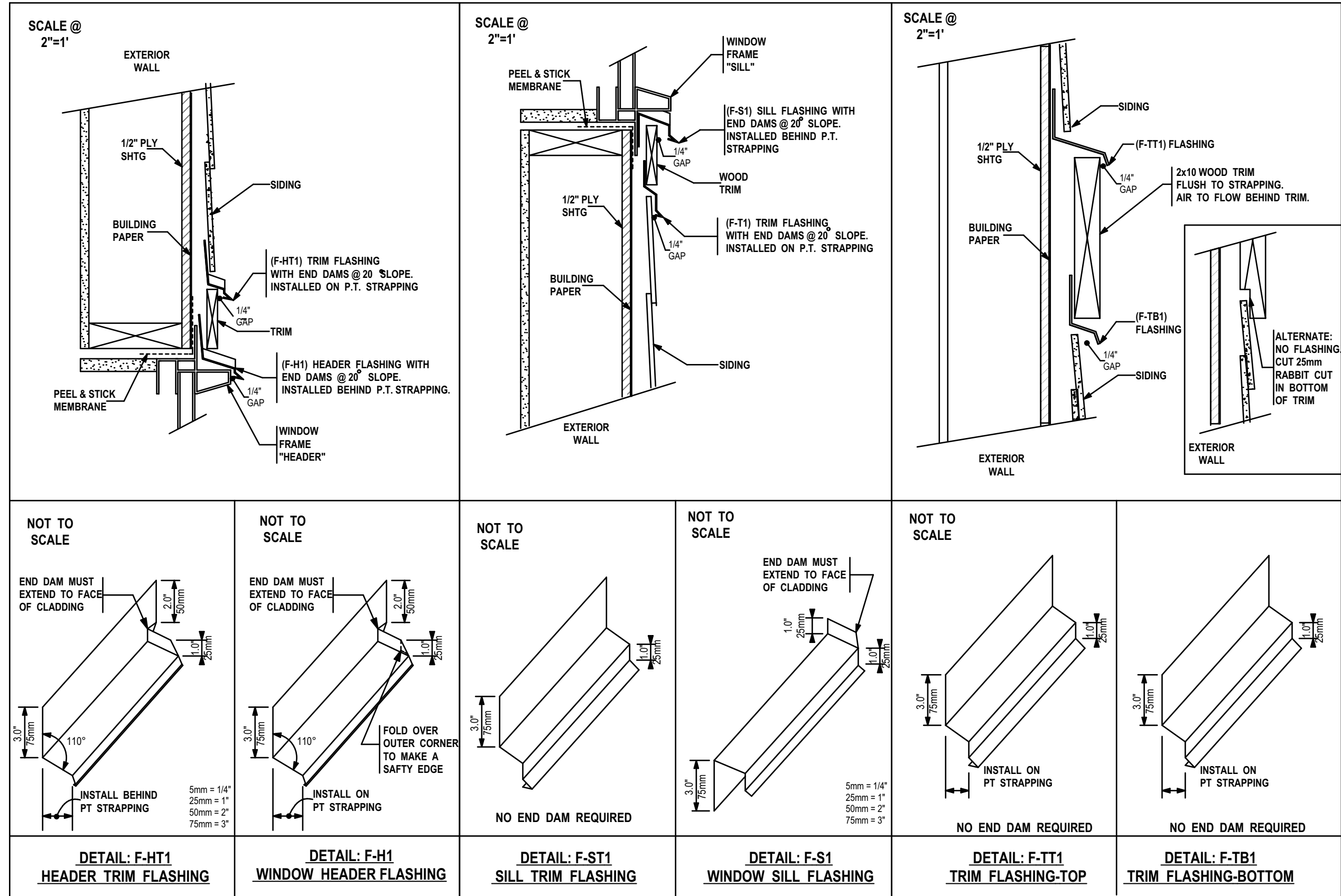
DRAWN BY: Alan Bisson

DRAWING NO.

A-4 of 6



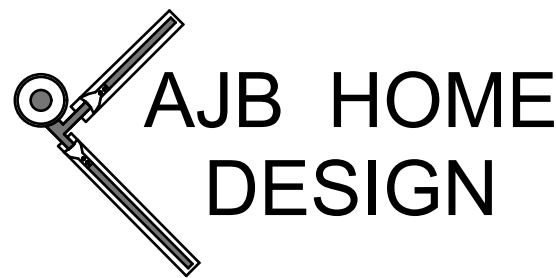
SKYLINE DETAILS GOVERN



LEGEND	
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WALLS TYPES 4" EXISTING WALL 6" EXISTING WALL 4" NEW WALL 6" NEW WALL EXISTING INTERIOR 4" STUD WALL REMOVE: EXISTING LATH & PLASTER ADD: NEW 1/2" REG. DRYWALL EXISTING-UPGRADED TO: 1hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS NEW-1 hr FIRE RATING & STC 40 SOUND RATING FOR REQUIRED WALLS & FLOORS	

NOTE TO PRINTERS

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#314-663 Goldstream Ave.
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NO.	DATE	DESCRIPTION
1	Mar. 09/18	Rough Draft Drawings
2	Mar 28/18	Construction & Permit Drawings

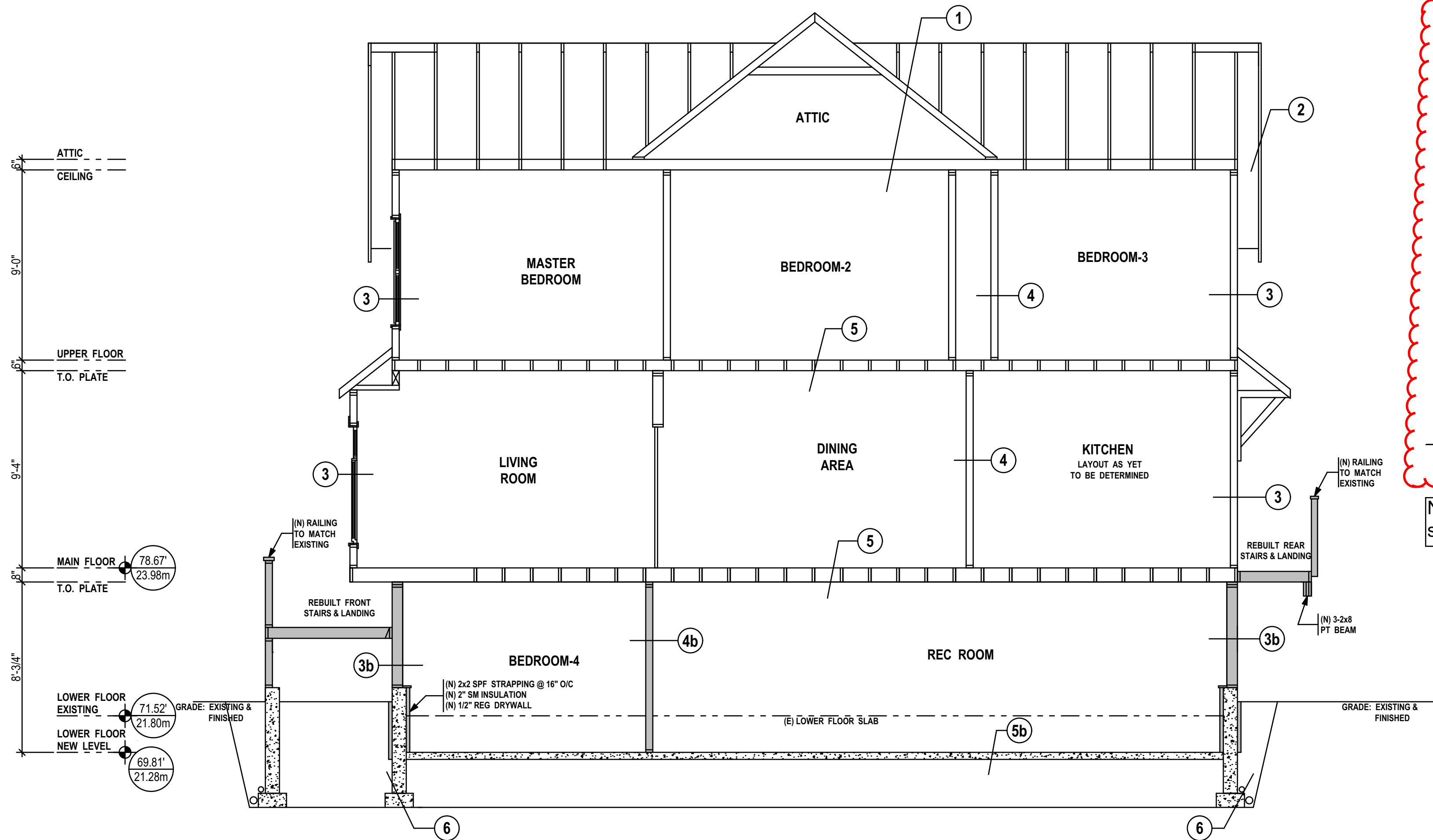
PROJECT TYPE
NEW CONC FOUNDATION
& RENOVATIONS
TO HERATAGE SFD RESIDENCE

SITE: 2251
LYDIA ST

FOR: BC HOMES

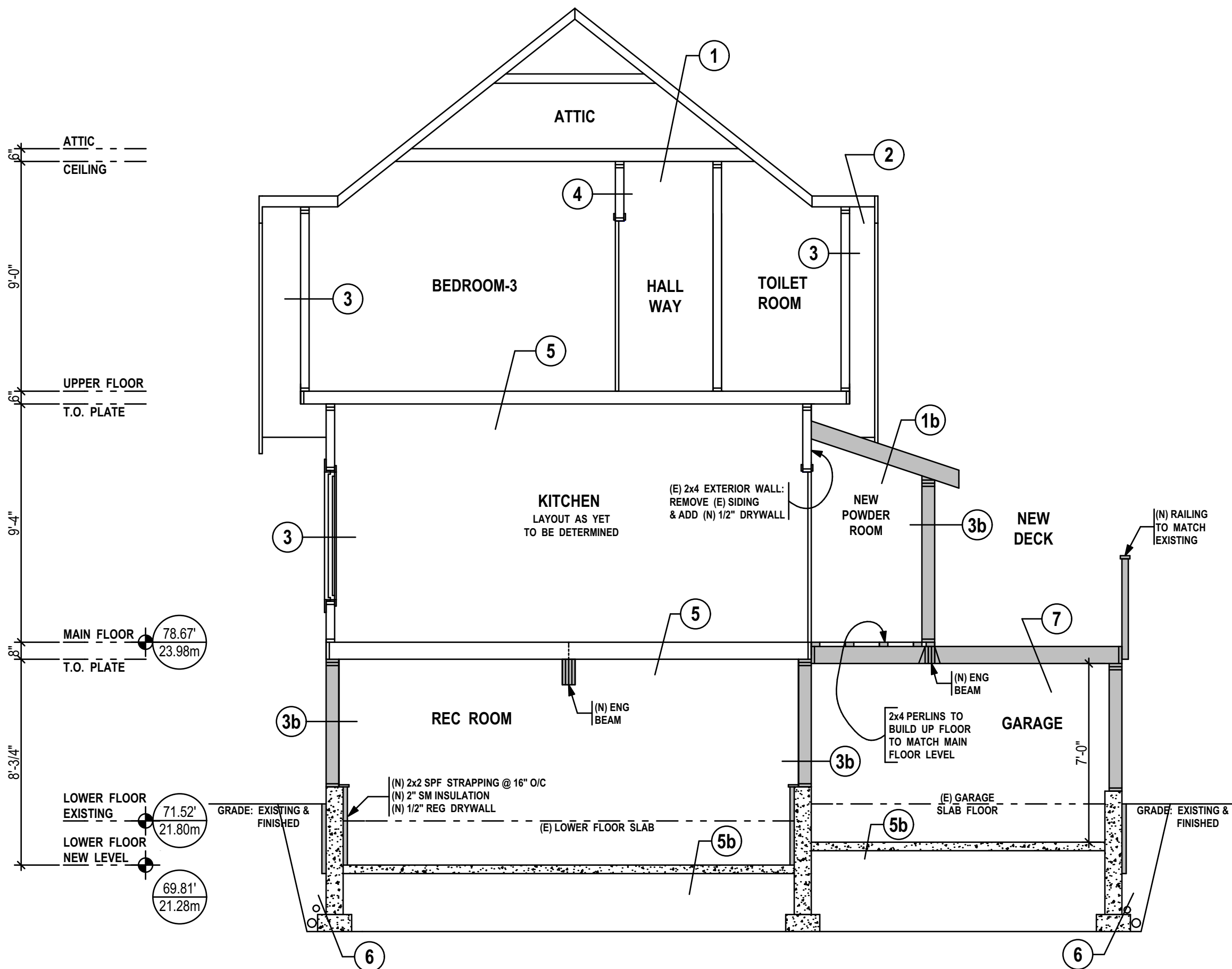
DRAWN BY: Alan Bisson

DRAWING NO.



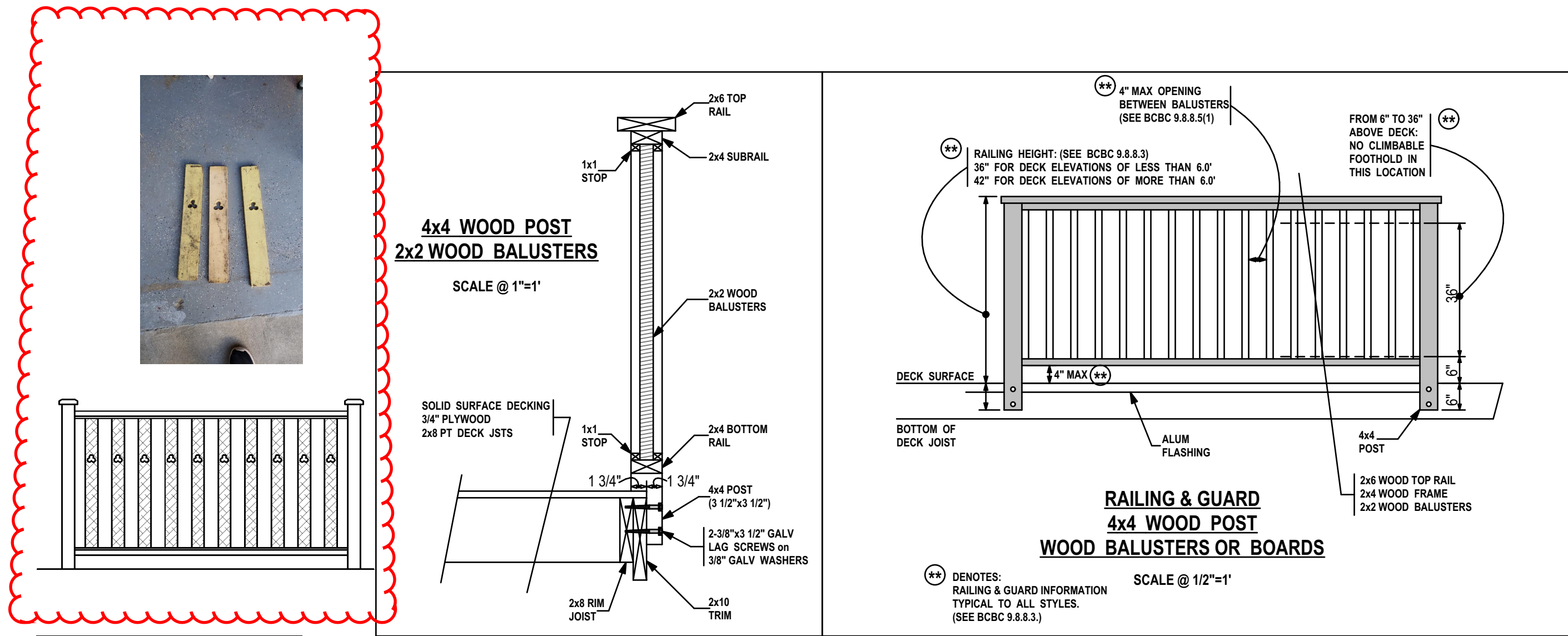
CROSS SECTION AA

1/4" = 1"



CROSS SECTION BB

1/4" = 1"

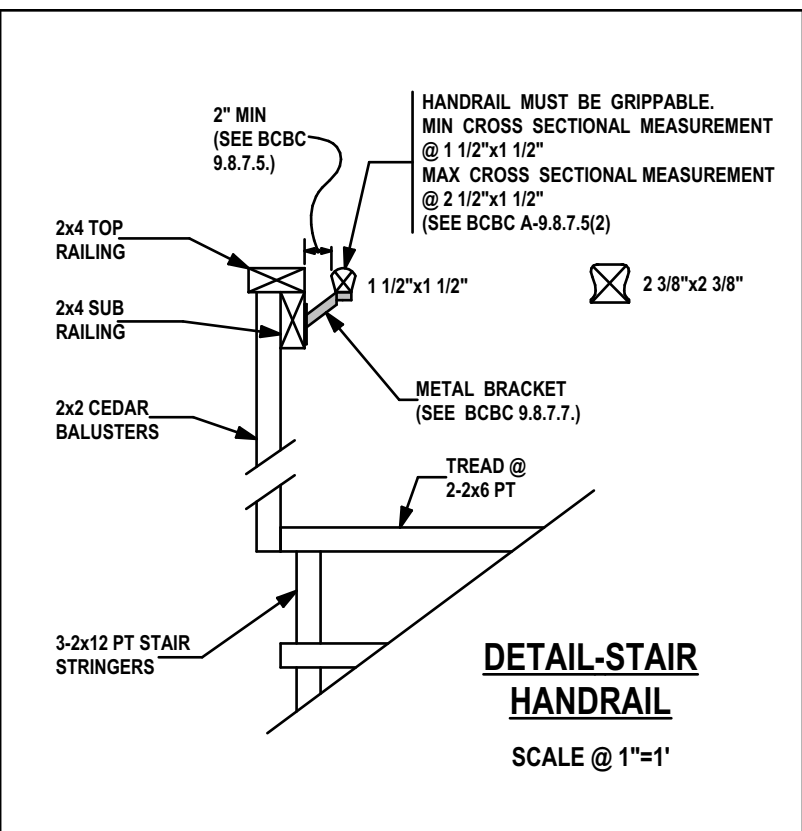


New Railing to be in same style as previous.

CROSS SECTION SPECIFICATIONS

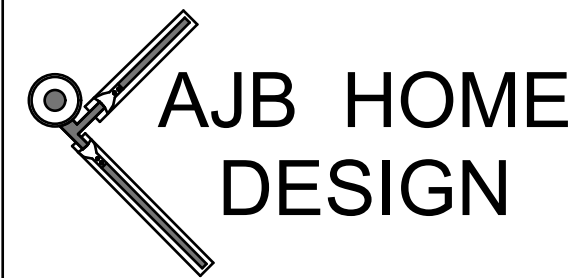
- ALL MATERIALS, USED ON THIS JOB, ARE TO MEET APPLICABLE BC BUILDING CODE STANDARDS, MANUFACTURES SPECIFICATIONS AND HAVE APPROPRIATE DOCUMENT NUMBERS AS PER SECTIONS 5.10 & 5.11.
- ANY MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT OF THE APPLICABLE MUNICIPALITY. ANY REQUIRED ADDITIONAL DOCUMENTATION IS TO BE SUPPLIED BY OTHER.
- RAIN SCREENING IS TO BE AS PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE BC BUILDING CODE.
- (E) = EXISTING ITEMS (N) = NEW ITEMS

- 1 ROOF
 - (N) FIBERGLASS ROOFING SHINGLES
 - (N) BUILDING PAPER
 - (E) 3/4" SHEETING
 - (E) 2x4 ROOF RAFTERS @ 24" O/C
 - (N) 1:300 VENTILATION-(N) 10-ROOF VENTS @ 50sq(in EACH)
 - (N) R40 FIBERGLASS INSULATION
 - (N) M2000 UVI POLY VIB (CAN/CGSB-51.34-M86)
 - (N) 1/2" REG DRYWALL
- 2 SOFFIT/FACIA/GUTTER
 - (N) SOFFIT, FACIA & GUTTER TO MATCH EXISTING
- 3 EXTERIOR WALLS
 - (E) STUCCO FINISH (ON UPPER FLOOR)
 - (E) 4" DBLE DROP HORZ SIDING (ON MAIN FLOOR)
 - (E) BUILDING PAPER (AIR BARRIER)
 - (E) 3/4" EXTERIOR SHEETING
 - (E) 2x4 FIR STUDS @ 16" O/C
 - (E) LATH & PLASTER
- 3b EXTERIOR WALLS
 - (N) 4" DBLE DROP HORZ SIDING
 - (N) BUILDING PAPER (AIR BARRIER)
 - (N) 1/2" OSB EXTERIOR SHEETING
 - (N) 2x6 SPF STUDS @ 16" O/C
 - (N) R20 INSULATION
 - (N) M2000 UVI POLY VAPOUR BARRIER
 - (N) 1/2" REG DRYWALL
- 4 INTERIOR WALLS
 - REMOVE (E) LATH & PLASTER
 - (E) 2x4 STUDS @ 16" O/C
 - (N) 1/2" REG DRYWALL BOTH SIDES
- 4b INTERIOR WALLS
 - (N) 2x4 SPF STUDS @ 16" O/C
 - (N) 1/2" REG DRYWALL BOTH SIDES
- 5 FLOOR SYSTEM
 - (N) FLOOR COVERING
 - (E) 3/4" SHEETING
 - (E) 2x6 FIR FLOOR JOISTS @ 16" O/C (ON UPPER FLOOR)
 - (E) 2x8 FIR FLOOR JOISTS @ 16" O/C (ON MAIN FLOOR)
 - (E) X BRIDGING @ 7" O/C
 - (N) 1/2" REG DRYWALL
- 5b CONCRETE FLOOR
 - (N) 4" CONCRETE SLAB (25 mpa-minimum)
 - (N) M2000 UVI POLY VAPOUR BARRIER
 - (N) 6" MIN COMPACT FILL
- 6 FOUNDATION AND FOOTINGS
 - REMOVE (E) CONC FOUNDATION
 - (N) 8" ENG CONCRETE FND
 - (N) ENG CONC FOOTINGS
 - (N) 2 COATS DAMP PROOFING
 - (N) 2.5" SM RIDGED INSULATION
 - (N) 3" & 4" DRAIN PIPE GRAVEL FILL
- 7 ROOF/DECK
 - (N) 70 MIL VINYL DECKING (ROOFING GRADE)
 - (N) 3/4" T&G PLYWOOD SHEETING
 - (N) 3/4" T&G PLYWOOD SHEETING
 - (N) 2x6 SPF ROOF/DECK JOISTS @ 12" O/C
 - (N) 2 lb-R33 URETHANE SPRAY FOAM, MEDIUM DENSITY, CLOSED CELL INSULATION
 - 1/2" REG DRYWALL



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DRAWING NO.

A-6 of 6