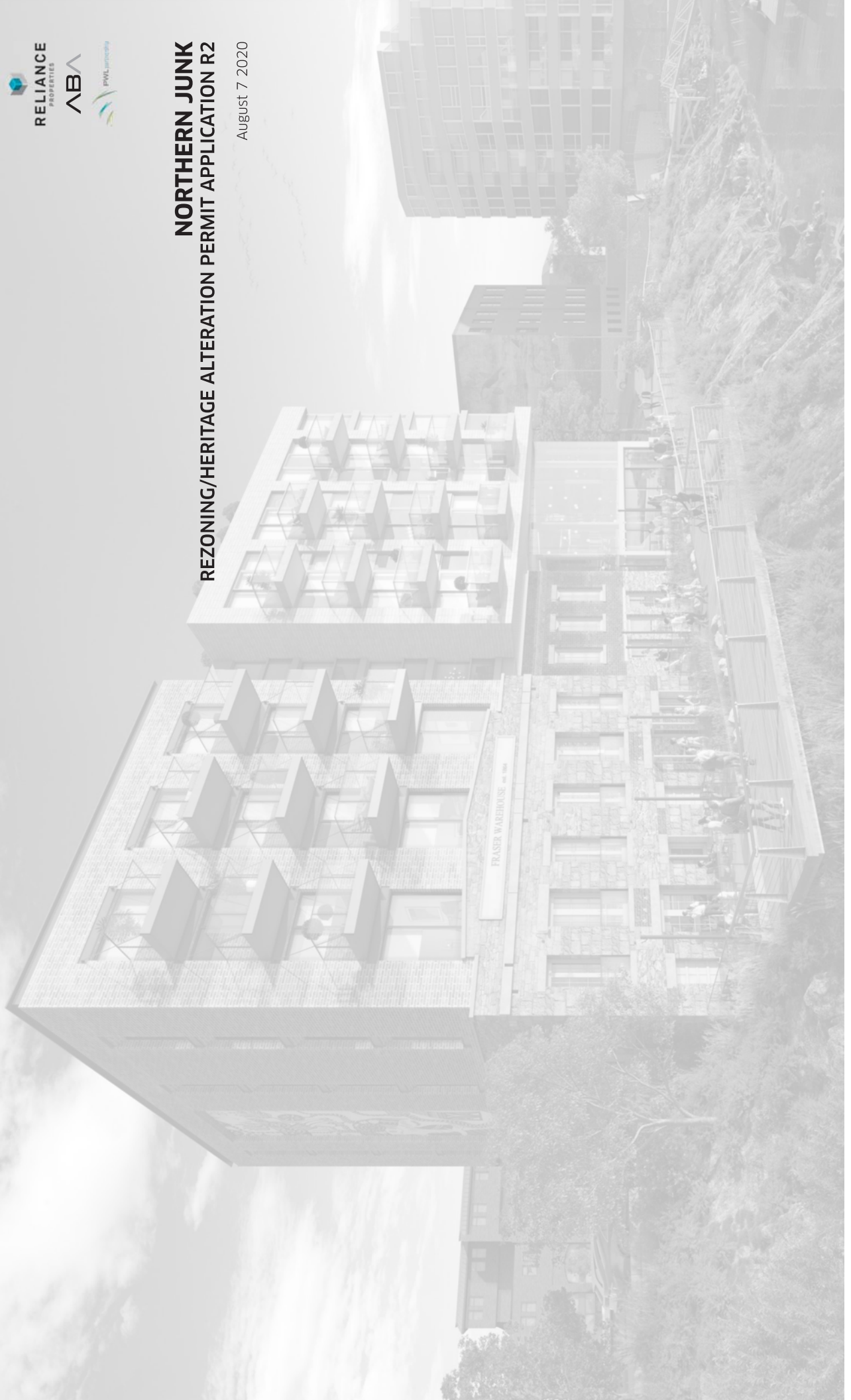




NORTHERN JUNK REZONING/HERITAGE ALTERATION PERMIT APPLICATION R2

August 7 2020



ADDRESS

1314 Wharf Street, Victoria, BC

OWNER

**CROSTOWN PROPERTIES,
MANAGED BY RELIANCE PROPERTIES**

111 Water St #305, Vancouver, BC
(604) 683-2404

ARCHITECT

ALAN BONIFACE ARCHITECT LTD.

1500 West Georgia St #880, Vancouver, BC
(236) 5215-6568

TABLE OF CONTENTS

1 PROJECT INTRODUCTION	04
1.1 PROJECT DATA	05
1.2 APPLICABLE POLICY	07
2 LETTER TO THE MAYOR	11
2.1 LETTER TO THE MAYOR	12
2.2 DESIGN RATIONALE	14
2.3 HERITAGE RESPONSE	15
2.4 PUBLIC REALM RESPONSE	17
2.5 ARCHITECTURE, MASSING & MATERIALS	21
3 ARCHITECTURAL PACKAGE	27
3.1 FLOOR PLANS	28
3.2 ELEVATIONS	34
3.3 SECTION	38
4 DIGITAL RENDERINGS	40
4.1 RENDERINGS	41
4.2 RENDER COMPARISON	48
5 LANDSCAPE PACKAGE	49
5.1 DESIGN RATIONALE	50
5.2 TREE MANAGEMENT PLAN	51
5.3 LAYOUT & MATERIAL PLANS	52
5.4 SECTIONS	56
6 APPENDIX	58
6.1 OPEN HOUSE SUMMARY REPORT	59
6.2 NOTES FROM CALUC MEETING	65

01 PROJECT INTRODUCTION

AREA SUMMARY

ASSUMPTIONS	
SITE AREA (ABOVE PRESENT NATURAL BOUNDARY)	SQ.FT 13,108 m2 1218
MAX ALLOWABLE DENSITY (4.4)	57,673 5358
EXISTING T S	5,175 481

AREAS BY USE

CRU 2 - L01	226.7 sm	
CRU 1 - L01	244.4 sm	
CRU 1 - L00	191.0 sm	
CRU 2 - L00	171.2 sm	
TOTAL COMMERCIAL	833.3 sm	(8,969.9 sf)
Building Gross Area	4116.3 sm	(44,308 sf)
Total Commercial Area	833.3 sm	(8,970 sf)
TOTAL RESIDENTIAL	3283.0 sm	(35,337.7 sf)
NET RESIDENTIAL	2652.8 sm	(28,555.3 sf)
NET RENTABLE (RES+COMM)	3,486.2 sm	(37,525.1 sf)

SITE AREAS (SEE AREA PLANS A-010)

GROSS SITE AREA	1375 sm
NET SITE AREA	1218 sm
DFW SRW AREA	166 sm
OPEN AREA	420 sm
BUILDING FOOTPRINT	797 sm
OPEN AREA %	34.5%
NET SITE AREA - DFW S.R.W. AREA	1051.977 sm

BUILDING GROSS	4,116 sm
SITE AREA FOR FSR	1,218 sm
FSR	3.38
NET RENTABLE (RES+COMM)	3,486 sm

BUILDING GROSS AREA

L00 Gross	560 sm
L00 TOTAL	560 sm
L01 Gross	319 sm
L01 Gross	266 sm
L01 TOTAL	584 sm
L02 Gross	739 sm
L02 TOTAL	739 sm
L03 Gross	739 sm
L03 TOTAL	739 sm
L04 Gross	739 sm
L04 Total	739 sm
L05 Gross	739 sm
L05 Total	739 sm
Roof Gross	14 sm
L05 Total	14 sm

UNIT SUMMARY

UNIT TYPES					
LEVEL	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL P1	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	1	8	2	1	12
LEVEL 03	1	8	2	1	12
LEVEL 04	1	8	2	1	12
LEVEL 05	1	6	3	1	11
LEVEL 06	0	0	0	0	0
TOTAL	4	30	9	4	47
PERCENTAGE	9%	64%	19%	9%	100%
FAMILY UNITS					
				28%	

AVERAGE UNIT SIZES

TOTAL AREA PER FLOOR BY TYPE					
LEVEL	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL 00	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	38	390	152	83	663
LEVEL 03	38	390	152	83	663
LEVEL 04	38	390	152	83	663
LEVEL 05	38	289	253	83	663
TOTAL	152 sm	1,459 sm	710 sm	332 sm	2,653 sm
Unit Count	4	30	9	4	47
AVG SIZES	38 sm	49 sm	79 sm	83 sm	56 sm
AVG SIZES (SF)	409.8 sf	523.3 sf	849.3 sf	893.2 sf	607.6 sf

PARKING SUMMARY

NOTE: NO VEHICLE PARKING PROVIDED ON SITE. SEE TRAFFIC REPORT FOR TRAFFIC MANAGEMENT STRATEGY

BICYCLE PARKING

Residential	Count	Req'mt	Provided
1.0/ Unit < 45m2	12	12	
1.25/ Unit > 45m2	35	43.75	
Total Residential	47	55.75	64
Commercial	Area	Req'mt	Provided
1.0/ 200 m2	#	4.2	
Total		5	5

Suite Storage

Residential	Count	Req'mt	Provided
In-suite		22	0
Bike/Locker combo		25	0
Total Residential	47	47	0

PROJECT DATA	
SITE AREA	
NET AREA (ABOVE NATURAL BOUNDARY)	1218 m²
GROSS SITE AREA	1375 m²
TOTAL FLOOR AREA	4116 m²
HEIGHT	
FROM AVERAGE GRADE	20.8 m
FROM STREET GRADE	19.1 m
NUMBER OF STOREYS	5 storeys from Wharf St. 6 storeys from Harbour
DENSITY	
MAX ALLOWABLE DENSITY	4.0
FSR	3.38
BUILDING AREAS	
COMMERCIAL	833 m²
RESIDENTIAL	3,283 m²
OPEN AREA %	34.5%
TOTAL	4,116 m²
UNIT TYPES	
STUDIO	9%
1 BED	64%
2 BED	19%
3BED	9%
FAMILY UNITS	28%
TOTAL UNITS	47
UNIT SIZES (AVERAGE)	
STUDIO	38 m²
1 BED	49 m²
2 BED	79 m²
3 BED	83 m²
BICYCLE PARKING	
RESIDENTIAL	64 stalls
COMMERCIAL	5 stalls
TOTAL	69 stalls
SETBACKS	
FRONT YARD (EAST)	0 m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0 m
SIDE YARD (SOUTH)	0 m
VEHICLE PARKING	
ON SITE	0 stalls

APPLICABLE POLICY REVIEW:

- ZONING:
- OFFICIAL COMMUNITY PLAN (OCP)
- DOWNTOWN COMMUNITY AREA PLAN (DCAP)
- SCHEDULE C PARKING
- OLD TOWN GUIDELINES
- CITY OF VICTORIA HOUSING STRATEGIES
- GREEN BUILDING INDICATORS

- **ZONING:** INNER HARBOUR HERITAGE DISTRICT (IHHD)



CURRENT ZONING

PROPOSED VARIANCES

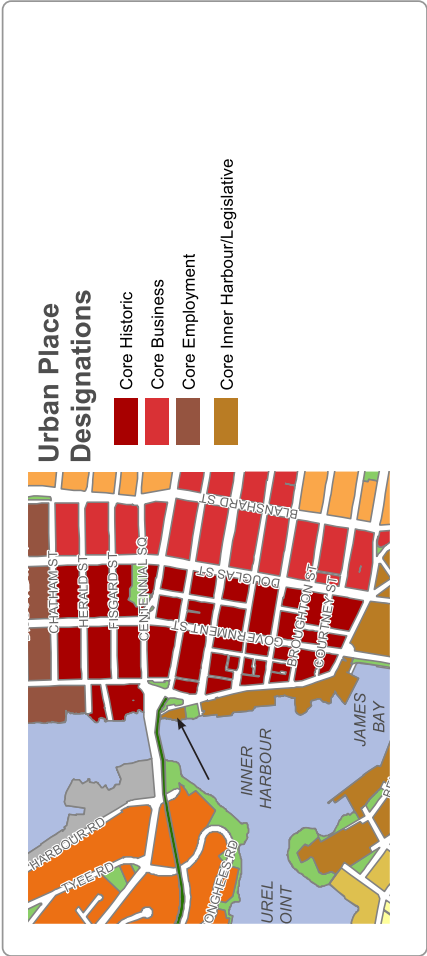
PART 8.22 – IHH ZONE – INNER HARBOUR HERITAGE DISTRICT	
Permitted Uses	8.22
1 The following uses are permitted:	
(a) retail shops	
(b) clubs	
(c) <u>restaurants</u>	✓
(d) licensed premises;	
(e) artists' studios;	
(f) docks for pleasure boats and fishing boats;	
(g) recreation facilities;	
(h) beauty and barber shops;	
(i) residential use, when the use is located at least one floor above the grade at Wharf Street;	✓
(j) craft and artisan trades, not offensive, dirty or noisy;	
(k) parks.	
2 The floor space ratio may not exceed 1.0 to 1.	REZONE TO ALLOW FOR 4.0 FSR
3 No building may extend more than 8m above Wharf Street.	REZONE TO ALLOW FOR 5 STOREYS WITHIN OCP
4 The minimum setback from the high water mark shall be 7.5m.	
5 No off-street parking or loading spaces are required.	
Density	
Height	
Setback	

- **OFFICIAL COMMUNITY PLAN:** January 17 2019

Note: No OCP amendments sought

Urban Place Designation: Core Inner Harbour Legislative

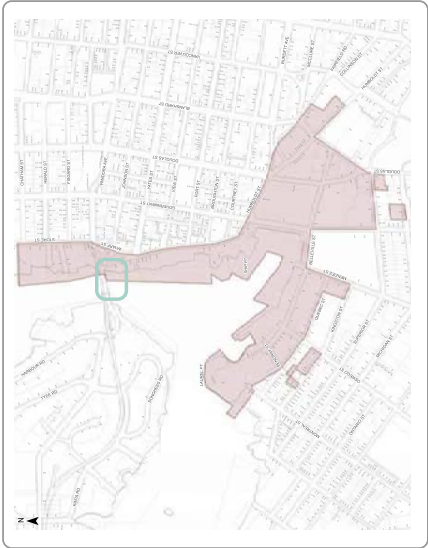
- 1-5 storeys
- Up to 4:1 FSR
- Multi-unit residential; Commercial



Urban Place Guidelines: Core Inner Harbour Legislative

Designation	Built Form	Place Character Features	Uses	Density
Core Inner Harbour/Legislative	Buildings from one to five storeys adjacent to the harbour. Buildings up to approximately five storeys south of Superior Street and along Menzies Street and Government Street facing the Provincial Parliament Buildings. Buildings up to approximately 15 storeys east of the Empress Hotel to Blanshard Street, and south of Belleville Street.	Formal arrangement of buildings and their precincts deployed to respect the form and character of signature landmarks, including the Empress Hotel, and the Provincial Parliament Buildings. Formal public realm comprising wide sidewalks, pedestrian promenades, regularly spaced tree planting, formal squares and greens, pathways along the waterfront, and prominently placed public art. Active marine transportation including ferry staging and moorage. Site of major festivals, celebrations and special events.	Public institutional and assembly. Commercial, including office, retail and visitor accommodation. Marine water and air transportation. Recreation and tourism-related uses. Multi-unit residential and mixed-use. Home occupations.	Total floor space ratio generally ranging up to 1:1. Increased density up to a total of 4:1 may be considered in strategic locations for the achievement of plan objectives.

Development Permit Area: DPA 9 (HC):Inner Harbour



Project addresses several OCP plan objectives such as:

- Housing diversity
- Public amenity (Harbour Pathway)
- Upgrade of Heritage buildings
- Support economic activity in harbour
- Vitality and Livability
- Responsive to Victoria's geographic context and existing pattern of development, achieves excellence, and creates memorable places.
- Contributes to the sense of place through sensitive and innovative responses to existing form and character.
- Social vibrancy is fostered and strengthened through human scale design of buildings, streetscapes and public spaces.
- That the built environment is beautified and softened through natural features in the public realm.
- Heritage property is conserved as resources with value for present and future generations.
- That streetscape improvements include art in public places and reflect the culture and heritage of Victoria.
- Consistent with OCP Policy and RGS Strategic Direction for Compact Urban Settlements.
- Supporting extension of multi use pathway along waterfront with a priority for pedestrian and cycling transportation modes
- Streetscape improvements include art in public places and reflect the culture and heritage of Victoria

• **DOWNTOWN CORE AREA PLAN: INNER HARBOUR DISTRICT**

Project addresses several DCAP objectives such as:

- To successfully maintain and strengthen the IHD as the focus for tourism, government, culture, heritage, and economic development.
- To develop and maintain a cohesive, well-designed and vibrant waterfront area.
- To create a more fluid and seamless extension of the public realm northward toward the Johnson Street bridge and beyond, toward the Rock Bay District.
- To improve public access to the waterfront.
- To maintain a working Harbour.
- Increased Housing options
- Support seismic upgrading of heritage buildings
- Improving vitality and livability of downtown core area



• **PARKING: SCHEDULE C**

Looking to standard from adjacent OTD-1 zone:

Motor vehicle parking is only required for any Lot that has an overall area of 1100m2 or greater, and subject to paragraph (b), shall be provided in accordance with Part 5 of this bylaw.

Taking into account the SRW provided for the waterfront walkway, the remaining developable site area falls below the 1100m2 threshold for parking requirements. The presence of the two heritage structures further compounds the challenge of providing on-site parking. Presented with the choice of preservation vs. demolition for parking, the proposal is to eliminate provision of parking. All bicycle parking requirements are satisfied on site. No change requested relative to existing IH zoning.

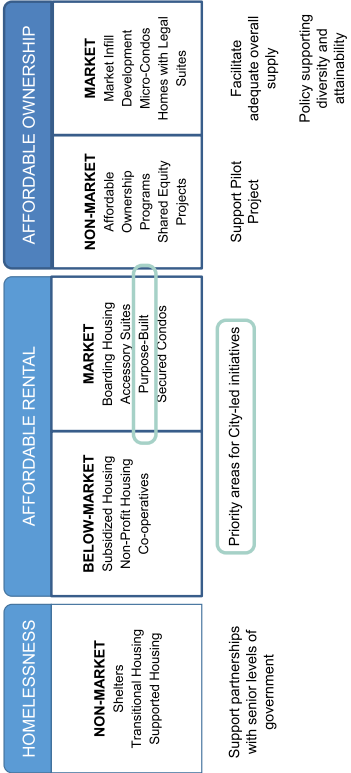
See additional description and rationale provided in Bunt Traffic report included as an appendix to this document



• CITY OF VICTORIA HOUSING STRATEGY: 2016-2025

Project addresses several Housing Strategy objectives such as:

- Increase supply of purpose built rental housing to meet current and future needs
- Long term stable rental supply



• GREEN BUILDING INDICATORS

CATEGORY	GREEN ITEMS
RATING SYSTEM	N/A
SITE SELECTION	N/A
INNOVATION AND DESIGN	-DESIGN TEAM WILL BE PRODUCING AN ENERGY MODEL TO OPTIMIZE BUILDING ENERGY PERFORMANCE
BUILDING RETENTION AND REUSE	- 2 HERITAGE BUILDINGS BEING RETAINED AND RESTORED ON SITE
TRANSPORTATION	-NO PARKING PROVIDED ON SITE - CONSIDERATION OF CAR SHARE PROGRAM PARTNERSHIP
ENERGY EFFICIENCY (PART 3)	- DESIGNED TO COMPLY WITH STEP 3 OF THE BC ENERGY STEP CODE - ENERGY MODEL WILL USED IN DETERMINED BUILDING MECHANICAL SYSTEMS
RENEWABLE ENERGY (PART 3)	N/A
WATER	- ALL PLUMBING FIXTURES TO MEET OR EXCEED PLUMBING CODE FLOW RATES - HIGH EFFICIENCY APPLIANCES (I.E. DISHWASHER, CLOTHES WASHERS)
SITE PERMEABILITY	PRIMARILY PERMEABLE PAVING ON SITE
LANDSCAPING AND URBAN FOREST	NO NET LOSS IN NUMBER OF TREES ONLY NATIVE VEGETATION PLANTED
URBAN AGRICULTURE	N/A

GRANCINI WAREHOUSE
EST. 1860

02

LETTER TO THE MAYOR

FRASER WAREH

Northern
Junk Alley

INTRODUCTION:

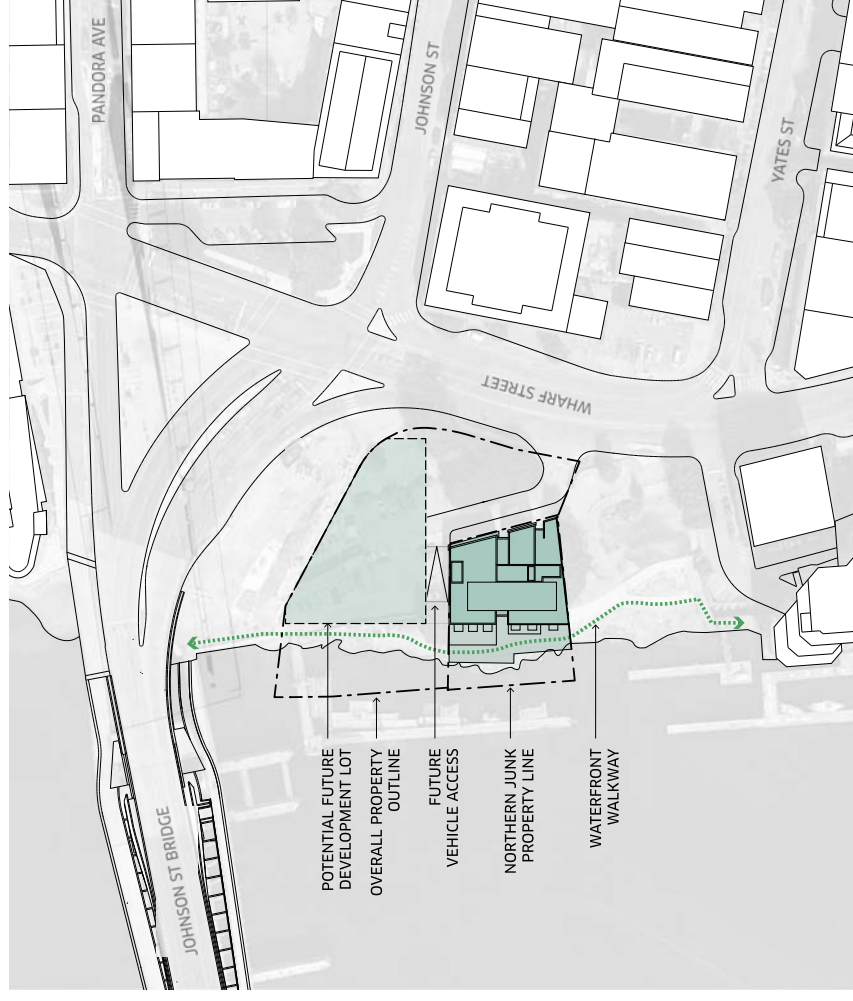
To Mayor & Council,

The Northern Junk site at the head of the Johnson Street Bridge presents unique set of opportunities and challenges. The site is in a prominent position in the City between Old-Town and Inner-harbour. Currently isolated between Reeson Park to the south and the as-yet undefined Bridgehead Green park to the North, the site offers the potential to complete a key piece of the public realm and neighbourhood revitalization through its design and development.

The proposed development responds to a number of planning and urban design objectives set forth in the OCP and Core Area Plans. In particular, it will provide housing diversity in the form of new rental apartments, an upgrade of two heritage buildings, improve public access to the waterfront and support economic and social vitality in the area, all within a built-form that is in keeping with the goals of area design guidelines.

The project consists of a multi-unit residential apartment building set atop the existing Northern Junk warehouse buildings (Caire & Grancini Warehouse and Fraser Warehouse) that are to be rehabilitated and incorporated into a mixed-use development. The project brings together active ground level uses, new housing options, and an integrated public access and extension of the public waterfront walkway.

Previous iterations of the project envisioned a comprehensive redevelopment of City-owned lands to the East and North of the site; the current proposal seeks -within a much smaller footprint- to still deliver public realm and heritage preservation and rehabilitation, and contribute to the economic, social, and architectural vitality of the neighbourhood. The nature of the development however becomes less about a landmark structure marking a gateway, but rather an extension of built patterns in the area leaving the City-owned lands with potential for future development.



RESPONSE TO COTW AND STAFF COMMENTS ON ORIGINAL SUBMISSION:

★ GENERAL COMMENTS

The original submission for this proposal was submitted to staff on June 6th 2019 and was subsequently revised and re-issued on October 11th 2019 to respond to initial feedback from staff. Following additional feedback and revisions the project was presented to COTW on June 11th 2020. The motion and recommendations from council were issued back of the applicant on June 19th 2020. There have been several additional discussions with staff on how to best address the recommendations within the motion and we believe the changes included in this package effectively meet the intent of the motion. The scope and impact of the changes are summarized here with respect to how they address the recommendations.

2

PROVIDE GREATER EXPOSURE OF THE SOUTH SIDE OF THE CAIRE AND GRANCINI WAREHOUSE AND EXPLORE RELOCATING THE PMT.

The PMT has been moved to a proposed location across minor Wharf Street based on discussions with staff, the owner and the design team. This location will require further study and confirmation, but it has allowed for increased exposure of the south wall of the C+G warehouse. The entrance lobby has been reconfigured in response to this and will allow nearly the entire south wall of the C+G warehouse to remain visible and tangible to residents as they enter the building. This redesign of the lobby has also offered an opportunity for a resident amenity space off the lobby facing Reeson Park. This will have the added benefit of providing more 'eyes on the street' facing the park as well as a more functional activated amenity space for residents

4

REVISE WATERFRONT WALKWAY TO ALLOW FOR GREATER EXPOSURE OF THE NATURAL SHORELINE.

The waterfront walkway has been reconfigured and reduced in size to limit the amount covering the natural shoreline. The walkway still provides for the minimum 4.5m clear path as well as patio spaces for the restaurants to activate the space. Drawings now indicate the historical high and low water lines to show the minimized impact of the revised walkway alignment.

5

PULL BACK THE WEST FACADE OF THE ADDITION ABOVE THE CAIRE AND GRANCINI WAREHOUSE.

In response to this suggestion the west face of the addition above the C+G warehouse is moved approximately 5' to the east. Outboard balconies are now proposed on levels 2, 3, 4 and 5. This significantly reduces the mass overhanging the C+G warehouse and still allows for the liveability and direct outdoor access the balconies offer to the residents.

1

PROVIDE GREATER EXPOSURE OF THE WEST FACADE OF THE CAIRE AND GRANCINI WAREHOUSE. INCLUDING THE PARAPET.

As part of the revised proposal, the glass enclosure on the west side of the C+G warehouse has been removed. The entire west face of the C+G warehouse is now exposed. The glazing at level 01 of the commercial space has been angled such that the SW corner of the C+G warehouse is visible from the harbour path/Reeson Park. Additionally the lowered parapet of the C+G warehouse is maintained in order to allow for it to remain underneath the soffit/ceiling of level 02. The parapet will now be visible from the alley as well from the waterfront walkway and restaurant space.

3

SET BACK EAST FACADE OF THE ADDITION ABOVE THE CAIRE AND GRANCINI WAREHOUSE.

The east face of the addition on the C+G warehouse has been setback an additional 12" in response to this recommendation. This provides for greater visual distinction between the addition and the existing building and is consistent with the approach taken on the Fraser Warehouse. Adjustments have been made to the Eastern balconies to improve livability with the reduced footprint.

6

EXPLORE POSSIBILITY OF A COMMON ROOFTOP AMENITY SPACE.

While not included in the motion, there was suggestion to explore the possibility of providing a common rooftop amenity space in lieu of the private rooftop patios. In response to this the revised proposal includes a large common outdoor rooftop space. This is visible on the roof plan and landscape drawings. This common amenity will be available to all tenants.

DESIGN RATIONALE REVIEW:

The design of the project has three primary drivers: the existing heritage warehouse buildings, response to public realm and response to the patterns and character of Harbour and Old-town.

- HERITAGE RESPONSE
- PUBLIC REALM RESPONSE
- ARCHITECTURE, MASSING & MATERIALS

HERITAGE RESPONSE:

(see also conservation plans & heritage consultant's rationale)

The existing architecture of the two Northern Junk warehouse buildings is to be rehabilitated by careful revealing of original facade elements now obscured by previous alterations and additions and rehabilitating the exterior masonry facade. Alterations including new openings are to be added to improve the functionality of the buildings. The key goal has been to maintain as many elements of the existing buildings as possible while giving them a new life as active commercial spaces accessible to the public. As much as possible, the new elements of the project have been devised to maximize visibility and retention of the existing buildings and bring new value to them for present and future generations. The new structure and spaces are fused with or enveloping of the heritage elements allowing users to come in contact with and be able to appreciate the heritage elements in new ways. All principal facades, interior masonry walls and openings are retained in the proposed design.

Whereas, a typical addition to a heritage building might be smaller in scale, the context of the buildings within the generally 5-storey Old-town fabric suggests that a one or two-storey addition would seem out of scale with the surroundings. The increased height of the additions delivers an integrated streetscape using the heritage buildings as its foundation. The resulting tripartite composition of each facade reinforces the classical pattern of base (heritage buildings), middle (new residential building), and top (contemporary cornice elements).

The patterns of glazing and masonry piers of the new elements above the two heritage buildings are guided by the existing proportions and details of their facades, rendered in a simpler more contemporary articulation so as to not compete with the existing facades, but be sympathetic and complementary.

The design responds to the new Draft Old Town Design Guidelines as follows:

- Locate and site new buildings and additions to create a continuous 'street wall edge'.
- Design new buildings and additions to reflect the established proportions, composition and spatial organization of adjacent historic facades.
- Include a distinct roof line in the building design, through such measures as a simplified or contemporary cornice or parapet.
- Modulate the overall horizontal and/or vertical building mass on large buildings to achieve a scale that is compatible with adjacent buildings.
- For buildings over 30m in width, incorporate an articulated vertical break in the facade with a patio, courtyard, recessed entryway or other features to help break up the expanse of the facade.
- Avoid buildings with a dominant horizontal expression in favour of more compact buildings that reflect the smaller scale vertical expression of existing heritage buildings.
- Locate and design new buildings along the waterfront to provide direct pedestrian access to the Harbour Pathway where appropriate.
- Design new rooftop additions with contemporary materials and finishes.
- Use a slightly different ratio of solid to transparent materials than the historic building.
- Incorporate setbacks from street-facing elevations to maintain the distinction between old and new construction.

- **OLD TOWN DESIGN GUIDELINES: INNER HARBOUR DISTRICT**

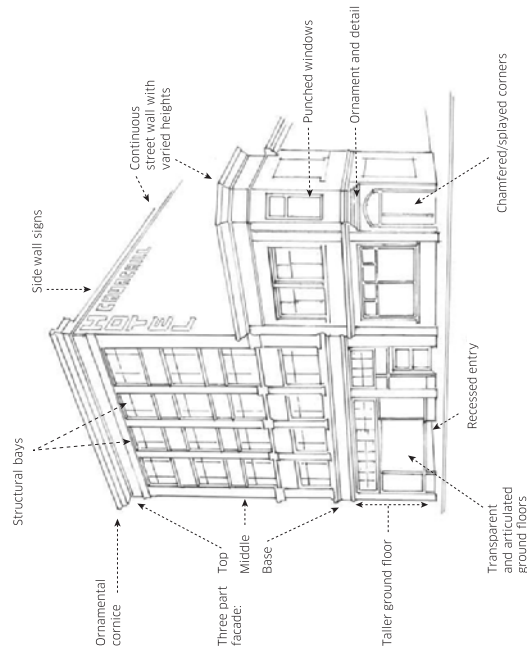
Project addresses several Old Town Guidelines objectives such as:

Character Defining Elements – Old Commercial District

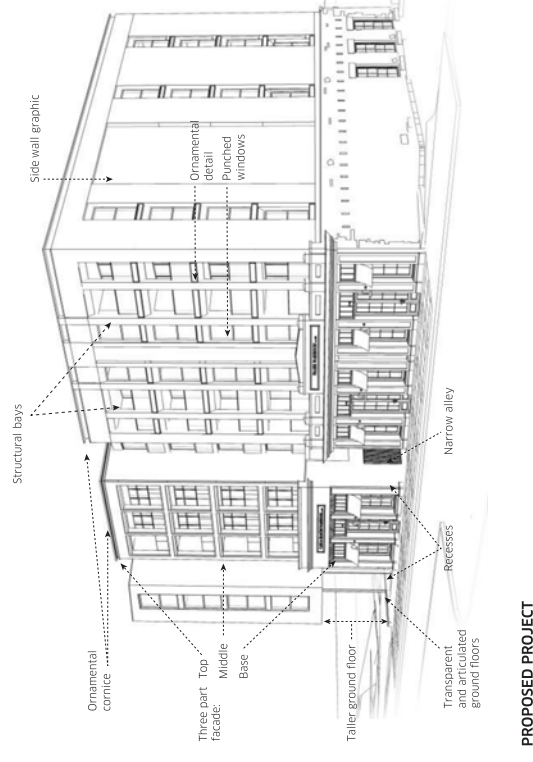
- Classically inspired three part building facades with a clearly defined base, middle and top;
- Vertical facade expressed by use of structural bays, vertical elements and proportions, and punched openings, including upper storey double-hung windows;
- Use of high quality materials such as wood, metal, brick, natural stone and glass;
- Well crafted facade ornamentation and detailing;
- Varied range of low to mid -scale building heights generally ranging from three to five storeys;
- Varied and attractive roof lines along each street that are accented by architectural features such as parapets and cornice lines;
- The prominent use of brick masonry construction
- Prefabricated structural and decorative components of exterior facades of commercial buildings such as wood brackets and tin cornices;
- The presence of pedestrian paths, mews, alleys and courtyards within and through blocks

Character Defining Elements – Waterfront

- Building types and spaces associated with the functions of a commercial harbour;
- Buildings over the water, vessels, float planes, buoys and marks, wharves, pontoons, piles, boat ramps, davits and ladders, hawsers, bollards, and mooring rings;
- Random rubble stonework, brick masonry, and iron shutters and doors;
- Stone and brick retaining walls;
- Buildings with an industrial aesthetic;
- Dual-aspect structures that present a commercial frontage to Wharf Street and a harbour frontage to the water;
- The rich texture of the land/water edge resulting from conditions including inter-tidal beaches, projecting structures, inundations and reclamations;
- Load-bearing masonry buildings and details and forms that accompany load-bearing masonry surrounded by subordinate lighter wood and metal structures;
- The glimpses of water seen between buildings, down alleyways and slips and on street axes.
- The view of Old Town from the water; defined by a concentration of small scale historic buildings tiering up from the waterfront with a distinct rhythm and rich design quality.

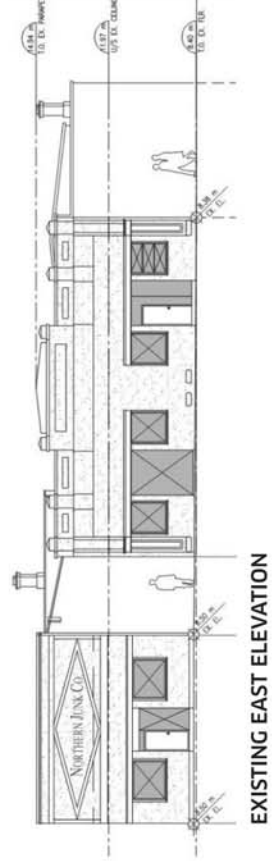
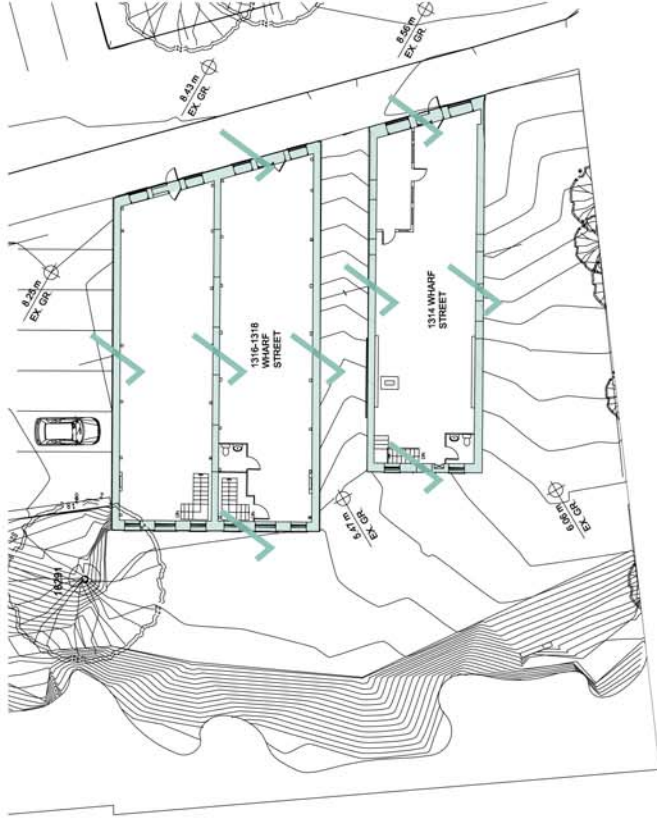


OLD TOWN GUIDELINES

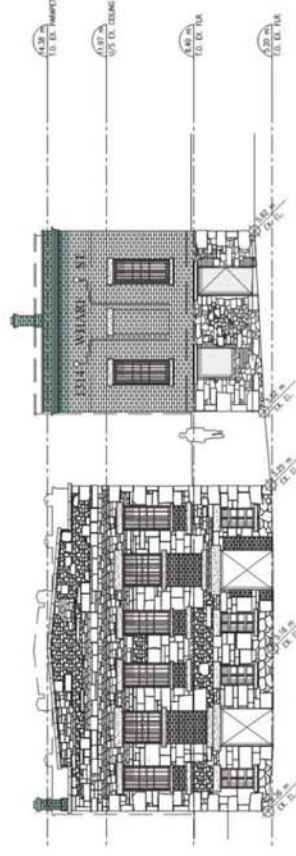


PROPOSED PROJECT

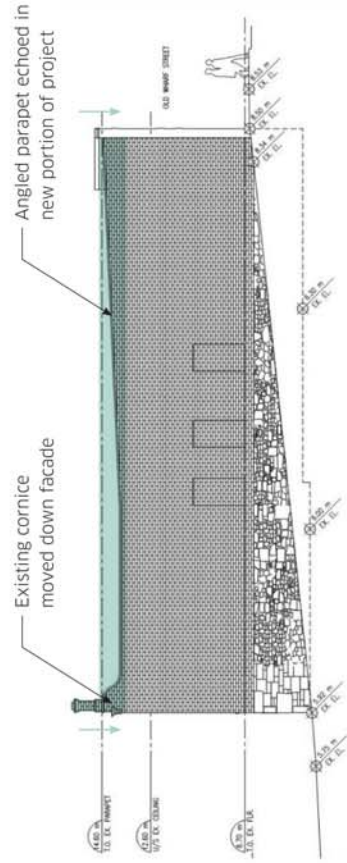
ALL EXTERIOR FACADES RETAINED



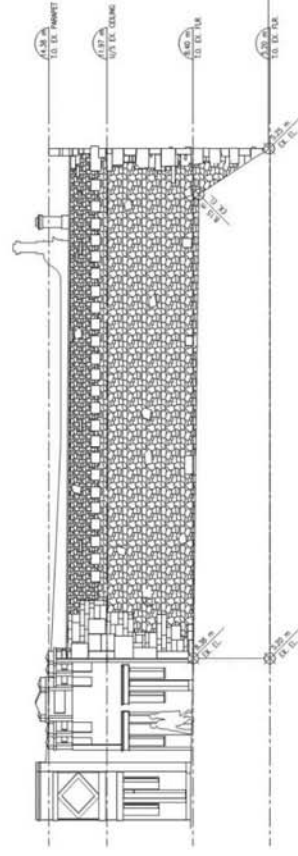
EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



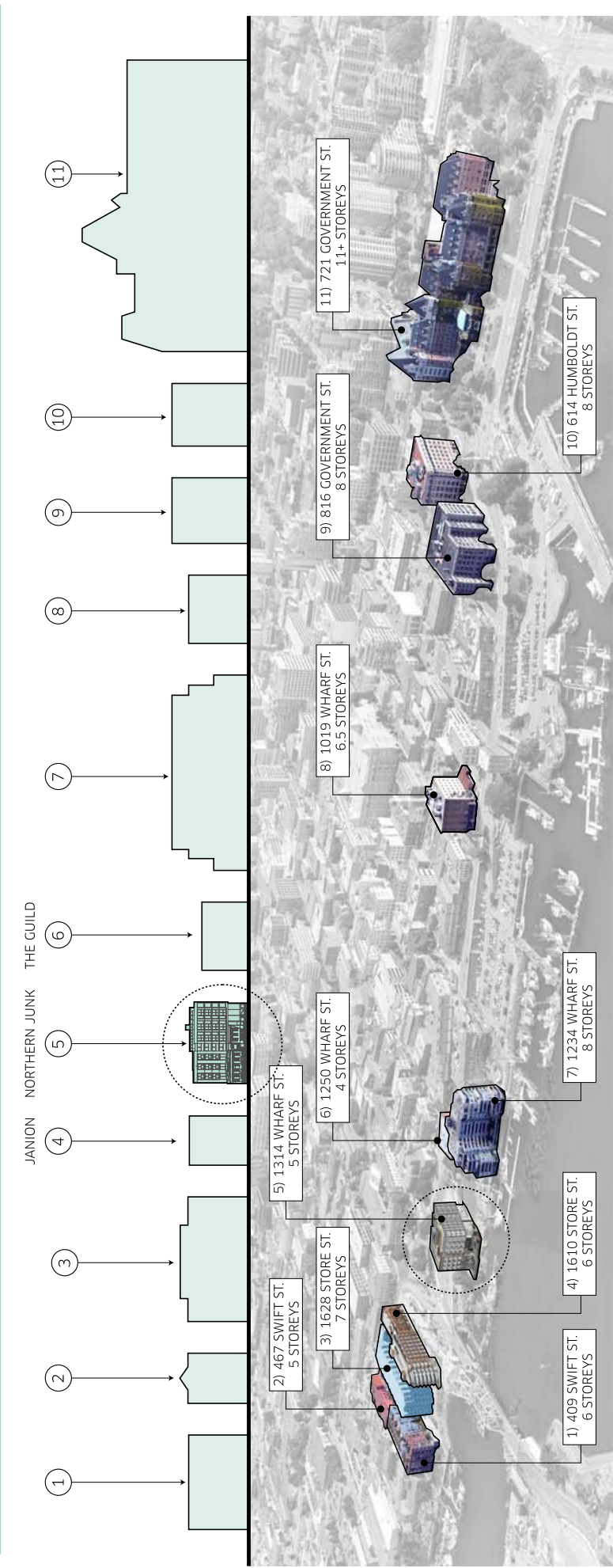
EXISTING NORTH ELEVATION

PUBLIC REALM:

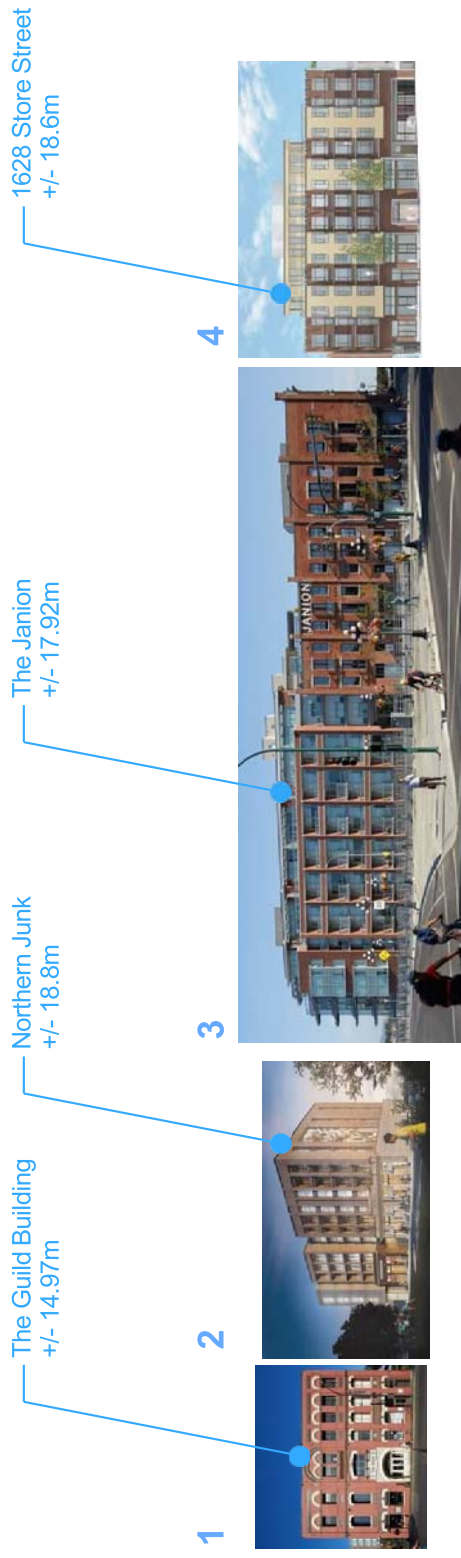
With limited new site area in which to add new structure, the footprint of any of the new elements are kept to a minimum, allowing the heritage facades to dominate the pedestrian experience of the project. Where a narrow sloping lane currently separates the two existing warehouse buildings, a new semi-public alleyway is proposed to allow pedestrian connection from Wharf Street to the new extended public waterfront walkway system to the north. This alleyway is in keeping with the old town character of intimate alleys and courtyards. It allows two sides of the existing structures to become exposed over two levels and is activated by new openings to the commercial spaces and an elevator can be accessed by the public to further improve access to the waterfront walk directly through this site. The space will be gated after hours for security. A feature soffit material is proposed to tie together the alley and glazed atrium ceilings using a stamped tin-like panel system rendered in a reflective material to add interest and light to the views upwards below the new structures and draw pedestrians into the new alley space.

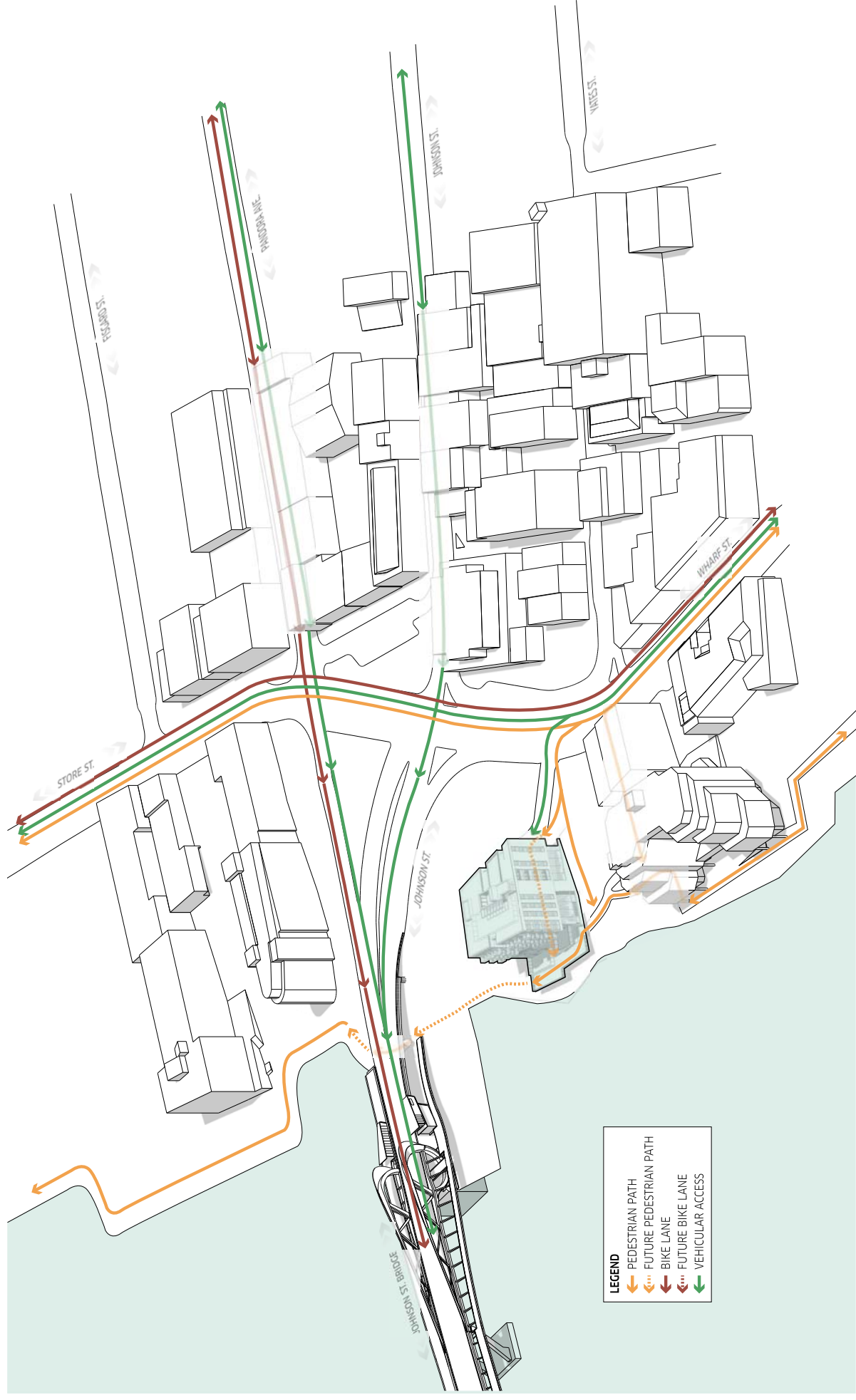
At the south side of the project bordering Reeson Park -where the new structure comes down to meet ground level- two highly-glazed active uses (a restaurant and residential lobby) are proposed to directly interface with the park, providing passive surveillance, illumination and an open relationship between new building and park. This highly glazed ground level of the project also allows for views of the south heritage facade through the building.

Extension of the David Foster Way waterfront walk along the west edge of the project will continue this public realm asset one step closer to the bridge and future connection to Rock Bay. Providing a public connection in the middle of the project also allows a way to continue the public connection in the interim.

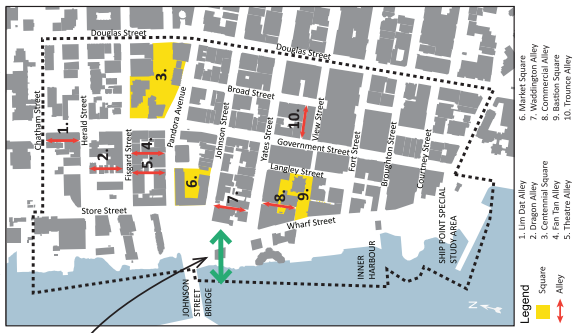


2.4 | PUBLIC REALM RESPONSE: HEIGHT COMPARISON

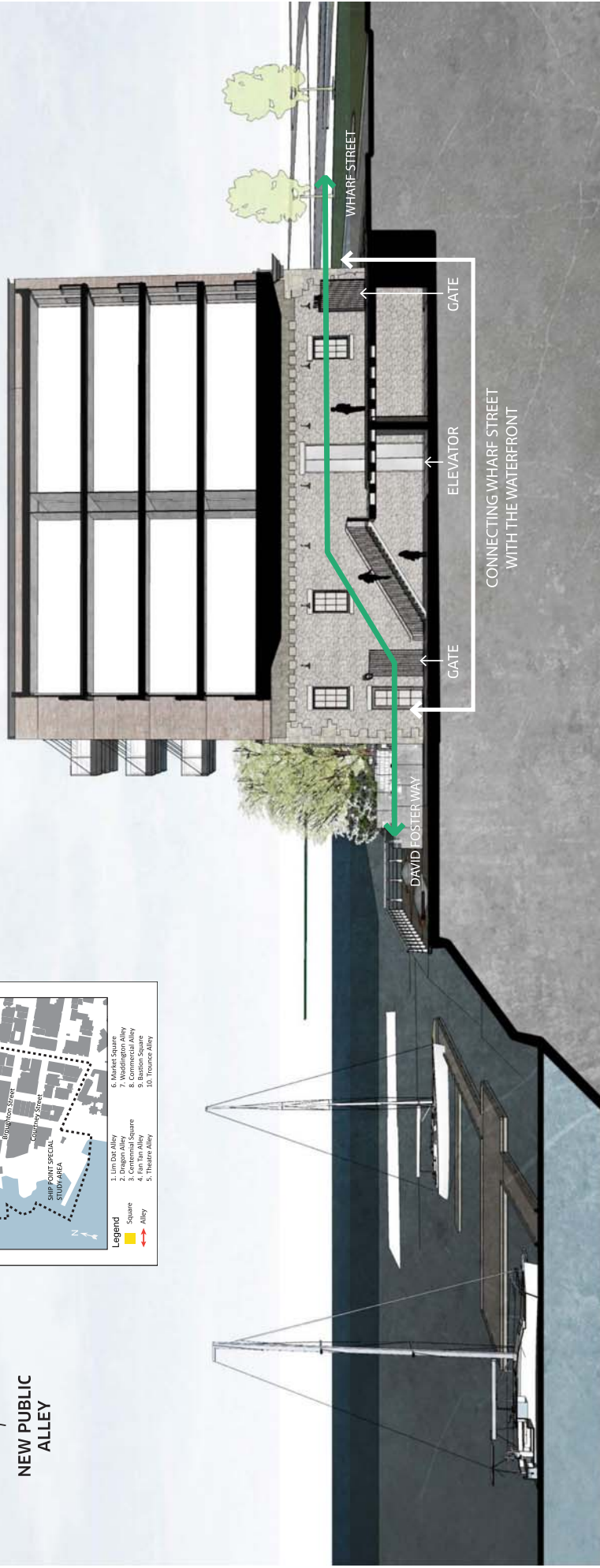




Courtyards, Squares and Alleys



NEW PUBLIC
ALLEY



ARCHITECTURE, MASSING & MATERIALS:

- EAST FACADE

This facade is broken down vertically into three primary elements to correspond to the two existing structures, and a new narrow addition to the south. Each is expressed slightly differently to respond in pattern and proportion to the masonry and openings of the existing buildings, and the south portion is expressed in a contemporary interpretation of the old town composition. Inboard balconies in keeping with Old-town precedents allow the masonry facades to reflect a historic streetscape pattern.

- NORTH FACADE

At the direction of the Planning Department, new openings have been added to Fraser Warehouse facade to better engage with the site to the north. The upper storeys also have openings and a provision for a public art element to address the approach from the bridge while anticipating a potential future development to the North.

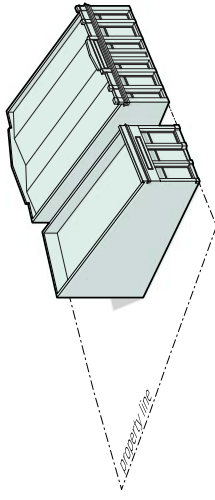
- WEST FACADE

The portion above the Fraser Warehouse expresses a more industrial feel for the balconies while featuring the historic 2-storey facade as a base. A public alleyway breaks this elevation into two distinct vertical masses. The south massing incorporates a partially glazed portion at the base as well as exposing the western facade of the Caire + Grancini Warehouse. The upper facade on the south is composed of a contemporary terra-cotta cladding and punched openings. The roof line of this southern portion is gently sloping to echo the angled parapet lines of the existing buildings and create a more varied profile to the development. Operable glazing and patio doors along the ground level of the west elevations allow an indoor-outdoor relationship of patios and public walkway with the new commercial uses at this lowest level. The differentiation of expression from east to west reflects the historic pattern of dual-frontage buildings on the harbour -one side addressing the working harbour, the other addressing Old-town.

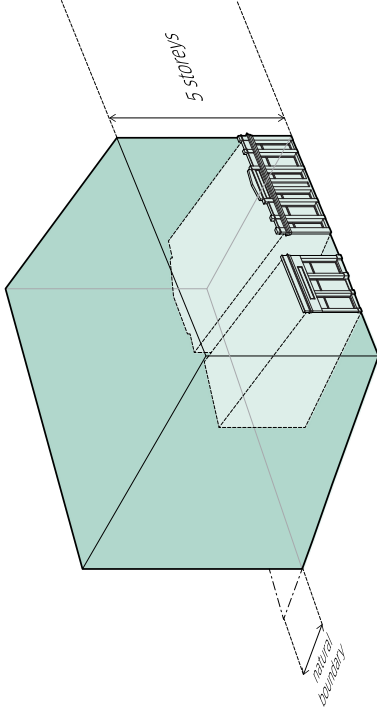
- SOUTH FACADE

Facing Reeson Park, this elevation orients balconies and glazing at the upper floors to engage the views of the park and harbour. The lower floors maximize glazing to provide overview of the park and visibility into the lower floors and reveals the historic facade contained within. The residential lobby faces the park and includes a common amenity lounge with direct overlook onto Reeson Park. The same goes for the commercial/restaurant space that offers views onto the park and is helps form part of an active southern face of the building.

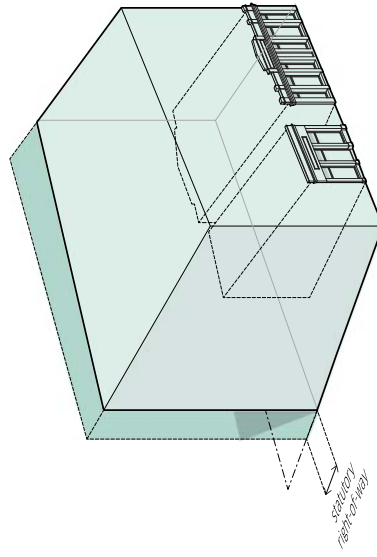




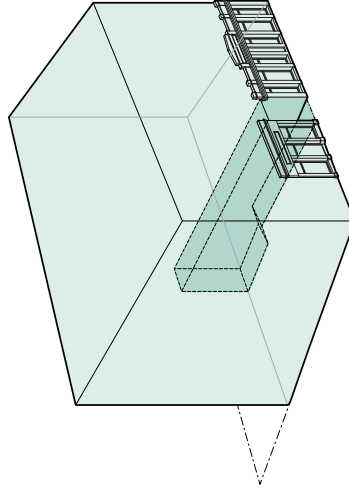
NORTHERN JUNK
EXISTING HERITAGE BUILDINGS



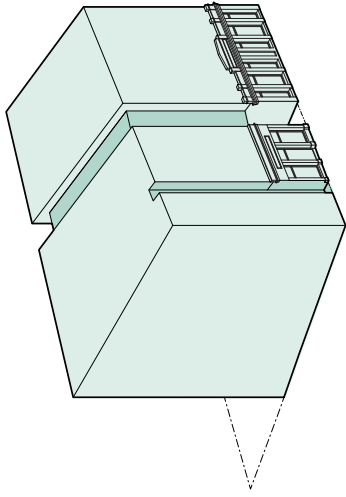
APPLY MAXIMUM FSR
TO NATURAL BOUNDARY



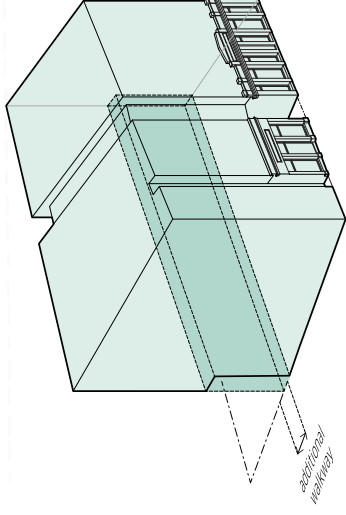
ALLOW FOR WATERFRONT ACCESS
STATUTORY RIGHT-OF-WAY



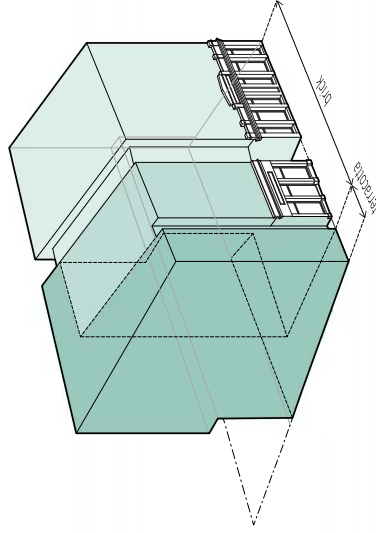
ADD PEDESTRIAN FRIENDLY ALLEY



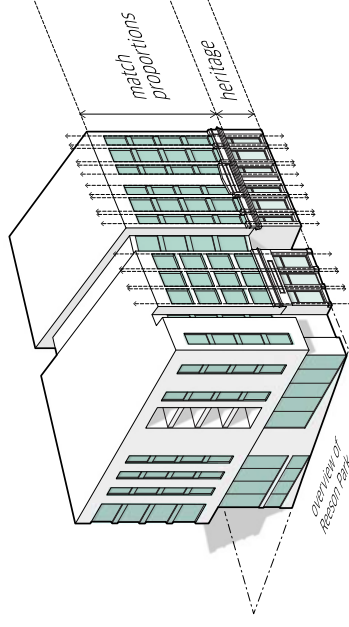
CARRY FORM FROM EXISTING HERITAGE
UPWARD TO INFORM MASSING & MAINTAIN
TRADITIONAL HERITAGE STREETSCAPE PATTERN



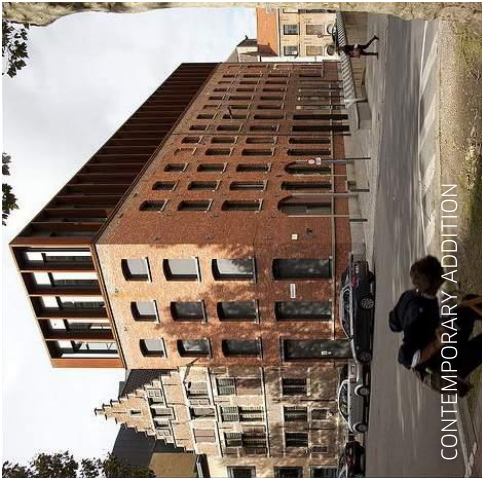
REMOVE MASSING TO ALLOW
LARGER WATERFRONT WALKWAY &
EXPOSE HERITAGE FACADES



MATERIALS HIGHLIGHT HERITAGE
ORIGINS & DIFFERENTIATE MASSING



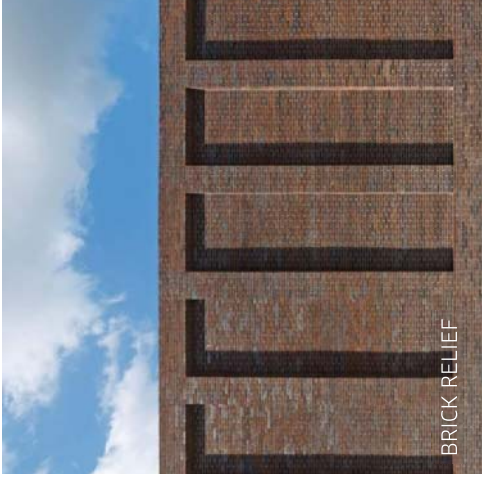
ARTICULATION INFORMED BY
HERITAGE PROPORTIONS



CONTEMPORARY ADDITION



HERITAGE VISIBLE THROUGH GLAZING



BRICK RELIEF

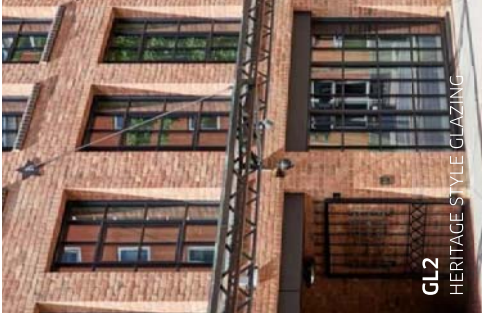


CONTEMPORARY CORNICE





GL1
NEW RESIDENTIAL GLAZING



GL2
HERITAGE STYLE GLAZING



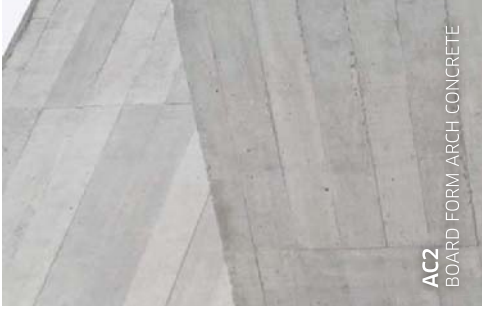
GL3
COMMERCIAL GLAZING



CMP1
METAL PANEL TYPE 1



AC1
PRECAST ARCH CONCRETE



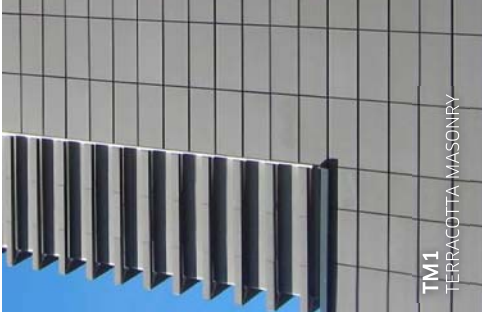
AC2
BOARD FORM ARCH CONCRETE



BM1
EXISTING BRICK MASONRY



BM2
NEW BRICK MASONRY TYPE 1



TM1
TERRACOTTA MASONRY



MS1
STAMPED METAL SOFFIT



PM1
DARK PAINTED METAL



P3
GLASS BLOCK PAVING



CONTEXT SE



CONTEXT SW



CONTEXT NW



CONTEXT NE

03 ARCHITECTURAL PACKAGE

LEVEL 01 AREAS			
SUITE NUMBER	SUITE TYPE	SUITE AREA	
CRU1	CRU 1 - L00	191.0 sm	
CRU2	CRU 2 - L00	171.2 sm	
Total Suite Area	2	362.3 sm	
Total Gross Area	L00 GROSS	560.2 sm	
EFFIC		560.2 sm	65%





LEVEL 02 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
201	3BD	83 sm
202	2BD	86 sm
203	1BD	53 sm
204	1BD	53 sm
205	1BD	40 sm
206	1BD	46 sm
207	1BD	46 sm
208	1BD	55 sm
209	1BD	58 sm
210	1BD	38 sm
211	ST	38 sm
212	2BD	66 sm
Total Suite Area		663 sm
Total Gross Area		739 sm
EFFIC		90%



LEGEND

- RESIDENTIAL SUITE
- FAMILY SUITE
- COMMERCIAL AREA
- CIRCULATION/SERVICE SPACE

LEVEL 03-04 AREAS sm			
SUITE NUMBER	SUITE TYPE	SUITE AREA	
301 sm	3BD sm	83 sm	
302 sm	2BD sm	86 sm	
303 sm	1BD sm	53 sm	
304 sm	1BD sm	53 sm	
305 sm	1BD sm	40 sm	
306 sm	1BD sm	46 sm	
307 sm	1BD sm	46 sm	
308 sm	1BD sm	55 sm	
309 sm	1BD sm	58 sm	
310 sm	1BD sm	38 sm	
311 sm	ST sm	38 sm	
312 sm	2BD sm	66 sm	
Total Suite Area sm		12 sm	663 sm
Total Gross Area sm		GROSS sm	739 sm
EFFIC			90%



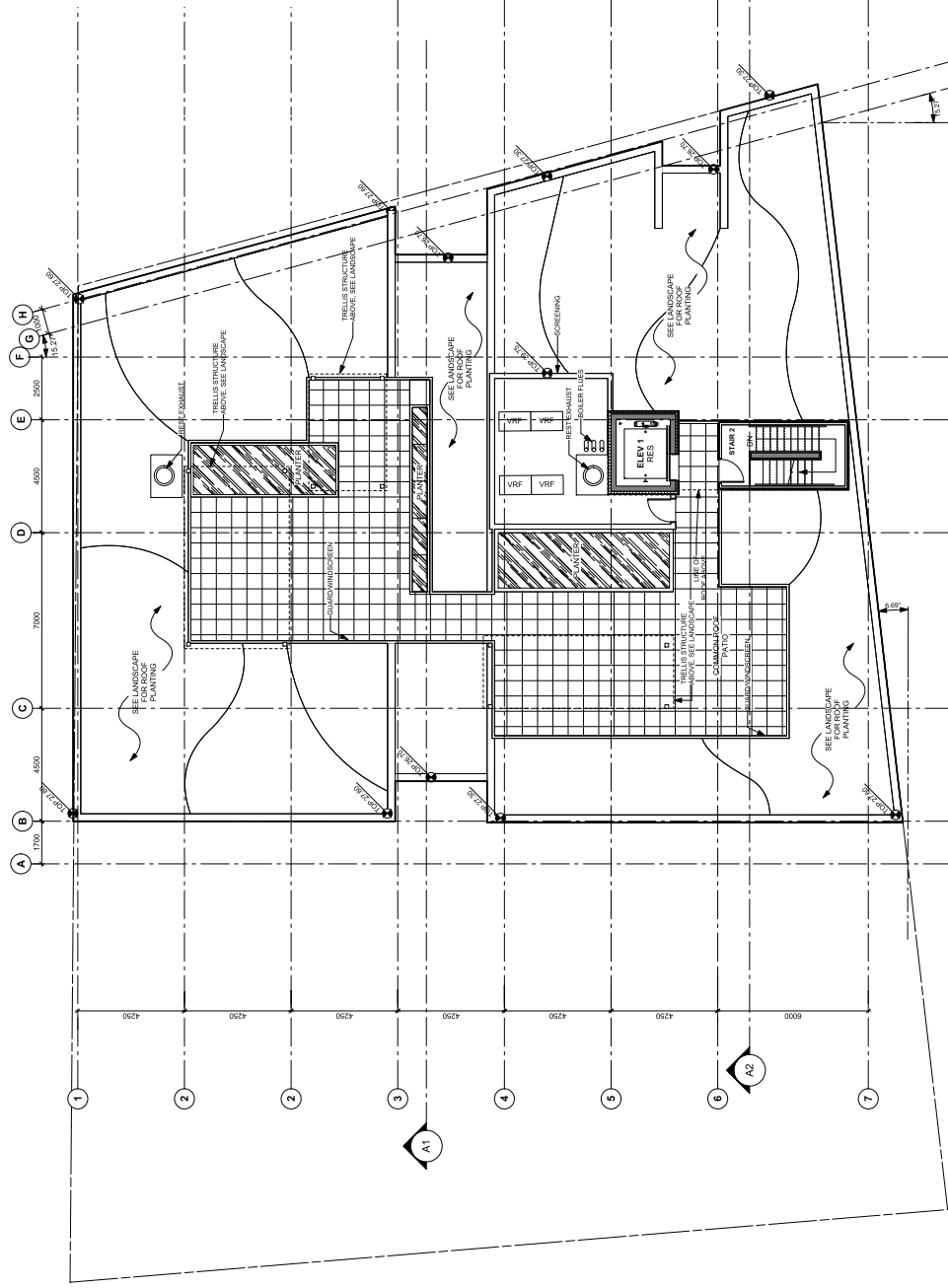
- LEGEND**
- RESIDENTIAL SUITE
 - FAMILY SUITE
 - COMMERCIAL AREA
 - CIRCULATION/SERVICE SPACE

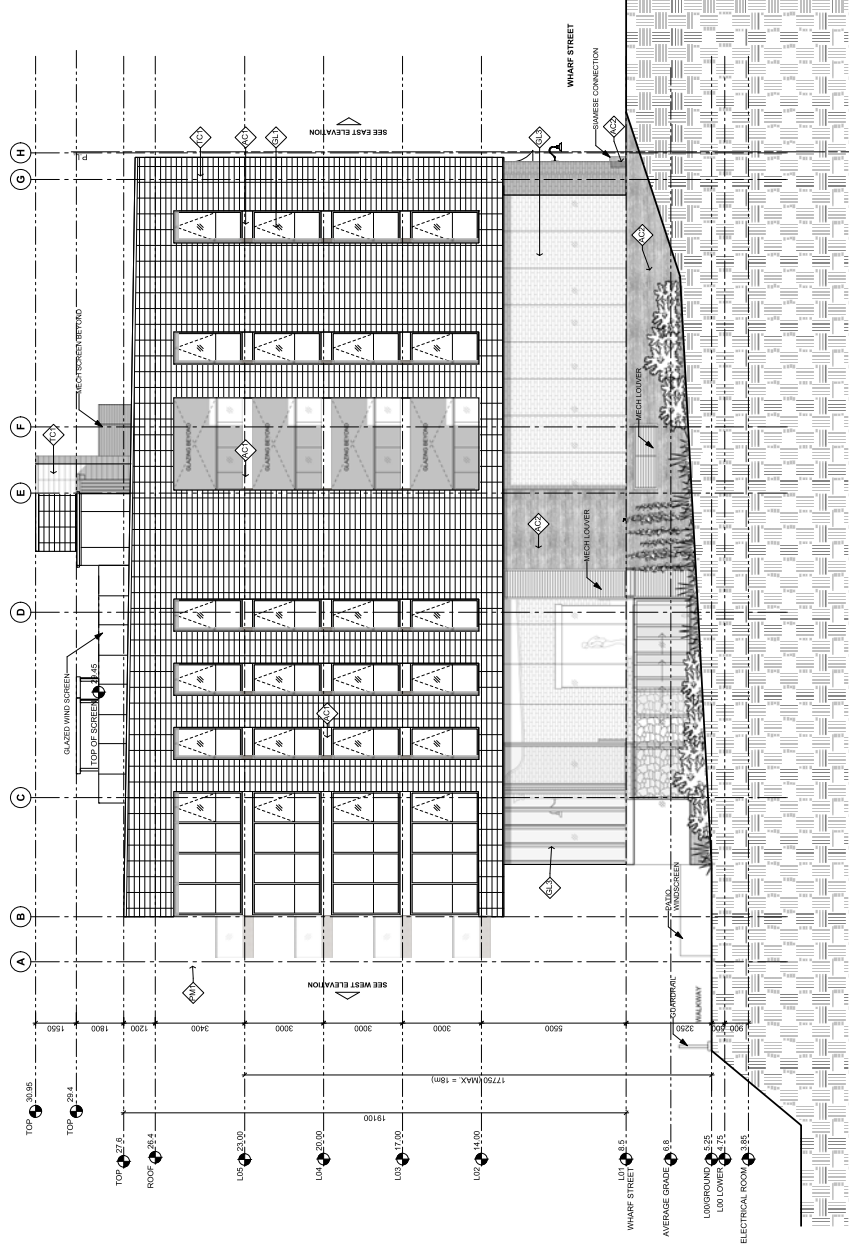
LEVEL 05 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
501	3BD	83 sm
502	2BD	86 sm
503	1BD	53 sm
504	1BD	53 sm
505	1BD	40 sm
506	1BD	46 sm
507	2BD	101 sm
508	1BD	58 sm
509	1BD	38 sm
510	ST	38 sm
511	2BD	66 sm
Total Suite Area		663 sm
GROSS		739 sm
Total Gross Area		739 sm
EFFIC		90%

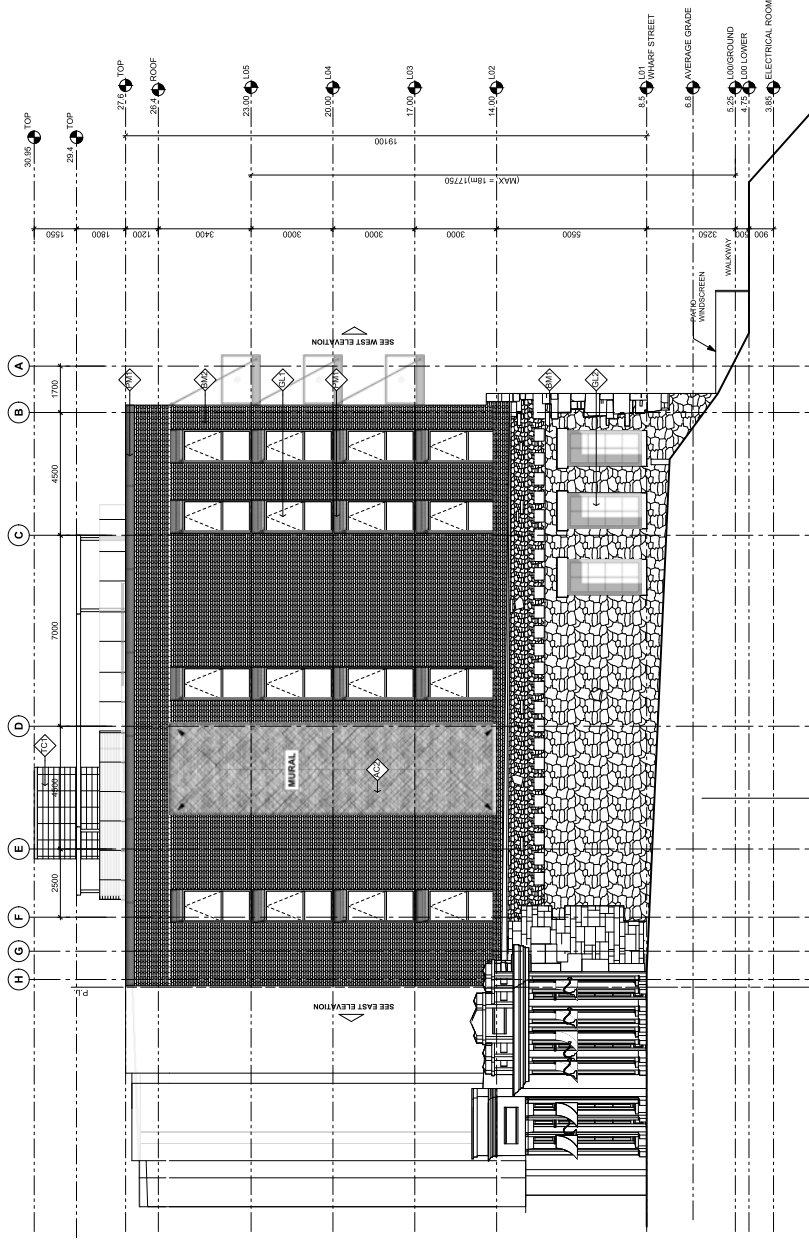


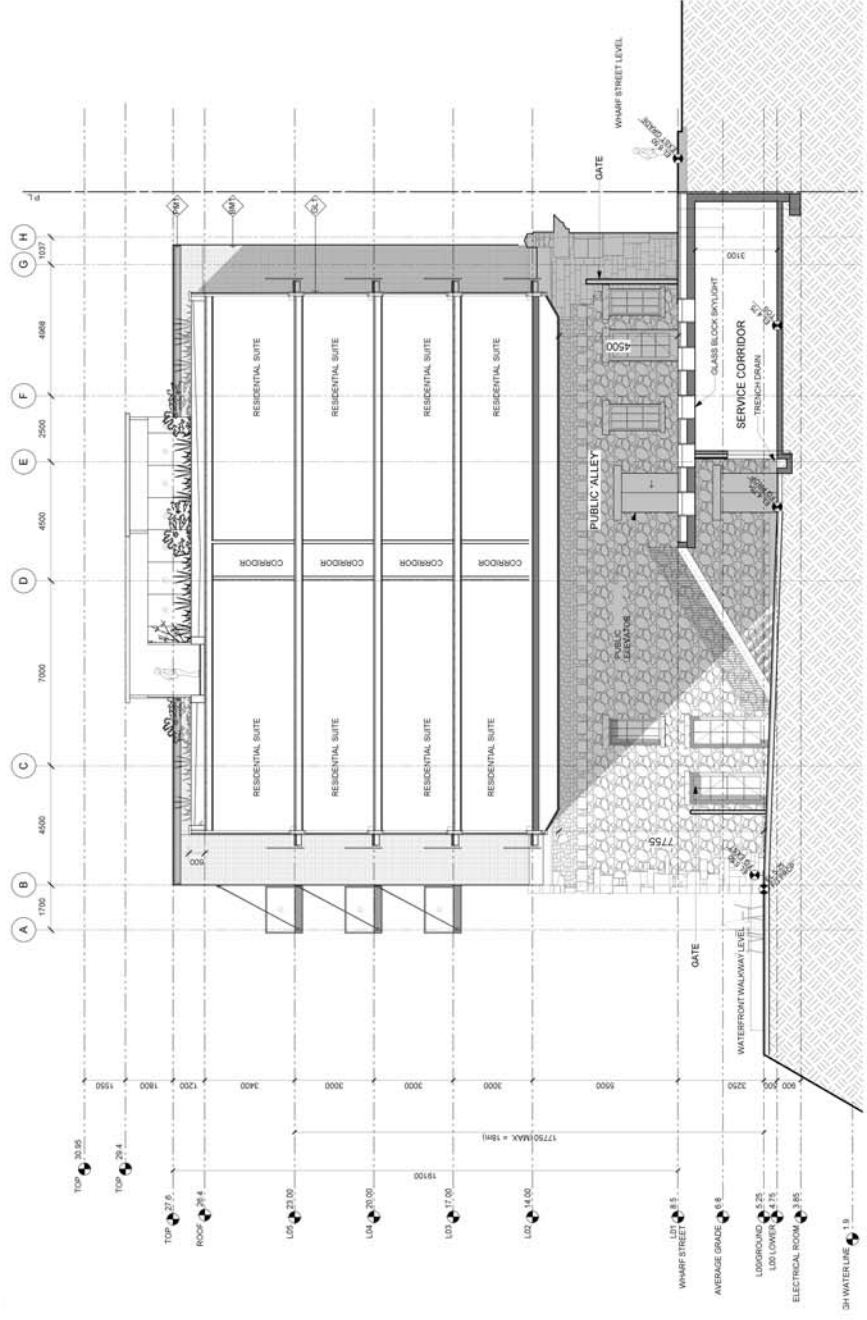
- LEGEND**
- RESIDENTIAL SUITE
 - FAMILY SUITE
 - COMMERCIAL AREA
 - CIRCULATION/SERVICE SPACE

ROOF AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
	0	0 sm
Total Suite Area	GROSS	14 sm
Total Gross Area		14 sm
EFFIC		0%









04 DIGITAL RENDERINGS



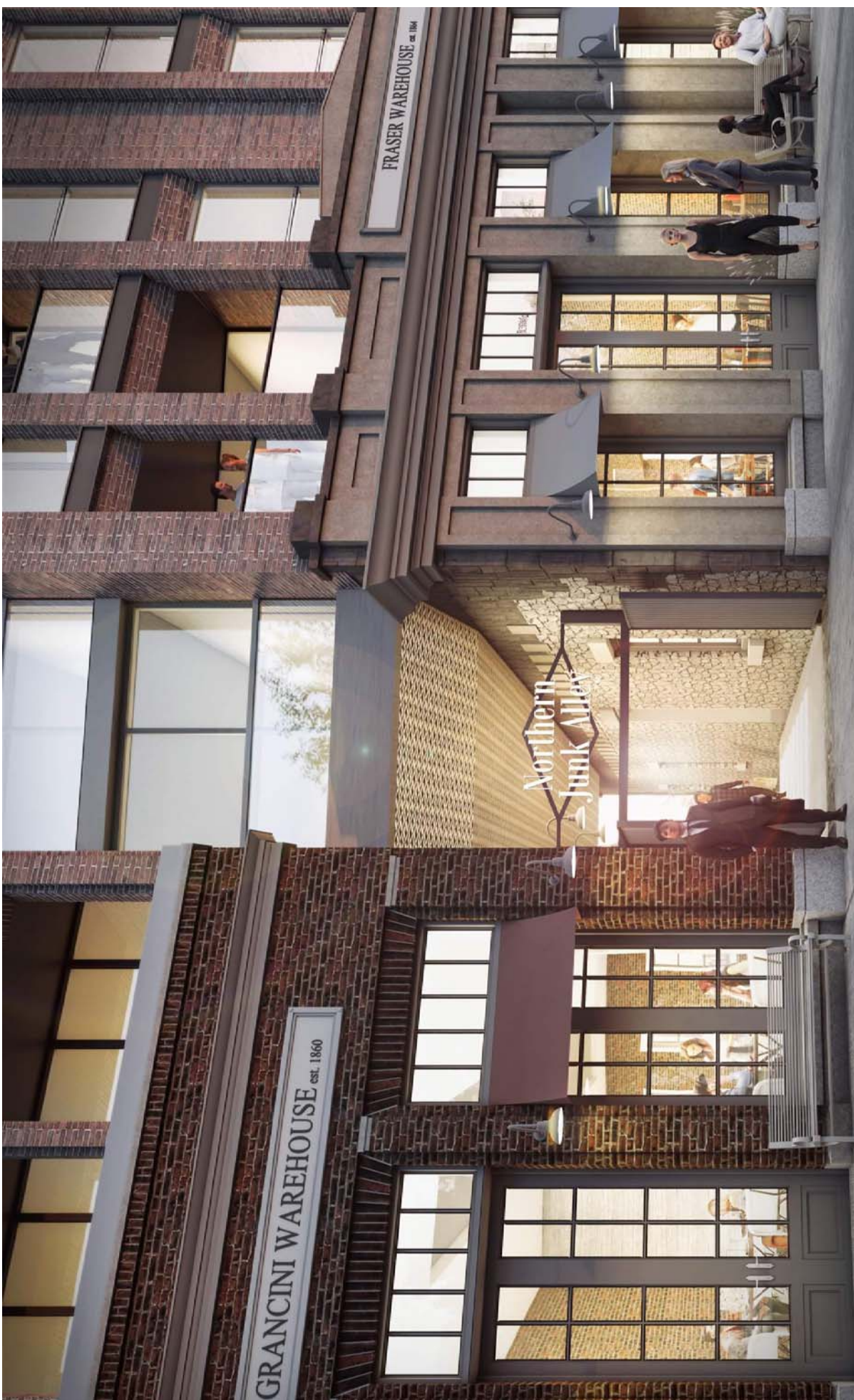


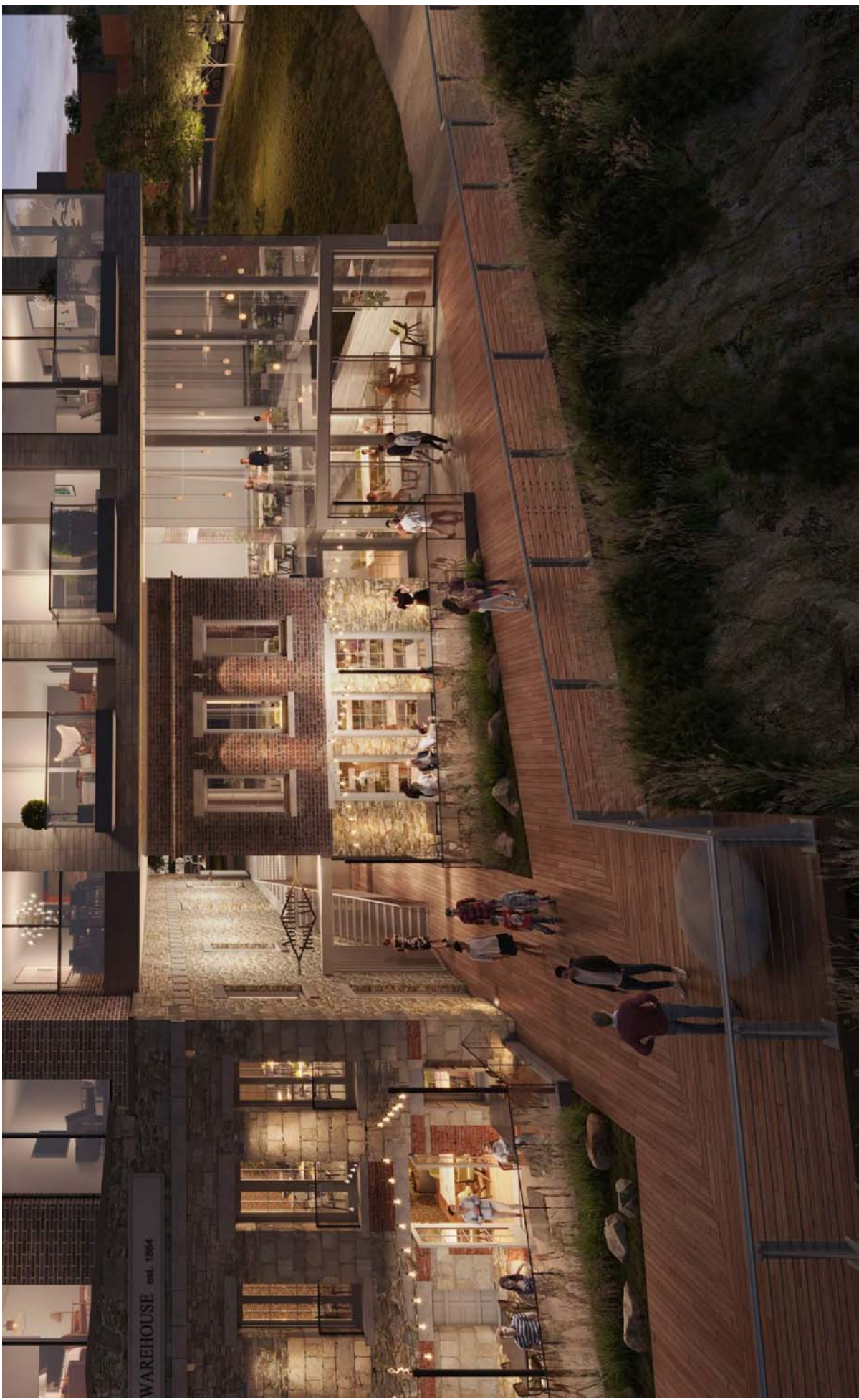
4.1 | RENDERING 2



4.1 | RENDERING 3









4.1 | RENDERING 7

BEFORE AND AFTER RENDERING COMPARISON



BEFORE



AFTER



05 LANDSCAPE PACKAGE

Northern Junk Design Rationale

The landscape design associated with the updated Northern Junk building creates a functional and vibrant urban waterfront space that celebrates City of Victoria's shoreline. The public will benefit from the extended connection of the David Foster Way, proximities to Reeson Park and Johnson Street Bridge Public Realm.

Wharf Street Connection

The cast in place concrete sidewalk follows the requirements outlined in the Downtown Public Realm Plan and Streetscape Standards for the district of Inner Harbour. While there isn't room to include street trees between the existing buildings and the curb line, by not shifting the curb to achieve the necessary space we are able to protect the mature trees opposite the building. The hardscape paving in the passage between the buildings uses the same rhythm as the jointing in the sidewalk to create unity of the two spaces. The passageway also benefits from the glass tiles that create a light well into the spaces below. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. A gate located in line with the building faces and designed with historical reference can be used to secure the passageway after business hours.

Reeson Park Interface

The building design promotes an eyes-on-the park relationship of the CRU, the lobby and the residential units above Reeson Park. This is not only a benefit to the residents but provides a significant CPTED improvement as the sunken park is not in view from the street.

David Foster Way

The public extension of David Foster Way matches and aligns with the existing 4.5-meter width. The walkway is constructed from heavy timber members that evoke the industrial historical significance of the site. Emphasizing this relationship between the built and natural environment is a large precast "stone" seating feature. It provides a place to rest, wait for a table at the restaurant or simply enjoy the view.

The two outdoor patios are surfaced with stone pavers that create significant visual distinction between private and public spaces and also carry the historical connotation. These patios will provide animation along the David Foster Way. The comfortable atmosphere of the outdoor dining patios is created by discrete glass enclosures and two planters defining the spaces and protecting from the ocean winds. It is further emphasized by catenary lighting that defines the space with open canopy and provides soft ambient light.

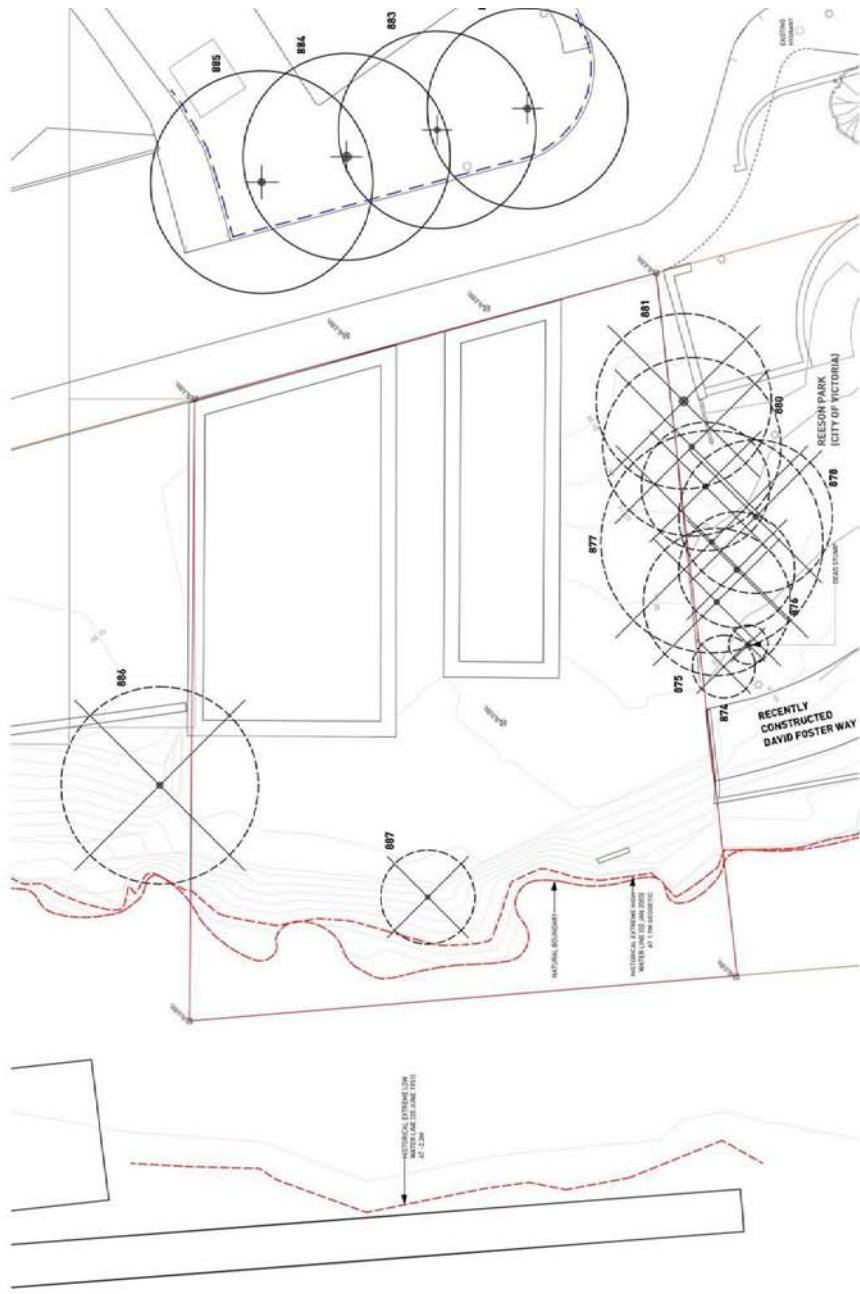
The lower level of the passageway between the historical buildings uses heavy timber paving to create visual unity between the passageway and David Foster Way. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. As at the top on Wharf Street, a gate in line with the buildings provides after business hour security.

Rooftop

The rooftop includes an extensive sedum grass and perennial green roof and patios for residents. The patios are paved with hydropressed pavers to allow for ease of removal for replacement and access to the slab for maintenance. There are three large cast in place planters located on the roof, one of which will serve as urban agricultural plot for the residents. Three shade structures will be providing comfort for residents using the roof for gardening or for leisure. The plant palette includes small native trees and native adapted plants with a variety of bloom periods and textures to reduce the need for watering while delivering all season interest.

Sustainability

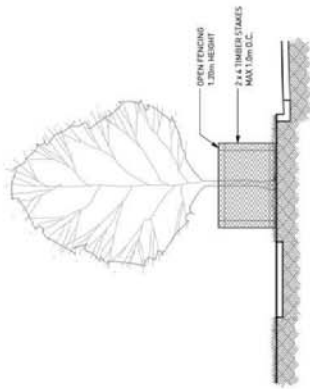
Locally sourced stone pavers, manufactured timber and paving slabs have been selected as the paving material for their durability. A high efficiency, fully automated drip irrigation system with rain sensor will ensure healthy plant growth while keeping water use to a minimum. The green roof improves air quality, provides significant areas of planted space which will contribute to the reduction of heat island effect, reduce the urban storm water runoff and increases the habitat area along the shoreline.



NOTES:
TO PREVENT THE LOSS OF TREES THAT ARE TO BE REMOVED, THE J
IS PROVIDING A CASH-IN-LIEU OFF-SITE TREE REPLACEMENT AS I
FOR THE LOSS OF TREES THAT ARE TO BE REMOVED. THE J
FOR PUBLIC REALM IMPROVEMENTS.

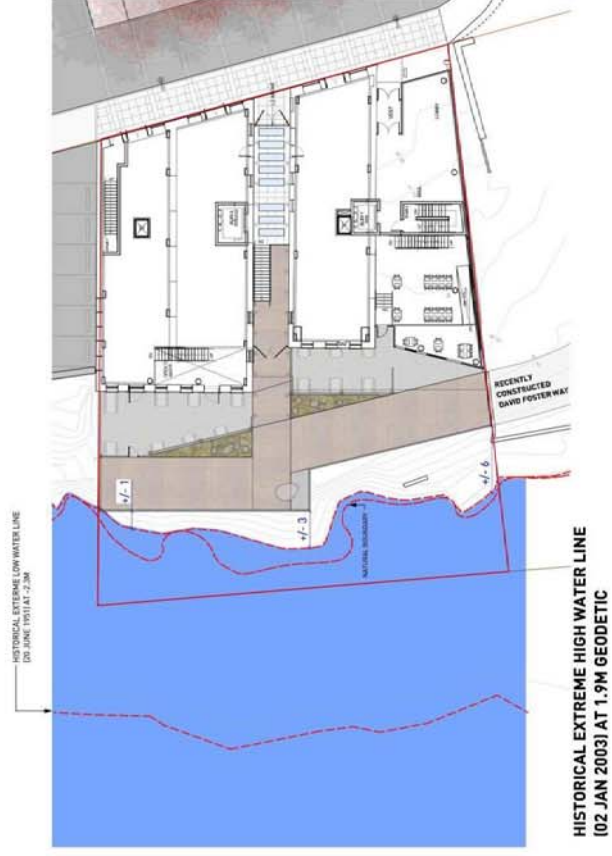
TREE PROTECTION GENERAL NOTES

- A. EXCAVATION AROUND TREES
1. EXCAVATION WITHIN DRIP LINE OF TREES ONLY, UNLESS INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
2. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
3. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6-FT) HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES
1. HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
2. USE NARROW TINE SPADES TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
3. DO NOT PUSH INTO BRACKEN, JACKSON OR OTHER DESIRABLE TREES. IF EXCAVATION IS NEAR ROOTS, DO NOT EXCAVATE DEEPER THAN EXCAVATION LINE AS REQUESTED TO BEND AND RELOCATE WITHOUT BREAKING.
4. RELOCATE TREES TO NEW LOCATIONS AS REQUESTED BY THE CONSULTANT.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES
1. TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
2. DO NOT CUT MAIN LATERAL ROOTS.
3. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
4. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 10cm (4") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS
1. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
B. PACK WITH WET FEAT MOSS. MAINTAIN MOISTURE.
C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
2. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
3. WATER POOLABLE BACKFILL AROUND ROOTS TO ELIMINATE WOOD AND AIR POCKETS.



1 TREE PROTECTION BARRIER FENCING DETAIL
NTS

TREE MANAGEMENT LEGEND	
	TREE TO BE REMOVED
	TREE TO BE RETAINED
	TREE PROTECTION ZONE AND FENCING



LAYOUT AND MATERIALS GENERAL NOTES

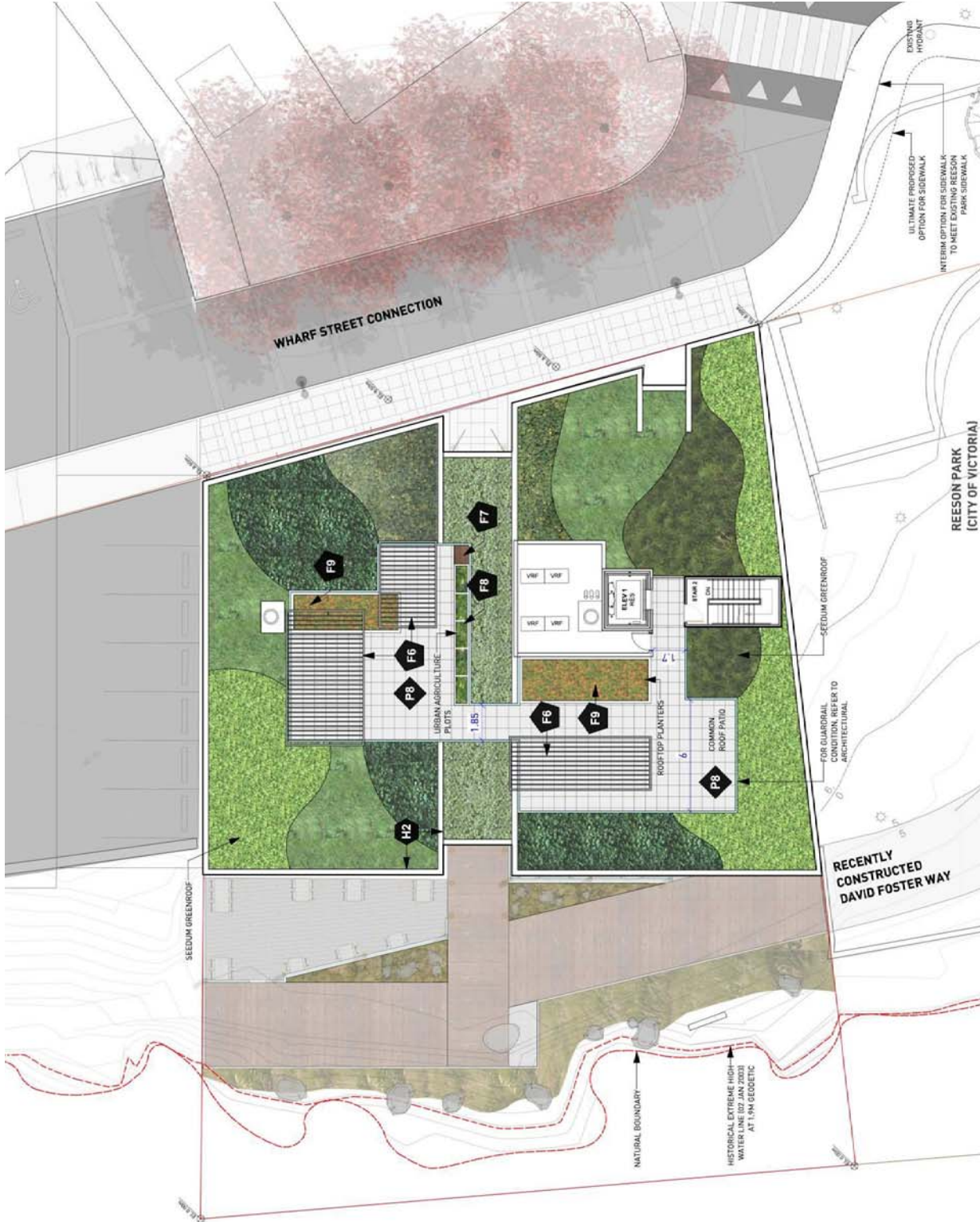
1. REPORT SCALE: 1:1000. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN METERS.
2. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
3. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
4. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
5. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
6. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
7. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
8. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
9. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.
10. LAYOUT AND MATERIALS GENERAL NOTES: TO BE USED IN CONJUNCTION WITH LANDSCAPE PLAN.

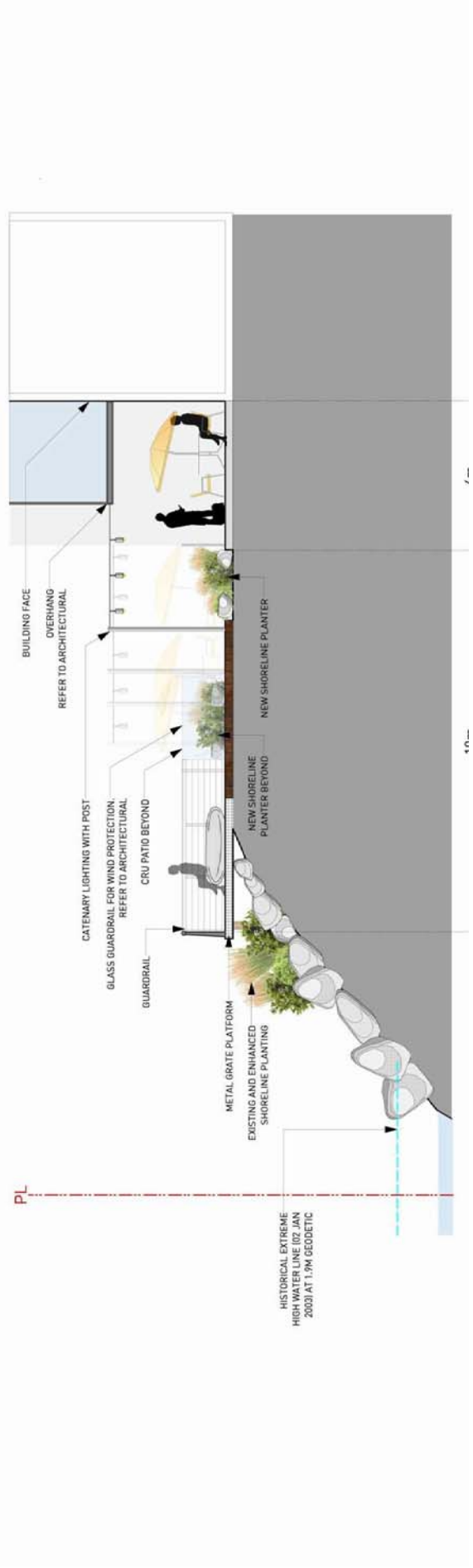
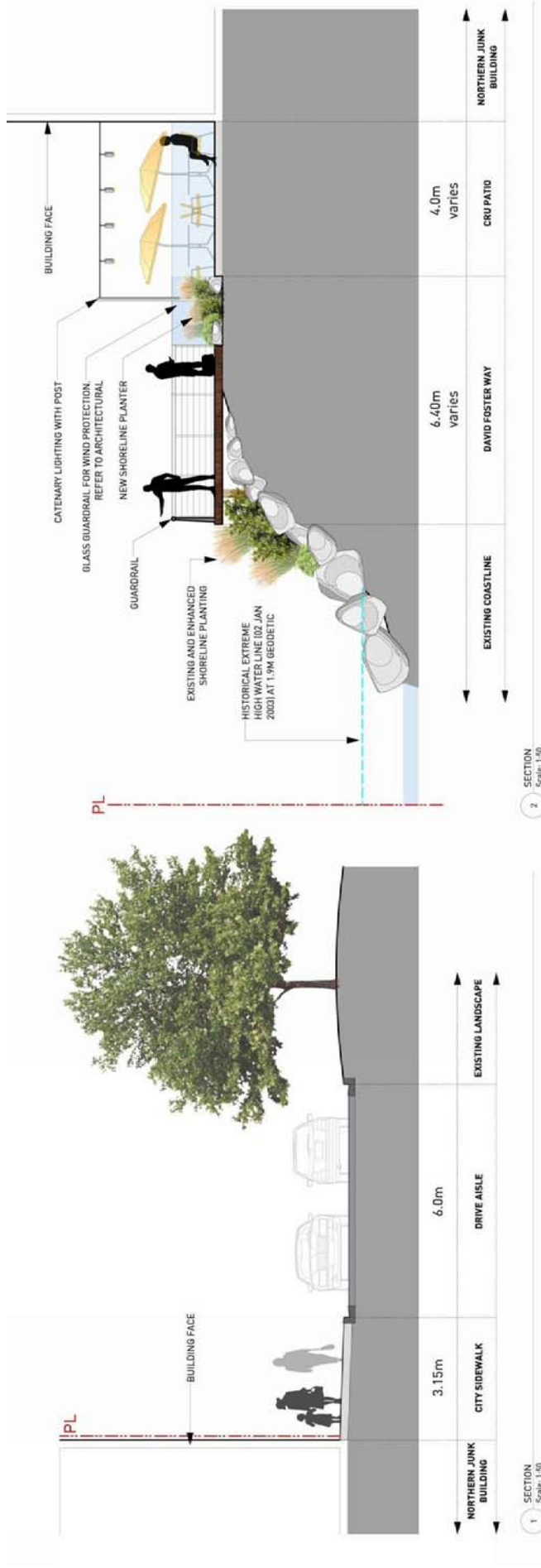
HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
1	Medium Green Grass
2	Medium Green Grass
3	Medium Green Grass
4	Medium Green Grass
5	Medium Green Grass
6	Medium Green Grass
7	Medium Green Grass
8	Medium Green Grass
9	Medium Green Grass
10	Medium Green Grass

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
1	Medium Green Grass
2	Medium Green Grass
3	Medium Green Grass
4	Medium Green Grass
5	Medium Green Grass
6	Medium Green Grass
7	Medium Green Grass
8	Medium Green Grass
9	Medium Green Grass
10	Medium Green Grass

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
1	Medium Green Grass
2	Medium Green Grass
3	Medium Green Grass
4	Medium Green Grass
5	Medium Green Grass
6	Medium Green Grass
7	Medium Green Grass
8	Medium Green Grass
9	Medium Green Grass
10	Medium Green Grass

LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
1	Medium Green Grass
2	Medium Green Grass
3	Medium Green Grass
4	Medium Green Grass
5	Medium Green Grass
6	Medium Green Grass
7	Medium Green Grass
8	Medium Green Grass
9	Medium Green Grass
10	Medium Green Grass







06 APPENDIX

Northern Junk Property

1314-1318 Wharf Street

MAY 22, 2019 OPEN HOUSE SUMMARY REPORT

Prepared for
Crosstown Properties - Reliance Properties Ltd.
June 5, 2019



Summary

Crosstown Properties/Reliance Properties Ltd. (Reliance) will be applying to the City of Victoria (City) to rezone the properties at 1314-1318 Wharf Street (commonly referred to as the Northern Junk buildings) from *IHDD-Inner Harbour Heritage District* to a new purpose-designed zone. The site occupies two waterfront lots along Wharf Street that are currently occupied by two vacant heritage designated warehouses (Caire & Grancini Warehouse and Fraser Warehouse). The rezoning proposal conforms to the City's OCP policies and guidelines.

Providing rental housing, the proposal will reanimate the vacant properties and waterfront that lead up to the newly built Johnson Street Bridge. The development concept envisions a multi-unit residential apartment building above the existing Northern Junk warehouse buildings. The existing buildings will be rehabilitated and incorporated into a mixed-use development. The proposed project brings together active ground-level uses, new housing options, and access to and extension of the public waterfront walkway.

An Open House was held on May 22, 2019 at 1607 Douglas Street to share the proposal with the community, and to gather the public's feedback prior to a formal application to the City. Approximately 50 people attended the event, and 13 written comment forms were completed.

Notification

An invitation was mailed to 2, 156 property owners within 200 metres of the property line via a Canada Post mail-drop two weeks in advance of the Open House.

Additionally, on May 7, 2019, invitations were hand-delivered to 385 neighbours not included in the mail-drop.

Summary of Pre-Application Open House

The Open House was held from 4:30-7:00 pm, and included a series of display panels, with the applicant team available to answer questions. A 30-minute presentation included background information about Reliance's development history with heritage buildings. Comment forms were available for participants to share their feedback on the proposal, and all comments received are included verbatim below. Scanned copies of the comment forms are also attached.

Transcription of Comments

1	I'm a long time Victorian and have been waiting for such a creative inclusive design such as this for Northern Junk. BRAVO! You have nailed it.
2	- Rentals - YES! Victoria needs - Very attractive aesthetic - Will serve singles, couples, and families - Height in keeping with the Old Town Design District Vibe. Well done - Great
3	The proposal to retain this historic landmark is wonderful. I fully support the redevelopment of this site to a vital city rental option.
4	What were the reasons for not purchasing the northern adjacent lot? What has the process with the City been like? Great job!
5	Have? re: price of rental units. Are they geared for families? When I go [sic] to Saanich meeting, developer by Walmart build [sic] for 2 salaries at \$15 per hour.
6	Love the overall design. Tasteful and utilizes the old heritage bldgs. Well. I like the water side very much, very elegant and I especially like the boardwalk that matches the coastline.
7	As a "fallback" alternative - it's wonderful! Too bad the City didn't see the benefits of the applicants previous and numerous proposals! Pass this application.
8	Love it! This incarnation is the best one yet. It keeps with the heritage look/feel while modernizing the space to attract a much-needed vibrancy.
9	Thank you for an excellent presentation. Such an improvement from original plans. Much appreciate sensitivity to and compatibility of design "old town" and inner harbour mix. Love the old/new architecture and features and stroll-ability along our beautiful waterfront.
10	Great design! Please build it. I love the Junk Alley concept and the glass atrium facing the water. This location needs new life after remaining vacant for decades.

2

11	We have a right to more affordable housing.
12	I like the design and preservation of the heritage buildings. Also think business on the main floor will liven the area. Would like to see commitment from the City to finish the David Foster walkway past the Northern Junk site. Also, be sure there is enough room for persons with strollers/mobility issues to pass on the walkway (e.g., not benches, tables/chairs in way) Would also love to see more 3-bdrm units built for young families.
13	The development proposal is strong. Pleased with the way it relates to Reeson Park. Offers safe and vibrant continuation of D.F. walkway. Inspired building design that does not overemphasize the heritage elements.

Comment Form Results

Of the 13 respondents:

- 10 voiced support for the project;
- 1 voiced concern for the project;
- 2 voiced neutral comments and/or suggestions for improvement.

Appendices

- **Appendix A:** Invitation to Open House
- **Appendix B:** Copies of Submitted Comment Forms

3

invites you to drop by an informative

OPEN HOUSE

Crosstown Properties invites you to review new plans related to the rezoning of our **Northern Junk properties at 1314-1318 Wharf Street.**

These scaled-back plans include ground floor commercial/retail with rental residential above in a five-storey building on Wharf Street.

Representatives from Crosstown Properties/Reliance Properties and the Project Team will be in attendance to answer your questions and listen to your comments and ideas.

Wednesday, May 22, 2019

4:30 p.m. to 7:00 p.m.

(Brief presentation at 5:30 p.m.)

1607 Douglas Street, across from City Hall

**We hope you'll join us
on May 22nd**

MORE INFORMATION?

Deane Strongtharm
250.383.0304 x122
dstrotharm@cityspaces.ca

CROSSTOWN
residential care
RELIANCE
COMMUNITY CARE

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

Loo the overall design
heritage bldgs well. I like the water side very much
very elegant & it especially like the boardwalk that
matches the coastline

Name: [redacted]
Contact info (email/phone): [redacted]



CROSTOWN
HOUSING & COMMUNITY DEVELOPMENT

RELIANCE
COMMUNITY DEVELOPMENT

OPEN HOUSE | May 22, 2019

Northern Junk Buildings (1314-1318 Wharf Street)

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

What were the reasons for not purchasing the northern adjacent lot?

What has the process with the city been like?
Great Job!

Name: *[Redacted]*

Contact Info (email/phone): *[Redacted]*



CROSSTOWN

REPAIRING U.S. RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

A) A "PAUL DUNK" ARTS CENTER - IT'S WONDERFUL! TOO BAD THE CITY DIDN'T SEE THE BENEFITS OF THE APPLICATIONS PREVIOUS TUNTERIOUS PROPOSALS! PASS THIS APPLICATION

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]



CROSSTOWN

REPAIRING U.S. RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

Love it! This incarnation is the best one yet. It keeps with the heritage look/feel while modernizing the space to attract a much needed vibrancy.

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]



CROSSTOWN

REPAIRING U.S. RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

Creat design!! Please build it. I love the Junk Alley concept & the glass atrium facing the water. This location needs new life after remaining vacant for decades

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]



CROSSTOWN

REPAIRING U.S. RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

Thank you for an excellent presentation. Such an improvement from original plans. Much appreciate sensitivity to and compatibility of design, old town + inner harbor mix. Love the old/new architectural features, and stroll ability along our beautiful waterfront.

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]

6.1 | OPENHOUSE SUMMARY REPORT

NORTHERN JUNK REZONING/HERITAGE ALTERATION PERMIT

PAGE 62 OF 67

CROSSTOWN

PARAMARIBO, L.T.D.

RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

- I like the design & preservation of the heritage buildings. Also think business on the main floor will liven up the area.

- Would like to see commitment from the city to finish the David Foster walkway past the Northern Junk site

- Also, be sure there is enough room for persons with strollers

- Mobility issues to pass on the walkway (e.g. not benches, telephones in way)

- would also love to see more 3 bdrm units built for young families

Name: [REDACTED]

Contact info (email/phone): [REDACTED]

CROSSTOWN

PARAMARIBO, L.T.D.

RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

we have a right to more affordable housing

Name: [REDACTED]

Contact info (email/phone): [REDACTED]

8

CROSSTOWN

PARAMARIBO, L.T.D.

RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

HAVE ? RE: PRICE OF RENTALS UNITS ARE they geared for families. When I go to Sacandaga meeting developer by Walmart build 4 2 salaries at \$15 per hr.

Name: [REDACTED]

Contact info (email/phone): [REDACTED]

CROSSTOWN

PARAMARIBO, L.T.D.

RELIANCE

Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

THE DEVELOPMENT PROPOSAL IS SLOW. PLEASED WITH THE WAY IT RELATES TO REESON PARK, OFFERS SAFE & VIBRANT CONTINUATION OF D.F. WALKWAY. ~~ISSUE~~ INSPIRED BUILDING DESIGN THAT DOES NOT OVERSHADOW THE HERITAGE BUILDINGS.

Name: [REDACTED]

Contact info (email/phone): [REDACTED] 121

9

6.1 | OPENHOUSE SUMMARY REPORT

NORTHERN JUNK REZONING/HERITAGE ALTERATION PERMIT

PAGE 63 OF 67



Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

- RENTALS -> YES! Victorian needs.
- very attractive aesthetic
- will serve singles, couples & families
- height in keeping w/ the old town!

Design District Vibes. Well done.

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]



Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

I'm a long time Victorian and have been waiting for such a creative inclusive design such as this for Northern Junk BRAND! You have nailed it.

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]

10



Northern Junk Buildings (1314-1318 Wharf Street)

OPEN HOUSE | May 22, 2019

COMMENT FORM

Do you have any comments on the proposal for the Northern Junk site?

THE PROPOSAL TO RETAIN THIS HISTORIC LANDMARK IS WONDERFUL. I FULLY SUPPORT THE REDEVELOPMENT OF THIS SITE TO A VITAL CITY REVIVAL OPTION.

Name: [REDACTED]

Contact Info (email/phone): [REDACTED]

11

6.1 | OPENHOUSE SUMMARY REPORT

NORTHERN JUNK REZONING/HERITAGE ALTERATION PERMIT

PAGE 64 OF 67



STRONGITHARM CONSULTING LTD.

July 5, 2019

**Notes from CALUC meeting
June 12/19 at the Ambrosia Centre, 638 Fisgard St**

- 1) Ian Sutherland called the meeting to order at 6:35pm.
- 2) There were approximately 20 members of the public in attendance.
- 3) Jon Stovell provided an overview of the project and explained the major differences between the current design and past; keeping development and public walkways wholly on private land and not on City-owned property.
- 4) The architect (Adrian Politano) gave a 15 minute PowerPoint presentation that detailed all elements of the building design and programming, including the architectural principles applied in the design development.
- 5) Ian Sutherland opened the meeting to the floor for comment. Fourteen people spoke. Their comments were as follows:
 - 1) Speaker 1 stated "I like what I see"; questioned how garbage will be picked up and pointed out the seaplane dock below with reference to noise.
 - 2) Speaker 2 expressed concern about height of the buildings (5 storeys on Wharf St) relative to seaplane landing and stated there was a need to ensure that Nav. Canada is OK with the height.
 - 3) Speaker 3 indicated that an all-rental building was a good thing.
 - 4) Speaker 4 asked if there were any short-term rentals (to which the answer was no).
 - Thought the mass of the building was good
 - Liked that the heritage is preserved which is good and stated that "you kind of got it right."
 - 5) Speaker 5 asked if the 42 units were "affordable". The units are market priced rental units.
 - Thought the breakdown of unit type was good.
 - Thought the continuation of the David Foster walkway was good.
 - 6) Speaker 6 agreed with having rental units.
 - Thought heritage should be the driver and this project is not in the spirit of heritage - didn't like the "façadism" of the approach to the building design.

Suite 101, 848 Courtney Street, Victoria BC V8W 1C4
250.383.0304, x22 | 250.889.1862 | distrongitharm@cityplace.ca

- 7) Speaker 7 thought the plan was excellent.
 - Stated that the development has to work economically.
 - 8) Speaker 8 spoke in favour of the proposal and thought the character of the heritage buildings was quite visible within the overall design.
 - 9) Speaker 9 thought it was totally inappropriate and the two existing buildings should be left alone and renovated without additions.
 - 10) Speaker 10 stated they liked the project, what was being proposed, and how the buildings were being treated.
 - 11) Speaker 11 liked that the existing buildings are being preserved.
 - Thought the project needs to be financially viable.
 - Stated that there is nothing else to do but have facades and disagreed with an earlier speaker.
 - Suggested consideration for some exterior material change.
 - 12) Speaker 12 stated that he understood what the developer had done and liked it quite a lot. Thought that façadism is really the point and to make that element of the design as prominent as possible.
 - 13) Ian Sutherland asked about the setback of the new building from the cornice line of the old building along Wharf Street.
 - 14) Speaker 13 (repeat speaker) was concerned about the buildings blocking views.
 - 15) Speaker 14 did not have any problems with having no parking and was pleased with the design.
- Ian Sutherland asked if there were any further comments and as there were none, he closed the meeting. The meeting adjourned at around 8:15pm.

Summary

Of the 13 individual people who spoke, 11 spoke in favour, 2 spoke against and spoke about height relative to aviation requirements.

Strongitharm Consulting Ltd. | 2

Juan Pereira

From: Juan Pereira
Sent: Tuesday, September 24, 2019 1:00 PM
To: 'Miko Betanzo'
Cc: 'Adrian Politano'; 'John O'Reilly'; 'Jon Stovell'; 'Alan Boniface'; 'Alison Meyer'; 'Andrea Hudson'; 'Rob Bateman'
Subject: RE: DRA letter for the northern Junk proposal

Miko,

Certainly appreciate your attention to outlined concern and related feedback/recommendations moving forward.

Thanks,



JUAN G. PEREIRA PROJECT MANAGER
305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
D 604 694 6800 F 604 683 6719
RELIANCEPROPERTIES.CA

E & O E: All information contained herein is from sources we deem reliable, however, no guarantee or responsibility is assumed thereof, and it shall not form any part of future contracts. Properties are submitted subject to errors and omissions and all information should be carefully verified. All measurements quoted herein are approximate.

From: Miko Betanzo [mailto:mbetano@victoria.ca]
Sent: Tuesday, September 24, 2019 12:01 PM
To: Juan Pereira
Cc: Adrian Politano; John O'Reilly; Jon Stovell; Alan Boniface; Alison Meyer; Andrea Hudson; Rob Bateman
Subject: RE: DRA letter for the northern Junk proposal

Hi Juan,

Thanks for this. We will include these minutes in the report to council as an appendix to your letter to Mayor and Council. That said, with your re-submission following the ADP meeting, you may wish to draft another letter to Mayor and council that outlines the process and any concerns you had. In your letter you may also wish to cite and include the "National Trust's Governor's Award letter.

Kind Regards
Miko

From: Juan Pereira <juanp@relianceproperties.ca>
Sent: September 20, 2019 6:53 PM
To: Miko Betanzo <mbetano@victoria.ca>
Cc: Adrian Politano <apolitano@dialogdesign.ca>; John O'Reilly <joreilly@victoria.ca>; Jon Stovell <jons@relianceproperties.ca>; Alan Boniface <Aboniface@dialogdesign.ca>; Alison Meyer <ameyer@victoria.ca>; Andrea Hudson <AHudson@victoria.ca>; Rob Bateman <rbateman@victoria.ca>
Subject: RE: DRA letter for the northern Junk proposal
Importance: High

Miko,

1

Received and acknowledged.

In this regarding based on previous fruitless experience with this process and its subjective approach we have a summary of minutes/notes on the meeting, attached for your reference, for the record and file in the project.

Some outlined inconsistencies (e.g. *Donald Luxton attendance in the meeting*) in circulated letter are worrisome same as misleading adjectives such as *"The majority of attendees expressed concerns regarding..."*, *"...appears to contravene several of the essential requirements..."* that actually don't reflect transparency as a summary of events, key aspect of the original intent of this letter outlined in the CALUC Role procedures: *Record feedback and submit to City and applicant c/w Outcome/Deliverables: - Written feedback provided to the City with a copy to the applicant within 30 days.*

As stated, unfortunately we didn't manage to get City Staff attendance as to verify the process even we were promised that would be the case; when we opted to advance a voluntary Public Information session Open House back in May 22nd, 2019 (summary submitted as part of the application c/w comments), it was stated as inappropriate for City staff to attend the Open House as certainly CALUC was the regulated instance to do so. Therefore somehow having this disconnection on the process feels unfair to the Applicant.

It comes to our attention how previous DRA letters outlined Official Community Plan (OCP) aspirations as main mandate for this development (as part of the Role of the Community Association Land Use Committee). This letter don't even mention applicability under OCP while leading the full discussion through adherence to the Old Town Design Guidelines which has Heritage roots totally ignored when identifying and suggesting parking requirements as applicable to this site with fully occupied footprint by Heritage buildings.

Kindly request to include and consider outlined as part of the context of this process surrounding the intended Role of the Community Association Land Use committee as outlined in CALUC terms of reference.

Sincerely,



JUAN G. PEREIRA PROJECT MANAGER
305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
D 604 694 6800 F 604 683 6719
RELIANCEPROPERTIES.CA

E & O E: All information contained herein is from sources we deem reliable, however, no guarantee or responsibility is assumed thereof, and it shall not form any part of future contracts. Properties are submitted subject to errors and omissions and all information should be carefully verified. All measurements quoted herein are approximate.

From: Miko Betanzo [mailto:mbetano@victoria.ca]
Sent: Friday, September 20, 2019 8:56 AM
To: Juan Pereira
Cc: Jon Stovell; Adrian Politano; John O'Reilly
Subject: DRA letter for the northern Junk proposal

Hi Juan,
Please find the letter from the DRA re. the above.

Kind Regards

Miko Betanzo
Senior Planner – Urban Design

2

————— **END OF DOCUMENT** —————