

**Revisions**  
**Received Date:**  
**November 16, 2020**



**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE REVISION DESCRIPTION

**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A000**  
COVER SHEET

DRAWING LIST	SCALE
A000 COVER SHEET & DRAWING LIST	NTS
A001 PROJECT DESCRIPTION & SITE LOCATION PLAN	NTS/1:1000
A002 EXISTING SITE PLAN	1:100
A003 PROPOSED SITE PLAN	1:100
A004 AVERAGE GRADE CALCULATIONS	1:100
A100 LEVEL 0 PARKING PLAN	1:100
A101 LEVEL 1 PLAN	1:100
A102 LEVEL 2 PLAN	1:100
A103 LEVEL 3 PLAN	1:100
A104 LEVEL 4 PLAN	1:100
A105 LEVEL 5 PLAN	1:100
A106 LEVEL 6 PLAN	1:100
A107 ROOF PLAN	1:100
A201 EAST & SOUTH ELEVATIONS	1:150
A202 NORTH & WEST ELEVATIONS	1:150
A203 HERITAGE ELEVATION & PLAN STUDY	1:100
A204 FACADE STUDIES	1:50
A251 STREETSCAPE ELEVATIONS	NTS
A301 SECTIONS LOOKING WEST	1:150
A302 SECTIONS LOOKING EAST	1:150
A303 SECTIONS LOOKING NORTH	1:150
A304 SECTIONS LOOKING NORTH/SOUTH	1:150
A305 SECTIONS LOOKING SOUTH	1:150
A308 STREETSCAPE CROSS SECTION	1:50
A800 FSR LEGEND	1:100
A801 FSR-LEVEL 1	1:100
A802 FSR-LEVEL 2	1:100
A803 FSR-LEVEL 3	1:100
A804 FSR-LEVEL 4	1:100
A805 FSR-LEVEL 5	1:100
A806 FSR-LEVEL 6	1:100
A811 VIEW NORTH-WEST FROM CORNER OF PANDORA & COOK	NTS
A812 VIEW WEST THROUGH RESIDENTIAL MEWS	NTS
A813 VIEW SOUTH-WEST FROM COOK STREET	NTS
A814 VIEW EAST TO COURTYARD	NTS
A815 BALCONY STUDY	NTS
A817 ADJACENT PROPERTY STUDY	NTS
A821 SOLAR IMPACT ANALYSIS	NTS
A822 ILLUMINANCE ANALYSIS	NTS



PROJECT NARRATIVE

The Parkway Revitalization and Development is located at Pandora Avenue & Cook Street, at the site of what is known to the community as the Wellburns Building. Originally named Parkway apartments, the two-storey masonry building was constructed in 1911 by William Ridgway Wilson. At the corner of the North Park neighbourhood, the building is a gateway feature to both the neighbourhood and the centre of Victoria.

The new development proposes a 4 & 6 storey volume stepping back from the existing heritage building to the north & west, and from Franklin Green Park to the south & east. 105 purpose-built rental apartments are proposed with a retail / commercial space being maintained on the existing ground floor of the Wellburns Building and the addition of a cafe space in the ground floor of the new addition facing Cook Street. A mezz separating the historic and modern buildings at street level serves as the residential entrance to the building and provides access to a west facing courtyard. Public access to and from Franklin Green Park is provided through a wide pedestrian walkway along the north edge of the site. One level of underground parking will be provided below the project site.

A priority of the project is to conserve the heritage value of the Wellburns building through retaining 50% of the existing volume, including the historic facades facing Pandora Ave & Cook St and the north-east wall facing the residential mezz. All character-defining

elements in these locations will be preserved along with any window repairs, as required. The original use of the building will remain with opportunities for multiple retail spaces on the ground floor & residential suites above. The building will be Designated Heritage with the Heritage Registry.

The new development will be clad in a light & mid grey coloured stucco rainscreen wall system with a light grain finish. It will borrow elements from its historic counterpart, including the proportion & angles of the projecting oriel windows and the recessed entryways of the existing storefronts. An existing Wellburns Market mural that is currently located on the north elevation of the existing building will be reimaged on the north elevation of the new 4 storey volume, at the entrance to the parkade.

To create a strong visual connection with the surrounding context, Juliet balconies will be provided in the living spaces of the suites directly facing Franklin Green Park & Harris Green Park. An accessible roof deck will also be provided for all residential tenants of the building, facing onto Franklin Green Park.

PROJECT NAME

Parkway

PROJECT ADDRESS

1050 Pandora Ave + 1518 Cook Street

LEGAL DESCRIPTION

Lots 1 and 2, Suburban Lot 15, Victoria, V1P7321

PROJECT TEAM

OWNER

Pandora Cook Development Corp.

District Developments Corp.

200-8809 Heather Street, Vancouver, BC, V6P 3T1

Primary Contact Andrew Remison

604-736-1866

AGENT

DISTRICT DEVELOPMENTS CORP.

200-8809 Heather Street, Vancouver, BC, V6P 3T1

Primary Contact Mike Fajl

604-322-5762

ARCHITECT

MGA | Michael Green Architecture

1535 West 3rd Avenue, Vancouver, BC, V6J 1J8

Architect Michael Green

Contact Jordan Van Dijk

604-339-4770

PROPOSED ZONING

New Site-Specific Zone

Changed from R2 (Two-Family Dwelling District) at 1518 Cook Street, and

C4A (Pandora Avenue Special Commercial District) at 1050 Pandora Avenue.

SITE AREA

2879 m<sup>2</sup>

AVERAGE GRADE

27.54m (below AOD) for average grade calculations

Note that the project ground floor is set at a geodetic elevation of 27.56m and

building levels are dimensioned from that elevation.

PROPOSED HEIGHT

20.22m taken from average grade. Note that 321mm parapet is excluded

from proposed height.

ALLOWABLE HEIGHT

30m/ 8-10 storeys per OCP

APPLICABLE BUILDING CODE

BCBC 2018

STREETS FACING

Pandora Avenue to the South

Cook Street to the East

OCCUPANCY CLASSIFICATIONS

3.2.2.50, Group C, Up to 6 Storeys,

Sprinklered-Residential Occupancies

3.2.2.50, Group E, Up to 6 Storeys,

Sprinklered-Mercantile Occupancies,

Located below the third storey,

3.2.2.82 Group F, Division 3, Up to 6 Storeys,

Sprinklered-Below Grade Parkade.

AREA CALCULATIONS

LEVEL 0 2,175.2 m<sup>2</sup>

LEVEL 1 1848.57 m<sup>2</sup>

LEVEL 2 2003.61 m<sup>2</sup>

LEVEL 3 1430.37 m<sup>2</sup>

LEVEL 4 1416.94 m<sup>2</sup>

LEVEL 5 939.13 m<sup>2</sup>

LEVEL 6 913.92 m<sup>2</sup>

PROPOSED FSR 8,544.5 m<sup>2</sup>

ALLOWABLE FSR 9,330 m<sup>2</sup>

PROPOSED FSR RATIO 2.97

ALLOWABLE FSR RATIO 3.3

UNIT TYPES Not %

STUDIO 4 4%

STUDIO & DEN 8 8%

1 BED 54 51%

1 B & DEN 24 23%

2 BED 11 10%

2 BED & DEN 4 4%

TOTAL 105

PROPOSED HEIGHT 20.221m

TOTAL RESIDENTIAL AREA 6035 m<sup>2</sup>

TOTAL RESIDENTIAL UNITS 105

TOTAL PARKING SPACES 44 PROVIDED

94 REQUIRED

TOTAL COMMERCIAL AREA 1050 m<sup>2</sup>

880.0 m<sup>2</sup> RETAIL

170.0 m<sup>2</sup> CAFE

55.6 m<sup>2</sup> OUTDOOR SEATING

225.6 m<sup>2</sup>

ORIGINAL HERITAGE BUILDING AREA 1891.5m<sup>2</sup>

TOTAL AREA TO BE RETAINED 947.6m<sup>2</sup> (50%)

TOTAL BIKE PARKING 180

160 SHORT-TERM

20 LONG-TERM

TOTAL UNITS 9 24 21 15 15 105

TOTAL BIKE PARKING 180

160 SHORT-TERM

20 LONG-TERM

TOTAL UNITS 9 24 21 15 15 105

TOTAL BIKE PARKING 180

160 SHORT-TERM

20 LONG-TERM

TOTAL UNITS 9 24 21 15 15 105

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TOTAL UNITS 9 24 21 15 15 105

TOTAL BIKE PARKING 180

160 SHORT-TERM

20 LONG-TERM



1 SITE LOCATION PLAN  
2000 1:1000



MGA



MICHAEL GREEN ARCHITECTURE  
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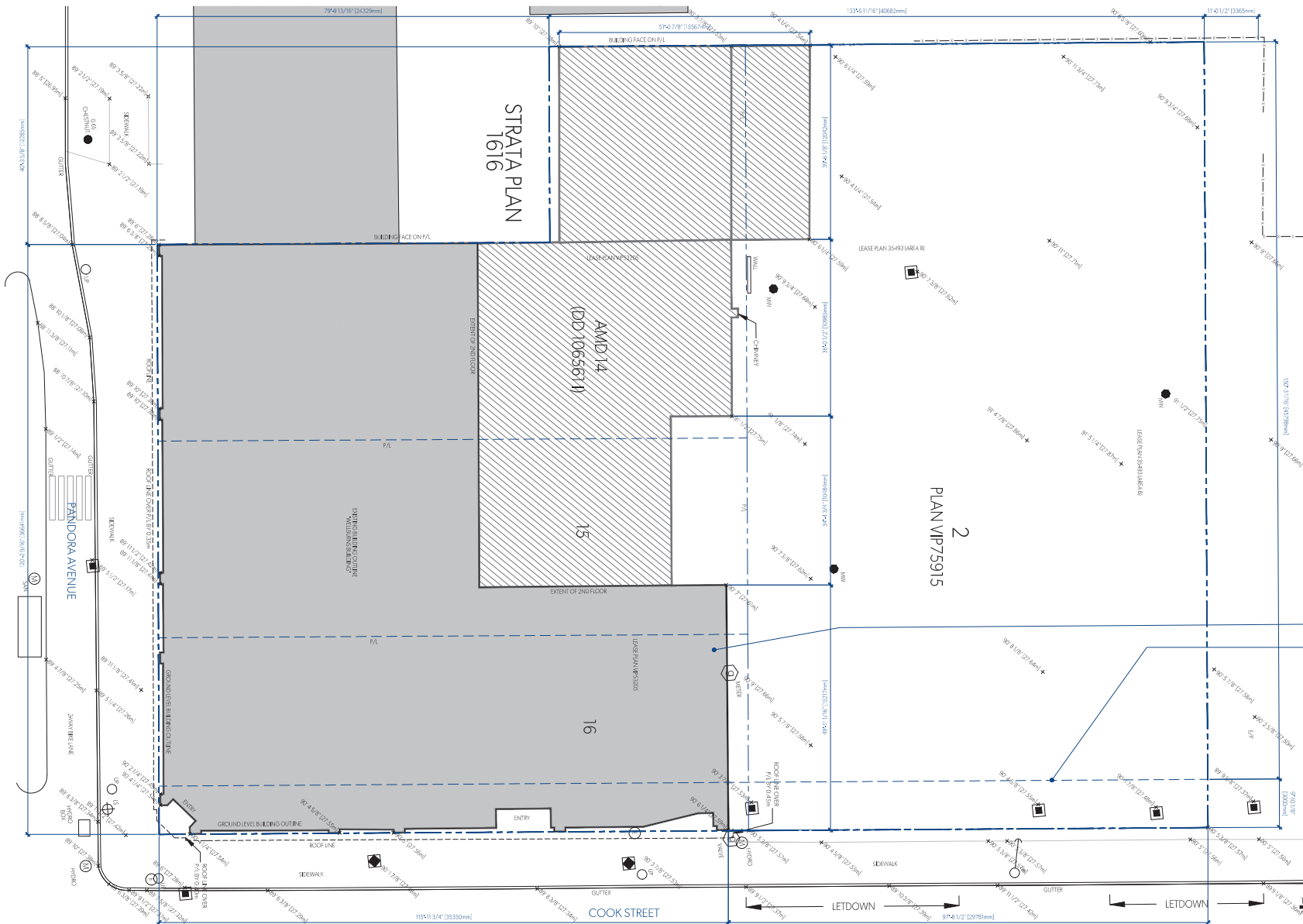
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PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

A001  
PROJECT DESCRIPTION





**MGA**



- LEGEND**
- 1' SETBACK
  - 5' SETBACK
  - 10' SETBACK
  - 15' SETBACK
  - 20' SETBACK
  - 25' SETBACK
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  - 990' SETBACK
  - 995' SETBACK
  - 1000' SETBACK

**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

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DATE REVISION DESCRIPTION

#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A002**  
EXISTING SITE PLAN

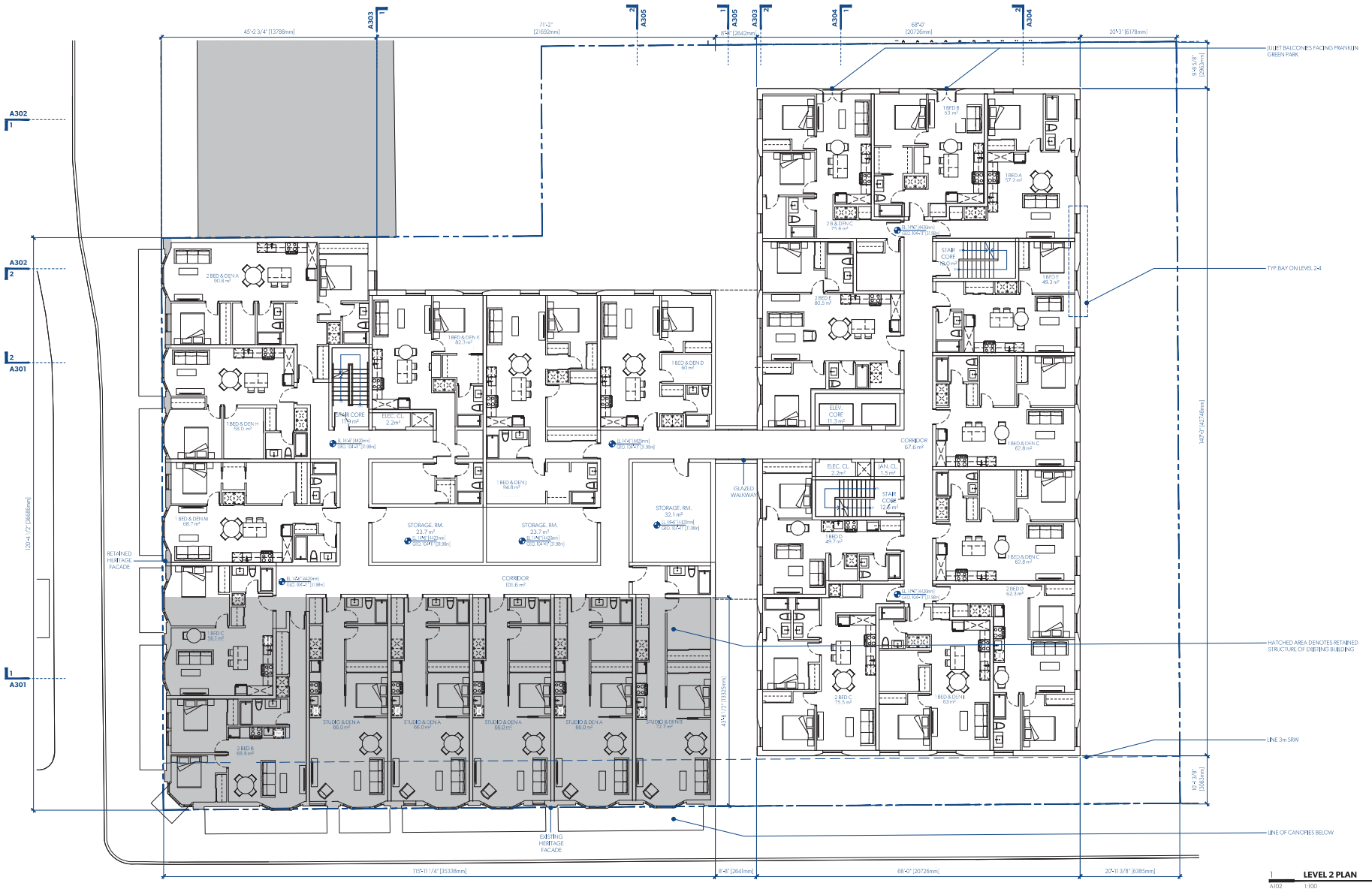












1 LEVEL 2 PLAN  
A102 1:100

**MGA**  
MICHAEL GREEN ARCHITECTURE



UNIT CALCULATIONS							
UNIT	1	2	3	4	5	6	TOTAL
STUDIO A	56.3						56.3
STUDIO B	53.2						53.2
STUDIO C	46.0						46.0
STUDIO D	72.7						72.7
STUDIO E	88.2						88.2
STUDIO F	56.3						56.3
STUDIO G	43.3						43.3
STUDIO H	87.2						87.2
STUDIO I	53.2						53.2
STUDIO J	46.0						46.0
STUDIO K	72.7						72.7
STUDIO L	88.2						88.2
STUDIO M	56.3						56.3
STUDIO N	43.3						43.3
STUDIO O	87.2						87.2
STUDIO P	53.2						53.2
STUDIO Q	46.0						46.0
STUDIO R	72.7						72.7
STUDIO S	88.2						88.2
STUDIO T	56.3						56.3
STUDIO U	43.3						43.3
STUDIO V	87.2						87.2
STUDIO W	53.2						53.2
STUDIO X	46.0						46.0
STUDIO Y	72.7						72.7
STUDIO Z	88.2						88.2
STUDIO AA	56.3						56.3
STUDIO AB	43.3						43.3
STUDIO AC	87.2						87.2
STUDIO AD	53.2						53.2
STUDIO AE	46.0						46.0
STUDIO AF	72.7						72.7
STUDIO AG	88.2						88.2
STUDIO AH	56.3						56.3
STUDIO AI	43.3						43.3
STUDIO AJ	87.2						87.2
STUDIO AK	53.2						53.2
STUDIO AL	46.0						46.0
STUDIO AM	72.7						72.7
STUDIO AN	88.2						88.2
STUDIO AO	56.3						56.3
STUDIO AP	43.3						43.3
STUDIO AQ	87.2						87.2
STUDIO AR	53.2						53.2
STUDIO AS	46.0						46.0
STUDIO AT	72.7						72.7
STUDIO AU	88.2						88.2
STUDIO AV	56.3						56.3
STUDIO AW	43.3						43.3
STUDIO AX	87.2						87.2
STUDIO AY	53.2						53.2
STUDIO AZ	46.0						46.0
STUDIO BA	72.7						72.7
STUDIO BB	88.2						88.2
STUDIO BC	56.3						56.3
STUDIO BD	43.3						43.3
STUDIO BE	87.2						87.2
STUDIO BF	53.2						53.2
STUDIO BG	46.0						46.0
STUDIO BH	72.7						72.7
STUDIO BI	88.2						88.2
STUDIO BJ	56.3						56.3
STUDIO BK	43.3						43.3
STUDIO BL	87.2						87.2
STUDIO BM	53.2						53.2
STUDIO BN	46.0						46.0
STUDIO BO	72.7						72.7
STUDIO BP	88.2						88.2
STUDIO BQ	56.3						56.3
STUDIO BR	43.3						43.3
STUDIO BS	87.2						87.2
STUDIO BT	53.2						53.2
STUDIO BU	46.0						46.0
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STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	53.2						53.2
STUDIO BV	46.0						46.0
STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	53.2						53.2
STUDIO BV	46.0						46.0
STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	53.2						53.2
STUDIO BV	46.0						46.0
STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	53.2						53.2
STUDIO BV	46.0						46.0
STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	53.2						53.2
STUDIO BV	46.0						46.0
STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	53.2						53.2
STUDIO BV	46.0						46.0
STUDIO BV	72.7						72.7
STUDIO BV	88.2						88.2
STUDIO BV	56.3						56.3
STUDIO BV	43.3						43.3
STUDIO BV	87.2						87.2
STUDIO BV	5						



# A103

LEVEL 3 PLAN

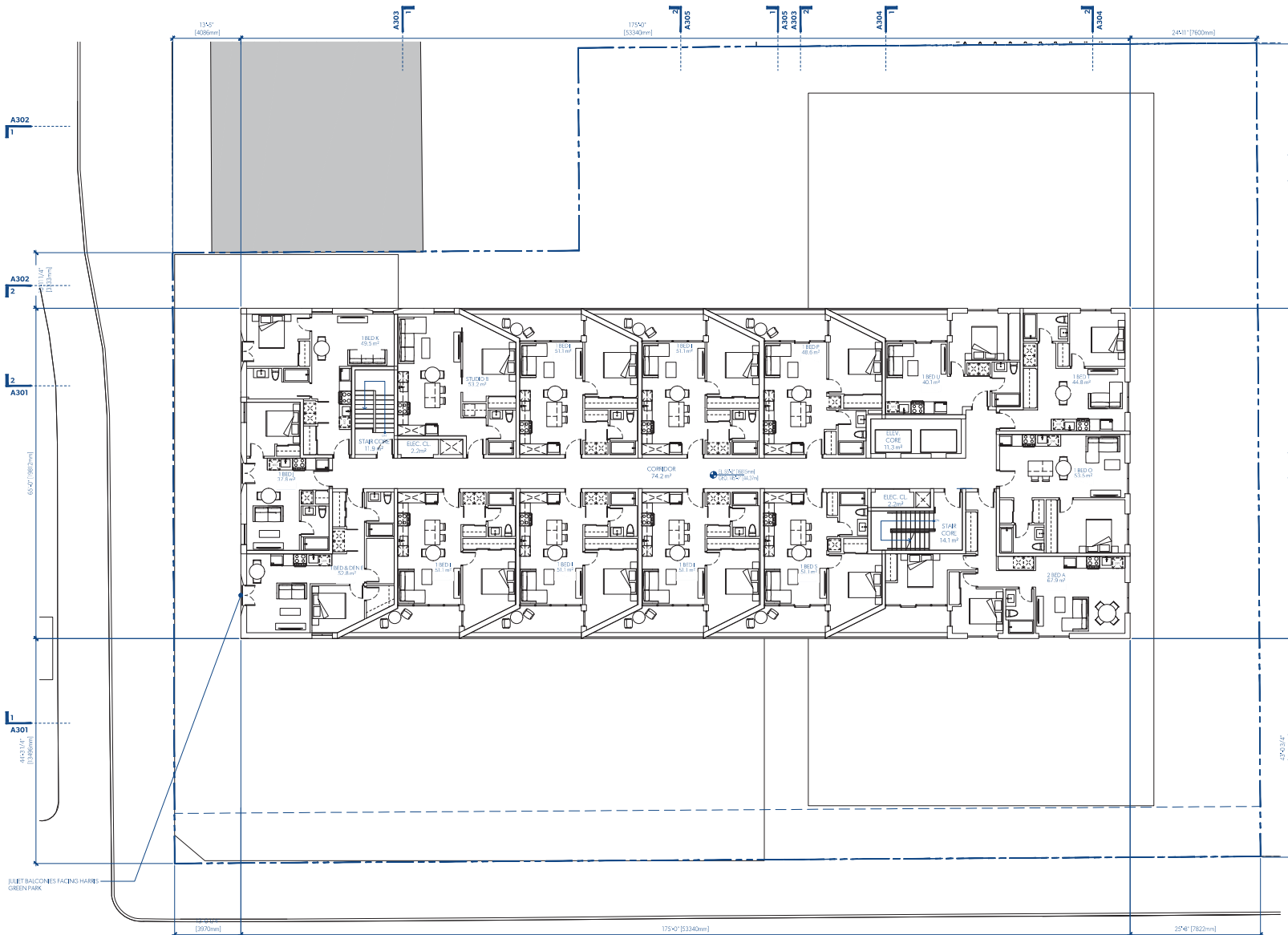






# A105

LEVEL 5 PLAN



1 LEVEL 6 PLAN  
A106 1:100



**UNIT CALCULATIONS**

UNIT	1	2	3	4	5	6	TOTAL
STUDY A	56.3						56.3
STUDY B	53.2						53.2
STUDY C	46.5						46.5
STUDY D	72.7						72.7
STUDY E	80.2						80.2
STUDY F	56.3						56.3
STUDY G	45.3						45.3
1BED A	37.2						37.2
1BED B	33.2						33.2
1BED C	34.7						34.7
1BED D	40.7						40.7
1BED E	49.1						49.1
1BED F	50.9						50.9
1BED G	47.4						47.4
1BED H	36.2						36.2
1BED I	51.1						51.1
1BED J	37.8						37.8
1BED K	45.5						45.5
1BED L	53.4						53.4
1BED M	45.2						45.2
1BED N	48.4						48.4
1BED O	53.2						53.2
1BED P	48.6						48.6
1BED Q	45.7						45.7
1BED R	52.7						52.7
1BED S	51.1						51.1
1BED T	44.8						44.8
1BED U	40.1						40.1
1BED V	41.3						41.3
1BED W	55.4						55.4
1BED X	62.8						62.8
1BED Y	60.2						60.2
1BED Z	52.8						52.8
1BED AA	56.0						56.0
1BED AB	60.7						60.7
1BED AC	61.0						61.0
1BED AD	61.0						61.0
1BED AE	64.8						64.8
1BED AF	62.1						62.1
1BED AG	74.1						74.1
1BED AH	68.7						68.7
2BED A	67.9						67.9
2BED B	68.8						68.8
2BED C	73.5						73.5
2BED D	62.3						62.3
2BED E	80.5						80.5
2BED F	66.4						66.4
2BED G	75.4						75.4
2BED H	65.8						65.8
2BED I	84.3						84.3
2BED J	75.6						75.6

**TOTAL UNITS**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1B8

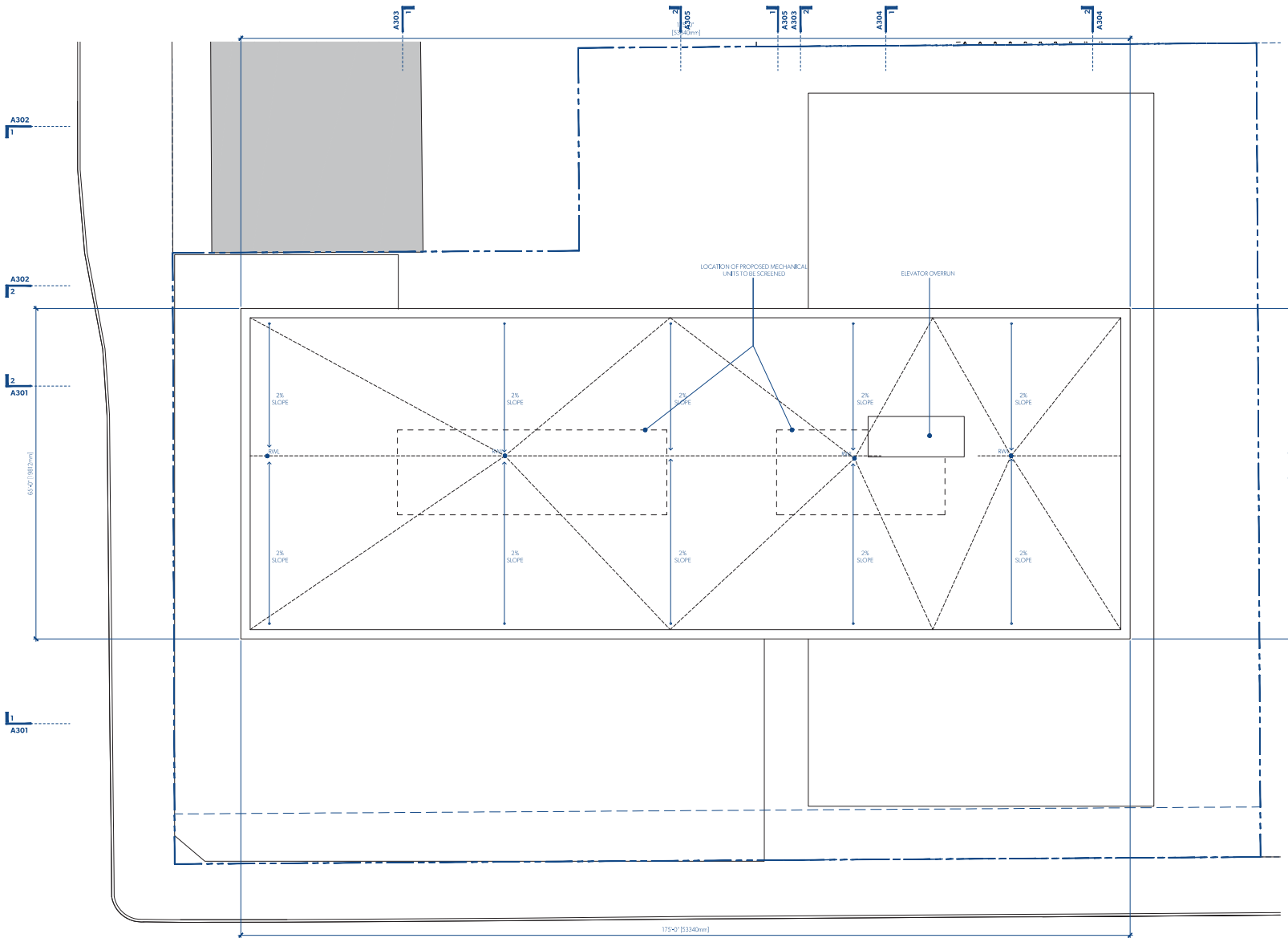
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2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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**PARKWAY**  
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

# A106

LEVEL 6 PLAN



1 ROOF PLAN  
A107 1/100

**MGA**



**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8



2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
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2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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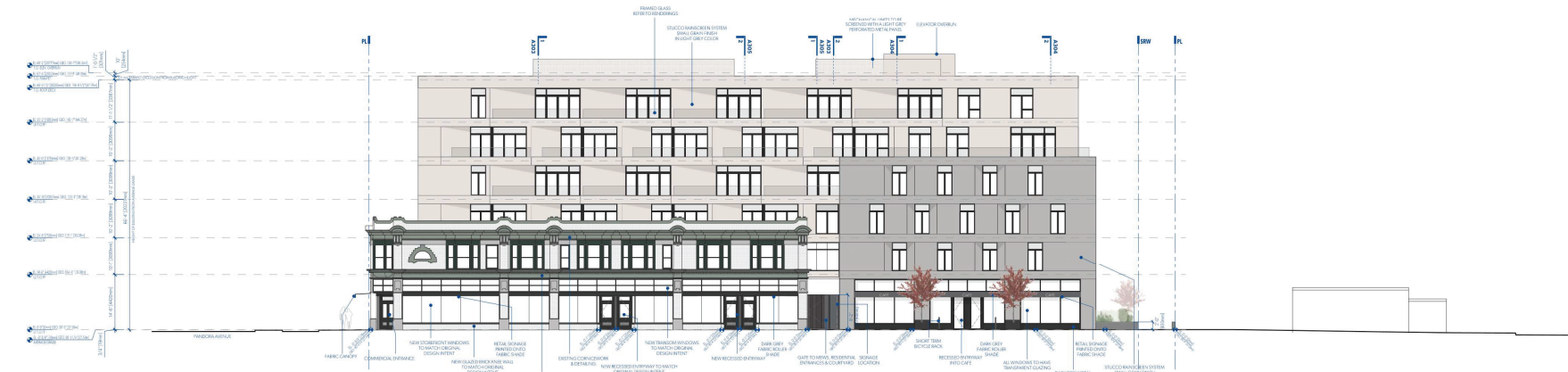
**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A107**  
ROOF PLAN



1 SOUTH ELEVATION  
A201 1:150

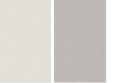


2 EAST ELEVATION  
A201 1:150

**MGA**



**MATERIALITY**



LIGHT GREY & MID GREY COLOURED STUCCO MANSCHEN WALL SYSTEM IN A LIGHT CREAM FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



JULIET BALCONIES WITH CLEAR GLASS ON LIVING SPACE WINDOWS FACING PANDORA AVENUE.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
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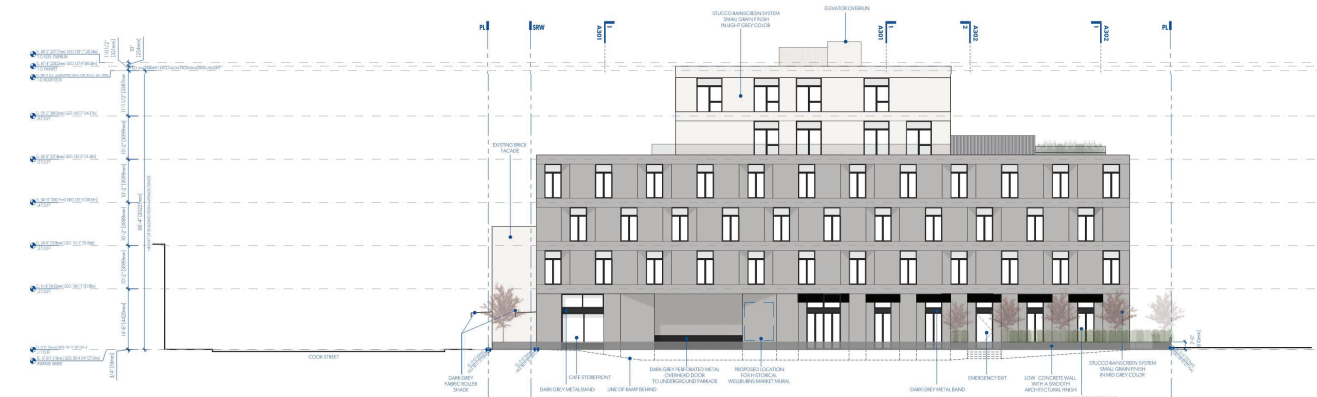
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**PARKWAY**

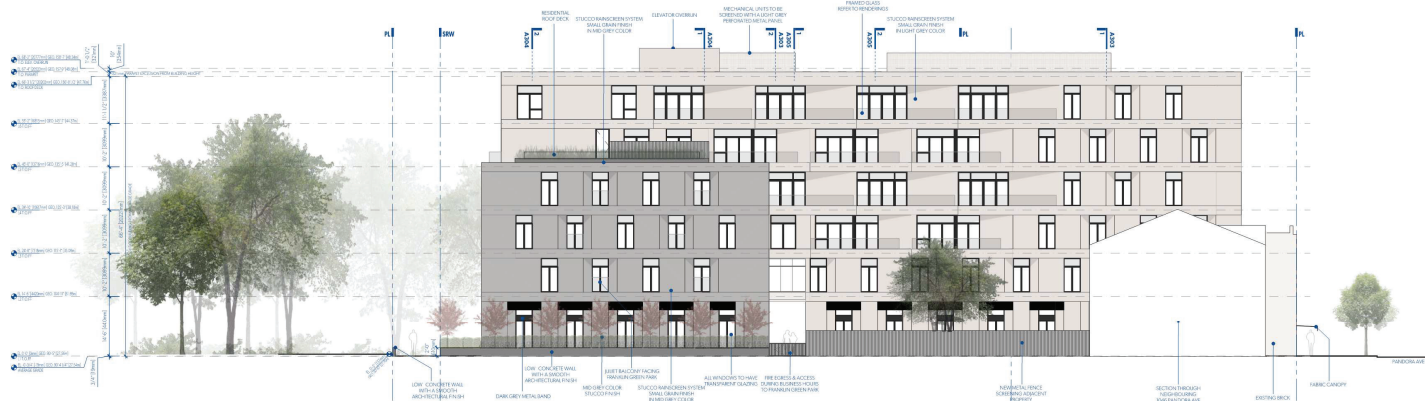
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A201**  
ELEVATIONS





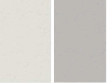
1 NORTH ELEVATION THROUGH PUBLIC WALKWAY  
A202 1:150



2 WEST ELEVATION  
A202 1:150



#### MATERIALITY



LIGHT GREY & MID GREY COLOURED STUCCO MANGROVE WALL SYSTEM IN A LIGHT OCEAN FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



JULET BALCONIES WITH CLEAR GLASS ON LIVING SPACE WINDOWS FACING TRANSPARENT GREEN PARK & HERB GREEN PARK.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

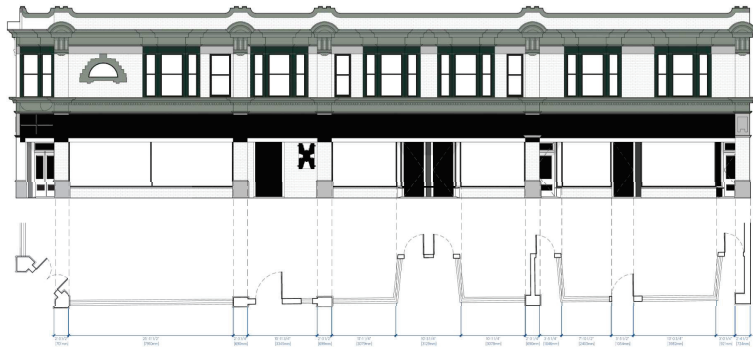
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2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

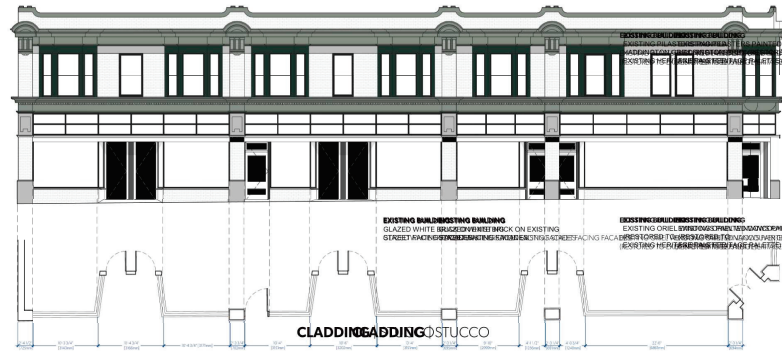
**A202**  
ELEVATIONS



1 **COOK ST ORIGINAL ELEVATION STUDY**  
A203 1:100



2 **COOK ST PROPOSED ELEVATION STUDY**  
A203 1:100



3 **PANDORA AVE ORIGINAL ELEVATION STUDY**  
A203 1:100

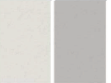


4 **PANDORA AVE PROPOSED ELEVATION STUDY**  
A203 1:100

**MGA**



**MATERIALITY**



LIGHT GREY & MID GREY COLOURED STUCCO MANDATORY WALL SYSTEM VIA LIGHT GRAY FINISH



TRANSPARENT GLAZING WITH DARK GREY FRAMES



EXISTING WHITE GLAZED BRICK



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE



EXISTING BUILDING GLAZED WHITE BRICK ON EXISTING GLAZED WHITE BRICK FACADES



EXISTING BUILDING GLAZED WHITE BRICK ON EXISTING GLAZED WHITE BRICK FACADES

EXISTING BUILDING GLAZED WHITE BRICK ON EXISTING GLAZED WHITE BRICK FACADES

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EXISTING BUILDING GLAZED WHITE BRICK ON EXISTING GLAZED WHITE BRICK FACADES

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1Y1

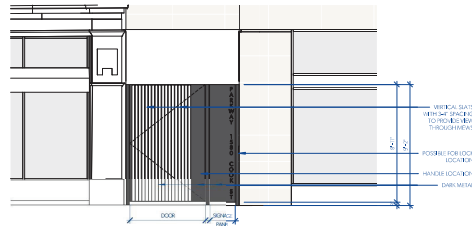
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2019-10-30	△	REVISED FOR REZONING
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2019-05-15	△	ISSUED FOR REZONING

DATE REVISION DESCRIPTION

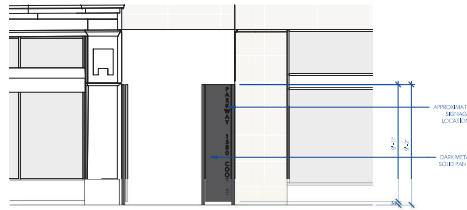
**PARKWAY**

1050 PANDORA AVE + 15 B COOK STREET  
VICTORIA, BC  
2018-001

**A203**  
HERITAGE ELEVATION STUDY



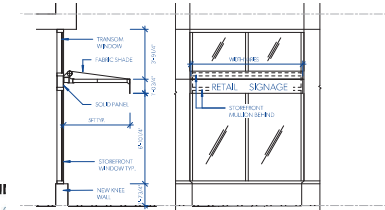
1 ENTRY GATE (CLOSED) - ELEVATION  
A204 1:50



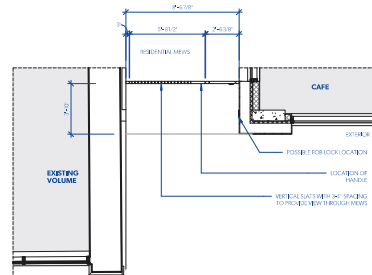
2 ENTRY GATE (OPEN) - ELEVATION  
A204 1:50



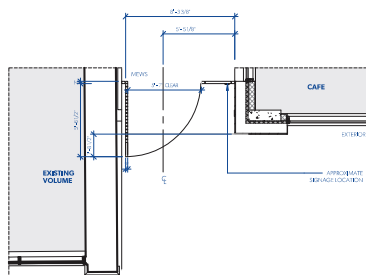
CLADDING DETAIL  
A501 1:50



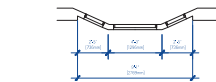
5 CANOPY & SIGNAGE STUDY  
A204 1:50



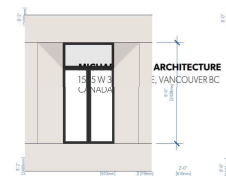
3 ENTRY GATE (CLOSED) - PLAN  
A101 1/4" = 1'-0"



4 ENTRY GATE (OPEN) - PLAN  
A101 1/4" = 1'-0"



6 WINDOW PROPORTION STUDY  
A204 1:50



PARKWAY  
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

A204  
FACADE STUDIES



MICHAEL GREEN ARCHITECTURE  
1533 W 3RD AVENUE, VANCOUVER BC  
VANALVA 10510  
CLIENT

DATE	REVISION	DESCRIPTION
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2020-07-15	REVIS	REVISED FOR REZONING
2020-03-20	REVIS	REVISED FOR REZONING
2019-10-30	REVIS	REVISED FOR REZONING
2019-09-13	REVIS	REVISED FOR REZONING
2019-05-15	REVIS	REVISED FOR REZONING

PARKWAY  
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

A204  
FACADE STUDIES

SHEET DATE  
TIME STAMP

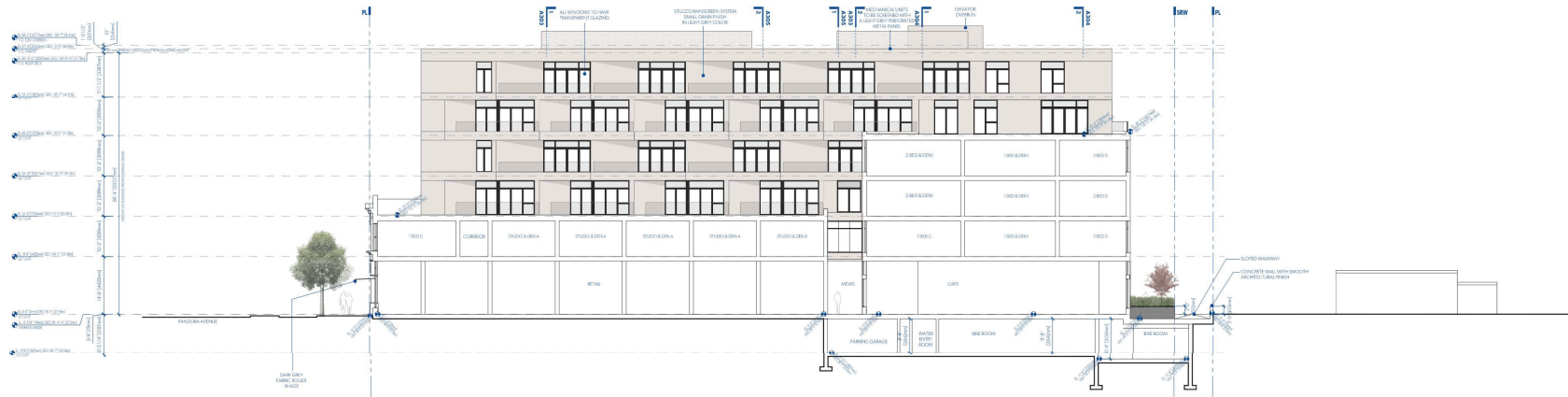


1 **PANDORA AVENUE STREETSCAPE**  
A251 NIS

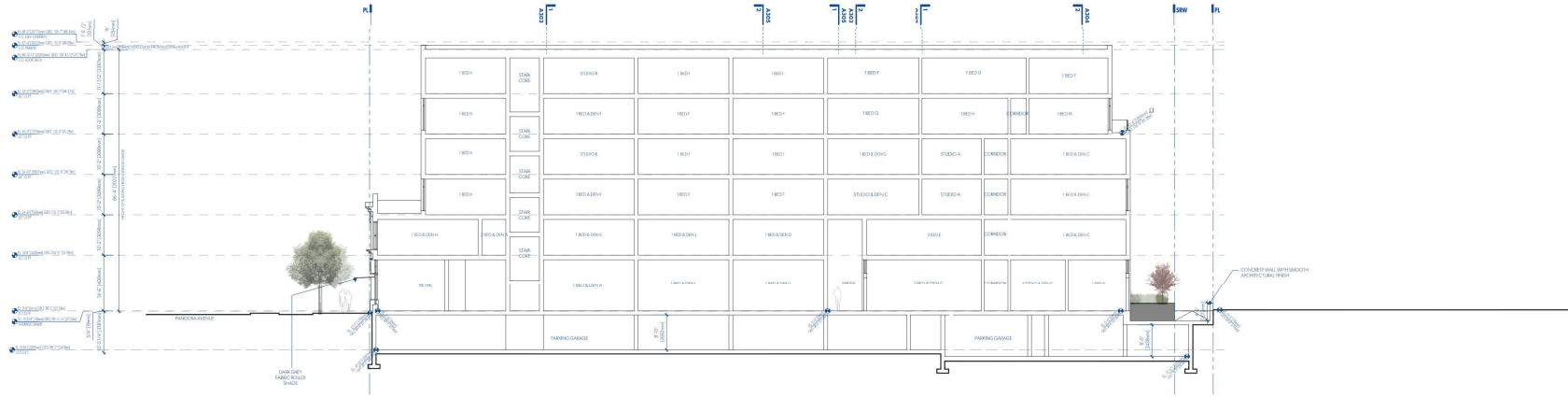


2 **COOK STREET STREETSCAPE**  
A251 NIS





1 SECTION LOOKING WEST THROUGH EXISTING BUILDING & NEW 4 STOREY VOLUME  
A301 1:150



2 SECTION LOOKING WEST THROUGH NEW 6 STOREY VOLUME  
A301 1:150



**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
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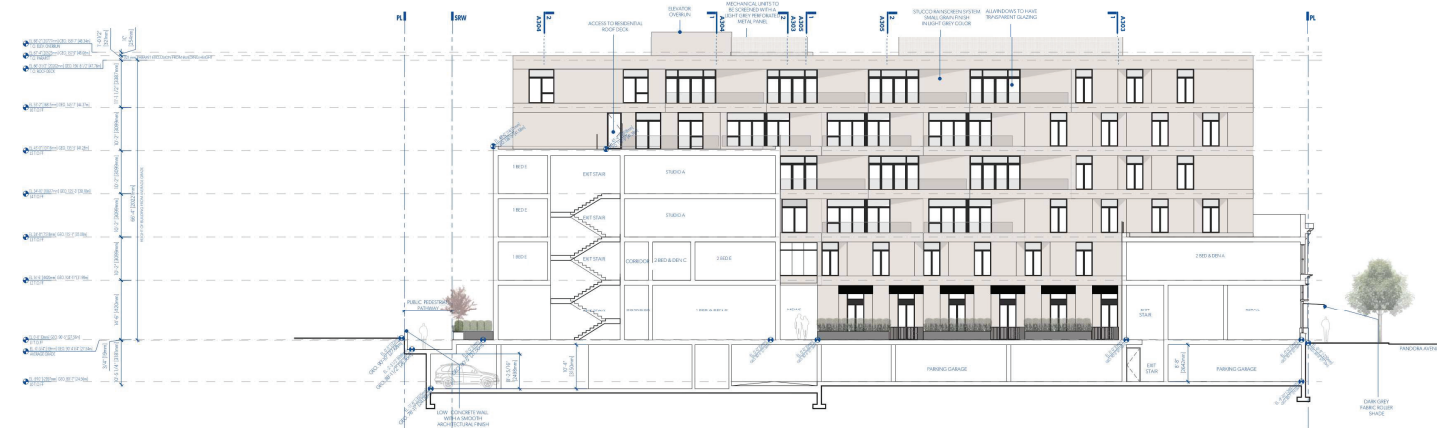
DATE	REVISION	DESCRIPTION
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**PARKWAY**  
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A301**  
SECTIONS



1 SECTION LOOKING EAST THROUGH NEW 4 STOREY VOLUME  
A302 1:150



2 SECTION LOOKING EAST THROUGH NEW 4 STOREY VOLUME & EXISTING BUILDING  
A302 1:150



#### MATERIALITY



LIGHT GREY & MID GREY COLOURED STUCCO FINISH WITH A LIGHT OILY FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



BALCONY WITH CLEAR GLASS RAILING ON LIVING SPACE WINDOWS FACING PARKING LOT & HERITAGE GREEN PARK.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

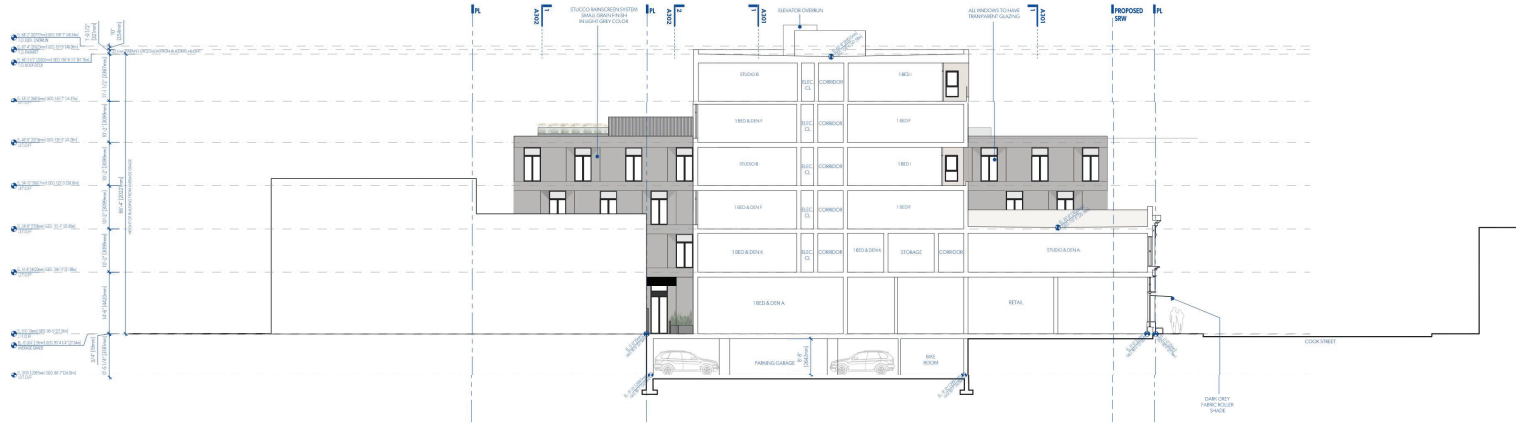
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2019-10-30	△	REVISED FOR REZONING
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2019-05-15	△	ISSUED FOR REZONING

DATE REVISION DESCRIPTION

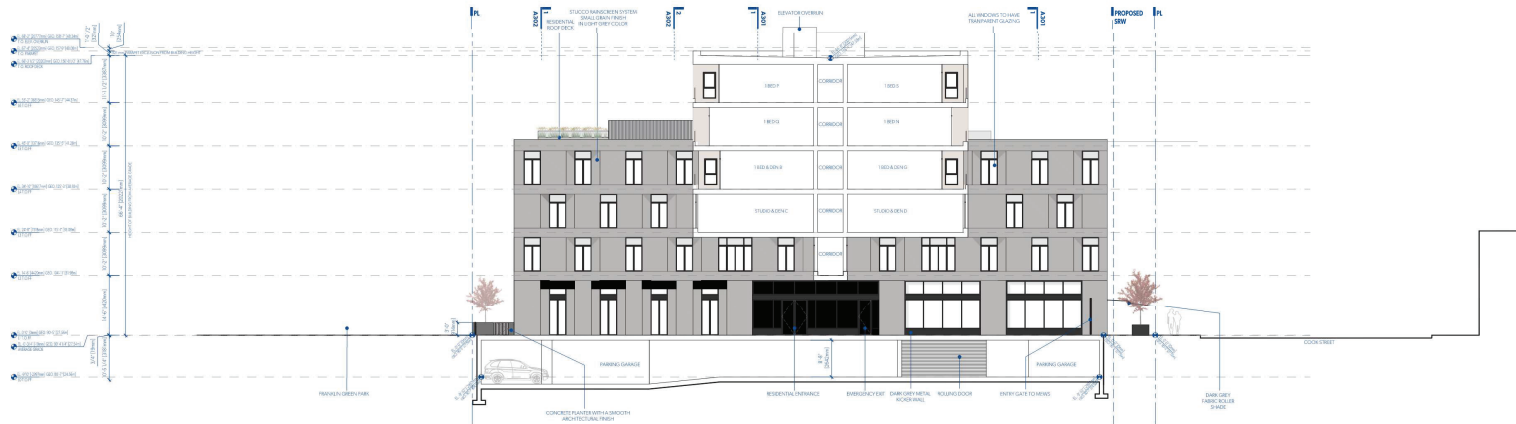
#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A302**  
SECTIONS



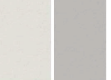
1 SECTION LOOKING NORTH THROUGH EXISTING BUILDING & NEW 6 STOREY VOLUME  
A303 1:150



2 SECTION LOOKING NORTH THROUGH NEW 6 STOREY VOLUME  
A303 1:150



#### MATERIALITY



LIGHT GREY & MID GREY COLOURED STUCCO FINISH SYSTEM IN A LIGHT OCEAN FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



JULIET BALCONIES WITH CLEAR GLASS ON LIVING SPACE WINDOWS FACING FRANKLIN GREEN PARK & HARRIS GREEN PARK.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
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2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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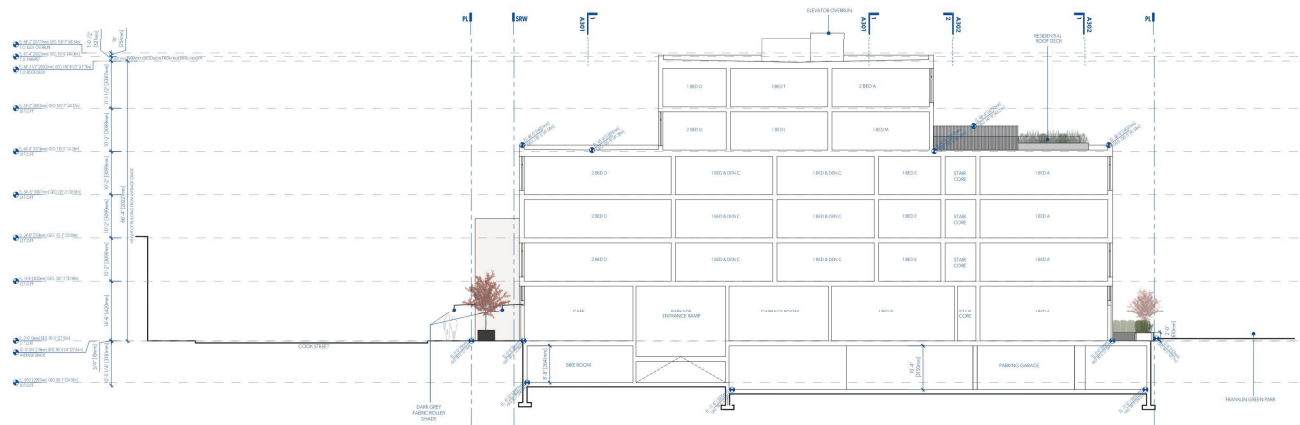
#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A303**  
SECTIONS



1 SECTION LOOKING NORTH THROUGH NEW 4 & 6 STOREY VOLUME  
A304 1:150

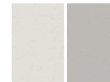


2 SECTION LOOKING SOUTH THROUGH NEW 4 & 6 STOREY VOLUME  
A304 1:150

**MGA**



#### MATERIALITY



LIGHT GREY & MID GREY COLOURED STUCCO FINISH ON EXTERIOR WALL SYSTEM IN A LIGHT CLEAN FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



JULIET BALCONIES WITH CLEAR GLASS ON LIVING SPACE WINDOWS FACING FRANKLIN GREEN PARK & HARRIS GREEN PARK.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

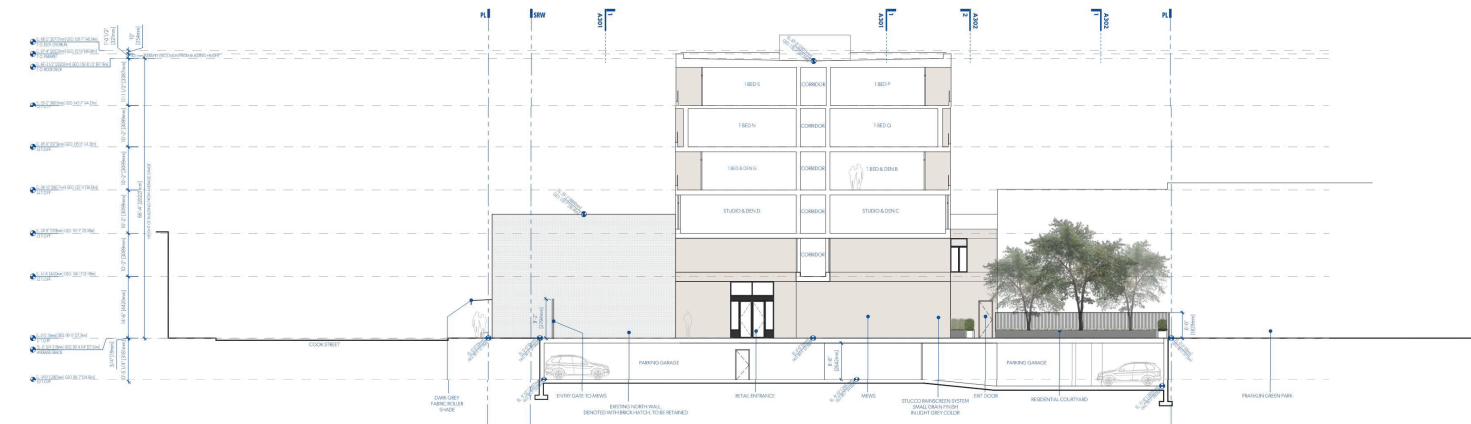
2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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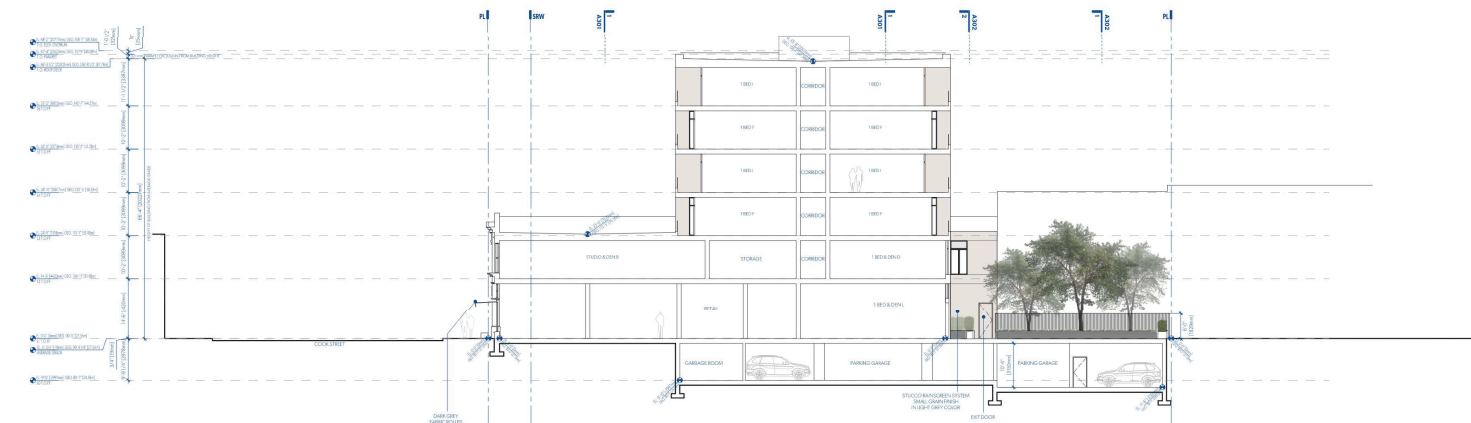
#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A304**  
SECTIONS



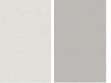
1 SECTION LOOKING SOUTH THROUGH NEW 6 STOREY VOLUME  
A305 1:150



2 SECTION LOOKING SOUTH THROUGH EXISTING BUILDING NEW 6 STOREY VOLUME  
A305 1:150



#### MATERIALITY



LIGHT GREY & MID GREY COLOURED STUCCO FINISH GREEN WALL SYSTEM IN A LIGHT GRAY FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



JULIET BALCONIES WITH CLEAR GLASS ON LIVING SPACE WINDOWS FACING PARKVIEW GREEN PARK & HARRIS GREEN PARK.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

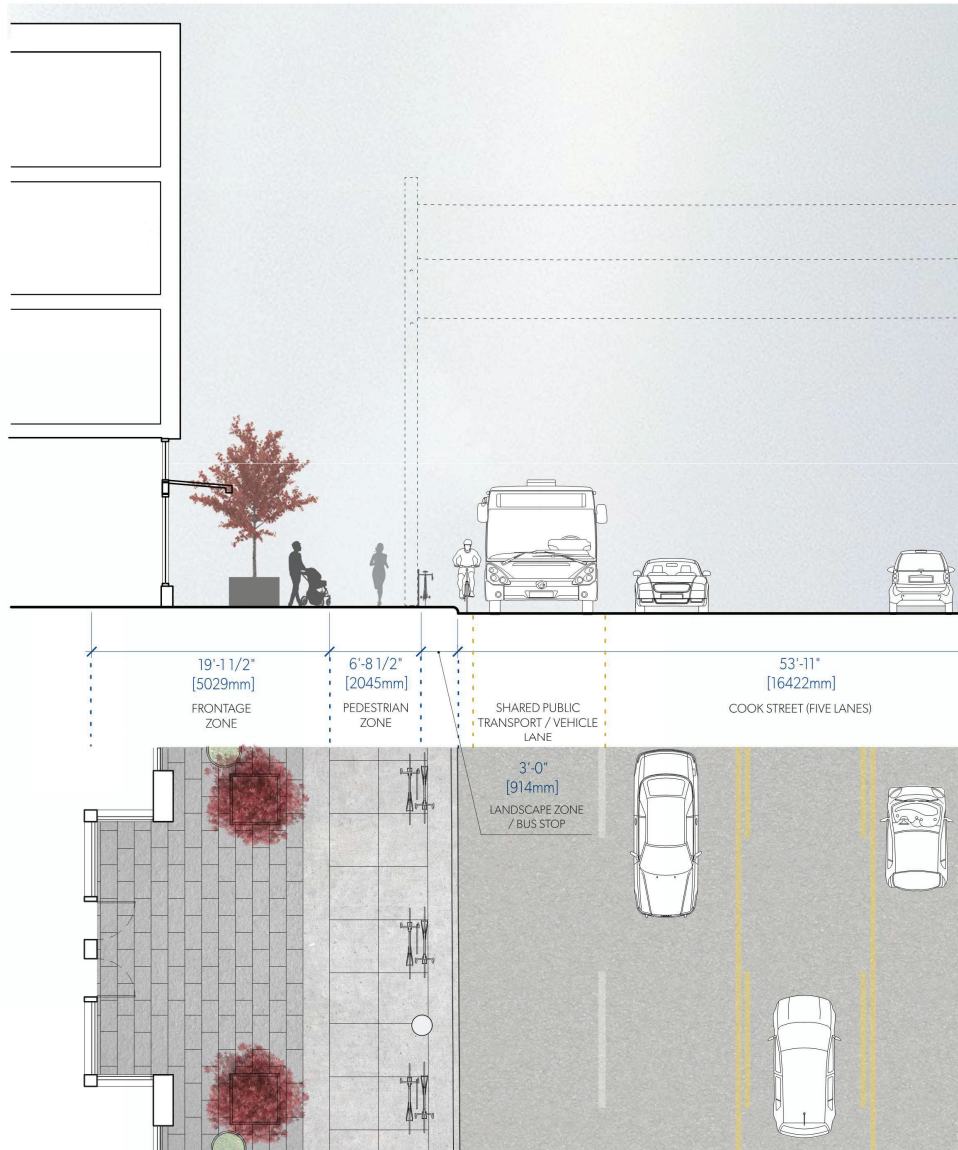
DATE	REVISION	DESCRIPTION
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#### PARKWAY

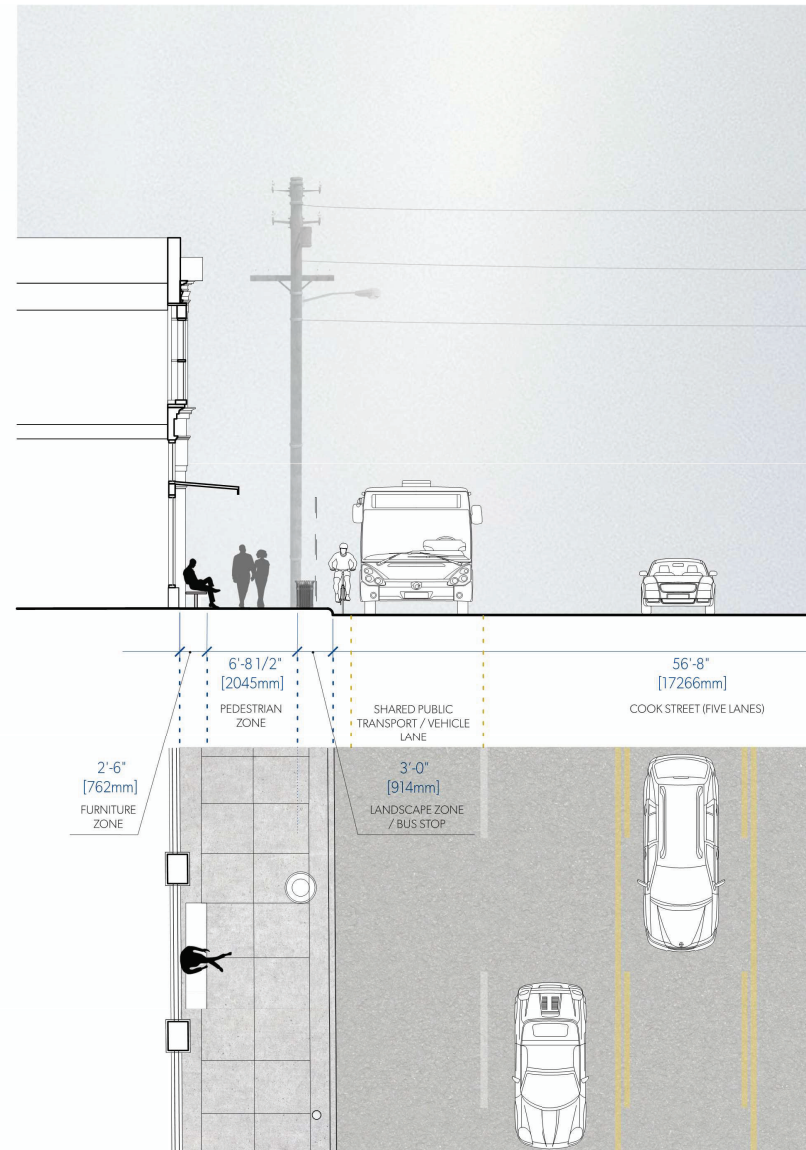
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A305**  
SECTIONS





1 STREETScape SECTION & PLAN THRU CAFE  
A308 1:50



2 STREETScape SECTION & PLAN THRU COMMERCIAL  
A308 1:50



#### MATERIALITY



LIGHT GREY & MID GREY COLOURED STUCCO FINISHES WALL SYSTEM IN A LIGHT OCEAN FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES.



EXISTING WHITE GLAZED BRICK.



EXISTING ORNAMENTAL DETAILING RESTORED TO HERITAGE COLOUR PALETTE.



JULIET BALCONIES WITH CLEAR GLASS ON LIVING SPACE WINDOWS FACING TRANTER GREEN PARK & HARBOR GREEN PARK.

**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

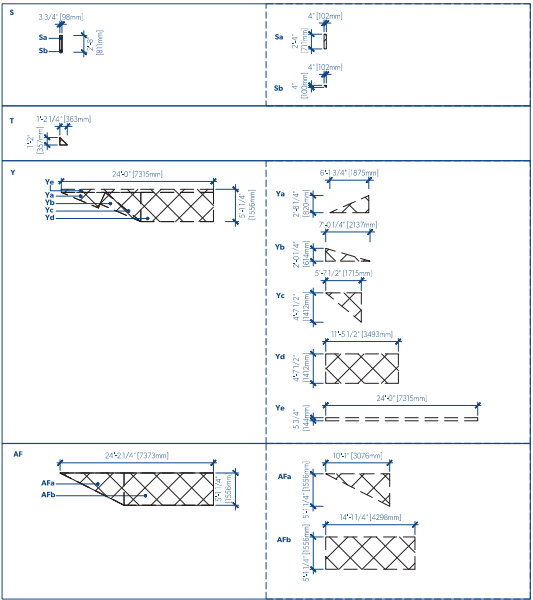
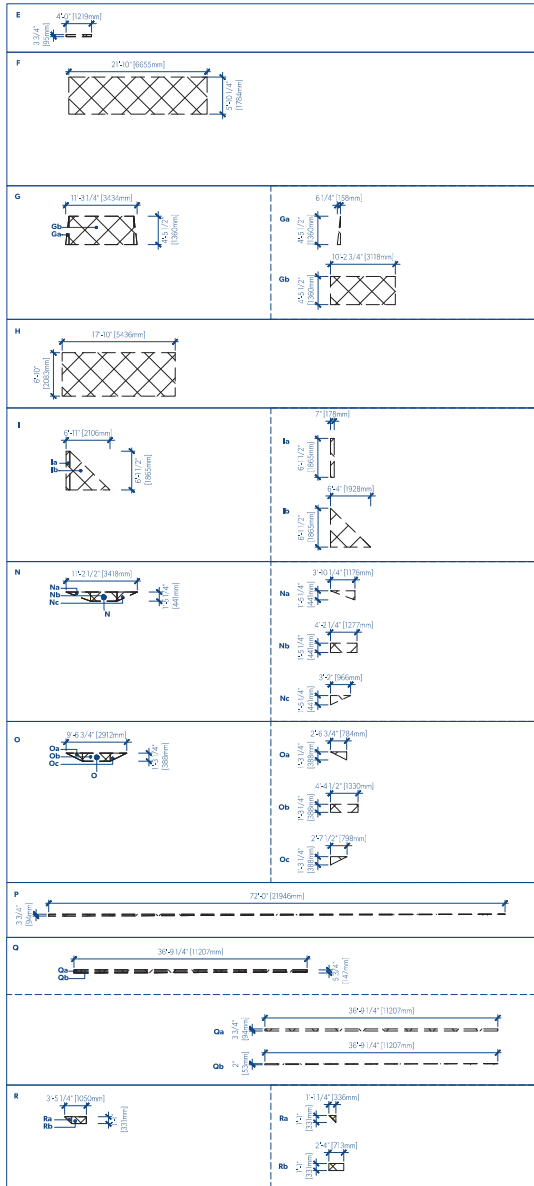
DATE	REVISION	DESCRIPTION
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#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

## A308

STREETScape CROSS SECTIONS



1 CALCULATIONS LEGEND  
A800 1:100



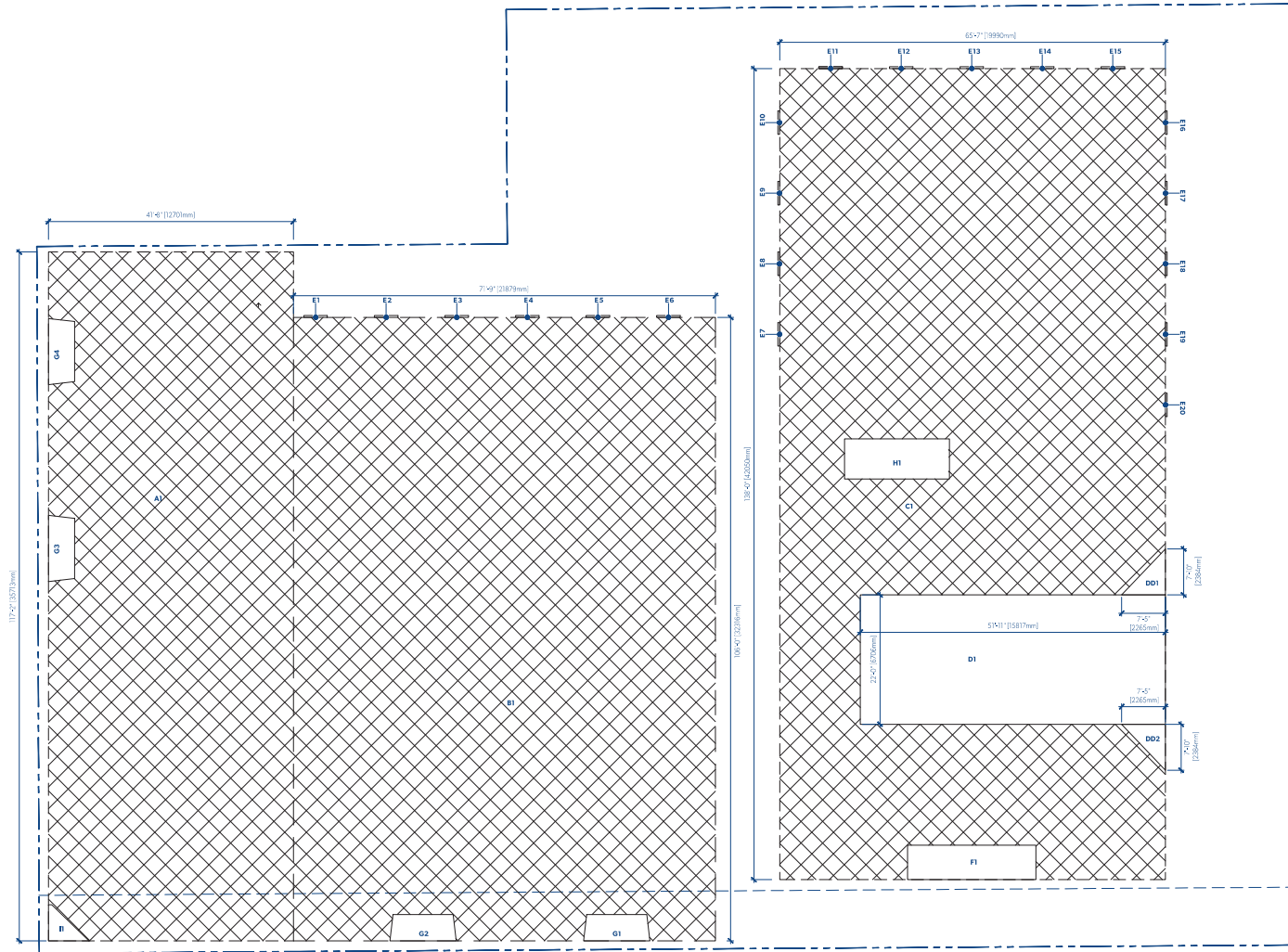
**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-1-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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**PARKWAY**  
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A800**  
CALCULATIONS LEGEND



LEVEL 1					
	1518-1519	1520-1521	1522-1523	1524-1525	TOTAL
GRASS AREA					
1518	10.00	10.00	10.00	10.00	40.00
1519	10.00	10.00	10.00	10.00	40.00
1520	10.00	10.00	10.00	10.00	40.00
1521	10.00	10.00	10.00	10.00	40.00
1522	10.00	10.00	10.00	10.00	40.00
1523	10.00	10.00	10.00	10.00	40.00
1524	10.00	10.00	10.00	10.00	40.00
1525	10.00	10.00	10.00	10.00	40.00
TOTAL GRASS AREA	100.00	100.00	100.00	100.00	400.00
PERCENT GRASS	10.00	10.00	10.00	10.00	10.00
1518	10.00	10.00	10.00	10.00	40.00
1519	10.00	10.00	10.00	10.00	40.00
1520	10.00	10.00	10.00	10.00	40.00
1521	10.00	10.00	10.00	10.00	40.00
1522	10.00	10.00	10.00	10.00	40.00
1523	10.00	10.00	10.00	10.00	40.00
1524	10.00	10.00	10.00	10.00	40.00
1525	10.00	10.00	10.00	10.00	40.00
TOTAL GRASS AREA	100.00	100.00	100.00	100.00	400.00
PERCENT GRASS	10.00	10.00	10.00	10.00	10.00
1518	10.00	10.00	10.00	10.00	40.00
1519	10.00	10.00	10.00	10.00	40.00
1520	10.00	10.00	10.00	10.00	40.00
1521	10.00	10.00	10.00	10.00	40.00
1522	10.00	10.00	10.00	10.00	40.00
1523	10.00	10.00	10.00	10.00	40.00
1524	10.00	10.00	10.00	10.00	40.00
1525	10.00	10.00	10.00	10.00	40.00
TOTAL GRASS AREA	100.00	100.00	100.00	100.00	400.00
PERCENT GRASS	10.00	10.00	10.00	10.00	10.00

**MGA**



**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1B8

- 2020-1-13 REVISED FOR REZONING
- 2020-07-15 REVISED FOR REZONING
- 2020-03-20 REVISED FOR REZONING
- 2019-10-30 REVISED FOR REZONING
- 2019-09-13 REVISED FOR REZONING
- 2019-05-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

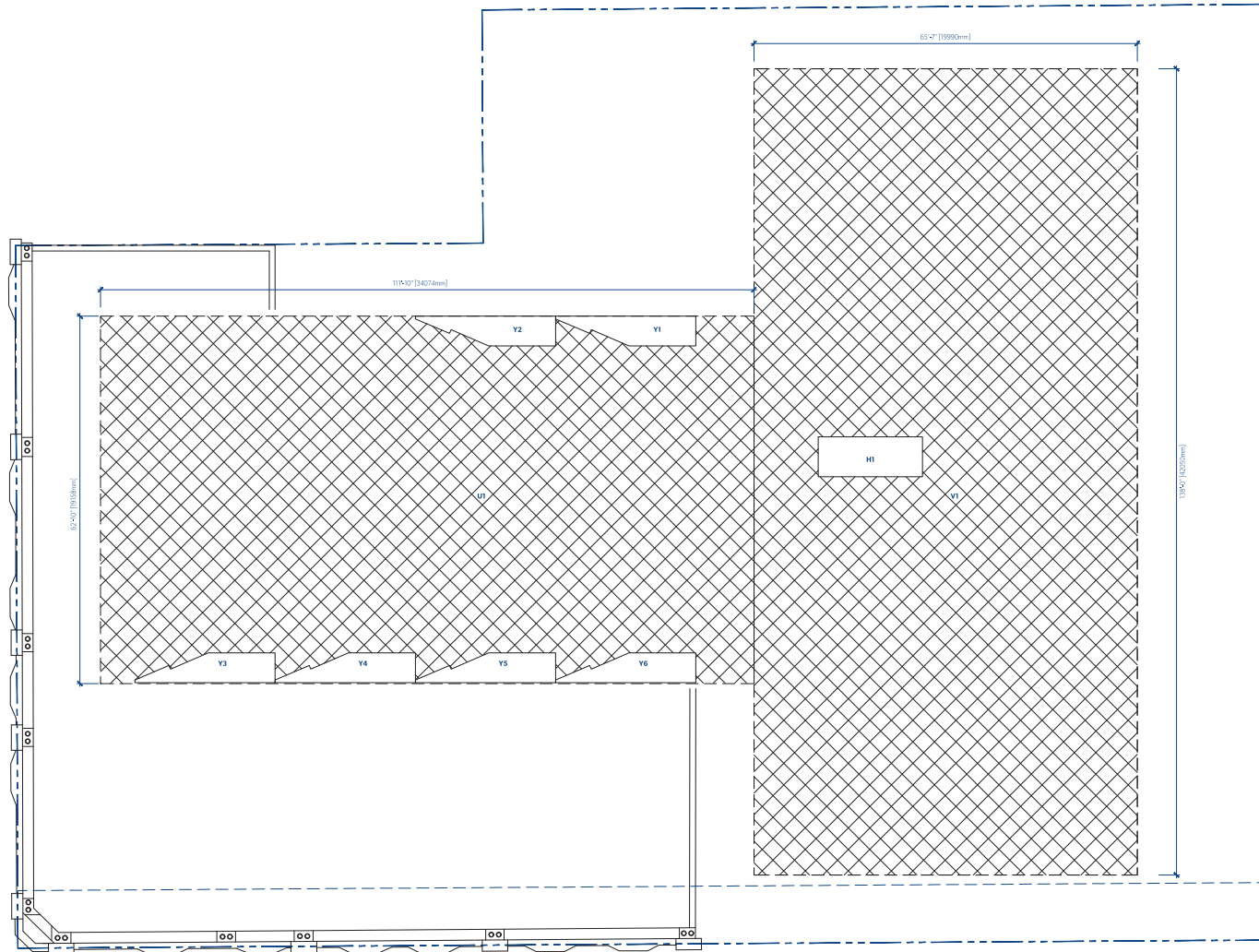
**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A801**  
FSR LEVEL 1

1 FSR LEVEL 1  
A801 1:100





LEVEL 3					
	LENGTH	WIDTH	AREA	QTY	TOTAL
CEILING AREA					
Y1	80.00	14.00	1,120.00	1	1,120.00
Y2	40.00	7.00	280.00	1	280.00
<b>TOTAL GROSS AREA</b>			<b>1,400.00</b>		
REDUCTIONS					
Y1	0.00	0.00	0.00	1	0.00
Y2	0.00	0.00	0.00	1	0.00
<b>TOTAL REDUCTIONS</b>			<b>0.00</b>		
<b>TOTAL GROSS AREA</b>			<b>1,400.00</b>		
<b>TOTAL NET AREA</b>			<b>1,400.00</b>		
FLOOR AREA					
Y1	0.00	0.00	0.00	1	0.00
Y2	0.00	0.00	0.00	1	0.00
Y3	0.00	0.00	0.00	1	0.00
Y4	0.00	0.00	0.00	1	0.00
Y5	0.00	0.00	0.00	1	0.00
Y6	0.00	0.00	0.00	1	0.00
<b>TOTAL NET AREA</b>			<b>0.00</b>		

1 FSR LEVEL 3  
A803 1/100

**MGA**  
ARCHITECTURE



**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1B8

- 2020-1-13 REISED FOR REZONING
- 2020-07-15 REISED FOR REZONING
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- 2019-05-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

**PARKWAY**  
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A803**  
FSR LEVEL 3



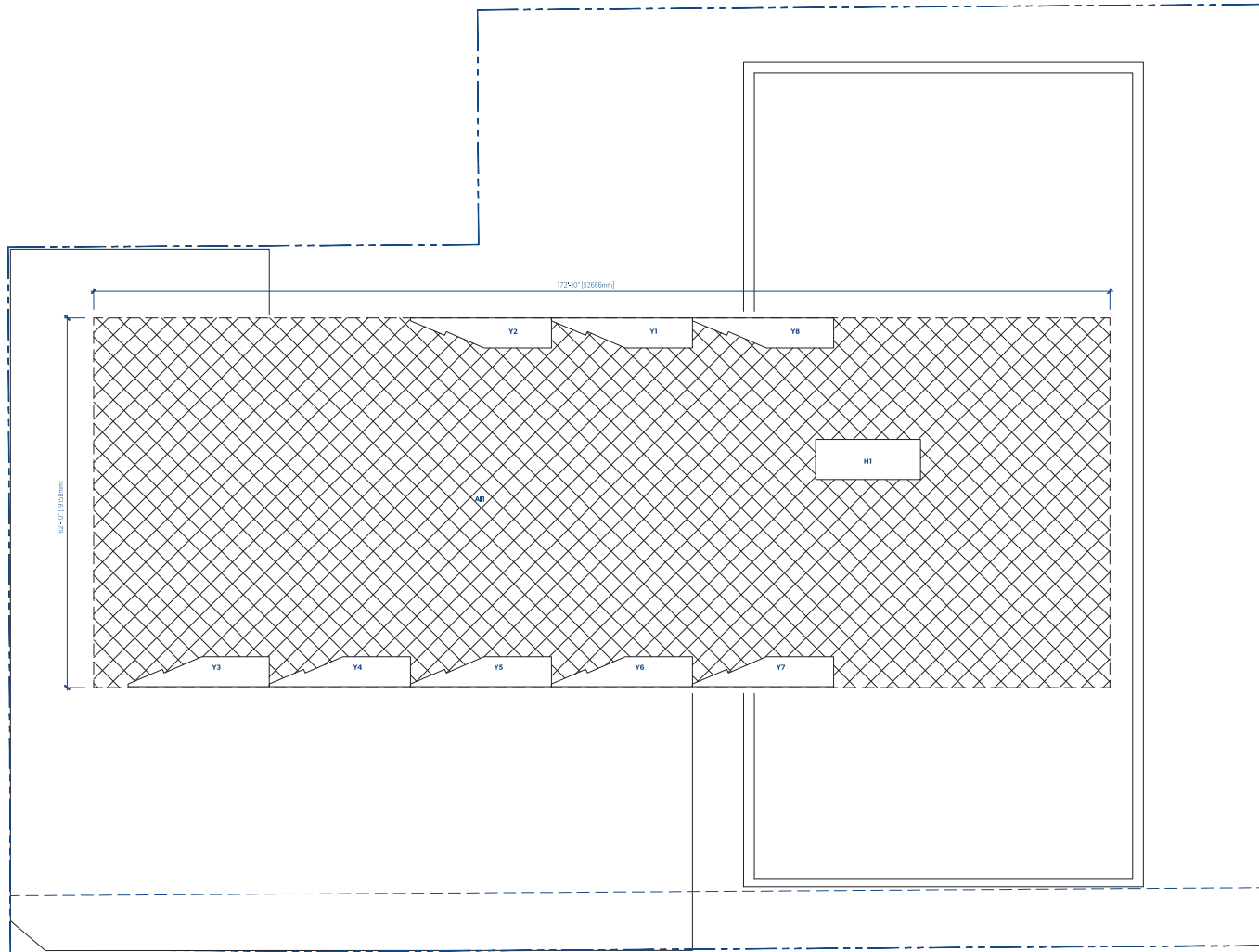


**MGA**



**A804**  
FSR LEVEL 4





LEVEL 5					
	LENGTH	WIDTH	AREA	QTY	TOTAL
DECK AREA	10.16	12.65	128.36	1	128.36
Y1	5.48	2.08	11.32	1	11.32
Y2	5.48	2.08	11.32	1	11.32
Y3	5.48	2.08	11.32	1	11.32
Y4	5.48	2.08	11.32	1	11.32
Y5	5.48	2.08	11.32	1	11.32
Y6	5.48	2.08	11.32	1	11.32
Y7	5.48	2.08	11.32	1	11.32
Y8	5.48	2.08	11.32	1	11.32
H1	5.48	2.08	11.32	1	11.32
TOTAL DECK AREA			128.36		128.36
TOTAL Y AREA			92.32		92.32
TOTAL H AREA			11.32		11.32
TOTAL NET AREA			232.00		232.00

**MGA**



**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8



- 2020-1-13 REISED FOR REZONING
- 2020-07-15 REISED FOR REZONING
- 2020-09-20 REISED FOR REZONING
- 2019-10-30 REISED FOR REZONING
- 2018-09-13 REISED FOR REZONING
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DATE REVISION DESCRIPTION

## PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A805**  
FSR LEVEL 5

1" = 80'0" FSR LEVEL 5  
A805 1/100



**MGA**



- | DATE | REVISION | DESCRIPTION |
|------|----------|-------------|
|------|----------|-------------|

**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A806**  
FSR LEVEL 6



1 VIEW NORTHWEST FROM CORNER OF PANDORA & COOK  
A811

**MGA**  
ARCHITECTS



**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A811**  
3D RENDERS



**MGA**  
MICHAEL GREEN ARCHITECTURE



**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE	REVISION	DESCRIPTION
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#### PARKWAY

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

1  
A812 **VIEW WEST THROUGH RESIDENTIAL MEWS**

**A812**  
3D RENDERS





1 VIEW SOUTHWEST FROM COOK STREET  
A813

**MGA**  
MICHAEL GREEN ARCHITECTURE



**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
2018-05-15	△	ISSUED FOR REZONING

DATE REVISION DESCRIPTION

**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A813**  
3D RENDERS



VIEW EAST TO COURTYARD

**MGA**



**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
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DATE REVISION DESCRIPTION

**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A814**  
3D RENDERS





1 BALCONY STUDY  
A810

**MGA**  
MICHAEL GREEN ARCHITECTURE



**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8

2020-11-13	△	REVISED FOR REZONING
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**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A815**  
3D RENDERS



1  
A817  
ADJACENT PROPERTY STUDY | VIEW WEST ACROSS COOK STREET



3  
A817  
ADJACENT PROPERTY STUDY | VIEW EAST ACROSS FRANKLIN GREEN PARK



2  
A817  
ADJACENT PROPERTY STUDY | VIEW SOUTHWEST DOWN COOK STREET



4  
A817  
ADJACENT PROPERTY STUDY | VIEW WEST ALONG NORTH WALKWAY

**MICHAEL GREEN ARCHITECTURE**  
1533 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1B8

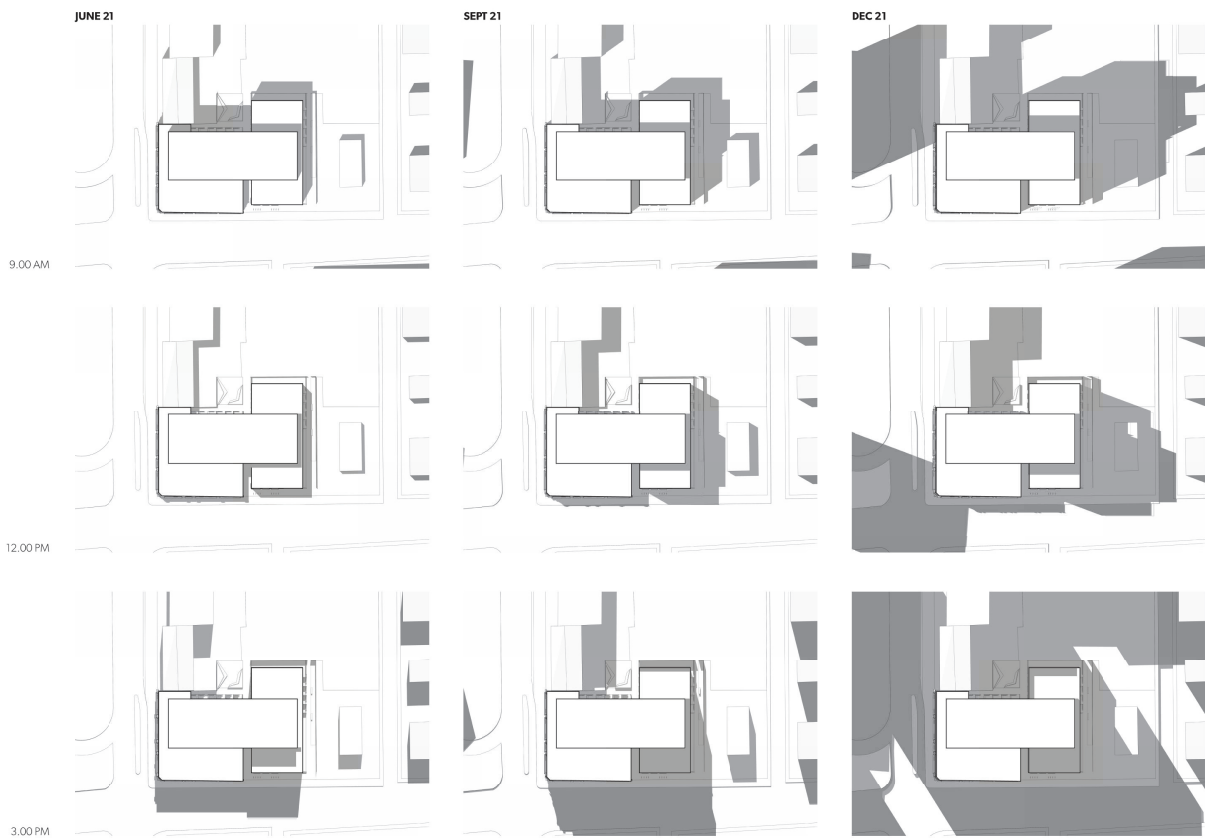
2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
2020-03-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
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**PARKWAY**

1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A817**  
ADJACENT PROPERTY  
STUDY



1  
A821 SOLAR IMPACT ANALYSIS

**MGA**  
MICHAEL GREEN ARCHITECTURE



**MICHAEL GREEN ARCHITECTURE**  
1535 W. 3RD AVENUE, VANCOUVER BC  
CANADA V5Y 1J8



2020-11-13	△	REVISED FOR REZONING
2020-07-15	△	REVISED FOR REZONING
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2019-10-30	△	REVISED FOR REZONING
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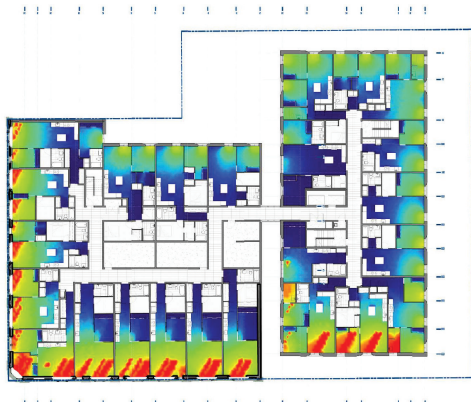
DATE REVISION DESCRIPTION

#### PARKWAY

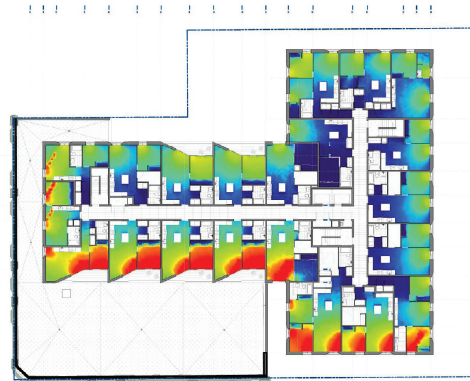
1050 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A821**  
SOLAR IMPACT ANALYSIS

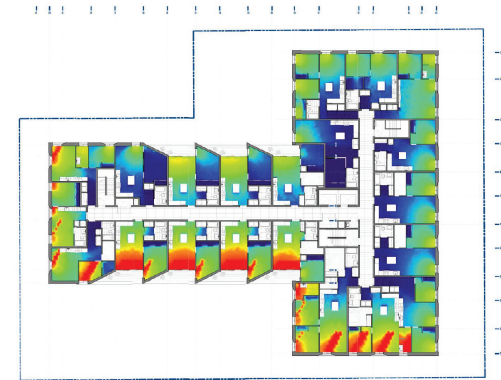




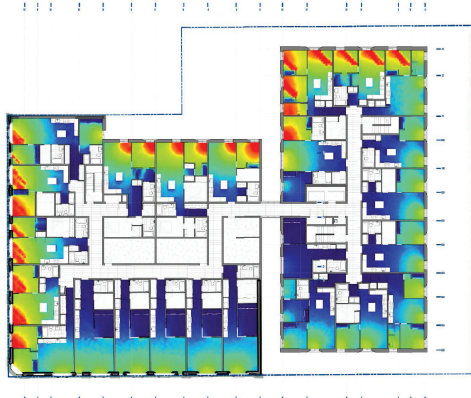
1 LEVEL 2, 9:00 AM, 14.50 (LUX)  
A822



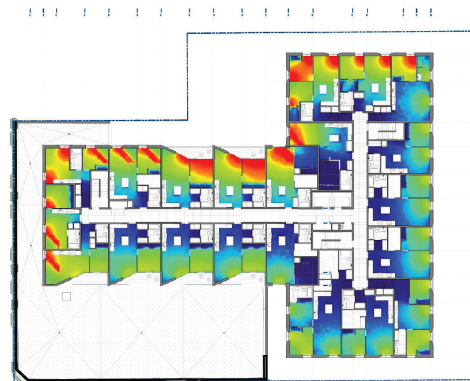
3 LEVEL 3, 9:00 AM, 24.67 (LUX)  
A822



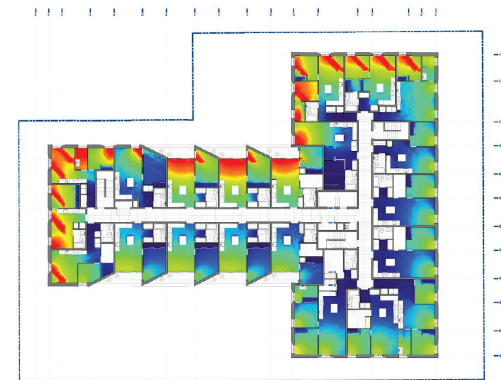
5 LEVEL 4, 9:00 AM, 34.83 (LUX)  
A822



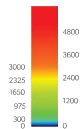
2 LEVEL 2, 3:00 PM, 14.50 (LUX)  
A822



4 LEVEL 3, 3:00 PM, 24.67 (LUX)  
A822



6 LEVEL 4, 3:00 PM, 34.83 (LUX)  
A822



**MGA**



**MICHAEL GREEN ARCHITECTURE**  
1535 W 3RD AVENUE, VANCOUVER BC  
CANADA V6J 1J8



2020-1-13	△	REVISED FOR REZONING
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2020-09-20	△	REVISED FOR REZONING
2019-10-30	△	REVISED FOR REZONING
2019-09-13	△	REVISED FOR REZONING
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DATE REVISION DESCRIPTION

#### PARKWAY

1020 PANDORA AVE + 1518 COOK STREET  
VICTORIA, BC  
2018-001

**A822**  
Illuminance Analysis

SEN -



15	20.OCT.29	REV. COOK STREET FRONTAGE	B
14	20.SEP.03	REV. PER CITY COMMENTS - OFFSITE PARKING	B
13	20.JUL.14	REZONING RESUBMISSION	B
12	20.JUN.29	REV. PER CLIENT COMMENTS	B
11	20.FEB.03	ISSUED FOR TENDER	B
10	20.DEC.05	ISSUED FOR BP	B
9	19.NOV.28	100% BP SET	B
8	19.NOV.04	90% CD SET	B
7	19.OCT.23	NEW GROUND FLOOR PLAN	D
6	19.OCT.22	REVISION	D
5	19.OCT.21	NEW SITE PLAN&CLIENT REQUEST	D
3	19.OCT.03	60% CD SET	B
2	19.SEP.27	REZONING	B
1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	B
-	30.JUL.29	30% BP SUBMISSION	B

NO.	DATE	REVISION	DESCRIPTION	DATE
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CLIENT:

PROJECT:

## PARKWAY

### MIXED USE DEVELOPMENT

1050 PANDORA AVENUE  
VICTORIA, BC

DRAWING TITLE:

LANDSCAPE  
PLAN

DATE: 19 JUL 10 DRAWING NUMBER:

SCALE: 1:100

DRAWN: BA

DESIGN: BA

CHKD:

OF 9

18240-15.715

PMG PROJECT NUMBER

18240

SEAL:



15	20 OCT 20	REV. COOK STREET FRONTAGE	BA
14	20 SEP 03	REV. PER CITY COMMENTS - OFFSITE PAVING	BA
13	20 JUL 14	REVISION RECOMMENDATION	BA
12	20 JUN 19	REV. PER CLIENT COMMENTS	BA
11	20 FEB 03	ISSUED FOR TENDER	BA
10	19 DEC 05	ISSUED FOR BP	BA
9	19 NOV 18	100% BP SET	BA
8	19 NOV 04	50% CD SET	BA
7	19 OCT 13	NEW GROUND FLOOR PLAN	OD
6	19 OCT 13	REVISION	OD
5	19 OCT 13	NEW SITE PLANS/CLIENT REQUEST	OD
4	19 OCT 03	50% CD SET	BA
3	19 SEP 07	REVISION	BA
2	19 JUL 19	REV. PER CITY/CLIENT COMMENTS	BA
1	19 JUL 19	50% BP SUBMISSION	BA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**PARKWAY  
MIXED USE DEVELOPMENT**

**1050 PANDORA AVENUE  
VICTORIA, BC**

DRAWING TITLE:

**SHRUB  
PLAN**

DATE: 19 JUL 10 DRAWING NUMBER:

SCALE: 1:100

DRAWN: BA

DESIGN: BA

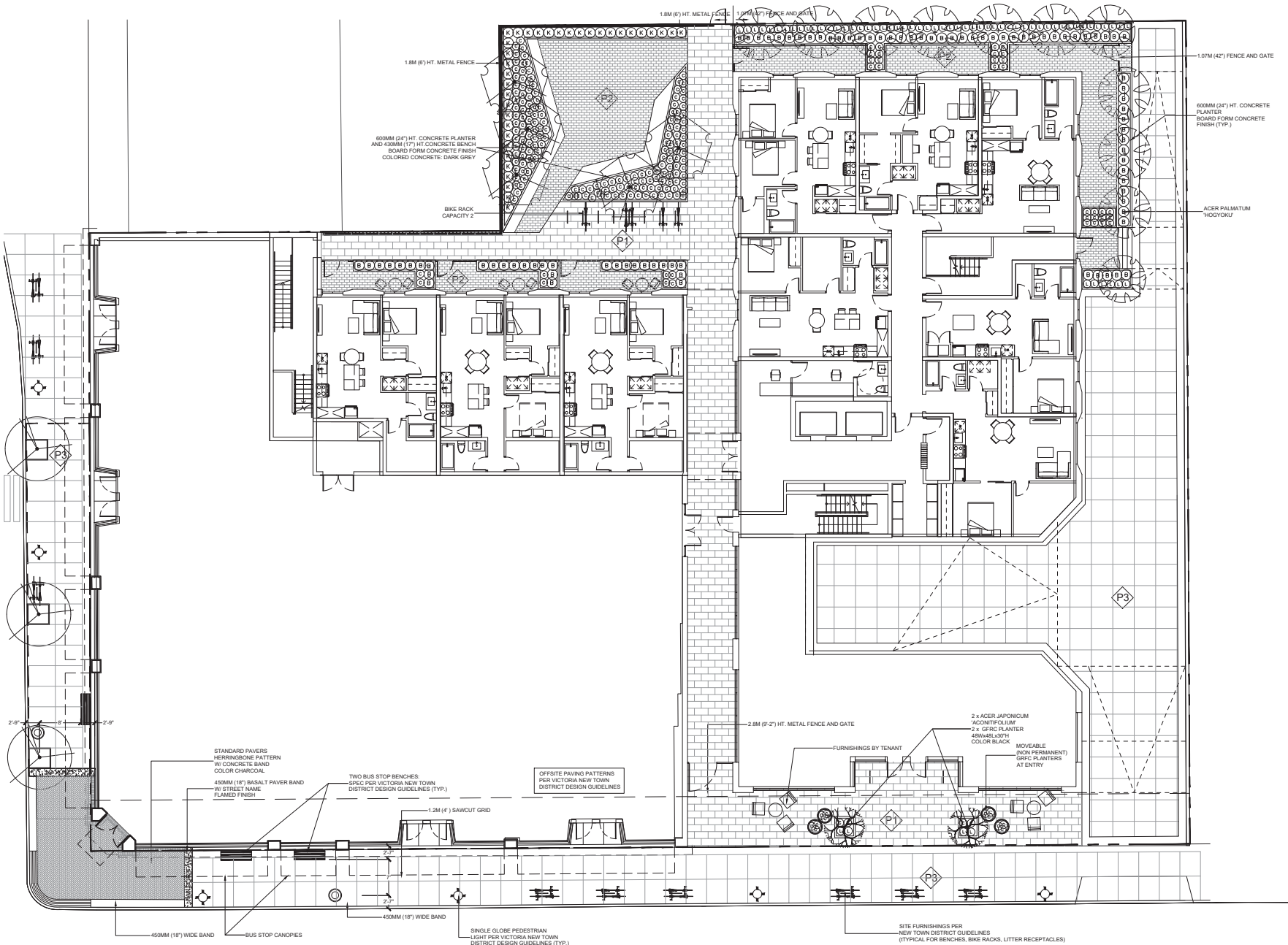
CHKD:

OF 9

18240-15.ZIP

PMG PROJECT NUMBER:

18240





FURNISHINGS LEGEND		
KEY	QTY	DESCRIPTION
	2	OFFSITE: TYPE A WOOD BENCH WITH BACKREST HERITAGE BENCH, ALUMINUM FRAME, OAK SLATS GLOSSY BLACK (RAL 9017) PER NEW TOWN GUIDELINES
	7	OFFSITE: BIKE RACK CAPACITY 2 STANDARD BIKE RACK, GLOSSY BLACK (RAL 9017) PER NEW TOWN GUIDELINES
	8	ONSITE: BIKE RACK CAPACITY 2 MAGLIN MBRS60-S, GLOSS BLACK
	3	TREE GRATE W/ FRAME DOBNEY FOUNDRY ST 48
	4	BARKMAN NEWPORT ROUND 360X250, SP RIC PLANTER, COLOR EBONY
	2	LITTER RECEPTACLE



CALAMAGROSTIS ACUTIFLORA  
'KARL FOERSTER'



BUXUS M. KOREANA



CAREX OSHIMENSIS



LAVENDULA 'MUNSTEAD'



CALAMAGROSTIS BRACHYTRICHA

ROOF LANDSCAPE LEGEND	
KEY	DESCRIPTION
	SEDUM TILE - ETERA 'COLOR MAX'
	SEDUM TILE - ETERA 'ALL SEASONS'
	SEDUM TILE - ETERA 'BLUE MIX'
	BASALT GRAVEL - 50MM CLEAR
	AUTUMN GOLD PEBBLE - NORTHWEST LANDSCAPE SUPPLY 770635 20-30MM
	MEXICAN SUNBURST PEBBLE - NORTHWEST LANDSCAPE SUPPLY MSB1375 25-75MM
	DAZZLING WHITE PEBBLE - NORTHWEST LANDSCAPE SUPPLY 770745 20-30MM








ACER PALMATUM 'HOGYOKU'



CORNUS K. CHINENSIS



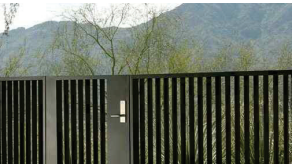
ACER GINNALA

PLANT SCHEDULE				PMO PROJECT NUMBER: 15240	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
	2	ACER JAPONICUM 'ACONTIFOLIUM'	FERNLEAF FULL MOON MAPLE	2.5M HT; SPECIMEN	
	11	ACER PALMATUM 'HOGYOKU'	JEWEL JAPANESE MAPLE	3M HT; BAB; UPRIGHT FORM	
	5	CORNUS KOUSA 'CHINENSIS'	CHINESE KOUSA DOGWOOD	3M HT; TREE FORM; BAB	
	3	STREET TREE	COORDINATE WITH PARKS DEPT		
	8	BUXUS MICROPHYLLA KOREANA	KOREAN BOXWOOD	#3 POT; 40CM	
	37	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT	
	C 218	CAREX OSHIMENSIS 'EVERGOLD'	JAPANESE SEDGE	#1 POT	
	L 82	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#2 POT	
<p>NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.</p>					

CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM THAT MEETS CURRENT IiABC STANDARDS. DEVELOPER AND/OR LANDSCAPE ARCHITECT TO REVIEW DESIGN PRIOR TO INSTALLATION.



1.8M (6') HT. PERIMETER FENCE AND GATE AT COURTYARD  
2.2M (9'-2") HT. FENCE AND GATE AT ENTRANCE TO MEWS



1.07M (4'2") HT. FENCE AND GATES AT PATIOS



P1 - BARKMAN BROADWAY 24X12'



P2 - EXPOCRETE AQUAROC PERMEABLE PAVER

MATERIALS LEGEND	
KEY	DESCRIPTION
	BARKMAN BROADWAY PAVER 24X12", COLOR GREY
	EXPOCRETE AQUAROC STANDARD SIZE, PERMEABLE PAVER COLOR GREY
	450MM (18") CONCRETE BAND W/ 1.2M SAWCUT GRID PER VICTORIA NEW TOWN GUIDELINES



G1 - 'COLOR MAX'



G5 - AUTUMN GOLD PEBBLE



G2 - 'ALL SEASONS'



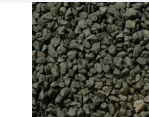
G6 - MEXICAN SUNBURST PEBBLE



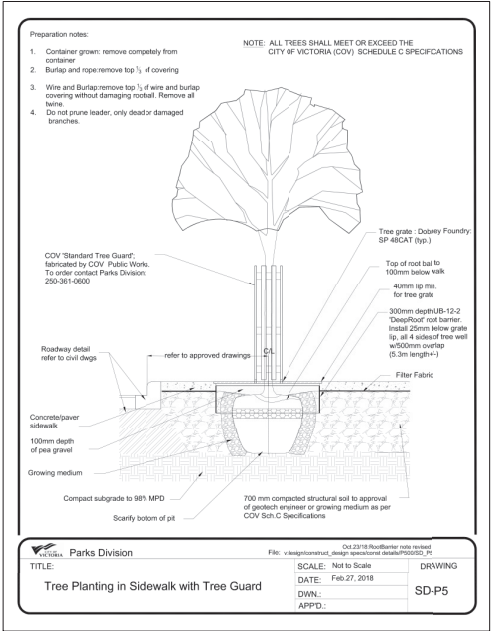
G3 - 'BLUE MAX'



G7 - DAZZLING WHITE PEBBLE



G4 - 50MM CLEAR BASALT GRAVEL



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Burnaby, British Columbia V5G 6G9  
p: 604 294-0011 f: 604 294-0022

SEAL:



15	20 OCT 29	REV. COOK STREET FRONTAGE	BA
14	20 SEP 03	REV. PER CITY COMMENTS - OFFSITE PAVING	BA
13	20 JUL 24	REVISION RECONSTRUCTION	BA
12	20 JUN 29	REV. PER CLIENT COMMENTS	BA
11	20 FEB 03	ISSUED FOR TENDER	BA
10	19 DEC 05	ISSUED FOR SP	BA
9	19 NOV 18	100% SP SET	BA
8	19 NOV 04	50% CD SET	BA
7	19 OCT 23	NEW GROUND FLOOR PLAN	SD
6	19 OCT 23	REVISION	SD
5	19 OCT 21	NEW SITE PLACEMENT REQUEST	SD
4	19 OCT 23	60% CD SET	BA
3	19 SEP 27	REVISION	BA
2	21 AUG 19	REV. PER CITY/CLIENT COMMENTS	BA
1	19 JUL 29	50% SP SUBMISSION	BA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**PARKWAY  
MIXED USE DEVELOPMENT**  
**1050 PANDORA AVENUE  
VICTORIA, BC**

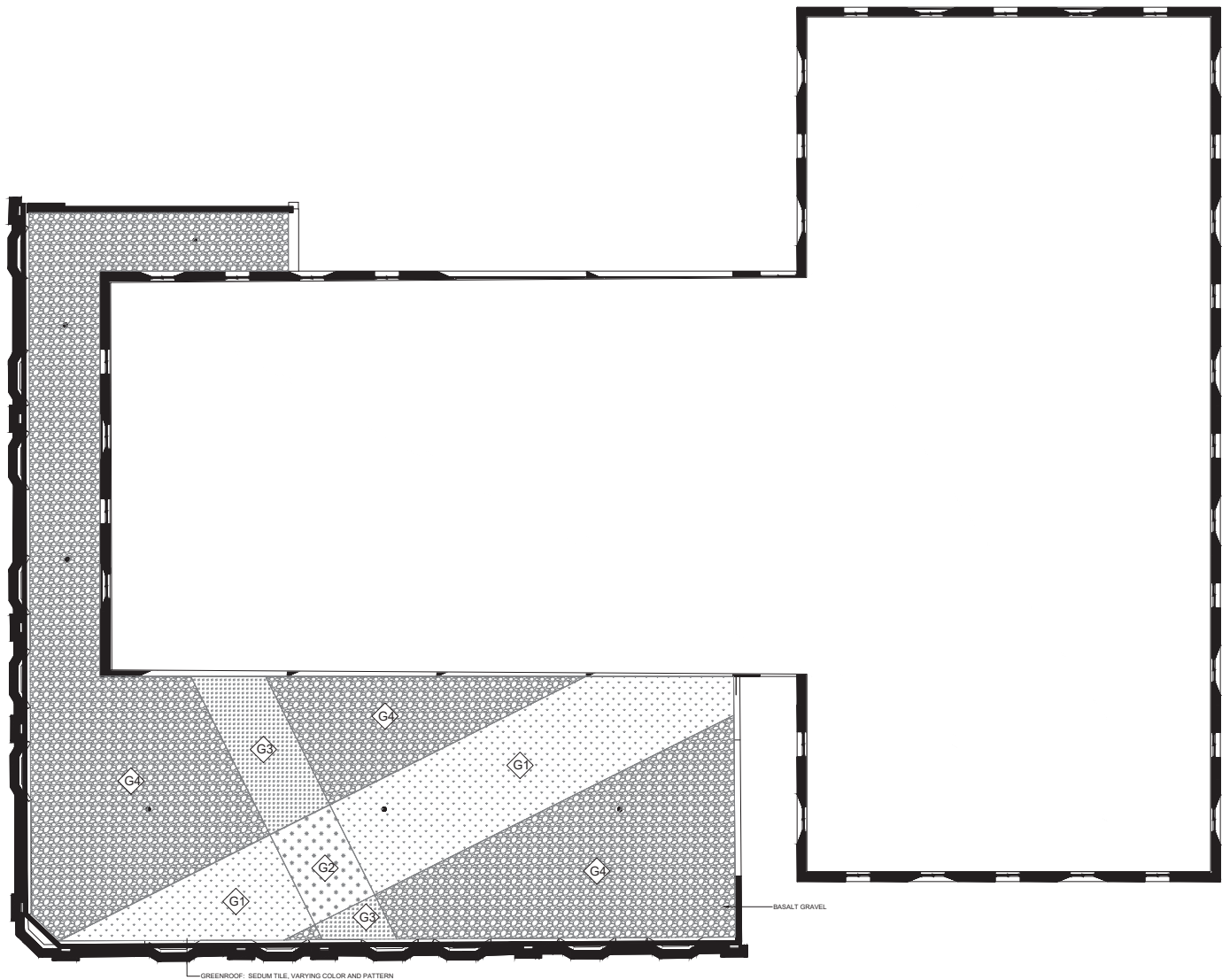
DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: 19 JUL 10 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: BA  
DESIGN: BA  
CHKD: [Signature] OF 9

18240-15\_ZIP

PMG PROJECT NUMBER:

18240



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SEAL:



15	20.OCT.29	REV. COOK STREET FRONTAGE	BA
14	20.SEP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	BA
13	20.JUL.14	REVISIONS RECOMMENDATION	BA
12	20.JUN.29	REV. PER CLIENT COMMENTS	BA
11	20.FEB.03	ISSUED FOR TENDER	BA
10	19.DEC.05	ISSUED FOR BP	BA
9	19.NOV.18	100% BP SET	BA
8	19.NOV.04	50% CD SET	BA
7	19.OCT.23	NEW GROUND FLOOR PLAN	DD
6	19.OCT.23	REVISION	DD
5	19.OCT.21	NEW SITE PLAN/CLIENT REQUEST	DD
4	19.OCT.23	50% CD SET	BA
3	19.SEP.27	REVISION	BA
2	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	BA
1	19.JUL.29	50% BP SUBMISSION	BA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**PARKWAY  
MIXED USE DEVELOPMENT**  
**1050 PANDORA AVENUE  
VICTORIA, BC**

DRAWING TITLE:

**LEVEL 3  
ROOF LANDSCAPE**

DATE: 19.JUL.10 DRAWING NUMBER:  
SCALE: 1:100  
DRAWN: BA  
DESIGN: BA  
CHKD: OF 9

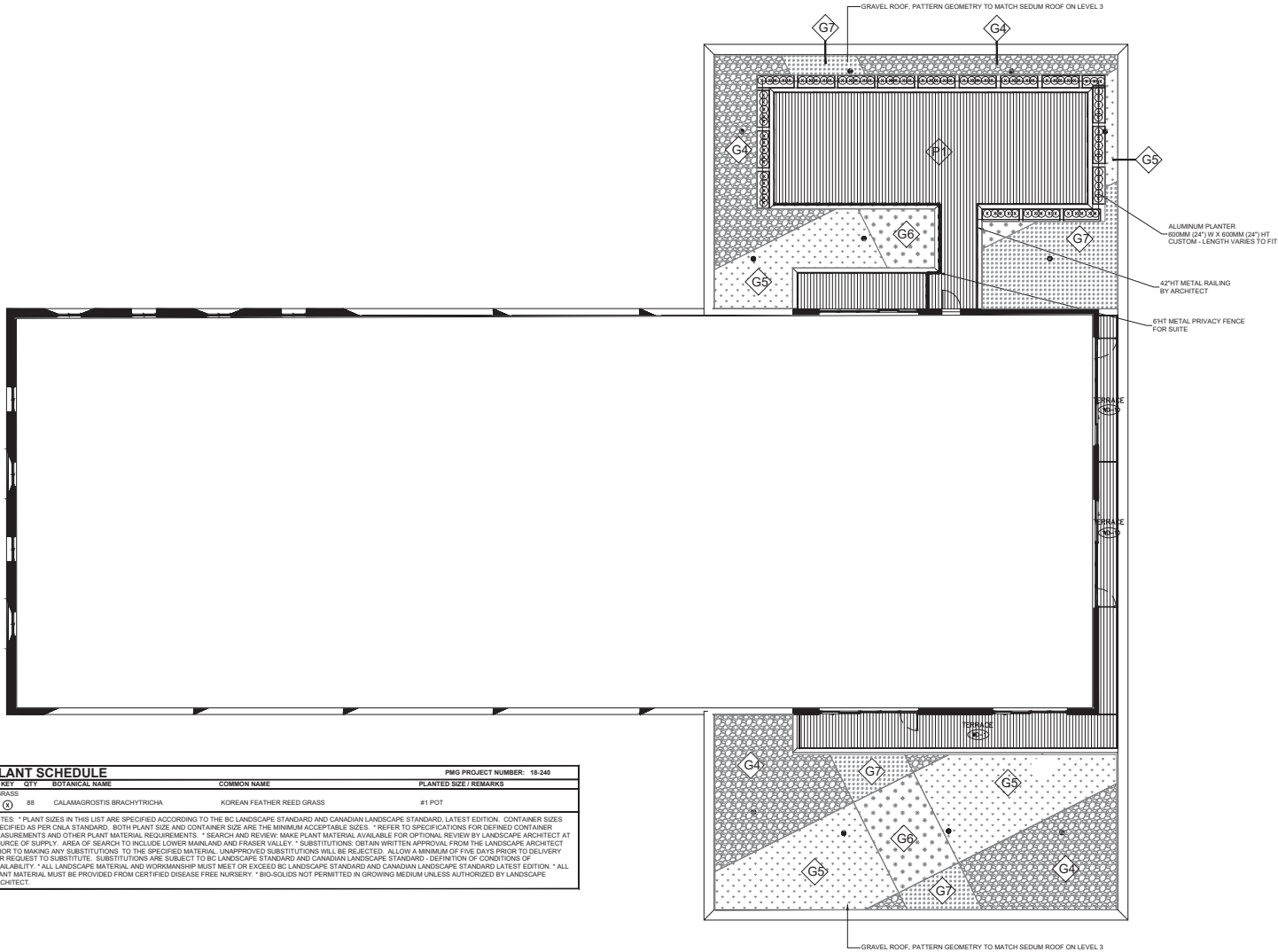
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SEAL:



PLANT SCHEDULE				PMG PROJECT NUMBER: 18-240
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
GRASS:				
Q	88	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	#1 POT
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.				

NO.	DATE	REVISION DESCRIPTION	DR.
14	20-SEP-03	REV. PER CITY COMMENTS - OFFSITE PAVING	BA
13	20-JUL-04	REVISION REVISION	BA
12	20-JUN-03	REV. PER CLIENT COMMENTS	BA
11	20-FEB-03	ISSUED FOR TENDER	BA
10	19-DEC-05	ISSUED FOR BP	BA
9	19-NOV-08	100% BP SET	BA
8	19-NOV-04	50% CD SET	BA
7	19-OCT-03	NEW GROUND FLOOR PLAN	OD
6	19-OCT-03	REVISION	OD
5	19-OCT-03	NEW SITE PLANT/CURRENT REQUEST	OD
4	19-OCT-03	50% CD SET	BA
3	19-SEP-07	REVISION	BA
2	21-AUG-19	REV. PER CITY/CLIENT COMMENTS	BA
1	19-JUL-29	50% BP SUBMISSION	BA

CLIENT:

PROJECT:

**PARKWAY  
MIXED USE DEVELOPMENT**  
**1050 PANDORA AVENUE  
VICTORIA, BC**

DRAWING TITLE:

**LEVEL 5  
ROOF LANDSCAPE**

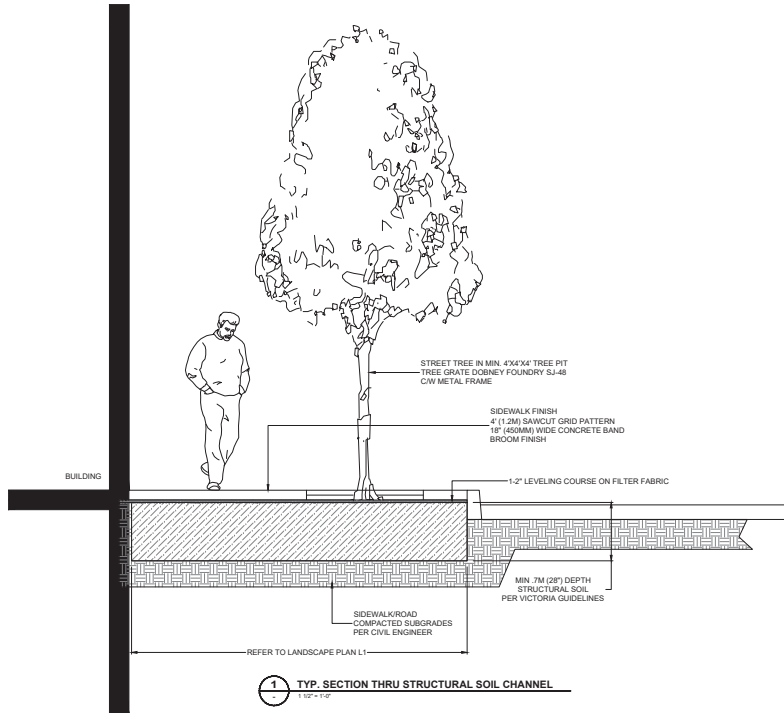
DATE: 19-JUL-10 DRAWING NUMBER:  
SCALE: 1:100  
DRAWN: BA  
DESIGN: BA  
CHKD: OF 9

18240-14.ZIP

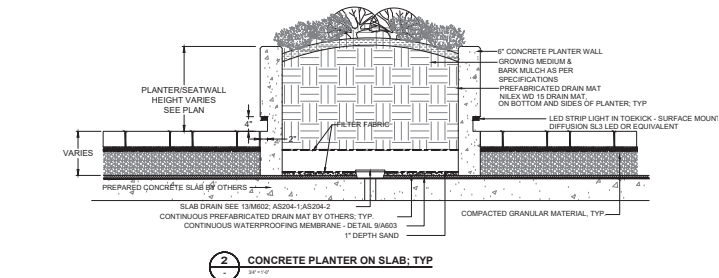
PMG PROJECT NUMBER:

18240

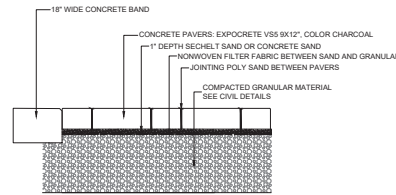
SEAL:



**1 TYP. SECTION THRU STRUCTURAL SOIL CHANNEL**  
1" = 1'-0"

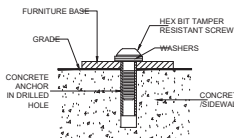


**2 CONCRETE PLANTER ON SLAB, TYP**  
1" = 1'-0"



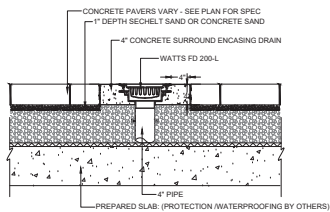
NOTE:  
PAVERS TO BE INSTALLED  
TO MANUFACTURER'S SPECIFICATIONS

**3 PAVERS ON GRADE - OFFSITE**  
1" = 1'-0"

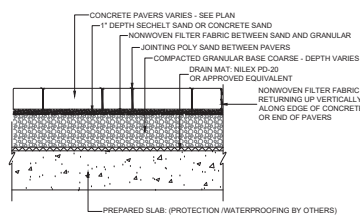


NOTE:  
SITE FURNISHINGS TO BE INSTALLED TO  
MANUFACTURER'S SPECIFICATIONS

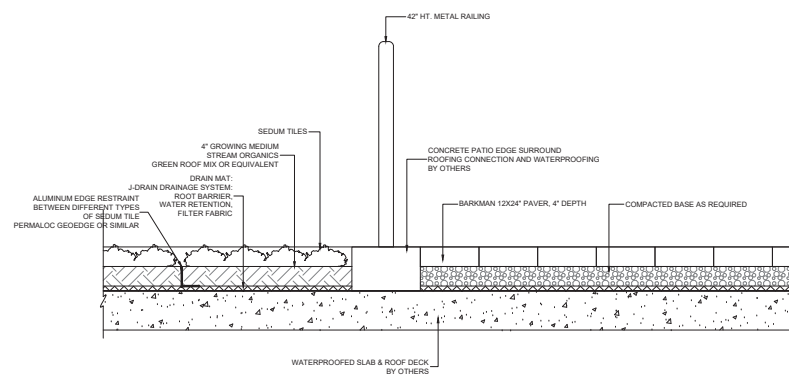
**4 SITE FURNITURE MOUNTING**  
1" = 1'-0"



**5 AREA DRAIN WITHIN PAVERS ON SLAB**  
1" = 1'-0"



**6 CONCRETE PAVERS ON SLAB**  
1" = 1'-0"



**7 TYP. SEDUM ROOF LEVEL 3 AND 5, TYP. PATIO LEV 5**  
1" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
14	20 SEP 03	REV. PER CITY COMMENTS - OFFSITE PAVING	BA
13	20 JUL 04	REVISION REBAR/STEEL	BA
12	20 JUN 09	REV. PER CLIENT COMMENTS	BA
11	20 FEB 03	ISSUED FOR TENDER	BA
10	18 DEC 05	ISSUED FOR BP	BA
9	18 NOV 08	ISSUED FOR SET	BA
8	18 NOV 04	50% CD SET	BA
7	18 OCT 03	NEW GROUND FLOOR PLAN	DD
6	18 OCT 03	REVISION	DD
5	18 OCT 03	NEW SITE PLANTING REQUEST	DD
4	18 OCT 03	50% CD SET	BA
3	18 SEP 07	REVISION	BA
2	21 AUG 19	REV. PER CITY/CLIENT COMMENTS	BA
1	18 JUL 29	50% BP SUBMISSION	BA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**PARKWAY  
MIXED USE DEVELOPMENT**

**1050 PANDORA AVENUE  
VICTORIA, BC**

DRAWING TITLE:

**LANDSCAPE  
DETAILS AND SECTIONS**

DATE: 19 JUL 10 DRAWING NUMBER:

SCALE: AS SHOWN

DRAWN: BA

DESIGN: BA

CHKD:

OF 9



# **LIGHTING LEGEND**

KEY	DESCRIPTION
6	SINGLE GLOBE PEDESTRIAN LIGHT PHILLIPS MICENAS LED4 OR APPROVED EQUIVALENT BDP791 LED43-48/740 II DSS0 GF BK 76
	SURFACE MOUNT STRIP LIGHTING UNDER CONC PLANTER TOE KICK SL3 OUTDOOR LED STRIP (REFER TO ELEC)



SINGLE GLOBE PEDESTRIAN LIGHTING



STRIP LIGHT UNDER TOE KICK

SINGLE GLOBE PEDESTRIAN LIGHT PER VICTORIA NEW TOWN DISTRICT DESIGN GUIDELINES (TYP.)

LED STRIP LIGHT SURFACE UNDERMOUNT IN RECESSED TOE KICK, DIFFUSION LIGHTING SL3

RECESSED LIGHTING IN LOW WALLS REFER TO ELECTRICAL DRAWINGS

IN GRADE LED LIGHT STRIP IN 3M (12") CONCRETE BAND REFER TO ELECTRICAL DRAWINGS

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NO.	DATE	REVISION DESCRIPTION	DR.
13	26 OCT 29	REV. COOK STREET FRONTAGE	BA
14	20 SEP 03	REV. PER CITY COMMENTS - OPPOSITE PARKING	BA
15	20 JUL 24	REVISION REORGANIZATION	BA
17	20 JUN 29	REV. PER CLIENT COMMENTS	BA
11	20 FEB 03	ISSUED FOR TENDER	BA
10	18 DEC 05	ISSUED FOR BP	BA
9	15 NOV 18	LOOK UP SET	BA
8	10 NOV 04	50% CD SET	BA
7	10 OCT 23	NEW GRADING FLOOR PLAN	DD
6	10 OCT 23	REVISION	DD
5	10 OCT 23	NEW SITE PLANS/CLIENT REQUEST	DD
4	10 OCT 23	50% CD SET	BA
3	10 SEP 27	REVISION	BA
2	21 AUG 19	REV. PER CITY/CLIENT COMMENTS	BA
1	10 JUL 29	50% BP SUBMISSION	BA

CLIENT:

PROJECT:

**PARKWAY  
MIXED USE DEVELOPMENT**  
**1050 PANDORA AVENUE  
VICTORIA, BC**

DRAWING TITLE:  
**LIGHTING  
LAYOUT PLAN**

DATE: 19 JUL 10 DRAWING NUMBER:  
SCALE: 1:100  
DRAWN: BA  
DESIGN: BA  
CHKD: OF 9

18240-15\_ZIP PMG PROJECT NUMBER: 18240





PART ONE - GENERAL

11. COPYRIGHT
1. The Structural Soil specification is provided as an instrument of service and remains the property of PMG Landscape Architects. The information provided in this specification is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the permission of PMG Landscape Architects.
12. SCOPE OF WORK
1. The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix on a prepared sub grade.
2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and promoting the development of tree roots. The long term goals the protection of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas.
3. Refer to drawings for location and dimension of structural soil mixture.
4. All other related work as described in the drawings and/or this specification.
13. RELATED WORK
1. Section 0200, Landscape Requirements
2. Section 0210, Landscape Drainage
3. Section 0260, Irrigation System
4. Section 0293, Seeding (Seeding)
5. Section 0260, Planting Trees, Shrubs, and Groundcover
14. RELATED MASTER MUNICIPAL SPECIFICATIONS
1. Contractor to report all conflicts with civil engineering to Landscape Architect
2. Section 0220, Site Grading
3. Section 0223, Excavating, Trenching, and Backfilling
4. Section 0224, Aggregates and Granular Materials
5. Section 0266, Waterworks
6. Section 0271, Storm Sewers
7. Section 0272, Retention and Catch Basins
15. STANDARDS
1. BCSA/BCMA Landscape Standard (most current edition)
2. Canadian System of Soil Classification
16. QUALITY ASSURANCE
1. All structural soil material used in street tree planting shall be from a source approved by the Consultant and all similar materials supplied to the site shall be of similar nature and from a single source. 15 days prior to supplying any nutritive additives, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. At the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as laid out in 2.5.1 of this section.
2. All nutritive additives to structural soil material supplied to the site shall be from a source approved by the Consultant and all similar nutritive additives supplied to the site shall be of similar nature and from a single source. 15 days prior to supplying any nutritive additives, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. The test report shall quantify and qualify the following characteristics of the proposed nutritive additive:
2.1. Gravel, sand and fines content each as a % of dry weight material
2.2. Organic material content as a percentage of dry weight
2.3. Acidity (pH)
2.4. Safety in milligrams/cm of 25 degrees C.
2.5. Basic fertility (total nitrogen available N, Ca, Mg, P, I)
2.6. Recommendation for incorporation of necessary amendments.
3. Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.
4. Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications.
5. Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.
6. Confirm completion of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer.
7. Aggregate Test:
7.1. Provide source and sieve designation of intended aggregate material prior to ordering.
7.2. At the Landscape Architect's discretion, materials may be rejected. Contractor is responsible for costs of testing if sample does meet specification and for correction of any deficiency.
7.3. Submit 25kg sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.
8. Structural Soil Mix Design
8.1. Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 5 days prior to mixing samples.
8.2. Landscape Architect's may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.
17. SCHEDULING
1. Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the installation of the structural soil mixture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors.
2. Schedule to include:
2.1. date for commencement of preparation of structural soil at source
2.2. sub grade preparation at site
2.3. shipping dates
2.4. arrival dates on site
2.5. installation dates
3. Schedule work to co-ordinate with installation of any drainage, irrigation, tree grade footings, lighting, paving etc.
4. Complete work to ensure tree planting will occur under optimum conditions
5. Do not handle or place structural soil mix in rain.
18. FIELD REVIEW
1. Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.
2. Co-ordinate site meeting with Consultant at the following times
2.1. drainage installation and connection
2.2. irrigation installation
2.3. mixing of structural soil mixture
2.4. installation of structural soil mixture
2.5. sub grade preparation and layout.
2.6. installation of trees
3. Where materials are installed in phases, it is the contractors responsibility to inform the Consultant of critical installation times for each phase as noted in Section 18.2.
19. SAMPLES
1. Provide 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 13.2 and 13.3
19.0. PRODUCT HANDLING
1. All materials used in the composition of structural soil shall not be prepared, worked or handled upon when in a wet or frozen condition.
2. Supply and handle delicately time, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package.
19.1. DELIVERY, STORAGE AND PROTECTION
1. For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil.
2. On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.
3. Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tarpaulin of material approved by the Consultant until such time as materials installed.
4. All material to be stockpiled shall be protected in accordance WITH B. C. Ministry of Environment guidelines.

PART TWO - PRODUCTS

2.1. GROWING MEDIUM

1. TABLE ONE

1.1. Provide all growing medium required to complete the work.

1.2. Comply with the requirements of Table 1, below

1.3. Organic material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil mixture.

TABLE ONE

PROPERTIES	GROWING MEDIUM FOR GAP-GRADED MIXTURE
TEXTURE: Particle size classes by the Canadian System of Soil Classification	
Gravel greater than 20mm - less than 75mm	0
Sand greater than 0.075mm - less than 2mm	maximum 60%
Silt greater than 0.002 mm - less than 0.075 mm	maximum 30%
Clay less than 0.002mm	maximum 10%
Clay and Silt Combined	maximum 40%
ACIDITY (pH)	6.0 - 7.0
DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place	3.0
SAFETY: Saturated extract conductivity shall not exceed	3.0 millimhos/cm at 25°C
ORGANIC CONTENT: Percent of Dry Weight (SD)	10% - 15%

2.2. AGGREGATE

1. Clean inert stone of high angularity is preferred over washed gravel.

2. Stone dimension aspect ratio should approach 1:1:1 with a maximum of 2:1:1 length width depth.

3. Single size stone, 15mm clear sieve designation (Blasted Quarry Rock).

4. Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 15 and 1.8

5. Aggregate quality: Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other substances that would act in a deleterious manner or use intended.

2.3. SOIL STABILIZER

1. A non-toxic organic binder.

Product: Stabilizer, The Original Natural Binder, as available from Veracore, Aldergrove, BC. 604-407-3602. (Or approved equal)

2.4. GRANULAR BASE

1. To Master Municipal Specification Section 0224, Aggregates and Granular Materials.

2.5. PAVING MATERIALS

1. Refer to architectural drawings.

2.6. FILTER FABRIC

1. Non Woven Filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed.

2. Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering properties. Conforms to the following ASTM designations:

Gravel Tensile Strength ASTM D-4432-4439 M

Tensile Elongation ASTM D-4432 50%

Pulse Burst ASTM D-3709 270 v/s

Flow Rate ASTM D-5441-6070 (min/m²)

3. Fabric shall be Amec 4345 or approved equivalent.

PART THREE - EXECUTION

3.1. SUBGRADE
1. Excavate sub grade to establish true pit / trench as indicated on contract drawings. Place the structural soil under the paving adjacent to the planting pits, NOT in the planting pits themselves.
2. Areas designated as structural soil free pits for street tree planting shall be prepared to ninety-five percent (95%) Modified Proctor Density and shall be free of stones, debris, root branches, toxic materials, building materials and other deleterious materials to the approval of the civil engineer.
3.2. PREPARATION OF EXISTING GRADE
1. Verify that grades are correct. If discrepancies occur, notify Consultant and do not commence work until directed.
2. Excavate trench to Master Municipal Specification Section 0223, Trenching, Excavation and Compaction allowing for design depth and width of structural soil mix.
2.1. Refer to contract drawings for areas to be treated and to details for dimensions
2.2. Compact to 95% Modified Proctor Density.
2.3. Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings.
4. Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil mixture for support may be postponed until after the installation of the mixture.
5. Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings.
3.3. SUB DRAINS
1. Install to requirements of Master Municipal Specifications. Refer to Section 0266, Waterworks, Section 0271, Storm Sewers, and Section 0272, Pathways and Catch Basins
1.1. Install prior to installation of the structural soil mixture.
1.2. Co-ordinate all contract drainage work with other drainage on-site
1.3. Confirm location of storm sewer connections with civil engineer.
3.4. IRRIGATION
1. Install to requirements of Section 0260, Irrigation System. Refer also to Irrigation Drawings.
1.1. Install irrigation main lines in co-ordination with installation of the structural soil. Confirm timing at start-up meeting.
1.2. Co-ordinate all contract irrigation work with other civil engineering and drainage on-site
1.3. Confirm location of irrigation connections with civil engineer.
3.5. MIXING STRUCTURAL SOIL MATERIAL
1. Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone.
2. Base Ratio of Materials:
- 4 cu metre of aggregate stone section 2.2
- 125 cu metre of Growing Medium section 2.1
- 2 kg Stabiliser section 2.3
- Water as required
- The amount of water required will vary according to moisture present in growing medium.
3. Combine the stone, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.
3.6. MIXING
1. Do not OVER MIX, OVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material.
2. All mixing shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mixing equipment.
3. Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.

PART THREE - EXECUTION (cont)

3.7. PLACEMENT
1. Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.
2. Structural soil shall be moist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement.
3. Place Stone mixture in 300mm lifts through entire area of structural soil mixture.
4. Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer.
5. Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance, section 15
6. Provide a uniformly firm and level surface allowing for specified depths of root base and / or growing medium to meet finished design grade.
7. Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc. have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium law per Section 2.5 used to surround the root ball.
3.8. INSTALLATION OF FILTER FABRIC
1. After approval of structural soil mixture compaction, install Filter Fabric.
2. Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.
3.9. GRANULAR BASE MATERIAL
1. Place minimum 75 mm granular base on top of filter fabric over structural soil layer.
2. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.
3. All areas shall be graded low the contours and elevations indicated on the contract drawings. Ensure positive drainage.
3.10. PROTECTION
1. Protect existing conditions from damage or staining and make good any damage.
2. All damage will be repaired at the expense of the installation contractor.
3.11. TREE PLANTING
1. Remove structural soil or other backfill material (sand, see comments in section 3.7.1) from the full dimensions of the tree grade area (1.2m x 1.2m x depth of root ball).
2. Re-compact all material below root ball to original specified density to prevent settling of the root ball in the hole.
3. Ensure tree is planted in the exact centre of the specified planting station straight and true.
4. Install tree in accordance with BCSEA Landscape Standard. Cut away synthetic root ball tubes, cut back improperly sized wire baskets, pull back burlap from around trunk etc.
5. Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as a backfill material.
6. Place 50mm depth compacted 1/2" then bark mulch over the top of the open tree pit area.
3.12. TREE GRATES
1. Site Furniture and to contract drawings for tree grates, frames and footings.
3.13. ACCEPTANCE
1. Consultant shall inspect structural soil "in place" and determine acceptance of material, and finish grading prior to paving.
2. Finish grade shall be to within 75mm of proposed grades within 30m of any adjacent fixed elevation and to within 75mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.
3.14. SURPLUS MATERIAL
1. Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site.
2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.
3. Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed.

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Burnaby, British Columbia V5C 6G9  
p. 604 294-0011 / f. 604 294-0022

SEAL:



14	20 SEP 03	REV PER CITY COMMENTS - OPPOSITE PAVING	BA
15	20 JUL 04	REVISION RECOMMENDATION	BA
17	20 JUN 05	REV PER CITY COMMENTS	BA
11	20 FEB 08	ISSUED FOR TENDER	BA
10	18 DEC 05	ISSUED FOR BP	BA
9	18 NOV 08	ISSUED FOR SET	BA
8	18 NOV 04	50% CD SET	BA
7	18 OCT 03	NEW GROUND FLOOR PLAN	CD
6	18 OCT 03	REVISION	CD
5	18 OCT 01	NEW SITE PLANS/CLIENT REQUEST	CD
4	18 OCT 03	60% CD SET	BA
3	18 SEP 03	REVISION	BA
1	25 JUL 03	REV PER CITY/CLIENT COMMENTS	BA
	18 JUL 03	50% BP SUBMISSION	CD

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

PARKWAY  
MIXED USE DEVELOPMENT

1050 PANDORA AVENUE  
VICTORIA, BC

DRAWING TITLE:

STRUCTURAL SOIL  
SPECIFICATION

DATE: 19 JUL 10 DRAWING NUMBER:

SCALE: NTS

DRAWN: BA

DESIGN: BA

CHECKD:

L9

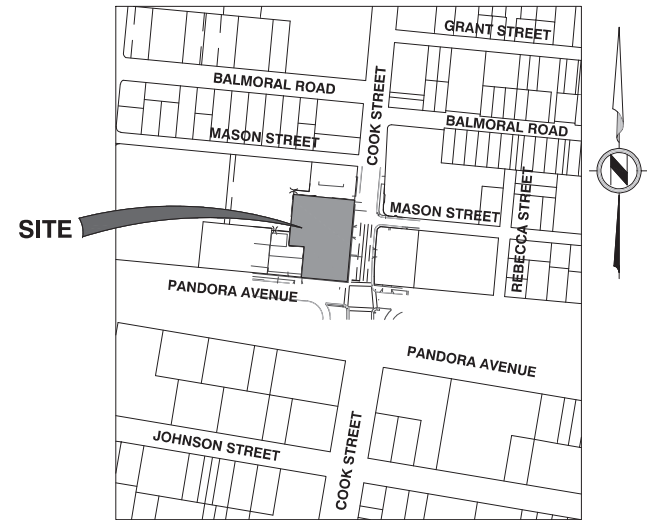
OF 9



# APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.  
#104 - 6596 Applercross Road, Nanaimo, BC, Canada V9V 0A4  
Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com



**SITE LOCATION PLAN**

SCALE 1:2000

## DRAWING INDEX

18-010-01	COVER SHEET
18-010-02	KEY PLAN & GENERAL NOTES
18-010-03	SERVICING & GRADING PLAN
18-010-04	TRUCK TURNING PLAN

## CLIENT:

### DISTRICT GROUP

SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1  
PH. 604-322-5762

**NOT FOR CONSTRUCTION**

## PROJECT:

### PARKWAY - MIXED-USE DEVELOPMENT

1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA, BC

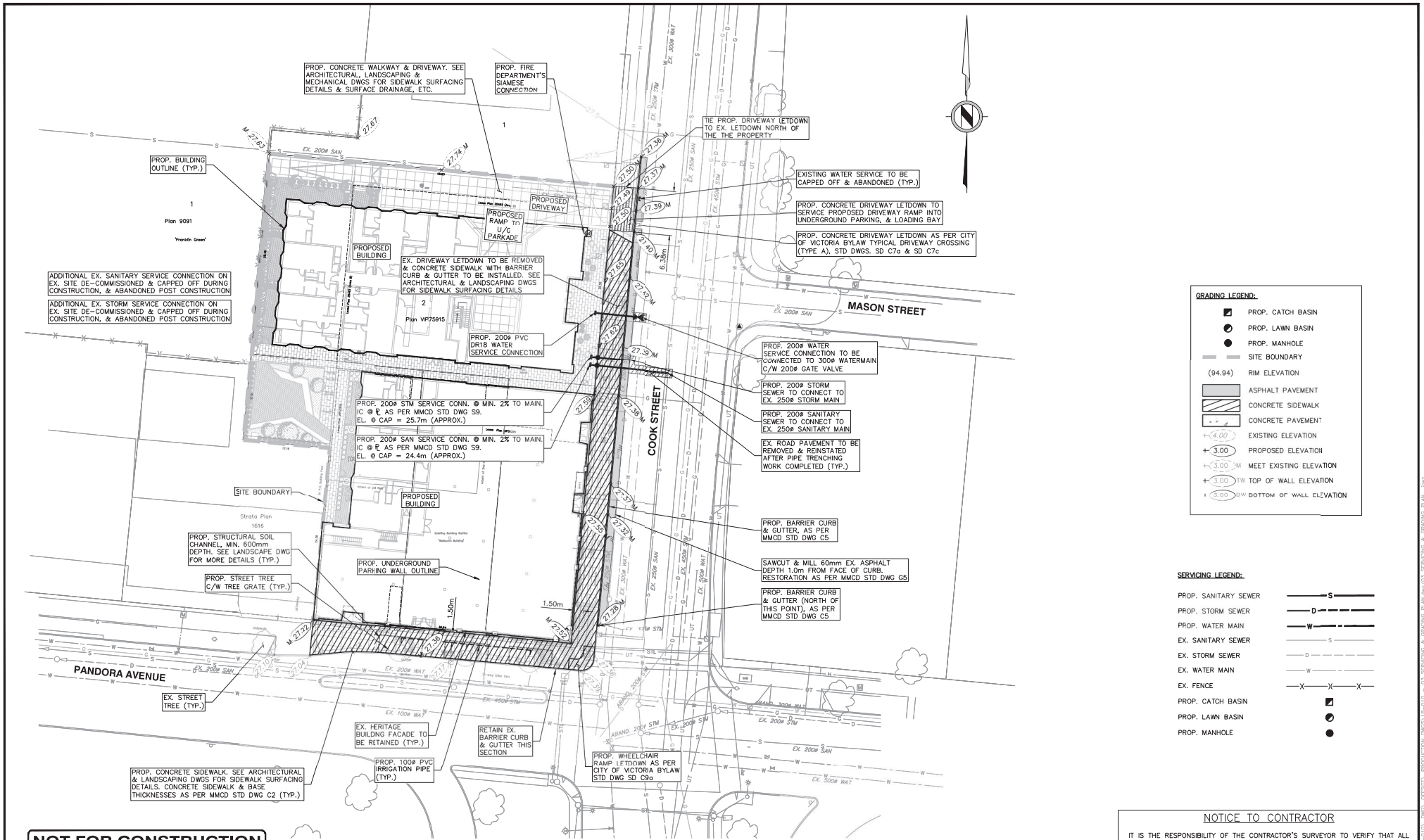
MUNICIPAL PROJECT No. XXX

APLIN & MARTIN PROJECT No. 18-010









LEGAL DESCRIPTION: SITE PLAN OF AMENDED LOT 14 (BD 106561 I), LOTS 15 & 16, LOT 2, PLAN VP75915 OF SUBURBAN LOT 15

B.M. MONUMENT NO. 16-64A ELEVATION: 27.355m

LOCATED AT COOK STREET & PANDORA AVENUE

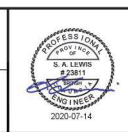
REV. NO.	DESCRIPTION	DR	CH	DATE	APP.
04	ISSUED FOR 60% BP SUBMISSION	VG	SL	15-OCT-19	SL
05	ISSUED FOR 90% BP SUBMISSION	VG	SL	06-NOV-19	SL
06	ISSUED FOR 100% BP SUBMISSION	VG	SL	25-NOV-19	SL
07	TREE REMOVED ON COOK STREET	CL	SL	20-MAR-20	SL
08	REVISED FOR REZONING	JP	SL	15-JUL-20	SL

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CLIENT: **DISTRICT GROUP**  
SUITE 200 • 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1  
PH: 604-322-5762

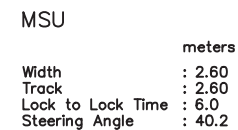
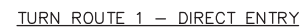
PROJECT: **PARKWAY - MIXED USE DEVELOPMENT**  
1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC



The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: <b>SERVICING &amp; GRADING PLAN</b>		DESIGN: VG CHECK: SL DRAWN: VG/CL APPR: SL	
PROJECT NO.	SCALE: 1:250	A & M FILE: <b>18-010</b>	
DRAWING NO.	HORIZ. 1:250 VERT. N/A	DRAWING DATE: <b>FEBRUARY 2019</b>	
	A & M DRAWING NO. <b>18-010-03</b>	SHEET NO. <b>03 OF 04</b>	REV. <b>08</b>

0 2 1250 12m



**NOT FOR CONSTRUCTION**

NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

DESIGN: VG CHECK: SL  
DRAWN: VG/CL APPR: SL  
A & M FILE:  
**18-010**

DRAWING DATE:  
**FEBRUARY 2019**

NO.	SCALE :
	HORZ. 1:250
	VERT. N/A
NO.	A & M DRAWING NO.

TITLE:

### TRUCK TURNING PLAN

PROJECT NO.	
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SCALE :

HORZ.	1:250
VERT.	N/A

VERT.	N/A
A & M DRAWING	

DRAWING NO.

0	2	1:250	1
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CLIENT:	<b>DISTRICT GROUP</b> SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1 PH. 604-322-5762
PROJECT:	<b>PARKWAY - MIXED USE DEVELOPMENT</b> 1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC



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