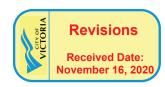
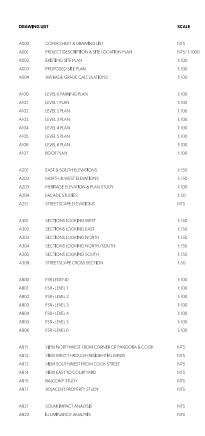
ATTACHMENT A









MICHAEL GREEN ARCHITECTURE

535 W 3RD AVENUE, V. CANADA: V6I 118

2020-11-13 REWISED FOR REZONING
2020-03-20 REWISED FOR REZONING
2020-03-20 REWISED FOR REZONING
2019-03-10 REWISED FOR REZONING
2019-03-13 REWISED FOR REZONING
2019-03-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY



PROJECT NARRATIVE

The Parkway Revitalization and Development is located at Pandora as the Wellburns Building. Originally named Parkway apartments. the two-storey masonry building was constructed in 1911 by William Ridgway-Wilson. At the corner of the North Park neighbourhood, the building is a gateway feature to both the neighbourhood and the centre of Victoria.

The new development proposes a 4 & 6 storey volume stepping back from the existing heritage building to the north & west, and from Franklin Green Park to the south & east. 105 purpose-built rental apartments are proposed with a retail / commercial space being maintained on the existing ground floor of the Wellburn's Building and the addition of a cafe space in the ground floor of the new addition facing Cook Street. A mews separating the historic and modern buildings at street level serves as the residential entrance to the building and provides access to a west facing courtyard. Public access to and from Franklin Green Park is provided through a wide pedestrian walkway along the north edge of the site. One level of underground parking will be provided below the

A priority of the project is to conserve the heritage value of the Wellburn's building through retaining 50% of the existing volume, including the historic facades facing Pandora Ave & Cook St and the north-east wall facing the residential mews. All character-defining

elements in these locations will be preserved along with any repairs, as required. The original use of the building will remain with opportunities for multiple retail spaces on the ground floor & residential suites above. The building will be Designated Heritage with the Heritage Registry.

The new development will be clad in a light & mid grey coloured stucco rainscreen wall system with a light grain finish. It will borrow elements from its historic counterpart, including the proportion & angles of the projecting oriel windows and the recessed entryways of the existing storefronts. An existing Wellburns Market mural that is currently located on the north elevation of the existing building will be reimagined on the north elevation of the new 4 storey

To create a strong visual connection with the surrounding context juliet balconies will be provided in the living spaces of the suites directly facing Franklin Green Park & Harris Green Park, An accessible roof deck will also be provided for all residential tenants of the building, facing onto Franklin Green Park.

PROJECT NAME

PROJECT ADDRESS

1050 Pandora Ave + 1518 Cook Street

LEGAL DESCRIPTION Lots 1 and 2, Suburban Lot 15, Victoria, VIP73211

PROIECT TEAM

Pandora Cook Development Corp

strict Developments Corp. 200-8809 Heather Street, Vancouver, BC, V6P 3T

604 736 1866

DISTRICT DEVELOPMENTS CORP.

Mike Fuii

MGA | Michael Green Architecture

Michael Green Jordan Van Dijk 604-336-4770

PROPOSED ZONING

Changed from R-2 (Two Family Dwelling District) at 1518 Cook Street, and CA-1 (Pandora Avenue Special Commercial District) at 1050 Pandora Avenue AREA CALCULATIONS

AVERAGE GRADE

27.54m (See A004 for average grade calculations)

Note that the project ground floor is set at a geodetic elevation of 27.56m and building levels are dimensioned from that elevation

PROPOSED HEIGHT

20.22 m taken from average grade. Note that 321mm parapet is excluded from proposed height.

ALLOWABLE HEIGHT

30m/8-10 storeys per OCF

BCBC 2018

STREETS FACING

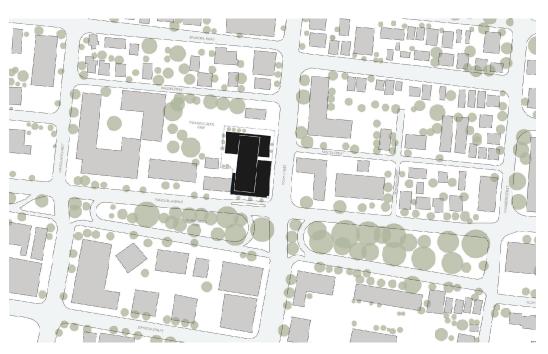
andora Avenue to the South

Cook Street to the East

OCCUPANCY CLASSIFICATIONS

Sprinklered-Residential Occupancies 3.2.2.50. Group E, up to 6 Storeys Sprinklered-Mercantile Occupancies Located below the third storey.

Sprinklered-Below Grade Parkade.



20	LONG-T	ERM		TOTAL UNITS		9	24	21	21	15	15	105
160	SHORT-											
				2 D00 C	73.0							
180	FARRING	•		288DB 288DC	94.3 75.6		1	-	1			1
TOTAL BI	KE PARKING			2 B&D A 2 B&D B	90.8 94.3		1	1	1			1 2
947.6m2	50%			22224	00.0							
	REA TO BE R	ETAINED		2 BED G	75.4					1		1
				2 BED F	66.4	1		1	1			3
1891.9m2				2 BED E	80.5		1					1
		BUILDING AREA		2 BED D	62.3		1	1	1			3
				2 BED C	75.5		1					i
				2 BED B	68.8		1					i
225.6		SEATING		2 BED A	67.9						1	1
55.6	m2	OUTDOOR		I DALL'III	00.7							
170.0	m2	CAFÉ		1 B&D M	68.7	- 2	1					1
880.0	m2	RETAIL		18&DL	74.1	2						2
1000	1112			1 B&D K	82.3							1
1050	m2	Anta		188D1	94.8		1	- 1	- 1			1
TOTAL CO	OMMERCIAI	ARFA		18&D1	63.0		1	1	1			3
				1 B&D H	58.0		1					1
94	REQUIRE	:D		1 B&D G	51.0				1			1
44	PROVIDE			1 B&D F	56.0			1		1		2
	RKING SPA			188D E	52.8				1		1	2
				1 B&D C 1 B&D D	62.8	1	2	2	2			7
105				1 B&D B	51.6				1			1
	SIDENTIAL	UNITS		1 B&D A	61.3	1						1
6055	m2			1 BED U	40.1						1	1
TOTAL RE	SIDENTIAL	AREA		1 BED T	44.8						1	1
				1 BED S	51.1						1	1
20.221m				1 BED R	52.8	1						1
PROPOSE	D HEIGHT			1 BED Q	49.0					1		1
				1 BED P	48.6						1	1
				1 BED 0	53.5						1	1
				1 BED N	48.4					1		1
TOTAL		105		1 BED M	45.0					1		1
				1 BED L	53.4					1		1
2 BED & D	EN	4	4%	1 BED K	49.5			1	1	1	1	4
2 BED		11	10%	1 BED J	37.8			1	1	1	1	4
18 & DEN		24	23%	1 BED I	51.1				5		5	10
1 BED		54	51%	1 BED H	36.2					1		1
STUDIO 8	DEN	8	8%	1 BED G	47.4			1		1		2
STUDIO		4	4%	1 BED F	51.6			5		5		10
		14011		1 BED E	49.3		1	1	1			3
UNIT TYP	ES	Not	96	1 BED D	49.7		1					i
MLLOWAS	ALL LOS IMALE			1 BED C	56.1		1					1
	SLE ESRRATI		.3	1 BED B	53.0	i	1	i	i			4
	ED FSR RATI			1 BED A	57.2	1	1	1	1			4
ALLOWAE			30 m2	O. GIDLINE	00.0							
PROPOSI	ED ESP	8,544.	5 m2	ST & DEN E	65.3	1						i
LEVEL 6		913,9	92 m2	ST & DEN D	56.9			i				i
LEVEL 5 LEVEL 6			13 m2	ST & DEN B	58.0		-	1				1
LEVEL 4		1416.9		ST & DEN A ST & DEN B	72.7		1					4
LEVEL 3		1430.3			66.0		4					
LEVEL 2		2005.6		STUDIO B	53.2				1		1	2
LEVEL 1		1848.5		STUD I O A	56.3			1	1			2
LEVELO		2,175	.2 m2	CITY	m2	L1	L2	L3	L4	L5	L6	TOTAL

UNIT CALCULATIONS

RESIDENTIAL PARKING					
RESIDENTIAL PARRING	Parking Rate	# of Units		Required	Provided
<45m2	0.50	6		3.0	3
45-70m2	0.60	87		52.2	23
>70m2	1.00	12		12.0	7
		TOTAL RESIDENTIAL	PARKING	67	33
VISITOR PARKING	Parking Rate	# of Units			
Visitor Parking	0.10	105		11	4
COMMERCIAL PARKING					
		Total Area (m2)			
Retail/ Grocery	1/80m2	880		- 11	2
Restaurant	1/40m2	225.6		- 6	3
		TOTAL COMMERCIAL	PARKING	17	5
CARSHARE PARKING					
Modo Carshare Parking Stalls		TOTAL	PARKING	94	2 44
BIKE PARKING I LONG TERM		# of Units			
Residential	1 / unit <45m2	6		6	20
	1.25/unit >45m2	99		124	128
		Total Area (m2)			
Restaurant	1/400m2	225.6		1	6
Retail/ Grocery	1/200m2	880		5	6
		TOTAL LONG TERM BIKE	PARKING	135	160
		FLOOR-MOUNT			64
		FLOOR-MOUNTED CARD	SO RACKS		40
		WALL-MOUNT	ED RACKS		56
BIKE PARKING SHORT TERM					
		Total Area (m2) Total			
Residential	.1 /unit		0.5	- 11	12
Restaurant	1/100m2	225.6		3	3
Retail/ Grocery	1/ 200m2	880		- 5	5
		TOTAL SHORT TERM RIKE	PARKING	19	20



MICHAEL GREEN ARCHITECTURE

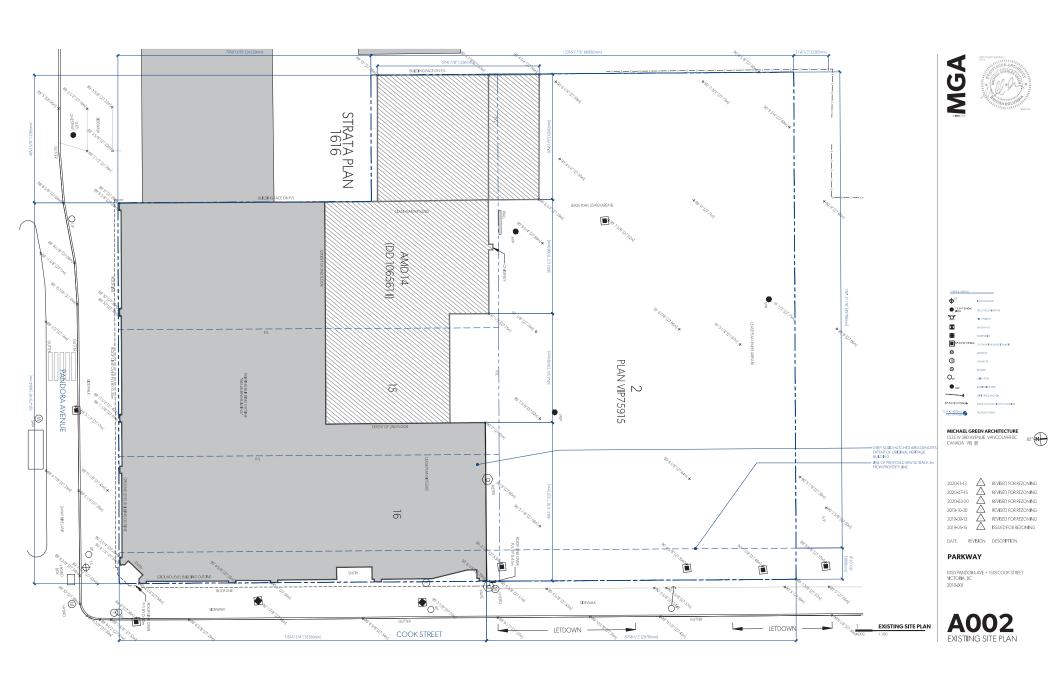
1535 W 3RD AVENUE, VANCOL CANADA V6J 1J8

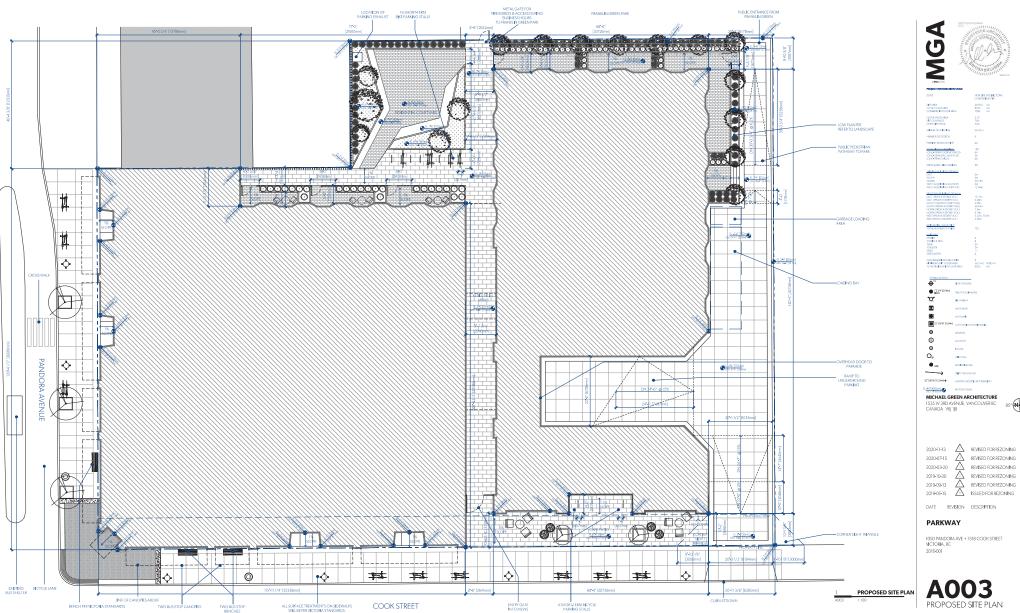
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2020-03-20 REWISED FOR REZONING
2019-10-30 REWISED FOR REZONING
2019-09-13 REWISED FOR REZONING ■ ISSUED FOR REZONING 2019-05-15

DATE REVISION DESCRIPTION

PARKWAY





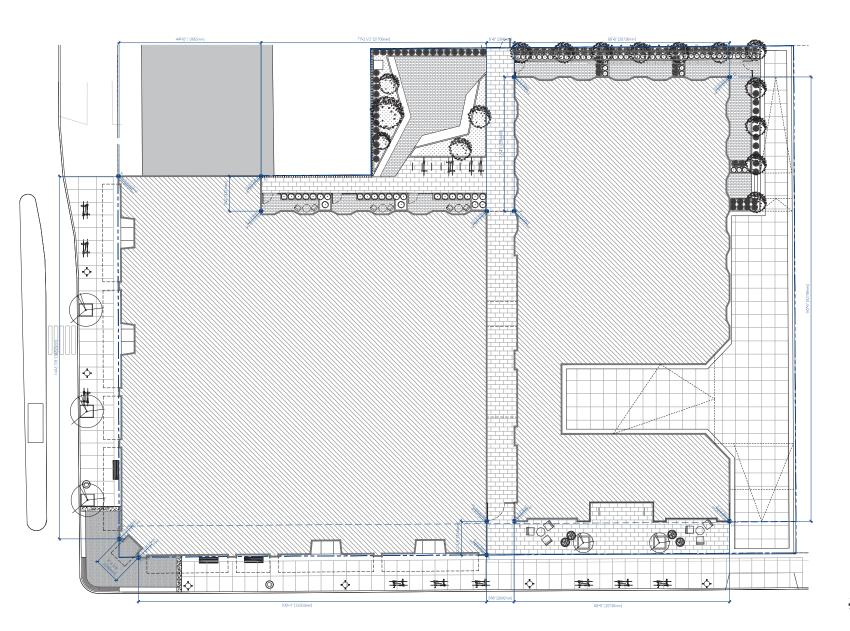


BENCH PER VICTORIA STANDARDS



2020-07-15 A REVISED FOR REZONING







	100	IST. BETWEEN F	42	TOTAL
127,28m + 27,96m		x13.65m		374.29
			-	90.00
127,56m + 27,56m)	×0.5			586.33
327,56m + 27,56m0		+2.644		
127,56m + 27,56m)		x 12.90m		355.63
127,56m + 27,56m0		x20,73m		
127,56m + 27,56m)		x42,75m		1179.1
127,50m + 27,50m		x20.73m		
127,56m ± 27,56m)		13.241		59.29
127,56m + 27,54m		x33.50m		502.50
127,54n + 27,54n0		+2.56m		
(27,54n + 27,28n)	×0.5	x34.50m		556.67 5907
	27.56m + 27.56m)	27.56m + 27.56m)	27.56m + 27.56m x 0.5	22.569 - 27.5699 - 26.5 - 2.2491 = 22.569 - 27.5699 - 26.5 - 21.71 n = 22.569 - 27.5699 - 26.5 - 22.549 = 22.569 - 27.5699 - 26.5 - 22.549 = 22.5699 - 27.5699 - 26.5 - 26.549 = 22.5699 - 27.5699 - 27.5699 - 26.5 - 26.7599 - 26.7599 - 26.

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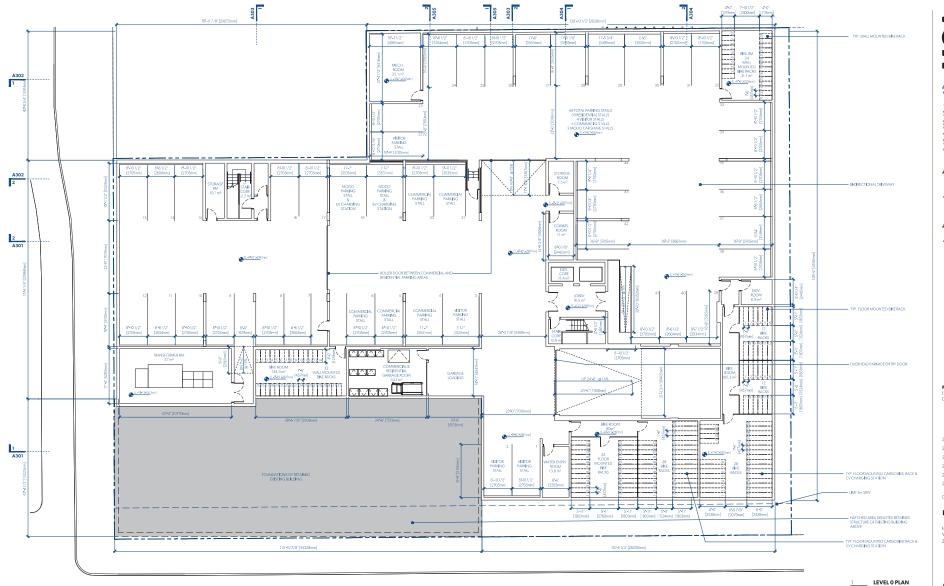
DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

AVERAGE GRADE CALC.







Commands	540pp 5 3 3 5 540pp 5 2
CAST	2
Marcia M	2
	44
PESPENTIAL	
RESTAURANT	96 8 (pro 5
NETALL/MANUS	128
FLOORHOUSTED MICHS FLOORHOUSTED CARSO MICHS WALL-MOUNTED MICHS	1
EVID-MACING STATIONS	160
	40 56
BEYCLE PARRING I SHORT TERM	40
	40 56

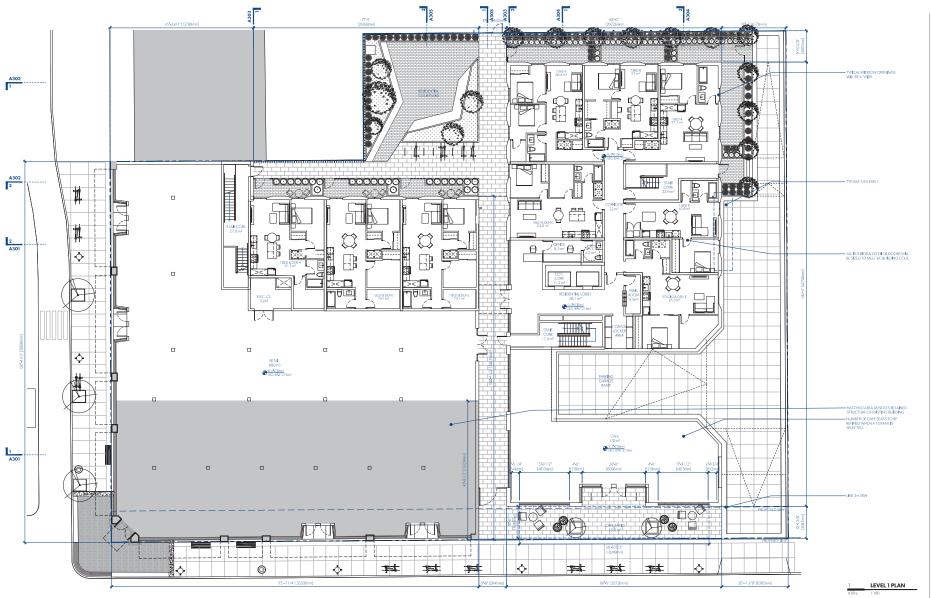
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PARKWAY







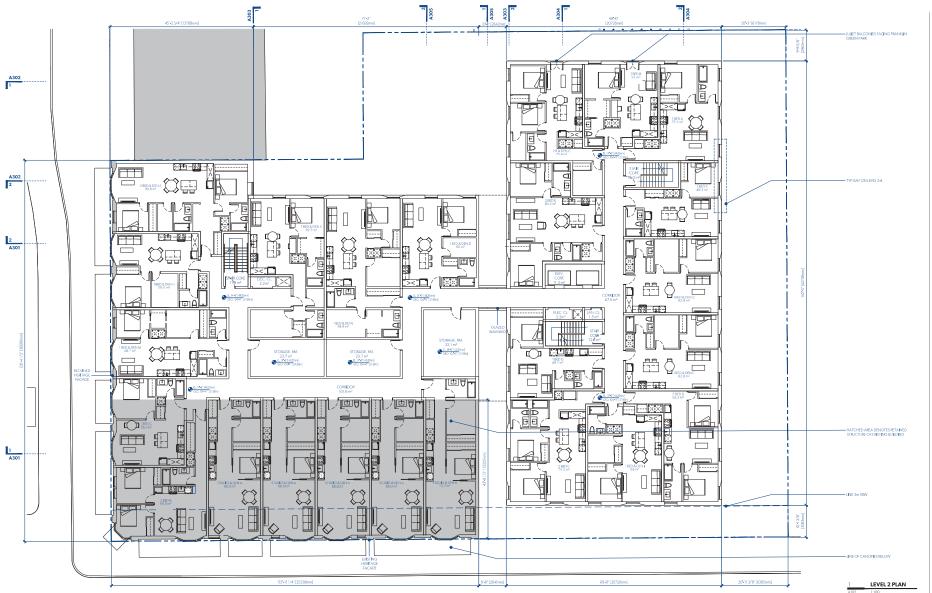
MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC
CANADA V6j 1j8

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CANADA V6j 1j8

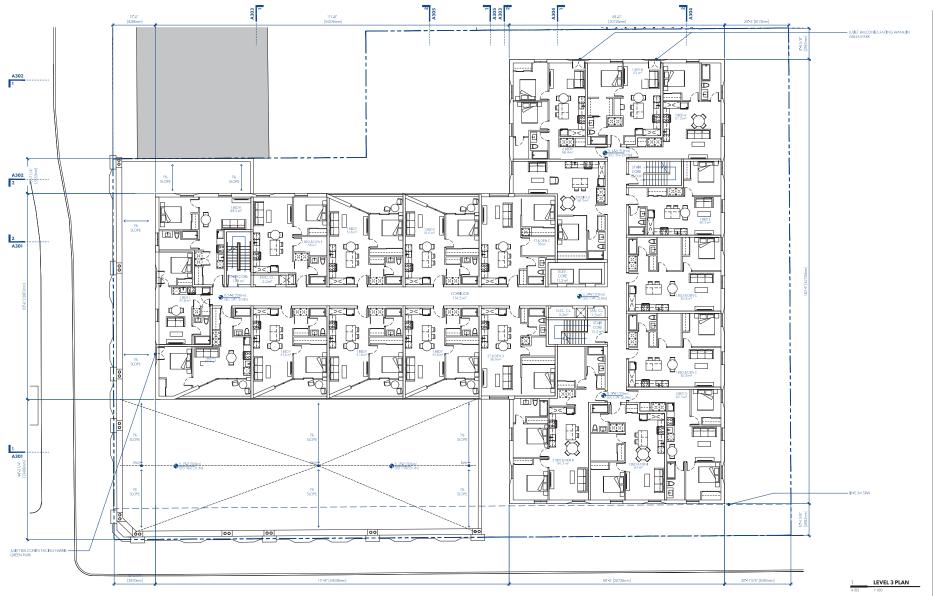
REVISED FOR REZONING 2020-03-20 REMISED FOR REZONING
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2019-09-13 REMISED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

2019-05-15







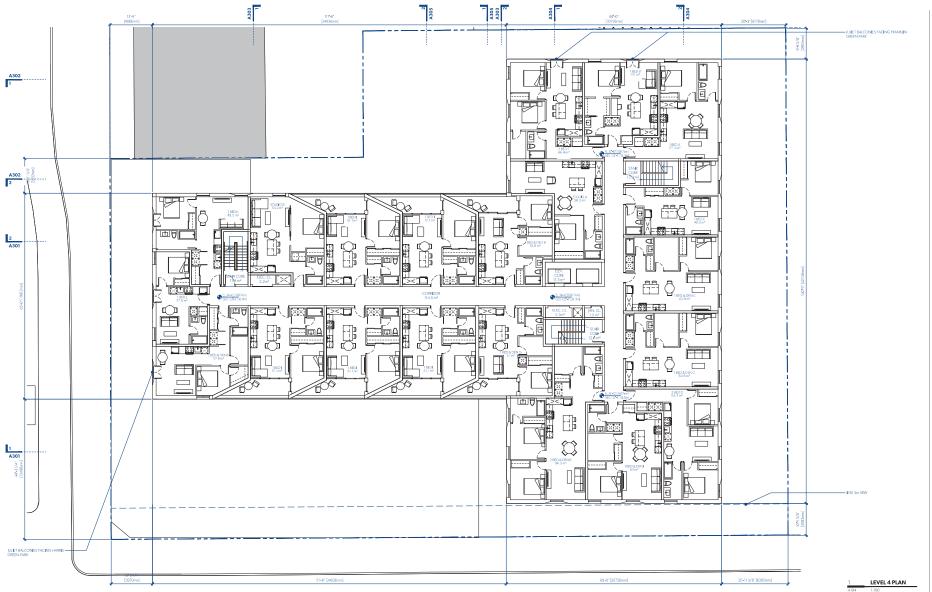
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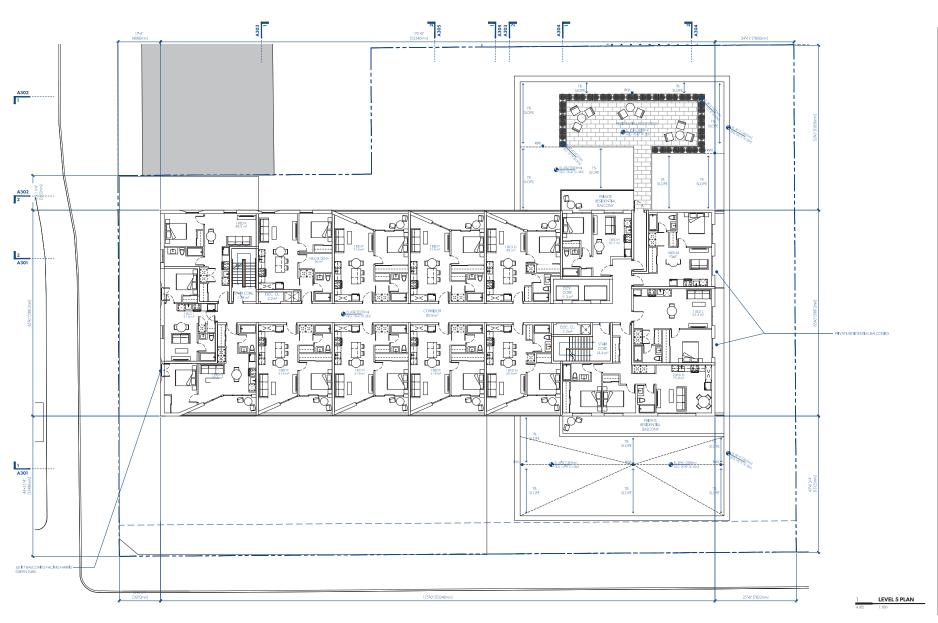
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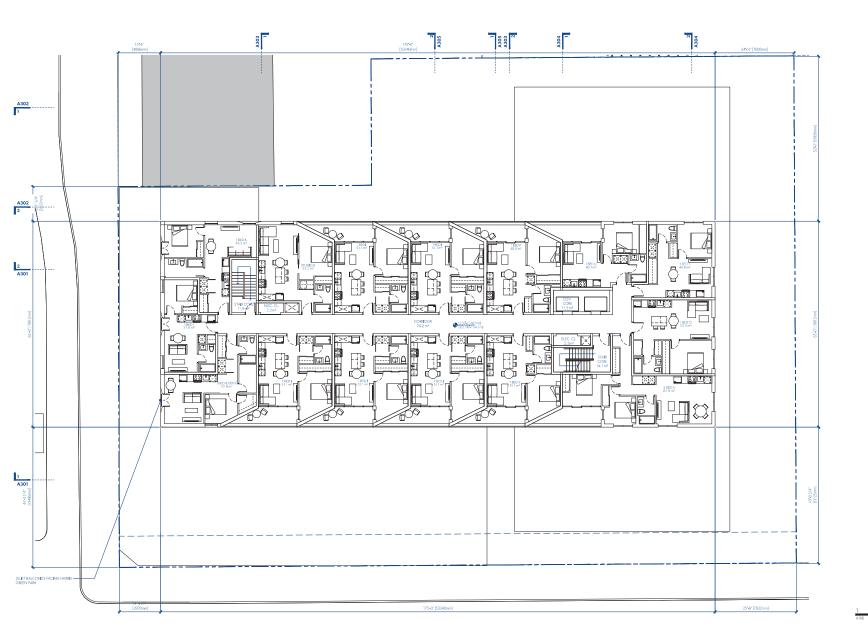
MICHAEL GREEN ARCHITECTURE
1535 W 3RD AVENUE, VANCOUVER BC
CANADA V6J 1J8

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2019-03-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY







STUDIO A 56.3 STUDIO B 53.2 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4 | 1.4

MICHAEL GREEN ARCHITECTURE
1535 W 3RD AVENUE, VANCOUVER BC
CANADA V6J 1J8

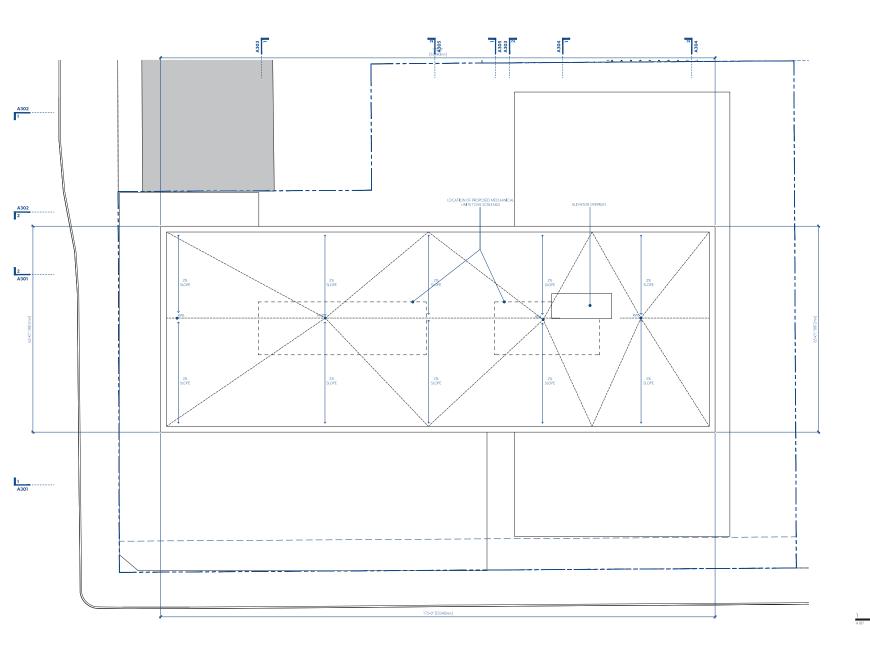
2020-07-15 REVISED FOR REZONING
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2019-03-13 REVISED FOR REZONING
2019-03-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

LEVEL 6 PLAN







2020-11-13 REWISED FOR REZONING
2020-07-15 REWISED FOR REZONING
2020-03-20 REWISED FOR REZONING
2019-03-30 REWISED FOR REZONING
2019-09-13 ENUSED FOR REZONING
2019-09-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

ROOF PLAN











SHT GREY & MID GREY COLOUR UCCO RAINSCREEN WALL SYST A UGHT GRAIN FINISH.



TRANSPARENT GLAZING WITH DARK GREY FRAMES

-	_	-	_





JULET BALCONIES WITH CLEAR GLAS ON LIVING SPACE WINDOWS FACIN FRANKLIN GREEN PARK & HARRIS GREEN PARK

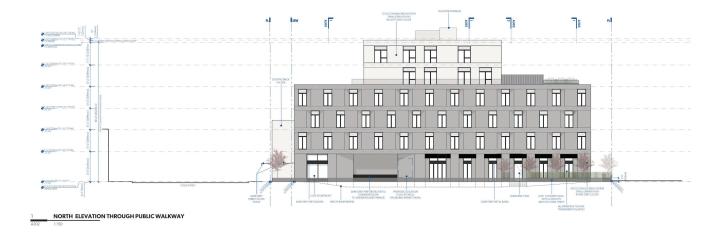
MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1J8

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2019-10-30	Δ	REVISED FOR REZONING
2019-09-13	A	REVISED FOR REZONING
2019-05-15	△	ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY







WEST ELEVATION











MICHAEL GREEN ARCHITECTURE

1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1JB

2020-07-15 A REVISED FOR REZONING 2020-03-20 A REVISED FOR REZONING 2019-10-30 2 REVISED FOR REZONING

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DATE REVISION DESCRIPTION

PARKWAY

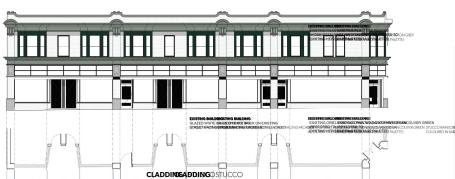




COOK ST ORIGINAL ELEVATION STUDY



COOK ST PROPOSED ELEVATION STUDY



PANDORA AVE ORIGINAL ELEVATION STUDY



4 PANDORA AVE PROPOSED ELEVATION STUDY

RALITY





EXSTING SHETE GIAZID BRICK

VICTIME OULDING

SACRES

CON EXISTING

18 STING STREET FACING FOR THE SACRES

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ON LIVING SPACE WINDOWS FACI FRANKLIN GREEN PARK & HARRIS GREEN PARK

> MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA VOJ IJB

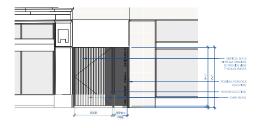
DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 15 8 COOK STREET VICTORIA, BC 2018-001

A203
HERITAGE ELEVATION STUDY

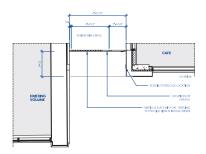




ENTRY GATE (CLOSED) - ELEVATION

1/ENTRY GATE (CLOSED) - ELEVATION

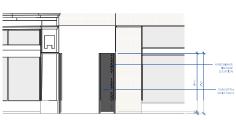
1-50



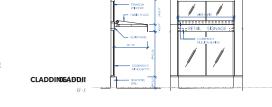
3 ENTRY GATE (CLOSED) - PLAN A101 1/4" = 1'-0"

ENTRY GATE (CLOSED)TRYLGNTE (CLOSED) - PLAN

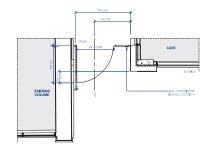
PLAN 3

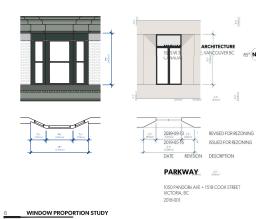


2 ENTRY GATE (OPEN) - ELEVATION
2007 2 1/4" = V-ENTRY GATE (OPEN) - ELEVATION
ENTRY GATE (OPEN) - ELEVATION
ENTRY GATE (OPEN) - ELEVATION



5 CANOPY & SIGNAGE STUDY





A204
FACADE STUDIES



A20A20
FACA RETURNIT INSURER REZONING
RESURER

SHEET DATE TIME STAMP 09/03/19





PANDORA AVENUE STREETSCAPE



COOK STREET STREETSCAPE

MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1J8

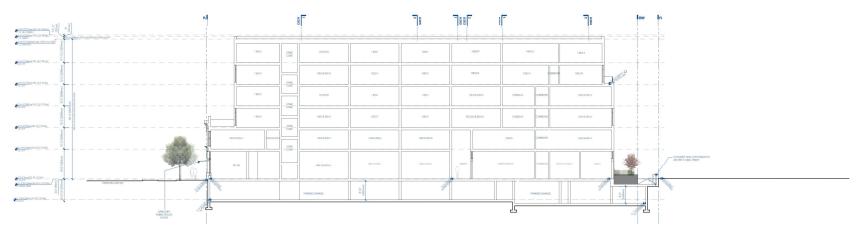
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2000-03-00 REMISED FOR REZONING
2019-03-00 REMISED FOR REZONING
2019-06-31 EMISED FOR REZONING
2019-06-31 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY







SECTION LOOKING WEST THROUGH NEW 6 STOREY VOLUME





\rightarrow	-	
		-





MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1JB

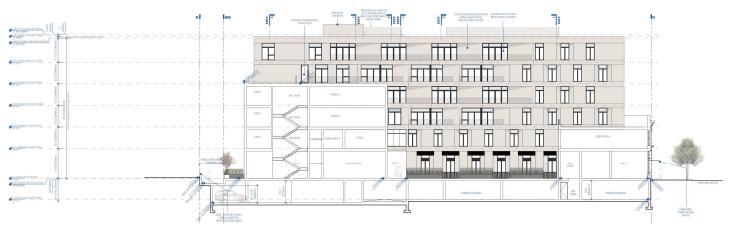
2020-11-13	<u>\(\) \(\) \(\) \(\)</u>	REVISED FOR REZONING
2020-07-15	\triangle	REVISED FOR REZONING
2020-03-20	A	REVISED FOR REZONING
2019-10-30	<u>A</u>	REVISED FOR REZONING
2019-09-13	Δ	REVISED FOR REZONING
2010 05 15	6	ISSUED FOR RETONING

DATE REVISION DESCRIPTION

PARKWAY







SECTION LOOKING EAST THROUGH NEW 4 STOREY VOLUME & EXISTING BUILDING









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MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1J8

2020-11-13	\(\sigma\)	REVISED FOR REZONING
2020-07-15	Δ	REVISED FOR REZONING
2020-03-20	Δ	REVISED FOR REZONING
2019-10-30	Δ	REVISED FOR REZONING
2019-09-13	A	REVISED FOR REZONING
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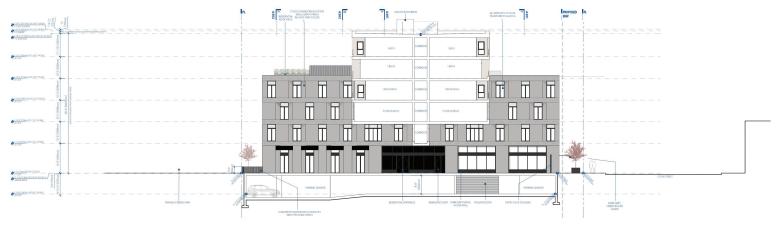
DATE REVISION DESCRIPTION

PARKWAY





SECTION LOOKING NORTH THROUGH EXISTING BUILDING & NEW 6 STOREY VOLUME



SECTION LOOKING NORTH THROUGH NEW 6 STOREY VOLUME













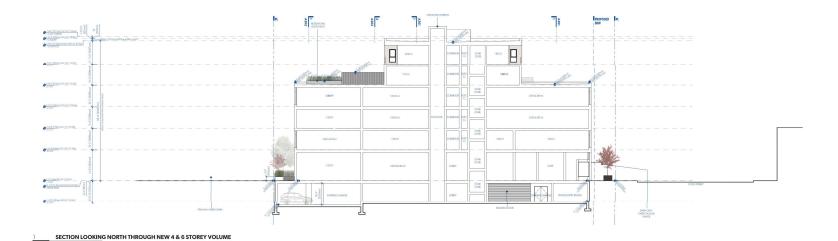
MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1JB

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2020-07-15		REVISED FOR REZONING
2020-03-20	<u>A</u>	REVISED FOR REZONING
2019-10-30	2	REVISED FOR REZONING
2019-09-13	A	REVISED FOR REZONING
2019-05-15	2	ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY





STAR STAIR CORE STAR

SECTION LOOKING SOUTH THROUGH NEW 4 & 6 STOREY VOLUME









MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1JB

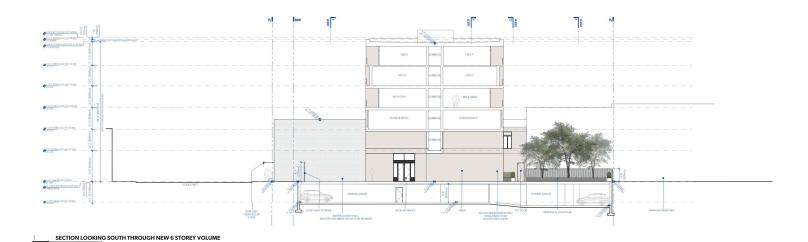
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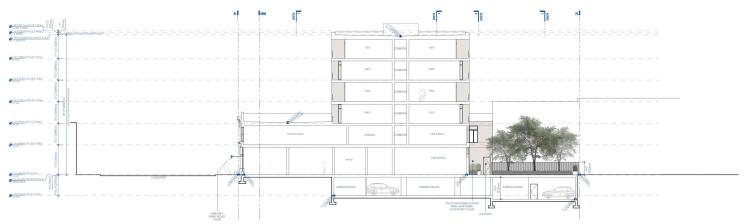
2019-09-13 REVISED FOR REZONING
2019-05-15 SSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY







SECTION LOOKING SOUTH THROUGH EXISTING BUILDING NEW 6 STOREY VOLUME







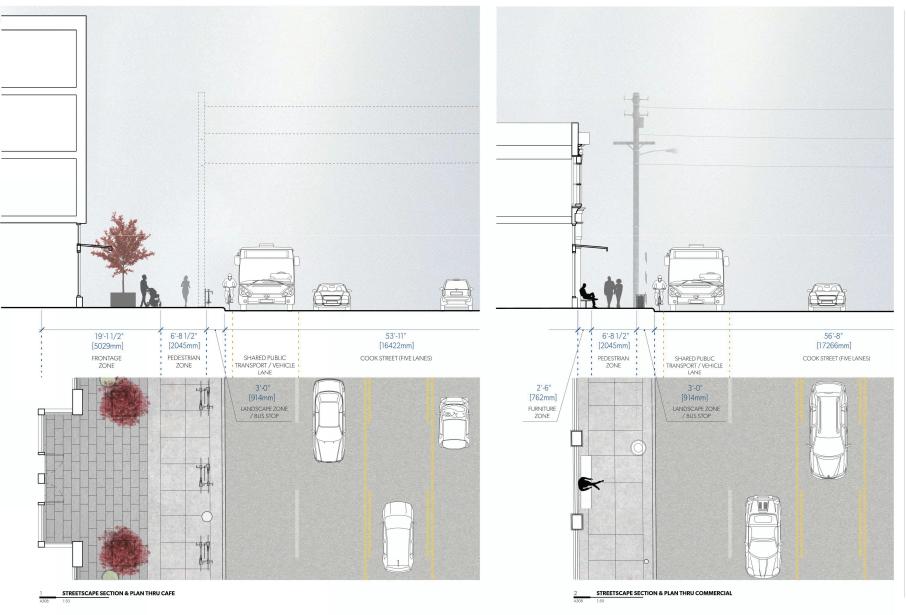


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2019-05-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY















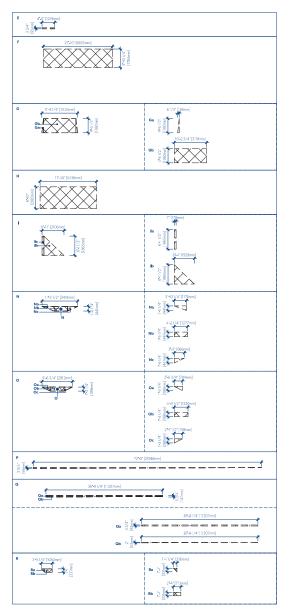


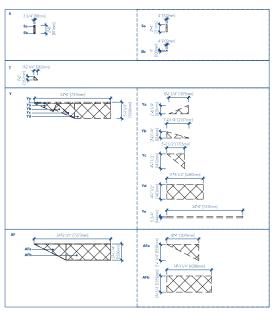
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2019-09-13	Δ	REVISED FOR REZONING
2019-05-15		ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY









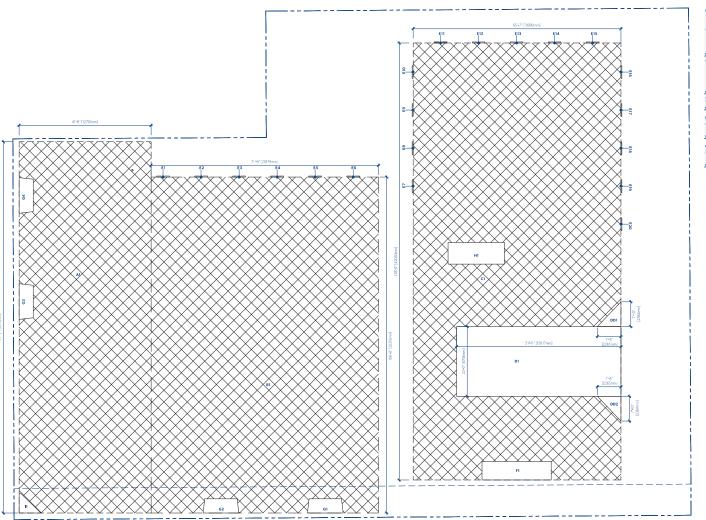
DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

CALCULATIONS LEGEND







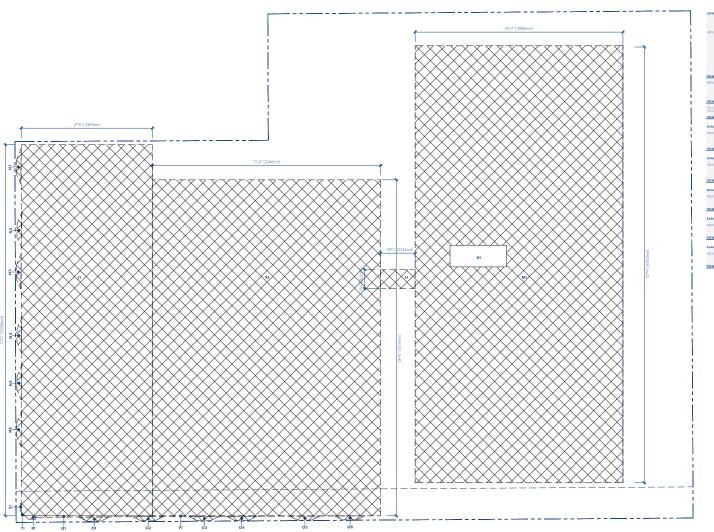
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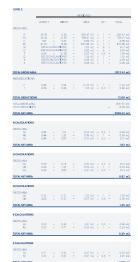
DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A801





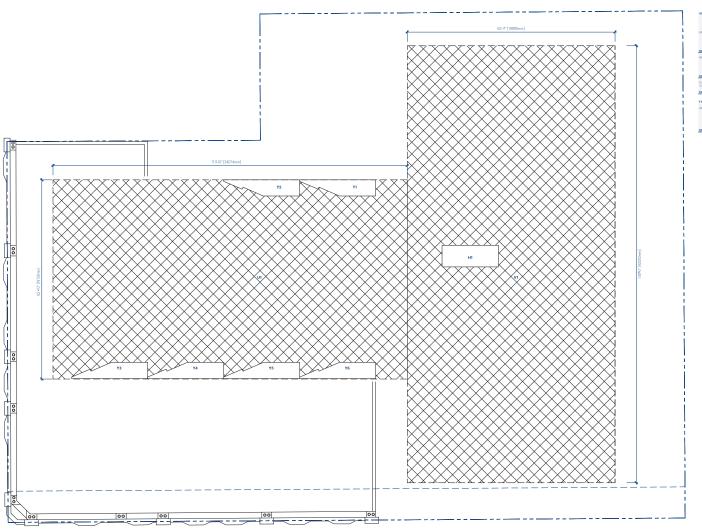
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DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A802 FSR LEVEL 2





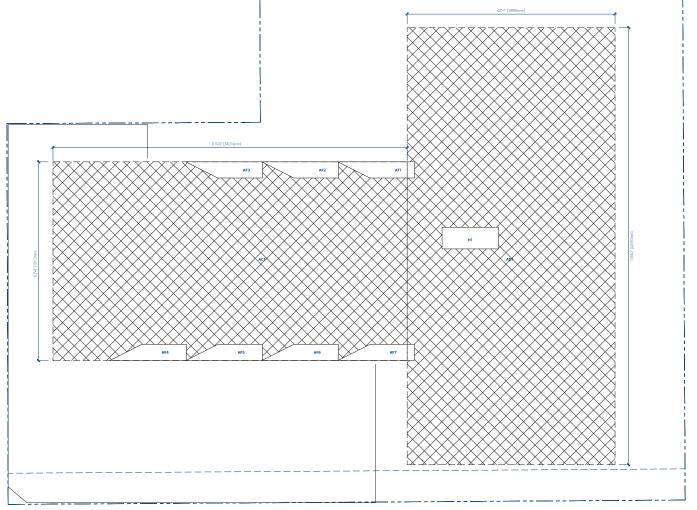
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2019-05-15 I SSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A803 FSR LEVEL 3







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2020-07-15 A REVISED FOR REZONING

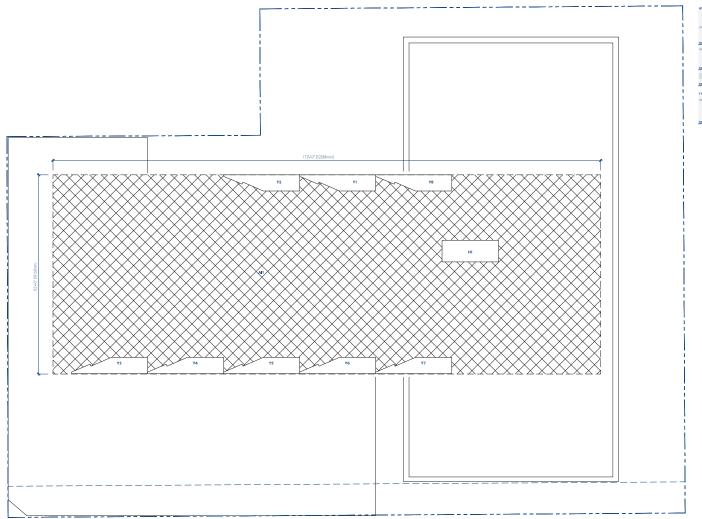
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2019-05-15 A REVISED FOR REZONING
2019-05-15 I SSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A804 FSR LEVEL 4







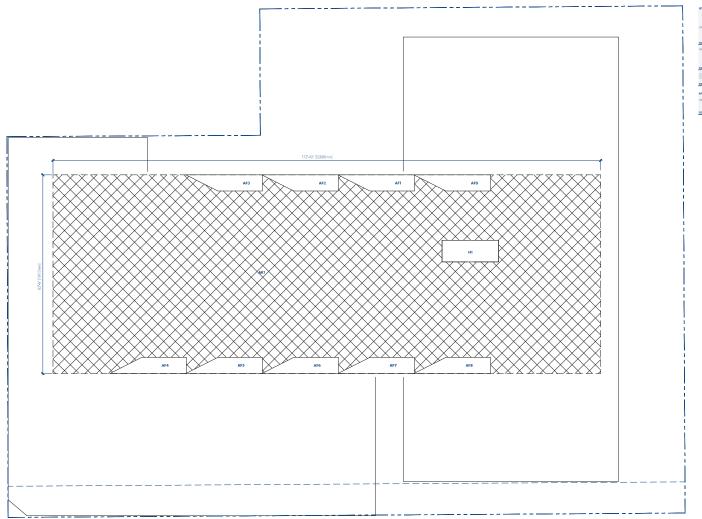
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2009-03-20 REVISED FOR REZONING
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2019-03-15 ENSIGED FOR REZONING
2019-03-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A805 FSR LEVEL 5 FSR LEVEL 5







2009-11-13 REVISED FOR REZONING
2009-07-15 REVISED FOR REZONING
2009-03-20 REVISED FOR REZONING
2019-03-10 REVISED FOR REZONING
2019-03-15 ENSIGED FOR REZONING
2019-03-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A806 FSR LEVEL 6 FSR LEVEL 6







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DATE REVISION DESCRIPTION

PARKWAY









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2019-09-13 REVISED FOR REZONING
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DATE REVISION DESCRIPTION

PARKWAY









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DATE REVISION DESCRIPTION

PARKWAY







2020-11-13 REWISED FOR REZONING
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2019-09-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET WICTORIA, BC 2018-001

A814 3D RENDERS













2020-11-13 REWISED FOR REZONING
2020-07-15 REWISED FOR REZONING
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2019-03-30 REWISED FOR REZONING
2019-09-13 ENGISED FOR REZONING
2019-09-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY





ADJACENT PROPERTY STUDY | VIEW WEST ACROSS COOK STREET



ADJACENT PROPERTY STUDY | VIEW SOUTHWEST DOWN COOK STREET



ADJACENT PROPERTY STUDY | VIEW EAST ACROSS FRANKLIN GREEN PARK



ADJACENT PROPERTY STUDY | VIEW WEST ALONG NORTH WALKWAY



MICHAEL GREEN ARCHITECTURE 1535 W 3RD AVENUE, VANCOUVER BC CANADA V6J 1J8

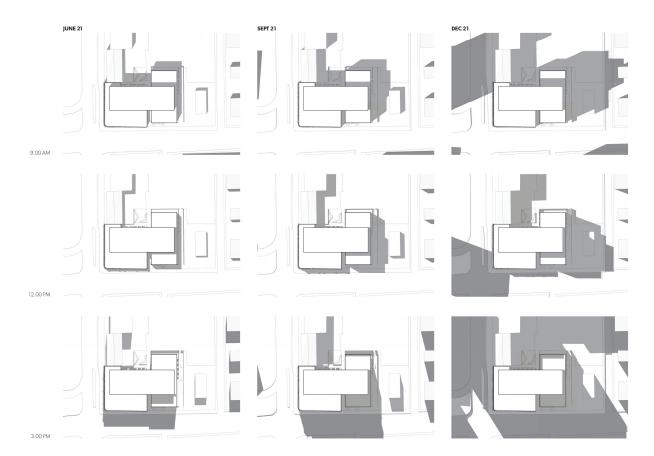
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2019-10-30 REVISED FOR REZONING
2019-09-13 REVISED FOR REZONING
2019-09-15 ISSUED FOR REZONING

DATE REVISION DESCRIPTION

PARKWAY

1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001







MICHAEL GREEN ARCHITECTURE
1535 W 3RD AVENUE, VANCOUVER BC
CANADA V6J 1JB
85°

DATE REVISION DESCRIPTION

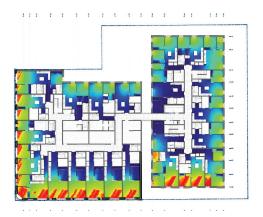
PARKWAY

SOLAR IMPACT ANALYSIS

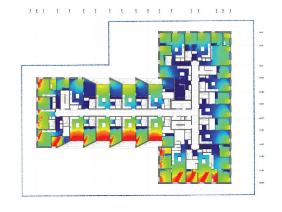
1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001

A821 SOLAR IMPACT ANALYSIS









LEVEL 4, 9:00 AM, 34.83 (LUX)

LEVEL 4, 3:00 PM, 34.83 (LUX)

MICHAEL GREEN ARCHITECTURE
1535 W 3RD AVENUE, VANCOUVER BC
CANADA V6J 1J8

DATE REVISION DESCRIPTION

PARKWAY

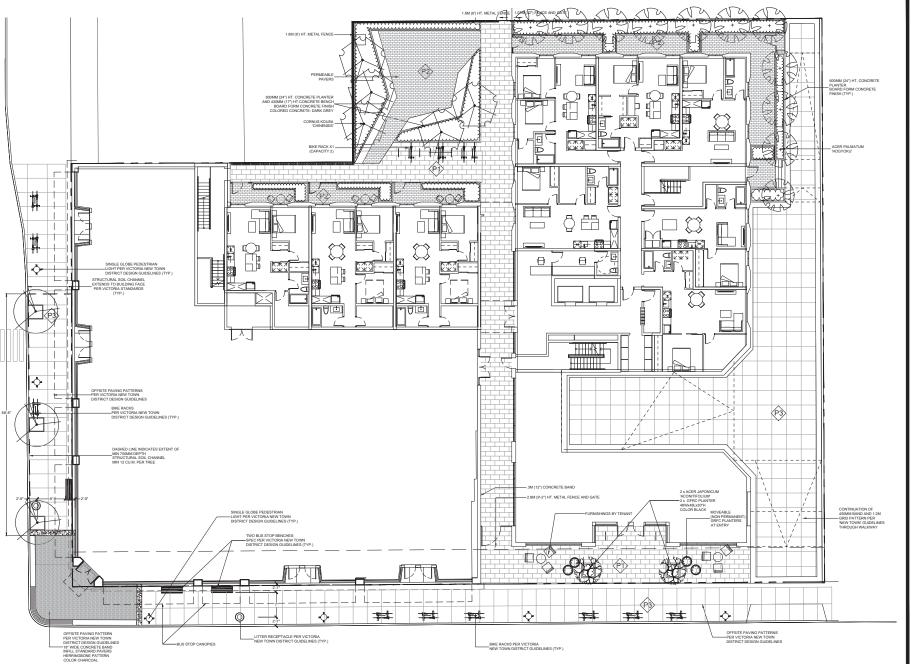
1050 PANDORA AVE + 1518 COOK STREET VICTORIA, BC 2018-001



LEVEL 2, 3:00 PM, 14.50 (LUX)

LEVEL 2, 9:00 AM, 14.50 (LUX)

LEVEL 3, 3:00 PM, 24.67 (LUX)



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LANDSCAPE ARCHITECTS
Sulle C100 - 4185 Still Creek Drive
Bumaby, Brish Columbia, VSG 6G9
p: 604 294-0011; f: 604 294-0022

SEAL:





15	20.0CT.29	REV. COOK STREET FRONTAGE	BA.
14	20.5EP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	EA.
13	20.JUL.14	REZONING RESUBMISSION	EA.
12	20.JUN.29	REV. PER CLIENT COMMENTS	EA.
11	20.FEB.03	ISSUED FOR TENDER	BA.
10	19.DEC.05	ISSUED FOR BP	EA.
9	19.NOV.28	100% BP SET	EA.
8	19.NOV.04	90% CD SET	EA.
7	19.0CT.23	NEW GROUND FLOOR PLAN	00
6	19.0CT.22	REVISION	00
5	19.0CT.21	NEW SITE PLAN&CLIENT REQUEST	DD
3	19.0CT.03	60% CD SET	EA.
2	19.559.27	REZOMING	EA.
1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	BA.
-	19.JUL 29	30% BP SUBMISSION	EA.

NO. DATE REVISION DESCRIPTION

CLIENT

PROJECT:

PARKWAY MIXED USE DEVELOPMENT

1050 PANDORA AVENUE VICTORIA, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE:	19.JUL.10	DRAWING I
SCALE:	1:100	
DRAWN:	BA	- 1
DESIGN:	BA	_
CHKD:		

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SEAL:



15	20.0CT.29	REV. COOK STREET FRONTAGE	BA.
14	20.5EP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	BA.
13	20.JUL.14	REZONING RESUBMISSION	BA.
12	20.JUN.29	REV. PER CLIENT COMMENTS	BA.
11	20.FEB.03	ISSUED FOR TENDER	BA.
10	29.DEC.05	ISSUED FOR BP	BA.
3	19.NOV.28	100% BP SET	BA.
8	19.NOV.04	90% CD SET	BA.
7	19.0CT.23	NEW GROUND FLOOR PLAN	00
6	19.0CT.22	REVISION	00
5	19.0CT.21	NEW SITE PLANSCLIENT REQUEST	DD
3	19.0CT.03	60% CD SET	BA.
2	19.559.27	REZONING	BA.
1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	ĒΑ
-	19.JUL.29	30% BP SUBMISSION	BA.
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT

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PARKWAY MIXED USE DEVELOPMENT

1050 PANDORA AVENUE VICTORIA, BC

DRAWING TITLE:

SHRUB PLAN

DATE:	19.JUL.10	DRAWING NUMB
SCALE:	1:100	
DRAWN:	BA	ーリフ
DESIGN:	BA	
CHKD:		0

OFFSITE: TYPE A WOOD BENCH WITH BACKREST HERITAGE BENCH, ALUMINUM FRAME, OAK SLATS GLOSSY BLACK (RAL 9017) PER NEW TOWN GUID

OFFSITE: BIKE RACK CAPACITY 2 STANDARD BIKE RACK, GLOSSY BLACK (RAL 9017) PER NEW TOWN GUIDELINES

ONSITE: BIKE RACK CAPACITY 2 MAGLIN MBR500-S, GLOSS BLACK

ROOF LANDSCAPE LEGEND

SEDUM TILE - ETERA 'COLOR MAX'

SEDUM TILE - ETERA 'ALL SEASONS'

SEDUM TILE - ETERA 'BLUE MIX'

BASALT GRAVEL - 50MM CLEAR

AUTUMN GOLD PEBBLE - NORTHWEST LANDSCAPE SUPPLY 770635 20-30MM

DAZZLING WHITE PEBBLE - NORTHWEST LANDSCAPE SUPPLY 770745 20-30MM

MEXICAN SUNBURST PEBBLE - NORTHWEST LANDSCAPE SUPPLY MSB1375 25-75MM

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BARKMAN NEWPORT ROUND 36DX22H, GFRC PLANTER, COLOR EBONY 0

© 2 LITTER RECEPTACLE

CALAMAGROSTIS ACUTIFLORA BUXUS M. KOREANA

80

ACER JAPONICUM 'ACONITIFOLIUM'

ACER PALMATUM 'HOGYOKU' CORNUS KOUSA 'CHINENSIS' STREET TREE



SHRUB B GRASS K C CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS CAREX OSHIMENSIS 'EVERGOLD' JAPANESE SEDGE

FERNLEAF FULL MOON MAPLE

JEWEL JAPANESE MAPLE CHINESE KOUSA DOGWOOD COORDINATE WITH PARKS DEPT

CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM THAT MEETS CURRENT HABC STANDARDS. DEVELOPER AND/OR LANDSCAPE ARCHITECT TO REVIEW DESIGN PRIOR TO INSTALLATION.



G1 - 'COLOR MAX



G2 - 'ALL SEASONS'



G4 - 50MM CLEAR BASALT GRAVEL



G5 - AUTUMN GOLD PEBBLE



G6 - MEXICAN SUNBURST PEBBLE



G7 - DAZZLING WHITE PEBBLE

MATERIALS LEGEND

◈

EXPOCRETE AQUAROC STANDARD SIZE, PERMEABLE PAVER COLOR GREY

450MM (18') CONCRETE BAND W/ 1.2M SAWCUT GRID PER VICTORIA NEW TOWN GUIDELINES



1.8M (6') HT. PERIMETER FENCE AND GATE AT COURTYARD 2 2M (9'-2") HT. FENCE AND GATE AT ENTRANCE TO MEWS.

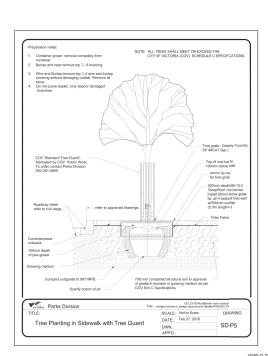


1.07M (42") HT. FENCE AND GATES AT PATIOS





P1 - BARKMAN BROADWAY 24X12" P2 - EXPOCRETE AQUAROC PERMEABLE PAVER





SEAL:

PLANTED SIZE / REMARKS

2.5M HT: SPECIMEN



15	20.0CT.29	REV. COOK STREET FRONTAGE	54
14	20.5EP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	54
13	20.JUL.14	REZONING RESUBMISSION	54
12	20.JUN.29	REV. PER CLIENT COMMENTS	54
11	20.FEB.03	ISSUED FOR TENDER	54
10	19.DEC.05	ISSUED FOR BP	54
9	19.NOV.28	100% BP SET	54
8	19.NOV.04	90% CD SET	2
7	19.0CT.23	NEW GROUND FLOOR PLAN	DE
6	19.0CT.22	REVISION	- 00
5	19.0CT.21	NEW SITE PLAN&CLIENT REQUEST	D
3	19.0CT.03	60% CD SET	2
2	19.559.27	REZONING	2
1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	2
-	19.JUL 29	30% BP SUBMISSION	2
NO.	DATE	REVISION DESCRIPTION	DF

CLIENT

PROJECT:

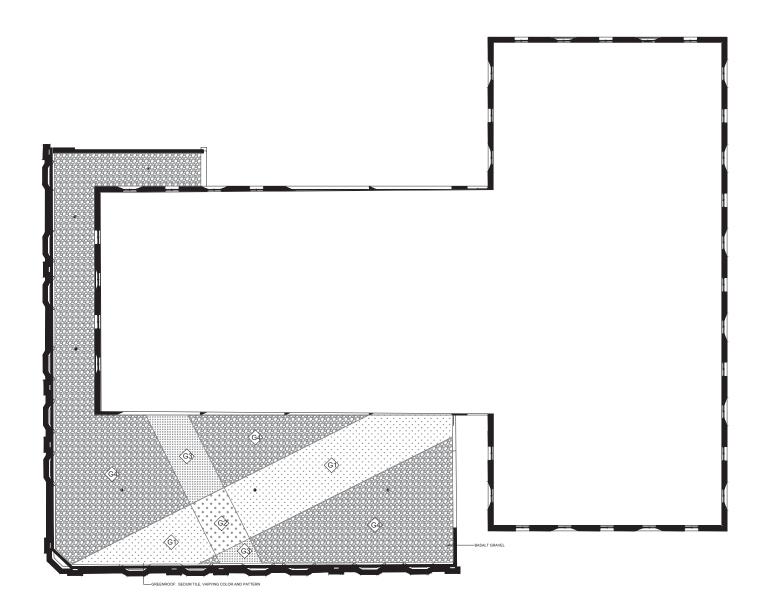
PARKWAY MIXED USE DEVELOPMENT

1050 PANDORA AVENUE VICTORIA, BC

LANDSCAPE **DETAILS**

DATE:	19.JUL.10	DRAWING NUMBER
SCALE:	AS SHOWN	
DRAWN:	BA	13
DESIGN:	BA	
CHKD:		OF 9

18240-15.ZIP PMG PROJECT NUMBER:



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12	20.JUN.29 20.FEB.03	REV. PER CLIENT COMMENTS ISSUED FOR TENDER	- 0
10	19.DEC.05	ISSUED FOR BP	-
8	19.NOV.04	90% CD SET	
7	19.0CT.23	NEW GROUND FLOOR PLAN	- 0
6	19.0CT.22	REVISION	- 0
5	19.0CT.21	NEW SITE PLANS/CLIENT REQUEST	- 0
3	19.0CT.03	60% CD SET	
2	19.5EP.27	REZONING	
	21 AUG 10	REV. PER CITY/CLIENT COMMENTS	_

CLIENT:

PROJECT:

PARKWAY MIXED USE DEVELOPMENT

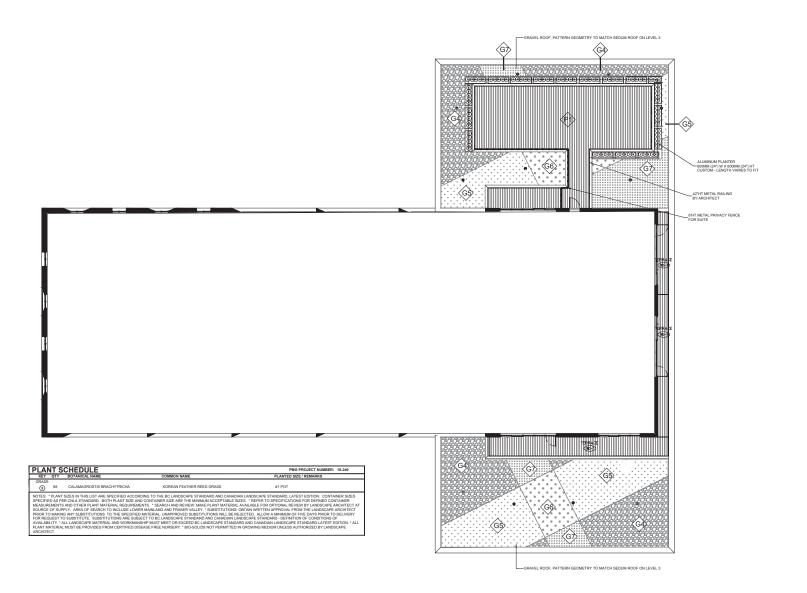
1050 PANDORA AVENUE VICTORIA, BC

DRAWING TITLE:

LEVEL 3 ROOF LANDSCAPE

-	DATE:	19.JUL.10	DRAWING NUMBER
1	SCALE:	1:100	
1	DRAWN:	BA	14
1	DESIGN:	BA	
-	CHKD:		OF 9

18240-15-21P PMG PROJECT NUMBER: 18240



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SEAL:



14	20.5EP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	
13	20.JUL.14	REZONING RESUBMISSION	
12	20.JUN.29	REV. PER CLIENT COMMENTS	
11	20.FEB.03	ISSUED FOR TENDER	
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7	19.0CT.23	NEW GROUND FLOOR PLAN	
6	19.0CT.22	REVISION	
5	19.0CT.21	NEW SITE PLAN&CLIENT REQUEST	-
3	19.0CT.03	60% CD SET	
2	19.559.27	REZONING	
1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	
-	19.JUL 29	30% BP SUBMISSION	
JO.	DATE	REVISION DESCRIPTION	D

CLIENT:

PROJECT:

PARKWAY MIXED USE DEVELOPMENT

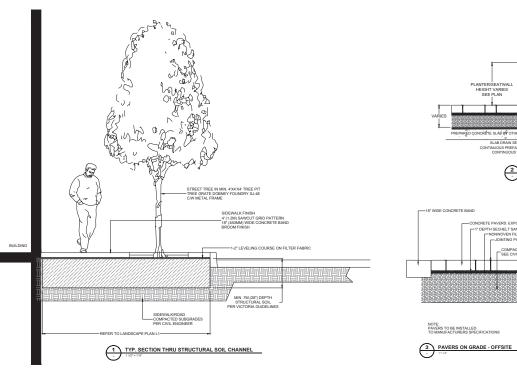
1050 PANDORA AVENUE VICTORIA, BC

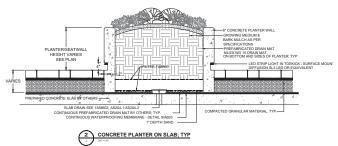
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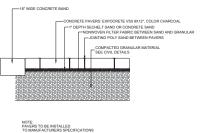
LEVEL 5 ROOF LANDSCAPE

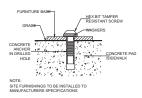
- 1	DATE:	19.JUL.10	DRAWING NUMBER
-	SCALE:	1:100	
1	DRAWN:	BA	15
1	DESIGN:	BA	
1	CHKD:		OF 9

18240-14-ZIP PMG PROJECT NUMBER:

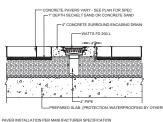




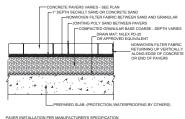




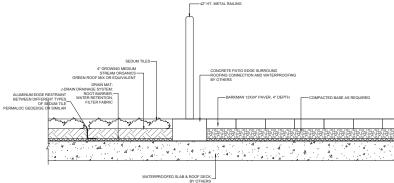
SITE FURNITURE MOUNTING
NTS.



5 AREA DRAIN WITHIN PAVERS ON SLAB



6 CONCRETE PAVERS ON SLAB



7 TYP. SEDUM ROOF LEVEL 3 AND 5, TYP. PATIO LEV 5

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ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, VSC 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



	20.550.03	BEV, DEB CITY COMMENTS - DESCRIP DAVING	_
	20 111 14	BEZONING BEST BARSSON	-
12	20.JUN.29	REV. PER CLIENT COMMENTS	-
11	20.FEB.03	ISSUED FOR TENDER	
10	19.DEC.05	ISSUED FOR BP	
9	19.NOV.28	100% BP SET	
8	19.NOV.04	90% CD SET	_
7	19.0CT.23	NEW GROUND FLOOR PLAN	
6	19.0CT.22	REVISION	_
5	19.0CT.21	NEW SITE PLAN&CLIENT REQUEST	
3	19.0CT.03	60% CD SET	_
2	19.559.27	REZONING	
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NO	DATE	REVISION DESCRIPTION	Г

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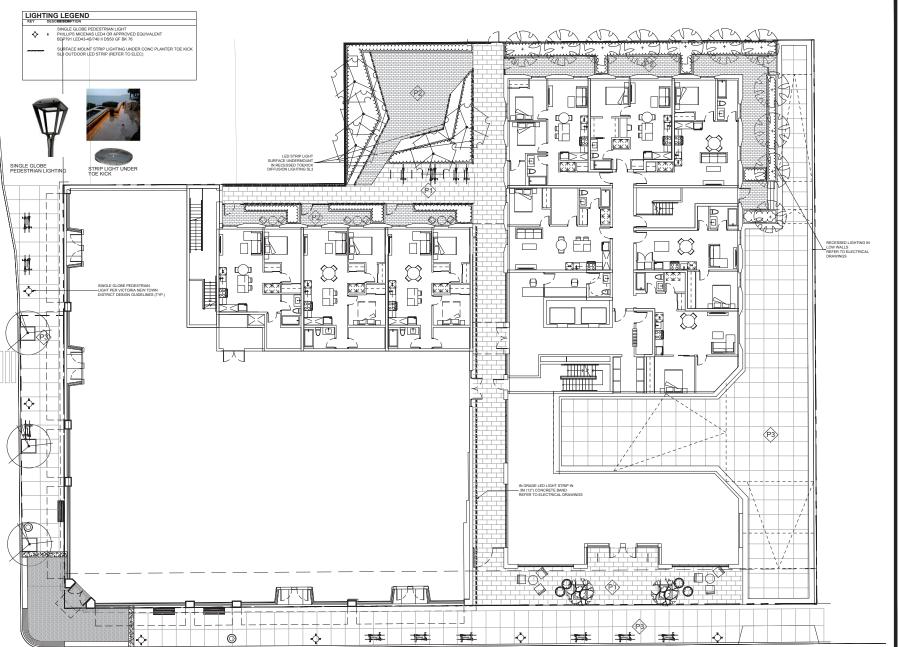
PARKWAY MIXED USE DEVELOPMENT

1050 PANDORA AVENUE VICTORIA, BC

LANDSCAPE **DETAILS AND SECTIONS**

- 1	DATE:	19.JUL.10	DRAWING NUMBER
-	SCALE:	AS SHOWN	
-	DRAWN:	BA	16
-	DESIGN:	BA	
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18240-14-ZIP PMG PROJECT NUMBER:



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SEA



15	20.0CT.29	REV. COOK STREET FRONTAGE	
14	20.5EP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	
13	20.JUL.14	REZONING RESUBMISSION	
12	20.JUN.29	REV. PER CLIENT COMMENTS	
11	20.FEB.03	ISSUED FOR TENDER	
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1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	
-	19.JUL.29	30% BP SUBMISSION	
NO.	DATE	REVISION DESCRIPTION	E

CLIENT

PROJECT:

PARKWAY MIXED USE DEVELOPMENT

1050 PANDORA AVENUE VICTORIA, BC

RAWING TITLE:

LIGHTING LAYOUT PLAN

DATE: 19,JUL.10 DRAWING NUMB
SCALE: 1:100
DRAWN: BA
DESIGN: BA
CHKCD: 0

.2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not need specification.

.1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect

SITE REVIEW.

3. Glober the Ineres of the Landscape Architect's Centract with the Owner and where the Landscape Architect is the designated reviews. The Landscape Architect will also construction as an excessing in their opinion to exercise in the gases and applications. Central Central Representation to arrange for this determinant in the Central Central

are managa requesters.

If Start lip She Meeting, Landscape Contract lif separate). At the start of work with Owner's Depresentative, Sile Superinhendent and Landscape Contractor; a meeting is true had to receive separate work and to verify the acceptibility of the subgrade and general sile confilients to the Landscape Contractor. Provide growing medium had results

She did not recognized with a few rely the appear agree on continue no or accompanion continue.

John Program is No. 15 th contract and contraction accompanion group to the contract in the America of the contract and contract

Certifier as defined in the contract.

3. Defines places places from the text completion of the holistation princip, clack for completion of definitions. Once completes, 5 Section 2" will be reserved from the completion of the househyperind, clack for completion of definitions. Once completes, 5 Section 2" will be reserved the completes.

The complete for the reserved from the househyperind in-1" materials after industrial of the Certificial of Completion, cream all anneally animatic and expericomposed from the reserved production.

Whiess otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor.

 All werk and superintendence shall be performed by personnel skilled in tandscape contracting. In addition, all personnel applying harbicides and/or perhicides shall hold a current license issued by the appropriate authorities. 3 A site visit is required to become familiar with site conditions before bidding and before start of work

A. Confirm location of all services before proceeding with any work.

5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans

.8 Where new work connects with existing, and where existing work is aftered, make good to match existing undisturbed condition

.1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.

2 Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

1 Other conditions of Contract may apply. Confirm Scope of Work at time of tender.

consists of the following.

If Relations of the following Press share above as directly,

If the following the following the following as directly

If the following the f

Applications	Lew Traffic Areas. Trees and Large Shrubs	High Traffic Lawn Areas	Flanking Areas and Planters		
Growing Hedium Types	a	211	p		
Texture	Percent Of Dry Weight of Tetal Growing Medium				
Coarse Gravel larger than 25mm	0 - 1%	0 - 1%	0 - tx		
All Gravel larger than 2nm	0 - 5%	0 - 5%	4 - 5%		
	Percent Of Dry Weight of Growing Medium Excluding Gravel.				
Sand: larger than 0.05mn smaller than 2.0mm	50 - 80%	76 - 90%	10 - 86%		
Sith larger than 0.002nm smaller than 0.05nm	n - 25X	0 - 15X	10 - 25X		
Clays smaller than 0.002mm	0 - 25X	0 - 15%	0 - 25X		
Clay and SR1 Combined	maximum 35%	nasinus 15%	maximum 35%		
Organic Content (coast):	3 - 18X	3-5X	10 - 20%		
Organic Content Enterior)	3 - 5%	3 - 5X	15 - 20%		
Acidity (pH)	68 - 7.0	6.0 - 7.0	45-65		
Orainage:	Percolation shall be such that no standing water is visible 66 minutes after at least 18 minutes of moderate to beauty rain or irrigation.				

2 Fertilizer: An organic and/or inorganic compound containing Nitrogen (MJ, Phosphale LES), and Potash (soluble 2) in proportions required by soil test.

3 Line Ground agricultural linestone, Meet requirements of the Canadian Landscape Standard.

A. Organic Additive: Commercial compact product to the requirements of the Canadian Lundscape Standard, lakest edition and pre-approved by the Lundscape illecommended suppliers: The Assaws Garden Products, Fraser Richmost Soils & Flave, Stream Organics Management.

5. Cosposted Birk Mulot: 18mm (EVET) minus Fir/Hestack bank chips and fines, free of chanks and sticks, dank brown in colour and free of all sail, stones, resits or other extraneous matter. Fresh orange in colour bank will be rejected.

J. Herbicides and Positicities. If used, must conform to all federal, previocial and local statutes. Appliers must hold current licenses issued by the appre

A Filter Fabric: A non-biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as MRRAFI NA NL, GCCLON NAS OR AMXCO 6545 or alternate product pre-approved by the Landscape Architect)

.9 Drainage Piping if required: Schedule 40 PVC naninal sizes.

.30 Drain Rock: Clean, round, inert, durable, and have a maximum size of 19nm and containing no material smaller than 10nm.

.11 Plant Material: To the requirements of the Canadian Landscape Standard. Refer to 3:9, Plants and Planting. All plant material must be p free nursery. Provide proof of certification.

.3 Supplier and institutes of segmental block valls to provide engineered drawings for all walls signed and souled drawings for all valls, includedly, in excess of 12m, or combinations of valls collectively in excess of 12m, institutions must be reviewed and signed off by Certified Professional Engineer; include cost of engineering services in Tander price.

.14 Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

EXEMBLEO DE COSTIGN TREES.

Never have your work with evertex individual trees or plant groupings indicated as retained on Landscape plans as regetation referring areas.

Never have your would never the Landscape Architect will hap trees or areas in remain. Glocuss tree referring means at a start-up meeting with the Landscape Architect.

2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local

3 No machine travel through or within receptation retention areas or under crowns of trees to be retained is allowed.

A. Do not stodipile soil, construction materials, or excavated materials within vegetation retention areas.

6 No debris fires, clearing fires or trash burning shall be permitted within vegetati

3. No occavations, drain or service frenches nor any other disruption shall be penalted within vegetation the Landscape Architect.

8 On not cut branches or roots of retained trees without the approval of the Landscape Architect

9 Any danged to existing vegetation intended for preservation will be subject to evaluation by an LSA. Certified Arbertst using the "Guide for Plant Aggraisal", Gighth Celtio 1992.
3.1 Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and or the averaging responsible for the disturbance.

.90 In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws.

.TI In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for neview prior to commencing

INVALS.

1. Essurs subgrade is prepared to conform to depths specified in Section 3.5, Growing Median Supply, below. Where planting is indicated close to existing trees, prepare sultable planting packets for material indicated on the planting pain. Shape subgrade to eliminate free standing water and conform to the site grading and drainage plan.

2 On slopes in excess of 31 trench subgrade across slape to 150nm (k*) minimum at 15m (5 ft.) intervals minimum

3 Scartly the entire subgrade immediately prior to placing growing medium. Re-cultivate where webicular traffic results in on Ensure that all planting areas are smoothly confoured after light compaction to finished grades.

A. Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum enablests defined by the Condon Landscape Chandrad.

5 Construct swales true to line and grade, smooth and free of sags or high points. Minimum slope 2X, maximum side slopes 10X. Assure

& Since not to exceed the following maximums Rough Grass 31, Lawn 41, Landscape plantings 21.

 Finished soil/mulch elevation at building to comply with nunicipal requirements. B Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch

ANDSCAPE DRANAGE 1. Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Crib Walls.

2 Veri broiseb. She finish grafing and surface designs, including and any principal projects and and oral bendering plans. For clarify basics shown an instruction glans for contributions, or certifications, contributions of the clarify basics shown an instruction glans for contributions for conscribing and any principal p

Execution
 De heraching and bacifiling in accordance with engineering details and specifications.
 Lay drains an propored bod, free to like and grade with inverts smooth and free of sags or high points. Ensure barrel of each pipe is in contact with bed throughout full.

The control of the co

GROWING MEDIUM TESTING concentration crisis.

Subsect representations usualised growing readour proposed for one on this propied in an independent identifiesty. Provide had results in Landacque Architect prior to displace, form required in broken.

The Propied properties. A Constitut of growing, seased, 400, day and regarding.

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Constitution (1996) of lander desired and reconstruction for regular statements.

3.6. Carbon/Ringon ined.
GERMAN GEREA SPORT AD PLACEMENT

- Sport and the process of the performance of the Centract. Do not load, transport or spread greeting medium when it is a well that it is structure is illedy to be

Supply all growing medium admixtures as required by the soil test. Amended crowing medium must must the presidentian for a

sames areas.

Throughly six required amendments into the full depth of the growing medium.

Throughly six required amendments into the full depth of the growing medium.

Place the anended growing medium in all gross and pileting areas. Spread growing medium in uniform layers not exceeding 6" (ISRms), ever uniform stranding water.

Nimition depths of grading median placed and compact by HEU
 St. De-grad
 No. Special Conference of the St. St. De-grad
 Prof. Special Conference of the St. Special Confere

5 Hanually spread growing medium/planting sail around existing trees, shrubs and obstacles

Finished grades shall conform to the elevations shown on landscape and site plans.

BOUGH GRASS AREA - SEEDING 3. General Buggle grass areas are noted on the dravings as "Buggh Censis". Treat all areas defined as rough grass between all properly lines of the project including all bullewords to edge froeds and lares.

2 Preparation of Surfaces: To Canadian Landscape Standard Class 3 Areas (Rough grass) Section 7.113
2.1 Clean existing sail by mechanical means of debris over 58mm in any dinemains.
2.2 Roughty grade surfaces to allow for maintenance specified and for positive drainage.

3. Time of Seeding: Seed from early spring (generally April: fal) to late fall (September 15th) of each year. Further extensions may be obtained on con A. Seed Supply 8. Testino, All seed must be athlated from a recognized seed supplier and shall be No. 1 grass minute delivered in certainers bearing the fail. A.1. Assigns of the seed mintors
A.2. Percentage of each seed type

nixture of Wildflowers with Hard Fescues [Terralink Coastal Wildflowers] with Hard Fescue or pre-appro 6. Fertilizer: Mechanical seeding. Apply a complete synthetic slow-release fertilizer with maximum 35% water soluble nitrogen and a formulation ratio of 18-18-19 - 50% subject ones coulded. TO high-half-MBMs/serie using a mechanical spenador.

3 Seeding: Apply seed at a rate of 1034H (168bs /acre) with a mechanical spreader. Incorporate seed into the top 1/4" (kinn) of soil and lightly company

A Acceptance Provide adequate protection of the seeded areas until conditions of acceptance have been met. Comply with Section 3.7 Hydroseeding

HYDROSEEDBNG .1. Hay be used as an attensate to mechanical seeding in rough grass areas.

2 May not be used in areas of Jawn unless pre-approved by the Landscape Architect prior to bidding.

3 Preparation and Growing Medium:
31 In areas of Rough Grass-Comply with Section 3.6 Rough Grass.
32 Where approved for use in areas of laws, comply with Section 3.8 Levin Areas Sadding.

3. Protection: Ensure that fertilizer in solution does not come in contact with the follage of any trees, shrubs, or other susceptible vegetation. On not spray used or mutch or objects not expected the group seas. Protect enabling site equipment, readvays, leadscoping reference paints, assuments, markers and structures from damage. Where containation socrar, rensers exeeding starts to substitution of and upware paymond by the indicage includes.

5 Mulch shall consist of wirgin wood fibre or recycled paper fibre designed for hydraulic seeding and dyed for ease of fife young fibre substitute use 155% by weight! Conform to Canadian Landscape Standard for mulch requirements.

.6 Water: Shall be free of any inpunities that may have an injurious effect on the success of seeding or may be hannful to the enviro

J. Equipment: Use industry standard hydroxials seeder/insider equipment with the hash volume certified by an identification piate or stricer affired in plain view on the equipment. The hydroxials seeder/insider shall be capable of sufficient application in an in the material into a hosogenous stary and in ministrail the sturry in a homogenous start until it is applied. The discharge purpose and parameters shall be capable of applicing the materials sufferingly were the designated error.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

A.1. All the time of Tender provide a complete chart of all components of the nix proposed includ
 A.2. Tentilizer:
 A.2.2 Tentilizer:
 A.2.3 Tentilizer:
 A.2.3 Tentilizer:
 A.2.4 Tentilizer:
 A.2.4 Tentilizer:
 A.2.5 Tentilizer:
 A.2.6 Tentilizer:
 A.2.7 Tentilizer:
 A.2.

3. Accurately nessure the quantities of each of the naherids to be charged into the table other by mass or by a commonly accupied system of mass-calibrated volume nessurements. The naherids shall be added to the task which is to being lifter with value, the following sequence, seed, furtibles. Thoroughty sic sits a homogeneous starry affect device, and on waither or other natural to the naherilar. One table starty in the table for one then four follows:

10 Distribute starry uniformly over the surface of the area to be hydroseeded. Diand application into previous applications and o

12 Maintenance Begin maintenance immediating offer seeding and certimes for 60 days after Solat smilet Completion and until accepted by the Guence. Par-seed all three week between 50 milet permission has falled. Twinted seeded areas from distance with logacy way since or have forecast complete with spaging and by your same to falled over by the complete seed of the property of the complete seed of the

3. Acceptance of the Rough Carsos Areas: Proper genitation of all specified grass species in the responsibility of the Lindscape Centractor. The grass shall be reasonably under substance of the support of sold or been upon and shall be reasonably from of ventor in Lindscape Standard, Societion 10 Maintenance Level 4 Signs specified, and the support of sold or support of sold or the support of sold or support o

.1 General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of reads and lands 2. Growing Medium: Comply with Section 22.1 Growing Medium. Prior to sadding, request an inspection of the finished grade, and depth and condition of growing medium by the Landscame Enrighted:

3 Time of Sodding. Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architec

Sed Supply: Conform to all conditions of Canadian Landscape Standard, Section 8, B.C. Standard for Turfgrass Sed.

5 Specified Turfgrass by area. Refer to Table 2 below.

TABLE 2 SPECIFIED TURFGRASS BY AREA Area Description Quality Grade

CLASS 1 Lawn, all areas noted on drawings as lawn in urban

GLASS 1 Lawn, all areas noted on drawings as lawn in urban

for the description of the descr Major Species Kentucky Blue for sun, Fescues for shade CLASS 2 Grees - public parts, industrial and institutional sites
CLASS 3 Rough Gross
SPECIAL No. 2 Standard see hydroseeding

A Line: The line shall be as defined in Section 223, Materials. Apply at rates recommended in required soil test. Refer to Section 3.4 for method.

Fertilizer: Refer to Section 222 Haterials. Apply specified fertilizer at rates shown in the required soit test. Apply with a mechanical spreader. Cultivate into growing median 45 hours prine to societies, Apply separately from line.

3. Sodding: Prepare a smeth, firm, even sorface for laying sed. Lay sod staggered with sections closely betted, without coerdapping or gaps, smeth and even with adjoining areas and slightly, Water ho obtain neishare penetration of 3° to 4° IT – Nool. Comply with requirements of Canadian Landscape Standard Section 8, EC Standard for Turifyrass Sod.

.10 Acceptance of Laws Areas: The furf shall be researably well established, with no apparent dead spots or have spots and shall be reasonably free of weeds the Canadian Lawscape Standard, Section 19 Raintenance Level 2 Deparament. Use herbiddes if recessivy for weed renoval unless either conditions of contract foolid their use. After the Laws has been or the first hide, zeroes renorming the conditions have well but hide new to the Canadian Lawscape and the conditions of contract foolid their use. After the Lawscape and the standard contract the conditions of the conditions.

PLANTS AND PLANTING

1 Conform to planting layout as shown on Landscape Plans.

2 Obtain approval of Landscape Architect for Layout and preparation of planting prior to connecement of planting operations

3 Hake edge of beds with smooth clean defined lines.

4. Time of Piseling.
A. Time of Piseling.
A many filter o

Stefands
 A plant and confers to the requirement of the Condict services Plants, Libral office, values considerly a waity Flant Scholds or its significant inclination sections. The Condict services in the Condict services in the Condict services in the Condict services. The Condict services in the Condict services in the Condict services in the Condict services in the Condict services.
 The Plant Indicated scholars for services of services in the Condict services.
 Plant Indicated scholars from areas with less server clientic sendines shall be given in without the third clientic.

A Review.
A.1 Review all the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site.

Availability:
 Area of search includes the Lover Mainland and Fraser Volley. Refer to Plant Schedule for any extension of area.
 Supply proof of the availability of the specified plant material within 30 days of the award of the Contract.

 Substitution
 Al. Obbit written approval of the Landscape Architect prior on making any substitutions to the specified material. Non-approval.
 Allow a a minimum of 5 days prior to delivery for request to substitute.
 Allow a minimum of source of the specified material. Non-approval for the specified material. Non-approval for the specified material. 9 Plant Species & Location: 91 Plants until be trave to raine and of the helight, caliger and size of root ball as shown on the landscape/site plan plant schedule. Caliger of trees in to be taken 6" (Scial)

above grade.

9.2 Flat all specified species in the location as shown on the Landscape drawings. Motify Landscape Architect if coefficting rock or underground/overhead services are encountered. .9.3 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect.

19 Exception.
10. Trees and large shoulds: Excepte a succer shaped free pit to the depth of the rootball and to at least twice the width of the rootball. Assure that finished grade is at the original grade the free was grown at. III Drainage of Planting Itoles:
III Provide drainage of glanting piles where required, is: on singed conditions, break out the side of the glanting pil to ablow drainage down singer, and in filat conditions, mount for single for challed been impervious layer. Motify the Landscape Architect where the drainage of planting below in lainted.

.0. Flashing and Fertilizing Procedures.
.0.1 Flash all hexes and shocked with the needs placed in their natural growing position. If burstaged, losses around the top of the ball and cat away or feld under. Do not pull.
.0.1 Flash all hexes and shocked with the needs placed in their natural growing position. If the surgey (a section around the top of the ball and cat away or feld under. Do not pull.
.0.1 Flash all hexes are surgey.

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16. Propage
5.4.1 Lind provide to the believan recessary to receive dead or injured branches. Procurre the natural character of the plants, do not cut the lander. Use only clean, sharp
holes, Refer all cuts clean and cut to the branch cultur leaving no trubs. Shape effected unses so a net to reclaim value. Persone designed naturals.

Matching
 Matching areas with an even layer of moth to 2-1/2 - 3° 85 - 15min depth. Confirm placement of moth in areas labeled "Groundcover Area" on drawings. Match a 311. (Milland Gameter critica reword trees in laws areas, issues a doar odgs.

.36 Acceptance: .36.1 The establishment of all plant material is the responsibility of the Landscape Contractor.

The Part Shaded Selections of Long of the Indicates with to receive I Cell Educate of Carpinion.

17 Writing Carlon Sec. Carlon Carlon

It finds a few minds of the second of the se

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

1.5. In of an interior is, in compact before in command by gift is crited in Contractin's respondibly for eather graving season if, it is gifted, but discispant and segment is not disciss the contracting and interior in contracting in the contracting in the contracting in the contracting in the product of contracting in the contractin

Coordinate work with construction of planters and planter drainage.
 Terify that planter drains are in place and positive drainage to roof drains in present prior to placing any drain rook or soil.

3 Provide clean out at all through-slab drain locations . Use 300m min. dia. PVC Pipe filled with drain rock unless specific drawing detail A Install drain rock events to a minimum death of A" (Minimier alternate sheet drain if specified, Install sheet drain as per manufacturer's re-

5 Cover drain rock for alternate sheet drain if specified on drawing details with filter fabric lapping 6" (55mm) at all edges. Obtain approval of drainage system prior to

6 Place on even layer of 25 - Stom clean washed owns sand over filter fabric.

Place proving medica to depths specified in Section 3.5 about for national services treatments. Befor to Directing Behalfs for any light whight Filter required to after grade.
 Section block were drain recis chapted to previols specific treatment of edges. Buff each pince lightly regulator and over with filter fidence to prevent sed free graphing featured.

II ESTABLISHMENT MAINTENANCE Provide a separate price for this section)

In interf. The hillest of "Cabblishment malerisance is in provide sufficient care in early installed plant malerial for a relatively short period of film in ensure or increase the long term success of the planting. The diportion is the adoption of plant in a raw with on order in adoption defined room in planting with a relative and excessively was subsoliced in implicance of adoptions or providers and planting or adoption of planting and adoption of planting or providers ago by all the second or adoption in adoption of planting and adoption of planting and adoption of providers ago by all the second or adoption of planting and adoption of

2 Maintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.

3 Related Standards and Legislation: Canadian Landscape Standard, latest edition, Fertilizer Code, B.C. Pesticide Control Act A. She Review in addition to the inspections at substantial congletion, at final progress draw application, and at the end of the guarantee period, there should be filtere other reviews during the ID menths attended by the Centractor and a designated representative of the Guner. Maintain a legionic and reporting procedures and submit to the designated representative.

5 Scheduling: Prepare a schedule of anticipated visits and submit to designated representative at start-up. Maintenance operations shall be carried out predominately during the growing season between March tot and Nevember 20th, however visits at other times of the year may be required.

Maintenance Level: Comply with B. C. Landscape Standard, Section 14, Table 14.2, Maintenance Level 2 "Groened".

Materials: Comply with Part Two of this specification.
 Fortilizare: To the requirements of the Consider Landscape Standard, Formulations and rates as required by sail testing.

3. Part federed (chilabhean)
4. Part federed (chilabhean)
4. The experiment of the proving season, where we plant is lead only into 10 kings believes begind by 10 kings by 10 kin

Accuracy, 1-10, and of Medicals.

A Price of Debugs Conference (September 1) and the September 1 and the S

If Prefixed you do not be you have come you and of additional machiness in the last and you was proposed as used by a set analyse configuration. A prefixed you was a compared to the prefixed you was a compared you was a compared to the prefixed you was a compared you was a compar

re cores. Leed or re-sed when necessary to restore damaged or failing grass areas. Match the grass varieties in the surrounding area. Pa-sed, if required, n. De-seed between April 5t and April 5th or between September 1st and September 15th. Protect re-seeded areas and keep malst until the first

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SEAL:



14	20.5EP.03	REV. PER CITY COMMENTS - OFFSITE PAVING	5/
13	20.JUL.14	REZONING RESUBMISSION	5/
12	20.JUN.29	REV. PER CLIENT COMMENTS	54
11	20.FEB.03	ISSUED FOR TENDER	54
10	19.DEC.05	ISSUED FOR BP	54
9	19.NOV.28	100% BP SET	54
8	19.NOV.04	90% CD SET	54
7	19.0CT.23	NEW GROUND FLOOR PLAN	DE
6	19.0CT.22	REVISION	DE
5	19.0CT.21	NEW SITE PLAN&CLIENT REQUEST	DC
3	19.0CT.03	60% CD SET	54
2	19.559.27	REZONING	54
1	21.AUG.19	REV. PER CITY/CLIENT COMMENTS	54
-	19.JUL.29	30% BP SUBMISSION	54
NO.	DATE	REVISION DESCRIPTION	DF

PROJECT:

CHENT-

PARKWAY MIXED USE DEVELOPMENT 1050 PANDORA AVENUE

VICTORIA. BC

DATE:

CHK'D:

LANDSCAPE **SPECIFICATION**

19 1111 10 SCALE: DRAWN: DESIGN: BA

L8

18240-14-ZIP PMG PROJECT NUMBER:

PART ONE - GENERAL

.1 The Structural Soil specification is provided as an instrument of service and remains the property of PMS landscape Architects. The information provided in this specification is for exclusive sea by ser client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the perestission of PMS inantizage Architects.

- .1 The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Seil Mix on a prepared sub grade.
- 2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and pronoting the development of free roots. The long term goals the pronoting of healthy, long lived trees while reducing the potential negative implications of large scale root developmen.
- under hard surface areas.

 3 Refer to drawings for location and dimension of structural soil nixture. A All other related work as described in the drawings and/or this specification.

RELATED WORK

RELATED MASTER MUNICIPAL SPECIFICATIONS

- Contractor for report all conflicts with ciril engineering to Landscape Architect
 Section 1221. Since Grading
 Section 12221. Since Grading
 Section 12222. Sincearing, Tenching, and Backfilling
 Section 12222. Appropriate and Granular Paterials
 Section 12226. Since Security
 Section 12226. Since Security
 Section 12225. Since Security
 Section 12225. Since Security

1 BCCI A /BCI NA I sederana Standard (next current addise

2 Canadian System of Soil Classification

6 QUALITY ASSURANCE

- 1. All structured and selected used in Street free planting shall be from a source agrowed by the Consultant and all shall are materials suggisted in the side shall be of similar and from a single-source. I deep point or supplying any adminish to the side, infer the forestanted of processor source and provises arrange of analysis underfalled are recognized leating agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written fere as laid out in 1241 fer films action.
- 2. All nutritive admixtures to structural soil material supplied to the site shall be from a source approved by the Consultant and all sinkur nutritive admixtures supplied to site shall be of sinkur nature and from a single source. If days prior to supplying any nutritive admixture, inform the Consultant of proposed source and provide a copy of all analysis undertainsh by a recognized setting agrees approved by the owner. The text report stall quantity and equily the following scharacteristics of the proposed nutritive analysis undertainsh part of proposed survival.

- adeilature
 21. Gravel, sand and fines content each as a X of dry weight nineral
 22. Organic national content as a percentage of dry weight.
 23. Acidity (art)
 24. Salinity in millimhas/cn at 25 degrees C.
 25. Bacis fertility (both introgen available K, Ca, Mg, P.)
 26. Recommendation for incorporation of necessary amendments.
- 3 Provide and pay for all required feating of naterials proposed for use on this project. At the Consultant's discretion, all naterials may be re-tested. Contractor will be responsible for costs of re-testing if naterials do not neet specification and for correction of the deficiency.
- 4. Cost of incerted naterials shall include cost of modifications from source to ensure that these naterials neet specification
- .5 Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.
- 6. Confirm compartion of subgrade and structural soil by Genterbrical Reports from qualified Genterbrical Foreigner
- 7. Aggregate Test:
 7.1. Provide source and sieve designation of intended aggregate naterial prior to ordering.
 7.2. At this Lankstope Architect's discretion, naterials may be refeated. Contractor is responsible for costs of testing if sample does meet specification and for correction of
- any deficiency.

 7.3 Submit 25kk sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.

- .8.1 Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of W days prior to placement. Notify Landscape Arminum 2 days prior to mixing samples.
 .8.2 Landscape Architects may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.

- 1. Obtain approval from Consultant of schedule 16 days in advance of structural soil preparation or delivery of naterial to site. Co-ordination of the installation of
- Schedule to include;
 1.1 date for commencement of preparation of structural sail at source
 2.2 sub grade preparation at site

- .3 Schedule work to co-ordinate with installation of any drainage, irrigation, tree grate feotings, lighting, paving etc.
- .4 Complete work to ensure tree planting will occur under optimum conditions
- 5 Do not bandle or place structural soil nix in rain

B FIELD REVIEW

- .1 Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.
- Co-ardinate site meeting with Consultant at the following times
 drainage installation and connection
 implication is stallation
 implication is stallation
 installation is directured.
 installation of structural soil microre
 installation of structural soil microre
 installation of structural soil microre
 installation of three soils microre
 installation of trees

SAMPLES

Provide 2 kg samples of all materials required for the preparation of structural soil minimum % days prior to connencement of installation. Samples of all material shall be submitted with test report from approved testing opency as per section 13.2, and 13.3.

10 PRODUCT HANDLING

- .1 All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition
- Supply and handle delerite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterpreof containers with net weight and product analysis clearly marked on exterior of package.

11 DELIVERY STORAGE AND PROTECTION

- .1 For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural seal.
- 2. On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials
- 3. Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tangacian or material second by the Covered to the
- 4. All material to be stockoiled shall be protected in accordance With B. C. Ministry of Environment guidelines.

PART TWO - PRODUCTS

PROPERTIES	GROWING MEDIUM FOR GAP-GRADED MEXTURE
TEXTURE Particle size classes by the Canadian System of Soil Classification	
Gravel: greater than 2mm - less than 75mm	
Sand greater than BUSon - Less than 2nm	navinen 60%
Sitt greater than 0.002 mm - less than 0.05 mm	nasinen 35X
Clay: less than 0.002nm	navinun 15%
Clay and SR Combined	navinun 40%
ACDITY (PN):	6.0 - 7.0
DRAINAGE: Minimum saturated hydraulic conductivity (cn/hr) in place.	3.0
SALINITY: Saturated extract conductivity shall not exceed:	3.0 millimhos/cm at 25°C
ORGANIC CONTENT: Percent of Dry Meight (%)	8% - 12%

AGGREGATE

- .1 Clean inert stone of high angularity is preferred over washed gravel
- .2 Stone dimension aspect natio should approach 1:11 with a maximum of 2:11 length; width; depth
- .3 Single size stone, 75mm clear sieve designation: Blasted Quarry Rock
- 4 Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 15 and 18
- Aggregate quality: Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other shall would act in a deleterious manner or use intended.

.1 A non-toxic organic binder.
Product: Stabilizer, The Original Natural Binder, as available from Veratec, Aldergrove, BC. 604-607-3102. (Or approved equal)

4 GRANULAR BASE

1 To Master Municipal Specification Section 02226, Aggregates and Granular Materials.

.1 Refer to architectural drawings.

- Now Woven filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed.
- 2 Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering prosperties. Conferen to the following ASTM designations—foral Tender Sentand Sentandors (ASTM Designation Sentandors). A SENTAND ASTM SENTAND

- 3 Fabric shall be Amoco 4545 or approved equival-

PART THREE - EXECUTION

1 SUBGRADE

- Excavate sub grade to establish tree pill / trench as indicated on contract drawings. Place the structural soil under the paving adjacent to the planting pils, MOT in the
- planting this thenselves.

 2 Areas designated as structural sell tree pits for street tree planting shall be prepared to ninety-five percent 195XI Modified Proctor Density and shall be free of stones, edoirs, roof branches, losis materials, building naterials and other deleterious naterials to the approval of the civil engineer.

PREPARATION OF EXISTING GRADE

- 2. Excess breach to Master Manipoid Specification Section 2023, Teroching, Excessition and Competition Billwring for design depth and width of structural soil exis.

 2. Geopot to 95% Modifier Practice Design);

 2. Comput to 95% Modifier Practice Design);

 2. Suppose developes soils allogous practices for the practice of the Design of the Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices for the Teroching Section 2. Suppose developes soils allogous practices and the Section 2. Suppose developes soils allogous practices for the Section 2. Suppose developes soils allogous practices are supposed to the Section 2. Suppose developes soils allogous practices are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils allogous practices are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils are supposed to the Section 2. Suppose developes soils are supposed to the Section 2. Suppose developes soils and suppose soils are supposed to the Section 2. Suppose developes soils are supposed to the Section 2. Suppose developes soils are supposed to the Section 2. Suppose developes soils are supposed to the Section 2. Suppose developes soils are supposed to the Section 2. Supp

- 4. Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil nisture for support may be postponed until after the installation of the mixture.
- 5 Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings

3.3 CHR UDANG

- 1 Install to registeens of Plaster Musical Specifications. Refer to Section 19366, Valenturins, Section 19770, Storm Severs, and Section 19775, Manhales and Carlo Basins 131. Co-definite all certain of Entire Chinage uses with all their dratage and set.

 12. Confession and Carlo Sec

IRRIGATION

- Install to requirements of Section (2010), Irrigation System Refer also to Irrigation Drawings.
 Install irrigation nair lines in co-ordination with installation of the structural soil. Confirm Inling at start-up neeting.
 Co-ordinate all contract irrigation work with other civil engineering and drainage on-site
 Confirm Section of Irrigation connections with civil engineer.

MINNG STRUCTURAL SOIL MATERIAL

- Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone.
- 2 Base Ratio of Materials:
- 2 Date Anthre of Matternar.

 Lo contert of organized to the section 2.2

 125 cus neits of Growing Medius section 2.1

 125 cus neits of Growing Medius section 2.1

 126 placeholder of Control 2.0

 126 p

- 3. Combine the stone, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.

4 MIVING

- 2 All mixing shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mixing equipment.
- 3 Presery sample Structural Soil Muss to determine ratio of mix components. Submit sample with test results for approval.

PART THREE - EXECUTION (cont)

.7 PLACEMEN

- .1 Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.
- Structural seal shall be noist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or parement.
- 3 Place Stone nixture in 300mm lifts through entire area of structural soil nixture.
- A Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer
- 5 Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil

- .6 Provide a uniformly firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade
- 3. Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinferced wood bases, steel boxes, large disenter PVC pipe, etc. have been epiloped to allow for such to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is recorded and ground proderoils page Section 21 added to surround the cost ball.

3.8 INSTALLATION OF FILTER FABRIC

- .1 After approval of structural soil mixture compaction, install Filter Fabric.
- 2 Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.

G GDAMII AD BASE MATERIA

- .1 Place minimum 75 mm granular base on top of filter fabric over structural soil lave
- 2 Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials 3. All areas shall be graded too the contours and elevations indicated on the contract drawings. Ensure positive drainage.

- 2 All damage will be repaired at the expense of the installation contractor.

- tural soil or other backfill material (sand, see comments in section 3.7.7) from the full dimensions of the tree grate area (1.2n x 1.2n x depth of root ball).
- 2 Re compact all material below root ball to original specified density to prevent settling of the root ball in the hole. 3. Ensure tree is planted in the exact centre of the specified planting station straight and true
- A Install tree in accordance with BCSLA Landscape Standard. Cut away synthetic roof ball twine, cut back improperty sized wire baskets, pull back burlap from around trun
- 5 Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material

.6 Place 50mm depth composted fir/hem bark mulch over the top of the open tree pit area.

2 Clean up any soil or dirt spilled on any paved surface at the end of each working day.

3.12 TREE GRATES

.1 Site Furniture and to contract drawings for tree grates, frames and footings.

3.13 ACCEPTANCE

- .1 Consultant shall inspect structural soil "in place" and determine acceptance of material, and finish grading prior to paving.
- 2 Finish grade shall be to wiltin 'Smm of proposed grades within 3.0m of any adjacent fixed elevation and to within 5mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.

3.14 SURPLUS MATERIAL

.1 Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site.

3 Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has bee

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NO. DATE REVISION DESCRIPTION

PROJECT:

CHENT

PARKWAY MIXED USE DEVELOPMENT 1050 PANDORA AVENUE

VICTORIA. BC

STRUCTURAL SOIL SPECIFICATION

DATE: 19 1111 10 SCALE: L9 DRAWN: DESIGN: BA CHK'D:

PMG PROJECT NUMBER: 18240-14.ZIP



Aplin & Martin Consultants Ltd. #104 - 6596 Applercross Road, Nanalmo, BC, Canada V9V 0A4 Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

CLIENT:

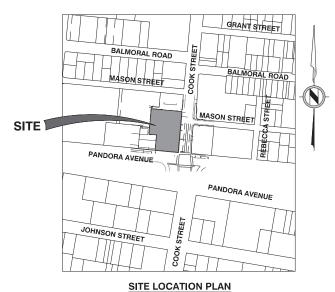
DISTRICT GROUP

SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1 PH. 604-322-5762

PROJECT:

PARKWAY - MIXED-USE DEVELOPMENT

1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA, BC



SCALE 1: 2000

DRAWING INDEX

18-010-01 COVER SHEET

 18-010-02
 KEY PLAN & GENERAL NOTES

 18-010-03
 SERVICING & GRADING PLAN

 18-010-04
 TRUCK TURNING PLAN

NOT FOR CONSTRUCTION

MUNICIPAL PROJECT No. XXX

APLIN & MARTIN PROJECT No. 18-010



GENERAL

- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), AN) CITY OF VICTORIA BYLAW STANDARDS, UNLESS OTHERMSE NOTES.
- ANY REVISIONS TO THESE DRAWINGS SHALL BE APPROVED BY THE CITY'S REPRESENTATIVE. CONSTRUCTION SHALL NOT COMMENCE PRIOR TO THE APPROVAL OF THESE DRAWINGS BY THE CITY'S REPRESENTATIVE.
- THE CONTRACTOR SHALL SUBMIT PROOF OF CONTRACTOR LIABILITY INSURANCE TO THE CITY'S REPRESENTATIVE AS PER THE CITY'S SPECIFICATIONS.
- ALL BUILDINGS & ROADS ARE TO BE LOCATED BY COORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
- THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION 10 SCHEDULE AN ONSITE PRE CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING AND INSPECTION WILL BE DISCUSSED.
- CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS IN THE VICINITY OF THE SITE, REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION
- ALL OR ANY EXISTING UNDERGROUND UTILITES ARE NOT NECESSARILY SHOWN. EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND ALL UTILITY COMPANIES CONTACTED PRIOR TO INSTALLING ANY NEW UNDERGROUND SERVICES.
- 10. THE CONTRACTOR'S SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING THAT AL LEGAL SURVEY DIMENSIONS SHOWN ON THE DRAWNICS AGREE WITH THOSE ON T REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THE CONSULTING ENGINEERING FIRM SHALL BE NOTIFIED IMMEDIATELY.
- WORKSAFE BC SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE REGISTERED WITH WORKSAFE BC AND SHALL SUBMIT PROOF OF REGISTRATION TO THE TOWN'S REPRESENTATIVE. ALL WORK SHALL CONFORM TO ALL APPLICABLE REGULATIONS OF WORKSAFE BC.
- 12. ALL DIMENSIONS SHALL BE IN METRIC UNLESS OTHERWISE NOTED, METRES SHALL BE EXPRESSED IN DECIMALS, MILLIMETERS IN WHOLE NUMBERS, FIGURED DIMENSONS SHALL GOVERN OVER SCALED DIMENSIONS.
- 13. THE CONTRACTOR SHALL PREPARE AND SUBMIT THE FOLLOWING PLANS TO THE CITY'S REPRESENTATIVE FOR REVIEW AND ACCEPTANCE PRIOR TO CONSTRUCTION ...

 * TRAFFIC MANAGEMENT PLAN.

 * EROSION AND SEDIMENT CONTROL PLAN FOR CONSTRUCTION.

 * TREE PRESERVATION PLAN.

- 14. LEGAL SURVEY MONUMENTS SHALL BE REPLACED BY A BC LAND SURVEYOR, TO CITY SPECIFICATIONS, AT THE CONTRACTOR'S EXPENSE IF DESTROYED OR DAMAGED DURING CONSTRUCTION. THIS ALSO PERTAINS TO MONUMENTS THAT REQUIRE RASING RELOCATING. THE CONTRACTOR SHALL NOTIFY THE CITY'S REPRESENTATIVE THEE WORKING DAYS IN ADVANCE OF THE WORK AFFECTING SURVEY MONUMENTS.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0 METRES OF THE ROADWAY OR DRIVEWAY EDGE, FULL DEPTH GRANULAR BACKFILL SHALL BE USED.
- AFTER CONSTRUCTION, WORK AREAS AND EXISTING FEATURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESGN UPGRADES.
- 18. ALL SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL APPLICABLE GUIDELINES AND REGULATONS.
- 19. THE ENGINEER OF RECORD SHALL SUBMIT AS-CONSTRUCTED DRAWINGS TO "HE CITY'S REPRESENTATIVE.
- 20. THE CONTRACTOR SHALL EMPLOY APPROPRIATE EROSION & SEDIMENT CONTROL MEASURE, APPROVED BY THE CITY'S REPRESENTATIVE TO PREVENT SILT DISHARGES TO THE STORM DRANMAGE SYSTEM AND WATERCOURSES. REQUIAR, ONGOING INSPECTION OF SEDIMENT CONTROL SHALL BE CARRIED OUT TO ENSURE CONTINUOUS PROTECTION.

STORM SEWER

- DO NOT PLUG OR ABANDON AN EXISTING STORM DRAINAGE CONNECTION WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
- ALL STORM SEWER AND BEDDING MATERIALS TO BE IN ACCORDANCE WITH THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONTRACT DOCUMENTS (MMCD) REQUIREMENTS.
- ALL PIPING AND RELATED APPURTENANCES TO BE INSPECTED AND APPROVED PRIOR TO BACKFILLING OF TRENCH.
- 5. ALL MANHOLES ARE TO BE A MINIMUM OF 1050mm DIAMETER UNLESS OTHERWISE NOTED.
- 6. ALL STORM PIPES TO BE PVC SDR35.
- ALL TYPICAL TRENCH SECTION DETAILS TO FOLLOW MMCD SPECIFICATION DRAWING G4, UNLESS OTHERWISE NOTED BY THE CITY'S REPRESENTATIVE.
- 8. ALL PAVEMENT RESTORATION TO FOLLOW MMCD SPECIFICATION DWG. G5.
- 9. THE CONTRACTOR SHALL CONFIRM THE LOCATION AND INVERTS OF EXISTING STORM SEWER CONNECTIONS PRIOR TO CONSTRUCTION.
- 10. CATCHBASIN RIM ELEVATIONS SIVEN ARE THE ELEVATION OF THE SURFACE INLET.
- TIE-INS OF PROPOSED MAINS TO EXISTING STORM SEWER MAINS SHALL BE INSPECTED BY CITY'S REPRESENTATIVE.
- 12. ALL STORM DRAIN SERVICE CONNECTIONS SHALL BE MINIMUM 100mm IN DIAMETER.
- 13. THE CONTRACTOR SHALL VIDEO INSPECT ALL COMPLETED STORM DRAIN LINES ON PUBLIC AND PRIVATE THE CONTRACTOR SHALL WDED INSPECT ALL COMPLETED STORM DRAIN LINES ON PUBLIC AND PRIVATE PROPERTY FOLIOUS GOMEPHEND OF INSTALLATION. WDEC REPORTS SHALL BE SUBMITED TO THE CITY'S REPRESENTATIVE. SHOULD THE WDED INDICATE APPARENT DEFICIENCIES, ADDITIONAL TESTING AND/OR REPLACEMENT SHALL BE REQUEDED AT THE DIRECTION OF THE CITY'S REPRESENTATIVE. AT THE CONTRACTOR'S EXPENSE. ALL STORM DRAIN LINES, CATCH BASINS, MANHOLES, ETC., SHALL BE CLEANED THOROUGHLY UPON COMPLETION. AT THE END OF THE ONE-YEAR WARRANTY PERIOD, ALL LINES SHALL AGAIN BE VDEO INSPECTED AND THE RESULTS SUBMITTED TO THE CITY'S REPRESENTATIVE.

SANITARY SEWER:

- ALL SANITARY SEWER MATERIALS SHALL BE IN ACCORDANCE WITH THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOQUMENTS (MMCD), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE CITY'S APPLICATION FOF SANITARY SEWER
 CONNECTION DOCUMENT FOR ALL REQUIRED SANITARY SEWER CONNECTIONS TO THE CITY'S REPRESENTATIVE
 PRIOR TO COMMENCEMENT OF CONSTRUCTION
- THE CONTRACTOR SHALL CONFIRM THE LOCATION AND INVERTS OF EXISTING SANITARY SEWER CONNECTIONS PRIOR TO CONSTRUCTION.
- 4. NEW SEWER LINES TIED INTO EXISTING LINES SHALL BE PLUGGED UNTIL THEY ARE TESTED AND FLUSHED.
- TIE-INS OF PROPOSED MAINS TO EXISTING SANITARY SEWER MAINS SHALL BE INSPECTED BY CITY'S REPRESENTATIVE.
- FOR EXISTING PIPES OR SERVICE CONNECTIONS THAT ARE TO BE ABANDONED, THE CONTRACTOR SHALL CAP ENDS AND FILL WITH COP OR APPROVED ALTERNATIVE, AS DIRECTED BY THE CITY'S REPRESENTATIVE. EVIDENCE OF THIS (SUCH AS MTH PHOTOGRAPHS), SHALL BE PROVIDED TO THE CITY'S REPRESENTATIVE PRIOR TO BACKFILL. THE ABANDONED PIPE SHALL BE NOTED ON THE AS-CONSTRUCTED DRAWING.
- 7. TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH INSPECTION AUTHORIZED BY THE CITY'S REPRESENTATIVE.
- 8. THE CONTRACTOR SHALL WIGO MORPICT ALL COMPLETED SANITARY SEVER LIKES ON PUBLIC AND PRIVATE PROPERTY FOLLOWING COMPLETION OF INSTALLATION WIGOS REPORTS SHALL IS SUBMITTED TO HE CITY'S REPRESENTATIVE. SHOULD THE WIGO MICICATE APPARENT DEFICIENCIES, ADDITIONAL TESTING AND/OR REPLACEMENT SHALL BE REQUERED AT THE DIFFECTION OF THE CITY'S REPRESENTATIVE, AT THE CONTRACTOR'S EXPENSE, ALL SANITARY SEWER LINES, MANHOLES, ETC, SHALL BE CLEANED THOROUGHLY UPON COMPLETION OF CONSTRUCTION. AT THE END OF THE OTHER—VERR WARRANTY PERIOD ALL LINES SHALL AGAIN BE VIDEO INSPECTED AND THE RESULTS SUBMITTED TO THE CITY'S REPRESENTATIVE

WATER:

1. ALL WATER & BEDDING MATERALS TO MEET MMCD & BC PLUMBING CODE 2018 REQUIREMENTS.

ROADWORKS AND SIDEWALKS:

- 1. LOOSE OR ORGANIC MATERIALS SHALL BE EXCAVATED FROM ROADWAY.
- SUB-BASE AND GRANULAR BASE MATERIALS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- EXISTING APPURTENANCES SUCH AS VALVE BOXES, MANHOLES, ETC., SHALL BE ADJUSTED TO FINISHED GRADE.
- 4. THE CONDITIONS FOR PLACING ASPIRAL T PARKENT AND CONCRETE SHALL BE IN ACCORDANCE WITH MICH SEPTIRATIONS AND STANDARD BOTALL DRIAMNES APPLICABLE AT THE TIME OF CONSTRUCTION. WEATHER CONDITIONS SHALL ALSO BE IN CONFORMANCE WITH MICH SECRIFICATIONS. SHOULD DEVANCES BE ALLOWED FROM THESE SPECIFICATIONS BY THE CITY'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THEIR WORKMASHIP.

NOT FOR CONSTRUCTION

SITE PLAN OF AMENDED LOT 14 (DD 106561 I), LOTS 15 & 16, LOT 2, PLAN VIP75915 OF SUBURBAN LOT B.M. MONUMENT NO. 16-64A OCATED AT COOK STREET & PANDORA AVENUE FLEVATION: 27.355m ISSUED FOR 60% BP SUBMISSION SUED FOR 100% BP SUBMISSION Aplin & Martin Consultants Ltd CL SL 20-MAR-20 TREE REMOVED ON COOK STREET

APLIN MARTIN

#104 - 6596 Applecross Road, Nanaimo, BC, Canada V9V 0A4 Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin

DISTRICT GROUP

PAI



IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LIGAL SURVEY DIMENSIONS SHOWN ON THE ENDIRERS DRAWINGS AGREE WITH THOS ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE, ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF DESIGN: VG CHECK: SL DRAWN: VG/CL APPR: SL **KEY PLAN & GENERAL NOTES** ROJECT NO FEBRUARY 2019 02 OF 04 18-010 - 02

NOTICE TO CONTRACTOR

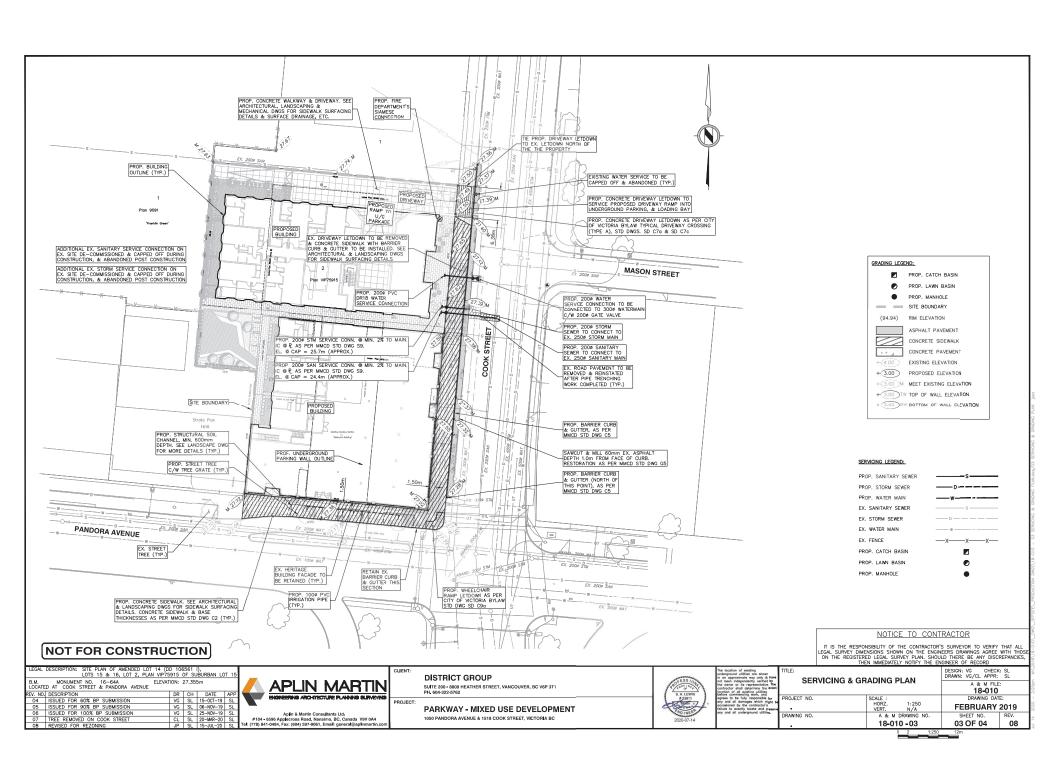
TE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1 604-322-5762	1 /
ARKWAY - MIXED USE DEVELOPMENT	4
PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC	

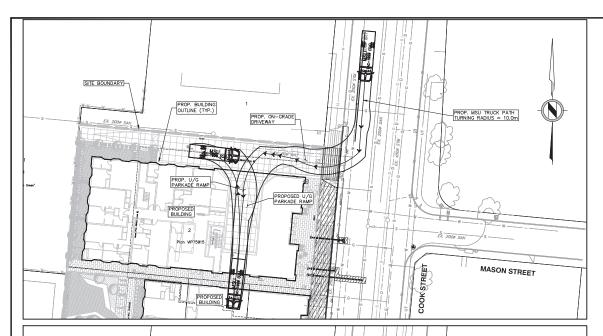
PROP. SANITARY SEWER PROP. STORM SEWER

PROP. WATER MAIN

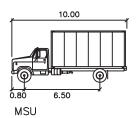
EX. SANITARY SEWER

EX. STORM SEWER FX. WATER MAIN





TURN ROUTE 1 - DIRECT ENTRY



Width : 2.60 Track : 2.60 Lock to Lock Time : 6.0 Steering Angle : 40.2

meters

SITE BOUNDARY PROP. ON-GRADE DRIVEWAY PROP. MSU TRUCK PATH TURNING RADIUS = 7.7m PROPOSED U/G PARKADE RAMP PROPOSED BUILDING Plan VIP75915 COOKSTREET MASON STREET PROPOSED BUILDING

TURN ROUTE 1 - BACK-IN ENTRY

NOT FOR CONSTRUCTION

NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

SITE PLAN OF AMENDED LOT 14 (DD 106561 I), LOTS 15 & 16, LOT 2, PLAN VIP75915 OF SUBURBAN LOT 1 B.M. MONUMENT NO. 16-64A LOCATED AT COOK STREET & PANDORA AVENUE REV. NO. DESCRIPTION ELEVATION: 27.355m 04 ISSUED FOR 60% BP SUBMISSION 05 ISSUED FOR 90% BP SUBMISSION
06 ISSUED FOR 100% BP SUBMISSION
07 TREE REMOVED ON COOK STREET VG SL 06-NOV-19 SL VG SL 25-NOV-19 SL

APLIN MARTIN

DISTRICT GROUP SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1 PH. 604-322-5762

PARKWAY - MIXED USE DEVELOPMENT 1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC



DESIGN: VG CHECK: SL DRAWN: VG/CL APPR: SL TRUCK TURNING PLAN 18-010 DRAWING DATE: PROJECT NO. FEBRUARY 2019 04 OF 04 18-010 -04

