

F.1.b.b1908, 1916, and 1920 Oak Bay Avenue - Update to Rezoning Application No. 00694 and Development Permit with Variances Application No. 000551

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

Rezoning Application No. 00694

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw amendments that would authorize the proposed development outlined in Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of legal agreements to:
 - a. ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
 - b. secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i. \$25,000 towards the construction of a crosswalk
 - ii. one car share membership per dwelling unit
 - iii. one car share membership per commercial unit
 - iv. one hundred dollars in car share usage credits per membership
 - v. electric vehicle conduits for all underground parking stalls
 - vi. four electric vehicle charging stations
 - vii. 24 electric bike charging stations
 - viii. one bicycle repair station;
 - c. secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works; and
 - d. to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i. public realm improvements to Oak Bay Avenue and Redfern Street; and
 - ii. removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

CARRIED UNANIMOUSLY

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

Development Permit with Variances Application No. 000551

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue, in accordance with:

1. Plans date stamped September 29, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00m to 2.30m;

- ii. reduce the rear setback (north) from 6.00m to 5.30m;
 - iii. reduce the interior lot line setback (west) for the second and third storeys from 2.40m to 1.00m;
 - iv. reduce the interior lot line setback (west) for the second storeys from 2.40m to 0.15m for planter boxes;
 - v. reduce the flanking street setback (east) from 2.40 m to 0.35m;
 - vi. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vii. reduce the number of residential vehicle parking spaces from 44 to 43;
 - viii. increase the distance between entrances and the short term bicycle parking from 15m to 48.1m;
 - ix. increase the number of storeys from 4 to 5;
 - x. increase the height from 15m to 17.68m.
3. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

F. LAND USE MATTERS

F.2 1908, 1916, and 1920 Oak Bay Avenue - Update to Rezoning Application No. 00694 and Development Permit with Variances Application No. 000551

Committee received a report dated November 6, 2020 from the Director of Planning and Community Development providing an update on the applicant's planned addition of roof top access for a common outdoor amenity space, provide clarity on the electric vehicle charging approach, propose minor adjustments to the variances to accommodate the standardization of the zone, make minor updates to the plans to correct errors associated with the trees, and seek Council's direction for moving forward.

Committee discussed:

- *Concerns with EV readiness being very costly and therefore not able for applicants to actually complete.*

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

Rezoning Application No. 00694

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw amendments that would authorize the proposed development outlined in Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of legal agreements to:
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 - b. secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i. \$25,000 towards the construction of a crosswalk
 - ii. one car share membership per dwelling unit
 - iii. one car share membership per commercial unit
 - iv. one hundred dollars in car share usage credits per membership
 - v. electric vehicle conduits for all underground parking stalls
 - vi. four electric vehicle charging stations
 - vii. 24 electric bike charging stations
 - viii. one bicycle repair station;
 - c. secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works; and
 - d. to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i. public realm improvements to Oak Bay Avenue and Redfern Street; and
 - ii. removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

CARRIED UNANIMOUSLY

Moved By Councillor Alto
Seconded By Councillor Thornton-Joe

Development Permit with Variances Application No. 000551

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue, in accordance with:

1. Plans date stamped September 29, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00m to 2.30m;
 - ii. reduce the rear setback (north) from 6.00m to 5.30m;
 - iii. reduce the interior lot line setback (west) for the second and third storeys from 2.40m to 1.00m;
 - iv. reduce the interior lot line setback (west) for the second storeys from 2.40m to 0.15m for planter boxes;
 - v. reduce the flanking street setback (east) from 2.40 m to 0.35m;
 - vi. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vii. reduce the number of residential vehicle parking spaces from 44 to 43;
 - viii. increase the distance between entrances and the short term bicycle parking from 15m to 48.1m;
 - ix. increase the number of storeys from 4 to 5;
 - x. increase the height from 15m to 17.68m.
3. The Development Permit lapsing two years from the date of this resolution.”

That the motion be forwarded to the daytime Council meeting of November 12, 2020 for ratification.

CARRIED UNANIMOUSLY



Committee of the Whole Report For the Meeting of November 12, 2020

To: Committee of the Whole **Date:** November 5, 2020

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Update to Rezoning Application No. 00694 and Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue

RECOMMENDATION

Rezoning Application No. 00694

That Council instruct staff to prepare the necessary *Zoning Regulation Bylaw* amendments that would authorize the proposed development outlined in Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of legal agreements to:
 - a. ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
 - b. secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i. \$25,000 towards the construction of a crosswalk
 - ii. one car share membership per dwelling unit
 - iii. one car share membership per commercial unit
 - iv. one hundred dollars in car share usage credits per membership
 - v. electric vehicle **conduits** for all underground parking stalls
 - vi. four electric vehicle charging stations
 - vii. 24 electric bike charging stations
 - viii. one bicycle repair station;
 - c. secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works; and
 - d. to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i. public realm improvements to Oak Bay Avenue and Redfern Street; and
 - ii. removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

Development Permit with Variances Application No. 000551

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue, in accordance with:

1. Plans date stamped **September 29, 2020**.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00m to **2.30m**;
 - ii. reduce the rear setback (north) from 6.00m to **5.30m**;
 - iii. reduce the interior lot line setback (west) for the **second and third storeys from 2.40m to 1.00m**;
 - iv. reduce the interior lot line setback (west) for the second storeys from 2.40m to 0.15m for **planter boxes**;
 - v. reduce the flanking street setback (east) from 2.40 m to **0.35m**;
 - vi. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vii. reduce the number of residential vehicle parking spaces from 44 to 43;
 - viii. increase the distance between entrances and the short term bicycle parking from 15m to 48.1m;
 - ix. increase the number of storeys from 4 to 5;
 - x. increase the height from **15m to 17.68m**.
3. The Development Permit lapsing two years from the date of this resolution.”

That the motion be forwarded to the daytime Council meeting of November 12, 2020 for ratification.

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

In accordance with Section 483 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use of the density of the land from that permitted under the zoning bylaw.

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a development permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update related to the applicant's planned addition of roof top access for a common outdoor amenity space, provide clarity on the electric vehicle charging approach, propose minor adjustments to the variances to accommodate the standardization of the zone, make minor updates to the plans to correct errors associated with the trees, and seek Council's direction for moving forward.

The applicant has undertaken neighbourhood consultation regarding the possibility of adding a rooftop access and outdoor amenity space and has amended their plans accordingly. The applicant is also requesting that the Council motion be modified to provide only electric conduit for their parking stalls. While this is not as ambitious as anticipated, it is still supportable. Other refinements to the application are considered minor and in keeping with the original proposal. The recommended Council motion has been updated accordingly.

BACKGROUND

On August 6, 2020 Council passed motions (attached) to move the rezoning and development permit with variances applications forward to public hearing subject to specific conditions, which included undertaking consultation and considering adding a rooftop access to facilitate the provision of outdoor common amenity space and preparing and executing legal agreements to secure electric vehicle readiness for all underground parking stalls.

ANALYSIS

Rooftop Amenity Space

In accordance with the Council motion, the applicant consulted with the community through the South Jubilee Community Association Land Use Committee (CALUC) to seek feedback on the potential of adding a storey for rooftop access for common outdoor amenity space. Information was posted to the Development Tracker for 30 days and notices were sent out to owners and occupants within 100m of the site with instructions to view the proposal on the Development Tracker and provide feedback through the online comment form (see attached feedback).

The applicant was provided the comments for their review, and they have determined that they will proceed with the common rooftop amenity space. The plans have been revised accordingly. The variances have also been updated to reflect the revised height. This is seen as a positive addition for the future residents of the building, enhancing overall liveability.

Electrical Conduit - Parking Stalls

Recent *Zoning Bylaw* amendments (No. 20-001 and No. 20-075) were adopted by Council on July 23, 2020 which identify new requirements for supporting electric vehicle readiness in new development. The regulations do not apply to this proposal because it was submitted on April 25, 2019, prior to the date that the amendments became effective on October 1, 2020.

While the Council motion indicated that all parking stalls would be electric vehicle (EV) ready, in preparation of the legal agreements, the applicant clarified that their intention was to install electrical conduit rather than full "EV ready" design for all of their underground parking stalls.

Provision of conduit during construction allows for easier access for future installation of the wires required for EV charging. "EV ready" is where all conduits, wires, and other related

necessary infrastructure is put into place during construction so that future costs to install charging stations are minimized and a strata can more simply administer and allocate stalls in the future.

As part of this proposal, the applicant will be providing four EV charging stations on site along with other TDM measures. While these changes are less ambitious than originally anticipated, staff still consider the Rezoning and Development Permit with Variances application to be supportable.

Tree Information Revisions

Tree information in the proposal has been updated to reflect the correct *Tree Preservation Bylaw* requirements. The plans have been revised accordingly.

Standardization of Zone

Although the proposal remains largely unchanged from the scheme presented to Council on July 23, 2020, a number of technical measurements have been adjusted to simplify and standardize the approach to the proposed zone. The recommendation highlights the proposed changes.

CONCLUSIONS

The applicant has undertaken neighbourhood consultation regarding the possibility of adding a rooftop access and outdoor amenity space and has amended their plans accordingly. The request to modify the Council motion to change the requirement for electric vehicle ready parking stalls to the provision of conduits for future electric vehicle charging upgrades, may reduce the positive impacts associated with electric vehicle charging, however, staff still consider the proposal to be supportable overall. Other refinements to the application are considered minor and in keeping with the original proposal. The recommended Council motion has been updated accordingly.

ALTERNATE MOTION


That Council decline Rezoning Application No. 00694 and Development Permit with Variances Application No. 000551 for the property located at 1908, 1916, and 1920 Oak Bay Avenue.

Respectfully submitted,


Rob Bateman
Senior Process Planner
Development Services Division



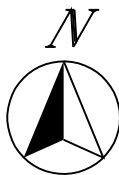
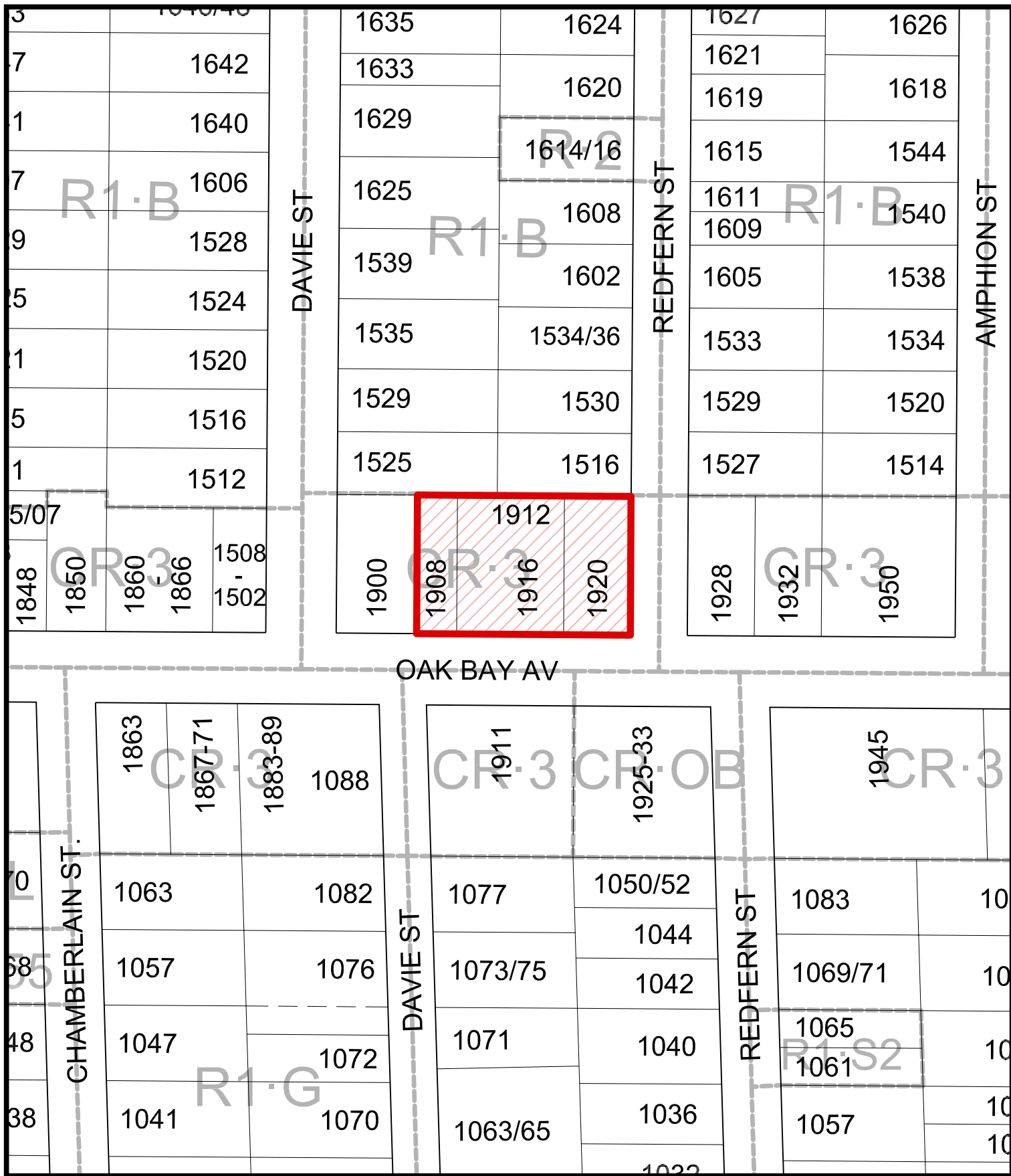

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager: 

Date: November 6, 2020

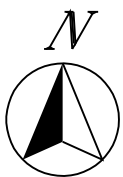
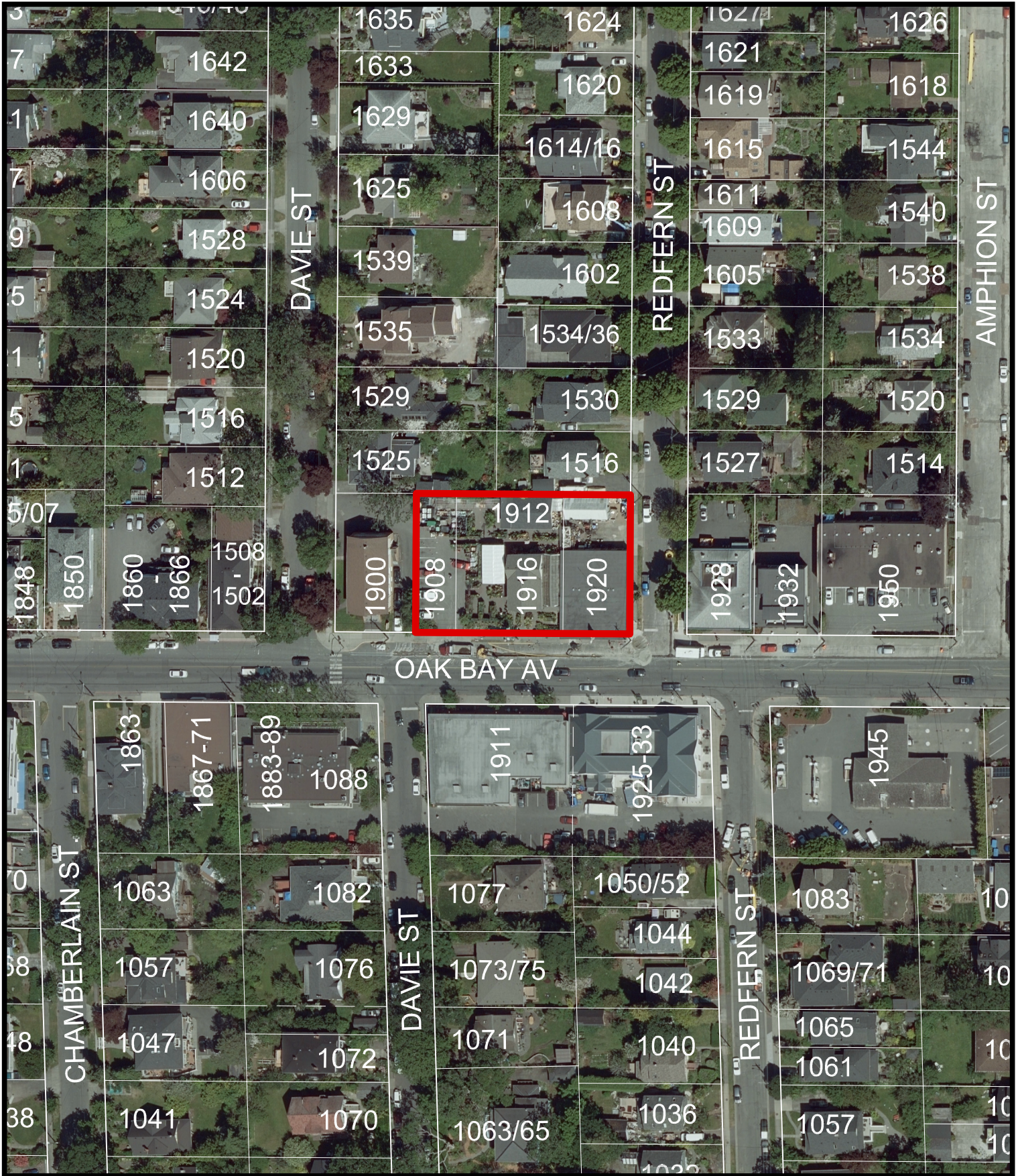
List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped September 29, 2020
- Attachment D: Letter from applicant to Director and Sustainable Planning and Community Development dated November 5, 2020
- Attachment E: Staff report for Rezoning Application No. 00694 presented at the July 23, 2020 Committee of the Whole meeting
- Attachment F: Staff report for Development Permit with Variances Application No. 000551 presented at the July 23, 2020 Committee of the Whole meeting
- Attachment G: August 6, 2020 Council meeting minutes
- Attachment H: Comments through Online Comment Form
- Attachment I: Correspondence.



1908-1920 Oak Bay Avenue
Rezoning No.00694





1908-1920 Oak Bay Avenue
Rezoning No.00694



PROJECT INFORMATION TABLE	
Zone (existing)	CR-3
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m ²)	1,963 m ²
Total floor area (m ²)	3,822 m ²
Commercial floor area (m ²)	688 m ²
Floor space ratio	1.95:1
Site coverage (%)	75.0%
Open site space (%)	31.7%
Height of building (m)	17.68 m
Number of storeys	5
Parking stalls (number) on site	47 RESIDENTIAL , 10 COMMERCIAL
Bicycle parking number (Class 1 and Class 2)	48 CLASS 1, 11 CLASS 2
Building Setbacks (m) *	
Front yard	3.35 m (OAK BAY AVENUE)
Rear yard	5.32 m
Side yard (indicate which side)	0.15 m (WEST P.L.)
Side yard (indicate which side)	0.72 m (EAST P.L.)
Combined side yards	0.87 m
Residential Use Details	
Total number of units	35
Unit type, e.g., 1 bedroom	14 1BR, 15 2BR, 6 2BR+DEN / 3BR
Ground-orientated units	0
Minimum unit floor area (m ²)	47 m ²
Total residential floor area (m ²)	2620 m ²

* MEASURED TO BUILDING FACE, EXCLUDES BALCONIES AND ROOF PROJECTIONS



OAK BAY AVENUE & REDFERN STREET CORNER PERSPECTIVE

DRAWING LIST

A0.00	Cover Sheet	A2.02	Second Floor Plan	L1.01	Landscape Materials
A1.00	Survey, Existing Site Plan, Average Grade	A2.03	Third Floor Plan	L1.02	Level 2 Landscape Materials & Planting Plan
A1.01	Code Analysis	A2.04	Fourth Floor Plan	L1.03	Stormwater Management
A1.02	Limiting Distance	A2.05	Roof Plan	L3.01	Planting Plan
A1.03	Overall Site Plan	A3.00	Elevations		
A1.04	Shadow Study - Fall Equinox	A3.01	Elevations	T.1	Tree Management Plan
A1.05	Shadow Study - Summer Solstice	A3.02	Context Elevations		
A1.06	Shadow Study - Winter Solstice	A4.00	Building Sections	C1.01	Preliminary Servicing
A2.00	Parking Level Plan	A4.01	Context Sections		
A2.01	Ground Floor Plan	A9.00	Perspectives		
		A9.01	Materials		



APPLICANT

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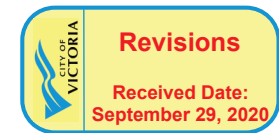
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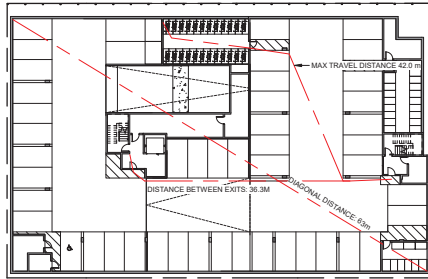
Jawl Residential

Project #	1801	Date	9/28/2020 11:39:33 AM	Revision	5
Sheet #	A0.00	Revision	Apr 28 2018		



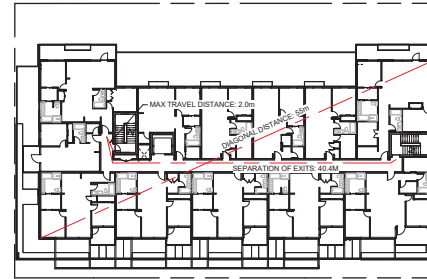
CASCADIA ARCHITECTS INC
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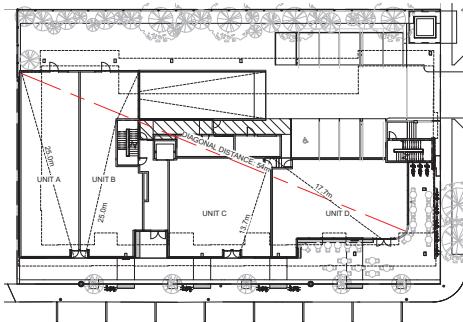
MIN. SEPARATION BETWEEN EXITS: 31.5 m
 OCCUPANCY: GROUP F, DIVISION 3
 OCCUPANT LOAD: 1799 m² / 46 m² PER PERSON = 40 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 59 = 244mm
 STAIRS: 8mm/PERSON x 40 = 320mm

1 Parking Level - Code Plan
 SCALE = 1 : 300



MIN. SEPARATION BETWEEN EXITS: 9 m
 OCCUPANCY: GROUP C, RESIDENTIAL
 OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 38 = 231mm
 STAIRS: 8mm/PERSON x 38 = 304mm

4 Level 3 - Code Plan
 SCALE = 1 : 300



COMMERCIAL AREA

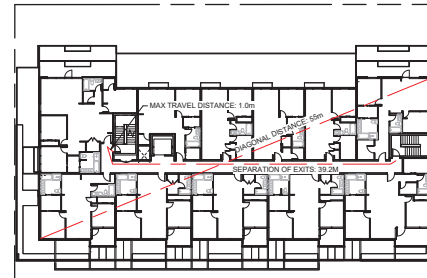
UNIT A
 OCCUPANCY: GROUP E
 OCCUPANT LOAD: 186 m² / 3.7 m² PER PERSON = 51 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 51 = 311mm
 STAIRS: 8mm/PERSON x 51 = 408mm

UNIT B
 OCCUPANCY: GROUP E
 OCCUPANT LOAD: 159 m² / 3.7 m² PER PERSON = 43 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 43 = 263mm
 STAIRS: 8mm/PERSON x 43 = 344mm

UNIT C
 OCCUPANCY: GROUP E
 OCCUPANT LOAD: 177 m² / 3.7 m² PER PERSON = 48 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 48 = 293mm
 STAIRS: 8mm/PERSON x 48 = 384mm

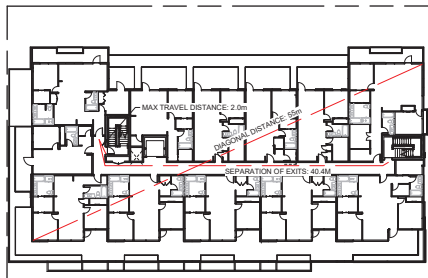
UNIT D
 OCCUPANCY: GROUP E
 OCCUPANT LOAD: 194 m² / 3.7 m² PER PERSON = 53 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 53 = 323mm
 STAIRS: 8mm/PERSON x 53 = 424mm

2 Ground Floor - Code Plan
 SCALE = 1 : 300



MIN. SEPARATION BETWEEN EXITS: 9 m
 OCCUPANCY: GROUP C, RESIDENTIAL
 OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 38 = 231mm
 STAIRS: 8mm/PERSON x 38 = 304mm

5 Level 4 - Code Plan
 SCALE = 1 : 300



MIN. SEPARATION BETWEEN EXITS: 9 m
 OCCUPANCY: GROUP C, RESIDENTIAL
 OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
 MIN. EXIT WIDTH
 RAMP, CORRIDORS & PASSAGEWAYS: 6.1mm/PERSON x 38 = 231mm
 STAIRS: 8mm/PERSON x 38 = 304mm

3 Level 2 - Code Plan
 SCALE = 1 : 300

BC BUILDING CODE 2018

- 3.1 GENERAL
- 3.1.1 OCCUPANCY CLASSIFICATION:
 GROUP E: GROUND FLOOR LEVEL
 GROUP C: RESIDENTIAL, OCCUPANCY LEVEL 2-4
 GROUP F, DIVISION 3: PARKING LEVEL
- 3.1.3 SEPARATION OF USES
 F-C (STORAGE GARAGE) TO E REQUIRES 1.5HR F.R.R.
 F-C TO C REQUIRES 1HR F.R.R.
 C TO E REQUIRES A 2 HR F.R.R.
- 3.1.17 OCCUPANT LOAD
 SEE A1.01
- 3.2 FIRE SAFETY
 BUILDING AREA:
 1196 m²
- 3.2.2 BUILDING SIZE AND CONSTRUCTION
 3.2.2.50 GROUP C, UP TO 6 STORES, SPRINKLERED
 SPRINKLERED: YES
- 3.4 EXITS
 3.4.2.1 MINIMUM NUMBER OF EXITS: 2 PER FLOOR
 3.4.2.5 DISTANCE BETWEEN EXITS: SEE A1.01
 3.4.2.5 LOCATION OF EXITS
 MAX TRAVEL PERMITTED (RESIDENTIAL) : 30m
 MAX TRAVEL PERMITTED (F3 USE) : 45m
- 3.7 HEALTH REQUIREMENTS
 NUMBER OF REQUIRED WASHROOMS : T.B.D.
- 3.8 REQUIREMENTS FOR PERSONS WITH DISABILITIES
 T.B.D.

NO.	DESCRIPTION	DATE
1	Rev Drawing & CIP Rev 1	March 5, 2020
2	Rev Drawing & CIP Rev 2	April 23, 2017



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Project		Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name		Code Analysis	
Date		2020/09/28	
Scale	1 : 300	Project #	1801
Revision	March 5, 2020	2	
Sheet #	A1.01		

GROUP E OCCUPANCY
 LIMITING DISTANCE: 11.5 m
 EXPOSING BUILDING FACE: 67 m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY
 SEE TABLE



EAST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	8.2 m	69 m ²	100%
2	8.2 m	69m ²	100%
3	8.2 m	63m ²	100%

① East Elevation - Limiting Distance
 SCALE = 1 : 300

GROUP E OCCUPANCY
 LIMITING DISTANCE: 8.7 m
 EXPOSING BUILDING FACE: 55 m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY
 SEE TABLE



NORTH ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	16.2 m	134 m ²	100%
2	7.7 m	29 m ²	100%
3	11.3 m	92 m ²	100%
4	7.7 m	30 m ²	100%
5	7.7 m	29 m ²	100%
6	11.3 m	92 m ²	100%
7	7.7 m	30 m ²	100%
8	9.8 m	29 m ²	100%
9	11.3 m	92 m ²	100%
10	9.8 m	30 m ²	100%

② North Elevation - Limiting Distance
 SCALE = 1 : 300

GROUP E OCCUPANCY
 SEE TABLE

GROUP C OCCUPANCY
 LIMITING DISTANCE: 13.8 m
 EXPOSING BUILDING FACE: 150+ m²
 MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



SOUTH ELEVATION - GROUP E OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	12.1 m	92 m ²	100%
2	11.8 m	47m ²	100%
3	11.8 m	67m ²	100%

③ South Elevation - Limiting Distance
 SCALE = 1 : 300

GROUP E OCCUPANCY
 N/A

GROUP C OCCUPANCY
 SEE TABLE



WEST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING	PROPOSED AREA OF OPENING	PROPOSED % OPENING
1	3.2 m	69 m ²	33%	17.5 m ²	25%
2	3.2 m	69 m ²	33%	17.5 m ²	25%
3	3.2 m	63 m ²	34%	17.5 m ²	28%

④ West Elevation - Limiting Distance
 SCALE = 1 : 300

NO.	DESCRIPTION	DATE
1	Rev. Drawing & DFP Rev 1	March 5, 2020
2	Rev. Drawing & DFP	April 23, 2017



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Project: Jwll Residential
 1920 Oak Bay Ave.
 Oak Bay, BC

Sheet Name: Limiting Distance

Date: 2020/09/28

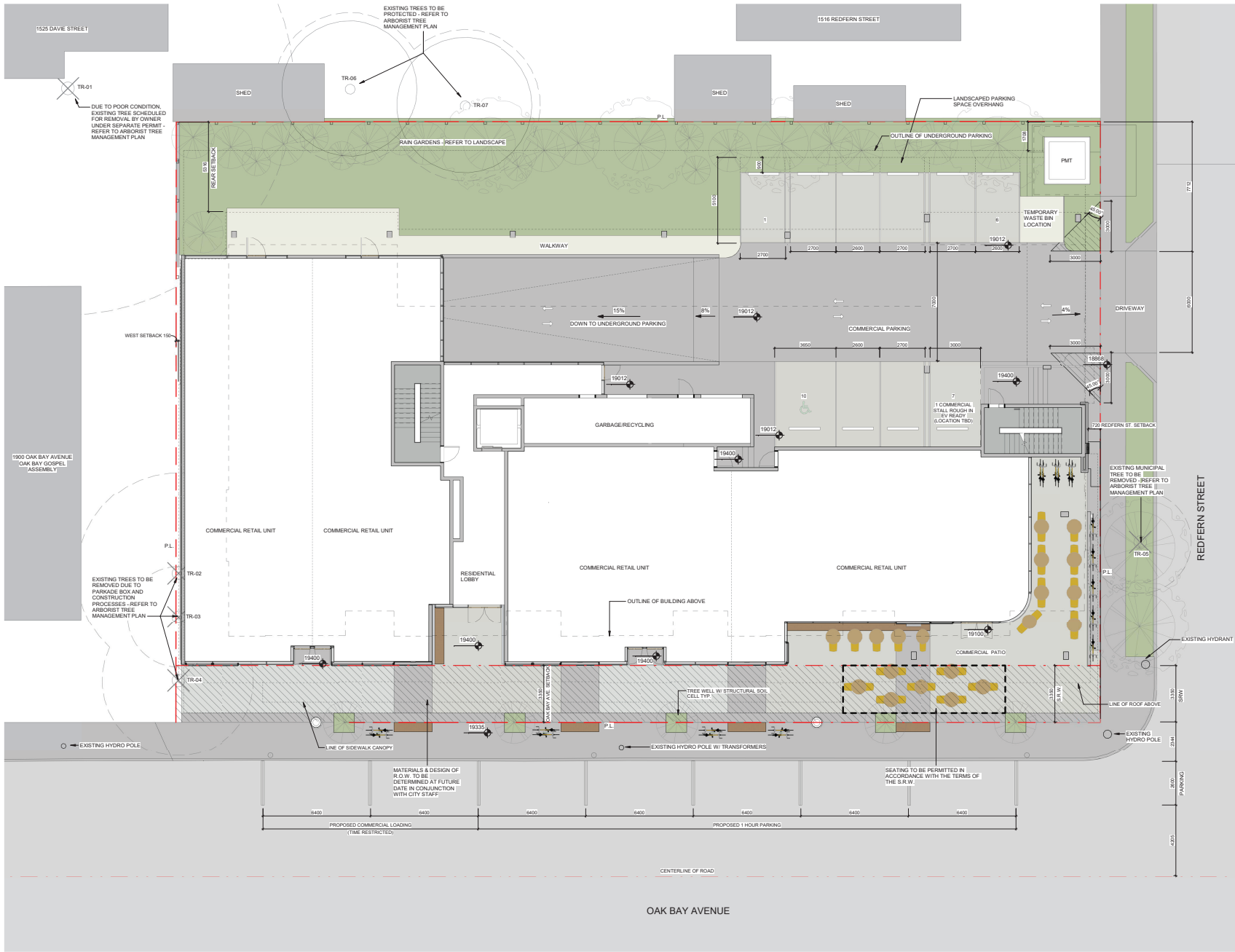
Scale: 1 : 300

Project #: 1801

Revision: March 5, 2020

Sheet #: A1.02



9/28/2020 11:39:49 AM

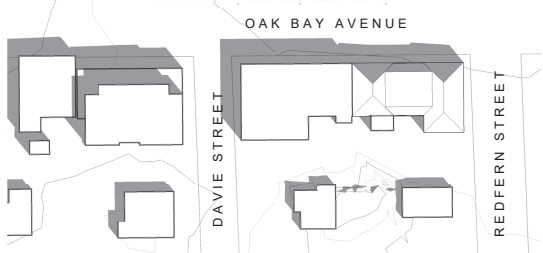
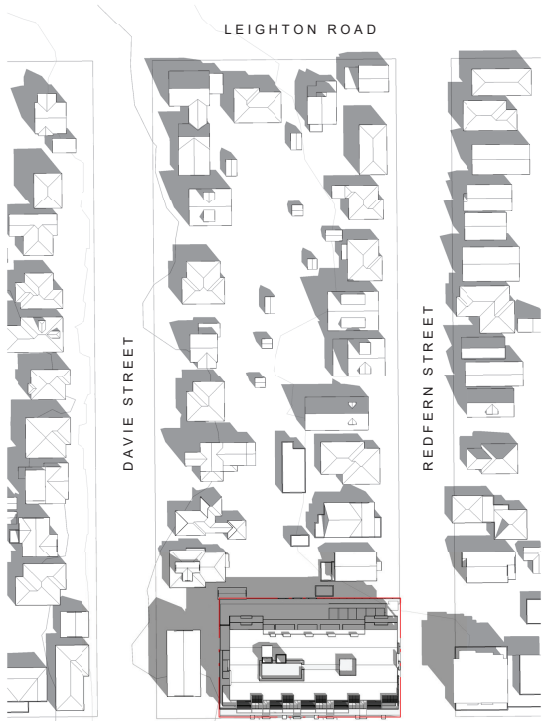


NO.	DESCRIPTION	DATE
1	Site Covering & EOP Rev 1	May 15, 2020
2	Site Covering & EOP Rev 2	April 15, 2020
3	Site Covering & EOP Rev 3	March 5, 2020
4	Site Covering & EOP Rev 4	April 15, 2019

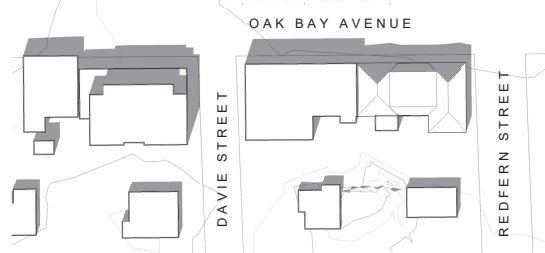
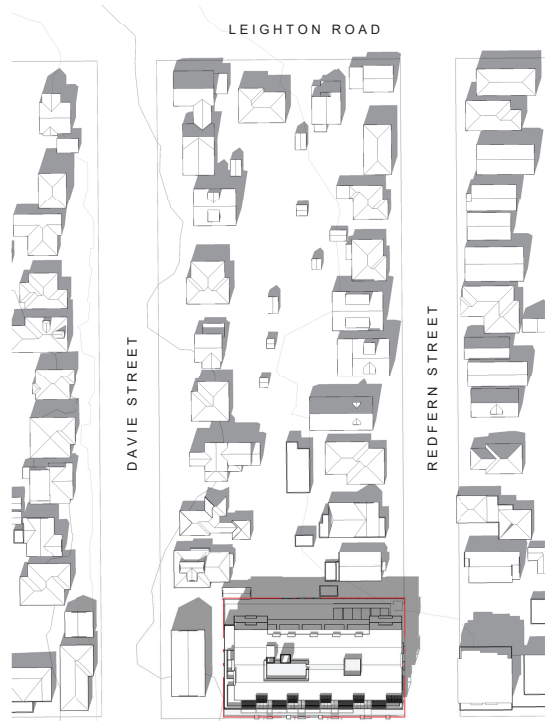


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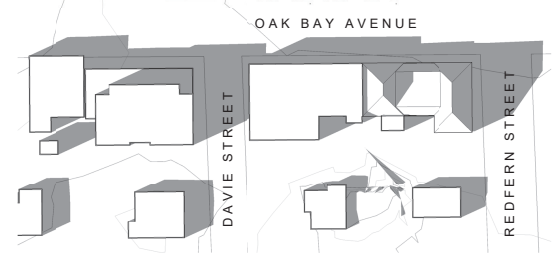
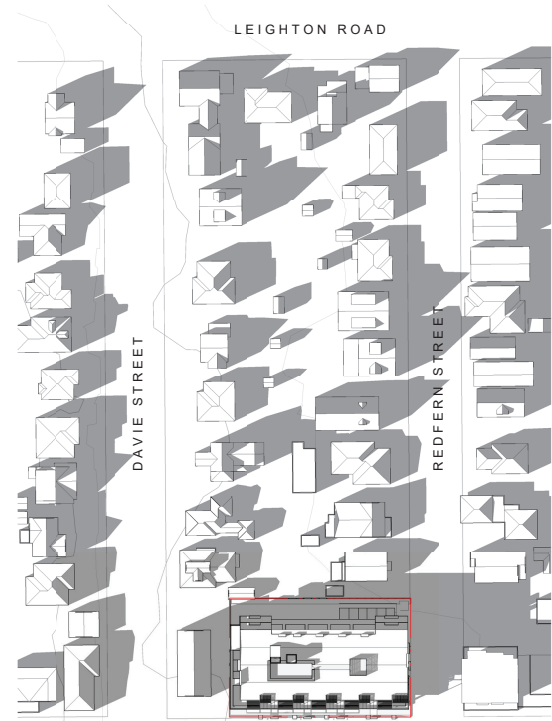
Project			
Project Name		Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name		Overall Site Plan	
Date		2020/09/28	
Scale	1 : 100	Project #	1801
Revision	May 15, 2020	Revision	
Sheet #	A1.03		



1 EQUINOX 10 AM
1 : 700



2 EQUINOX 1 PM
1 : 700




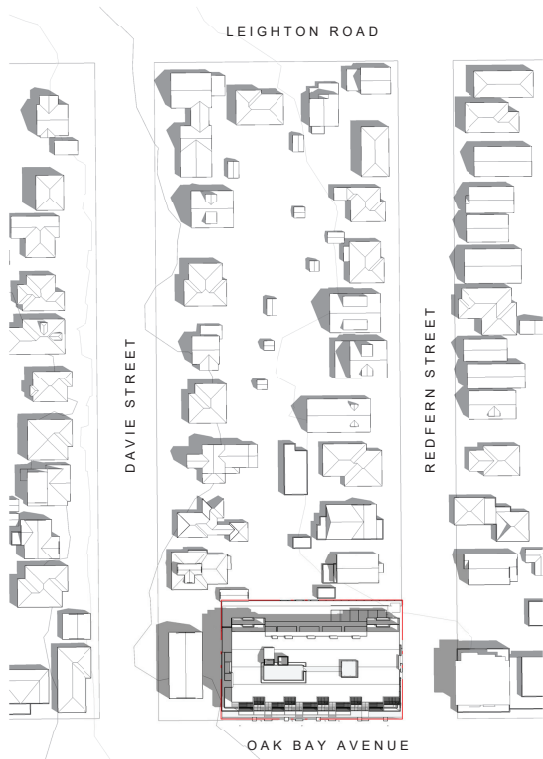
3 EQUINOX 4 PM
1 : 700

NO.	DESCRIPTION	DATE
	Re-Zoning & CP Rev 1	March 5, 2020
	Re-Zoning & CP	April 2, 2017

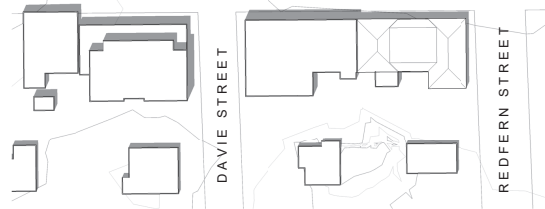
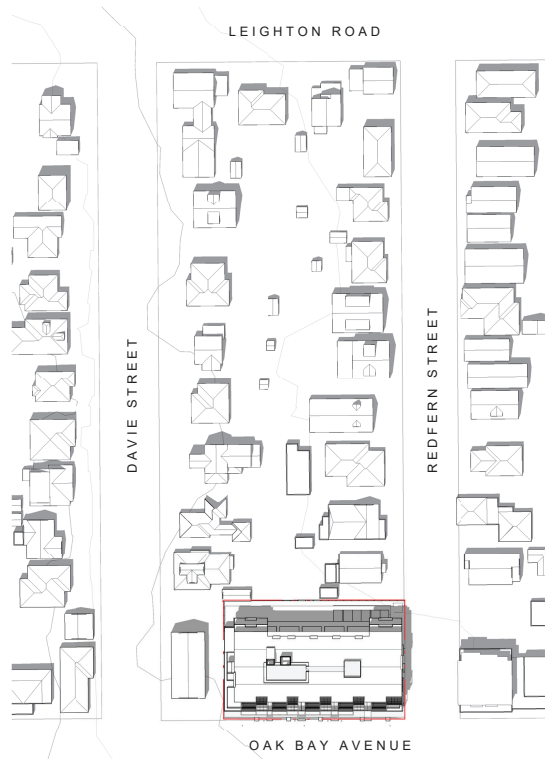


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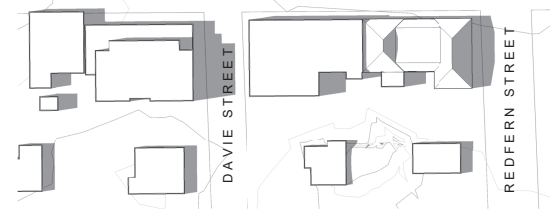
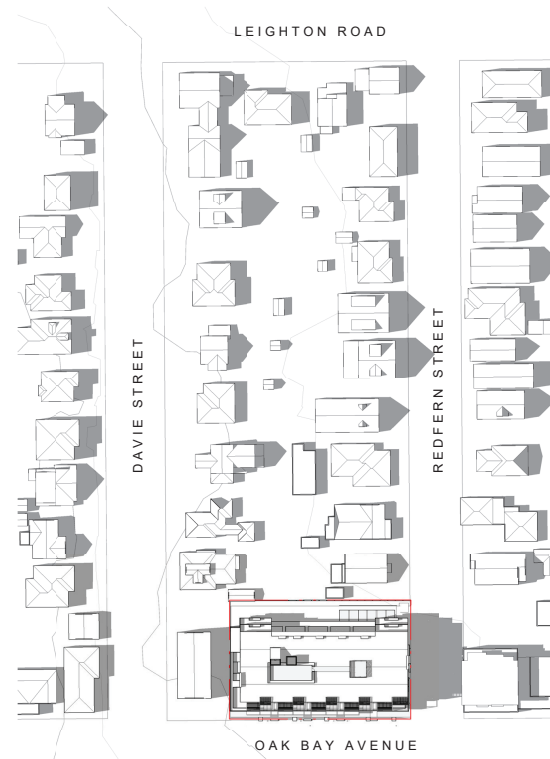
Project	
 Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Shadow Study - Fall Equinox	
Date	
2020/09/28	
Scale	Project #
1 : 700	1801
Revision	
March 5, 2020	2
Sheet #	
A1.04	



1 SUMMER SOLSTICE 10 AM
1 : 700



2 SUMMER SOLSTICE 1 PM
1 : 700




3 SUMMER SOLSTICE 4 PM
1 : 700

NO.	Re-Zoning & CP Rev 1	March 5, 2020
	Re-Zoning & CP	April 13, 2017
	DESCRIPTION	DATE



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Project	
	
Jwll Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Shadow Study - Summer Solstice	
Date	
2020/09/28	
Scale	Project #
1 : 700	1801
Revision	
March 5, 2020	2
Sheet #	
A1.05	



① WINTER SOLSTICE 10 AM
1 : 700



② WINTER SOLSTICE 1 PM
1 : 700




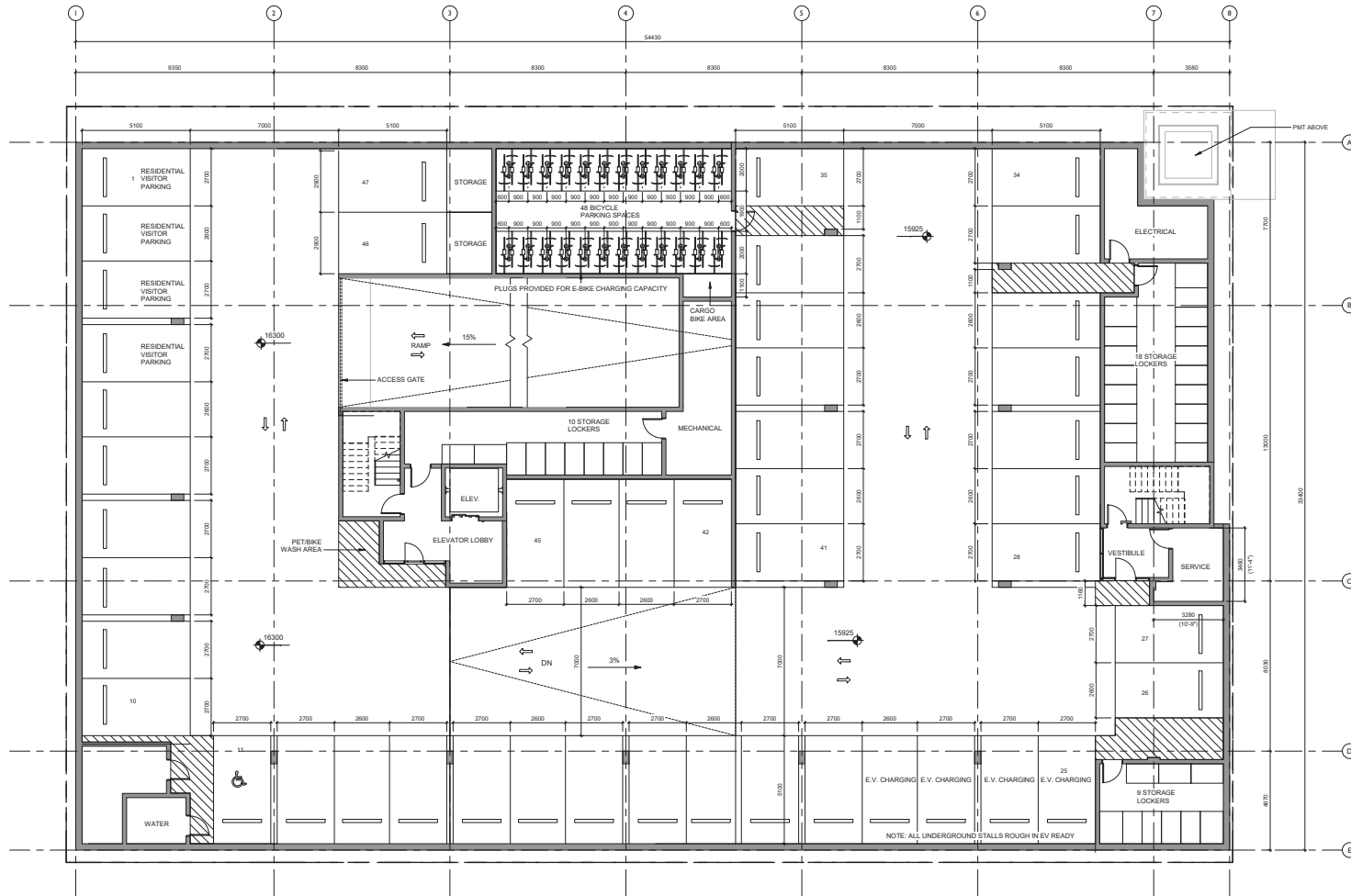
③ WINTER SOLSTICE 3 PM
1 : 700

NO.	DESCRIPTION	DATE
	Rev-Zoning & CP Rev 1	March 5, 2020
	Rev-Zoning & CP	April 12, 2017



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Project	
	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Shadow Study - Winter Solstice	
Date	
2020/09/28	
Scale	Project #
1 : 700	1801
Revision	
March 5, 2020	2
Sheet #	
A1.06	

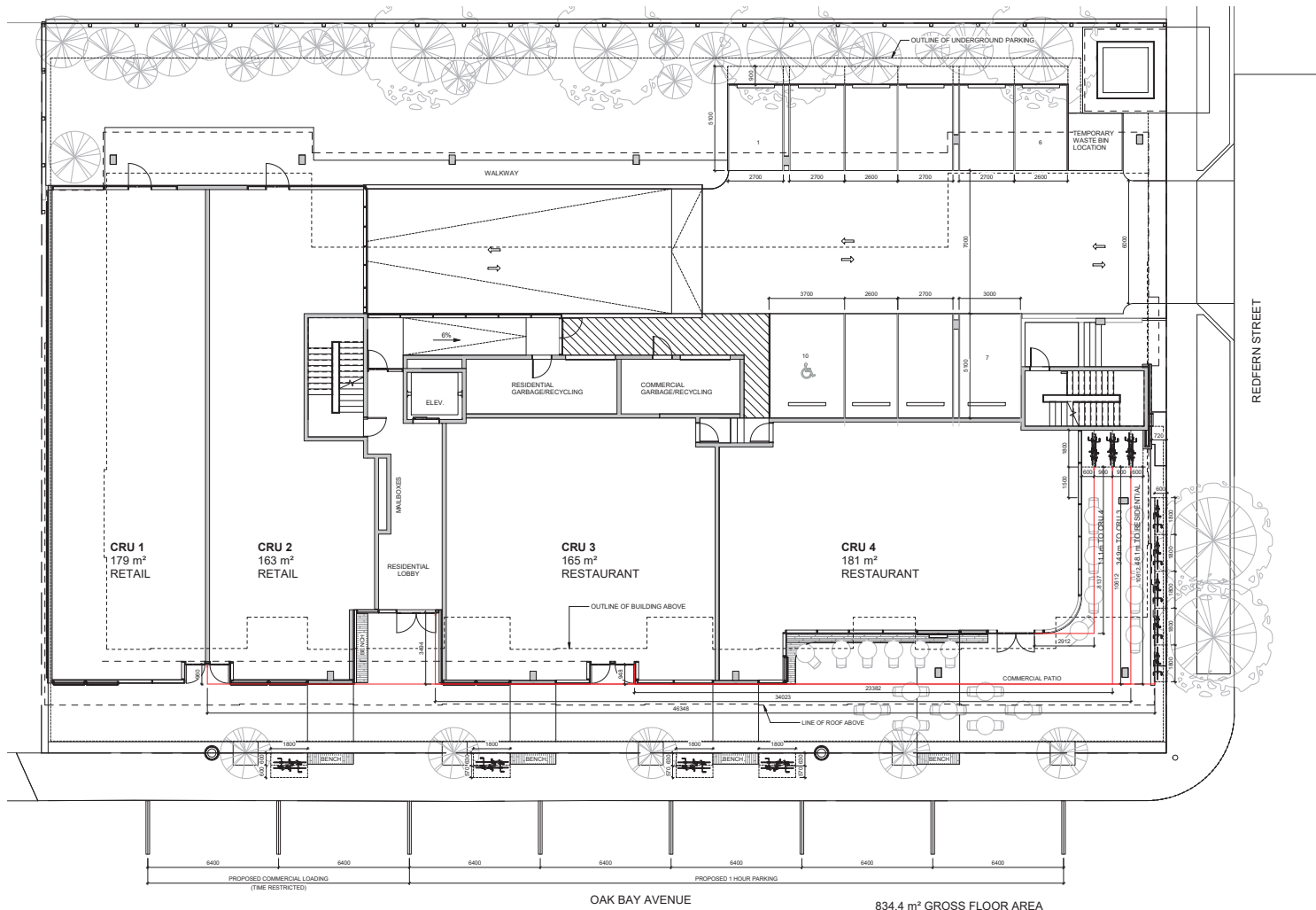


NO.	DESCRIPTION	DATE
1	By Zorina & CF Rev 1	March 5, 2020
2	By Zorina & CF Rev 2	April 22, 2020



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
Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Parking Level Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
March 5, 2020	2
Sheet #	
A2.00	

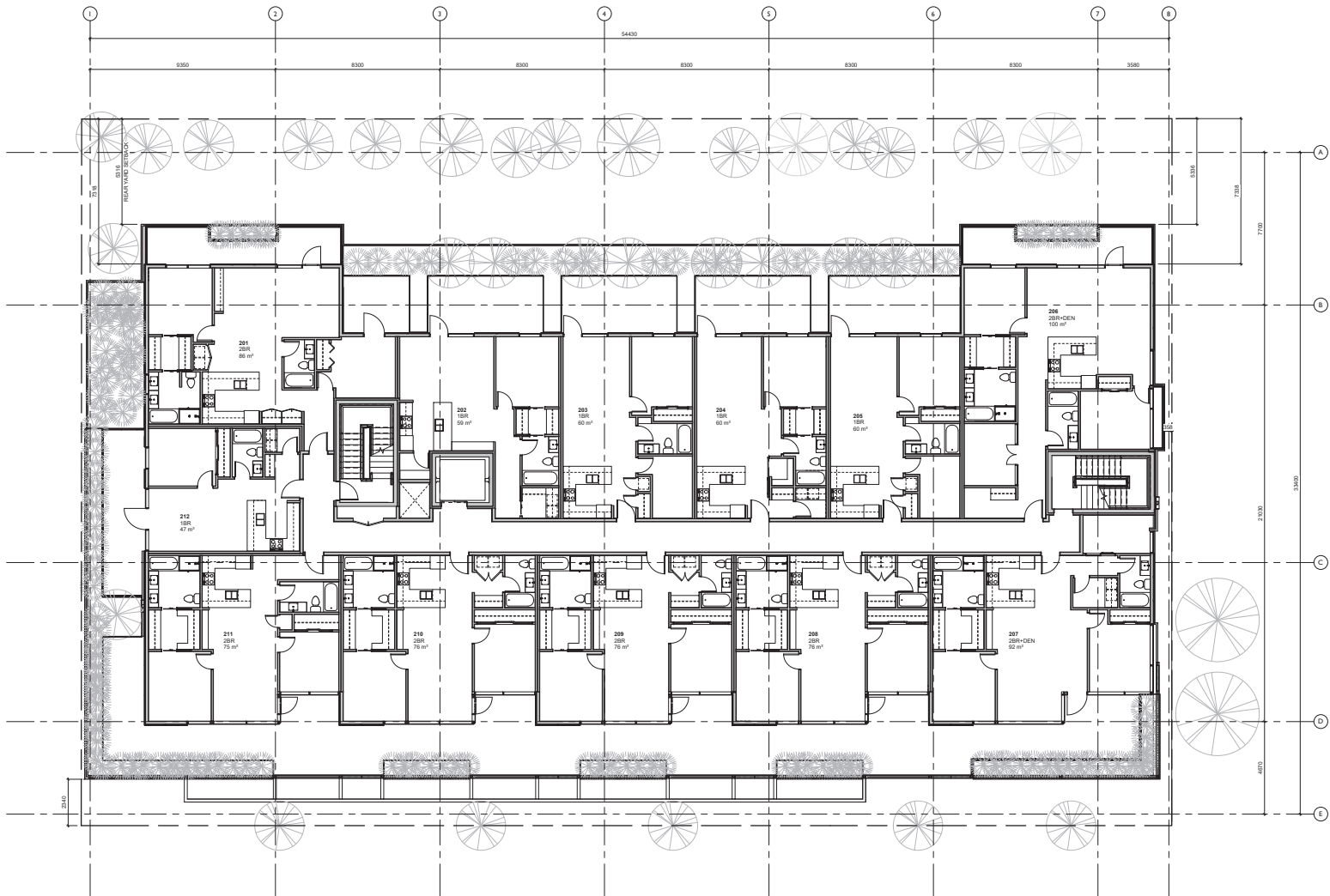


NO.	DESCRIPTION	DATE
1	Site Covering & EOP Rev 1	May 15, 2020
2	Site Covering & EOP Rev 2	April 15, 2020
3	Site Covering & EOP Rev 3	March 5, 2020
4	Site Covering & EOP Rev 4	April 15, 2019



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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Ground Floor Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
May 15, 2020	
Sheet #	
A2.01	





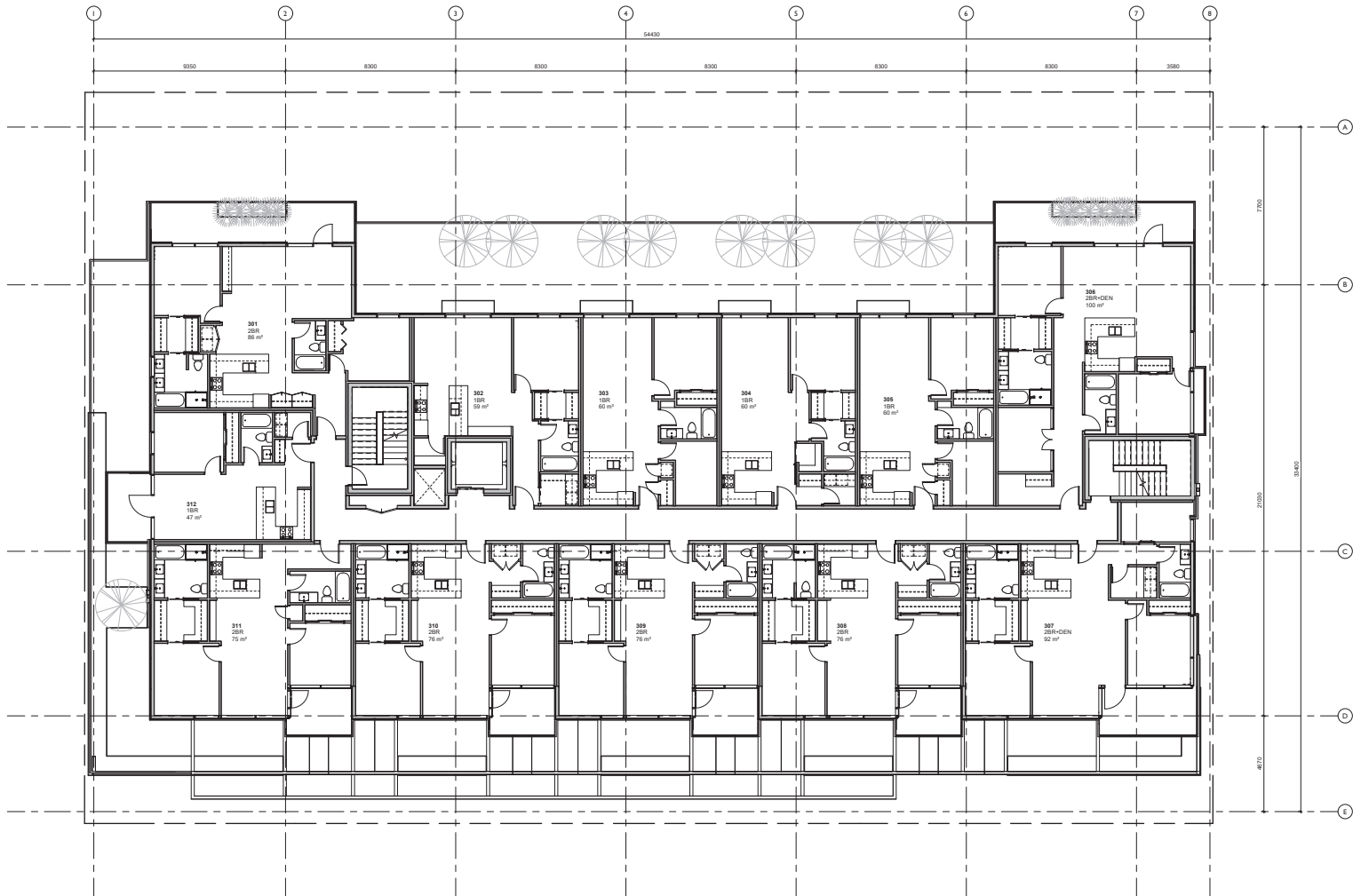
1,004.85 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

NO.	DESCRIPTION	DATE
	Rev-Zoning & CIP Rev 1	March 5, 2020
	Rev-Zoning & CIP Rev 2	April 12, 2017



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Project	
	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Second Floor Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
March 5, 2020	
Sheet #	
A2.02	



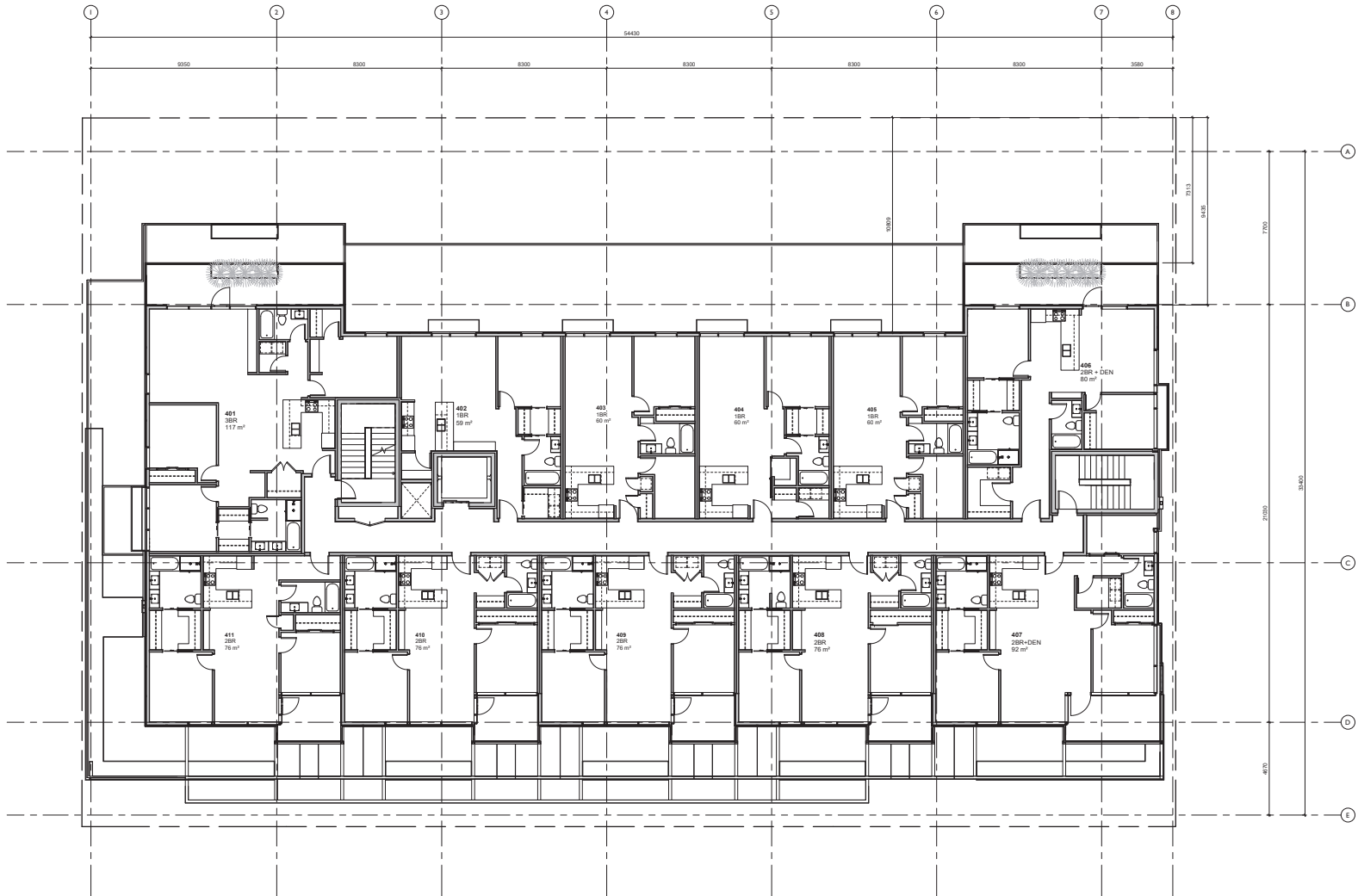
1,004.85 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

NO.	DESCRIPTION	DATE
1	Rev. Drawing & CIP Plan	March 5, 2020
2	Rev. Drawing & CIP	April 22, 2020



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Project	
	Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC
Sheet Name	
Third Floor Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
March 5, 2020	
Sheet #	
A2.03	





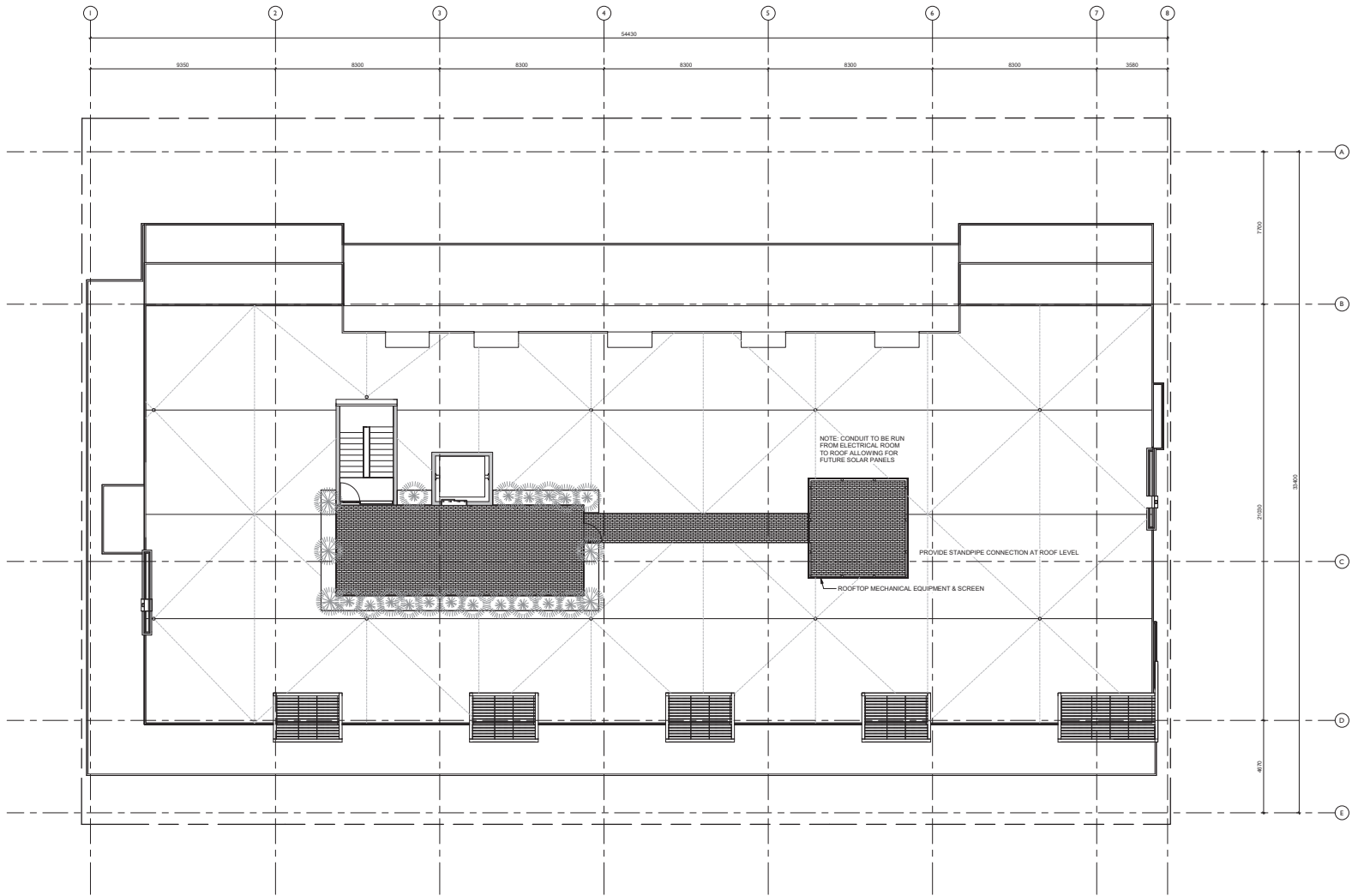
965.03 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

NO.	DESCRIPTION	DATE
1	Rev. Drawing & CIP Plan	March 5, 2020
2	Rev. Drawing & CIP	April 22, 2017



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Project	
	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Fourth Floor Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
March 5, 2020	
Sheet #	
A2.04	



13.25 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

NO.	DESCRIPTION	DATE
1	Rev Drawing & E.P. Rev 0	Sept 28, 2020
2	Rev Drawing & E.P. Rev 1	Sept 18, 2020
3	Rev Drawing & E.P. Rev 2	March 5, 2021
4	Rev Drawing & E.P. Rev 3	April 12, 2021



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Project	
	Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC
Sheet Name	
Roof Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
Sept 28, 2020	5
Sheet #	
A2.05	



1 South Elevation
1 : 100



2 East Elevation
1 : 100

MATERIALS LEGEND	
1 CEMENTITIOUS PANEL CLADDING	7 CLEAR SEALED WOOD
2 TRANSPARENT GLAZING	8 CONCRETE
3 PRE-FINISHED METAL	9 METAL LOUVRE
4 PAINTED STEEL OR ALUMINIUM	10 CONCRETE BLOCK
5 WOOD-TEXTURED SHADE SCREEN	11 WOOD FENCING
6 T&G CEDAR SOFFIT	12 BRICK

NO.	DESCRIPTION	DATE
1	Rev. 2020 & CIP Rev. 4	Sept. 28, 2020
2	Rev. 2020 & CIP Rev. 3	July 15, 2020
3	Rev. 2020 & CIP Rev. 2	April 15, 2020
4	Rev. 2020 & CIP Rev. 1	March 5, 2020
5	Rev. 2020 & CIP Rev. 0	April 12, 2017



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Project	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Elevations	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
Sept. 28, 2020	5
Sheet #	
A3.00	



1 North Elevation
1 : 100



2 West Elevation
1 : 100

MATERIALS LEGEND			
1	CEMENTITIOUS PANEL CLADDING	7	CLEAR SEALED WOOD
2	TRANSPARENT GLAZING	8	CONCRETE
3	PRE-FINISHED METAL	9	METAL LOUVRE
4	PAINTED STEEL OR ALUMINUM	10	CONCRETE BLOCK
5	WOOD-TEXTURED SHADE SCREEN	11	WOOD FENCING
6	T&G CEDAR SOFFIT	12	BRICK

NO.	DESCRIPTION	DATE
1	Rev-Zoning & DP Rev 4	Sept 28, 2020
1	Rev-Zoning & DP Rev 3	May 19, 2020
1	Rev-Zoning & DP Rev 2	April 15, 2020
1	Rev-Zoning & DP Rev 1	March 5, 2020
1	Rev-Zoning & DP Rev 0	April 13, 2017



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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Elevations	
Date 2020/09/28	
Scale 1 : 100	Project # 1801
Revision Sept 28, 2020	5
Sheet # A3.01	



VIEW FROM OAK BAY AVENUE & DAVIE STREET



VIEW FROM OAK BAY AVENUE LOOKING EAST



VIEW FROM OAK BAY AVENUE LOOKING WEST



1 Oak Bay Ave Context Elevation
1 : 200



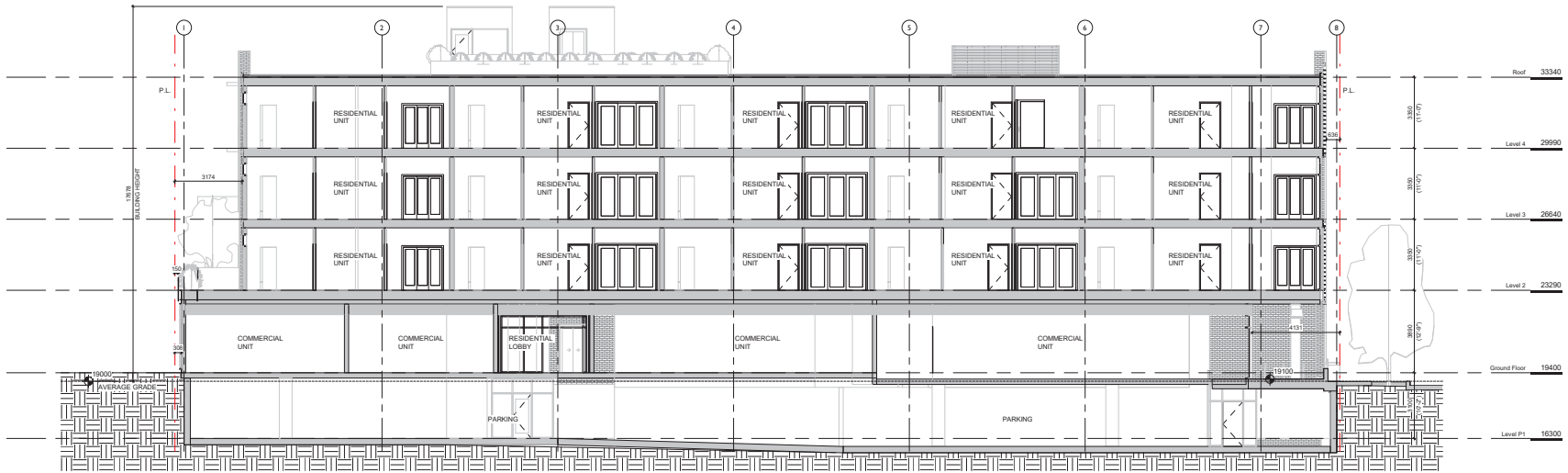
2 Redfern St Context Elevation
1 : 200

NO.	DESCRIPTION	DATE
1	Pre-Concept & CP Rev. 1	Sept. 28, 2020
1	Pre-Concept & CP Rev. 2	May 13, 2020
1	Pre-Concept & CP Rev. 3	Sept. 15, 2020
2	Pre-Concept & CP Rev. 4	March 5, 2020
1	Pre-Concept & CP	April 13, 2017

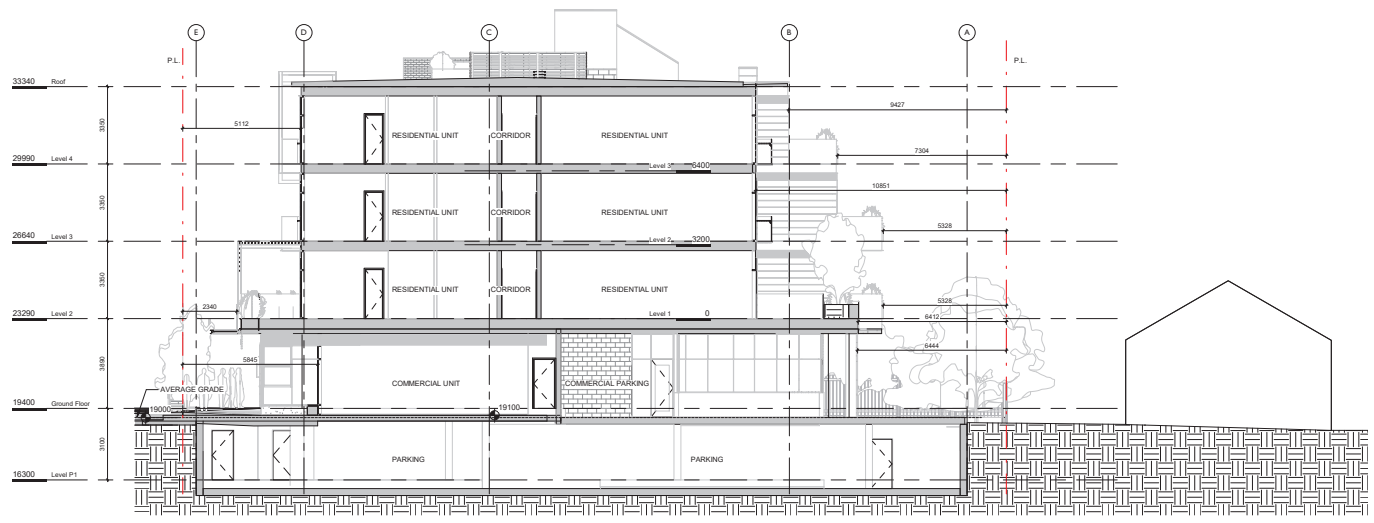


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Project	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Context Elevations	
Date 2020/09/28	
Scale 1 : 200	Project # 1801
Revision Sept 28, 2020	5
Sheet #	A3.02



1 Long Section
1 : 100



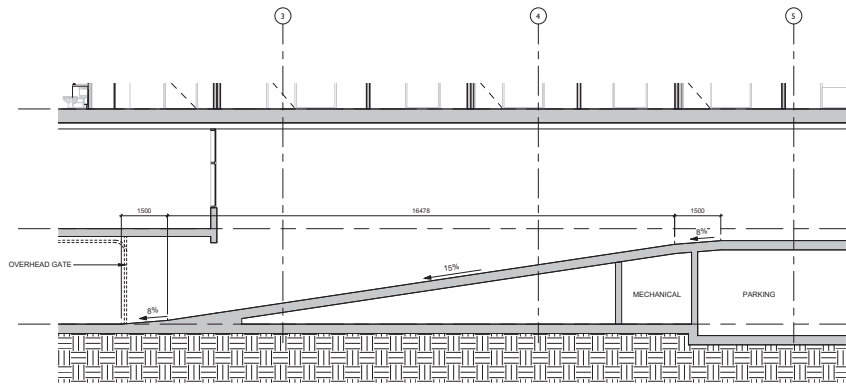
2 Cross Section
1 : 100

NO.	DESCRIPTION	DATE
1	Re-Zoned & CIP Rev. 4	Sept. 28, 2020
2	Re-Zoned & CIP Rev. 3	July 17, 2020
3	Re-Zoned & CIP Rev. 2	April 15, 2020
4	Re-Zoned & CIP Rev. 1	March 5, 2020
5	Re-Zoned & CIP Rev. 0	April 22, 2017

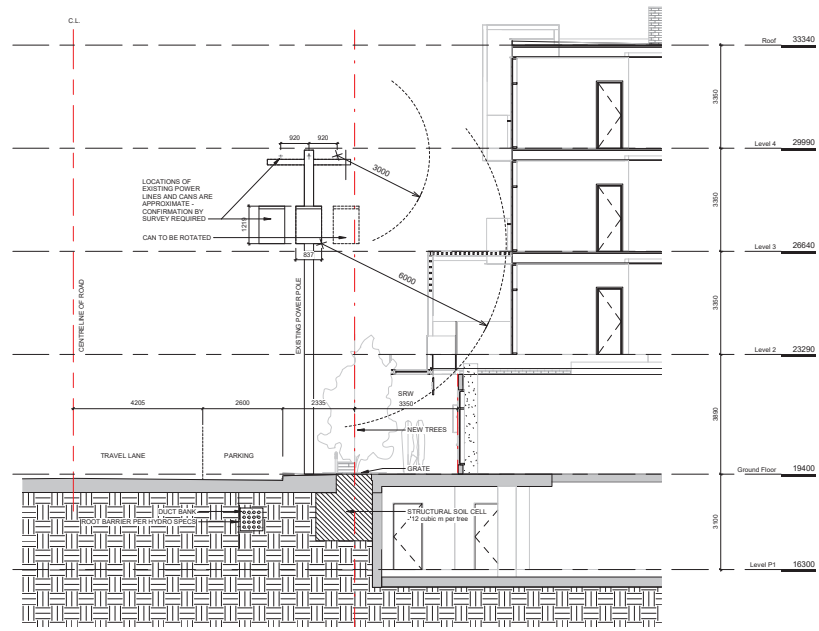


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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Building Sections	
Date 2020/09/28	
Scale 1 : 100	Project # 1801
Revision Sept 28, 2020	5
Sheet # A4.00	



② Parking Ramp Section
1 : 75



① Street Section
1 : 75

NO.	DESCRIPTION	DATE
	Rev. Drawing & CIP Rev 1	March 5, 2020
	Rev. Drawing & CIP Rev 1	April 12, 2017



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Project		Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name		Context Sections	
Date		2020/09/28	
Scale	1 : 75	Project #	1801
Revision		March 5, 2020	②
Sheet #		A4.01	



VIEW FROM CORNER OF OAK BAY AVENUE & REDFERN STREET



VIEW REDFERN STREET LOOKING TOWARDS OAK BAY AVENUE



RESIDENTIAL LOBBY



COMMERCIAL CORNER PATIO

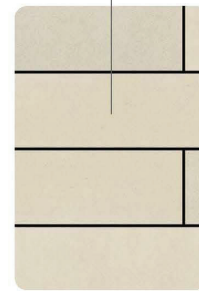
NO.	DESCRIPTION	DATE
1	Pre-Concept & CPN Rev 1	April 16, 2020
2	Pre-Concept & CPN Rev 2	March 5, 2020
3	Pre-Concept & CPN	April 16, 2020



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Project		Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name		Perspectives	
Date		2020/09/28	
Scale	1 : 20	Project #	1801
Revision		Apr 16, 2020	3
Sheet #		A9.00	

PROJECT MATERIALS



PANEL



BRICK



PAVING



GLASS



CONCRETE



PLANTING

ACCENT



WOOD



METAL

Rev	By	Description	Date
1	W. Young & C.P. Haxel	Final	March 5, 2020
2	W. Young & C.P. Haxel	Revisions	April 13, 2020



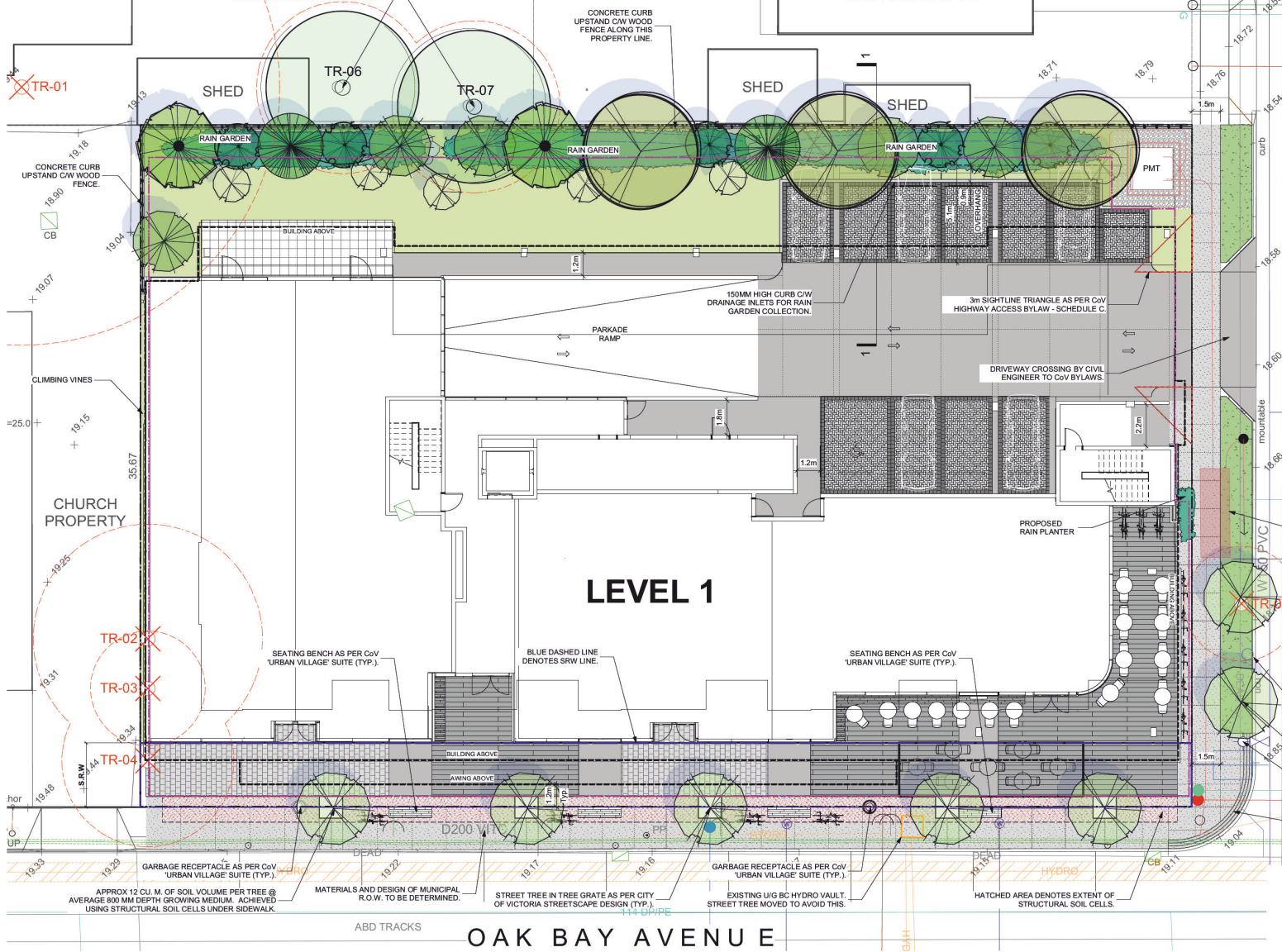
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Project	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Materials	
Date: 2020/09/28	
Scale	Project #
	1801
Revision	March 5, 2020
	2
Sheet #	A9.01

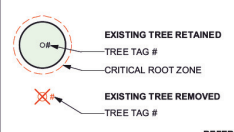
CLADDING

1525 DAVIE ST.

1516 REDFERN ST.



- ### LEGEND
- PROPERTY LINE
 - STATUTORY RIGHT OF WAY
 - EXTENT OF PARKADE, BELOW
 - BUILDING LINE ABOVE
 - RAIN GARDEN - TOP OF POOL
 - RAIN GARDEN - BOTTOM OF POOL
 - MUNICIPAL SIDEWALK: CAST IN PLACE CONCRETE C/W BROOK FINISH & TOOLED CONTROL JOINTS. JOINT PATTERN AS PER CITY OF VICTORIA, SHOWN INDICATIVELY.
 - CAST IN PLACE CONCRETE C/W BROOK FINISH & TOOLED CONTROL JOINTS.
 - UNIT PAVING TYPE 1: STANDARD SERIES, 225x112x60MM, RUNNING BOND PERPENDICULAR TO BUILDING, COLOUR: 50% NATURAL, 50% SHADOW.
 - UNIT PAVING TYPE 2: PIAZZA SERIES, 600x60x100x100MM, OFFSET RUNNING BOND PARALLEL TO BUILDING, COLOUR: CHARCOAL.
 - UNIT PAVING TYPE 3 (VEHICULAR): STANDARD SERIES, 225x112x60MM, 90° HERRINGBONE C/W SOLIDER COURSE BORDER, COLOUR: SHADOW C/W CHARCOAL BORDER.
 - UNIT PAVING TYPE 4 (PATIO): HYDRA-PRESSED SLAB PAVERS, TEXADA, 610x610x50MM, COLOUR: NATURAL.
 - LAWN AREA
 - SHRUB PLANTING AREA
 - ORNAMENTAL AND AMENITY PLANTINGS. SPECIES TO INCLUDE NATIVE AND APPROPRIATE NON-NATIVE SPECIES THAT ARE ADAPTED TO SITE CONDITIONS, CLIMATE AND DESIGN INTENT.
 - RAIN GARDEN AREA
 - LANDSCAPE BUFFER. SEE PLANTING PLAN.
 - SOLID FENCE, 1.8M HEIGHT MAX., WOOD CONSTRUCTION TO C/W BYLAW, TOP MOUNTED TO CURB.
 - BIKE RACK (SEE ARCH PLANS FOR NUMBERS)
 - SITE FURNISHINGS, MUNICIPAL PROPERTY: The City of Victoria will provide the types, colours and specifications for the Urban Village suite of public furnishings prior to building permit submission.



TREE SUMMARY

New Trees Proposed On-site:	40 (L1, L2 and Roof)
New Trees Proposed Off-site:	7

Refer: L3.01 Planting Plan for additional information. Final species to be determined in consultation with City of Victoria Parks staff.

REFER TO CURRENT ARBORIST'S TREE MANAGEMENT PLAN BY GYE & ASSOCIATES FOR FULL DETAILS.

- #### DRAWING NOTES
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

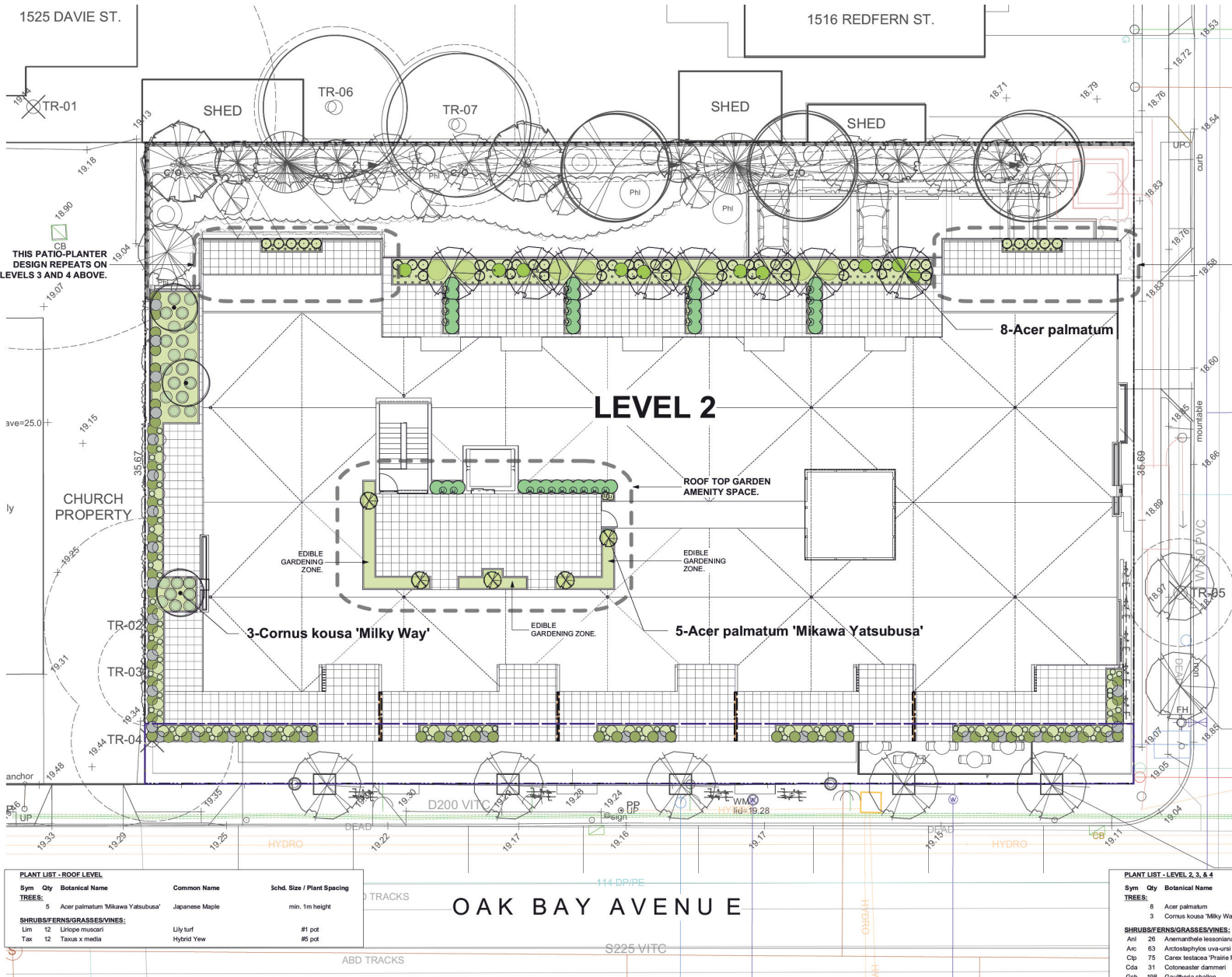
Murdoch de Greeff
Landscape Planning & Design

280 - 524 Campbell Street
Victoria, BC V8Z 1Y1

Phone: 250.473.0961
Fax: 250.473.2886

2020-09-28

client	JAWL RESIDENTIAL	
project	1920 OAK BAY AVE 1920 OAK BAY AVE VICTORIA, BC	
sheet title	Landscape Materials	
project no.	118.30	
scale	1:100 @ 24"x36"	
drawn by	JKUD	
checked by	SM	
revision no.	sheet no.	
6	L1.01	

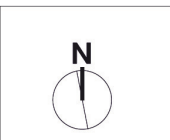


LEGEND

- PROPERTY LINE
- UNIT PAVING: HYDRA-PRESSED SLAB PAVERS
- SHRUB PLANTING AREA WITHIN PRE-FABRICATED RAISED PLANTER
- ARCHITECTURAL PRIVACY SCREEN BY OTHERS. REFER ARCH. DWGS.

- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - All planters to be filled with voiding foam or other suitable voiding material to limit maximum soil depth. Structural engineer to confirm maximum soil depth (assumed 450-600mm - TBD).
 - Each patio to receive independent irrigation system for planters. Allow for hose bib connection c/w residential grade backflow device, battery controller and suitable dripline and/or micro sprays. Connoval irrigation equipment. Provide conduit sleeving through base of aluminum planters for irrigation lines.

THIS PATIO-PLANTER DESIGN REPEATS ON LEVELS 3 AND 4 ABOVE.



rev no	description	date
5	DP/REV. REV. 4	SEPT. 28, 2020
4	DP/REV. REV. 3	JUN. 22, 2020
3	DP/REV. REV. 2	APR. 20, 2020
2	DP/REV. REV. 1	MAR. 05, 2020
1	DP/REV. REV. 0	APR. 24, 2019

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Landscape Planning & Design

230 - 524 Columbia Road
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client
JAWL RESIDENTIAL

project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

sheet title
Level 2 Landscape Materials & Planting Plan

project no. 118.30
scale: 1:100 @ 24"x36"
drawn by JKUD
checked by SM

revision no. sheet no.
L1.02

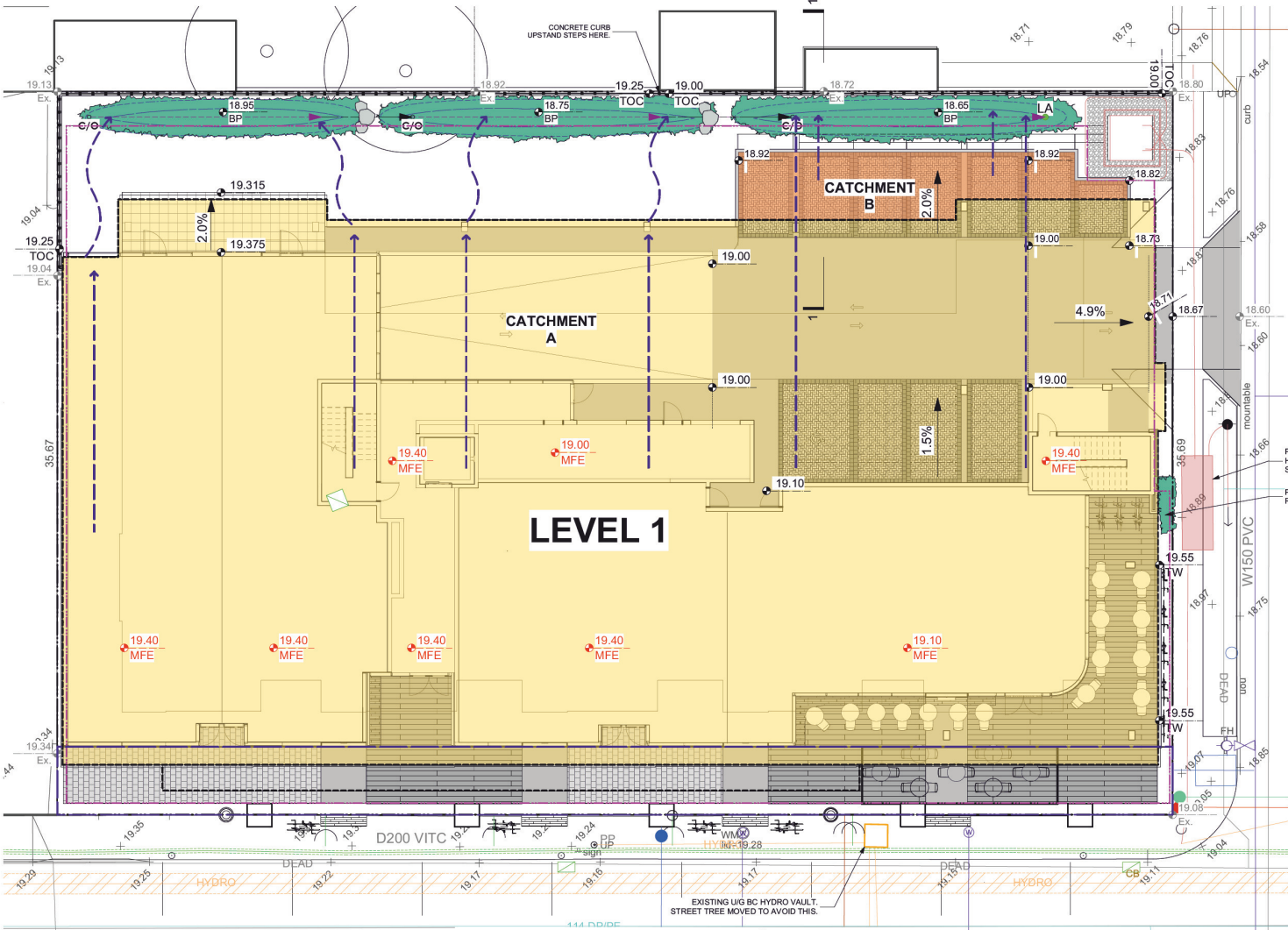
PLANT LIST - ROOF LEVEL

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
5		<i>Acer palmatum 'Mikawa Yatsubusa'</i>	Japanese Maple	min. 1m height
SHRUBS/FERNS/GRASSES/VINES:				
Lim	12	<i>Liriope muscari</i>	Lily turf	#1 pot
Tax	12	<i>Taxus x media</i>	Hybrid Yew	#5 pot

PLANT LIST - LEVEL 2, 3, & 4

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
8		<i>Acer palmatum</i>	Japanese Maple	3.0m ht, b&b
3		<i>Cornus kousa 'Milky Way'</i>	Milky Way Kousa Dogwood	multi-stem, 1.5 m ht, b&b
SHRUBS/FERNS/GRASSES/VINES:				
Anl	26	<i>Anemonefile lessoniana</i>	Pheasant's Tail Grass	#1 pot
Ar	63	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 pot / 60 cm O.C.
Cp	75	<i>Carex lasiocoma 'Prairie Fire'</i>	Prairie Fire Sedge	Sp3
Cda	31	<i>Cotoneaster dammeri</i>	Bearberry	#1 pot / 50 cm O.C.
Gsh	198	<i>Gaumeria shallon</i>	Sisal	#1 pot
Hs	70	<i>Hebe topiaria</i>	Topiaria's hebe	#1 pot
Lim	16	<i>Liriope muscari</i>	Lily turf	#1 pot
Lp	48	<i>Lonicera pileata</i>	Privet Honeysuckle	#2 pot
Ma	8	<i>Mahonia aquifolium</i>	Oregon Grape	#3 pot
Tax	20	<i>Taxus x media</i>	Hybrid Yew	#5 pot
Vo	10	<i>Vaccinium ovatum 'Thunderbird'</i>	Evergreen Huckleberry	#1 pot
	0			





- LEGEND**
- PROPERTY LINE
 - - - EXTENT OF UNDERGROUND PARKING (INDICATIVE)
 - - - EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
 - - - RAIN GARDEN - TOP OF POOL
 - - - RAIN GARDEN - BOTTOM OF POOL
 - EXISTING LANDSCAPE GRADE
 - ARCHITECTURAL GRADE, PROVIDED FOR REFERENCE ONLY
 - PROPOSED LANDSCAPE GRADE
 - TYPICAL RAIN GARDEN DETAIL
 - RAIN GARDEN AREA
 - DRAINAGE FLOW DIRECTION
 - VEGETATED SWALE FLOW DIRECTION
 - RAIN GARDEN OVERTFLOW DRAIN
 - CLEAN-OUT DRAIN
 - PERFORATED UNDERDRAIN PIPE
 - SOLID PVC PIPE
 - CATCHMENT A ROOF RUNOFF SCUPPER TO SWALES AND CONVEYED TO RAIN GARDENS.
 - CATCHMENT B PAVEMENT RUNOFF SURFACE FLOWS TO CURB INLETS AND INTO RAIN GARDEN.

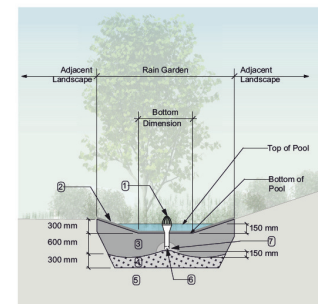
RAIN WATER MANAGEMENT NOTES

WATER COLLECTED FROM THE BUILDING ROOF AND REAR PARKING AREA FLOW TO RAIN GARDENS LOCATED AT THE NORTH OF THE SITE.

THE RAIN GARDENS ARE SIZED SUCH THAT THE BOTTOM OF THE RAIN GARDEN IS A MINIMUM OF 5% OF THE IMPERVIOUS AREA (AS PER CITY OF VICTORIA STORMWATER GUIDELINES).

RAIN GARDENS WILL BE DESIGNED WITH UNDERDRAINS AND A HIGH-CAPACITY OVERFLOW DRAIN THAT WILL BE CONNECTED TO THE ONSITE PIPED DRAINAGE SYSTEM.

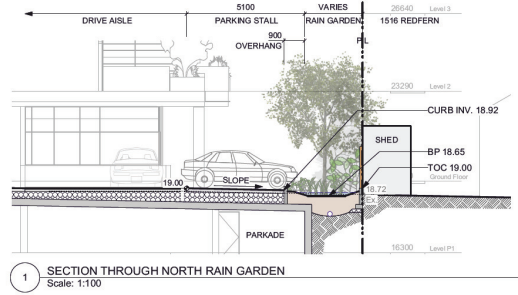
RAIN GARDENS ARE INTEGRATED BUILDING LANDSCAPES AND ARE DESIGNED TO CAPTURE, SLOW FLOWS, AND TREAT (CLEAN) RUNOFF.



- RAIN GARDEN MATERIALS**
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50-70 mm depth
 3. Bio-retention growing medium, 600 mm depth
 4. Scuffed/filled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (m) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

TYPICAL RAIN GARDEN DETAIL
Scale: 1:50

- GRADING NOTES**
1. All elevations are in meters.
 2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
 3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
 4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
 5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
 6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
 7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.



OAK BAY AVENUE



rev no	description	date
5	DP/REVZ REV.4	SEPT.28.2020
4	DP/REVZ REV.3	JUN.22.2020
3	DP/REVZ REV.2	JUN.20.2020
2	DP/REVZ REV.1	MAR.05.2020
1	DP/REVZ ON/NG	APR.24.2019

Murdoch de Greeff
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330-104 Campbell Road
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2020-09-28

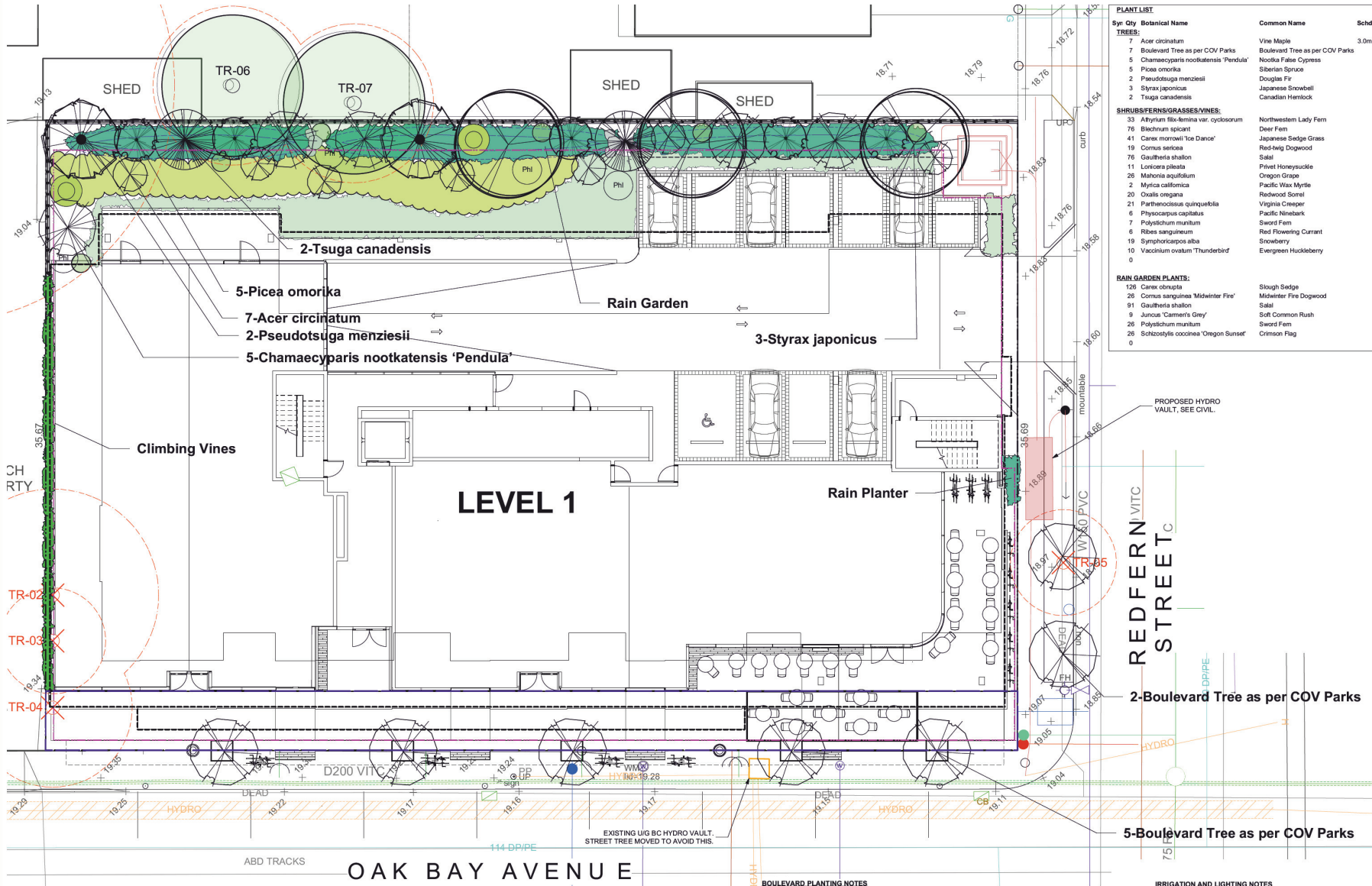
client
JAWL RESIDENTIAL

project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

sheet title
Stormwater Management

project no.	118.30
scale	1:100 @ 24"x36"
drawn by	JKUD
checked by	SM
revision no.	sheet no.

L1.03



PLANT LIST				
Sy	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
7		Acer circinatum	Vine Maple	3.0m ht, multi-stem (3 trunk)
7		Boulevard Tree as per COV Parks	Boulevard Tree as per COV Parks	5.0m cat, b&b
5		Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	3.0m ht
5		Picea omorika	Siberian Spruce	3.5m ht
2		Pseudotsuga menziesii	Douglas Fir	2.0m ht
3		Styrax japonicus	Japanese Snowbell	5.0m cat, b&b
2		Tsuga canadensis	Canadian Hemlock	5.0m ht
SHRUBS/FERNS/GRASSES/VINES:				
33		Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
76		Blechnum spicant	Deer Fern	#1 pot
41		Carex morrowii 'Ice Dance'	Japanese Sedge Grass	Sp3
19		Cornus sericea	Red-twig Dogwood	#1 pot
76		Gaultheria shallon	Salal	#1 pot
11		Lonicera pileata	Privet Honeysuckle	#2 pot
26		Mahonia aquifolium	Oregon Grape	#3 pot
2		Myrica californica	Pacific Wax Myrtle	#3 pot
20		Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
21		Parthenocissus quinquefolia	Virginia Creeper	#2 pot
6		Physocarpus opulifolius	Pacific Ninebark	#5 pot
7		Polystichum munium	Sword Fern	#3 pot
6		Ribes sanguineum	Red Flowering Currant	#3 pot
19		Symphoricarpos alba	Snowberry	#1 pot
10		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#1 pot
0				
RAIN GARDEN PLANTS:				
126		Carex obovata	Slough Sedge	#1 pot
26		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
91		Gaultheria shallon	Salal	#1 pot
9		Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
26		Polystichum munium	Sword Fern	#1 pot
0		Scotzkyella coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
0				



rev no	description	date
5	DP/REVZ REV.4	SEPT.28.2020
4	DP/REVZ REV.3	JUN.22.2020
3	DP/REVZ REV.2	APR.20.2020
2	DP/REVZ REV.1	MAR.05.2020
1	DP/REVZ ONING	APR.24.2019



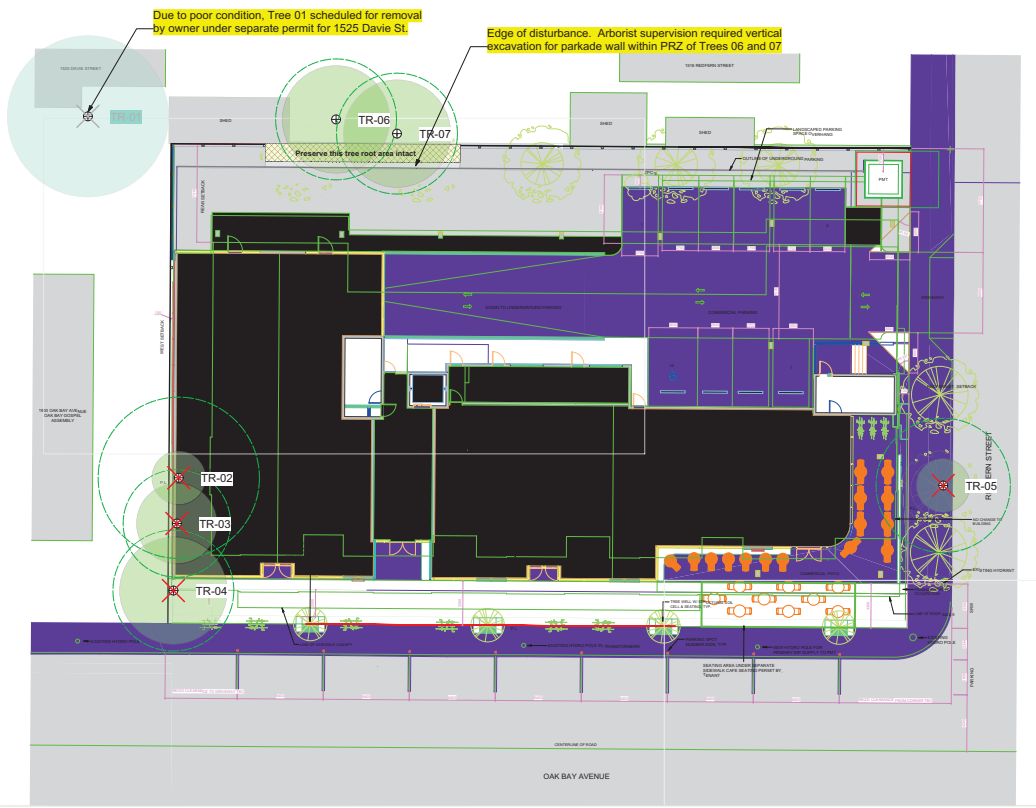
client	JAWL RESIDENTIAL
project	1920 OAK BAY AVE 1920 OAK BAY AVE VICTORIA, BC
sheet title	Planting Plan
project no.	118.30
scale	1:100 @ 24"x36"
drawn by	JKUD
checked by	SM
revision no.	sheet no.
5	L3.01

- BOULEVARD PLANTING NOTES**
- The Redfern Street boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
 - The Redfern Street boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
 - The Oak Bay Avenue boulevard trees are shown as per the City of Victoria streetscape design.
 - Final selection of boulevard trees to be determined through consultation with municipal parks staff.
 - Landscape within boulevard areas to be irrigated (unless otherwise indicated).
 - Boulevard irrigation point of connection to be 25 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff. The system for the trees on Oak Bay and Redfern will be maintained by Parks. Ensure system is supplied by a metered water service on Public Property.
 - Design and installation of boulevard irrigation system to meet current IAABC and Municipal Specifications.
 - Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
 - Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
 - All trees within boulevard to be irrigated with double ring drip irrigation system c/w double check valve.

- IRRIGATION AND LIGHTING NOTES**
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
 - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown on plan.
 - Arborist to review (prior to installation) sleeving of irrigation lines in protected root zone (PRZ) of existing trees.
 - Placement of electrical conduit through site to be coordinated with arborist.
 - Arborist to be onsite and supervise all excavation/benching within PRZ of retained trees.

- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - Final selection of boulevard trees to be determined through consultation with municipal staff.
 - Separate offsite irrigation system to be installed as per Municipal Specifications for Street Trees and Irrigation, SCHEDULE C (Current Edition).





GENERAL NOTE

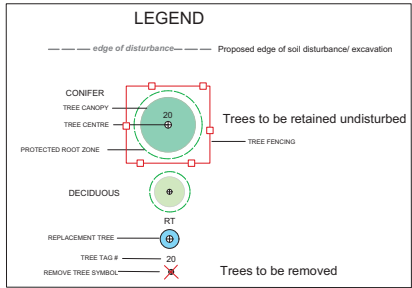
All on-site trees and two off-site trees are proposed for removal, due to the built out scope of the site plan (boundary-to-boundary). As such, typical protection measures, such as fencing and signage, are not required. It is assumed that site heading will be erected around the entire perimeter of the site. Arborist supervision will be required in order to re-locate root supports to two off-site trees (Trees 06 and 07).

Given the limited extent of tree retention and arborist involvement on this project, no written report has been prepared, apart from the notes on this plan.

- TREE PRESERVATION MEASURES**
- Start-up meeting:** Before demolition, site servicing or other site work commences, the owner and contractor shall meet with the arborist to review the Tree Protection Plan.
 - Tree protection fencing:** No protective tree fencing is required on this project.
 - Arborist supervision of site works:** The arborist shall be present to oversee stump removal, excavation, sub-drainage, site of pathway base preparation, service trenching, blasting or any other form of disturbance within, or adjacent to, the off-site tree protection area (TPA) for Trees 06.
 - Covering excavated cuts:** Any excavated cut within or adjacent to the TPA shall be securely covered with heavy-gauge plastic to prevent soil degradation and erosion.
 - Site monitoring:** The Project Arborist shall monitor the site on a regular basis during the site preparation, construction and landscaping phases to ensure ongoing and effective compliance with the tree protection measures specified in this tree plan and to provide meetings with the General Contractor and relevant consultants and sub-contractors.
 - Pre-blasting meeting:** If rock blasting is required, the General Contractor and blasting sub-contractor shall meet with the arborist to review the blasting plan prior to drilling. Modified blasting practices or rock removal techniques shall be utilized where considered necessary by the arborist to minimize blasting impacts to protected trees.
 - Replacement tree requirements:** Application is subject to former tree bylaw. No replacement trees are required.
 - Plan posting:** A full-size all-weather copy of the Tree Plan shall be posted in the site office in plain site.
 - Post-construction inspection and sign-off:** A post-construction inspection and assessment of the site and protection trees shall be conducted by the Project Arborist in the company of the General Contractor. Any deficiencies will be identified. Once all deficiencies have been addressed to the satisfaction of the Project Arborist and the City of Victoria, a post-construction letter of completion will be prepared by the arborist and submitted to the City.

TREE TABLE									
G&A Tree ID	Common Name	DBH (cm)	PRZr (m)	Crown Radius (m)	Health	Structural Condition	Bylaw Protected Tree?	Comments	Recommendations
01	Garry oak	90	13.5	6	Poor	Fair	Yes	Off-site tree (no tag)	Remove
02	Sycamore maple	10+10+10+5+5+5	6	2	Poor	No	No	On-site tree (no tag)	Remove
03	Silver birch	15+15	4	3	Good	No	No	On-site tree (no tag)	Remove
04	Sweetgum	30	4.5	4	Good	Fair	No	On-site tree (no tag)	Remove
05	Flowering cherry	17	3	2	Good	No	No	Boulevard tree (no tag)	Remove
06	Fruiting apple	30	4.5	4	Fair	Good	Yes	Off-site tree (no tag)	Protect
07	Fruiting plum	30	4.5	4	Good	Good	Yes	Off-site tree (no tag)	Protect

SUMMARY TREE STATISTICS	
CATEGORY	# OF TREES
Total number of trees inventoried	7
On-site trees	3
(Bylaw protected trees)	(0)
Off-site trees	3
Boulevard (municipal) trees	1
Total number of trees to be retained	2
On-site bylaw-protected trees to be retained	0
Off-site trees to be retained	2
Boulevard trees to be retained	0
Total number of trees to be removed	4
On-site bylaw-protected trees to be removed	0
On-site non-bylaw-protected trees to be removed	3
Off-site bylaw-protected trees to be removed (by owner)	1
Boulevard (municipal) trees to be removed	1
Total number of replacement trees required	0



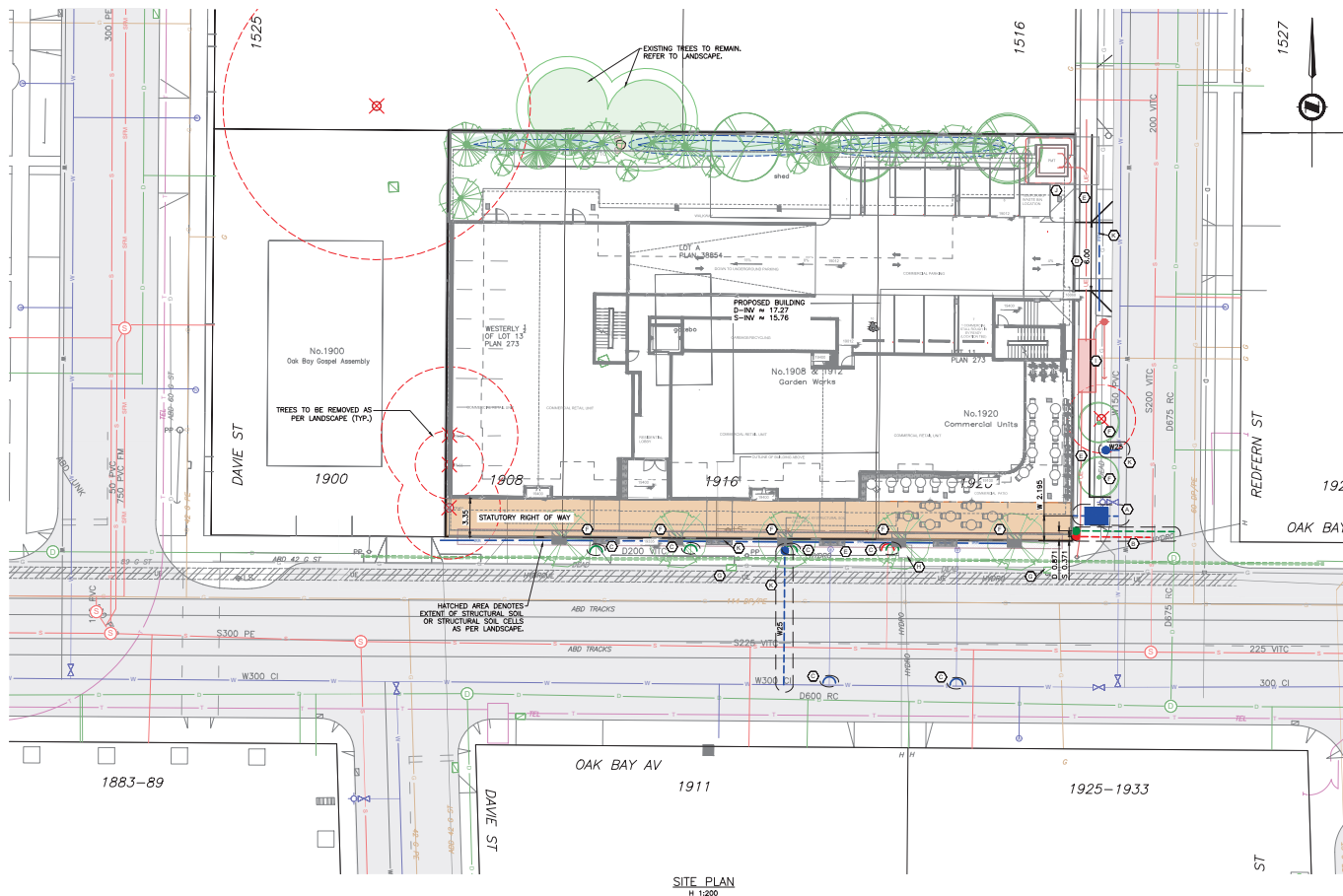
Gye and Associates Inc.

PROJECT
1928 Oak Bay Avenue,
Victoria, BC

SHEET TITLE
Tree Management Plan

REV NO	DESCRIPTION	DATE
0	FOR REVIEW	

PROJECT NO. 20-002
DATE: March 3, 2020
SCALE: 1:150
DRAWN BY: JG
SHEET NO. T-1



- SHEET NOTES:**
- ① CITY OF VICTORIA TO INSTALL 150mm FIRE AND 100mm DOMESTIC WATER SERVICE AT DEVELOPERS EXPENSE.
 - ② CITY OF VICTORIA TO INSTALL 150mm SANITARY AND DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBERS AT DEVELOPERS EXPENSE.
 - ③ CITY OF VICTORIA TO INSTALL 6.0m DRIVEWAY AT DEVELOPERS EXPENSE.
 - ④ CONTRACTOR TO REMOVE EXISTING SIDEWALK AS NEEDED AND INSTALL NEW SIDEWALK TO CITY OF VICTORIA STANDARDS.
 - ⑤ CONTRACTOR TO INSTALL NEW BOULEVARD TREES. SEE LANDSCAPE DESIGN.
 - ⑥ CONTRACTOR TO REINSTATE CATCHBASINS AS NEEDED.
 - ⑦ BC HYDRO TO ADJUST LID AT DEVELOPERS EXPENSE.
 - ⑧ BC HYDRO TO INSTALL HYDRO POLE, VAULT AND UNDERGROUND SERVICING AT DEVELOPERS EXPENSE.
 - ⑨ CONTRACTOR TO COORDINATE WITH UTILITY AS REQUIRED.
 - ⑩ CONTRACTOR TO INSTALL IRRIGATION SERVICES AND SLEEVES AS REQUIRED.



KEY PLAN
NTS

ISSUED FOR DEVELOPMENT PERMIT

OAK BAY AVE & REDFERN
PRELIMINARY SERVICING

Scale
horiz: 1:200

Sheet 1 of 1

Eng. Project No. 31757

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com



JAWL | residential

To Karen Hoese – Director of Sustainable Planning and Community Development – City of Victoria
From David Jawl - Jawl Residential Ltd
Date November 5, 2020
Re 1912 Oak Bay Avenue – EV Readiness

Mrs. Hoese,

As we have recently discussed, clarification is required as to what “electric vehicle readiness” means in the context of our Rezoning and Development Permit application for the above referenced project. We have been advised that Council may have interpreted the reference to “electric vehicle readiness for all underground parking stalls” in the motion passed at Committee of the Whole on July 23rd as meaning energized electric vehicle outlets for all underground parking stalls and not rough-in infrastructure, as noted in the application correspondence.

My hope is that this memo clarifies what our group has agreed to provide in respect to electric vehicle infrastructure, and why it would be unworkable for this project to provide energized electric vehicle outlets for all underground parking stalls at this time.

Our application will provide 4 electrical vehicle charging stations in the underground parkade, with rough-ins for all remaining underground stalls. This commitment was affirmed in our June 23, 2020 Updated Applicant Letter to Mayor and Council and re-affirmed in the City’s Development Permit with Variances Application Staff Report for the project, under the Sustainability Section, dated July 9th, 2020.

For context, a ‘rough-in’ is standard industry terminology and means a conduit pipe that runs directly from the individual parking stall, through the walls of the parkade (hidden from view), terminating in the building’s electrical room. This conduit pipe will allow for an electrician to connect wire from the stall to the electrical room at ease anytime in the future. This extra effort and cost now, will save future residents from having to jump through constructability, legal/strata and code issues when trying to bring power to a stall that, at some time in the future, may require an EV charger. We voluntarily committed to this forward-looking step as our group has encountered instances where EV charger installations could not be accommodated within existing parkades due to lack of access to the main electrical room. By providing rough-ins at occupancy we have removed a significant barrier to a future strata being able to use the stalls for EV charging.

It would not be feasible for this project to provide energized electric vehicle outlets for all underground stalls at this time for a number of reasons.

First, at this stage of development we are not able to confirm with BC Hydro that it is even able to supply the project with enough power to accommodate energized electric vehicle outlets in all underground parking stalls. We would not be able to obtain this confirmation until the design of the building has progressed to a more detailed level and exact power loads can be calculated and proposed to Hydro for consideration. It is not practical or economically viable to progress with the design at this stage before the rezoning and development permit have been approved.

Secondly, if BC Hydro is able to supply the necessary power, we have confirmed with our project electrical engineer that additional equipment would be needed to support the energized electric vehicle outlets. This additional equipment would necessitate changes to the electrical room layout as well as a potential change to the at grade design due to the real likelihood an additional transformer will be required. These changes

JAWL | residential

would be catastrophic to the project as they would undo over 12 months of work with City staff and would necessitate reductions in the proposed SRW area at Oak Bay Avenue, reductions in underground and at grade parking, loss of bike parking, loss of green space, loss of trees and reductions in the projects ability to manage stormwater.

Even if all that could be accommodated, the project would still have to transition to more fossil fuel power sources to reduce electric power demand in the rest of the building because of the increased power demand from the energized electric outlets in the parkade. In our opinion this would be a regressive step and an unintended consequence of trying to push forward 100% EV readiness at this stage of our project.

In sum, this project has taken steps to advance the Climate Leadership Targets of the City of Victoria above and beyond what is required by applicable policy and we feel that our commitment of 4 Installed Charging stations with rough-ins provided for all remaining stalls is a progressive commitment.

If the City were to require this project to deliver all underground stalls with energized electrical vehicle outlets, it would materially compromise the viability of the project, from a timing, feasibility, and sustainability standpoint.

Sincerely,



David Jawl
Jawl Residential Ltd.



Committee of the Whole Report

For the Meeting of July 23, 2020

To: Committee of the Whole **Date:** July 9, 2020

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue

RECOMMENDATION

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Consult with the community through the South Jubilee CALUC in accordance with the Land Use Procedures Bylaw requirements (which has updated procedures during the COVID-19 pandemic) to seek feedback on the potential of adding a storey for rooftop access for common outdoor amenity space.
2. Revisions to plans to add a rooftop amenity space, if deemed feasible, to the satisfaction of the Director of Sustainable Planning and Community Development.
3. Preparation and execution of legal agreements to:
 - a) ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
 - b) secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i) \$25,000 towards the construction of a crosswalk
 - ii) one car share membership per dwelling unit
 - iii) one car share membership per commercial unit
 - iv) one hundred dollars in car share usage credits per membership
 - v) electric vehicle readiness for all underground parking stalls
 - vi) four electric vehicle charging stations
 - vii) 24 electric bike charging stations
 - viii) one bicycle repair station;
 - c) secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works; and
 - d) to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i) public realm improvements to Oak Bay Avenue and Redfern Street; and
 - ii) removal and disposal of existing storm drain main along the frontage in its current

alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

LEGISLATIVE AUTHORITY

In accordance with Section 479 of the *Local Government Act*, Council may regulate within a zone the use of land, buildings and other structures, the density of the use of the land, building and other structures, the siting, size and dimensions of buildings and other structures as well as the uses that are permitted on the land and the location of uses on the land and within buildings and other structures.

In accordance with Section 483 of the *Local Government Act*, Council may enter into a Housing Agreement which may include terms agreed to by the owner regarding the occupancy of the housing units and provided such agreement does not vary the use of the density of the land from that permitted under the zoning bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Rezoning Application for the property located at 1908, 1916, and 1920 Oak Bay Avenue. The proposal is to rezone from the CR-3 Zone, Commercial Residential Apartment District, to a new site-specific zone in order to increase the density to 1.94:1 floor space ratio (FSR).

The following points were considered in assessing this application:

- the proposal is generally consistent with the *Official Community Plan (OCP, 2012) Small Urban Village Urban Place Designation (Oak Bay Avenue Village)* in terms of use, density, built form and place character
- the proposal would create new homeownership options and advance the OCP's objectives with regards to providing a diversity of housing types in each neighbourhood
- the proposal is generally consistent with the *Jubilee Neighbourhood Plan (1996)*
- the applicant is proposing to make a Community Amenity Contribution of \$100,000. Consistent with the *Inclusionary Housing and Community Amenity Policy*, this contribution would be allocated to the Victoria Housing Reserve Fund for affordable housing (70%) and to the Local Amenities Fund for community amenities (30%)
- the applicant is proposing public realm improvements including Urban Village furnishings and pedestrian lights
- the applicant is proposing to provide \$25,000 towards construction of a crosswalk and replacement of the City's storm drain main along Oak Bay Avenue.

BACKGROUND

Description of Proposal

This Rezoning Application is to allow construction of a four-storey, mixed-use building with ground-floor commercial and multiple dwelling strata residential above, including approximately 35 dwelling units. The overall proposed density is 1.94:1 floor space ratio.

The following differences from the current CR-3 Zone, Commercial Residential Apartment District are being proposed, which align with the OCP, and would be accommodated in the new zone:

- increase the density from 1.0:1 to 1.94 FSR
- increase the height from 10.7m to 14.98m

- increase the number of storeys from three to four.

Variations related to setbacks and parking are also proposed as part of the concurrent Development Permit Application and are discussed in a separate report.

Affordable Housing

The applicant proposes the creation of approximately 35 new strata residential units which would increase the overall supply of housing in the area. A Housing Agreement is also being proposed which would ensure that future Strata Bylaws could not prohibit the rental of units.

The *Inclusionary Housing and Community Amenity Policy* (2019) indicates \$53.82 / m² of bonus floor space which would result in a total contribution of \$99,308.82. Therefore, the applicant is proposing to make a Community Amenity Contribution of \$100,000. Consistent with the policy, this contribution would be allocated to the Victoria Housing Reserve Fund for affordable housing (70%) and to the Local Amenities Fund for community amenities (30%).

Sustainability

The applicant has identified a number of sustainability features which will be reviewed in association with the concurrent Development Permit Application for this property.

Active Transportation

The applicant has identified a number of active transportation features which will be reviewed in association with the concurrent Development Permit Application for this property.

Public Realm

The following improvements are proposed in association with this Rezoning Application:

- Urban Village furnishings, materials and pedestrian lights along the Oak Bay Avenue frontage
- removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

These improvements would be secured with a Section 219 covenant, registered on the property's title, prior to Council giving final consideration of the proposed Zoning Regulation Bylaw Amendment.

Land Use Context

The area is characterized by a mix of low rise commercial, residential, and mixed-use buildings along Oak Bay Avenue. The immediately adjacent land uses to the north are predominantly single-family dwellings. The adjacent property to the west is a church.

Existing Site Development and Development Potential

The site is presently occupied with retail commercial uses. Under the current CR-3 Zone, Commercial Residential Apartment District, the property could be developed as a one storey commercial building, or a three-storey residential or mixed-use building (commercial on the ground floor and residential above). The uses permitted in the R-2 Zone, Two Family Dwelling

District, and the R1-B Zone, Single Family Dwelling District, are also permitted in the CR-3 Zone but approval of a Development Permit may be required.

The OCP identifies this site as Small Urban Village, allowing for the site to be developed with a mixed-use building, up to approximately four storeys.

Data Table

The following data table compares the proposal with the existing CR-3 Zone and the OCP. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone. The proposal would require a new site-specific zone to accommodate the increased density. The differences related to setbacks and parking would be accommodated by variances so that they are not entrenched in the zone and would therefore need to be considered again if a different proposal came forward in the future (see the concurrent Development Permit with Variances Application report).

Zoning Criteria	Proposal	Existing Zone (CR-3)	OCP Small Urban Village
Site area (m ²) – minimum	1963.00	N/A	-
Dwelling Unit Area (m ²) – minimum	47.00	33.00	-
Density (Floor Space Ratio) – maximum	1.94 *	1.0:1	2.0:1
Total floor area (m ²) – maximum	3809.13	N/A	-
Height (m) – maximum	14.98 *	10.70	-
Storeys – maximum	4 *	3	4 (approx.)
Setbacks (m) – minimum			
Front (Oak Bay Ave) – First Storey (canopies excluded)	3.35	3.00	-
Front (Oak Bay Ave) – Upper Storeys	2.34 *	6.00	
Rear (north)	5.32 *	6.00	
Interior Side (west)	0.15 *	2.4 or greater or nil	
Flanking Street (Redfern Street, east) (balconies excluded)	0.72 *	2.40	
Vehicle parking – minimum			
Total	57 *	74	-
Residential	43 *	44	

Zoning Criteria	Proposal	Existing Zone (CR-3)	OCP Small Urban Village
Visitor	4	4	-
Commercial	10 *	26	
Bicycle parking stalls – minimum			
Long Term	48	46 (including 3 commercial)	-
Short Term	11	11	
Distance from Entrance (m) - minimum	48.1m (to farthest bike parking)	15.00	

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, the applicant has consulted the South Jubilee CALUC at a Community Meeting held on March 13, 2019. A letter dated March 22, 2019 is attached to this report.

ANALYSIS

Official Community Plan

The subject site is designated Small Urban Village (Oak Bay Avenue Village) in the *Official Community Plan* (OCP, 2012), which envisions a mix of commercial and community services primarily serving the surrounding residential area, in low-rise, ground-oriented multi-unit residential and mixed-use buildings generally up to four storeys in height along arterial and secondary arterial roads, with total floor space ratios up to approximately 2:1. In terms of place character features, the OCP envisions ground-oriented commercial and community services that reinforce the sidewalk and one to three storey building facades define the street wall. The proposal is generally consistent with these policies.

Building Height

Staff have encouraged the applicant to explore providing common rooftop amenity space if it could be incorporated without adverse impacts on adjacent properties. This would, however, require an additional Community Meeting (as per the *CALUC Procedures for Processing Development Applications*) because the stair and elevator access would increase the height of the building. Given the potential impacts to the project timeline to complete this step, and uncertainties related to the COVID-19 pandemic, the applicant decided to exclude this amenity space at this time, but has indicated that they would be willing to revise the plans for this in the future.

The addition of the rooftop access would be supported by staff because it would be generally consistent with the height envisioned in the OCP. The amenity space would increase liveability for the residents, and it would be designed to be located in the centre of the roof to limit

overlook on adjacent properties and reduce its visibility from the street. The recommendation in this report would direct staff to work with the applicant to revise the plans to add a rooftop amenity space and consult with the South Jubilee CALUC before proceeding to a Public Hearing and consideration by Council. Alternate motions have also been provided to move the application forward without the rooftop amenity space or to move the application forward with the rooftop amenity space but without the CALUC consultation.

Land Assembly

The OCP encourages the logical assembly of development sites to enable the best realization of development potential for the area. Given the existing context and development potential, land assembly with the adjacent properties to the west was encouraged. This approach may have achieved a development more consistent with the policies in the OCP and Development Permit Area Design Guidelines and may have also enabled off-street parking to be more easily provided. However, it is noted in this case that the property to the west could be developed independently, with a smaller scale building, at a future date given its location on a corner.

Jubilee Neighbourhood Plan

The *Jubilee Neighbourhood Plan* (1996) contains policies regarding development of the neighbourhood. Overall, the proposal is generally consistent with the goals related to housing and commercial development. It would encourage a mix of housing types and tenures for people with different needs including a variety of incomes and family structures, maintain the physical integrity, scale and character of the neighbourhood, and reinforce the existing neighbourhood commercial area as a vibrant, pedestrian-oriented place for local shopping, services and social interaction.

Statutory Right of Way

It is recommended that a Statutory Right-of-Way (SRW) of 3.35m along Oak Bay Avenue be a condition of rezoning in order to help fulfill *Official Community Plan* objectives such as enhanced facilities for walking, cycling, public transit and boulevards which support the long term viability of street trees. Oak Bay Avenue is also an identified route in the City's All Ages and Abilities (AAA) bicycle network and part of BC Transit's Frequent Transit Network.

CONCLUSIONS

The proposal to rezone the site to construct a four-storey mixed-use building is consistent with the use and density envisioned for this location in the OCP and would add to housing diversity in the South Jubilee neighbourhood. Therefore, staff recommend that Council consider advancing the application to a Public Hearing.

ALTERNATE MOTIONS

Option 1: Move the Application Forward with no Rooftop Amenity Space

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No.00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Preparation and execution of legal agreements to:

- a) ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
- b) secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i) \$25,000 towards the construction of a crosswalk
 - ii) one car share membership per dwelling unit
 - iii) one car share membership per commercial unit
 - iv) one hundred dollars in car share usage credits per membership
 - v) electric vehicle readiness for all underground parking stalls
 - vi) four electric vehicle charging stations
 - vii) 24 electric bike charging stations
 - viii) one bicycle repair station;
- c) secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works;
- d) to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i) public realm improvements to Oak Bay Avenue and Redfern Street
 - ii) removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

Option 2: Move the Application Forward with the Addition of Rooftop Amenity Space but without CALUC Consultation

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No.00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Revisions to plans to add a rooftop amenity space, if deemed feasible, to the satisfaction of the Director of Sustainable Planning and Community Development.
2. Preparation and execution of legal agreements to:
 - a) ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
 - b) secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i) \$25,000 towards the construction of a crosswalk
 - ii) one car share membership per dwelling unit
 - iii) one car share membership per commercial unit
 - iv) one hundred dollars in car share usage credits per membership
 - v) electric vehicle readiness for all underground parking stalls
 - vi) four electric vehicle charging stations
 - vii) 24 electric bike charging stations
 - viii) one bicycle repair station;
 - c) secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works;
 - d) to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i) public realm improvements to Oak Bay Avenue and Redfern Street
 - ii) removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.


Option 3: Decline the Application

That Council decline Application No. 00694 for the property located at 1908, 1916, and 1920 Oak Bay Avenue.

Respectfully submitted,



Rob Bateman
Senior Process Planner
Development Services Division



Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: July 16, 2020

List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped July 7, 2020
- Attachment D: Letter from applicant to Mayor and Council dated June 23, 2020
- Attachment E: Community Association Land Use Committee Comments dated March 22, 2019
- Attachment F: Transportation Study dated April 24, 2019
- Attachment G: Advisory Design Panel Meeting minutes from June 3, 2020
- Attachment H: Correspondence (Letters received from residents).



Committee of the Whole Report For the Meeting of July 23, 2020

To: Committee of the Whole **Date:** July 9, 2020

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue**

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue, in accordance with:

1. Plans date stamped July 6, 2020
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00m to 2.34m;
 - ii. reduce the rear setback (north) from 6.00m to 5.32m;
 - iii. reduce the interior lot line setback (west) from 2.40m to 0.15m;
 - iv. reduce the flanking street setback (east) from 2.40m to 0.72m;
 - v. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vi. reduce the number of residential vehicle parking spaces from 44 to 43;
 - vii. increase the distance between entrances and the short term bicycle parking from 15m to 48.1m;
 - viii. increase the number of storeys from 4 to 5;
 - ix. increase the height from 14.98m to 18.00m.
3. The Development Permit lapsing two years from the date of this resolution.”

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a development permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit Application for the property located at 1908, 1916, and 1920 Oak Bay Avenue. The proposal is to construct a four-storey, mixed-use building with ground-floor commercial and residential above. The variances are related to reduced setbacks, reduced number of vehicle parking spaces and increased distance between entrances and short-term bicycle parking. A Rezoning Application is also required and is the subject of an accompanying report.

The following points were considered in assessing this application:

- the proposal is generally consistent with the objectives and guidelines contained in Development Permit Area 6A: Small Urban Villages (Oak Bay Avenue Village), which seeks to help revitalize areas of commercial use into complete Small Urban Villages through human-scale design that would increase vibrancy and strengthen commercial viability
- the setback variances are supportable because they do not have substantial impacts on the street and adjacent properties
- the parking variance to reduce the number of parking spaces is considered supportable as the applicant is proposing Transportation Demand Management (TDM) measures to mitigate the potential impacts from this variance, which would be secured by legal agreement in conjunction with the concurrent Rezoning Application. The applicant has also provided a Transportation Study which indicates the proposed parking supply meets the anticipated site parking demand
- the variance related to the distance between entrances and the short-term bicycle parking is supportable because the proposed frontage design would enhance the experience of pedestrians and cyclists. The required short-term bicycle parking would be consolidated on Redfern Street beside the outdoor commercial patio space. Bicycle parking will also be located within 15m of the entrances in the right-of-way.

BACKGROUND

Description of Proposal

The proposal is to construct a four-storey, mixed-use building with approximately 35 strata dwelling units above four commercial retail/restaurant units (approximately 688m² floor area) on the ground floor. The proposal includes the following main design components:

- modern architectural form and character
- outdoor commercial patio space on Redfern Street
- weather protection along the street frontage
- balconies for the dwelling units.

Exterior building materials include:

- cementitious panel cladding
- transparent glazing
- pre-finished metal
- painted steel or aluminium
- wood-textured shade screen
- T&G cedar soffit
- clear sealed wood

- concrete
- metal louvre
- concrete block
- brick.

Landscape elements include:

- unit paving
- broom finish concrete
- lawn
- shrub planting areas
- rain garden area
- small trees.

The proposed variances are related to:

- reducing the front setback (south) for the upper storeys from 6.00m to 2.34m
- reducing the rear setback (north) from 6.00m to 5.32m
- reducing the interior lot line setback (west) from 2.40m to 0.15m
- reducing the flanking street setback (east) from 2.40m to 0.72m
- reducing the total vehicle parking from 74 to 57
- increasing the distance between entrances and the short term bicycle parking from 15m to 48.1m

Sustainability

The applicant has provided a letter dated June 23, 2020, outlining sustainability features that are associated with this application, including the installation of four electrical vehicle charging stations with rough-ins provided for all underground stalls and one at-grade stall, secure, heated bike storage at parkade level with a bike work bench, and electric bike charging locations within the bike storage.

Active Transportation

The application proposes heated bike storage and work area as well as electric bike charging stations, which supports active transportation.

Accessibility

The British Columbia Building Code regulates accessibility as it pertains to buildings.

Data Table

The following data table compares the proposal with the existing CR-3 Zone and the OCP. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone. The differences related to setbacks and parking would be accommodated by variances so that they are not entrenched in the zone and would therefore need to be considered again if a different proposal came forward in the future (see the concurrent Rezoning Application report).

Zoning Criteria	Proposal	Existing Zone (CR-3)	OCP Small Urban Village
Site area (m ²) – minimum	1963.00	N/A	-
Dwelling Unit Area (m ²) – minimum	47.00	33.00	-
Density (Floor Space Ratio) – maximum	1.94 *	1.0:1	2.0:1
Total floor area (m ²) – maximum	3809.13	N/A	-
Height (m) – maximum	14.98 *	10.70	-
Storeys – maximum	4 *	3	4 (approx.)
Setbacks (m) – minimum			
Front (Oak Bay Ave) – First Storey (canopies excluded)	3.35	3.00	-
Front (Oak Bay Ave) – Upper Storeys	2.34 *	6.00	
Rear (north)	5.32 *	6.00	
Interior Side (west)	0.15 *	2.4 or greater or nil	
Flanking Street (Redfern Street, east) (balconies excluded)	0.72 *	2.40	
Vehicle parking – minimum			
Total	57 *	74	-
Residential	43 *	44	
Visitor	4	4	-
Commercial	10 *	26	
Bicycle parking stalls – minimum			
Long Term	48	46 (including 3 commercial)	-
Short Term	11	11	
Distance from Entrance (m) - minimum	48.1m (to farthest bike parking)	15.00	

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, the applicant has consulted the South Jubilee CALUC at a Community Meeting held on March 13, 2019. A letter dated March 22, 2019 is attached to this report.

This application proposes variances; therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan* (OCP, 2012) identifies this property with Development Permit Area 6A: Small Urban Villages (Oak Bay Avenue Village). The objectives of this Development Permit Area (DPA) are to revitalize areas of commercial use into complete Small Urban Villages through human-scale design that would increase vibrancy and strengthen commercial viability. Other objectives are related to achieving a high quality of architecture, landscape and urban design, a unique character and sense of place, compatibility with adjacent residential neighbourhoods, coherent design, and enhancing the experience of pedestrians and cyclists. Design Guidelines that apply to this DPA are the *Advisory Design Guidelines for Buildings, Signs and Awnings* (1981), *Guidelines for Fences, Gates and Shutters* (2010), and the *Oak Bay Avenue Land Use and Design Guidelines* (2001). The DPA also includes the following specific guideline: "Buildings are encouraged to have shop windows and building entrances that are oriented towards the street."

Staff consider that the proposal is generally consistent with the objectives and guidelines of the Development Permit Area. Background information related to the building height, privacy and shading, and the relationship to the street is provided for Council's consideration as follows:

Building Height

The *Official Community Plan* and *Oak Bay Avenue Land Use and Design Guidelines* indicate different building heights in this location. The OCP envisions approximately four storeys with a three-storey street-wall, while the design guidelines state that new buildings should be limited to a maximum of three storeys in height. Staff consider the proposed height to be supportable because it is generally consistent with the OCP policy.

The recommendation in this report includes variances that would accommodate an increased height and number of storeys that would be required to add a rooftop amenity space to the proposal. An alternate motion is also provided to move the application forward without these variances. The accompanying rezoning application report provides further discussion on this topic. If it is determined that adding the rooftop access and outdoor amenity space is not feasible, staff will bring forward a revised motion to reduce the degree of variances when Bylaws are presented to Council for introductory readings.

Privacy and Shading Impacts

Any redevelopment of the Oak Bay Avenue Small Urban Village striving to meet the goals of the OCP will have impacts on the adjacent existing single-family dwellings due to their close proximity.

This specific proposal will have some privacy and shading impacts on adjacent properties, particularly to the single-family dwellings to the north as well as the church located to the west. Windows and balconies face towards the adjacent properties. The proposed setback to the north elevation exterior wall is approximately 7.3m and the setback to the balconies is 5.3m. The proposed setback of to the upper storeys of the west elevation would be approximately 1m to the balcony and 3.2m to the exterior wall. To help mitigate these impacts, the applicant is proposing to set back portions of the rear elevation and use plantings on the balconies and along the rear property line for privacy screening.

Staff consider these impacts to be acceptable in the context of the overall proposed development and proposed mitigation measures.

Relationship to the Street

The design guidelines indicate that the proposal should consider the street relationship. The building is located quite close to Oak Bay Avenue (2.34m from the property line to the second floor balcony) and Redfern Street (0.72m from the property line to the exterior wall). Along Redfern Street there is a pad mounted transformer (PMT), waste bins, and surface parking (partially covered by the overhanging building), which may detract from the pedestrian experience. To help reduce the impact on the street, the applicant is proposing wrapping the PMT with graphics, using unit pavers in the parking stalls and setting back the first floor from the street to provide space for outdoor seating.

Staff consider these impacts to be acceptable because, overall, the proposal would provide an active edge with windows, doors and weather protection which would contribute to street activity and economic vitality.

Advisory Design Panel

The application was referred to the Advisory Design Panel (ADP) on June 3, 2020. The ADP was asked to comment on the short-term bike parking location, the building height, privacy and shading impacts, and the relationship to the street.

The ADP passed a motion recommending to Council that Development Permit Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue be approved as presented. The meeting minutes are attached for reference.

Regulatory Considerations

Variances related to setbacks and parking would be required to facilitate this proposal. A new site-specific zone would also be required and is discussed in the accompanying Rezoning Application report.

Setbacks

The following setback variances are proposed to accommodate the development:

- reducing the front setback (south) for the upper storeys from 6.00m to 2.34m
- reducing the rear setback (north) from 6.00m to 5.32m
- reducing the interior lot line setback (west) from 2.40m to 0.15m
- reducing the flanking street setback (east) from 2.40m to 0.72m.

These setbacks are considered supportable because the overall massing would help frame the street with a human scaled street wall. To help mitigate the impacts to the adjacent properties the applicant is proposing to set back portions of the rear elevation and use plantings on the balconies and along the rear property line for privacy screening. Staff consider these impacts to be acceptable in the context of the overall proposed development and proposed mitigation measures.

Parking Variances

A variance is requested to reduce the number of commercial parking spaces from 26 to 10 and the number of residential parking spaces from 44 to 43. To mitigate some of the potential impacts from the variance, the applicant is proposing the following Transportation Demand Management (TDM) measures, which would be secured by legal agreement as a condition of the concurrent Rezoning Application:

- \$25,000 towards the construction of a crosswalk which would cross Oak Bay Avenue on the east side of Redfern Street
- one car share membership per dwelling unit
- one car share membership per commercial unit
- one hundred dollars in car share usage credits per membership
- electric vehicle readiness for all underground parking stalls
- four electric vehicle charging stations
- 24 electric bike charging stations
- one bicycle repair station.

The applicant has also provided a Transportation Study (attached) that indicates the proposed parking supply meets the anticipated site parking demand. Given these measures, staff consider the parking variance as supportable.

The applicant is also requesting a variance to increase the distance between entrances and the short-term bicycle parking from 15m to 48.1m. This is considered supportable because the proposed frontage design would enhance the experience of pedestrians and cyclists. The required short-term bicycle parking would be consolidated on Redfern Street beside the outdoor commercial patio space. Bicycle parking will also be located within 15m of the entrances in the right of way.

Tree Preservation Bylaw and Urban Forest Master Plan

The goals of the *Urban Forest Master Plan* include protecting, enhancing, and expanding Victoria's urban forest and optimizing community benefits from the urban forest in all neighbourhoods. As this application was received prior to October 24, 2019, Tree Preservation Bylaw No. 05-106 (consolidated June 1, 2015), applies.

This property is located in South Jubilee which presently has 26% tree canopy cover, this is equal to the average City-wide tree canopy cover percentage.

The construction of the proposed building will require the removal of three on-site non-bylaw-protected trees and one City-owned street tree.

Two fruit trees located in the rear yard of 1525 Davie Street will be retained through the project. Parks has issued a permit for the removal of the severely declining 90 cm diameter at breast height (DBH) Garry oak located in the south side yard of this property. This removal permit is not connected to the proposed development.

The proposed on-site landscaping plan includes a treed buffer along the north side of the property. Twenty-four new trees will be planted in this area. The proposed tree species include seven Vine Maples, five Weeping False Cypress, five Serbian Spruce, two Douglas-fir, three Japanese Snowbell and two Canadian Hemlock.

The off-site landscaping includes five new street trees along the Oak Bay Avenue frontage. Structural soil cells will be installed under the sidewalk to provide approximately 12 cubic metres of growing media for each tree. Two new street trees will be planted on the grass boulevard on Redfern Street. All off-site trees will be watered by a drip irrigation system.

Tree Impact Summary

Tree Type	Total	To be Removed	To be Planted	Net Change
On-site trees, bylaw protected	0	0	0	0
On-site trees, non-bylaw-protected	3	3	24	+21
Municipal trees	1	1	7	+6
Neighbouring trees, bylaw-protected	0	0	0	0
Neighbouring trees, non-bylaw-protected	2	0	0	0
Total	6	4	31	+27

On-Site Tree Removals Non-Bylaw Protected

ID#	Species	DBH	Health	Structural condition	Reason for Removal / Comments
#02	Sycamore Maple	31cm	Fair	Poor	for building construction
#03	Silver Birch	24 cm	Good	Good	for building construction
#04	Sweetgum	30 cm	Good	Fair	for building construction

Off-Site Municipal Tree Removals

ID#	Species	DBH	Health	Structural condition	Reason for Removal / Comments
#05	Flowering Cherry	17 cm	Good	Good	for building construction and site servicing

Resource Impacts

There are new City assets related to trees that will be added if this application is approved, and staff have calculated the annual maintenance costs as shown below. Once the new assets are in place, these costs will be reflected in the City's Financial Plan.

Increased Inventory	Annual Maintenance Cost
Street Trees - 6 net new	\$360
Irrigation System - 7 trees	\$500
Total	\$860

CONCLUSIONS

The proposal to construct a four-storey mixed-use building is considered consistent with the Design Guidelines for Development Permit Area 6A: Small Urban Villages (Oak Bay Avenue Village). The development would help revitalize an area of commercial use into a complete Small Urban Village through a human-scale design that would increase vibrancy and strengthen commercial viability. The associated variances have been mitigated through design and appropriate TDM measures. Therefore, staff recommend that Council consider approving the application.

ALTERNATE MOTIONS

Option 1: Move the Application Forward with no Rooftop Amenity Space

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue , in accordance with:

1. Plans date stamped July 6, 2020
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00m to 2.34m;
 - ii. reduce the rear setback (north) from 6.00m to 5.32m;
 - iii. reduce the interior lot line setback (west) from 2.40m to 0.15m;
 - iv. reduce the flanking street setback (east) from 2.40m to 0.72m;
 - v. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vi. reduce the number of residential vehicle parking spaces from 44 to 43;
 - vii. increase the distance between entrances and the short-term bicycle parking from 15m to 48.1m;
3. The Development Permit lapsing two years from the date of this resolution.”

Option 2: Decline the Application

That Council decline Development Permit with Variances Application No. 000551 for the property

located at 1908, 1916, and 1920 Oak Bay Avenue.
Respectfully submitted,



Rob Bateman
Senior Process Planner
Development Services Division



Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: July 16, 2020

List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped July 6, 2020
- Attachment D: Letter from applicant to Mayor and Council dated June 23, 2020
- Attachment E: Community Association Land Use Committee Comments dated March 22, 2019
- Attachment F: Transportation Study dated April 24, 2019
- Attachment G: Advisory Design Panel Meeting minutes from June 3, 2020
- Attachment H: Correspondence (Letters received from residents).

- b. A Section 219 Covenant to secure a car-share membership for each unit, to the satisfaction of the Director of Engineering and Public Works.

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 00126 for 956 Heywood Avenue, in accordance with:

1. Plans date stamped May 26, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the vehicle parking from 9 stalls to 6 stalls and visitor parking from 1stall to zero stalls;
 - ii. increase the height from 12m to 12.98m (main roof) and 14.81m (roof access);
 - iii. reduce the front setback from 10.50 metres to 6.63 metres;
 - iv. reduce the rear setback from 7.71 metres to 1.52 metres;
 - v. reduce the side setbacks from 7.71 metres to 1.37 metres (building) and 0.93m(window screens);
 - vi. increase the site coverage from 30 percent to 64 percent.
3. Registration of legal agreements on the property’s title to secure the car share memberships, to the satisfaction of the Director of Engineering and Public Works.
4. Final plans to be generally in accordance with plans date stamped May 26, 2020.
5. The Development Permit lapsing two years from the date of this resolution.”

FOR (5): Mayor Helps, Councillor Alto, Councillor Dubow, Councillor Loveday, Councillor Potts,
 OPPOSED (2): Councillor Thornton-Joe, Councillor Young

CARRIED (5 to 2)

F.1.a.b 1908, 1916, 1920 Oak Bay Avenue - Rezoning Application No. 00694 and Development Permit with Variance Application No. 000551 (South Jubilee)

Moved By Councillor Potts

Seconded By Councillor Young

Rezoning Application No. 00694

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendments that would authorize the proposed development outlined in Rezoning Application No. 00694 for 1908, 1916, and 1920 Oak Bay Avenue, that first and second reading of the Zoning Regulation Bylaw Amendments be considered by Council and a Public Hearing date be set once the following conditions are met:

1. Consult with the community through the South Jubilee CALUC in accordance with the Land Use Procedures Bylaw requirements (which has updated procedures during the

- COVID-19 pandemic) to seek feedback on the potential of adding a storey for rooftop access for common outdoor amenity space.
2. Revisions to plans to add a rooftop amenity space, if deemed feasible, to the satisfaction of the Director of Sustainable Planning and Community Development.
 3. Preparation and execution of legal agreements to:
 - a. ensure that a future strata cannot restrict the rental of units to non-owners, to the satisfaction of the Director of Sustainable Planning and Community Development;
 - b. secure the following transportation demand management measures, to the satisfaction of the Director of Engineering and Public Works:
 - i. \$25,000 towards the construction of a crosswalk
 - ii. one car share membership per dwelling unit
 - iii. one car share membership per commercial unit
 - iv. one hundred dollars in car share usage credits per membership
 - v. electric vehicle readiness for all underground parking stalls
 - vi. four electric vehicle charging stations
 - vii. 24 electric bike charging stations
 - viii. one bicycle repair station;
 - c. secure a Statutory Right-of-Way of 3.35 meters along the Oak Bay Avenue to the satisfaction of the Director of Engineering and Public Works; and
 - d. to secure the following, to the satisfaction of the Director of Engineering and Public Works:
 - i. public realm improvements to Oak Bay Avenue and Redfern Street; and
 - ii. removal and disposal of existing storm drain main along the frontage in its current alignment, including excavation, backfill above the spring line of the new pipe, and surface restoration.

Development Permit with Variance Application No. 000551

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00694, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000551 for 1908, 1916, and 1920 Oak Bay Avenue, in accordance with:

1. Plans date stamped July 6, 2020
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. reduce the front setback (south) for the upper storeys from 6.00 m to 2.34 m;
 - ii. reduce the rear setback (north) from 6.00 m to 5.32 m;
 - iii. reduce the interior lot line setback (west) from 2.40 m to 0.15 m;

- iv. reduce the flanking street setback (east) from 2.40 m to 0.72 m;
 - v. reduce the number of commercial vehicle parking spaces from 26 to 10;
 - vi. reduce the number of residential vehicle parking spaces from 44 to 43;
 - vii. increase the distance between entrances and the short term bicycle parking from 15 m to 48.1 m;
 - viii. increase the number of storeys from 4 to 5;
 - ix. increase the height from 14.98 m to 18.00 m.
3. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

F.1.a.c 3020 Douglas Street and 584 Burnside Road - Victoria Housing Reserve Fund Application (Burnside)

Moved By Councillor Thornton-Joe

Seconded By Councillor Potts

That Council approve a grant from the Victoria Housing Reserve Fund to the Victoria Cool Aid Society in the amount of \$450,000 to assist in the construction of the 154-unit Crosstown affordable housing project at 3020 Douglas Street and 584 Burnside Road East, subject to the following conditions:

1. The execution of a Housing Fund Grant Agreement in a form satisfactory to the Director of Sustainable Planning and Community Development and the City Solicitor; with terms for the eligible use of the grant, reporting requirements, repayment, indemnification, and communication protocols;
2. The applicant fulfills the applicable requirements of the Victoria Housing Reserve Fund Guidelines;
3. That the passage of this resolution creates no legal rights for the applicant or any other person, or obligation on the part of the City, until and unless all agreements are fully executed by the City; and
4. \$225,000 shall be payable to the applicant upon execution of the Housing Fund Grant Agreement and the remaining balance of \$225,000 shall be payable to the applicant once the City has issued all required occupancy permits for the project.

CARRIED UNANIMOUSLY

F.1.a.e City Hall West HVAC Replacement Operational Impacts - Verbal

Moved By Councillor Alto

Seconded By Councillor Potts

1908-1920 Oak Bay Avenue (South Jubilee)

All feedback received from the Development Tracker online comment form.

Name	Position	Comments	Address	Email	Date
Dan Cochran	Oppose	Garden Works is a valued part of our neighbourhood. We want people to bike or walk to places. I frequent Red Barn Market, Home Hardware, Dead Beetz Burgers, Vitality Treatment Centre, Jubilee Professional Building, Oak Bay Bikes, Oak Bay Seafood, Village Butcher, Abby Sprouts, and Garden Works. All part of my neighbourhood "village". I walk or ride to them, as do many other people. To make space for Garden Works in this new development, would be the right thing to do.	1669 Cyril Close, Victoria.	[REDACTED]	2020-09-18 20:41
Wendy Cochran	Oppose	I've always enjoyed walking to Gardenworks, browsing and invariably coming home with either seeds, veggie plants or shrubs for my garden. The only time I've driven there is to pick up soil. It's been extremely important to have there during the pandemic. As well, we're being told not to eat onions from the USA, luckily I was able to grow my own this summer. Guess where I got the onion starters, from Gardenworks of course.	1669 Cyril Close	[REDACTED]	2020-09-18 19:56
Alexandra Smith	oppose BOTH the rooftop garden & 4 stories	I co-own and live in unit 202 - 1515 Redfern Ave (the new building Blu on Redfern) directly east of the subject development. Although I support the redevelopment of this property as a mixed-use building with residential above ground floor commercial, the zoning in this neighbourhood restricts building height to 3 stories. With having a corner unit directly facing the proposed building I will be heavily impacted by the added height. Thus, I oppose the additional story beyond the maximum 3 permitted under existing zoning. I not only oppose the additional 4th story but also the rooftop garden/deck which will	202-1515 Redfern Street, Victoria BC, V8R 4X3	[REDACTED]	2020-09-18 5:03

Name	Position	Comments	Address	Email	Date
		<p>add to neighbourhood noise, impact my unit's privacy, and expose me to second hand smoke from the subject's rooftop smokers. I am asthmatic and will be significantly impacted if there is smoking of any kind. Even if the rooftop was designated as non-smoking, there will most certainly be a lack of compliance. My building is completely non-smoking and that was a key consideration for me in purchasing here. As I spend the majority of time outside on the deck from May-October these are real concerns for me. I specifically bought this unit for its outdoor living space. I am very concerned about what a roof-top deck does to the unit's privacy and overall quiet enjoyment. There is a neighbourhood park just one block to the north, so this "outdoor" space is not a necessity.</p>			
Gary Smith	oppose both the rooftop garden & 4 stories	<p>I am a co-owner in unit 202 - 1515 Redfern Ave (the new building Blu on Redfern) directly east of the subject development. Although I support the redevelopment of this property as a mixed-use building with residential above ground floor commercial, the zoning in this neighbourhood restricts building height to 3 stories. I am therefore opposed to granting 4 stories, and I am definitely opposed to a rooftop garden which will add to neighbourhood noise, impact my unit's privacy, and expose me to second hand smoke from the subject's rooftop smokers. Even if the rooftop was designated as non-smoking, there will most certainly be a lack of compliance. As I spend the majority of time outside on the deck from May-October these are real concerns for me. I specifically bought this unit for its outdoor living space. I am very concerned about what a roof-top deck does to the units privacy and overall quiet enjoyment. There is a neighbourhood park just one block to the north, so this "outdoor" space is not a necessity.</p>	2275 Windsor Rd		2020-09-16 20:38

Name	Position	Comments	Address	Email	Date
Christy Love	Support	I believe the proposal fits well within the street context in terms of scale and finishes, and I welcome the addition of outdoor amenity space for the community. We will very much miss the GardenWorks currently on the site, but I don't think this is reason enough to not add housing and enhanced commercial space in this location. Ideally a new location close by can be identified for the garden centre.	1068 Chamberlain Street		2020-09-15 23:18
Jacob Graff	Oppose	Although the proposal would be a great expansion and overall pleasant addition to our neighbourhood, the Garden Works located on the property of the proposed development is invaluable to our community. The Garden Works location is where my family and I, every year, go to pick out our Christmas tree for the holiday season, go get our vegetable starters for spring, and go for almost all of our gardening needs. The luxury of having a gardening centre at walking distance to our homes is imperative to our community. I am more than certain that many residents in our neighbourhood also walk to the local Garden Works for their gardening needs and I therefore urge the developer and the City to consider alternatives as to preserve our dearly loved gardening centre.	1019 Clare Street, Victoria BC V8S 4B5		2020-09-14 4:32
Jacynthe Bouchard and Chris Edwards	Oppose	<p>The proposed height of this development has always been and remains an issue. As usual, developers push the envelope as to the size and height of proposed developments to the point that the designation of urban village will be in name only and bear no relation to the City's definition.</p> <p>This development also means the loss of GardenWorks. Since the City is promoting urban agriculture and a green environment, wouldn't it make to keep businesses like GardenWorks in neighbourhoods such as South Jubilee so people wouldn't have use their cars and drive across town to get supplies.</p>	1640 Davie Street		2020-09-12 16:27

Name	Position	Comments	Address	Email	Date
Sandy Wilson	Support	I own Arbutus Physiotherapy and Health Centre. The business directly beside the proposed development. My only concern is use of the street parking spots on Oak Bay Ave and Redfern St during construction of the building. Many of our patients use the spots close the clinic due to mobility issues. I would not want all the trades persons parking around the building site and using all the available street parking.	1928 Oak Bay Ave	[REDACTED]	2020-09-12 16:17
Richard Boyle	Oppose	I have no problem with the building...it looks like it will be beautiful and add value to properties in the area. I do have a concern as I live on Redfern st which is very narrow and already has limited capacity for more traffic and parking for residents. I don't think this project should be granted a variance for the number of required parking spots...the city already let the new condo on the east side of Redfern have a variance on parking. Perhaps Redfern street could be blocked on the north side of this project's driveway? I provided similar comment when the project on the north side of Redfern was going through this same process and I never heard back from anyone...I'm not convinced that the city cares much about local residents concerns.	1614 Redfern St	[REDACTED]	2020-08-25 0:44
Gail Anthony	Oppose	This building is too high and too massive for this neighbourhood. At 58 ft total (51ft of commercial and residential called 4 stories plus 7 ft of roof garden) it will dwarf all other buildings in the neighbourhood. Since Council has approved the project in all respects other than minor tweaks I am left with only one objection that may still be addressed. The north facing balconies will overlook the backyards of the homes on Redfern and Davie. Not enough effort has been made to protect the privacy of the homes to the north. Even	1535 Davie St., Victoria, BC V8R 4W4		2020-08-20 20:30

Name	Position	Comments	Address	Email	Date
		<p>a 6ft screen along the patios would help preserve the privacy that we expected when purchasing these homes adjacent to a commercial street with zoning that allowed 3 story buildings. Even if City Council caters to a developer's desire to build as tall and massive as they can in our neighbourhood, you could at least respect the homeowners enough to protect the privacy we extend to each other (we cannot build second floor balconies!) and request the developer to screen the balconies on their project. Vegetation screening is not good enough since there is no guarantee it will either grow enough or last.</p>			

Richard Elliott

From: Suzanne Bradbury [REDACTED]
Sent: July 22, 2020 12:38 PM
To: Victoria Mayor and Council
Subject: 2020 07 22 - Letter of Support for 1908, 1916, 1920 Oak Bay Avenue – Committee of the Whole
Attachments: 2020 07 22 Letter of Support for 1908, 1916, 1920 Oak Bay Avenue .docx

Please share prior to Committee of the Whole tomorrow, and thank you!

Suzanne

Suzanne Bradbury

Owner
[REDACTED]
[REDACTED]

FORT PROPERTIES LTD.

814 Broughton St, Victoria, BC V8W 1E4

fortproperties.ca

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July 22, 2020

Mayor & Council – City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Submitted by email: [Mayor & Council](#)

Re: 2020 07 22 - Letter of Support for 1908, 1916, 1920 Oak Bay Avenue – Committee of the Whole

To Whom it May Concern,

Fort Properties (a family business) owns 1911 and 1933 Oak Bay Avenue, which house Home Hardware and Red Barn, two locally owned and community-oriented businesses. We are the neighbour across the street to the proposed development.

We are fully in support of the proposed development under discussion at this meeting. This block of Oak Bay Avenue has the potential to provide the surrounding neighbourhood with a convenient and active transportation-oriented community hub, but to date has lacked new housing stock or a necessary range of housing options. As our city evolves it is critical that leaders and builders assess and respond thoughtfully to the changing needs of the community. A strong and future-proof community provides diversity and choices to its citizens, so that people have strong options for work and housing throughout all the different phases of their lives. This development proposes to provide a range of unit typologies, allowing for a variety of investment along the housing continuum from first time buyers to residents retiring within their own community.

This development provides necessary density in the right location, close to transit and along a commercial corridor. The height and massing are appropriate and sensitive to the neighborhood context and proposes to greatly improve the beauty and safety of the pedestrian realm, with a generous SRW and the addition of a life-saving cross walk. As the managers of the Red Barn and Home Hardware buildings, we have grave concerns regarding the frequency of unstructured pedestrian crossings in that area. The addition of the cross-walk would support the evolution of this hub into a people-centered (rather than car-first) neighborhood.

Finally, we are delighted that this building will be anchored by Discovery Coffee who have shown their capacity to provide the kind of community gathering places that underpin most great neighbourhoods.

I applaud Jawl Residential for this thoughtful plan, and I respectfully ask Council to consider the future of our community and support this proposal in full.

Respectfully Submitted to mayorandcouncil@Victoria.ca on July 22, 2020 by email.

Sincerely,

Suzanne Bradbury
Jayne Bradbury
Bryan Bradbury

FORT PROPERTIES LTD.
814 Broughton St,
Victoria, BC
V8W 1E4

Richard Elliott

From: Steven Wellburn [REDACTED]
Sent: July 22, 2020 12:39 PM
To: Victoria Mayor and Council
Subject: Committee of the whole meeting July 23 - Oak Bay Avenue development by Jawl Residential

We have had constructive dialogue and discussions over the past two years with the Jawl Residential regarding the development of new condominiums on Oak Bay Avenue, which is beside the Oak Bay Gospel Assembly at 1900 Oak Bay Avenue.

We believe that some of our suggestions and concerns have made their way into the final design/application, and we appreciate the efforts Jawl Residential went to involve us in the discussions on their plans for the property.

On behalf of the Oak Bay Gospel Assembly Elders and Deacons

Steve Wellburn

Richard Elliott

From: Peter Emmings [REDACTED]
Sent: July 24, 2020 7:05 AM
To: Victoria Mayor and Council; Marianne Alto (Councillor); Rob Bateman
Subject: 1908-1920 Oak Bay Ave. REZ00694

My wife and I reside at 1625 Davie Street and would like to register our objection to this rezoning application for the following reasons.

The proposed structure is almost 50% higher than is permitted under all current bylaws and community plans. This is despite the fact that over 90% of the respondents to a request for input by the developer and authorized by the South Jubilee Neighbourhood Association listed height as a major concern with the majority expressing the opinion that the project should not exceed the height allowed in the current bylaws.

The structure proposed is significantly higher than it needs to be even if an extra storey and doubling of density is approved. The developer has decided to use wood rather than concrete in the floor structure which increases the height considerably. When asked, the developer's architect stated that this decision was made to save money! The floor to ceiling height is higher on the ground floor than necessary for commercial use. When asked, the developer stated that this was done so that a mezzanine could be incorporated at a later date (more floor space!). The floor to ceiling height in the residential portion of the structure could also be reduced to lessen the height.

A project of the height proposed will have a significant negative impact on the streetscape. It will dwarf all the surrounding structures. It will cast a significant shadow on the properties to the North, it will destroy their privacy and will create a negative precedent for other developments in this neighbourhood. All this so that the developer can save a little money in the construction of the project, make his project more marketable, generate more profit and satisfy his need to build a project that will look good in his brochure (when the developer was asked why he didn't consider a more modest project within the constraints of current bylaws and more in keeping with the neighbourhood he made a statement to the effect that that sort of development is not what they do!) I fail to see any benefit to the city or local residents and a good deal of harm while conferring very significant benefits to the developer.

The scale of this project will have a significant negative impact on traffic in the area. The developer agreed to carry out a traffic study of the impact of this project and more importantly the impact the approval of this project will have by setting a precedent for further development in this area. Has this been done? The stretch of Oak Bay Avenue from Fort Street to Foul Bay despite its designation (by the city) as an arterial road is not an arterial road by any stretch of the imagination (the balance of Oak Bay Avenue is specifically not designated as arterial by the municipality of Oak Bay and is often closed for street markets and parades). This incorrect designation by the city is used to justify the doubling of density on this site and should be ignored.

I could write much more in opposition to the approval of this application but frankly am running out of energy.

Yours sincerely

Peter Emmings

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Gail Anthony

Submitter's Position: Oppose

Comments (Optional): This building is too high and too massive for this neighbourhood. At 58 ft total (51ft of commercial and residential called 4 stories plus 7 ft of roof garden) it will dwarf all other buildings in the neighbourhood. Since Council has approved the project in all respects other than minor tweaks I am left with only one objection that may still be addressed. The north facing balconies will overlook the backyards of the homes on Redfern and Davie. Not enough effort has been made to protect the privacy of the homes to the north. Even a 6ft screen along the patios would help preserve the privacy that we expected when purchasing these homes adjacent to a commercial street with zoning that allowed 3 story buildings. Even if City Council caters to a developer's desire to build as tall and massive as they can in our neighbourhood, you could at least respect the homeowners enough to protect the privacy we extend to each other (we cannot build second floor balconies!) and request the developer to screen the balconies on their project. Vegetation screening is not good enough since there is no guarantee it will either grow enough or last.

Submitter's Address: 1535 Davie St., Victoria, BC V8R 4W4

Submitter's E-Mail (Optional):

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Richard Boyle

Submitter's Position: Oppose

Comments (Optional): I have no problem with the building...it looks like it will be beautiful and add value to properties in the area. I do have a concern as I live on Redfern st which is very narrow and already has limited capacity for more traffic and parking for residents. I don't think this project should be granted a variance for the number of required parking spots...the city already let the new condo on the east side of Redfern have a variance on parking. Perhaps Redfern street could be blocked on the north side of this project's driveway? I provided similar comment when the project on the north side of Redfern was going through this same process and I never heard back from anyone...I'm not convinced that the city cares much about local residents concerns.

Submitter's Address: 1614 Redfern St

Submitter's E-Mail (Optional):

From: [Eileen Closs](#)
To: [Development Services email inquiries](#)
Subject: Garden works on Oak Bay Avenue
Date: September 7, 2020 2:56:08 PM

I'm not happy at Gardenworks being replaced by luxury condos. If the address cannot stay as Gardenworks I would rather it was made into more affordable housing.

Sincerely,

Eileen Closs
204, 1715 Richmond Ave.
Victoria, BC
V8R 4P9



Sent from my iPad

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Jacynthe Bouchard and Chris Edwards

Submitter's Position: Oppose

Comments (Optional): The proposed height of this development has always been and remains an issue. As usual, developers push the envelope as to the size and height of proposed developments to the point that the designation of urban village will be in name only and bear no relation to the City's definition. This development also means the loss of GardenWorks. Since the City is promoting urban agriculture and a green environment, wouldn't it make sense to keep businesses like GardenWorks in neighbourhoods such as South Jubilee so people wouldn't have to use their cars and drive across town to get supplies.

Submitter's Address: 1640 Davie Street

Submitter's E-Mail (Optional):

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Sandy Wilson

Submitter's Position: Support

Comments (Optional): I own Arbutus Physiotherapy and Health Centre. The business directly beside the proposed development. My only concern is use of the street parking spots on Oak Bay Ave and Redfern St during construction of the building. Many of our patients use the spots close the clinic due to mobility issues. I would not want all the trades persons parking around the building site and using all the available street parking.

Submitter's Address: 1928 Oak Bay Ave

Submitter's E-Mail (Optional):

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Jacob Graff

Submitter's Position: Oppose

Comments (Optional): Although the proposal would be a great expansion and overall pleasant addition to our neighbourhood, the Garden Works located on the property of the proposed development is invaluable to our community. The Garden Works location is where my family and I, every year, go to pick out our Christmas tree for the holiday season, go get our vegetable starters for spring, and go for almost all of our gardening needs. The luxury of having a gardening centre at walking distance to our homes is imperative to our community. I am more than certain that many residents in our neighbourhood also walk to the local Garden Works for their gardening needs and I therefore urge the developer and the City to consider alternatives as to preserve our dearly loved gardening centre.

Submitter's Address: 1019 Clare Street, Victoria BC V8S 4B5

Submitter's E-Mail (Optional):

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Christy Love

Submitter's Position: Support

Comments (Optional): I believe the proposal fits well within the street context in terms of scale and finishes, and I welcome the addition of outdoor amenity space for the community. We will very much miss the GardenWorks currently on the site, but I don't think this is reason enough to not add housing and enhanced commercial space in this location. Ideally a new location close by can be identified for the garden centre.

Submitter's Address: 1068 Chamberlain Street

Submitter's E-Mail (Optional):

Development: 1908-1920 Oak Bay Avenue (South Jubilee)

Submitter's Name: Gary Smith

Submitter's Position: oppose both the rooftop garden & 4 stories

Comments (Optional): I am a co-owner in unit 202 - 1515 Redfern Ave (the new building Blu on Redfern) directly east of the subject development. Although I support the redevelopment of this property as a mixed-use building with residential above ground floor commercial, the zoning in this neighbourhood restricts building height to 3 stories. I am therefore opposed to granting 4 stories, and I am definitely opposed to a rooftop garden which will add to neighbourhood noise, impact my unit's privacy, and expose me to second hand smoke from the subject's rooftop smokers. Even if the rooftop was designated as non-smoking, there will most certainly be a lack of compliance. As I spend the majority of time outside on the deck from May-October these are real concerns for me. I specifically bought this unit for its outdoor living space. I am very concerned about what a roof-top deck does to the units privacy and overall quiet enjoyment. There is a neighbourhood park just one block to the north, so this "outdoor" space is not a necessity.

Submitter's Address: 2275 Windsor Rd

Submitter's E-Mail (Optional):

Richard Elliott

From: Ruth Jackson [REDACTED]
Sent: October 19, 2020 5:46 PM
To: Victoria Mayor and Council
Subject: Support for 1920 Oak Bay Avenue
Attachments: Support Letter Re Jawl Development.pdf

Dear Mayor Helps & Council,

Please find my letter attached, providing my support for the proposed development project at 1920 Oak Bay Avenue.

Thank you for taking the time to review this letter.

Best Regards,
E. Ruth Jackson
President

YENNADON HOLDINGS LTD.

E: [REDACTED]



YENNADON
HOLDINGS
LTD.

P.O. Box 18028
1215C - 56th Street
Delta, B.C. V4L 2M4

October 7th, 2020

City of Victoria
1 Centennial Square
Victoria, BC
Via Email: mayorandcouncil@victoria.ca

Attn: Mayor Helps & Council

Re: Jawl Residential Development - 1920 Oak Bay Avenue

We are pleased to be writing a letter to convey our full support of the development application for 1908-1920 Oak Bay Avenue. The development team has engaged with us and provided us the opportunity to review their development plans. We strongly support what is being proposed.

As landowners within the South Jubilee neighbourhood for the past 50 years, we support the efforts made through this application to make the community more walkable, liveable and vibrant. Additionally, we are supportive of the scale and size of the building and believe that it strikes a balance in providing sensitive density, while also being respectful to the surrounding context.

In reviewing the plans with the development team, we believe that they have provided due care to the immediate residents to the north by way of privacy options and landscape screening. Further, the commitment to providing funds for the construction of a new crosswalk will be a benefit to the broader community that uses this area of Oak Bay Avenue. We also view the addition of the rooftop garden space as a thoughtful addition that improves the long-term livability of the residential portion of the development.

Overall, we feel that this proposal should be approved, as it is a forward-looking development that will set an example for future development applications along the Oak Bay corridor. The basket of amenities and future retail users will greatly improve the South Jubilee neighbourhood and we look forward to enjoying the building in the future.

Best Regards,

E. Ruth Jackson
President, Yennadon Holdings Ltd.

I am very sorry for our late response. I am writing you about the proposal on Oak Bay Avenue where Phil Ballam Plumbing and Garden Works currently resides. I live next door to these properties and will be impacted the most from this development. The Jawl's have been very upfront and responsive to our concerns and we have appreciated their honesty over the last two years. We feel very confident in their design and approach.

Mark and Diana McNeill
1516 Redfern Street
Victoria BC

From: [Charlotte Weiss](#)
To: [Development Services email inquiries](#)
Subject: GardenWorks, 1916 Oak Bay Ave.
Date: August 16, 2020 10:09:36 AM

Hello:

I am concerned about the potential development project at the above address.

I have lived near GardenWorks for the last 14 years (1715 Richmond Ave.) and frequently buy my plants there.

I know that the development of a luxury condo building is in the works. This would be a huge loss to the neighborhood of a garden centre that serves not only as a place to buy plants but also as a haven for bees, butterflies and plants. Once the habitat of a garden centre is destroyed, it can't be replaced.

I also wonder if the neighborhood needs another luxury condo complex given the need for more low-income housing.

Thank you for considering my concerns.

Charlotte Weiss, #102, 1715 Richmond Ave., Victoria, B.C. V8R 4P9

(phone [REDACTED])

From: [Chris Taylor](#)
To: [Development Services email inquiries](#)
Subject: High rise condo development on Oak Bay Avenue in place of businesses including Garden Works at 1916 Oak Bay Avenue
Date: September 1, 2020 1:03:17 PM

I have only recently AND thankfully learned that this complex is still in the negotiating phase. What a loss it would be for the nearby residents to no longer have their garden centre with easy access to beautiful plants and greenery. Does a modern structure of bricks and mortar compliment the interesting mood of the place we call "The Village"? Is there a place within the Village for this proposed luxury condo complex?
My concerns respectfully submitted for your consideration.
Chris Taylor

Sent from my iPad
Chris Taylor Victoria BC

Mayor and Council,

Please be advised that I strongly support this development named 1912 Oak Bay Avenue Inc., [Development Tracker #REZ00694].

Mike Siska,

1076 Davie St.,

V8S4E3

More than 90% of the respondents to a survey authorised by the South Jubilee Neighbourhood Association which was carried out when this development was first proposed, voiced opposition to the development proposed for this site by Jawl Residential. The major concern expressed was related to the height of the proposal. By far the majority wanted the development to be designed within the maximum height allowed under current bylaws which we understood is 35 feet. We are now looking at a proposal which is 58 feet high!

The height of the proposal before council was well in excess of 35 feet. Now it would appear that Jawl Residential wants to make it even higher by the addition of a roof garden. My wife and I have already expressed our opposition to this proposed development. The addition of a roof garden will increase the shadow on properties to the north and will have a greater impact on the privacy of those properties.

We believe the vast majority of residents of the area would much prefer a development designed within the parameters of the bylaws we thought governed this site namely 3 storeys with a 1:1 ratio of site to building area. Such a development would have much less impact on the streetscape (currently all recent redevelopment in the immediate area does not exceed 35 feet height); less impact on traffic; far less impact on the neighbourhood to the north, and could be designed to retain Gardenworks.

Peter & Tessa Emmings

1625 Davie Street

From: [Heather Cochran](#)
To: [Development Services email inquiries](#)
Cc: [Marianne Alto \(Councillor\)](#); [Lisa Helps \(Mayor\)](#); landuse@southjubilee.ca; [Ben Ziegler](#)
Subject: Petition re 1908-1920 Oak Bay Ave development proposal
Date: September 18, 2020 3:03:51 PM
Attachments: [petition_signatures_jobs_24486621_20200918205604.pdf](#)
[petition_comments_jobs_24486621_20200918205617.pdf](#)

Good afternoon,

I understand today is the deadline for public feedback on the development proposal for 1908-1920 Oak Bay Avenue (the current location of GardenWorks). I have been in contact with Ben Ziegler, SJNA Land Use Committee Co-Chair, regarding a petition I started to "Save GardenWorks", and he advised that I submit the petition by email to you today, as it does not appear to be possible to submit it through the Development Tracker Comment Page. The petition is available online here: <https://www.change.org/SaveGardenWorks> I have also attached PDFs of the petition signatures and comments.

By way of introduction and overview, I am opposed to the development proposal for 1908-1920 Oak Bay Avenue because it does not provide for the continuation of a garden centre in our neighbourhood. In his letter of August 5, 2020 proposing to include a rooftop garden in his application, Mr. Jawl aptly notes that allowing residents to grow their own vegetables and herbs "would support the goals of sustainability, food security and livability, all of which have become increasingly more relevant considering the impacts of the COVID-19 pandemic". I couldn't agree more with Mr. Jawl. In fact, the Province of BC has [declared](#) garden centres and nurseries an essential service during the COVID-19 pandemic. Yet Mr. Jawl's development proposal would effectively shut down a garden centre in a neighbourhood that has depended on having one at this location since at least 1955, when the "Redfern Nursery and Garden Store" opened its doors.

Mr. Jawl's letter does not address where residents of his proposed development can be expected to procure their seeds, plants, gardening tools, supplies and advice--let alone where the residents of the surrounding neighbourhood can do so. Rather than make the easy walk to GardenWorks, residents would be forced to drive over 6km to the next nearest garden centre with comparable selection (the GardenWorks on Blenkinsop Rd.; please note that "big box stores" such as Home Depot do not carry the same selection, particularly with regard to vegetables; nor does Demitasse in Oak Bay carry vegetables or gardening supplies). This is plainly inconsistent with the City's ["Get Growing"](#) initiative as well as its emphasis on reducing vehicle traffic.

The timing of this proposal also could not be more poignant. In addition to the COVID-19 pandemic which has motivated many to take up gardening to increase their own food security and enhance their outdoor spaces in the absence of being able to gather indoors or visit parks, our community is also faced with the devastating effects of wildfire smoke linked to climate change.

The prospect of being forced to travel by car in order to continue gardening motivated me to start a [petition](#) to see if I was alone, and hopefully encourage my neighbours to make their voices heard. They have done so--loudly. In under 3 weeks, nearly 300 supporters have signed the petition. I have been deeply struck by the comments they have left on the petition, and I hope you will be too. GardenWorks is not an "industrial" blemish on the

neighbourhood, nor is it merely a "garden shop" which some in the area may be sad to lose, as councillors suggested at the July 23, 2020 Committee of the Whole meeting. It is a beloved pillar of our neighbourhood fulfilling a role that could not be more essential at this moment.

Thank you for considering my comments and petition,

Heather Cochran

change.org

Recipient: Lisa Helps

Letter: Greetings,

Save Our Neighbourhood Garden Centre!

Comments

Name	Location	Date	Comment
C S mon	V ctor a, Canada	2020 09 06	"Garden ng s an essent a act v ty, and hav ng a oca garden ng centre means not dr v ng great d stances, keep ng our carbon footpr nt down."
Yvonne Burnett	V ctor a, Canada	2020 09 06	"The Garden center s needed"
Lynn Ph ps	V ctor a, Canada	2020 09 07	"We need th s n our commun ty."
Cathy an ne Campbe	V ctor a, Canada	2020 09 10	"My ne ghbourhood gardenworks"
Pat Co n	Hornby Is and, Canada	2020 09 10	"I m s gn ng because I was an owner of a sma nursery for years and know how many peop e needed and apprec ated t."
Chr s Tay or	V ctor a, Canada	2020 09 11	"I care. Have wr tten a persona etter"
Laura Th essen	V ctor a, BC, Canada	2020 09 11	"I ve n the ne ghbourhood and don't want to see th s garden centre go! I've purchased many beaut fu p ants from them and they are a va ue to the ne ghbourhood."
Rosemary Harbrecht	Sa tspr ng, Canada	2020 09 11	"A great part of the ne ghborhood"
Marg e Korr son	Sa t Spr ng Is and, Canada	2020 09 11	"L ke corner stores n our ne ghbourhoods, garden centres too are mportant espec a y n the garden c ty of V ctor a. Important to wa k to th s store."
an R d ngton	V ctor a, Canada	2020 09 12	"Whether for food or to feast the eyes and sou , p ants are necessary. Th s s one of the on y garden centers that s access be to those who don t have cars."
C da a A vernaz	V ctor a, Canada	2020 09 12	"It s such a ca m ng exper ence to wa k through the centre and connect to the p ants and poss b tes"
N A	V ctor a, Canada	2020 09 12	"It a a wonderfu garden centre, cose by for so many and an mportant part of our commun ty"
Dan Cochran	V ctor a, Canada	2020 09 13	"It's a va ued part of our ne ghbourhood."
Deb Tackaberry	V ctor a B.C., Canada	2020 09 14	"Need a garden ng shop n our ne ghborhood"
M che e Toone	Canada	2020 09 15	"Part of my youth! Loved shopp ng here."
Peter Emm ngs	V ctor a, Canada	2020 09 15	"We who ve n th s ne ghbourhood need th s green oasis the ast garden centre n V ctor a. A deve opment des gned w thout the requ rement of th s rezon ng s pract ca . Approva of th s rezon ng makes t mposs be to accommodate Garden Works."
V rg n a Ronn ng	Canada	2020 09 16	"Th s s a very mportant ssue. The Garden Centre he ps make our commun ty."

Name	Location	Date	Comment
Va er e M tche	Canada	2020 09 16	"The loss of th s wonderfu p ace to yet another condo deve opment wou d be such a tragedy."
Susan Duva	V ctor a, Canada	2020 09 17	"We need th s fabu ous bus ness as our commun ty s boom ng and abound w th gardeners everywhere!"
Carr e Crowe	Nana mo, Canada	2020 09 18	"I have come down many t mes to V ctor a, shopped and eaten there. It's a great p ace and has been there a ong t me and s part of what makes Oak Bay spec a . No one has the r ght to take th s away from the owners now."
Heather Abe	V ctor a, Canada	2020 09 18	"Th s s an mportant commun ty bus ness that shou d not be pushed out on y for the sake of deve opment."
Deyan Ke er	V ctor a, Canada	2020 09 18	"I shop here a the t me for my garden, p ants, and deck! Wou d abso ute y hate to ose t!"
Cynth a Swove and	V ctor a, Canada	2020 09 18	"The V ctor a C ty Counc wants peop e to b ke or wa k to p aces. It wants c usters of stores so peop e don t have to dr ve from one p ace to another. HERE s a p ace one cou d b ke or wa k or take the bus to. It s n the m dst of a c uster of stores for grocer es, etc. But when t c oses, those who do b ke or wa k w have to go farther to shop and use the r cars to do so."

change.org

Recipient: Lisa Helps

Letter: Greetings,

Save Our Neighbourhood Garden Centre!

Signatures

Name	Location	Date
Heather Cochran	Victoria, Canada	2020-09-03
Ian Hendry	Victoria, Canada	2020-09-04
Justice Poyntz	Victoria, Canada	2020-09-06
Philip Renouf	Victoria, Canada	2020-09-06
Luka Hayes	Oak !-, Canada	2020-09-06
Graydon Gibson	Victoria, Canada	2020-09-06
Keiran Tuck	victoria, Canada	2020-09-06
David Williams	Oak Bay, Canada	2020-09-06
Marilyn Goode	Victoria, Canada	2020-09-06
Susanne Wilson	Victoria, Canada	2020-09-06
Jamie Oosterhuis	Victoria, Canada	2020-09-06
Emma Pyle	Victoria, Canada	2020-09-06
Dylan Kelk	Victoria, Canada	2020-09-06
C Simon	Victoria, Canada	2020-09-06
Yvonne Burnett	Victoria, Canada	2020-09-06
Vrai Price-Miskelly	Victoria, Canada	2020-09-07
Lynn Phillips	Victoria, Canada	2020-09-07
garry Horn	Victoria, Canada	2020-09-07
Paul Crewe	Uxbridge, Canada	2020-09-07
Amanda Smith	Windsor, Canada	2020-09-07

Name	Location	Date
Frankie B. Wylde	Newmarket, Canada	2020-09-07
Abby Nadeau	Edmundston, Canada	2020-09-07
Anu Siva	Ontario, Canada	2020-09-07
Pamela Woodland	Victoria, Canada	2020-09-07
P. Bryant	Victoria, Canada	2020-09-07
Monique Genton	Victoria, Canada	2020-09-08
Donna Fraser	Nanaimo, Canada	2020-09-08
Louise Robinson	Victoria, Canada	2020-09-08
Karen Fishwick	Victoria, Canada	2020-09-08
Sandra Fishwick	Victoria, Canada	2020-09-08
George Bielay	Victoria, Canada	2020-09-08
Hana Knight	Victoria, Canada	2020-09-08
Marlene Lovell	Victoria, Canada	2020-09-08
Kim Van Weelden	Victoria, Canada	2020-09-08
Simerjot Kaur	Toronto, Canada	2020-09-09
Navjot Kaur	Saint Catharines, Canada	2020-09-09
isha gill	Surrey, Canada	2020-09-09
Lynda Chu	Vancouver, Canada	2020-09-09
Lori Scott	Whitby, Canada	2020-09-09
petition to ban YASIN gay	Toronto, Canada	2020-09-09
Brad Jones	Edmonton, Canada	2020-09-09
Patrick Tirrell	Ottawa, Canada	2020-09-09

Name	Location	Date
Laiba Rashid	Brampton, Canada	2020-09-09
Marie Kozyra	Winnipeg, Canada	2020-09-09
Julie Ramsay	Duncan, Canada	2020-09-09
Erin Joseph	Barrie, Canada	2020-09-09
Kaitlin Purdy	Victoria, Canada	2020-09-09
Marsha Crean	Victoria, Canada	2020-09-09
Paul Spriggs	Victoria, Canada	2020-09-09
Lynda Hoogendoorn	Mississauga, Canada	2020-09-09
Ian Roberts	Toronto, Canada	2020-09-09
Nera Uljar	Vancouver, Canada	2020-09-09
Nadeane Trowse	Richmond, Canada	2020-09-10
Dennis Zakopcan	Victoria, Canada	2020-09-10
TJ Nienaber	Victoria, Canada	2020-09-10
Scott Lucyk	Victoria, Canada	2020-09-10
Cathy Janine Campbell	Victoria, Canada	2020-09-10
Pat Colin	Hornby Island, Canada	2020-09-10
Valerie Franklin	Abbotsford, Canada	2020-09-10
Ethan Freistadt	Summerland, Canada	2020-09-10
Emily Wright	Victoria, Canada	2020-09-10
Leif Forge	Victoria, Canada	2020-09-10
Mary Tharle	Victoria, Canada	2020-09-10
Charlotte Weiss	Victoria, Canada	2020-09-10

Name	Location	Date
Chris Taylor	Victoria, Canada	2020-09-11
sheila munro	Surrey, Canada	2020-09-11
Laura Thiessen	Victoria, BC, Canada	2020-09-11
Diana Thompson	Salt Spring Island, Canada	2020-09-11
Rosemary Harbrecht	Saltspring, Canada	2020-09-11
Dan Curtis	Victoria, BC, Canada	2020-09-11
Claire Carlin	Victoria, Canada	2020-09-11
nik lo	Calgary, Canada	2020-09-11
Sarah Fraser	Canada	2020-09-11
Victoria Kwandibens	Pickle Lake, Canada	2020-09-11
Leanna Chatwin	Surrey, Canada	2020-09-11
Saeari Sumiro	Vancouver, Canada	2020-09-11
N A	nope, Canada	2020-09-11
Bahaa Shtaiwi	Toronto, Canada	2020-09-11
Kole Deakin	Surrey, Canada	2020-09-11
Melissa P	Toronto, Canada	2020-09-11
Joe Lomba	Kitchener, Canada	2020-09-11
Kaya S	Markham, Canada	2020-09-11
Garry cheema	Chilliwack, Canada	2020-09-11
Kim Kane	Woodstock, Canada	2020-09-11
Ruth Riddell	Capital, Canada	2020-09-11
Anakin B	Victoria, Canada	2020-09-11

Name	Location	Date
Margie Korrison	Salt Spring Island, Canada	2020-09-11
Michelle Williams	Victoria, Canada	2020-09-11
Jillian Ridington	Victoria, Canada	2020-09-11
Kathleen Hamilton	Victoria, Canada	2020-09-11
Zachary Froese	Victoria, Canada	2020-09-11
helen colbeck	Victoria, Canada	2020-09-11
Silvia Schmidt	Victoria, Canada	2020-09-11
Mackenzie Clarke	Victoria, Canada	2020-09-11
Robin Ridington	Victoria, Canada	2020-09-12
Elly Weber	Victoria, Canada	2020-09-12
Wendy Cochran	Victoria, Canada	2020-09-12
Cidalia Alvernaz	Victoria, Canada	2020-09-12
N A	Victoria, Canada	2020-09-12
Sophie Harmsen	Calgary, Canada	2020-09-12
Paisley Shackelford	Coquitlam, Canada	2020-09-12
Beth Cowin	Victoria, Canada	2020-09-12
Lynn Sutherland	Winnipeg, Canada	2020-09-12
Mattigan Dillabough	North York, Canada	2020-09-12
Sitara Yousofi	Surrey, Canada	2020-09-12
Nicholas Yoshioka	Victoria, Canada	2020-09-12
Mark Owens	Victoria, Canada	2020-09-12
Robyn Duffy-Toner	Victoria, Canada	2020-09-12

Name	Location	Date
Dan Cochran	Victoria, Canada	2020-09-13
Kira Antinuk	Victoria, Canada	2020-09-13
Katia De Marco	Victoria, Canada	2020-09-13
Michelle Hallschmid	Victoria, Canada	2020-09-13
Ken Todd	Victoria, Canada	2020-09-13
Mary Mcintosh	Victoria, Canada	2020-09-13
Leila G	Victoria, Canada	2020-09-13
Elisabeth Graff	Victoria, Canada	2020-09-13
Melissa Roht	Victoria, Canada	2020-09-13
Jacob Graff	Victoria, Canada	2020-09-13
Steven Pokotylo	Victoria, Canada	2020-09-13
Miranda Kelly	Victoria, Canada	2020-09-13
Jenica Griffith	Victoria, Canada	2020-09-13
Bronwyn Abbott	Victoria, Canada	2020-09-13
Angela Davies	Victoria, Canada	2020-09-13
Wendy Kongus	Victoria, Canada	2020-09-13
Jenna Darcie	Victoria, Canada	2020-09-13
Deb Tackaberry	Victoria B.C., Canada	2020-09-14
Sue Griffith	Duncan, Canada	2020-09-14
Karolle Wall	Pender Island, Canada	2020-09-14
K Campbell	Victoria, Canada	2020-09-14
Yoko Takashima	Victoria, Canada	2020-09-14

Name	Location	Date
Joan Johnson	Victoria, Canada	2020-09-14
Kelly McLaren	Victoria, Canada	2020-09-14
Sonya Smoley	Victoria, Canada	2020-09-14
Roberta Bartle-Clar	Victoria, Canada	2020-09-14
Jacalin Jefferson	Victoria, Canada	2020-09-14
Lenore Kongus	Lake Cowichan, Canada	2020-09-14
Kirsten Detlefsen	Victoria, Canada	2020-09-14
Richard Schultz	Victoria, Canada	2020-09-14
Madeleine Guimond	Victoria, Canada	2020-09-14
jessica corfield	Courtenay, Canada	2020-09-14
Maha Dyab	Mississauga, Canada	2020-09-14
Beata Lee	Toronto, Canada	2020-09-14
Ashlyn Roy	Hamilton, Canada	2020-09-14
Andrea Sparling	Mansonville, Canada	2020-09-14
J P	Toronto, Canada	2020-09-14
Jawwad Rinch	Toronto, Canada	2020-09-14
Leonie de Young	Toronto, Canada	2020-09-14
Jessica Davenport	Cookstown, Canada	2020-09-14
Jen Gr	Mississauga, Canada	2020-09-14
Anne Goodman	Victoria, Canada	2020-09-14
Sebastian Aguanno	Newmarket, Canada	2020-09-14
Felicia Araujo	Mississauga, Canada	2020-09-14

Name	Location	Date
Mila Mirosh	Vaughan, Canada	2020-09-14
Samantha Bobga	Ontario, Canada	2020-09-14
Chelsea Mara	Toronto, Canada	2020-09-14
Isa Trujillo	Calgary, Canada	2020-09-14
Simratpal Kaur	Brampton, Canada	2020-09-14
Heba Qazi	Windsor, Canada	2020-09-14
Faith Holland	Barrie, Canada	2020-09-14
Wendy Little	Saskatoon, Canada	2020-09-14
achitha sangan	Toronto, Canada	2020-09-14
Kyle Dawson	Sault Sainte Marie, Canada	2020-09-14
Syd Foster	Dorchester, Canada	2020-09-14
Abi Lindeman	Abbotsford, Canada	2020-09-14
Tessa Kucharsky	Victoria, Canada	2020-09-14
Trinity Turnbull	Victoria, Canada	2020-09-14
Demika P	Victoria, Canada	2020-09-15
Peta Tibbetts	Victoria, Canada	2020-09-15
Elizabeth Hughes	Victoria, Canada	2020-09-15
Maya Ben Dor	Victoria, Canada	2020-09-15
Diana Gibson	Victoria, Canada	2020-09-15
Michelle Toone	Canada	2020-09-15
Sarah Shea	Victoria, Canada	2020-09-15
Natalie Boldt	Chilliwack, Canada	2020-09-15

Name	Location	Date
Matthew watson	victoria, Canada	2020-09-15
Feixue Ren	Victoria, Canada	2020-09-15
Peter Emmings	Victoria, Canada	2020-09-15
Rene Lowe	Calgary, Canada	2020-09-15
Glen Moore	Toronto, Canada	2020-09-16
Vern Gustave	Cambridge, Canada	2020-09-16
Virginia Ronning	Canada	2020-09-16
MJ Burrows	Canada	2020-09-16
Kate Emmings	Victoria, Canada	2020-09-16
Tom Gleeson	Victoria, Canada	2020-09-16
Claire Hutton	Victoria, Canada	2020-09-16
Susan Vandenassem	Calgary, Canada	2020-09-16
mike girard	Burlington, Canada	2020-09-16
Tannis Gudmundson	Victoria, Canada	2020-09-16
Robert Gowan	Victoria, Canada	2020-09-16
Valerie Mitchell	Canada	2020-09-16
Samantha Mozley	Victoria, Canada	2020-09-16
Leyanne Philp	Victoria, Canada	2020-09-16
Amanda Whetstone	Brantford, Canada	2020-09-16
Mary Zak	Victoria, Canada	2020-09-16
Alexandra Trifonidis	Victoria, Canada	2020-09-16
Beverly Trifonidis	Victoria, Canada	2020-09-16

Name	Location	Date
Kathy Burch	Victoria, Canada	2020-09-16
Maeve O'Byrne	Nanaimo, Canada	2020-09-16
Susan Duvall	Victoria, Canada	2020-09-17
Cathy Brown	Victoria, Canada	2020-09-17
Karen Colquhoun	Moose Jaw, Canada	2020-09-17
Denise Storms	Surrey, Canada	2020-09-17
Grace Kerklaan	Kitchener, Canada	2020-09-17
Ali S	Hudson, Canada	2020-09-17
georgia greenwood	Victoria, Canada	2020-09-17
Hiral Tadv	Regina, Canada	2020-09-17
Michelle Smithsonian	Richmond, Canada	2020-09-17
Shazil Khan	Oakville, Canada	2020-09-17
Jagjeet singh Gill	Abbotsford, Canada	2020-09-17
Parker Linzmeier	Richmond, Canada	2020-09-17
Kira Winter	Burlington, Canada	2020-09-17
Kristy Simoens	Brandon, Canada	2020-09-17
Bruce Dunn	Calgary, Canada	2020-09-17
Declan Shineton	Calgary, Canada	2020-09-17
Manvir Dhillon	Brampton, Canada	2020-09-17
Trifon Agioritis	Regina, Canada	2020-09-17
Jenna Millares	Scarborough, Canada	2020-09-17
Jasmeen Sidhu	Abbotsford, Canada	2020-09-17

Name	Location	Date
Ellie CoLu	Canada	2020-09-17
Sydney Pazurik	Vancouver, Canada	2020-09-17
Jacqueline Hawryluk	Sarnia, Canada	2020-09-17
Kathryn Derksen	Winnipeg, Canada	2020-09-17
Ahmed Hagi-Yusuf	Fort McMurray, Canada	2020-09-17
Connor Murray	Mount Pearl, Canada	2020-09-17
Emanuela Bozzelli	Woodbridge, Canada	2020-09-17
keira andreason	Okotoks, Canada	2020-09-17
Nat Kwan	Toronto, Canada	2020-09-17
Toula Hatzioannou	Victoria, Canada	2020-09-17
Eileen Pedersen	Trail, Canada	2020-09-17
Jennifer Bradshaw	Ottawa, Canada	2020-09-17
Tannis Harper	Victoria, Canada	2020-09-17
Kaitlyn Michaelis	Victoria, Canada	2020-09-17
Ali Mitchell	Victoria, Canada	2020-09-17
Susanna Dery	Surrey, Canada	2020-09-17
Colette Wood	Victoria, Canada	2020-09-17
Laura Arlidge	Victoria, Canada	2020-09-17
Isabelle Boulet	Vancouver, Canada	2020-09-17
jarmilla pavlis	Victoria, Canada	2020-09-17
Matthew Emmings	Victoria, Canada	2020-09-17
Kerstin Greiner	Victoria, Canada	2020-09-18

Name	Location	Date
Fiona Auld	Victoria, Canada	2020-09-18
Kathryn Todsén	Qualicum Beach, Canada	2020-09-18
Sophia Miles-Dheenshaw	Victoria, Canada	2020-09-18
Ariel A	North Saanich, Canada	2020-09-18
H Benson	Victoria, Canada	2020-09-18
Arely MY	Victoria, Canada	2020-09-18
JoAnn Hill	Victoria, Canada	2020-09-18
Sherry Nielsen	Nanaimo, Canada	2020-09-18
Lesley lee	Victoria, Canada	2020-09-18
Carrie Crowe	Nanaimo, Canada	2020-09-18
Andrea Meadows	Victoria, Canada	2020-09-18
Heather Abel	Victoria, Canada	2020-09-18
Tracey Girolami	Victoria, Canada	2020-09-18
Anika Lacerte	Sooke, Canada	2020-09-18
T Jones	Victoria, Canada	2020-09-18
Deyan Keller	Victoria, Canada	2020-09-18
Jenee Patenaude	Canada	2020-09-18
Isabella MacKenzie	Victoria, Canada	2020-09-18
Kellen Hollier	Victoria, Canada	2020-09-18
Hilary Skinner	Victoria, Canada	2020-09-18
Lindsay Hannah	Nanaimo, Canada	2020-09-18
Dan Miller	Victoria, Canada	2020-09-18

Name	Location	Date
Jenny Ganes	Dartmouth, Canada	2020-09-18
Sienna Blumstengel	Victoria, Canada	2020-09-18
Katie Tarasiouk	Victoria, Canada	2020-09-18
Joy Thompson	Victoria, Canada	2020-09-18
Helen Meier	Calgary, Alberta, Canada	2020-09-18
Julianne Mullin	Langley, Canada	2020-09-18
Maureen Jones	Victoria, Canada	2020-09-18
Cynthia Swoveland	Victoria, Canada	2020-09-18
Meagan Gwilt	Victoria, Canada	2020-09-18
Patricia O'Byrne	Victoria, Canada	2020-09-18
Andrea Egan	Tofino, Canada	2020-09-18
lauren hayes	Victoria, Canada	2020-09-18
Carmen Gwilt	Victoria, Canada	2020-09-18
Lauri Gwilt	Bowser, Canada	2020-09-18
Tiffany Shelswell	Victoria, Canada	2020-09-18
Bonnie Beard	Victoria, Canada	2020-09-18
Cara Caldwell	Parksville, Canada	2020-09-18
Jenelle Dixon	Victoria, Canada	2020-09-18
Mandy demasson	Victoria, Canada	2020-09-18

change.org

Recipient: Lisa Helps

Letter: Greetings,

Save Our Neighbourhood Garden Centre!

Signatures

Name	Location	Date
Heather Cochran	Victoria, Canada	2020-09-03
Ian Hendry	Victoria, Canada	2020-09-04
Justice Poyntz	Victoria, Canada	2020-09-06
Philip Renouf	Victoria, Canada	2020-09-06
Luka Hayes	Oak !-, Canada	2020-09-06
Graydon Gibson	Victoria, Canada	2020-09-06
Keiran Tuck	victoria, Canada	2020-09-06
David Williams	Oak Bay, Canada	2020-09-06
Marilyn Goode	Victoria, Canada	2020-09-06
Susanne Wilson	Victoria, Canada	2020-09-06
Jamie Oosterhuis	Victoria, Canada	2020-09-06
Emma Pyle	Victoria, Canada	2020-09-06
Dylan Kelk	Victoria, Canada	2020-09-06
C Simon	Victoria, Canada	2020-09-06
Yvonne Burnett	Victoria, Canada	2020-09-06
Vrai Price-Miskelly	Victoria, Canada	2020-09-07
Lynn Phillips	Victoria, Canada	2020-09-07
garry Horn	Victoria, Canada	2020-09-07
Paul Crewe	Uxbridge, Canada	2020-09-07
Amanda Smith	Windsor, Canada	2020-09-07

Name	Location	Date
Frankie B. Wylde	Newmarket, Canada	2020-09-07
Abby Nadeau	Edmundston, Canada	2020-09-07
Anu Siva	Ontario, Canada	2020-09-07
Pamela Woodland	Victoria, Canada	2020-09-07
P. Bryant	Victoria, Canada	2020-09-07
Monique Genton	Victoria, Canada	2020-09-08
Donna Fraser	Nanaimo, Canada	2020-09-08
Louise Robinson	Victoria, Canada	2020-09-08
Karen Fishwick	Victoria, Canada	2020-09-08
Sandra Fishwick	Victoria, Canada	2020-09-08
George Bielay	Victoria, Canada	2020-09-08
Hana Knight	Victoria, Canada	2020-09-08
Marlene Lovell	Victoria, Canada	2020-09-08
Kim Van Weelden	Victoria, Canada	2020-09-08
Simerjot Kaur	Toronto, Canada	2020-09-09
Navjot Kaur	Saint Catharines, Canada	2020-09-09
isha gill	Surrey, Canada	2020-09-09
Lynda Chu	Vancouver, Canada	2020-09-09
Lori Scott	Whitby, Canada	2020-09-09
petition to ban YASIN gay	Toronto, Canada	2020-09-09
Brad Jones	Edmonton, Canada	2020-09-09
Patrick Tirrell	Ottawa, Canada	2020-09-09

Name	Location	Date
Laiba Rashid	Brampton, Canada	2020-09-09
Marie Kozyra	Winnipeg, Canada	2020-09-09
Julie Ramsay	Duncan, Canada	2020-09-09
Erin Joseph	Barrie, Canada	2020-09-09
Kaitlin Purdy	Victoria, Canada	2020-09-09
Marsha Crean	Victoria, Canada	2020-09-09
Paul Spriggs	Victoria, Canada	2020-09-09
Lynda Hoogendoorn	Mississauga, Canada	2020-09-09
Ian Roberts	Toronto, Canada	2020-09-09
Nera Uljar	Vancouver, Canada	2020-09-09
Nadeane Trowse	Richmond, Canada	2020-09-10
Dennis Zakopcan	Victoria, Canada	2020-09-10
TJ Nienaber	Victoria, Canada	2020-09-10
Scott Lucyk	Victoria, Canada	2020-09-10
Cathy Janine Campbell	Victoria, Canada	2020-09-10
Pat Colin	Hornby Island, Canada	2020-09-10
Valerie Franklin	Abbotsford, Canada	2020-09-10
Ethan Freistadt	Summerland, Canada	2020-09-10
Emily Wright	Victoria, Canada	2020-09-10
Leif Forge	Victoria, Canada	2020-09-10
Mary Tharle	Victoria, Canada	2020-09-10
Charlotte Weiss	Victoria, Canada	2020-09-10

Name	Location	Date
Chris Taylor	Victoria, Canada	2020-09-11
sheila munro	Surrey, Canada	2020-09-11
Laura Thiessen	Victoria, BC, Canada	2020-09-11
Diana Thompson	Salt Spring Island, Canada	2020-09-11
Rosemary Harbrecht	Saltspring, Canada	2020-09-11
Dan Curtis	Victoria, BC, Canada	2020-09-11
Claire Carlin	Victoria, Canada	2020-09-11
nik lo	Calgary, Canada	2020-09-11
Sarah Fraser	Canada	2020-09-11
Victoria Kwandibens	Pickle Lake, Canada	2020-09-11
Leanna Chatwin	Surrey, Canada	2020-09-11
Saeari Sumiro	Vancouver, Canada	2020-09-11
N A	nope, Canada	2020-09-11
Bahaa Shtaiwi	Toronto, Canada	2020-09-11
Kole Deakin	Surrey, Canada	2020-09-11
Melissa P	Toronto, Canada	2020-09-11
Joe Lomba	Kitchener, Canada	2020-09-11
Kaya S	Markham, Canada	2020-09-11
Garry cheema	Chilliwack, Canada	2020-09-11
Kim Kane	Woodstock, Canada	2020-09-11
Ruth Riddell	Capital, Canada	2020-09-11
Anakin B	Victoria, Canada	2020-09-11

Name	Location	Date
Margie Korrison	Salt Spring Island, Canada	2020-09-11
Michelle Williams	Victoria, Canada	2020-09-11
Jillian Ridington	Victoria, Canada	2020-09-11
Kathleen Hamilton	Victoria, Canada	2020-09-11
Zachary Froese	Victoria, Canada	2020-09-11
helen colbeck	Victoria, Canada	2020-09-11
Silvia Schmidt	Victoria, Canada	2020-09-11
Mackenzie Clarke	Victoria, Canada	2020-09-11
Robin Ridington	Victoria, Canada	2020-09-12
Elly Weber	Victoria, Canada	2020-09-12
Wendy Cochran	Victoria, Canada	2020-09-12
Cidalia Alvernaz	Victoria, Canada	2020-09-12
N A	Victoria, Canada	2020-09-12
Sophie Harmsen	Calgary, Canada	2020-09-12
Paisley Shackelford	Coquitlam, Canada	2020-09-12
Beth Cowin	Victoria, Canada	2020-09-12
Lynn Sutherland	Winnipeg, Canada	2020-09-12
Mattigan Dillabough	North York, Canada	2020-09-12
Sitara Yousofi	Surrey, Canada	2020-09-12
Nicholas Yoshioka	Victoria, Canada	2020-09-12
Mark Owens	Victoria, Canada	2020-09-12
Robyn Duffy-Toner	Victoria, Canada	2020-09-12

Name	Location	Date
Dan Cochran	Victoria, Canada	2020-09-13
Kira Antinuk	Victoria, Canada	2020-09-13
Katia De Marco	Victoria, Canada	2020-09-13
Michelle Hallschmid	Victoria, Canada	2020-09-13
Ken Todd	Victoria, Canada	2020-09-13
Mary Mcintosh	Victoria, Canada	2020-09-13
Leila G	Victoria, Canada	2020-09-13
Elisabeth Graff	Victoria, Canada	2020-09-13
Melissa Roht	Victoria, Canada	2020-09-13
Jacob Graff	Victoria, Canada	2020-09-13
Steven Pokotylo	Victoria, Canada	2020-09-13
Miranda Kelly	Victoria, Canada	2020-09-13
Jenica Griffith	Victoria, Canada	2020-09-13
Bronwyn Abbott	Victoria, Canada	2020-09-13
Angela Davies	Victoria, Canada	2020-09-13
Wendy Kongus	Victoria, Canada	2020-09-13
Jenna Darcie	Victoria, Canada	2020-09-13
Deb Tackaberry	Victoria B.C., Canada	2020-09-14
Sue Griffith	Duncan, Canada	2020-09-14
Karolle Wall	Pender Island, Canada	2020-09-14
K Campbell	Victoria, Canada	2020-09-14
Yoko Takashima	Victoria, Canada	2020-09-14

Name	Location	Date
Joan Johnson	Victoria, Canada	2020-09-14
Kelly McLaren	Victoria, Canada	2020-09-14
Sonya Smoley	Victoria, Canada	2020-09-14
Roberta Bartle-Clar	Victoria, Canada	2020-09-14
Jacalin Jefferson	Victoria, Canada	2020-09-14
Lenore Kongus	Lake Cowichan, Canada	2020-09-14
Kirsten Detlefsen	Victoria, Canada	2020-09-14
Richard Schultz	Victoria, Canada	2020-09-14
Madeleine Guimond	Victoria, Canada	2020-09-14
jessica corfield	Courtenay, Canada	2020-09-14
Maha Dyab	Mississauga, Canada	2020-09-14
Beata Lee	Toronto, Canada	2020-09-14
Ashlyn Roy	Hamilton, Canada	2020-09-14
Andrea Sparling	Mansonville, Canada	2020-09-14
J P	Toronto, Canada	2020-09-14
Jawwad Rinch	Toronto, Canada	2020-09-14
Leonie de Young	Toronto, Canada	2020-09-14
Jessica Davenport	Cookstown, Canada	2020-09-14
Jen Gr	Mississauga, Canada	2020-09-14
Anne Goodman	Victoria, Canada	2020-09-14
Sebastian Aguanno	Newmarket, Canada	2020-09-14
Felicia Araujo	Mississauga, Canada	2020-09-14

Name	Location	Date
Mila Mirosh	Vaughan, Canada	2020-09-14
Samantha Bobga	Ontario, Canada	2020-09-14
Chelsea Mara	Toronto, Canada	2020-09-14
Isa Trujillo	Calgary, Canada	2020-09-14
Simratpal Kaur	Brampton, Canada	2020-09-14
Heba Qazi	Windsor, Canada	2020-09-14
Faith Holland	Barrie, Canada	2020-09-14
Wendy Little	Saskatoon, Canada	2020-09-14
achitha sangan	Toronto, Canada	2020-09-14
Kyle Dawson	Sault Sainte Marie, Canada	2020-09-14
Syd Foster	Dorchester, Canada	2020-09-14
Abi Lindeman	Abbotsford, Canada	2020-09-14
Tessa Kucharsky	Victoria, Canada	2020-09-14
Trinity Turnbull	Victoria, Canada	2020-09-14
Demika P	Victoria, Canada	2020-09-15
Peta Tibbetts	Victoria, Canada	2020-09-15
Elizabeth Hughes	Victoria, Canada	2020-09-15
Maya Ben Dor	Victoria, Canada	2020-09-15
Diana Gibson	Victoria, Canada	2020-09-15
Michelle Toone	Canada	2020-09-15
Sarah Shea	Victoria, Canada	2020-09-15
Natalie Boldt	Chilliwack, Canada	2020-09-15

Name	Location	Date
Matthew watson	victoria, Canada	2020-09-15
Feixue Ren	Victoria, Canada	2020-09-15
Peter Emmings	Victoria, Canada	2020-09-15
Rene Lowe	Calgary, Canada	2020-09-15
Glen Moore	Toronto, Canada	2020-09-16
Vern Gustave	Cambridge, Canada	2020-09-16
Virginia Ronning	Canada	2020-09-16
MJ Burrows	Canada	2020-09-16
Kate Emmings	Victoria, Canada	2020-09-16
Tom Gleeson	Victoria, Canada	2020-09-16
Claire Hutton	Victoria, Canada	2020-09-16
Susan Vandenassem	Calgary, Canada	2020-09-16
mike girard	Burlington, Canada	2020-09-16
Tannis Gudmundson	Victoria, Canada	2020-09-16
Robert Gowan	Victoria, Canada	2020-09-16
Valerie Mitchell	Canada	2020-09-16
Samantha Mozley	Victoria, Canada	2020-09-16
Leyanne Philp	Victoria, Canada	2020-09-16
Amanda Whetstone	Brantford, Canada	2020-09-16
Mary Zak	Victoria, Canada	2020-09-16
Alexandra Trifonidis	Victoria, Canada	2020-09-16
Beverly Trifonidis	Victoria, Canada	2020-09-16

Name	Location	Date
Kathy Burch	Victoria, Canada	2020-09-16
Maeve O'Byrne	Nanaimo, Canada	2020-09-16
Susan Duvall	Victoria, Canada	2020-09-17
Cathy Brown	Victoria, Canada	2020-09-17
Karen Colquhoun	Moose Jaw, Canada	2020-09-17
Denise Storms	Surrey, Canada	2020-09-17
Grace Kerklaan	Kitchener, Canada	2020-09-17
Ali S	Hudson, Canada	2020-09-17
georgia greenwood	Victoria, Canada	2020-09-17
Hiral Tadv	Regina, Canada	2020-09-17
Michelle Smithsonian	Richmond, Canada	2020-09-17
Shazil Khan	Oakville, Canada	2020-09-17
Jagjeet singh Gill	Abbotsford, Canada	2020-09-17
Parker Linzmeier	Richmond, Canada	2020-09-17
Kira Winter	Burlington, Canada	2020-09-17
Kristy Simoens	Brandon, Canada	2020-09-17
Bruce Dunn	Calgary, Canada	2020-09-17
Declan Shineton	Calgary, Canada	2020-09-17
Manvir Dhillon	Brampton, Canada	2020-09-17
Trifon Agioritis	Regina, Canada	2020-09-17
Jenna Millares	Scarborough, Canada	2020-09-17
Jasmeen Sidhu	Abbotsford, Canada	2020-09-17

Name	Location	Date
Ellie CoLu	Canada	2020-09-17
Sydney Pazurik	Vancouver, Canada	2020-09-17
Jacqueline Hawryluk	Sarnia, Canada	2020-09-17
Kathryn Derksen	Winnipeg, Canada	2020-09-17
Ahmed Hagi-Yusuf	Fort McMurray, Canada	2020-09-17
Connor Murray	Mount Pearl, Canada	2020-09-17
Emanuela Bozzelli	Woodbridge, Canada	2020-09-17
keira andreason	Okotoks, Canada	2020-09-17
Nat Kwan	Toronto, Canada	2020-09-17
Toula Hatzioannou	Victoria, Canada	2020-09-17
Eileen Pedersen	Trail, Canada	2020-09-17
Jennifer Bradshaw	Ottawa, Canada	2020-09-17
Tannis Harper	Victoria, Canada	2020-09-17
Kaitlyn Michaelis	Victoria, Canada	2020-09-17
Ali Mitchell	Victoria, Canada	2020-09-17
Susanna Dery	Surrey, Canada	2020-09-17
Colette Wood	Victoria, Canada	2020-09-17
Laura Arlidge	Victoria, Canada	2020-09-17
Isabelle Boulet	Vancouver, Canada	2020-09-17
jarmilla pavlis	Victoria, Canada	2020-09-17
Matthew Emmings	Victoria, Canada	2020-09-17
Kerstin Greiner	Victoria, Canada	2020-09-18

Name	Location	Date
Fiona Auld	Victoria, Canada	2020-09-18
Kathryn Todsén	Qualicum Beach, Canada	2020-09-18
Sophia Miles-Dheenshaw	Victoria, Canada	2020-09-18
Ariel A	North Saanich, Canada	2020-09-18
H Benson	Victoria, Canada	2020-09-18
Arely MY	Victoria, Canada	2020-09-18
JoAnn Hill	Victoria, Canada	2020-09-18
Sherry Nielsen	Nanaimo, Canada	2020-09-18
Lesley lee	Victoria, Canada	2020-09-18
Carrie Crowe	Nanaimo, Canada	2020-09-18
Andrea Meadows	Victoria, Canada	2020-09-18
Heather Abel	Victoria, Canada	2020-09-18
Tracey Girolami	Victoria, Canada	2020-09-18
Anika Lacerte	Sooke, Canada	2020-09-18
T Jones	Victoria, Canada	2020-09-18
Deyan Keller	Victoria, Canada	2020-09-18
Jenee Patenaude	Canada	2020-09-18
Isabella MacKenzie	Victoria, Canada	2020-09-18
Kellen Hollier	Victoria, Canada	2020-09-18
Hilary Skinner	Victoria, Canada	2020-09-18
Lindsay Hannah	Nanaimo, Canada	2020-09-18
Dan Miller	Victoria, Canada	2020-09-18

Name	Location	Date
Jenny Ganes	Dartmouth, Canada	2020-09-18
Sienna Blumstengel	Victoria, Canada	2020-09-18
Katie Tarasiouk	Victoria, Canada	2020-09-18
Joy Thompson	Victoria, Canada	2020-09-18
Helen Meier	Calgary, Alberta, Canada	2020-09-18
Julianne Mullin	Langley, Canada	2020-09-18
Maureen Jones	Victoria, Canada	2020-09-18
Cynthia Swoveland	Victoria, Canada	2020-09-18
Meagan Gwilt	Victoria, Canada	2020-09-18
Patricia O'Byrne	Victoria, Canada	2020-09-18
Andrea Egan	Tofino, Canada	2020-09-18
lauren hayes	Victoria, Canada	2020-09-18
Carmen Gwilt	Victoria, Canada	2020-09-18
Lauri Gwilt	Bowser, Canada	2020-09-18
Tiffany Shelswell	Victoria, Canada	2020-09-18
Bonnie Beard	Victoria, Canada	2020-09-18
Cara Caldwell	Parksville, Canada	2020-09-18
Jenelle Dixon	Victoria, Canada	2020-09-18
Mandy demasson	Victoria, Canada	2020-09-18

change.org

Recipient: Lisa Helps

Letter: Greetings,

Save Our Neighbourhood Garden Centre!

Comments

Name	Location	Date	Comment
C Simon	Victoria, Canada	2020-09-06	"Gardening is an essential activity, and having a local gardening centre means not driving great distances, keeping our carbon footprint down."
Yvonne Burnett	Victoria, Canada	2020-09-06	"The Garden center is needed"
Lynn Phillips	Victoria, Canada	2020-09-07	"We need this in our community."
Cathy Janine Campbell	Victoria, Canada	2020-09-10	"My neighbourhood gardenworks"
Pat Colin	Hornby Island, Canada	2020-09-10	"I'm signing because I was an owner of a small nursery for years and know how many people needed and appreciated it."
Chris Taylor	Victoria, Canada	2020-09-11	"I care. Have written a personal letter"
Laura Thiessen	Victoria, BC, Canada	2020-09-11	"I live in the neighbourhood and don't want to see this garden centre go! I've purchased many beautiful plants from them and they are a value to the neighbourhood."
Rosemary Harbrecht	Saltspring, Canada	2020-09-11	"A great part of the neighborhood"
Margie Korrison	Salt Spring Island, Canada	2020-09-11	"Like corner stores in our neighbourhoods, garden centres too are important especially in the garden city of Victoria. Important to walk to this store."
Jillian Ridington	Victoria, Canada	2020-09-12	"Whether for food or to feast the eyes and soul, plants are necessary. This is one of the only garden centers that is accessible to those who don't have cars."
Cidalia Alvernaz	Victoria, Canada	2020-09-12	"It is such a calming experience to walk through the centre and connect to the plants and possibilities"
N A	Victoria, Canada	2020-09-12	"It'a a wonderful garden centre, close by for so many and an important part of our community"
Dan Cochran	Victoria, Canada	2020-09-13	"It's a valued part of our neighbourhood."
Deb Tackaberry	Victoria B.C., Canada	2020-09-14	"Need a gardening shop in our neighborhood"
Michelle Toone	Canada	2020-09-15	"Part of my youth! Loved shopping here."
Peter Emmings	Victoria, Canada	2020-09-15	"We who live in this neighbourhood need this green oasis the last garden centre in Victoria. A development designed without the requirement of this rezoning is practical. Approval of this rezoning makes it impossible to accommodate Garden Works."
Virginia Ronning	Canada	2020-09-16	"This is a very important issue. The Garden Centre helps make our community."

Name	Location	Date	Comment
Valerie Mitchell	Canada	2020-09-16	"The loss of this wonderful place to yet another condo development would be such a tragedy."
Susan Duvall	Victoria, Canada	2020-09-17	"We need this fabulous business as our community is blooming and abound with gardeners everywhere!"
Carrie Crowe	Nanaimo, Canada	2020-09-18	"I have come down many times to Victoria, shopped and eaten there. It's a great place and has been there a long time and is part of what makes Oak Bay special. No one has the right to take this away from the owners now."
Heather Abel	Victoria, Canada	2020-09-18	"This is an important community business that should not be pushed out only for the sake of development."
Deyan Keller	Victoria, Canada	2020-09-18	"I shop here all the time for my garden, plants, and deck! Would absolutely hate to lose it!"
Cynthia Swoveland	Victoria, Canada	2020-09-18	"The Victoria City Council wants people to bike or walk to places. It wants clusters of stores so people don't have to drive from one place to another. HERE is a place one could bike or walk or take the bus to. It is in the midst of a cluster of stores for groceries, etc. But when it closes, those who do bike or walk will have to go farther to shop and use their cars to do so."

Good afternoon,

I understand today is the deadline for public feedback on the development proposal for 1908-1920 Oak Bay Avenue (the current location of GardenWorks). I have been in contact with Ben Ziegler, SJNA Land Use Committee Co-Chair, regarding a petition I started to "Save GardenWorks", and he advised that I submit the petition by email to you today, as it does not appear to be possible to submit it through the Development Tracker Comment Page. The petition is available online here: <https://www.change.org/SaveGardenWorks> I have also attached PDFs of the petition signatures and comments.

By way of introduction and overview, I am opposed to the development proposal for 1908-1920 Oak Bay Avenue because it does not provide for the continuation of a garden centre in our neighbourhood. In his letter of August 5, 2020 proposing to include a rooftop garden in his application, Mr. Jawl aptly notes that allowing residents to grow their own vegetables and herbs "would support the goals of sustainability, food security and livability, all of which have become increasingly more relevant considering the impacts of the COVID-19 pandemic". I couldn't agree more with Mr. Jawl. In fact, the Province of BC has [declared](#) garden centres and nurseries an essential service during the COVID-19 pandemic. Yet Mr. Jawl's development proposal would effectively shut down a garden centre in a neighbourhood that has depended on having one at this location since at least 1955, when the "Redfern Nursery and Garden Store" opened its doors.

Mr. Jawl's letter does not address where residents of his proposed development can be expected to procure their seeds, plants, gardening tools, supplies and advice--let alone where the residents of the surrounding neighbourhood can do so. Rather than make the easy walk to GardenWorks, residents would be forced to drive over 6km to the next nearest garden centre with comparable selection (the GardenWorks on Blenkinsop Rd.; please note that "big box stores" such as Home Depot do not carry the same selection, particularly with regard to vegetables; nor does Demitasse in Oak Bay carry vegetables or gardening supplies). This is plainly inconsistent with the City's ["Get Growing"](#) initiative as well as its emphasis on reducing vehicle traffic.

The timing of this proposal also could not be more poignant. In addition to the COVID-19 pandemic which has motivated many to take up gardening to increase their own food security and enhance their outdoor spaces in the absence of being able to gather indoors or visit parks, our community is also faced with the devastating effects of wildfire smoke linked to climate change.

The prospect of being forced to travel by car in order to continue gardening motivated me to start a [petition](#) to see if I was alone, and hopefully encourage my neighbours to make their voices heard. They have done so--loudly. In under 3 weeks, nearly 300 supporters have signed the petition. I have been deeply struck by the comments they have left on the

petition, and I hope you will be too. GardenWorks is not an "industrial" blemish on the neighbourhood, nor is it merely a "garden shop" which some in the area may be sad to lose, as councillors suggested at the July 23, 2020 Committee of the Whole meeting. It is a beloved pillar of our neighbourhood fulfilling a role that could not be more essential at this moment.

Thank you for considering my comments and petition,

Heather Cochran

City of Victoria

Mayor and Council

Re: 120 Oak Bay Ave – Redfern Development

Oct 6, 2020

It is my pleasure write a letter in support for the proposal being submitted for 1920 Oak Bay Avenue the Redfern development. We have been property owners adjacent to this development at 1951 Oak Bay Avenue for almost 30 years and are excited to see this dynamic plan for the area. The area has gone thru many significant changes over the past 10 years and we are excited to see the area enhanced further with the Redfern development.

The multi-use mix of the building, in conjunction with existing neighbours, will make this feel like a new “village” and hub of this area and of upper Oak Bay Avenue. Also the design aspect blend in well with the overall look of the neighbourhood.

Regards,
Tina Petropoulos
Property owner

October 13, 2020

Adam Fawkes
941 Lawndale Avenue
Victoria, BC V8S 4C9

Mayor and Council
#1 Centennial Square
Victoria, BC V8W 1P6

RE: REZONING APPLICATION REZ00694 / 1908-1920 OAK BAY AVENUE

Dear Mayor and Council,

As a resident of the Gonzalez Neighbourhood, I am writing to lend my support for the proposed development at 1908 – 1920 Oak Bay Avenue and in particular the amendment to the application to include a rooftop terrace for residents.

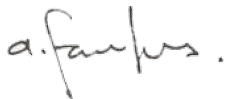
As a member of the communities on either side of Oak Bay Avenue for 21 years (South Jubilee from 1999 to 2014, Gonzales from 2014-present), I have watched the street between Richmond and Foul Bay improve slowly with the replacement of underdeveloped lots with new mixed-use buildings containing shops and residences. Oak Bay Avenue continues to become a better place to visit and shop and this proposed development will further improve the public realm of this portion of Oak Bay Avenue.

I understand that the development now includes a rooftop terrace for the residents of the building. I support this addition as it will provide an additional outdoor meeting space for the residents, helping to foster community within the building and more recently with the restrictions on our lives with covid-19 it will provide a safe space for residents to meet with friends. The outdoor rooftop patio space has been design in such a way as to minimize any impact on neighbours to the north by it's placement in the middle of the roof. The additional storey that the access staircase creates will not be noticeable in any way.

Thank you for your time.

Best regards,

Adam Fawkes

Handwritten signature of Adam Fawkes in cursive script.

Dear Mayor and Council of Oak Bay:

RE: The Redfern – 1908-1920 Oak Bay Avenue

Please accept this letter as support for the Redfern project in Oak Bay. I have reviewed the plans and online documentation and believe that this 4-Storey Condo project with ground floor commercial units is a great addition to this specific area of Victoria.

Feel free to contact me should you require any further information. Thank you

Cam de Goey

Robert D. Burke and Elizabeth Grant
2926 Tudor Avenue
Victoria, BC
V8N 1M1



15 October 2020

Mayor and Council,
City of Victoria,
1 Centennial Square,
Victoria, BC
V8W 1P6

Dear Mayor and Council

Re: 1920 Oak Bay Avenue – Proposed Development

I write to support the proposed re-development of the property at 1920 Oak Bay Avenue. The developers contacted us early in the process as my wife and I own a small building in an adjacent block (1860-1866 Oak Bay Avenue). As longtime property owners in the area, Peter sought our input on their plans and how we viewed the state of the neighborhood. Once their plans had been more formalized, we were kept up to date on how the process was playing out.

The area is a wonderful part of Victoria, yet its full potential has yet to be reached. Most of the current buildings are 50 or more years old and most do not achieve best use of the property. Bringing more people into the area, providing the amenities and necessities for the local community to expand its potential is much needed. The proposed development of the 1920 Oak Bay Avenue property is exactly the type of re-development needed in the area.

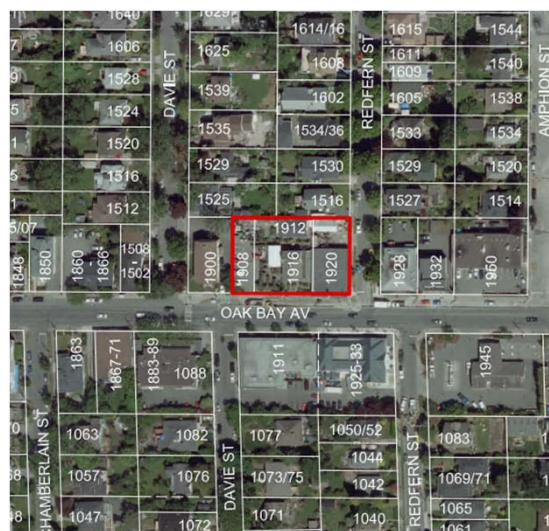
Victoria is fortunate that development is done with care and processes exist that ensure stakeholders are informed and given voice. This is a much-needed change to the neighborhood that will prove to over time to be beneficial for everyone.

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. Burke', written over a white background.

Robert D. Burke

Update to Rezoning and Development Permit with Variances Application for 1908, 1916, and 1920 Oak Bay Avenue



Subject Site

3



3

Subject Site

4



4

Adjacent Property: 1900 Oak Bay Ave. (west)⁵



5

Adjacent Property: 1928 Oak Bay Ave. (east)⁶



6

Adjacent Property: 1516 Redfern St. (north) 7



7

Adjacent Property: 1933 Oak Bay Ave. (south)



8

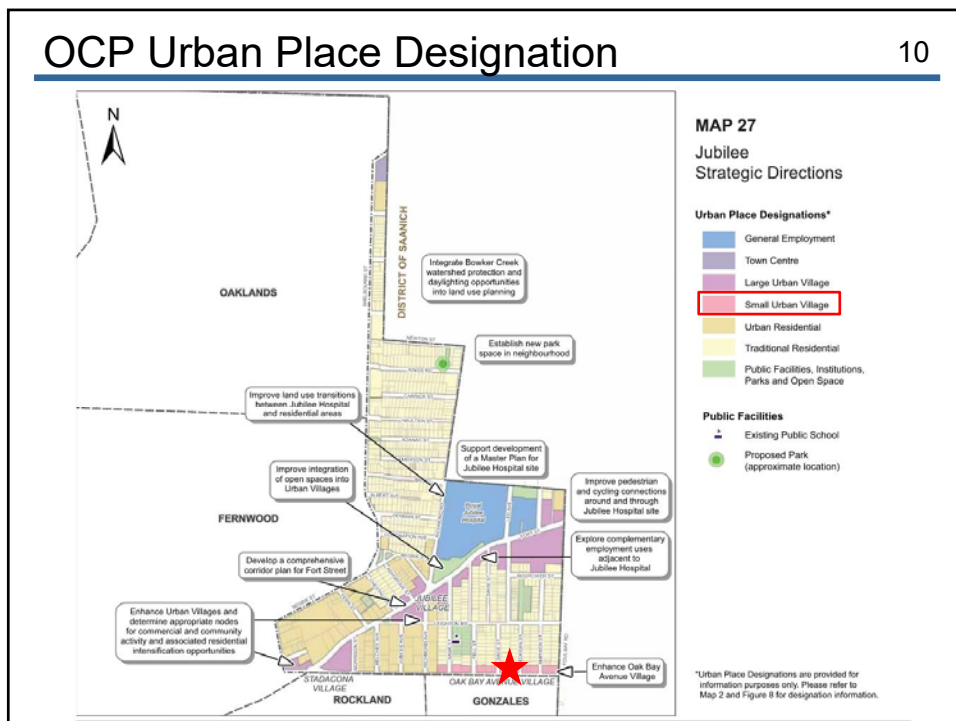
Adjacent Property: 1911 Oak Bay Ave. (south)



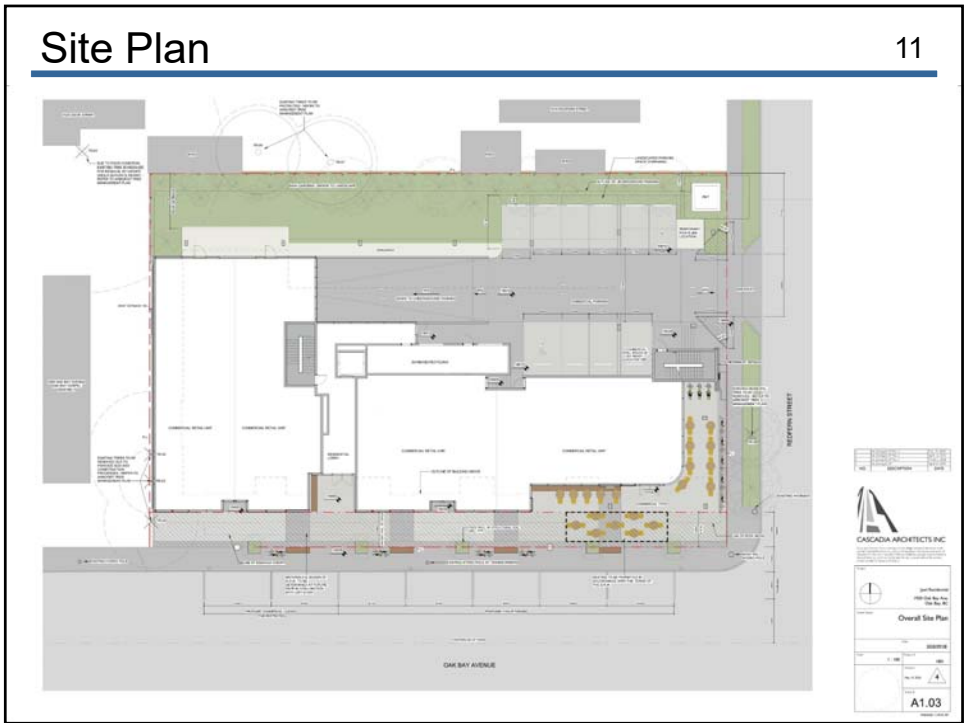
9

OCP Urban Place Designation

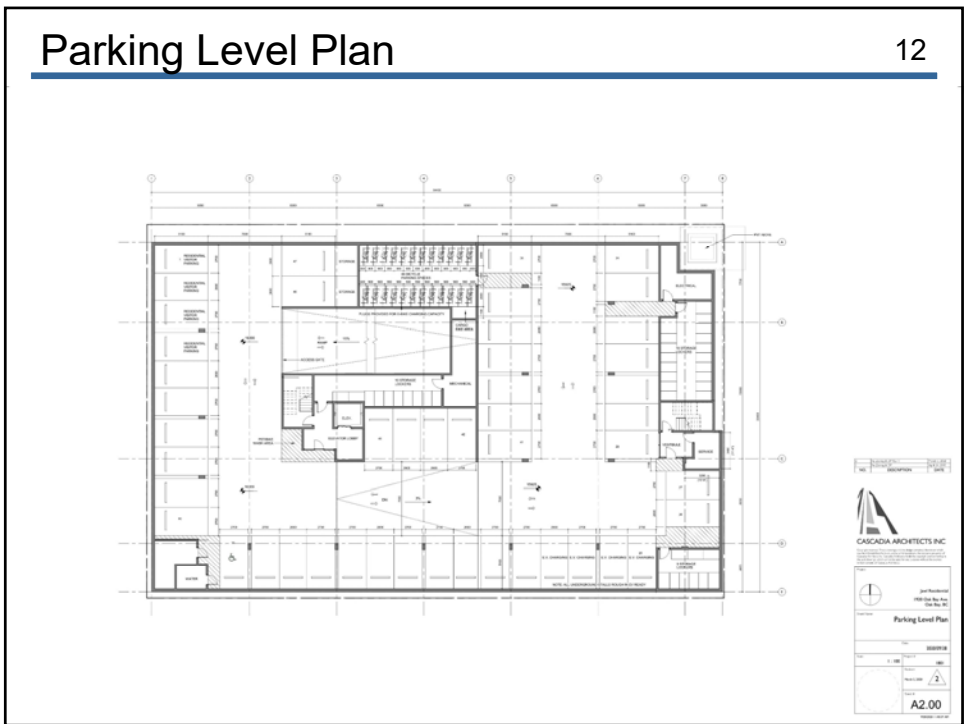
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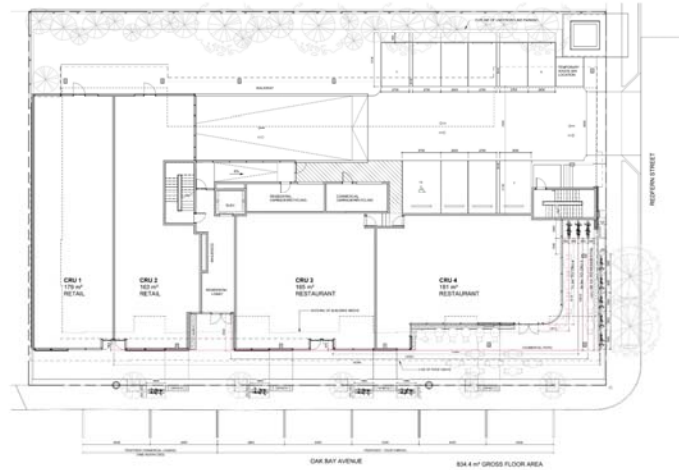
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Ground Floor Plan

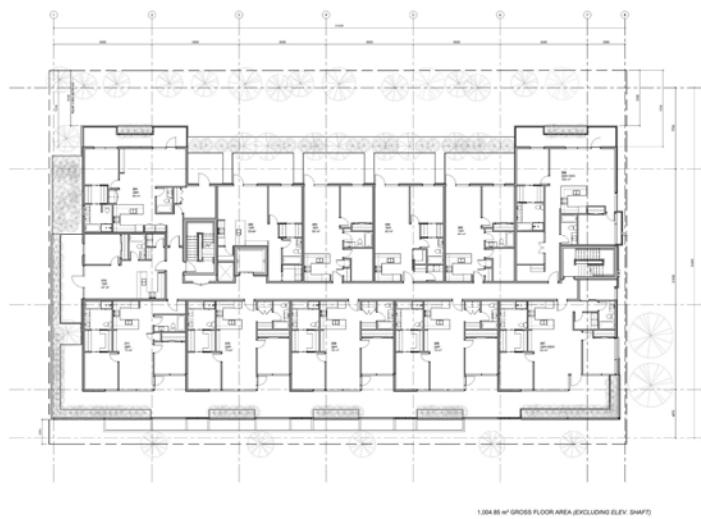
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Second Floor Plan

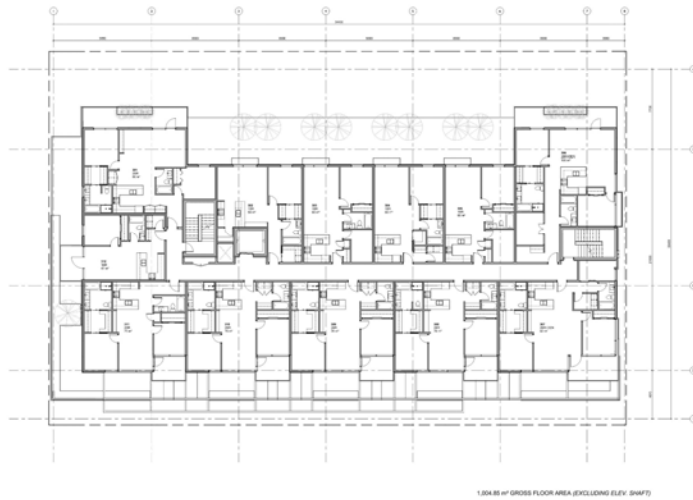
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14

Third Floor Plan

15



Project Information: PROJECT NO. 2020-001, SHEET NO. 15 OF 16, DATE 11/10/20

CASCADIA ARCHITECTS INC.
1000 1st Street, Suite 100
Seattle, WA 98101
Phone: (206) 461-1111
www.cascadiaarchitects.com

Third Floor Plan

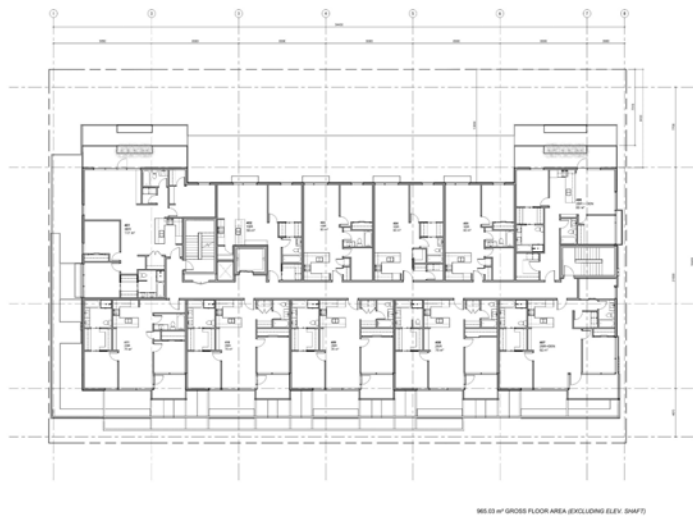
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Sheet No. A2.03

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Fourth Floor Plan

16



Project Information: PROJECT NO. 2020-001, SHEET NO. 16 OF 16, DATE 11/10/20

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Fourth Floor Plan

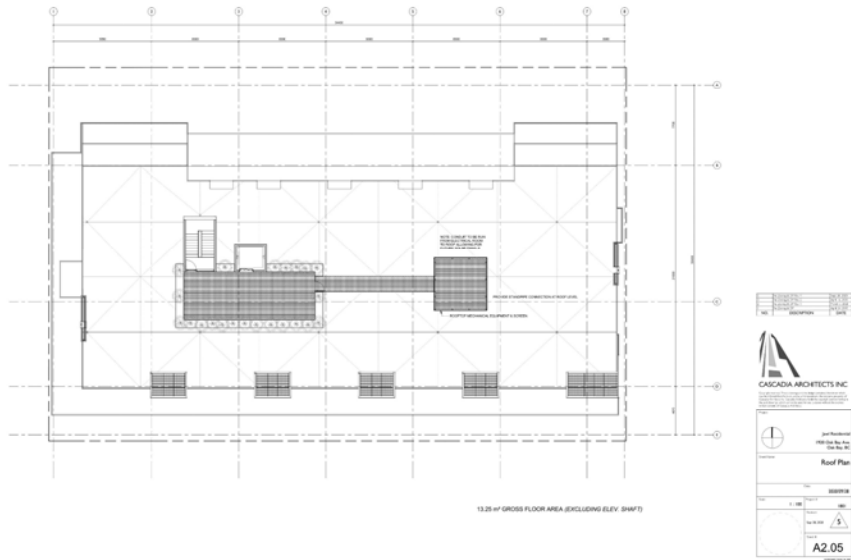
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Sheet No. A2.04

16

Roof Plan

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Context: Perspectives

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Context: Elevations

19



19

Elevations: South and East

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Elevations: North and West

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Materials

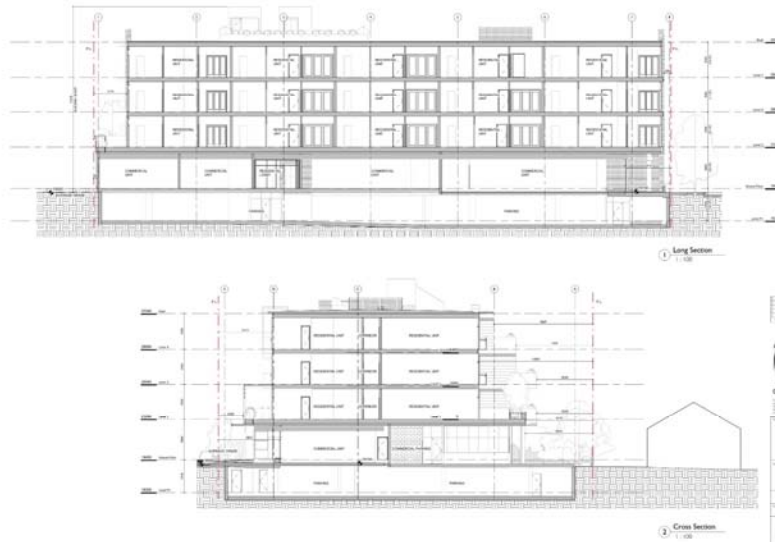
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Long and Cross Sections

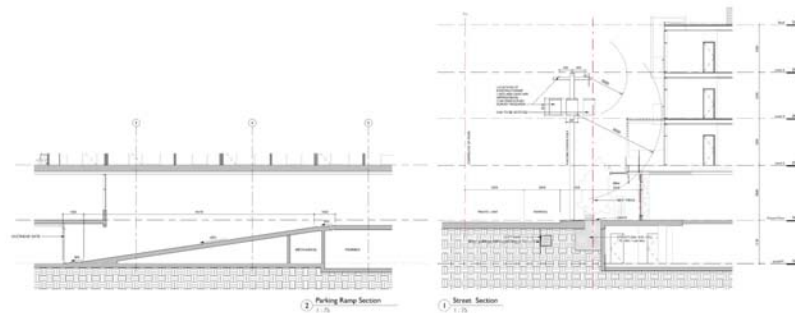
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Parking Ramp and Street Sections

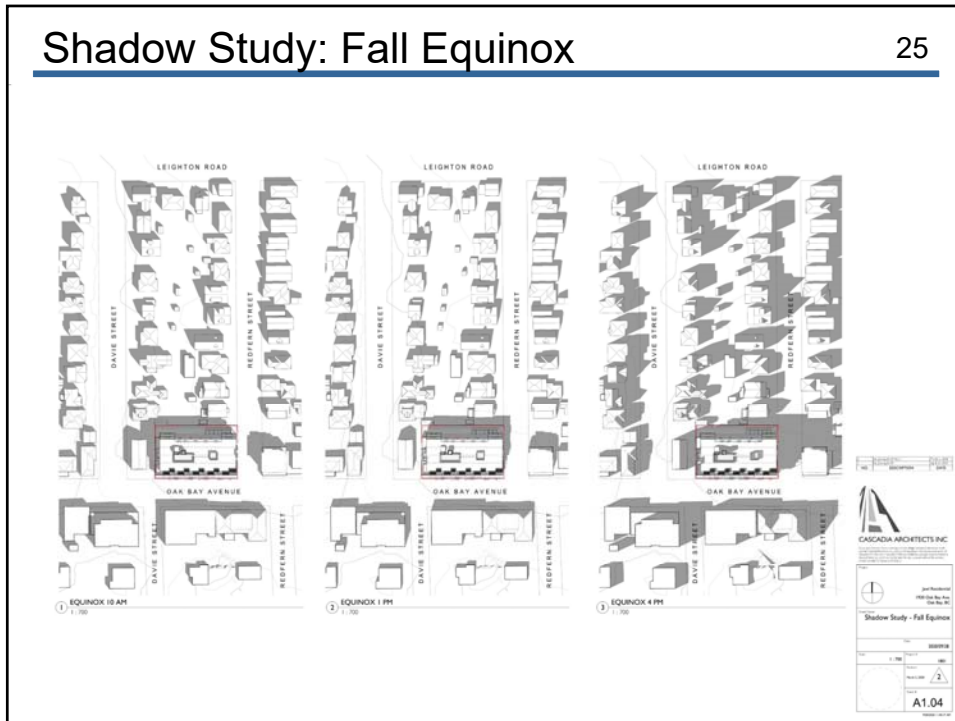
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Shadow Study: Fall Equinox

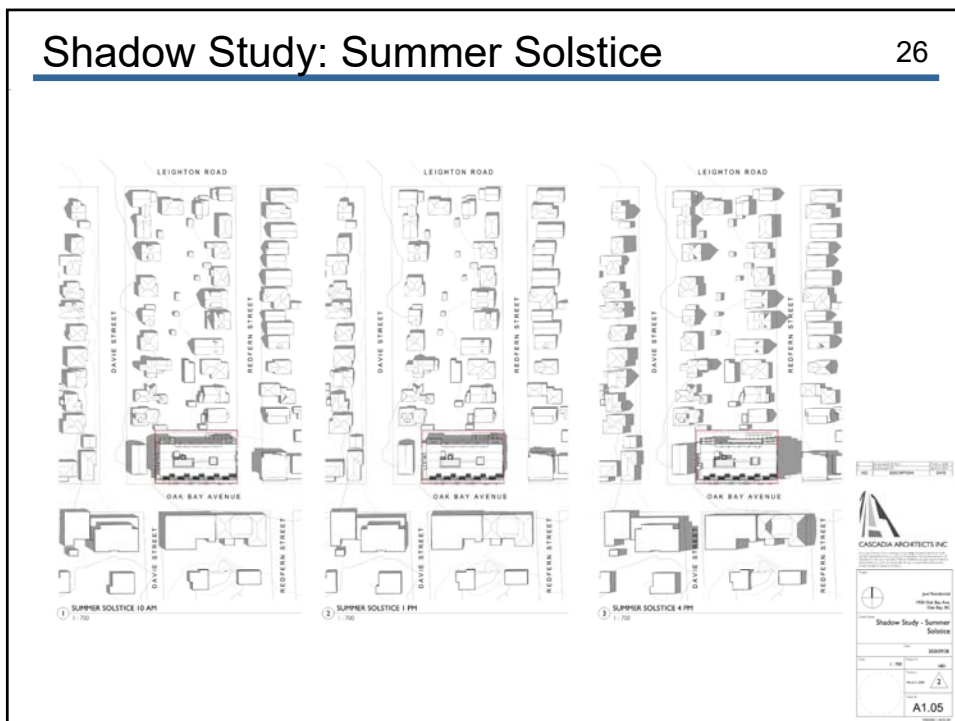
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Shadow Study: Summer Solstice

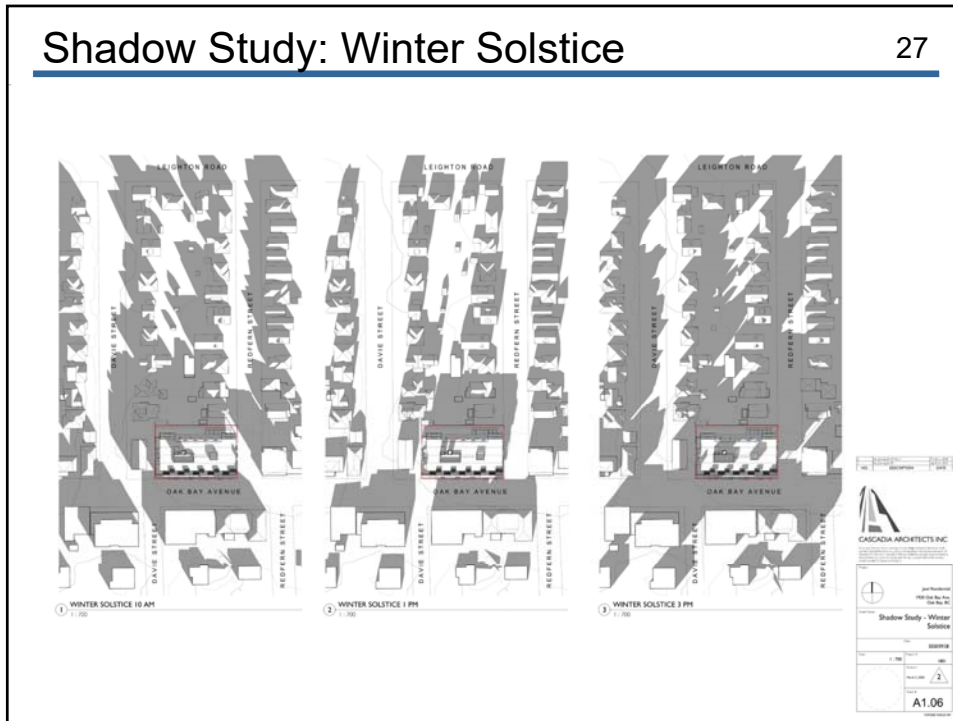
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Shadow Study: Winter Solstice

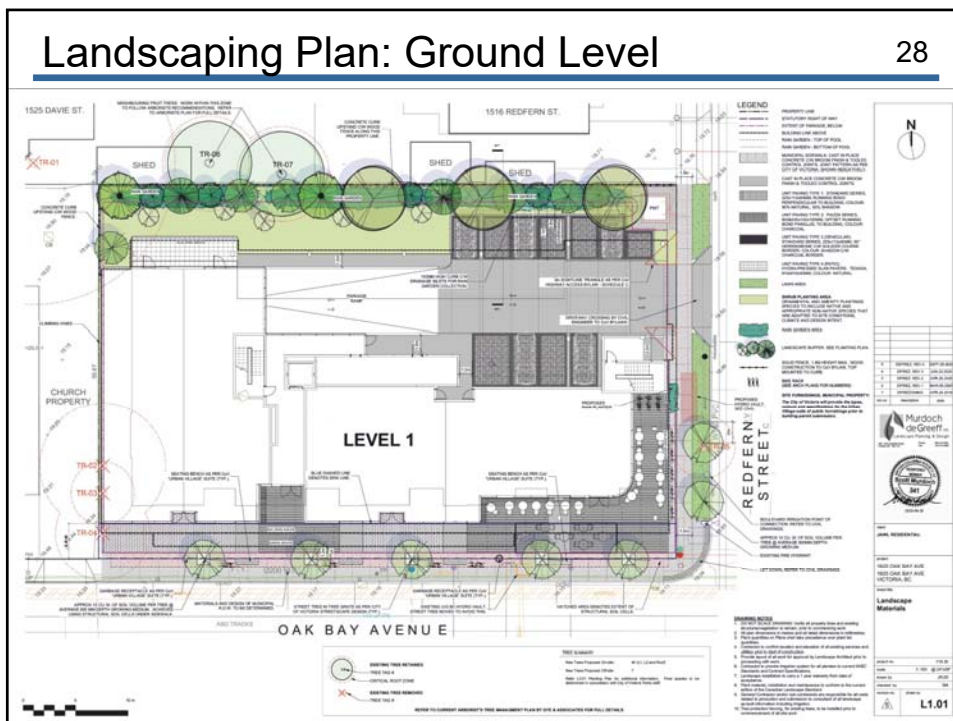
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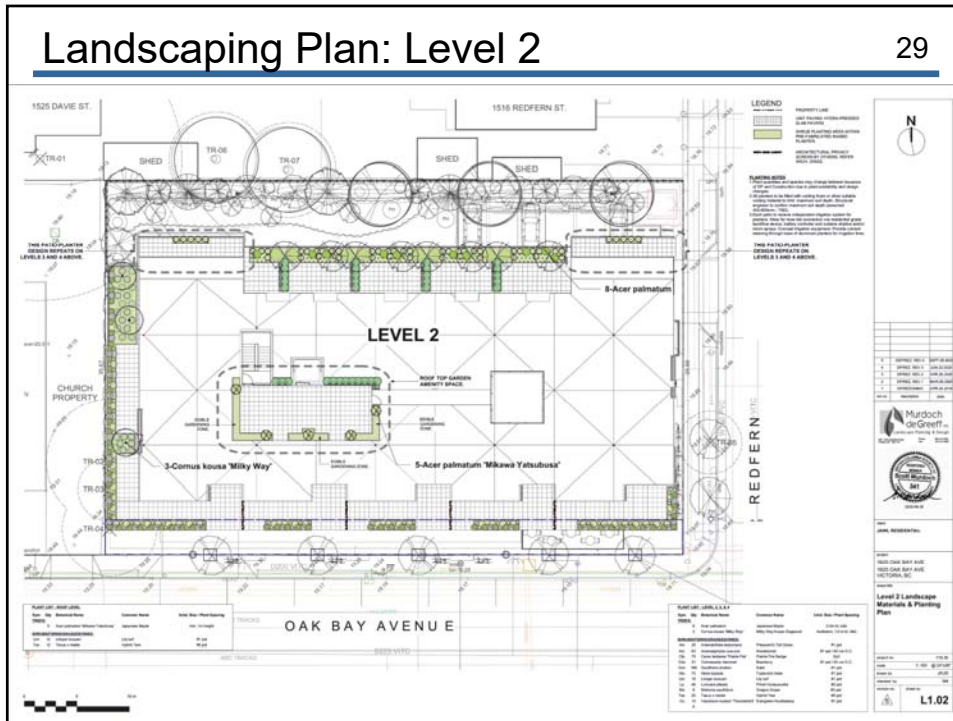
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Landscaping Plan: Ground Level

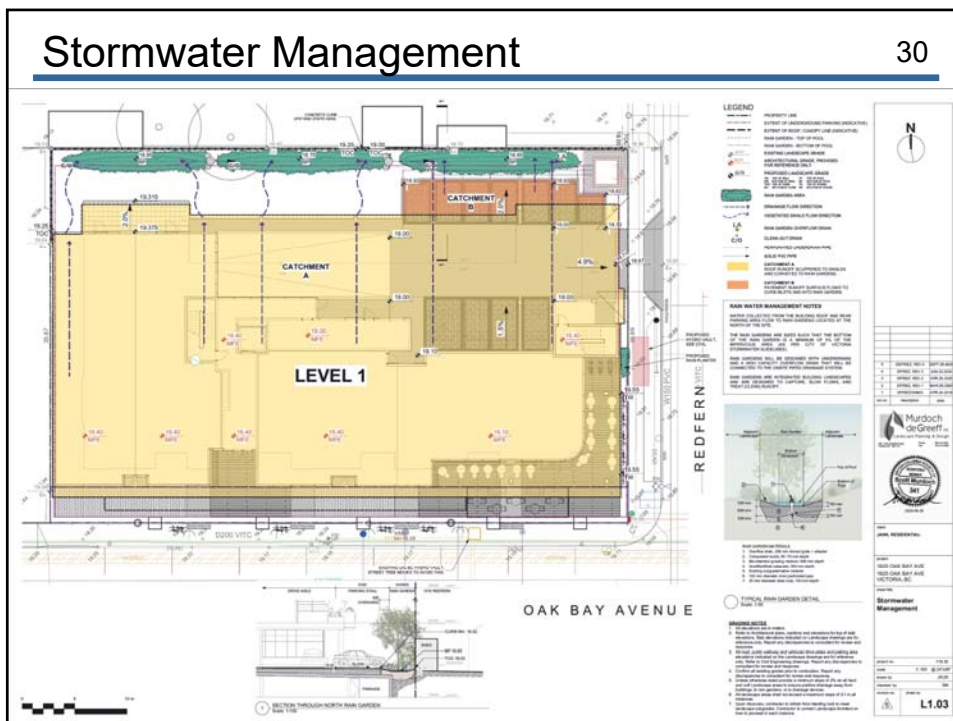
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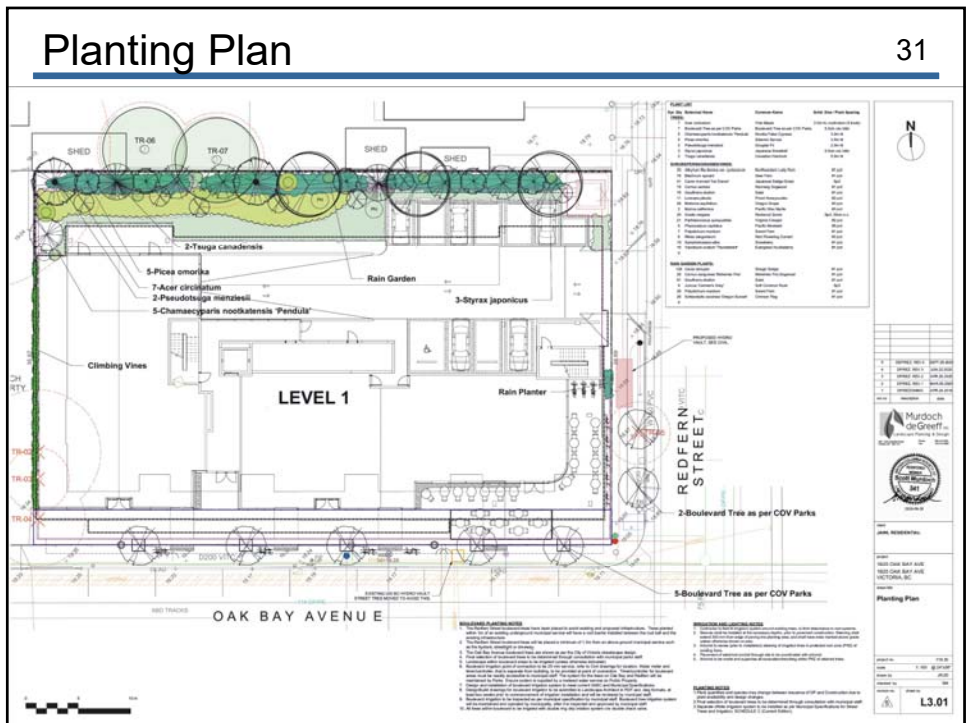
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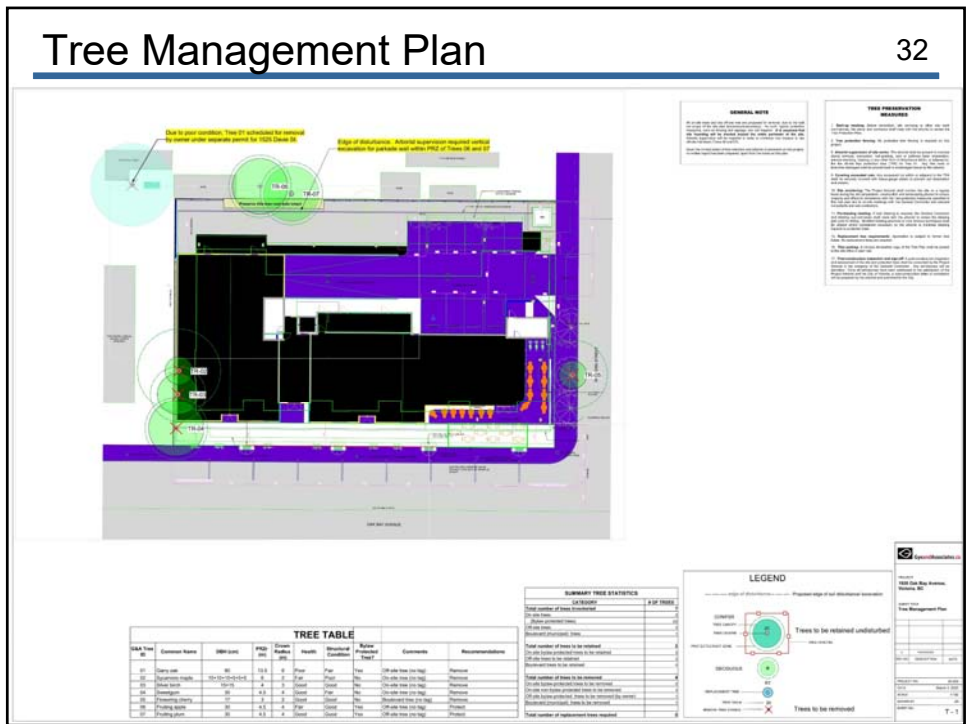
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Perspectives

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VIEW FROM CORNER OF OAK BAY AVENUE & REDFERN STREET



VIEW REDFERN STREET LOOKING TOWARDS OAK BAY AVENUE



RESIDENTIAL LOBBY



COMMERCIAL CORNER PATIO

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NO. 5	DATE	NO. 6	DATE
NO. 7	DATE	NO. 8	DATE
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NO. 97	DATE	NO. 98	DATE
NO. 99	DATE	NO. 100	DATE

CASCADA ARCHITECTS INC.

1920 Oak Bay Ave
Victoria, BC V8M 1Y1

Perspectives

Scale: 1/8" = 1'-0"

NO. 101

A9.00

33

Dear Mayor & Council,

My name is Elias Mavrikos and I am writing regarding the proposed development at 1920 Oak Bay Avenue. I own a building down the street (1834 Oak Bay Avenue) where my personal office is located. I am in full support of the proposed development. I truly believe it will be a wonderful asset for the community and look forward to the ground floor retail facilities that will be added to our neighbourhood. I have looked over the plans and feel that the building will fit in well with the community. Jawl Residential always creates beautiful & high quality projects and I feel this will be no different. Oak Bay Avenue is a vibrant street and a mixed-use building providing housing opportunities for those looking to join this community will be a welcome addition by me and my team.

Thanks kindly in advance for taking the time to read this letter of support.

All the best,

Elias Mavrikos

[REDACTED]

Victoria BC

[REDACTED]

April 25th, 2019
Rev1 March 5, 2020
Rev3 June 23, 2020
Rev4 Sept 28, 2020

City of Victoria
No.1 Centennial Square
Victoria BC
V8W 1P6

Attn.: Mayor & Council

Re: 1908-1920 Oak Bay Avenue Rezoning and Development Permit Application

We are pleased to submit this Rezoning and Development Permit application for 1908-1920 Oak Bay Avenue on behalf of Jawl Residential Limited (the 'Applicant'). The rezoning and development permit are required in order to construct a four-storey multi residential building *with rooftop amenity space (qualifying as a fifth storey)*. The details contained within this application have been carefully crafted to respect the neighbourhood, specifically considering this portion of Oak Bay Avenue.

Upon acquiring the property in late 2017 and prior to commencement of any design work, the Applicant immediately began a consultation process with the owners of neighbouring properties and subsequently with City of Victoria planning staff. The consultation and review process continued throughout the Schematic and Design Development stages and included but was not limited to the following meetings:

- ✓ Pre-Planning Meeting City of Victoria – November 29th, 2017
- ✓ 55+ Individual Neighbour/Stakeholder Meetings – November 2017 - April 2019
- ✓ Public Community Meeting – April 3rd, 2018
- ✓ Public Community Meeting - November 20th, 2018
- ✓ Formal CALUC Meeting - March 13th, 2019
- ✓ *Advisory Design Panel – June 3rd, 2020*
- ✓ *Committee of the Whole – July 23rd, 2020*
- ✓ *Online CALUC Consultation via Development Tracker – Aug. 18th – Sept. 17th 2020*

As the building design development progressed, the design team continued to reflect back on feedback received during the consultation process. Follow up meetings were often held where information was shared and refinements made based on the feedback received.

Existing Site Characteristics, Official Community Plan and Zoning:

The parcels encompassed by the proposal are 1,963 sq.m. in total area, and are currently occupied by a garden centre, frame shop and plumbing business.



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A Corporate Partnership

Principals

GREGORY DAMANT
Architect AIBC, LEED AP

PETER JOHANNKNECHT
Architect AIBC, LEED AP
Interior Architect AKNV Germany

The site is generally flat sloping approximately 0.4m from west to east along Oak Bay Avenue, with no bylaw protected trees.

The current zoning is CR-3 – up to 3 storeys and 1.0:1 FSR. The site is designated Small Urban Village by the OCP, which lists potential for multi-unit residential and commercial at grade as a suggested building form.

The property is characterized by both its proximity to the commercial corridor of Oak Bay Avenue and to the single-family neighbourhood along its north property lines. To the west it borders the Oak Bay Gospel Assembly Church and to the east a new 3 storey mixed use building. Oak Bay Avenue hosts transit service in both directions and is also a well-used pedestrian and cycle route.

The site is designated Small Urban Village with Oak Bay Avenue being designated a Secondary Arterial road in this area. It is subject to the OCP Design Guidelines for Multi-unit Residential buildings, and forms part of the Jubilee community, whose neighbourhood plan is currently under development. The analysis of the OCP and site context, in concert with the initial input of neighbours, indicates that the proposal reflects an appropriate level of development density for this site.

Description of Proposal

Massing & Siting:

The building design concept is based on two imperatives – to contribute positively to the pedestrian and urban experience along Oak Bay Avenue, while being sensitive to the smaller scale single family residential to the north. The resulting building form defines the urban edge at grade and the street wall above on the south side. To the north, the building presents a landscaped buffer to the residential properties while stepping back as it goes up. This addresses the OCP context-related guideline 1.6, which suggests that buildings “be designed to address privacy, particularly for portions of the development abutting the side yards of adjacent single-family dwellings.” In terms of massing, the building reflects the intent of the OCP, with a height of four storeys *plus rooftop amenity space*, underground parking, and an FSR of *1.95:1*.

At grade the building echoes the setbacks of the newer buildings across the street, finding a balance between defining the urban edge while allowing enough space for a meaningful sidewalk. At the rear, a landscaped buffer is provided along the north property line and at the second level. At the west property line, the setback is near zero at grade, allowing enough room for a climbing vine to animate the building face, as well as cascading landscaping from above. Café seating at the southeast corner wraps around the corner at Redfern.

At the second floor, a planted buffer and shade screens flank the edge of patios for second floor homes along Oak Bay Avenue. The building face sets back at this level for the upper three floors. At the rear, a similar planted edge is provided at the second level with a significant step back to the building face.

At the top-most storey the screens are re-introduced on the Oak Bay Avenue frontage while an additional step back is provided on the rear elevation.

Streetscape / Relation to street:

Along Oak Bay Avenue there are four retail units, with one designed to host a café. This has been specifically designed in response to neighbour feedback. The building lobby features a tile-clad 'portal' to clearly identify the primary building entrance. Outdoor seating is provided along Oak Bay Avenue and in front of the cafe. The building is considerably transparent at the ground floor to both activate the retail as well as animate the streetscape. The landscape design prepared by Murdoch de Greeff Landscape Architects serves to soften the built environment while defining a 'public room' along the avenue.

Exterior Finishes

The project employs a limited palette of high quality materials intended to endure over time. Cementitious panel cladding, clear glazing, painted steel and wood are the primary materials. The simplicity of these materials allows for a discernable rhythm to emerge in the elevations, which allows the building to reference the historical fabric of the city while contributing to its future direction.

This palette of materials is intended to address the OCP guidelines for exterior finishes, which state that "exterior building materials should be high quality, durable and capable of weathering gracefully." The guidelines continue, stating that "quality materials used on the principal façade should be continued around any building corner or edge which is visible from the public realm", and the project achieves this by using the same materials on all sides of the building. Restraint in the amount of glazing on the north and west elevations is intended to strike a balance between daylighting the building and respecting the privacy of adjacent properties.

Further, raised planters along the north and south edges will provide soil volume to grow fuller vegetation, enhancing privacy and providing a visual buffer between neighbours. The continuous planting of a climbing vine along the western property line is intended to address guideline 4.3 which states that "exposed party walls and blank side elevations, where necessary, should incorporate features such as texture, reveals, colors, plantings or other treatments to provide visual interest."

As a further and final feature of visual interest, wood tone on the shade screens and on soffits will create visual and tactile warmth for residents, and to "complement the palette of exterior materials used on the rest of the building."
(Guideline 4.4)

Transportation & Infrastructure

A Transportation and Demand Management Study was completed and accompanies this application. This was completed in order to assess the impact of the proposed development. During the course of the study and after the March 13th CALUC, the Applicant instructed the TDM Consultant to expand the data collection points to additional areas of concern for residents. The applicant has turned over a copy of the TDM study to the South Jubilee Neighbourhood Association for their use in future community transportation endeavors.

The project is well situated and fully serviced by City of Victoria infrastructure. Schools, parks and recreation facilities are all located within walking distance of the site. In addition, the nearby employment and shopping opportunities available in the Oak Bay Avenue village and downtown make this site suitable for an increased population density. This population

will be well serviced with regard to transportation options, including immediate proximity to major Transit routes on Oak Bay Avenue as well as vehicle and bicycle parking and storage provisions.

The project proposes to include underground parking accessed from the east side of the property along Redfern Street in order to provide 47 stalls for 35 homes. In doing so, the applicant has committed to addressing another primary concern of the community – that parking be fully accommodated on site so to not further burden an already congested parking environment. At grade, 10 spaces will be provided to service the retail component of the project.

The residential and visitor parking provisions in the underground parkade are suggested to be adequate per the TDM study. Additionally, a secure bicycle room will be located at the bottom of the parkade ramp to accommodate the required 48 Class-1 bike racks, as well as a Bicycle Work Bench. Eleven additional Class-2 stalls are located at the Oak Bay Avenue frontage and adjacent to the café along Redfern Street. Lastly, if approved, the applicant intends to contribute \$25,000 towards the construction of a crosswalk at the corner of Redfern and Oak Bay Avenue, as recommended in the TDM study.

Project Benefits and Amenities

The project proposes to bring 35 new residences to the Jubilee neighbourhood, in a form that is supportable relative to the goal of the Official Community Plan to encourage new housing design that fits in with the neighbourhood character. The applicant has encouraged the design of larger, more generous homes sizes in order to provide a housing option for those who wish to 'age in place', as well as for families or working professionals.

The building design will contribute to the quality of the public realm along Oak Bay Avenue, by the quality of design, materials, and detailing. The design of the ground-level retail and café patio and their proximity to the street edge will promote social interaction and improve the pedestrian experience.

The Applicant proposes to provide 35 Modo Car Share memberships to the strata corporation for each home, upon completion of the building. Four additional Modo Car Share memberships are proposed for the commercial units, for a total of 39 Modo Car Share memberships. Although not recommended in the TDM study, the Applicant is committed to helping mitigate any traffic concerns in the area.

Affordability

The Applicant is committed to addressing the issuing of affordability in the region, and has previous applications throughout the region that reflect this. As part of this rezoning application, they propose to contribute \$5 per square foot above the base density of 1:1, to the affordability fund of the City of Victoria. In the current proposal, this would amount to \$99,351, which will be rounded to \$100,000. This contribution is consistent with the Inclusionary Housing Policy, presented by staff to Council on April 11th, 2019.

Safety and security

The creation of a resident population is the primary factor in creating a safe pedestrian environment, through the placement of 'eyes on the street', and in this design all areas of the site are overlooked in good proximity by multiple dwelling units. Site lighting will illuminate the areas between buildings with ambient light to promote safety and visibility of landscaped areas. It is important to note also that this lighting will be shielded and kept at a lower mounting height in order to avoid glare and light pollution to neighbouring properties.

Green Building Features

The Applicant has reviewed and is prepared to construct and develop the project in accordance with the principals of sustainable design. The following is a list of green building initiatives that will be deployed within the project.

- Individual residences have private outdoor deck living space
- Exterior insulated envelope
- 4 Electrical Vehicle charging stations installed, with rough ins provided for all underground stalls and one at grade stall.
- High efficiency heating / pressurization systems for all common area spaces.
- All ductwork to be sealed with low toxin mastic.
- Natural and recyclable building materials, and where possible materials will be sourced within 800km of the site. Exterior envelope materials are highly durable, and detailing will suit life-span management of components.
- Multiple thermostatically controlled heating zones within each residence.
- Directly metered suites.
- Solar Ready Conduit from Electrical Room to Roof
- All windows EnergyStar® rated.
- Interior suite layouts designed to optimize natural daylighting.
- All appliances EnergyStar® rated.
- LED lighting throughout.
- Construction waste diverted from landfill during construction through smart on-site waste management
- Low-VOC paint in all interior areas.
- Low-flow plumbing fixtures used throughout all units.
- Secure, heated bike storage at parkade level w/ Bike Work Bench
- Electric Bike Charging Locations within Bike Storage

In preparing this rezoning and development permit application package the team has carefully considered community concerns, the relevant OCP objectives, and the DP Area Design Guidelines. The design is respectful of the neighbouring properties and proposes an elegant and timeless architecture that responds to the unique character of the location. We believe it will add to the strength and character of the South Jubilee neighbourhood and we look forward to presenting the project to Council. If you have any questions or require further clarification of any part of this application, please do not hesitate to contact our office.

Sincerely,
CASCADIA ARCHITECTS INC.



Gregory Damant, Architect AIBC LEED AP
Principal



Peter Johannknecht, Architect AIBC, LEED AP
Principal