



Le PARC

FAIRFIELD-KIPLING

8 UNIT TOWN HOME DEVELOPMENT

1400 Fairfield Rd and 349 Kipling St, Victoria, BC

List of Architectural Drawings

No.	Title	Scale
A1.0	Cover Sheet	NTS
A1.1	Survey Plan	NTS
A1.2	Context Plan	1:200
A1.3	Context Streetscape	(1:120) 1" = 10'-0"
A1.4	Solar Study	(1:120) 1" = 10'-0"
A1.5	Sustainability Strategy	(1:120) 1" = 10'-0"
A1.6	Neighbouring Window Overlay	(1:120) 1" = 10'-0"
A2.0	Site Plan	1:120
A2.1	Graphical Floor Area Ratio	1:100
A2.2	Graphical No. of Stories	1:100
A2.3	Graphical Lot Coverage & Open Site Space	(1:120) 1" = 10'-0"
A3.1	Unit A1 Floor Plans Unit 7	1:50
A3.2	Unit A2 Floor Plans Unit 8	1:50
A3.3	Unit B1 Floor Plans	1:50
A3.4	Unit B2 Floor Plans Unit 1	1:50
A3.5	Unit B3 Floor Plans Unit 6	1:50
A4.0	Block 01 Floor Plans	1:65
A4.1	Block 01 Floor Plans	1:65
A4.2	Block 01 Elevations	1:65
A4.3	Block 01 Elevations	1:65
A4.4	Block 02 Floor Plans	1:65
A4.5	Block 02 Elevations	1:65
A4.6	Block 01 & 02 Sections	1:65
A5.0	Building Assemblies	NTS
A6.0	Concept Renderings	NTS
A6.1	Concept Renderings	NTS
26	Sheets in Set	

Team of Consultants

Architect
 Sebastian Garon Architecture + Design Inc.
 Project No. 19/015
 1018 Deep Cove Rd
 North Vancouver BC
 Sebastian Garon, Architect, AIBC
 (604) 812-1869
 sebastian@gad.ca

Contractor
 P. Cosgrave Construction Ltd.,
 Paul Cosgrave, Principal
 (250) 886-1361
 paul@cosgrave.ca

Landscape
 BIOPHILIA design collective ltd
 1501 Haultain St
 Victoria BC V8R 2K1
 Bianca Bodley
 (250) 590-1156
 bianca@biophiliascollective.ca

Surveyor
 J.E. Anderson & Associates
 Project No. 31517
 4212 Glenford Ave
 Victoria BC V8Z 4B7
 (250) 727-2214
 info@jeanderson.com

Arborist
 Talbot Mackenzie & Associates
 Noah Borges, ISA Certified Arborist
 (250) 479-8733
 tmrborges@gmail.com

Civil Engineer
 Westbrook Consulting Ltd.
 Iva Kvartuc, E., Eng.
 (250) 391-8592 ext. #235
 IKvartuc@wbrook.ca

Geotechnical
 Ryzuk Geotechnical
 Scott Currie, P., Eng.
 (250) 479-3131
 scott@ryzuk.com

Structural
 Skyline Engineering
 Wade Griffin
 (250) 690-4133 Ext. 103
 wgriffin@seeng.ca

SEBASTIAN GARON
 ARCHITECTURE + DESIGN
 1018 Deep Cove Rd, North Vancouver BC
 (604) 812-1869 info@SGAD.ca
 www.SGAD.ca

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Revisions
 Received Date: January 15, 2021

Issue	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-09-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Cover Sheet

Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St
 Legal:
 PID: 19,015
 Drawn By: SG/TD
 Pk Date: Oct 2, 2020
 Scale: NTS
 Sheet No:

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVERSED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Sheet

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-03-21	Revised & Re-issued for DP

Survey Plan

Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:
PID: 19,015
Project No: 19,015
Drawn By: SG/TD
PK Date: Oct 2, 2020
Scale: NTS
Sheet No:

A1.1

SITE PLAN

BART JOHNSON

Lots 13 & 35, Fairfield Farm Estate, Victoria City, Plan 884

ADDRESS : 1400 Fairfield/ 351 Kipling

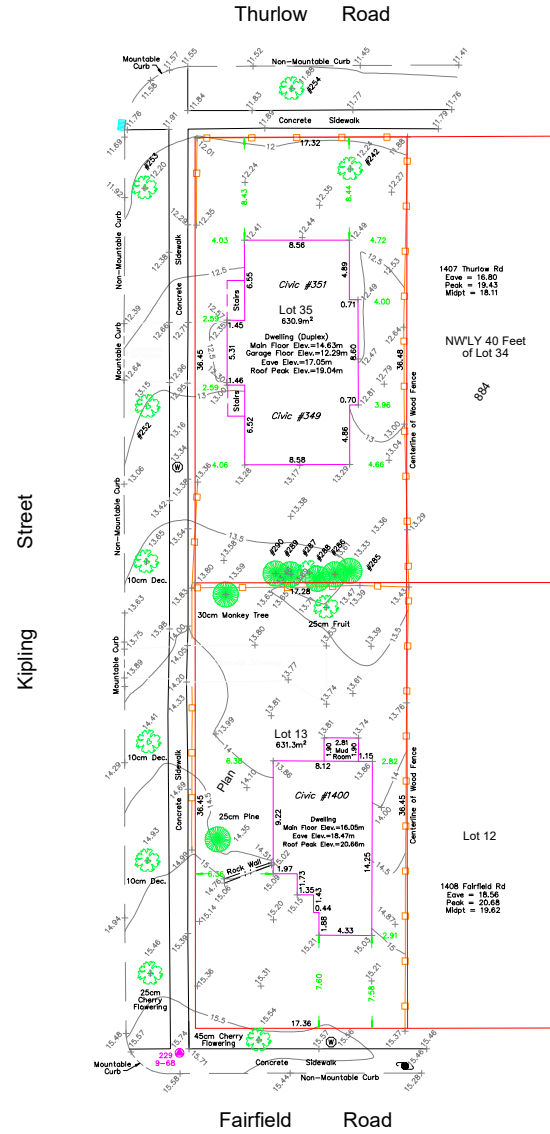
PROJECT SURVEYOR : P/JW

DRAWN BY : BAR DATE : OCT 2/18

OUR FILE : 31517 REVISION :

JEA J.E. ANDERSON & ASSOCIATES SURVEYORS - ENGINEERS

4213 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeadesign.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

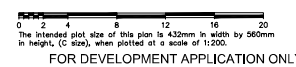


- LEGEND**
- Denotes Control Monument Found
 - Denotes Traverse Station Placed
 - Denotes Catch Basin
 - Denotes Coniferous Tree
 - Denotes Deciduous Tree
 - Denotes Typical Spot Elevation
 - Denotes Utility Pole
 - Denotes Water Service

Table of Tree Descriptions

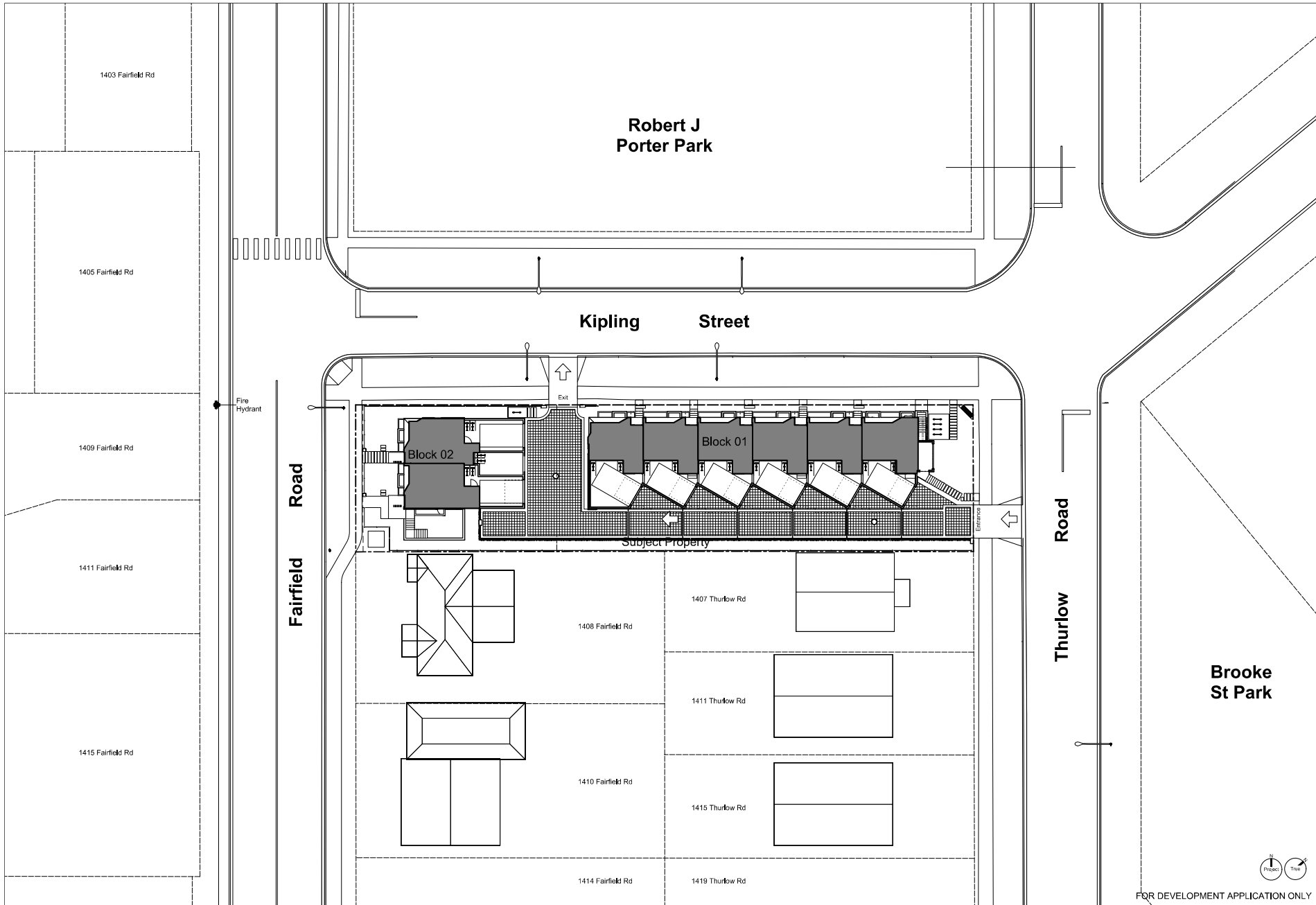
Tag #	Species	Diameter
#242	Deciduous	60cm
#252	Deciduous	45cm
#253	Deciduous	50cm
#254	Deciduous	30cm
#263	Cedar	40cm
#266	Cedar	40cm
#287	Deciduous	30cm (Twin)
#288	Cedar	30cm (Twin)
#289	Cedar	30cm
#290	Cedar	45cm (Twin)
No tag	Monkey	30cm
No tag	Fruit	25cm
No tag	Deciduous	10cm
No tag	Deciduous	10cm
No tag	Cherry	25cm
No tag	Cherry	45cm
No tag	Pine	25cm

Legal boundaries are derived from field survey
Distances and elevations are in metres.
Elevations are geodetic based on control monument 9-68.
Elevations are at grade unless noted otherwise.
Building dimensions and offsets to property lines are shown to exterior of building walls.



This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.
Subject to charges, legal notations, and interests shown on: Title No. E759777 (P.I.D. 008-292-345) Lot 13
Title No. CA6094211 (P.I.D. 005-209-510) Lot 35
V:_Projects\31517\08\02\Microsurvey\31517.dwg

FOR DEVELOPMENT APPLICATION ONLY



THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Context Plan

Project Name:
Fairfield-Kipling Development

Site:
1400 Fairfield Rd & 349 Kipling St

Legal:

PID:
Project No: 19,015

Drawn By: SG/TD

PKT Date: Oct 2, 2020

Scale: 1:200

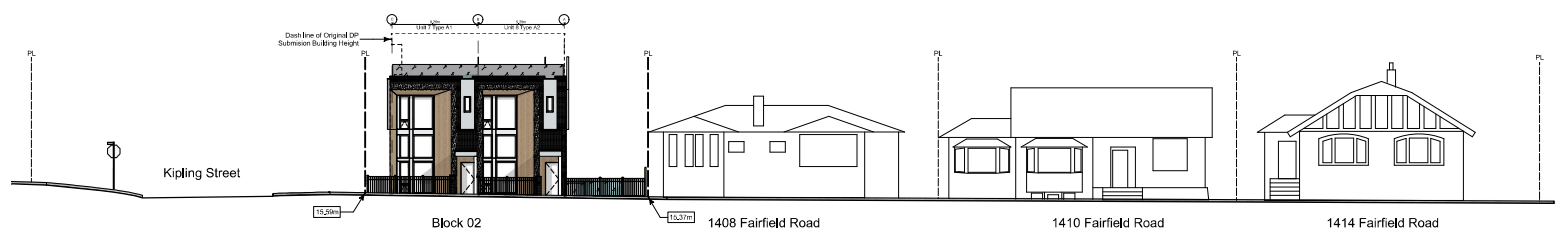
Sheet No:



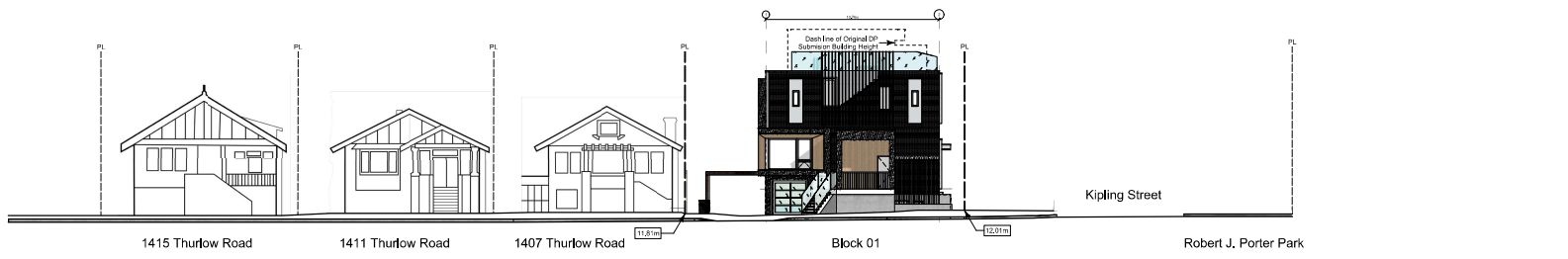
FOR DEVELOPMENT APPLICATION ONLY



1 Streetscape Kipling Street
Scale: 1:150



2 Streetscape Fairfield Road
Scale: 1:150



3 Streetscape Thurlow Road
Scale: 1:150

SBASTIN GARON
ARCHITECTURE + DESIGN
1018 Deep Cove Rd, North Vancouver BC
(604) 812-1869 info@SGAD.ca
www.SGAD.ca

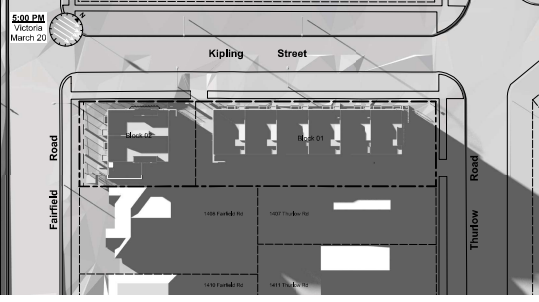
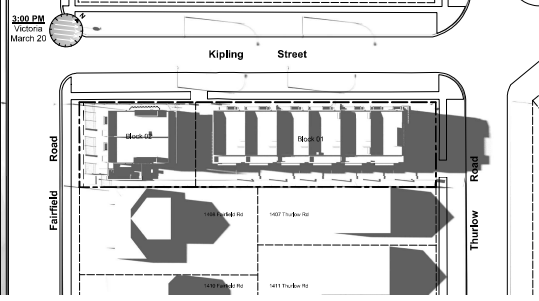
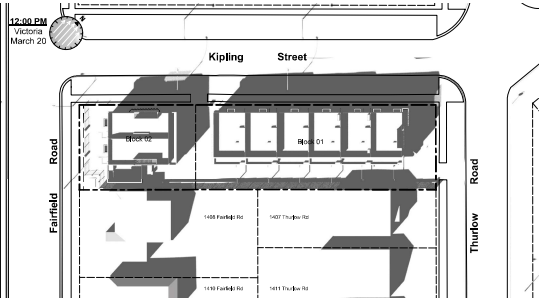
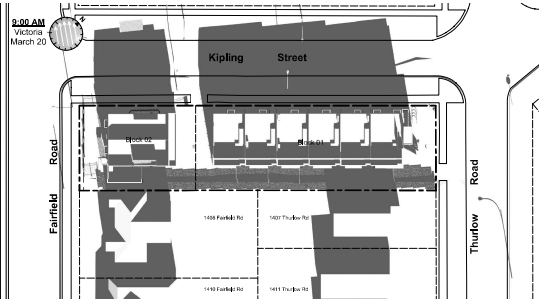
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Date	Issued for DP
2018-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-09-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

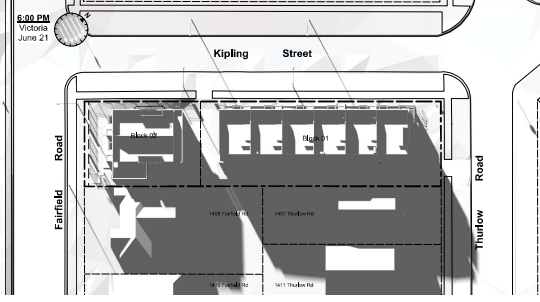
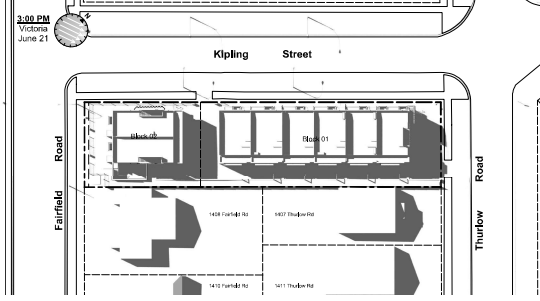
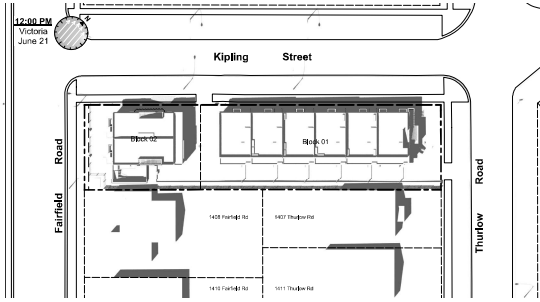
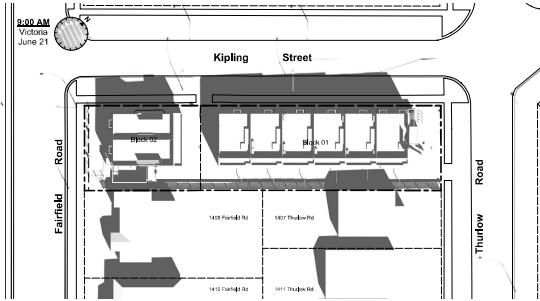
Context Streetscape

Project Name:	Fairfield-Kipling Development
Site:	1400 Fairfield Rd & 349 Kipling St
Legal:	
PID:	19,015
Project No:	SG/TD
Drawn By:	Oct 2, 2020
PKT Date:	(1:120) 1" = 10'-0"
Scale:	
Sheet No:	

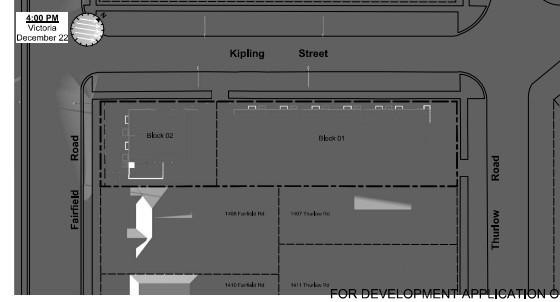
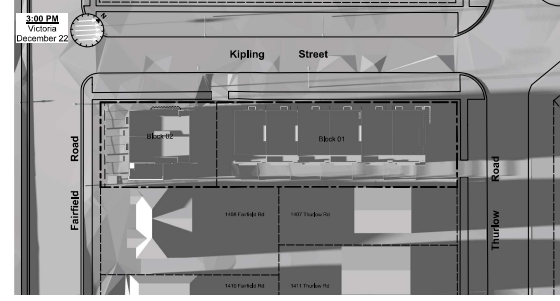
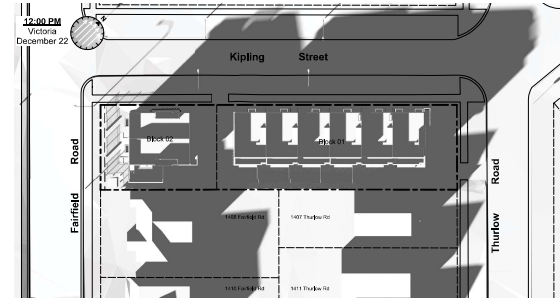
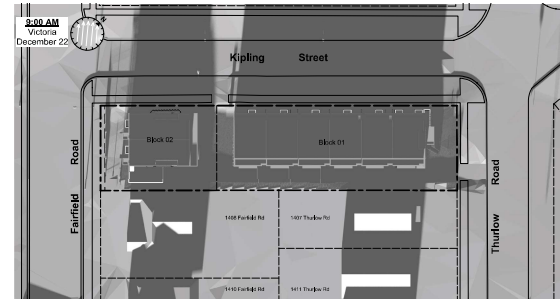
March Equinox



June Solstice



December Solstice



THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Sheet

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Solar Study

Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID: 19,015

Drawn By: SG/TD

PK Date: Oct 2, 2020

Scale: (1:120) 1" = 10'-0"

Sheet No:



Legend

- No. Description
- 1 Ready for solar panels (rough-in)
 - 2 Ready for electric car charging outlets (rough-in)
 - 3 Water efficient plumbing fixtures
 - 4 Low-VOC interior finishes
 - 5 Rooftop greenery
 - 6 Water efficient landscaping
 - 7 Bike parking
 - 8 Enhanced natural light
 - 9 Energy efficient light fixtures

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Issue	Resolved for DP
2018-05-19	Issued for DP
2018-09-16	Revised & Re-issued for DP
2018-10-21	Revised & Re-issued for DP
2018-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

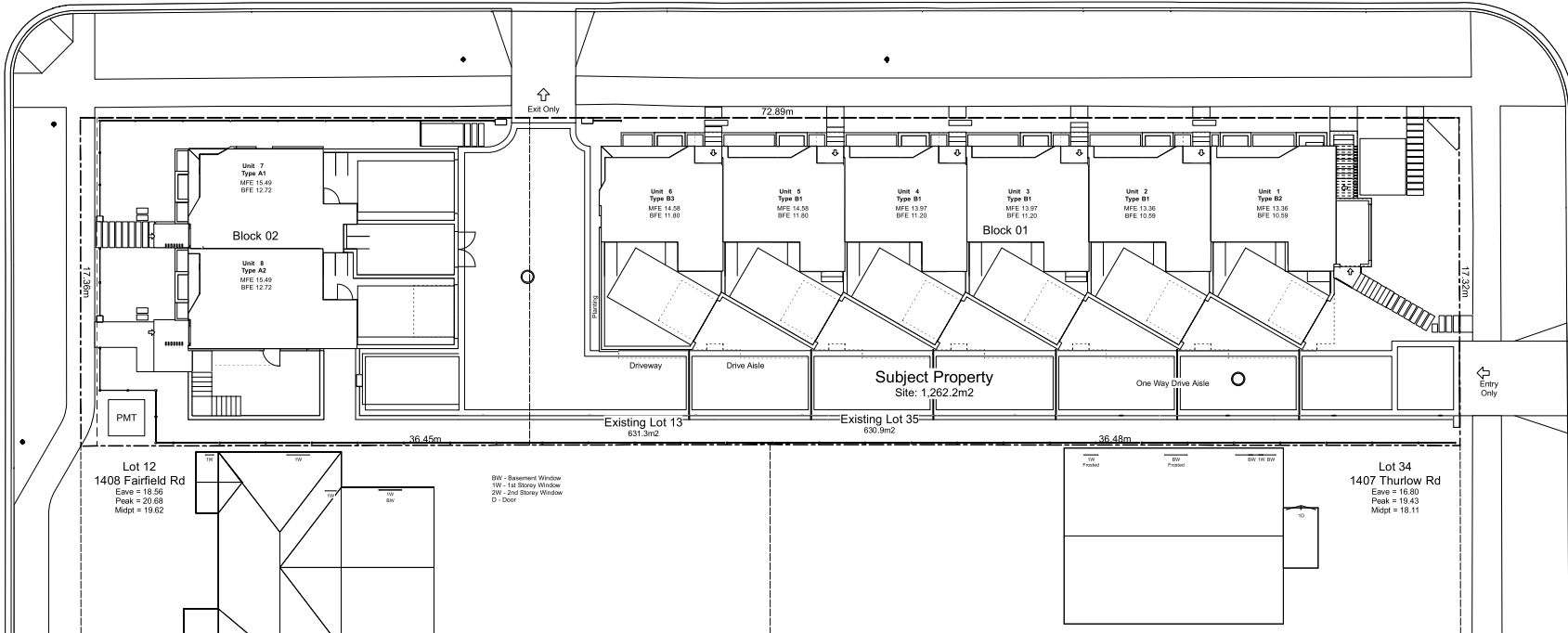
Sustainability Strategy

Project Name: **Fairfield-Kipling Development**
 Site: 1400 Fairfield Rd & 349 Kipling St
 Legal:
 PID: 19,015
 Project No: 19,015
 Drawn By: SG/TD
 Pk Date: Oct 2, 2020
 Scale: (1:120) 1" = 10'-0"
 Sheet No:

Fairfield Road

Thurlow Road

Kipling Street



Note:
Diagrams as shown are for illustrative purposes only.
Window locations are approximate and have not been surveyed.



SBASTIN GARON
ARCHITECTURE + DESIGN

1018 Deep Cove Rd, North Vancouver BC
(604) 812-1869 info@SGAD.ca
www.SGAD.ca

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.
VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Issue	Issued for DP
2019-06-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-04-29	Revised & Re-issued for DP
2020-09-21	Revised & Re-issued for DP

Neighbouring
Window Overlay

Project Name:

Fairfield-Kipling
Development

Site: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Oct 2, 2020
Scale: (1:120) 1" = 10'-0"
Sheet No:

A1.6

FOR DEVELOPMENT APPLICATION ONLY

Zoning Reconciliation

Lot Description	Property 1	Property 2
City Address:	1400 Fairfield Rd	349 Kipling St
Legal Address:	Lot 13 Plan 004	Lot 20 Fairfield Form
	Section: P16 Volume:	Existed Volume: V1918
Zoning:	R1-B	R1-B
Site Area:	631.3 M2	609.9 M2 Total: 1241.2 M2
Density:	7.9 UPH	

FRS	Theoretical Size	Proposed
Block 01	868.8 M2	0.881
Block 02	411.2 M2	0.688

Site Open Space	Proposed
Block 01	27.08%
Block 02	34.33%
Lot Coverage	48.84%
Block 01	34.33%
Block 02	14.51%

Setbacks	Min.	Proposed
Side Yard Corner Lot (Kipling St)	0.75 m	2.40 FT
Side Yard (Kipling St)	4.87 m	16.01 FT
Front Yard (Fairfield Rd)	4.48 m	14.70 FT
Front Yard (Thurlow Rd)	5.39 m	17.68 FT

Building Height	Max	Proposed
Block 01	9.15 m	3 Storeys
Block 02	8.23 m	3 Storeys

Vehicle Parking	Required	Proposed
Dwelling Unit < 45m2	14.1 stalls	9 stalls
Dwelling Unit 45m2 - 70m2	0.85 Unit	0 stalls
Dwelling Unit 70m2 - 90m2	1.00 Unit	0 stalls
Dwelling Unit > 90m2	1.40 Unit	11 stalls
Visitor	0.10 Unit	0.8 stalls
Bicycle Parking	15 stalls	26 stalls
Long Term	9 stalls	16 stalls
Short Term	6 stalls	10 stalls

Project Data

Type	Area (SF)	Zoning Area (SF)	Bedrms	Car Parking	Bike Parking
Block 01	10,988	9,050		6	12
Unit 1 B2	1,913	1,488	4	1	2
Unit 2 B1	1,818	1,509	4	1	2
Unit 3 B1	1,818	1,509	4	1	2
Unit 4 B1	1,818	1,509	4	1	2
Unit 5 B1	1,818	1,509	4	1	2
Unit 6 B3	1,803	1,525	4	1	2
Unit 7 A1	1,941	1,409	3	1	2
Unit 8 A2	2,047	1,508	3	1	2
Refuse	172	Excluded			
Visitor				1	10
Total Floor Area	15,148	11,967	Block 01 & 02		
Site Area	1,262.3 m2	13,587			
Total FSR		0.881			
Difference		-262			

Tree Schedule

See Attached Report Prepared by: Tolbot Mackenzie & Associates

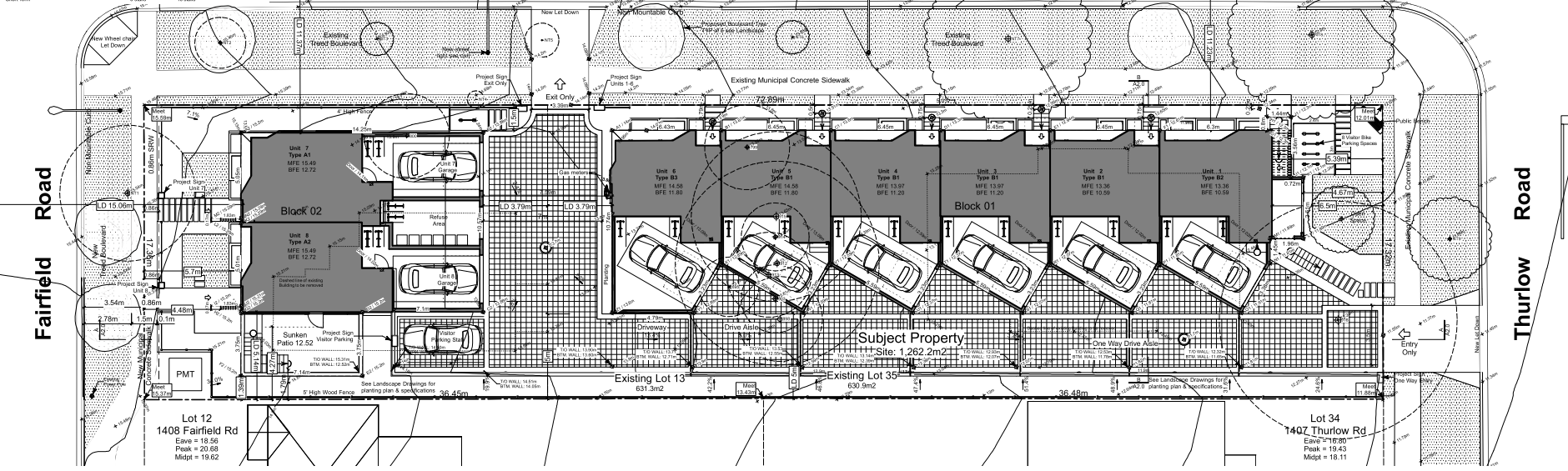
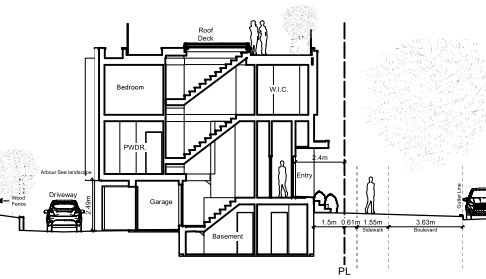
Tsq	Name	Action	DBH (cm)	Spread (m)
695	Aspen	Remove	4.0	3.5
799	Monkey Puzzle	Remove	31.0	5.0
800	Blue Spruce	Remove	25.0	5.0
898	Western Red Cedar	Remove	42.0	5.0
903	Western Red Cedar	Remove	42.0	4.0
912	Big Leaf Maple	Remove	46.0	12.0
913	Western Red Cedar	Remove	37.0	5.0
914	Western Red Cedar	Remove	33.0	4.0
915	Western Red Cedar	Remove	51.0	10.0
916	Ash	Remove	55.0	14.0
NT1	Japanese Cherry	Remove	48.0	8.0
NT2	Cherry Plum	Remove	28.0	3.0
NT3	Ginkgo	Retain	7.0	2.0
NT4	Ash	Remove	3.0	1.0
NT5	Red Maple	Remove	8.0	2.0
NT6	Scarlet Oak	Retain	4.0	2.0
NT7	Red Maple	Retain	47.0	10.0
NT8	Red Maple	Retain	49.0	10.0
NT9	Japanese Cherry	Retain	30.0	5.0

Grade Calculations - Block 02

Grade Points	Average	Distance	Total
A 15.20 m To B 13.88 m	14.54 m	x 14.25 m	207.23
B 13.88 m To C 13.88 m	13.88 m	x 10.57 m	146.76
C 13.88 m To D 15.20 m	14.54 m	x 7.70 m	112.25
D 15.20 m To E 15.20 m	15.20 m	x 3.75 m	57.00
E 15.20 m To F 15.20 m	15.20 m	x 7.14 m	108.53
F 15.20 m To G 15.20 m	15.20 m	x 1.83 m	27.82
G 15.20 m To H 15.20 m	15.20 m	x 0.17 m	2.58
H 15.20 m To J 15.21 m	15.20 m	x 1.83 m	27.82
J 15.21 m To K 15.29 m	15.25 m	x 5.01 m	76.38
K 15.29 m To L 15.29 m	15.29 m	x 1.83 m	27.98
L 15.29 m To M 15.29 m	15.29 m	x 0.17 m	2.60
M 15.29 m To N 15.29 m	15.29 m	x 1.83 m	27.98
N 15.29 m To A 15.20 m	15.25 m	x 5.06 m	76.99
Perimeter of Building			949.93
Average Grade			14.79 m

Grade Calculations - Block 01

Grade Points	Average	Distance	Total
A 13.00 m To B 13.07 m	13.04 m	x 6.23 m	81.65
B 13.07 m To C 13.60 m	13.34 m	x 6.45 m	86.59
C 13.60 m To D 13.30 m	13.45 m	x 6.45 m	86.74
D 13.30 m To E 12.04 m	13.12 m	x 6.45 m	84.63
E 12.04 m To F 12.81 m	12.79 m	x 6.45 m	82.42
F 12.81 m To G 12.30 m	12.68 m	x 6.30 m	79.87
G 12.30 m To H 12.30 m	12.30 m	x 0.80 m	9.84
H 12.30 m To I 12.30 m	12.30 m	x 1.44 m	17.71
I 12.30 m To J 12.10 m	12.20 m	x 3.36 m	43.43
J 12.10 m To K 12.10 m	12.10 m	x 0.72 m	8.71
K 12.10 m To L 11.89 m	11.99 m	x 3.61 m	43.30
L 11.89 m To M 11.89 m	11.89 m	x 1.96 m	23.31
M 11.89 m To N 11.81 m	11.85 m	x 1.45 m	17.19
N 11.81 m To O 12.10 m	11.95 m	x 3.38 m	39.93
O 11.81 m To P 11.81 m	11.81 m	x 5.59 m	66.04
P 11.81 m To Q 11.81 m	11.81 m	x 3.23 m	38.16
Q 11.81 m To R 12.07 m	11.94 m	x 5.59 m	66.76
R 12.07 m To S 12.07 m	12.07 m	x 3.23 m	38.96
S 12.07 m To T 12.37 m	12.22 m	x 5.59 m	68.32
T 12.37 m To U 12.37 m	12.37 m	x 3.23 m	39.97
U 12.37 m To V 12.59 m	12.48 m	x 5.59 m	69.79
V 12.59 m To W 12.59 m	12.59 m	x 3.23 m	40.67
W 12.59 m To X 12.89 m	12.74 m	x 5.59 m	71.23
X 12.89 m To Y 12.89 m	12.89 m	x 3.23 m	41.65
Y 12.89 m To Z 13.60 m	13.25 m	x 4.79 m	63.46
Z 13.60 m To A 14.00 m	13.80 m	x 10.74 m	146.12
Perimeter of Building			115.08 m
Average Grade			12.75 m



SBASTIN GARON
ARCHITECTURE + DESIGN

1018 Deep Cove Rd., North Vancouver BC
(604) 812-1869 info@SGAD.ca
www.SGAD.ca

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Issue:
2019-06-19 Issued for DP
2019-08-16 Revised & Re-issued for DP
2019-10-21 Revised & Re-issued for DP
2019-12-12 Revised & Re-issued for DP
2020-04-29 Revised & Re-issued for DP
2020-09-21 Revised & Re-issued for DP

Project Name:
Fairfield-Kipling Development

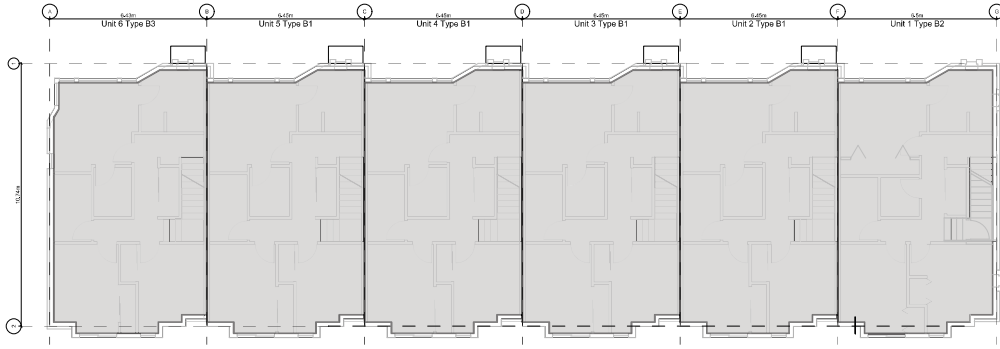
City: 1400 Fairfield Rd & 349 Kipling St

Legal:

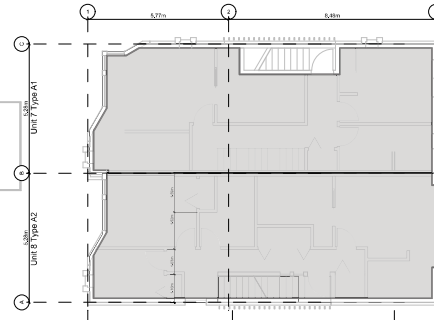
PID: 19.015
Drawn By: SG/TD
Plot Date: Jan 6, 2021
Scale: 1:120
Sheet No:

FOR DEVELOPMENT APPLICATION ONLY

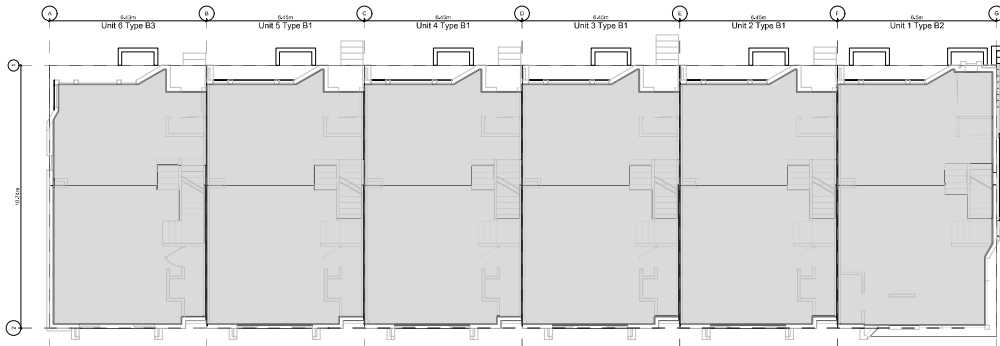
A2.0



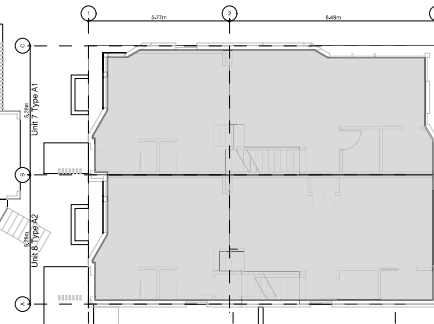
3 **Block 01 - Floor 2**
Scale: 1:100



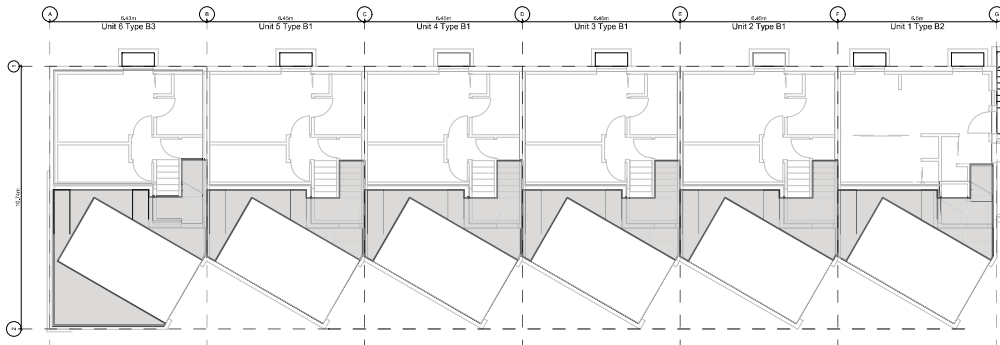
6 **Block 02 - Floor 2**
Scale: 1:100



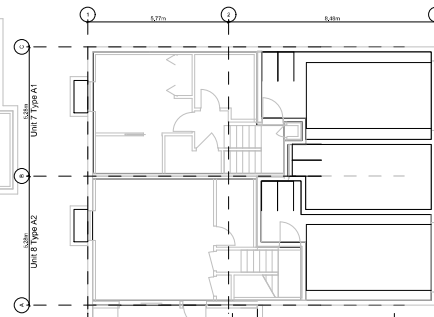
2 **Block 01 - Floor 1**
Scale: 1:100



5 **Block 02 - Floor 1**
Scale: 1:100



1 **Block 01 - Basement**
Scale: 1:100

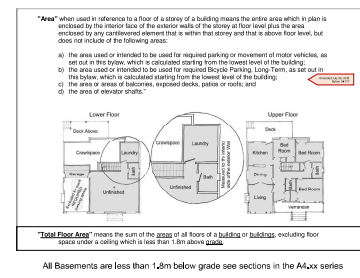


4 **Block 02 - Basement**
Scale: 1:100

Project Data					
Type	Area (SF)	Zoning Area (SF)	Bedrms	Car Parking	Bike Parking
Block 01	10,988	9,050			
Unit 1	B2	1,913	1,488	4	1 2
Unit 2	B1	1,818	1,509	4	1 2
Unit 3	B1	1,818	1,509	4	1 2
Unit 4	B1	1,818	1,509	4	1 2
Unit 5	B1	1,818	1,509	4	1 2
Unit 6	B3	1,803	1,525	4	1 2
Block 02	3,988	2,917			
Unit 7	A1	1,941	1,409	3	1 2
Unit 8	A2	2,047	1,508	3	1 2
Refuse		172	Excluded		
Visitor					1 10
Total Floor Area	15,148	11,967	Block 01 & 02		
Site Area	1,262.3 m2	13,587			
Total FSR			0.881		
Difference			-262		

Floor Space Ratio: The building area is measured to the interior side of the exterior wall and CIL of demising walls, Basements excluded.

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.



THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Revised	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-09-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

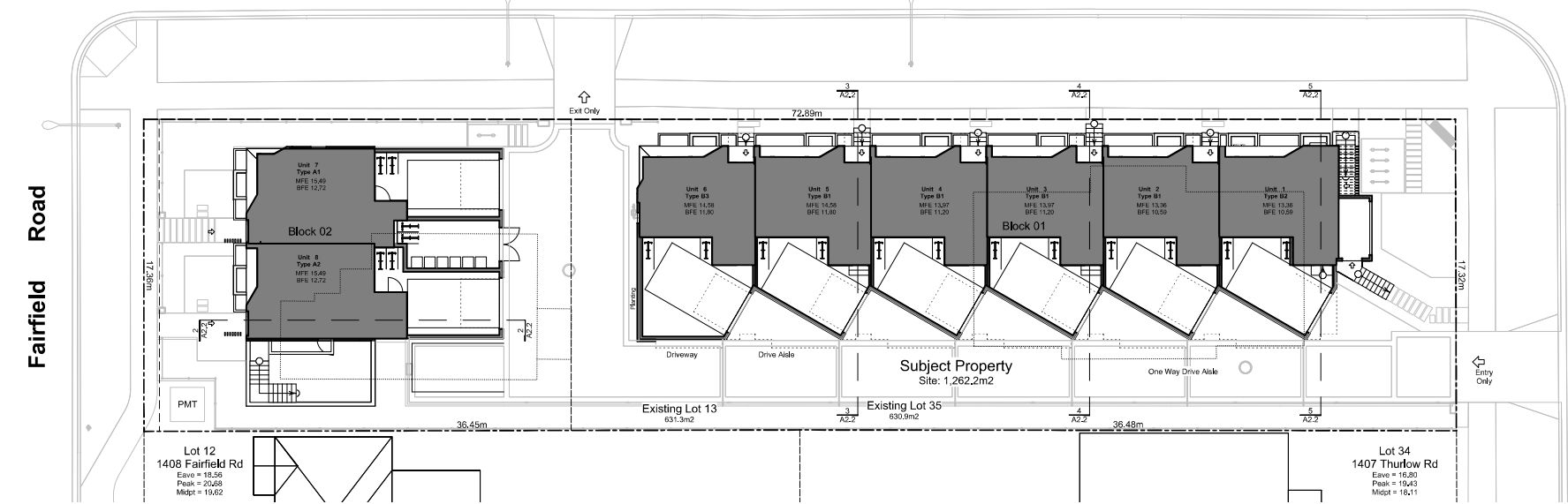
Graphical Floor Area Ratio

Project Name:
Fairfield-Kipling Development
Site: 1400 Fairfield Rd & 349 Kipling St
Legal:
PID:
Project No: 19_015
Drawn by: SG/TD
PK Date: Oct 2, 2020
Scale: 1:100
Sheet No:

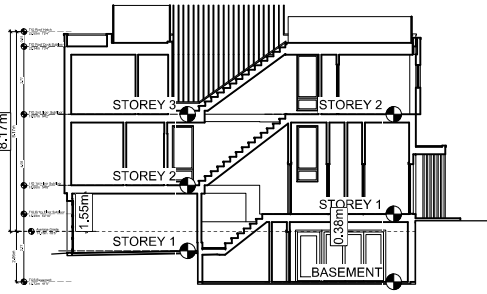
Fairfield Road

Kipling Street

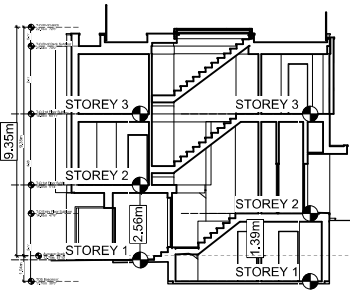
Thurlow Road



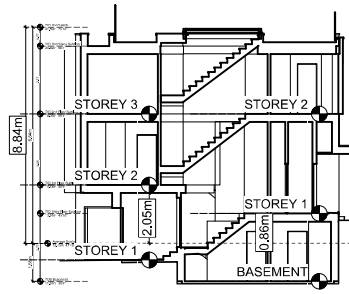
1 Site Plan
Scale: 1:120



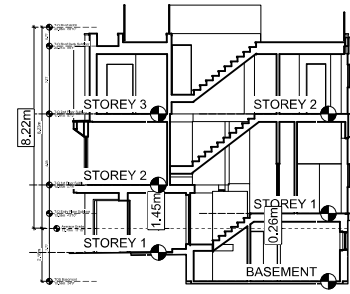
2 Block 2 Unit 8 Section
Scale: 1:100



3 Block 1 Unit 5 Section
Scale: 1:100



4 Block 1 Unit 3 Section
Scale: 1:100



5 Block 1 Unit 1 Section
Scale: 1:100

Basement means any part of a **storey** between two floor levels that is partially or completely below **grade** and has a finished ceiling that is no more than 1.2m above **grade**.

First Storey means the **storey** above the **basement** of a building, and in the case of a building without a **basement**, means the lowest **storey**.

Storey means the space between two floors or between any floor and the roof next above, but does not include a **basement** or a **concourse**.

Half Storey means that part of any building wholly or partly within the herring of the roof, where the habitable floor **area** is not more than 70% of the ground floor **area** of the building.

SBASTIN GARON
ARCHITECTURE + DESIGN

1018 Deep Cove Rd, North Vancouver BC
(604) 812-1869 info@SGAD.ca
www.SGAD.ca

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-03-21	Revised & Re-issued for DP

Graphical
No. of Stories

Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID: 19,015

Project No: SGTD

Drawn By: Oct 2, 2020

PK Date: 1:100

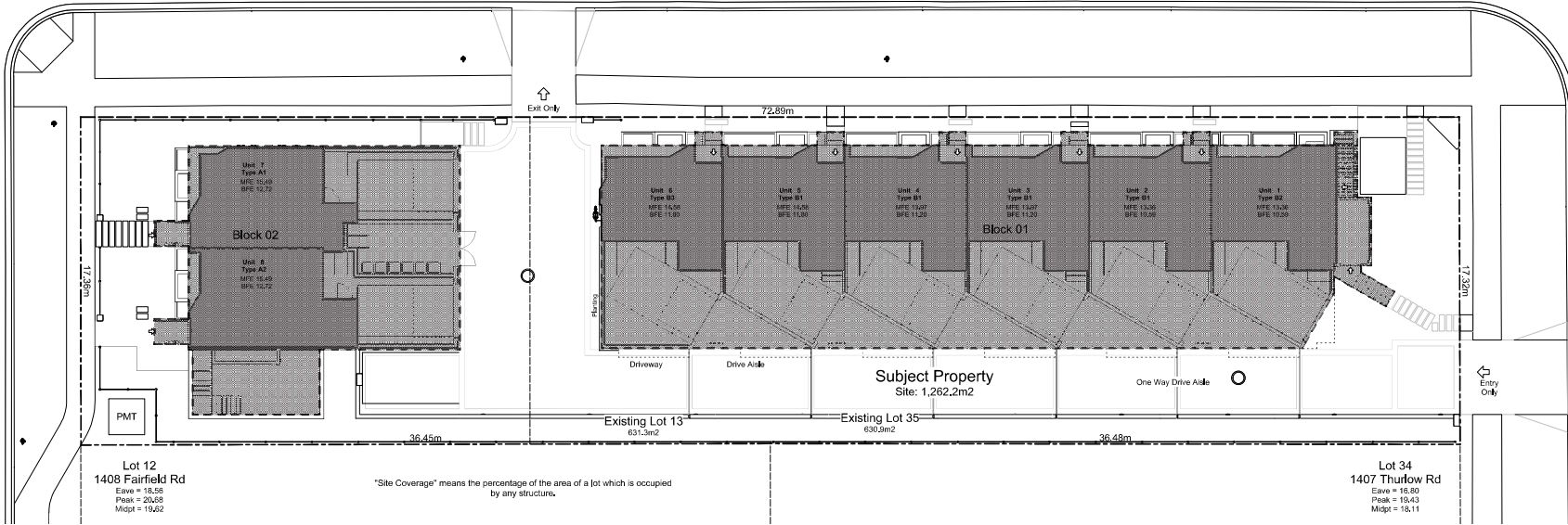
Scale: SHEET NO:

FOR DEVELOPMENT APPLICATION ONLY

A2.2

Fairfield Road

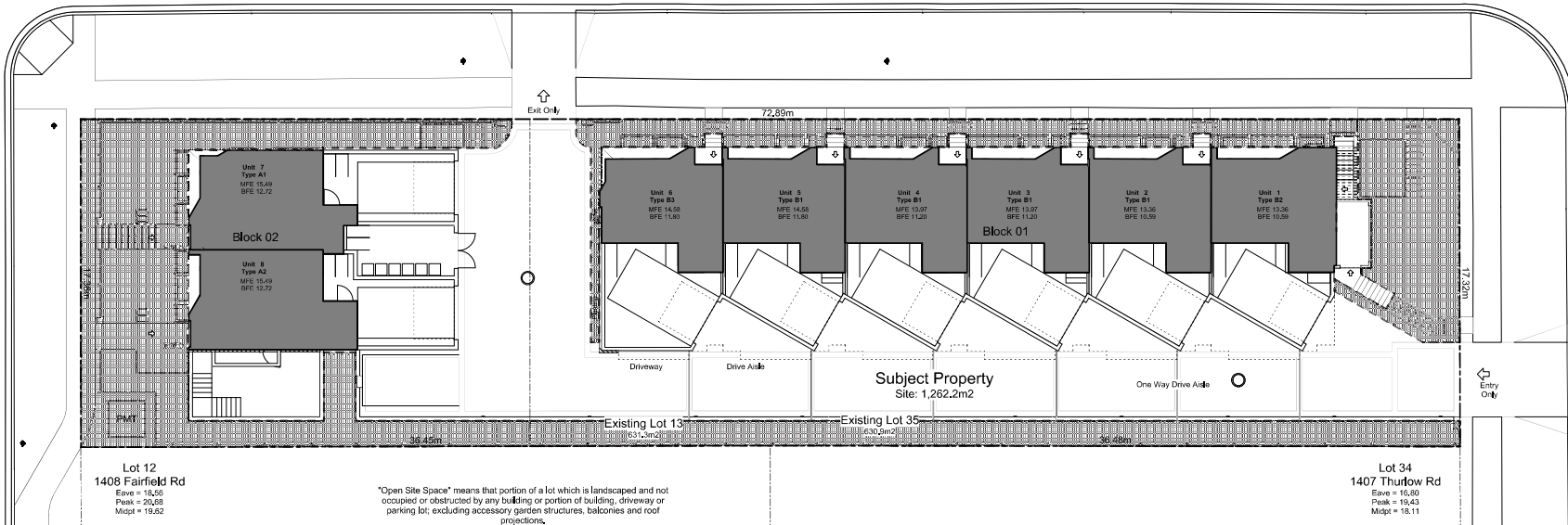
Thurlow Road



2 Lot Coverage
Scale: 1:120

Fairfield Road

Thurlow Road



1 Open Site Space
Scale: 1:120

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-03-21	Revised & Re-issued for DP

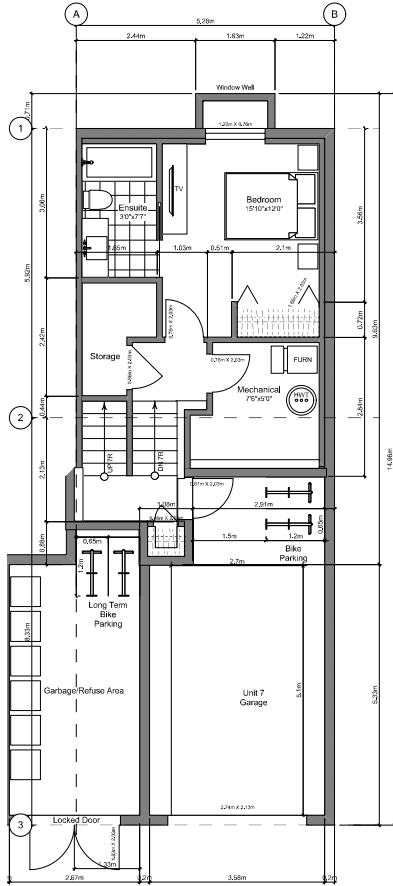
Graphical
Lot Coverage &
Open Site Space

Project Name:
Fairfield-Kipling
Development

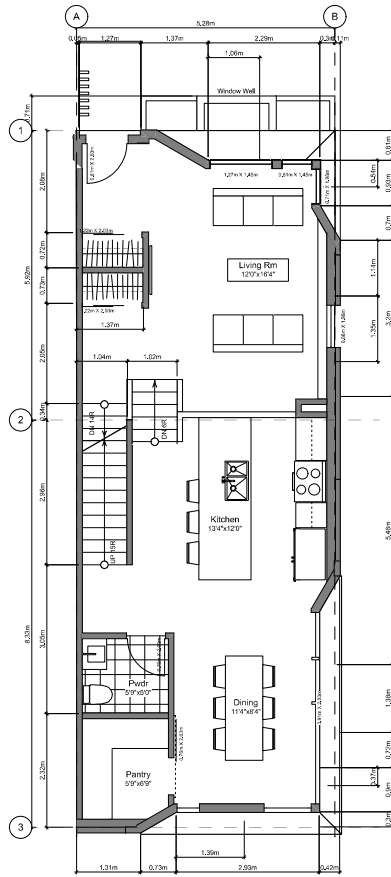
Site: 1400 Fairfield Rd &
349 Kipling St

Legal:
PID: 19,015
Project No: SG/TD
Drawn By: Oct 2, 2020
PK Date: (1:120) 1" = 10'-0"
Scale: Sheet No:

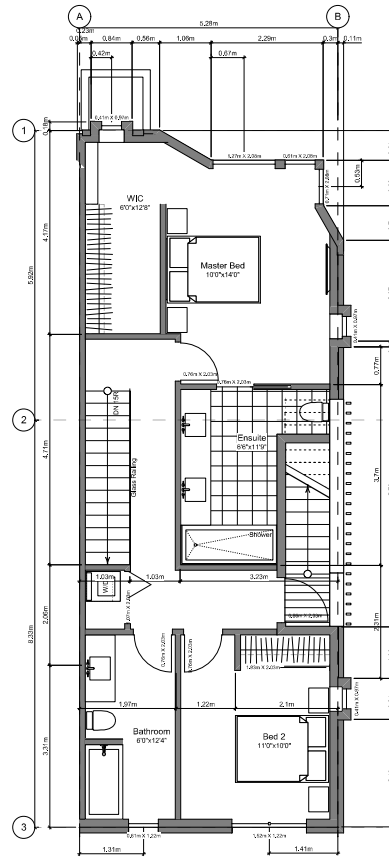
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.



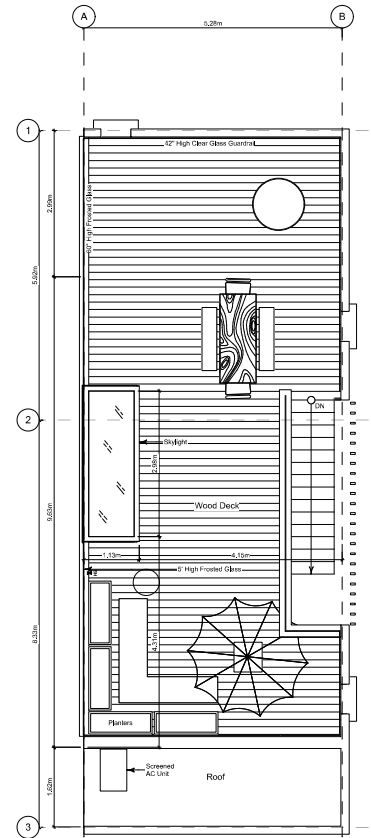
1 **Basement Floor Plan**
Scale: 1:50



2 **Main Floor Plan**
Scale: 1:50



3 **Second Floor Plan**
Scale: 1:50



4 **Roof Deck Plan**
Scale: 1:50

Unit Plan Notes:
See Block plan for foundation plan.
Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.
Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

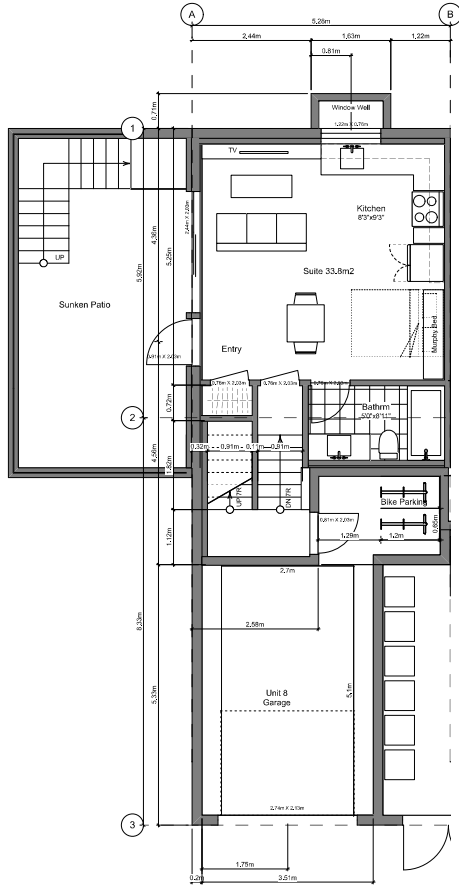
Floor Area Calculations - Unit 7 (A1)

	Gross Floor Area	Zoning Floor Area
Basement Floor	435 sq ft 40.4 m ²	0 sq ft 0.0 m ²
Main Floor	758 sq ft 70.4 m ²	715 sq ft 66.4 m ²
Second Floor	748 sq ft 69.5 m ²	694 sq ft 64.5 m ²
Roof Deck	0 sq ft 0.0 m ²	0 sq ft 0.0 m ²
Totals:	1,941 sq ft 180.3 m²	1,409 sq ft 130.9 m²
Garage	284 sq ft 26.4 m ²	
Roof/Top Open Space	699 sq ft 65.0 m ²	

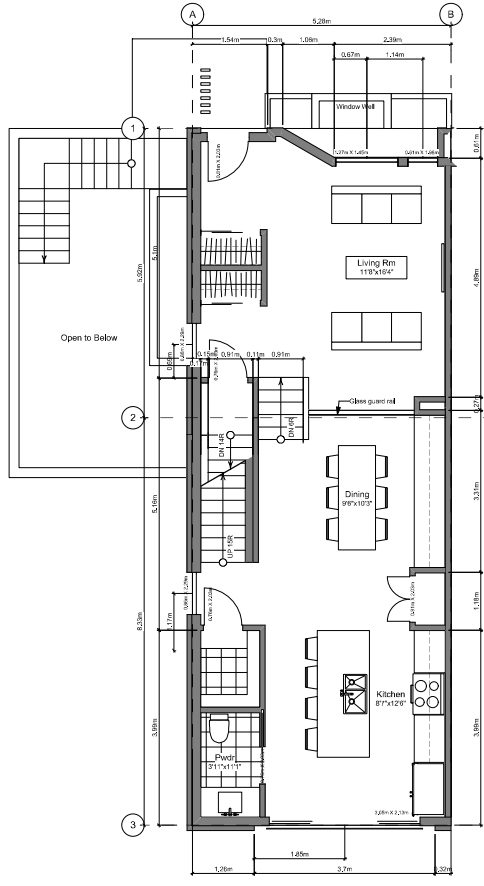
FOR DEVELOPMENT APPLICATION ONLY

See

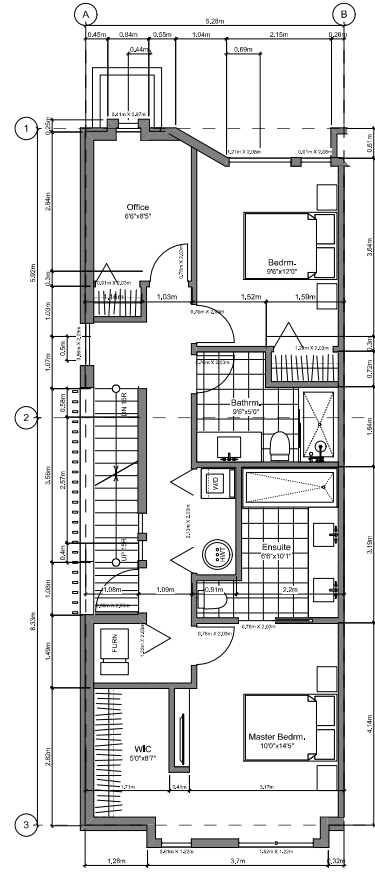
Revised & Re-issued for DP
Revised & Re-issued for DP
Revised & Re-issued for DP
Revised & Re-issued for DP
Revised & Re-issued for DP



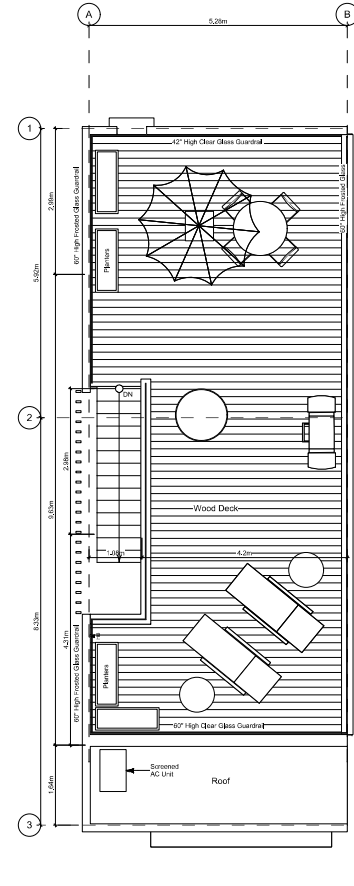
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Floor Area Calculations - Unit 8 (A2)		
	Gross Floor Area	Zoning Floor Area
Basement Floor	449 sq ft 41.7 m ²	0 sq ft 0.0 m ²
Main Floor	789 sq ft 73.3 m ²	746 sq ft 69.3 m ²
Second Floor	809 sq ft 75.2 m ²	762 sq ft 70.8 m ²
Roof Deck	0 sq ft 0.0 m ²	0 sq ft 0.0 m ²
Totals:	2,047 sq ft 190.2 m²	1,508 sq ft 140.1 m²
Garage	274 sq ft 25.5 m ²	
Roof/Top Open Space	699 sq ft 65.0 m ²	

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Revised & Re-issued for DP
Revised & Re-issued for DP
Revised & Re-issued for DP
Revised & Re-issued for DP
Revised & Re-issued for DP

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE. THE DRAWING REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Issue	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-03-21	Revised & Re-issued for DP

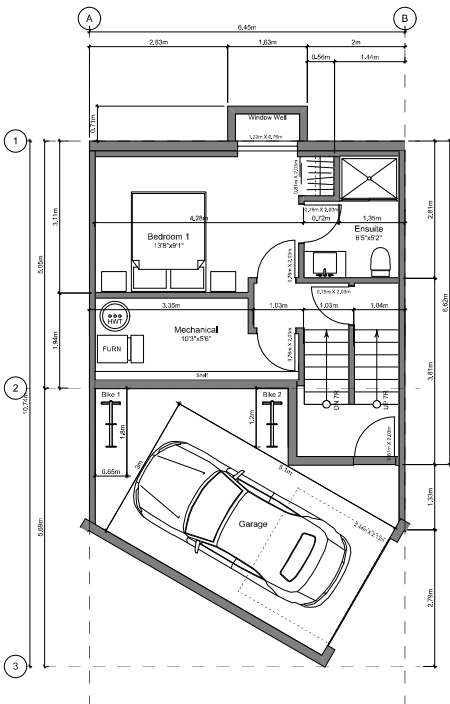
Unit B1 Floor Plans

Project Name:
Fairfield-Kipling Development

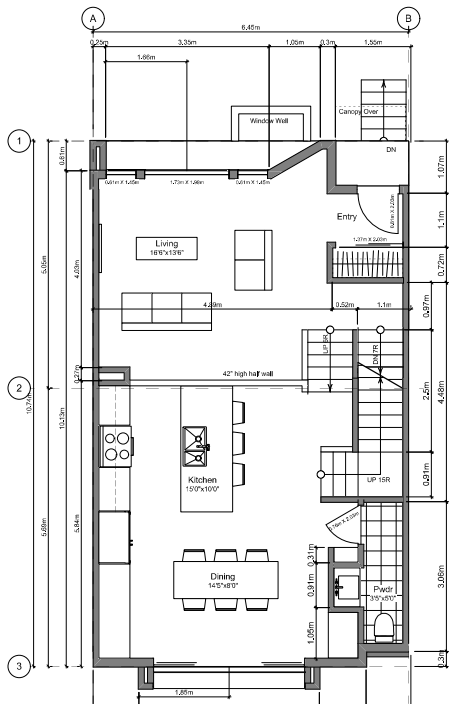
Site: 1400 Fairfield Rd & 349 Kipling St

Legal:
PID: 19,015
Project No: SG/ID
Drawn by: Oct 2, 2020
Scale: 1:50
Sheet No:

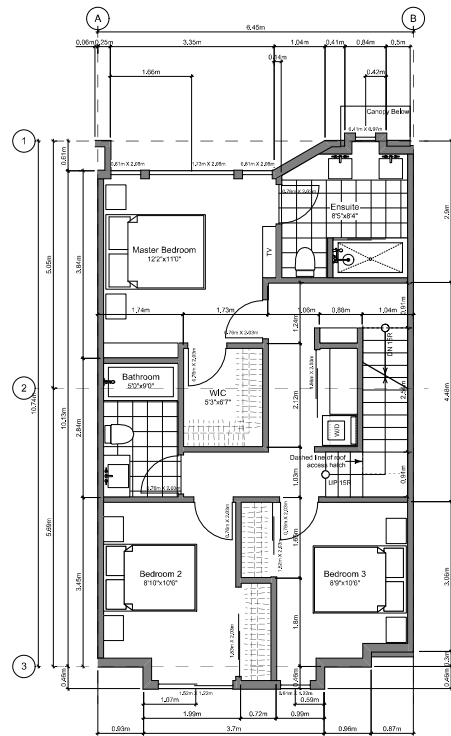
A3.3



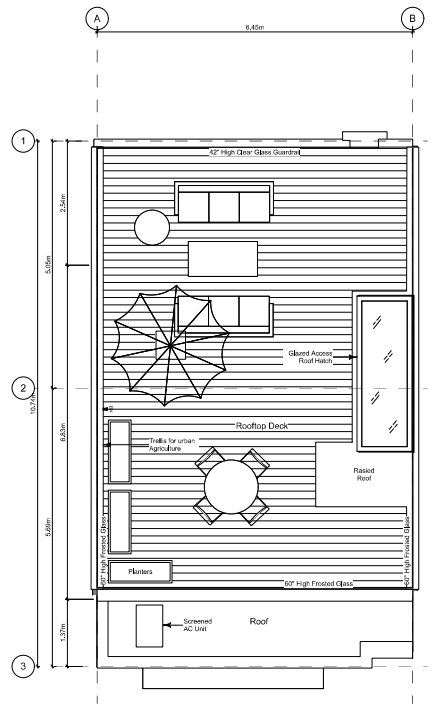
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Unit Plan Notes:
See Block plan for foundation plan.
Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.
Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

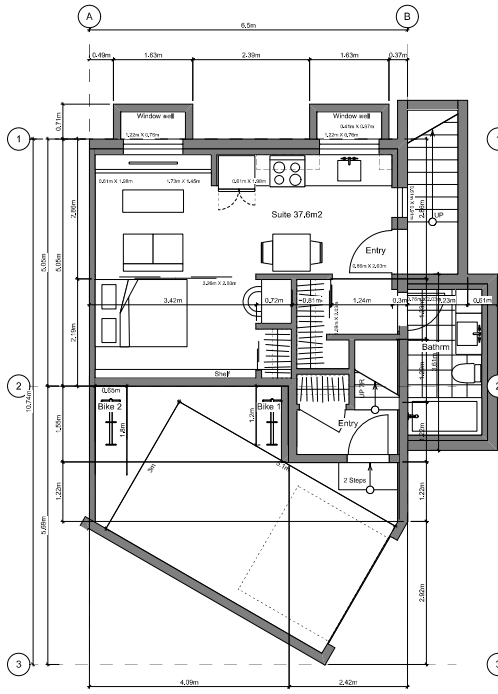
	Gross Floor Area	Zoning Floor Area
Basement Floor	384 sq ft 35.7 m ²	126 sq ft 11.7 m ²
Main Floor	701 sq ft 65.2 m ²	676 sq ft 62.8 m ²
Second Floor	732 sq ft 68.0 m ²	707 sq ft 65.7 m ²
Roof Deck	0 sq ft 0.0 m ²	0 sq ft 0.0 m ²
Totals:	1,818 sq ft 168.9 m²	1,509 sq ft 140.2 m²
Garage	265 sq ft 24.6 m ²	
Rooftop Open Space	620 sq ft 57.6 m ²	

FOR DEVELOPMENT APPLICATION ONLY

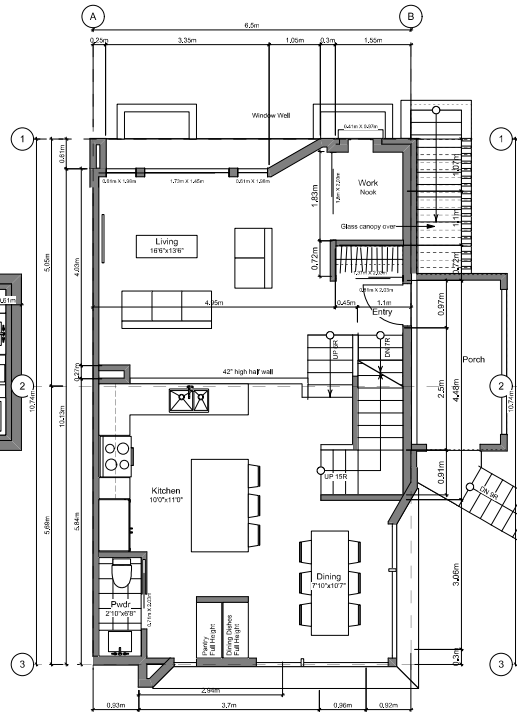
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE. THIS DRAWING REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Revised	Issued for DP
2019-05-19	2019-05-19
2019-09-16	2019-09-16
2019-10-21	2019-10-21
2019-12-12	2019-12-12
2020-01-29	2020-01-29
2020-03-21	2020-03-21

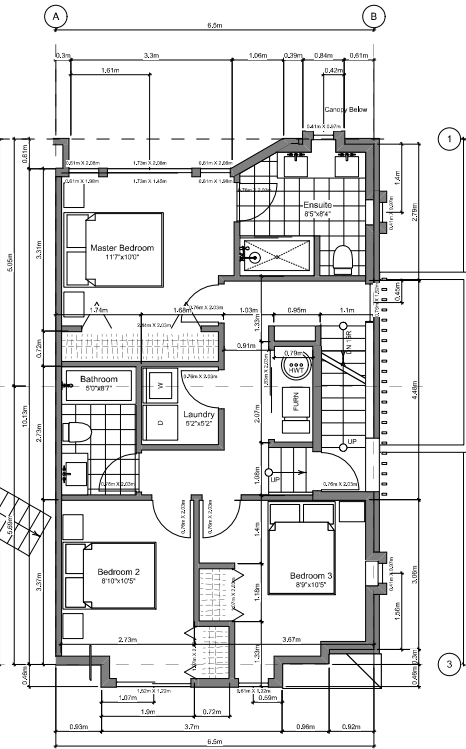
Unit B2 Floor Plans
Unit 1



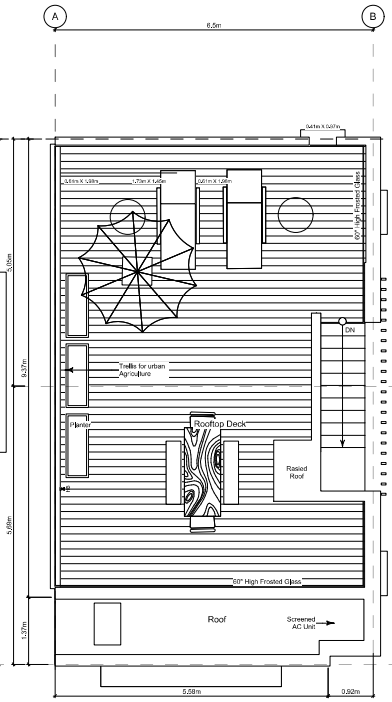
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:30



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Unit Plan Notes:
See Block plan for foundation plan.
Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.
Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

	Gross Floor Area	Zoning Floor Area
Basement Floor	459 sq ft 42.7 m ²	120 sq ft 11.1 m ²
Main Floor	716 sq ft 66.5 m ²	674 sq ft 62.6 m ²
Second Floor	738 sq ft 68.6 m ²	694 sq ft 64.5 m ²
Roof Deck	0 sq ft 0.0 m ²	0 sq ft 0.0 m ²
Totals:	1,913 sq ft 177.7 m²	1,488 sq ft 138.2 m²
Garage	266 sq ft 24.7 m ²	
Rooftop Open Space	628 sq ft 58.2 m ²	

FOR DEVELOPMENT APPLICATION ONLY

Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:
PID: 19,015
Project No: SG/TD
Drawn by: Oct 2, 2020
Scale: 1:50
Sheet No:

A3.4

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE. THIS DRAWING REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Revised & Re-issued for DP
2019-09-16
2019-09-21
2019-12-12
2020-01-29
2020-02-21

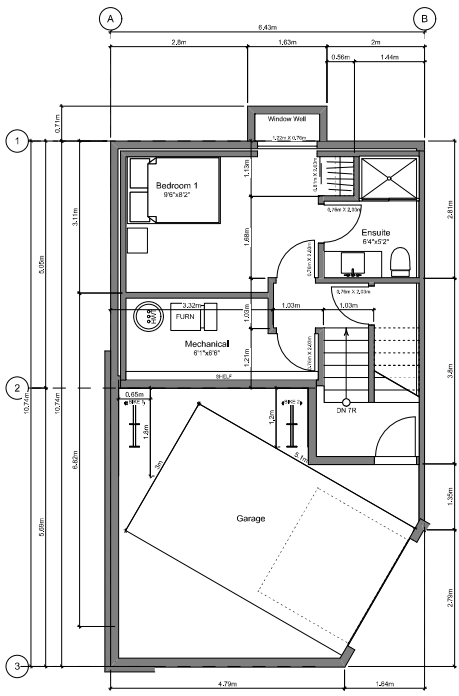
Unit B3 Floor Plans
Unit 6

Project Name:
Fairfield-Kipling Development

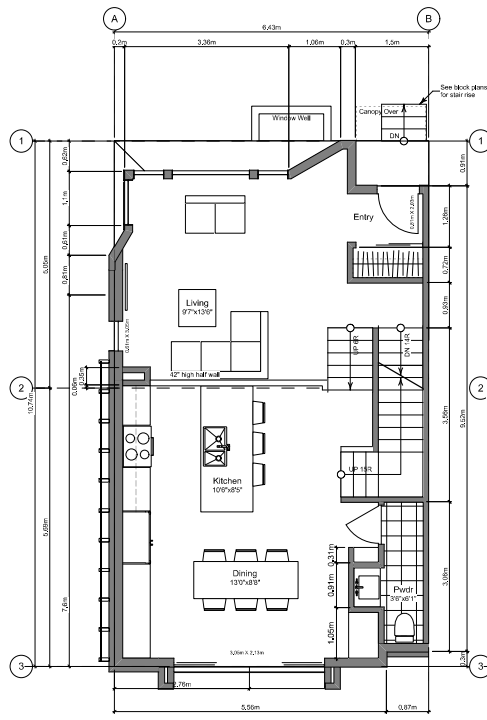
Site: 1400 Fairfield Rd & 349 Kipling St

Legal:
PID: 19,015
Drawn by: SG/TD
PK Date: Oct 2, 2020
Scale: 1:50
Sheet No:

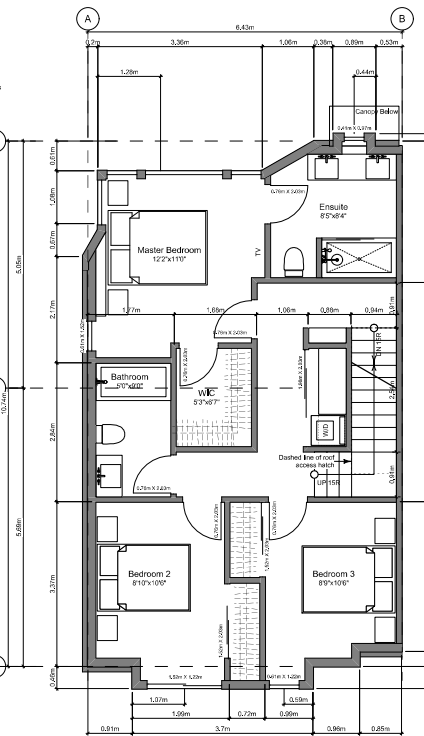
A3.5



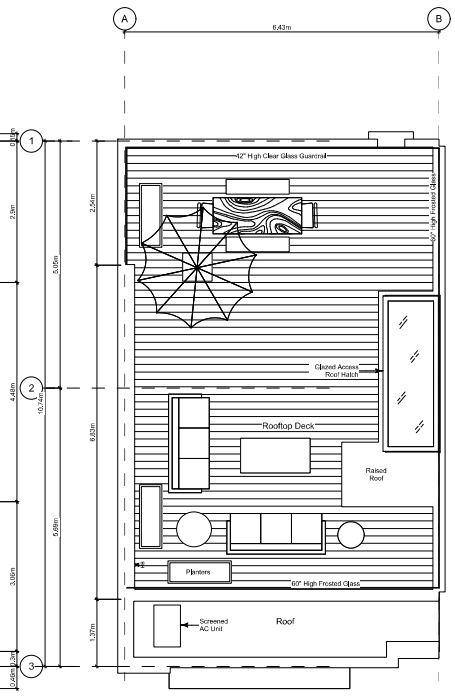
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Floor Area Calculations - Unit 6 (B3)

	Gross Floor Area	Zoning Floor Area
Basement Floor	383 sq ft 35.6 m2	189 sq ft 17.6 m2
Main Floor	694 sq ft 64.4 m2	652 sq ft 60.6 m2
Second Floor	727 sq ft 67.5 m2	684 sq ft 63.6 m2
Roof Deck	0 sq ft 0.0 m2	0 sq ft 0.0 m2
Totals:	1,803 sq ft 167.5 m2	1,525 sq ft 141.7 m2
Garage	274 sq ft 25.5 m2	
Rooftop Open Space	642 sq ft 59.6 m2	

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

See

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

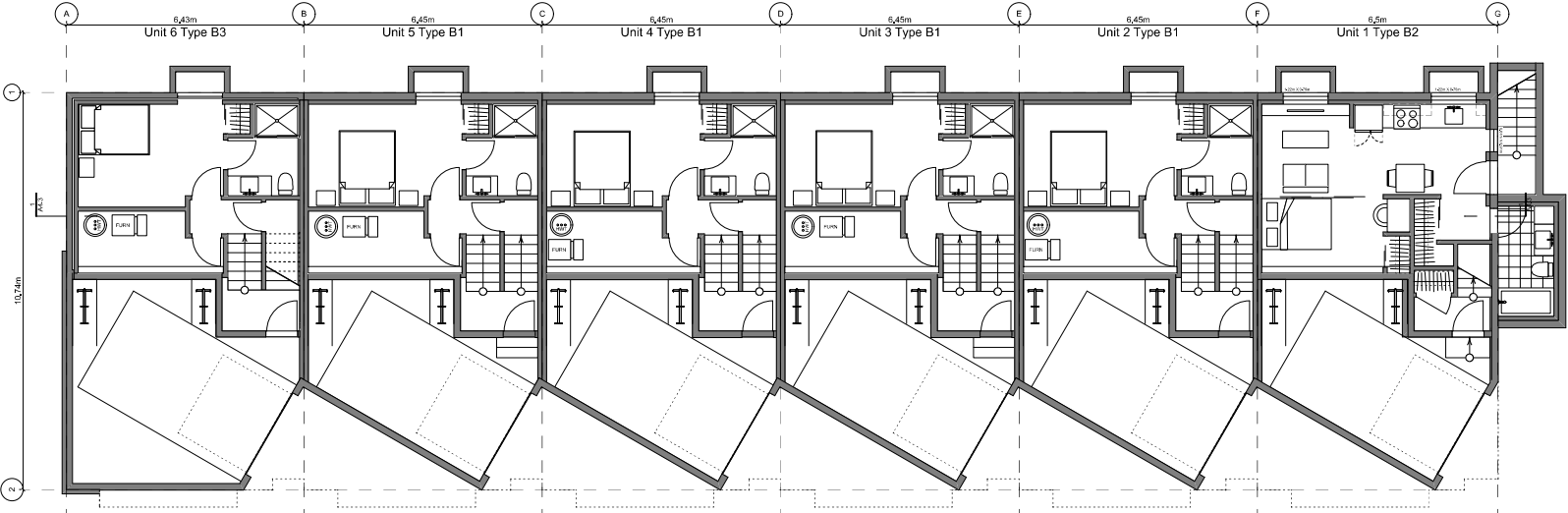
Block 01 Floor Plans

Project Name:
Fairfield-Kipling Development

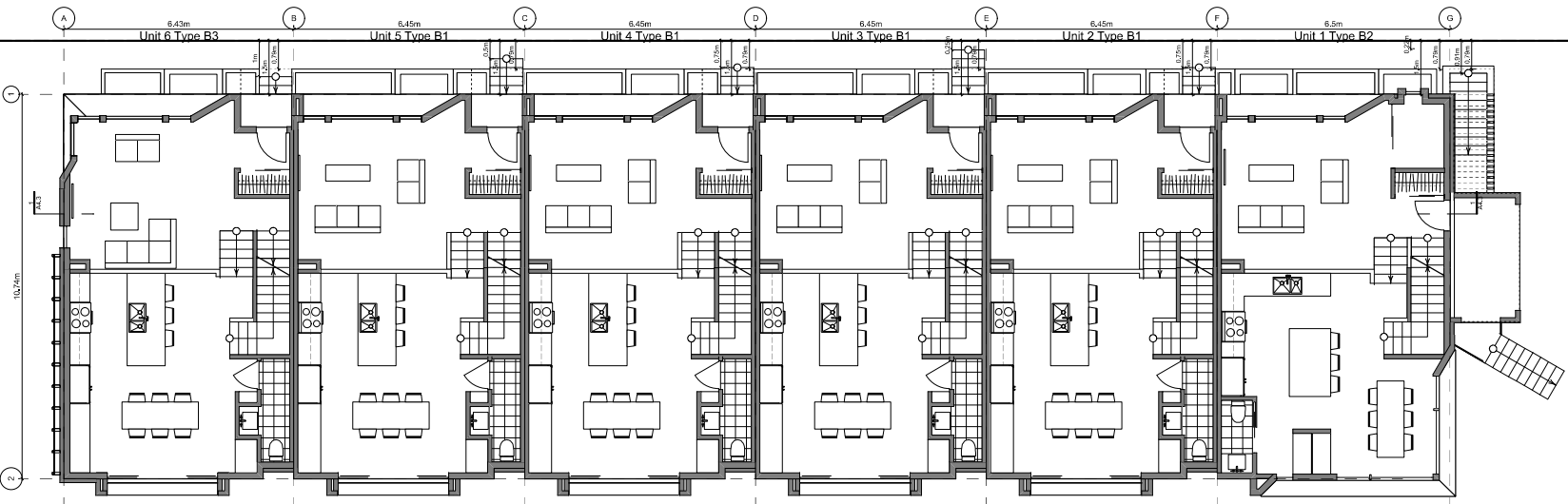
Site: 1400 Fairfield Rd & 349 Kipling St

Legal:
PID: 19,015
Project No: 19,015
Drawn By: SG/TD
PK Date: Oct 2, 2020
Scale: 1:85
Sheet No:

A4.0



2 Basement Floor Plan
Scale: 1:65



3 Main Floor Plan
Scale: 1:65

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

See

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Block 01 Floor Plans

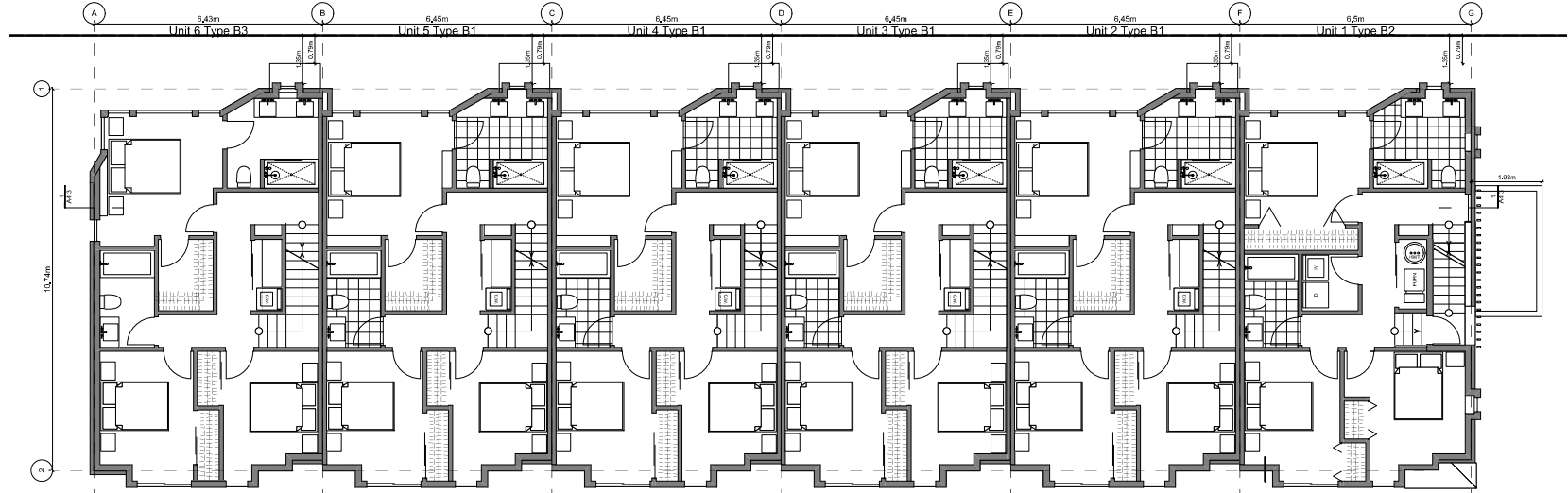
Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

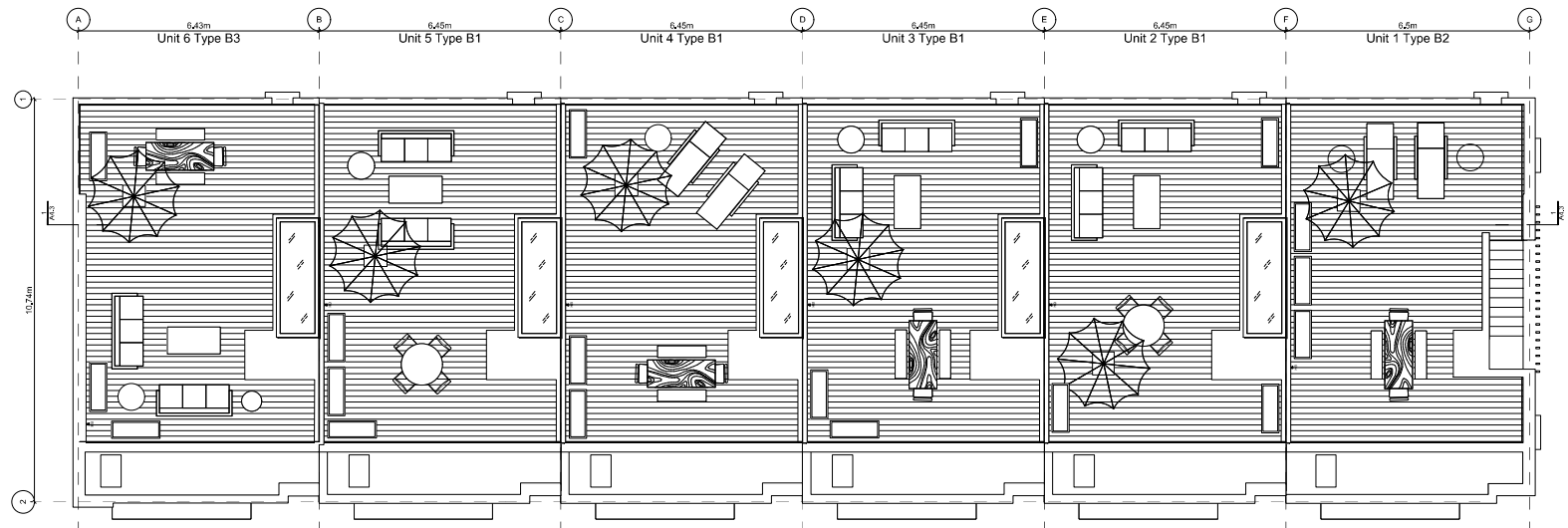
Legal:	
PID:	19,015
Project No:	19,015
Drawn By:	SG/TD
PK Date:	Oct 2, 2020
Scale:	1:85
Sheet No:	

Block Plan Notes:
See unit plans for detailed dimensions and notes.
Grid Lines are to: Dimensions are to:
1) Outside face of plywood or 1) One side of interior stud,
2) Centre line of demising wall. 2) face of plywood, or face of concrete.

FOR DEVELOPMENT APPLICATION ONLY



2 Second Floor Plan
Scale: 1:85



1 Roof Deck Plan
Scale: 1:85

Building Exposure and Spatial Separation (9.10.15.4.)

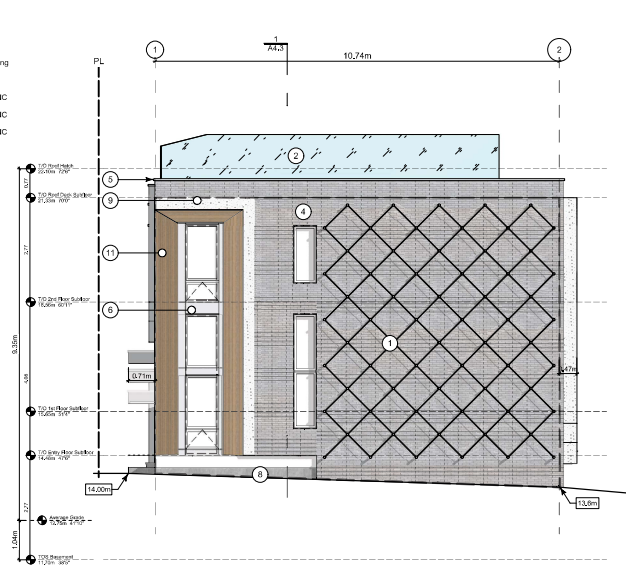
Building Sprinklered to NFPA 13
 5,10,14,27 Max. Aggregate Area of unprotected openings doubled

Compartment	Area of Facade	Limiting Distance	Unprotected Openings	Allowed	Actual	Construction of Building Face	Cladding
North Facade - Unit 1	48,6 m ²	11,23 m to CL of Kipling St.	49,2 %	40,2 %	3Mhr. C	C or NC	
East Facade - Unit 1	79,6 m ²	18,03 m to CL of Thurlow Rd.	100,0 %	11,0 %	3Mhr. C	C or NC	
South Facade - Unit 1	52,8 m ²	5,00 m to PL	52,0 %	21,8 %	3Mhr. C	C or NC	
West Facade - Unit 6	89,7 m ²	3,80 m to CL of Driveway	36,0 %	9,1 %	3Mhr. C	NC	

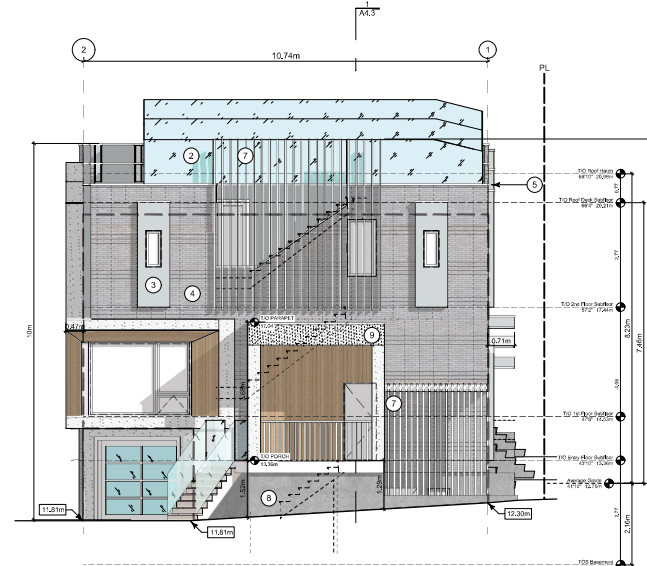
Exterior Materials

No.	Description	Colour / Finishes
1	Cable Trellis c/v Vines	See Landscape Drawings
2	Glass Railing	Glass Guardrail with White Aluminum Frame
3	Hardie Panels	Grey
4	IXL Brick	Light Grey
5	Metal Cap Flashing	White
6	Metal	Silver or White
7	Metal Screen	-
8	Parged Concrete	-
9	Stucco	White
10	Window Frame	Silver or white
11	Wood Grain Cladding	Wood Grain

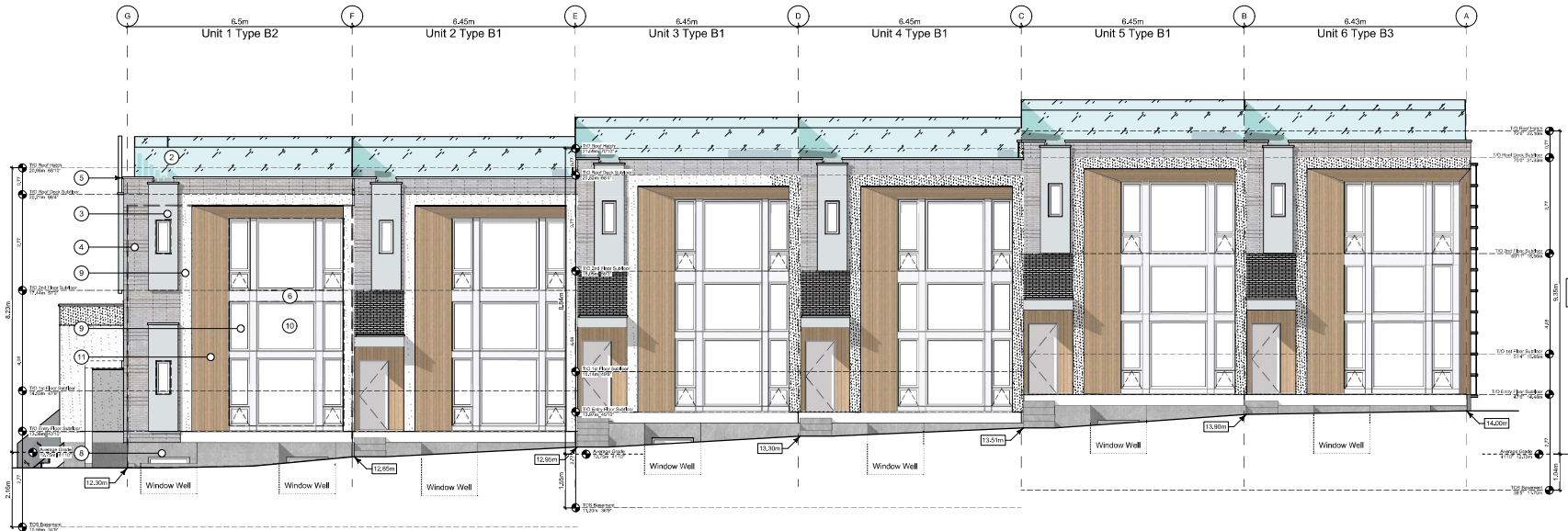
All Materials as noted or approved equal



2 West Elevation - Driveway
Scale: 1:85



1 East Elevation - Thurlow Road
Scale: 1:85



3 North Elevation - Kipling Street
Scale: 1:85

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

See

Issue	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Block 01 Elevations

Project Name:

Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

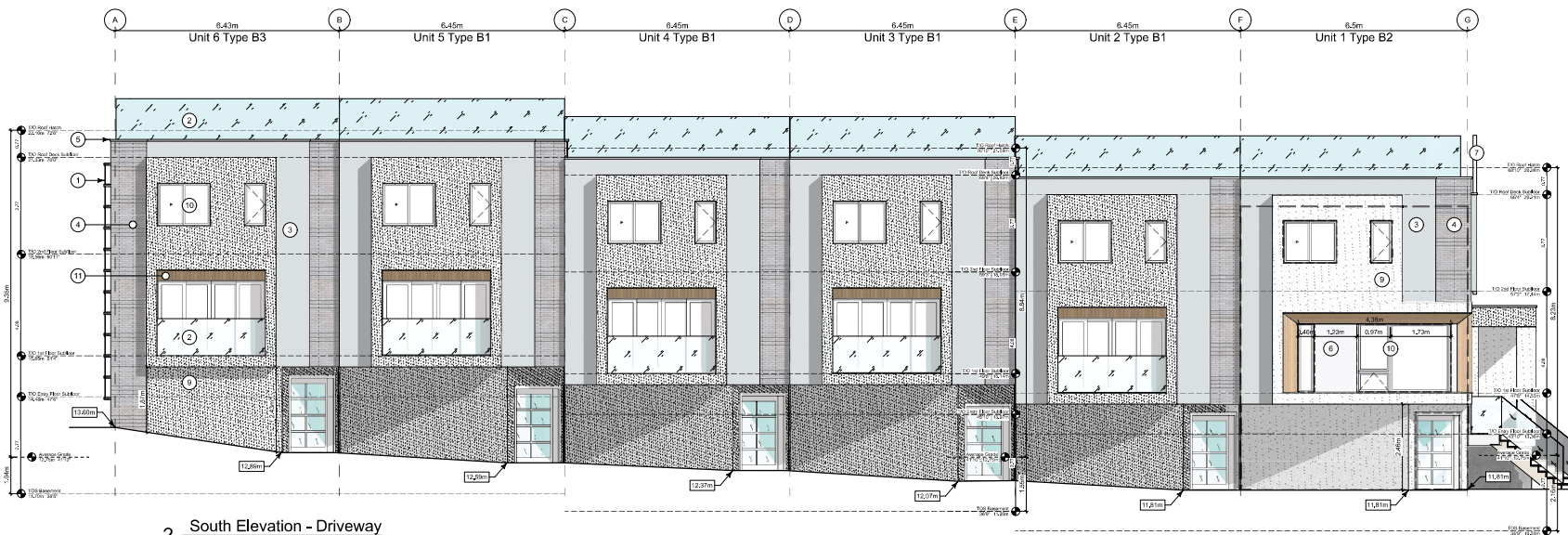
Project No: 19,015

Drawn By: SG/TD

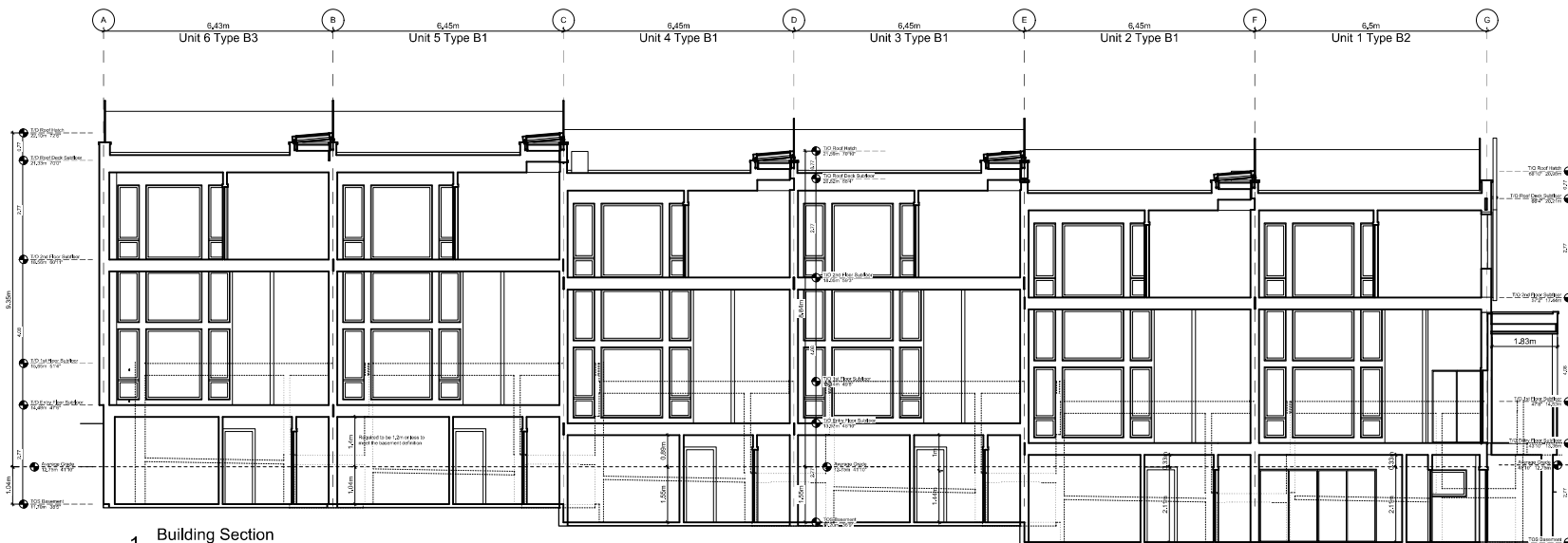
PK Date: Oct 2, 2020

Scale: 1:85

Sheet No:



2 South Elevation - Driveway
Scale: 1:85



1 Building Section
Scale: 1:85

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Date	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Block 01 Elevations

Project Name:	Fairfield-Kipling Development
Site:	1400 Fairfield Rd & 349 Kipling St
Legal:	
PID:	19,015
Project No:	19,015
Drawn By:	SG/TD
PK Date:	Oct 2, 2020
Scale:	1:85
Sheet No:	

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Issue	Issued for
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-03-21	Revised & Re-issued for DP

Block 02 Floor Plans

Project Name:

Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:
PID: 19,015
Project No: 19,015
Drawn By: SG/TD
PK Date: Oct 2, 2020
Scale: 1:85
Sheet No:

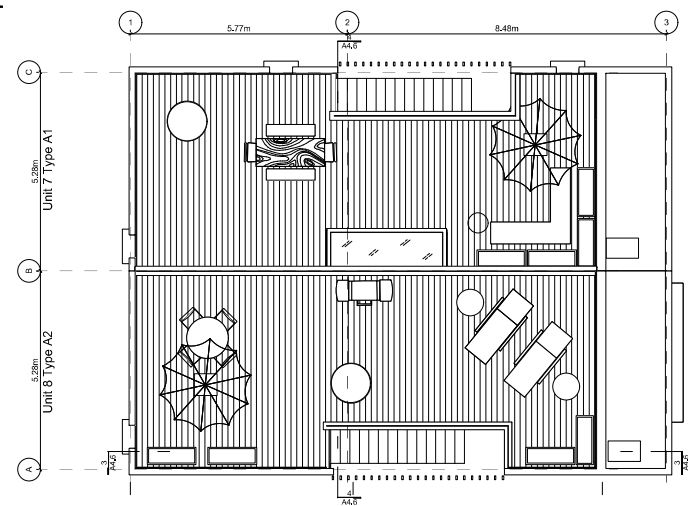
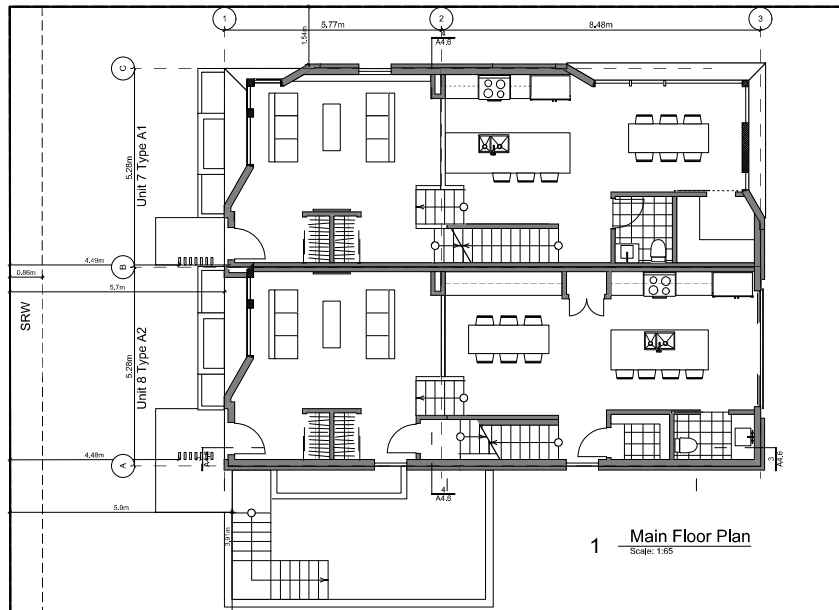
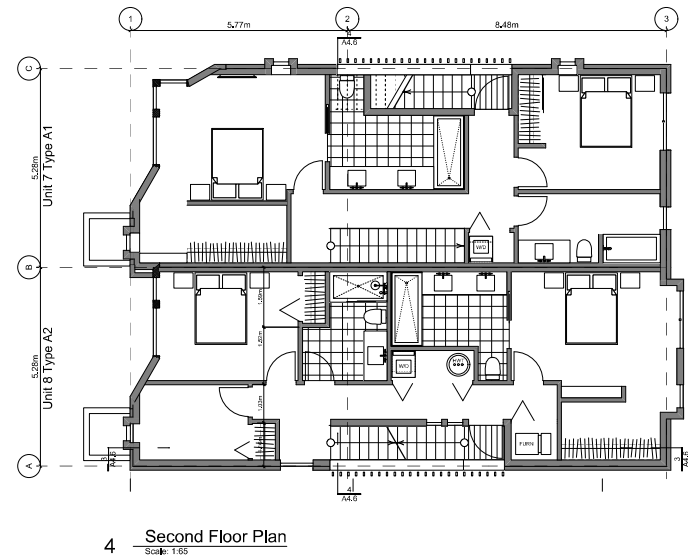
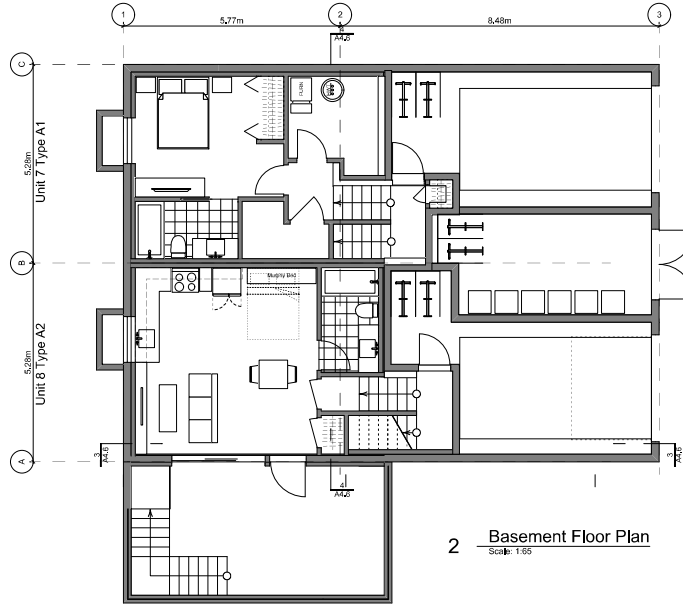
A4.4

Block Plan Notes:

See unit plans for detailed dimensions and notes.

Grid Lines are to: Dimensions are to:
1) Outside face of plywood or 1) One side of interior stud,
2) Centre line of demising wall. 2) face of plywood, or face of concrete.

FOR DEVELOPMENT APPLICATION ONLY



Building Exposure and Spatial Separation (9.10.15.4.)

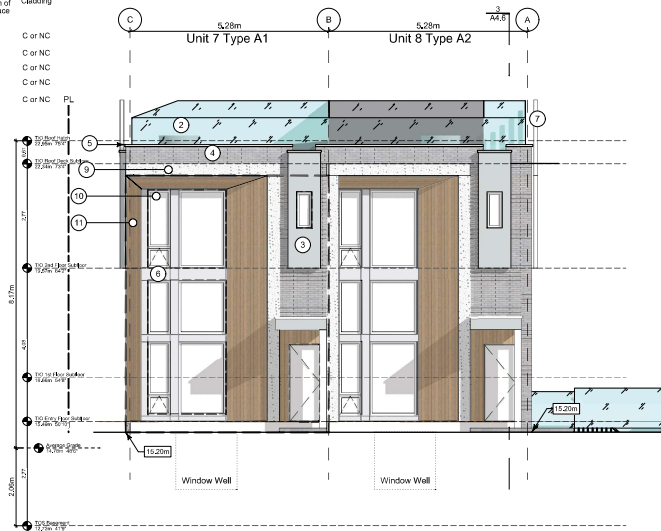
Building Sprinklered to NFPA13

Compartment	Area of Facade	Limiting Distance	Unprotected Openings	Construction of Building Face	Cladding
North Facade	107.4 m ²	11.37 m to C/L Kipling St.	Allowed	Actual	C
East Facade	A 39.1 m ² B 7.2 m ²	3.80 m to C/L Kipling St.	28.2 % 36.3 %	14.0 % 50.7 %	C C
South Facade	106.4 m ²	5.14 m to PL	16.0 %	8.1 %	C
West Facade	36.8 m ²	15.06 m to C/L Fairfield Rd.	100.0 %	37.4 %	C

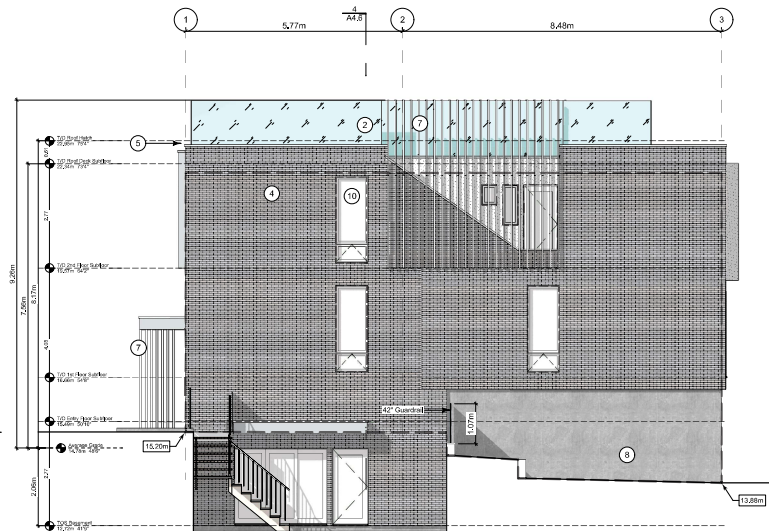
Exterior Materials

No.	Description	Colour / Finishes
1	Cable Trellis c/v Vines	See Landscape Drawings
2	Glass Railing	Glass Guardrail with White Aluminum Frame
3	Hardie Panels	Grey
4	h-XL Brick	Light Grey
5	Metal Cap Flashing	White
6	Metal	Silver or White
7	Metal Screen	-
8	Parged Concrete	-
9	Stucco	White
10	Window Frame	Silver or white
11	Wood Grain Cladding	Wood Grain

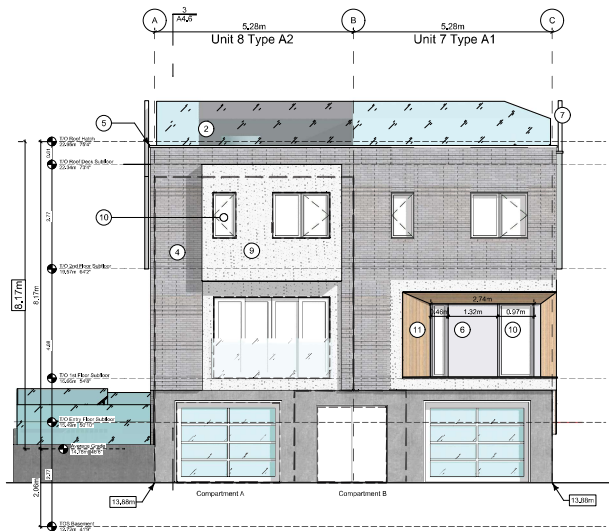
All Materials as noted or approved equal



4 West Elevation - Fairfield Road
Scale: 1:85



1 South Elevation
Scale: 1:85



3 East Elevation - Driveway
Scale: 1:85



2 North Elevation - Kipling Street
Scale: 1:85

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Seal

Revised & Re-issued for DP
2019-05-19 Issued for DP
2019-09-16 Revised & Re-issued for DP
2019-10-21 Revised & Re-issued for DP
2019-12-12 Revised & Re-issued for DP
2020-01-29 Revised & Re-issued for DP
2020-02-21 Revised & Re-issued for DP

Project Name:

Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

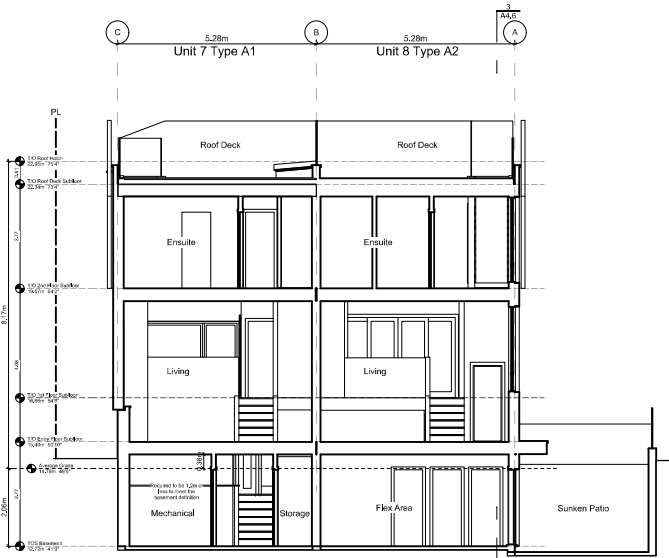
Project No: 19_015

Drawn By: SG/TD

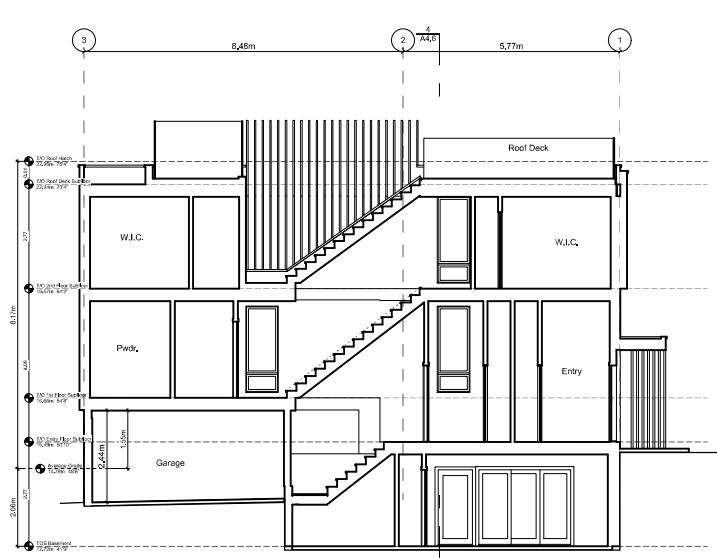
Plot Date: Oct 2, 2020

Scale: 1:85

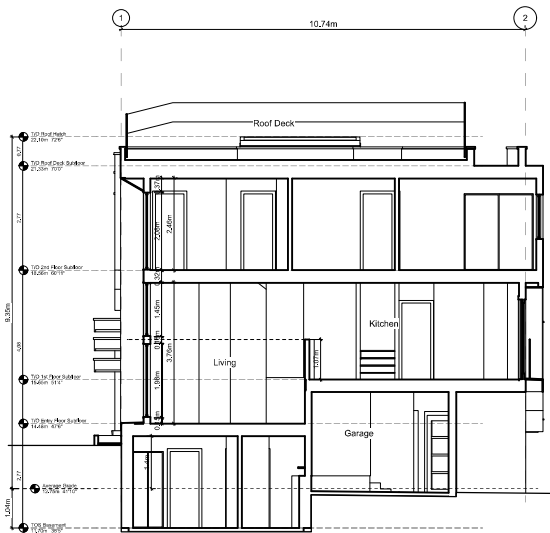
Sheet No:



4 Block 2 Section
Scale: 1:85



3 Block 2 Unit 8 Section
Scale: 1:85



2 Block 1 Unit 5 Section
Scale: 1:85

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Issue	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Block 01 & 02 Sections

Project Name:
Fairfield-Kipling Development

Site: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID: 19,015

Project No: 19,015

Drawn By: SG/TD

PK Date: Oct 2, 2020

Scale: 1:85

Sheet No:

Year	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Climatic Data for the City of Victoria

December 10 2018 (BCBC 2018)

The following climatic data shall be used within the boundaries of the City of Victoria.

Design Temperature			Degree Days			
January		July 2.5%		Below 18°C		
2.5% °C	1% °C	Dry °C	Wet °C			
-4	-6	24	17	2700		

15 Min. Rain, mm	One Day Rain, 150 mm	Ann. Rain, mm	Moist. Index	Ann. Tot. Pcp., mm	Driving Rain Wind Pressure, Pa, 1/5
9	91	800	0.98	825	220

Snow Load kPa, 1/50			Hourly Wind Pressures, kPa		
S _s	S _i	S _e	S _s	S _i	S _e
1.5	0.3	0.44	0.57		

Seismic Data					
S _s (0.2)	S _i (0.5)	S _s (1.0)	S _i (2.0)	S _s (5.0)	S _i (10.0)
1.30	1.16	0.676	0.399	0.125	0.044

Alternatively site specific climatic data from Environment Canada can be used. Environment Canada can be emailed at climate.services@ec.gc.ca to obtain site specific climatic data. There is a user fee for providing site specific climatic data from Environment Canada.

Assemblies General Notes:
These assemblies have been selected in accordance with BCBC 2018 and in coordination with the project consultants. The contractor is to be compliant with all these requirements, any deviations will not be accepted without prior approval and coordination.

Abbreviations
FRR = Fire Resistance Rating
VB = Vapour Barrier
FG = Fiber Glass
MB = Moisture Barrier
AB = Air Barrier
OC = On Centre

STC = Sound Transmission Class
GWB = Gypsum Wall Board
EPS = Extruded Polystyrene Rigid Insulation (Roxul QIS or equivalent)
RSI = Resistance Systeme International
IC = Impact Insulation Class
UV = Ultraviolet
ULC = Underwriters Laboratories of Canada

Roof Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36, Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI Area %	RSI eff. (m ² -K)/W	R-value	FRR	STC
R1.0 Insulated Roof (Outboard Insulation) All roofing work to RCABC (weaver guarantee standards, Roof Covering to have A, B, or C classification as per CANULC-5107 Exterior Air Film Torch On Built Up Membrane Protection Board 4" Expanded polystyrene Type 2 Slope 1% drain 5/8" T&G Plywood sheathing (See structural) 11.78" TJI joists (see structural) 1 Layer 5/8" GWB Interior Air Film Softi - See elevations	REQUIRED: 4.67	PROVIDED: 4.84	26.52	-	-
R1.1 Roof Cavity Fire Separation 11.78" TJI Rated Rim Board (see structural)	REQUIRED: -	PROVIDED: -	-	1 HR	-
R2.0 Insulated Roof (Spray Foam) All roofing work to RCABC (weaver guarantee standards, Roof Covering to have A, B, or C classification as per CANULC-5107 Exterior Air Film Torch On Built Up Membrane 5/8" T&G Plywood sheathing (See structural) Cross Strapping slope to drain 11.78" TJI joists (see structural) 6.2" Medium Density Closed Cell Spray Foam Insulation 1 Layer 5/8" GWB Interior Air Film Softi - See elevations	REQUIRED: 4.67	PROVIDED: 5.21	26.52	29.60	-
R3.0 Uninsulated Roof All roofing work to RCABC (weaver guarantee standards, Roof Covering to have A, B, or C classification as per CANULC-5107 Torch On Built Up Membrane 5/8" T&G Plywood sheathing (See structural) 11.78" TJI joists (see structural) Softi - See elevations	REQUIRED: -	PROVIDED: -	-	-	-
R4.0 Roof Deck Exterior Air Film Floating Wood Deck Boards on 2x4 Slicers DELTA MS - 610' dimpled membrane Torch On Built Up Membrane 5/8" T&G Plywood sheathing (see structural) Cross Strapping slope to drain 11.78" TJI joists (see structural) 6.2" Medium Density Closed Cell Spray Foam Insulation Resident metal channels @ 24" OC perpendicular to joists 1 Layer 5/8" type X GWB Interior Air Film	REQUIRED: 4.67	PROVIDED: 5.21	26.52	29.60	-
MB Torch On Built Up Membrane 5/8" T&G Plywood sheathing (see structural) Cross Strapping slope to drain 11.78" TJI joists (see structural) 1 Layer 5/8" GWB			0.03	0.17	
AB, VB 6.2" Medium Density Closed Cell Spray Foam Insulation 1 Layer 5/8" type X GWB			2.56	9.0%	4.98
			0.10	0.55	
			0.11	0.62	

Floor Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36, Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI Area %	RSI eff. (m ² -K)/W	R-value	FRR	STC
F1.0 Wood Floor Finish Flooring to Owners spec 5/8" T&G plywood sheathing (see structural) 11.78" TJI joists (see structural) 1 Layer 5/8" GWB	REQUIRED: -	PROVIDED: -	-	-	-
F1.1 Insulated Wood Floor Interior Air Film Finish Flooring to Owners spec 5/8" T&G plywood sheathing (see structural) 11.78" TJI joists (see structural) 6.2" Rigid R24 Foam Insulation Bolted in place. Softi - See elevations Exterior Air Film	REQUIRED: 4.67	PROVIDED: 5.48	26.52	31.13	-
AB, VB 6.2" Rigid R24 Foam Insulation Bolted in place. Softi - See elevations Exterior Air Film			2.56	9.0%	5.19
			0.10	0.57	
			0.03	0.17	
F2.0 Concrete Slab On Grade 4" Reinforced concrete slab (see structural) 10 ml UV VB 6" Expanded granular fill (see structural) native soil	REQUIRED: -	PROVIDED: -	-	-	-

Exterior Wall Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36, Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI Area %	RSI eff. (m ² -K)/W	R-value	FRR	STC
W1.0 CIP Concrete Below Grade Free drainage back fill (See geotechnical) DELTA MS - 610' dimpled membrane Waterproofing built as per manufacturer's recommendation 4" Reinforced type II or III concrete wall (see structural) 2x2 Framing @ 24" OC (Service Cavity) 1 Layer 1/2" GWB Interior Air Film	REQUIRED: 1.99	PROVIDED: 2.58	11.30	14.73	-
W2.0 Wood Stud Wall Exterior Air Film Cladding (See Elevations) 3/8" x 1 1/2" PT Sheathing 18" OC 2 Layers 30min building paper 1/2" Fibreglass Sheathing 2x6 Framing 16" OC (See structural) R22 FG Batt Insulation framing cavity 1 Layer 5/8" type X ULC rated GWB Interior Air Film	REQUIRED: 2.74	PROVIDED: 3.04	15.36	17.24	-
W3.0 Curtain Wall 6" Deep 1" Insulating double pane exterior glazing 4" Structural Aluminum Mullion	REQUIRED: -	PROVIDED: -	-	-	-
AB, VB 6" Expanded polystyrene 1 Layer 5/8" type X ULC rated GWB Interior Air Film			0.03	0.17	
			0.15	0.85	
			0.19	1.02	
			0.08	0.45	
			0.12	0.68	
			1.19	0.23	2.29
			3.87	0.77	14.66
			-	-	-
			0.09	0.51	
			0.12	0.68	

Interior Wall Assemblies

Assembly	RSI Area %	RSI eff. (m ² -K)/W	R-value	FRR	STC
W4.0 Suite to Suite (Demising Wall) BCBC 2018 Table A10.1.2.1.1 A W1.0 1 Layer 5/8" type X ULC rated GWB 2x4 stud framing @ max 16" OC (see structural) 3 1/2" FG Batt Insulation (One side Only) 1" air space 2x4 stud framing @ max 16" OC (see structural) 1 Layer 5/8" type X ULC rated GWB *When noted as shear wall, 1 Layer 1/2" plywood (see structural)	REQUIRED: -	PROVIDED: -	-	1 HR	50
W5.0 Non-Load Bearing Partition 1/2" GWB both sides of 2x4 or 2x6 stud framing ** see plans for location of 2x6 wall to accommodate services ** 3 1/2" FG Batt Insulation @ bathroom walls	REQUIRED: -	PROVIDED: -	-	-	-
W5.1 Load Bearing Partition ** Refer to structural drawings for location of load bearing & Shear Walls 1 Layer 5/8" type X ULC rated GWB both sides of 2x4 or 2x6 stud framing (see structural 16" OC Max) ** see plans for location of 2x6 wall to accommodate services ** 3 1/2" FG Batt Insulation @ bathroom walls	REQUIRED: -	PROVIDED: -	-	1 HR	-



View from Kipling Street at Thurlow Road looking West



View from Kipling Street Looking West



View from Kipling Street Looking South



View from Thurlow Road at Access

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Scale

Issue	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-issued for DP
2019-10-21	Revised & Re-issued for DP
2019-12-12	Revised & Re-issued for DP
2020-01-29	Revised & Re-issued for DP
2020-02-21	Revised & Re-issued for DP

Concept Renderings

Project Name:

Fairfield-Kipling Development

Site: 1400 Fairfied Rd & 349 Kipling St

Legal:

PID: 19,015

Drawn By: SG/TD

Plt Date: Oct 2, 2020

Scale: NTS

Sheet No:



View from Kipling Street Looking South



View from Drive Isle



View from Fairfield Road Looking East



View from Kipling Street South East

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Scale

Issue	Issued for DP
2019-05-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-09-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP
2020-04-29	Revised & Re-Issued for DP
2020-08-21	Revised & Re-Issued for DP

Concept Renderings

Project Name:

Fairfield-Kipling Development

Site: 1400 Fairfied Rd & 349 Kipling St

Legal:

PID: 19,015

Drawn By: SG/TD

Plt Date: Oct 2, 2020

Scale: NTS

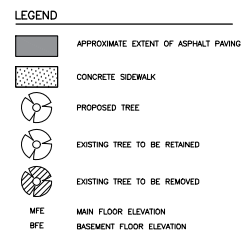
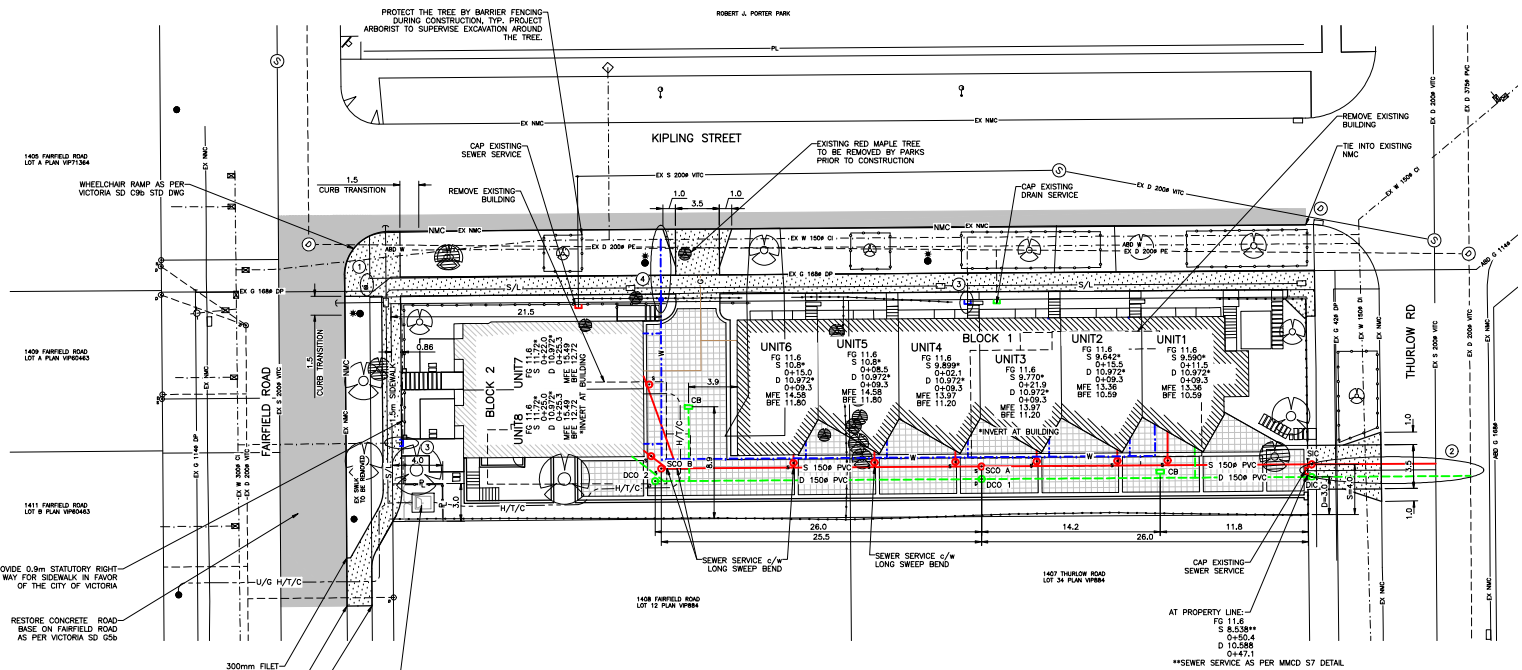
Sheet No:

- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BEB ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG FAIRFIELD ROAD, KIPLING STREET, AND THURLOW ROAD DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING WORKS REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

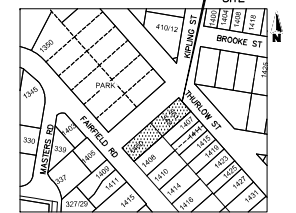
- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE TO MMCD STD DWS S7-150W PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150W PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND BCS FOR 200mm DIAMETER AND INCLUDING 150mm DIAMETER TO BE 2.5% APPROVED PVC CONSTRUCTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL, AND SIZE OF ENCOUNTERED SEWER AND DRAIN PIPES FOR THE AS CONSTRUCTED DRAWINGS.
 - THE CITY OF VICTORIA TO INSTALL 150W SEWER CONNECTION AND 150W DRAIN CONNECTION TO THE PROPERTY LINE COMPLETE WITH INSPECTION CHAMBERS AT THE DEVELOPER'S EXPENSE.
 - CAP EXISTING SEWER AND DRAIN SERVICES THAT HAVE BEEN ABANDONED AND HAVE THE CAPPING WITNESSED BY THE PLUMBING INSPECTOR PRIOR TO BACKFILL.
 - PROVIDE CLEANOUTS ON DRAIN AND ON SEWER SERVICES WITHIN 1m OF BUILDING.
- WATER**
- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 150mm MINIMUM COVER.
 - CONTRACTOR TO TEST, CHLORINATE, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER. CHLORINATION AND DISINFECTION TO AWWA D100.
 - CONTRACTOR TO ENSURE CHLORINE SOLUTIONS ARE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEANS CANADA REGULATIONS PRIOR TO DISCHARGING TO ANY DRAINAGE COURSE.
 - THE CITY OF VICTORIA TO CAP AND ABANDON EXISTING SEWER AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA TO INSTALL WATER SERVICE CONNECTION C/W METER TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.

- ROAD**
- CONSTRUCT ALL ROADWAYS AND CURB OF SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
 - THE CITY OF VICTORIA SHALL RE-ESTABLISH EXISTING CONTROL MONUMENT (9-68) AT THE DEVELOPER'S EXPENSE.
- PARKS**
- PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
 - OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
 - THE PROJECT ARCHITECT TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING FOR EXISTING TREE. THE PROJECT ARCHITECT TO SUPERVISE EXCAVATION AROUND THE TREE.
 - THE ARCHITECT TO DETERMINE THE SENSITIVE ROZONES AREAS AND BE ONSITE TO SUPERVISE TREES AND ROAD CONSTRUCTION.

- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS**
- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - LOT TO BE SERVICED UNDERGROUND.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT HYDRO, TELEPHONE AND CABLES AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE'S STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTIS BC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL.



CONCEPTUAL PLAN



LOCATION PLAN
N.T.S.
PROPOSED SUBDIVISION OF LOT 13 AND 35, BOTH ON FAIRFIELD FARM ESTATE, PLAN VP884, VICTORIA CITY.



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS.

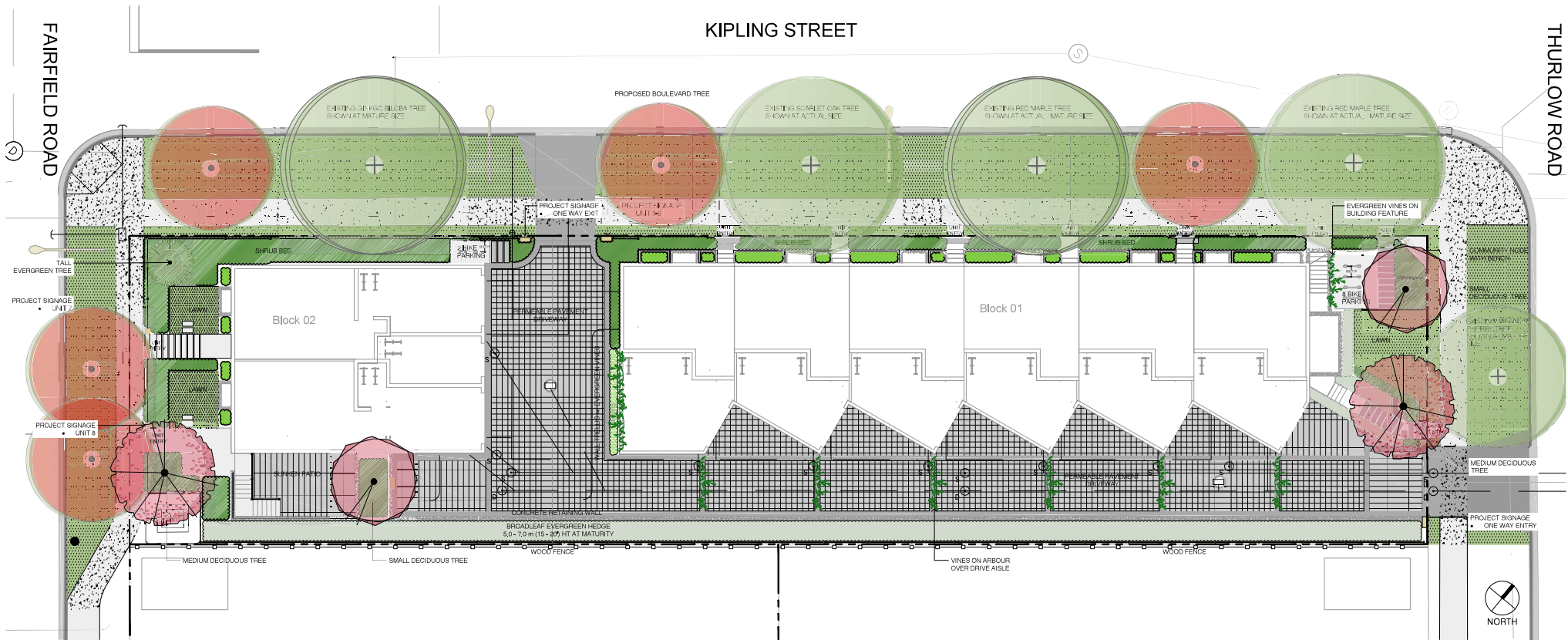
LEGEND		SEAL	
WATER	W	MANHOLE	⊙
SEWER	S	HYDRANT	⊕
DRAIN	D	MONUMENT	⊕
EXISTING U/G UTIL.	---	CLEANOUT	⊙
PROPOSED U/G UTIL.	---	CATCH-BASIN	⊕
LIGHT STANDARD	⊙	METER	⊕
POWER POLE	⊙	REDUCER	⊕
EDGE PAVEMENT	---	LEAD PLUG	⊕
BUSHLINE	---		
HEADWALL	---		

REVISIONS	
2	ARCHITECTURAL REVISION
1	REVISED AS PER CDV COMMENTS

DESIGNED	IK
DRAWN	IV
CHECKED	
DATE	OCTOBER 2019
B.M.	9-08
K. ELEV.	15,742
SCALE	Horz. 1:200
Vert.	

WESTBROOK Consulting Ltd.
#115 - 866 GoBstroom Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT 349 & 351 KIPLING STREET
WESTBROOK PRODUCT No. 3455
BREIA HOLDINGS LTD.
GOVERNING AUTHORITY FILE No.
SITE PLAN
GENERAL NOTES
SHEET 1 OF 2
REV. 1
WESTBROOK DRAWING No. 3455-02



LEGEND

<ul style="list-style-type: none"> MUNICIPAL CONCRETE SIDEWALK CONCRETE DRIVEWAY APRON DRIVEWAY/PATIO <ul style="list-style-type: none"> PERMEABLE INTERLOCKING CONCRETE PAVEMENT CONCRETE RETAINING WALL 	<ul style="list-style-type: none"> CONCRETE SIDEWALK <ul style="list-style-type: none"> MEDIUM SANDBLAST OR LIGHT BROOM FINISH SAW CUT CONCRETE CRACK CONTROL JOINTS PATH <ul style="list-style-type: none"> CONCRETE PAVERS ABBOTSFORD PIAZZA SERIES SOD DRIVEWAY ARBOUR <ul style="list-style-type: none"> POWDERCOATED STEEL EVERGREEN JASMINE VINE 	<ul style="list-style-type: none"> SHRUB PLANTING - FOUNDATION <ul style="list-style-type: none"> ORNAMENTAL GRASSES PINK RHODODENDRON MEXICAN ORANGE GREEN LAVENDER COTTON SHRUB PLANTING - PLANTER <ul style="list-style-type: none"> IRISH MOSS DANSY BUSH SHRUB PLANTING - HEDGE <ul style="list-style-type: none"> PORTUGAL LAUREL YEW CABLE WALL TRELLIS <ul style="list-style-type: none"> 8.0 m HT (26') EVERGREEN VINES 	<ul style="list-style-type: none"> EXISTING WOOD FENCE <ul style="list-style-type: none"> 9' (1.83 m) HT ON ADJACENT PROPERTY PROPOSED WOOD FENCE <ul style="list-style-type: none"> SEE FENCING PLAN METAL FENCE AND GATE <ul style="list-style-type: none"> SEE FENCING PLAN EXISTING TREE TO BE REMOVED <ul style="list-style-type: none"> SHOWN AT EXISTING SPREAD PROPERTY LINE DESIGNATED BYLAW PROTECTED REPLACEMENT TREE <ul style="list-style-type: none"> QTY: 4 SPECIES AND LOCATION SUBJECT TO PARKS APPROVAL 	<ul style="list-style-type: none"> EXISTING LARGE BOULEVARD TREE <ul style="list-style-type: none"> MAPLE, OAK, GINKGO QTY: 4 EXISTING SMALL BOULEVARD TREE <ul style="list-style-type: none"> CHERRY QTY: 1 	<ul style="list-style-type: none"> PROPOSED BOULEVARD TREE <ul style="list-style-type: none"> SPECIES TO BE SELECTED BY CITY OF VICTORIA TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE QTY: 5 PROPOSED DECIDUOUS SITE TREE <ul style="list-style-type: none"> SMALL - QTY: 2 MEJUNI - QTY: 2 PROPOSED CONIFEROUS SITE TREE <ul style="list-style-type: none"> MEDIUM - QTY: 1 	<p>TREE AND SHRUB QUANTITIES</p> <ul style="list-style-type: none"> EXISTING TREES = 19 <ul style="list-style-type: none"> LARGE DECIDUOUS SPECIES: 8 LARGE CONIFEROUS SPECIES: 7 SMALL DECIDUOUS SPECIES: 4 EXISTING TREES TO BE REMOVED = 14 <ul style="list-style-type: none"> LARGE DECIDUOUS SPECIES: 3 LARGE CONIFEROUS SPECIES: 7 SMALL DECIDUOUS SPECIES: 4 EXISTING TREES TO BE RETAINED = 5 <ul style="list-style-type: none"> BOULEVARD TREES: 5 PROPOSED TREES = 10 <ul style="list-style-type: none"> REPLACEMENT BOULEVARD TREES: 5 CONIFEROUS TREE: 1 DECIDUOUS TREE: 4 TOTAL NUMBER OF TREES = 15 <ul style="list-style-type: none"> REPLACEMENT BOULEVARD TREES: 5 EXISTING BOULEVARD TREES: 5 CONIFEROUS TREE: 1 DECIDUOUS TREE: 4 TOTAL NUMBER OF PROJECT SHRUBS, VINES AND GROUNDCOVERS = 455
---	---	--	---	--	--	---

ARCHITECTURAL CONCRETE PLANTERS



LANDSCAPE PAVERS



SUNKEN PATIO



CABLE TRELLIS DETAIL



COMMUNITY BENCH



DROUGHT AND DEER TOLERANT POLLINATORS



Brachyglottis greyii



Santolina virens



Lavandula angustifolia

DROUGHT AND DEER TOLERANT GRASSES + SEDGES



Nassella tenuissima



Carex testacea

DROUGHT TOLERANT EVERGREEN



Juniperus scopulorum "Blue Arrow"

WEeping ROSEMARY



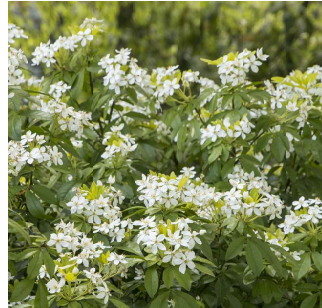
Rosmarinus officinalis 'Prostratus'

CLIMBING VINE



Jasminum polyanthum

HEDGING MATERIAL



Choisya ternata



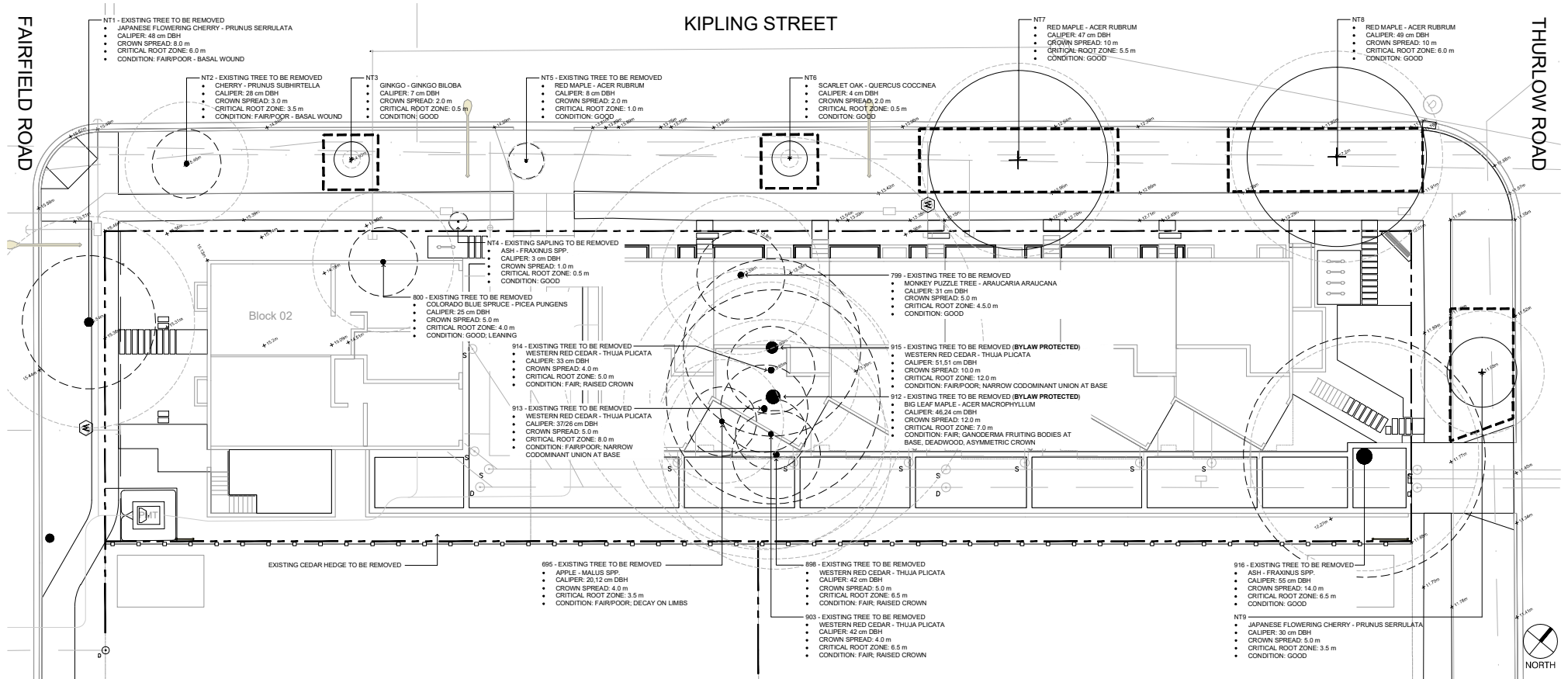
Sarcococca confusa



Prunus lucitanica



Taxus x media 'Hicksii'



LEGEND

- CONCRETE SIDEWALK
- SOD BOULEVARD
- PROPERTY LINE
- TREE PROTECTION FENCING
 - TO OUTSIDE OF DRIVELINE WHERE POSSIBLE (AS SHOWN)
 - TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
 - TO CITY OF VICTORIA STANDARD
- EXISTING TREE TO BE RETAINED
 - SHOWN AT EXISTING SPREAD
- EXISTING TREE TO BE REMOVED
 - SHOWN AT EXISTING SPREAD
- CRITICAL ROOT ZONE
 - SHOWN AT EXISTING SPREAD

EXISTING TREE QUANTITIES

- EXISTING TREES = 15
 - LARGE DECIDUOUS SPECIES: 8
 - LARGE CONIFEROUS SPECIES: 7
 - SMALL DECIDUOUS SPECIES: 4
- EXISTING TREES TO BE REMOVED = 14
 - LARGE DECIDUOUS SPECIES: 3
 - LARGE CONIFEROUS SPECIES: 7
 - SMALL DECIDUOUS SPECIES: 4
- EXISTING TREES TO BE RETAINED = 5
 - LARGE DECIDUOUS SPECIES: 4
 - SMALL DECIDUOUS SPECIES: 1

BYLAW PROTECTED TREES

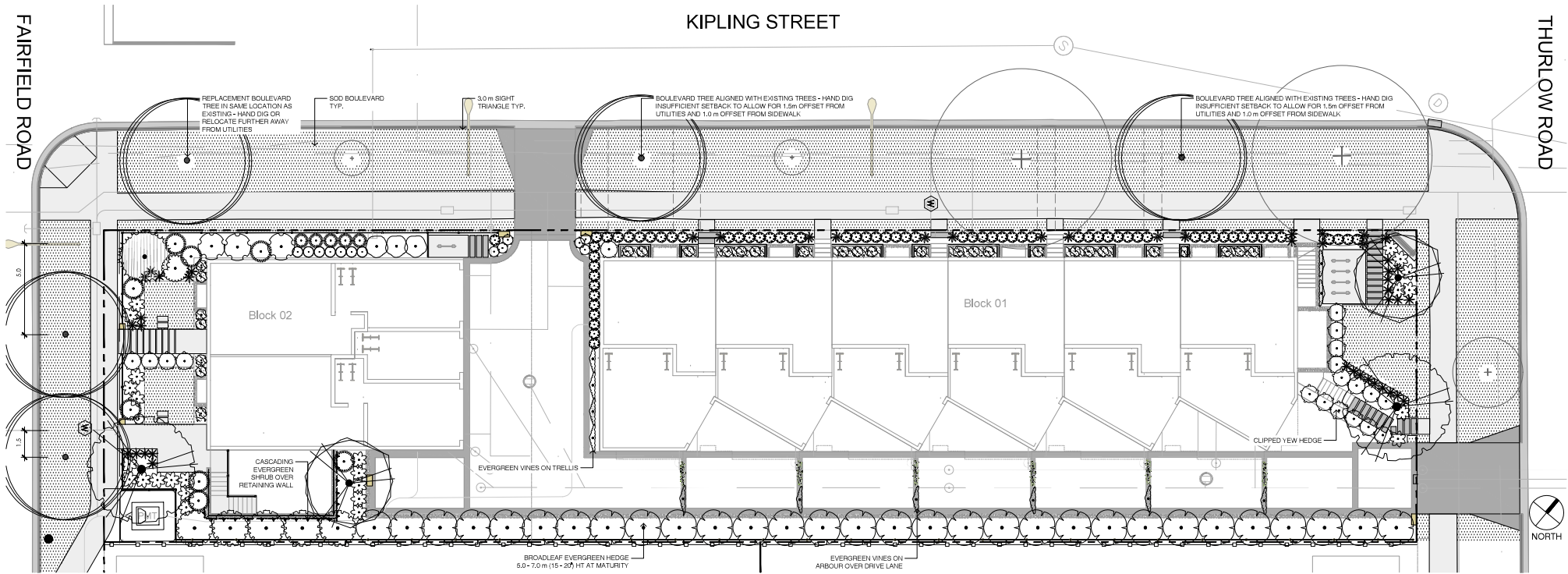
- PROTECTED TREES TO BE REMOVED
- : 2
- DESIGNATED REPLACEMENT TREES REQUIRED: 4

- NOTES**
1. ARBORIST REPORT RECOMMENDS REMOVAL AND REPLACEMENT OF NT1 AND NT2 DUE TO POOR CONDITION, AND NT4 DUE TO ITS UNSUITABLE LOCATION FOR LONG TERM RETENTION
 2. SMALL TREE = UNDER 8.0 m (25') HT. LARGE TREE = UP TO 15.0 m (50') HT

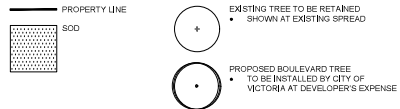
FAIRFIELD ROAD

KIPLING STREET

THURLOW ROAD



LEGEND



- NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.
 2. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO IABC STANDARDS.
 3. ALL PROPOSED BOULEVARD TREES TO HAVE 19cm² MIN. GROWING MEDIUM.
 4. SMALL TREE = UNDER 8.0 m HT. MEDIUM TREE = UP TO 15.0 m HT.

PLANT SCHEDULE - TREES

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
	2	CERCIDIPHYLLUM JAPONICUM / KATSURA TREE	B#B	60 MM	MEDIUM TREE
	1	CHAMAECYPARIS NOOKATENSIS 'PENDULA' / WEeping NOOKA FALSE CYPRESS	70 MM		LARGE TREE
	2	STYRAX JAPONICUS / JAPANESE SNOWBELL	B#B	90 MM	SMALL TREE

PLANT SCHEDULE - SHRUBS

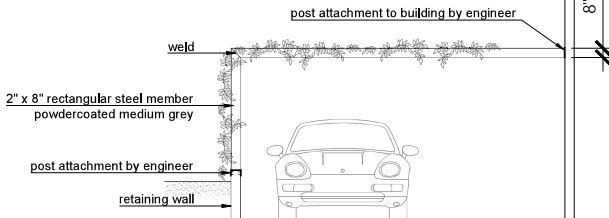
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	30	BRACHYGLOTTIS GREYI / DAISY BUSH	#2 CONT	0.90m
	34	CAREX TESTACEA / CAREX	#1 CONT	0.60m
	5	CHOISYA TERNATA / MEXICAN ORANGE	#3 CONT	2m
	3	HYDRANGEA PANICULATA 'PHANTOM' / PANICLED HYDRANGEA	#3 CONT	1.50m
	12	JASMINUM POLYANTHUM / PINK JASMINE TRELLIS	#1 CONT	1.50m
	7	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER	#5 CONT	0.90m

PLANT SCHEDULE - SHRUBS CONT.

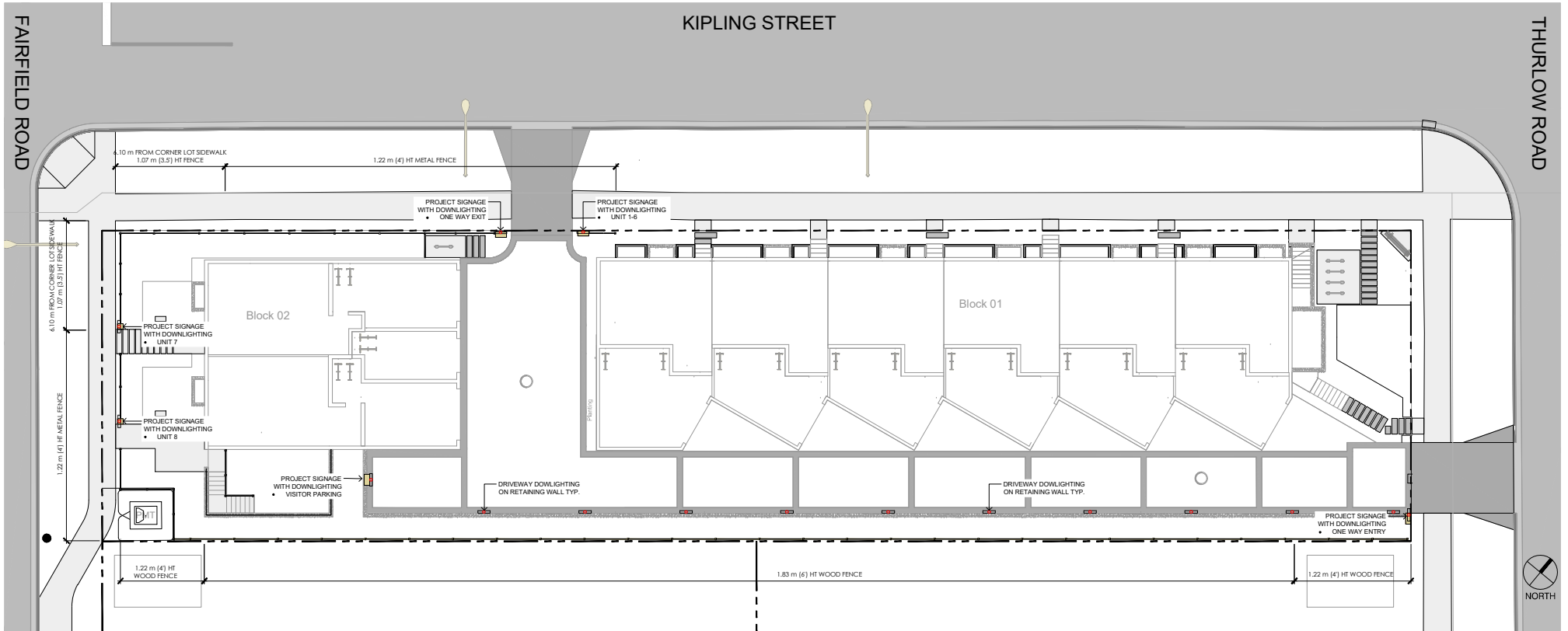
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	7	LAVANDULA X INTERMEDIA 'PROVENCE' / PROVENCE LAVENDIN	#1 CONT	0.60m
	3	LIGUSTRUM VULGARE / PRIVET	#2 CONT	1.20m
	5	MISCANTHUS SINENSIS 'GRAZIELLA' / GRAZIELLA MAIDEN GRASS	#1 CONT	0.60m
	8	MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS	#2 CONT	1.20m
	13	NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS	#1 CONT	0.60m
	30	PRUNUS LUSTANICA / PORTUGAL LAUREL	#5 CONT	2m
	1	RHODODENDRON X 'CHRISTMAS CHEER' / CHRISTMAS CHEER RHODODENDRON	#5 CONT	1.50m
	18	ROSMARINUS OFFICINALIS 'PROSTRATUS' / WEeping ROSEMARY	#1 CONT	0.60m
	67	SANTOLINA VIRENS / GREEN LAVENDER COTTON	#1 CONT	0.60m
	25	SARCOCCOXA CONFUSA / SWEETBOX	#1 CONT	0.90m
	19	TAXUS X MEDIA 'HICKSII' / HICKS YEW	#3 CONT	1m

PLANT SCHEDULE - GROUND COVER

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
	168	SAGINA SUBULATA / IRISH MOSS	PLUG	300mm	



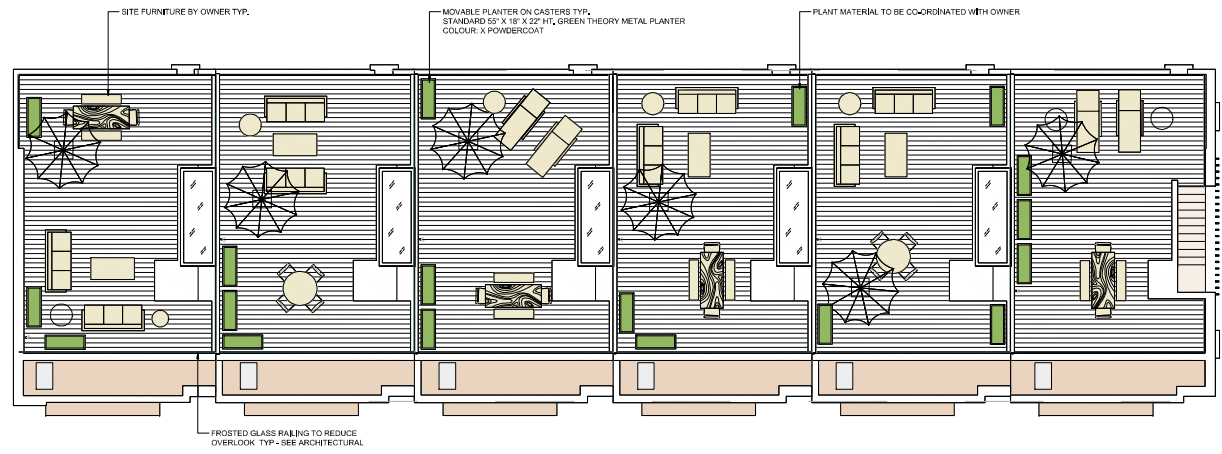
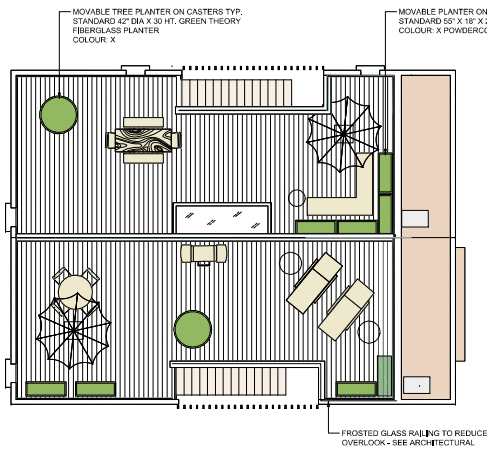
ELEVATION - DRIVE AISLE ARBOUR: NTS



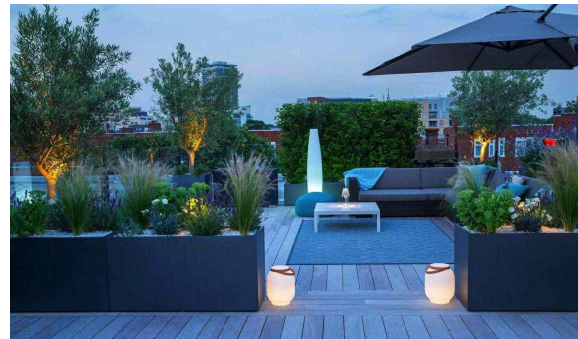
FENCING CHARACTER IMAGE



DOWNLIGHTING CHARACTER IMAGES



ROOFTOP TREES IN PLANTERS



RECTANGULAR PLANTERS