



1 YATES & WHARF VIEW
SCALE =



LOCATION PLAN
SCALE = 1 : 200



2 HARBOUR FACING PATIO VIEW
SCALE =

DRAWING LIST	
ARCHITECTURAL - HAP SET	
A000	COVER SHEET
A003	SITE PLAN & PROJECT DATA TABLE
A004	MATERIALS
A005	WHARF STREET FRONTAGE
A006	DOOR & WINDOW DETAILS
A103	LEVEL 3 - PROPOSED LAYOUT
A301	PROPOSED ELEVATIONS
A401	BUILDING SECTIONS & CONTEXT ELEVATION

PROJECT ADDRESS

1244 Wharf Street
Victoria, BC
V8W 1T8

LEGAL DESCRIPTION

Lot A, Lot 201 Victoria District, Plan
VIP86556 PID 027-882-853

OWNER

**SALIENT (1244 WHARF)
LIMITED PARTNERSHIP**
225-209 Carrall Street
Vancouver, BC
V6B 2J2

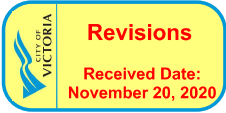
Contact:
Kristine Liu
klu@thesalientgroup.com

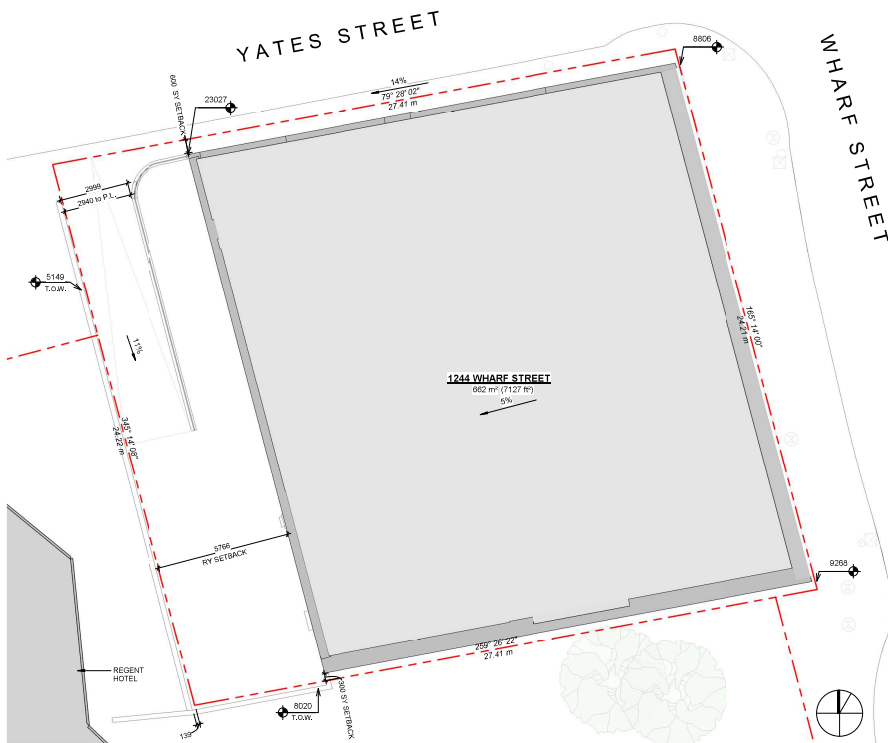
ARCHITECT

CASCADIA ARCHITECTS
101-804 Broughton Street
Victoria, BC
V8W 1E4
250.590.3226

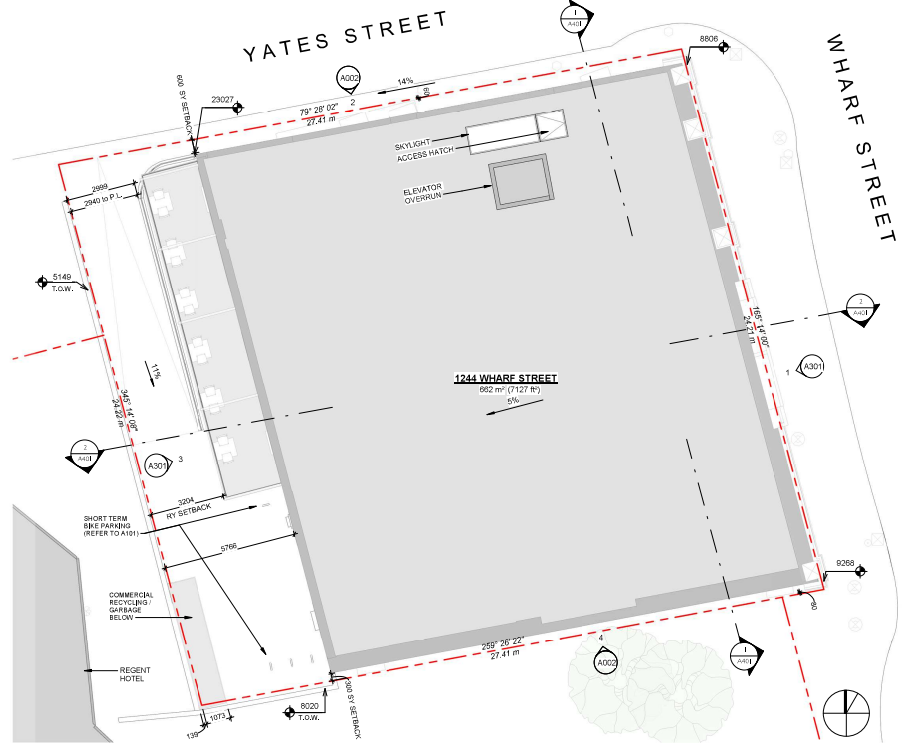
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greg@cascadiaarchitects.ca

Peter Johannknecht AIBC LEED AP
peter@cascadiaarchitects.ca





2 SITE PLAN - EXISTING
SCALE = 1 : 100



1 SITE PLAN - PROPOSED
SCALE = 1 : 100

Site Plan Of:
Lot A, Lot 201,
Victoria District, Plan VIP86556,
P.I.D. 027-882-853

Scale = 1:200

Dated this 30th day of April, 2020.

Distances and elevations shown are in metres.

Elevations are based on geoidetic datum: CGVD2011 and derived from DCM 17-30.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above.

This document shall not be used to define property lines or property corners.

Way Mayenburg Land Surveying Inc.

www.weysurveys.com

44-2222, Avenue White (Southwest)

Surrey, BC V4L 1Z3

Telephone (250) 556-4555

Fax: 18033458104

Strata Plan 962

Top of Wall Elev 4.34

Top of Wall Elev 4.3

Top of Wall Elev 4.25

Top of Wall Elev 4.2

Top of Wall Elev 4.15

Top of Wall Elev 4.1

Top of Wall Elev 4.05

Top of Wall Elev 4.0

Top of Wall Elev 3.95

Top of Wall Elev 3.9

Top of Wall Elev 3.85

Top of Wall Elev 3.8

Top of Wall Elev 3.75

Top of Wall Elev 3.7

Top of Wall Elev 3.65

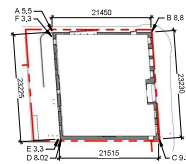
Top of Wall Elev 3.6

Top of Wall Elev 3.55

Top of Wall Elev 3.5

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	RM-1C Zone
TOTAL FLOOR AREA (m²)	1,327.5 m²
COMMERCIAL FLOOR AREA (m²)	774 m²
FLOOR SPACE RATIO	2.0
OPEN SITE SPACE %	18.2%
HEIGHT OF BUILDING (m)	17.77 m
NUMBER OF STOREYS	5
PARKING SPACES (IN SITE)	0
BKE PARKING (P) (SHORT & LONG TERM)	10 SHORT 28 LONG
BUILDING SETBACKS	
FRONT YARD	0 (metretraces)
REAR YARD	3.0m
SIDE YARD (N) TO FACE OF BUILDING	0.00m
SIDE YARD (S) TO FACE OF BUILDING	0.3m
SIDE YARD (S) TO WINDOW PROJECTION	0.00m
COMB. SIDE YARD TO FACE OF BUILDING	0.00m
COMB. SIDE YARD TO WINDOW PROJECTION	0.14m
RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF UNITS	22
UNIT TYPE	BACHELOR
GROUND-ORIENTED UNITS	0
MINIMUM UNIT AREA (m²)	22 m²
TOTAL RESIDENTIAL FLOOR AREA (m²)	688 m²

PROJECT INFORMATION TABLE
SCALE = 1 : 20



4 AVERAGE GRADE
SCALE = 1 : 500

A to B	(5.5m+8.8m)/2 x 21.45m	= 153.37
B to C	(8.8m+8.3m)/2 x 23.23m	= 210.23
C to D	(8.3m+8.0)/2 x 21.52m	= 186.15
D to E	(8.0m+3.3m)/2 x 0.00m	= 0.00
E to F	(3.3m+3.3m)/2 x 23.23m	= 76.66
F to A	(3.3m+5.5m)/2 x 0.00m	= 0.00
TOTAL		626.41

Divided by perimeter: 626.41 / 89.43 = 7.0

Average grade = 7.0m

COMMERCIAL FLOOR AREA		
Name	Area	Department
RETAIL	108 m²	COMMERCIAL
RESTAURANT	34 m²	COMMERCIAL
STORAGE/OFFICE	34 m²	COMMERCIAL
KITCHEN	64 m²	COMMERCIAL
RESTAURANT	144 m²	COMMERCIAL
BAR	144 m²	COMMERCIAL
W.C.	18 m²	COMMERCIAL
W.C.	23 m²	COMMERCIAL
STP	8 m²	COMMERCIAL
STAFF W.C.	3 m²	COMMERCIAL
CRU L1	120 m²	COMMERCIAL
FREESTER	8 m²	COMMERCIAL
COMMODORE	8 m²	COMMERCIAL
STORAGE	19 m²	COMMERCIAL
Grand total	774 m²	

RESIDENTIAL UNIT COUNT		
Number	Area	Department
401	130 m²	BACHELOR
402	131 m²	BACHELOR
403	134 m²	BACHELOR
404	135 m²	BACHELOR
405	139 m²	BACHELOR
406	139 m²	BACHELOR
407	144 m²	BACHELOR
408	135 m²	BACHELOR
409	133 m²	BACHELOR
410	129 m²	BACHELOR
411	122 m²	BACHELOR
501	127 m²	BACHELOR
502	122 m²	BACHELOR
503	135 m²	BACHELOR
504	135 m²	BACHELOR
505	129 m²	BACHELOR
506	129 m²	BACHELOR
507	134 m²	BACHELOR
508	139 m²	BACHELOR
509	134 m²	BACHELOR
510	131 m²	BACHELOR
511	134 m²	BACHELOR
Grand total	608 m²	



RESTORED TO HISTORIC FINISH AS PER CP HERITAGE FINISH SCHEDULE

- 1 EXISTING BRICK - PTD. DARK RED
FLAT FINISH



COLOUR - BM SENNA 2001-20

- 2 EXISTING BRICK - PTD. DARK
GREY FLAT FINISH



COLOUR - BM HADDINGTON GREY VC-15

- 3 EXISTING STONE (SPRINGING
BLOCKS, KEYSTONES, STRING
COURSES, BASE BLOCKS,
CORNICES) - EXISTING PAINT
FINISH STRIPPED



APPROXIMATED COLOUR



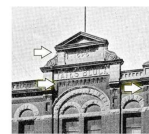
ARCHIVAL PHOTOGRAPH (AFTER 1986 ADDITION)

- 4 EXISTING & NEW WINDOW SASH &
FRAME - PTD. DARK GREEN
SEMI-GLOSS FINISH



COLOUR - BLACK WATCH GREEN

- 5 RESTORED SHEET METAL
CORNICE & PIEDMENT - PTD
FINISH TO MATCH HISTORIC
ELEMENT



ARCHIVAL PHOTOGRAPH

- 6 EXISTING CAP FLASHING - PTD.
DARK GREEN SEMI-GLOSS FINISH



COLOUR - BM COMOX GREEN VC-19

PROPOSED MODERN FINISH

- 11 NEW METAL - DARK CORTEN
STYLE FINISH



COLOUR & TEXTURE

- 12 NEW & EXISTING TRANSPARENT
GLAZING



MULLIONS AND JOINTS FINISHED IN
NEW WINDOWS WITH MODERN
TREATMENT

1	Heritage Alteration Permit Rev 3	NOV 18, 2020
2	Heritage Alteration Permit Rev 1	SEP 30, 2020
3	Heritage Alteration Permit	SEP 30, 2020

NO.	DESCRIPTION	DATE
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Project	1244 WHARF STREET	
	The Silient Group	
	1244 Wharf Street	
Sheet Name	MATERIALS	
Date	NOVEMBER 18, 2020	
Scale	1 : 20	Project #
Revision	NOV 18, 2020	2011
Sheet #	A004	

11/20/2020 7:16:56 AM



EXISTING TRANSOM & MOLDING DOES NOT MATCH SURROUNDING HISTORIC WINDOWS (NEW MOLDING & TRANSOM TO MATCH SURROUNDING SOUND VERSIONS)

RETAIN EXISTING HISTORIC MOLDING (NEW TRANSOM & FRAME TO MATCH SURROUNDING SOUND VERSIONS)

RETAIN EXISTING HISTORIC UPPER TRANSOM, SASH, FRAME & MOLDING

REMOVE EXISTING STOREFRONT WINDOW

REMOVE EXISTING DOOR & TRANSOM

REMOVE EXISTING DOOR, LOWER TRANSOM & CASING

6/7
RETAIN EXISTING HISTORIC WINDOWS

5
PRESERVE MAIN ENTRY/DOOR AND REPAIR AS REQUIRED

4
RETAIN EXISTING HISTORIC WINDOW

3
NEW RESTAURANT/ BAR ENTRANCE (MODERN STEEL FRAME, DOUBLE DOOR & RESTORED 1896 TRANSOM & WOOD FRAME)

2
NEW RESTAURANT/ BAR ENTRANCE (MODERN STEEL FRAME, DOUBLE DOOR & RESTORED 1896 TRANSOM & WOOD FRAME)

1
RESTORE HISTORIC 1896 OPENING & WINDOW (MATCH HISTORIC STYLE AND FINISH)



REMOVE ALL REDUNDANT METAL INSERTS & SERVICES - NEW WALL SCONCES TO HIGHLIGHT HISTORIC PILASTER RHYTHM

EXISTING MOLDING RETAINED, PAINTED TO MATCH HISTORIC WINDOW FRAMES (DARK GREEN)

RESTORED MOLDING TO MATCH SURROUNDING SOUND VERSIONS, PAINTED TO MATCH HISTORIC WINDOW FRAMES (DARK GREEN)

REMOVE EXISTING BRICK & STONE SILL

NOTCH EXISTING STONE STEP

REMOVE EXISTING DOOR & FILL OPENING WITH IN KIND BRICK & STONE

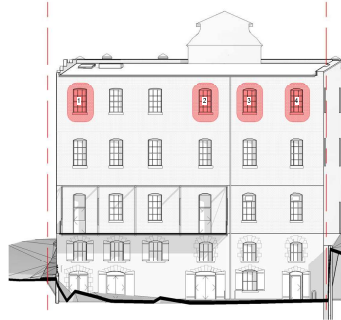
APPROX. AREA OF COV RIGHT OF WAY REGRADING

1	Heritage Alteration Permit Rev 3	NOV 18, 2020
2	Heritage Alteration Permit Rev 1	SEP 30, 2020
3	Heritage Alteration Permit Rev 1	SEP 30, 2020
NO.	DESCRIPTION	DATE



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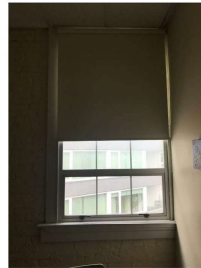
Project		
1244 WHARF STREET		
The Silent Group 1244 Wharf Street		
Sheet Name		
WHARF STREET FRONTAGE		
Date		
NOVEMBER 18, 2020		
Scale		
Project #		
2011		
Revision		
NOV 18, 2020		
Sheet #		
A005		



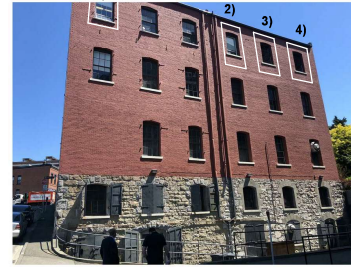
5 WEST ELEVATION - NEW WINDOW REFERENCE
SCALE = 1 : 200



1)



2)



3) & 4)

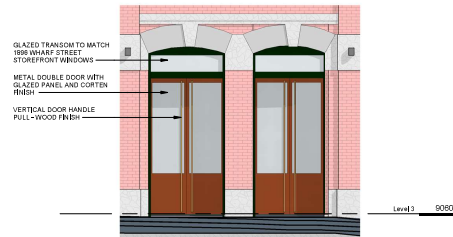
- Existing openings fully occupied by mechanical equipment
- Existing mechanical room location (interior photograph not feasible)



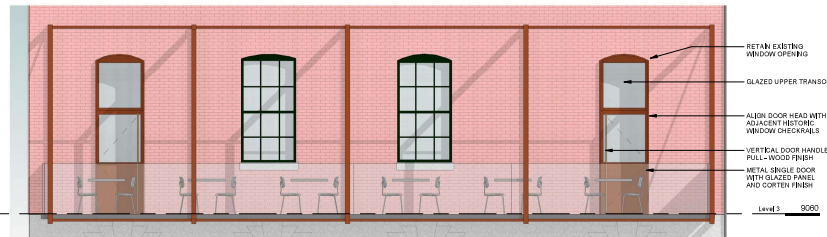
4 WHARF STREET DOOR DETAIL PERSPECTIVE
SCALE =



3 BALCONY DOOR DETAIL PERSPECTIVE
SCALE =



1 WHARF STREET DOOR DETAIL ELEVATION
SCALE = 1 : 50



2 BALCONY DOOR DETAIL ELEVATION
SCALE = 1 : 50

NO.	DESCRIPTION	DATE
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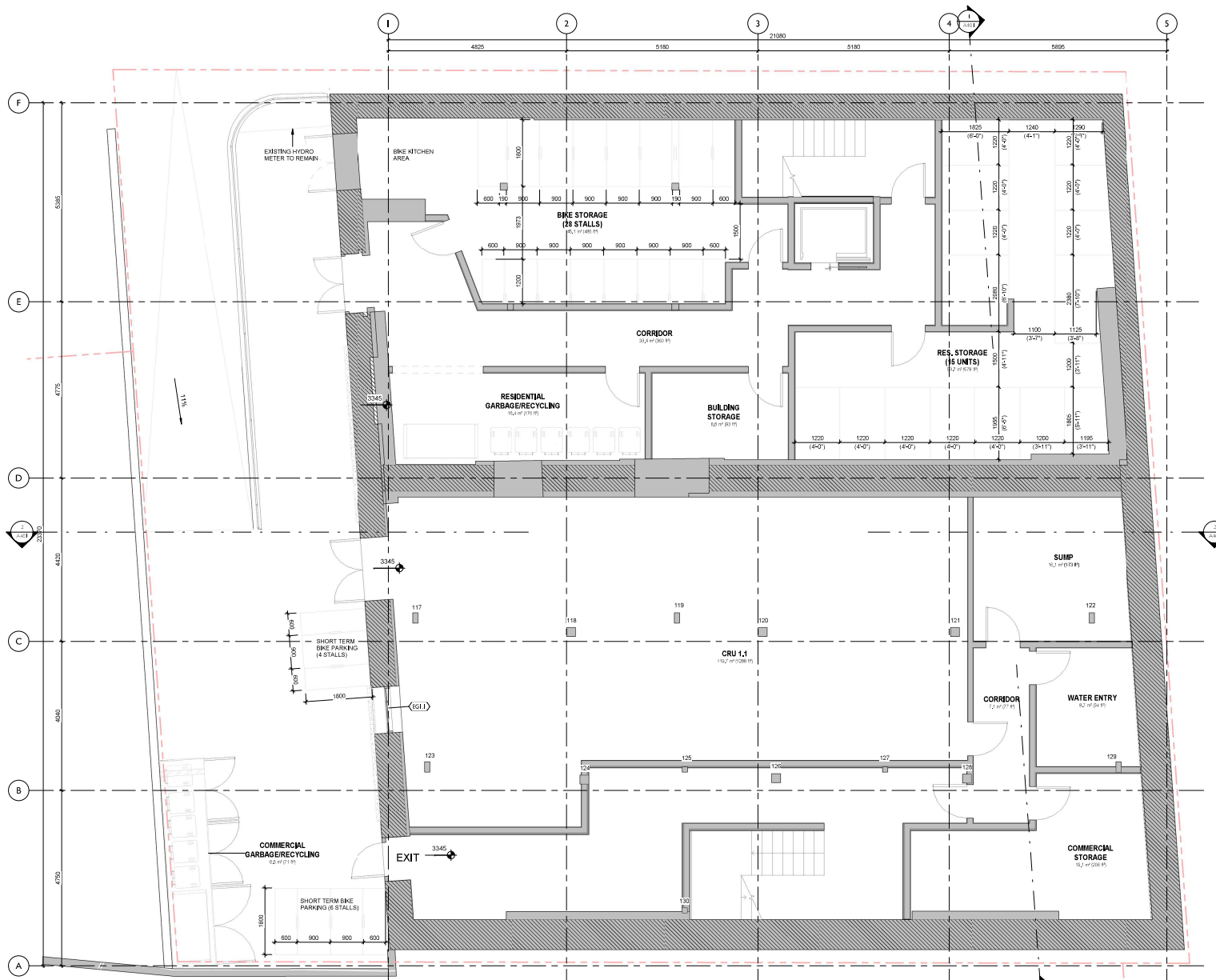


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Project	1244 WHARF STREET
Client	The Silent Group 1244 Wharf Street
Sheet Name	DOOR & WINDOW DETAILS
Date	NOVEMBER 18, 2020
Scale	As Indicated
Project #	2011
Revision	NOV 18, 2020
Sheet #	A006

DRAFT

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TOTAL FLOOR AREA EXCLUDING BIKE PARKING & ELEVATOR SHAFT = 373.8m²
(NOT COUNTED TOWARDS FSR)

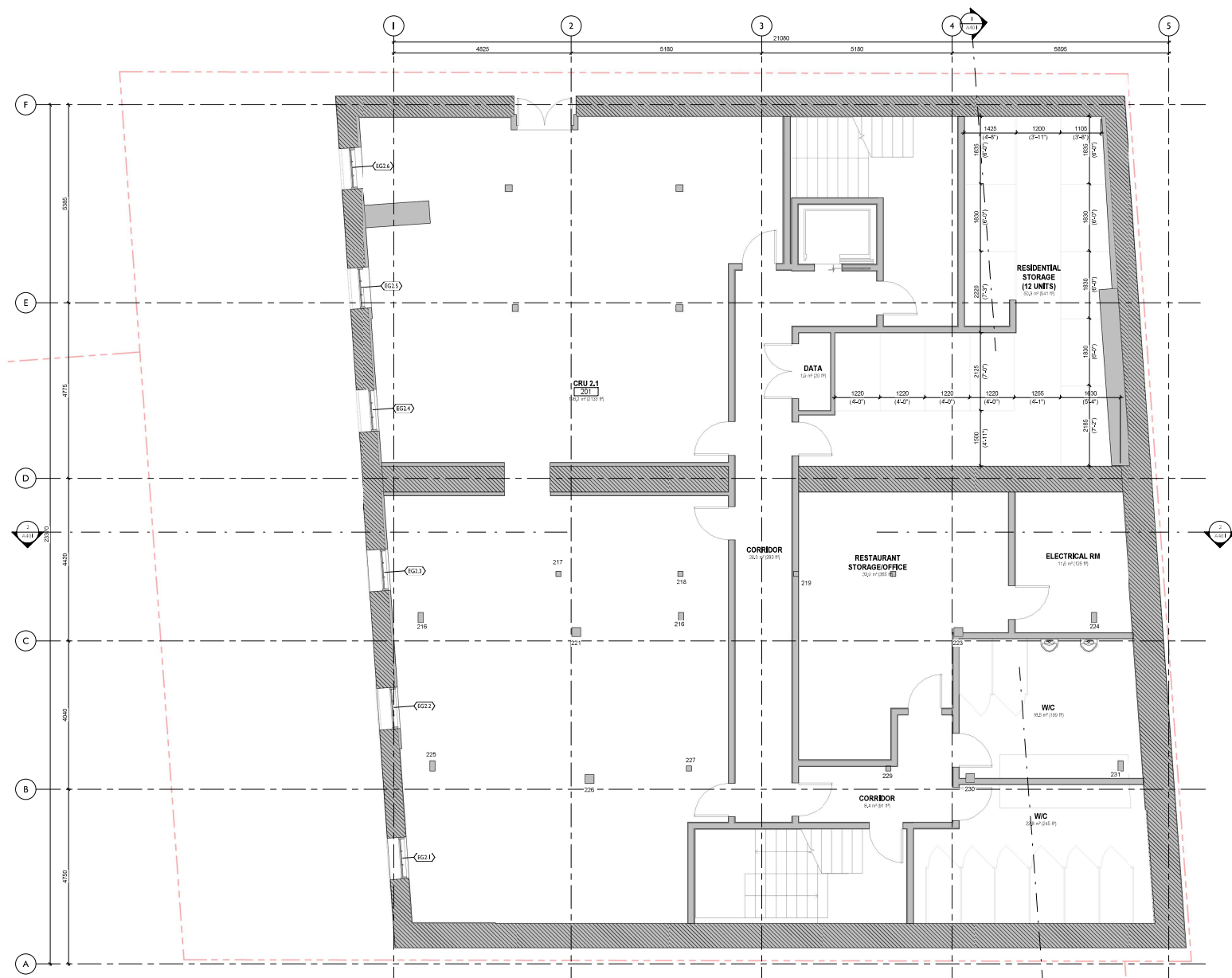
History / Revision / Detail			SEP. 4, 2020
NO.	DESCRIPTION	DATE	



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Project		1244 WHARF STREET	
		The Silent Group 1244 Wharf Street	
Sheet Name		LEVEL I - PROPOSED LAYOUT	
Date		SEP. 30, 2020	
Scale	1:50	Project #	2011
Revision	SEP. 4, 2020	Sheet #	A101

9/30/2020 14:02:33 PM



TOTAL FLOOR AREA EXCLUDING ELEVATOR SHAFT = 436.5m²
(NOT COUNTED TOWARDS FSR)

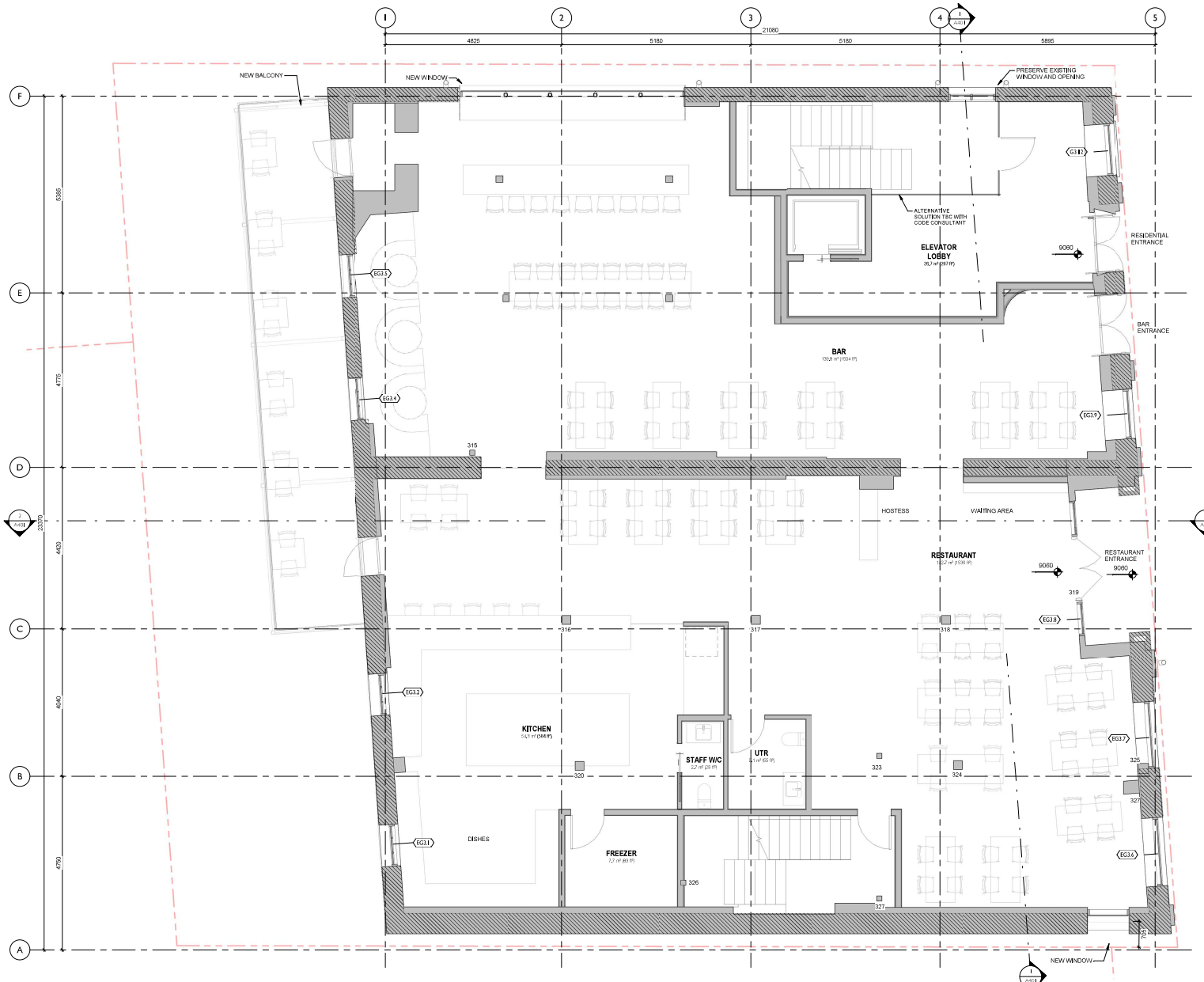
NO.	REVISION / DESCRIPTION / REVISION	DATE
1	ISSUED FOR PERMIT	SEPT. 4, 2020



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Project	1244 WHARF STREET	
	The Silbert Group	
	1244 Wharf Street	
Sheet Name	LEVEL 2 - PROPOSED LAYOUT	
Date	SEPT. 30, 2020	
Scale	1:50	Project # 2011
Revision	SEPT. 4, 2020	1
Sheet #	A102	

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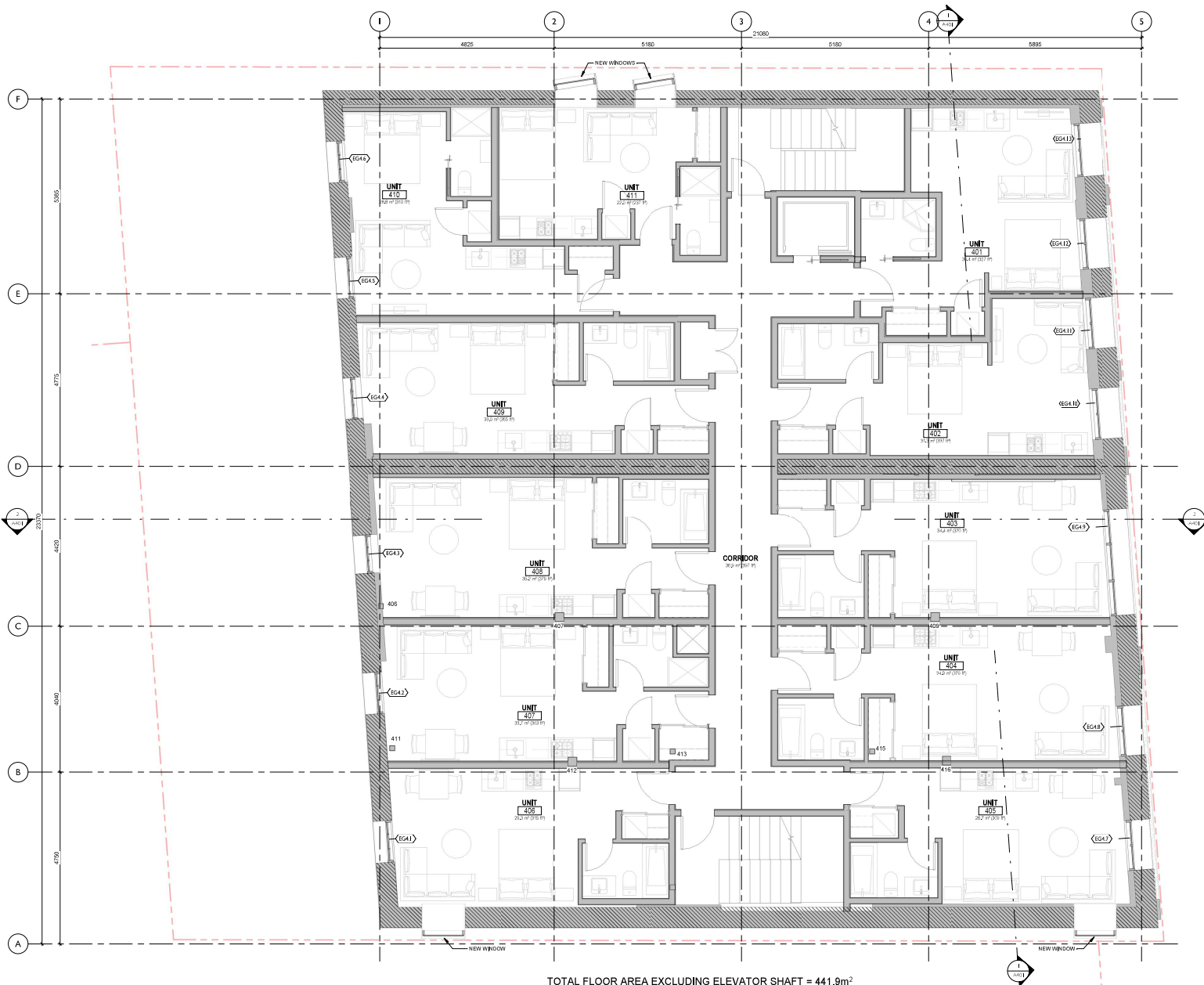
TOTAL FLOOR AREA EXCLUDING ELEVATOR SHAFT = 434.4m²

NO.	DESCRIPTION	DATE
1	Heritage Alteration Permit Rev. 2	02/10/18, 2020
2	Heritage Alteration Permit	02/10/18, 2020

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Project	
1244 WHARF STREET	
The Silbert Group	
1244 Wharf Street	
Sheet Name	
LEVEL 3 - PROPOSED LAYOUT	
Date	
NOVEMBER 18, 2020	
Scale	Project #
1 : 50	2011
Revision	3
NOV 18, 2020	
Sheet #	A103



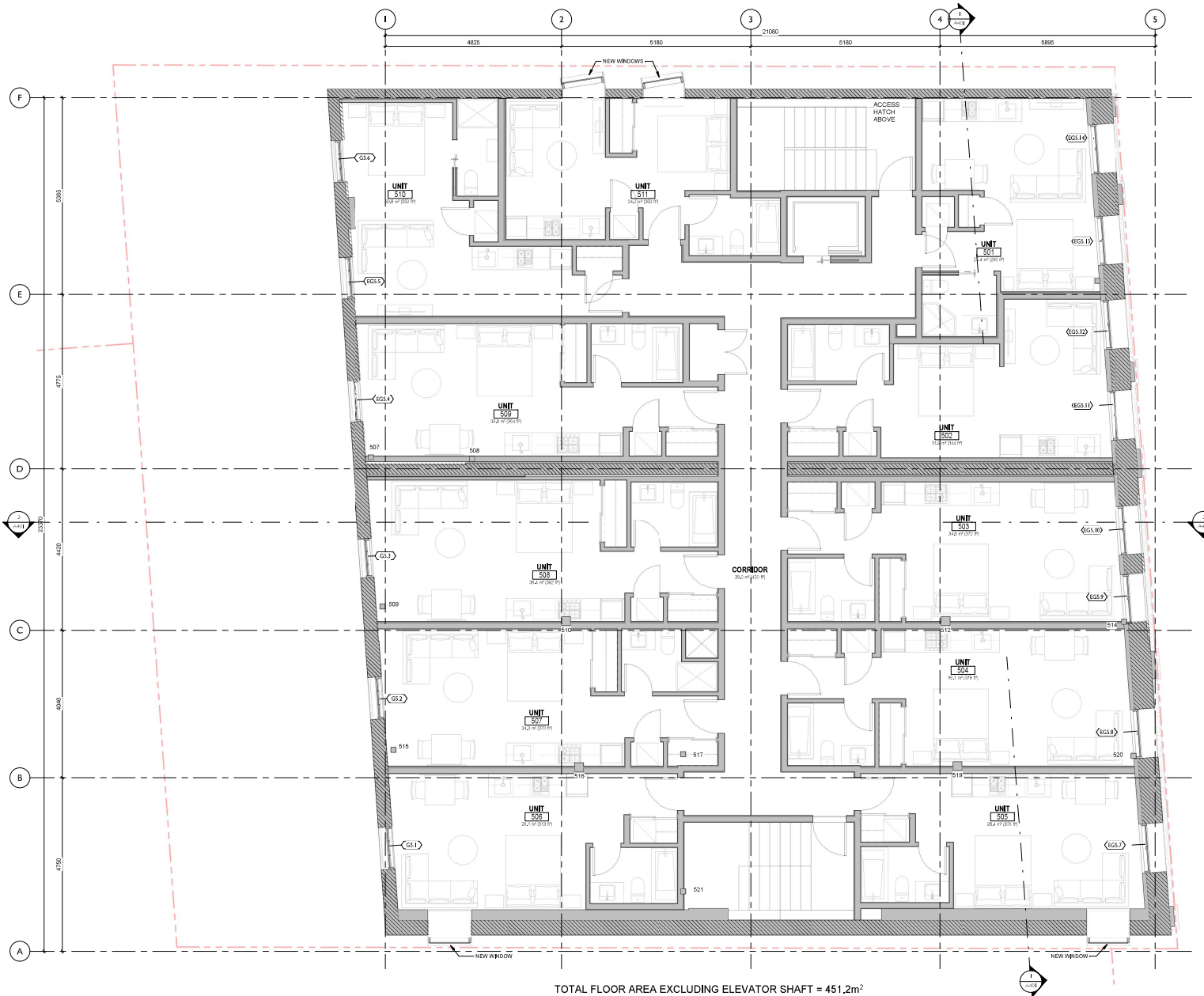
NO.	REVISION / DESCRIPTION	DATE
1	ISSUED FOR PERMIT	SEPT. 4, 2020



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Project	
1244 WHARF STREET	
The Silbert Group 1244 Wharf Street	
Sheet Name	
LEVEL 4 - PROPOSED LAYOUT	
Date	
SEPT. 30, 2020	
Scale	Project #
1 : 50	2011
Revision	Sheet #
SEPT. 4, 2020	A104

9/29/2020 10:02:49 PM



TOTAL FLOOR AREA EXCLUDING ELEVATOR SHAFT = 451.2m²

NO.	DESCRIPTION	DATE
1	REVISION	SEPT. 4, 2020



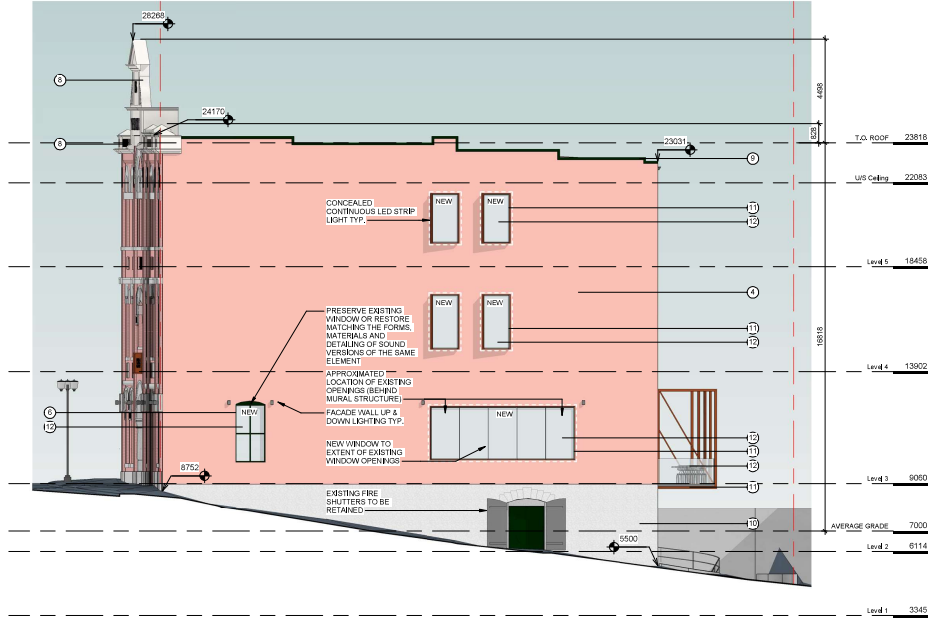
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Project	
1244 WHARF STREET	
The Silbert Group 1244 Wharf Street	
Sheet Name	
LEVEL 5 - PROPOSED LAYOUT	
Date	
SEPT. 30, 2020	
Scale	Project #
1:50	2011
Revision	Reason
SEPT. 4, 2020	1
Sheet #	
A105	

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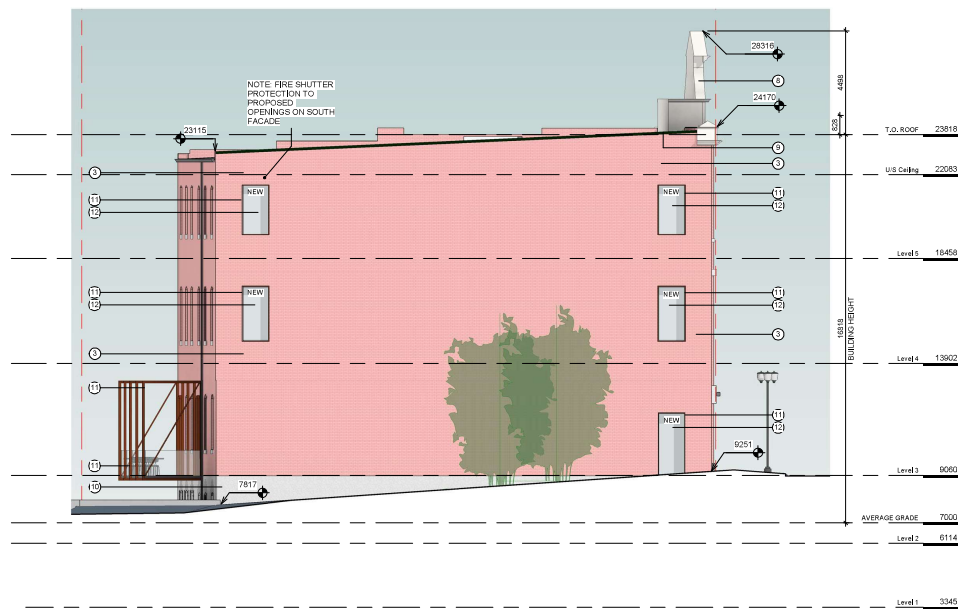
1 EAST ELEVATION - PROPOSED
SCALE = 1:100



2 NORTH ELEVATION - PROPOSED
SCALE = 1:100



3 WEST ELEVATION - PROPOSED
SCALE = 1:100



4 SOUTH ELEVATION - PROPOSED
SCALE = 1:100

MATERIALS LIST

- ① EXISTING BRICK - PTD, DARK RED, FLAT FINISH
- ② EXISTING BRICK - PTD, DARK GREY/FLAT FINISH
- ③ EXISTING UNPAINTED BRICK - RETAINED
- ④ EXISTING STUCCO RAINSCREEN - TO BE REPAIRED AS REQUIRED
- ⑤ EXISTING STONE (SPRINGS) BLOCKS, KEYSTONES, STRING COURSES, BASE BLOCKS, CORNICES - EXISTING PAINT FINISH STRIPPED
- ⑥ EXISTING A NEW WINDOW SASH & FRAME - PTD, DARK GREEN, SEMI-GLOSS FINISH
- ⑦ EXISTING FIRE SHUTTERS - RETAINED
- ⑧ RESTORED SHEET METAL CORNICE & PEDIMENT - PTD FINISH TO MATCH HISTORIC ELEMENT
- ⑨ EXISTING CAP FLASHING - PTD, DARK GREEN, SEMI-GLOSS FINISH
- ⑩ EXISTING STONE ASHLAR FOUNDATION - RETAINED
- ⑪ NEW METAL - DARK CORTEN STYLE FINISH
- ⑫ NEW & EXISTING TRANSPARENT GLAZING

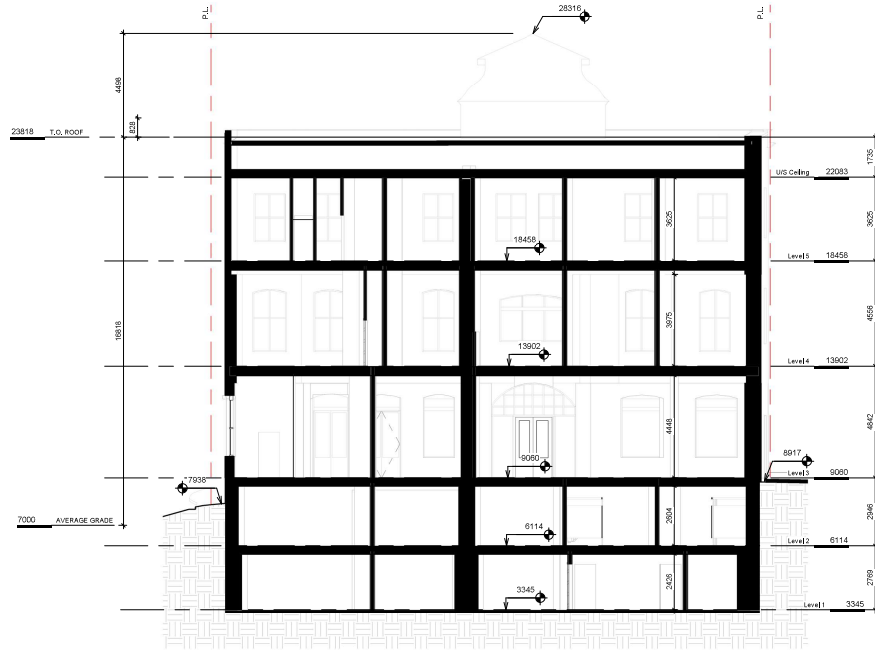
1	History Alteration Permit Rev 3	NOV 18, 2020
2	History Alteration Permit Rev 1	SEP 18, 2020
3	History Alteration Permit Rev 1	SEP 18, 2020
NO.	DESCRIPTION	DATE



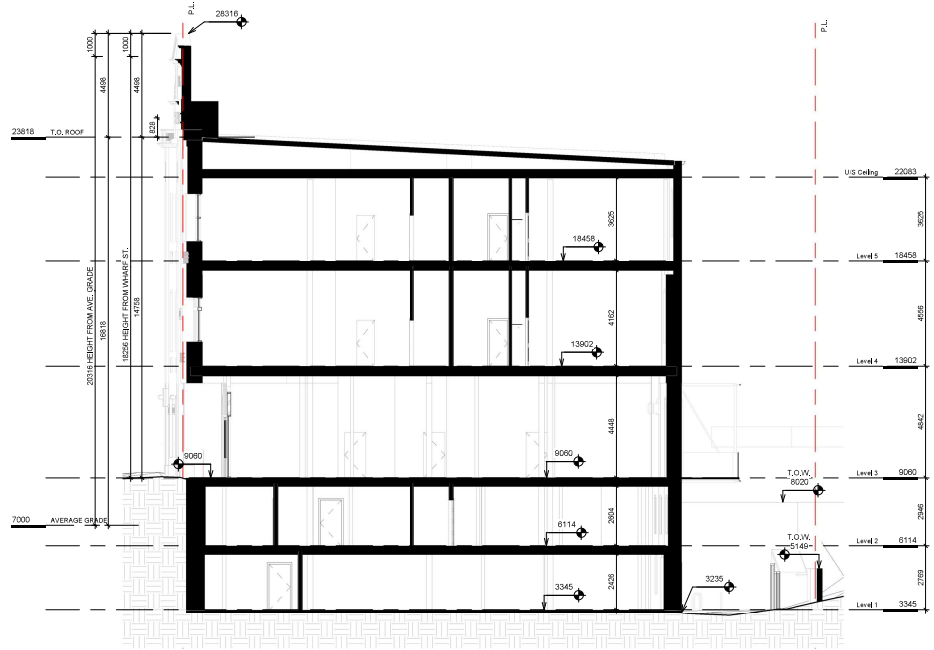
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Project	
1244 WHARF STREET	
The Silent Group	
1244 Wharf Street	
Sheet Name	
PROPOSED ELEVATIONS	
Date	
NOVEMBER 18, 2020	
Scale	Project #
As indicated	2011
Revision	
NOV 18, 2020	
Sheet #	
A301	

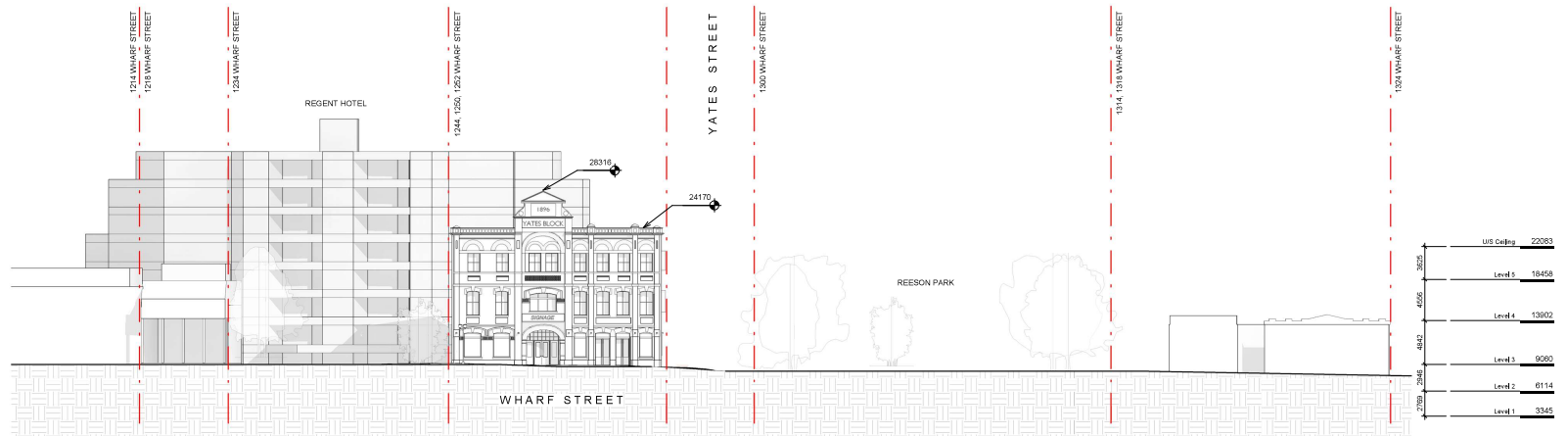
11/20/2020 7:18:39 AM



① BUILDING SECTION 1
SCALE = 1 : 100



② BUILDING SECTION 2
SCALE = 1 : 100



③ CONTEXT ELEVATION
SCALE = 1 : 250

1.	Heritage Alteration Permit Rev 3	NOV 18, 2020
2.	Heritage Alteration Permit Rev 1	SEP 30, 2020
3.	Heritage Alteration Permit	SEP 14, 2020
NO.	DESCRIPTION	DATE



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Project	1244 WHARF STREET	
Client Name	The Silent Group	
Project #	1244 Wharf Street	
Date	NOVEMBER 18, 2020	
Scale	As indicated	2011
Revision	NOV 18, 2020	3
Sheet #	A401	

11/20/2020 7:18:57 AM